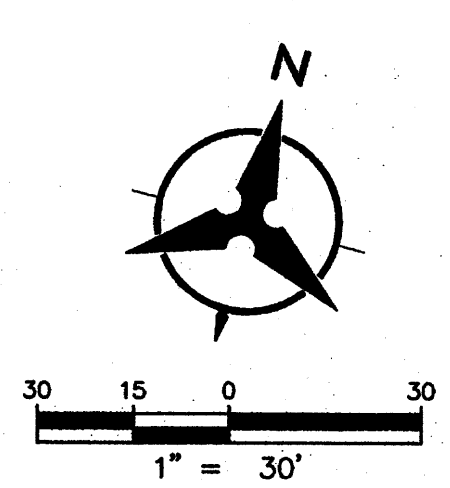
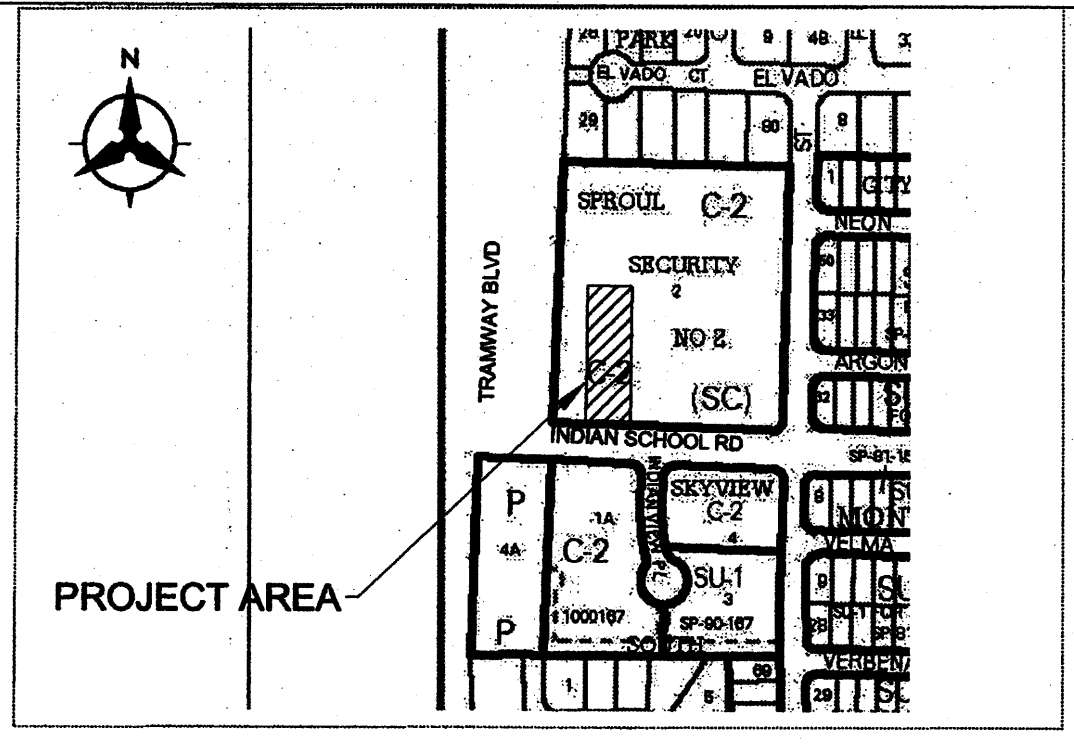


- LEGEND**
- ① PROPERTY BOUNDARY
 - ② PARKING QUANTITY PER ROW
 - ③ EXISTING TO REMAIN
 - ④ CONCRETE SURFACE
 - ⑤ PROPOSED NEW LIGHT POLE TO MATCH EXISTING



- SHEET INDEX**
- C-001 SITE PLAN FOR BUILDING PERMIT
 - C-002 SITE PLAN DETAILS
 - C-003 TRAFFIC CIRCULATION LAYOUT
 - LS-001 LANDSCAPE PLAN
 - C-100 EXISTING CONDITIONS PLAN
 - C-101 CONCEPTUAL GRADING & DRAINAGE PLAN
 - C-201 CONCEPTUAL UTILITY PLAN
 - A-201 BUILDING ELEVATIONS

PROPOSED SITE DATA

TRACT A:	1.52 ACRES ±
CVS PHARMACY:	14,000 SF ±
ZONING:	C-2 (NO CHANGE)
TRACT B:	1.47 ACRES
EXISTING OFFICE:	
ZONING:	C-2 (NO CHANGE)
TRACT C:	2.37 ACRES
EXISTING RETAIL AND RESTAURANT:	
ZONING:	C-2 (NO CHANGE)

EXISTING SITE DATA

LEGAL DESCRIPTION: SPROUL SECURITY SUBDIVISION NO. 2

SITE AREA: 5.33 ACRES
 ZONING: C-2
 BUILDING SQUARE FOOTAGE:
 RESTAURANT = 10,000 SQ. FT.
 RETAIL = 45,500 SQ. FT.
 (22,500 SQ. FT. TO BE DEMOLISHED AND REPLACED WITH 14,000 SQ. FT. CVS PHARMACY)

PARKING CALCS

REQUIRED PARKING:

- TRACT A
 PROPOSED CVS PHARMACY
 14,000 SQ FT/200 = 70
 10% TRANSIT REDUCTION = -7
 REQUIRED PARKING = 63
 PROVIDED PARKING = 62
- TRACT B
 EXISTING 9,000 SQ FT/2 STORY OFFICE BUILDING
 4,500 SQ FT/200 = 23
 4,500 SQ FT/300 = 15
 10% TRANSIT REDUCTION = -3
 REQUIRED PARKING = 35
 PROVIDED PARKING = 76
- TRACT C
 EXISTING 14,000 SQ FT RETAIL AND 300 SEAT RESTAURANT
 RESTAURANT = 300 SEATS/4 = 75
 RETAIL = 14,000 SQ FT/200 = 70
 10% TRANSIT REDUCTION = -14
 REQUIRED PARKING = 131
 PROVIDED PARKING = 150
- OTHER CVS PHARMACY DATA
 -HANDICAP PARKING PROVIDED = 4
 -HANDICAP PARKING REQUIRED = 4
 -MOTORCYCLE PARKING PROVIDED = 3
 -MOTORCYCLE PARKING REQUIRED = 3
 -BICYCLE PARKING PROVIDED = 4
 -BICYCLE PARKING REQUIRED = 4

KEYED NOTES

- 6" CONCRETE CURB.
- CONCRETE SIDEWALK - WIDTH AS NOTED.
- CONCRETE WALK FLUSH WITH ASPHALT IN THIS AREA
- BIKE RACK PER 1/C-002.
- LIGHT POLE (MATCH EXISTING).
- STOP SIGN
- COLORLED, TEXTURED, CONCRETE CROSSWALK.
- LOADING PAD.
- END ISLAND PLANTER
- TRASH COMPACTOR.
- REFUSE ENCLOSURE PER 2/C-002 & 5/C-002.
- MOTORCYCLE PARKING WITH SIGN PER 3/C-002.
- HANDICAP PARKING SPACE PER 4/C-002.
- 6' HIGH SCREEN WALL PER 5/C-002
- 8' HIGH SCREEN WALL PER 5/C-002.
- ENCLOSURE GATE PER 6/C-002
- DRIVEUP WINDOW.
- NEW PAINTED DIRECTIONAL ARROW.
- WHEEL CHAIR RAMP.
- PEDESTRIAN CROSSING SIGN PER 7/C-002.
- PAINTED 1" WIDE YELLOW STRIPE
- TRANSFORMER PAD FINAL LOCATION TO BE DETERMINED.
- LANDSCAPE ISLAND.
- 3' SCREEN WALL.
- PAINTED 1" WIDE WHITE STRIPES 3' ON CENTER
- PAINTED STRIPED MEDIAN

ADMINISTRATIVE AMENDMENT
 File # 090374-10168 Project # 10.03062
 New lot lines to create three lots. Revised parking. Cross-parking agreement necessary.
 Approved by: [Signature] DATE: 03 Nov 09

P:\090374\cdp\general\EPC\090374_SP01.dwg
 Wed, 28-Oct-2009 - 9:08:am, Plotted by: RGAUNA

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ARMSTRONG DEVELOPMENT PROPERTIES, INC.

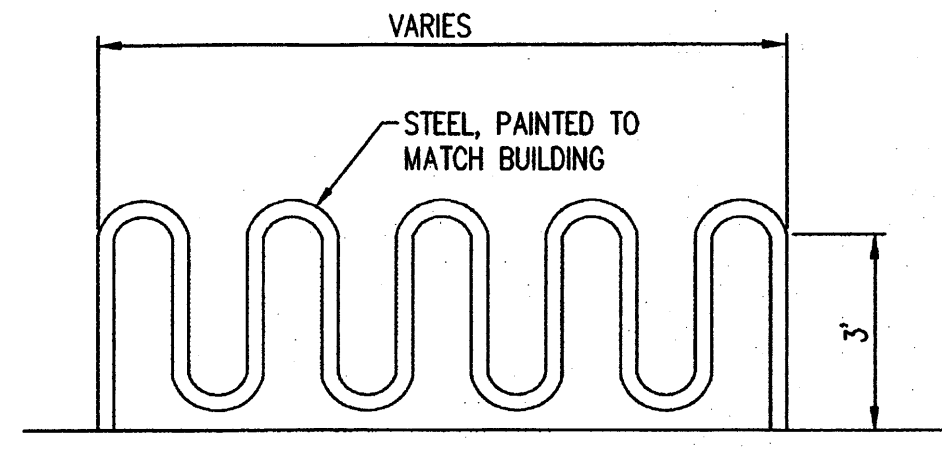
SKYVIEW CENTER
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT
 INDIAN SCHOOL AND TRAMWAY BLVD
 Albuquerque, New Mexico 87121

CVS/pharmacy

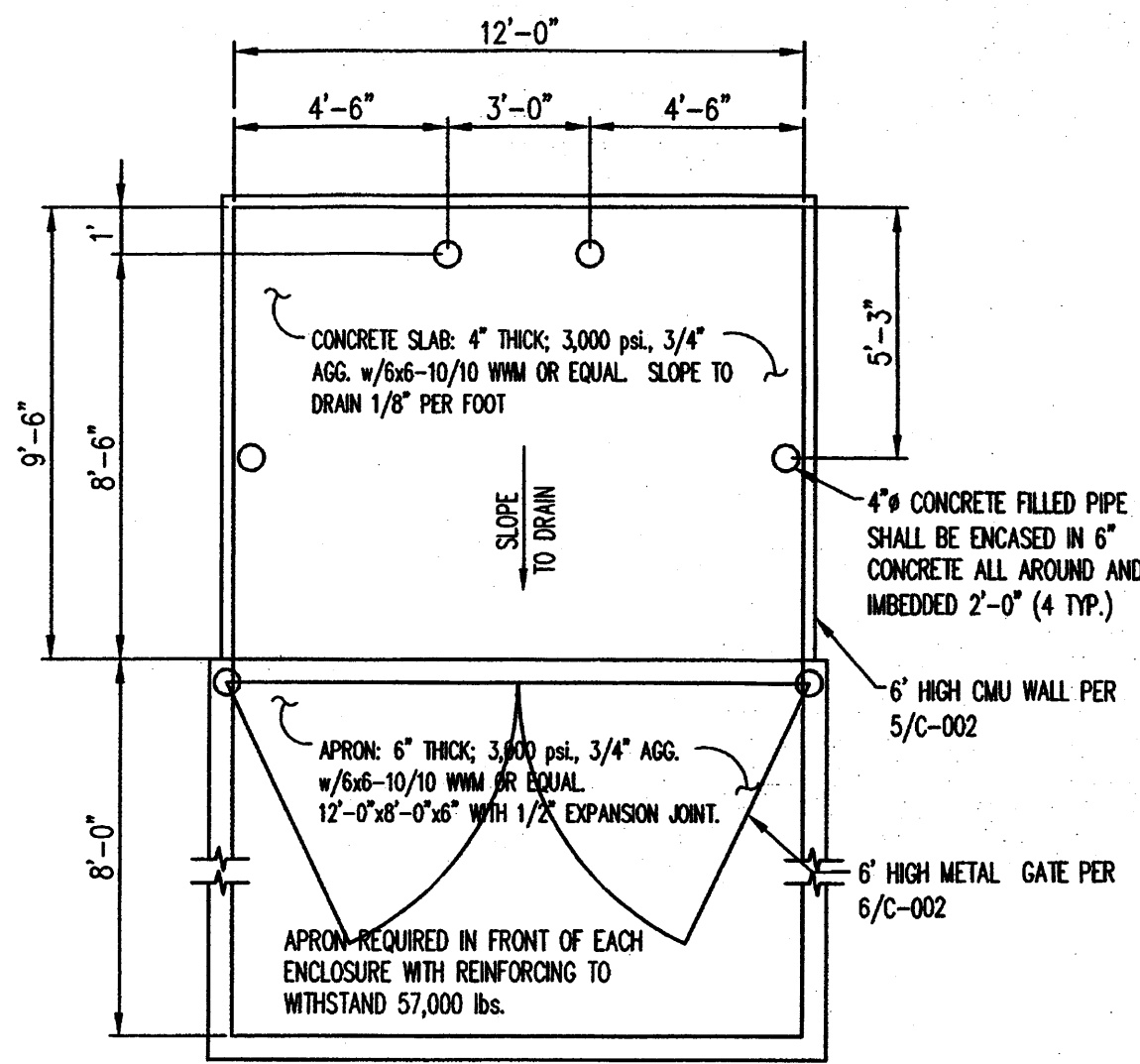
Job Number 090374
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 Checked SJS
 Issue Date OCTOBER 2009

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT

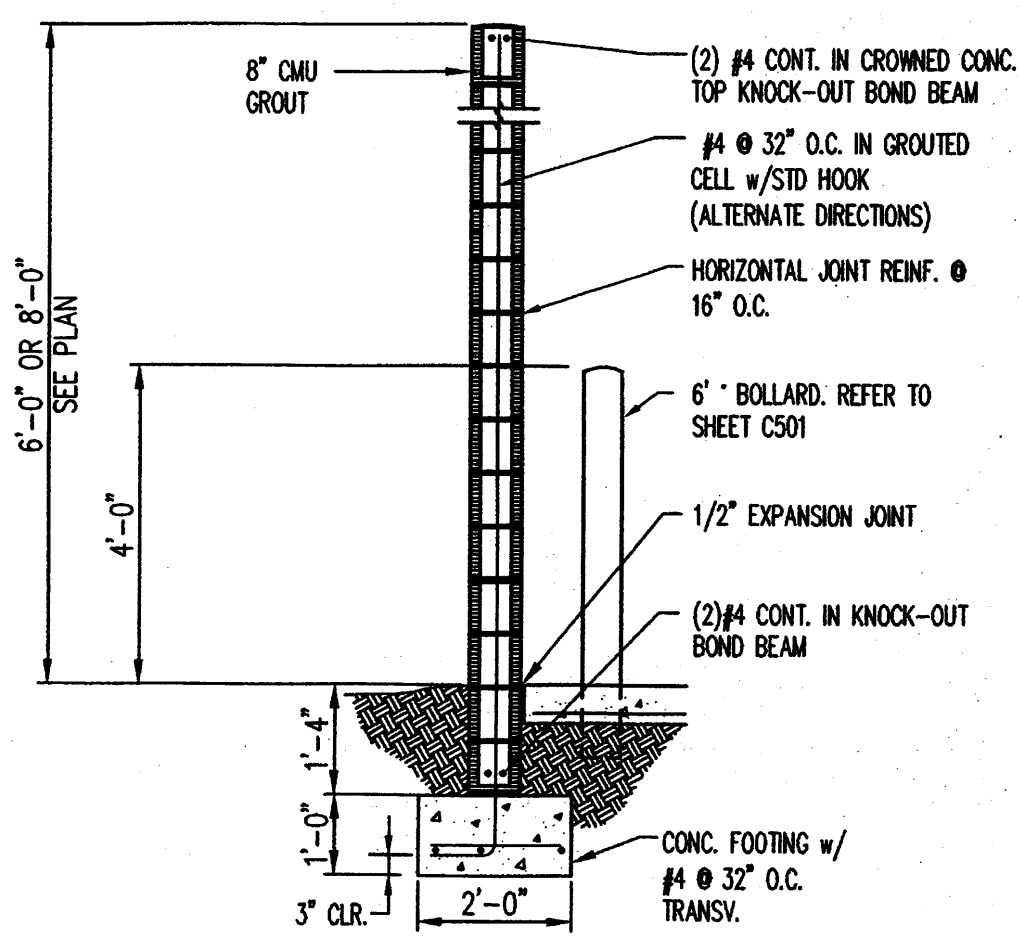
C-001



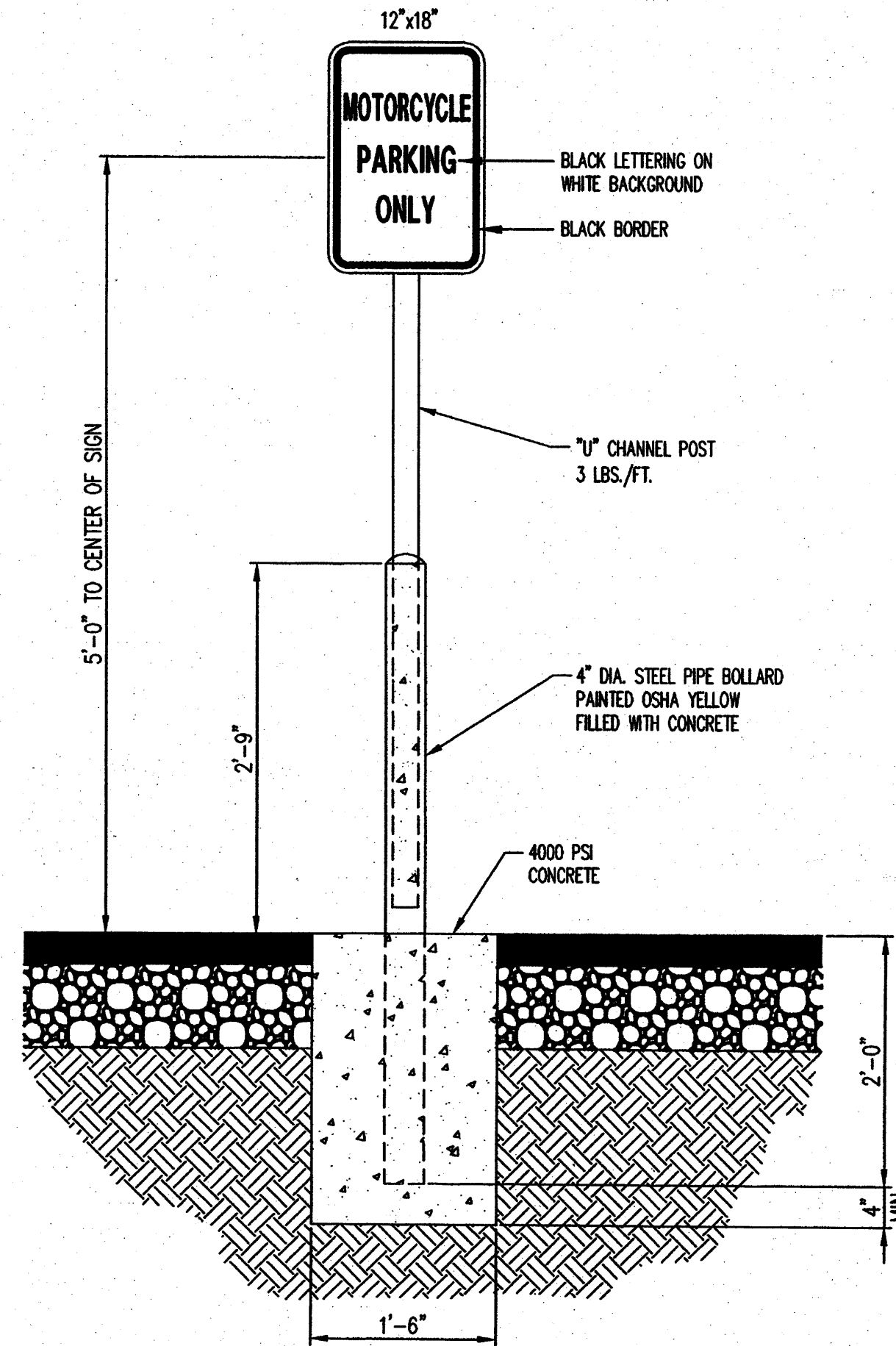
1 BIKE RACK
NTS



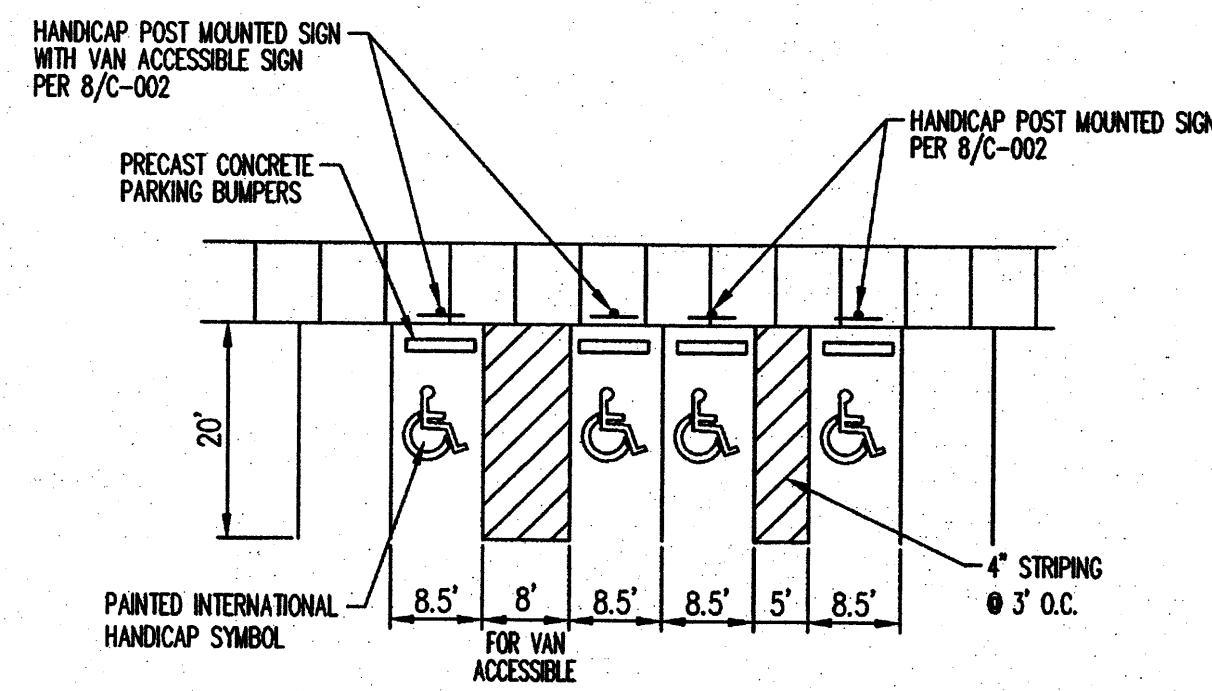
2 REFUSE ENCLOSURE
NTS



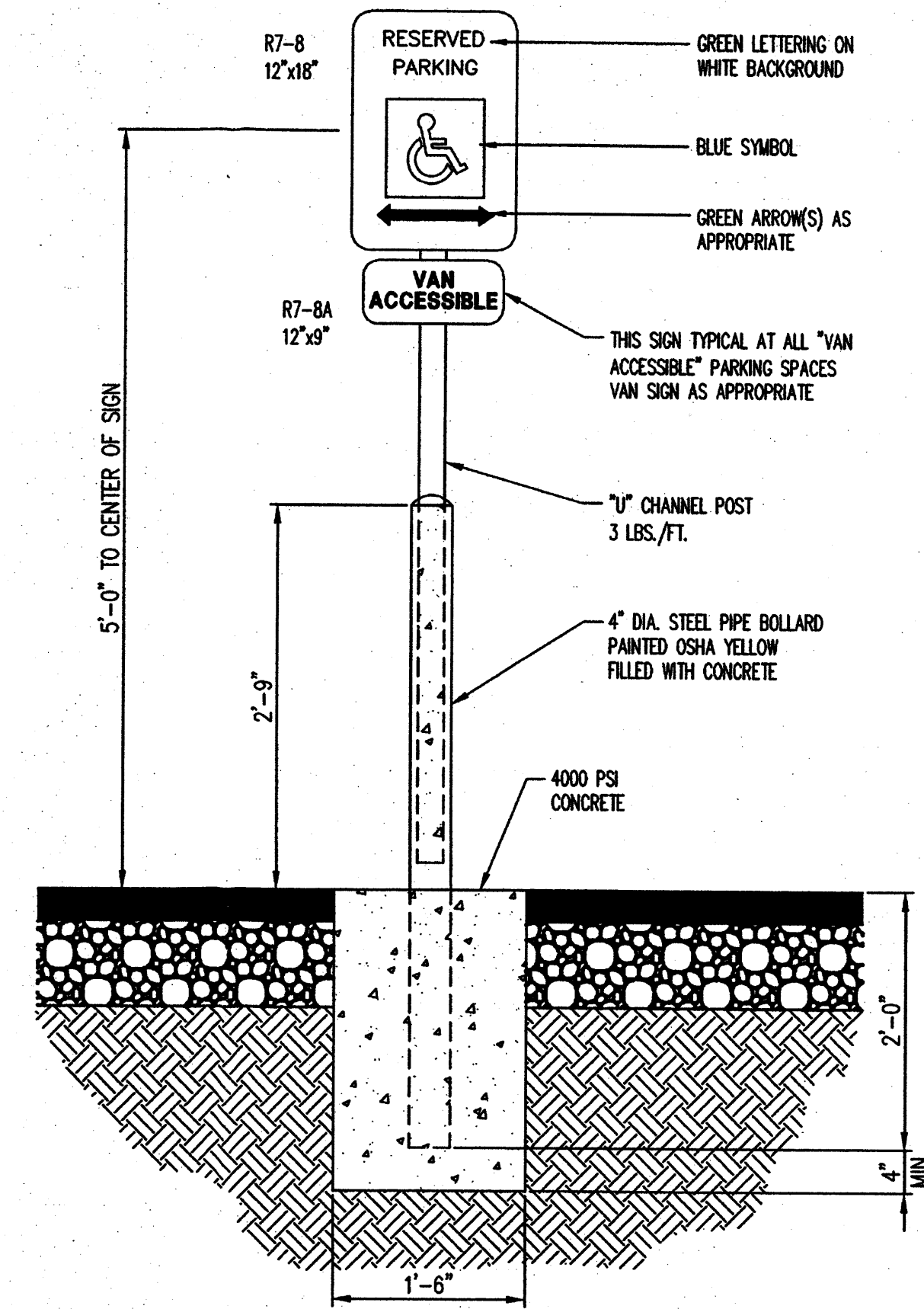
5 CMU WALL
NTS



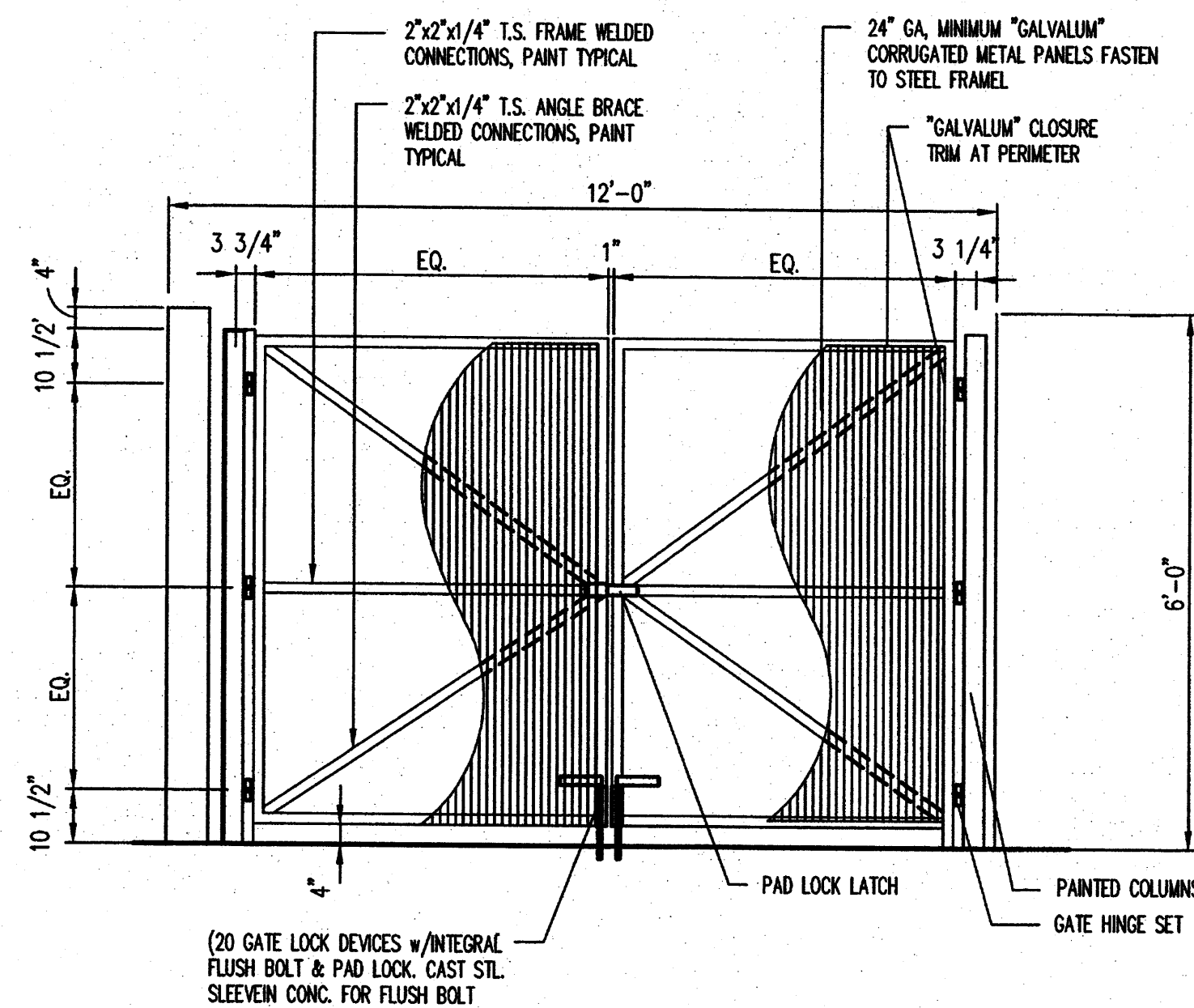
3 MOTORCYCLE PARKING SIGN
NTS



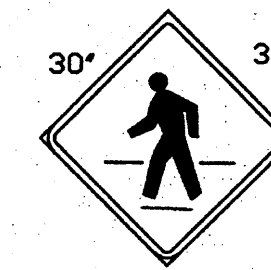
4 TYPICAL HANDICAP PARKING DETAIL
NTS



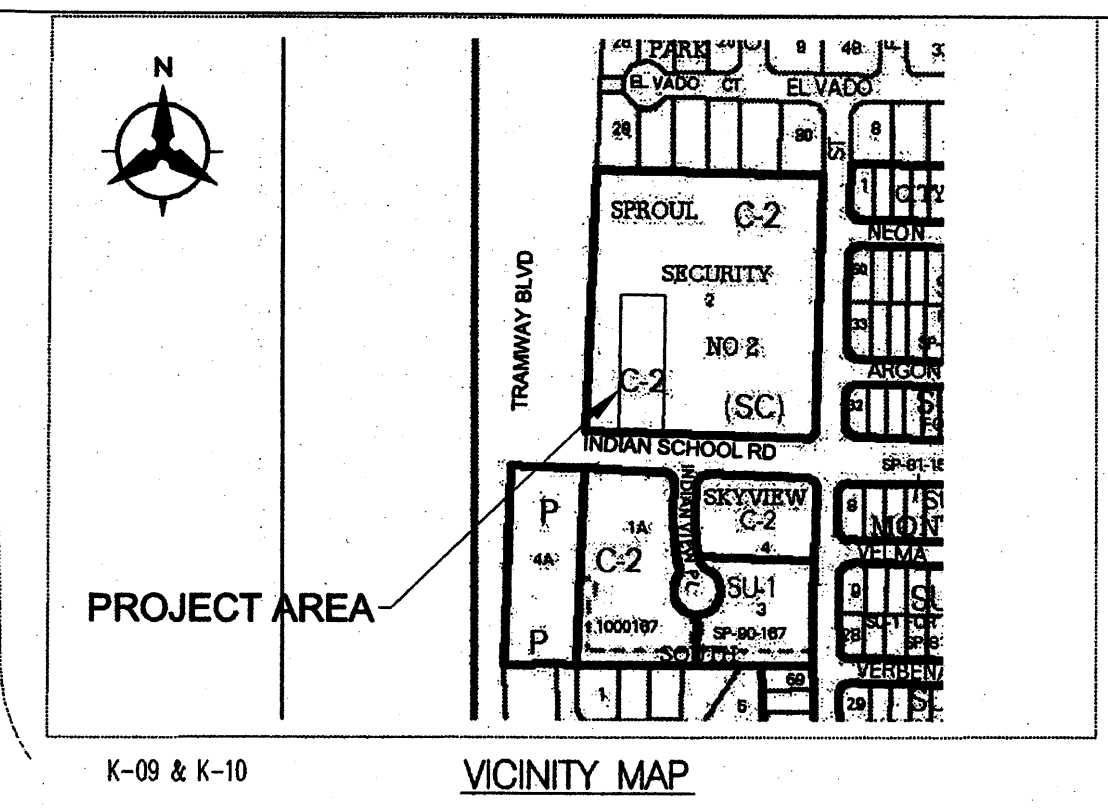
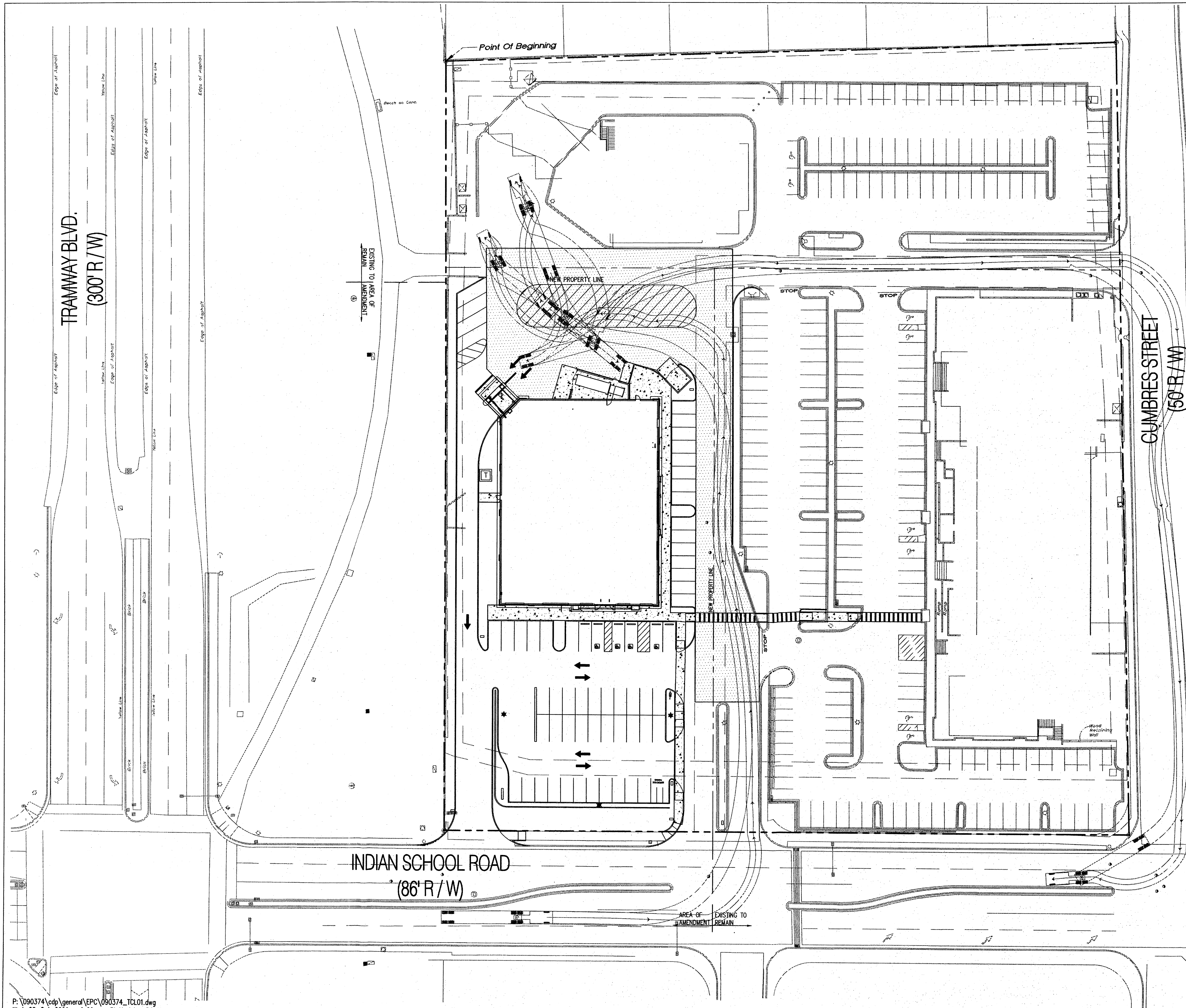
8 HANDICAP PARKING SIGN MOUNTING DETAIL
NTS



6 GATE DETAIL
NTS



7 PEDESTRIAN CROSSING SIGN
NTS



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SKYVIEW CENTER
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT
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CVS/
 pharmacy

Job Number 090374
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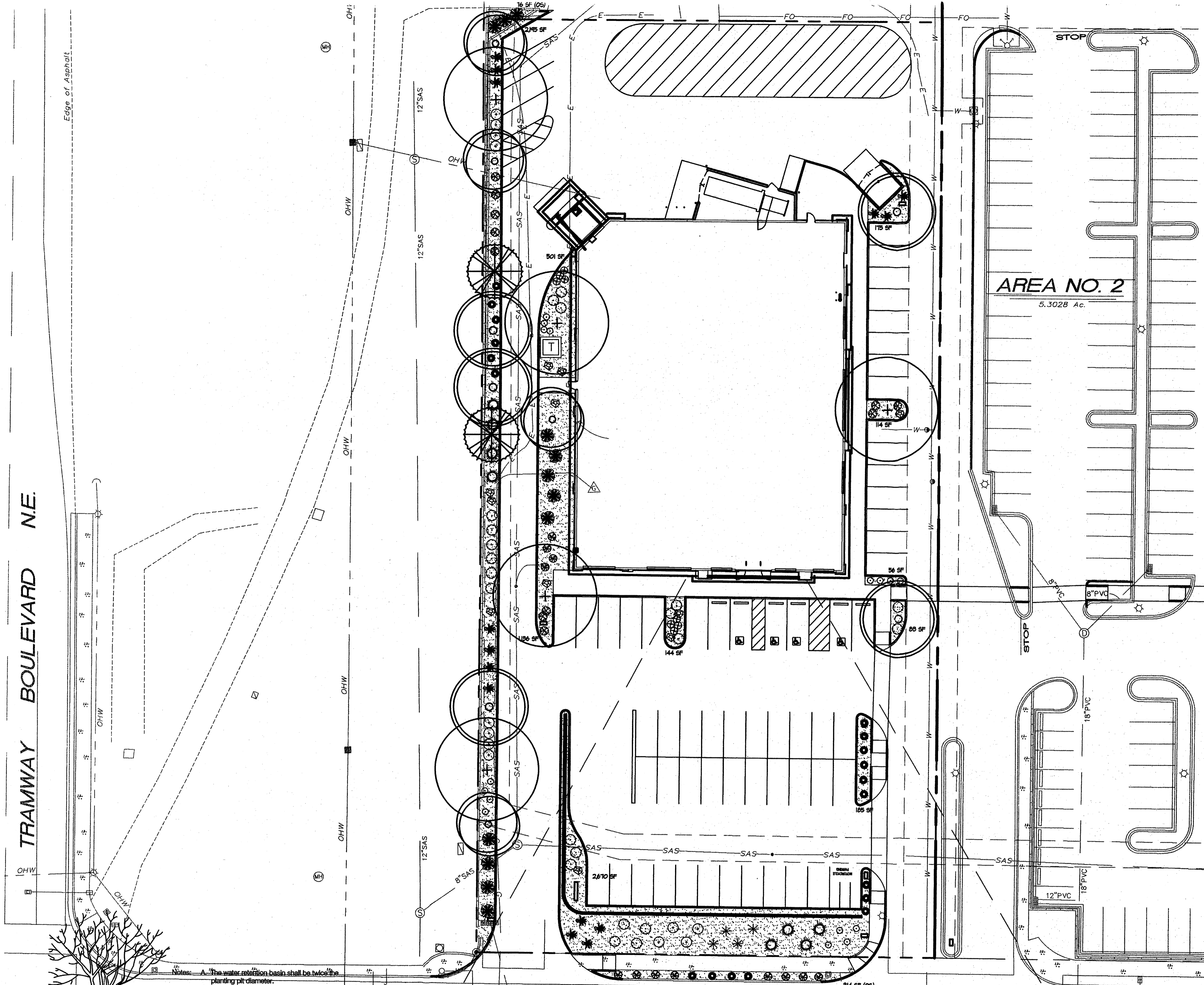
TRAFFIC CIRCULATION LAYOUT

Scale

C-003

TRAMWAY BOULEVARD N.E.

Edge of Asphalt



AREA NO. 2
5.3028 Ac.

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Installed Size Mature Size	Water Use
TREES					
5	(Symbol)	CELTIS OCCIDENTALIS COMMON HACKBERRY	2" B&B	14' HT. X 6' SPR. 40' HT. X 40' SPR.	MEDIUM
4	(Symbol)	KOELREUTERIA PANICULATA GOLDENRAIN TREE	2" B&B	14' HT. X 6' SPR. 25' HT. X 25' SPR.	MEDIUM
5	(Symbol)	ROBINIA AMBIGUA 'PURPLE ROBE' PURPLE ROBE LOCUST	2" B&B	16' HT. X 6' SPR. 30' HT. X 30' SPR.	MEDIUM
2	(Symbol)	VITEX AGNUS-CASTUS CHASTE TREE	15 GAL.	6-8' HT. X 4' SPR. 20' HT. X 20' SPR.	MEDIUM
SHRUBS/PERENNIALS/GROUNDCOVERS					
12	(Symbol)	ARTEMISIA TRIDENTATA BIG SAGE	5-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW +
21	(Symbol)	COREOPSIS VERTICILLATA THREADLEAF COREOPSIS	1-GAL.	4' O.C. 2' HT. X 2' SPR.	MED
16	(Symbol)	ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE BUSH	1-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW
11	(Symbol)	LEUCOPHYLLUM LAEVIGATUM CHIHUAHUA SAGE	1-GAL.	3' O.C. 2' HT. X 3' SPR.	LOW
19	(Symbol)	MULHENBERGIA LINDHEIMERI LINDHEIMER MUHLY	1-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW
12	(Symbol)	MULHENBERGIA RIGIDA PURPLE MUHLY	1-GAL.	3' O.C. 3' HT. X 3' SPR.	MED
12	(Symbol)	NOLINA MICROCARPA BEARGRASS	5-GAL.	5' O.C. 4' HT. X 5' SPR.	LOW
8	(Symbol)	PENSTEMON PSEUDOSPECTABILIS DESERT BEARDTONGUE	1-GAL.	3' O.C. 2' HT. X 3' SPR.	LOW
8	(Symbol)	PINUS MUGO FIMILIO DWARF MUGO PINE	5-GAL.	5' O.C. 4' HT. X 5' SPR.	MED
14	(Symbol)	ROSMARINUS OFFICINALIS UPRIGHT ROSEMARY	5-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW +
4	(Symbol)	YUCCA RIGIDA BLUE YUCCA	5-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW
1794 SF	(Symbol)	CRUSHER FINES (3" DEPTH) - BROWN SHADE OVER DEWITT PRO-5 NEED CONTROL FABRIC.			
11	(Symbol)	MOSS ROCK BOLDERS (VARIOUS SIZES - 2' X 2' MINIMUM)			

GENERAL NOTES

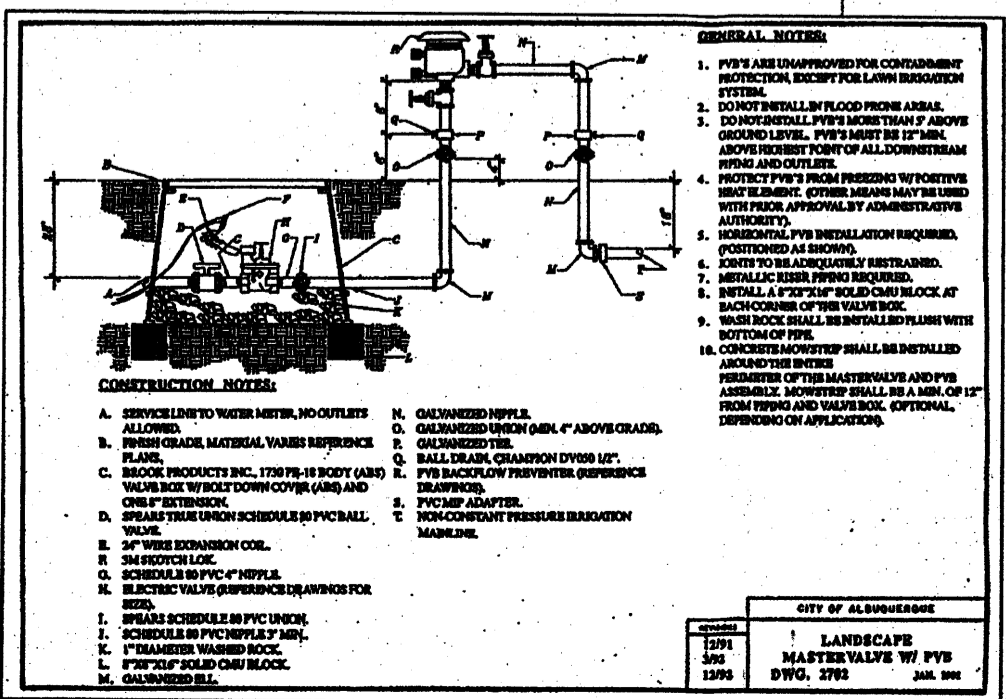
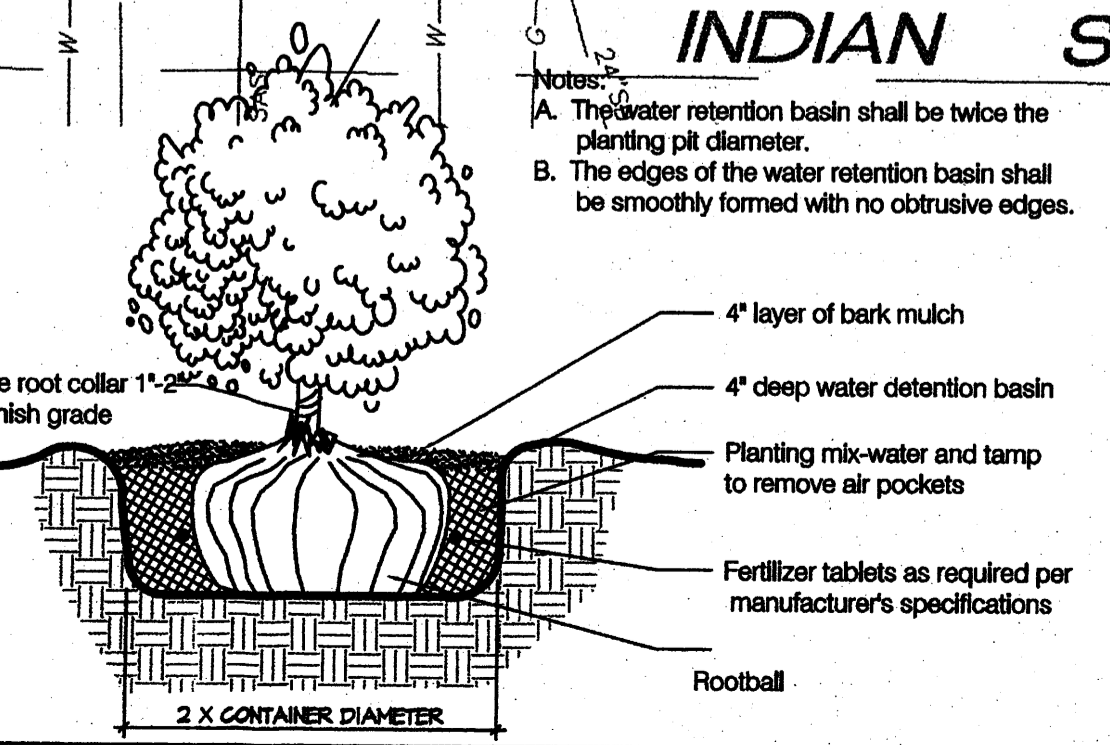
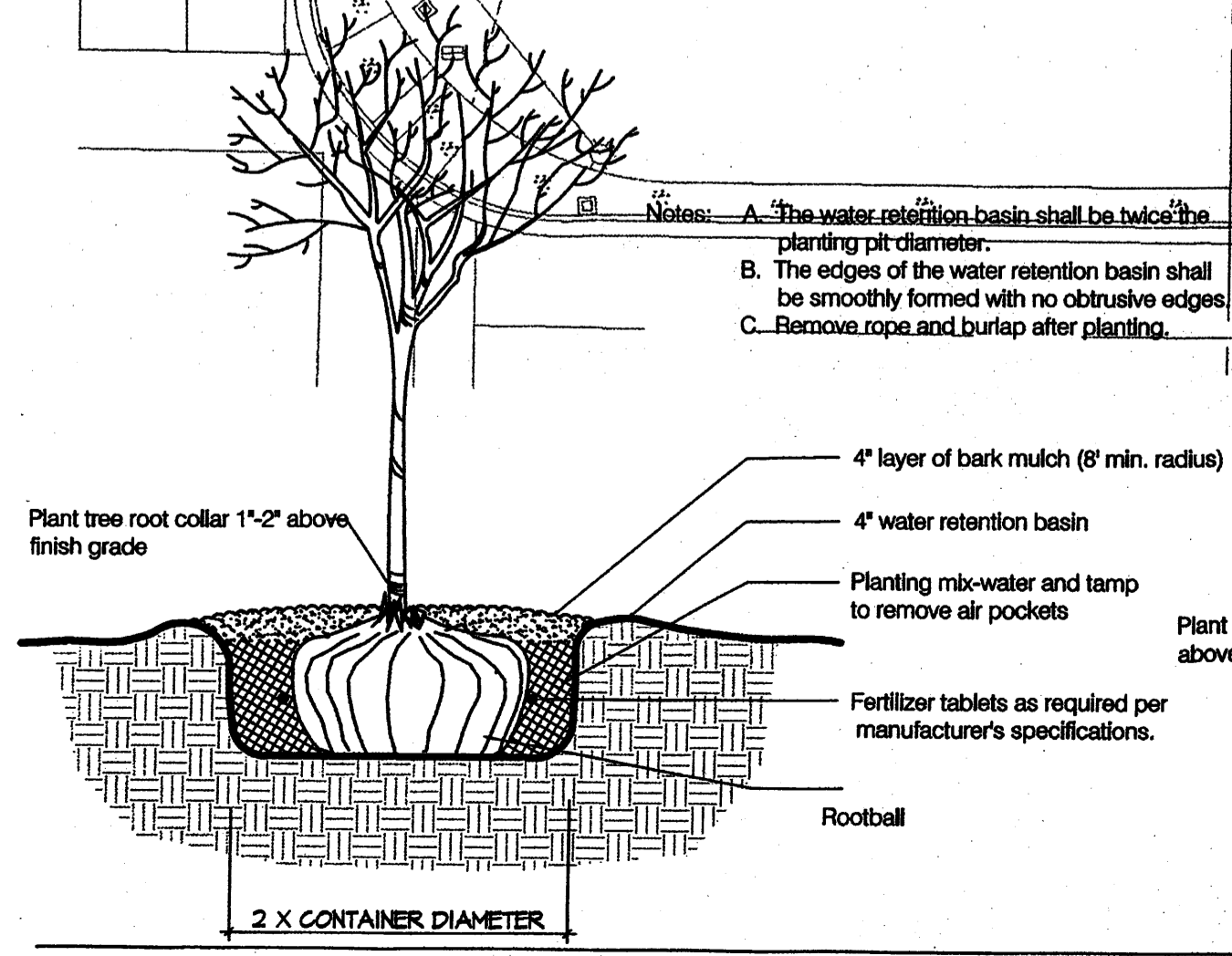
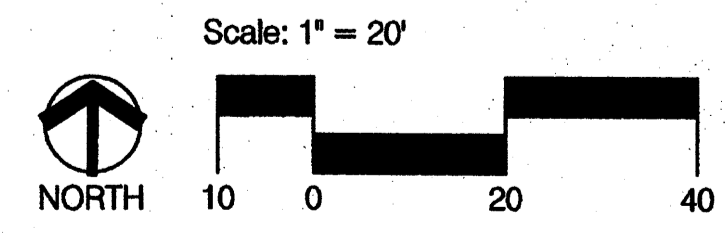
IRRIGATION SYSTEM
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED DRIP IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB, AND GROUND COVER PLANTING AREAS. IRRIGATION SYSTEM DESIGN SHALL CONSIDER THE ABILITY TO EASILY PROVIDE ADDITIONAL EMITTERS FOR THE EXPANDING ROOT ZONE. TREES SHALL RECEIVE (5) 1.0 GPH EMITTERS AND SHRUBS SHALL RECEIVE (2) 1.0 GPH EMITTERS. PLANT BEDS SHALL ACHIEVE 15% LIVE GROUND COVER AT MATURITY.

MAINTENANCE RESPONSIBILITY
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE OWNER.

STATEMENT OF WATER WASTE
PER THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, THE LANDSCAPE PLAN FOR THE CVS/PHARMACY IS LIMITED TO USING HIGH WATER USE TURF OVER A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPE AREA. THERE IS NO HIGH WATER USE TURF BEING DESIGNED ON THE CVS LANDSCAPE PLAN. ALL LANDSCAPING SHALL BE IN COMPLIANCE WITH THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

LANDSCAPE COVERAGE
ALL LANDSCAPE AREAS, INCLUDING BUFFER STRIPS ADJACENT TO MAJOR STREETS, SHALL CONTAIN LIVE VEGETATIVE MATERIAL COVERING AT LEAST 15% OF THE AREA.

LANDSCAPE CALCULATIONS	
TOTAL SITE AREA: (1.48 AC)	64305 SF
BUILDING AREA:	-14000 SF
TOTAL AREA:	50305 SF
REQUIRED LANDSCAPE AREA (15%):	7541 SF
PROVIDED LANDSCAPE AREA (ON-SITE):	1754 SF (14%)
PROVIDED LANDSCAPE AREA (OFF-SITE):	+ 340 SF
TOTAL LANDSCAPE AREA:	7541 SF (15%)



SKYVIEW CENTER

LANDSCAPE PLAN
INDIAN SCHOOL AND TRAMWAY BLVD
Albuquerque, New Mexico 87121



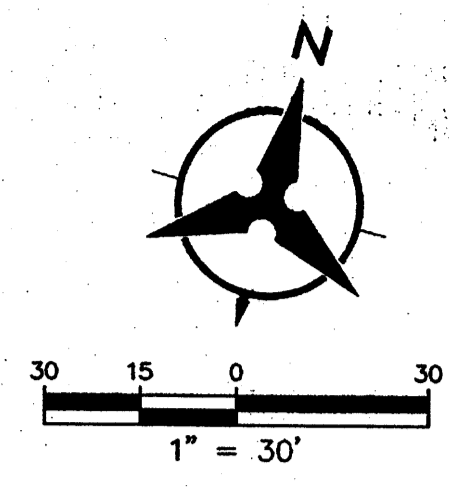
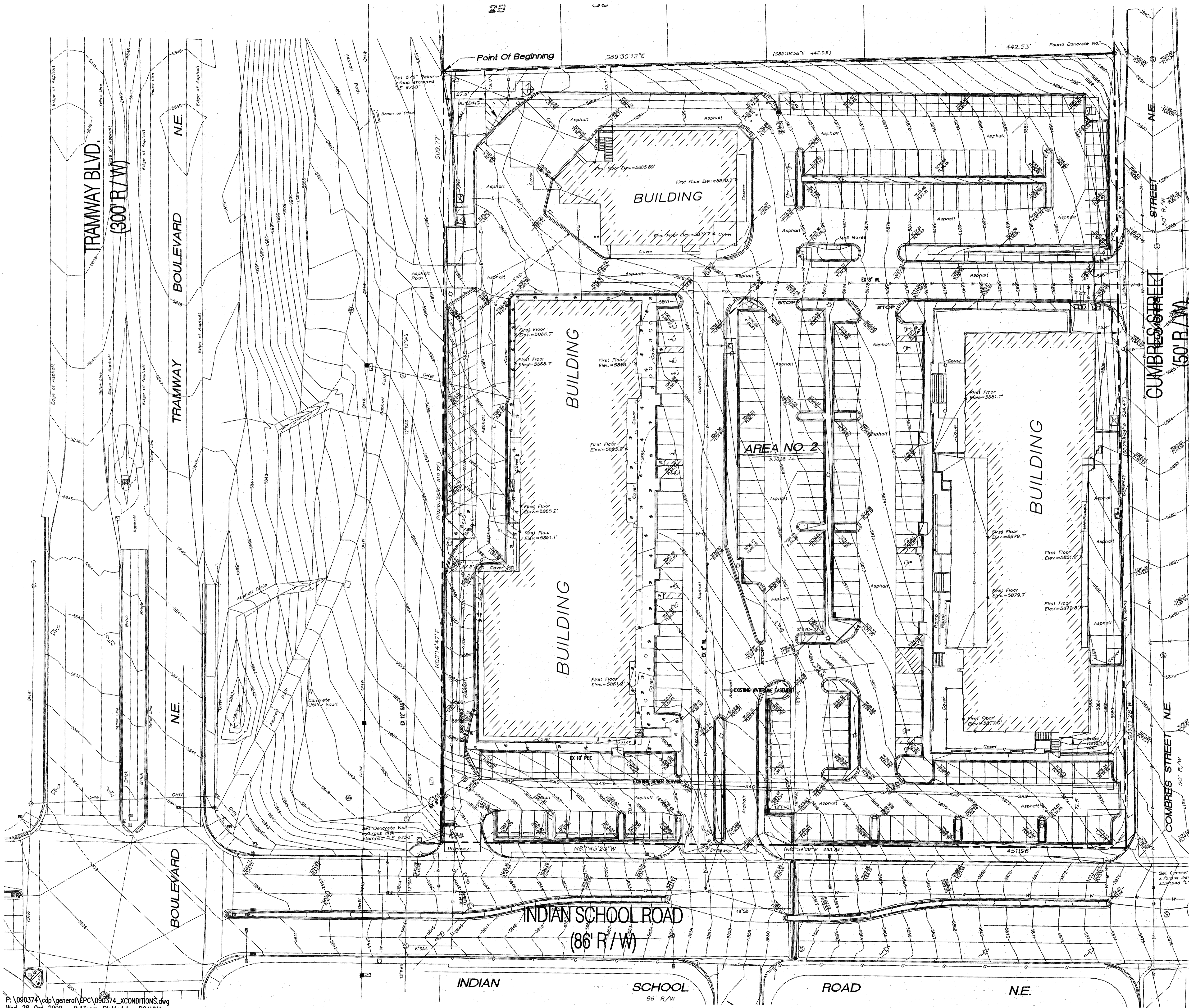
Job Number	
Drawn By	GY
Checked	CG
Issue Date	Oct. 28, 2009

Scale

CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

TREE PLANTING ON GRADE Not to Scale

SHRUB PLANTING ON GRADE Not to Scale



LEGEND

- | | | | |
|-------|------------------------|-------|--------------------|
| ⊙ | Storm Drain Manhole | —G— | Gas Line |
| ⊙ | Sanitary Sewer Manhole | —W— | Water Line |
| ⊙ | Manhole | ⊠ | Water Meter |
| —SAS— | Sanitary Sewer Line | — | Wall |
| —SD— | Storm Drain Line | ⊠ | Utility Pedestal |
| ⊠ | Storm Drain Inlet | ⊠ | Sign |
| ■ | Power Pole | —TEL— | Telephone Line |
| —OHW— | Overhead Wires | — | Guy Wire |
| — | Wood Fence | —FO— | Fiber Optic Line |
| ⊙ | Light Pole | ⊠ | Utility Box |
| ⊙ | Ballard | ⊠ | Signal Light Tower |
| ⊠ | Concrete Symbol | ⊠ | Signal Light Post |
| ⊠ | Gas Meter | | |

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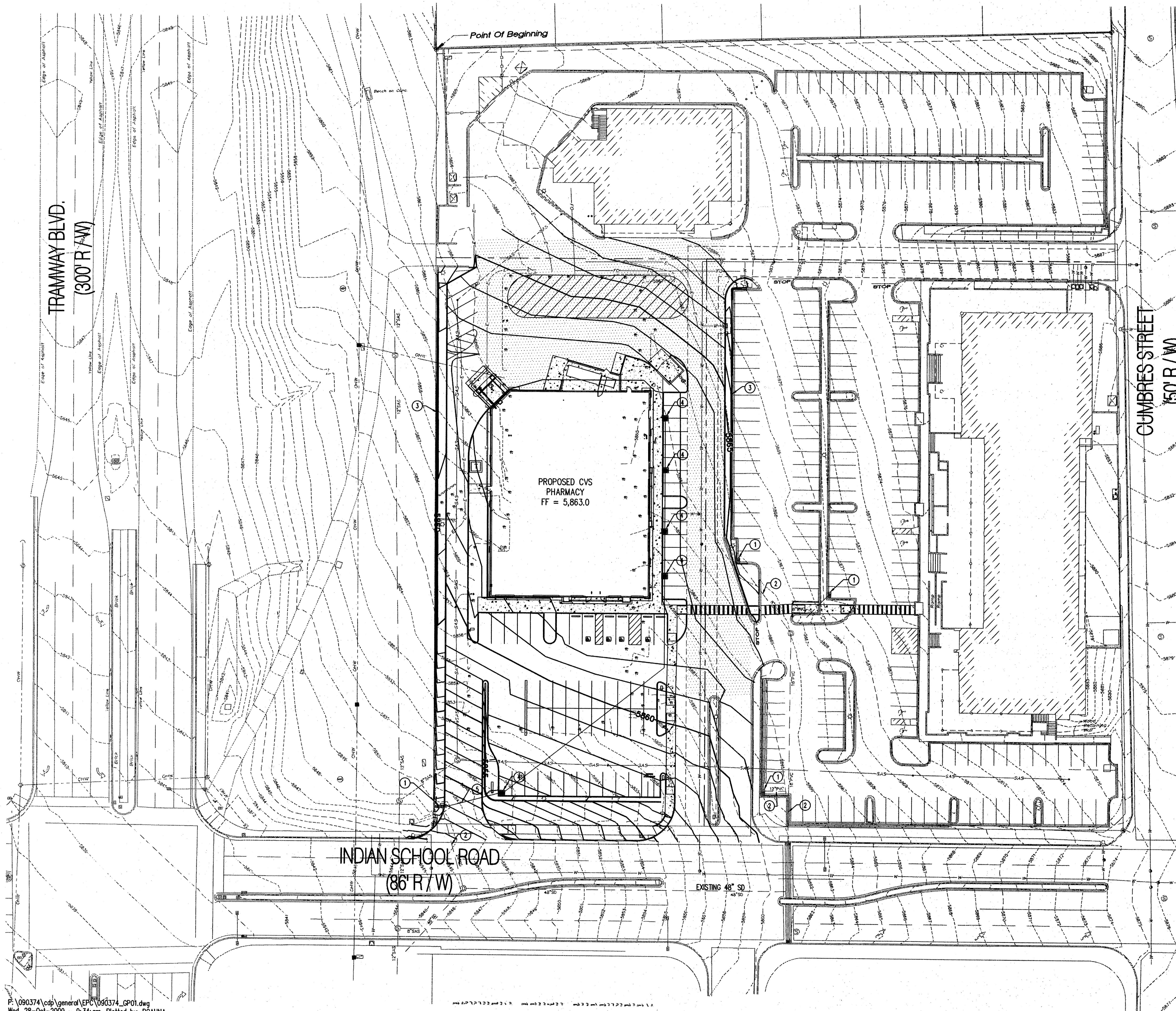
CVS/
 pharmacy

Job Number 090374
 Drawn By BJC
 Checked SJS
 Issue Date OCTOBER 2009

EXISTING CONDITIONS
 PLAN
 Scale

C-100

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- KEYED NOTES**
- EXISTING STORM DRAIN INLET.
 - EXISTING STORM DRAIN.
 - RETAINING WALL.
 - PROPOSED STORM DRAIN INLET.
 - PROPOSED STORM DRAIN.

GRADING AND DRAINAGE NARRATIVE

I. INTRODUCTION
 The purpose of this submittal is to present a conceptual grading and drainage plan for a proposed CVS Pharmacy development in NE Albuquerque. The site is located at the northeast corner of Indian School Road and Tramway Boulevard. The project proposes redevelopment of approximately 1.5 acres in the Sky View Shopping Center. The CVS development will demolish approximately 24,000 square feet of retail space and replace it with a single retail building of 14,100 square feet, with pedestrian access, parking, and landscaping. This submittal is in support of the Amended Site Plan for Building Permit application.

II. SITE LOCATION
 The site is located within zone atlas map K-10-Z. The project is located in the existing Sky View Center, which is bounded along the north by residential development, along the east by Cumbres Street, along the south by Indian School Road and along the west by the Tramway Boulevard.

III. EXISTING CONDITIONS
 The Sky View Center site encompasses approximately 5.3 acres. Slopes for the site range between 6 and 10% from east to west. The site is fully developed with buildings, parking areas, and landscaping. The site drains via surface flow in a northeasterly to southwesterly direction. There are four private storm drain inlets which collect flows on site. The private storm drain connects to a City storm drain in Indian School Road. Runoff also flows from the site into Indian School Road through the existing Indian School Road entrances to the Center.

IV. OFFSITE DRAINAGE
 There is no offsite drainage reaching Sky View Center. The center is higher than the Indian School Road and Tramway Boulevard rights-of-way. A water block prevents flows in Cumbres Street from entering the site. The residential lots to the north drain away from the Center.

IV. PROPOSED CONDITIONS
 The proposed grading for the CVS redevelopment will match existing site grades and slopes. Proposed drainage patterns will be the same as the existing drainage patterns. Total runoff from the site will remain the same as the development coverage will be the same in the existing and proposed conditions. Existing flows from the Center will continue to drain across the CVS site. Cross drainage easements will be granted to allow the existing drainage patterns to continue.

V. CONCLUSION
 The grading and drainage plan for the CVS site is consistent with the existing site drainage for the Sky View Shopping Center. The plan is capable of safely passing the 100 year storm and meets city requirements. All analysis was completed in accordance with section 22.2 of the Development Process Manual.



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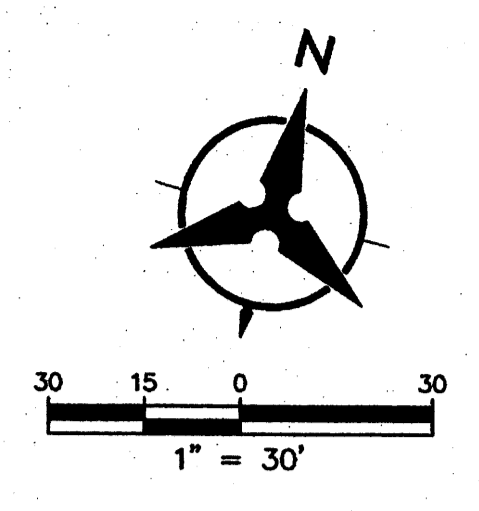
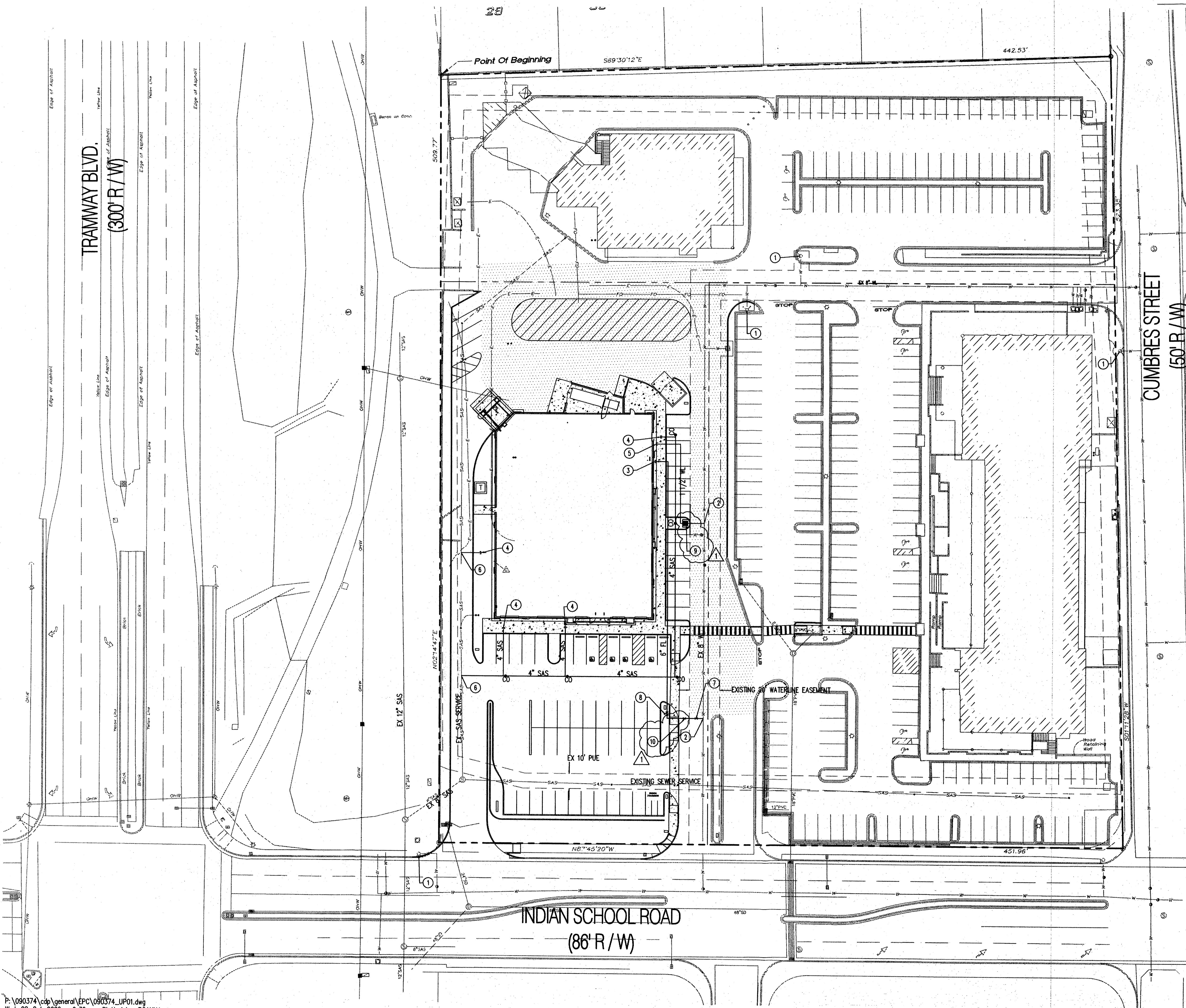


Job Number	090374
Drawn By	BJG
Checked	SJS
Issue Date	OCTOBER 2009

CONCEPTUAL GRADING PLAN

Scale

C-101



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ARMSTRONG DEVELOPMENT
 PROPERTIES, INC.

- KEYED NOTES**
- EXISTING FIRE HYDRANT
 - CONNECT WATER/FIRE SERVICE TO EXISTING WATERLINE BY SEPARATE PERMIT.
 - CONNECT FIRE LINE TO WITHIN 5' OF BUILDING.
 - CONNECT SAS LINE TO WITHIN 5' OF BUILDING.
 - CONNECT WATER LINE TO WITHIN 5' OF BUILDING BY SEPARATE PERMIT.
 - CONNECT SEWER LINE TO EXISTING LINE
 - PROPOSED PUBLIC 6" GATE VALVE.
 - PROPOSED POST INDICATOR VALVE.
 - PROPOSED WATER METER, WITH 5'x5' PUBLIC WATER LINE EASEMENT GRANTED TO THE ABCOMIA WITH THE PROJECT FINAL PLAT.
 - PROPOSED PRIVATE 6" GATE VALVE.

LEGEND

---	PROPERTY LINE
---	EXISTING EASEMENT
SAS	EXISTING SANITARY SEWER
W	EXISTING WATER LINE
□	EXISTING WATER METER
○	EXISTING CAP
+	EXISTING VALVE
⊗	EXISTING FIRE HYDRANT
○	EXISTING SANITARY SEWER MANHOLE
□	EXISTING INLET
---	EXISTING EASEMENT
SAS	PROPOSED SANITARY SEWER LINE
●	PROPOSED SANITARY SEWER MANHOLE
●	PROPOSED CLEANOUT
W	PROPOSED WATER LINE
+	PROPOSED VALVE
FL	PROPOSED FIRE LINE
○	PROPOSED CAP
■	PROPOSED WATER METER

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CVS/
 pharmacy

1. ADD EASEMENT FOR WATER METER. NOTE: NEED FOR SEPARATE PERMIT FOR CONNECTION TO PUBLIC WATERLINE.

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CONCEPTUAL
 UTILITY PLAN

Scale _____

C-201

00 00