

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

10/28/2009 Issued By: PLNSDH

Permit Number: 2009 010 168 **Category Code 940**

Application Number: 09AA-10168, Amndt Site Development Plan - Bld Prmt

Address:

Location Description: TRAMWAY BLVD NE BETWEEN INDIAN SCHOOL NE AND ROVER NE

Project Number: 1003082

Applicant
Armstrong Development

1500 N Priest Dr Ste 150e
Tempe AZ 85281
602-385-4108

Agent / Contact
Bohannon Huston Inc
Scott Steffen
7500 Jefferson Ne
Albuquerque NM 87109

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4971000	AA Actions	\$45.00
TOTAL:		\$45.00

City Of Albuquerque
Treasury Division

10/28/2009 3:28PM LCC: ANNX
WS# 006 TRANS# 0047
RECEIPT# 00111919-00111919
PERMIT# 2009010168 TRSTMG
Trans Amt \$45.00
AA Actions \$45.00
CK \$45.00
CHANGE \$0.00

Thank You

APPLICATION NO. 09AA-10168	PROJECT NO. 1003062
PROJECT NAME CVS @ INDIAN SCHOOL & TRAMWAY	
EPC APPLICATION NO.	
APPLICANT / AGENT SCOTT STEFFEN	PHONE NO. 823-1000
ZONE ATLAS PAGE J-13	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (TR), (AA)	
ONE STOP COMMENT FORM LOG	

HYDROLOGY DEV (505) 924-3986			
PLANS DISAPPROVED	DATE	DATE	DATE
PLANS APPROVED <i>BBB</i>	DATE <i>10/29/08</i>	DATE	DATE
COMMENTS:			

UTILITY DEV (505) 924-3989			
PLANS DISAPPROVED	DATE	DATE	DATE
PLANS APPROVED <i>AAA</i>	DATE <i>10/29/09</i>	DATE	DATE
COMMENTS:			

TRANSPORTATION DEV (505) 924-3990			
PLANS DISAPPROVED <i>NSE</i>	DATE <i>10/29/09</i>	DATE	DATE
PLANS APPROVED <i>NSE</i>	DATE <i>10/29/09</i>	DATE	DATE
COMMENTS:			
<i>Discuss overall site vs approved ΔΔ, see Site Plan marked Transp.</i>			

PARKS AND REC (505) 768-5328			
PLANS DISAPPROVED	DATE	DATE	DATE
PLANS APPROVED	DATE	DATE	DATE
COMMENTS:			

PLANNING (505) 924-3858			
PLANS DISAPPROVED	DATE	DATE	DATE
PLANS APPROVED <i>PSS</i>	DATE <i>04 Nov '09</i>	DATE	DATE
COMMENTS:			
<i>Rec'd 10-20-09</i>			
<i>New lot lines to create three lots. Revised parking. Cross-parking agreement necessary.</i>			

Revised 3/3/04

(Return form with plat / site plan)



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): BOHANNAN HUSTON, INC. PHONE: (505) 823-1000
 ADDRESS: 7500 JEFFERSON ST. FAX: (505) 798-7988
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: SSTEFFEN@BHINC.COM

APPLICANT: ARMSTRONG DEVELOPMENTS PROPERTIES, INC. PHONE: (602) 385-4106
 ADDRESS: 1500 N. PRIEST DR., SUITE 150E FAX: (602) 385-4101
 CITY: TEMPE STATE AZ ZIP 85281 E-MAIL: SMAIER@ACOL.COM
 Proprietary interest in site: DEVELOPER List all owners: SKYVIEW CENTER LP

DESCRIPTION OF REQUEST: ADMINISTRATIVE AMENOMENT TO ADD LOT LINES CREATING 3 LOTS; ADJUST PARKING CONFIGURATION AND ADD PARKING DATA.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. SPROUL SECURITY SUBDIVISION # 2 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: _____
 Existing Zoning: C-2 Proposed zoning: C-2 MRGCD Map No _____
 Zone Atlas page(s): J-13-2 UPC Code: 102305804034621002

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 2-71-178-f

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 3 Total area of site (acres): 5.1
 LOCATION OF PROPERTY BY STREETS: On or Near: TRAMWAY BLVD. NE
 Between: INDIAN SCHOOL NE and ROVER NE
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team Date of review: 6-23-09

SIGNATURE Scott Steffen DATE 10/28/09
 (Print) SCOTT STEFFEN Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

09AA - 10168
09AA - 10172

Action

ASBP PLA
ASPS PLA

S.F.

Fees

\$ 45.00
 \$ 45.00 11/02/09
 \$ _____
 \$ _____
 \$ _____
 Total
 \$ 90.00

Hearing date N/A

Sandy Handley 10/28/09
 Planner signature / date

Project # 1003062 90.00
Stt

FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (AA02)

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) **5** copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) **1** copy
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of EPC or DRB Official Notice of Decision
- Fee (see fee schedule)
- Any original and/or related file numbers must be listed on the cover application

NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area

- Notifying letter & certified mail receipts addressed to owners of adjacent properties
- Office of Neighborhood Coordination inquiry response, notifying letter, and certified mail receipts

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION (AA03)

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) **5** copies
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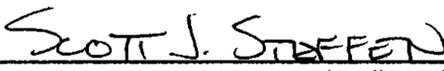
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WIRELESS TELECOM FACILITY (WTF)- FREE-STANDING, COLLOCATION or OTHER TYPE (AA04)
(EXCEPT FOR COLLOCATION OF A NON-CONCEALED WTF ON A STRAIGHT-ZONED SITE, WHICH GOES TO THE ZONING FRONT COUNTER AT THE BUILDING SERVICES CENTER/ EAST SIDE)

- Letter describing the request and discussion of its how it relates to the WTF Ordinance (O-06-40)
- Letter of authorization from the property owner if application is submitted by an agent
- Fee (see fee schedule-included with application)
- Any relevant file numbers (case history of previous development applications) must be listed on cover application
- Copy of EPC Official Notice of Decision, if the subject site went through the EPC process
- Proposed Site Plan set: cover sheet, notes/photo sheet, site plan sheets, elevation sheets, landscape plan (if free-standing), and survey sheet(s) (**3** copies- 11" x 17")
- For collocation on public utility pole: the PNM approved site plan set for the proposed WTF (**1** copy)
- For free-standing WTFs: photo simulation- before and after proposed WTF
- Site Plan sheets must be stamped by a registered engineer or architect.
- Copy of approved Site Plan being amended by adding the proposed WTF, if applicable (**1** copy)
- Zone Atlas maps- 1 showing Zoning and 1 showing Land Use, with the subject site clearly outlined and indicated
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- For collocation on public utility pole: written discussion of items a through e in §14-16-3-17(A)(14)
- Notarized statement re: WTF capacity, number and types of proposed antennas and if another user can be accommodated on proposed WTF [see §14-16-3-17(A)(13)(d)(2)]
- Affidavit (notarized statement) re: explanation of factual basis for the proposed WTF's engineering requirements [see §14-16-3-17(A)(13)(d)(3)] Note: Notarized statement and affidavit must be on separate pages.
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NOTE: There are additional requirements for WTFs to be located on City of Albuquerque property. Please contact Catalina Lehner at (505) 924-3935 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in rejection of this application and/or deferral of actions.


 Applicant's Name (please print!)

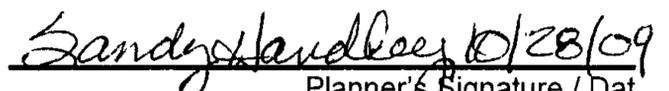
 Applicant's Signature

10/28/09
 Date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers:
 09AA - 10168
 09AA - 10177


 Planner's Signature / Date
 Project #: 1003062

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
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Application case numbers
09AA - 10168

Action ASBP S.F. P(4) Fees \$ 45.00

Hearing date N/A

Total
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Sandy Handley 10/28/09
Planner signature / date

Project # 1003062

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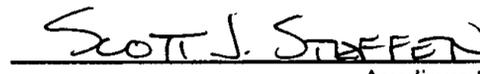
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 Applicant's Signature

10/28/09
 Date



- Checklists complete
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- Case #s assigned
- Related #s listed

Application case numbers:
09AA - 10168


 Planner's Signature / Date
 Project #: 1003062

October 28, 2009

Mr. Russell Brito
Planning Department
600 2nd St. NW, 3rd Floor
Albuquerque, NM 87102

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

Re: Administrative Amendment Request: Proposed CVS at the Northeast Corner of Indian School and Tramway

Dear Russell:

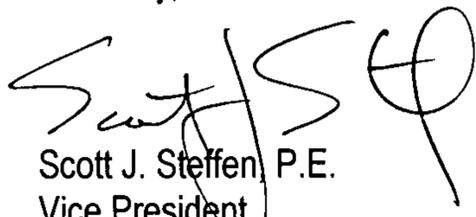
Enclosed for your review and approval are the following documents associated with the subject Administrative Amendment request:

1. Proposed Site Plan, Landscape Plan, Grading and Drainage Plan, and Utility Plan, for the new CVS project.
2. Previously approved Site Plan for Building Permit and associated Official Notification of Decision for COA File Number Z-71-178-4. Please note that due to the age of this approval, the only documentation we could find was on Microfiche; the quality of print is therefore, poor.
3. Previously approved Administrative Amendment dated September 11, 2009.
4. Letter of Authorization from the owner of the Center allowing Bohannan Huston to act as agents regarding this request.
5. Application.
6. Form P (4).
7. Zone Atlas Page J-23-Z.
8. Fee.

A previous Administrative Amendment request was approved on September 11, 2009 by you, recognizing a proposed CVS Pharmacy building to be built on the site and replace an existing larger building. This request is to modify the parking field in front of the new store slightly, to allow for a better solution to the site grading. Additionally, a new parcel will be created dividing the 5.33 acre property into 3 tracts. Parking calculations are included for your review, describing the quantities of parking required and provided on each new parcel. This new parcels will be subdivided from the existing 5.33 acre property and processed through the Development Review Board.

Please review this submittal and let Paul Wymer or me know if you have any questions or need additional information.

Sincerely,



Scott J. Steffen, P.E.
Vice President
Community Development and Planning

SJS/cc
Enclosures

cc: Scott Maier, Armstrong Development (w/encls.)
Paul Wymer, BHI (w/encls.)

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

June 18, 2009

City of Albuquerque Planning Department
600 2nd Street NW
Albuquerque, NM 87103

**RE: CVS Authorization for Submittals to City of Albuquerque
NEC Indian School Road and Tramway Boulevard, Albuquerque, NM 87112**

To Whom It May Concern:

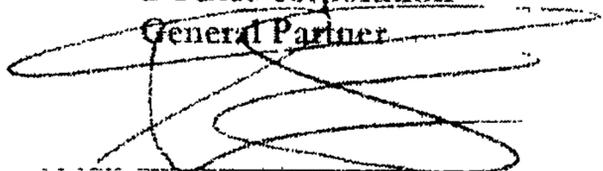
As the current fee owner of 1.48 acres of property located at the northeast corner of Indian School Road and Tramway Boulevard in Albuquerque, NM, I hereby authorize Vogel, Campbell & Bleher, P.C., Bohannon Huston, Inc., Jacobs Global Buildings, Southwest Signs, Armstrong Development Properties, Inc. and its agents to act on our behalf for the applications and submittals for CVS/pharmacy at the above referenced site.

Please feel free to contact me with any questions or concerns.

Sincerely,

Skyview Center LP
a Texas limited partnership

By: **Chescott, Inc.**
a Texas corporation
General Partner



Thomas Stephen
President

OFFICIAL NOTIFICATION OF DECISION

City of Albuquerque
Municipal Development Department
Planning Division
P.O. Box 1293, Albuquerque, New Mexico 87103

Date: January 17

Design Collaborative
105 4th Street SW
Albuquerque, N.M. 87102

NOTIFICATION OF DECISION

File: 2-71-178-4

Location: Area 2, Sprout Security Subdivision #2, zoned C-2, located at the northwest corner of Indian School Road N.E. and Cumbres Street N.E., containing approximately 5.33 acres. (J-23)

On January 16, 1986, the Environmental Planning Commission voted to approve your Site Development Plan for the above referenced property based on the following Findings and subject to the following Conditions.

FINDINGS:

1. This plan contains all the major elements required for site development plan submittal.
2. The number of parking spaces shown is 6 short of what is required.
3. A median cut will be allowed on Indian School Road.
4. Additional landscaping treatment is needed around the buildings on the western side of the property.

Conditions:

1. The median cut on Indian School Road must meet the requirements of the Traffic Engineer. This includes approval by the City Engineer's Office and an agreement with the property owner to the south to not have access at this point.
2. A revised drainage plan must be approved prior to final plan sign-off.
3. The landscaping on City rights-of-way must be approved by the City Engineer's Office and the Parks and Recreation Department. The developer must maintain these areas.
4. The refuse bin located at the northwest corner of the site must be moved away from the single-family residential development north of the property to the south in line with the circulation aisle north of the east entrance. The refuse enclosures will be gated and subject to the approval of the Refuse Department.
5. The type of glass to be used must be noted on the plan. No reflective or black glass will be used.
6. Additional landscaping, consisting of trees and shrubs, must be placed around the building on the western side of the site.
7. A 6-foot sidewalk is required on Indian School Road and a 4-foot sidewalk is required on Cumbres Road.
8. Street trees must be provided along the entire Indian School frontage.

151 Development Group, 1336 Hyomin N.E., 87110
John Killam, 1439 Cummins N.E.
Mary Lyon, 13320 Bellman N.E.

cc:
P/D/J

Assistant City Planner

[Handwritten Signature]
Sincerely,
P/D/J

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Any person aggrieved with any determination of the Environmental Planning Commission Appeal to the City Council. Any person aggrieved with any determination of the Environmental Planning Commission Appeal to the City Council may file an appeal to the City Council by submitting written application on the Planning Division form to the Planning Division within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Permit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City Plans, Policies and Ordinances have been properly followed. If it decides that all City Plans, Policies and Ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 60 days of its filing.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY 1/31/86 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$40 IS REQUIRED AT THE TIME THE APPEAL IS FILED.



CITY OF ALBUQUERQUE
OFFICE OF THE ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

CASTLE BEVERAGE CORP request(s) a special exception to Section 14.16.2.17.(b).(17): a CONDITIONAL USE to allow package liquor sales within 500 feet of a residential zone on all or a portion of Lot(s) 2, Sproul Security Number 2 subdivision/addition, zoned C-2/SC and located at 1550 TRAMWAY BLVD NE (J-23)

Special Exception No:..... 03ZHE - 01816
Project No:..... 1003062
Hearing Date:..... 04-18-06
Closing of Public Record:..... 04-18-06
Date of Decision:..... 05-02-06

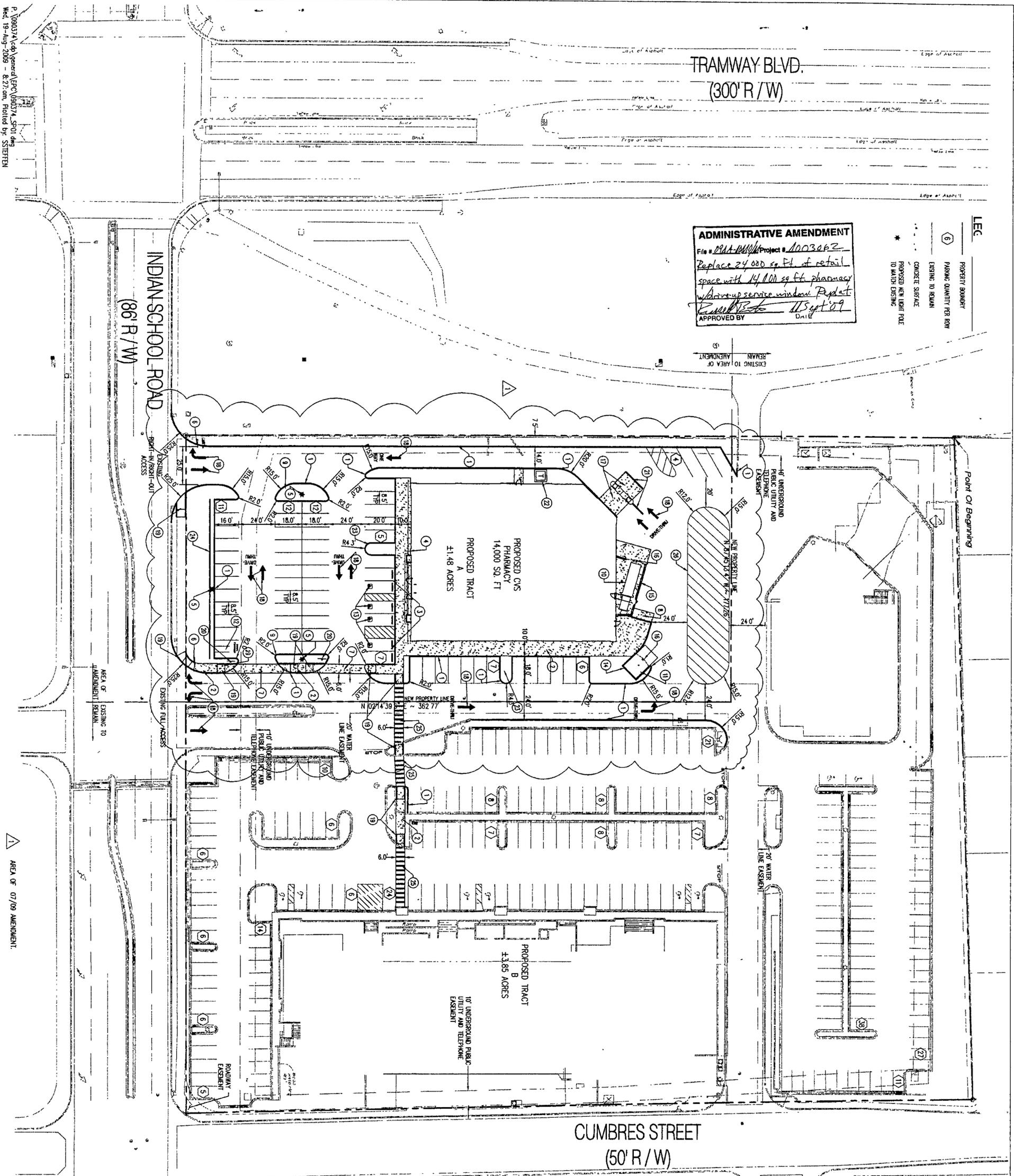
STATEMENT OF FACTS: The applicant was represented by Jerry Wright. Castle Beverage Corporation is requesting a conditional use to allow for packaged liquor sales within 500' of a residential zone. This request was previously presented to this office on November 3, 2005 and was approved with the limitations that the sales are solely for wine. At that time there was considerable opposition to this request. The applicant is now seeking to expand for the sales of full liquor. He indicates that the hours of operation will be from 10:00 AM to 9:00 PM, Monday through Friday and 10:00 AM to 10:00 PM on Saturday. He indicates that the primary activity at this location is of a full-service restaurant and the liquor sales will represent only 15% of the business. The applicant has been in business at this location for twelve years. Since the previous approval there has not been any substantiated complaints regarding the sale of wine. The yellow signs were posted. It is noted that at this request there is no opposition. In the previous request there had been some opposition.

Based on all of the testimony and a review of the entire file, it is determined there is substantial evidence to make the following findings and conclusions.

FINDINGS AND CONCLUSIONS: I find that this request complies with Section 14.16.2.17.(b).17., for the granting of a conditional use upon a finding that the proposed use will not cause injury to the neighborhood, adjacent property or the community, nor will it be damaged by surrounding structures. For reasons stated above, this request is approved.

DECISION: Approved.

If you wish to appeal this decision, you may do so by 5:00 p.m. in the manner described below:



EXISTING SITE DATA	PROPOSED SITE DATA
LEGAL DESCRIPTION: SPICAL SCENERY	TRACT A: 1.48 ACRES
SECTION: 2	TRACT B: 1.48 ACRES
SITE AREA: 5.33 ACRES	ZONING: C-2 (NO CHANGE)
ZONING: C-2	TRACT B: 3.85 ACRES
BUILDING SQUARE FOOTAGE: 10,000 SQ. FT.	EXISTING RETAIL, RESTAURANT, AND OFFICE
RESTAURANT: 10,000 SQ. FT.	EXISTING RETAIL, RESTAURANT, AND OFFICE
RETAIL: 45,500 SQ. FT.	C-2 (NO CHANGE)
(24,000 SQ. FT. TO BE DEMOLISHED AND REPLACED)	
WITH 14,000 SQ. FT. OF PHARMACY	

PARKING CALCS
REQUIRED PARKING:
1. EXISTING RETAIL = 23,000 FT ² * 15,000 FT ² = 75
2. EXISTING RESTAURANT = 1,750 SQUARE FT. = 32
3. PROPOSED CVS PHARMACY = 14,100 FT ² = 71
4. TOTAL REQUIRED PARKING = 233
5. EXISTING PARKING TO REMAIN = 274
6. PROPOSED PARKING ON PHARMACY = 64
7. TOTAL PARKING PROVIDED = 338
8. OTHER CVS PHARMACY DATA:
-HANDICAP PARKING PROVIDED = 4
-AUTOMATIC PARKING PROVIDED = 3
-TOTAL PARKING PROVIDED = 7
-TOTAL PARKING REQUIRED = 4
-TOTAL PARKING PROVIDED = 7
-TOTAL PARKING REQUIRED = 4
*AFTER REDUCTION OF EXISTING BUILDING

KEYED NOTES
1. 6" CONCRETE CURB
2. CONCRETE SIDEWALK - WIDTH AS NOTED
3. CONCRETE WALK FLOOR WITH ASPHALT TRIP AREA
4. BRICK BACK PER 1/C-002
5. LIGHT POLE (MATCH EXISTING)
6. STOP SIGN
7. COLORED, TEXTURED, CONCRETE CROSSWALK
8. LOADING PAD
9. END ISLAND PLANTER
10. TRASH COMPACTOR
11. REFUSE ENCLOSURE PER 7/C-002 & 5/C-002
12. AUTOMATIC PARKING WITH SIGN PER 7/C-002
13. HANDICAP PARKING SPACE PER 4/C-002
14. 6" HIGH SCREEN WALL PER 5/C-002
15. 8" HIGH SCREEN WALL PER 5/C-002
16. DRIPEDGE GATE PER 6/C-002
17. DRIPEDGE WINDOW
18. NEW PAINTED DIAGONAL ARROW
19. WHEEL CHAIR RAMP
20. PEDESTRIAN CROSSING SIGN PER 7/C-002
21. PAINTED 1" WIDE YELLOW STRIPE
22. TRANSFORMER PAD FINAL LOCATION TO BE DETERMINED
23. LANDSCAPE ISLAND
24. 5" SCREEN WALL
25. PAINTED 1" WIDE WHITE STRIPES 5" ON CENTER
26. PAINTED STRIPED MEDIAN

SKYVIEW CENTER

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT
 INDIAN SCHOOL AND TRAMWAY BLVD
 Albuquerque, New Mexico 87121

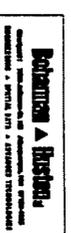
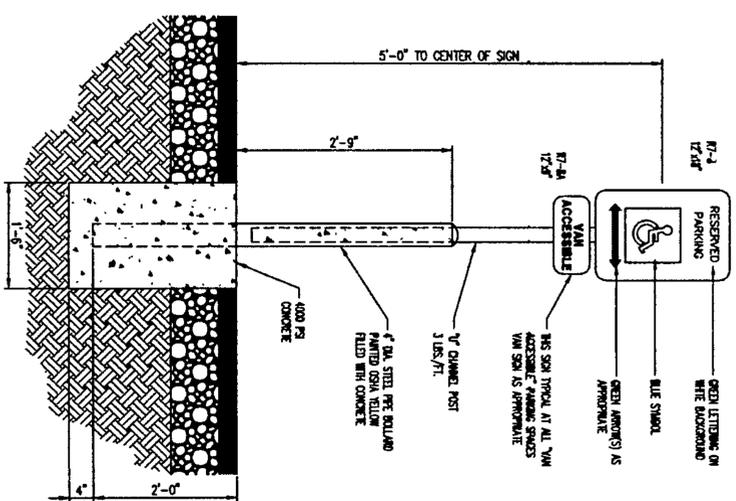
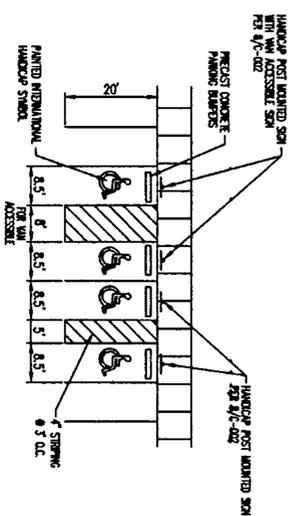
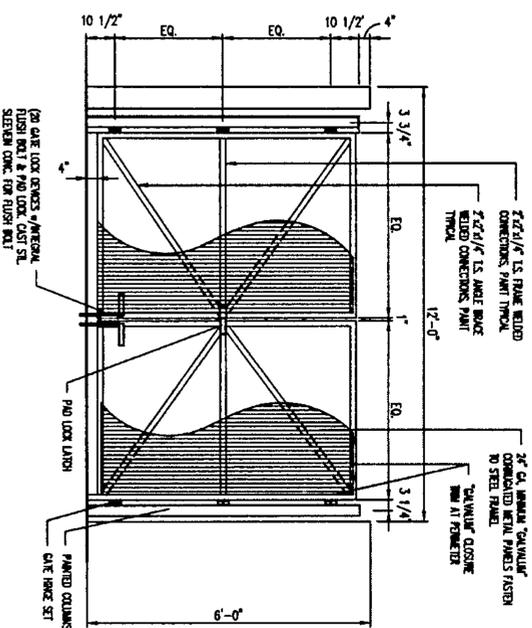
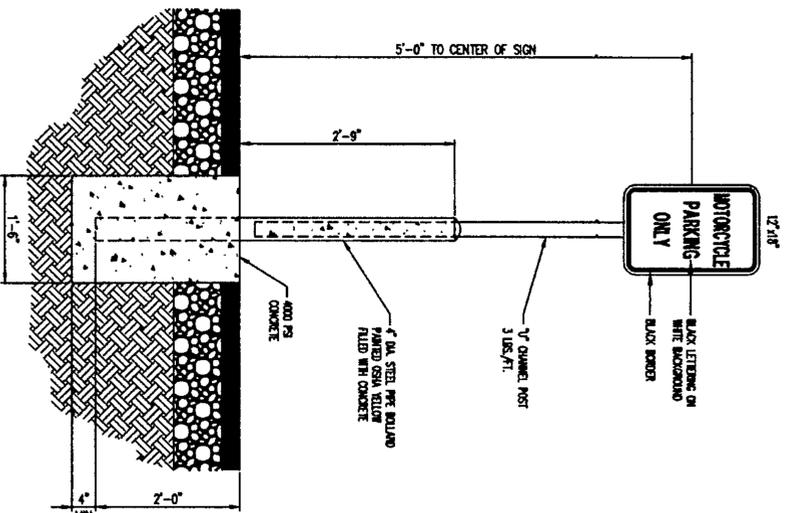
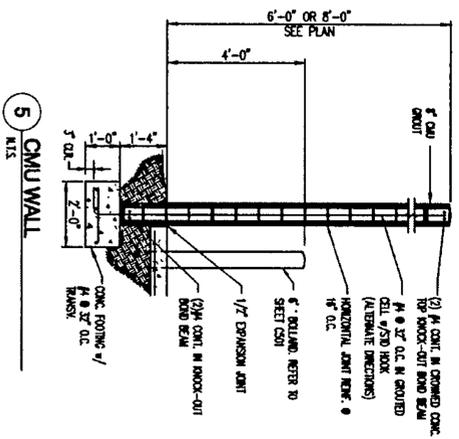
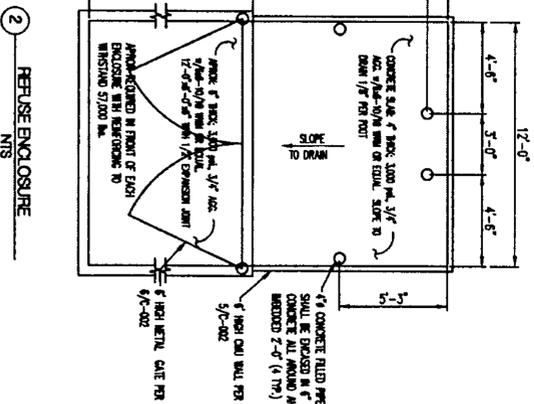
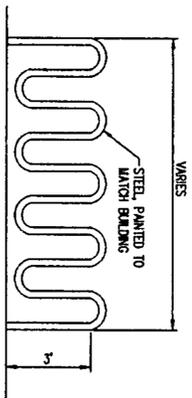
Job Number: 090374
 Drawn By: GUC
 Checked: SJS
 Issue Date: JULY 30, 2009

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT

Scale: C-001

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Bohannon & Huston, Inc.
 CONSULTING ENGINEERS & ARCHITECTS
 1000 UNIVERSITY BLVD. N. ALBUQUERQUE, NM 87102



SKYVIEW CENTER

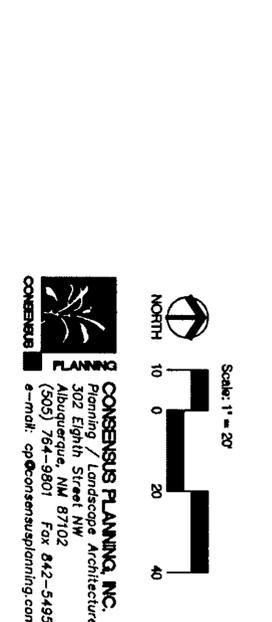
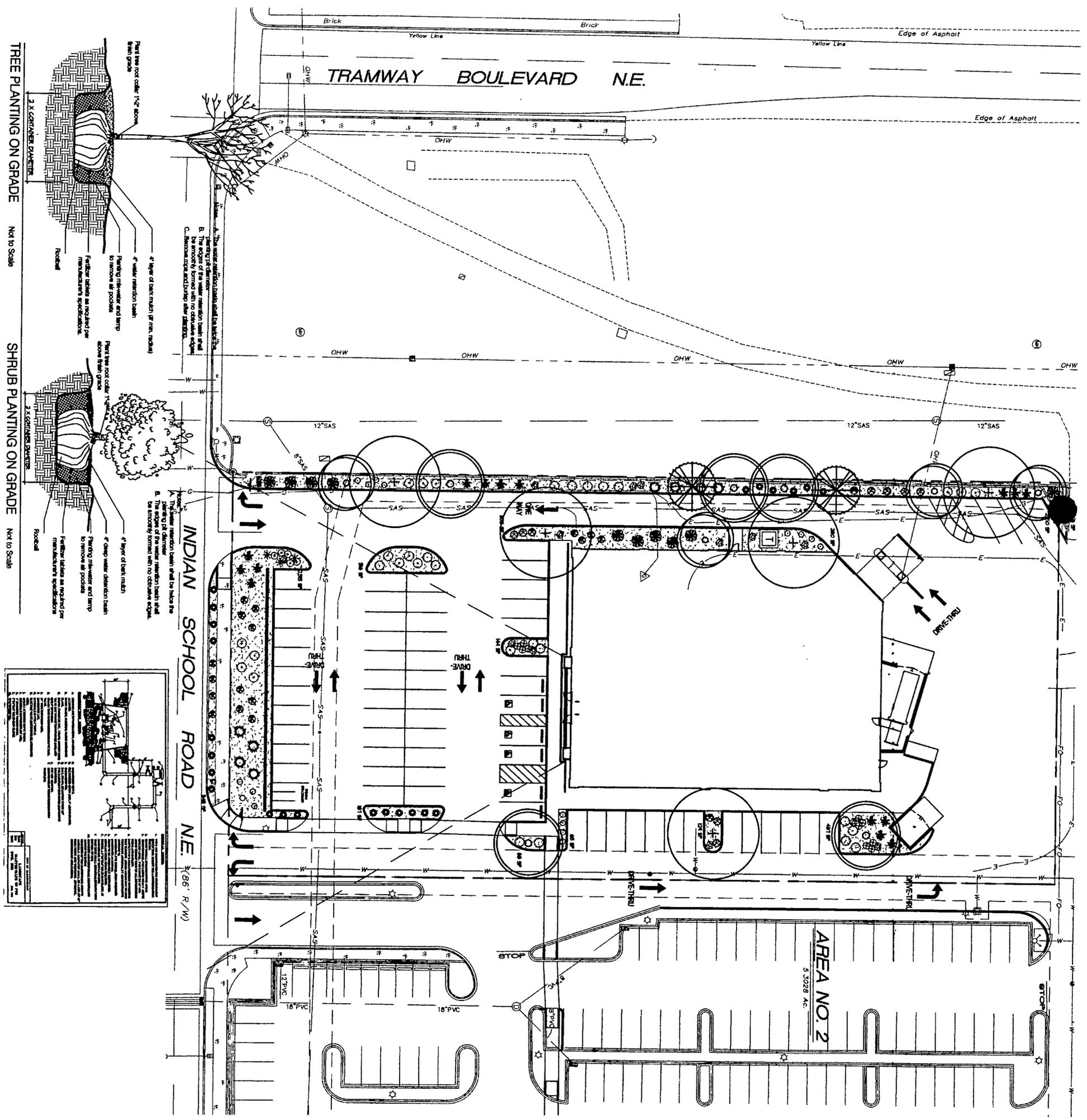
AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT
 INDIAN SCHOOL AND TRAMWAY BLVD
 Albuquerque, New Mexico 87121



Job Number	090317A
Drawn By	BJG
Checked By	SJS
Issue Date	JULY 30, 2009

SITE PLAN
 DETAILS

C-002



NT LEGEND

Qty	Symbol	Scientific Name	Common Name	Size	Height	Sp. Use
5	☉	<i>Celtis occidentalis</i>	COMMON HICKORY	2" BUB	14' HT. X 6" SPR. / 40' HT. X 40" SPR.	MEDIUM
4	☉	<i>Koeberlinia paniculata</i>	GOLDBRAN TREE	2" BUB	14' HT. X 6" SPR. / 25' HT. X 20" SPR.	MEDIUM
5	☉	<i>Robinia americana</i>	PIRELE ROBE	2" BUB	16' HT. X 6" SPR. / 50' HT. X 50" SPR.	MEDIUM
2	☉	<i>Vitex amara-castis</i>	CHASTE TREE	15 GAL.	60" HT. X 4" SPR. / 20' HT. X 20" SPR.	MEDIUM
10	☉	<i>Artemisia tridentata</i>	BIG SAGE	5-6 GAL.	4' HT. X 4" SPR.	LOW +
10	☉	<i>Cercocarpus vertic.</i>		1-6 GAL.		
10	☉	<i>Lacortium laevigatum</i>	CHIRIQUINI SAGE	1-6 GAL.	3' O.C. / 2' HT. X 5" SPR.	LOW
20	☉	<i>Halimolobos laudnerii</i>	LAUDNER HALLY	1-6 GAL.	4' HT. X 4" SPR.	LOW
10	☉	<i>Halimolobos reida</i>	PIRELE HALLY	1-6 GAL.	3' O.C. / 5' HT. X 5" SPR.	MED
10	☉	<i>Kolan macrocarpa</i>	ELKWEED	5-6 GAL.	3' O.C. / 4' HT. X 5" SPR.	LOW
5	☉	<i>Typha reida</i>	BLUE TYPPA	5-6 GAL.	4' HT. X 4" SPR.	LOW
10	☉	<i>Yucca reida</i>	YUCCA	5-6 GAL.	4' HT. X 4" SPR.	LOW
10	☉	<i>Yucca reida</i>	YUCCA	5-6 GAL.	4' HT. X 4" SPR.	LOW
10	☉	<i>Yucca reida</i>	YUCCA	5-6 GAL.	4' HT. X 4" SPR.	LOW

GENERAL NOTES

1. IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER MAINTENANCE MANUAL SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED Drip IRRIGATION SYSTEM SHALL BE USED TO IRRIGATE TREE SHRUB, AND GROUND COVER PLANTING AREAS. IRRIGATION SYSTEM DESIGN SHALL CONSIDER THE ABILITY TO EASILY PROVIDE ADDITIONAL BIDDERS FOR THE EXPANDING ROOT ZONE. TREES SHALL RECEIVE (5) 10 GPM BIDDERS AND SHRUBS SHALL RECEIVE (2) 10 GPM BIDDERS. PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

2. MAINTENANCE RESPONSIBILITY: MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE FIELD FOOT, SHALL BE THE RESPONSIBILITY OF THE OWNER.

3. STATEMENT OF WATER MAINTENANCE: FOR THE WATER CONSERVATION LANDSCAPING AND WATER MAINTENANCE MANUAL, THE LANDSCAPE PLAN FOR THE CONSERVATION IS LIMITED TO USING HIGH WATER USE TURF GRASS A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPE AREA. THERE IS NO HIGH WATER USE TURF BEING DESIGNED ON THE CVS LANDSCAPE PLAN. ALL LANDSCAPING SHALL BE IN COMPLIANCE WITH THE WATER CONSERVATION LANDSCAPING AND WATER MAINTENANCE MANUAL.

4. LANDSCAPE COVERAGE: ALL LANDSCAPE AREAS, INCLUDING BUFFER STRIPS ADJACENT TO MAJOR STREETS, SHALL CONTAIN LIVE VEGETATIVE MATERIAL COVERING AT LEAST 75% OF THE AREA.

5. LANDSCAPE CALCULATIONS:
 TOTAL SITE AREA: (1.40 AC)
 64,505 SF
 1,441 SF
 50,925 SF
 TOTAL AREA:
 1754 SF

6. PROVIDED LANDSCAPE AREA (ON-SITE):
 1,070 SF (61%)
 1,441 SF
 50,925 SF (94%)
 TOTAL LANDSCAPE AREA.

Scale: 1" = 20'

Scale: 1" = 20'

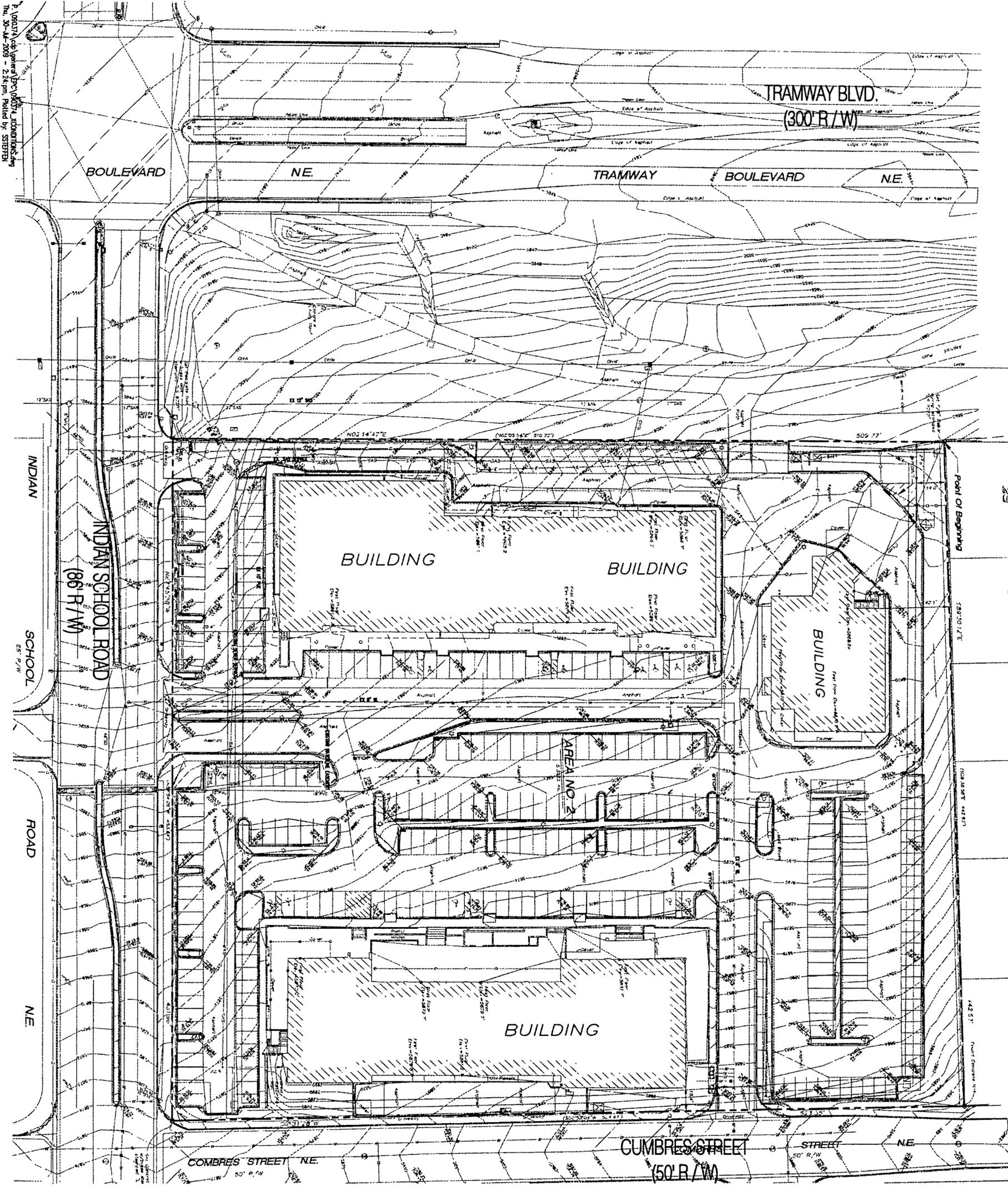
Scale: 1" = 20'

CONSENSUS PLANNING INC.
 Planning / Landscape Architecture
 302 Eighth Street NW
 Albuquerque, NM 87102
 (505) 784-9901 Fax 842-5495
 e-mail: cp@consensusplanning.com

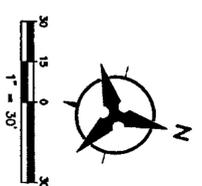
Job Number: _____
 Drawn By: _____
 Checked: _____
 Issue Date: JULY 28, 2009
 Scale: _____ of _____

CVS/pharmacy
 SKYVIEW CENTER
 LANDSCAPE PLAN
 INDIAN SCHOOL AND TRAMWAY BLVD
 Albuquerque, New Mexico 87121

Robinson & Robinson
 ARCHITECTS • ENGINEERS • PLANNERS



P:\080374\080374\General\080374\ADDITIONS.dwg
 Thu, 30-Jul-2009 - 2:26pm, Plotted by: SIFTERE



LEGEND

○	Storm Drain Manhole	—○—	Gas Line
⊙	Sanitary Sewer Manhole	—□—	Water Line
⊚	Manhole	—◇—	Water Meter
⊛	Sanitary Sewer Line	—■—	Utility/Pipeline
⊜	Storm Drain Line	—▲—	Spig
⊝	Storm Drain Vent	—●—	Transmission Line
⊞	Power Pole	—○—	Over Top
⊟	Overhead Wire	—○—	Fire Alarm Line
⊠	Under Pass	—○—	Over Top
⊡	Light Pole	—○—	Utility Pole
⊢	Manhole	—○—	Signal Light Tower
⊣	Manhole	—○—	Signal Light Pole
⊤	Manhole	—○—	One Meter

SKYVIEW CENTER

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT
 INDIAN SCHOOL AND TRAMWAY BLVD
 Albuquerque, New Mexico 87121



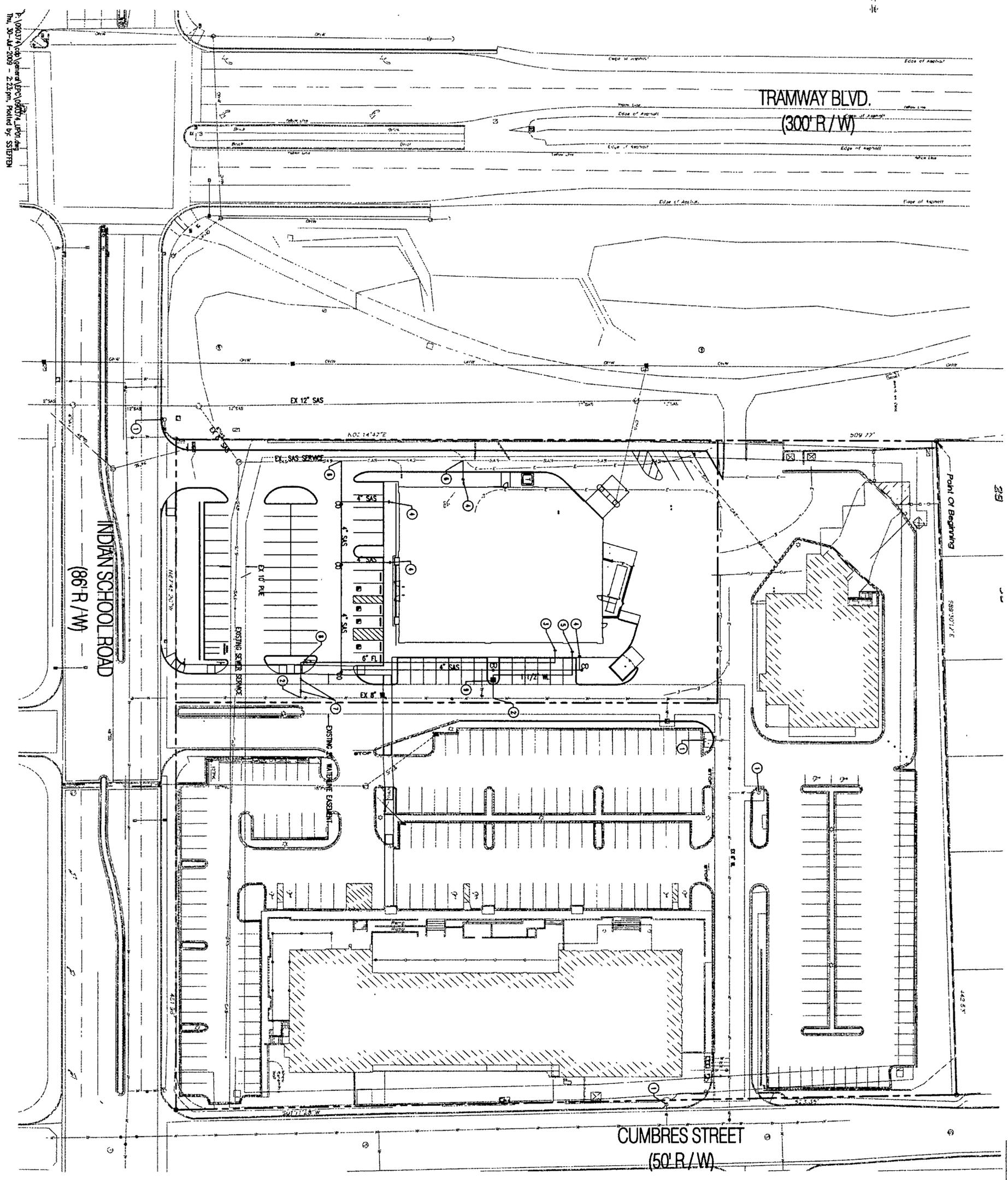
Job Number: 090374
 Drawn By: BJG
 Checked: SIS
 Issue Date: JULY 30, 2009

EXISTING CONDITIONS
 PLAN

C-100

Scale: 00 00

11
11
11
11

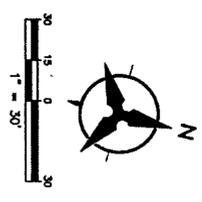


29

Point of Beginning

589.3017'E

142.53'



KEYED NOTES

- 1 EXISTING FIRE HYDRANT
- 2 CONNECT WATER/FIRE SERVICE TO EXISTING WATERLINE
- 3 CONNECT FIRE LINE TO WITHIN 5' OF BUILDING
- 4 CONNECT SAS LINE TO WITHIN 5' OF BUILDING
- 5 CONNECT WATER LINE TO WITHIN 5' OF BUILDING
- 6 CONNECT SEWER LINE TO EXISTING LINE
- 7 PROPOSED CATE VALVE
- 8 PROPOSED POST INDUCTION VALVE
- 9 PROPOSED WATER METER

LEGEND

- PROPERTY LINE
- EXISTING EASEMENT
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING WATER METER
- EXISTING CUP
- EXISTING VALVE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING INLET
- EXISTING EASEMENT
- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED CLEANOUT
- PROPOSED WATER LINE
- PROPOSED VALVE
- PROPOSED CUP
- PROPOSED FIRE LINE
- PROPOSED WATER METER

SKYVIEW CENTER

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT
INDIAN SCHOOL AND TRAMWAY BLVD
Albuquerque, New Mexico 87121



CONCEPTUAL
UTILITY PLAN

Job Number 0903774
Drawn By BJS
Checked BJS
Issue Date JULY 30, 2009

C-201

Scale

00 00

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Thu, 30-Jul-2009 - 2:23 pm, Plotted by: SSIETERN

CVS/pharmacy

NEC Indian School & Tramway
Albuquerque, NM

Finish Colors:

A EIFS
NA01-0048
Pale Yellow



G Eifs accent
To match adjacent center accent



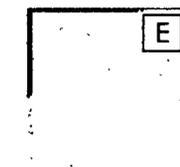
L EIFS
NA00-0042
Terra Cotta



C Brick
To match adjacent center



D Storefront System
Carnival red (Valspar SL4A139)



E Paint
To match Brick

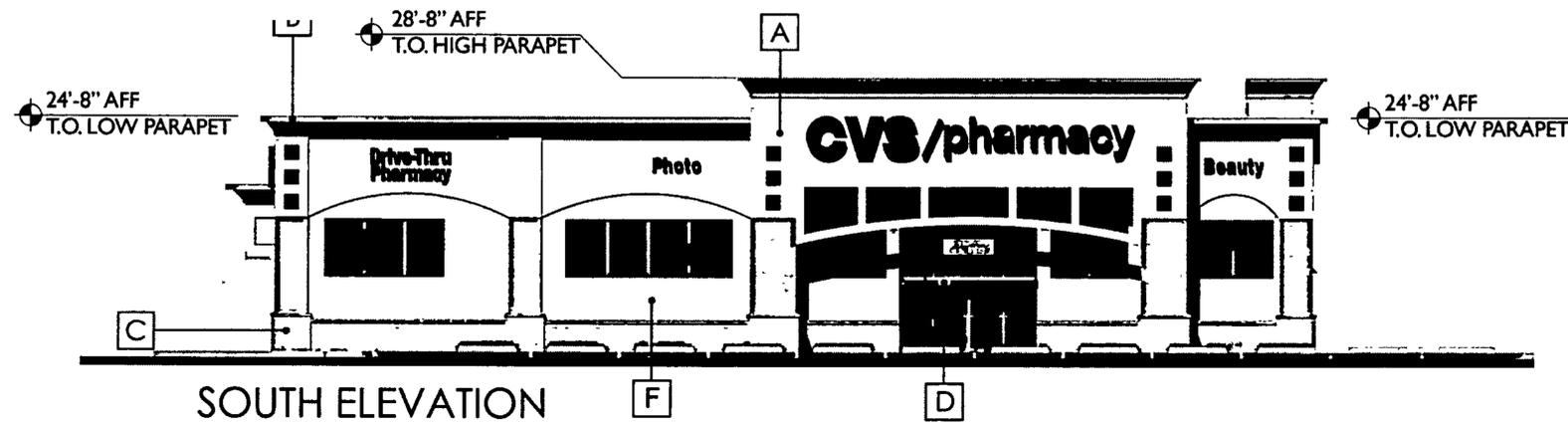
F Eifs
To match adjacent center



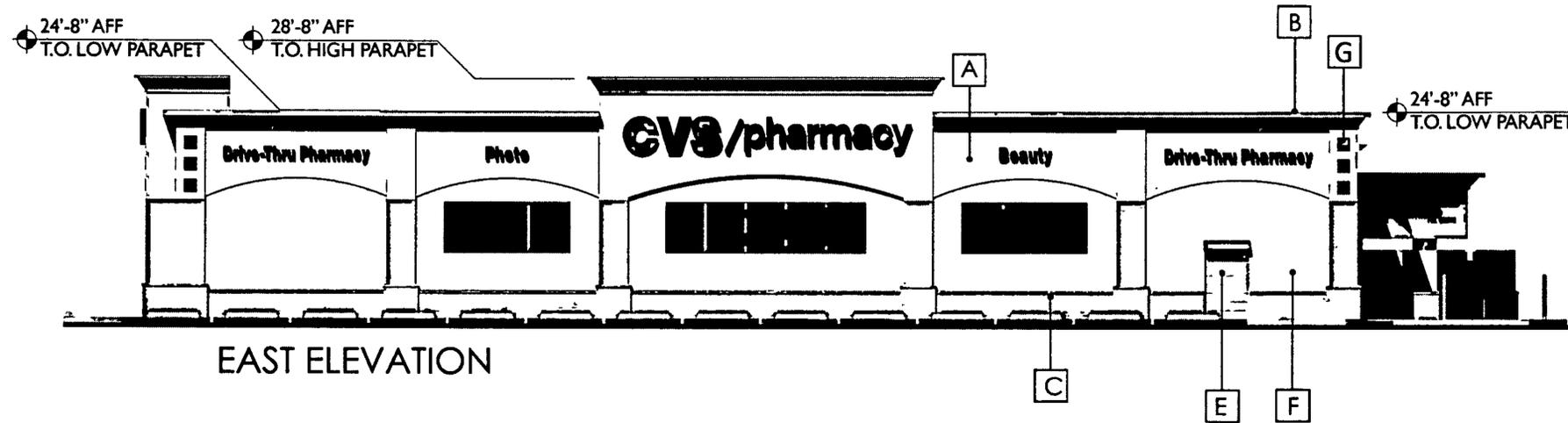
1500 N. PRIEST AVE
SUITE 150E
TEMPE, AZ
(602) 385-4100

JACOBS

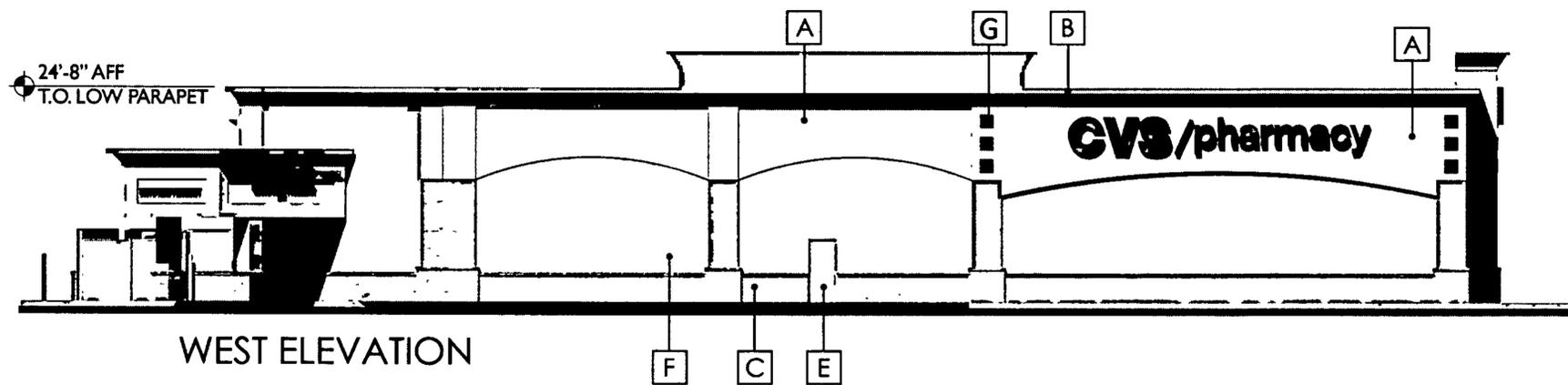
101 N. 1ST AVENUE, SUITE 3100
PHOENIX, ARIZONA 85003
(602) 253-1200



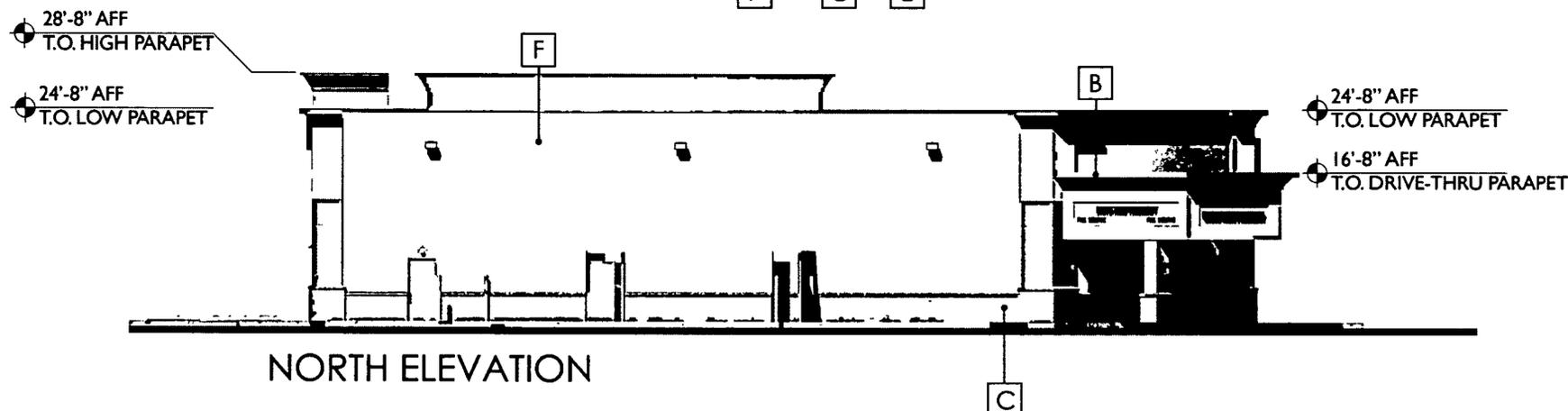
SOUTH ELEVATION



EAST ELEVATION



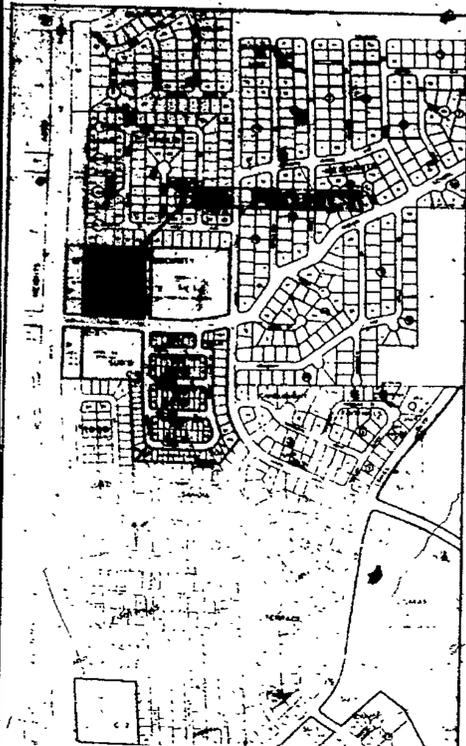
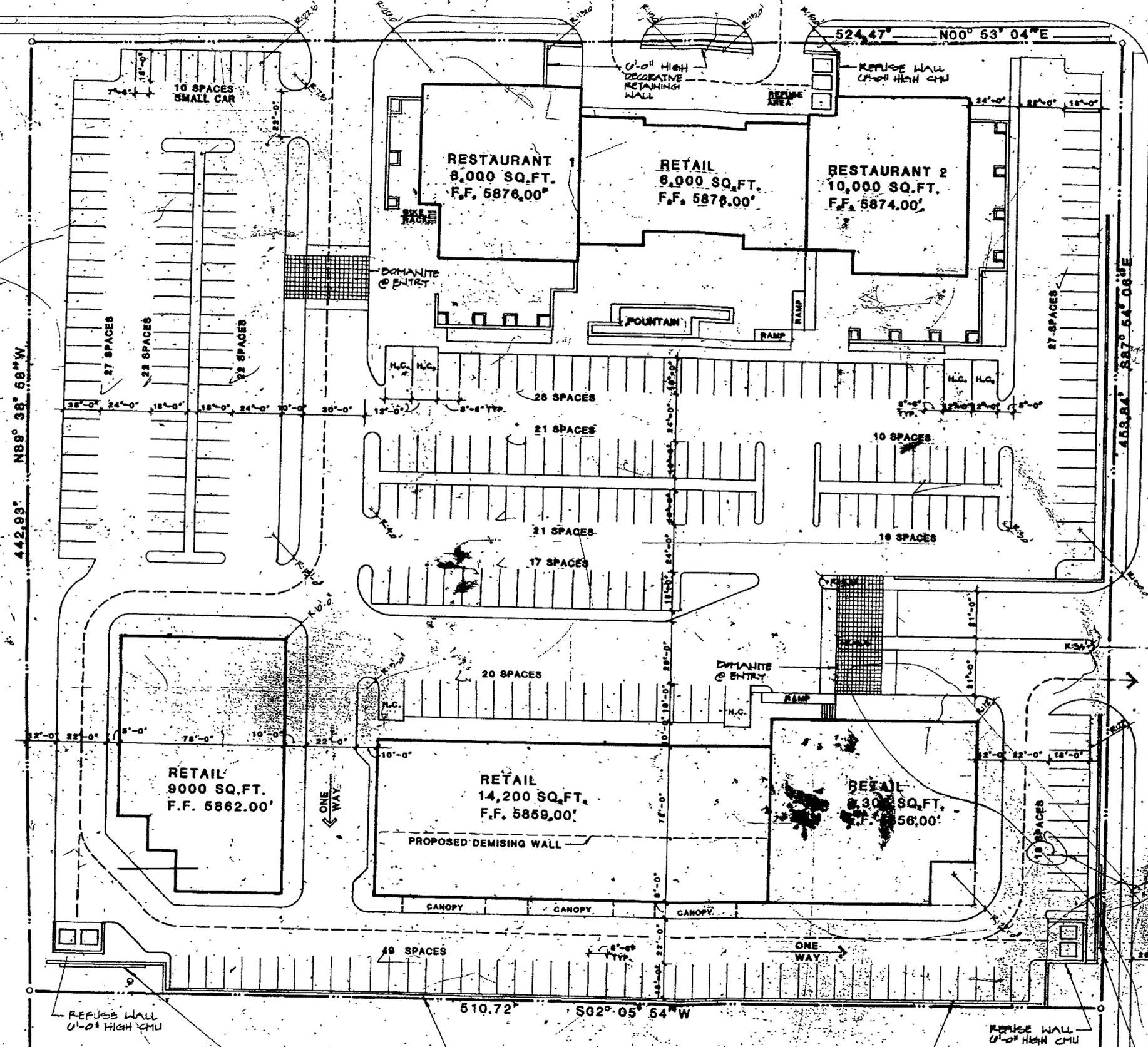
WEST ELEVATION



NORTH ELEVATION

CUMBRES ROAD

REFUSE ROUTE



49

REFUSE WALL
0'-0" HIGH CMU

SIGN AT WALL
5'-0" HEIGHT FROM GROUND
4'-0" x 4'-0"
MOUNTED IN WALL
SEE P.S. FOR ELEVATION

LANDSCAPE AREA

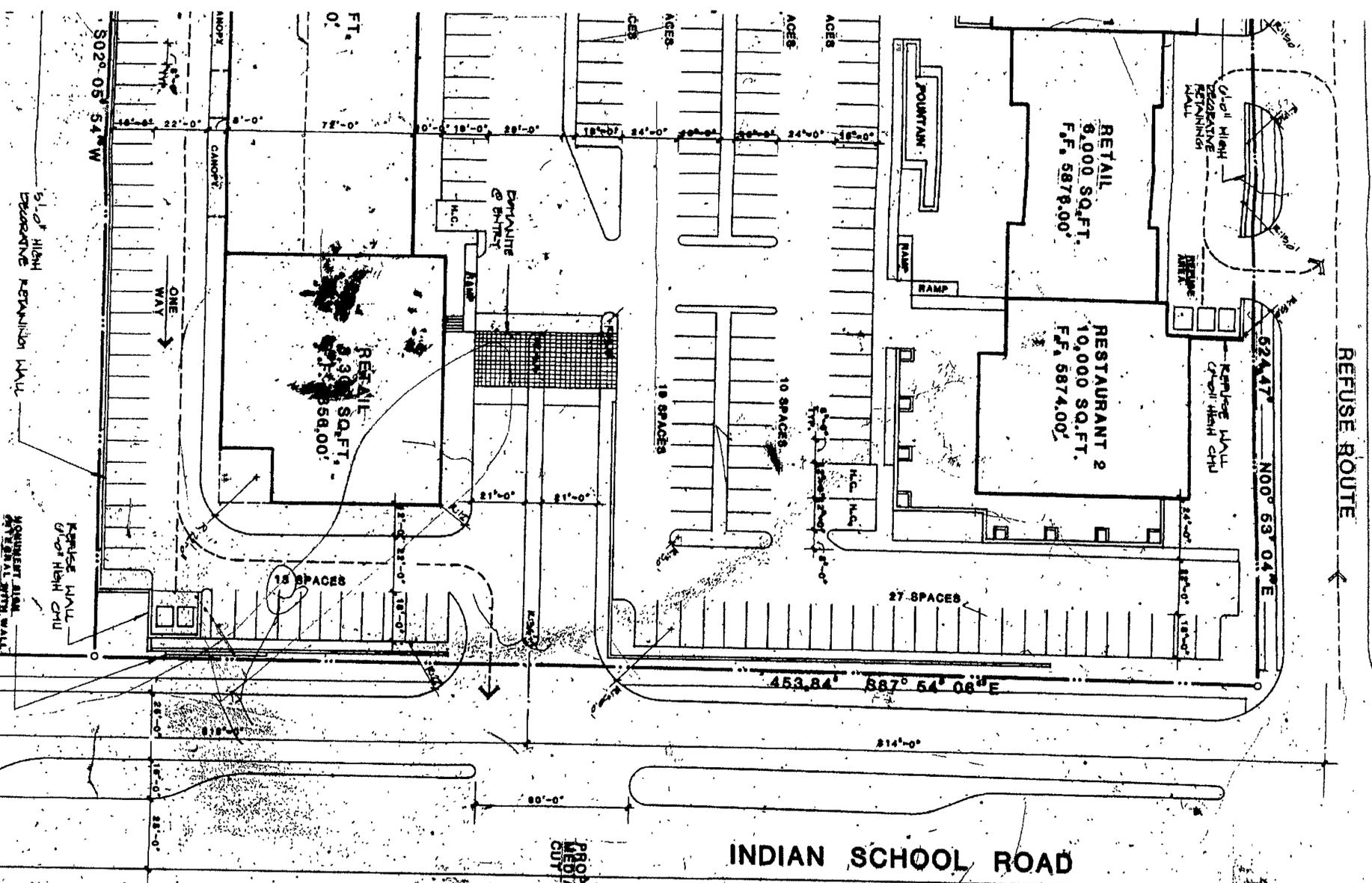
5'-0" HIGH DECORATIVE RETAINING WALL

REFUSE WALL
0'-0" HIGH CMU

MONUMENT SIGN
MOUNTED WITH WALL
4'-0" x 4'-0"
6'-0" HEIGHT FROM GRADE

INDIAN SPRINGS PARK

WEST



LEGAL DESCRIPTION:

Area 2 in Special Ordinance SUBDIVISION No. 7, a subdivision within the CITY OF ABINGERTON, New Jersey, as the same as it is designated on the map of said subdivision filed in the Office of the County Clerk of Burlington County, New Jersey, on March 25, 1972 in book C-5, page 117.

ZONING: C-2

TOTAL ACREAGE: 6.88 ACRES

PROPOSED USE: RESTAURANT AND RETAIL.

TOTAL SITE SQUARE FOOTAGE: 232,176 SQ.FT.

BUILDING SQUARE FOOTAGE:

RESTAURANT 1: 10,000 SQ.FT.
 RESTAURANT 2: 10,000 SQ.FT.
 RETAIL: 6,000 SQ.FT.

TOTAL GROSS SQ.FT. (ALL BUILDINGS): 26,000 SQ.FT.

TOTAL PAVING AREA: 125,500 SQ.FT.

GROSS TOTAL BUILDING / PAVING AREA: 181,500 SQ.FT.

TOTAL LANDSCAPE AREA: 22% OF SITE AREA

HARD LANDSCAPE: 24,075 SQ.FT.
 SOFT LANDSCAPE: 26,000 SQ.FT.
 TOTAL: 50,075 SQ.FT.
 (60,075/232,176 = 25%)

PARKING DATA:

RESTAURANT 1: 265 SEATS
 RESTAURANT 2: 500 SEATS
 865 SEATS / 425 1/2

SEATING BASED ON 725 TABLE SEATING
 275 SEATS
 275 LANDSCAPE SEATING @ 1 SPACE

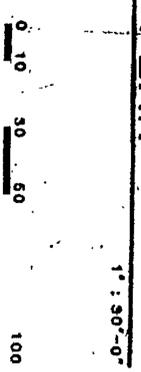
RETAIL: 205 GROSS : 31,275 / 209 1/2
 292

TOTAL PARKING PROVIDED: 292 SPACES TOTAL

BREAKDOWN:
 270 LARGE CAR SPACES 8'0" x 18'0" (2.0" OVERHANG)
 10 SMALL CAR SPACES 7'0" x 16'0"
 9 HANDICAP SPACES (3% OF TOTAL 2% REQUIRED)
 120' x 20'0"

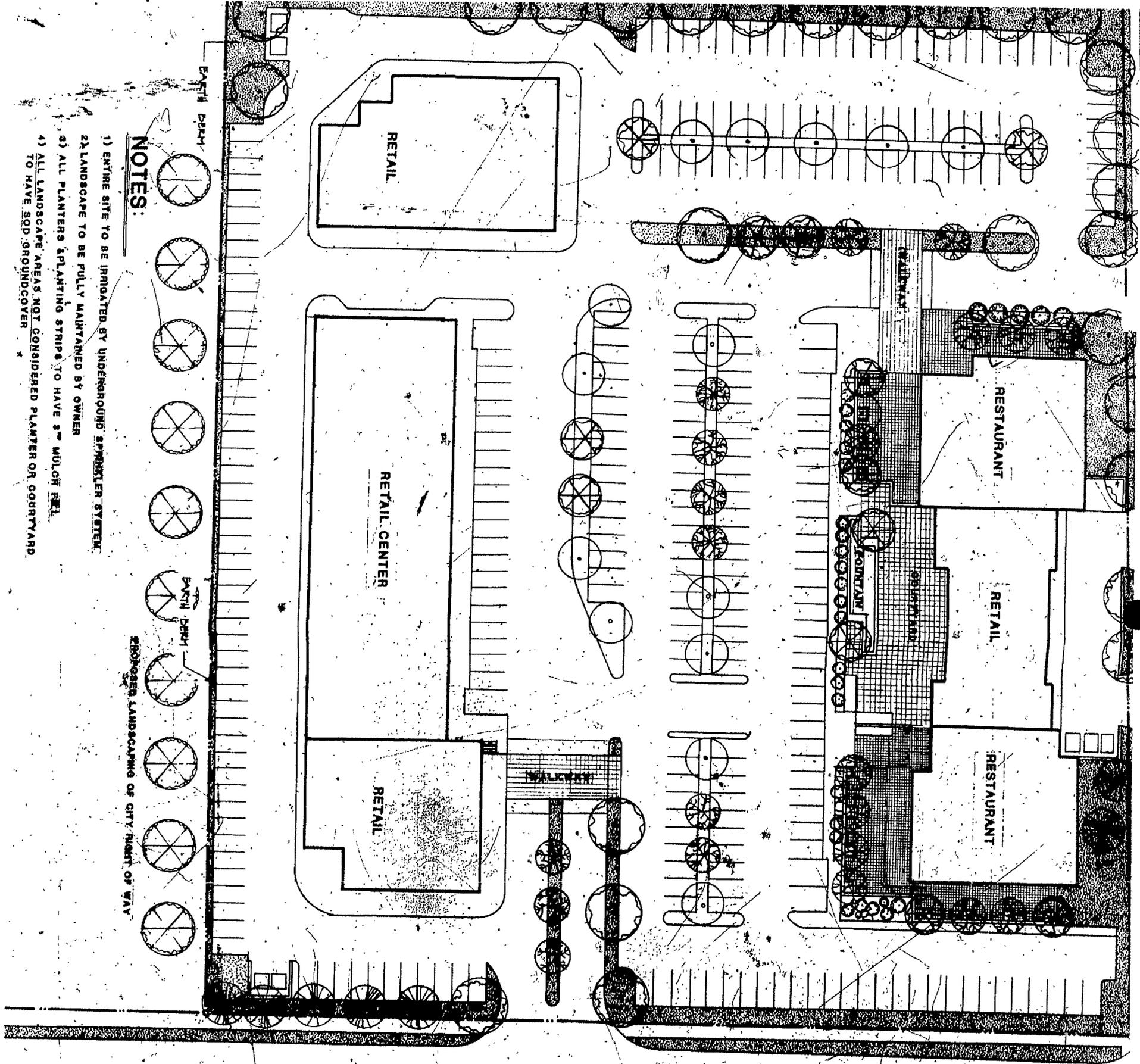
BICYCLE: 20 SPACES PROVIDED

SITE PLAN



2-71-178-4

3 of 6



NOTES:

- 1) ENTIRE SITE TO BE IRRIGATED BY UNDERGROUND SPRINKLER SYSTEM.
- 2) LANDSCAPE TO BE FULLY MAINTAINED BY OWNER.
- 3) ALL PLANTERS & PLANTING STRIPS TO HAVE 3" MULCH DEPT.
- 4) ALL LANDSCAPE AREAS NOT CONSIDERED PLANTER OR COURTYARD TO HAVE 80% GROUND COVER.

PROPOSED LANDSCAPING OF CITY RIGHT OF WAY

PROPOSED LANDSCAPING OF INDIAN SCHOOL ROAD MEDIAN

INDIAN SCHOOL ROAD

Handwritten note: Minimum of 7% landscape area provided. City and owner to provide and maintain. If tree to use it, please refer to...

MINIMUM REQUIRED LANDSCAPE AREA: 7%

LANDSCAPE AREA PROVIDED: 22%

- RUSSIAN OLIVE (3" CAL.)
- GREEN ASH (2" CAL.)
- PURPLE LEAF PLUMB (1 1/2" CAL.)
- FLOWERING CHERRY (1 1/2" CAL.)
- PONDEROSA PINE (2" CAL.)
- SOD
- PAVERS

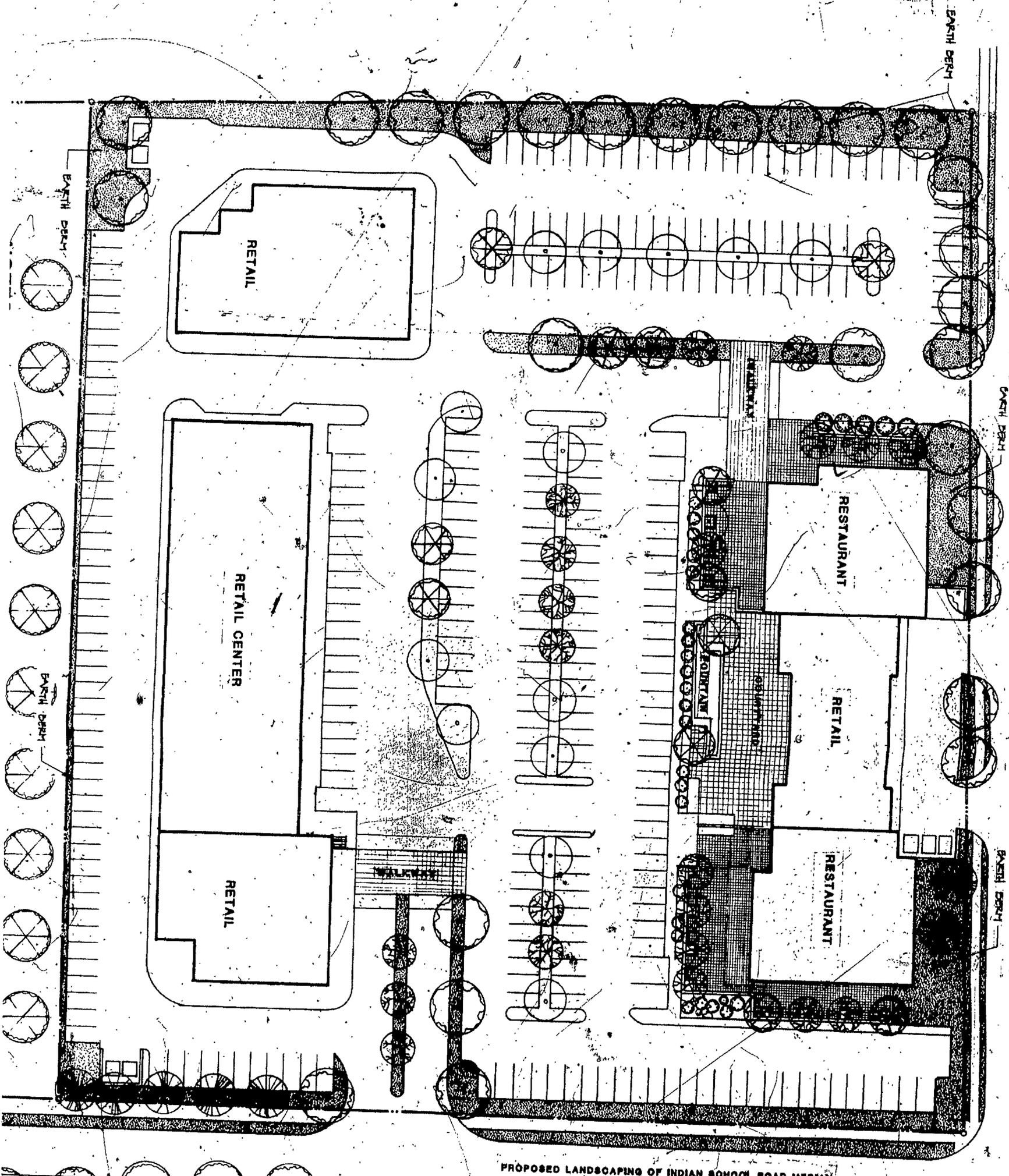
NOTE:

ALL PLANTERS, MEDIANS & COURTYARDS TO HAVE THE FOLLOWING SHRUBS & GROUNDCOVERS:
 SARTONIA, TAN JUMPERS, PHOTINA, FORSYTHIA, ENGLISH IVY, PERIWINKLE, MULCH

LANDSCAPE PLAN



CUMBRES ROAD



PROPOSED LANDSCAPING OF INDIAN SCHOOL ROAD MEDIAN

INDIAN SCHOOL ROAD

Handwritten notes:
 Minimum 7% landscape area provided
 + provide plantings to meet
 Park's Research

MINIMUM REQUIRED LAND AREA: 7%

LANDSCAPE AREA PROVIDED

- RUSSIAN OLIVE (3')
- GREEN ASH (2" DIA)
- PURPLE LEAF PLUM
- FLOWERING CHERR
- PONDEROSA PINE (2')
- SOD
- PAVERS

NOTE:

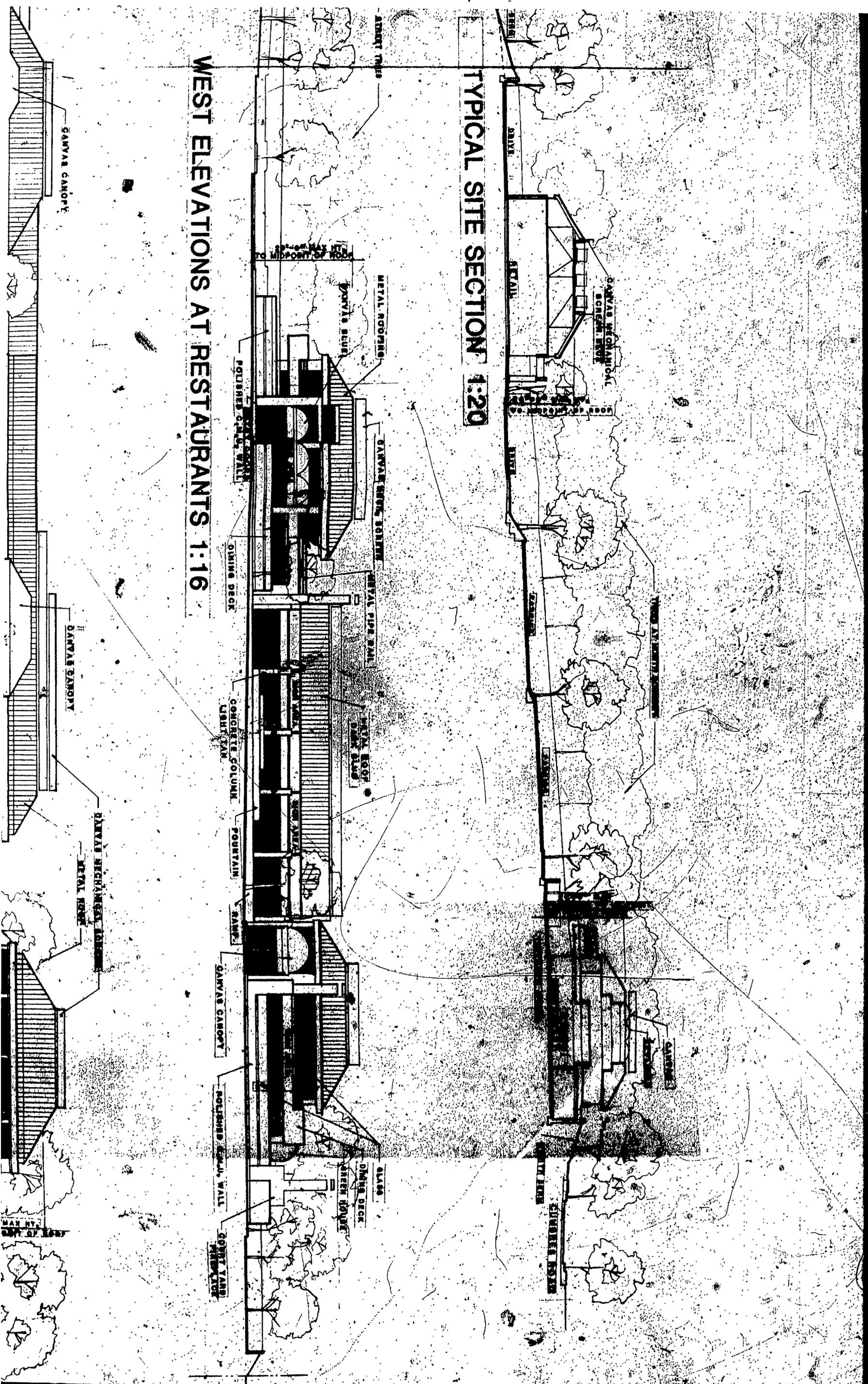
ALL PLANTERS, MEDIANS & CO
 5400 W. 130th St., Overland Park, KS 66204
 (913) 666-1100
 FAX (913) 666-1101
 WWW.PLANTERS.COM

LANDSCAPE PLAN

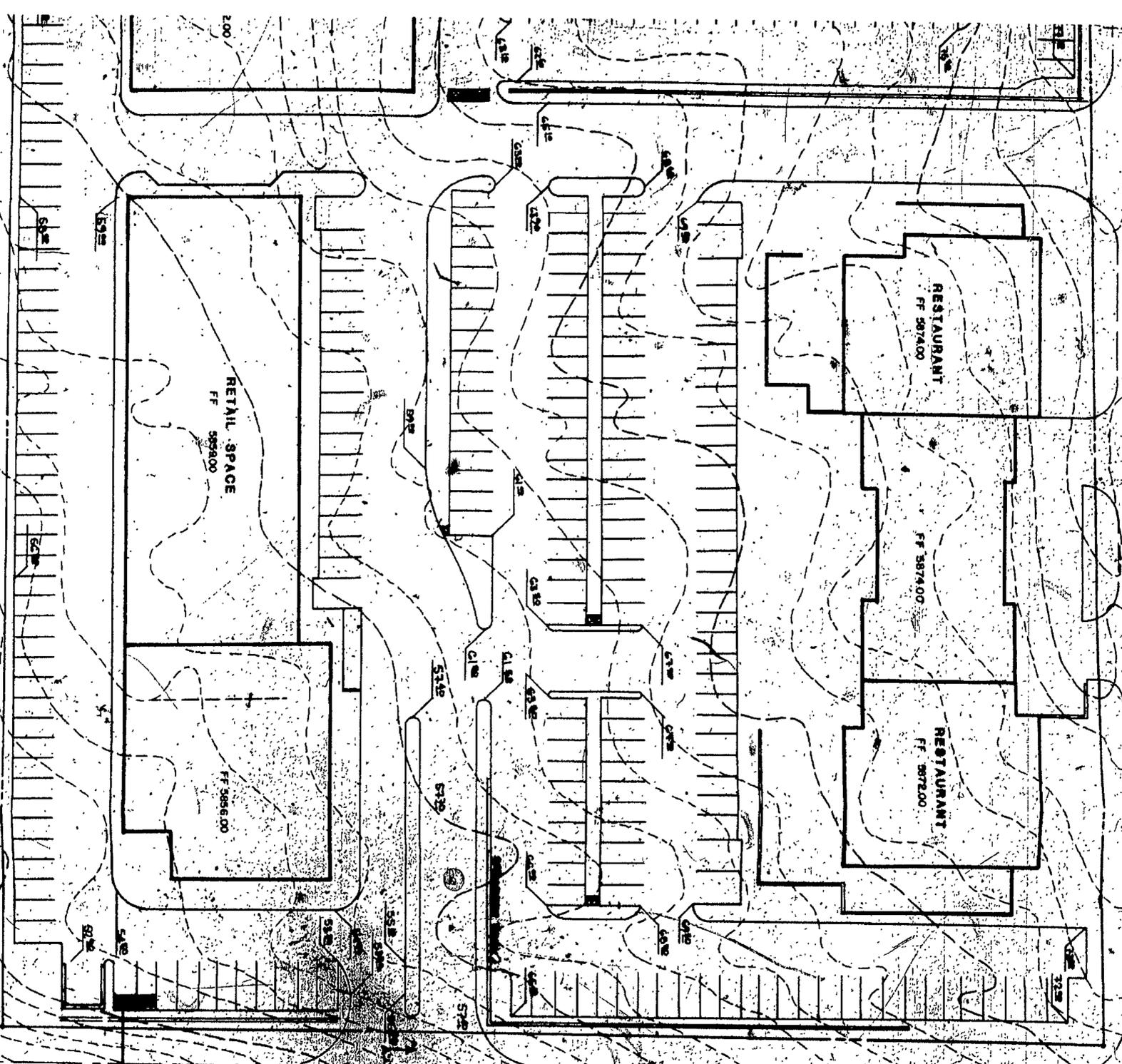
1/1/00-07

TYPICAL SITE SECTION 1:20

WEST ELEVATIONS AT RESTAURANTS 1:16



CLIFFS ROAD



INDIAN SCHOOL ROAD



FIRM PANEL 31



NO.	DESCRIPTION
1	EXISTING
2	PROPOSED
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**CONCEPTUAL GRADING
AND UTILITIES PLAN**

CUMBER ROAD

EXISTING SIDEWALK

RESTAURANT
FF 387400

FF 387400

RESTAURANT
FF 387200

RETAIL SPACE
FF 385900

FF 385600

INDIAN SCHOOL ROAD

EXISTING WATER

EXISTING LANDSCAPE

VICINITY MAP

J-23



SCALE 1" = 30'



EXISTING A-A

EXISTING

