

REGULATION OF BUILDINGS AND IMPROVEMENTS

Building Regulations.
All buildings and structures erected within the site shall comply with all applicable City of Albuquerque zoning and building code requirements as well as other local applicable codes.

Building Design and Construction. Building design and construction shall be used to create a structure with attractive fronts of quality materials. The quality materials must be applied to exterior walls on the front of the building and to the sides of the building up to a 100 feet from any public street curb. Finished quality building materials include the following: cast brick, slump rock, stone, glass, masonry, stucco, granite or "terra" materials, tile-up concrete, or their equivalent. Each material must be compatible with the natural surroundings and other buildings and structures in the general vicinity. The remaining exterior walls which do not require quality materials may be of masonry construction or its equivalent or better, or it may also include pre-engineered metal siding.

Design Techniques. Design techniques which can be utilized to help overcome typical unattractive and monotonous facades generally associated with industrial structures are as follows:
 • Employ variety in structural forms that create visual character and interest.
 • Avoid long, unarticulated facades. Facades shall have varied front setbacks with wall planes not run in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 2 foot minimum offset, fenestration, material change, etc.)
 • Entries to industrial structures should portray a quality office appearance by being architecturally tied into the overall mass and building composition.
 • Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast on elevation planes.
 • Sensitive alteration of colors and materials can produce diversity and enhance architectural forms.
 • The staggering of planes along an exterior wall elevation creates pockets of light and shadow, providing relief from monotonous expanses of facade.
 • Corner lots are defined to have fronts on both streets they abut. All provisions relating to the front facade shall apply to both street faces of a corner lot.

Design elements which are undesirable and should be avoided:
 • Exposed, unbraced precast block walls.
 • Material used on the main architectural facade.
 • Attached mansard roofs on small portions of the roof line.
 • Materials with high maintenance requirements. Wood facades are prohibited.

Roof materials should be chosen that will withstand abuse by vandals, easily repaired, or accidental damage by machinery.

Berms in conjunction with landscaping can be used at building edge to reduce structure mass and height along facade.

Loading docks shall not be located on the front exterior of the building. The loading docks and loading areas shall be screened from view from streets adjacent to the site using screening methods and materials set forth in the Covenants or approved by the Architectural Control Committee. Doors which are larger than that customary for pedestrian traffic, such as garage doors or loading doors, shall not face the street. However, on corner lots with the consent of the Architectural Control Committee loading or garage doors which are screened from view may face the side street (minor street).

LOADING DOCKS SHALL BE SCREENED FROM VIEW FROM STREETS ADJACENT TO THE SITE

Design for roofs shall be as follows:
 • No part of the roof may project above the parapet, except with the consent of the Architectural Control Committee.
 • If mansard roofs are to be used, they shall wrap around the front perimeter of the building as well as that part of the side of the building that falls within the 100 foot set back from curb.
 • All rooftop equipment shall be screened from the public view.
 • The roof design should be considered an integral part of the overall architectural design theme.
 • Concentric and/or barbed wire are not permitted on the roof.

All roof-mounted mechanical equipment, ductwork and ventilators are to be painted consistent with the color scheme of the building or screened from view. Gutters, downspouts, vents, louvers, exposed flashing, tanks, stacks, overhead doors, rolling doors and service doors are to be painted consistent with the color scheme of the building.

In addition to street trees, one tree for every eighty (80) linear feet of the remaining site perimeter is required along the perimeter. The location of these trees shall be in the front, sides or rear setback areas. They may be clustered and should include a mix of deciduous and evergreen trees.

To shade and mitigate visual impact of large expanses of pavement, off-street parking areas shall have one tree for each ten (10) parking stalls with no stall being more than 100 feet from a tree.

The minimum plant sized at time of installation shall be as follows: Trees shall have a 2" caliper, measured two feet above the ground, twenty-five percent (25%) of the shrubs and ground cover shall be in five gallon containers, and the balance shall be in one gallon containers. All plants shall be capable of providing complete ground coverage within one growing season after installation.

All plant material, including trees, shrubs, ground cover, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds.

All areas which are planted with turf, shrubs and trees shall be irrigated by an underground system. All undeveloped areas and all unimproved areas of developed sites shall be kept in a weed-free condition. All improved areas of developed sites shall be screened from view from the public right of way or, in the alternative, unimproved areas may be landscaped with natural grasses, etc. as approved by the Architectural Control Committee. Screening shall be through the use of a three (3) foot wall of acceptable materials as approved by the Architectural Control Committee. (Chain link fences are not permitted).

Plant Materials. See the plant list for Atrisco Business Park or the approved City of Albuquerque plant list.

Storage Areas and Service Areas/Refuse Collection Areas. All outdoor storage areas and service yards shall be limited to the rear of the front yards and screened from view from streets adjacent to the site through the use of a opaque visual barrier, at least six (6) feet in height. Where screening is required, it should be a combination of masonry pillars or short solid wall segments. The use of chain link fencing is not acceptable in front of the building front yard setback line and shall not face any public right-of-way. The use of barbed wire or concertina is not permitted on the top of fences or walls. No materials, supplies or equipment, including compressed or operated vehicles, shall be stored in any area on the site except behind such a barrier.

All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure, built of opaque materials. The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site. (Slats in chain link fences are not permitted.) No refuse collection area shall be allowed between any street and building front yard setbacks.

Parking Areas. For those sites which front on Unser Boulevard, the parking area shall be screened from Unser Boulevard with a combination of plant materials and earthen berms. Such screening, utilizing an earthen berm, shall have a minimum height of 3 feet. To add interest and diversity to the screening function, the berms may be broken up occasionally with breaks in the design of the berm.

All off-street parking and access drives and all loading areas must be paved with a year-round surface of asphalt or concrete and properly graded to assure proper drainage.

Drainage Requirements. All construction and any alterations to any site, upon the completion thereof, shall conform to the requirements contained in the Master Drainage Report for the site.

Pedestrian Walkways/Bikeways. Properties adjacent to Unser Boulevard shall have a 6 foot sidewalk with a minimum landscaped area of 6 feet between the back of curb and the sidewalk. All other collector or local streets, where sidewalks are required, shall have a 4 foot wide sidewalk.

A pedestrian circulation system from the Unser Boulevard trail, guest parking areas and employee parking areas to the buildings), consistent with city standards and approved by the Architectural Control Committee, shall be provided with the site.

The City of Albuquerque has established a bikeway network which identifies a route along Unser Boulevard from 5th Street to 34th. Bike racks provide for the shared use of automobiles and bicycles.

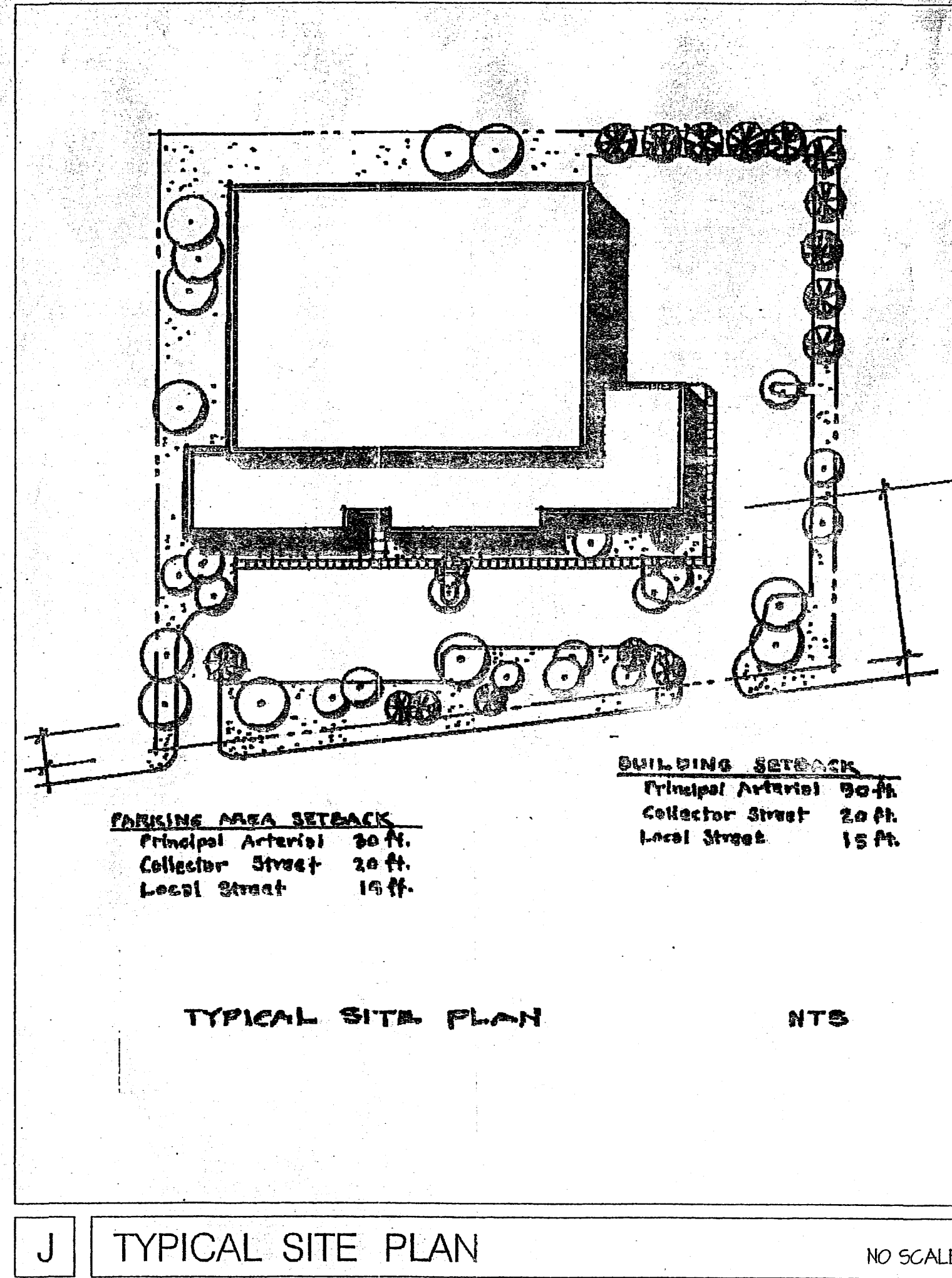
Along Unser Boulevard, an existing paved trail is located on the east side between Los Volcanes to Bluewater. A trail is proposed along the entire length of Unser.

In order to accommodate bicycles, bike racks shall be provided on each site.

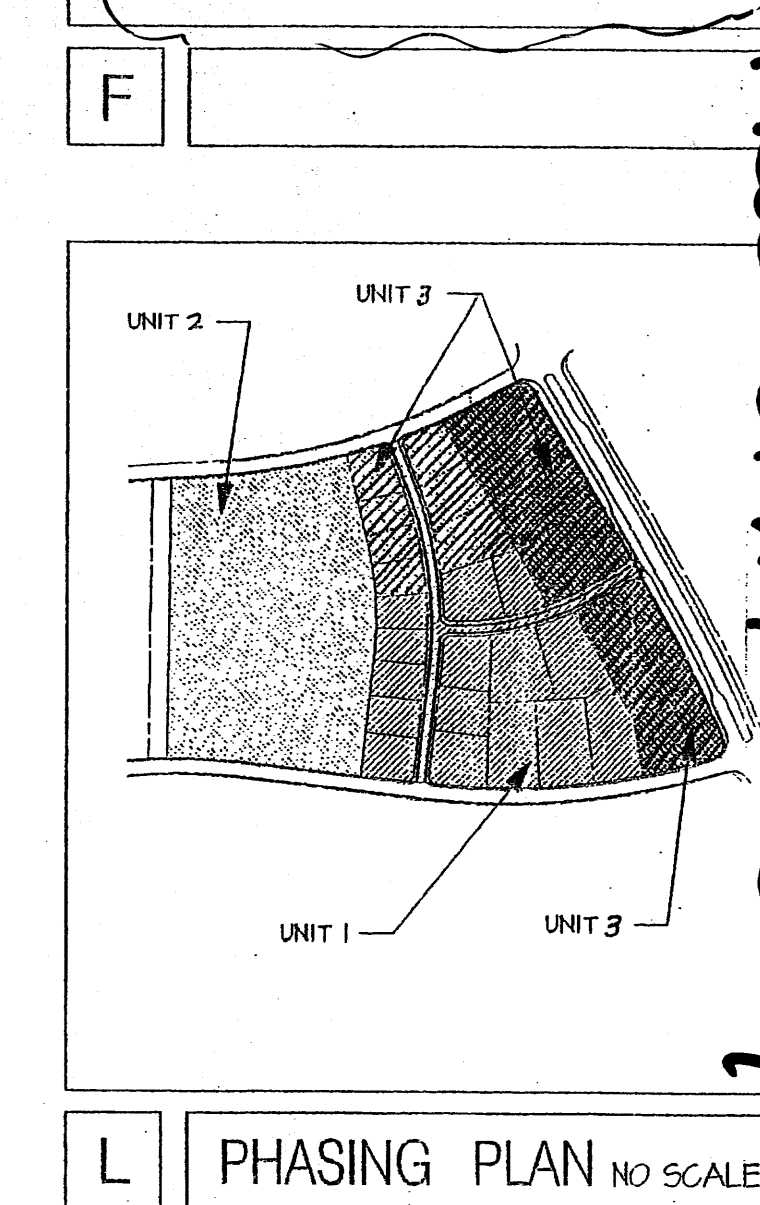
Sign Standards. Signs shall be integrated with the architectural design of the building. In appropriate proportion with the scale of the buildings. All elements of a sign shall be maintained in a visually appealing manner. Fascia signs shall not protrude above the parapet. The only signs allowed in the landscaped Area will be one identification sign per site of a maximum size of twenty-four (24) square feet, and signs necessary for the regulation or direction of traffic flows. All signs require the prior approval of the Architectural Control Committee. Information on each sign, which is to be submitted to the Committee, must include the location, materials, colors, method of lighting, construction details, and drawings showing a copy of the proposed signs. The maximum height of signs shall be 6 feet above grade. Signs shall be illuminated with low voltage lighting (only) and face lighting of signs are permitted. Other lighting methods require the written approval of the Committee.

Each site plan shall be approved by DRB.

RIGHT OUT TURNING FROM SAUL BELL RD. ONTO UNSER BLVD. HAS BEEN APPROVED BY THE UTTPB. 11/14/03 REVISIONS



PROJECT NUMBER: 1003057
 Application Number: 03DRB-01902
 Traffic Engineer: [Signature] 11-19-03
 Date: 11-19-03
 Utilities Department: [Signature] 11/19/03
 Date: 11/19/03
 Parks and Recreation Department: [Signature] 11-19-03
 Date: 11-19-03
 City Engineer: [Signature]
 N/A
 Environmental Health Department: [Signature]
 Date:
 N/A
 Solid Waste Management: [Signature]
 Date:
 DRB Chairperson, Planning Department: [Signature] 11/19/03
 Date:



1. EACH PROPERTY WITHIN THIS PLAN AREA SHALL BE REQUIRED TO OBTAIN SITE PLAN APPROVAL THROUGH DRB IN ACCORDANCE WITH THE DESIGN PARAMETER SHOWN HERE ON.

2. THESE DESIGN GUIDELINES DO NOT APPLY TO ANY PROPERTY WHICH IS DEVELOPED FOR PUBLIC SCHOOL PURPOSES.

ADMINISTRATIVE
 DEVELOPMENT PLAN AMENDMENT
 FILE NO. AA-98-54
 ADD'L NOTES:
 REVISE UNIT 3 2/2/03
 [Signature] 7/19/03
 PLANNING DIRECTOR DATE

NOTE: AT THE TIME OF INDIVIDUAL SITE PLAN APPROVAL, EACH PARCEL SHOWN HEREON SHALL BE OBLIGATED TO CONTRIBUTE TO THE COST OF A NEW TRAFFIC SIGNAL AT THE BLUEWATER/UNSER BLVD. INTERSECTION AS FOLLOWS:

UNIT I \$2,533.00 PER LOT (TOTAL OF \$38,000.00)
 UNIT II \$27,280.00 FOR TRACT A
 UNIT III (TOTAL OF \$9,740.00)
 TRACT A-3-A \$503.00
 TRACT A-3-B \$930.00
 TRACT A-3-C \$538.00
 TRACT B \$269.00

SLNB ARCHITECTS, INC.
 1620 Central Avenue Southeast
 Albuquerque, NM 87105
 (505) 247-9259

ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM THE PUBLIC VIEW

Building Site Coverage. All sites buildings constructed on the site shall contain at least ten percent (10%) of the total site area and shall occupy no more than fifty percent (50%) of the total area of the site. A site may not be subdivided without the prior written consent of the Architectural Control Committee.

Setbacks. Building and Parking Area front yard setbacks. Based on the defined street classification the minimum front yard setback lines and the minimum parking area setback lines, as measured from the back of curb, shall be as follows:

Building front yard setback lines:
 Principal Arterial: 30 feet
 Collector Street: 20 feet
 Local Street: 15 feet

Parking area setback lines:
 Principal Arterial: 30 feet
 Collector Street: 20 feet
 Local Street: 15 feet

The front yard setback shall remain free of buildings and structures, trash bins, storage and loading areas and fences or walls (other than retaining walls). The area between the curb and the property line shall be landscaped and shall be considered as part of the front yard setback. Sites which front on more than one street must satisfy the front yard setbacks for all such streets.

Side and Rear yard Setbacks. To act as a buffer between uses, buildings shall set back a side and rear yard setbacks. To act as a buffer between uses, buildings shall set back a side yard setback of ten (10) feet at both the side and rear yard locations. Unless the space in the side yard setback is used for paved access or parking areas, refuse containers, loading areas, mechanical or utility equipment or the like, all areas within the side yard setback within 100 feet from the curb, shall be landscaped.

No buildings or structures, other than fences, cantilevered roofs and air screens, paved access or parking areas, refuse containers, mechanical or utility equipment or the like, shall be permitted in the side yard setback, provided, that where buildings are planned on an integrated Architectural unit, side yard requirements may be varied with prior approval of the Architectural Control Committee.

No building or structures, other than fences, paved access or parking areas, cantilevered roofs and awnings, refuse containers, mechanical equipment or the like, shall be permitted in the rear yard setback.

Landscaped Area. The front yard setback of every site and the side yard setbacks within 100 feet from the curb shall be a landscaped area (the "Landscaped Area"). The entire front yard setback less the paved access ways and parking areas, shall be landscaped, and the side yard setbacks within 100 feet from the curb which are not used for paved access or parking areas, refuse containers, loading areas, mechanical or utility equipment or the like, shall be landscaped.

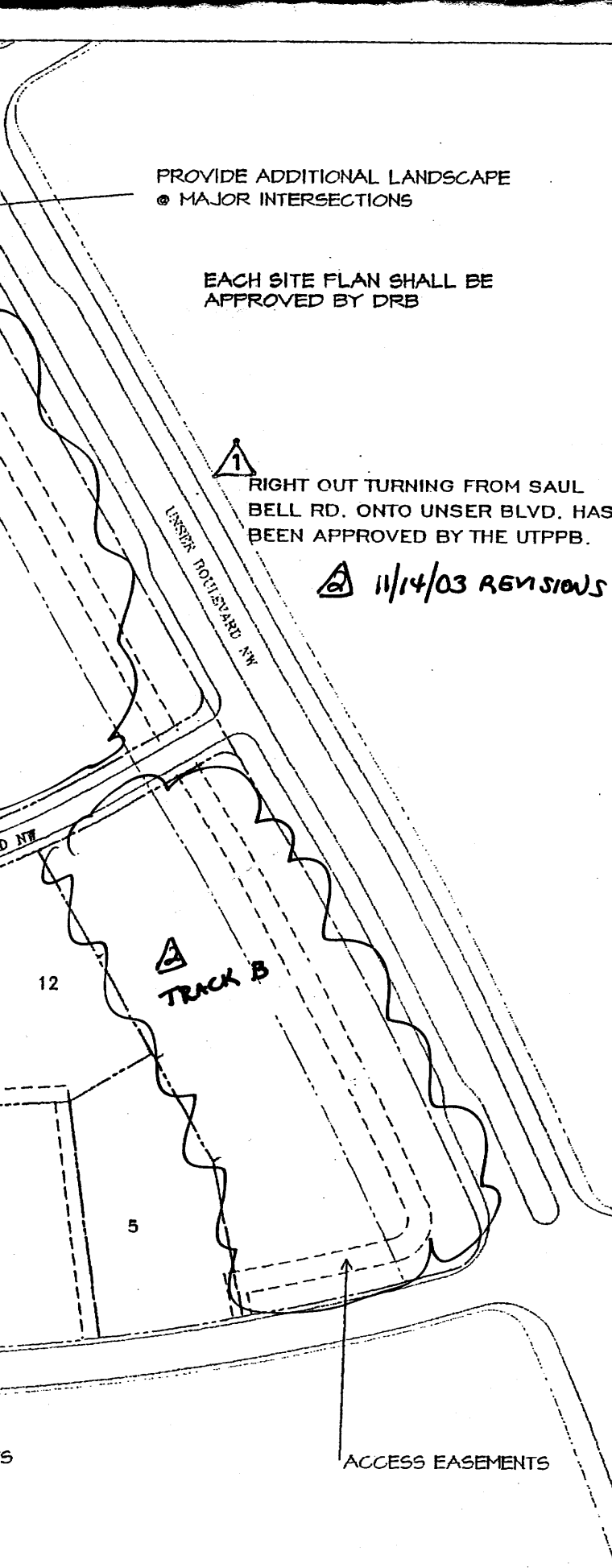
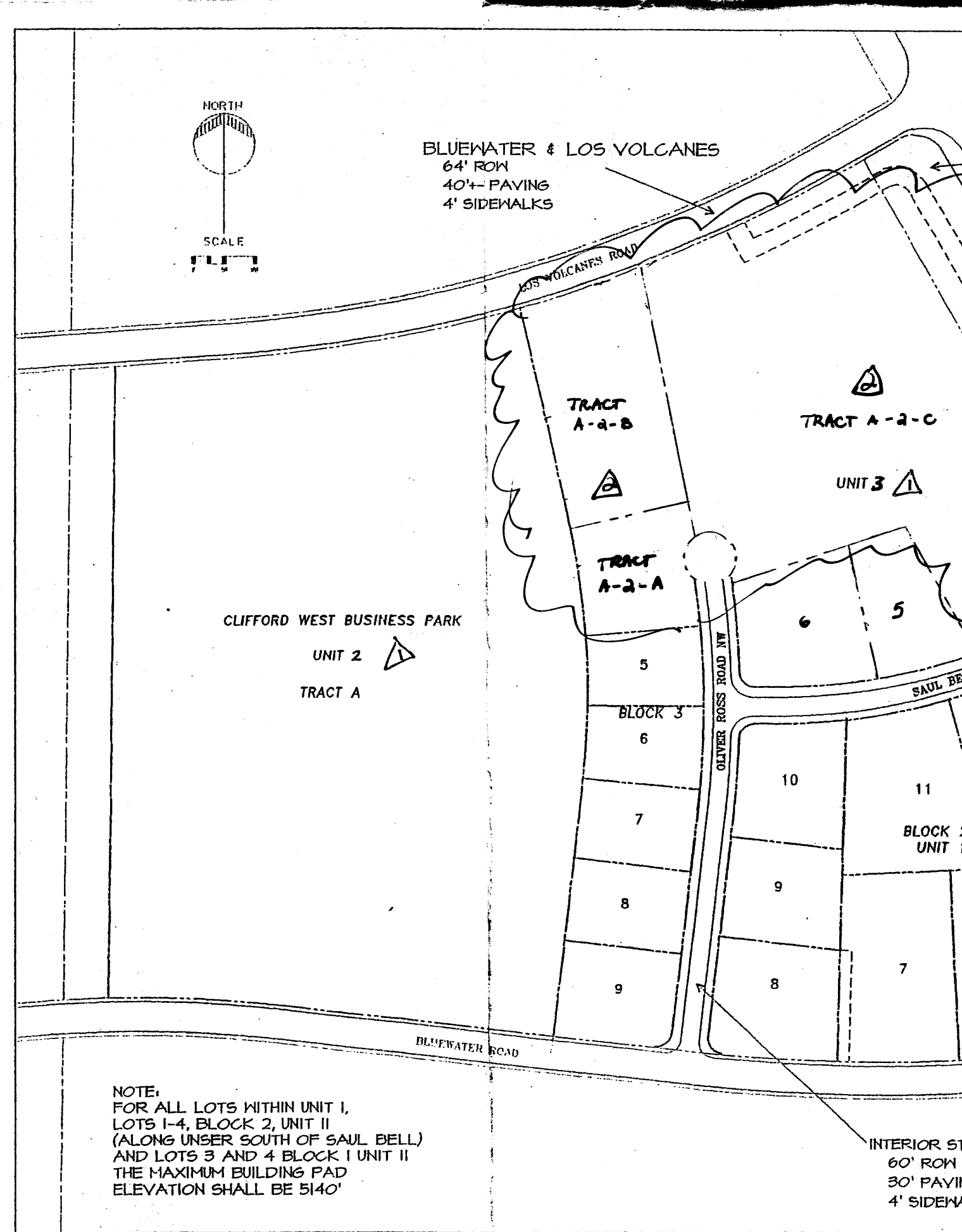
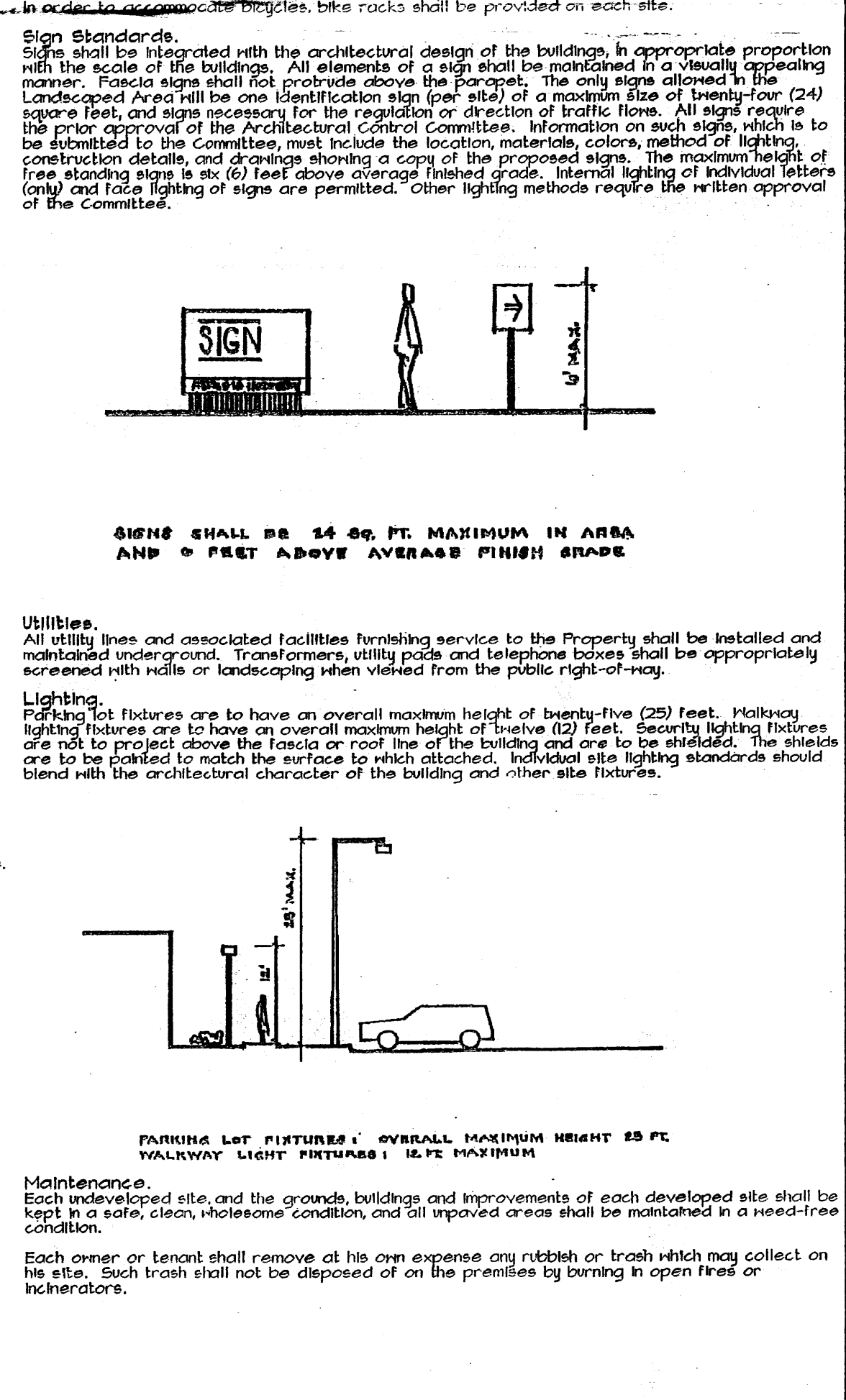
Required Landscaped Area. On every site on which a building shall have been placed, the Landscaped Area and the other portion of the front yard(s), which is not paved parking area, shall be landscaped in accordance with the following guidelines and thereafter shall be maintained in a well-kept condition.

Landscaped Area and other portion of the front yard(s), which is not paved parking area, shall be landscaped in accordance with the following guidelines and thereafter shall be maintained in a well-kept condition.

- A minimum of eighteen percent (18%) of the net site area shall be devoted to landscape materials with an emphasis placed on areas with street side exposure.
- Seventy-five percent (75%) of the required Landscape Area shall be covered with living vegetative materials. The area and the percentage it calculated based on the mature canopy size of all plant material.
- A minimum of twenty (20%) of the provided Landscape Area shall be covered turf grasses.
- Areas of turf shall be located at the most prominent visual points, such as street corners and vehicular entries to the site. The area of turf help to create visual continuity into specific sites.
- All Landscape Areas not covered with turf shall have a ground topping of crushed rock, bark chips, river rock or similar material which extends completely across the plant material. Color allowed shall be earth tone ranges, including pale shades of red.
- Headers shall be used to separate the turf and ground cover zones.
- The landscape treatment of prominent entries and intersections should change in terms of intensity, pattern, texture, scale or form to highlight it site areas.
- One tree is required for each twenty-five (25) linear feet of roadway. The required trees may be informally clustered with no more than fifty foot gap between groupings.

Maintenance. Each landscaped site and the grounds, buildings and improvements of each developed site shall be kept in a safe, clean, wholesome condition and all improved areas shall be maintained in a weed-free condition.

Each owner or tenant shall remove at his own expense any rubbish or trash which may collect on the site. Such trash shall not be disposed of on the premises by burning in open fires or incinerators.



MASTER DEVELOPMENT PLAN
CLIFFORD WEST BUSINESS PARK
 UNSER BOULEVARD NW ALBUQUERQUE, NM

CASE NUMBER: Z-97-11

REVISIONS
 22 AUG 97
 29 AUG 97

31 JUL 97

SHEET A

SITE DEVELOPMENT PLAN
 [Signature] 11-24-97
 Traffic Engineer, TRANSPORTATION DEPT Date
 [Signature] 9-9-97
 PARKS & GENERAL SERVICES DEPT Date
 [Signature] 9-9-97
 DEVELOPMENT DEPT Date
 [Signature] 12-2-97
 CITY ENGINEER, ENGINEERING DIV/AMFCA Date

APPROVAL AND CONDITIONAL ACCEPTANCE: As specified by the Development Process Manual.
 [Signature] 12/1/97
 City Planner Date
 ALBUQUERQUE/BERNALLILCO COUNTY PLANNING DIVISION

DESIGN GUIDELINES

SITE PLAN