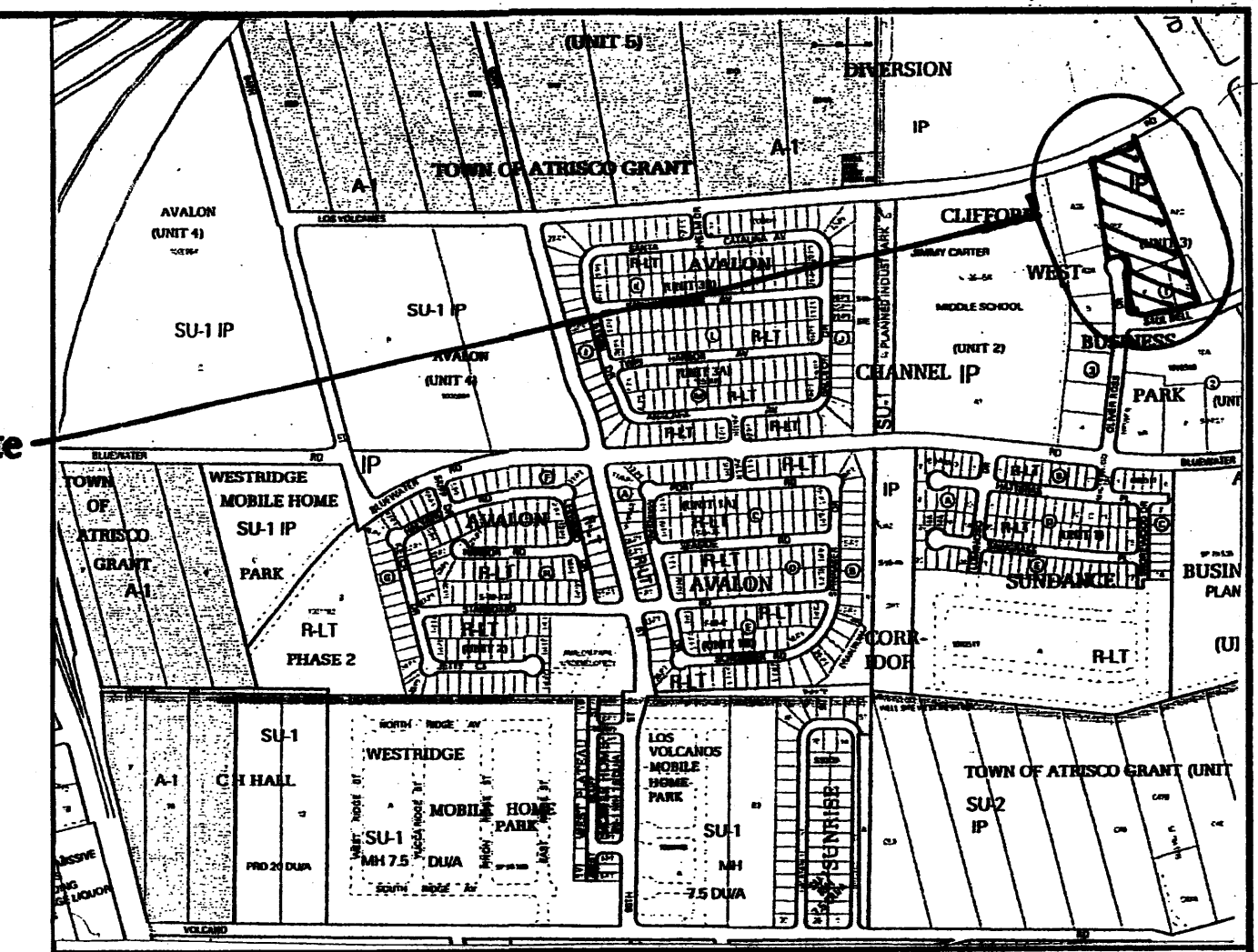


CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	970.00'	508.66'	30°02'43"	N74°58'40"E	502.85'
C2	970.00'	77.67'	4°35'16"	N62°14'57"E	77.65'
C3	970.00'	430.99'	25°27'27"	N77°16'18"E	427.45'
C4	25.00'	38.39'	87°59'00"	S46°00'30"E	34.73'
C5	1530.00'	152.46'	5°42'34"	N04°52'17"W	152.40'
C6	25.00'	16.32'	37°24'10"	S10°58'31"W	16.03'
C7	45.00'	122.63'	156°08'15"	N48°23'31"W	88.06'
C8	2323.83'	369.28'	9°06'17"	N64°30'28"E	368.89'
C9	2323.83'	259.98'	6°24'36"	N65°51'18"E	259.84'
C10	2323.83'	109.30'	2°41'41"	N61°18'10"E	109.29'
C11	50.00'	78.54'	90°00'14"	N75°02'34"W	70.71'
C12	25.00'	39.27'	89°59'46"	N14°57'26"E	35.35'



Vicinity Map K-9

Design Data

LEGAL DESCRIPTION: TRACT A-2-C-1  
BLOCK ONE,  
CLIFFORD WEST BUSINESS PARK UNIT 3,  
ALBUQUERQUE, NM

CURRENT ZONING: IP

ZONE ATLAS PAGE: K-9

ADDRESS:  
BUILDING NO. 1: 8500 LOS VOLCANES ROAD NW  
BUILDING NO. 2: 8551 SAUL BELL ROAD NW

SITE AREA: 6.4565 ACRES

BUILDING AREA:  
BUILDING NO. 1: 44,800 SQ. FT.  
BUILDING NO. 2: 40,040 SQ. FT.

TYPE OF CONSTRUCTION: II-B

FIRE SPRINKLERED: YES

PROPOSED USE: OFFICE/WAREHOUSE  
ASSUME 20 PERCENT OFFICE: 16,968 SQ. FT.  
ASSUME 80 PERCENT WAREHOUSE: 67,872 SQ. FT.

OFF-STREET PARKING REQUIRED:  
 $16,968/200 + 67,872/2,000 = 119$  SPACES

OFF-STREET PARKING PROVIDED:  
165 SPACES (INCLUDES 8 HC DESIGNATED SPACES)

BICYCLE PARKING REQUIRED:  
 $119/20 = 6$  SPACES

BICYCLE PARKING PROVIDED: 8 SPACES

PROJECT NUMBER: 1003057  
Application Number: 05-0080

Is an Infrastructure List required? ( ) Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

*[Signature]* 1-8-05  
Traffic Engineering, Transportation Division Date

*[Signature]* 6-29-05  
Water Utility Department Date

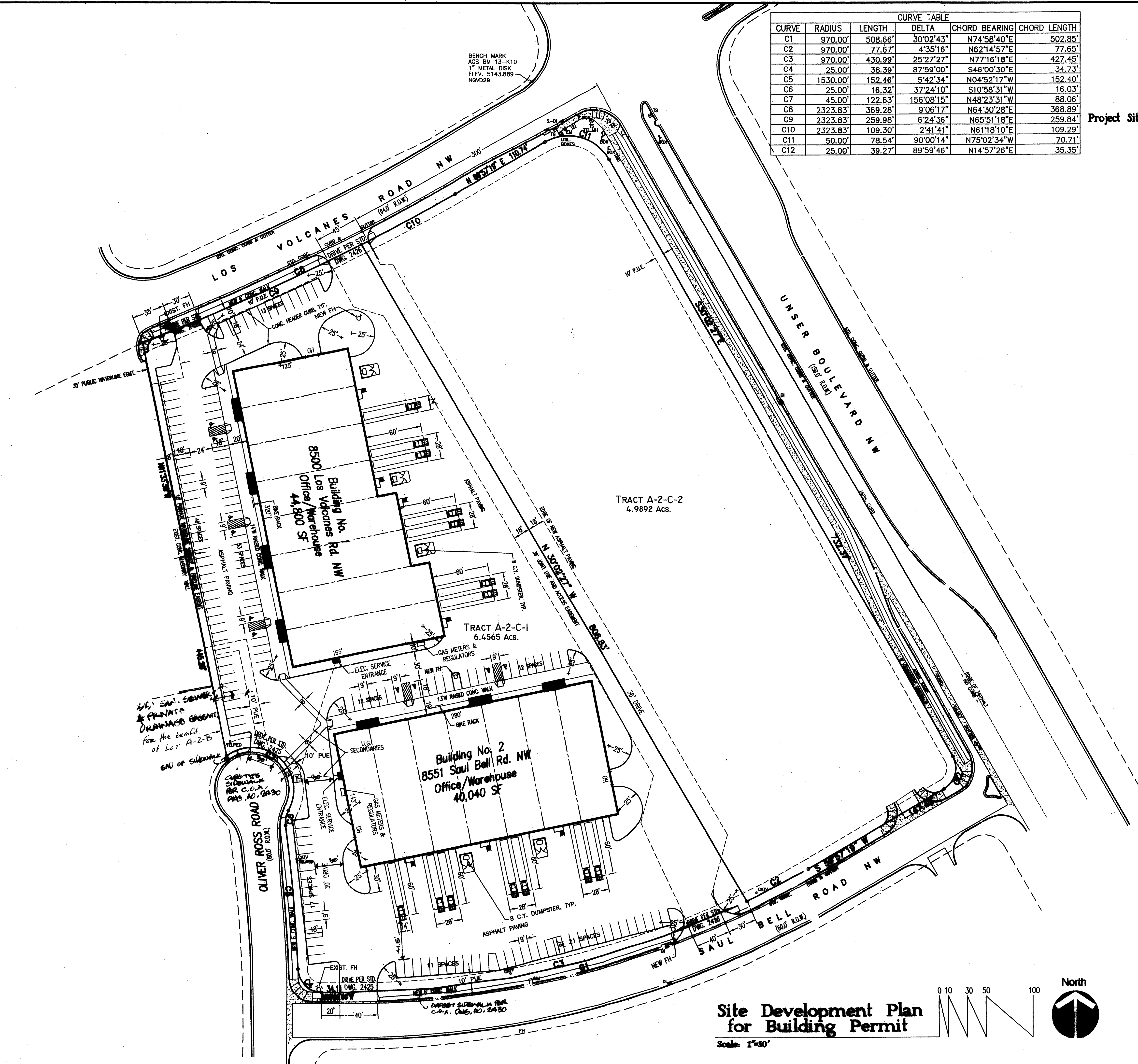
*[Signature]* 4/29/05  
Parks and Recreation Department Date

*[Signature]* 6-29-05  
City Engineer Date

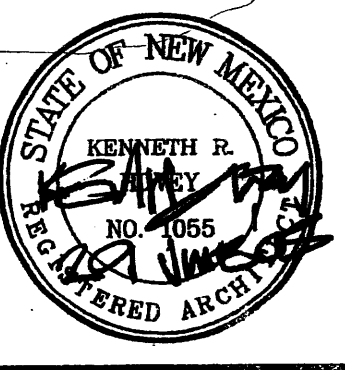
*[Signature]* 7/9/05  
Solid Waste Management Date

*[Signature]* 9/2/05  
DRB Chairperson, Planning Department Date

AFD PLANS CHECKING OFFICE  
924-3611  
APPROVED/DISAPPROVED  
BY: [Signature]  
DATE: 7-3-05



Site Development Plan for Building Permit  
Scale: 1"=50'



Gateway West Business Park  
UNSER BLD. NW AT LOS VOLCANES ROAD, ALBUQUERQUE, NEW MEXICO  
DEVELOPED BY 1-40 GATEWAY WEST, LLC \* (480) 505-4048

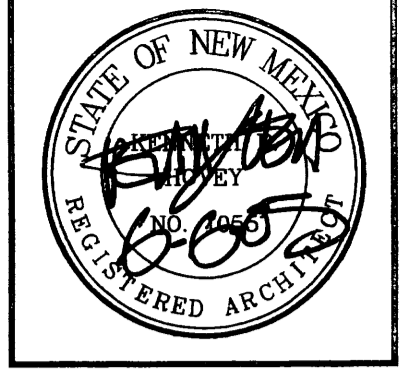
KEN HOVEY, ARCHITECT  
505 251-8458 • 3808 5TH AVENUE SE • ALBUQUERQUE, NM • 87108

JOB NO:	0506
DATE:	6 JUNE 2005
REVISIONS:	
	21 JUNE 2005

SHEET NO.  
C.1

1003057





**Gateway West Business Park**  
 UNSER BLVD. NW AT LOS VOLCANES STREET, ALBUQUERQUE, NEW MEXICO  
 DEVELOPED BY 1-40 GATEWAY WEST, LLC \* (480) 505-4048

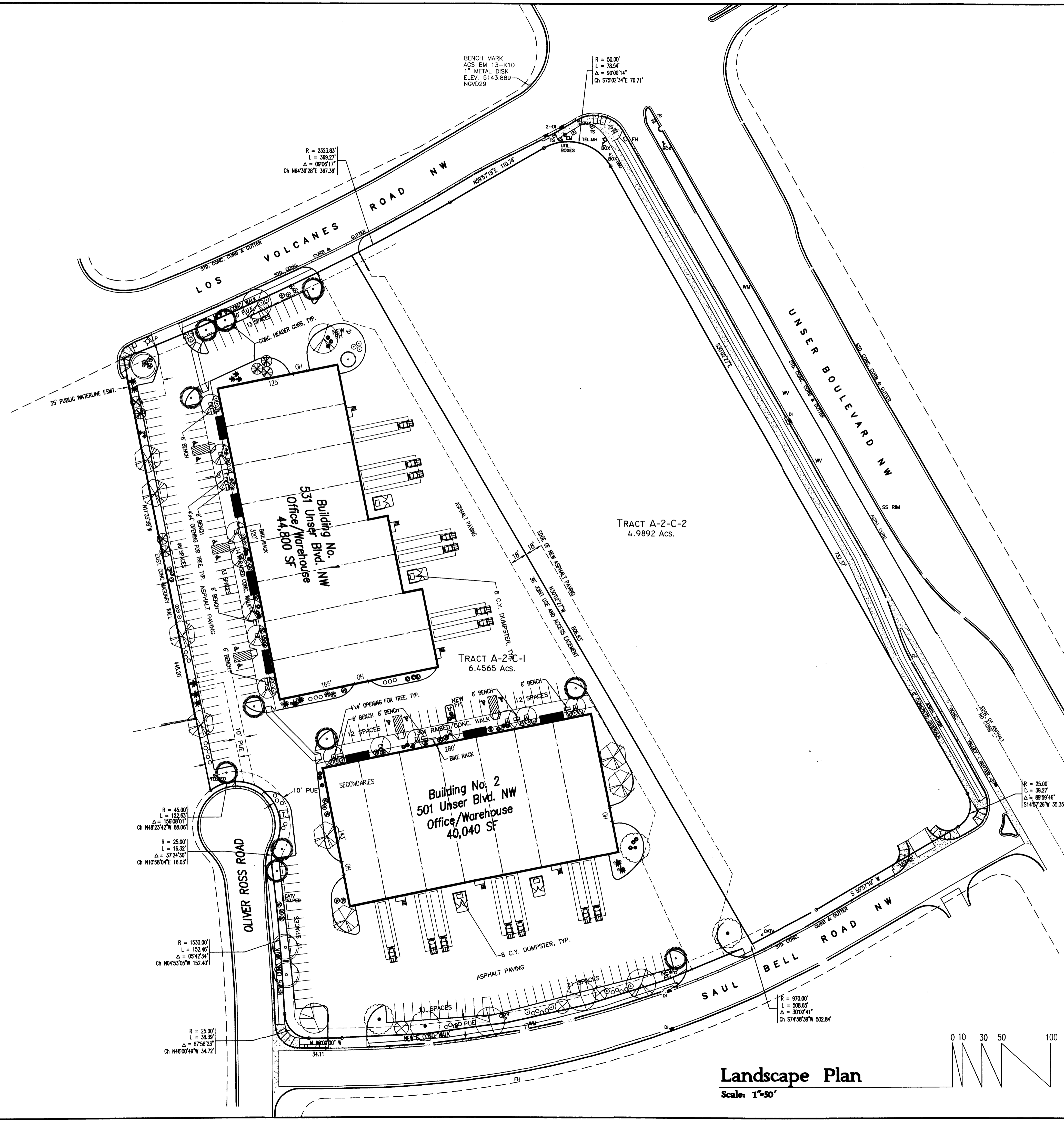
**KEN HOVEY, ARCHITECT**  
 1505 25th Avenue SE • Albuquerque, NM • 87108

JOB NO:	0508
DATE:	6 JUNE 2005
REVISIONS	

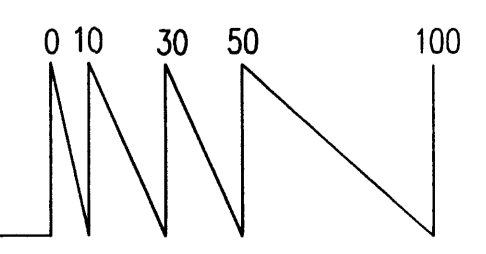
SHEET NO.  
C.2

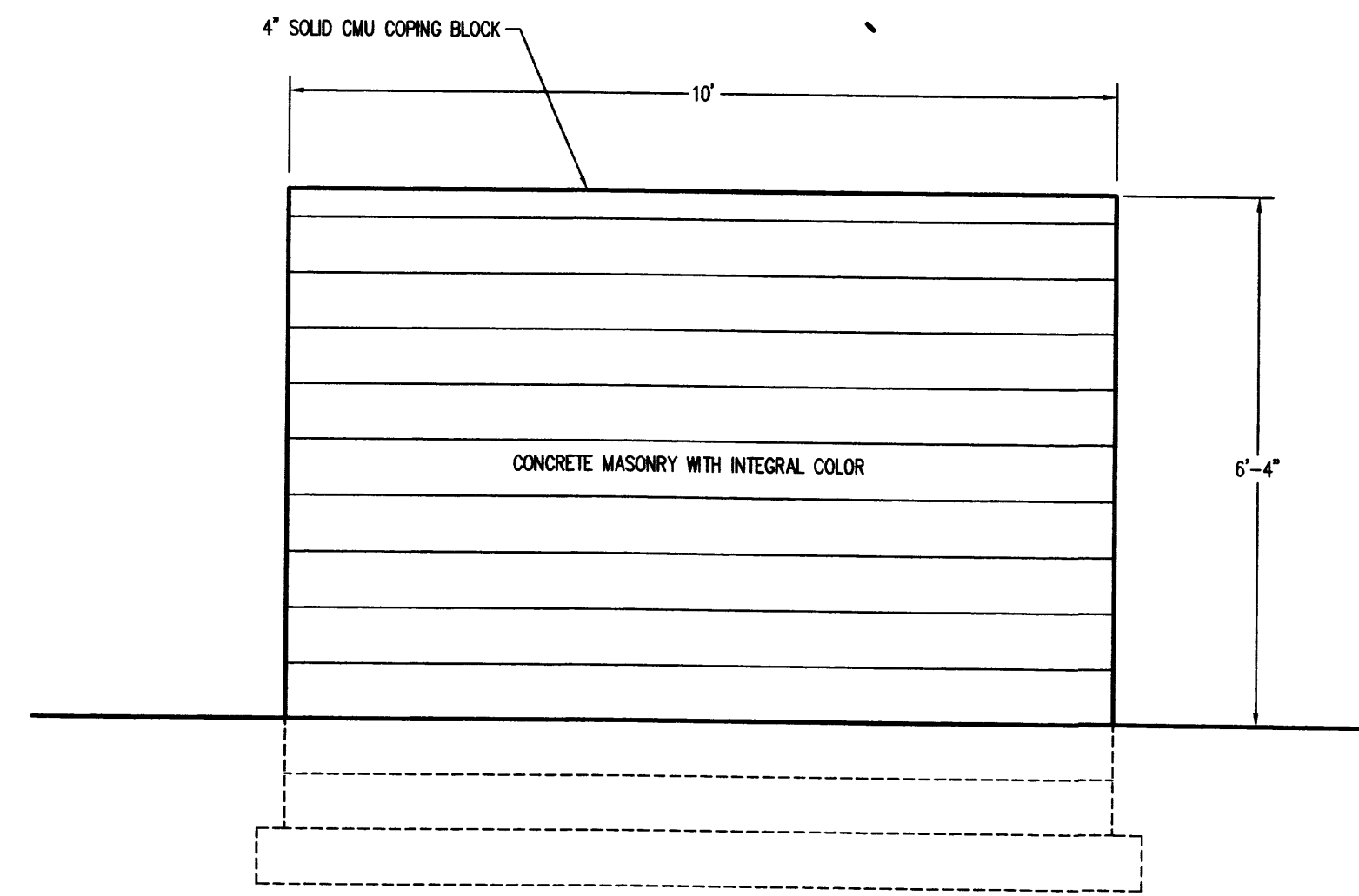
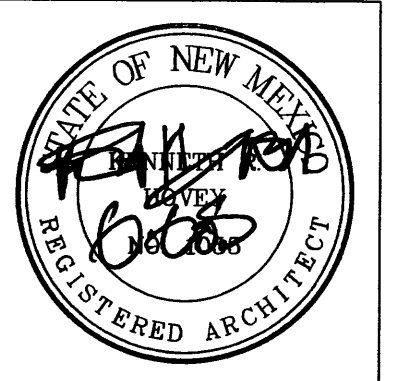
### Plant Legend

Symbol	Scientific Name Common Name	Size	Remarks	Water Use
<b>TREES</b>				
⊕	Chilopsis Linearis Desert Willow	15 Gal.	8' ht. x 4' spr.	Medium
⊗	Malus "Prairiefire" Prairiefire Crabapple	15 Gal.	8' ht. x 4' spr.	Medium
⊖	Gleditsia triacanthos inermis "Skyline" Skyline Honeylocust	2" Cal.	14' ht. x 4' spr.	Medium
⊙	Populus fremontii "wisleyzenii" Rio Grande Cottonwood	2" Cal.	14' ht. x 4' spr.	High
⊗	Pinus edulis Pinon Pine	15 Gal.	8' ht. x 4' spr.	Medium
<b>SHRUBS</b>				
⊙	Artemisia "Fovis Castle" "Fovis Castle" Sage	1 Gal.	3' o.c. 3' ht. x 3' spr.	Medium
⊗	Caryopteris clandonensis Flowering Cherry	5 Gal.	3' o.c. 3' ht. x 3' spr.	Medium
⊙	Chrysothamnus nauseosus Chamisa	1 Gal.	5' o.c. 4' ht. x 4' spr.	Low
⊗	Cotoneaster clandonensis Cranberry Cotoneaster	5 Gal.	5' o.c. 3' ht. x 5' spr.	Medium
*	Hesperaloe parviflora Red Yucca	1 Gal.	3' o.c. 3' ht. x 3' spr.	Medium
⊗	Juniperus sabinia "Buffalo" Buffalo Juniper (female)	5 Gal.	6' o.c. 2' ht. x 6' spr.	Low
⊗	Fallugia paradoxa Apache Plume	1 Gal.	5' o.c. 4' ht. x 4' spr.	Low
⊙	Rosmarinus officinalis "Tuscan Blue" Tuscan Blue Rosemary	5 Gal.	3' o.c. 3' ht. x 3' spr.	Medium
<b>GRASSES</b>				
⊙	Muhlenbergia cap. "Regal Mist" Regal Mist	1 Gal.	3' o.c. 3' ht. x 3' spr.	Medium
<b>GROUNDCOVER</b>				
PLANTING AREAS SHALL BE TOP DRESSED WITH 3" MINIMUM LAYER OF SANTA FE BROWN CRUSHER FINES OVER WEED CONTROL FABRIC.				
<b>IRRIGATION</b>				
IRRIGATION STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED DRIP IRRIGATION SYSTEM WILL BE USED TO IRRIGATE ALL PLANT MATERIALS.				
<b>LANDSCAPE COVER</b>				
THE PLANT MATERIALS SHOWN ON THIS PLAN WILL, WHEN MATURE, COVER 75 PERCENT OF THE LANDSCAPE AREA AS REQUIRED BY THE C.O.A. ZONING ORDINANCE.				
<b>LANDSCAPE MAINTENANCE</b>				
MAINTENANCE OF ALL PLANT MATERIALS, INCLUDING THOSE IN THE PUBLIC R.O.W., ARE THE RESPONSIBILITY OF THE OWNER.				
<b>LANDSCAPE REQUIREMENTS</b>				
SITE AREA:	281,245 SQ. FT.			
BUILDING AREA (INCLUDES ENTRIES):	(86,300 SQ. FT.)			
NET SITE AREA:	194,945 SQ. FT.			
REQ'D. LANDSCAPE AREA (15 PERCENT):	29,242 SQ. FT.			
ON-SITE LANDSCAPE AREA:	25,550 SQ. FT.			
LANDSCAPE AREA IN R.O.W.:	1,950 SQ. FT.			
AREA OF CONC. WALK REQ'D BY ZONING CODE IN EXCESS OF 8 FEET:	3,490 SQ. FT.			
TOTAL LANDSCAPE AREA:	30,990 SQ. FT.			

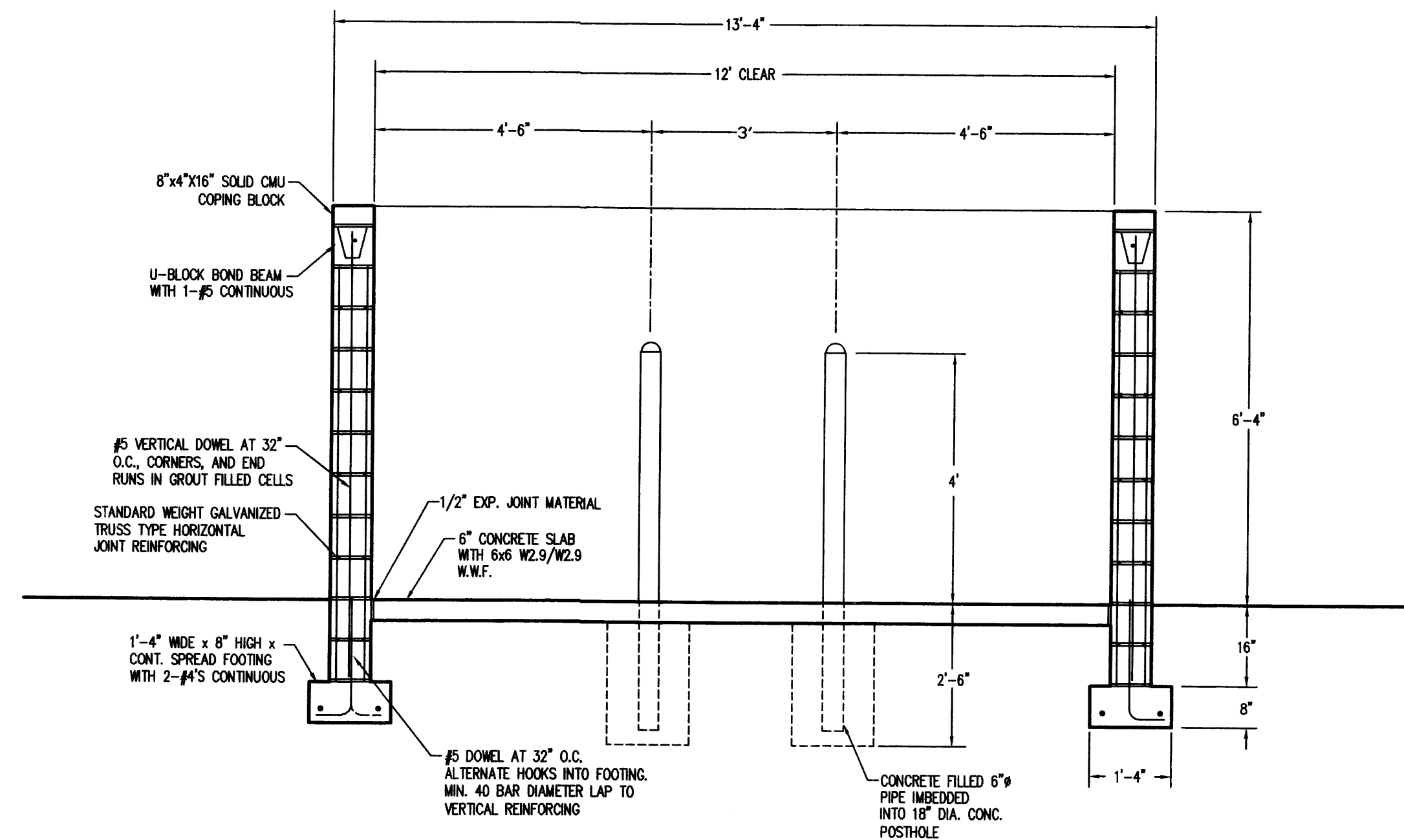


**Landscape Plan**  
 Scale: 1"=50'

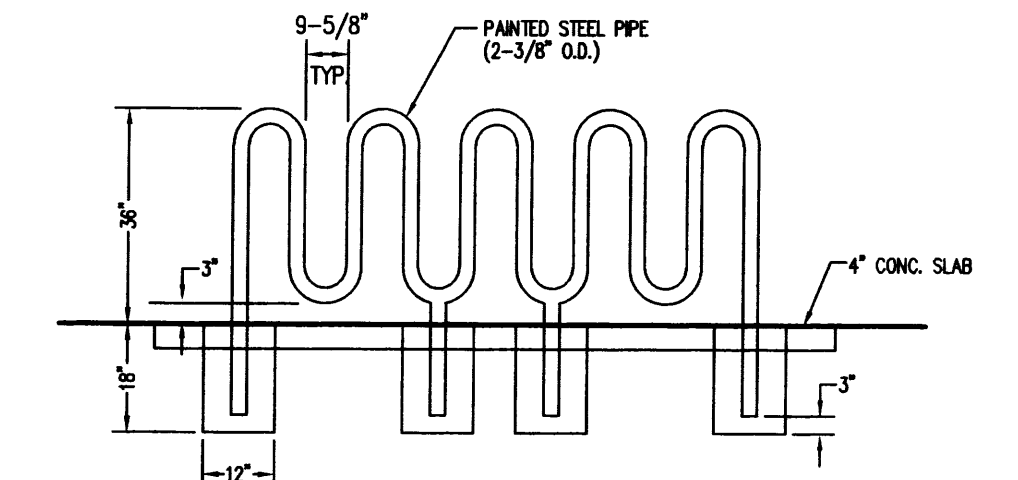




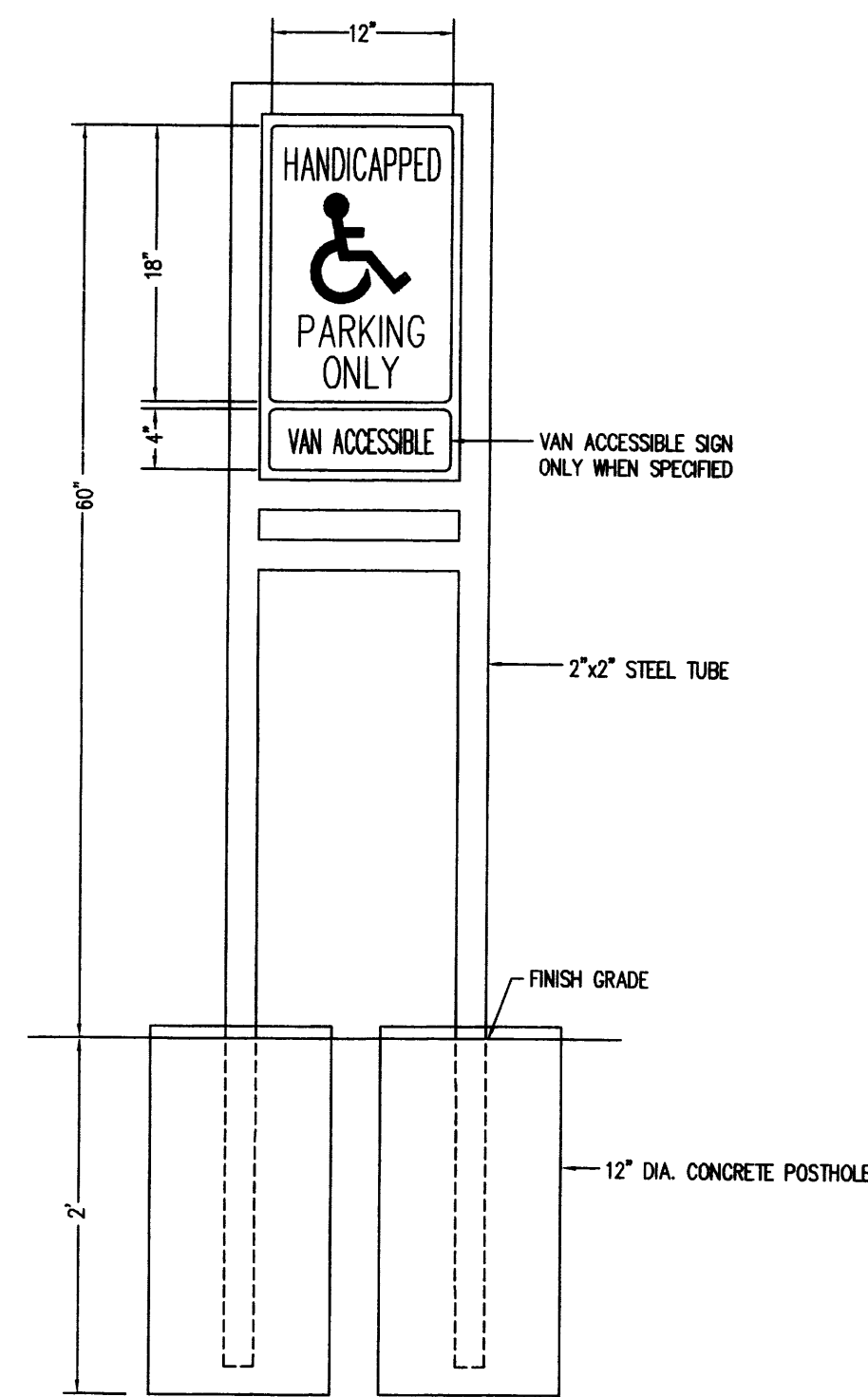
Side Elevation  
Scale 1/2"=1'-0"



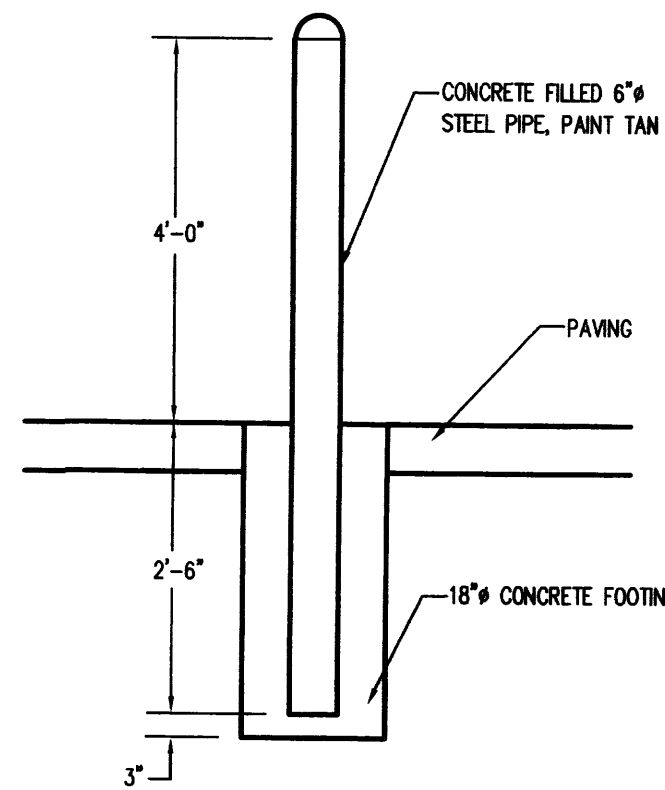
Section  
Scale: 1/2"=1'-0"



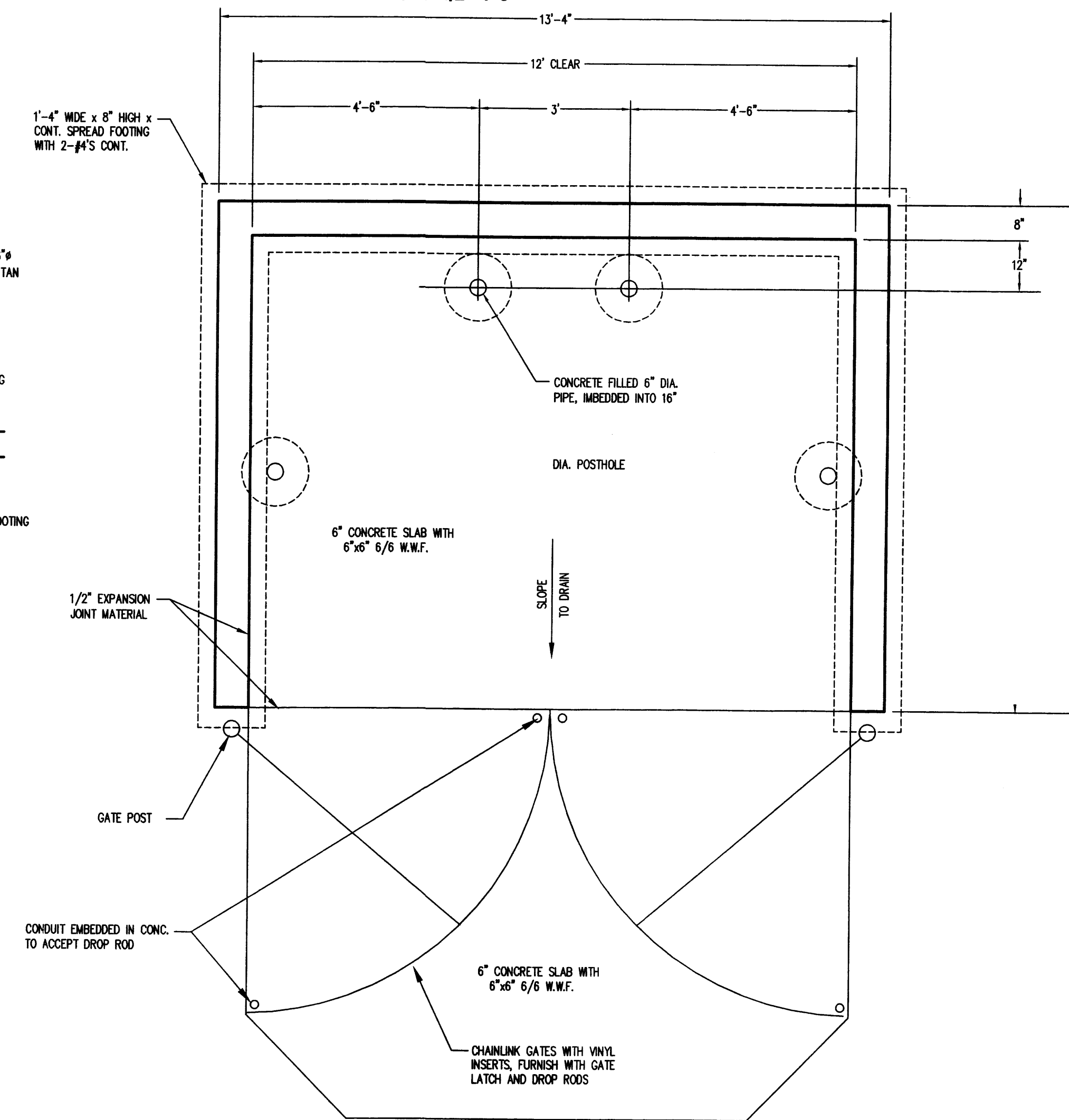
Bicycle Rack Detail  
Scale 3/8"=1'-0"



HC Sign Detail  
Not to Scale



Bollard Detail  
Scale: 1/2"=1'-0"



Plan  
Scale: 1/2"=1'-0"

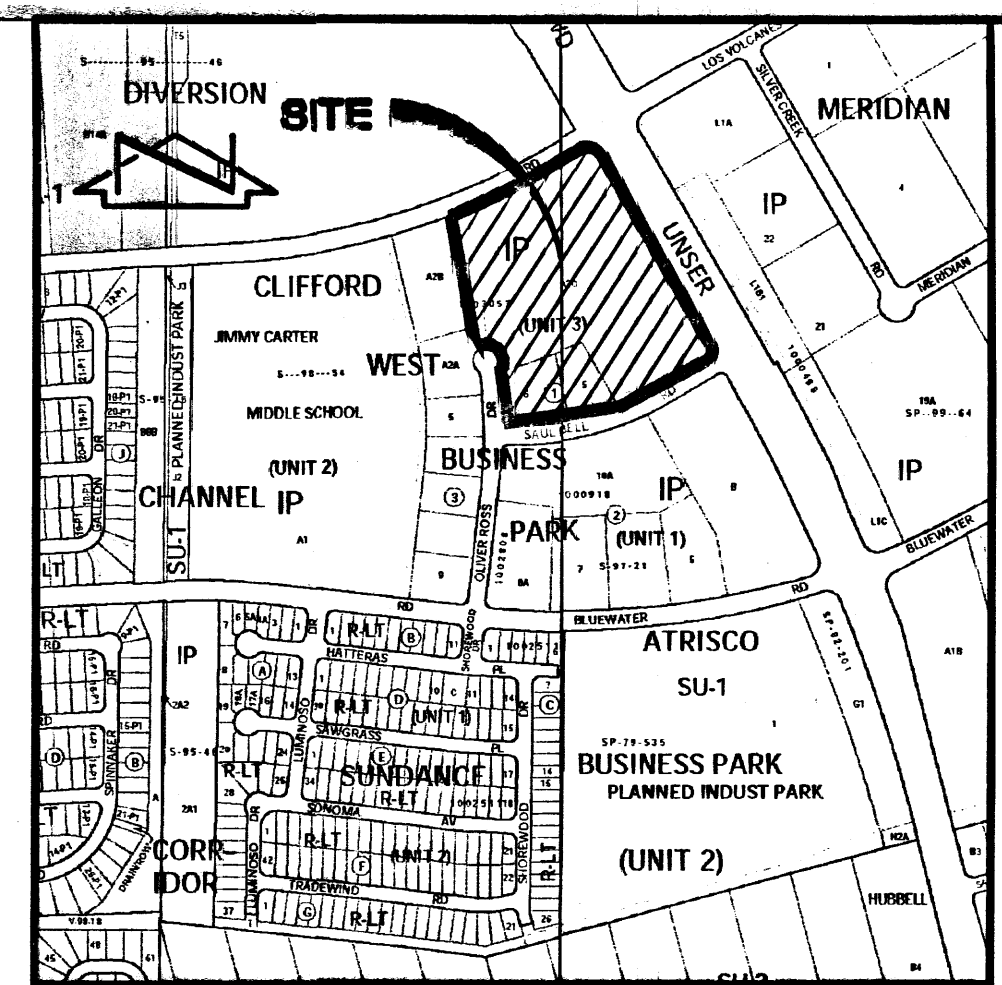
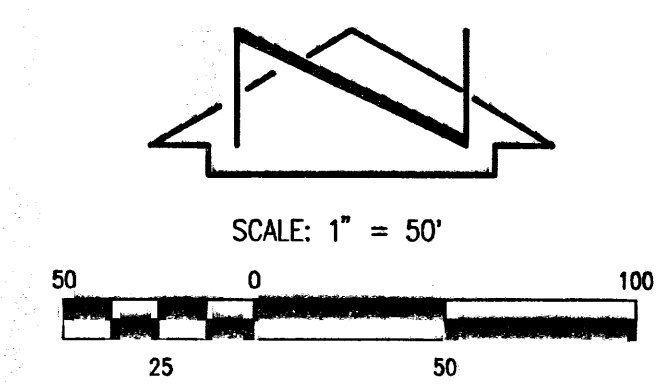
Refuse Enclosure Detail

**KEN HOVEY, ARCHITECT**  
 (505) 259-8458 \* 3808 Simms Avenue SE, Albuquerque, NM 87108

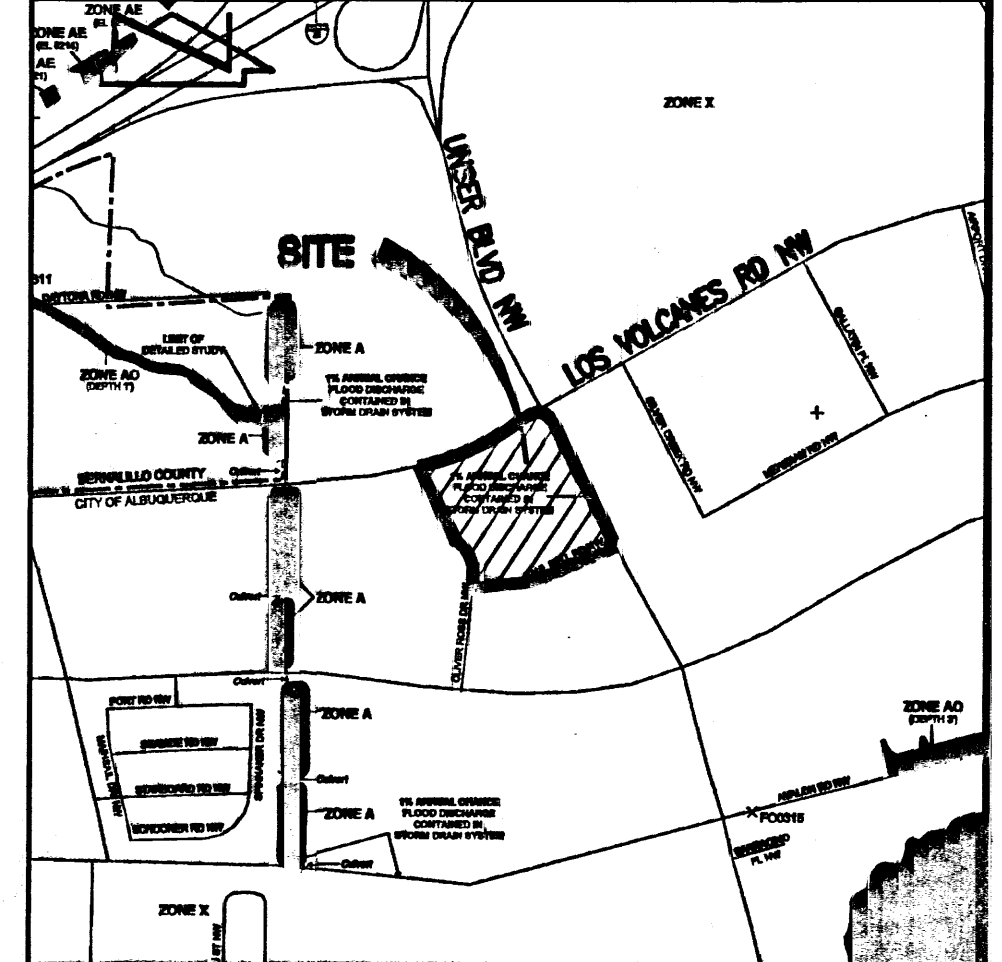
**Gateway West Business Park**  
 Developed by I-40 Gateway West LLC

Unser Blvd. NW at Los Volcanes Street  
 Albuquerque, NM





VICINITY MAP  
SCALE 1" = 750' K-9, K-10



F.I.R.M. SCALE: N.T.S. PANEL 328E

**LEGAL DESCRIPTION**  
TRACT A-2-C,  
UNIT 3, CLIFFORD WEST BUSINESS PARK & LOTS 5 & 6,  
UNIT 1, CLIFFORD WEST BUSINESS PARK

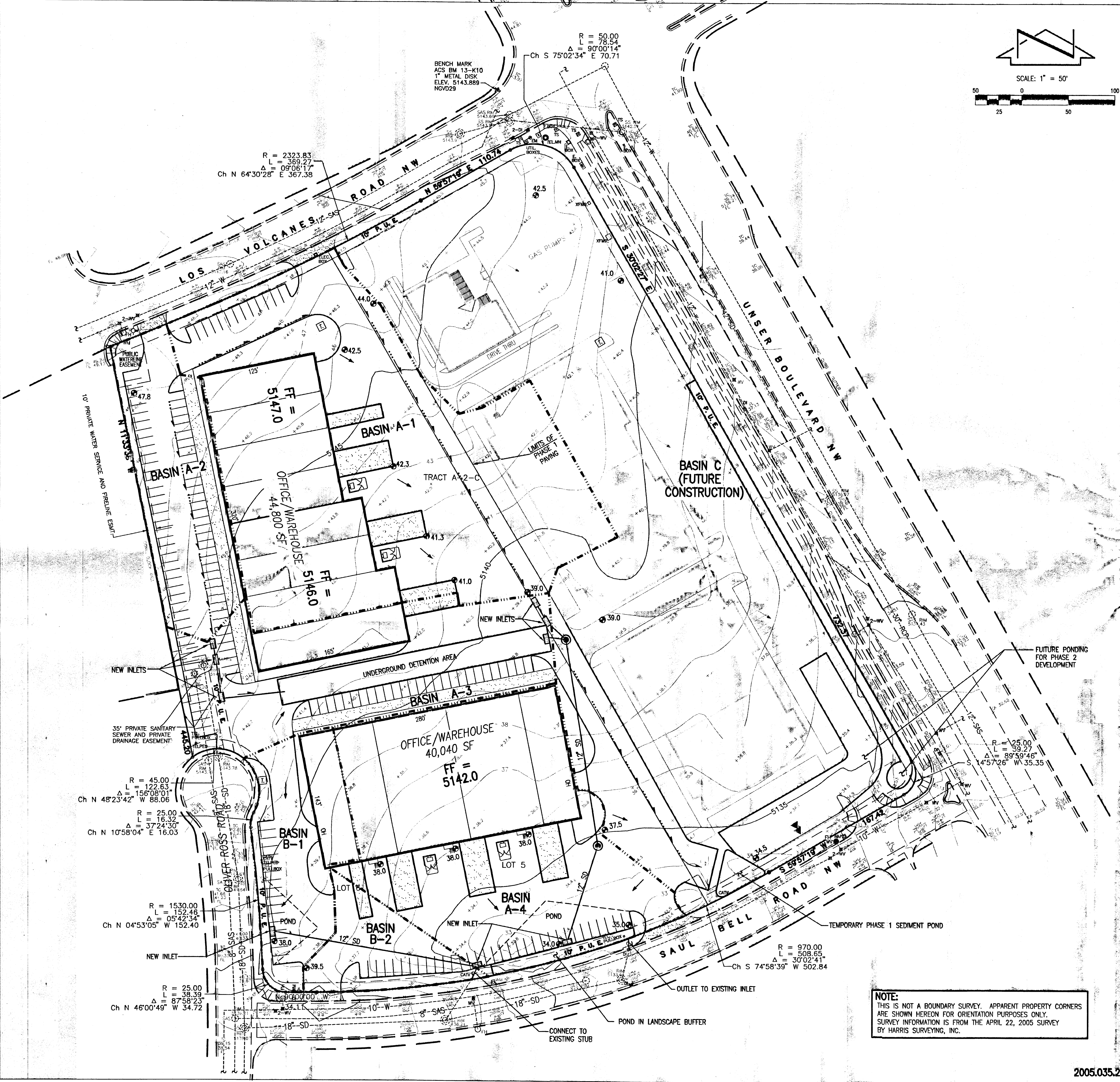
**BENCHMARK=T.B.M.**  
BENCH MARK ACS BM 13-K10  
1" METAL DISK ELEV. 5143.889  
NGVD29

**LEGEND**

EM	ELECTRIC METER	SP	SPOT ELEVATION
GM	GAS METER	CC	CURB CUT
WV	WATER VALVE	DI	DRAINAGE INLET
WM	WATER METER	EA	EDGE OF ASPHALT
SAS	SANITARY SEWER MANHOLE	EC	EDGE OF CONCRETE
SS	STORM DRAIN MANHOLE	EL	ELEVATION
CO	SEWER CLEANOUT	EW	EDGE OF WALL
SD	STORM DRAIN	ER	EDGE OF ROAD
IR	IRRIGATION CONTROL VALVE/BOX	FIN.FLR	FINISH FLOOR
FH	FIRE HYDRANT	FL	FLOW LINE
PP	POWER POLE	FND	FENCE
ANCH	ANCHOR	FP	FENCE POST
LP	LIGHT POLE	G	GROUND
TS	TRAFFIC SIGNAL	INV	INVERT
		TA	TOP OF ASPHALT
		TC	TOP OF CURB / CONCRETE
		TW	TOP OF WALK OR WALL

—	CHAIN LINK FENCE	—	OVERHEAD POWER LINE
—	WIRE FENCE	—	BURIED POWER CONDUIT
—	MASONRY WALL	—	STORM DRAIN LINE
—	RETAINING WALL	—	SANITARY SEWER
		—	BURIED TELEPHONE LINE
		—	GAS LINE
		—	WATER LINE



**NOTE:**  
THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. SURVEY INFORMATION IS FROM THE APRIL 22, 2005 SURVEY BY HARRIS SURVEYING, INC.

**GATEWAY WEST  
CONCEPTUAL GRADING PLAN**

GRAEME MEANS  
NEW MEXICO  
13678  
REGISTERED  
PROFESSIONAL ENGINEER  
05/26/2005

File Path: E:\WORK\PROJECTS\50352GR.DWG  
Plot Name: 50352GR.DWG  
Plot Date: 05-26-2005  
Plot Time: 13:14 PM

2005.0352



CONCEPTUAL DRAINAGE PLAN

I. EXECUTIVE SUMMARY AND INTRODUCTION

THE PROPOSED DEVELOPMENT IS LOCATED IN WESTERN ALBUQUERQUE WITHIN THE CLIFFORD WEST BUSINESS PARK AND REQUIRES SITE DEVELOPMENT PLAN APPROVAL THROUGH DRB. THE SITE IS SUBJECT TO DISCHARGE RESTRICTIONS AND WILL UTILIZE DETENTION TO LIMIT STORMWATER RUNOFF TO EXISTING DOWNSTREAM PUBLIC DRAINAGE FACILITIES. OFFSITE FLOWS DO NOT IMPACT THE SITE. A PLATTING ACTION IS PROPOSED TO CONSOLIDATE 3 EXISTING LOTS AND DIVIDE THE TOTAL AREA FOR PHASING AND FINANCING PURPOSES. THE PURPOSE OF THIS CONCEPTUAL DRAINAGE PLAN IS TO OBTAIN SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT APPROVALS.

II. PROJECT DESCRIPTION:

AS SHOWN BY VICINITY MAPS K-9 AND K-10 ON SHEET G-1, THE SITE IS LOCATED ON THE WEST SIDE OF UNSER BLVD NW, BETWEEN I-40 AND CENTRAL AVE. A 1998 MASTER DRAINAGE PLAN PREPARED BY AND ENGINEERING ADDRESSED SITE DRAINAGE BASINS AND STORM DRAIN SIZING. LOS VOLCANES RD NW, UNSER BLVD NW, AND SAUL BELL RD NW ARE DEVELOPED PUBLIC CITY OF ALBUQUERQUE STREETS THAT SURROUND THE SITE TO THE NORTH, EAST, AND SOUTH, RESPECTIVELY. THE SITE TO THE WEST IS DEVELOPED. THE EXISTING LEGAL DESCRIPTIONS ARE TRACT A-2-C, CLIFFORD INDUSTRIAL PARK, UNIT 3, AND TRACTS 5 AND 6, BLOCK 1, CLIFFORD INDUSTRIAL PARK, UNIT 1. THE SITE IS ZONED IP. PROPOSED DEVELOPMENT WILL REQUIRE A SITE DEVELOPMENT PLAN. AS SHOWN BY PANEL 328E OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED NOVEMBER 19, 2003, THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

III. BACKGROUND DOCUMENTS

THE FOLLOWING IS A LIST OF DOCUMENTS RELATED TO THE SITE AND SURROUNDING AREA. THIS LIST MAY NOT BE INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF RELEVANT PLANS AND DOCUMENTS WHICH ARE KNOWN TO THE ENGINEER AT THE TIME OF PLAN PREPARATION.

A. CLIFFORD WEST BUSINESS PARK GRADING AND DRAINAGE PLAN BY MARK GOODWIN & ASSOCIATES DATED 07-30-1997. (HYDROLOGY FILE K9-D23). THIS PLAN IDENTIFIED THE ALLOWABLE DISCHARGE RATE FOR THE OVERALL SITE AS 1.08625 CFS/ACRE INCLUDING THE STREETS AND 0.789257 CFS/ACRE FOR THE LOTS THEMSELVES.

THE PROPOSED CONSTRUCTION DRAINING VIA DETENTION TO EXISTING PUBLIC DRAINAGE IMPROVEMENTS AS PROPOSED AND DESCRIBED HEREIN IS IN ACCORDANCE WITH THE POLICIES AND REQUIREMENTS OF THE ABOVE LISTED DOCUMENT.

IV. EXISTING CONDITIONS:

THE SITE IS UNDEVELOPED WITH A SPARSE GROUND COVER OF NATIVE VEGETATION. THE SITE GENERALLY SLOPES FROM NORTH TO SOUTH. THE SITE IS BOUNDED ON THE EAST BY UNSER BLVD NW, A FULLY DEVELOPED PUBLIC STREET WITH A PUBLIC STORM DRAIN. SAUL BELL ROAD NW RUNS ALONG THE SOUTH PROPERTY LINE AND IS ALSO A FULLY DEVELOPED PUBLIC STREET WITH PUBLIC STORM DRAIN.

V. DEVELOPED CONDITIONS

THE SITE WILL BE DEVELOPED IN TWO PHASES. THE FIRST PHASE WILL APPROXIMATELY INCLUDE THE WEST HALF OF THE TRACT AS SHOWN. A REPLAT WILL BE REQUIRED TO RECONFIGURE THE SITE FOR PHASING AND FINANCING PURPOSES. CROSS-LOT DRAINAGE AND ACCESS EASEMENTS WILL BE REQUIRED TO ACCOMMODATE SHARED DRAINAGE PATTERNS.

AS SHOWN ON THE GRADING PLAN, THE FIRST PHASE WILL INCLUDE TWO COMMERCIAL OFFICE/WAREHOUSE BUILDINGS WITH ASSOCIATED PAVING AND LANDSCAPING IMPROVEMENTS. ALL SITE RUNOFF WILL BE ROUTED THROUGH ONSITE PRIVATE DETENTION PONDS BEFORE RELEASING TO EXISTING PUBLIC STORM DRAIN STUBS PROVIDED IN SAUL BELL FOR THIS SITE. THE ALLOWABLE DISCHARGE OF 0.8 CFS/ACRE WILL REQUIRE A LARGE VOLUME OF ON-SITE DETENTION. TO MAKE FULL USE OF THE SITE WITHOUT LOSING SIGNIFICANT AMOUNTS OF AREA TO DEDICATED PONDING, A SIGNIFICANT AMOUNT OF THE PROPOSED PONDING WILL BE ACCOMPLISHED UNDERGROUND. THE EXACT METHODS WILL BE DETAILED IN THE PERMIT PLANS. THE OPTIONS BEING CONSIDERED ARE EITHER USING LONG REACHES (APPROX 1500 LF) OF 48" STORM DRAIN, OR USING AN UNDERGROUND STORAGE CHAMBER SUCH AS THE "RAINSTORE" SYSTEM.

THE PHASE 2 AREA WILL NOT BE DISTURBED. AS SHOWN ON THE PLAN, IT WILL ALSO UTILIZE DETENTION PONDING TO LIMIT THE DISCHARGE TO THE ALLOWABLE RATE.

VI. CONCEPTUAL GRADING PLAN

THE GRADING PLAN ON SHEET G.1 SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1 FT, 0 IN INTERVALS FROM AN APRIL, 2005 TOPOGRAPHIC SURVEY BY HARRIS SURVEYING 2) PROPOSED GRADES INDICATED BY FINISHED FLOOR ELEVATIONS, SPOT ELEVATIONS, AND FLOWLINES, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS SHOWN BY THE AFOREMENTIONED SURVEY AND SUPPLEMENTED WITH AS-BUILT DRAWINGS OF CITY INFRASTRUCTURE PLANS, AND 4) THE LIMIT AND CHARACTER OF THE PROPOSED PONDING AREA AND IMPROVEMENTS.

VII. CALCULATIONS

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. THE BUILDING PERMIT PLANS WILL BE REQUIRED TO DEMONSTRATE THE DETENTION PONDING CHARACTERISTICS AND NET DISCHARGE.

VIII. CONCLUSIONS

- 1) THE PROPOSED SITE IMPROVEMENTS AND DRAINAGE CONCEPT ARE CONSISTENT WITH THE DEVELOPMENT CRITERIA ESTABLISHED BY PREVIOUSLY APPROVED PLAN FOR THIS SITE.
- 2) DEVELOPED RUNOFF FROM THIS SITE WILL BE ROUTED THROUGH ONSITE PRIVATE DETENTION PONDS AND WILL DRAIN TO EXISTING PERMANENT PUBLIC STORM DRAINAGE IMPROVEMENTS.
- 3) THERE ARE NO DRAINAGE RELATED DPM DESIGN VARIANCES, DRAINAGE EASEMENTS OR DRAINAGE COVENANTS PROPOSED AT THIS TIME. THE RELATED PLATTING WILL REQUIRE CROSS-LOT DRAINAGE EASEMENTS TO ALLOW THE SITE TO DRAIN AS SHOWN. PRIVATE FACILITY DRAINAGE COVENANTS WILL BE REQUIRED FOR THE PROPOSED DETENTION PONDS.
- 4) A SEPARATE DRAINAGE SUBMITTAL WILL BE MADE FOR BUILDING PERMIT APPROVALS. THIS SUBMITTAL WILL NEED TO DEMONSTRATE POND DISCHARGE AND STORM DRAIN CAPACITIES.

CALCULATIONS (ENTIRE SITE)

I. PRECIPITATION ZONE = 1

II.  $P_{6,100} = P_{360} = 2.20$

III. TOTAL AREA ( $A_T$ ) = 498762 SF/11.45 AC

IV. EXISTING LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
C	498760/11.45	100

V. DEVELOPED LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
B	62770/1.44	12.6
D	435990/10.01	87.4

VI. EXISTING CONDITION

A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = (E_C A_C) / A_T$$

$$E_w = [0.99(11.45)] / 11.45 = 0.99 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (0.99 / 12) 11.45 = 0.9446 \text{ ac-ft} = 41,150 \text{ CF}$$

B. PEAK DISCHARGE

$$Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D$$

$$Q_p = Q_{pC} A_C$$

$$Q_p = Q_{100} = 2.87(11.45) = 32.9 \text{ cfs}$$

VII. DEVELOPED CONDITION

A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = (E_B A_B + E_D A_D) / A_T$$

$$E_w = [0.67(1.44) + 1.97(10.01)] / 11.45 = 1.81 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (1.81 / 12) 11.45 = 1.727 \text{ ac-ft} = 75,230 \text{ CF}$$

B. PEAK DISCHARGE

$$Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D$$

$$Q_p = Q_{pB} A_B + Q_{pD} A_D$$

$$Q_p = Q_{100} = 2.03(1.44) + 4.37(10.01) = 46.7 \text{ cfs}$$

VIII. COMPARISON

A. VOLUME

$$\Delta V_{100} = 75,230 - 41,150 = 34,080 \text{ CF (INCREASE)}$$

B. PEAK DISCHARGE

$$\Delta Q_{100} = 46.7 - 32.9 = 13.8 \text{ cfs (INCREASE)}$$

BASIN	AREA (ac)	%	$Q_{100}$ (cfs)
A-1	2.62	22.8	10.6
A-2	0.62	5.4	2.5
A-3	1.09	9.5	4.4
A-4	1.65	14.5	6.8
B-1	0.52	4.5	2.1
B-2	0.29	2.5	1.2
TOTAL PHASE 1	6.79	59.2	27.6

$$\text{ALLOWABLE DISCHARGE} = (6.79 \text{ ac})(0.79 \text{ cfs/ac}) = 5.36 \text{ cfs}$$

CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
  2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
  3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
  4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
  5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
  6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
  7. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
  8. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
  9. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- EROSION CONTROL MEASURES:
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
  2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
  3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
  4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDED ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

APPROVALS	NAME	DATE
HYDROLOGY		
SIDEWALK INSPECTOR		
STORM DRAIN MAINTENANCE		



GATEWAY WEST  
CONCEPTUAL DRAINAGE PLAN & CALCULATIONS

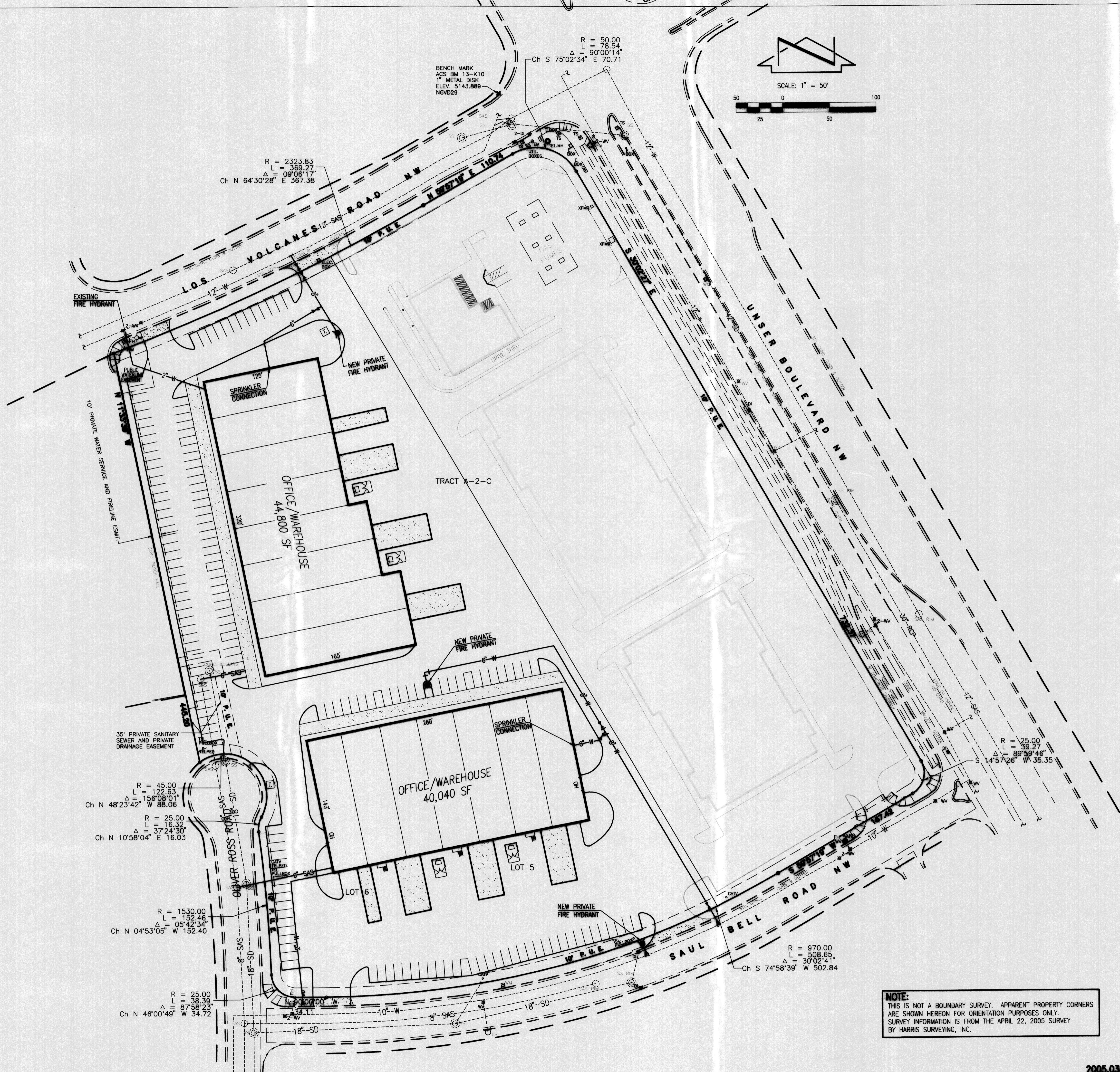


JEFF NORTENSON & ASSOCIATES, INC.  
 6010-B KIRKWAY PARK, BLDG. 101  
 ALBUQUERQUE, NEW MEXICO 87109  
 ENGINEERS & SURVEYORS (505) 345-4250  
 FAX: 505 345-4254 | Email: jma@jma-inc.com



File Path: E:\WORK\0526\0526\0526.dwg  
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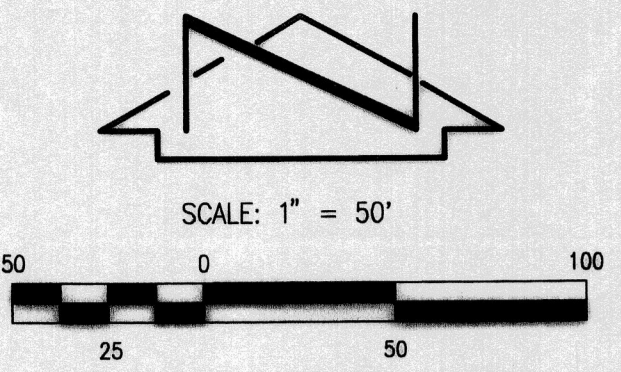
Plot Date: 05-26-2005  
 Plot Time: 3:17 pm



R = 2323.83  
 L = 369.27  
 $\Delta = 09^{\circ}06'17''$   
 Ch N 64°30'28" E 367.38

BENCH MARK  
 ACS BM 13-K10  
 1" METAL DISK  
 ELEV. 5143.889  
 NGVD29

R = 50.00  
 L = 78.54  
 $\Delta = 90^{\circ}00'14''$   
 Ch S 75°02'34" E 70.71



EXISTING FIRE HYDRANT

10' PRIVATE WATER SERVICE AND FIRELINE EASMT

35' PRIVATE SANITARY SEWER AND PRIVATE DRAINAGE EASEMENT

R = 45.00  
 L = 122.63  
 $\Delta = 156^{\circ}08'03''$   
 Ch N 48°23'42" W 88.06

R = 25.00  
 L = 16.32  
 $\Delta = 37^{\circ}24'30''$   
 Ch N 10°58'04" E 16.03

R = 1530.00  
 L = 152.46  
 $\Delta = 05^{\circ}42'34''$   
 Ch N 04°53'05" W 152.40

R = 25.00  
 L = 38.39  
 $\Delta = 87^{\circ}58'23''$   
 Ch N 46°00'49" W 34.72

R = 970.00  
 L = 508.65  
 $\Delta = 30^{\circ}02'41''$   
 Ch S 74°58'39" W 502.84

R = 25.00  
 L = 59.27  
 $\Delta = 89^{\circ}59'46''$   
 S 14°57'26" W 35.35

**NOTE:**  
 THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. SURVEY INFORMATION IS FROM THE APRIL 22, 2005 SURVEY BY HARRIS SURVEYING, INC.

**LEGEND**

- |      |                              |         |                        |
|------|------------------------------|---------|------------------------|
| EM   | ELECTRIC METER               | CC      | CURB CUT               |
| GM   | GAS METER                    | DI      | DRAINAGE INLET         |
| WM   | WATER VALVE                  | EA      | EDGE OF ASPHALT        |
| WM   | WATER METER                  | EC      | EDGE OF CONCRETE       |
| SAS  | SANITARY SEWER MANHOLE       | EL      | ELEVATION              |
| SS   | STORM DRAIN MANHOLE          | EW      | EDGE OF WALL           |
| CO   | SEWER CLEANOUT               | ER      | EDGE OF ROAD           |
| IRR  | IRRIGATION CONTROL VALVE/BOX | FIN.FLR | FINISH FLOOR           |
| FH   | FIRE HYDRANT                 | FL      | FLOW LINE              |
| PP   | POWER POLE                   | FND     | FOUND                  |
| ANCH | ANCHOR                       | FP      | FENCE POST             |
| LP   | LIGHT POLE                   | G       | GROUND                 |
| TS   | TRAFFIC SIGNAL               | INV     | INVERT                 |
|      |                              | TA      | TOP OF ASPHALT         |
|      |                              | TC      | TOP OF CURB / CONCRETE |
|      |                              | TW      | TOP OF WALK OR WALL    |
|      |                              |         | OVERHEAD POWER LINE    |
|      |                              |         | BURIED POWER CONDUIT   |
|      |                              |         | STORM DRAIN LINE       |
|      |                              |         | SANITARY SEWER         |
|      |                              |         | BURIED TELEPHONE LINE  |
|      |                              |         | GAS LINE               |
|      |                              |         | WATER LINE             |



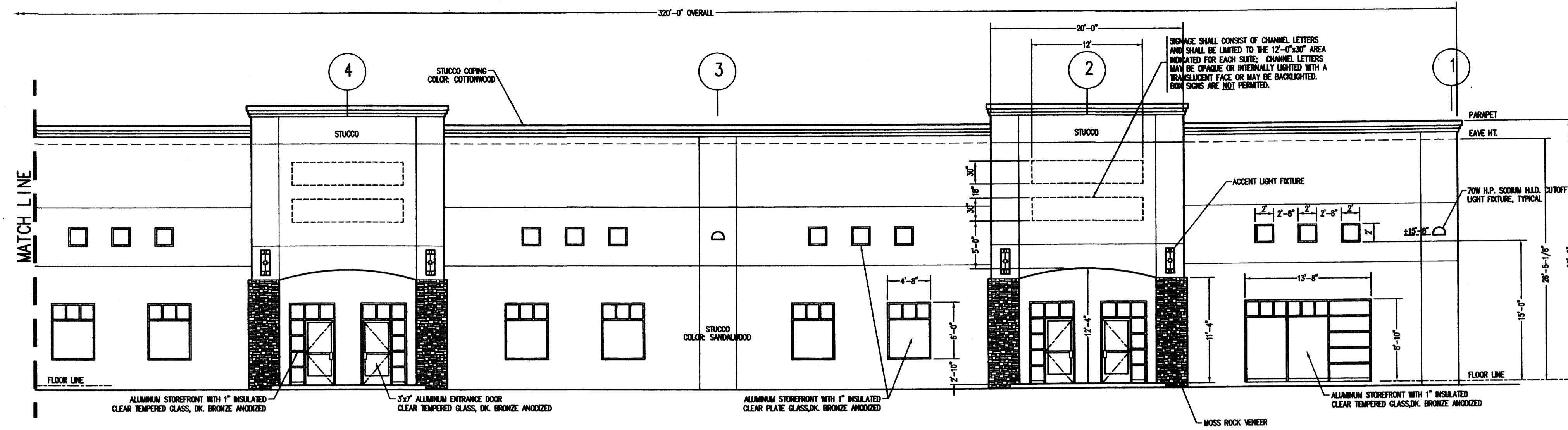
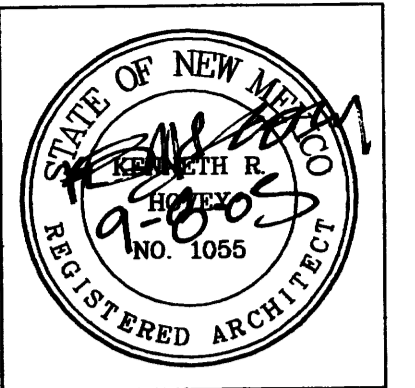
**GATEWAY WEST  
 CONCEPTUAL UTILITY PLAN**



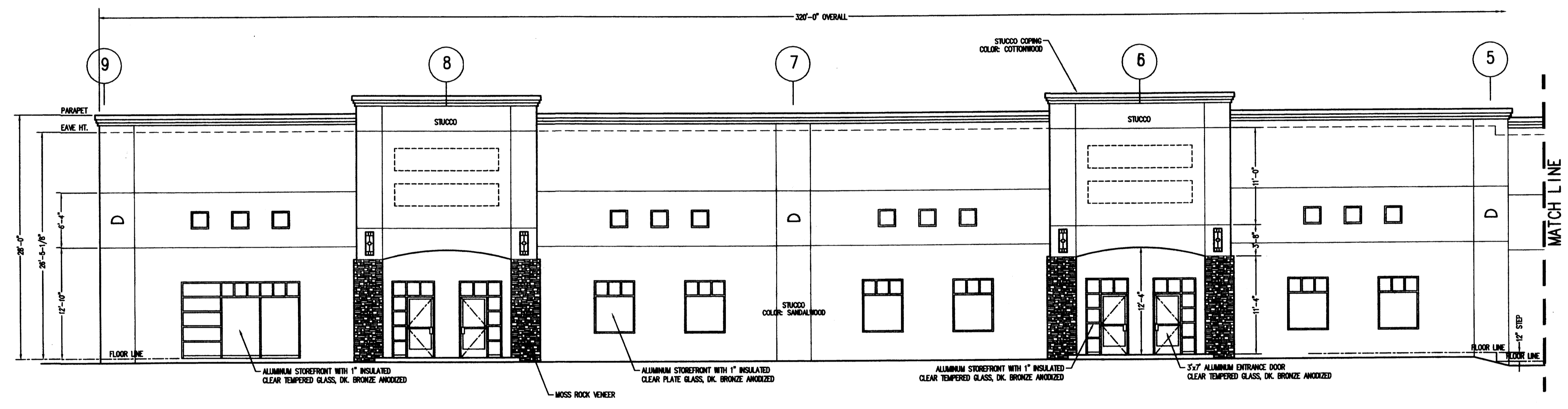
JEFF MORTENSEN & ASSOCIATES, INC.  
 6010-B MIDWAY PARK BLVD., N.E.  
 ALBUQUERQUE, N.M. NEW MEXICO 87109  
 ENGINEERS & SURVEYORS (505) 345-4250  
 FAX: (505) 345-4254 □ ESTABLISHED 1977

2005.035.3

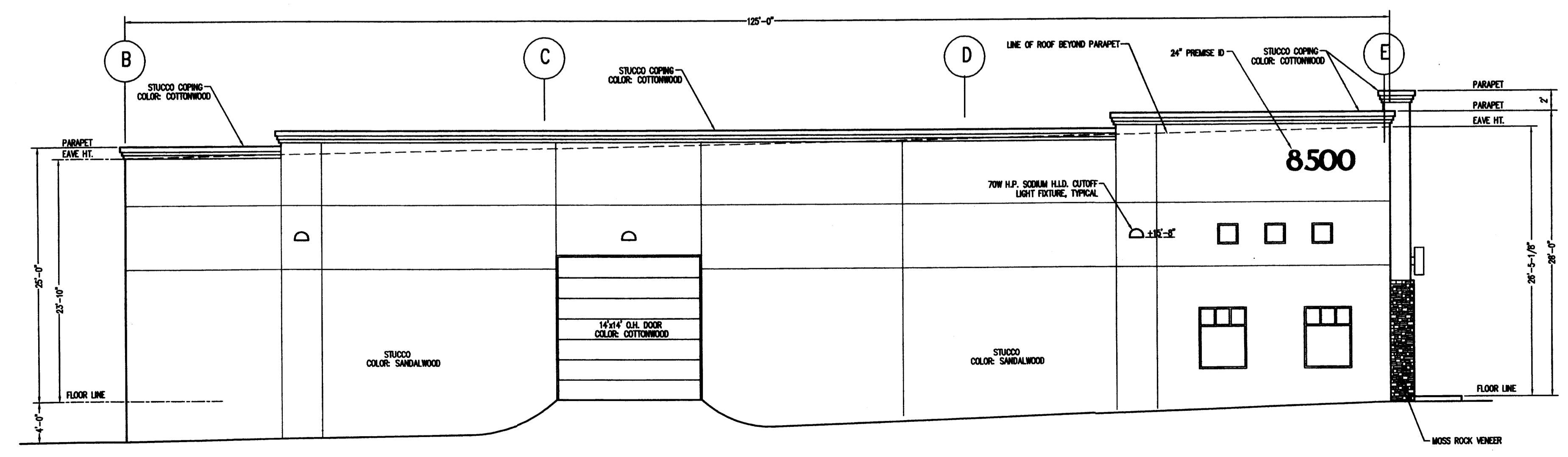




South Half Front Elevation Building No. 1  
Scale: 1/8"=1'-0"



North Half Front Elevation Building No. 1  
Scale: 1/8"=1'-0"



North End Elevation Building No. 1  
Scale: 1/8"=1'-0"

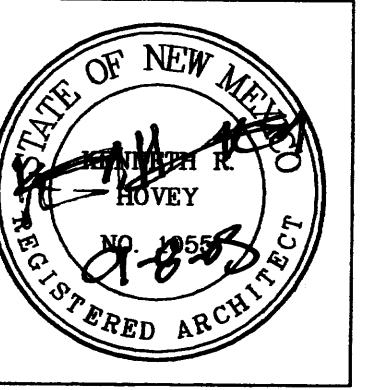
**KEN HOVEY, ARCHITECT**  
 (505) 259-8458 • 3808 Simms Avenue SE, Albuquerque, NM 87108

**Gateway West Business Park**  
 Developed by I-40 Gateway West, LLC  
 Unser Blvd. NW at Los Volcanes Road  
 Albuquerque, NM

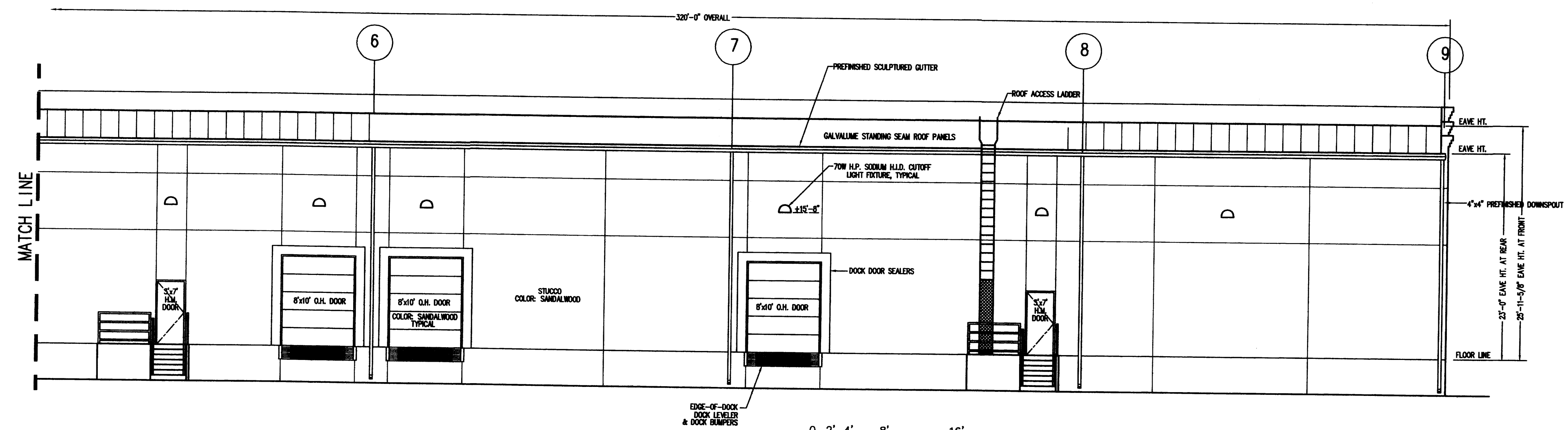
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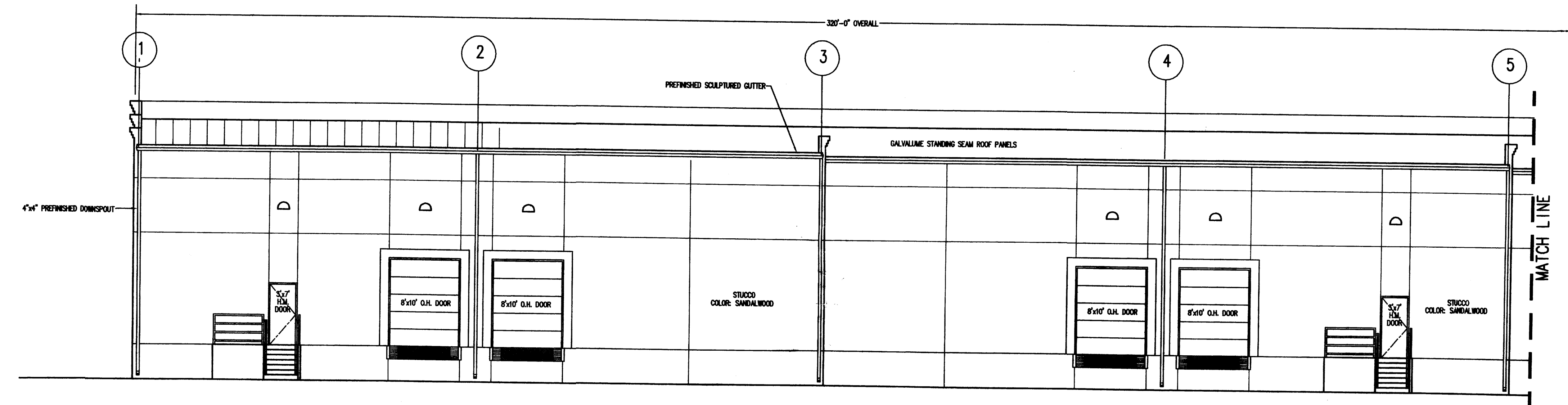
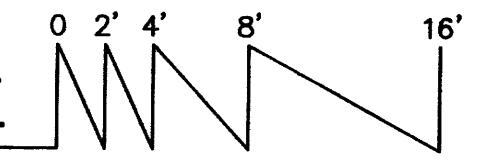
Architect:



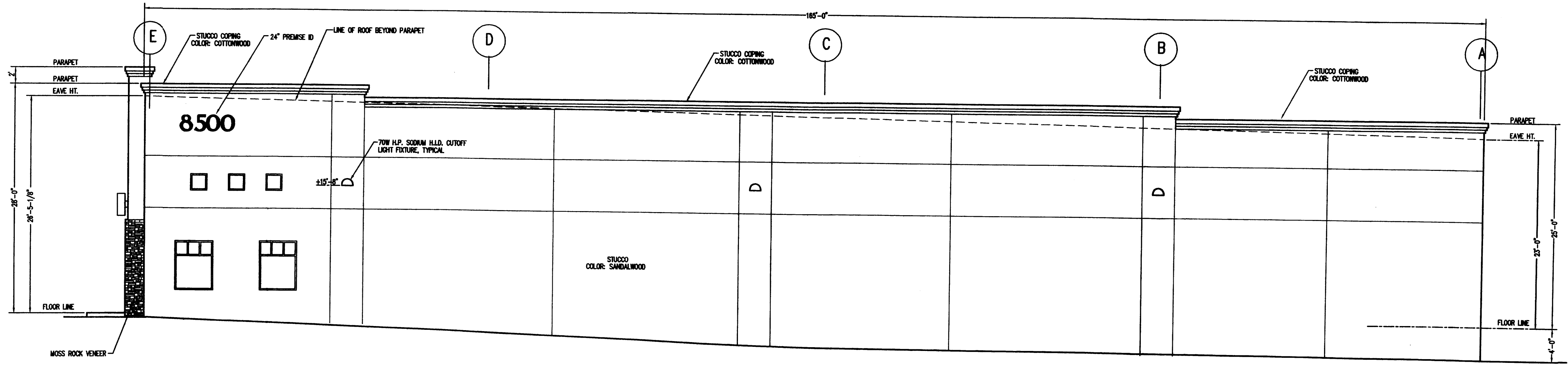
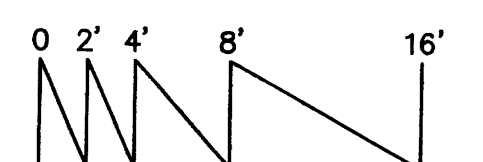
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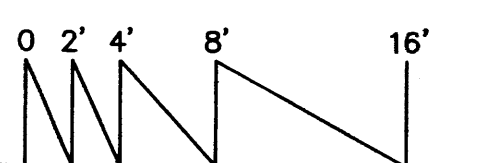
North Half Rear Elevation Building No. 1  
Scale: 1/8"=1'-0"



South Half Rear Elevation Building No. 1  
Scale: 1/8"=1'-0"



South End Elevation Building No. 1  
Scale: 1/8"=1'-0"

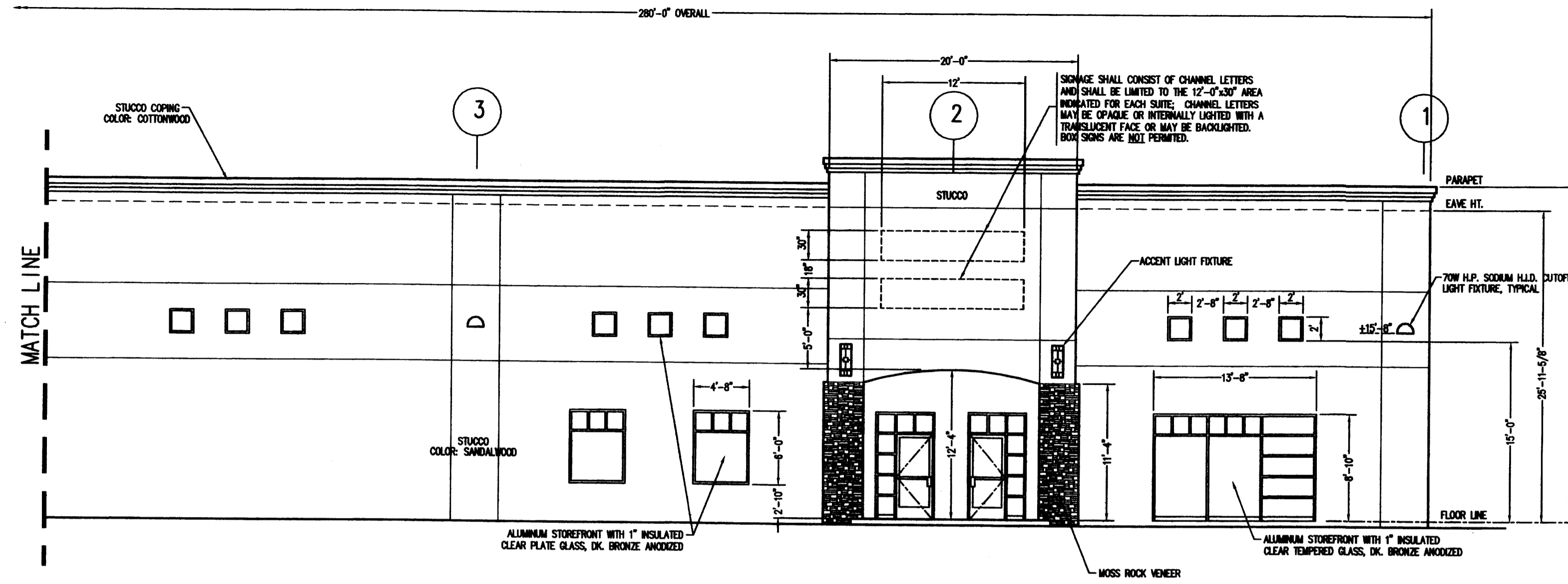
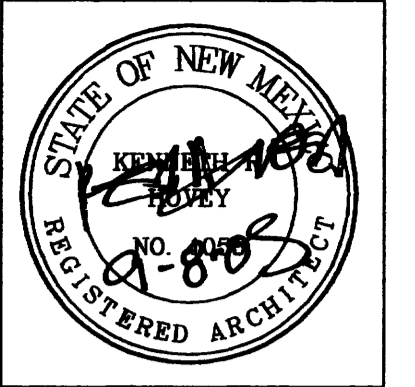


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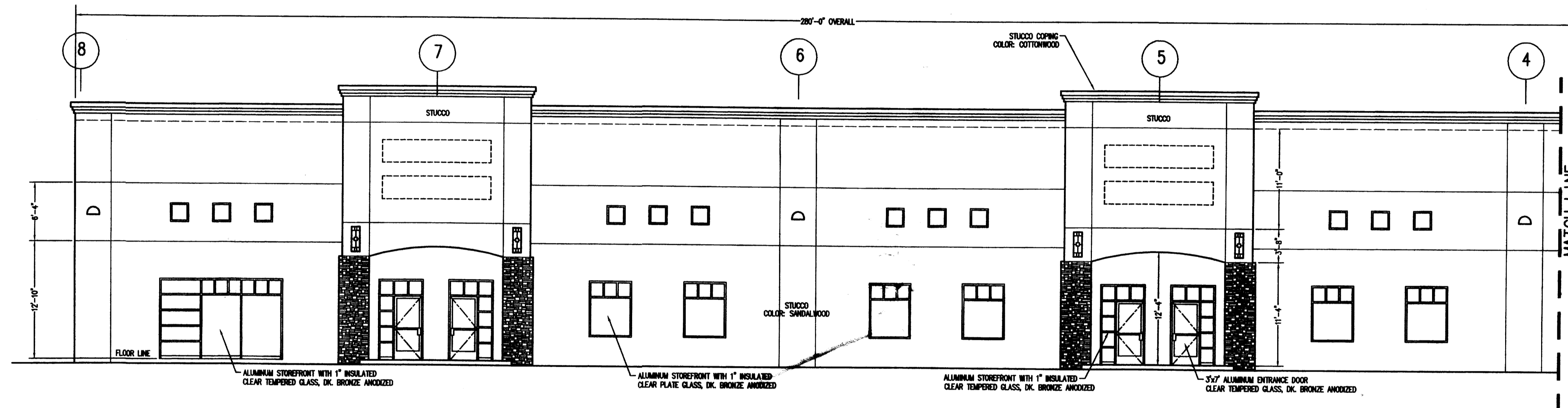
Unser Blvd. NW at Los Volcanes Road  
Albuquerque, NM

**A.1.2**



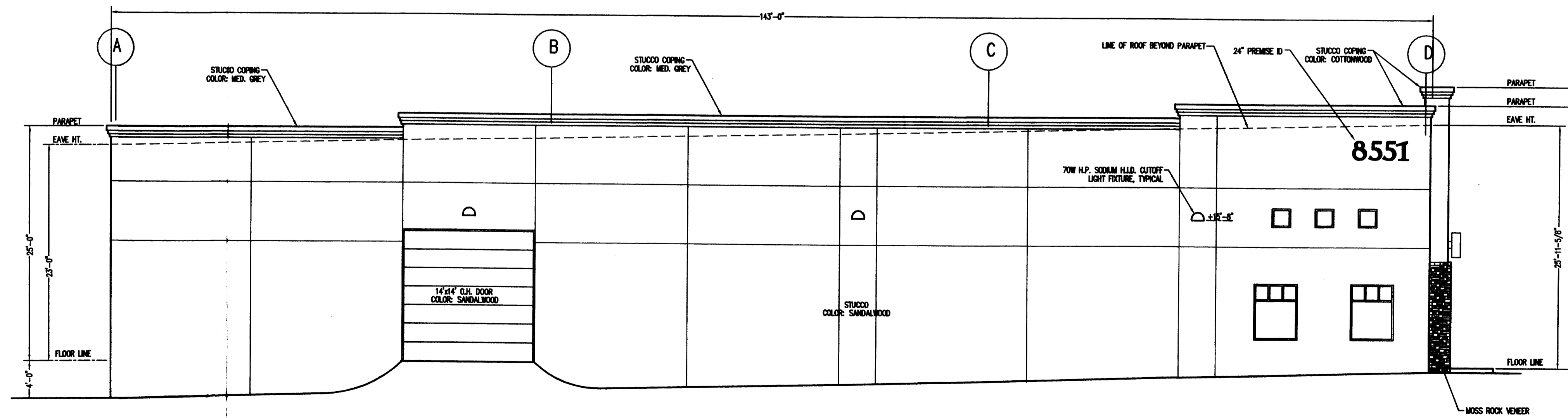
West Half Front Elevation Building No. 2

Scale: 1/8"=1'-0"



East Half Front Elevation Building No. 2

Scale: 1/8"=1'-0"



East End Elevation Building No. 2

Scale: 1/8"=1'-0"

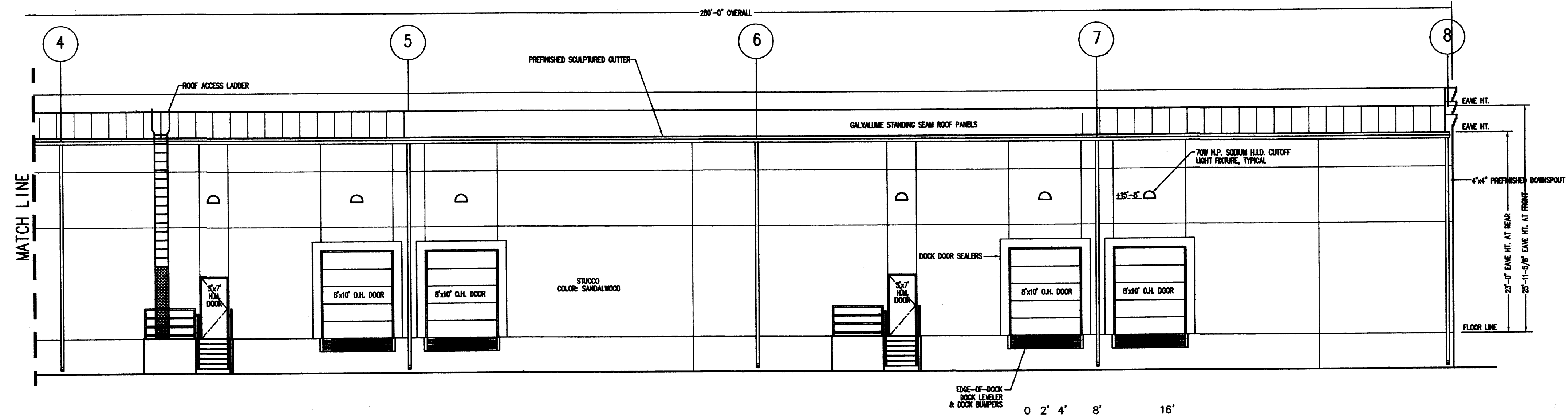
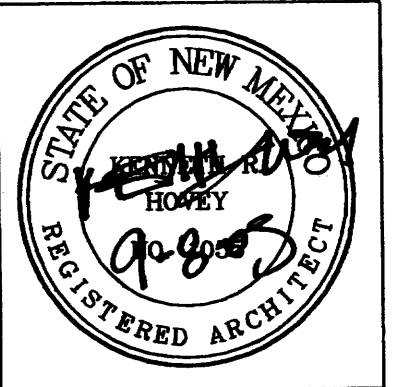
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Albuquerque, NM

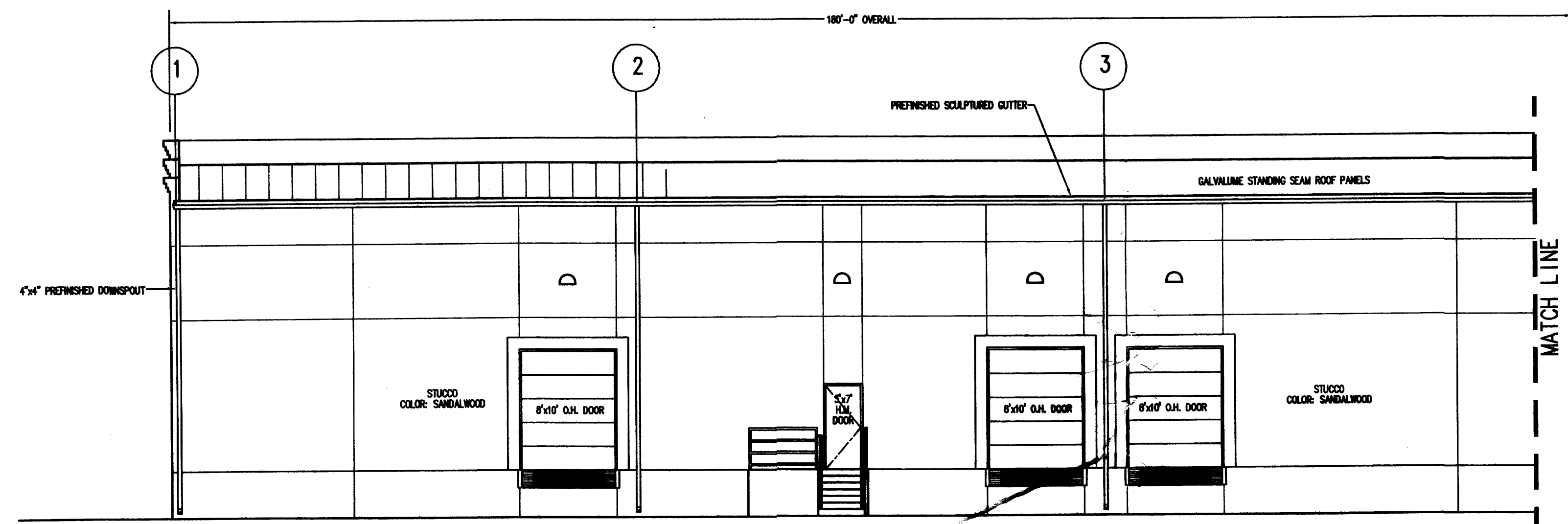
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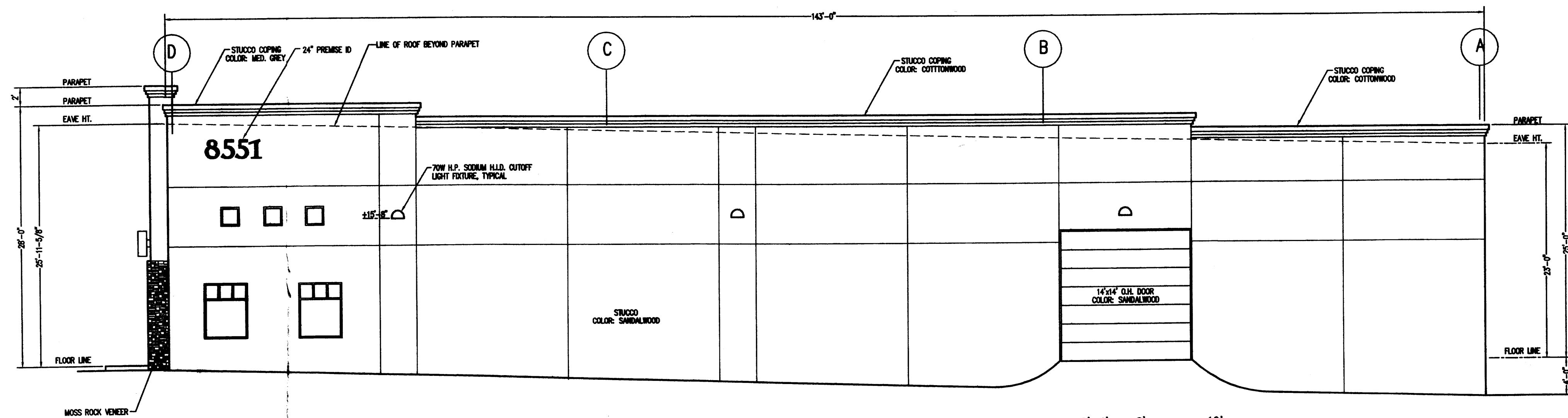
East Half Rear Elevation Building No. 2

Scale: 1/8"=1'-0"



West Half Rear Elevation Building No. 2

Scale: 1/8"=1'-0"



West End Elevation Building No. 2

Scale: 1/8"=1'-0"

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**A.2.2**