

PROPOSED SITE DATA

TRACT A: 1.52 ACRES
 CVS PHARMACY: 14,000 SF±
 ZONING: C-2 (NO CHANGE)

EXISTING SITE DATA

TRACT B: 1.47 ACRES
 EXISTING OFFICE
 ZONING: C-2 (NO CHANGE)
 TRACT C: 2.37 ACRES
 EXISTING RETAIL AND RESTAURANT
 ZONING: C-2 (NO CHANGE)

LEGAL DESCRIPTION: SPROUL SECURITY SUBDIVISION NO. 2
 SITE AREA: 5.33 ACRES
 ZONING: C-2
 BUILDING SQUARE FOOTAGE:
 RESTAURANT= 10,000 SQ. FT
 RETAIL= 45,500 SQ. FT
 (22,500 SQ. FT TO BE DEMOLISHED AND REPLACED WITH 14,000 SQ. FT CVS PHARMACY)

PARKING CALCS

REQUIRED PARKING:
 1. TRACT A
 PROPOSED CVS PHARMACY
 14,000 SQ FT/200 = 70
 10% TRANSIT REDUCTION = -7
 REQUIRED PARKING = 63
 PROVIDED PARKING = 62
 2. OTHER CVS PHARMACY DATA
 -HANDICAP PARKING PROVIDED = 4
 -HANDICAP PARKING REQUIRED = 4
 -MOTORCYCLE PARKING PROVIDED = 3
 -MOTORCYCLE PARKING REQUIRED = 3
 -BICYCLE PARKING PROVIDED = 4
 -BICYCLE PARKING REQUIRED = 4

KEYED NOTES

1. CONSTRUCT 6" CONCRETE CURB & GUTTER, PER DETAIL 11/C502.
2. CONCRETE SIDEWALK - WIDTH AS NOTED, SEE ARCHITECTURAL PLAN.
3. INSTALL BIKE RACK, PER DETAIL 1/C501.
4. LIGHT POLE, SEE SITE LIGHTING PLAN.
5. SIDEWALK FLUSH WITH PAVEMENT, PER DETAIL 4/C502.
6. LOADING PAD.
7. ENCLOSURE GATE, SEE ARCHITECTURAL PLAN.
8. REFUSE ENCLOSURE, SEE ARCHITECTURAL PLAN.
9. MOTORCYCLE PARKING WITH SIGN, PER 5/C501.
10. HANDICAP PARKING SPACE & SIGN, PER 8&9/C501. SEE ARCHITECTURAL PLAN.
11. 6" HIGH CMU WALL, SEE ARCHITECTURAL PLAN.
12. 8" HIGH CMU WALL, SEE ARCHITECTURAL PLAN.
13. INSTALL STOP SIGN & STOP BAR, PER 8/C502 & 10/C502.
14. 6" CONCRETE PAD FOR COMPACTOR, TRASH ENCLOSURE, DRIVE-THRU AND LOADING AREA, SEE STRUCTURAL PLAN.
15. PAVEMENT MARKING PER LATEST MUTCD.
16. CONSTRUCT 6" COLORED CONCRETE CROSSWALK, PER DETAIL 9/C502. COLOR SHALL BE MEDIUM TAN. CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER.
17. INSTALL 6" CONCRETE SIDEWALK PER DETAIL 2/C502.
18. EXISTING PAD MOUNTED TRANSFORMER.
19. LANDSCAPE AREA, SEE LANDSCAPE PLAN.
20. INSTALL CONCRETE WHEEL STOP, PER 2/C501.
21. 3' SCREEN WALL, SEE ARCHITECTURAL PLAN.
22. PAINTED 4" WIDE SOLID WHITE STRIPE.
23. PAINTED 1" WIDE SOLID YELLOW STRIPE.
24. PYLON SIGN, SEE SIGN PLAN.
25. ENTER SIGN, SEE SIGN PLAN.
26. EXIT SIGN, SEE SIGN PLAN.
27. DRIVE-THRU SIGN, SEE SIGN PLAN.
28. PAINT CURB RED WITH ALTERNATING WHITE TEXT "FIRE LANE/NO PARKING" AT MAXIMUM 30 FOOT SPACING.
29. CONSTRUCT TYPE "D" WHEEL CHAIR RAMP, PER DETAIL 15/C502.
30. INSTALL PCC SIDEWALK, PER COA STD DWG 2430. MATCH EXISTING WIDTH. SEE PUBLIC WORK ORDER.
31. INSTALL 6" VALLEY GUTTER, PER COA STD DWG 2420. SEE PUBLIC WORK ORDER.
32. DO NOT ENTER SIGN, SEE SIGN PLAN. INSTALL PARABOLIC MIRROR ON TOP OF SIGN POST.
33. CONSTRUCT TYPE "A" WHEEL CHAIR RAMP, PER DETAIL 12/C502.
34. CONSTRUCT TYPE "B" WHEEL CHAIR RAMP, PER 13/C502.
35. CONSTRUCT TYPE "C" WHEEL CHAIR RAMP, PER DETAIL 14/C502.
36. INSTALL HANDICAP RAMP PER CITY OF ALBUQUERQUE STD DWG 2426. SEE PUBLIC WORK ORDER.
37. INSTALL DETECTABLE WARNING SURFACE PER DETAIL 3/C502. CONTRACTOR TO SUBMIT SPECIFICATIONS TO CITY OF ALBUQUERQUE CONSTRUCTION ENGINEER FOR APPROVAL. SEE PUBLIC WORK ORDER.
38. 6" WIDE, ALTERNATING 3" WHITE STRIPE/1" SPACE.
39. INSTALL MEDIUM DUTY ASPHALT PAVEMENT PER DETAIL 5/C-502.
40. EXISTING LIGHT TO REMAIN.
41. INSTALL 6" HEADER CURB PER DETAIL 16/C502.

LEGEND

- BOUNDARY
- === EXISTING CURB AND GUTTER
- ==== CONCRETE CURB AND GUTTER
- ===== SCREEN WALL
- SIDEWALK
- /□ POLE MOUNTED LIGHT
- CONCRETE
- HEAVY DUTY ASPHALT PAVEMENT, PER DETAIL 6/C-502
- MEDIUM ASPHALT PAVEMENT, PER DETAIL 5/C-502
- (X) PARKING QUANTITY PER ROW

BENCHMARK
 Albuquerque Central Station Monument "2-H23"
 New Mexico State Plane Coordinates
 Central Zone - NAD 83
 N = 1,492,799.178
 E = 1,566,421.704
 Elevation = 5,853.817 (NAVD 1988)
 Delta Alpha = -00° 08' 32.15"
 Ground To Grid Factor = 0.999630113

CIVIL ENGINEER

BOHANNAN HUSTON, INC
 7500 JEFFERSON ST. NE
 ALBUQUERQUE, NM 87109
 TEL: (505) 823-1000
 FAX: (505) 798-7988

CONSULTANT:

SEAL:

CVS/ pharmacy

STORE #75922
 NE CORNER OF
 INDIAN SCHOOL & TRAMWAY BLVD.
 ALBUQUERQUE, NM

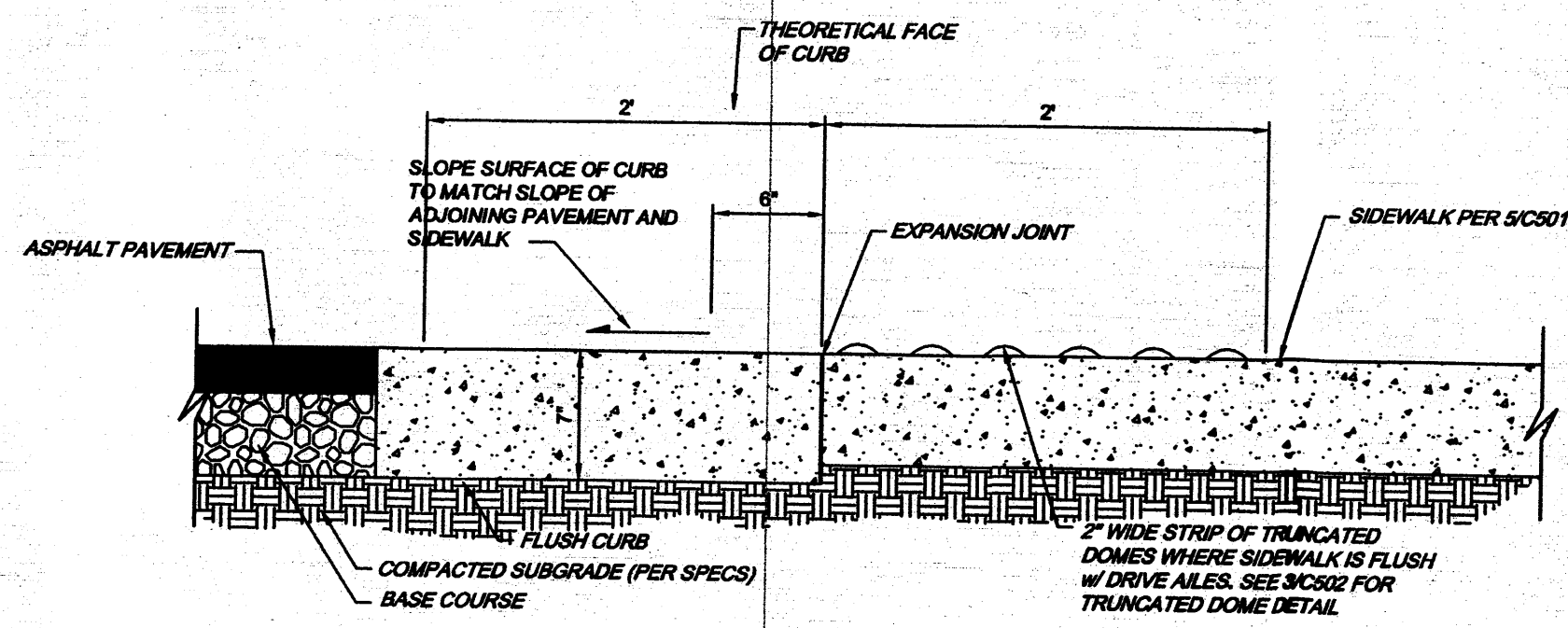
DEVELOPER:
 ARMSTRONG DEVELOPMENT
 PROPERTIES, INC.
 1500 N. PRIEST DR., SUITE
 150E
 TEMPE, AZ 85281
 OFFICE: 602.385.4100
 FAX: 602.385.4101

REVISIONS:
 1 5/19/2011 REMOVE WHEEL CHAIR RAMPS
 ADD HEADER CURB

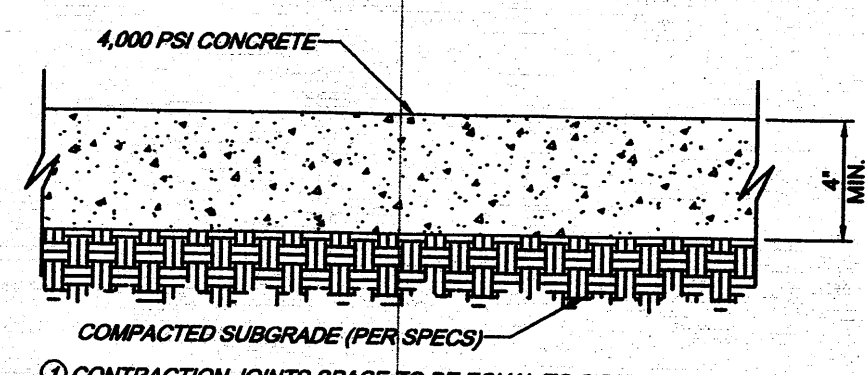
DRAWING BY: BJG/Lsm
 DATE: DECEMBER 2009
 JOB NUMBER: 090374
 TITLE: **SITE PLAN**

SHEET NUMBER:
C101

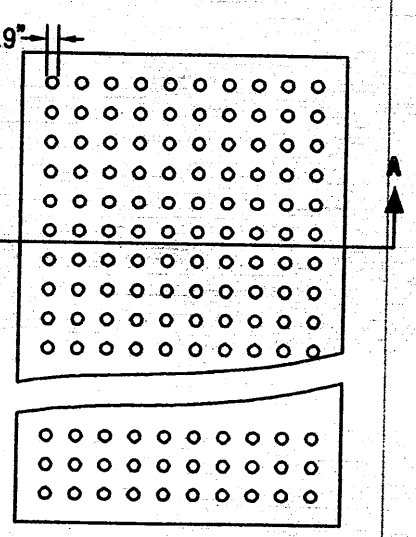
COMMENTS:
 NOT RELEASED FOR CONSTRUCTION



1 FLUSH SIDEWALK W/ HANDICAP RAMP



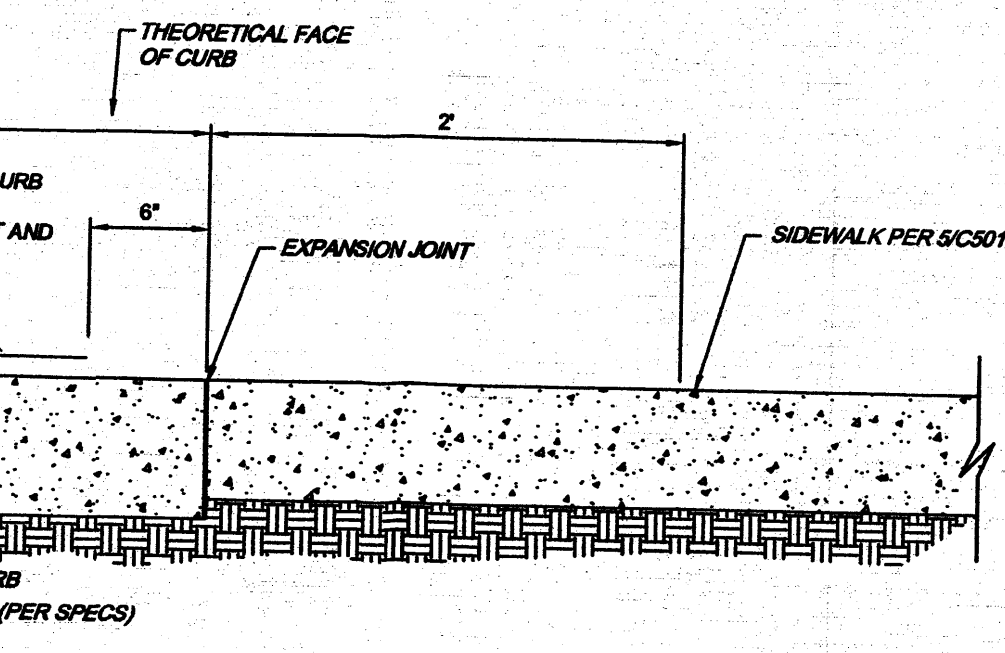
2 SIDEWALK DETAIL



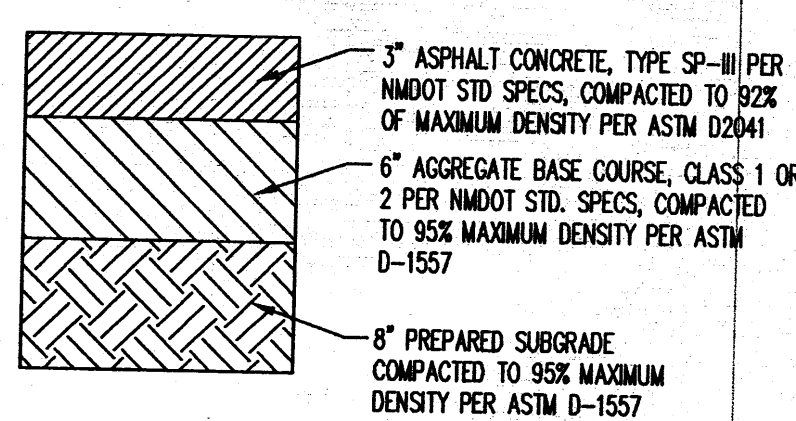
DETECTABLE WARNING SURFACE NOTES:

1. THE DETECTABLE WARNING SURFACE SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A NOMINAL DIAMETER OF 23mm. (0.9\"/>
2. THE DETECTABLE WARNING SURFACE SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE INTEGRAL PART OF THE WALKING SURFACE. PROVIDE 70/30 CONTRAST PER ADA.
3. CONTRACTOR SHALL COORDINATE THE EXACT CONTRAST OF DETECTABLE WARNING SURFACE W/ OWNER.

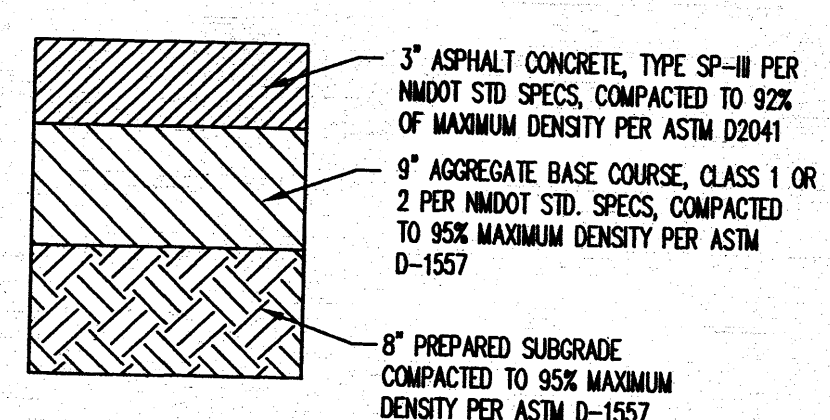
3 DETECTABLE WARNING SURFACE NOT TO SCALE



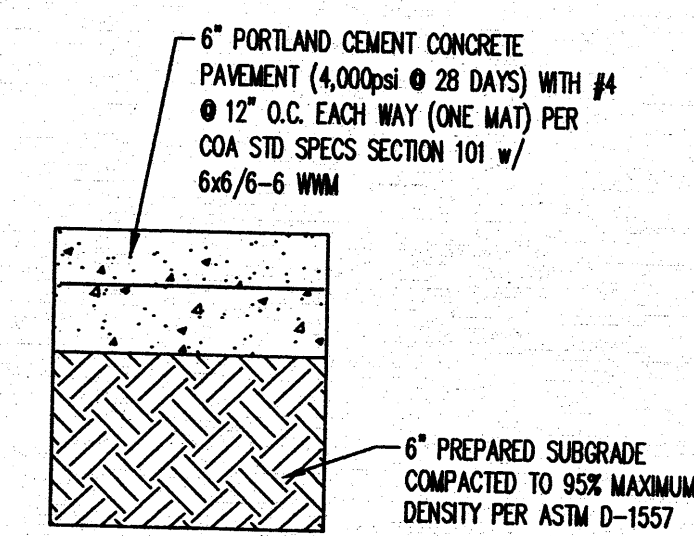
4 FLUSH SIDEWALK



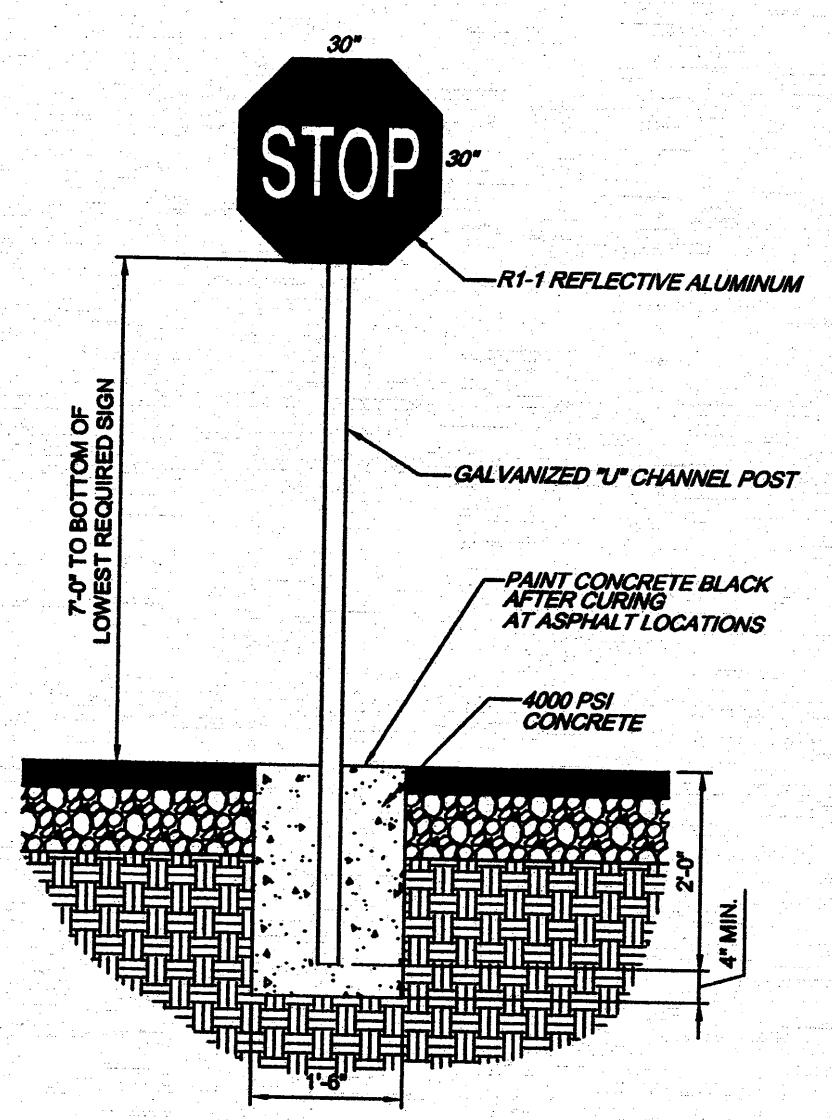
5 MEDIUM DUTY PAVEMENT SECTION



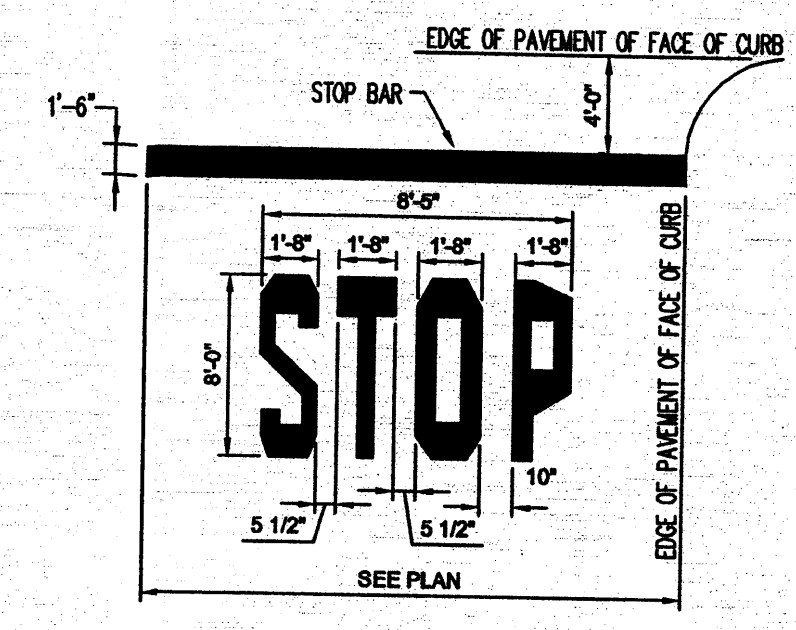
6 HEAVY DUTY PAVEMENT SECTION



7 PORTLAND CEMENT CONCRETE PAVEMENT SECTION

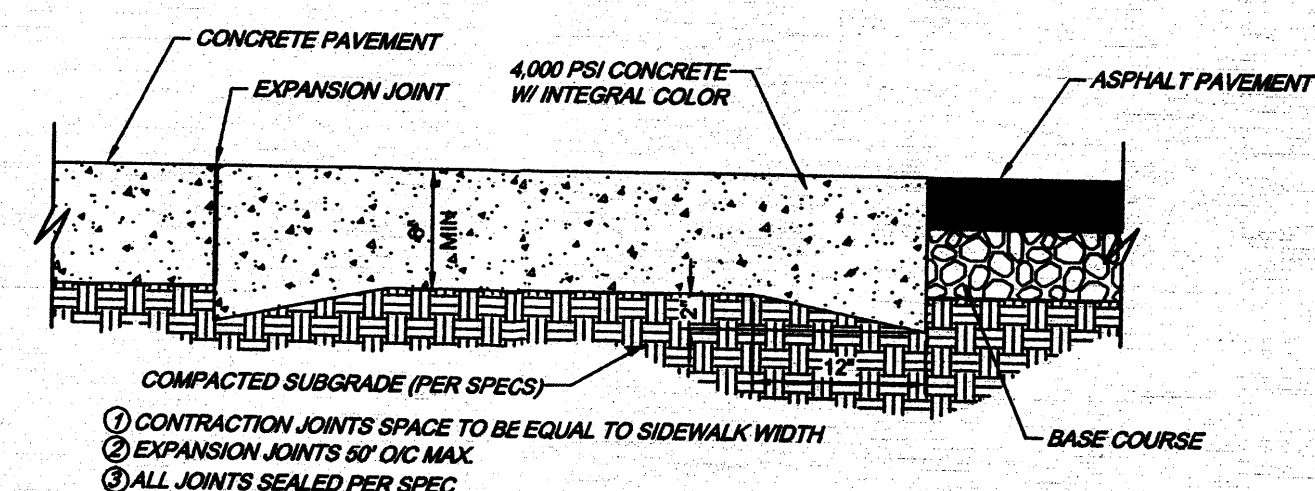


8 STOP SIGN DETAIL

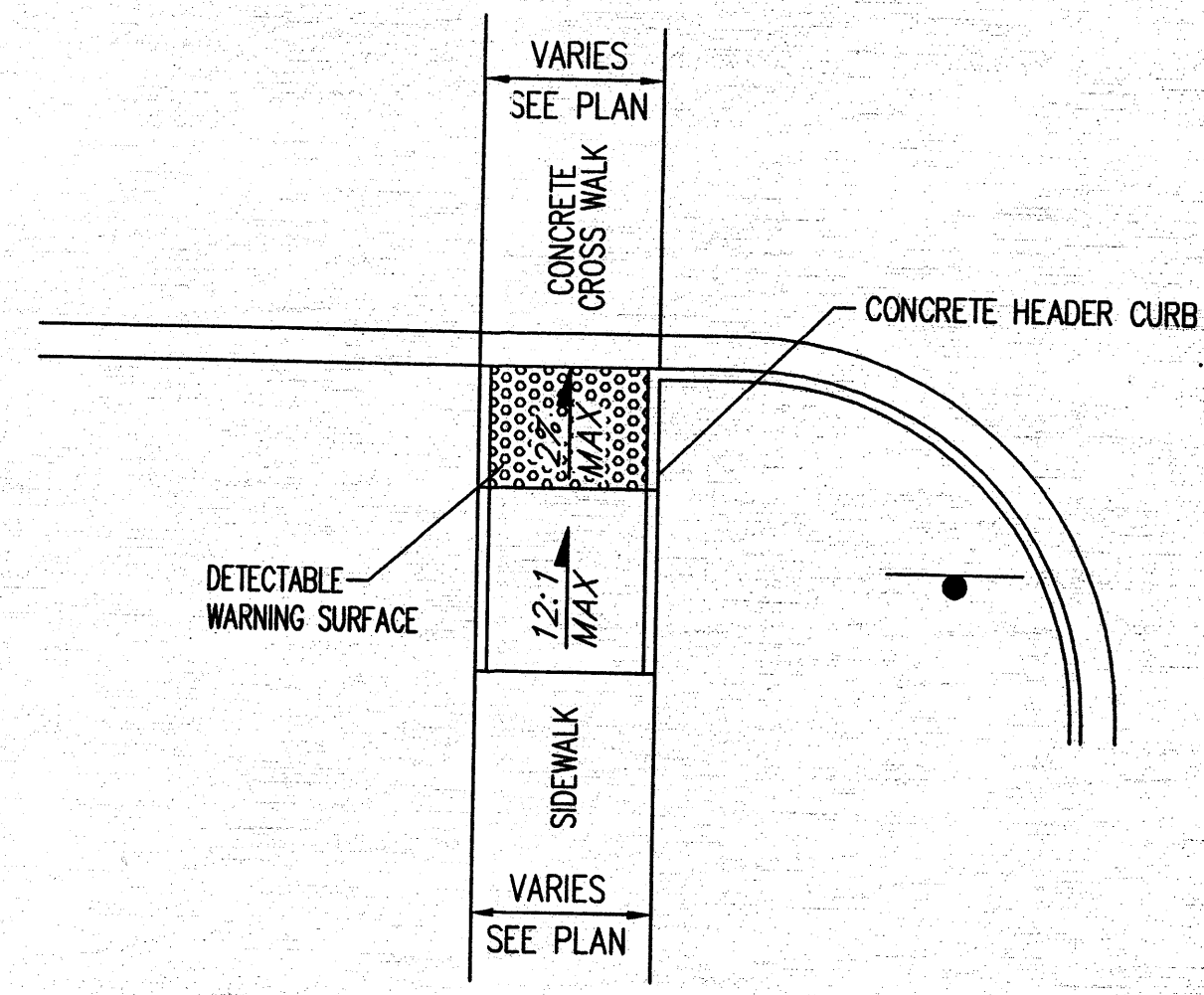


NOTE:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 38 OF THE 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS'.
2. THESE WORDS AND BAR ARE TO BE PAINTED REFLECTIVE WHITE.

9 STOP BAR DETAIL

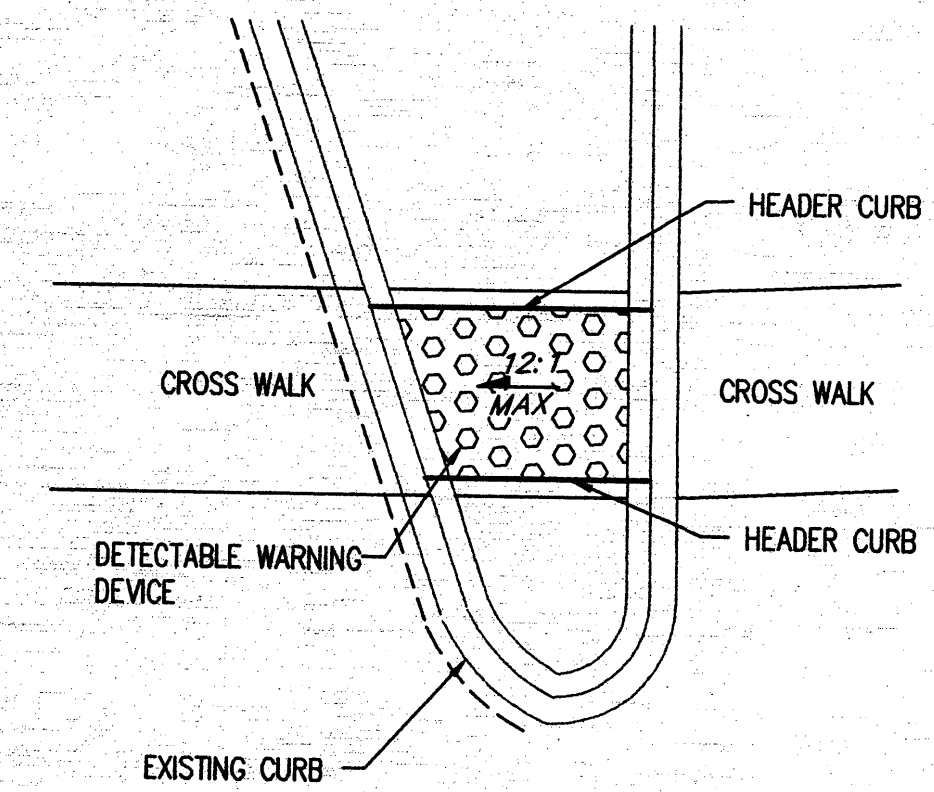


10 COLORED CONCRETE CROSSWALK

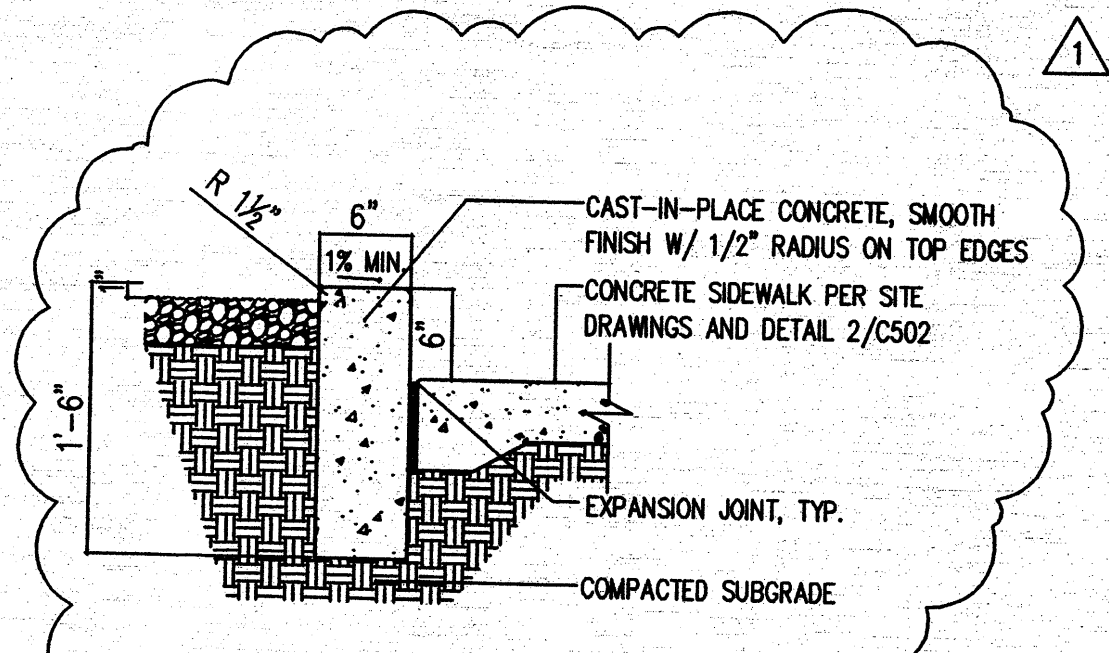


11 TYPE 'B' HANDICAP RAMP DETAIL NOT TO SCALE

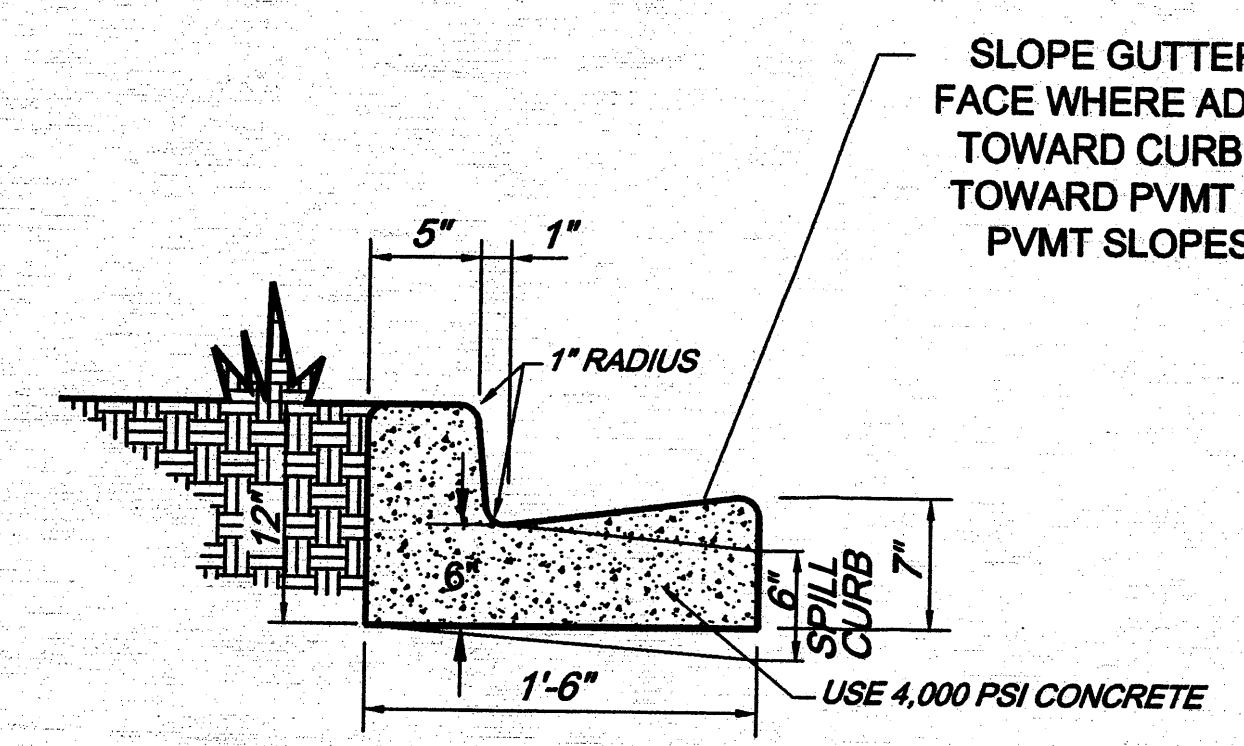
12 TYPE 'A' HANDICAP RAMP DETAIL NOT TO SCALE



13 TYPE 'C' HANDICAP RAMP DETAIL NOT TO SCALE

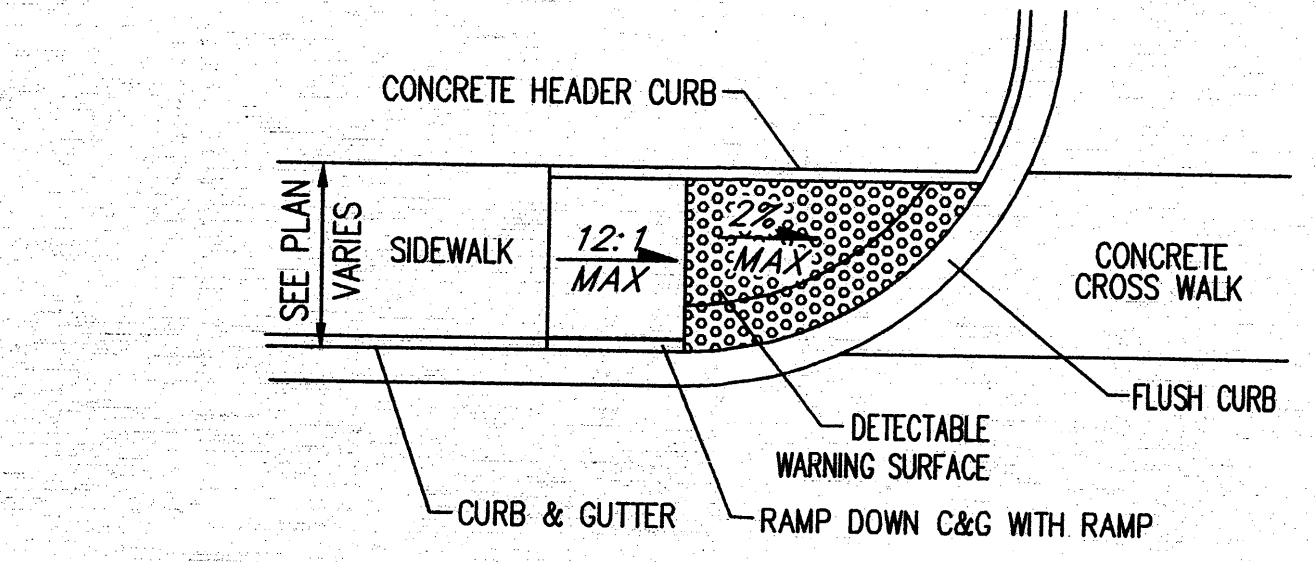


14 CONCRETE HEADER CURB NOT TO SCALE



15 6\"/>

NOTE:
1. CONTRACTION JOINTS 10' O/C
2. EXPANSION JOINTS 50' O/C AND ALL CURB RETURNS
3. ALL JOINTS SEALED PER SPEC



16 TYPE 'D' HANDICAP RAMP DETAIL NOT TO SCALE

* NOTE: ALL PAVEMENT SHALL BE INSTALLED PER GEOTECHNICAL RECOMMENDATIONS.

CIVIL ENGINEER

BOHANNAN HUSTON, INC
7500 JEFFERSON ST. NE
ALBUQUERQUE, NM 87109
TEL: (505) 823-1000
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CONSULTANT:

SEAL:



CVS/
pharmacy

STORE #75922
NE CORNER OF
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DEVELOPER:
ARMSTRONG DEVELOPMENT
PROPERTIES, INC.
1500 N. PRIEST DR., SUITE
150E
TEMPE, AZ 85281
OFFICE: 602.385.4100
FAX: 602.385.4101

REVISIONS:
1 5/19/2011 ADD HEADER CURB DETAIL

DRAWING BY: BJC/Lsm

DATE: DECEMBER 2009

JOB NUMBER: 090374

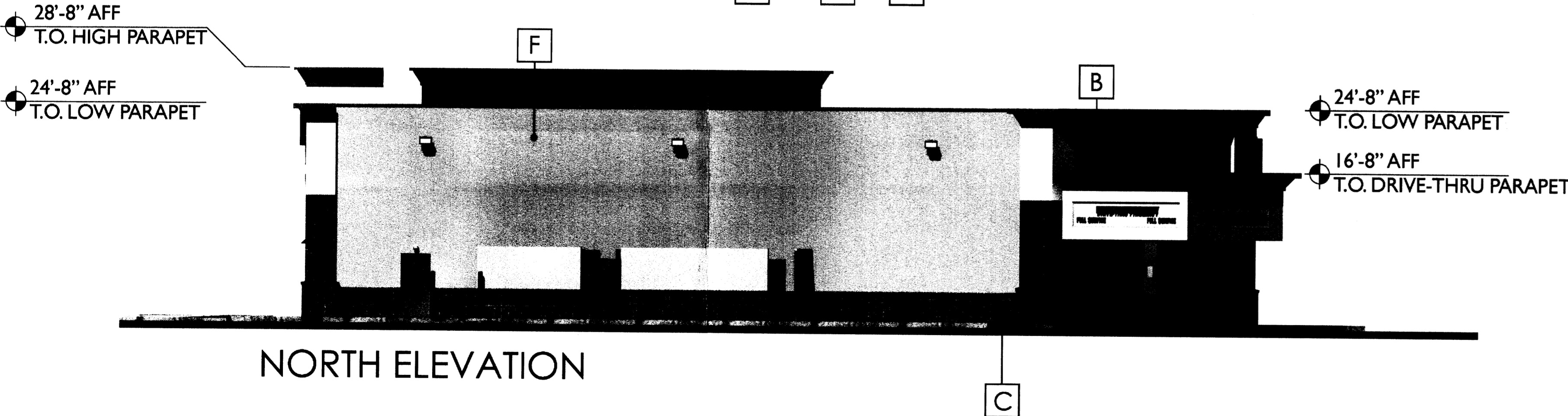
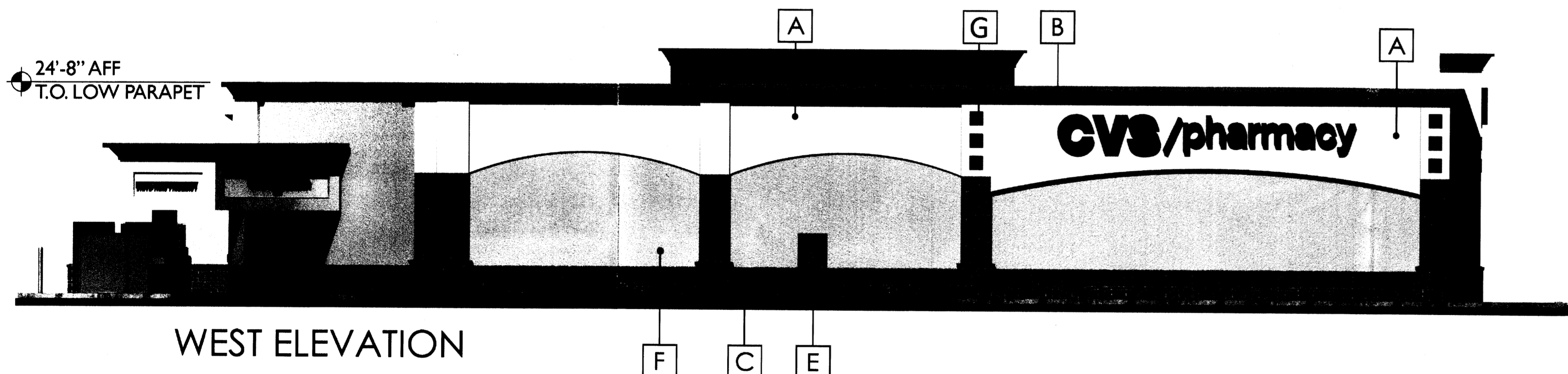
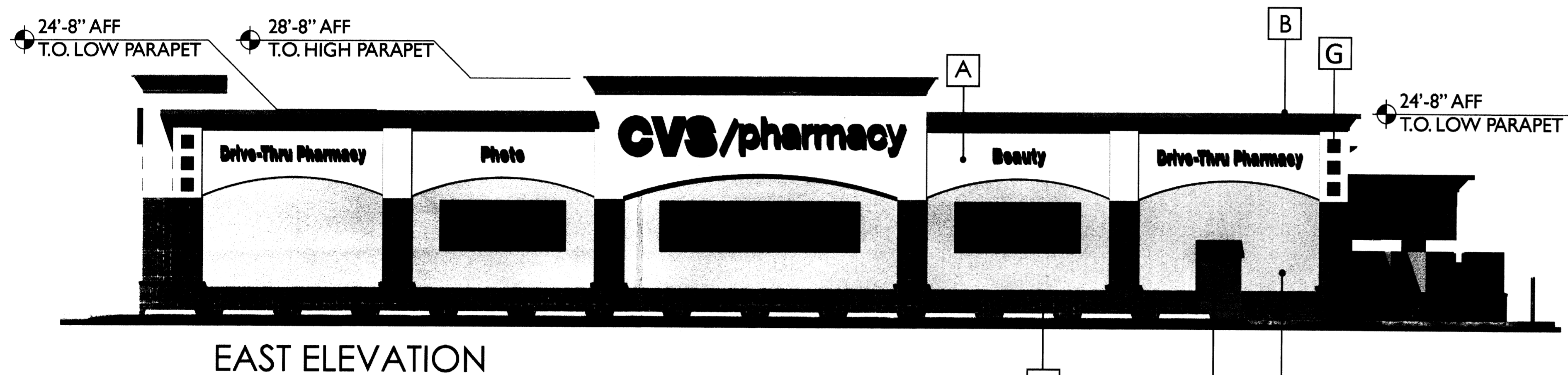
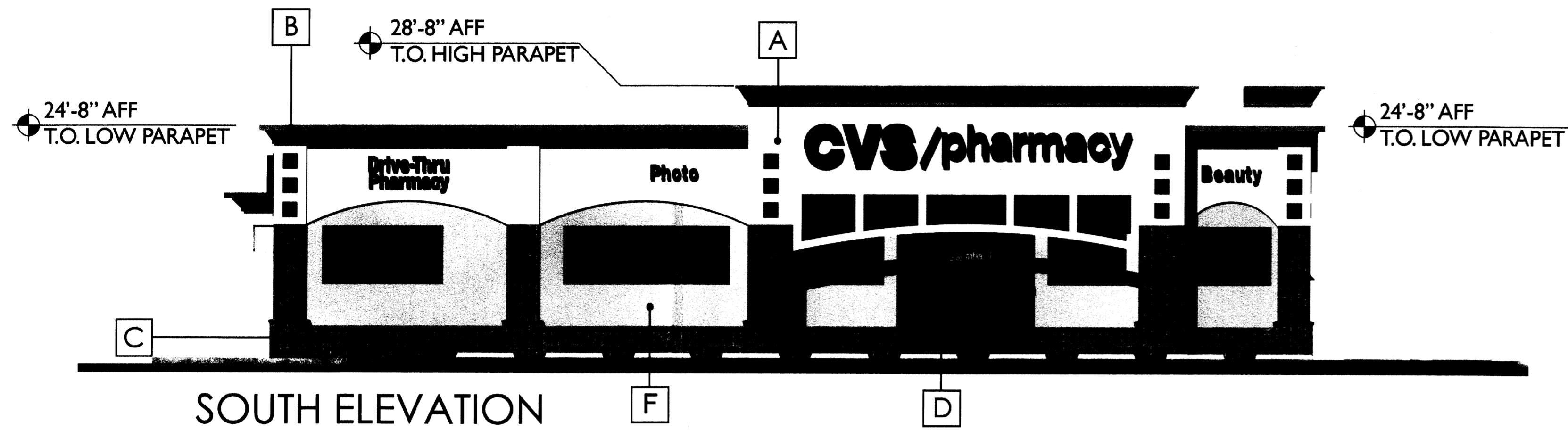
TITLE:

SITE DETAILS

SHEET NUMBER:

C502

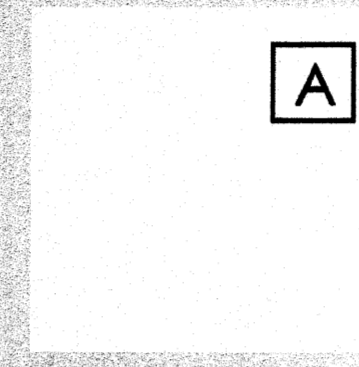
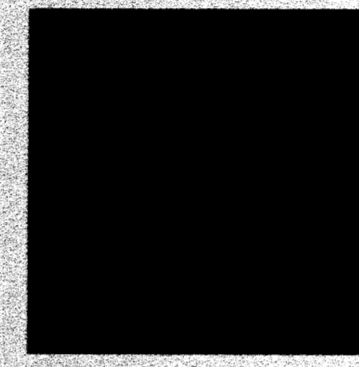
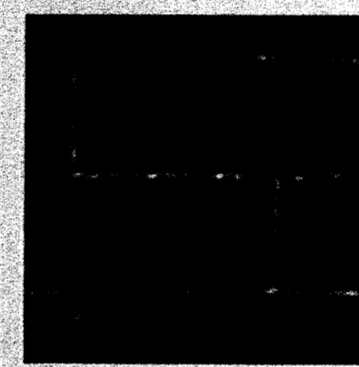
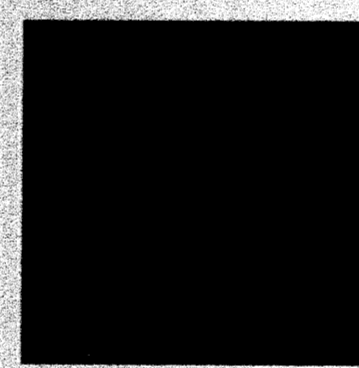
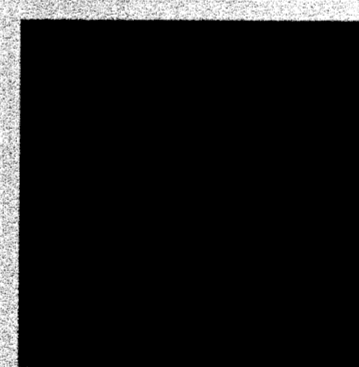
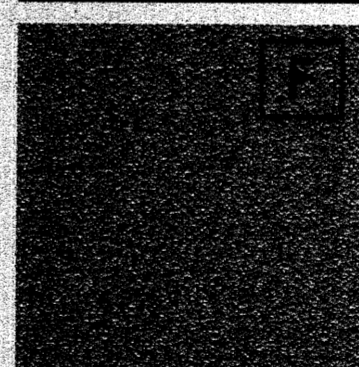
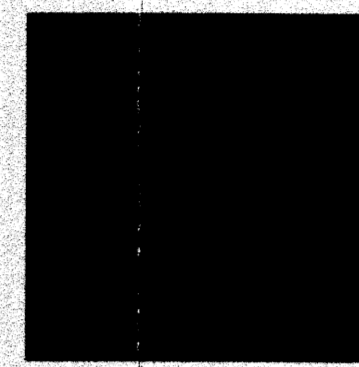
COMMENTS:
NOT RELEASED FOR CONSTRUCTION



CVS/pharmacy

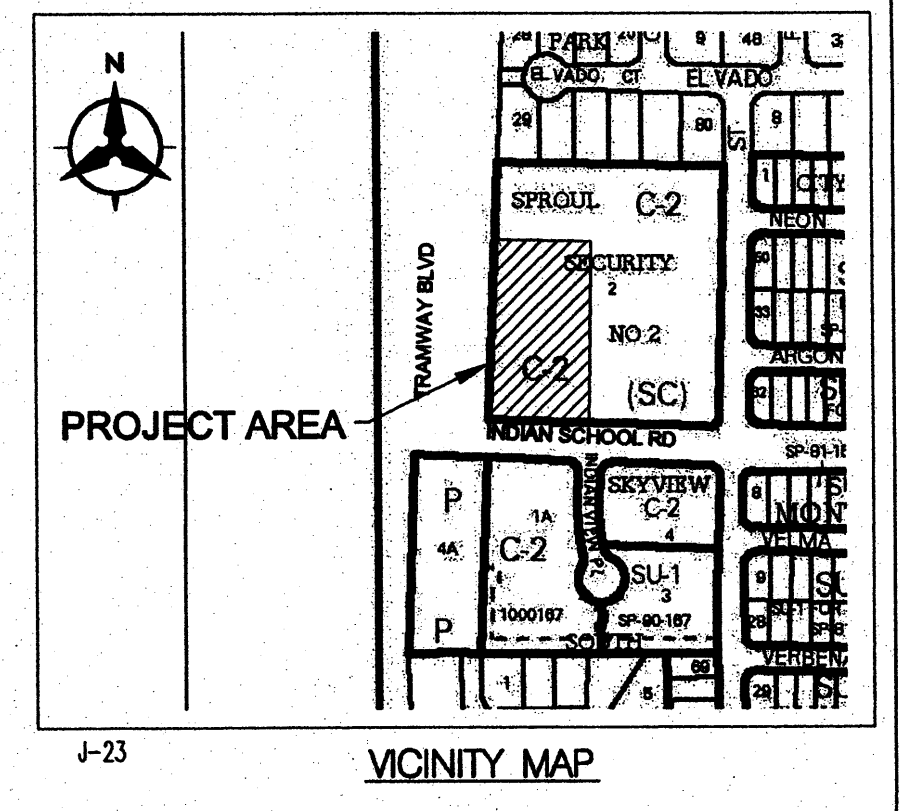
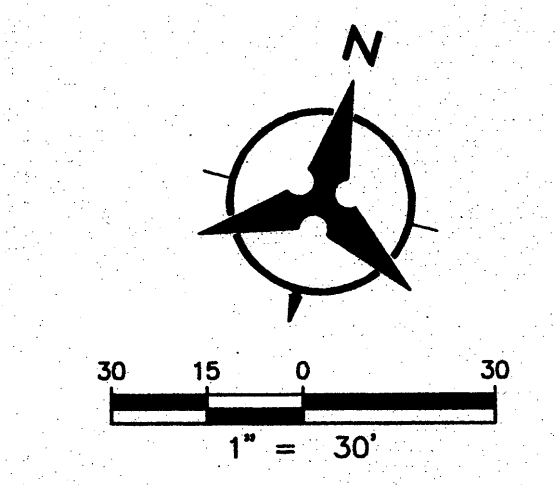
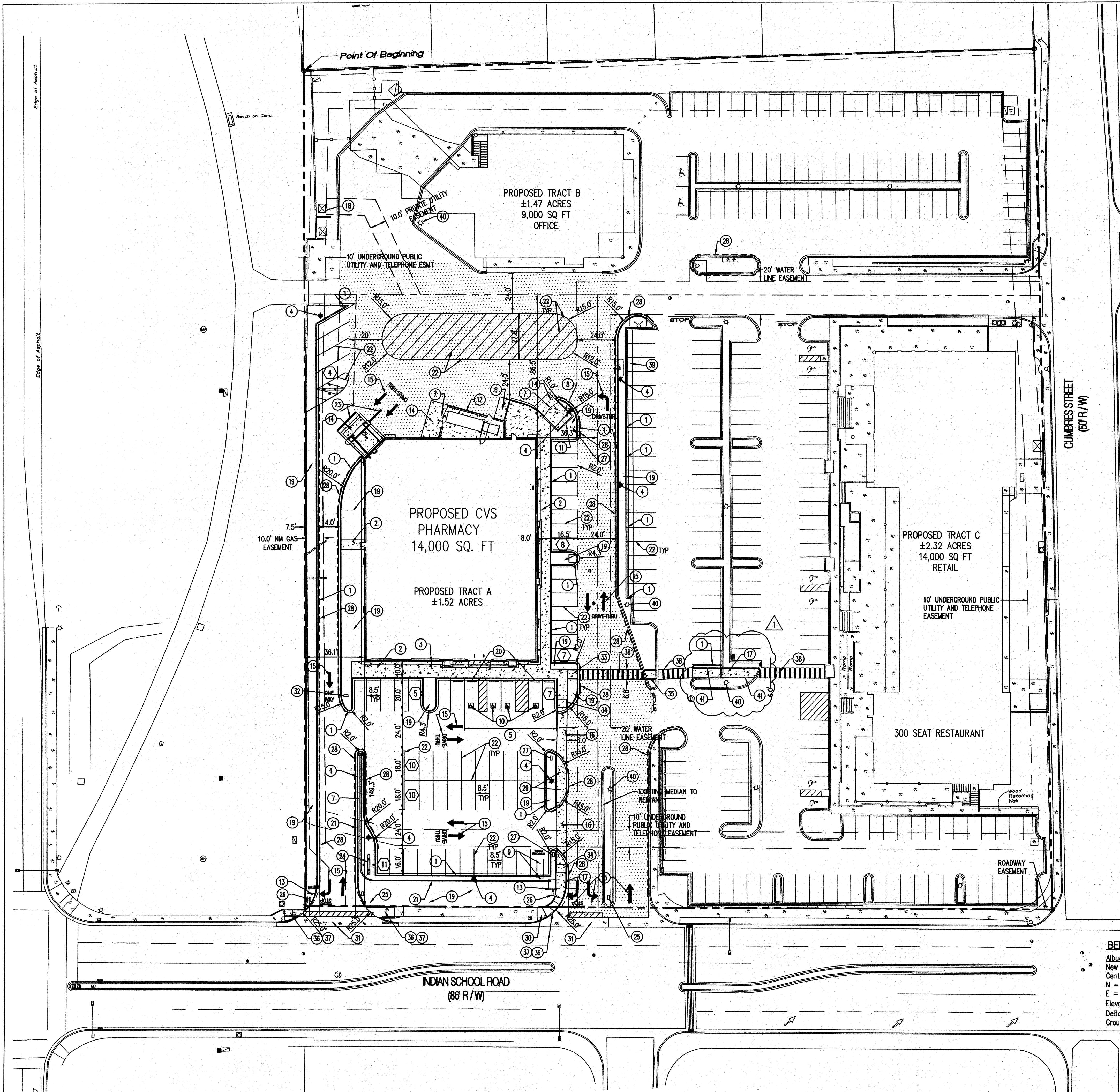
NEC Indian School & Tramway
Albuquerque, NM

Finish Colors:

-  **A** EIFS
NA01-0048
Pale Yellow
 -  EIFS
NA00-0042
Terra Cotta
 -  Brick
To match adjacent center
 -  Storefront System
Carnival red (Valspar SL4A139)
 -  Paint
To match Brick
 -  Eifs
To match adjacent center
-  Eifs accent
To match adjacent center accent

ARMSTRONG
DEVELOPMENT
PROPERTIES, INC.
1500 N. PRIEST AVE
SUITE 150E
TEMPE, AZ
(602) 385-4100

JACOBS
101 N. 1ST AVENUE, SUITE 3100
PHOENIX, ARIZONA 85003
(602) 253-1200



PROPOSED SITE DATA

TRACT A: 1.52 ACRES
 CVS PHARMACY: 14,000 SQ FT
 ZONING: C-2 (NO CHANGE)

EXISTING SITE DATA

TRACT B: 1.47 ACRES
 EXISTING OFFICE
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 EXISTING RETAIL AND RESTAURANT
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 (22,500 SQ. FT. TO BE DEMOLISHED AND
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PARKING CALCS

REQUIRED PARKING:

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KEYED NOTES

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LEGEND

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- ==== CONCRETE CURB AND GUTTER
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- SIDEWALK
- / □ POLE MOUNTED LIGHT
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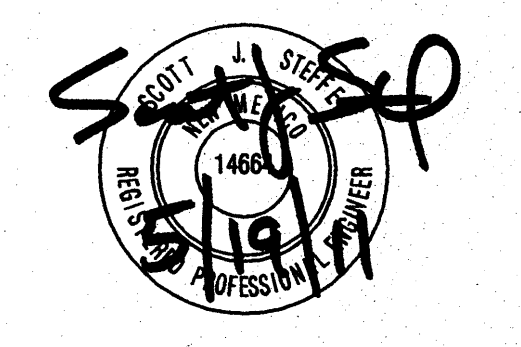
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CONSULTANT:

SEAL:



STORE #75922
 NE CORNER OF
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 ALBUQUERQUE, NM

DEVELOPER:
 ARMSTRONG DEVELOPMENT
 PROPERTIES, INC.
 1500 N. PRIEST DR., SUITE
 150E
 TEMPE, AZ 85281
 OFFICE: 602.385.4100
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REVISIONS:

5/19/2011 REMOVE WHEEL CHAIR RAMPS
 ADD HEADER CURB

DRAWING BY: BJJ/LSM

DATE: DECEMBER 2009

JOB NUMBER: 090374

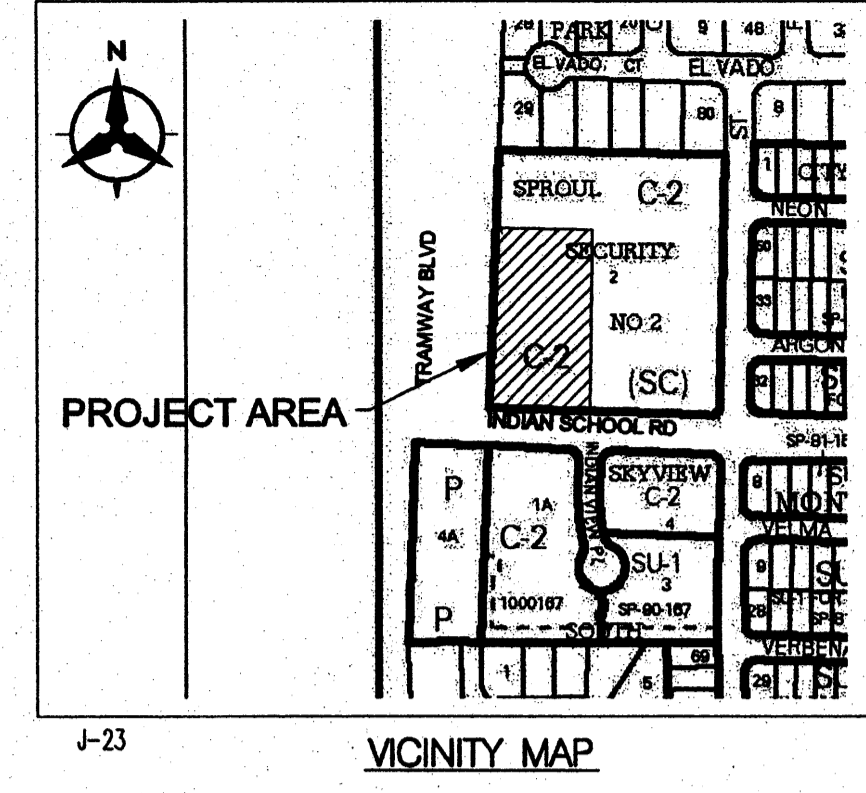
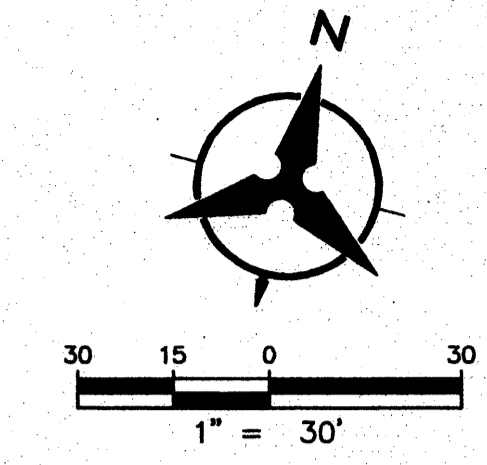
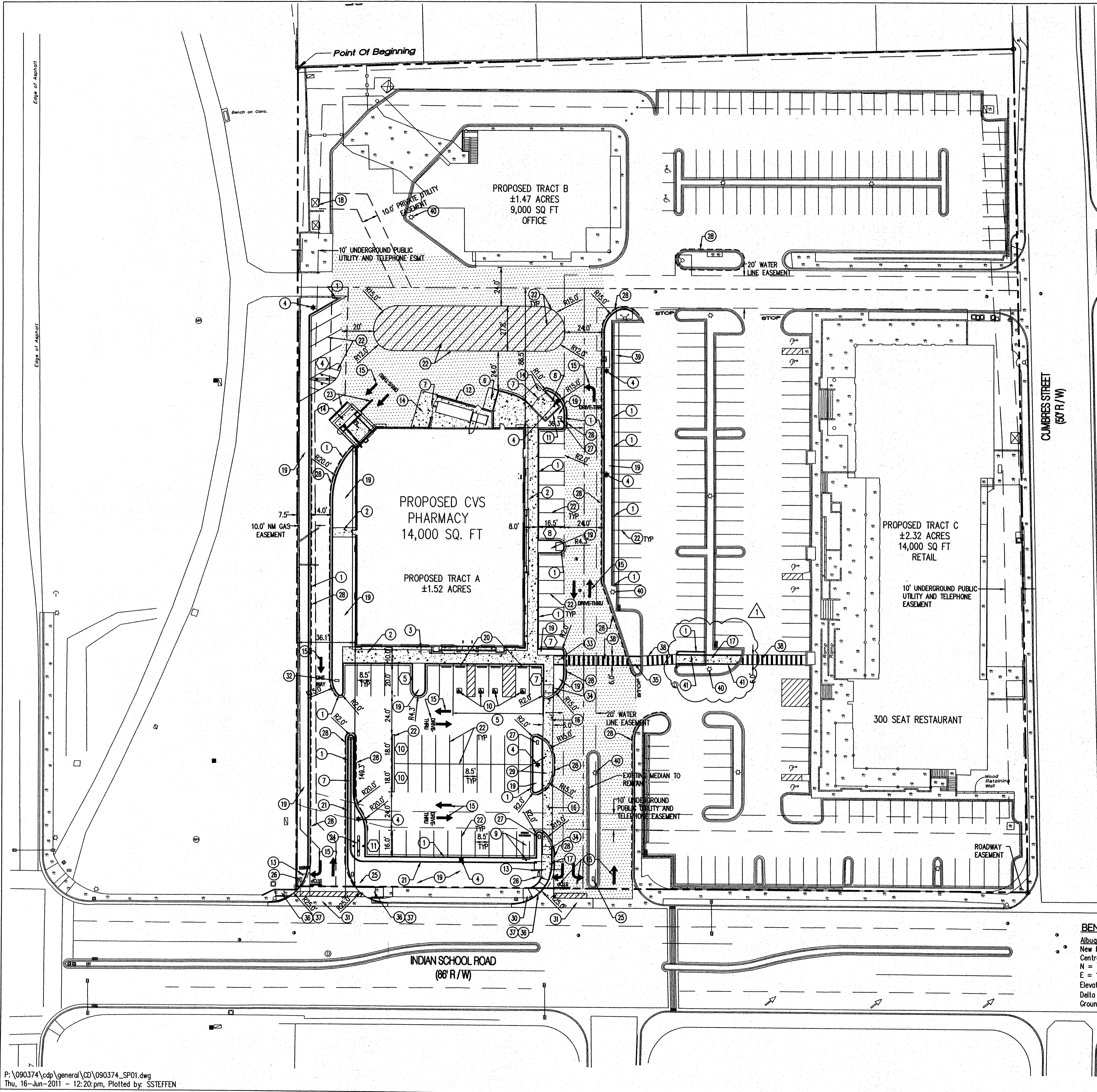
TITLE:

SITE PLAN

SHEET NUMBER:

C101

COMMENTS:
 NOT RELEASED FOR CONSTRUCTION



PROPOSED SITE DATA

TRACT A: 1.52 ACRES±
 CVS PHARMACY: 14,000 SF±
 ZONING: C-2 (NO CHANGE)

EXISTING SITE DATA

TRACT B: 1.47 ACRES
 EXISTING OFFICE
 ZONING: C-2 (NO CHANGE)

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PARKING CALCS

REQUIRED PARKING:

1. TRACT A	
PROPOSED CVS PHARMACY	70
14,000 SQ FT/200 =	-7
10% TRANSIT REDUCTION =	63
PROVIDED PARKING =	62

2. OTHER CVS PHARMACY DATA

-HANDICAP PARKING PROVIDED =	4
-HANDICAP PARKING REQUIRED =	4
-MOTORCYCLE PARKING PROVIDED =	3
-MOTORCYCLE PARKING REQUIRED =	3
-BICYCLE PARKING PROVIDED =	4
-BICYCLE PARKING REQUIRED =	4

KEYED NOTES

1. CONSTRUCT 6" CONCRETE CURB & GUTTER, PER DETAIL 11/C502.
2. CONCRETE SIDEWALK - WIDTH AS NOTED, SEE ARCHITECTURAL PLAN.
3. INSTALL BIKE RACK, PER DETAIL 1/C501.
4. LIGHT POLE, SEE SITE LIGHTING PLAN.
5. SIDEWALK FLUSH WITH PAVEMENT, PER DETAIL 4/C502.
6. LOADING PAD.
7. ENCLOSURE GATE, SEE ARCHITECTURAL PLAN.
8. REFUSE ENCLOSURE, SEE ARCHITECTURAL PLAN.
9. MOTORCYCLE PARKING WITH SIGN, PER 5/C501.
10. HANDICAP PARKING SPACE & SIGN, PER 8&9/C501. SEE ARCHITECTURAL PLAN.
11. 6" HIGH CMU WALL, SEE ARCHITECTURAL PLAN.
12. 8" HIGH CMU WALL, SEE ARCHITECTURAL PLAN.
13. INSTALL STOP SIGN & STOP BAR, PER 8/C502 & 10/C502.
14. 6" CONCRETE PAD FOR COMPACTOR, TRASH ENCLOSURE, DRIVE-THRU AND LOADING AREA, SEE STRUCTURAL PLAN.
15. PAVEMENT MARKING PER LATEST MUTCD.
16. CONSTRUCT 6" COLORED CONCRETE CROSSWALK, PER DETAIL 9/C502. COLOR SHALL BE MEDIUM TAN. CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER.
17. INSTALL 6" CONCRETE SIDEWALK PER DETAIL 2/C502.
18. EXISTING PAD MOUNTED TRANSFORMER.
19. LANDSCAPE AREA, SEE LANDSCAPE PLAN.
20. INSTALL CONCRETE WHEEL STOP, PER 2/C501.
21. 3" SCREEN WALL, SEE ARCHITECTURAL PLAN.
22. PAINTED 4" WIDE SOLID WHITE STRIPE.
23. PAINTED 1" WIDE SOLID YELLOW STRIPE.
24. PYLON SIGN, SEE SIGN PLAN.
25. ENTER SIGN, SEE SIGN PLAN.
26. EXIT SIGN, SEE SIGN PLAN.
27. DRIVE-THRU SIGN, SEE SIGN PLAN.
28. PAINT CURB RED WITH ALTERNATING WHITE TEXT "TIRE LANE/NO PARKING" AT MAXIMUM 30 FOOT SPACING.
29. CONSTRUCT TYPE "D" WHEEL CHAIR RAMP, PER DETAIL 15/C502.
30. INSTALL PCC SIDEWALK, PER COA STD DWG 2430. MATCH EXISTING WIDTH. SEE PUBLIC WORK ORDER.
31. INSTALL 6" VALLEY GUTTER, PER COA STD DWG 2420. SEE PUBLIC WORK ORDER.
32. DO NOT ENTER SIGN, SEE SIGN PLAN. INSTALL PARABOLIC MIRROR ON TOP OF SIGN POST.
33. CONSTRUCT TYPE "A" WHEEL CHAIR RAMP, PER DETAIL 12/C502.
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37. INSTALL DETECTABLE WARNING SURFACE PER DETAIL 3/C502. CONTRACTOR TO SUBMIT SPECIFICATIONS TO CITY OF ALBUQUERQUE CONSTRUCTION ENGINEER FOR APPROVAL. SEE PUBLIC WORK ORDER.
38. 6" WIDE, ALTERNATING 3" WHITE STRIPE/1" SPACE.
39. INSTALL MEDIUM DUTY ASPHALT PAVEMENT PER DETAIL 5/C-502.
40. EXISTING LIGHT TO REMAIN.
41. INSTALL 6" HEADER CURB PER DETAIL 16/C502.

LEGEND

- BOUNDARY
- ==== EXISTING CURB AND GUTTER
- ==== CONCRETE CURB AND GUTTER
- ==== SCREEN WALL
- SIDEWALK
- POLE MOUNTED LIGHT
- CONCRETE
- HEAVY DUTY ASPHALT PAVEMENT, PER DETAIL 6/C-502
- MEDIUM ASPHALT PAVEMENT, PER DETAIL 5/C-502
- (X) PARKING QUANTITY PER ROW

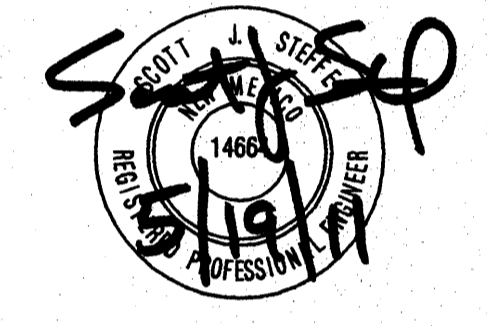
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REVISIONS:

- 1 5/19/2011 REMOVE WHEEL CHAIR RAMPS
 ADD HEADER CURB

DRAWING BY: BJC/Lsm

DATE: DECEMBER 2009

JOB NUMBER: 090374

TITLE:

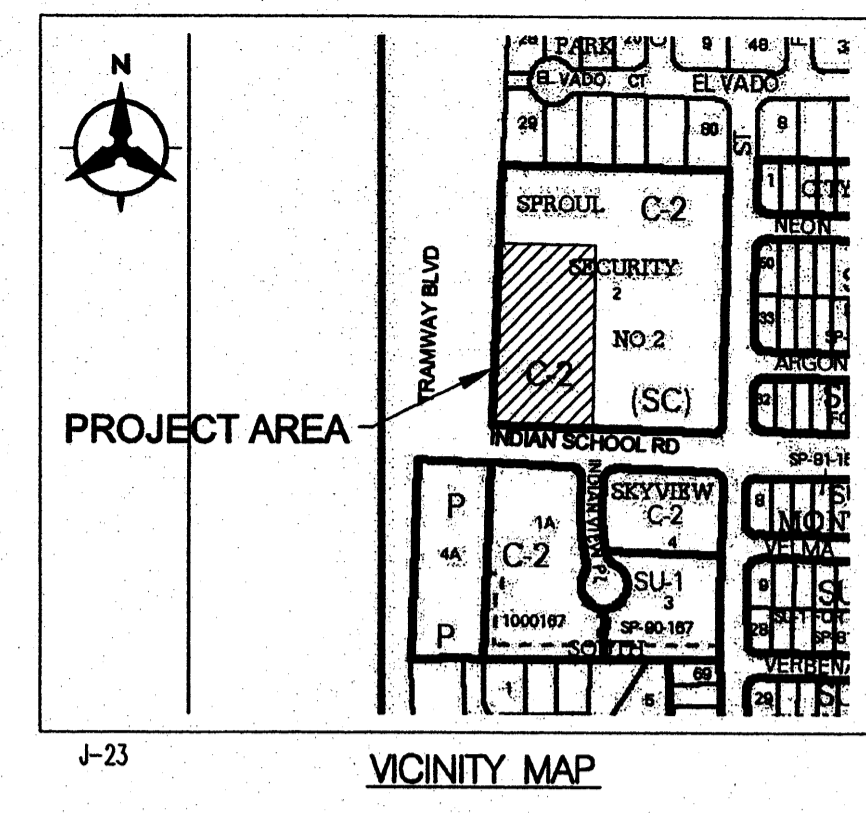
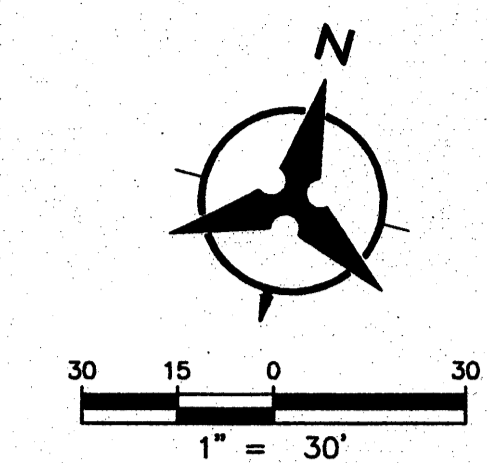
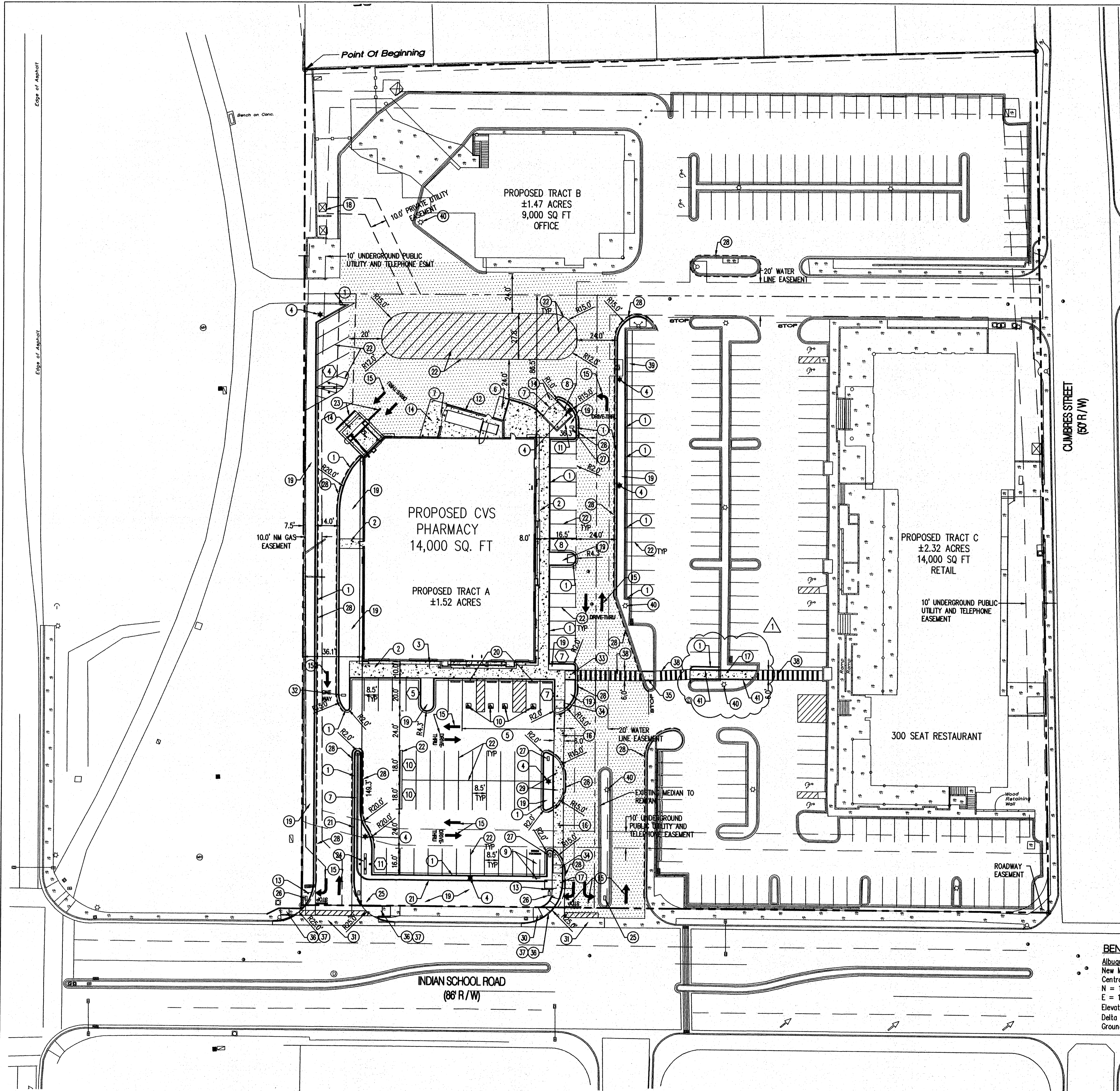
SITE PLAN

SHEET NUMBER:

C101

COMMENTS:

NOT RELEASED FOR CONSTRUCTION



PROPOSED SITE DATA

TRACT A: 1.52 ACRES ±
 CVS PHARMACY: 14,000 SQ FT
 ZONING: C-2 (NO CHANGE)

EXISTING SITE DATA

TRACT B: 1.47 ACRES
 EXISTING OFFICE: 9,000 SQ FT
 ZONING: C-2 (NO CHANGE)

TRACT C: 2.37 ACRES
 EXISTING RETAIL AND RESTAURANT: 14,000 SQ FT
 ZONING: C-2 (NO CHANGE)

LEGAL DESCRIPTION: SPROUL SECURITY SUBDIVISION NO. 2
 SITE AREA: 5.33 ACRES
 ZONING: C-2
 BUILDING SQUARE FOOTAGE:
 RESTAURANT = 10,000 SQ. FT.
 RETAIL = 45,500 SQ. FT.
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PARKING CALCS

REQUIRED PARKING:

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PROPOSED CVS PHARMACY	70
14,000 SQ FT / 200 =	-7
10% TRANSIT REDUCTION =	63
REQUIRED PARKING =	62
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LEGEND

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- CONCRETE CURB AND GUTTER
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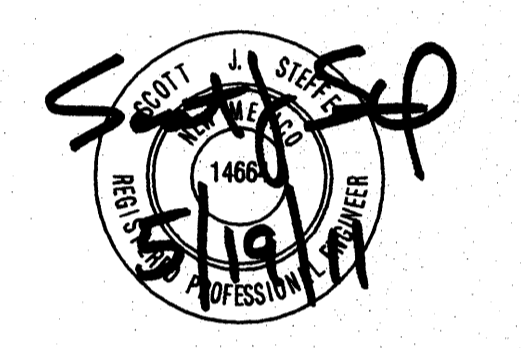
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REVISIONS:
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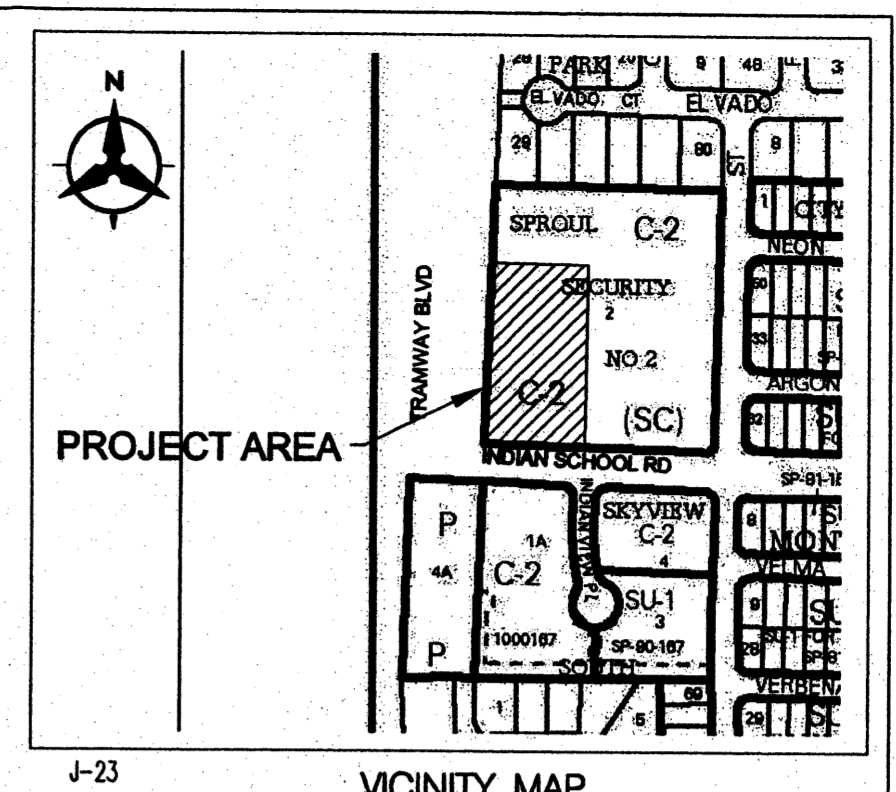
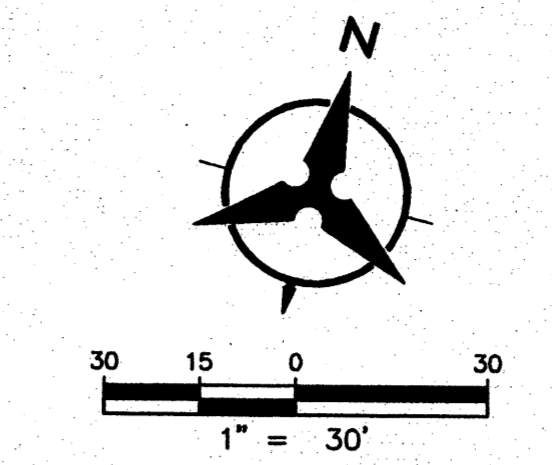
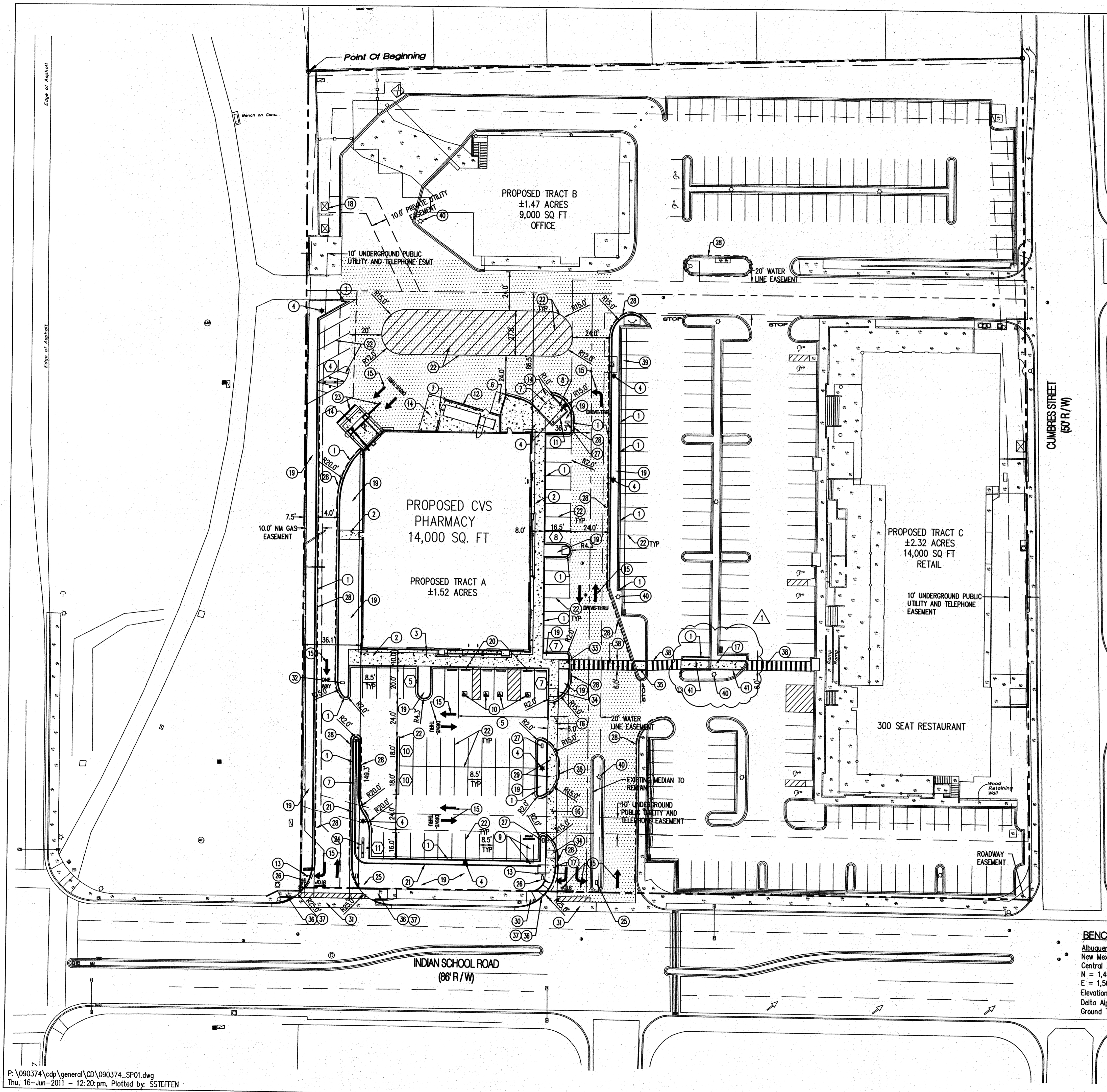
DRAWING BY: BJC/Lsm
 DATE: DECEMBER 2009
 JOB NUMBER: 090374
 TITLE:

SITE PLAN

SHEET NUMBER:

C101

COMMENTS:
 NOT RELEASED FOR CONSTRUCTION



PROPOSED SITE DATA

TRACT A: 1.52 ACRES
 CVS PHARMACY: 14,000 SF±
 ZONING: C-2 (NO CHANGE)

EXISTING SITE DATA

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LEGEND

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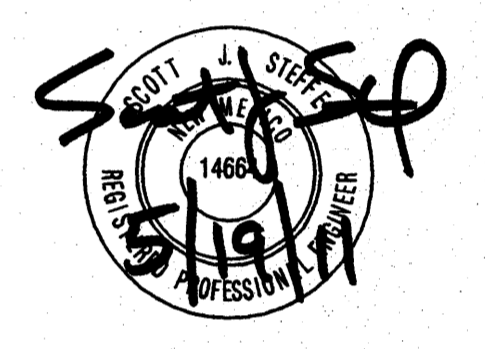
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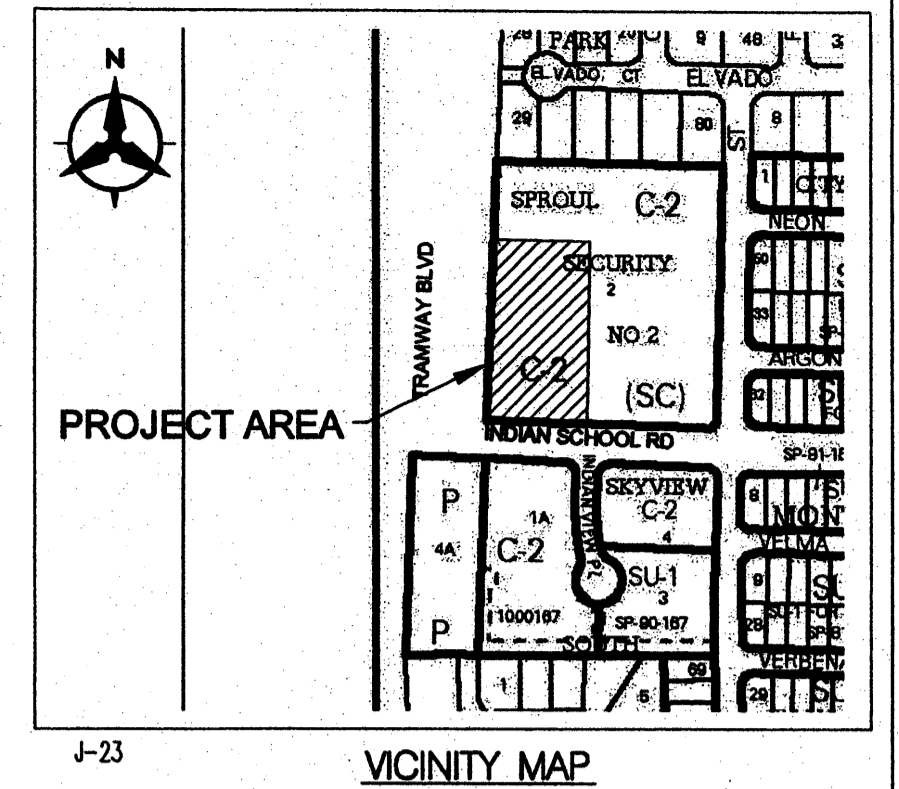
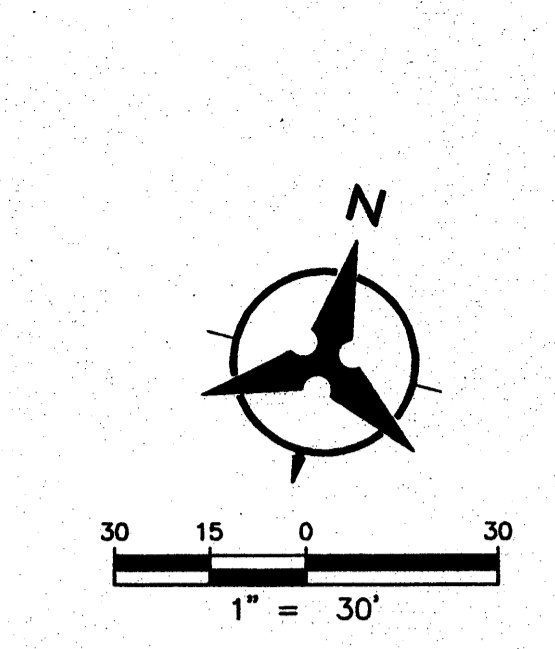
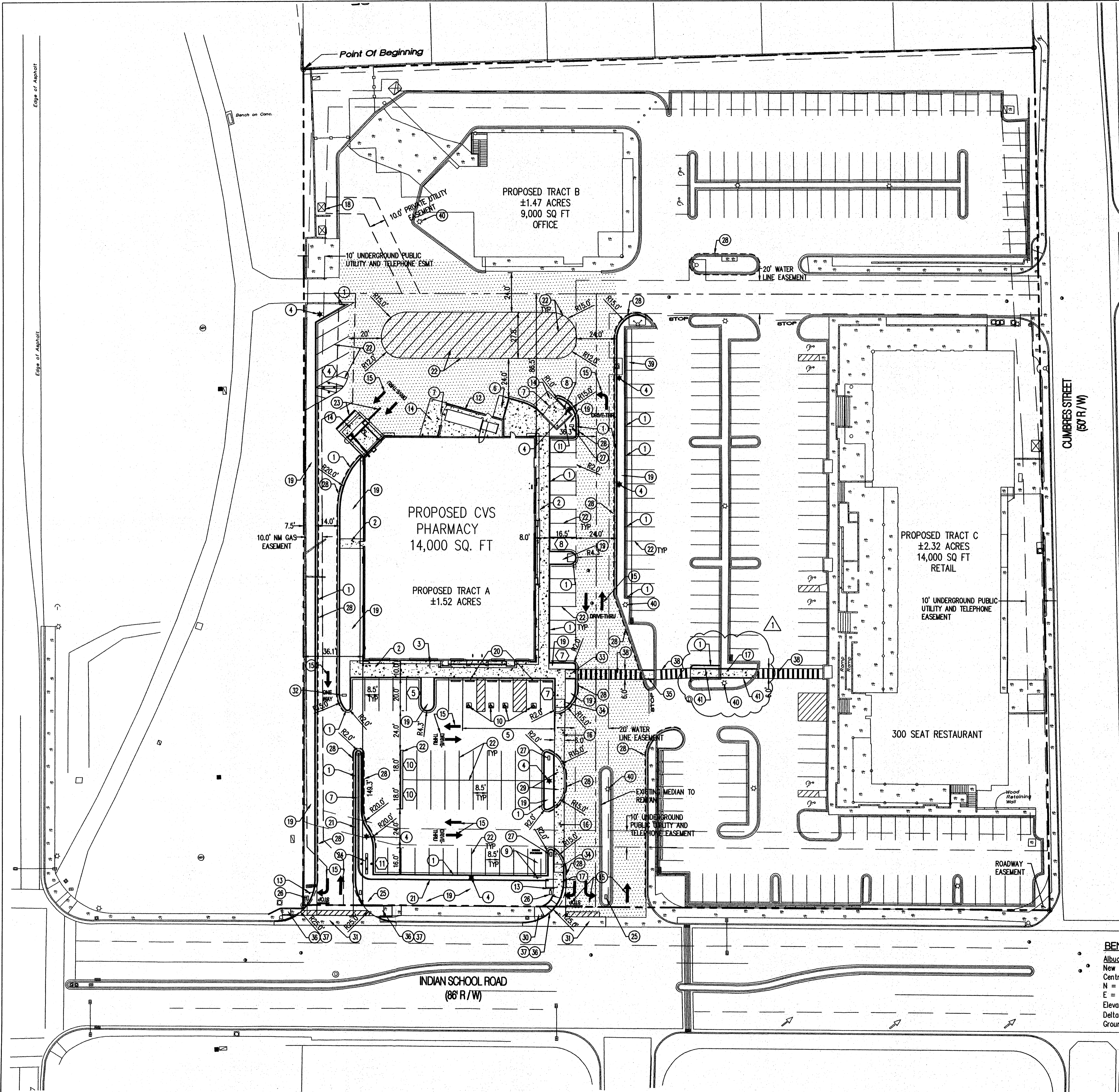
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 TITLE:

SITE PLAN

SHEET NUMBER:

C101

COMMENTS:
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PROPOSED SITE DATA

TRACT A: 1.52 ACRES ±
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 ZONING: C-2 (NO CHANGE)

EXISTING SITE DATA

TRACT B: 1.47 ACRES
 EXISTING OFFICE
 ZONING: C-2 (NO CHANGE)

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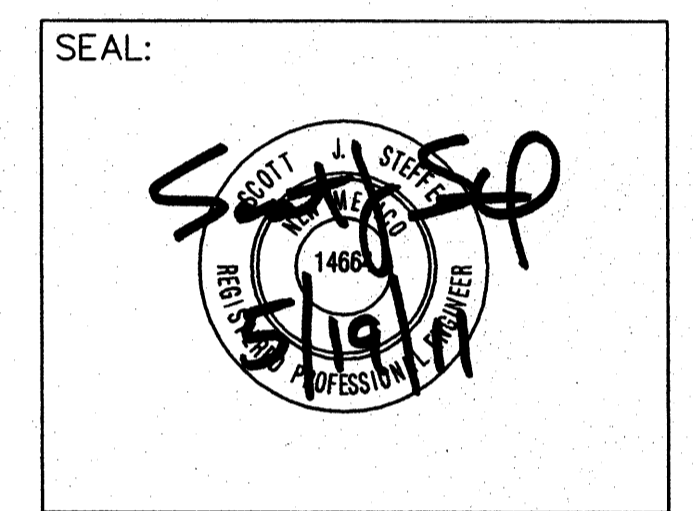
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- SIDEWALK
- POLE MOUNTED LIGHT
- CONCRETE
- HEAVY DUTY ASPHALT PAVEMENT, PER DETAIL 6/C-502
- MEDIUM ASPHALT PAVEMENT, PER DETAIL 5/C-502
- PARKING QUANTITY PER ROW

BENCHMARK
 Albuquerque Control Station Monument "2-H23"
 New Mexico State Plane Coordinates
 Central Zone - NAD 83
 N = 1,492,799.178
 E = 1,566,421.704
 Elevation = 5,853.817 (NAVD 1988)
 Delta Alpha = -00° 08' 32.15"
 Ground To Grid Factor = 0.999630113

CIVIL ENGINEER

BOHANNAN HUSTON, INC
 7500 JEFFERSON ST. NE
 ALBUQUERQUE, NM 87109
 TEL: (505) 823-1000
 FAX: (505) 798-7988

CONSULTANT:



CVS/
 pharmacy

STORE #75922
 NE CORNER OF
 INDIAN SCHOOL & TRAMWAY BLVD.
 ALBUQUERQUE, NM

DEVELOPER:
 ARMSTRONG DEVELOPMENT
 PROPERTIES, INC.
 1500 N. PRIEST DR., SUITE
 150E
 TEMPE, AZ 85281
 OFFICE: 602.385.4100
 FAX: 602.385.4101

REVISIONS:
 5/19/2011 REMOVE WHEEL CHAIR RAMPS
 ADD HEADER CURB

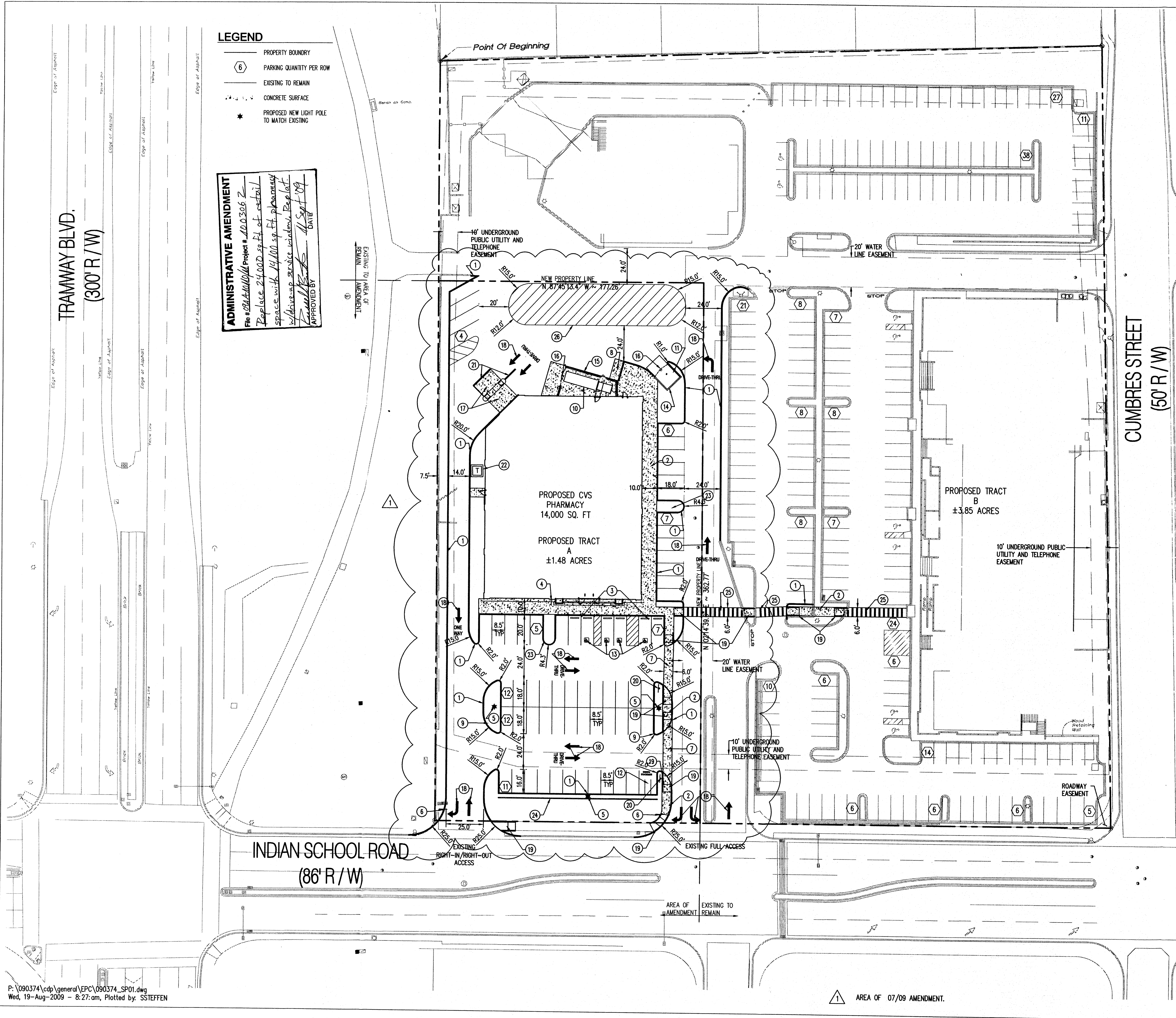
DRAWING BY: B.JG/Lsm
 DATE: DECEMBER 2009
 JOB NUMBER: 090374
 TITLE:

SITE PLAN

SHEET NUMBER:

C101

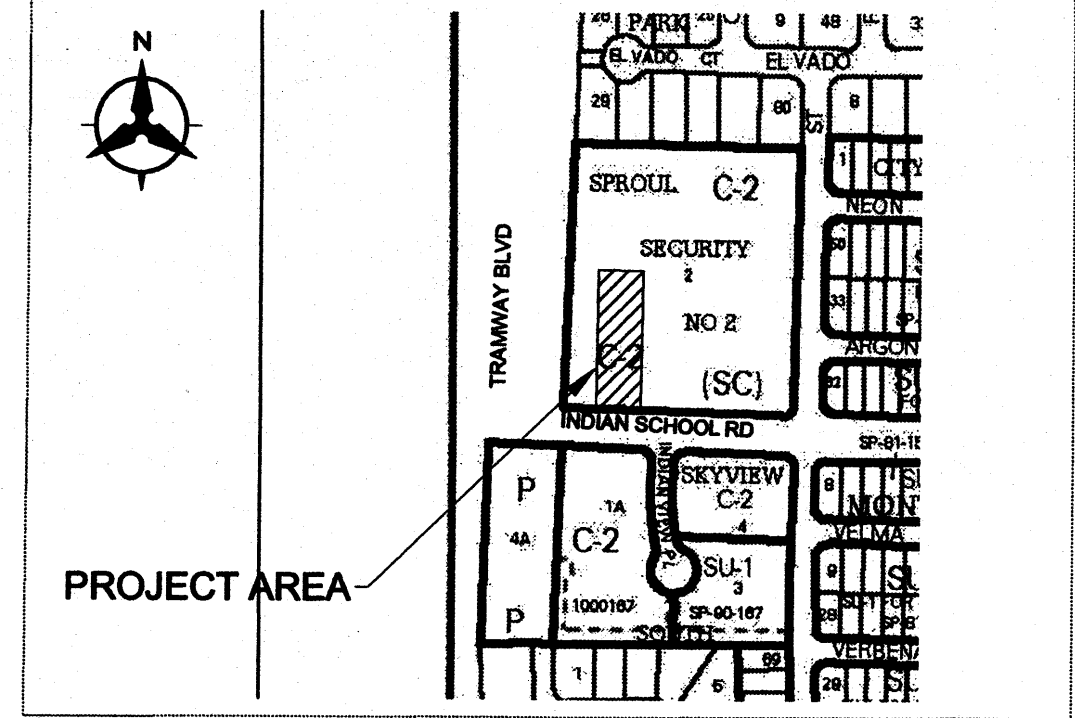
COMMENTS:
 NOT RELEASED FOR CONSTRUCTION



LEGEND

- PROPERTY BOUNDARY
- ⑥ PARKING QUANTITY PER ROW
- EXISTING TO REMAIN
- CONCRETE SURFACE
- ★ PROPOSED NEW LIGHT POLE TO MATCH EXISTING

ADMINISTRATIVE AMENDMENT
 File # 09A111014 Project # 100306 Z
 Replace 24,000 sq ft of retail space with 14,000 sq ft pharmacy w/ drive-up service window. Replat. Approved by *[Signature]* DATE 11 Sept 09



K-09 & K-10 VICINITY MAP

SHEET INDEX

- C-001 SITE PLAN FOR BUILDING PERMIT
- C-002 SITE PLAN DETAILS
- C-003 TRAFFIC CIRCULATION LAYOUT
- LS-001 LANDSCAPE PLAN
- C-100 EXISTING CONDITIONS PLAN
- C-101 CONCEPTUAL GRADING & DRAINAGE PLAN
- C-201 CONCEPTUAL UTILITY PLAN
- A-201 BUILDING ELEVATIONS

Scale: 1" = 30'

EXISTING SITE DATA	PROPOSED SITE DATA
LEGAL DESCRIPTION: SPROUL SECURITY SUBDIVISION NO. 2	TRACT A: 1.48 ACRES ± TRACT B: 3.85 ACRES
SITE AREA: 5.33 ACRES	ZONING: C-2 (NO CHANGE)
BUILDING SQUARE FOOTAGE: RESTAURANT=10,000 SQ. FT. RETAIL=45,500 SQ. FT.	EXISTING RETAIL, RESTAURANT, AND OFFICE
(24,000 SQ. FT. TO BE DEMOLISHED AND REPLACED WITH 14,100 SQ. FT. CVS PHARMACY)	ZONING: C-2 (NO CHANGE)

PARKING CALCS

REQUIRED PARKING:

- EXISTING RETAIL= 23,000 FT² *
 15,000 FT²= 75
 1,250: 8,000 FT²= 32
 107
- EXISTING RESTAURANT:
 ↓ SEATS
 300 SEATS/4= 75
- PROPOSED CVS PHARMACY
 14,100 FT²= 71
- TOTAL REQUIRED PARKING: 253
 10% TRANSIT: -25
 228
- EXISTING PARKING TO REMAIN= 224
- PROPOSED PARKING CVS PHARMACY= 64
- TOTAL PARKING PROVIDED= 288
- OTHER CVS PHARMACY DATA
 -HANDICAP PARKING PROVIDED = 4
 -HANDICAP PARKING REQUIRED = 4
 -MOTORCYCLE PARKING PROVIDED = 3
 -MOTORCYCLE PARKING REQUIRED = 3
 -BICYCLE PARKING PROVIDED = 4
 -BICYCLE PARKING REQUIRED = 4
 *AFTER DEMOLITION OF EXISTING BUILDING

- KEYED NOTES**
- 6" CONCRETE CURB.
 - CONCRETE SIDEWALK - WIDTH AS NOTED.
 - CONCRETE WALK FLUSH WITH ASPHALT THIS AREA
 - BIKE RACK PER 1/C-002.
 - LIGHT POLE (MATCH EXISTING).
 - STOP SIGN
 - COLORLED, TEXTURED, CONCRETE CROSSWALK.
 - LOADING PAD.
 - END ISLAND PLANTER
 - TRASH COMPACTOR.
 - REFUSE ENCLOSURE PER 2/C-002 & 5/C-002.
 - MOTORCYCLE PARKING WITH SIGN PER 3/C-002.
 - HANDICAP PARKING SPACE PER 4/C-002.
 - 6' HIGH SCREEN WALL PER 5/C-002
 - 8' HIGH SCREEN WALL PER 5/C-002
 - ENCLOSURE GATE PER 6/C-002
 - DRIVEUP WINDOW.
 - NEW PAINTED DIRECTIONAL ARROW.
 - WHEEL CHAIR RAMP.
 - PEDESTRIAN CROSSING SIGN PER 7/C-002.
 - PAINTED 1" WIDE YELLOW STRIPE
 - TRANSFORMER PAD FINAL LOCATION TO BE DETERMINED.
 - LANDSCAPE ISLAND.
 - 3' SCREEN WALL.
 - PAINTED 1" WIDE WHITE STRIPES 3' ON CENTER
 - PAINTED STRIPED MEDIAN

Bohannon & Huston
 ENGINEERING & SPATIAL DATA • ADVANCED TECHNOLOGIES

ARMSTRONG DEVELOPMENT PROPERTIES, INC.

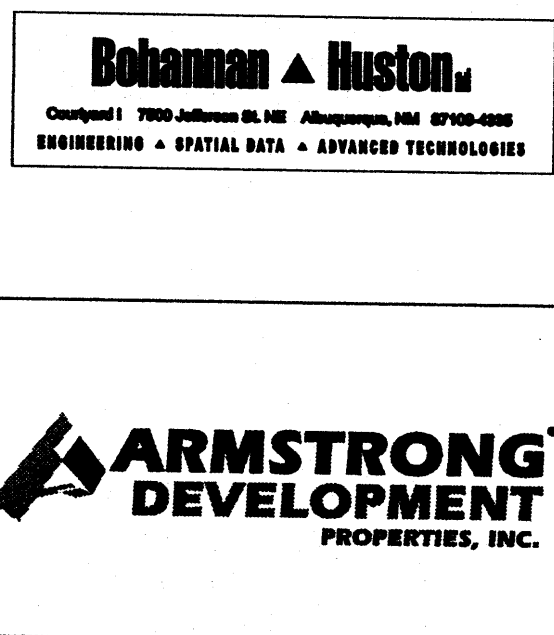
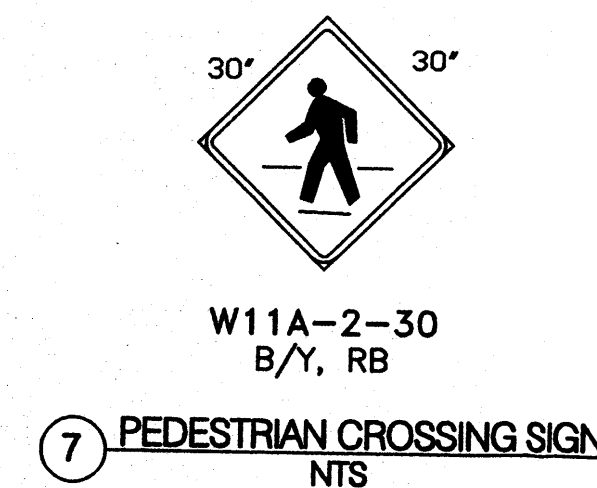
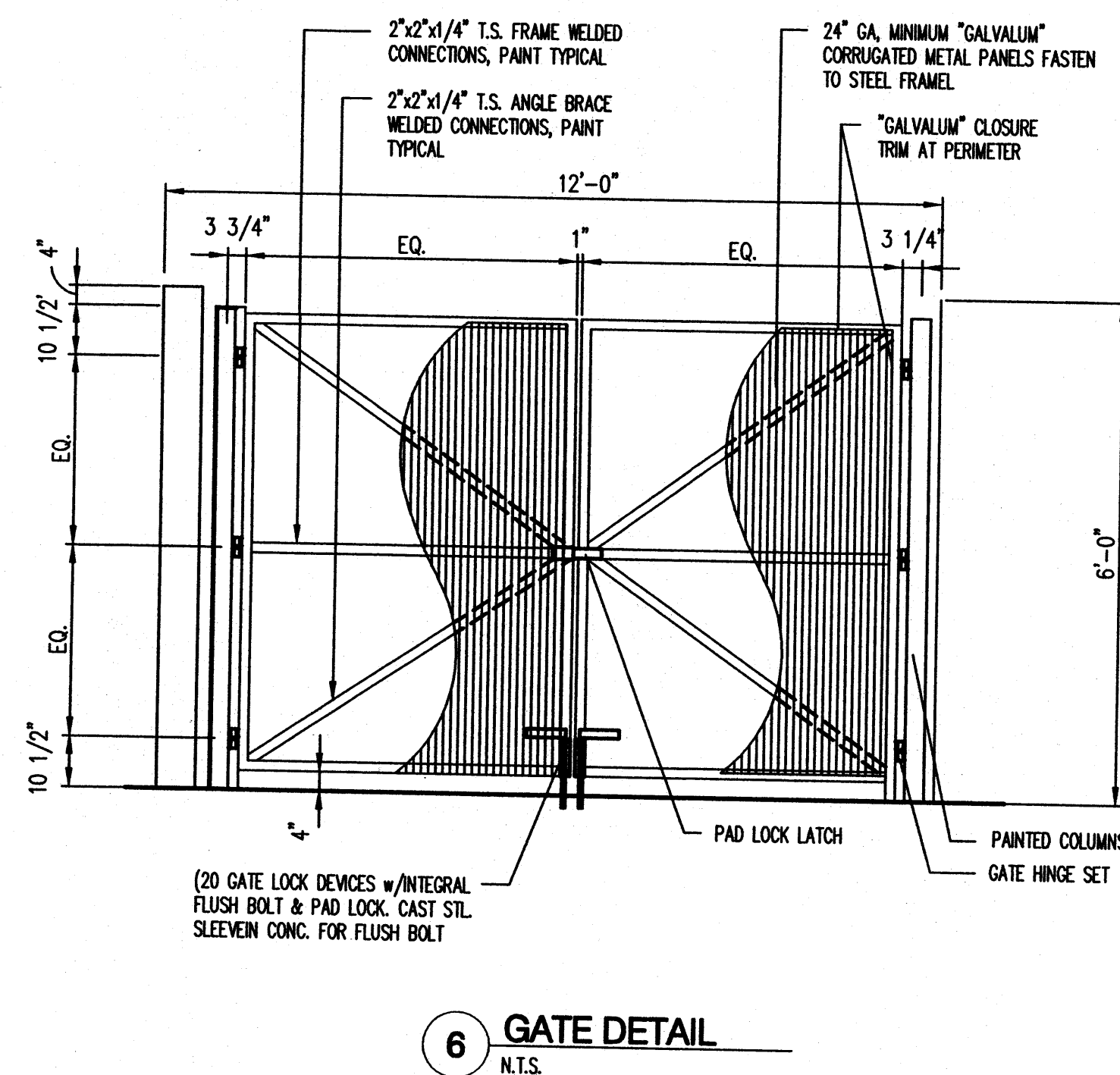
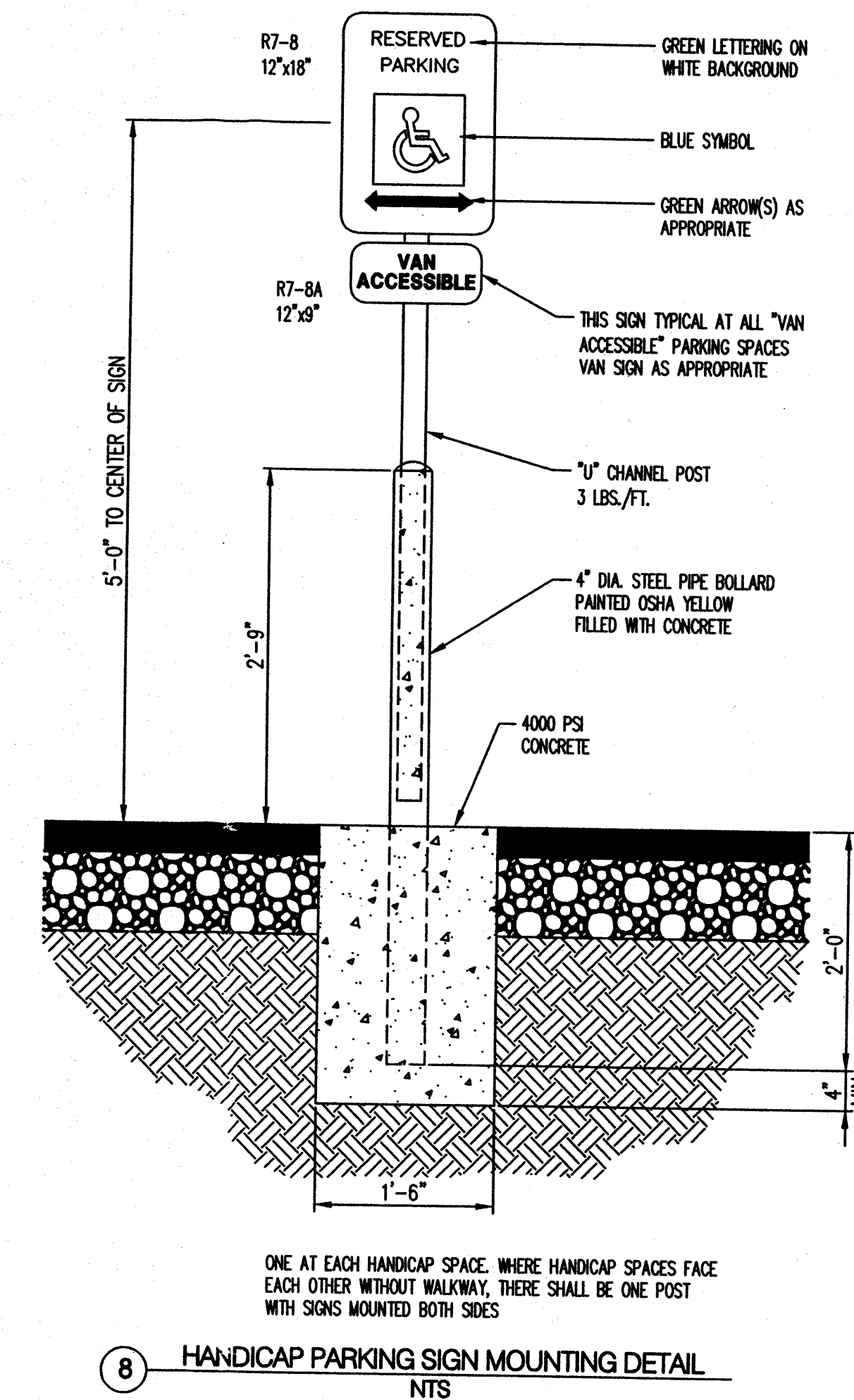
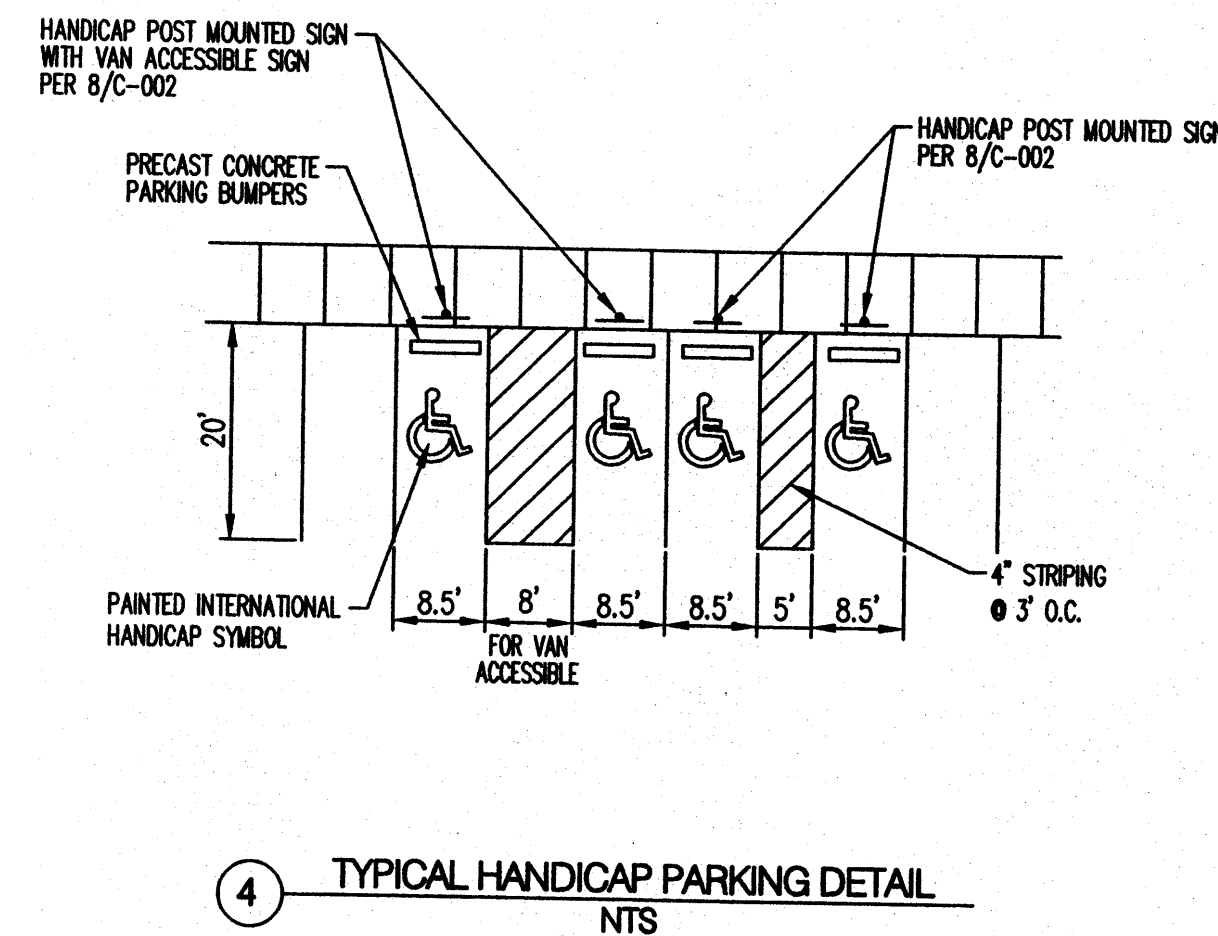
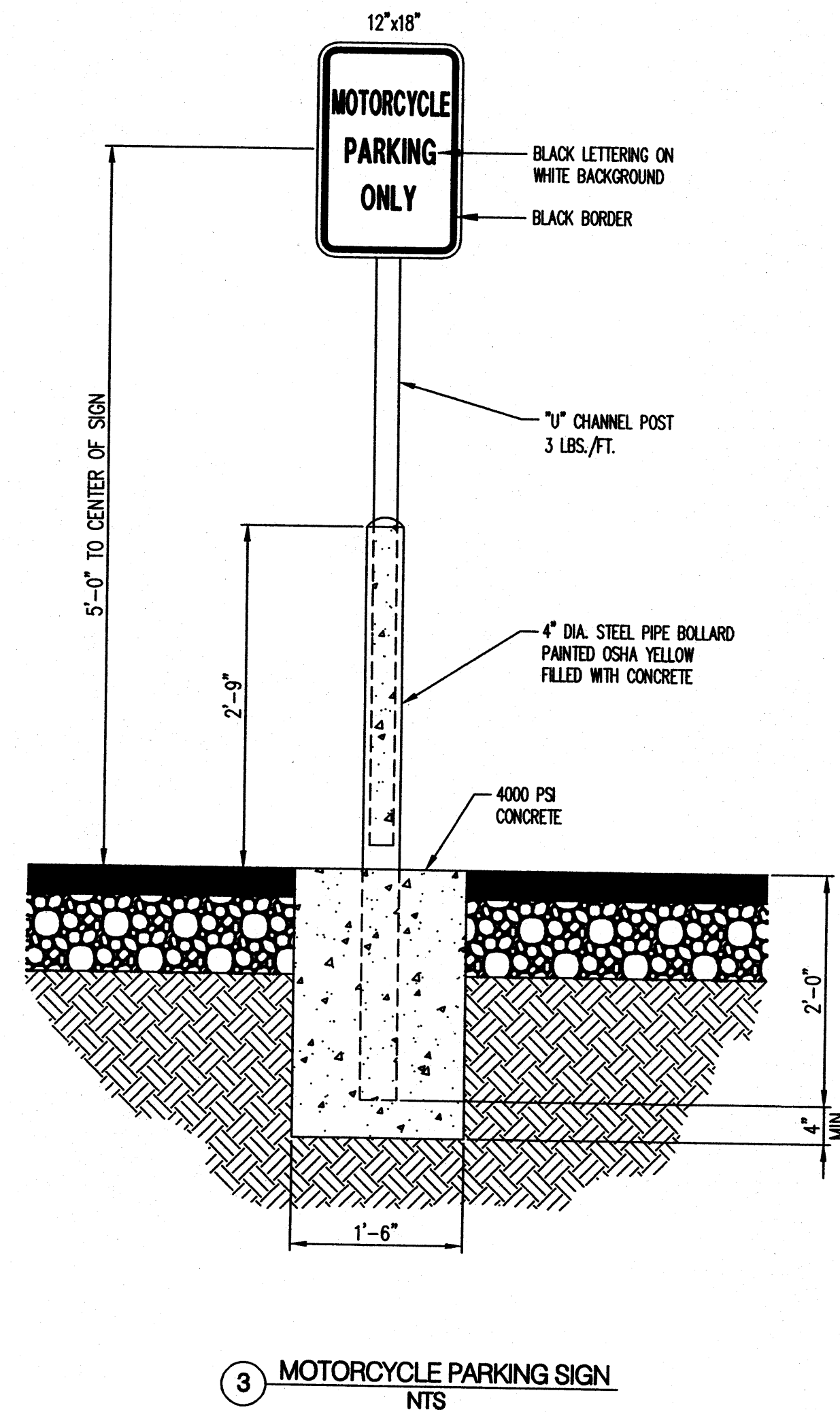
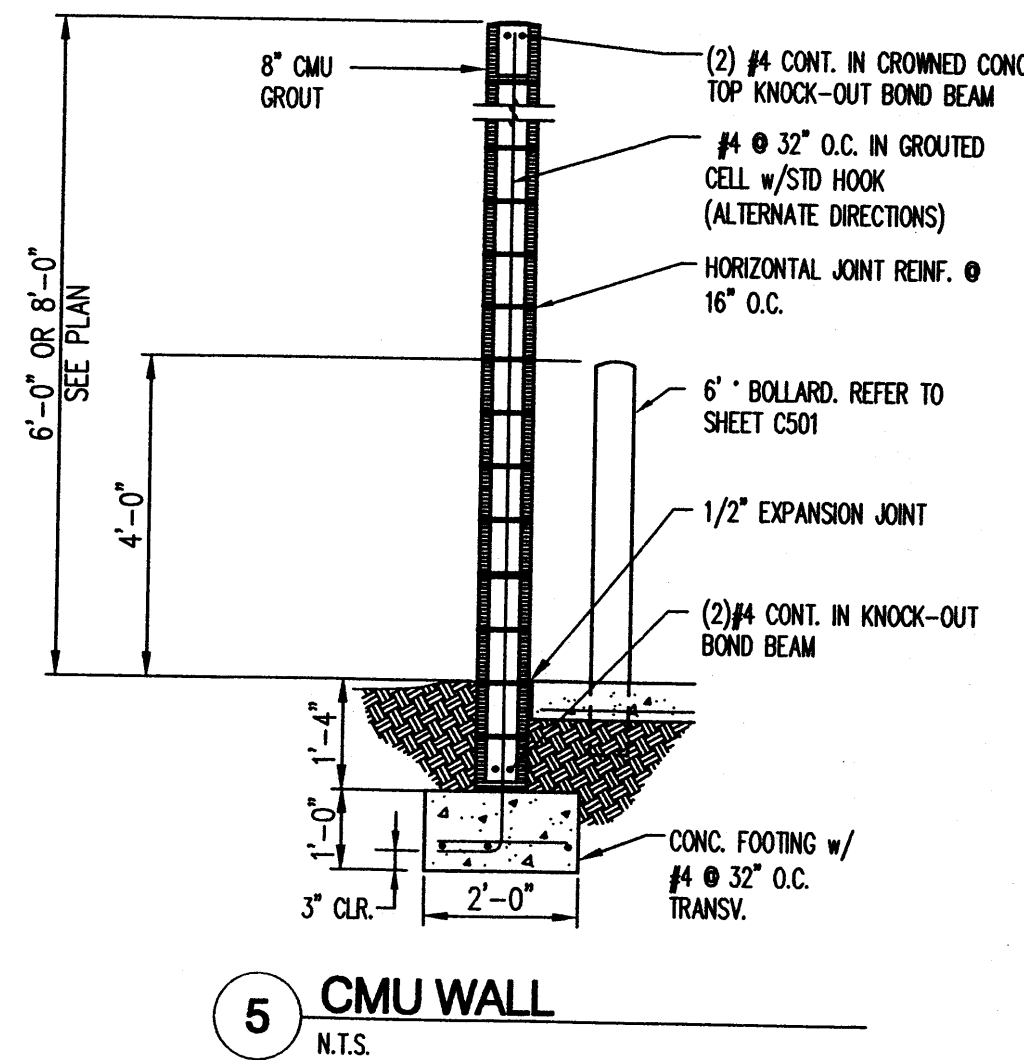
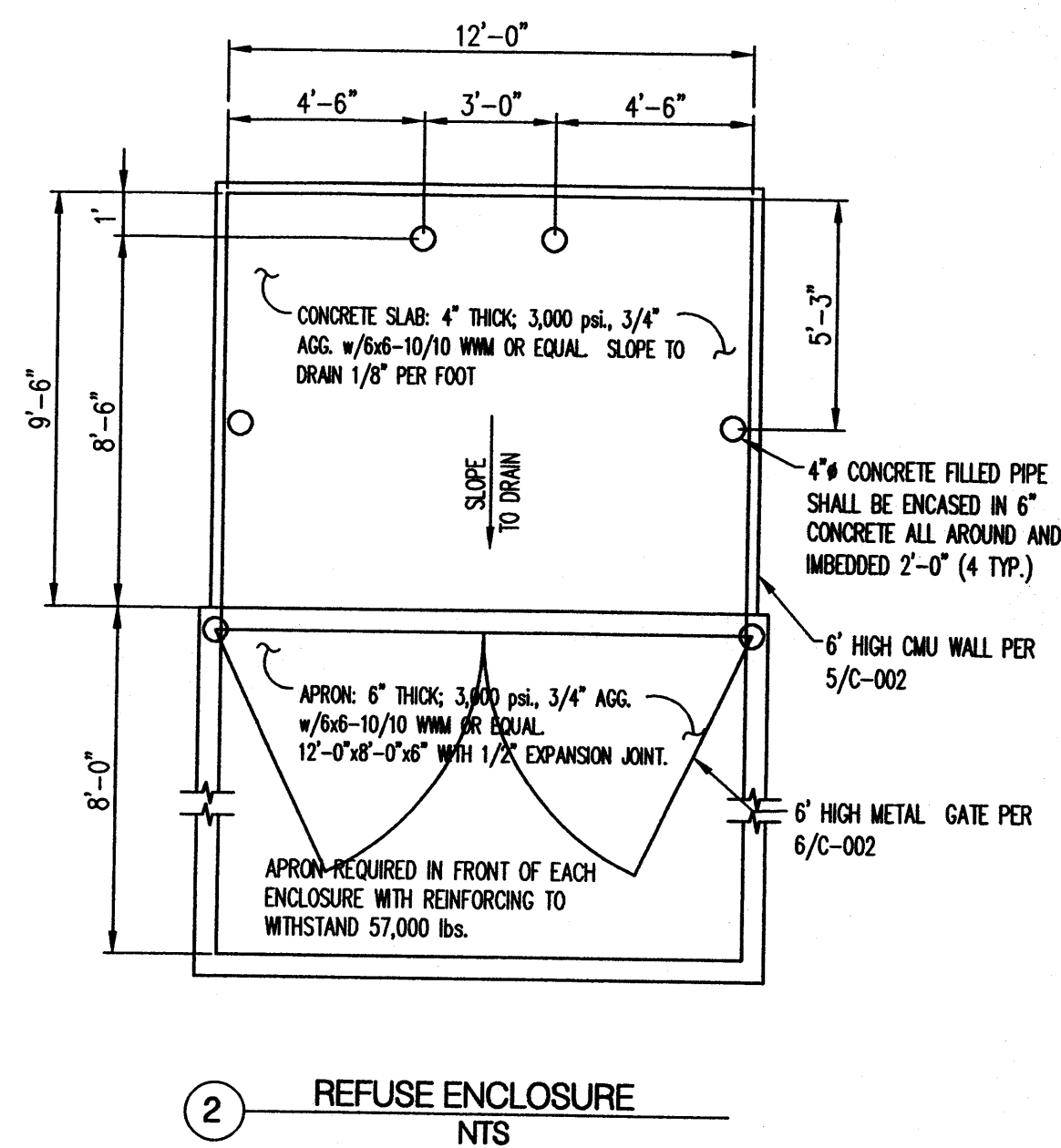
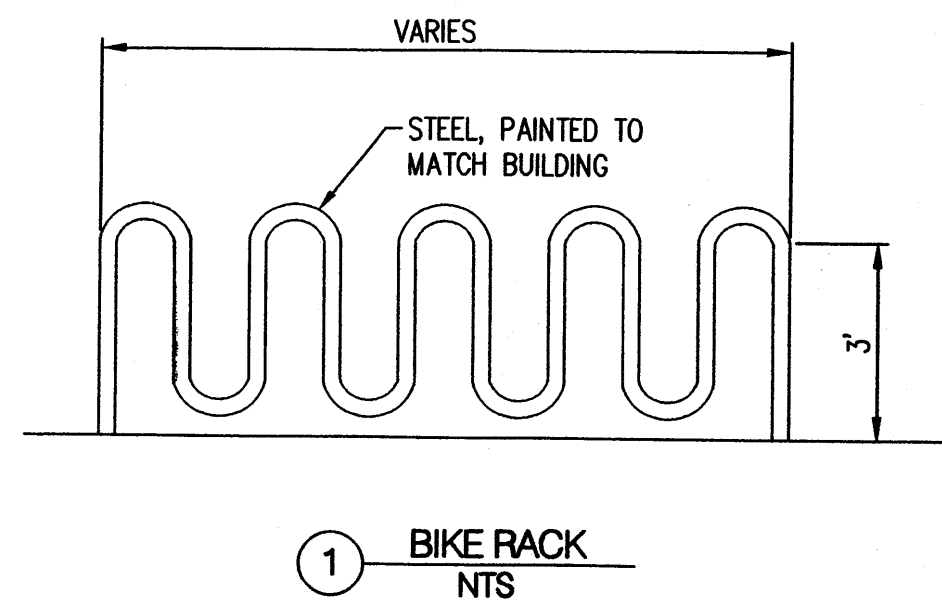
SKYVIEW CENTER
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT
 INDIAN SCHOOL AND TRAMWAY BLVD
 Albuquerque, New Mexico 87121

CVS/ pharmacy

Job Number 090374
 Drawn By BJC
 Checked SJS
 Issue Date JULY 30, 2009

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT
 Scale

C-001

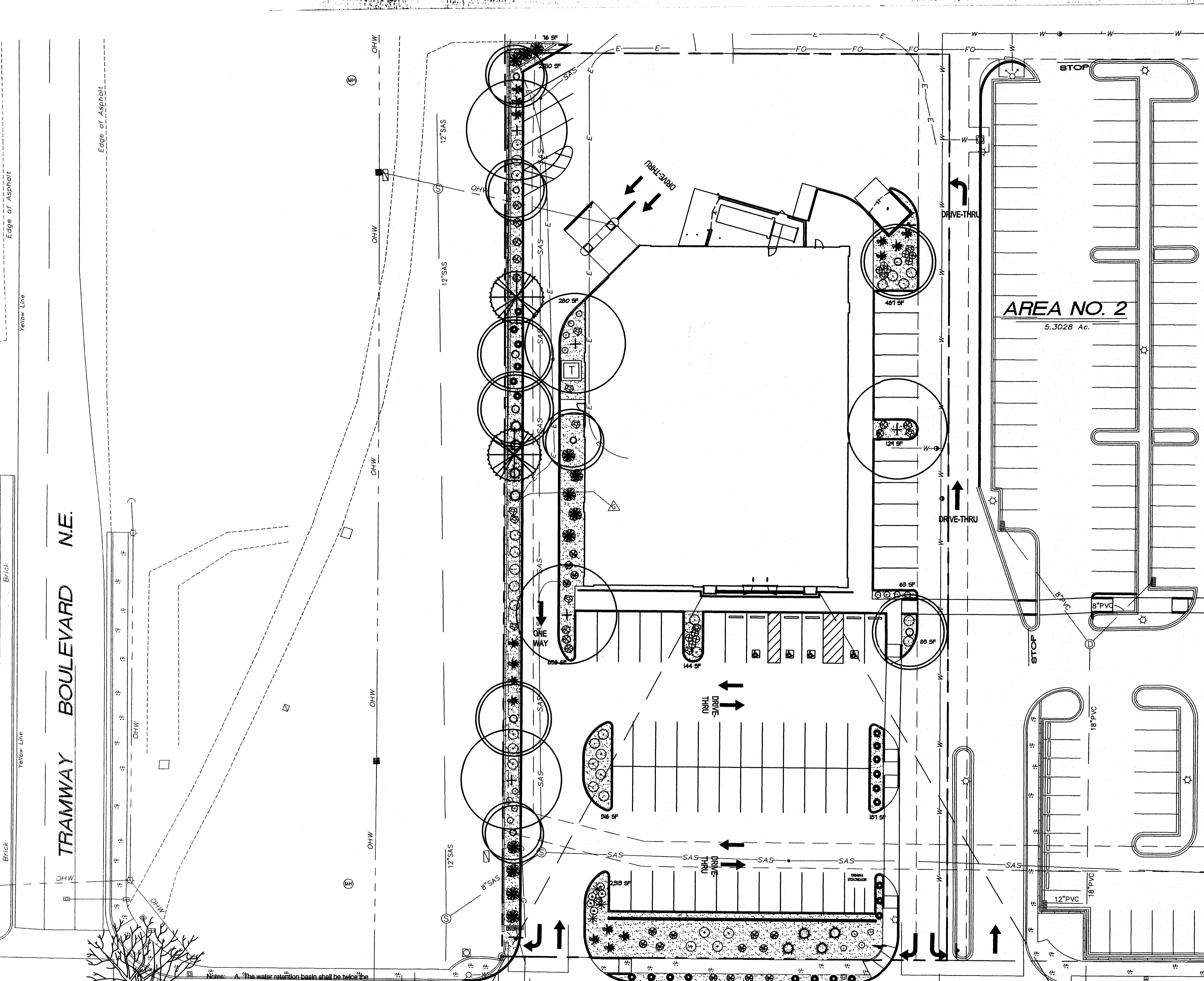


SKYVIEW CENTER
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT
 INDIAN SCHOOL AND TRAMWAY BLVD
 Albuquerque, New Mexico 87121



Job Number	090374
Drawn By	BJC
Checked	SJS
Issue Date	JULY 30, 2009

SITE PLAN
 DETAILS
 Scale _____
 C-002
 00 00



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Installed Size Mature Size	Water Use
TREES					
5	(Symbol)	CELTIS OCCIDENTALIS COMMON HACKBERRY	2" B&B	14' HT. X 6' SFR. 40' HT. X 40' SFR.	MEDIUM
4	(Symbol)	KOELREUTERIA PANICULATA GOLDENRAIN TREE	2" B&B	14' HT. X 6' SFR. 25' HT. X 25' SFR.	MEDIUM
5	(Symbol)	ROBINIA AMBIGUA 'PURPLE ROBE' PURPLE ROBE LOCUST	2" B&B	16' HT. X 6' SFR. 30' HT. X 30' SFR.	MEDIUM
2	(Symbol)	VITEX AGNUS-CASTUS CHASTE TREE	15 GAL.	6-8' HT. X 4' SFR. 20' HT. X 20' SFR.	MEDIUM
SHRUBS/PERENNIALS/GROUNDCOVERS					
13	(Symbol)	ARTEMISIA TRIDENTATA BIG SAGE	5-GAL.	4' O.C. 4' HT. X 4' SFR.	LOW +
18	(Symbol)	COREOPSIS VERTIC.	1-GAL.		
16	(Symbol)				
11	(Symbol)	LEICOPHYLLUM LAEVIGATUM CHIHUAHUA SAGE	1-GAL.	3' O.C. 2' HT. X 3' SFR.	LOW
23	(Symbol)	MULLENBERGIA LINDHEIMERII LINDHEIMER MIMLY	1-GAL.	4' O.C. 4' HT. X 4' SFR.	LOW
16	(Symbol)	MULLENBERGIA RIGIDA PURPLE MIMLY	1-GAL.	3' O.C. 3' HT. X 3' SFR.	MED
12	(Symbol)	NOLINA MICROCARPA BEARGRASS	5-GAL.	5' O.C. 4' HT. X 5' SFR.	LOW
5	(Symbol)			3' O.C. 2' HT. X 3' SFR.	
10	(Symbol)	PENSTEMON PSEUDOSPECTABILIS DESERT BEARDTONGUE	1-GAL.	3' O.C. 2' HT. X 3' SFR.	LOW
8	(Symbol)	PINUS MUGO FUMILIO DWARF MUGO PINE	5-GAL.	5' O.C. 4' HT. X 5' SFR.	MED
15	(Symbol)	ROSMARINUS OFFICINALIS UPRIGHT ROSEMARY	5-GAL.	4' O.C. 4' HT. X 4' SFR.	LOW +
3	(Symbol)	YUCCA RIGIDA BLUE YUCCA	5-GAL.	4' O.C. 4' HT. X 4' SFR.	LOW
1,484 SF	(Symbol)	CRUSHER FINES (3" DEPTH) - BROWN SHADE OVER DENITT PRO-5 WEED CONTROL FABRIC.			
10	(Symbol)	MOSS ROCK BOULDERS (VARIOUS SIZES - 2' X 2' MINIMUM)			

GENERAL NOTES

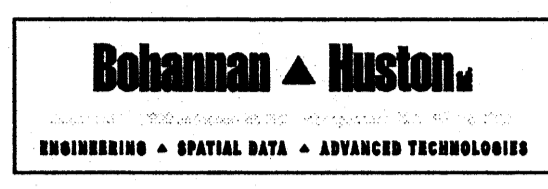
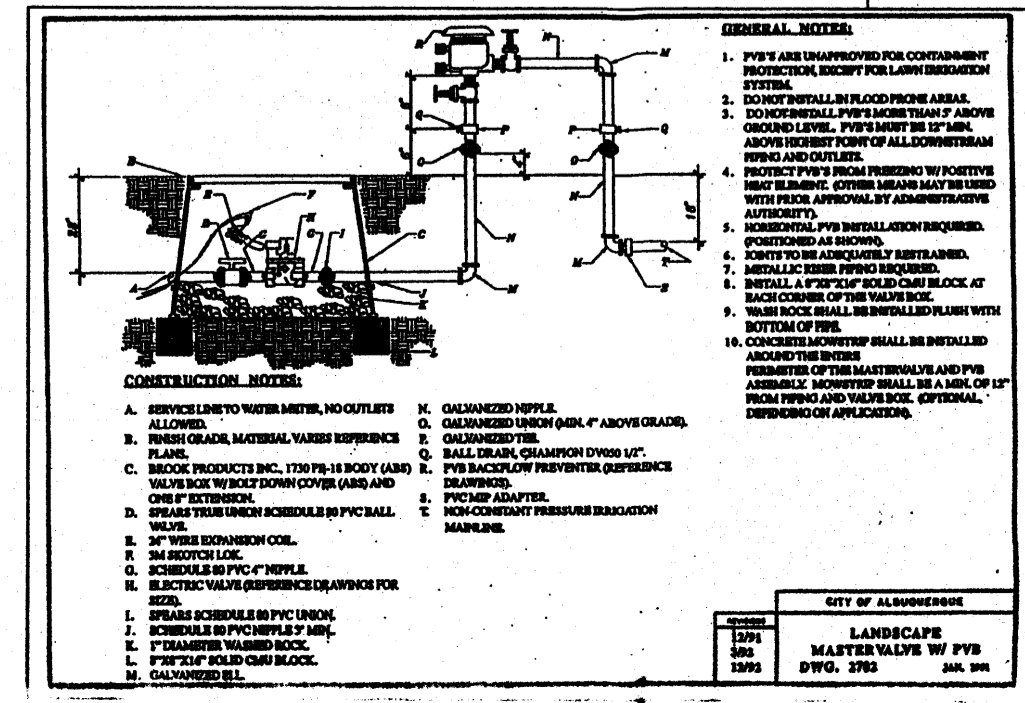
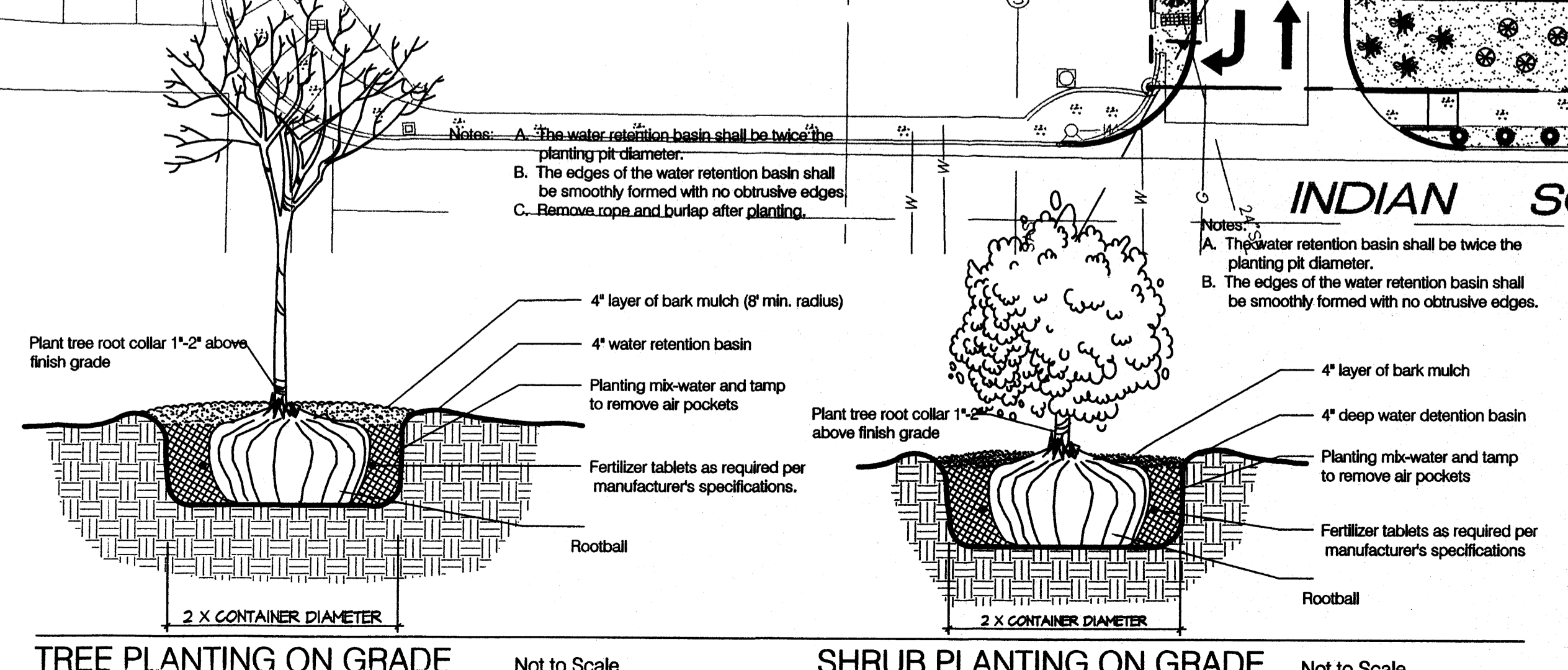
IRRIGATION SYSTEM
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED DRIP IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB, AND GROUNDCOVER PLANTING AREAS. IRRIGATION SYSTEM DESIGN SHALL CONSIDER THE ABILITY TO EASILY PROVIDE ADDITIONAL EMITTERS FOR THE EXPANDING ROOT ZONE. TREES SHALL RECEIVE (5) 1.0 GPH EMITTERS AND SHRUBS SHALL RECEIVE (2) 1.0 GPH EMITTERS. PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

MAINTENANCE RESPONSIBILITY
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.M., SHALL BE THE RESPONSIBILITY OF THE OWNER.

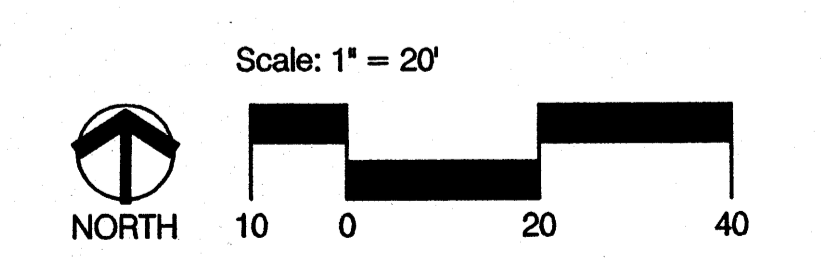
STATEMENT OF WATER WASTE
PER THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, THE LANDSCAPE PLAN FOR THE CVS/PHARMACY IS LIMITED TO USING HIGH WATER USE TURF OVER A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPE AREA. THERE IS NO HIGH WATER USE TURF BEING DESIGNED ON THE CVS LANDSCAPE PLAN. ALL LANDSCAPING SHALL BE IN COMPLIANCE WITH THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

LANDSCAPE COVERAGE
ALL LANDSCAPE AREAS, INCLUDING BUFFER STRIPS ADJACENT TO MAJOR STREETS, SHALL CONTAIN LIVE VEGETATIVE MATERIAL COVERING AT LEAST 75% OF THE AREA.

TOTAL SITE AREA:	64,305 SF
BUILDING AREA:	14,000 SF
TOTAL AREA:	50,305 SF
REQUIRED LANDSCAPE AREA (15%):	7,541 SF
PROVIDED LANDSCAPE AREA (ON-SITE):	7,070 SF (14%)
PROVIDED LANDSCAPE AREA (OFF-SITE):	± 411 SF
TOTAL LANDSCAPE AREA:	7,481 SF (15%)

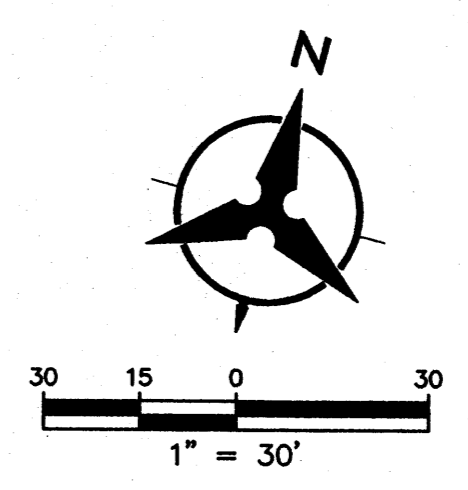
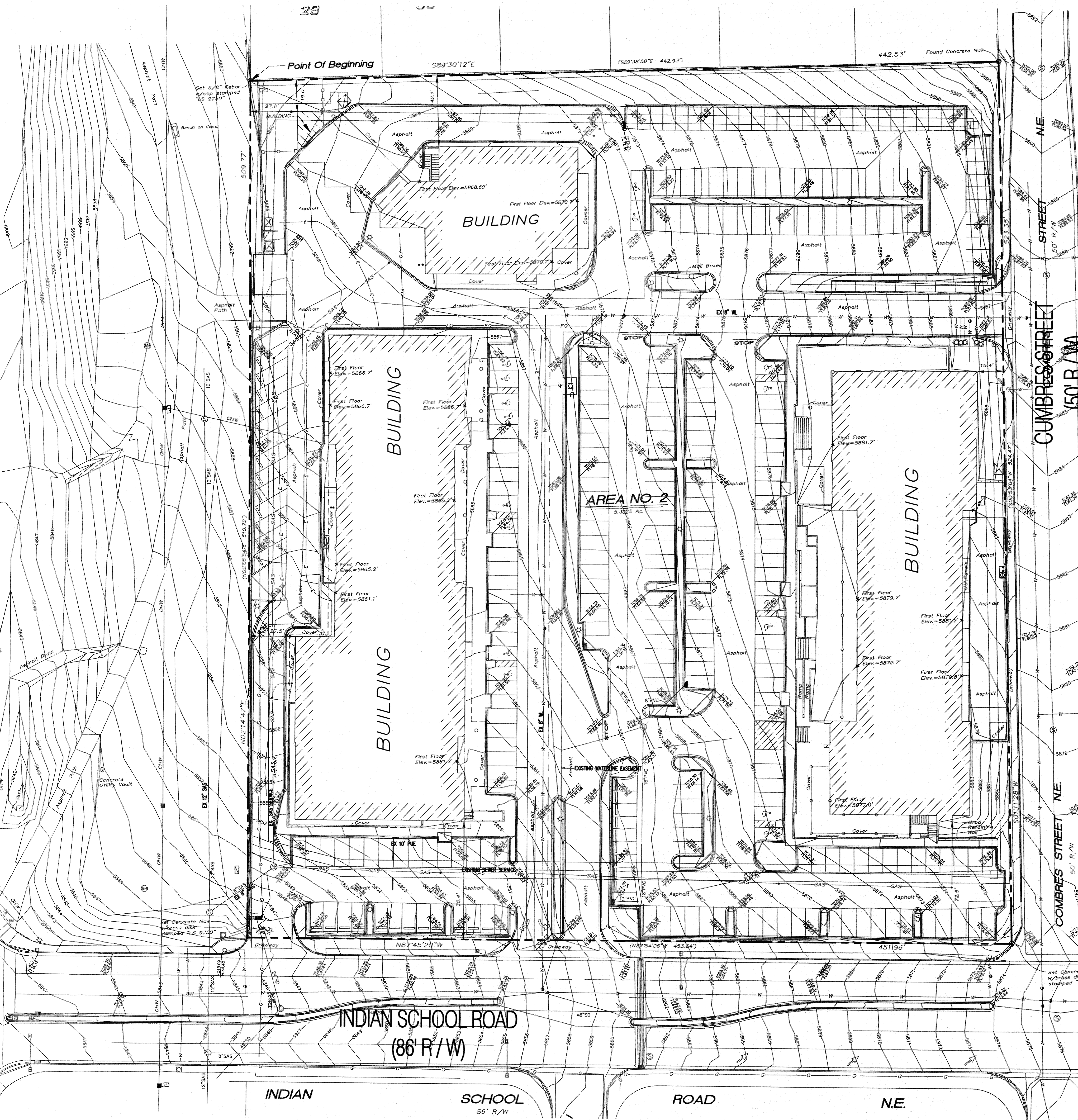


SKYVIEW CENTER
LANDSCAPE PLAN
INDIAN SCHOOL AND TRAMWAY BLVD
Albuquerque, New Mexico 87121



CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

Job Number _____
Drawn By GY
Checked CG
Issue Date JULY 28, 2009
LANDSCAPE PLAN
Scale _____
LS-001
OF _____



LEGEND

- | | | | |
|-------|------------------------|-------|--------------------|
| ⊕ | Storm Drain Manhole | —G— | Gas Line |
| ⊙ | Sanitary Sewer Manhole | —W— | Water Line |
| ⊖ | Manhole | — | Water Meter |
| —SAS— | Sanitary Sewer Line | — | Wall |
| —SD— | Storm Drain Line | ⊠ | Utility Pedestal |
| ⊠ | Storm Drain Inlet | ⊠ | Sign |
| ■ | Power Pole | —TEL— | Telephone Line |
| —OHW— | Overhead Wires | — | Guy Wire |
| — | Wood Fence | —FO— | Fiber Optic Line |
| ⊙ | Light Pole | ⊠ | Utility Box |
| ⊙ | Bollard | ⊠ | Signal Light Tower |
| ⊠ | Concrete Symbol | ⊠ | Signal Light Post |
| ⊠ | Gas Meter | | |

Bohannon & Huston
 CONSULTING ENGINEERS
 1700 JEFFERSON BLVD. NE ALBUQUERQUE, NM 87102-4001
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ARMSTRONG DEVELOPMENT
 PROPERTIES, INC.

SKYVIEW CENTER
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT
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CVS/
 pharmacy

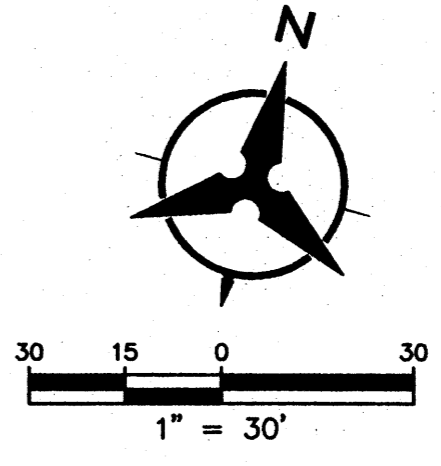
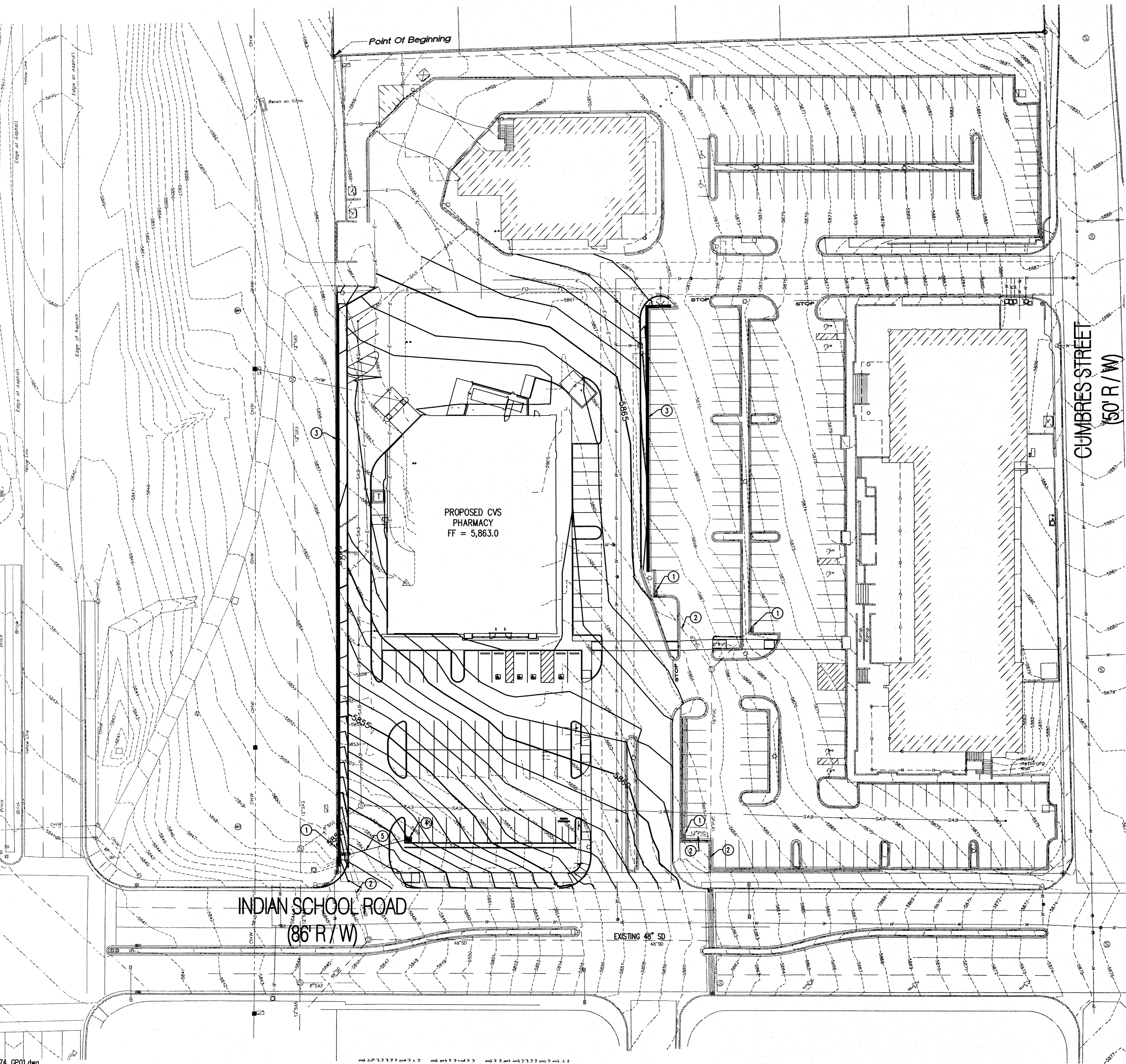
Job Number 090374
 Drawn By BJC
 Checked SJS
 Issue Date JULY 30, 2009

EXISTING CONDITIONS
 PLAN

Scale _____

C-100

00 00



KEYED NOTES

1. EXISTING STORM DRAIN INLET.
2. EXISTING STORM DRAIN.
3. RETAINING WALL.
4. PROPOSED STORM DRAIN INLET.
5. PROPOSED STORM DRAIN.

PROPOSED CVS
PHARMACY
FF = 5,863.0

INDIAN SCHOOL ROAD
(86' R/W)

CUMBRES STREET
(50' R/W)

EXISTING 48" SD

GRADING AND DRAINAGE NARRATIVE

I. INTRODUCTION

The purpose of this submittal is to present a conceptual grading and drainage plan for a proposed CVS Pharmacy development in NE Albuquerque. The site is located at the northeast corner of Indian School Road and Tramway Boulevard. The project proposes redevelopment of approximately 1.5 acres in the Sky View Shopping Center. The CVS development will demolish approximately 24,000 square feet of retail space and replace it with a single retail building of 14,100 square feet, with pedestrian access, parking, and landscaping. This submittal is in support of the Amended Site Plan for Building Permit application.

II. SITE LOCATION

The site is located within zone atlas map K-10-Z. The project is located in the existing Sky View Center, which is bounded along the north by residential development, along the east by Cumbres Street, along the south by Indian School Road and along the west by the Tramway Boulevard.

III. EXISTING CONDITIONS

The Sky View Center site encompasses approximately 5.3 acres. Slopes for the site range between 6 and 10% from east to west. The site is fully developed with buildings, parking areas, and landscaping. The site drains via surface flow in a northeasterly to southwesterly direction. There are four private storm drain inlets which collect flows on site. The private storm drain connects to a City storm drain in Indian School Road. Runoff also flows from the site into Indian School Road through the existing Indian School Road entrances to the Center.

IV. OFFSITE DRAINAGE

There is no offsite drainage reaching Sky View Center. The center is higher than the Indian School Road and Tramway Boulevard rights-of-way. A water block prevents flows in Cumbres Street from entering the site. The residential lots to the north drain away from the Center.

IV. PROPOSED CONDITIONS

The proposed grading for the CVS redevelopment will match existing site grades and slopes. Proposed drainage patterns will be the same as the existing drainage patterns. Total runoff from the site will remain the same as the development coverage will be the same in the existing and proposed conditions. Existing flows from the Center will continue to drain across the CVS site. Cross drainage easements will be granted to allow the existing drainage patterns to continue.

V. CONCLUSION

The grading and drainage plan for the CVS site is consistent with the existing site drainage for the Sky View Shopping Center. The plan is capable of safely passing the 100 year storm and meets city requirements. All analysis was completed in accordance with section 22.2 of the Development Process Manual.



SKYVIEW CENTER
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT
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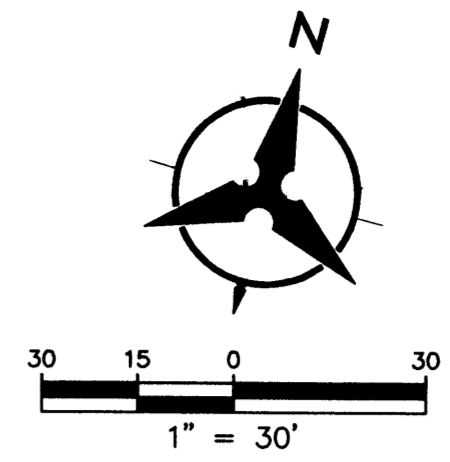
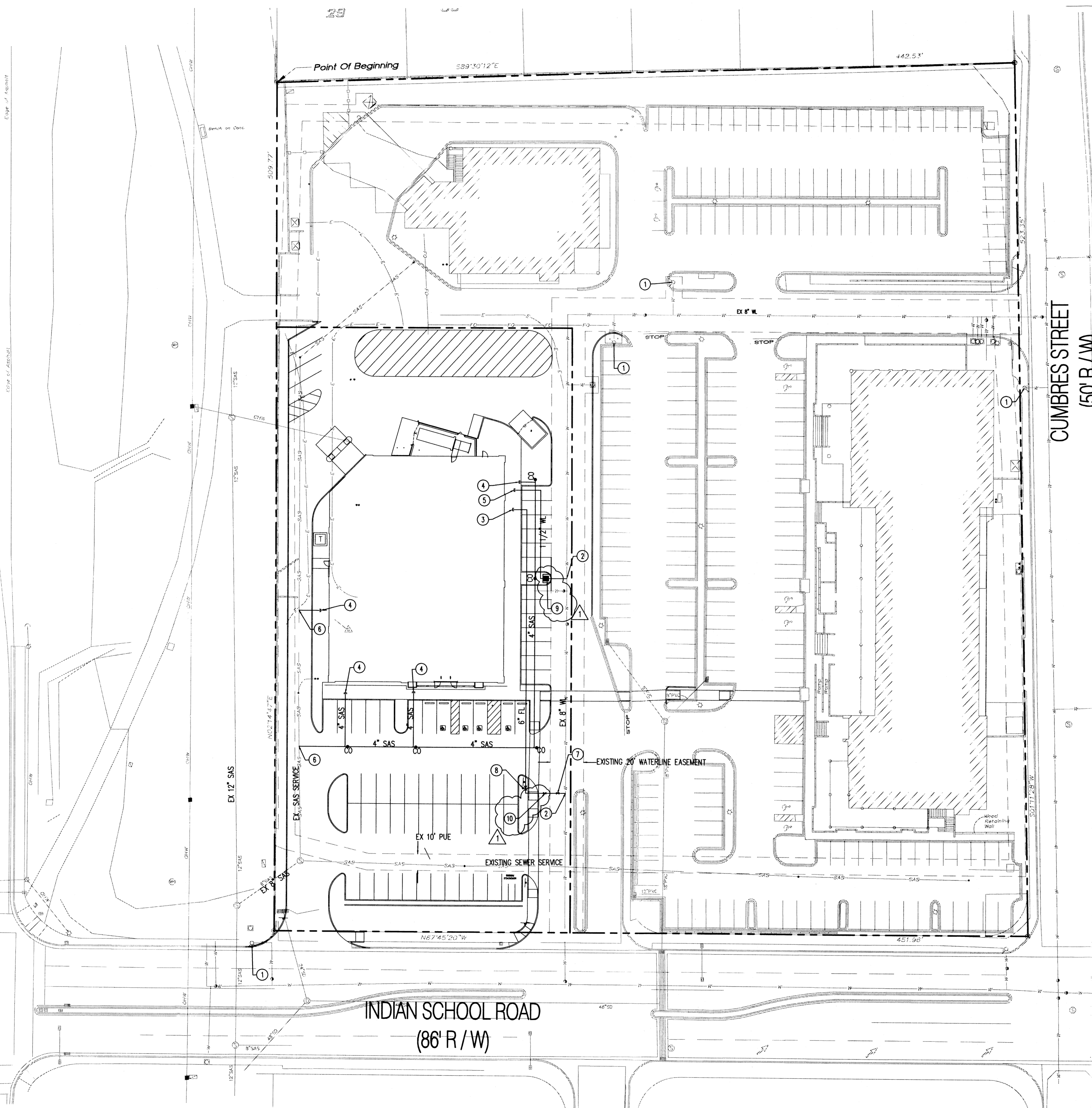
Job Number	090374
Drawn By	BJG
Checked	SJS
Issue Date	JULY 30, 2009

CONCEPTUAL
GRADING PLAN

Scale

C-101

00 00



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ARMSTRONG DEVELOPMENT
 PROPERTIES, INC.

KEYED NOTES

1. EXISTING FIRE HYDRANT
2. CONNECT WATER/FIRE SERVICE TO EXISTING WATERLINE BY SEPARATE PERMIT.
3. CONNECT FIRE LINE TO WITHIN 5' OF BUILDING.
4. CONNECT SAS LINE TO WITHIN 5' OF BUILDING.
5. CONNECT WATER LINE TO WITHIN 5' OF BUILDING BY SEPARATE PERMIT.
6. CONNECT SEWER LINE TO EXISTING LINE
7. PROPOSED PUBLIC 6" GATE VALVE.
8. PROPOSED POST INDICATOR VALVE.
9. PROPOSED WATER METER, WITH 5'x5' PUBLIC WATER LINE EASEMENT GRANTED TO THE ABCWJA WITH THE PROJECT FINAL PLAT.
10. PROPOSED PRIVATE 6" GATE VALVE.

LEGEND

---	PROPERTY LINE
---	EXISTING EASEMENT
SAS	EXISTING SANITARY SEWER
W	EXISTING WATER LINE
□	EXISTING WATER METER
⌈	EXISTING CAP
⊕	EXISTING VALVE
⊕	EXISTING FIRE HYDRANT
○	EXISTING SANITARY SEWER MANHOLE
□	EXISTING INLET
---	EXISTING EASEMENT
SAS	PROPOSED SANITARY SEWER LINE
●	PROPOSED SANITARY SEWER MANHOLE
●	PROPOSED CLEANOUT
W	PROPOSED WATER LINE
⊕	PROPOSED VALVE
FL	PROPOSED FIRE LINE
⌈	PROPOSED CAP
■	PROPOSED WATER METER

SKYVIEW CENTER
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT
 INDIAN SCHOOL AND TRAMWAY BLVD
 Albuquerque, New Mexico 87121

CVS/
 pharmacy

1. ADD EASEMENT FOR WATER METER. NOTE: NEED FOR SEPARATE PERMIT FOR CONNECTION TO PUBLIC WATERLINE.

Job Number 090374
 Drawn By BJC
 Checked SJS
 Issue Date JULY 30, 2009

CONCEPTUAL
 UTILITY PLAN

Scale _____

C-201