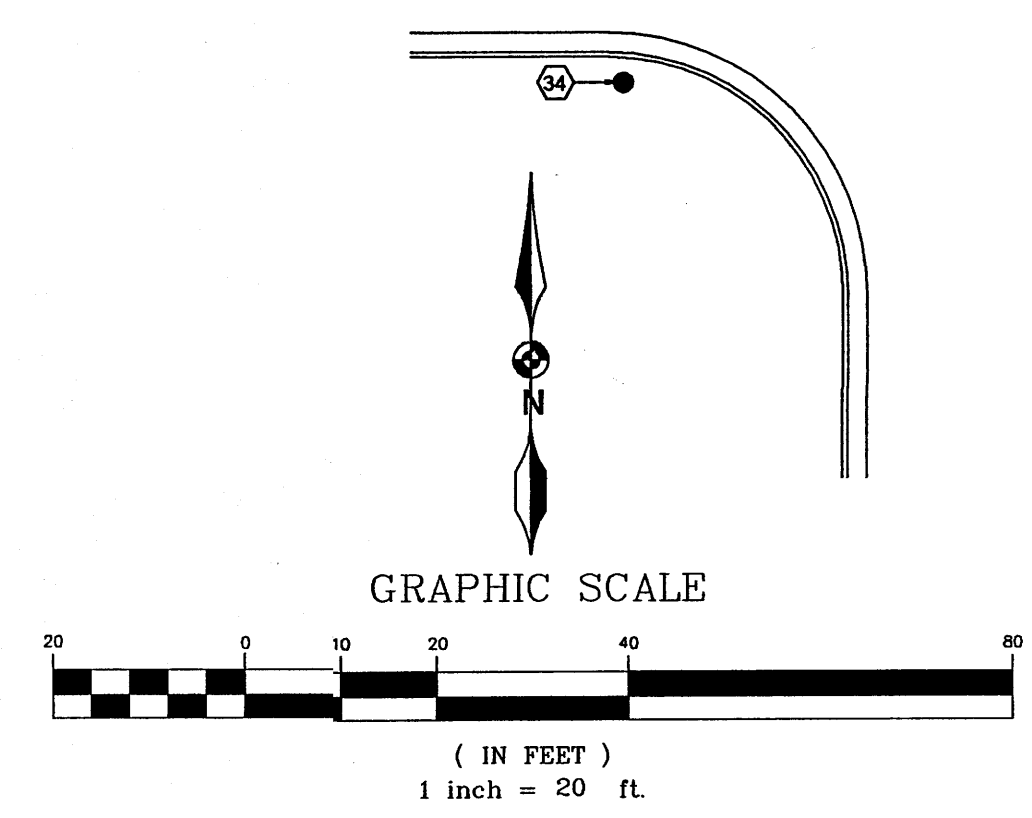


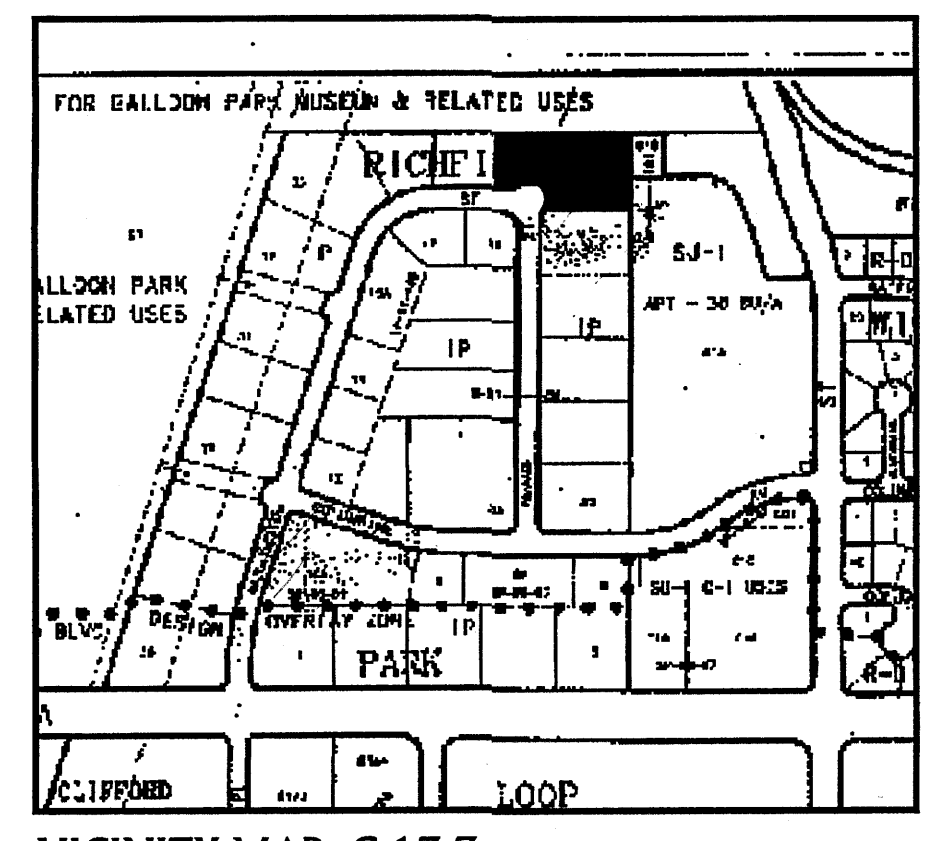
WASHINGTON ST.

ADAMS ST.



A PROPOSED SITE PLAN
SCALE: 1" = 20'-0"

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
RJC 2-19-04
SIGNATURE & DATE
155524/IN



VICINITY MAP: C-17-Z
SCALE: N.T.S.

KEYED NOTES:

- 1) EXISTING CMU WALL.
- 2) 8" CMU BLOCK WALL 10 COURSES HIGH (6'-8").
- 3) 3'-6" WROUGHT IRON GATE. REFER TO DETAIL XXX.
- 4) ROLLING WROUGHT IRON GATE.
- 5) 8" CMU BLOCK WALL 6 COURSES HIGH (4'-0").
- 6) STANDARD CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL.
- 7) ASPHALT PAVING @ DRIVE LANES, 2" ASPHALT PAVING @ PARKING STALLS.
- 8) CURB RAMP PER CITY STANDARDS, 25" WIDE MIN, 1:12 MAX SLOPE, 1:10 SIDE SLOPE.
- 9) 4" THICK CONCRETE SIDEWALK, REFER TO PLAN FOR WIDTH.
- 10) CONCRETE PARKING BUMPER SET 2'-0" FROM CURB.
- 11) 6" STEEL BOLLARDS, FILLED W/CONCRETE. REFER TO DETAIL XXX.
- 12) CONCRETE RAMP 1:20 MAX SLOPE.
- 13) SIDEWALK TRENCH DRAIN. REFER TO DETAIL XXX.
- 14) PARKING STALL STRIPING.
- 15) PAINTED HANDICAPPED PARKING SYMBOL.
- 16) PICNIC TABLE LOCATION.
- 17) BIKE RACK LOCATION, REFER TO DETAIL XXX.
- 18) MONUMENT SIGN. REFER TO DETAIL XXX.
- 19) FLAGPOLE LOCATION, 25'-0" HIGH WBRUSHED ALUMINUM FINISH.
- 20) POLE LIGHT. REFER TO ELECTRICAL SITE PLAN & DETAIL XXX.
- 21) SUMP PUMP LOCATION.
- 22) DUMPSTER ENCLOSURE LOCATION. REFER TO DETAIL XXX.
- 23) HANDICAP SIGNAGE. REFER TO DETAIL XXX.
- 24) LANDSCAPE AREA REFER TO LANDSCAPE PLAN.
- 25) PROPERTY LINE.
- 26) PNM TRANSFORMER PAD LOCATION.
- 27) WATER METER LOCATION.
- 28) GAS METER LOCATION. REFER TO EXTERIOR ELEVATIONS.
- 29) ELECTRIC METER LOCATION. REFER TO EXTERIOR ELEVATIONS.
- 30) TELEPHONE DEMARKATION PANEL LOCATION.
- 31) SEWER TAP LOCATION.
- 32) CONCRETE DRIVEPAD.
- 33) 2'-0" WIDE CONC. TRENCH, REFER TO DETAIL XXX.
- 34) FIRE HYDRANT LOCATION.
- 35) CONCRETE DRAINAGE SWEEP.
- 36) PROPOSED LOCATION OF NEW FIRE HYDRANT.

LANDSCAPE & PARKING CALCULATIONS

LOT 28A	
LANDSCAPE REQUIREMENTS:	
TOTAL SITE AREA:	67,766 SQ. FT.
BUILDING AREA A:	4,290 SQ. FT.
BUILDING AREA B:	15,552 SQ. FT.
SCREENED AREA:	11,899 SQ. FT.
OFFSITE AREA:	1,312 SQ. FT.
NET SITE AREA:	32,983 SQ. FT.
LANDSCAPE REQUIRED (15% OF NET SITE AREA):	4,948 SQ. FT.
LANDSCAPE PROVIDED:	5,823 SQ. FT.
PARKING REQUIREMENTS:	
OFFICE BUILDING A (200):	6,173 SQ. FT. = 31
OFFICE BUILDING B (200):	4,183 SQ. FT. = 21
WAREHOUSE BUILDING B (2000):	11,291 SQ. FT. = 58
TOTAL REQUIRED:	73
TOTAL PROVIDED:	73
HANDICAPPED REQUIRED:	4
HANDICAPPED PROVIDED:	(1 VAN SPACE) 4
BICYCLE SPACES REQD:	5
BICYCLE SPACES PROVIDED:	5

LANDSCAPE NOTES

- 1) ALL PLANTING IMPROVEMENTS ARE TO BE WATERED BY MEANS OF A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH SPRAY HEADS, STREAM BUBBLERS, AND FLOOD BUBBLERS. THE SOURCE OF IRRIGATION WATER SHALL BE CITY OF ALBUQUERQUE WATER SYSTEM.
- 2) ALL PLANTING AND IRRIGATION IMPROVEMENTS ARE TO BE MAINTAINED BY THE OWNER.
- 3) LANDSCAPING TO CONFORM W/ COA LANDSCAPE ORDINANCE.
- 4) LANDSCAPE AND IRRIGATION MAINTENANCE, INCLUDING THE ABUTTING PUBLIC RIGHT OF WAY, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OF LOTS 30A, BLOCK 3, TRACT A, UNIT B NORTH ALBUQUERQUE ACRES AND ITS ASSIGNS AND/OR TRANSFERS.

BUILDING & SITE DATA

PROJECT:	OFFICE WAREHOUSE (SHELL)
CONSTRUCTION TYPE:	I-I-N
ADDRESS:	9019 ADAMS ST. N.E. (SITES A-D) ALBUQUERQUE, NEW MEXICO 87113
LEGAL DESCRIPTION:	LOTS #36 & 37 RICHFIELD SUBDIVISION.
EXISTING ZONING:	IP
ZONE MAP:	C-17-Z

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

SITE DEVELOPMENT PLAN

ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<i>Michael M. Olson</i>	2-19-04
SOLID WASTE MANAGEMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.	DATE
CITY PLANNER, PLANNING DEPARTMENT	DATE

SITE PLAN

9019 WASHINGTON OFFICE/WAREHOUSE COMPLEX
 LOTS 36 & 37 RICHFIELD SUBDIVISION
 9019 WASHINGTON N.E.
 ALBUQUERQUE, NEW MEXICO 87113

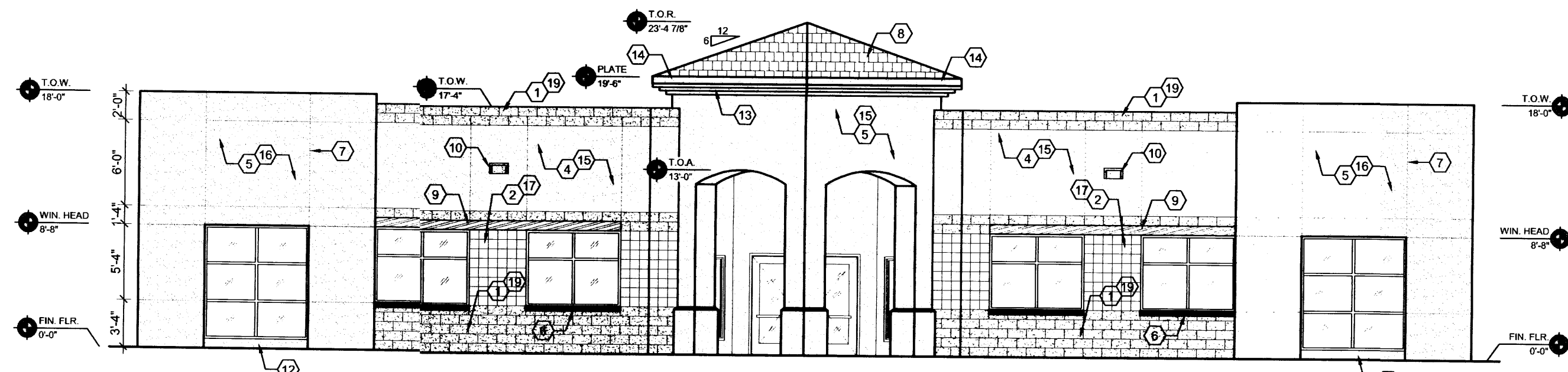
MECHENBIEB
 CONSTRUCTION INC.
 6000 WASHINGTON N.E. SUITE 114
 ALBUQUERQUE, NEW MEXICO 87113
 TEL: (505) 833-2800
 FAX: (505) 833-2804
 WEB: WWW.MECHENBIEB.COM

KEYED NOTES:

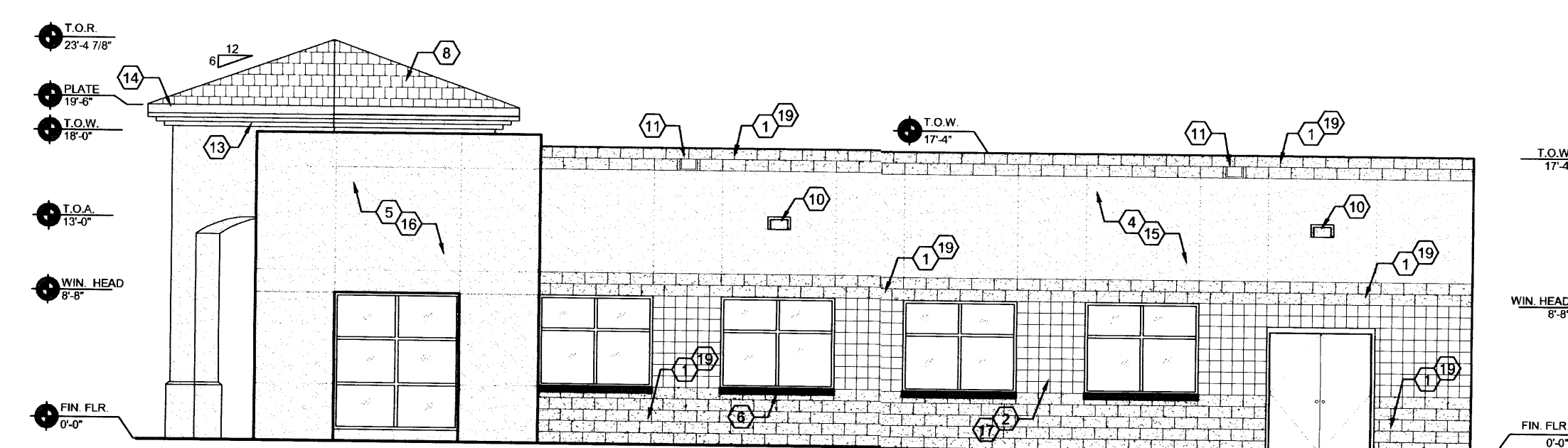
- 1) SPLIT FACE CMU BLOCK.
- 2) SCORED CMU BLOCK.
- 3) SMOOTH CMU BLOCK.
- 4) STUCCO OVER SMOOTH RECESSED CMU BLOCK. REFER TO WALL SECTIONS.
- 5) STUCCO OVER EXTERIOR SHEATHING. REFER TO WALL SECTIONS.
- 6) PRE-CAST CONCRETE WINDOW SILLS. REFER TO DETAIL XXX.
- 7) EXPANSION JOINT.
- 8) FLAT CONCRETE TILE ROOF. OVER 15# FELT. REFER TO WALL SECTIONS.
- 9) SUNSHADE STRUCTURE. REFER TO SHEET A3.1 FOR DETAILS.
- 10) WALL LIGHT PACK. REFER TO ELECTRICAL PLAN.
- 11) OVERFLOW CANALIE. REFER TO ROOF PLAN.
- 12) 8" CMU BLOCK (1 COURSE SILL) UNDER WINDOW.
13) STUCCO COPING. REFER TO WALL SECTIONS.
- 14) MTL. GUTTER. TO DRAIN BACK ONTO MAIN ROOF.
- 15) STUCCO COLOR BEIGE.
- 16) STUCCO COLOR BLUE.
- 17) PAINTED CMU BLOCK BAND, COLOR BEIGE.
- 18) PAINTED CMU BLOCK BAND, COLOR TAN.
- 19) PAINTED CMU BLOCK BAND, COLOR CHOCOLATE BROWN.
- 20) Z"X6" CLEAR ANODIZED ALUMINUM.
- 21) XX GA. CLEAR ANODIZED ALUMINUM SHEET. BEND & ANCHOR TO 2X8 ALUMINUM BEAMS.

DESIGN DATA:

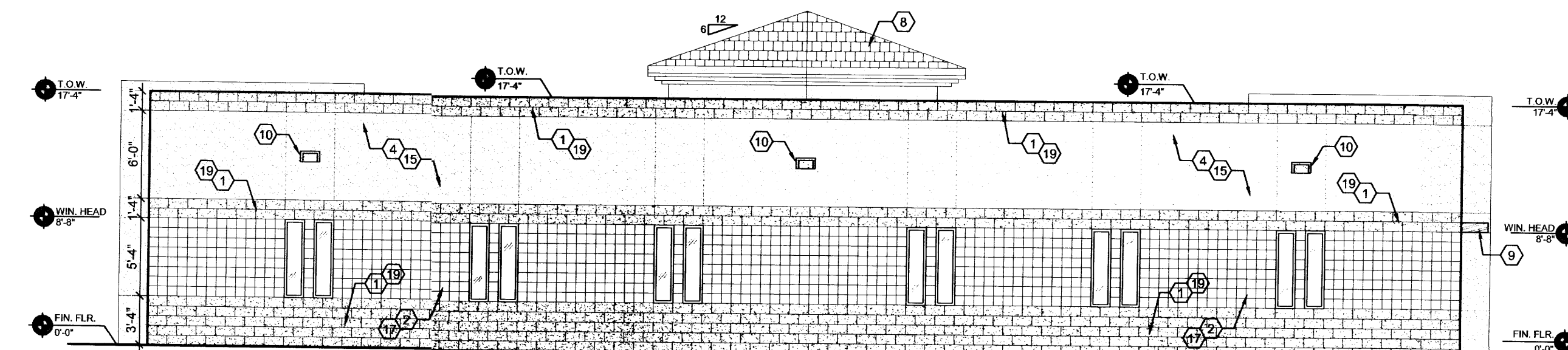
SCALE:
1/8" = 1'-0"
PLOT DATE:
DEC. 22, 2003
FILENAME:
DRAWN BY:
M. FLURE



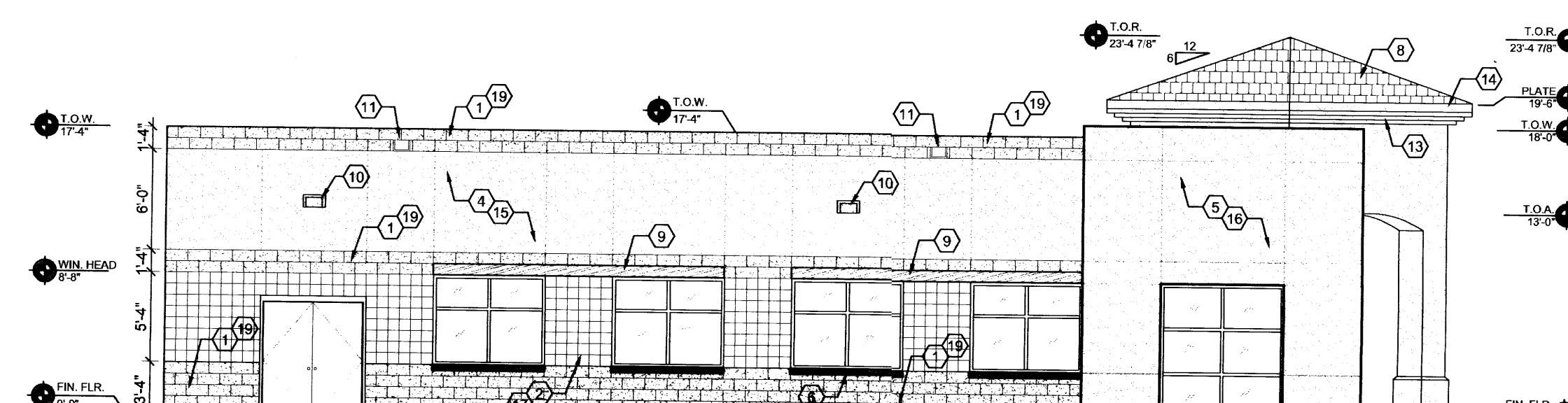
A FRONT ELEVATION BUILDING "A" (SOUTH)
SCALE = 1/8" = 1'-0"



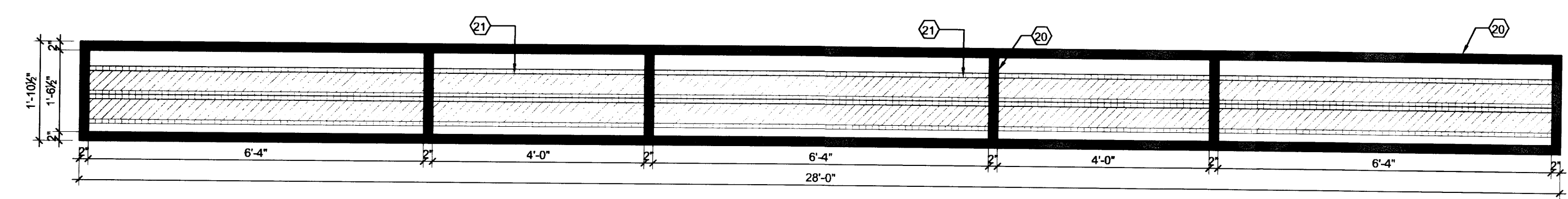
B RIGHT ELEVATION - BUILDING "A" (EAST)
SCALE = 1/8" = 1'-0"



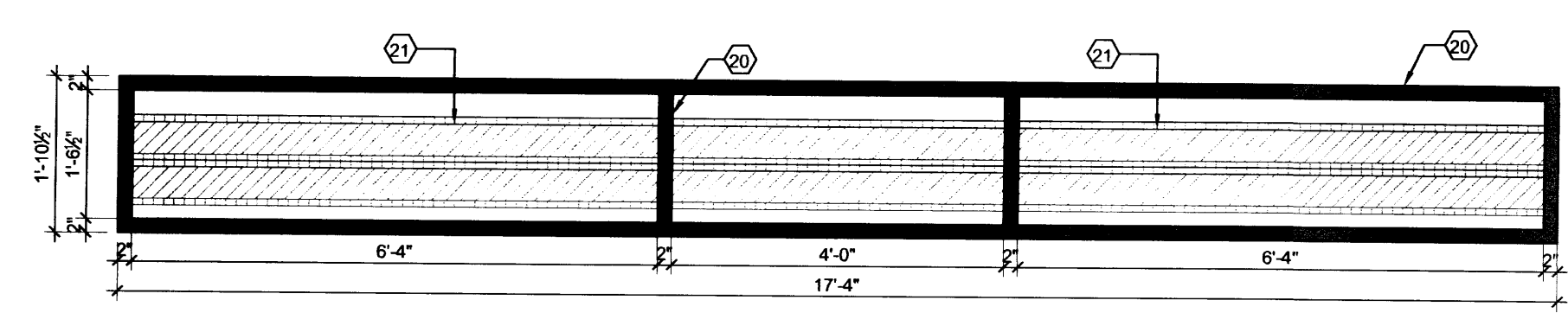
C BACK ELEVATION - BUILDING "A" (NORTH)
SCALE = 1/8" = 1'-0"



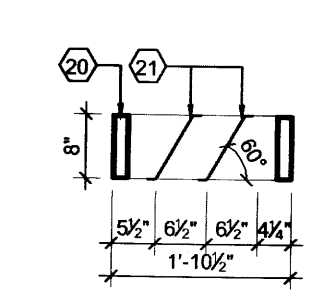
D LEFT ELEVATION - BUILDING "A" (WEST)
SCALE = 1/8" = 1'-0"



E SUNSHADE STRUCTURE - BUILDING "B"
SCALE = 1/2" = 1'-0" QUANT: 2



F SUNSHADE STRUCTURE - BUILDING "A"
SCALE = 1/2" = 1'-0" QUANT: 4



G TYP. SUNSHADE SECTION
SCALE = 1/2" = 1'-0"

EXTERIOR ELEVATIONS

9019 WASHINGTON OFFICE / WAREHOUSE COMPLEX
LOTS 36 & 37, RICHFIELD SUBDIVISION
9019 WASHINGTON N.E.
ALBUQUERQUE, NEW MEXICO 87113

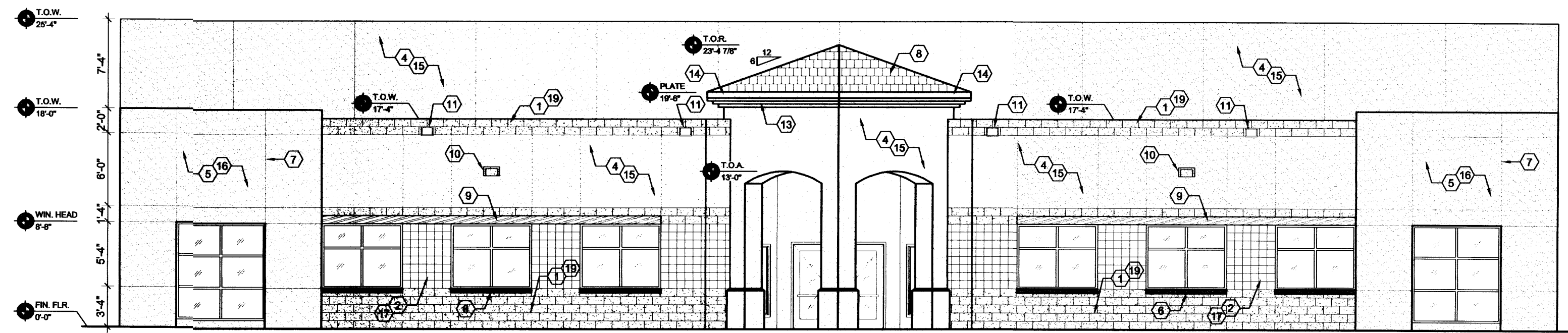
8804 WASHINGTON N.E. SUITE A
ALBUQUERQUE, NM 87113
OFFICE: (505) 828-1676
FAX: (505) 823-1518
WEB: WWW.MECHENBER.COM
MECHENBER
CONSTRUCTION & BUILDING

KEYED NOTES:

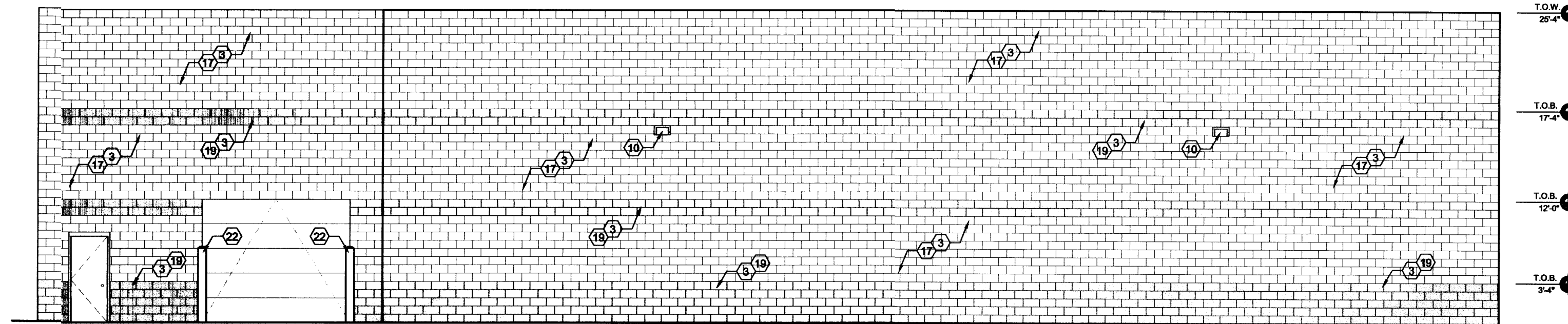
- 1.) SPLIT FACE CMU BLOCK.
- 2.) SCORED CMU BLOCK.
- 3.) SMOOTH CMU BLOCK.
- 4.) STUCCO OVER SMOOTH RECESSED CMU BLOCK. REFER TO WALL SECTIONS.
- 5.) STUCCO OVER EXTERIOR SHEATHING. REFER TO WALL SECTIONS.
- 6.) PRE-CAST CONCRETE WINDOW SILLS. REFER TO DETAIL XXX.
- 7.) EXPANSION JOINT.
- 8.) FLAT CONCRETE TILE ROOF, OVER 15# FELT. REFER TO WALL SECTIONS.
- 9.) SUNSHADE STRUCTURE, REFER TO SHEET A3.1 FOR DETAILS.
- 10.) WALL LIGHT PACK, REFER TO ELECTRICAL PLAN.
- 11.) OVERFLOW CANALIE. REFER TO ROOF PLAN.
- 12.) 8" CMU BLOCK (1 COURSE SILL) UNDER WINDOW.
13. STUCCO COPING. REFER TO WALL SECTIONS.
- 14.) MTL. GUTTER, TO DRAIN BACK ONTO MAIN ROOF.
- 15.) STUCCO COLOR BEIGE.
- 16.) STUCCO COLOR BLUE.
- 17.) PAINTED CMU BLOCK BAND, COLOR BEIGE.
- 18.) PAINTED CMU BLOCK BAND, COLOR TAN.
- 19.) PAINTED CMU BLOCK BAND, COLOR CHOCOLATE BROWN.
- 20.) 2"X8" CLEAR ANODIZED ALUMINUM.
- 21.) XX GA. CLEAR ANODIZED ALUMINUM SHEET, BEND & ANCHOR TO 2X8 ALUMINUM BEAMS.
- 22.) 6" BOLLARD, REFER TO DETAIL XXX.
- 23.) CANNALIE DOWN SPOUT.

DESIGN DATA:

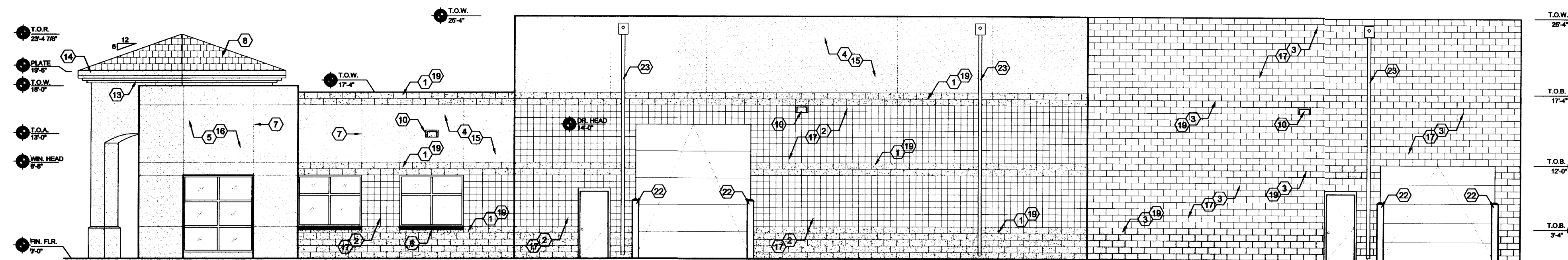
SCALE:
1/8" = 1'-0"
PLOT DATE:
DEC. 22, 2003
FILENAME:
DRAWN BY:
M. FLURE



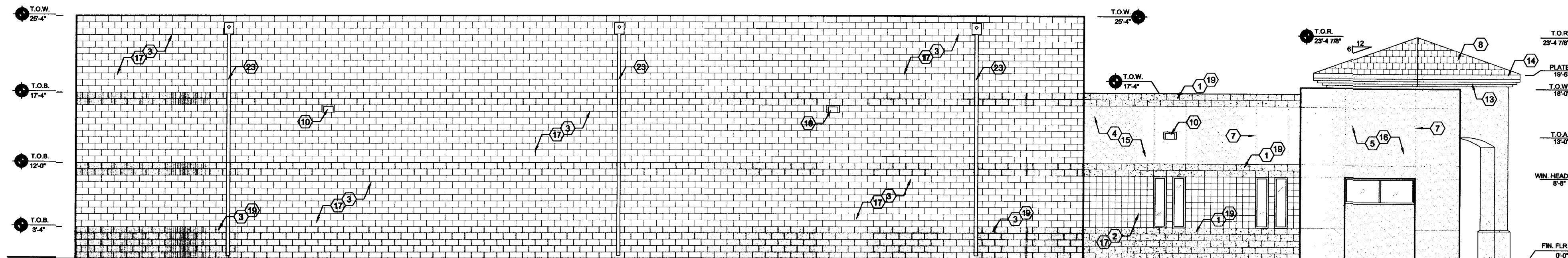
A FRONT ELEVATION BUILDING "B" (WEST)
SCALE = 1/4" = 1'-0"



B BACK ELEVATION BUILDING "B" (EAST)
SCALE = 1/4" = 1'-0"



C RIGHT ELEVATION BUILDING "B" (SOUTH)
SCALE = 1/4" = 1'-0"



D LEFT ELEVATION BUILDING "B" (NORTH)
SCALE = 1/4" = 1'-0"

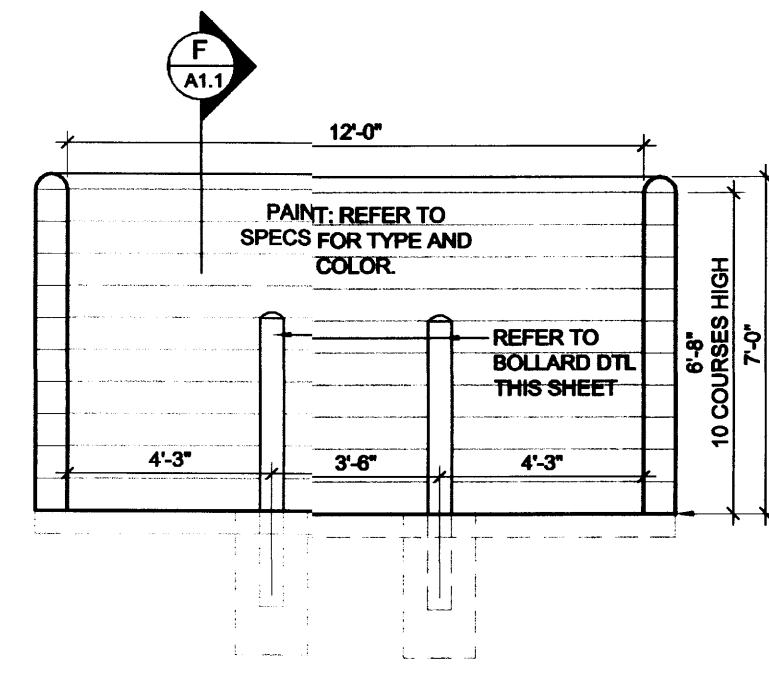
EXTERIOR ELEVATIONS - BUILDING "B"

9019 WASHINGTON OFFICE / WAREHOUSE COMPLEX
LOTS 36 & 37, RICHFIELD SUBDIVISION
ALBUQUERQUE, NEW MEXICO 87113

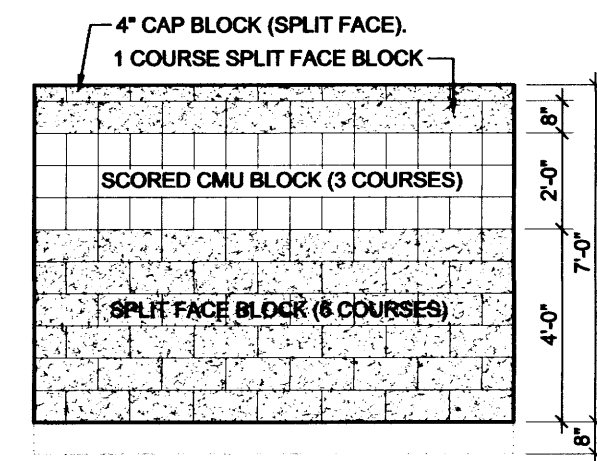
8804 WASHINGTON N.E. SUITE A
ALBUQUERQUE, NM 87113
TEL: (505) 833-8676
FAX: (505) 833-8676
WEB: WWW.MECHENBER.COM



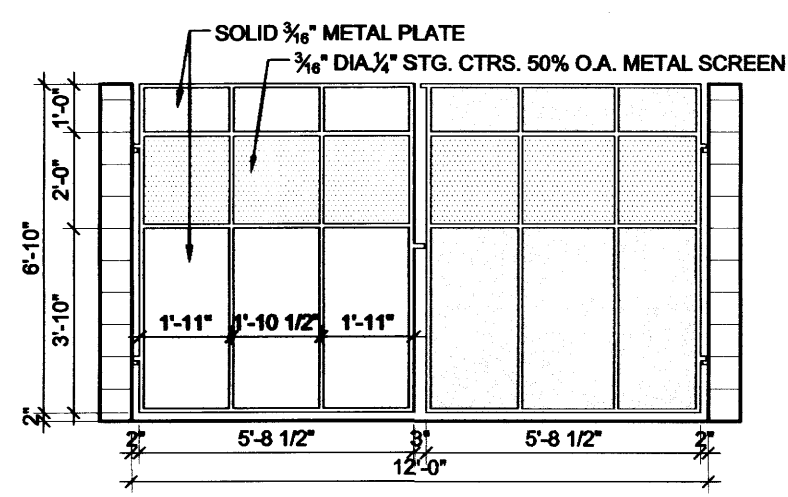
© 2003/2002 MECHENBER CONSTRUCTION, INC.



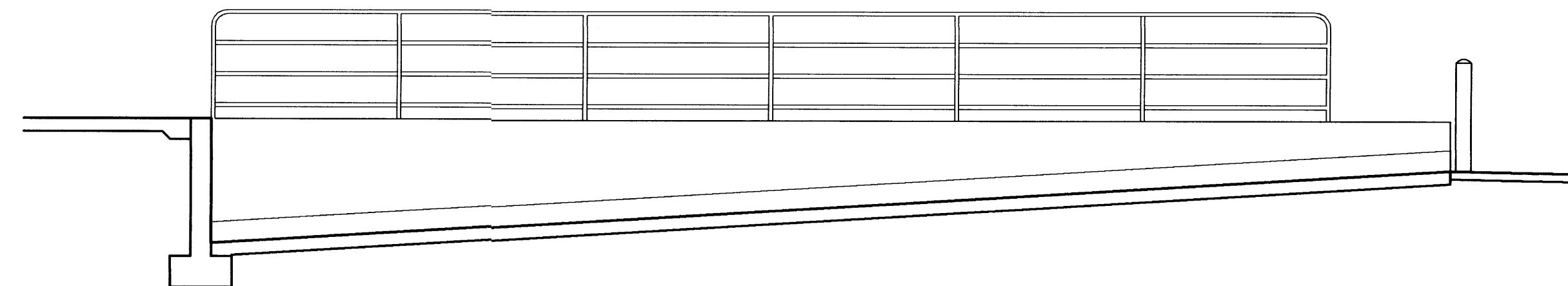
X DUMPSTER ENCLOSURE
SCALE: 1/4" = 1'-0"



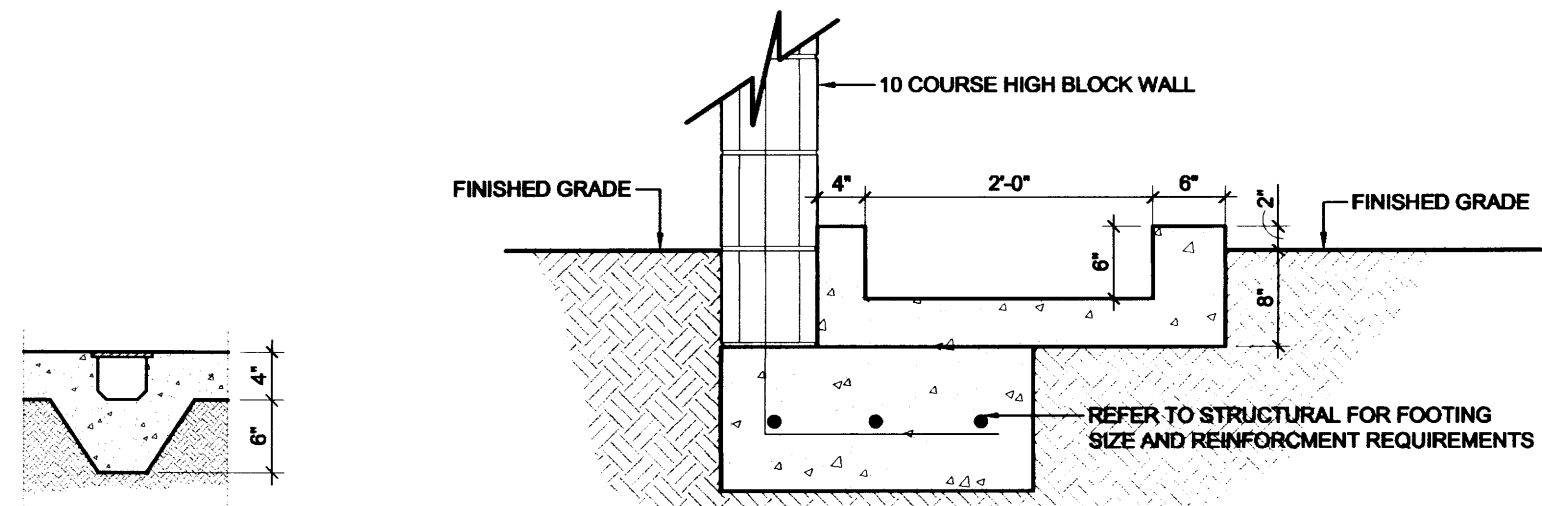
X ENCLOSURE COURSING
SCALE: 1/4" = 1'-0"



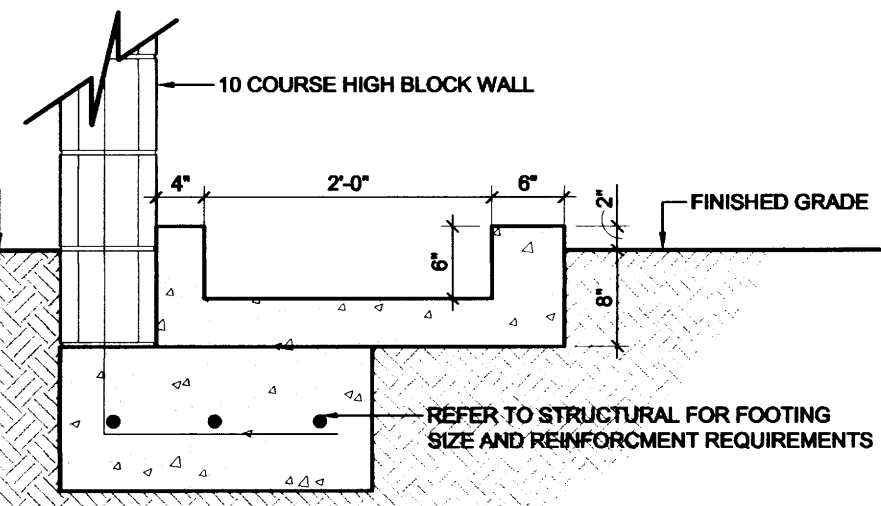
X GATE ENCLOSURE
SCALE: 1/4" = 1'-0"



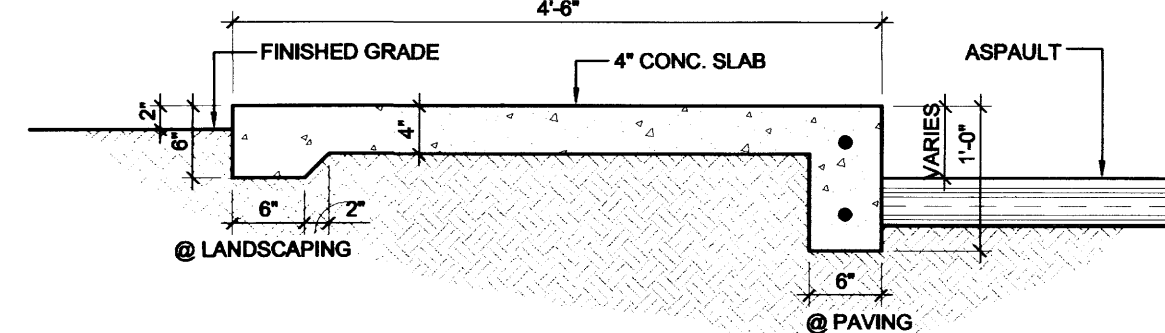
X TRUCK WELL SECTION
SCALE: 1/4" = 1'-0"



X SIDEWALK TRENCH DRAIN
SCALE: 1/4" = 1'-0"

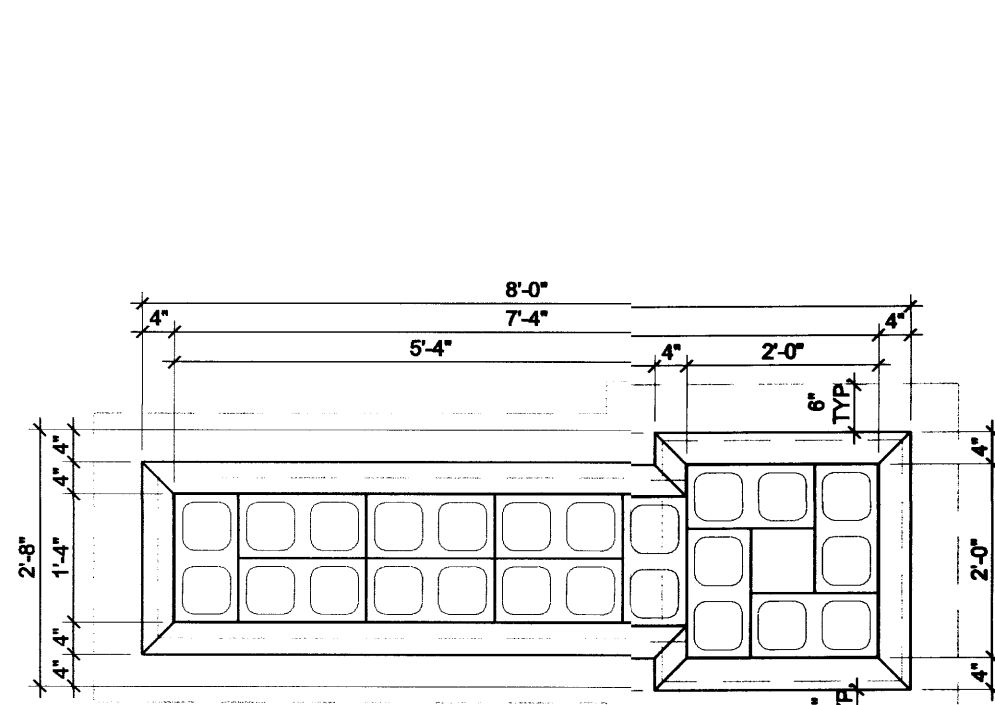


X TRENCH DRAIN
SCALE: 3/4" = 1'-0"

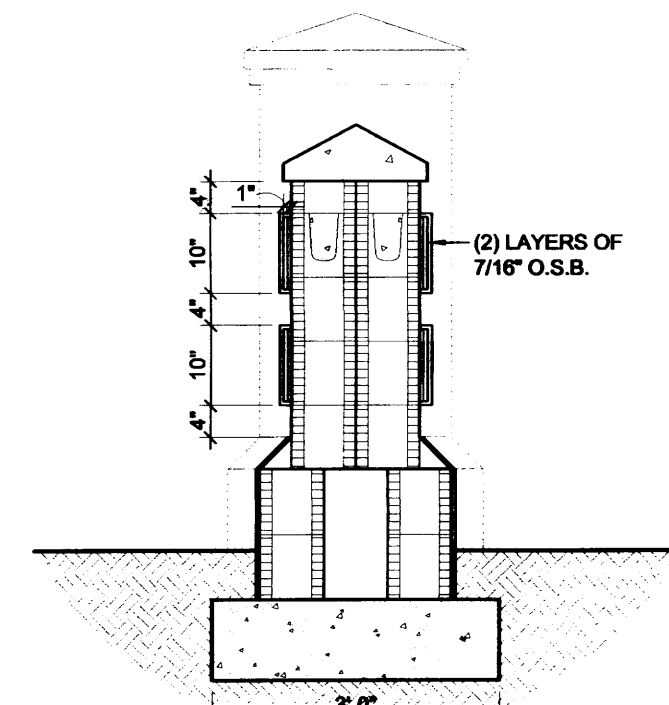


X SIDEWALK SECTION
SCALE: 1/4" = 1'-0"

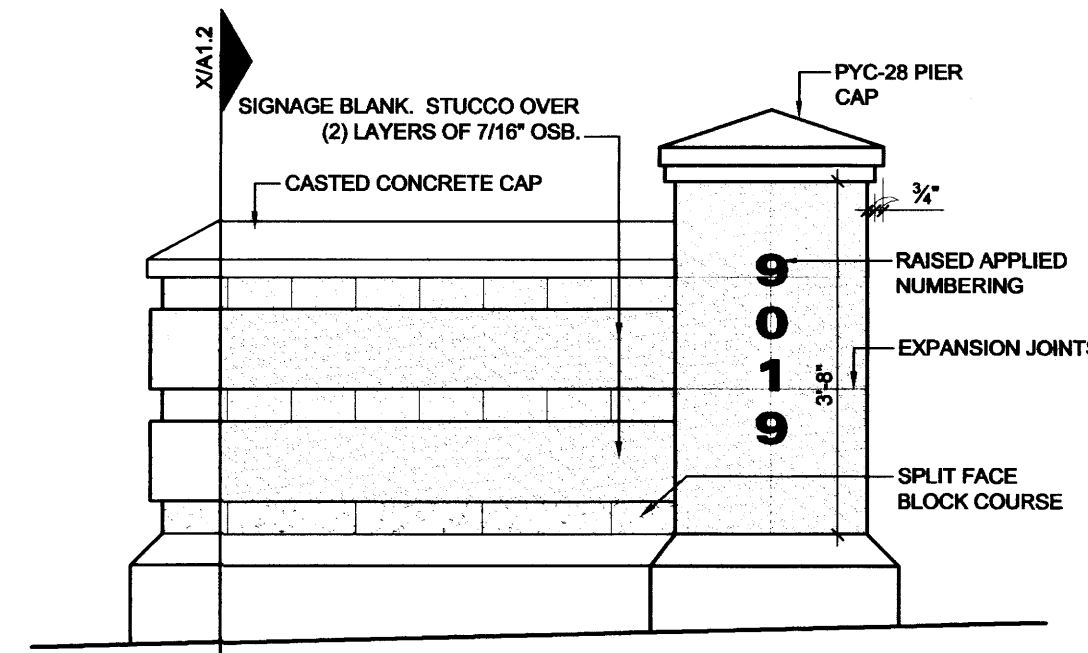
X TRUCK WELL SECTION
SCALE: 1/4" = 1'-0"



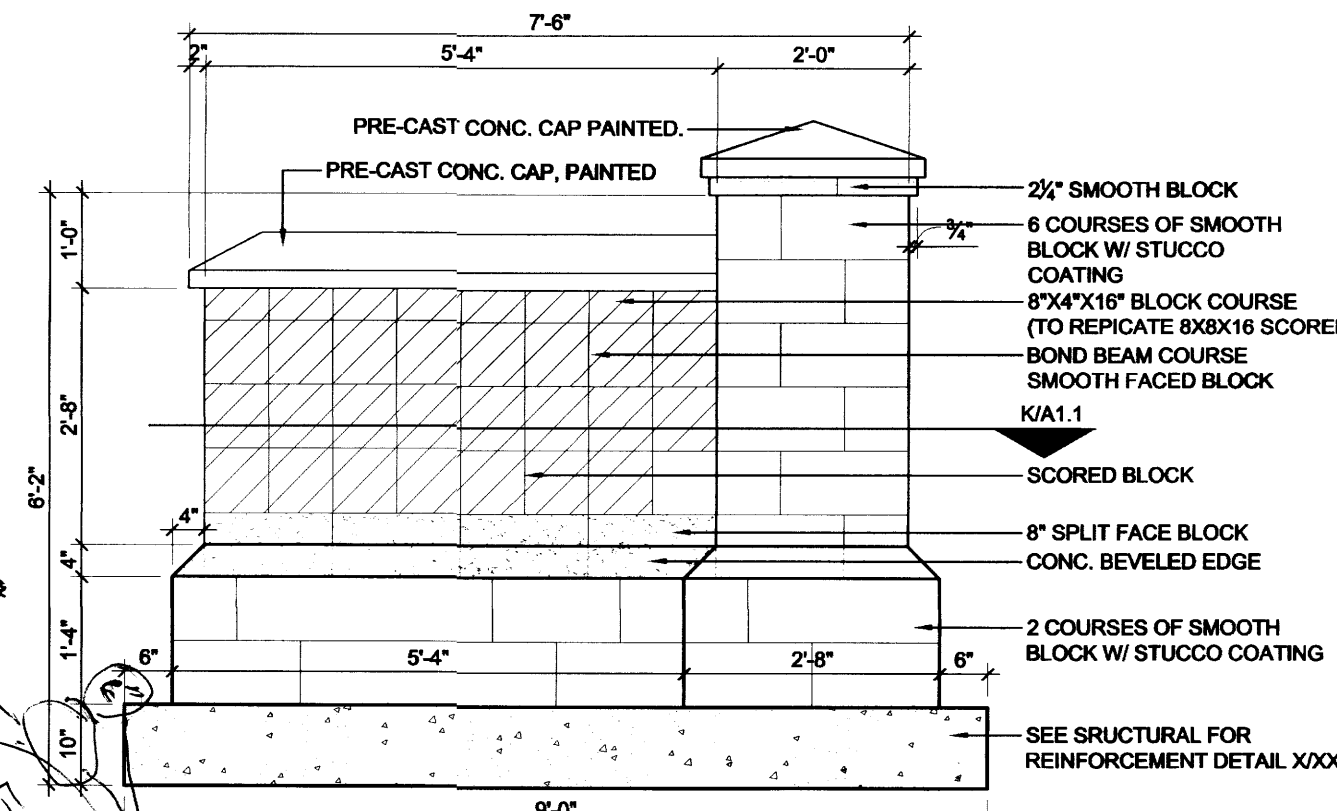
X MONUMENT SIGN (PLAN)
SCALE: 1/2" = 1'-0"



X MONUMENT SIGN (SECTION)
SCALE: 1/2" = 1'-0"



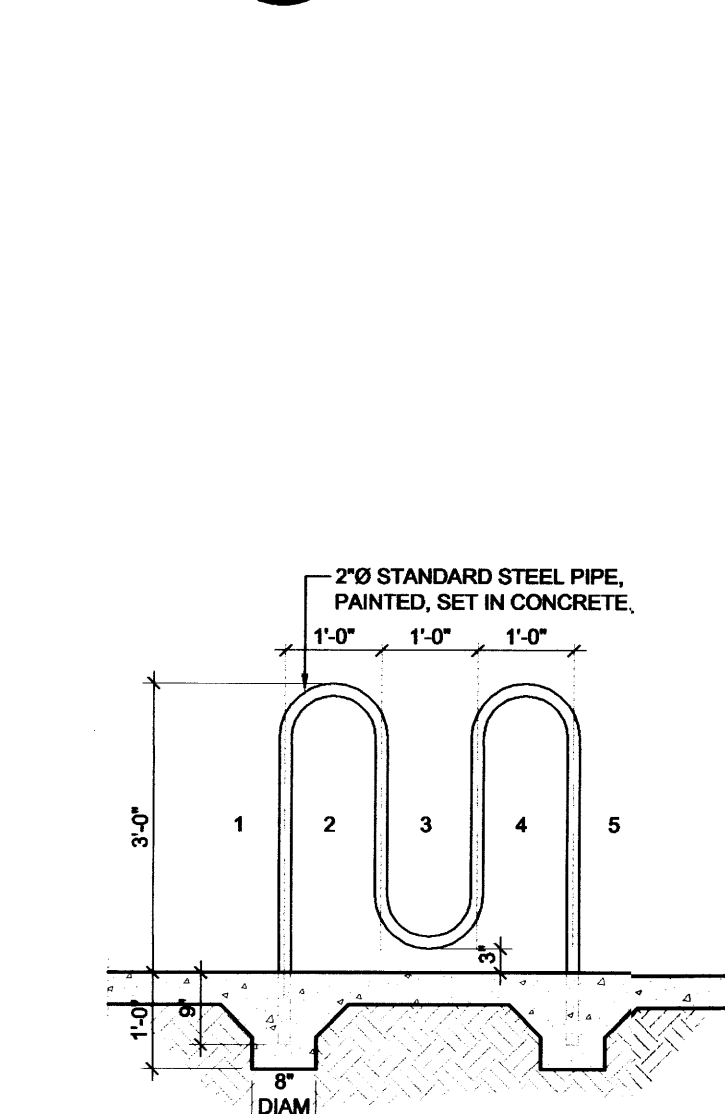
X MONUMENT SIGN (ELEVATION)
SCALE: 1/2" = 1'-0"



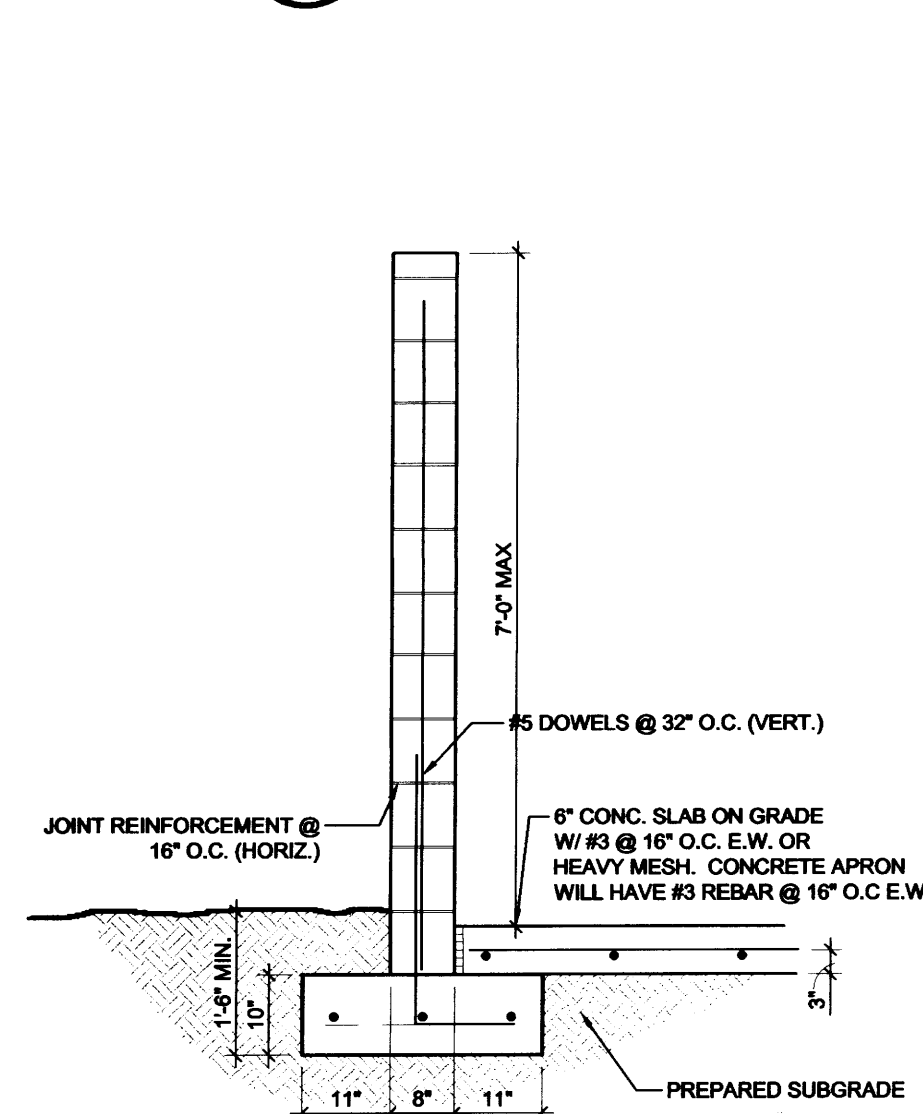
X MONUMENT SIGN (COURSING)
SCALE: 1/2" = 1'-0"

CMU TYPE LEGEND

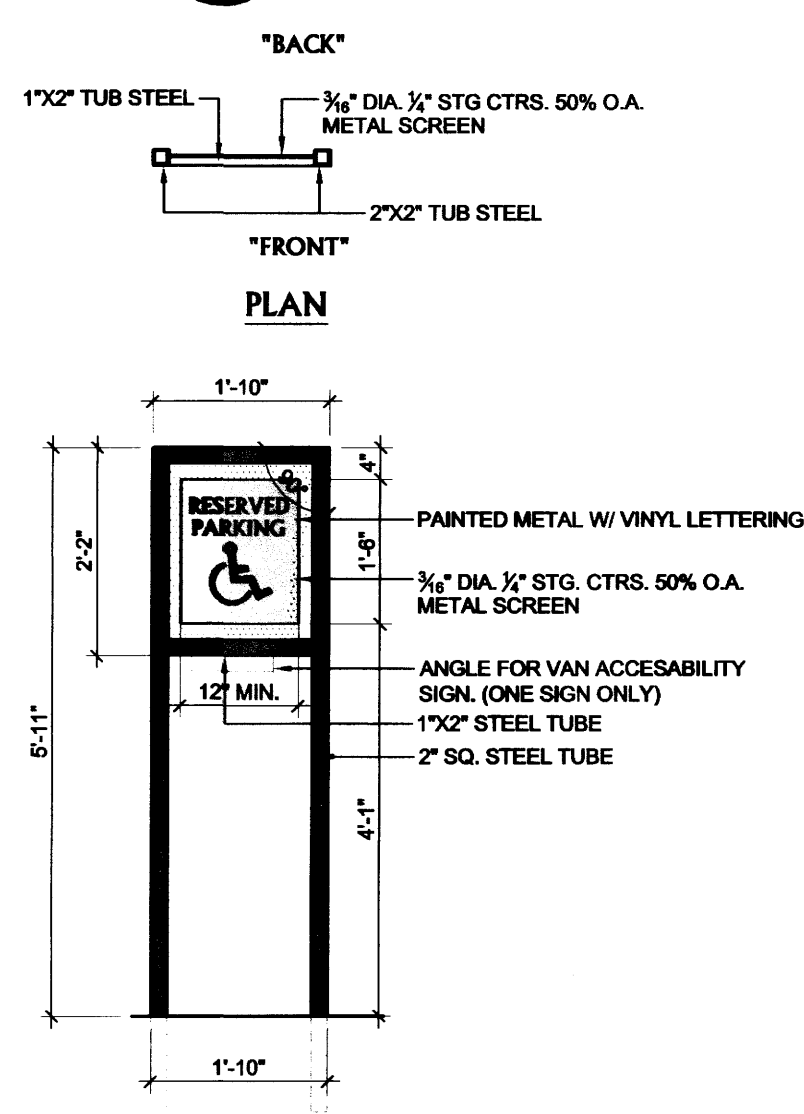
[Smooth Face Block Pattern]	SMOOTH FACE BLOCK
[Smooth Scored Block Pattern]	SMOOTH SCORED BLOCK
[Split Face Block Pattern]	SPLIT FACE BLOCK



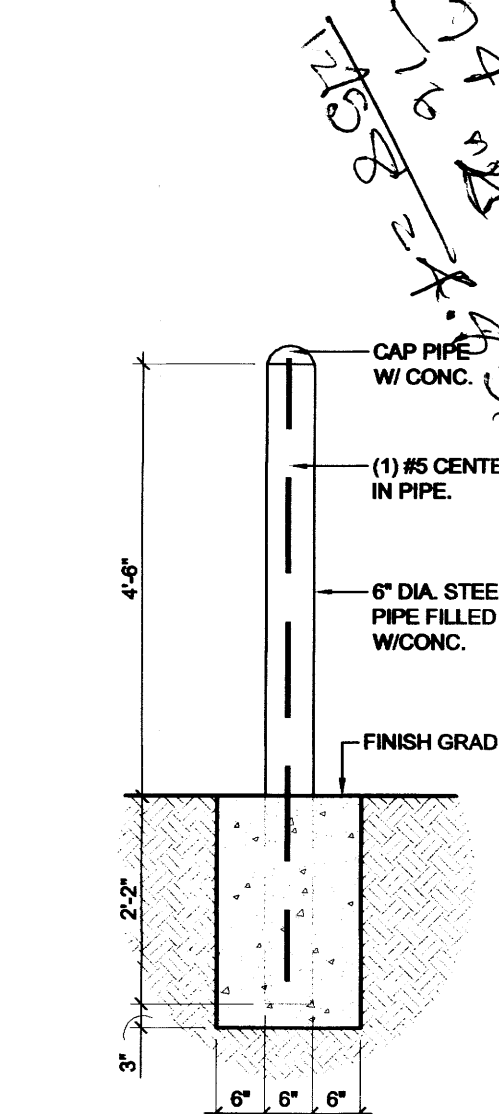
X BIKE RACK
SCALE: 1/4" = 1'-0"



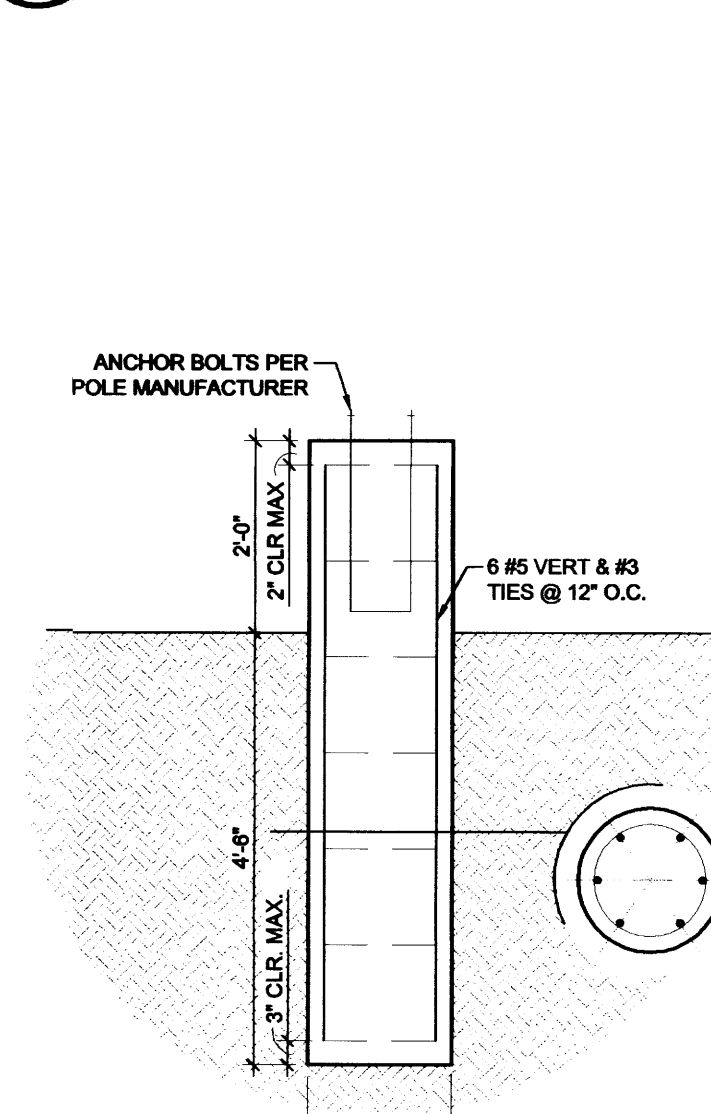
X CMU SCREEN WALL
SCALE: 1/4" = 1'-0"



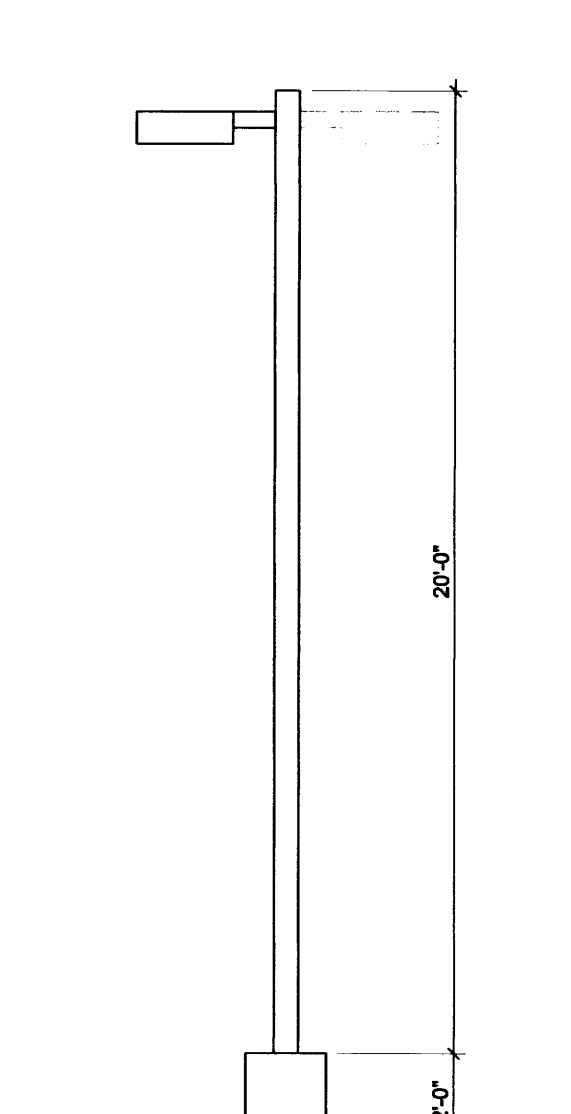
X HANDICAP SIGNAGE
SCALE: 1/2" = 1'-0"



X TYP. 6" BOLLARD
SCALE: 1/2" = 1'-0"



X LIGHT POLE FOOTING
SCALE: 1/4" = 1'-0"

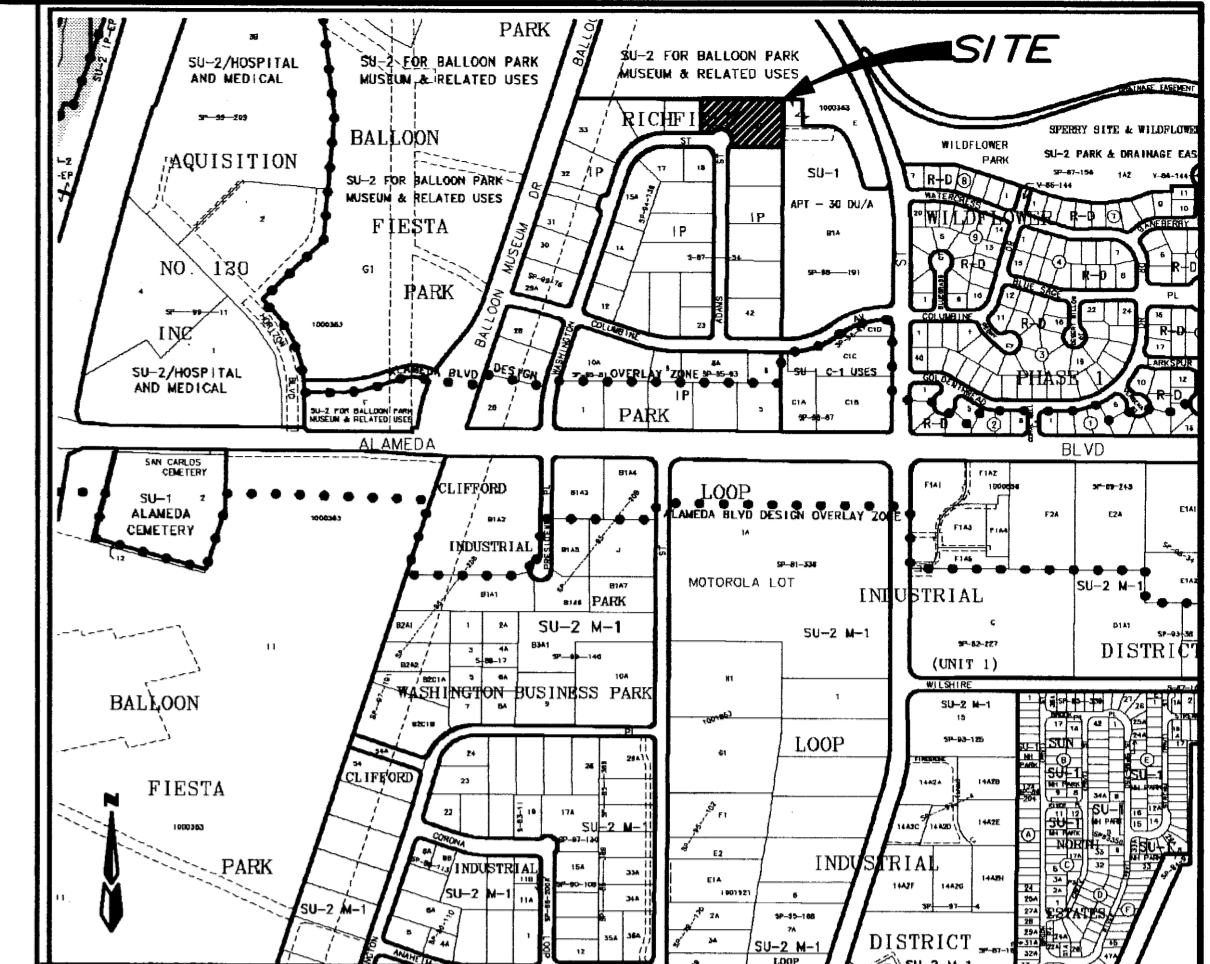


X LIGHT POLE
SCALE: 1/4" = 1'-0"

SITE PLAN DETAILS

9019 WASHINGTON OFFICE/WAREHOUSE COMPLEX
LOTS 36 & 37 RICHFIELD SUBDIVISION
9019 WASHINGTON N.E.
ALBUQUERQUE, NEW MEXICO 87113

MECHENBIE
CONSTRUCTION INC.
8809 WASHINGTON N.E. SUITE A
ALBUQUERQUE, NM 87113
OFFICE: (505) 828-3976
FAX: (505) 822-5296
WEB: WWW.MECHENBIE.COM



VICINITY MAP ZONE MAP: C-17-Z

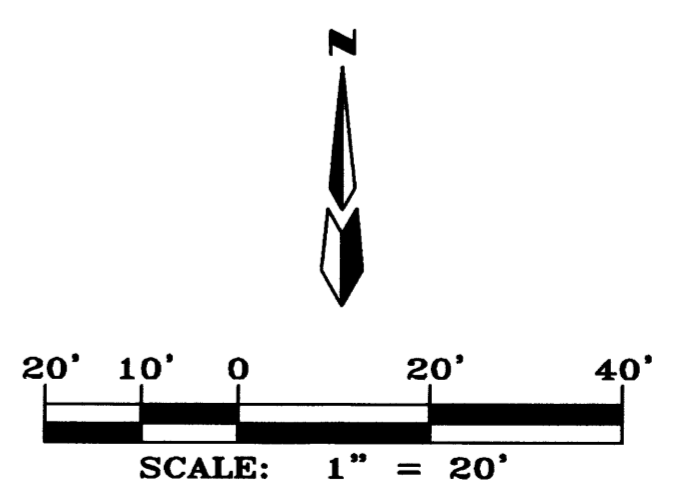
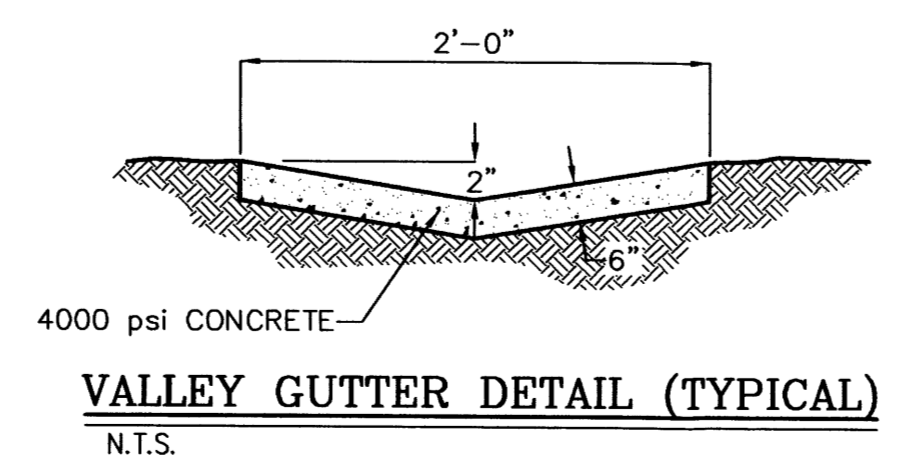
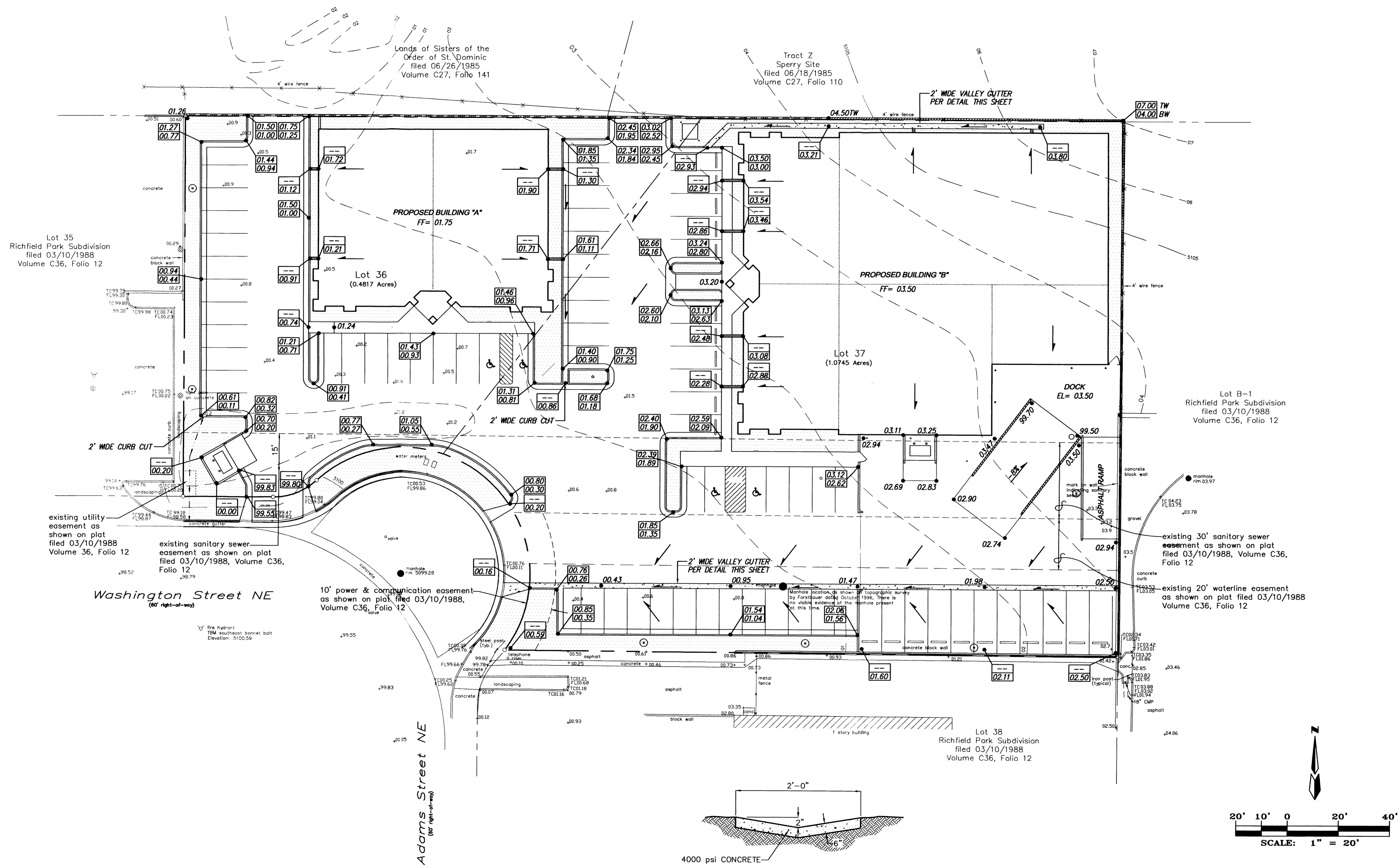
T B M (TEMPORARY BENCHMARK)
 TEMPORARY BENCHMARK IS AN EXISTING FIRE HYDRANT, LOCATED AT THE INTERSECTION OF WASHINGTON STREET & ADAMS STREET N.E., "TBM" SOUTHEAST BONNET BOLT, ELEVATION= 5100.59

ACS BENCHMARK
 BENCHMARK IS AN ACS 1 1/2" ALUMINUM DISK, STAMPED "ACS BM, 9-C17", EMBEDDED TO THE TOP OF CONCRETE CURB, SSE QUADRANT OF JEFFERSON ST. & WATERCRESS DR. N.E. ELEVATION= 5120.522

LEGAL DESCRIPTION
 LOTS 36 & 37, RICHFIELD PARK SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

LEGEND

---	EXISTING CONTOUR MAJOR
- - -	EXISTING CONTOUR MINOR
---	EXISTING SPOT ELEVATION
TC 04.23 FL 03.75	EXISTING TOP CURB ELEVATION EXISTING FLOWLINE ELEVATION
---	EXISTING CONCRETE CURB
---	EXISTING FENCE
●	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING LIGHT POLE
02.65	PROPOSED SPOT ELEVATION
03.00 02.50	PROPOSED TOP OF CURB ELEVATION PROPOSED FLOWLINE ELEVATION
---	PROPOSED SWALE
---	FLOW ARROW
FF= 02.50	PROPOSED FINISHED FLOOR ELEVATION
---	PROPOSED RETAINING WALL
---	PROPOSED GARDEN WALL
---	PROPOSED CONCRETE CURB

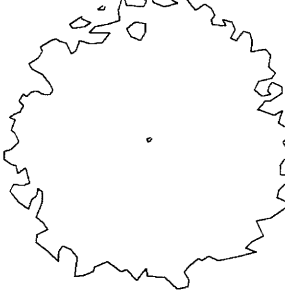
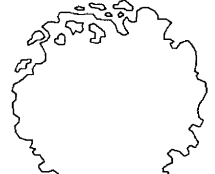
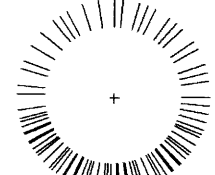
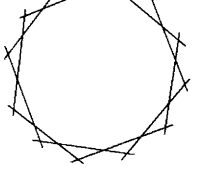
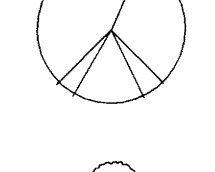
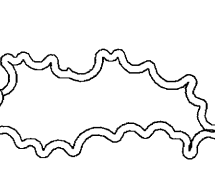
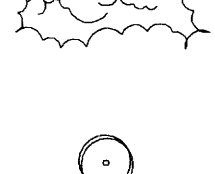
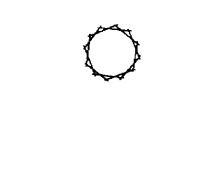
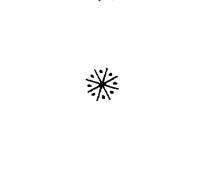
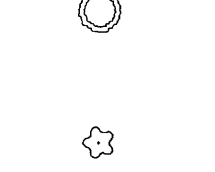
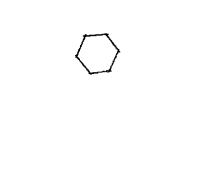
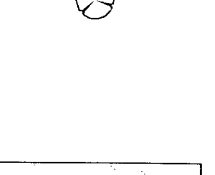
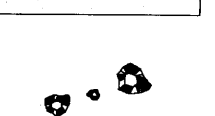


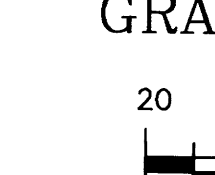

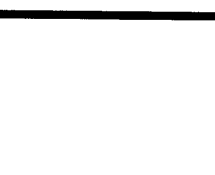
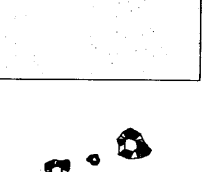



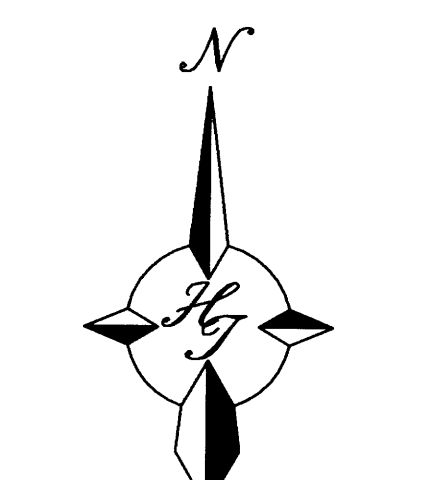
MECHENBIER OFFICE WAREHOUSE GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

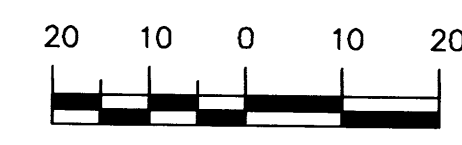
Designed: JSD	Drawn: DER	Checked: DMG	Sheet 1 of 1
Scale: 1" = 20'	Date: 01/09/03	Job: A04003	

PLANT LEGEND

-  RAYWOOD ASH (H) 9
Fraxinus pennsylvanica
2-1/2" Cal.
-  CHINESE PISTACHE 7
Pistachia chinensis
2" Cal.
-  AUSTRIAN PINE (H) 4
Pinus nigra
6'-8'
-  DESERT WILLOW (L) 6
Chilopsis linearis
24" Box
-  VITEX (L) 7
Vitex agnus-castus
2-1/2" Cal.
-  APACHE PLUME (L) 18
Fallugia paradoxa
5 Gal.
-  BLUE CHIP JUNIPER 21
Juniperus horizontalis 'Blue Chip'
1 Gal.
-  TAM JUNIPER (M) 39
Juniperus sabinia
1 Gal. 225sf
-  RUSSIAN SAGE (L) 6
Perovskia atriplicifolia
5 Gal. 25sf
-  LANARS BROOM (M) 8
Genista hispanica
5 Gal. 25 sf
-  RED YUCCA (L) 32
Hesperaloe parviflora
5 Gal.
-  BLUE MIST SPIREA (M) 15
Caryopteris clandonensis
5 Gal.
-  ROSEMARY (M) 27
Rosmarinus officinalis
2 Gal. 36sf
-  POTENTILLA (M) 25
Potentilla fruticosa
2 Gal.
-  CREEPING ROSEMARY (M) 18
Rosmarinus officinalis 'Prostrata'
1 Gal. 36sf
-  SANTOLINA (L)
Santolina virens
-  THREADGRASS (L) 73
Stipa tenuissima
-  LITTLE BUNNY FOUNTAIN GRASS (M)
Pennisetum alopecuroides 'Little Bunny'
1 Gal.
-  SANTA FE BROWN CHIP
WITH FILTER FABRIC
-  BOULDERS



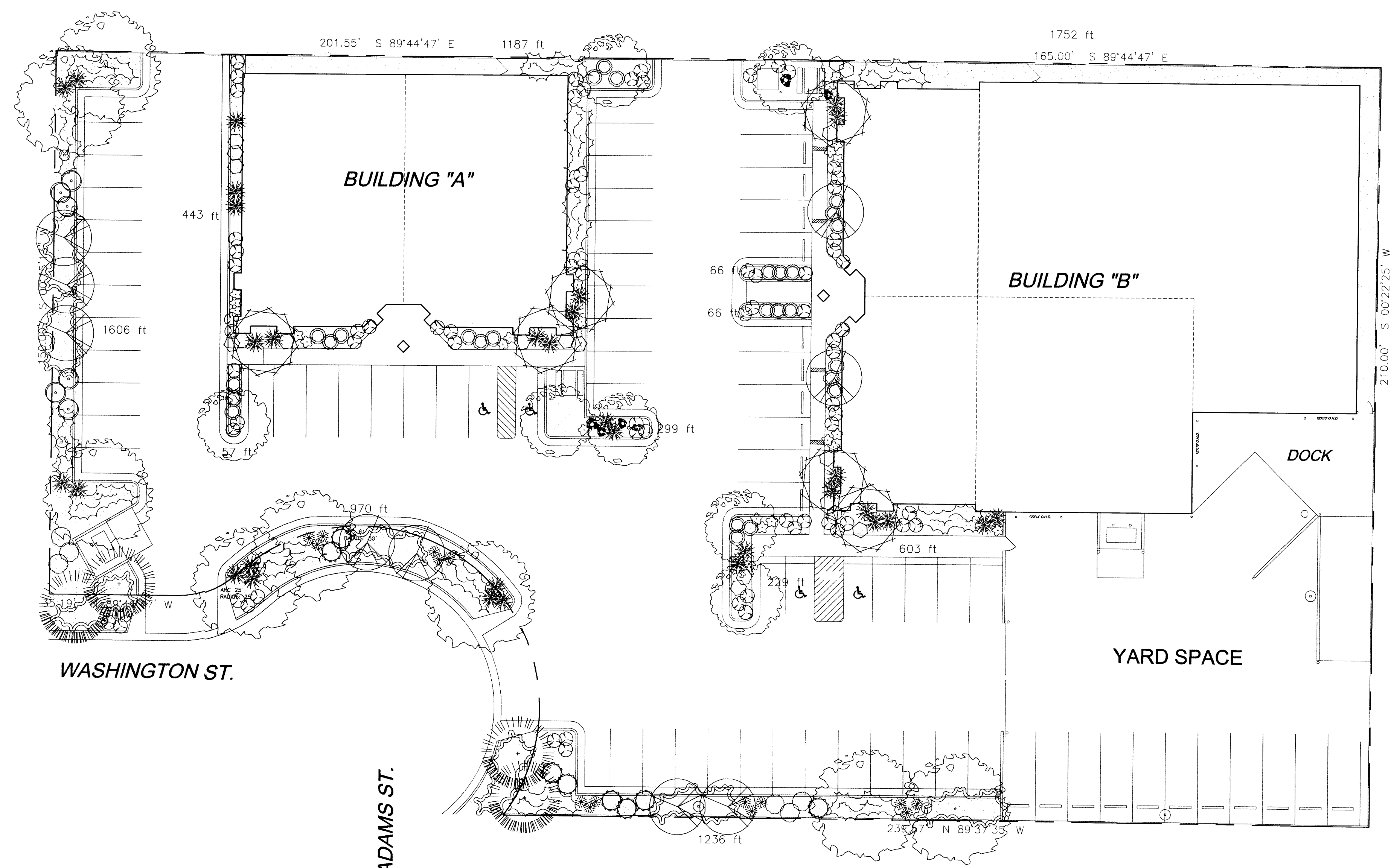
GRAPHIC SCALE



SCALE: 1"=20'

The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reissued or copied unless applicable fees have been paid or job order placed.



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Chip over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	67766	square feet
TOTAL BUILDINGS AREA, SCREENED YARD	33491	square feet
OFFSITE AREA	1312	square feet
NET LOT AREA	32963	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4945	square feet
TOTAL BED PROVIDED	5823	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	4367	square feet
TOTAL GROUND COVER PROVIDED	4577	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet
TOTAL LANDSCAPE PROVIDED	5823	square feet

LANDSCAPE PLAN

Plat of
 Lot 37-A
 Richfield Park Subdivision
 Being a Replat of
 Lot 36 & Lot 37
 Richfield Park Subdivision
 within Projected Section 14, T.11N., R.3E., N.M.P.M.
 within Elena Gallegos Grant
 Albuquerque, Bernalillo County, New Mexico
 January 2004

The purpose of this plat is to create one lot by eliminating the lot line between Lots 36 & 37.

Project No. 1003054 Application No. 03-Q1804

APPROVED AND ACCEPTED BY:

PLANNING DEPARTMENT, DRB CHAIR	DATE
CITY ENGINEER/HYDROLOGY	DATE
TRANSPORTATION DEVELOPMENT	DATE
UTILITY DEVELOPMENT	DATE
PARKS & RECREATION	DATE
CITY SURVEYOR	DATE
A.M.A.F.C.A.	DATE
REAL PROPERTY	DATE

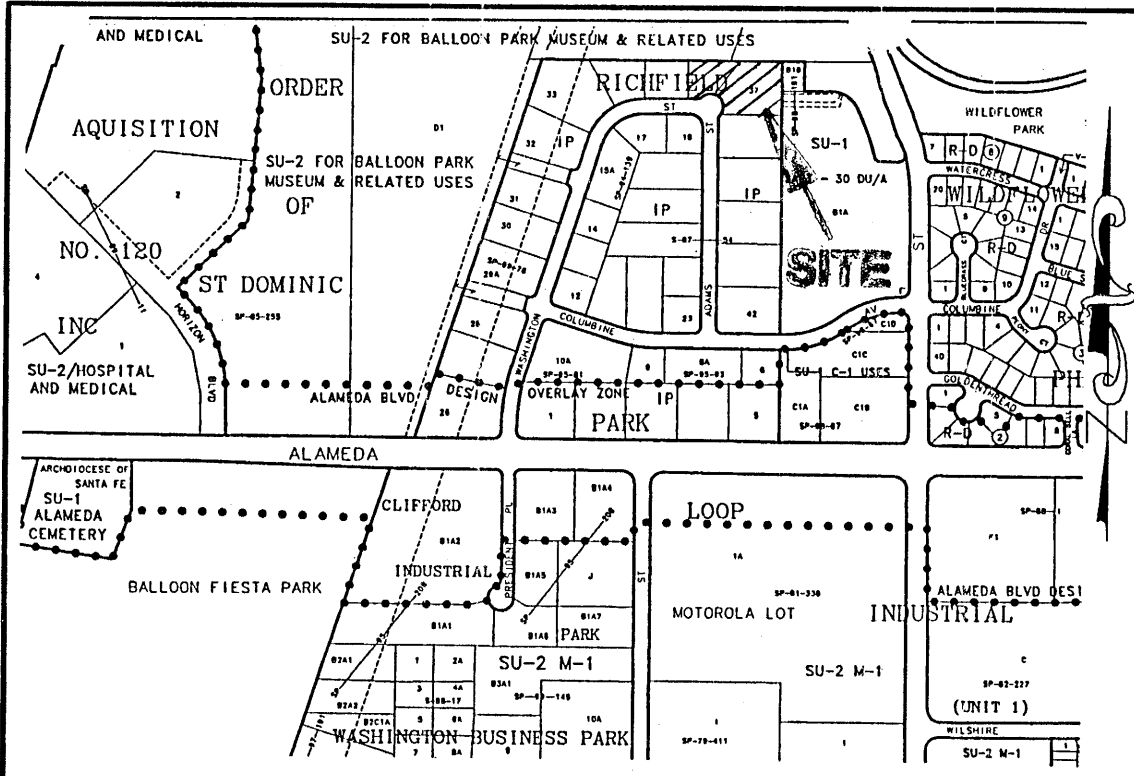
SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, licensed New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveying as set forth in the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for Surveying and the State Detailed Design Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Registration of Professional Engineers and Professional Land Surveyors effective October 1, 2000 and shall be a part of the record as indicated on Title Commitment No. 02120576MD issued by Stewart Title of Albuquerque, Inc. on December 26, 2002 and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer 1/19/04 Date
 NMP's No. 6126



Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032



no scale
 Vicinity Map

Talos Log Number 2003430382
 Zone Atlas Page Number C17
 DRB Case Number

Subdivision Data

- Total mileage of streets created by this plat is 0.0000
- Total number of lots created by this plat is 1.
- Total gross acreage: 1.5561 acres
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Where measured bearings and distances differ from record bearings and distances () - Indicates record.
- Documents used:
 - Title Commitment File No. 02120576MD issued by Stewart Title of Albuquerque, L.L.C., effective date December 26, 2002.
 - Plat of Richfield Park Subdivision filed 03/10/1988 in Volume C36, Folio 12.
 - Plat of Richfield Park Tract A-1 filed 08/29/1985 in Volume C28, Folio 140.
- Date of field survey: February 20, 2003.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- The Public Service Co. of NM-Electric Services Division for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
 - The Public Service Co. of NM-Gas Services Division for the installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
 - Quest for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
 - Comcast Cable for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service.
- Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or poles, decking, or any structures adjacent to, within, or near easements shown on this plat.

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QUEST COMMUNICATIONS	DATE
COMCAST CABLE	DATE

LEGAL DESCRIPTION

A certain parcel of land being identified as Lots 36 & 37, Richfield Park Subdivision, as the same are shown and designated on the plat entitled "PLAT FOR RICHFIELD PARK SUBDIVISION, ALBUQUERQUE, NEW MEXICO", filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 10, 1988 in Volume C36, Folio 12.

FREE CONSENT AND DEDICATION

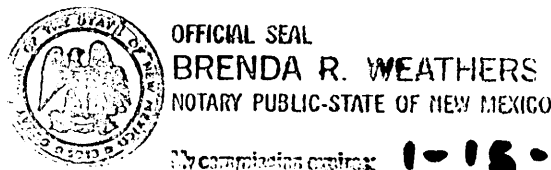
The platting of the land comprising Tract 37-A as shown hereon, and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees.

Amicus, L.L.C.
 John E. Mechenbier
 Managing Member

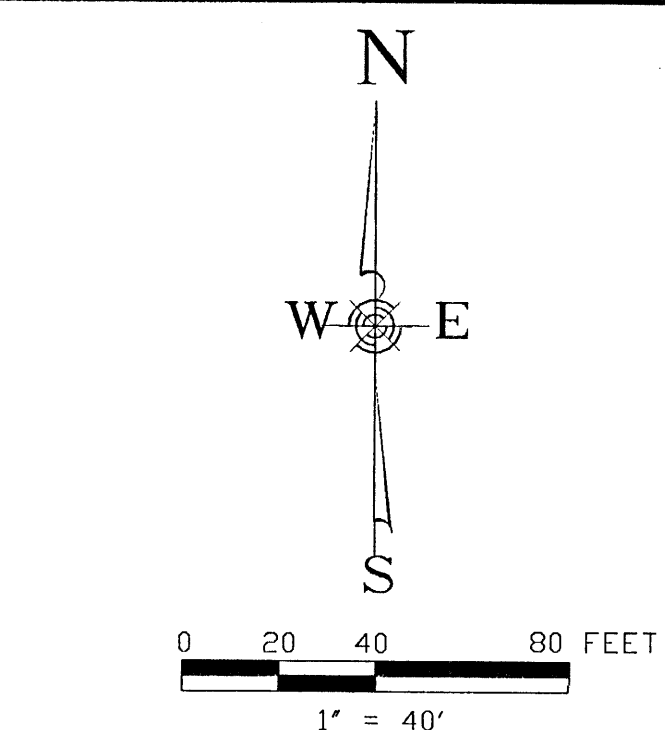
ACKNOWLEDGMENT

State of New Mexico) SS
 County of Bernalillo)
 This instrument was acknowledged before me this 22nd day of January, 2004 by John E. Mechenbier.

Notary Public Brenda R. Weathers My Commission expires 1-15-06

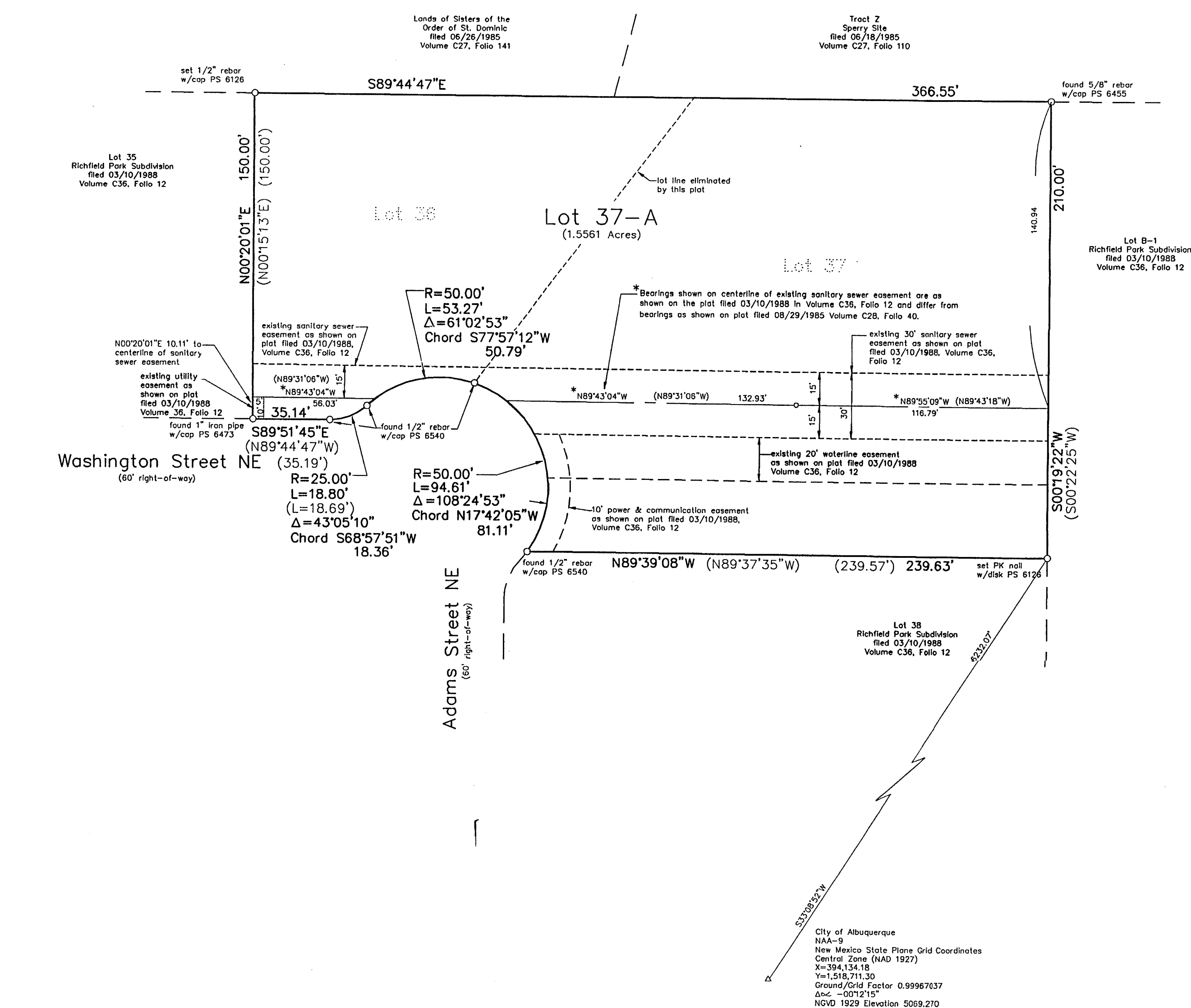


My Commission expires 1-15-06



Plat of
 Lot 37-A
 Richfield Park Subdivision
 Being a Replat of
 Lot 36 & Lot 37
 Richfield Park Subdivision
 within Projected Section 14, T.11N., R.3E., N.M.P.M.
 within Elena Gallegos Grant
 Albuquerque, Bernalillo County, New Mexico
 January 2004

The purpose of this plat is to create one lot by eliminating the lot line between Lots 36 & 37.



SURVEYOR'S AFFIDAVIT

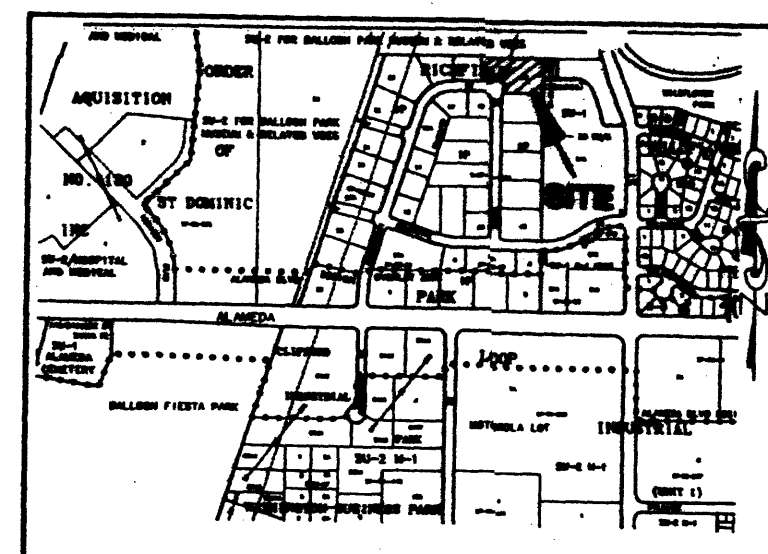
I, Ronald A. Forstbauer, licensed New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveying as set forth in the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for Surveying and the State Detailed Design Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Registration of Professional Engineers and Professional Land Surveyors effective October 1, 2000 and shall be a part of the record as indicated on Title Commitment No. 02120576MD issued by Stewart Title of Albuquerque, Inc. on December 26, 2002 and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer 1/19/04 Date
 NMP's No. 6126



Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032

AGPS ✓



no scale
Vicinity Map

Title Log Number 2003430382
Zone Atlas Page Number C17
DRB Case Number

Subdivision Data

- Total mileage of streets created by this plot is 0.0000
- Total number of lots created by this plot is 1.
- Total gross acreage: 1.5561 acres.
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Where measured bearings and distances differ from record bearings and distances () - indicates record.
- Documents used:
 - Title Commitment File No. 02120578MD issued by Stewart Title of Albuquerque, L.L.C., effective date December 26, 2002.
 - Plat of Richfield Park Subdivision filed 03/10/1988 in Volume C36, Folio 12.
 - Plat of Richfield Park Tract A-1 filed 06/29/1983 in Volume C28, Folio 140.
 - Date of field survey: February 20, 2003.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plot are granted for the common and joint use of:

- The Public Service Co. of New Mexico Electric Services Division for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- The Public Service Co. of New Mexico Gas Services Division for the installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Consent for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast Cable for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working areas space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein, no building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of poles, decking, or any structures adjacent to, within, or near easements shown on this plot.

PWM ELECTRIC SERVICES	DATE
PWM GAS SERVICES	DATE
QUEST COMMUNICATIONS	DATE
COMCAST CABLE	DATE

LEGAL DESCRIPTION

A certain parcel of land being identified as Lots 36 & 37, Richfield Park Subdivision, as the same are shown and designated on the plat entitled "PLAT FOR RICHFIELD PARK SUBDIVISION, ALBUQUERQUE, NEW MEXICO", filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 10, 1988 in Volume C36, Folio 12.

FREE CONSENT AND DEDICATION

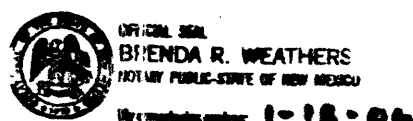
The plotting of the land comprising Tract 37-A as shown herein, and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant of easements shown hereon, including the right of ingress and egress and the right to trim interfering trees.

Amador, L.L.C.
John E. Macomber
John E. Macomber
Mapping Number

ACKNOWLEDGMENT

State of New Mexico) ss
County of Bernalillo)
This instrument was acknowledged before me this 12th day of January, 2004 by John E. Macomber.

Notary Public *Barbara R. Westling* My Commission expires 1-15-06



Plat of
Lot 37-A
Richfield Park Subdivision
Being a Replat of
Lot 36 & Lot 37
Richfield Park Subdivision
within Projected Section 14, T.11N., R.3E., N.M.P.M.
within Elena Gallegos Grant
Albuquerque, Bernalillo County, New Mexico
January 2004

The purpose of this plot is to create one lot by eliminating the lot line between Lots 36 & 37.

Project No. 1003054 Application No. 03-01804

APPROVED AND ACCEPTED BY:

Sharon Moton 3/3/04
PLANNING DEPARTMENT, DRB CHAIR DATE

Brad J. Biker 3/3/04
CITY ENGINEER/HYDROLOGIST DATE

Bill Ray 3-3-04
TRANSPORTATION DEVELOPMENT DATE

Ryan A. Dean 3-3-04
UTILITY DEVELOPMENT DATE

Christina Sandoval 3/3/04
PARKS & RECREATION DATE

John E. Macomber 1-26-04
CITY SURVEYOR DATE

Brad J. Biker 3/3/04
A.M.A.F.C.A. DATE

N/A
REAL PROPERTY DATE

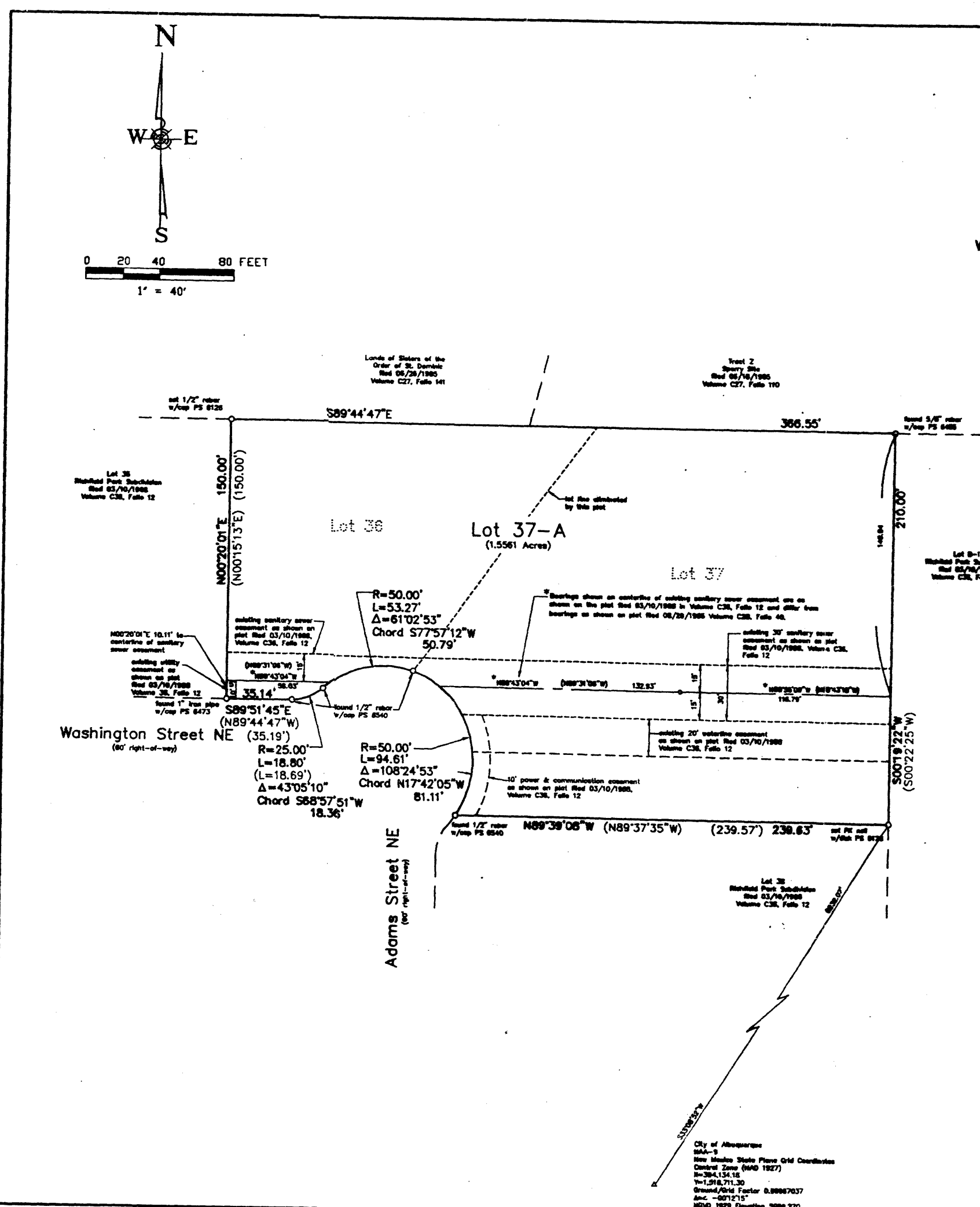
SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, licensed New Mexico Land Surveyor No. 6126, do hereby certify that the plot shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveying as set forth in the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying as adopted by the Albuquerque Board of Engineers and Professional Land Surveyors effective October 1, 2000 and amended by Ordinance No. 02120578MD issued by Stewart Title of Albuquerque on December 26, 2002 and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer 1/12/04
Ronald A. Forstbauer Date
M&PS No. 6126



Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032



Plat of
Lot 37-A
Richfield Park Subdivision
Being a Replat of
Lot 36 & Lot 37
Richfield Park Subdivision
within Projected Section 14, T.11N., R.3E., N.M.P.M.
within Elena Gallegos Grant
Albuquerque, Bernalillo County, New Mexico
January 2004

The purpose of this plot is to create one lot by eliminating the lot line between Lots 36 & 37.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # *111704* PROPERTY OWNER'S SIGNATURE *Ronald A. Forstbauer* P. Forstbauer 3/1/04

I, Ronald A. Forstbauer, licensed New Mexico Land Surveyor No. 6126, do hereby certify that the plot shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveying as set forth in the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying as adopted by the Albuquerque Board of Engineers and Professional Land Surveyors effective October 1, 2000 and amended by Ordinance No. 02120578MD issued by Stewart Title of Albuquerque on December 26, 2002 and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer 1/12/04
Ronald A. Forstbauer Date
M&PS No. 6126



Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

