

PETROGLYPH NATIONAL MONUMENT

PETROGLYPH NATIONAL MONUMENT

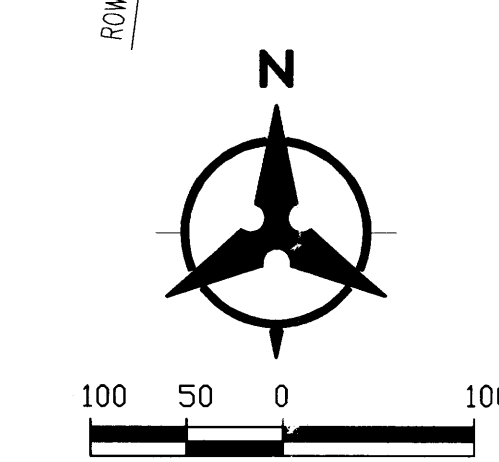
SITE

SD & SAS EASEMENT

VICINITY MAP
ZONE ATLAS PAGE
H-9-Z

EXISTING PARKWEST
SUBDIVISION, UNIT 3

EXISTING ZONING: SU-2
FOR PDA RESIDENTIAL
RESORT



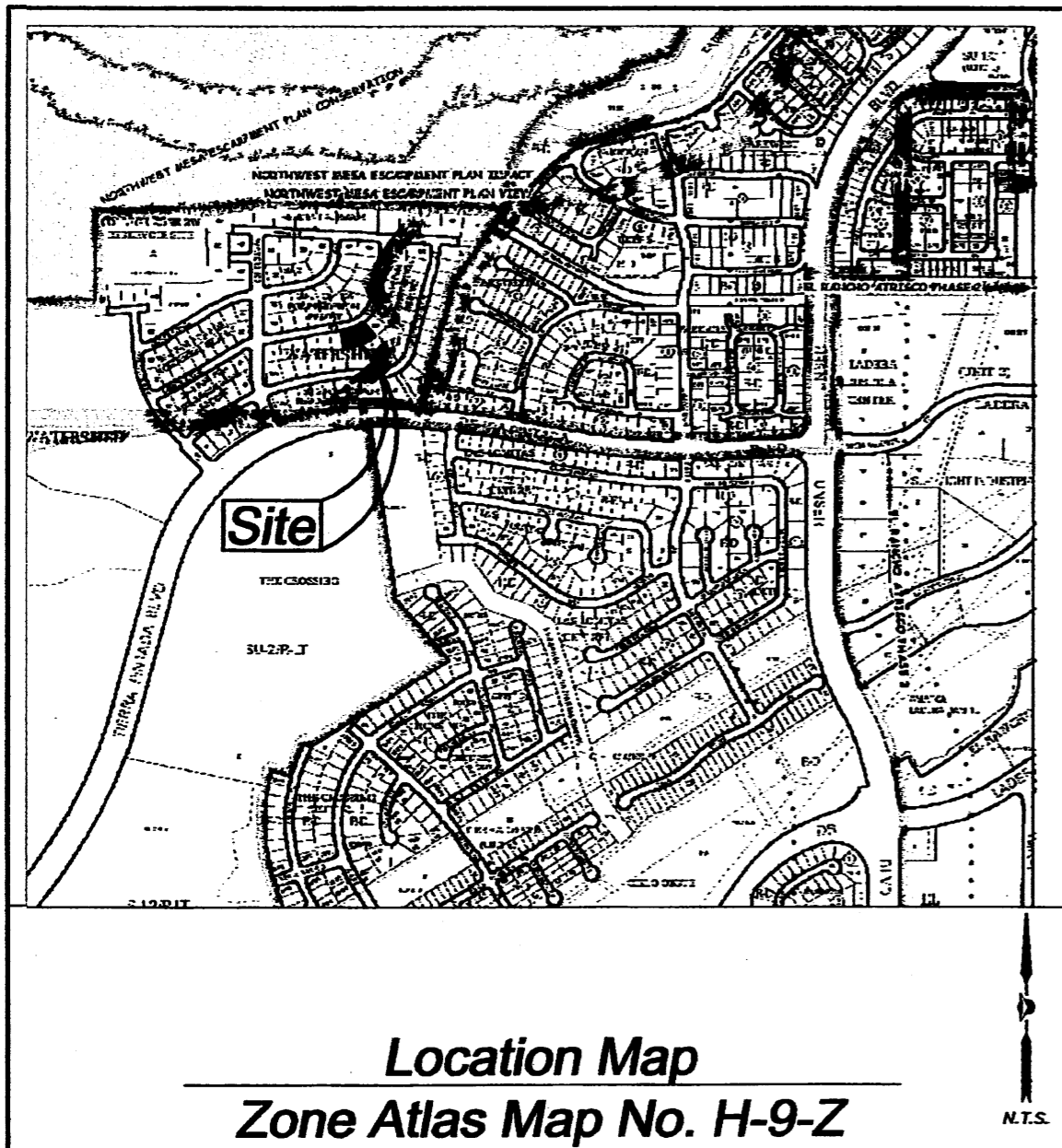
SKETCH PLAT

SCALE 1:100

LOT SUMMARY
15 LOTS @ 110'x175'
121 LOTS @ 70'x110'
136 TOTAL LOTS
46.5 ACRES

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



Location Map
Zone Atlas Map No. H-9-Z

Curve Table

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	223.00'	105.95'	104.95'	N 66°20'16" E	271°3'15"
C2	328.00'	155.83'	154.37'	S 66°20'16" W	271°3'15"
C3	223.00'	41.27'	41.21'	N 74°38'48" E	10°36'11"
C4	223.00'	64.68'	64.45'	N 61°02'10" E	16°37'04"
C5	328.00'	86.54'	86.29'	S 60°17'10" W	15°07'03"
C6	328.00'	69.29'	69.16'	S 73°53'47" W	12°08'12"

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 0.3815 ACRES±
 ZONE ATLAS INDEX NO.: H-9-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 2
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: JUNE 21, 2007

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO LOTS INTO TWO NEW LOTS.

Notes:

- MISC. DATA: ZONING=SU 2 FOR PDA FOR RESIDENTIAL RESORT
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 9, TOWNSHIP 10 NORTH, RANGE 2 EAST, TOWN OF ATRISCO GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2007261554
- BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS PLAT IS DERIVED FROM THE BEARING BETWEEN NATIONAL GEODETIC SURVEY MONUMENTS "ANDY" AND "EAGLE" OF N26°21'51"W.

Easements

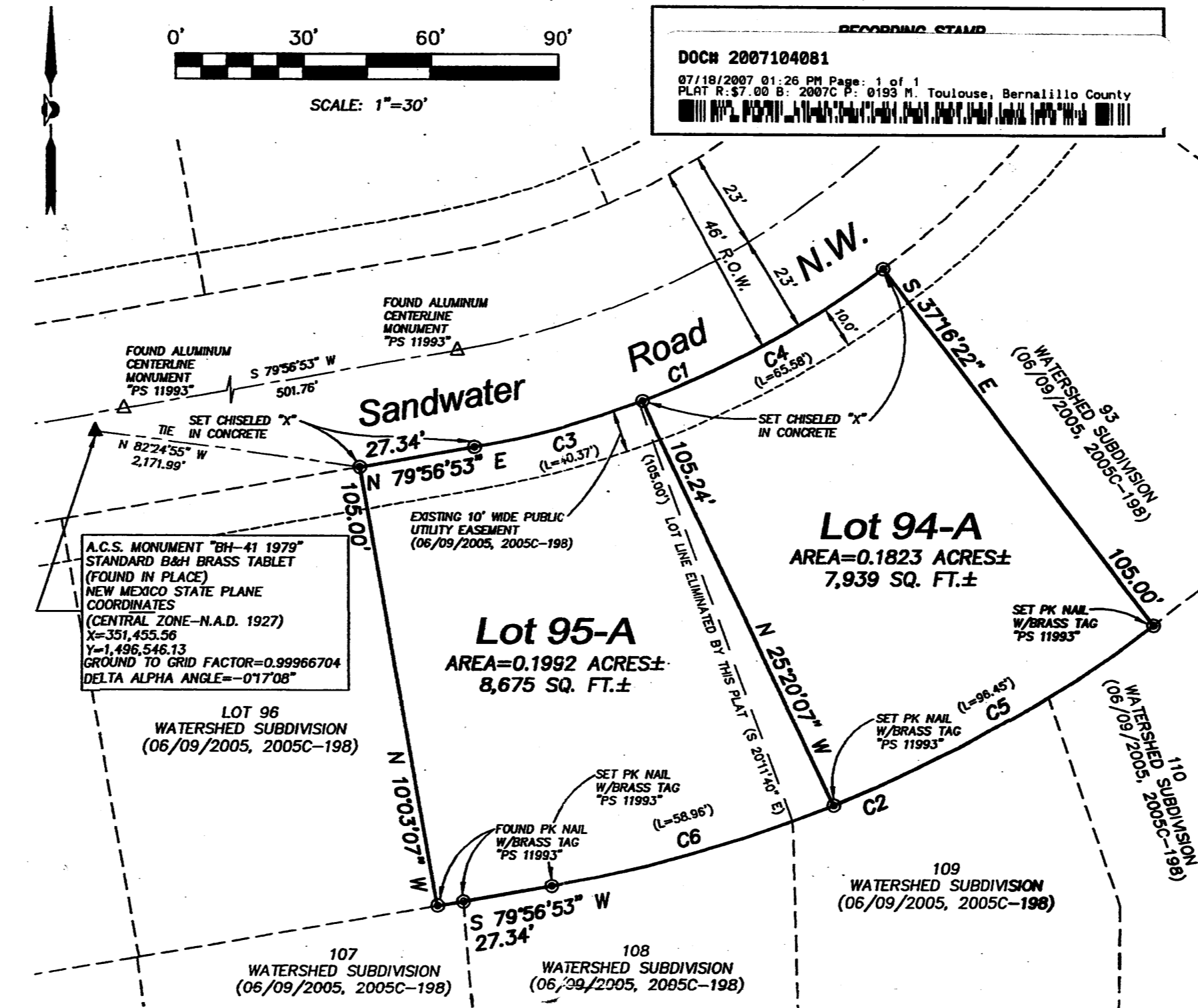
THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.
 PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 1. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.
 IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Legal Description

LOTS NUMBERED NINETY-FOUR (94) AND NINETY-FIVE (95) OF WATERSHED SUBDIVISION, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 09, 2005, IN MAP BOOK 2005C, PAGE 198, CONTAINING 0.3815 ACRES (16,614 SQUARE FEET), MORE OR LESS, NOW COMPRISING LOTS 94-A AND 95-A, WATERSHED SUBDIVISION.



Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Richard E. Guilbert 07/06/2007
 RICHARD E. GUILBERT, CO-OWNER LOT 94
Claudette P. Guilbert 07/06/2007
 CLAUDETTE P. GUILBERT, CO-OWNER LOT 94
Jody Pauza 07/06/2007
 JODY PAUZA
 PRESIDENT
 FULLER HOMES, INC., A NEW MEXICO CORPORATION, OWNER LOT 95

Acknowledgment
 OFFICIAL SEAL
 ANGELA LeBlanc
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Commission Expires: 6/2/10

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF July, 2007 BY RICHARD E. GUILBERT, CO-OWNER LOT 94
 BY *Richard E. Guilbert* MY COMMISSION EXPIRES: 6/2/10
 NOTARY PUBLIC

Acknowledgment
 STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF July, 2007 BY CLAUDETTE P. GUILBERT, CO-OWNER LOT 94
 BY *Claudette P. Guilbert* MY COMMISSION EXPIRES: 4/18/2010
 NOTARY PUBLIC

Acknowledgment
 OFFICIAL SEAL
 SONYA K. SMYTH
 NOTARY PUBLIC-STATE OF NEW MEXICO
 My Commission Expires: 4/6/2010
 STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF July, 2007 BY JODY PAUZA, PRESIDENT, FULLER HOMES, INC., A NEW MEXICO CORPORATION, OWNER LOT 95
 BY *Jody Pauza* MY COMMISSION EXPIRES: 11-8-10
 NOTARY PUBLIC

RECORDING STAMP
 DOCH 2007104081
 07/19/2007 01:26 PM Page: 1 of 1
 PLAT R-37.00 B: 2007C P: 0193 M. Toulouse, Bernalillo County

Plat of
 Lots 94-A and 95-A
Watershed Subdivision
 Albuquerque, Bernalillo County, New Mexico
 July 2007

Project No. 1003087

Application No. 07-70118

Utility Approvals

<i>Paul G. Muts</i>	7-18-07
PNM ELECTRIC SERVICES	DATE
<i>Paul G. Muts</i>	7-18-07
PNM GAS SERVICES	DATE
<i>David H. Galt</i>	7/18/07
QWEST TELECOMMUNICATIONS	DATE
<i>John Olson</i>	7-18-07
COMCAST	DATE

City Approvals

<i>W. B. Galt</i>	7-10-07
CITY SURVEYOR	DATE
N/A	DATE
REAL PROPERTY DIVISION	DATE
N/A	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<i>Bill St...</i>	7-18-07
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
<i>Don A. Galt</i>	7-18-07
WATER FRONT DEPARTMENT	DATE
<i>Christina Sandoval</i>	7/18/07
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley A. Bingham</i>	7/18/07
AMAFCA	DATE
<i>Bradley A. Bingham</i>	7/18/07
CITY ENGINEER	DATE
<i>D. Watson</i>	7/18/07
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

THIS IS TO CERTIFY THAT THE PROPERTY OWNER HAS PAID 07 LFC # 1009059/1042/2006 TO PROPERTY OWNER OF RECORD
 Watershed Development Co. LLC
 BERNALILLO COUNTY TREASURER'S OFFICE
Cristina Sandoval 7/18/07

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

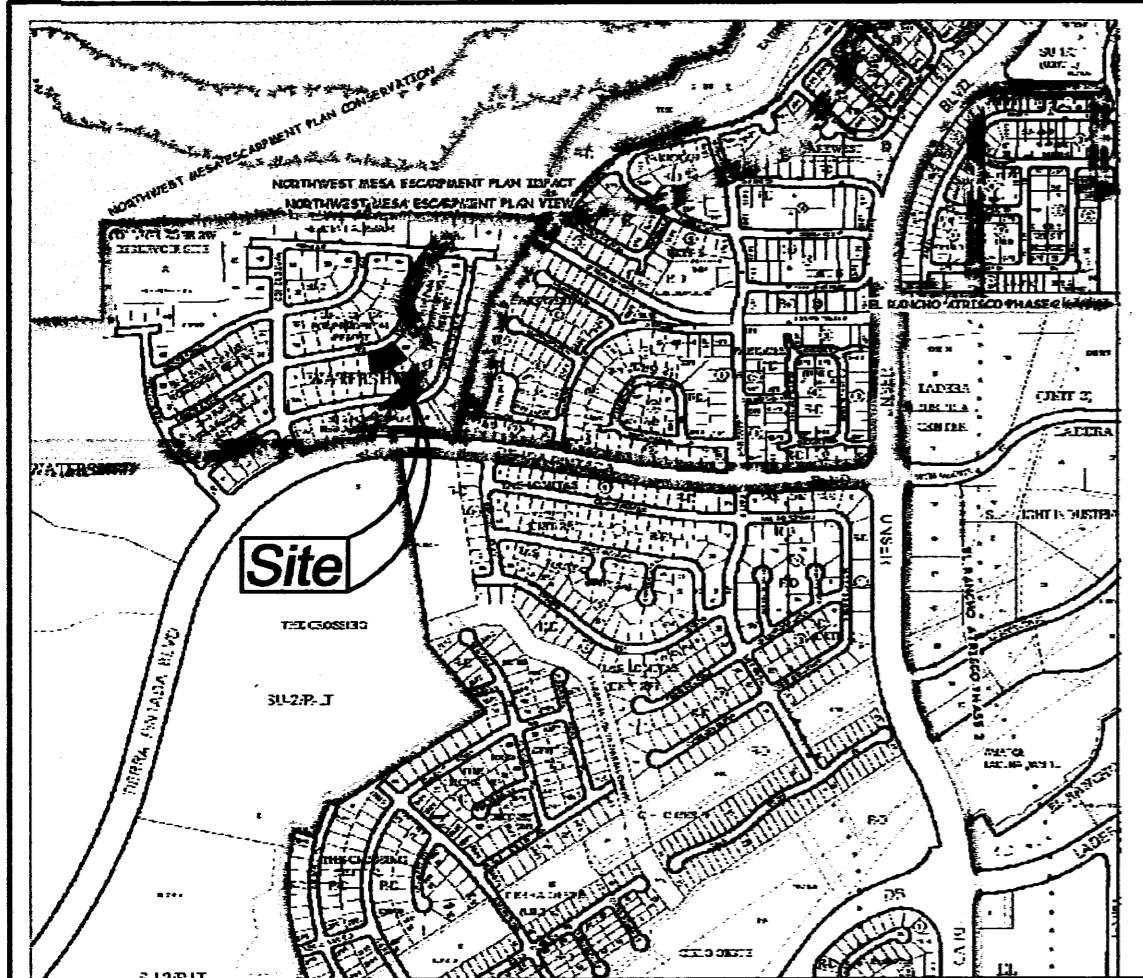
Larry W. Medrano 07/05/2007
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX



Location Map
Zone Atlas Map No. H-9-Z

Curve Table

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Disclosure Statement:

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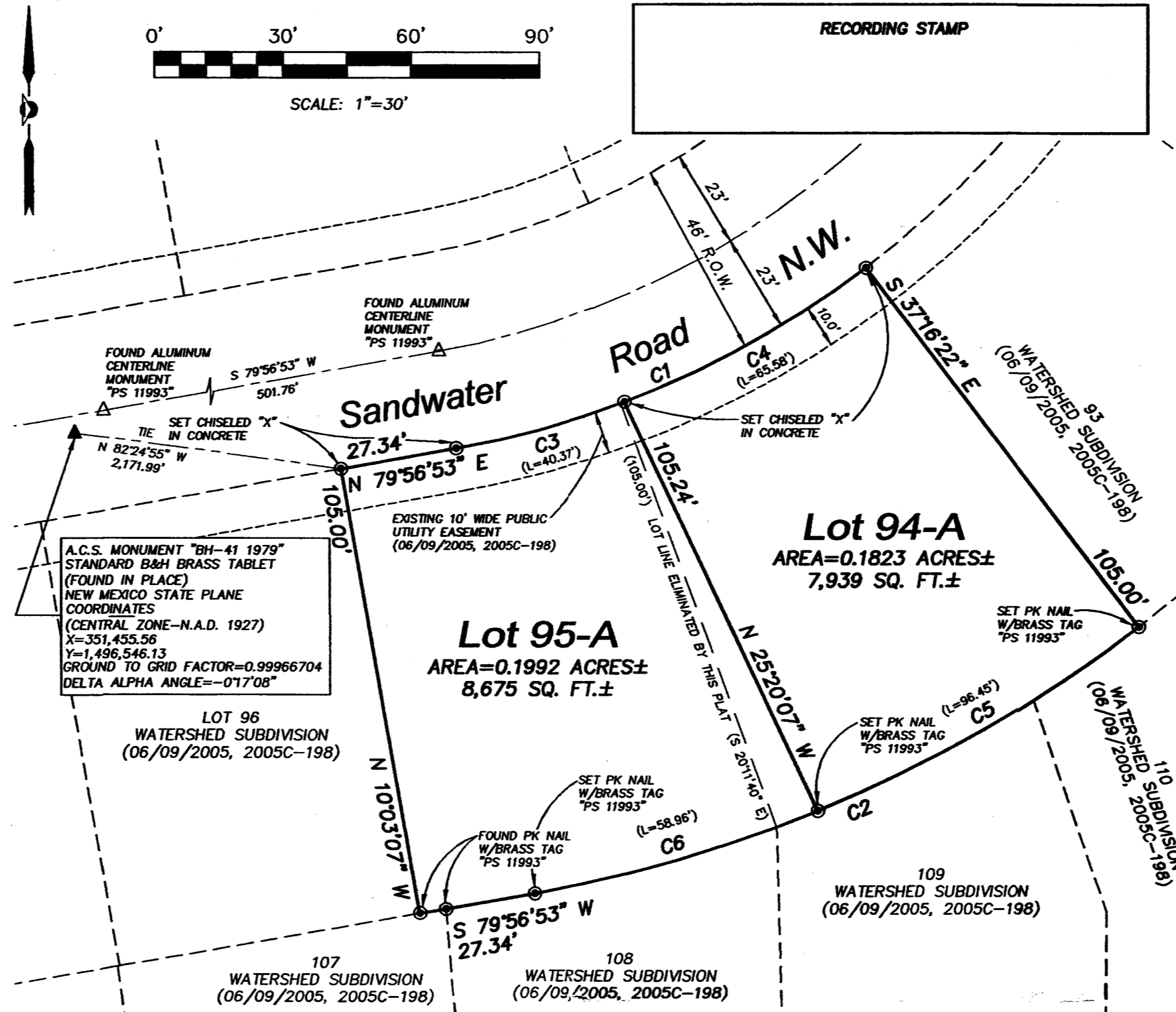
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RECORDING STAMP

Plat of
 Lots 94-A and 95-A
Watershed Subdivision
 Albuquerque, Bernalillo County, New Mexico
 July 2007

Project No. _____
 Application No. _____

Utility Approvals
 PNM ELECTRIC SERVICES _____ DATE _____
 PNM GAS SERVICES _____ DATE _____
 QWEST TELECOMMUNICATIONS _____ DATE _____
 COMCAST _____ DATE _____

City Approvals
 City Surveyor: _____ DATE: 7-10-07
 REAL PROPERTY DIVISION _____ DATE _____
 ENVIRONMENTAL HEALTH DEPARTMENT _____ DATE _____
 TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT _____ DATE _____
 WATER UTILITY DEPARTMENT _____ DATE _____
 PARKS AND RECREATION DEPARTMENT _____ DATE _____
 AMAFCA _____ DATE _____
 CITY ENGINEER _____ DATE _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____

PRELIMINARY PLAT
 APPROVED BY DRB
 ON _____ DATE _____

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Richard E. Guilbert, CO-OWNER LOT 94 DATE 07/06/2007
 Claudette P. Guilbert, CO-OWNER LOT 94 DATE 07/06/2007
 Jody Pauza, PRESIDENT DATE 07/06/2007

ACKNOWLEDGMENT
 STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)
 ANGELA LEBLANC, NOTARY PUBLIC
 My Commission Expires: 6/2/09

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF July, 2007 BY RICHARD E. GUILBERT, CO-OWNER LOT 94

BY [Signature] MY COMMISSION EXPIRES: 6/2/09
 NOTARY PUBLIC

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF July, 2007 BY CLAUDETTE P. GUILBERT, CO-OWNER LOT 94

BY [Signature] MY COMMISSION EXPIRES: 4/16/2010
 NOTARY PUBLIC

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF July, 2007 BY JODY PAUZA, PRESIDENT, FULLER HOMES, INC., A NEW MEXICO CORPORATION, OWNER LOT 95

BY [Signature] MY COMMISSION EXPIRES: 11-8-10
 NOTARY PUBLIC

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

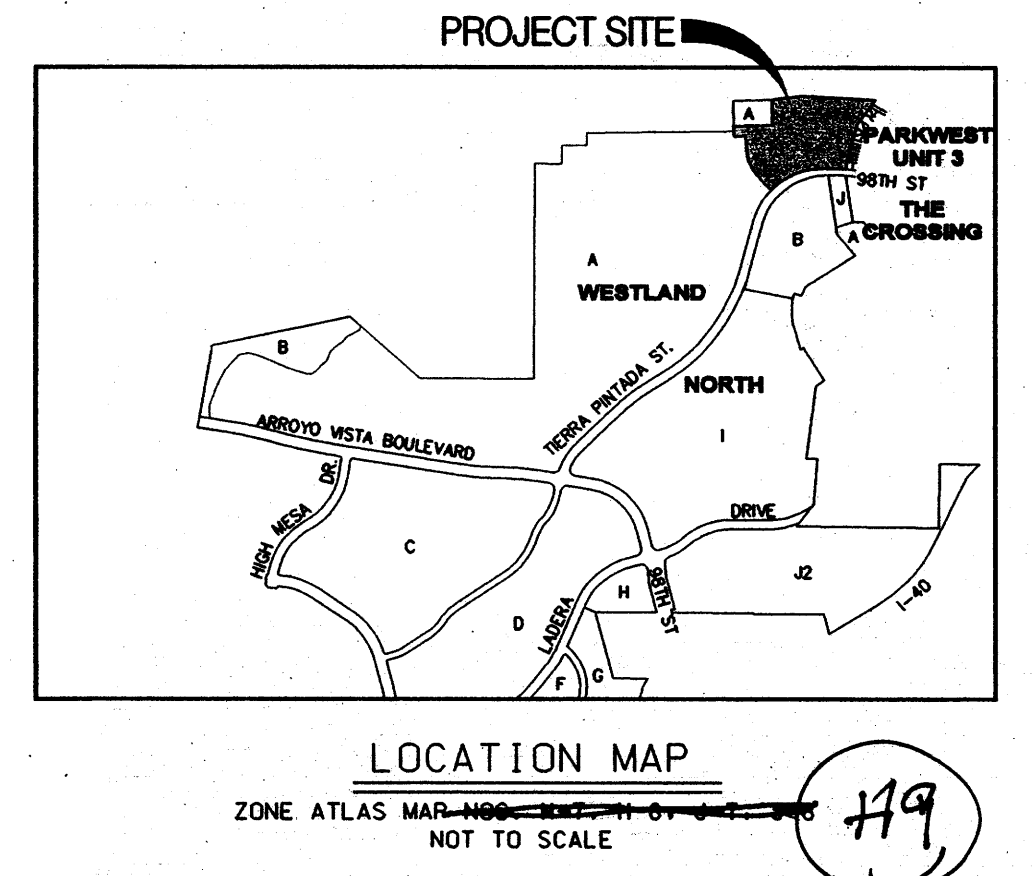
[Signature] DATE 07/05/2007
 LARRY W. MEDRANO
 N.M.P.S. No. 11993



PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX



LEGAL DESCRIPTION
 LOTS 1 - 139 AND TRACTS A - L OF WATERSHED SUBDIVISION.

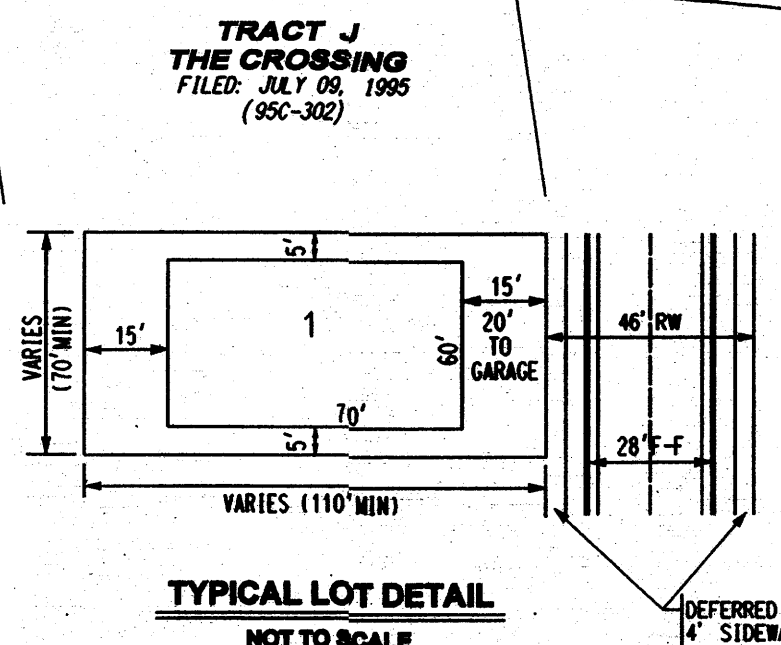
GENERAL NOTES:

1. EX ZONING FOR TRACT A: SU-2 FOR PDA RR
2. TRACT A = 530.71 ACRES
3. PORTION OF TRACT A BEING DEVELOPED = 47.194
4. DWELLING UNITS = 139
5. LOTS 1-26, 67-139 MINIMUM LOT SIZE SHALL BE 1850 SF
 LOTS 27-66 MINIMUM LOT SIZE SHALL BE 2200 SF
6. PROPOSED USE OF DEVELOPMENT: SINGLE FAMILY RESIDENTIAL
7. PRIVACY WALLS WILL BE CONSTRUCTED ALONG REAR AND SIDE PROPERTY LINES
8. ALL LOTS = 70' x 100' MIN AND 70' x 175' MIN
9. ALL LOT ROADWAY INTERSECTION RADII 25' EXCEPT WHERE NOTED.
10. SIDEWALKS TO BE CONSTRUCTED BY HOMEOWNER. A SIDEWALK DEFERRAL/VARIANCE WAS REQUESTED AS PART OF THE PLANNING ACTION.
11. PARKING: OFF-STREET PARKING IS PROVIDED ON EACH LOT IN ACCORDANCE WITH SECTION 14-16-3-1 OF THE ZONING CODE.
12. ACCESS: SITE INGRESS / EGRESS IS PROVIDED BY PUBLIC AND PRIVATE STREETS.
13. BICYCLE AND PEDESTRIAN SITE INGRESS / EGRESS: CONSISTS OF THE INTERNAL SIDEWALKS AND PATHS. THE LANDSCAPE AREAS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE PETROGLYPHS MANAGEMENT ASSOCIATION, INC.
14. EACH DWELLING UNIT SHALL COMPLY WITH R-2 ZONE SETBACK REQUIREMENTS.
15. THIS SITE DEVELOPMENT PLAN HAS BEEN DESIGNED TO COMPLY WITH THE WESTLAND DEVELOPMENT PLAN.

DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE



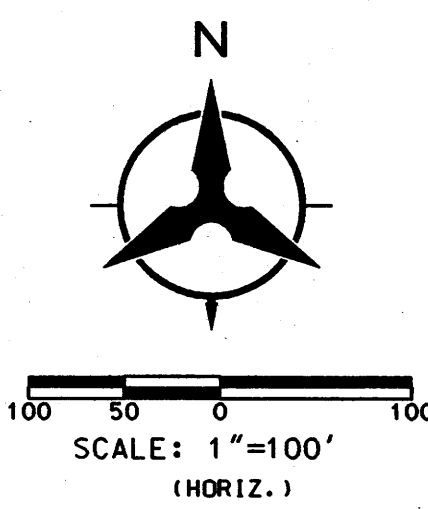
- Keyed Note Table
1. EXISTING EXCLUSIVE WATER AND SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE FILED: DECEMBER 27, 2000 (BK-2000C PG-316)
 2. EXISTING 10' PUBLIC UTILITY EASEMENT FILED: DECEMBER 27, 2000 (BK-2000C PG-316) VACATED BY VACATION ACTION AND SHOWN ON FINAL PLAT
 3. EXISTING 10' PUBLIC UTILITY EASEMENT FILED: DECEMBER 27, 2000 (BK-2000C PG-316)
 4. EXISTING CITY OF ALBUQUERQUE WATERLINE AND RIGHT OF WAY EASEMENT FILED: NOVEMBER 29, 1979 (DOC. 7988974)
 5. EXISTING 10' PNM AND MST&T EASEMENT FILED: DECEMBER 09, 1980 BK. MS. 817, PG. 339, DOC. 80-70840)
 6. EXISTING 10' PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES IN PARK WEST, UNIT 3 FILED: FEBRUARY 23, 1995 (95C-65)
 7. EXISTING TEMPORARY FLOOD PLAIN EASEMENT GRANTED TO A.M.F.C.A. FILED: DECEMBER 27, 2000 (BK-2000C PG-316)
 8. NOT USED
 9. NOT USED
 10. EXISTING 10' PUBLIC UTILITY EASEMENT FILED: MARCH 16, 1987 (C33-34)
 11. EXISTING 10' PNM ELECTRIC SERVICES EASEMENT FILED: DECEMBER 27, 2000 (BK-2000C PG-316)
 12. EXISTING 10' x 10' PUBLIC UTILITY EASEMENT FILED: DECEMBER 27, 2000 (BK-2000C PG-316)
 13. PROPOSED 30' PUBLIC STORM DRAIN, WATERLINE AND SANITARY SEWER EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT
 14. 25' PUBLIC STORM DRAIN EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT
 15. NOT USED
 16. PROPOSED 12' PUBLIC ACCESS EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT
 17. BLANKET DRAINAGE EASEMENT OVER TRACT K TO BE GRANTED TO A.M.F.C.A WITH THE FINAL PLAT



- LANDSCAPE PLAN NOTES:**
1. ALL ON-SITE LANDSCAPING OTHER THAN THAT INDICATED ON THIS PLAN WILL BE PROVIDED AND MAINTAINED BY THE LOT OWNER
 2. LANDSCAPE SHALL CONFORM TO APPROVED DESIGN GUIDELINES

SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT

WATERSHED SUBDIVISION
 ALBUQUERQUE, NEW MEXICO
 JULY, 2006



Bohannon & Huston
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 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**DESIGN GUIDELINES
THE PETROGLYPHS
Watershed, Lots 1-26, 67-139
October 18, 2005**

Subject Property (the "Subdivision"): Lots 1-26 and 67-139, Plat of Watershed Subdivision, Albuquerque, Bernalillo County, New Mexico, May 2005, Filed in the Bernalillo County Clerk's Office on June 9, 2005, as Document No. 2005082503, Book 2005C, Page 198

General Requirements

- The Subdivision is subject to the Northwest Mesa Escarpment Plan as adopted by Bernalillo County and the City of Albuquerque (the "Plan"). If any conflicts arise between the Plan and these Design Guidelines, the more restrictive of the two will govern.
- Only single family, single story, detached residences are permitted. No home retail or service type businesses that generate additional traffic, group homes or assisted living facilities.
- One lot, one house. No further subdivision of lots is allowed.
- Minimum heated square footage (excludes garages, storage sheds, covered patios, porches, breezeways etc.) shall be 1,850 sq. ft.
- Homes or any other structures placed on any lot may not exceed one story and shall be limited to a maximum height of 20 feet. However, the following exceptions are allowed for a pitched roof: (a) if the roof ridge is perpendicular to the front street, the roof height may be up to 21 feet; (b) if the roof ridge is parallel to the front street, the roof height may be up to 23 feet. The preceding exceptions are permitted for 1 out of every 4 consecutive homes (i.e., not more than 1 out of every 4 consecutive homes may have a roof height that exceeds 20 feet. The height of a structure is considered to be the vertical difference between the lot pad elevation as shown on the approved subdivision grading and drainage plan and the elevation of the highest point on the roof line. Note: Lots 67, 68, 85, 86, 87, 88, 117, 118, 119, and 120 fall within the Impact Area of the Plan and are subject to a 15 foot height restriction.
- The minimum front yard setback is 15 feet; however, not more than 1 out of every 3 consecutive homes may have a set back less than 30 feet. The minimum front setback to a garage is 20 feet in all cases.
- All homes must have at least a two-car garage. Three-car garages are allowed only if the combined width of the front facade of all garages does not exceed

50% of the total width of the lot at the front setback line, unless otherwise approved by the Petroglyph Management Association's Architectural Control Committee (the "ACC").

- When a three-car garage is constructed, the front facade of at least 1 of the 3 garage bays must be either set back or set forward a minimum of 2 feet from the facade of the other garage bays but not less than 20 feet, so that all 3 garage doors are not on the same vertical plane, unless otherwise approved by the ACC.
- The maximum allowable height of the garage door of a third garage bay that will be used for RV storage is 9 feet.
- Garages may not be enclosed to convert them to living space.
- Within the front yard area, but set back at least 15 feet from the front property line, homeowners may display a standard sized American Flag from a wall mounted standard or from a residentially scaled flag pole, not to exceed 18 feet in height. Proper flag etiquette must be observed (i.e., flag not torn or faded, right side up, lighted at night, etc.).
- A single real estate sign not more than 30 inches in height and 24 inches in width may be placed in the front yard of a home that is listed for sale while the listing is active. The sign must be fastened to a 4" X 4" stained wood post extending not more than 4 feet above the surface of the ground and will adhere to the design criteria of Paragraph 13 below. Signs advertising a home as available for rent or lease are prohibited within the Watershed Subdivision.
- Signs, including a home builder's signage used during the initial homebuilding phase of the Watershed Subdivision, shall comply with the following:

Temporary signs shall be limited to one sign per lot and shall strictly adhere to the design illustration (seen to the left) and the following specifications:

THE PETROGLYPHS
Builder's Construction Information

4" x 4" wood post (Fir is recommended) measuring 6" in height.
30" x 24" w rectangular panel with vinyl lettering affixed to wood post. Included in this panel size will be a 30" x 6" rectangle with the text "The Petroglyphs".

Wood post is to be stained (recommended stain: Wellborn Semi-Transparent Exterior Oil Stain in Cedar).
Petroglyphs is to be in Herculatum font and dark in color (Pantone 268 M or the

The purple

equivalent). Developer will provide all builders with The Petroglyphs logo and/or font upon request. The border of the 30" x 6" rectangle is to be in the same dark purple (Pantone 268 M or the equivalent) and the background color of said rectangle shall be an off-white/light yellow (Pantone 1205 M or the equivalent).

- (c) Information - Only the following information may appear on a construction sign:
- Builder's name and phone number
 - Architect's name and phone number
 - Owner's name
 - Realtor or salesperson
 - Address
 - "Available"
 - Price
- No additional signs may be attached to the main sign or suspended below it.

Home builder signs must be removed at the time the house is substantially complete or when the ACC directs the sign to be removed.

- All builders shall be limited to not more than 2 advertising signs located at the builder's model home complex/sales center which shall be limited to a maximum area of 32 square feet each. These signs shall be complementary to the standard established for the neighborhood, shall predominantly include "The Petroglyphs" name in the text, and shall be subject to the review and approval of the ACC.
- No advertising displays including but not limited to temporary builder signs not in compliance with the criteria of Paragraph 13 above, flagpoles, flags, banners, balloons, billboards, flashing lights or lighted panel signs are allowed to be placed anywhere within the Watershed Subdivision or in the public right-of-ways, open space or landscape areas immediately adjacent to the Subdivision, during the initial sales period of October 1, 2005 through June 30, 2006 home builders may use no more than 4 flags attached to or placed near their sales trailer or model home(s).
- Each home builder may temporarily place one sales or construction trailer within the Subdivision, the size and location of which must be approved by the ACC prior to placement. The sales or construction trailer must be removed from the Watershed Subdivision upon sale of the last lot in the Subdivision, not to exceed 18 months from the start of lot sales. The home builder is encouraged to move its sale operations into a model home or as soon as reasonably possible.
- No radio, Citizens band, HAM or other aerial, satellite dish, antenna or tower, whether for transmitting or receiving, or any support thereof shall be erected,

installed placed or maintained on any lot in a location where it would be visible to a person driving on the public streets.

Colors, Materials, Architectural Style

- The primary exterior finishes of all residences, structures or improvements on the lots shall be either stucco, stone or brick in natural earthen colors or other subdued colors that would be compatible with pre-existing adjacent homes and complimentary to the standard established for the Subdivision. Wood, adobe and rock may be used as secondary exterior finishes in a more limited capacity as trim or accent materials provided they do not clash with the parent structure, are compatible with pre-existing adjacent homes and complimentary to the standard established for the neighborhood.
- Allowable roofing materials for homes with pitched roofs are clay or concrete barrel tiles in subdued earthen colors, flat slate, clay or concrete tile in subdued earthen colors. Metal roofs are allowed in a limited capacity of no more than 1 out of every 3 consecutive homes. The color of a metal roof is restricted to an earthen color and is subject to ACC approval.
- Pitched roof homes will include eaves that overhang the adjacent exterior wall a minimum fourteen inches (14").
- Patio covers, elevated decks, cabanas, gazebos and storage buildings that are constructed subsequent to the initial home construction shall be of a scale, architectural style, materials, colors and textures that are compatible with the original home and complimentary to the standard established for the neighborhood and must be reviewed and approved by the ACC prior to construction. Any secondary or storage building installed or constructed on a lot shall have a minimum 5 foot side yard setback. Any secondary or storage building installed or constructed on a lot that backs to Tierra Pintada must be set back from the rear wall of the lot a minimum 10 feet.
- Other than approved metal roofs, surfaces of hardware fixtures or glass, no reflective finishes shall be used on exterior surfaces including but not limited to the exterior surfaces of all projections above roofs, retaining walls, doors, trim, fences pipes and mechanical equipment.
- Air conditioning, heating and other machinery and mechanical equipment may not be located on those portions of the roof where they would be visible to a person driving on the public streets. If ground-mounted or mounted to the side of the house, such machinery or equipment must be located in the rear yard or side yard behind the return walls so as not visible from the front street.

- All roof-mounted machinery, mechanical equipment, vent pipes, duct work, exhaust fans and other protrusions must be painted to match the finish color of the house, the house trim or the roof covering material so that it blends in and is compatible with the parent structure. All machinery and equipment be located to the rear of the house so as not visible from the front street. On flat-roofed pueblo or territorial style homes, the parapets must be high enough to screen these items from the view of a person driving on the public streets.
- Satellite television antennas must be located behind the roof pitch, parapets, or, if side-mounted, as far to the rear of the house as possible.

Walls

- Perimeter walls that are adjacent to Tierra Pintada St. or Watershed Dr., internal side yard walls, rear walls and any walls constructed by the Developer may not be raised, lowered or otherwise modified in any way. If any of these walls are damaged, the owner shall be required to reconstruct them within 30 business days to the same original height and using the same colors, patterns, textures and materials as the original.
- All internal rear yard and side yard property line walls shall be coral colored CMU construction and shall be built to a minimum height of seven courses above the finished grade on the high-side of the wall. The top course must be a cap block.
- All side yard return walls shall be constructed of split-face block of either coral or basalt with the split surface facing the street, or smooth block stucco to match the house, or stone or brick masonry that matches the house and is complementary to the standard established for the neighborhood.
- Courtyard walls shall not extend forward of the front setback line, unless said wall does not exceed 3 feet in height measured from finished grade, and shall be constructed of either coral or basalt split face block with the split surface facing the street, or smooth block stucco to match the house, or stone or brick masonry that matches the house and is complementary to the standard established for the neighborhood.
- If a side yard return wall or a courtyard wall is subsequently raised or otherwise modified, it must either be finished to match the original wall or completely reconstructed to one of the approved standards stated herein.
- Rear yard gates and courtyard gates must be constructed of either wrought iron or wood pickets painted to match the house. Wrought iron gates may be backed with extruded metal mesh painted the same color as the gate. Chain link, split cedar or corrugated metal or composite gates are not allowed.

Parking

- Each lot shall have an enclosed garage with parking space for at least two automobiles. A minimum of two additional parking spaces shall be provided on the lot to accommodate guest parking. On street parking shall not be counted in satisfying this requirement.
- Garages should be set back far enough so that cars parked on the driveway do not overhang and block the sidewalk.
- No storage or long term parking of boats, campers, trailers, recreational or commercial vehicles is permitted on any lot, except they may be stored within an enclosed garage or in side and rear yard areas where they would not be visible to a person driving on the public streets. Short term, infrequent parking (not to exceed 24 hours) of these vehicles is permitted for loading, unloading, cleaning or maintenance.
- No long term parking (more than four days) of inoperable motorized vehicles of any kind is allowed on the streets within the subdivision or on any lot in an area where they would be visible to a person driving on the public streets.

Landscape

Immediately upon completion of construction of the home thereon, all front yards and side yards on corner lots shall be landscaped to comply with the following minimum standards:

- The landscape area includes the entirety of the area located in front of the side yard wall returns that is not covered by concrete lead walks and drive pads. It also includes that portion of the public street right-of-way that lies between the back of the curb and the front edge of the sidewalk, which the homeowner is required to maintain.
- Not more than 75% of the landscape area may be covered with gravel or crushed rock.
- When gravel ground cover is used adjacent to drive pads, sidewalks or the curb, the ground must be below the top surface of the concrete to a distance of at least 30 inches back from the edge of the pavement so that the top surface of the gravel ground cover will be at least 2 inches below the top surface of the adjacent pavement.
- Light weight volcanic rock or colored scoria that can be easily blown, washed or kicked out of place may not be placed within 48 inches from the edge of any drive pads, sidewalks or the curb. Only minimum 1/4 inch diameter aggregate may be used in these areas.
- The use of larger cobbles and aggregates of contrasting subdued earthen colors is encouraged.
- The use of red colored aggregate should be limited to accents only. White, green, blue or other bright colored aggregates are not permitted.
- Tree bark or wood chips are not permitted for use as ground cover, except may be used in limited amounts as a mulching material in planting beds or tree rings.
- At least 25% of the landscape area must be covered with a living ground cover and/or committed to planting beds, xeric gardens or ornamental landscape features. Landscape boulders, mounding and vertical elements less than 3 feet high are encouraged. Species selected from the approved plant list are recommended.
- A minimum of one deciduous or evergreen tree of a species selected from the approved plant list is required for each 1,000 square feet of landscape area or any remaining portion thereof.
- A minimum of one five-gallon plant or shrub is required for each 150 square feet of landscape area or any remaining portion thereof, with a minimum of 3 required on every lot. Species selected from the approved plant list are recommended.

- A minimum of one one-gallon plant is required for each 75 square feet of landscape area or any remaining portion thereof, with a minimum of 10 required on every lot. Species selected from the approved plant list are recommended.
- The required plant minimums listed herein must be maintained by all lot owners, required plants that die must be replaced as soon as weather conditions and growing seasons allow.
- Immediately upon the completion of construction of the home thereon, all lots having rear yards that abut or adjoin Tierra Pintada St. shall have planted in the rear yard at least one, 2 inch caliper deciduous or evergreen trees of a species selected from the approved plant list. The owners of these lots shall be required to permanently maintain these required trees and, if necessary, to replace any that die.
- The use of non-living objects such as driftwood, petrified wood, animal skulls, wagon wheels and other similar items, for landscape accent materials is generally discouraged and will only be allowed with specific approval of the ACC.
- Lots numbered 119 through 129 inclusive, which are located along the east side of Arroyo Falls Street, and with respect to the shelf area that is between the base of the rear yard garden wall and the top of the retaining wall at the rear property line:
 - This shelf area must be landscaped within 60 days after the date upon which a homeowner closes and receives title to a subject lot
 - This area may be covered with landscape filter fabric and earthen-colored gravel, aggregates or cobbles placed pursuant to Paragraphs 3, 4, or 5 of this section.
 - This area may be paved with earthen-colored flagstone, patio pavers or paving bricks.
 - This area may be planted with approved low-growing, xeric ground cover plants. If this option is chosen, the lot owner is responsible for maintaining and watering the ground cover plants until they are well established and during the high temperature and/or drought periods. This area may not be irrigated.
 - The lot owner is responsible for maintaining the area free of weeds.

Recommended Landscape Species

The goal of the landscape requirements for individual lots contained herein is to help enhance and maintain property values within The Petroglyphs community by creating a plant density and plant palette throughout the neighborhood that will be complimentary to the common area and streetscape landscaping that will be maintained by the Association. The approved plant species contained in the

following list have been selected by the Landscape Architect for their colors, form, drought tolerance, availability and hardiness.

DECIDUOUS TREES

- Smoketree (Cotinus coggygria)
- Chaste Tree (Vitex agnus-castus)

DECIDUOUS SHRUBS

- Hummingbird Trumpet (Anisacanthus thurberi)
- Bird of Paradise (Caesalpinia gilliesii)
- Fernbush (Chamaebotria millefolium)
- Chamisa (Chrysothamnus nauseosus)
- Summer Broom (Genista tinctoria)
- Dunebroom (Paryrella filifolia)
- Mariola (Parthenium incanum)
- Broom Dalea (Psoralea scoparia)
- Threelobed Sumac (Rhus trilobata)
- "Austria Copper" Rose (Rosa foetida)
- Cherry Sage (Salvia greggii)

VINES

- Trumpet Vine (Campsis radicans)
- Clematis (Clematis hybrids)
- Western Virginshower (Clematis ligusticifolia)
- Golden Laterns (Clematis tangutica)

EVERGREEN TREES

- Curlleaf Mountain Mahogany (Cercocarpus ledifolius)
- One-seed Juniper (Juniperus monosperma)
- Shrub Live Oak (Quercus turbinella)
- Soaptree Yucca (Yucca elata)
- Desert Hackberry (Celtis pallida)

GROUND COVERS

- Fringed Sage (Artemisia frigida)
- Dwarf Coyotebush / Twin Peaks (Baccharis pilularis)
- Creeping Broom (Cytisus dumecens)
- Verbena (Verbena peruviana)
- Rocky Mountain Zinnia (Zinnia grandiflora)

GRASSES

- Western Wheatgrass (Agropyron smithii)
- Sideoats Grama (Bouteloua curtipendula)
- Blue Grama (Bouteloua gracilis)
- Buffalograss (Buchloe dactyloides)
- Sand Lovegrass (Eragrostis trichodes)
- Blue Avena (Helictotrichon sempervirens)
- Galleta (Hilaria jamesii)
- Indian Ricegrass (Orzyopsis hymenoides)
- Little Bluestem (Schizachyrium)
- Sand Drowsseed (Sporobolus cryptandrus)
- Giant Sacaton (Sporobolus wrightii)

HERBACEOUS PERENNIALS AND ANNUALS

- Sand Verbena (Abronia sp.)
- Giant Hyssop (Agastache cana)
- Hollyhock (Aloca rose)
- Mat Daisy (Anacyclus depressus)
- Prairie Sage (Artemisia x 'Powis Castle')
- Wormwood (Baileya multiradita)
- Desert Marigold (Berlandiera lyrata)
- Golden Aster (Chrysopsis villosa)
- California Poppy (Eschscholzia californica)
- Guara (Gaura lindheimeri)
- Perky Sue (Hymenoxys argentea)
- Bush Morningglory (Ipomoea leptophylla)
- Gayfeather (Liatris punctata)
- Tall Gayfeather (Liatris scariosa)
- Scarlet Flax (Linum grandiflorum "Rubrum")
- Blue Flax (Linum perenne)
- Blackfoot Daisy (Melanopodium leucanthum)
- Four O'Clock (Mirabilis jalapa)
- Giant Four O'Clock (Mirabilis multiflora)
- Mexican Primrose (Oenothera berlandieri)
- White Evening Primrose (Oenothera caespitosa)
- Evening Primrose (Oenothera hookeri)
- Yellow Evening Primrose (Oenothera missouriensis)
- Pale Evening Primrose (Oenothera pallida)
- Mexican Evening Primrose (Oenothera speciosa)
- Bush Penstemon (Penstemon ambiguus)
- Scarlet Penstemon (Penstemon barbatus)
- Palmer Penstemon (Penstemon palmeri)
- Prairieclover (Petalostemon purpureum)

- Russian Sage (Perovskia atriplicifolia)
- Paperflower (Palaetrophe tagetina)
- Autumn or Cherry Sage (Salvia greggii)
- Silver Groundsel (Senecio longiflorus)
- Scarlet Globeblossom (Sphaeralcea coccinea)
- Fern Verbena (Verbena bipinnatifida)
- Purple Verbena (Verbena rigida)
- Western Verbain (Verbena wrightii)
- Hummingbird Plant (Zauschneria californica)
- Desert Zinnia (Zinnia grandiflora)

EVERGREEN SHRUBS

- Century Plant (Agave parryi)
- Pointleaf Manzanita (Arctostaphylos pungens)
- Threadleaf or Sand Sage (Artemisia tridentata)
- Big Sage (Artemisia tridentata)
- Fourwing Saltbush (Atriplex canescens)
- Desert Bloom (Baccharis salicina)
- Algeria (Berberis haematoarpa)
- Mountain Mahogany (Cercocarpus montanus)
- Cliffrose (Covania mexicana)
- Scotch Broom (Cytisus scoparius)
- Socak (Dasyliiron wheeleri)
- Mormon Tea (Ephedra viridis)
- Turpentine Bush (Ericameria laricifolia)
- Spanish Bloom (Genista hispanica)
- Red Yucca (Hesperaloe parviflora)
- Creeping Oregon Grape (Mahonia repens)
- Beargrass (Nolina microcarpa)
- Beargrass (Nolina texana)
- Dagger Spine Cholla (Opuntia clavata)
- Cholla (Opuntia imbricata)
- Prickly Pear (Opuntia phaeantha)
- Antelope Bitterbush (Purshia tridentata)
- Desert Sage (Salvia dorrii)
- Lavender Oregon Grape (Santolina chamaecyparissus)
- Spanish Broom (Spartium junceum)
- Arizona Rosewood (Vauquelinia californica)
- Dahl (Yucca baccata)
- Sageweed (Yucca glauca)

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Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**DESIGN GUIDELINES
THE PETROGLYPHS
Washed Custom Lots
February 8, 2006**

Subject Projects (the "Subdivisions"): Lots 27 - 66, Flat of Watershed Subdivision, Albuquerque, Bernalillo County, New Mexico, May 2005, Filed in the Bernalillo County Clerk's Office on June 9, 2005, as Document No. 2005082503, Book 2005C, Page 198

Developer: Westland Development Co., Inc., 401 Coors Blvd. NW, Albuquerque, NM 87121, its successors and assigns.

General Requirements

- The Subdivision is subject to the Northwest Mesa Escarpment Plan as adopted by Bernalillo County and the City of Albuquerque (the "Plan"). If any conflicts arise between the Plan and these Design Guidelines, the more restrictive of the two will govern.
 - Only one, single family detached residence per lot is permitted. Home retail or service-type businesses that generate additional traffic, group homes or assisted living facilities are not permitted in the Subdivision.
 - One lot, one house. No further subdivision or consolidation of two or more lots is allowed.
 - Minimum heated square footage (excludes garages, storage sheds, covered patios, porches, breezeways etc.) shall be 2,200 sq. ft.
 - Home construction is subject to the prior written approval of the Petroglyph Management Association's Architectural Control Committee (the "ACC"). The lot owner/builder is required to submit to the ACC (c/o Developer) a full set of construction plans, including the following:
 - Four-sided building elevation.
 - Site development plan showing all landscaping, patios, decks, perimeter walls, courtyard walls, secondary buildings, and pools.
 - Lot grading and drainage plan (Lots 47 - 58).
 - All exterior colors and materials.
 - Exterior mechanical equipment.
 - Roof framing plan.
- The ACC will have fifteen (15) days from receipt of all required material to respond to a lot owners' submittal. In the event the plans are not approved, the ACC will provide a written explanation of its disapproval. The owner may

- submit preliminary plans and sketches to the ACC prior to the full package submittal for feedback and guidance.
- Homes or any other structures placed on any lot shall be limited to a maximum height of 15 feet. The height of a structure is considered to be the vertical difference between the lot pad elevation as shown on the approved subdivision grading and drainage plan and the elevation of the highest point on the roof line, excluding chimneys, or as determined by the Plan. For Lots 47 - 58, the base elevation shall be the grade of Mesa Rain Road adjacent to the lot, or as determined by the Plan.
 - The minimum front yard setback is 15 feet. The minimum front setback to a garage is 20 feet in all cases.
 - Lots 47 - 58 must have individual grading and drainage plans prepared by a licensed civil engineer. Said plans are subject to the approval of the ACC and the City of Albuquerque.
 - All homes must have not less than a two-car garage. Three-car garages are allowed only if the combined width of the front facade of all garages does not exceed 50% of the total width of the lot at the front setback line, unless otherwise approved by the ACC.
 - When a three-car garage is constructed, the front facade of at least 1 of the 3 garage bays must be either set back or set forward a minimum of 2 feet from the facade of the other garage bays but not less than 20 feet, so that all 3 garage doors are not on the same vertical plane, unless otherwise approved by the ACC.
 - The maximum allowable height of the garage door of a third garage bay that will be used for RV storage is 9 feet.
 - Garages may not be enclosed to convert them to living space.
 - For Lots 47 through 58, lot boundary elevations must be maintained at the existing, natural grade; i.e., grade separations at a lot boundary are prohibited.
 - Within the front yard area, but set back at least 15 feet from the front property line, homeowners may display a standard sized American Flag from a wall mounted standard or from a residentially scaled flag pole, not to exceed 15 feet in height. Proper flag etiquette must be observed (i.e., flag not torn or faded, right side up, lighted at night, etc.).
 - A single real estate sign not more than 30 inches in height and 24 inches in width may be placed in the front yard of a home that is listed for sale while the listing is active. The sign must be fastened to a 4" x 4" stained wood post extending not more than 4 feet above the surface of the ground and will adhere to the design

criteria of Paragraph 16 below. Signs advertising a home as available for rent or lease are prohibited within the Watershed Subdivision.

- Signs, including a home builder's signage used during the initial homebuilding phase of the Watershed Subdivision, shall comply with the following:

Temporary signs shall be limited to one sign per lot and shall strictly adhere to the design illustration (seen to the left) and the following specifications:
(a) Materials - 4" x 4" wood post (Fir is recommended) measuring 6' in height.
30" x 24" rectangular panel with vinyl lettering affixed to a wood post. Included in this panel size will be a 30" x 6" rectangle with the text "The Petroglyphs".
(b) Colors - Wood post is to be stained (recommended stain: Wellborn Semi-Transparent Exterior Oil Stain in Cedar).
"The Petroglyphs" is to be in Herculanium font and dark purple in color (Pantone 268 M or the equivalent). Developer will provide all builders and Realtors with The Petroglyphs logo and/or font upon request. The border of the 30" x 6" rectangle is to be in the same dark purple (Pantone 268 M or the equivalent) and the background color of said rectangle shall be an off-white/light yellow (Pantone 1205 M or the equivalent).

(c) Information - Only the following information may appear on a construction sign:
Builder's name and phone number
Architect's name and phone number
Owner's name
Realtor and Realtor or salesperson
Address.
"Available"
Price
No additional signs may be attached to the main sign or suspended below it.

Home builder signs must be removed at the time the house is substantially complete or when the ACC directs the sign to be removed. Realtor signs must be removed upon the sale of the house or listing expiration or when the ACC directs the sign to be removed. Any sign found not to be in compliance with the foregoing may be removed without notice by the Developer or the Petroglyph Management Association.

- No advertising displays including but not limited to temporary builder signs not in compliance with the criteria of Paragraph 16 above, flagpoles, flags, banners, balloons, billboards, flashing lights or lighted panels signs are allowed to be placed anywhere within the Watershed Subdivision or in the public right-of-ways, open space or landscape areas immediately adjacent to the Subdivision.

Colors, Materials, Architectural Style

- The primary exterior finishes of all residences, structures or improvements on the lots shall be either stucco, adobe, natural stone or brick in natural earthtone colors or other subdued colors that would be compatible with pre-existing adjacent homes and complementary to the standard established for the Subdivision. Wood and rock may be used as secondary exterior finishes in a more limited capacity as trim or accent materials provided they do not clash with the parent structure, are compatible with pre-existing adjacent homes and complementary to the standard established for the neighborhood.
- Allowable roofing materials for homes with pitched roofs are clay or concrete barrel tiles in subdued earthtone colors, flat slate, clay or concrete tile in subdued earthtone colors.
- Pitched roof homes will include eaves that overhang the adjacent exterior wall a minimum fourteen inches (14").
- Patio covers, elevated decks, cabanas, gazebos and storage buildings that are constructed in conjunction with or subsequent to the initial home construction shall be of a scale, architectural style, materials, colors and textures that are compatible with the home and complementary to the standard established for the neighborhood and must be reviewed and approved by the ACC prior to construction. Any secondary or storage building installed or constructed on Lots 27 - 35 and 40 - 42 must be set back from the rear wall of the lot a minimum 10 feet. Secondary and storage buildings are limited to 9 feet in height.
- Other than surfaces of hardware fixtures or glass, no reflective finishes shall be used on exterior surfaces including but not limited to the exterior surfaces of all projections above roofs, retaining walls, doors, trim, fences pipes and mechanical equipment.
- Air conditioning, heating and other machinery and mechanical equipment may not be located on those portions of the roof where they would be visible to a

person driving on the public streets. If ground-mounted or mounted to the side of the house, such machinery or equipment must be located in the rear yard or side yard behind the return walls so as not visible from the front street.

- All roof-mounted machinery, mechanical equipment, vent pipes, duct work, exhaust fans and other protrusions must be painted to match the finish color of the house, the house trim or the roof covering material so that it blends in and is compatible with the parent structure. All machinery and equipment must be located to the rear of the house so as not visible from the front street. On flat-roofed pueblo or territorial style homes, the parapets must be high enough to screen these items from the view of a person driving on the public streets.

- Satellite television antennas must be located behind the roof pitch, parapets, or, if side-mounted, as far to the rear of the house as possible. No radio, Citizens band, HAM or other aerial, satellite dish, antenna or tower, whether for transmitting or receiving, or any support thereof shall be erected, installed placed or maintained on any lot in a location where it would be visible to a person driving on the public streets.

Walls

- Perimeter walls, internal side yard walls, rear walls and any walls constructed by the Developer may not be raised, lowered or otherwise modified in any way. If any of these walls are damaged, the owner shall be required to reconstruct them within thirty (30) business days to the same original height and using the same colors, patterns, textures and materials as the original.
- All internal rear yard and side yard property line walls shall be coral colored CMU construction and shall be built to a minimum height of seven courses above the finished grade on the high-side of the wall. The top course must be a cap block.
- All side yard return walls shall be constructed of split-face block of either coral or basalt with the split surface facing the street, or smooth block stuccoed to match the house, or stone or brick masonry that matches the house and is complementary to the standard established for the neighborhood.
- Courtyard walls shall not extend forward of the front setback line, unless said wall does not exceed 3 feet in height measured from finished grade, and shall be constructed of either coral or basalt block split face block with the split surface facing the street, or smooth block stuccoed to match the house, or stone or brick masonry that matches the house and is complementary to the standard established for the neighborhood.

- If a side yard return wall or a courtyard wall is subsequently raised or otherwise modified, it must either be finished to match the original wall or completely reconstructed to one of the approved standards listed herein.

- Rear yard gates and courtyard gates must be constructed of either wrought iron or wood pickets painted to match the house. Wrought iron gates may be backed with extruded metal mesh painted the same color as the gate. Chain link, split cedar or corrugated metal or composite gates are not allowed.
- No chain link, welded wire, smooth wire, barbed wire, welded pipe or split cedar fences are allowed to be constructed on any lot in a location where they would be visible to a person driving on the public streets. The existing National Park Service fence along the rear boundary of Lots 47 - 58 and west boundary of Lot 36 is exempt from this restriction. Lots 36 - 40, 44, 45, and 47 are exempt as to the existing chain link fence enclosing the College Reservoir.
- A lot's common rear and side yard carries a twelve inch (12") easement onto the adjacent lot for wall construction purposes. Common rear and side yard walls should be centered on the property line and must be constructed of block in either a coral or basalt color or stuccoed to match the house. The first party to construct a wall along a common boundary will be entitled to a fifty percent (50%) cost share from the first party, the second party will be obligated to reimburse one-half (1/2) the cost no later than eighteen (18) months from the second party's lot closing date. Since the first party to build may be entitled to receive a wall reimbursement from two or more adjacent owners, the first party should instruct its wall builder to clearly itemize the invoice to reflect the cost of each common wall.
- Retaining walls are prohibited along the lot boundaries of Lots 47 through 58, i.e., boundary grades must be maintained at the existing, natural grade as determined by the Plan.
- Wrought iron "windows" are allowed along and within the rear boundary wall of Lots 27 - 35, 41 - 58, and the eastern boundary wall of Lot 40, subject to Exhibit A and the prior review and approval of the ACC.

Construction

All construction, whether new construction, alterations, additions or exterior remodeling shall be completed in accordance with plans approved by the ACC within six (6) months from commencement of construction. All construction shall commence upon each lot within eighteen (18) months from the date of purchase of said lot from Developer. If construction is not commenced within eighteen (18) months from the date of purchase, Developer, at Developer's option, may re-

purchase the lot at the original purchase price. Developer must exercise this option within thirty (30) days from the 18-month date or it shall lose the right to exercise this option.

- No building previously used at another location nor any building or structure constructed as a mobile dwelling, except when used as a temporary sales office, may be moved onto a lot, except as expressly approved by the ACC.

Parking

- Each lot shall have an enclosed garage with parking space for at least two automobiles. A minimum of two additional parking spaces shall be provided on the lot to accommodate guest parking. On street parking shall not be counted in satisfying this requirement.
- Garages should be set back far enough so that cars parked on the driveway do not overhang and block the sidewalk.
- No storage or long term parking of boats, campers, trailers, recreational or commercial vehicles is permitted on any lot, except they may be stored within an enclosed garage or in side and rear yard areas where they would not be visible to a person driving on the public streets. Short term, infrequent parking (not to exceed 24 hours) of these vehicles is permitted for loading, unloading, cleaning or maintenance.
- No long term parking (more than four days) of inoperable motorized vehicles of any kind is allowed on the streets within the subdivision or on any lot in an area where they would be visible to a person driving on the public streets.

Landscaping

Immediately upon completion of construction of the home thereon, all front yards and side yards on corner lots shall be landscaped to comply with the following minimum standards:

- The landscape area includes the entirety of the area located in front of the side yard wall returns that is not covered by concrete lead walks and drive pads. It also includes that portion of the public street right-of-way that lies between the back of the curb and the front edge of the sidewalk, which the homeowner is required to maintain.
- Not more than 75% of the landscape area may be covered with gravel or crushed rock.
- When gravel ground cover is used adjacent to drive pads, sidewalks or the curb, the ground must be below the top surface of the concrete for a distance of at least 30 inches back from the edge of the pavement so that the top surface of the gravel ground cover will be at least 2 inches below the top surface of the adjacent pavement.
- Light weight volcanic rock or colored scoria that can be easily blown, washed or kicked out of place may not be placed within 48 inches from the edge of any drive pads, sidewalks or the curb. Only minimum 1/4 inch diameter aggregate may be used in these areas. Owners shall keep all drive pads, lead walks, sidewalks, curbs and gutters located on or adjacent to the owner's property swept clean of loose or displaced gravel.
- The use of larger cobbles and aggregates of contrasting subdued earthtone colors is encouraged.
- The use of red colored aggregate should be limited to accents only. White, green, blue or other bright colored aggregates are not permitted.
- Tree bark or wood chips are not permitted for use as ground cover, except may be used in limited amounts as a mulching material in planting beds or tree rings.
- At least 25% of the landscape area must be covered with a living ground cover and/or committed to planting beds, xeric gardens or ornamental landscape features. Landscape boulders, mounding and vertical elements less than 3 feet high are encouraged. Species selected from the approved plant list are recommended.
- A minimum of one deciduous or evergreen tree of a species selected from the approved plant list is required for each 1,000 square feet of landscape area or any remaining portion thereof.
- A minimum of one five-gallon plant or shrub is required for each 150 square feet of landscape area or any remaining portion thereof, with a minimum of 3 required on every lot. Species selected from the approved plant list are recommended.
- A minimum of one one-gallon plant is required for each 75 square feet of landscape area or any remaining portion thereof, with a minimum of 10 required on every lot. Species selected from the approved plant list are recommended.
- The required plant minimums listed herein must be maintained by all lot owners; required plants that die must be replaced as soon as weather conditions and growing seasons allow.

The use of non-living objects such as driftwood, petrified wood, animal skulls, wagon wheels and other similar items, for landscape accent materials is generally discouraged and will only be allowed with specific approval of the ACC.

Recommended Landscape Species

- The goal of the landscape requirements for individual lots contained herein is to help enhance and maintain property values within The Petroglyphs community by creating a plant density and plant palette throughout the neighborhood that will be complementary to the common area and streetscape landscaping that will be maintained by the Association. The approved plant species contained in the following list have been selected by the Landscape Architect for their colors, form, drought tolerance, availability and hardiness. Note: The Watershed neighborhood park and other common areas may include plant varieties not included on the following list.

DECIDUOUS TREES

- Smoke Tree (Cotinus coggygria)
- Chaste Tree (Vitex agnus-castus)
- Hummingbird Trumpet (Anisacanthus thurberi)
- Bird of Paradise (Casalpinia gilliesii)
- Fernbush (Chamaebatiaria millefolium)
- Chinaman (Chamaebatiaria nauseosus)
- Summer Broom (Genista tinctoria)
- Dunebroom (Parrleya filifolia)
- Mariola (Parthenium incanum)
- Broom Dalea (Psoraleum scoparium)
- Threelobe Sumac (Rhus trilobata)
- "Austria Copper" Rose (Rosa foetida)
- Cherry Sage (Salvia greggii)

VINES

- Trumpet Vine (Campsis radicans)
- Clematis (Clematis hybrid)
- Western Virginbower (Clematis ligusticifolia)
- Golden Latens (Clematis langutica)
- Curlleaf Mountain Mahogany (Cercocarpus ledifolius)
- One-seed Juniper (Juniperus monosperma)
- Shrub Live Oak (Quercus turbinella)
- Sage Yucca (Yucca elata)
- Desert Hackberry (Celtis pallida)

GROUND COVERS

- Fringed Sage (Artemisia frigida)
- Dwarf Coyotebush 'Twin Peaks' (Baccharis pilularis)
- Creeping Broom (Cytisus decumbens)
- Verbena (Verbena peruviana)
- Rocky Mountain Zinnia (Zinnia grandiflora)

GRASSES

- Western Wheatgrass (Agropyron smithii)
- Sideoats Grama (Bouteloua curtipendula)
- Blue Grama (Bouteloua gracilis)
- Buffalograss (Buchloe dactyloides)
- Sand Lovegrass (Eragrostis triodes)
- Blue Avena (Heterotriochon sempervirens)
- Galleta (Hilaria jamesii)
- Indian Ricegrass (Oryzopsis hymenoides)
- Little Bluestem (Schizachyrium)
- Sand Dropseed (Sporobolus cryptandrus)
- Giant Sacaton (Sporobolus wrightii)

HERBACEOUS PERENNIALS AND ANNUALS

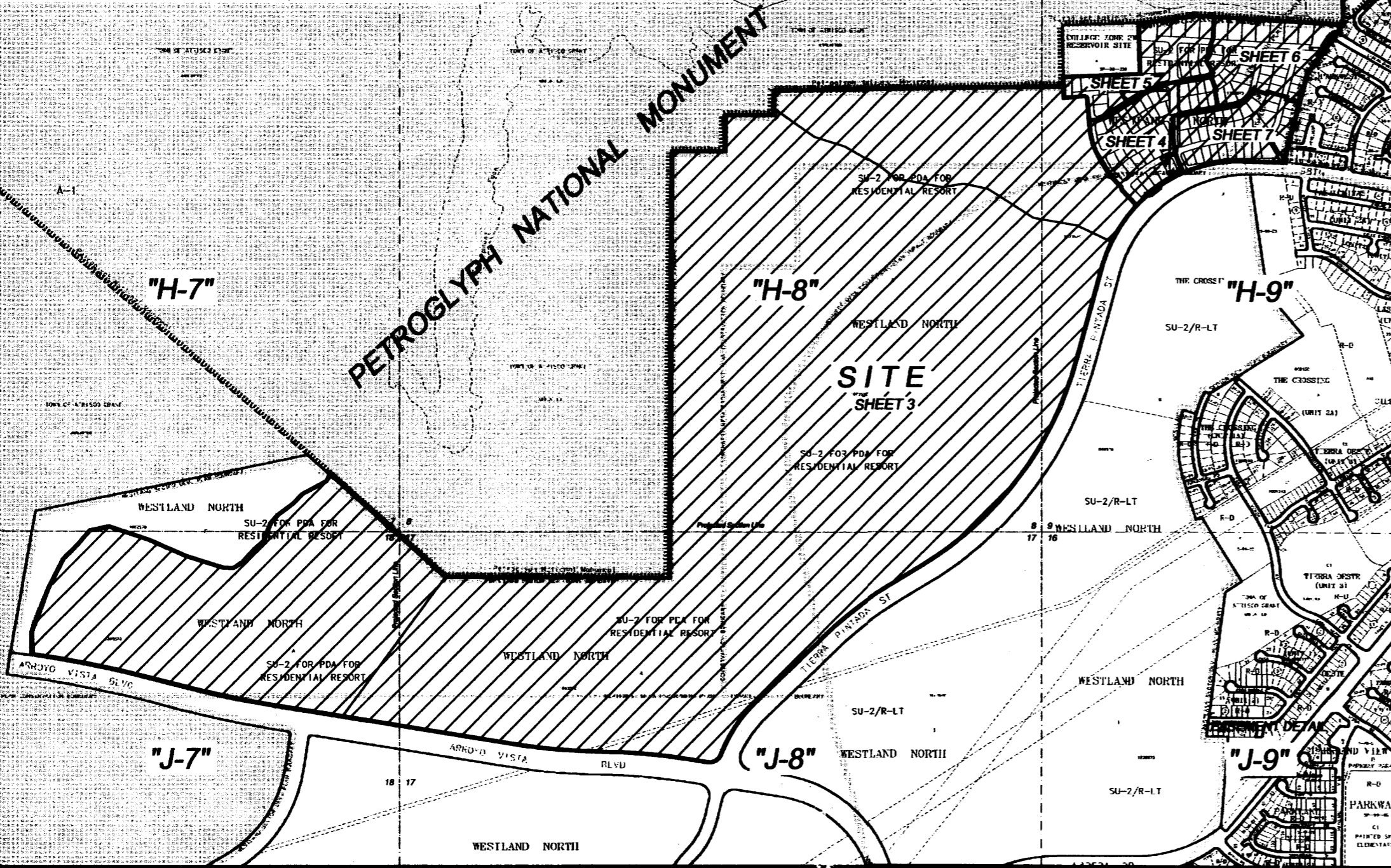
- Sand Verbena (Abronia sp.)
- Giant Hyasop (Agastache cana)
- Hollyhock (Alcea rose)
- Mil Daisy (Anemone depressus)
- Prairie Sage (Artemisia ludoviciana)
- Wormwood (Artemisia x 'Powis Castle')
- Desert Marigold (Baileya multiradiata)
- Chocolate Flower (Beclandiera lyrata)
- Golden Aster (Chrysopsis villosa)
- California Poppy (Eschscholzia californica)
- Guara (Gaura lindheimeri)
- Perky Sue (Hymenoxys argentea)
- Bush Morningglory (Ipomoea leptophylla)
- Gayfeather (Liatris punctata)
- Tall Gayfeather (Liatris scariosa)
- Scarlet Flax (Linum grandiflorum 'Rubrum')

- Blue Flax (Linum perenne)
- Blackfoot Daisy (Melampodium leucanthum)
- Four O'Clock (Mirabilis jalapa)
- Giant Four O'Clock (Mirabilis multiflora)
- Mexican Primrose (Oenothera berlandiera)
- White Evening Primrose (Oenothera caespitosa)
- Evening Primrose (Oenothera biocolor)
- Yellow Evening Primrose (Oenothera missouriensis)
- Pale Evening Primrose (Oenothera pallida)
- Mexican Evening Primrose (Oenothera speciosa)
- Bush Penstemon (Penstemon ambiguus)
- Scarlet Penstemon (Penstemon barbatus)
- Palmer Penstemon (Penstemon palmeri)
- Prairieclover (Petalostemon purpureum)
- Russian Sage (Perovskia atriplicifolia)
- Paperflower (Polestrophe tagetina)
- Autumn or Cherry Sage (Salvia greggii)
- Silver Groundsel (Senecio longiflora)
- Scarlet Globemallow (Sphaeralcea coccinea)
- Fern Verbena (Verbena bipinnatifida)
- Purple Verbena (Verbena rigida)
- Western Yervain (Verbena wrightii)
- Hummingbird Plant (Zauschneria californica)
- Desert Zinnia (Zinnia grandiflora)

EVERGREEN SHRUBS

- Century Plant (Agave parryi)
- Pointleaf Manzanita (Arctostaphylos pungens)
- Threadleaf or Sand Sage (Artemisia filifolia)
- Big Sage (Artemisia tridentata)
- Fourwing Saltbush (Atriplex canescens)
- Desert Bloom (Baccharis salicina)
- Algeria (Berberis haenocarpa)
- Mountain Mahogany (Cercocarpus montanus)
- Cliffrose (Cowania mexicana)
- Scotch Broom (Cytisus scoparius)
- Sotol (Dasylirion wheeleri)
- Mormon Tea (Ephedra viridis)
- Turpentine Bush (Ericameria laricifolia)
- Spanish Bloom (Genista hispanica)
- Red Yucca (Hesperaloe parviflora)
- Creeping Oregon Grape (Mahonia repens)
- Beargrass (Nolina microcarpa)
- Dagger Spine Cholla (Opuntia clavata)
- Cholla (Opuntia imbricata)
- Prickly Pear (Opuntia phaeacantha)
- Antelope Bitterbush (Purshia tridentata)
- Desert Sage (Salvia domii)
- Lavender Cotton (Santolina chamaecyparissus)
- Spanish Broom (Spartium junceum)
- Arizona Rosewood (Vauquelinia californica)
- Dalil (Yucca baccata)
- Spowweed (Yucca glauca)

Location Map and Sheet Index
Zone Atlas Map No.'s in Quotes
NOT TO SCALE



RECORDING STAMP

200502583
02/25/05
Page: 1 of 12
05/05/2005 02:38P
Bernalillo Co. PLAT R 62.00 BK-2085C Pg-198

Mary Herrera

TREASURER'S CERTIFICATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # L-058 059-384 (71-4101) PROPERTY OWNER OF RECORD

Westland Development Co., Inc.
BERNALILLO COUNTY TREASURER'S OFFICE
P. Rodriguez 6/9/05

Subdivision Data:
GROSS SUBDIVISION ACREAGE: 530.7109 ACRES±
ZONE ATLAS INDEX NO: H-7, H-8, H-9, J-7 AND J-8
NO. OF TRACTS CREATED: 11
NO. OF LOTS CREATED: 139
MILES OF FULL-WIDTH STREETS CREATED: 1.6982 MILES
DATE OF SURVEY: MARCH 2005

Plat of
Watershed Subdivision
Albuquerque, Bernalillo County, New Mexico
May, 2005

Project No. 1003087

Application No. 05DRB-00838

- Utility Approvals**
- Lenard D. Mant
PNM ELECTRIC SERVICES 6-8-05 DATE
 - Lenard D. Mant
PNM GAS SERVICES 6-8-05 DATE
 - Michael Gray
QWEST COMMUNICATIONS, INC. 5-25-05 DATE
 - Yvonne Bonham
COMCAST 5-23-05 DATE

- City Approvals**
- J. B. J...
CITY SURVEYOR, DEPARTMENT OF MUNICIPAL DEVELOPMENT 5-17-05 DATE
 - Jeffrey...
TRAFFIC ENGINEERING TRANSPORTATION DIVISION 5-24-05 DATE
 - Roger A. Green
UTILITY DEVELOPMENT 6-9-05 DATE
 - Christina Sandoval
PARKS AND RECREATION DEPARTMENT 5/25/05 DATE
 - Lynn M. Meyer
AMAFCA 6-6-05 DATE
 - Bradley D. Bingham
CITY ENGINEER 5/25/05 DATE
 - L. Matson
DRB CHAIRPERSON, PLANNING DEPARTMENT 6/09/05 DATE

Notes:

- MISC. DATA: ZONING = SU-2 FOR PDA FOR RESIDENTIAL RESORT.
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTIONS 7, 8, 9, 17 AND 18 TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- S.P. NO. 2005120944.
- BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS PLAT IS DERIVED FROM THE BEARING BETWEEN NATIONAL GEODETIC SURVEY MONUMENTS "ANDY" AND "EAGLEAIR" OF N26°21'51"W.
- LOCATION OF PROJECTED SECTION LINES AS DELINEATED ARE APPROXIMATE AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- TRACTS "A" THROUGH "L" INCLUSIVE, ARE FUTURE LANDSCAPE TRACTS TO BE MAINTAINED BY THE PETROGLYPHS MANAGEMENT ASSOCIATION, INC.

Disclosure Statement

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING PARCEL INTO ELEVEN (11) NEW TRACTS AND ONE HUNDRED THIRTY NINE (139) NEW LOTS, TO DEDICATE RIGHT-OF-WAY, TO GRANT EASEMENTS, AND TO VACATE EASEMENTS.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF BURIED LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHT TO WHICH IT MAY BE ENTITLED.

Legal Description - See Sheet 2

Free Consent and Dedication

THE SUBDIVISION SHOWN HEREON IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER WARRANTS THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LANDS SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

By: Barbara Page 5-13-05
FRED AMBROGI
VICE-PRESIDENT
WESTLAND DEVELOPMENT CO., INC.
A NEW MEXICO CORPORATION

Acknowledgement

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 13 DAY OF MAY, 2005 BY
FRED AMBROGI, VICE-PRESIDENT, WESTLAND DEVELOPMENT COMPANY, INC., A NEW MEXICO CORPORATION, ON BEHALF OF SAID CORPORATION.

BY: Linda J. Blair
NOTARY PUBLIC

OFFICIAL SEAL:
LINDA J. BLAIR
NOTARY PUBLIC-STATE OF NEW MEXICO
Notary Bond Filed with Secretary of State
My Commission Expires 8/5/05

PREPARED BY:
PRECISION SURVEYS, INC.
8414-D JEFFERSON ST., N.E. PHOENIX 850 680 6700
ALBUQUERQUE, NEW MEXICO 87115 FAX 505 688 7800

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

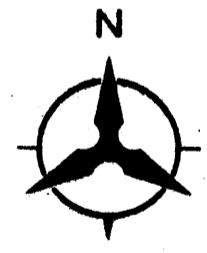
Larry W. Medrano 05/12/05
LARRY W. MEDRANO
N.M.P.S. No. 11993



PREPARED BY: PRECISION SURVEYS, INC.	SHEET TITLE: WATERSHED SUBDIVISION TITLE PAGE	DRAWN BY: KJS	CHECKED BY: LM	DATE: 4/29/05
PREPARED FOR: Westland Development Co., Inc.	PROJECT NO.:	SHEET NO.:	OF SHEETS:	
LOCATION: BERNALILLO COUNTY, NEW MEXICO	03 5444P	1	12	



NOTE FOR LOTS 47 - 58 IN THE WATERSHED SUBDIVISION: EACH INDIVIDUAL LOT (OF THOSE LOTS 47 - 58) IS REQUIRED TO SUBMIT A SEPARATE GRADING AND DRAINAGE PLAN TO THE CITY OF ALBUQUERQUE, PREPARED BY A NEW MEXICO PROFESSIONAL ENGINEER, PRIOR TO BUILDING PERMIT APPROVAL. EACH LOT SHALL PROVIDE AN ON-SITE RETENTION POND DESIGNED FOR THE 100 YR 6 HR STORM EVENT AND MAY NOT DISCHARGE STORM WATER TO THE PETROLYPH NATIONAL PARK.



SCALE: 1"=100'
(HORIZ.)

Bohannon & Huston

Courtyard | 7500 Jefferson St NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

WATERSHED SUBDIVISION AT WESTLAND
OVERALL GRADING PLAN

DESIGN REVIEW BOARD NO.	APPROVAL DATE	MO./DAY/YR.	MO./DAY/YR.
X X	___/___/___		
LAST DESIGN UPDATE			

CITY PROJECT NO. XXXXXX ZONE MAP NO. H-9 SHEET 1 OF 7

ENGINEER'S SEAL SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	ACS STATION	MARKED	CONTRACTOR	DATE
		WY18 = 4	KG	ALUM. CAP	
		N.M. STATE PLANE COORDINATES (CENTRAL ZONE)			
		GROUND-TO-GRID FACTOR = .999865556			
		NAD 1929 ELEVATION = 5732.892			
		ON PASEO DEL VULCAN = 0.91 MI NORTH			
		OF 1-40. 0.74 MI SOUTH OF POWER LINES 39.6'			
		NM OF CENTERLINE OF PASEO DEL VULCAN			



NO.	DATE	REVISIONS	BY
		DESIGN	JPP/JML
			BS
			KGP

DESIGNED BY: JPP/JML DATE: 4/2004
DRAWN BY: BS DATE: 4/2004
CHECKED BY: KGP DATE: 4/2004

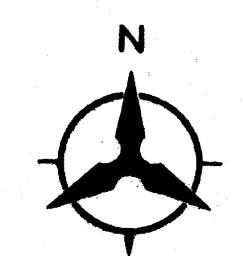


NOTE FOR LOTS 47 - 58 IN THE WATERSHED SUBDIVISION: EACH INDIVIDUAL LOT (OF THOSE LOTS 47 - 58) IS REQUIRED TO SUBMIT A SEPARATE GRADING AND DRAINAGE PLAN TO THE CITY OF ALBUQUERQUE, PREPARED BY A NEW MEXICO PROFESSIONAL ENGINEER, PRIOR TO BUILDING PERMIT APPROVAL. EACH LOT SHALL PROVIDE AN ONSITE RETENTION POND DESIGNED FOR THE 100 YR 6 HR STORM EVENT AND MAY NOT DISCHARGE STORM WATER TO THE PETROGLYPH NATIONAL PARK.

NOTE:
TEMPORARY DESILTATION POND SHALL BE BUILT ON EACH LOT (SEE SHEET 7 FOR DETAIL.)

LEGEND

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION 5235.25
- EXISTING CONTOUR
- PHASE BOUNDARY
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- GARDEN WALL
- POND CONTOUR
- PAD
- BERM



40 20 0 40
SCALE: 1"=40'
(HORIZ.)

Behanman & Huston

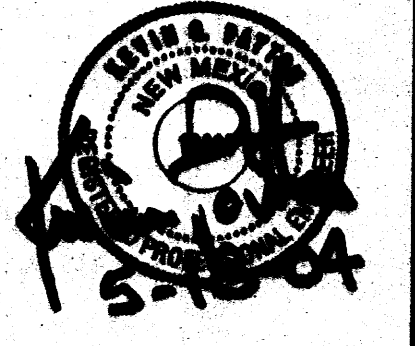
Copyright © 1980 Jefferson St. NE Albuquerque, NM 87109-4235
ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

WATERSHED SUBDIVISION AT WESTLAND
OVERALL GRADING PLAN

DESIGN REVIEW BOARD NO.	APPROVAL DATE	MO./DAY/YR.	MO./DAY/YR.
X X	/ /		
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
XXXXXX	H-9	3	7

ENGINEER'S SEAL SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE
		ACS STATION NAMED 4 - K6.3 - 1/4" ALUM. CAP		CONTRACTOR	
		NV18 = 4 - 46 GEODESIC POSITION (1927)		INSPECTOR'S	
		N.M. STATE PLANE COORDINATES (CENTRAL ZONE)		DATE	
		P=336.918, 47.171, 483.515, 05		DATE	
		GROUND TO GRID FACTOR = 0.999965356		DATE	
		NAVD 1929 ELEVATION = 5332.892		DATE	
		ON PASEO DEL VOLCAN, 0.91 MI NORTH		DATE	
		OF 1-40, 0.74 MI SOUTH OF POWER LINES, 39.6'		DATE	
		MM OF CENTRAL LINE OF PASEO DEL VOLCAN		DATE	



NO.	DATE	REMARKS
		DESIGN
		REVISIONS

*NOTES FOR LOTS 47 THROUGH 58 INCLUSIVE IN THE WATERSHED SUBDIVISION:
EACH INDIVIDUAL LOT (OF THOSE LOTS 47 THROUGH 58 INCLUSIVE) IS REQUIRED TO SUBMIT A SEPARATE GRADING AND DRAINAGE PLAN TO THE CITY OF ALBUQUERQUE, PREPARED BY A NEW MEXICO PROFESSIONAL ENGINEER, PRIOR TO BUILDING PERMIT APPROVAL. EACH LOT SHALL PROVIDE AN ONSITE RETENTION POND DESIGNED FOR THE 100 YEAR 6 HOUR STORM EVENT AND MAY NOT DISCHARGE STORM WATER TO THE PETROGLYPH NATIONAL PARK.

PETROGLYPH NATIONAL MONUMENT

SEE SHEET 3 FOR COMPLETE MONUMENT INFORMATION

NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED "WEAVER", FOUND AND USED. SEE SHEET 3 FOR WITNESS CORNER DETAILS

TRACT A COLLEGE ZONE 2 WEST RESERVOIR SITE (12/13/99, 99C-333)

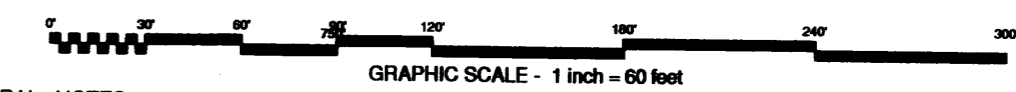
NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED "WEAVER", FOUND AND USED.

NO. 5 REBAR WITH UNSTAMPED YELLOW PLASTIC CAP, FOUND AND USED.

TRACT L PARK 79108± SQ. FT. 1.8161± ACRES
L=98.45' Δ=32°04'04" R=175.90' CH=N 16°02'02" W 97.17'

RECORDING STAMP

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Page: 5 of 12
06/09/2005 02:30P
Mary Herrera Bernalillo Co. PLRT R 62.00 Bk-2865C Pg-198



- GENERAL NOTES
- MISC. DATA: ZONING = SU-2 FOR PDA FOR RESIDENTIAL RESORT.
 - BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE-NAID 1983).
 - ALL DISTANCES ARE GROUND DISTANCES - U.S. SURVEY FOOT.
 - BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS PLAT IS DERIVED FROM THE BEARING BETWEEN NATIONAL GEODETIC SURVEY MONUMENTS "ANDY" AND "EAGLE" OF N26°21'51" W.
 - LOCATION OF PROJECTED SECTION LINES ARE APPROXIMATE AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
 - THIS PROPERTY LIES WITHIN PROJECTED SECTIONS 7, 8, 9, 17 AND 18, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., WITHIN THE TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
 - SEE SHEET 3 OF 12 FOR TRACT INFORMATION AND SHEETS 9 THROUGH 12 OF 12 FOR DETAILED EASEMENT INFORMATION.
 - ALL STREETS SHOWN HEREON ARE DEDICATED FOR ROADWAY PURPOSES TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS BY THIS PLAT.
 - A 10' WIDE PUBLIC UTILITY EASEMENT IS GRANTED ADJACENT TO ALL STREET RIGHT-OF-WAY LINES BY THIS PLAT.
 - SEE SHEET 8 OF 12 FOR CURVE AND LINE CHARTS.

- LEGEND
- △ DENOTES FOUND AND USED ALBUQUERQUE CONTROL SURVEY OR NATIONAL GEODETIC SURVEY MONUMENTS.
 - ▲ 4" DIA ALUMINUM CL MONUMENT STAMPED P.S. 11993 SET THIS SURVEY.
 - 2" DIA BUREAU OF LAND MANAGEMENT BRASS CAP FOUND AND USED.
 - NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED P.S. 11993 SET THIS SURVEY.
 - NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED P.S. 11993 FOUND AND USED.
 - CORNER FOUND AND USED AS NOTED.

SEE SHEET 3 FOR COMPLETE MONUMENT INFORMATION

TRACT N WATERSHED SUBDIVISION SEE SHEET 3

SEE SHEET 4

SEE SHEET 6

SEE SHEET 6

SEE SHEET 4

PRECISION SURVEYS, INC.

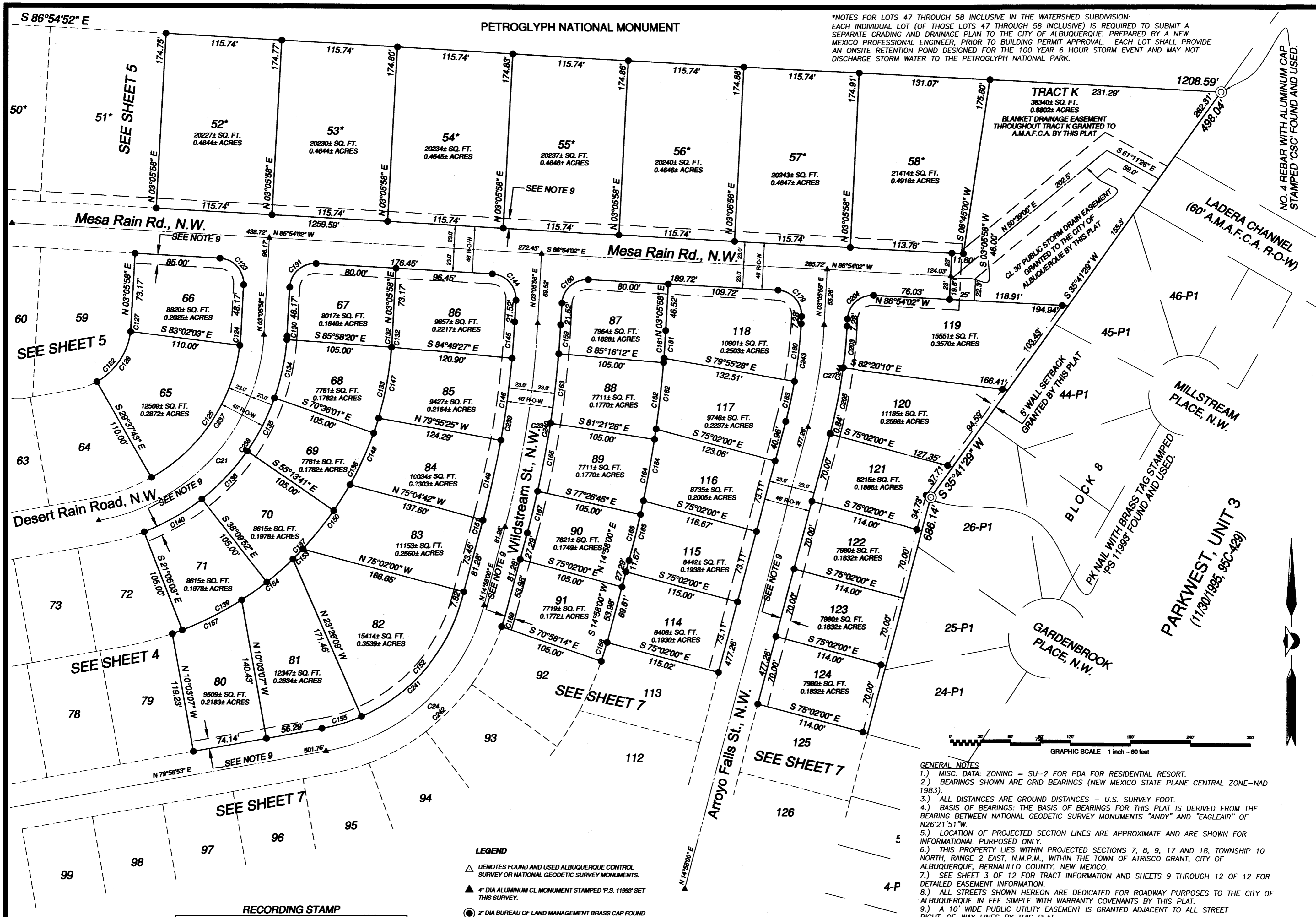
PREPARED BY:
PRECISION SURVEYS, INC.
8414-D JEFFERSON ST., N.E. PHONE 505 898 6700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 898 7800

SHEET TITLE:
WATERSHED SUBDIVISION LOT DETAILS
DRAWN BY: **KJS** CHECKED BY: **LM** DATE: **4/29/05**
PROJECT NO.: **03 5444P** SHEET NO.: **5** OF SHEETS: **12**

LOCATOR:
Westland Development Co., Inc.
BERNALILLO COUNTY, NEW MEXICO

PETROGLYPH NATIONAL MONUMENT

*NOTES FOR LOTS 47 THROUGH 58 INCLUSIVE IN THE WATERSHED SUBDIVISION:
EACH INDIVIDUAL LOT (OF THOSE LOTS 47 THROUGH 58 INCLUSIVE) IS REQUIRED TO SUBMIT A SEPARATE GRADING AND DRAINAGE PLAN TO THE CITY OF ALBUQUERQUE, PREPARED BY A NEW MEXICO PROFESSIONAL ENGINEER, PRIOR TO BUILDING PERMIT APPROVAL. EACH LOT SHALL PROVIDE AN ONSITE RETENTION POND DESIGNED FOR THE 100 YEAR 6 HOUR STORM EVENT AND MAY NOT DISCHARGE STORM WATER TO THE PETROGLYPH NATIONAL PARK.



SEE SHEET 5

SEE SHEET 5

SEE SHEET 4

SEE SHEET 7

SEE SHEET 7

SEE SHEET 7

LEGEND

- ▲ DENOTES FOUND AND USED ALBUQUERQUE CONTROL SURVEY OR NATIONAL GEODETIC SURVEY MONUMENTS.
- ▲ 4" DIA ALUMINUM CL MONUMENT STAMPED P.S. 11993 SET THIS SURVEY.
- 2" DIA BUREAU OF LAND MANAGEMENT BRASS CAP FOUND AND USED.
- NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED P.S. 11993 SET THIS SURVEY.
- NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED P.S. 11993 FOUND AND USED.
- CORNER FOUND AND USED AS NOTED.

RECORDING STAMP

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Page: 6 of 12
06/09/2005 02:38P
Bl-2065C Pg-198

Mary Herrera Bern. Co. PLRT R 62.00



GENERAL NOTES

- 1.) MISC. DATA: ZONING = SU-2 FOR PDA FOR RESIDENTIAL RESORT.
- 2.) BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE-NAD 1983).
- 3.) ALL DISTANCES ARE GROUND DISTANCES - U.S. SURVEY FOOT.
- 4.) BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS PLAT IS DERIVED FROM THE BEARING BETWEEN NATIONAL GEODETIC SURVEY MONUMENTS "ANDY" AND "EAGLEAIR" OF N26°21'51"W.
- 5.) LOCATION OF PROJECTED SECTION LINES ARE APPROXIMATE AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- 6.) THIS PROPERTY LIES WITHIN PROJECTED SECTIONS 7, 8, 9, 17 AND 18, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., WITHIN THE TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- 7.) SEE SHEET 3 OF 12 FOR TRACT INFORMATION AND SHEETS 9 THROUGH 12 OF 12 FOR DETAILED EASEMENT INFORMATION.
- 8.) ALL STREETS SHOWN HEREON ARE DEDICATED FOR ROADWAY PURPOSES TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS BY THIS PLAT.
- 9.) A 10' WIDE PUBLIC UTILITY EASEMENT IS GRANTED ADJACENT TO ALL STREET RIGHT-OF-WAY LINES BY THIS PLAT.
- 10.) SEE SHEET 8 OF 12 FOR CURVE AND LINE CHARTS.

PRECISION SURVEYS, INC.

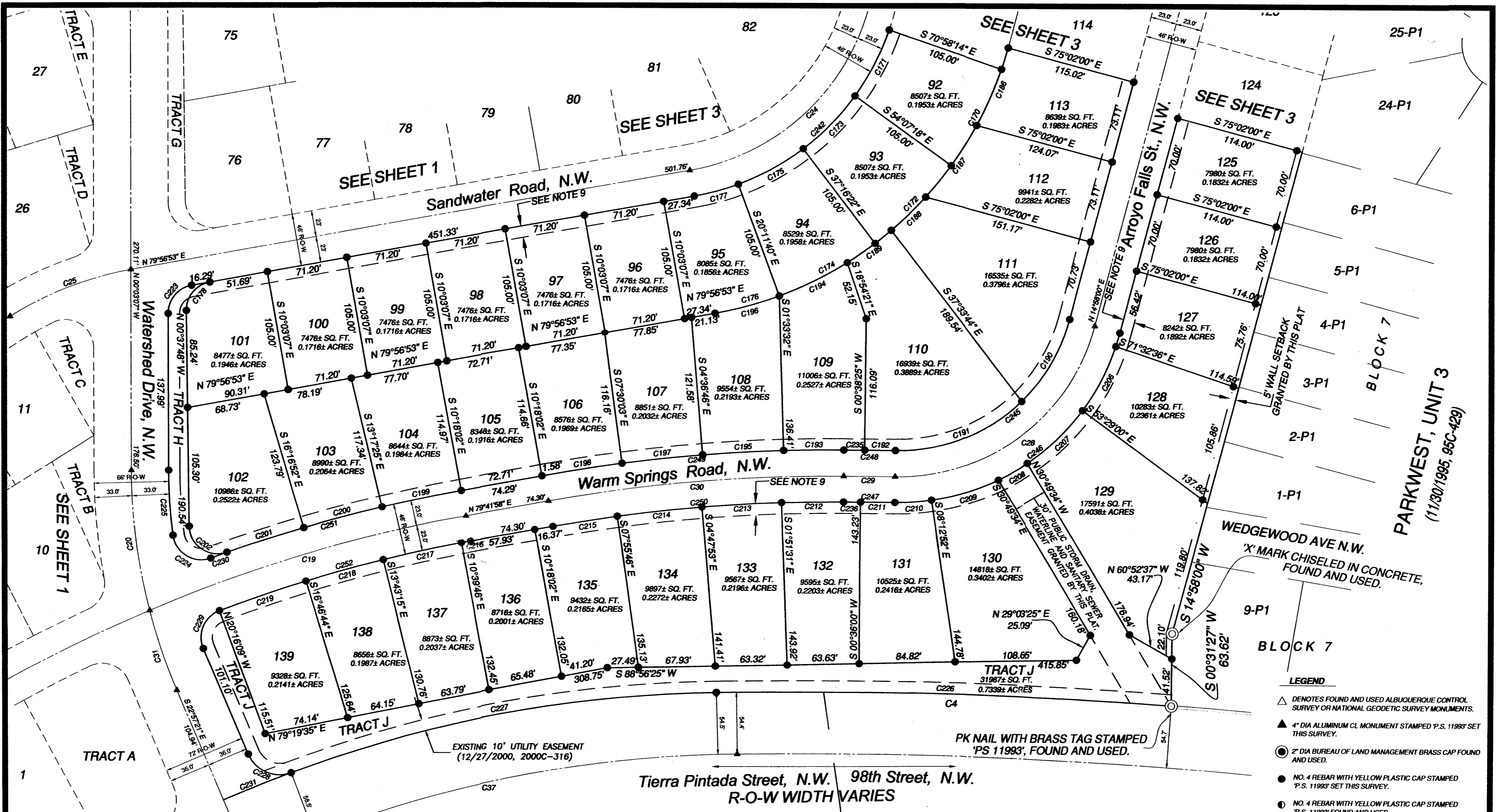
PREPARED BY:
PRECISION SURVEYS, INC.
8414-D JEFFERSON ST., N.E. PHONE 505 890 6700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 890 7800

SHEET TITLE:
WATERSHED SUBDIVISION LOT DETAILS

APPROVED FOR:
Westland Development Co., Inc.

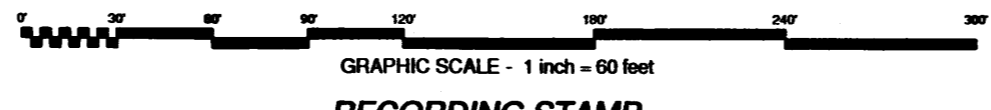
LOCATION:
BERNALILLO COUNTY, NEW MEXICO

DRAWN BY: KJS	CHECKED BY: LM	DATE: 4/29/05
PROJECT NO.:	SHEET NO.:	OF SHEETS:
03 5444P	6	12



- LEGEND**
- △ DENOTES FOUND AND USED ALBUQUERQUE CONTROL SURVEY OR NATIONAL GEODETIC SURVEY MONUMENTS.
 - ▲ 4" DIA ALUMINUM CL. MONUMENT STAMPED 'P.S. 11993' SET THIS SURVEY.
 - 2" DIA BUREAU OF LAND MANAGEMENT BRASS CAP FOUND AND USED.
 - NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED 'P.S. 11993' SET THIS SURVEY.
 - NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED 'P.S. 11993' FOUND AND USED.
 - CORNER FOUND AND USED AS NOTED.

- GENERAL NOTES**
- 1.) MISC. DATA: ZONING = SU-2 FOR PDA FOR RESIDENTIAL RESORT.
 - 2.) BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE-NAD 1983).
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 - 7.) SEE SHEET 3 OF 12 FOR TRACT INFORMATION AND SHEETS 9 THROUGH 12 OF 12 FOR DETAILED EASEMENT INFORMATION.
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 - 9.) A 10' WIDE PUBLIC UTILITY EASEMENT IS GRANTED ADJACENT TO ALL STREET RIGHT-OF-WAY LINES BY THIS PLAT.
 - 10.) SEE SHEET 8 OF 12 FOR CURVE AND LINE CHARTS.
 - 11.) TRACTS 'A' THROUGH 'L' INCLUSIVE, ARE FUTURE LANDSCAPE TRACTS TO BE MAINTAINED BY THE PETROGLYPHS MANAGEMENT ASSOCIATION, INC.



RECORDING STAMP

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 Page: 7 of 12
 05/09/2005 02:30P
 Bl-2005C Pg-136

Mary Herrera Bern. Co. PLRT R 62.00 Bl-2005C Pg-136

PREPARED BY:
PRECISION SURVEYS, INC.
 8414-D JEFFERSON ST., N.E. PHONE 805 898 5700
 ALBUQUERQUE, NEW MEXICO 87115 FAX 805 898 7800

SHEET TITLE WATERSHED SUBDIVISION LOT DETAILS		DRAWN BY KJS	CHECKED BY LM	DATE 4/29/05
PREPARED FOR Westland Development Co., Inc.		PROJECT NO. 03 5444P	SHEET NO. 7	OF SHEETS 12
LOCATION BERNALILLO COUNTY, NEW MEXICO				

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	4922.00'	705.05'	704.45'	N 85°07'43" W	08°12'26"
C2	8910.00'	944.76'	944.31'	N 77°59'14" W	06°04'31"
C3	9090.00'	1130.83'	1130.10'	N 78°30'49" W	07°07'40"
C4	4646.34'	403.87'	403.75'	N 88°28'47" W	04°58'49"
C5	1153.00'	1125.00'	1080.90'	S 61°04'40" W	55°54'15"
C6	1252.00'	352.55'	351.39'	S 25°03'32" W	16°08'02"
C7	2848.00'	2154.58'	2103.56'	S 36°51'06" W	43°20'44"
C8	2964.00'	637.18'	635.96'	S 52°21'57" W	12°19'02"
C9	1164.00'	502.80'	498.90'	S 33°49'57" W	24°44'59"
C10	100.00'	135.24'	125.17'	S 60°12'03" W	77°29'11"
C11	5090.00'	726.36'	725.75'	N 85°08'39" W	08°10'35"
C12	1153.00'	946.88'	920.49'	N 65°30'13" E	47°03'10"
C13	30.00'	45.11'	40.98'	S 01°06'05" E	86°09'25"
C14	423.00'	127.70'	127.22'	S 35°31'51" E	17°17'51"
C15	523.00'	198.96'	197.76'	S 15°59'02" E	21°47'48"
C16	10.00'	15.71'	14.14'	S 50°05'08" E	90°00'00"
C17	1252.00'	159.11'	159.00'	N 29°29'06" E	07°16'53"
C18	1153.00'	178.12'	177.94'	N 37°33'05" E	08°51'05"
C19	1349.40'	292.53'	291.95'	S 73°29'21" E	12°25'15"
C20	500.00'	125.48'	125.15'	N 07°14'28" W	14°22'43"
C21	200.00'	268.25'	248.59'	S 41°31'26" W	76°50'55"
C22	600.00'	229.96'	228.55'	S 68°58'06" E	21°57'33"
C23	1000.00'	207.12'	206.75'	S 09°01'59" W	11°52'02"
C24	200.00'	226.83'	214.87'	S 47°27'26" W	64°58'53"
C25	300.00'	114.99'	114.28'	S 68°58'09" E	21°57'38"
C26	1500.00'	134.27'	134.23'	S 60°33'12" W	05°07'44"
C27	500.00'	103.56'	103.38'	S 09°01'59" W	11°52'02"
C28	180.00'	238.74'	221.62'	S 52°57'47" W	75°59'33"
C29	4845.13'	45.49'	45.49'	N 89°18'35" E	00°32'16"
C30	1399.00'	262.43'	262.04'	S 85°02'51" E	10°44'51"
C31	500.00'	74.40'	74.33'	N 18°41'35" W	08°31'31"
C32	500.00'	190.21'	189.07'	S 15°59'02" W	21°47'48"
C33	400.00'	120.76'	120.30'	S 35°31'52" W	17°17'51"
C34	300.00'	143.65'	142.28'	S 71°42'22" W	27°26'03"
C35	1349.40'	505.87'	502.91'	S 56°32'21" E	21°28'46"
C36	1100.00'	410.83'	408.44'	N 55°24'16" E	21°23'55"
C37	1100.00'	445.28'	442.25'	S 77°42'02" E	23°11'36"
C38	25.00'	40.44'	36.17'	N 69°17'57" W	92°41'12"
C39	30.00'	45.27'	41.10'	S 20°16'31" W	86°27'45"
C40	1153.00'	304.52'	303.64'	N 55°56'25" E	15°07'57"
C41	30.00'	45.79'	41.47'	S 87°54'10" W	87°26'47"
C42	25.00'	40.43'	36.17'	N 02°09'10" E	92°39'53"
C43	1326.40'	367.45'	366.27'	S 56°25'17" E	15°52'21"
C44	1326.40'	65.56'	65.55'	S 62°56'30" W	02°49'54"
C45	1184.63'	290.26'	289.53'	S 33°35'05" W	14°02'19"
C46	1326.40'	81.87'	81.86'	N 59°45'27" E	03°32'12"
C47	1184.63'	73.67'	73.66'	S 58°49'21" W	03°33'48"
C48	1326.40'	80.80'	80.79'	N 56°14'38" E	03°29'25"
C49	1184.63'	72.63'	72.62'	S 55°17'04" W	03°30'47"
C50	1326.40'	80.80'	80.79'	N 52°45'14" E	03°29'25"
C51	1184.63'	72.56'	72.55'	S 51°46'24" W	03°30'34"
C52	1184.63'	71.40'	71.39'	S 48°17'32" W	03°27'12"
C53	1326.40'	58.42'	58.42'	N 49°44'49" E	02°31'25"
C54	25.00'	38.42'	34.75'	N 88°12'20" W	88°03'06"
C55	1372.40'	53.22'	53.21'	S 48°52'46" W	02°13'18"
C56	1372.40'	77.71'	77.70'	S 51°36'44" W	03°14'39"
C57	1372.40'	77.71'	77.70'	S 54°51'24" W	03°14'39"
C58	1372.40'	77.71'	77.70'	S 58°06'03" W	03°14'39"
C59	1372.40'	77.71'	77.70'	S 61°20'42" W	03°14'39"
C60	1372.40'	53.82'	53.82'	S 64°05'26" W	02°14'49"
C61	25.00'	32.99'	30.65'	S 27°24'51" W	75°35'59"
C62	533.00'	96.15'	96.02'	S 05°13'11" E	10°20'09"
C63	1628.00'	11.67'	11.67'	N 58°11'39" E	00°24'38"
C64	1628.00'	84.87'	84.86'	N 59°53'34" E	02°59'13"
C65	1628.00'	14.27'	14.27'	N 61°38'15" E	00°30'07"
C66	377.00'	18.25'	18.25'	N 42°47'33" W	02°46'27"
C67	25.00'	50.57'	42.38'	S 58°00'13" E	115°54'12"
C68	1628.00'	29.19'	29.19'	S 58°30'09" W	01°01'38"
C69	1628.00'	81.61'	81.60'	S 60°27'08" W	02°52'20"
C70	377.00'	95.56'	95.31'	N 34°08'38" W	14°31'24"
C71	25.00'	39.27'	35.36'	N 18°07'04" E	90°00'00"
C72	1523.00'	32.68'	32.68'	N 62°30'11" E	01°13'46"
C73	1523.00'	76.35'	76.34'	N 60°27'08" E	02°52'20"
C74	1523.00'	27.31'	27.31'	N 58°30'09" E	01°01'38"
C75	477.00'	111.60'	111.35'	N 18°28'17" W	13°24'18"
C76	25.00'	40.02'	35.88'	N 71°01'41" W	91°42'30"
C77	1477.00'	15.55'	15.55'	S 62°48'58" W	00°36'12"
C78	1477.00'	69.73'	69.72'	S 61°09'43" W	02°42'17"
C79	428.00'	63.83'	63.77'	N 77°29'02" E	08°32'42"
C80	428.00'	65.25'	65.18'	N 68°50'39" E	08°44'04"
C81	428.00'	48.47'	48.44'	N 61°13'59" E	06°29'17"
C82	1477.00'	48.94'	46.93'	S 58°53'57" W	01°49'15"
C83	323.00'	64.75'	64.64'	S 65°45'48" W	11°29'09"
C84	25.00'	17.91'	17.53'	S 50°59'01" W	41°02'43"
C85	25.00'	13.31'	13.16'	N 15°12'16" E	30°30'47"
C86	25.00'	44.86'	39.08'	S 51°27'46" E	102°49'17"
C87	428.00'	80.82'	80.70'	S 63°23'54" W	10°49'09"
C88	428.00'	96.73'	96.52'	S 75°16'56" W	12°56'55"
C89	477.00'	55.64'	55.61'	N 08°25'38" W	06°41'00"
C90	25.00'	36.00'	32.97'	N 36°10'18" E	82°30'52"
C91	323.00'	48.60'	48.55'	N 73°07'06" E	08°37'15"
C92	323.00'	60.99'	60.90'	N 63°23'54" E	10°49'09"
C93	577.00'	28.00'	28.00'	N 59°22'44" E	02°46'49"
C94	577.00'	83.36'	83.28'	N 64°54'28" E	08°16'38"
C95	577.00'	81.37'	81.31'	N 73°05'11" E	08°04'49"

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C96	472.00'	17.96'	17.96'	S 61°48'38" W	02°10'48"
C97	472.00'	22.50'	22.50'	S 59°21'17" W	02°43'54"
C98	1372.40'	417.87'	416.26'	S 56°29'28" E	17°26'44"
C99	377.00'	113.82'	113.38'	S 35°31'51" W	17°17'51"
C100	1523.00'	136.33'	136.29'	N 60°33'12" W	05°07'44"
C101	277.00'	29.28'	29.26'	N 61°01'01" E	06°03'21"
C102	277.00'	17.98'	17.98'	N 62°11'07" E	03°43'08"
C103	277.00'	11.30'	11.30'	N 59°09'27" E	02°20'13"
C104	323.00'	11.45'	11.45'	S 59°00'17" W	02°01'53"
C105	323.00'	109.59'	109.07'	S 67°42'32" W	19°26'24"
C106	577.00'	192.73'	191.83'	N 67°33'28" E	19°08'16"
C107	25.00'	31.22'	29.23'	S 35°43'38" W	71°33'30"
C108	323.00'	76.20'	76.03'	N 64°44'51" E	13°31'03"
C109	1477.00'	132.22'	132.17'	S 60°33'12" W	05°07'44"
C110	477.00'	167.24'	166.38'	N 15°07'47" W	20°05'18"
C111	10.00'	15.71'	14.14'	N 39°54'52" E	90°00'00"
C112	25.00'	43.79'	38.40'	N 55°16'04" W	100°21'51"
C113	277.00'	80.07'	79.79'	S 66°16'10" W	16°33'41"
C114	623.00'	229.02'	227.73'	S 68°31'13" W	21°03'45"
C115	25.00'	34.52'	31.84'	S 39°29'59" W	79°06'12"
C116	20.00'	31.28'	28.19'	S 44°51'21" E	89°36'27"
C117	20.00'	31.55'	28.38'	S 45°08'40" W	90°23'33"
C118	25.00'	37.89'	34.37'	S 43°28'34" E	86°50'55"
C119	30.00'	38.78'	36.14'	N 85°24'20" E	74°03'48"
C120	30.00'	7.01'	6.99'	N 50°52'16" W	13°22'59"
C121	25.00'	40.64'	36.31'	N 46°31'26" E	93°09'05"
C122	67.00'	89.86'	83.28'	S 41°31'26" W	76°50'55"
C123	25.00'	39.27'	35.36'	S 41°54'02" E	90°00'00"
C124	177.00'	11.94'	11.94'	S 05°01'58" W	03°51'59"
C125	177.00'	164.98'	159.07'	S 33°40'07" W	53°24'20"
C126	177.00'	60.48'	60.18'	S 70°09'35" W	19°34'36"
C127	67.00'	4.52'	4.52'	N 05°01'58" E	03°51'59"
C128	67.00'	62.45'	60.21'	N 33°40'07" E	53°24'20"
C129	67.00'	22.89'	22.78'	N 70°09'35" E	19°34'36"
C130	223.00'	3.61'	3.61'	N 03°33'49" E	00°55'42"
C131	25.00'	39.27'	35.36'	N 48°05'58" E	90°00'00"
C132	328.00'	5.31'	5.31'	S 03°33'49" W	00°55'42"
C133	328.00'	88.00'	87.74'	S 11°42'49" W	15°22'20"
C134	223.00'	59.83'	59.65'	N 11°42'49" E	15°22'20"
C135	223.00'	59.83'	59.65'	N 27°05'09" E	15°22'20"
C136	328.00'	88.00'	87.74'	S 27°05'09" W	15°22'20"
C137	328.00'	97.68'	97.32'	S 43°18'13" W	17°03'49"
C138	223.00'	66.41'	66.17'	N 43°18'13" E	17°03'49"
C139	328.00'	97.68'	97.32'	S 60°22'03" W	17°03'49"
C140	223.00'	66.41'	66.17'	N 60°22'03" E	17°03'49"
C141	223.00'	43.00'	42.94'	N 74°25'25" E	11°02'56"
C142	328.00'	63.25'	63.15'	S 74°25'25" W	11°02'56"
C143	25.00'	35.16'	32.33'	N 39°39'33" E	80°34'41"
C144	25.00'	39.27'	35.36'	S 41°54'02" E	90°00'00"
C145	977.00'	36.35'	36.34'	S 04°09'55" W	02°07'54"
C146	977.00'	82.62'	82.60'	S 07°39'13" W	04°50'43"
C147	328.00'	72.34'	72.20'	N 10°20'46" E	12°38'13"
C148	328.00'	72.90'	72.75'	N 23°01'56" E	12°44'05"
C149	977.00'	82.62'	82.60'	S 12°29'56" W	04°50'43"
C150	328.00'	79.80'	79.60'	N 36°22'10" E	13°56'22"
C151	976.93'	0.77'	0.77'	S 14°56'39" W	00°02'42"
C152	177.00'	159.40'	154.06'	S 40°45'56" W	51°35'51"
C153	328.00'	13.99'	13.99'	N 44°33'40" E	02°26'38"
C154	328.00'	65.58'	65.47'	N 51°30'39" E	11°27'21"
C155	177.00'	41.35'	41.25'	S 73°15'22" W	13°23'02"
C156	25.00'	43.38'	38.14'	N 50°20'27" W	99°25'19"
C157	328.00'	77.29'	77.11'	N 63°59'23" E	13°30'07"
C158	328.00'	52.71'	52.65'	N 75°20'40" E	09°12'27"
C159	1023.00'	29.11'	29.11'	N 03°54'53" E	01°37'50"
C160	25.00'	39.27'	35.36'	N 48°05'58" E	90°00'00"
C161	1128.00'	32.10'	32.10'	S 03°54'53" W	01°37'50"
C162	1128.00'	77.02'	77.00'	S 06°41'10" W	03°54'44"
C163	1023.00'	69.85'	69.84'	N 06°41'10" E	03°54'44"
C164	1128.00'	77.02'	77.00'	S 10°35'54" W	03°54'44"
C165	1023.00'	69.85'	69.84'	N 10°35'54" E	03°54'44"
C166	1128.00'	47.49'	47.49'	S 13°45'38" W	02°24'45"
C167	1023.00'	43.07'	43.		

7 8
18 17

Projected Section Line

PETROGLYPH NATIONAL MONUMENT

TRACT P
3,864,271 SQ. FT.±
88.7115 ACRES±

Projected Section Line

TRACT N
15,148,143 SQ. FT.±
347.7535 ACRES±

EXISTING 50' WIDE FLOATING ACCESS EASEMENT FOR THE BENEFIT OF A.M.A.F.C.A. AND THE NATIONAL PARK SERVICE. MAINTENANCE RESPONSIBILITY IS WITH BENEFICIARIES. (BOOK 2000C, PAGE 316, DECEMBER 27, 2000)

EXISTING TEMPORARY FLOOD PLAN EASEMENT GRANTED TO A.M.A.F.C.A. (BOOK 2000C, PAGE 316, DECEMBER 27, 2000)

EXISTING TEMPORARY FLOOD PLAN EASEMENT GRANTED TO A.M.A.F.C.A. (BOOK 2000C, PAGE 316, DECEMBER 27, 2000)

TIERRA PINTADA STREET N.W.

ARROYO VISTA BLVD.

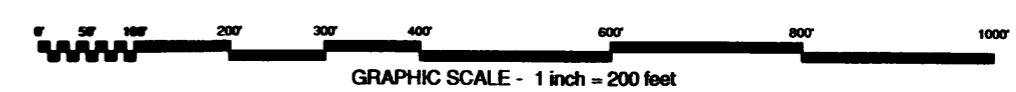
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
E-L1	N 61°20'53" W	230.37'	E-L31	N 10°08'19" W	125.12'	E-L61	S 62°29'05" E	150.00'
E-L2	N 81°03'57" W	155.28'	E-L32	S 47°49'59" E	127.78'	E-L62	S 71°29'58" E	150.00'
E-L3	S 84°35'45" W	210.17'	E-L33	S 71°35'22" E	118.38'	E-L63	S 85°04'35" E	150.00'
E-L4	S 46°23'18" W	264.65'	E-L34	S 83°57'16" E	146.18'	E-L64	S 88°41'20" E	150.00'
E-L5	S 89°25'33" W	212.83'	E-L35	S 55°29'52" E	205.79'	E-L65	S 78°58'47" E	150.00'
E-L6	N 63°33'46" W	256.73'	E-L36	S 47°02'35" E	222.69'	E-L66	S 66°08'55" E	75.00'
E-L7	N 51°58'13" W	225.29'	E-L37	S 63°28'03" E	137.86'	E-L67	S 49°43'21" E	277.92'
E-L8	N 86°25'43" W	176.54'	E-L38	S 70°20'33" E	287.67'	E-L68	S 89°40'19" E	403.46'
E-L9	S 80°10'48" W	167.64'	E-L39	N 89°12'58" E	131.61'	E-L69	S 54°56'33" W	43.79'
E-L10	S 89°06'22" W	140.97'	E-L40	S 80°01'44" E	317.55'	E-L70	S 62°27'51" W	158.09'
E-L11	N 79°27'13" W	132.18'	E-L41	N 74°40'14" E	116.47'	E-L71	S 85°36'27" W	121.85'
E-L12	N 04°58'36" W	50.78'	E-L42	N 14°03'19" E	108.83'	E-L72	N 83°07'40" W	90.99'
E-L13	S 80°55'20" E	111.52'	E-L43	N 24°12'34" W	236.32'	E-L73	N 61°43'59" W	137.94'
E-L14	S 73°09'51" E	75.94'	E-L44	N 69°04'17" W	221.66'	E-L74	N 84°34'02" W	65.71'
E-L15	N 86°38'17" E	37.51'	E-L45	N 37°36'28" W	72.18'	E-L75	N 64°34'05" W	36.22'
E-L16	N 66°44'56" E	174.18'	E-L46	N 60°27'25" W	93.67'	E-L76	N 86°16'26" W	71.80'
E-L17	N 75°43'09" E	115.91'	E-L47	N 68°46'37" E	42.53'	E-L77	N 69°28'14" W	79.83'
E-L18	S 76°28'57" E	122.32'	E-L48	S 69°08'53" E	228.61'	E-L78	N 49°23'15" W	176.92'
E-L19	S 60°19'41" E	413.18'	E-L49	S 59°10'54" E	197.47'	E-L79	N 81°50'45" W	141.06'
E-L20	N 88°21'57" E	154.24'	E-L50	S 09°28'32" E	160.54'	E-L80	N 81°01'30" W	757.82'
E-L21	N 41°27'50" E	149.68'	E-L51	S 20°34'58" E	75.18'			
E-L22	N 29°17'00" W	63.04'	E-L52	S 49°54'16" E	146.84'			
E-L23	N 86°19'50" W	240.56'	E-L53	S 73°01'55" E	82.90'			
E-L24	N 82°28'05" W	142.96'	E-L54	S 30°10'36" E	157.74'			
E-L25	N 65°39'37" W	282.83'	E-L55	N 86°18'50" E	68.42'			
E-L26	N 47°09'42" W	168.20'	E-L56	N 50°06'13" E	123.44'			
E-L27	N 63°55'05" W	125.06'	E-L57	S 83°48'19" E	191.64'			
E-L28	N 23°22'07" W	105.43'	E-L58	S 46°12'26" W	174.05'			
E-L29	N 59°52'31" W	188.43'	E-L59	S 51°09'03" E	400.00'			
E-L30	N 84°42'24" W	214.55'	E-L60	S 56°21'52" E	150.00'			

GENERAL NOTES

- 1.) THE SOLE PURPOSE OF THIS SHEET IS TO SHOW EASEMENT DETAILS.
- 2.) FOR COMPLETE LOT LINE INFORMATION SEE SHEETS 3 THROUGH 8.

RECORDING STAMP

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Page: 9 of 12
06/09/2005 02:30P
Mary Herrera Bern. Co. PLAT R 62.00 Bk-2865C Pg-198



PRECISION SURVEYS, INC.

PREPARED BY: **PRECISION SURVEYS, INC.**
8414-D JEFFERSON ST., N.E. ALBUQUERQUE, NEW MEXICO 87113 PHONE 505 888 6700 FAX 505 888 7800

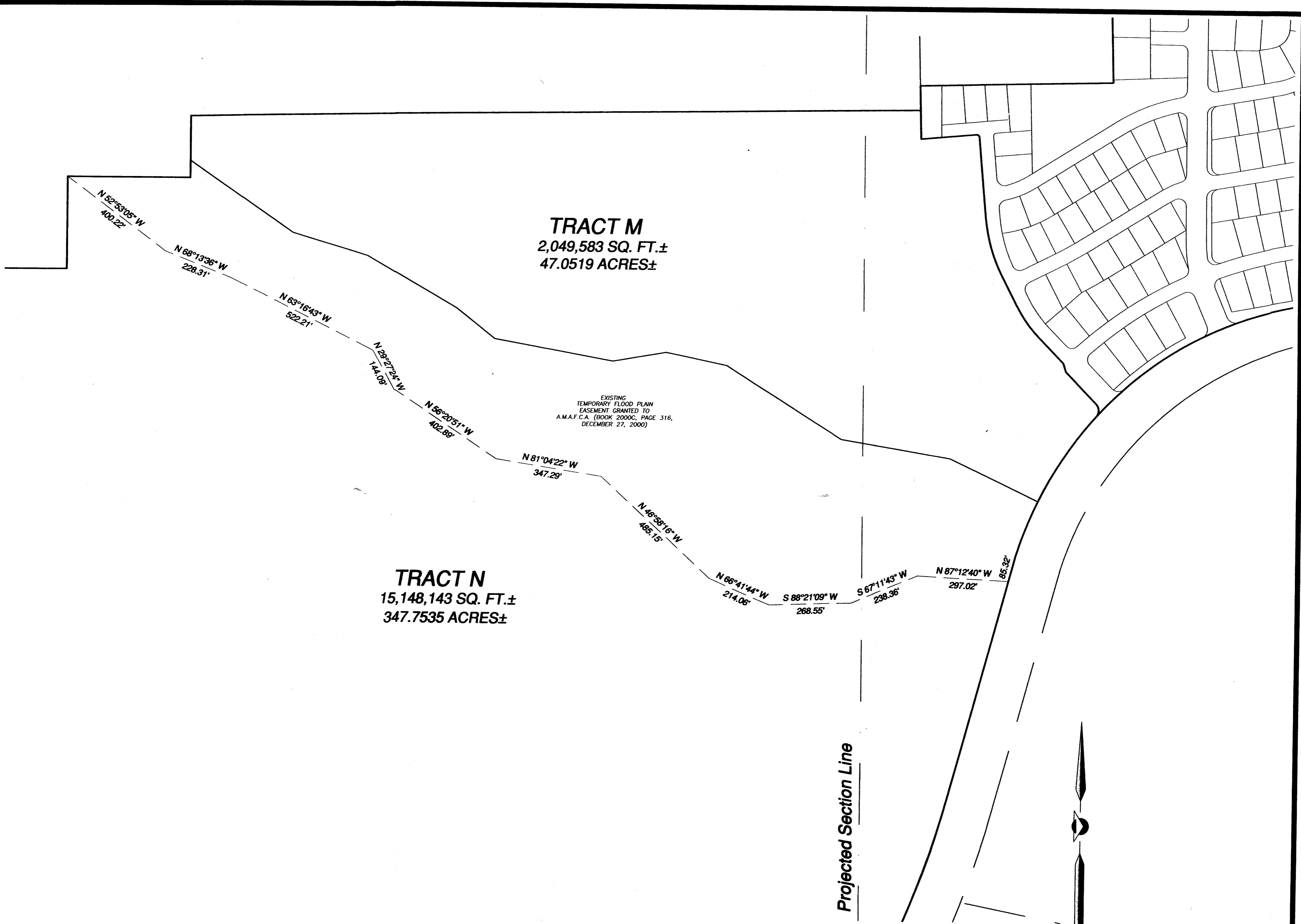
SHEET TITLE: **TRACT EASEMENT DETAIL**

PREPARED FOR: **Westland Development Co., Inc.**

LOCATION: **BERNALILLO COUNTY, NEW MEXICO**

DRAWN BY: **KJS** CHECKED BY: **LM** DATE: **4/29/05**

PROJECT NO.: **03 5444P** SHEET NO.: **9** OF SHEETS: **12**



GENERAL NOTES

- 1.) THE SOLE PURPOSE OF THIS SHEET IS TO SHOW EASEMENT DETAILS.
- 2.) FOR COMPLETE LOT LINE INFORMATION SEE SHEETS 3 THROUGH 8.
- 3.) TRACTS 'A' THROUGH 'L' INCLUSIVE, ARE FUTURE LANDSCAPE TRACTS TO MAINTAINED BY THE PETROGLYPHS MANAGEMENT ASSOCIATION, INC.

RECORDING STAMP

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6276231
Page: 10 of 12
06/09/2005 02:30P
BA-2005C Pg-198

Mary Herrera Bern. Co. PLRT R 62.00

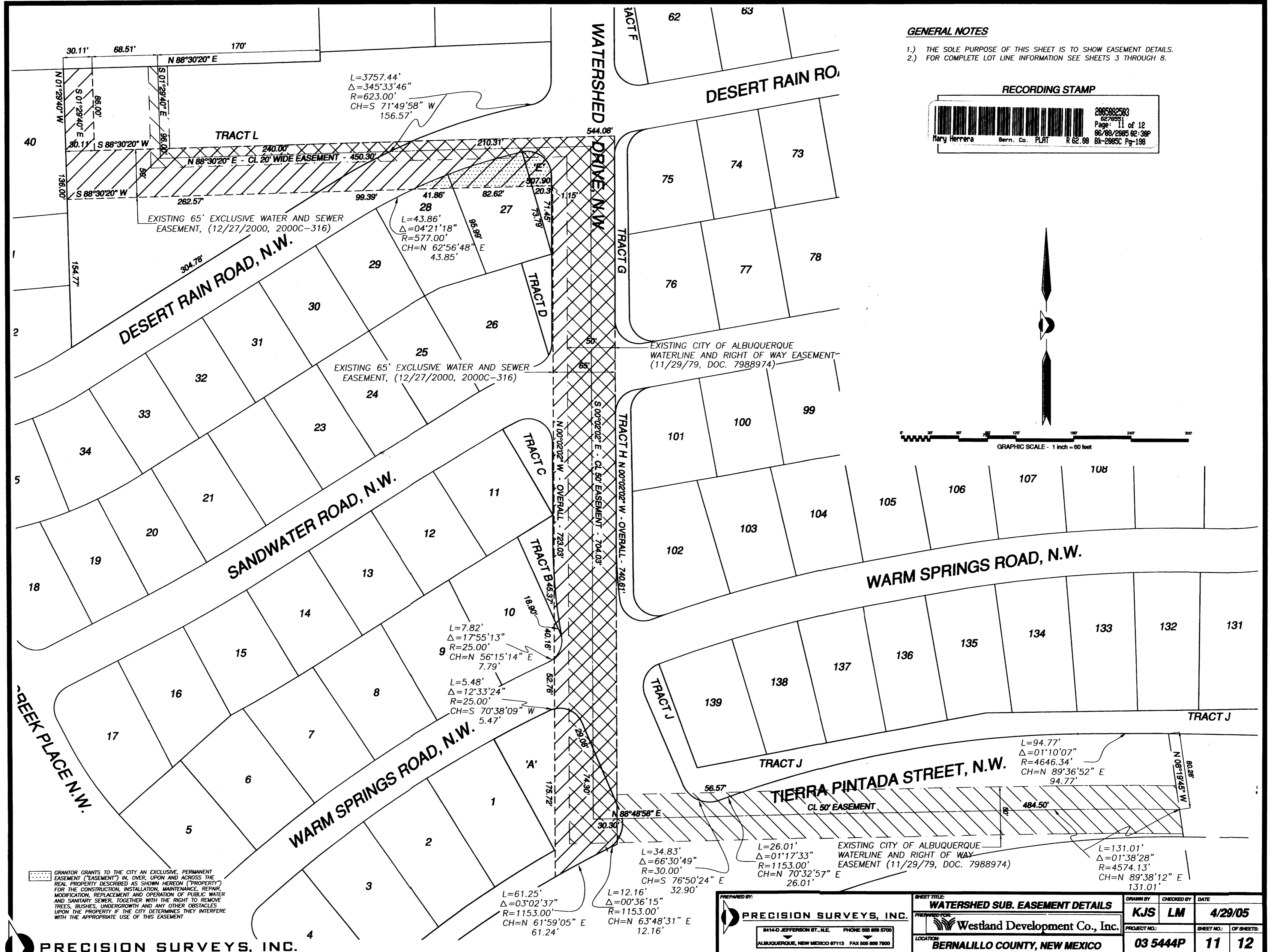
PREPARED BY:
PRECISION SURVEYS, INC.
8144 O. JEFFERSON ST., N.E. PHOENIX 850 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 698 7800

SHEET TITLE:
TRACT EASEMENT DETAIL

PREPARED FOR:
Westland Development Co., Inc.

LOCATION:
BERNALILLO COUNTY, NEW MEXICO

DRAWN BY	CHECKED BY	DATE
KJS	LM	4/29/05
PROJECT NO.:	SHEET NO.:	OF SHEETS:
03 5444P	10	12

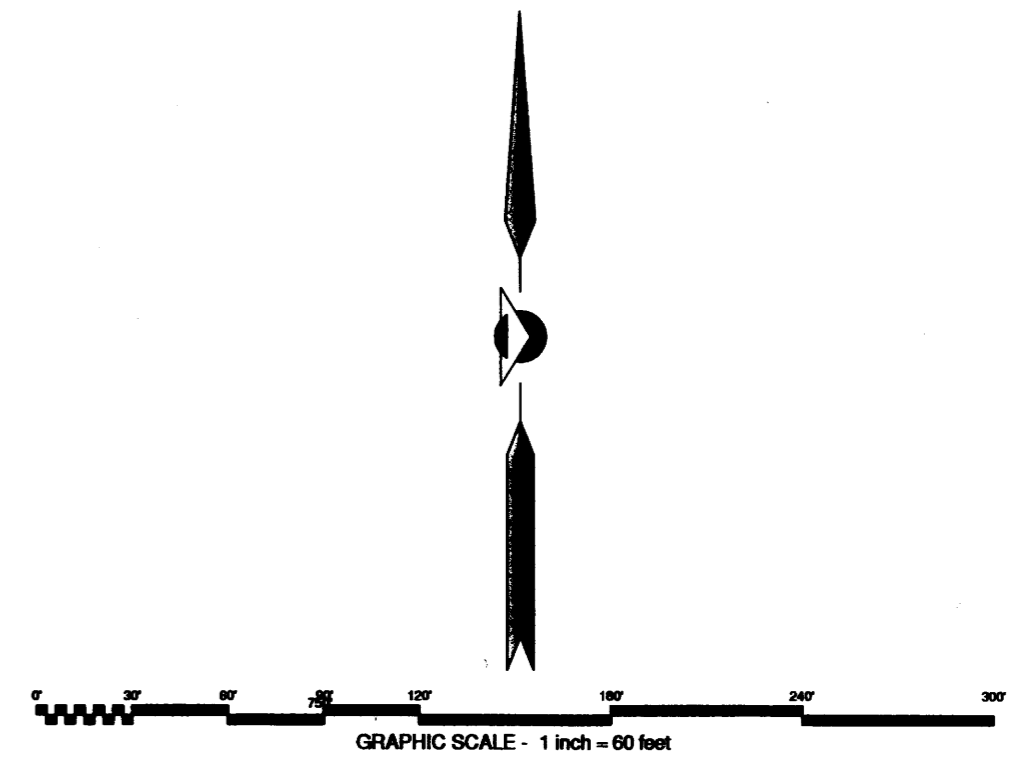


GENERAL NOTES

- 1.) THE SOLE PURPOSE OF THIS SHEET IS TO SHOW EASEMENT DETAILS.
- 2.) FOR COMPLETE LOT LINE INFORMATION SEE SHEETS 3 THROUGH 8.

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 Page: 11 of 12
 06/09/2005 02:38P
 Mary Herrera Bern. Co. PLAT R 62.98 Bk-2085C Pg-198



GRANTOR GRANTS TO THE CITY AN EXCLUSIVE, PERMANENT EASEMENT ("EASEMENT") IN, OVER, UPON AND ACROSS THE REAL PROPERTY DESCRIBED AS SHOWN HEREON ("PROPERTY") FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, REPAIR, MODIFICATION, REPLACEMENT AND OPERATION OF PUBLIC WATER AND SANITARY SEWER, TOGETHER WITH THE RIGHT TO REMOVE TREES, BUSHES, UNDERGROWTH AND ANY OTHER OBSTACLES UPON THE PROPERTY IF THE CITY DETERMINES THEY INTERFERE WITH THE APPROPRIATE USE OF THIS EASEMENT

PRECISION SURVEYS, INC.

PREPARED BY:
PRECISION SURVEYS, INC.
 8414-D JEFFERSON ST., N.E. PHONE 505 866 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 868 7800

SHEET TITLE:
WATERSHED SUB. EASEMENT DETAILS
 PREPARED FOR:
Westland Development Co., Inc.
 LOCATION:
BERNALILLO COUNTY, NEW MEXICO

DRAWN BY	CHECKED BY	DATE
KJS	LM	4/29/05
PROJECT NO.:	SHEET NO.:	OF SHEETS:
03 5444P	11	12

EXISTING TEMPORARY FLOOD PLAIN
EASEMENT TO A.M.A.F.C.A.
(12/30/94, DOC. NO. 94150783)
VACATED BY THIS PLAT, 04DRB
TO COMPLY

EXISTING TEMPORARY DRAINAGE EASEMENT
TO A.M.A.F.C.A. (12/30/94, DOC. NO. 94150783)
VACATED BY THIS PLAT, 04DRB

EXISTING 10' PNM AND MST&T EASEMENT (12/09/80,
BOOK MS. 817, PAGE 339) ACTUAL RELINQUISHMENT
OF EASEMENT TOOK PLACE AUTOMATICALLY WHEN THE
EXISTING OVERHEAD LINES WERE REMOVED,
RELOCATED AND PLACED IN SERVICE IN ACCORDANCE
WITH PNM SPECIFICATIONS.
TRACT L

EXISTING 10' UTILITY EASEMENT
(12/27/2000, 2000C-316)
VACATED BY THIS PLAT
04DRB-

EXISTING UTILITY EASEMENT
(12/27/2000, 2000C-316)
04DRB-

EXISTING 10' UTILITY EASEMENT
VACATED BY THIS PLAT
(12/27/2000, 2000C-316)
04DRB-

EXISTING UTILITY EASEMENT
10' OF EASEMENT PARALLEL TO
STREET TO REMAIN UNCHANGED
(12/27/2000, 2000C-316)

EXISTING UTILITY EASEMENT
10' OF EASEMENT PARALLEL TO
STREET TO REMAIN UNCHANGED
(12/27/2000, 2000C-316)

EXISTING TEMPORARY DRAINAGE EASEMENT
TO A.M.A.F.C.A. (12/30/94, DOC. NO. 94150783)
VACATED BY THIS PLAT, 04DRB



EASEMENT VACATION NOTES

- 1.) THE SOLE PURPOSE OF THIS SHEET IS TO DEFINE THE EASEMENTS VACATED BY THIS PLAT
- 2.) THESE VACATIONS IN NO WAY AFFECT ANY OTHER EASEMENTS OR RIGHTS.
- 3.) FOR COMPLETE LOT LINE INFORMATION SEE SHEETS 3 THROUGH 8.

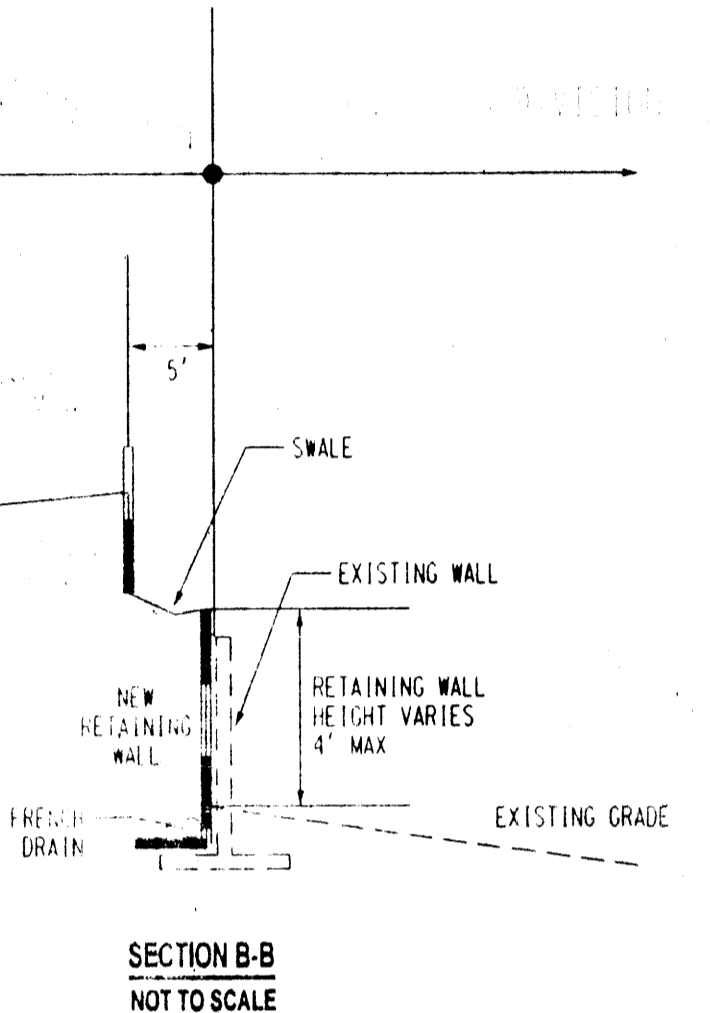
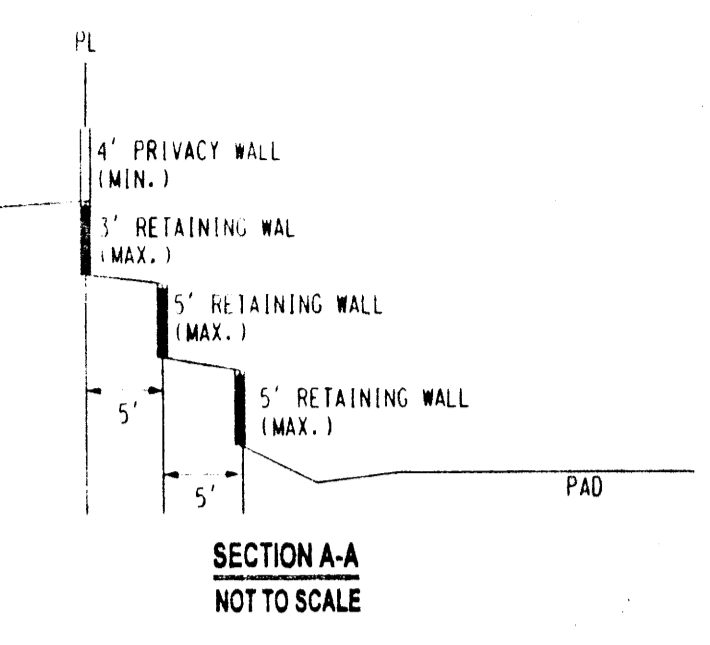
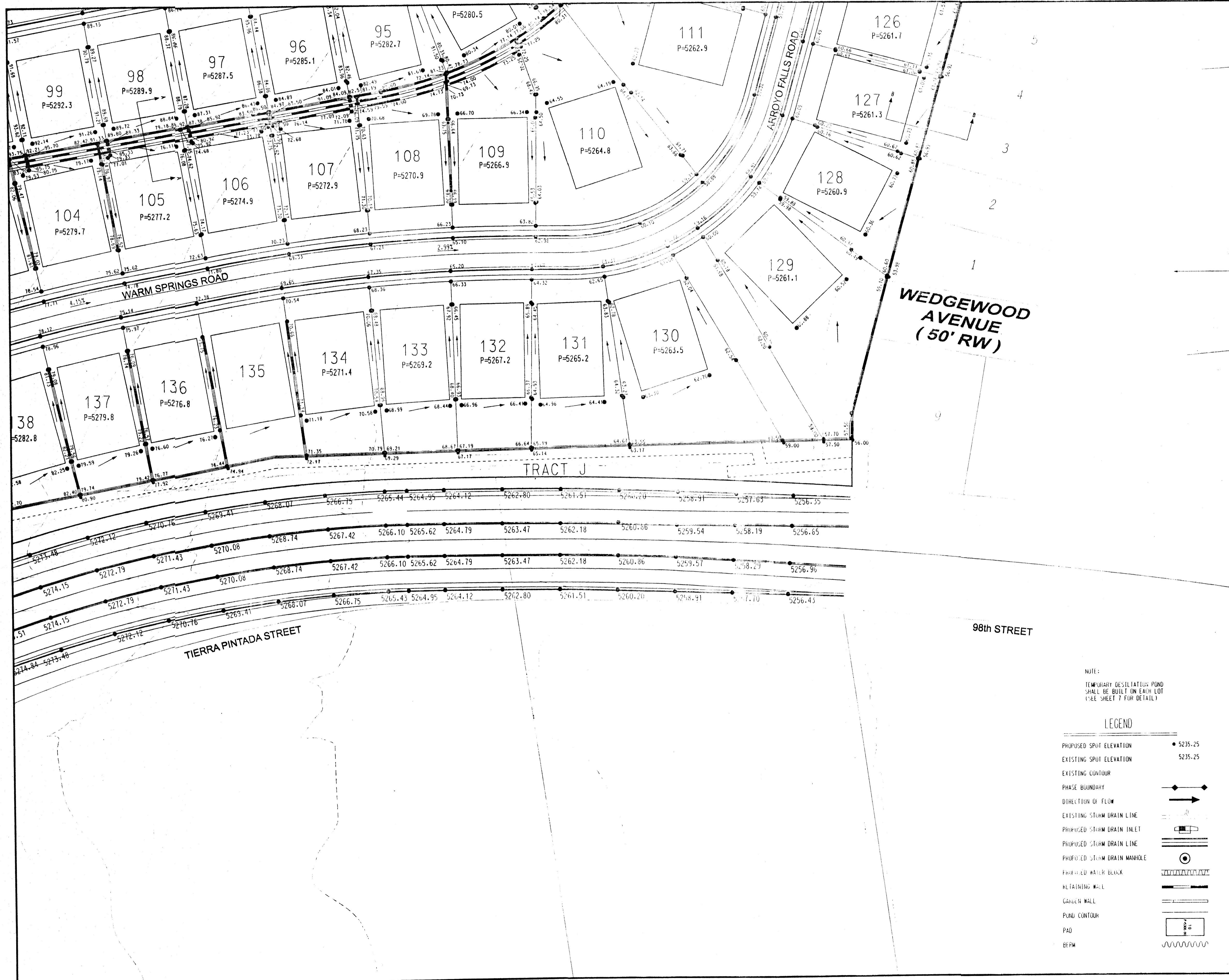
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Page 12 of 12
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Mary Herrera
Bern. Co. PLRT R 62.00

PREPARED BY:
PRECISION SURVEYS, INC.
8414-D JEFFERSON ST., N.E. PHONE 505 858 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 858 7000

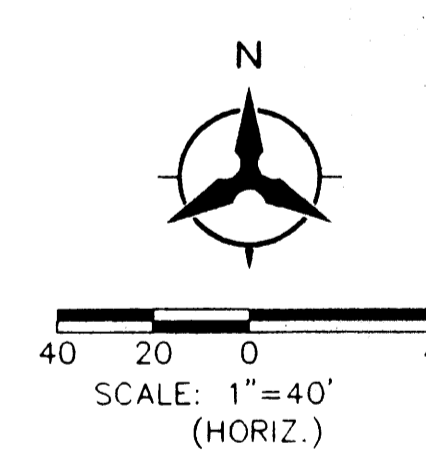
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PREPARED FOR: Westland Development Co., Inc.		PROJECT NO.:	SHEET NO.:	OF SHEETS:
LOCATION: BERNALILLO COUNTY, NEW MEXICO		03 5444P	12	12



LEGEND

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ○ 5235.25
- EXISTING CONTOUR ———
- PHASE BOUNDARY ———
- DIRECTION OF FLOW →
- EXISTING STORM DRAIN LINE ———
- PROPOSED STORM DRAIN INLET [Symbol]
- PROPOSED STORM DRAIN LINE ———
- PROPOSED STORM DRAIN MANHOLE [Symbol]
- PROPOSED WATER BLANK [Symbol]
- RETAINING WALL [Symbol]
- GARDEN WALL [Symbol]
- POND CONTOUR [Symbol]
- PAD [Symbol]
- BFRM [Symbol]

NOTE:
 TEMPORARY DESILTATION POND
 SHALL BE BUILT ON EACH LOT
 (SEE SHEET 7 FOR DETAIL)



Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING - SPATIAL DATA ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

WATERSHED SUBDIVISION AT WESTLAND
OVERALL GRADING PLAN

DESIGN REVIEW BOARD NO.	APPROVAL DATE	MO./DAY/YR.	MO./DAY/YR.
X X	/ /		
CITY PROJECT NO. XXXXXX		ZONE MAP NO. H-9	SHEET 5 OF 7

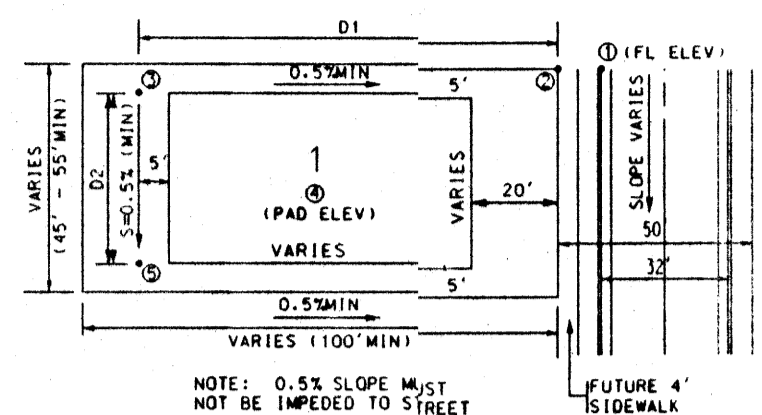
ENGINEER'S SEAL SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	BY	DATE	CONTRACTOR	AS-BUILT DATE	BY	DATE
				ACS STATION NAMED 4 - K6, 3 - 1/4" ALUM. CAP <td></td> <td></td> <td></td>			
				HY18 = 4 - K6 GEOGRAPHIC POSITION (1927) <td></td> <td></td> <td></td>			
				N.M. STATE PLANE COORDINATES (CENTRAL ZONE) <td></td> <td></td> <td></td>			
				X=536,918.47; Y=1,483,515.05 <td></td> <td></td> <td></td>			
				GROUND TO GRID FACTOR = .99996356 <td></td> <td></td> <td></td>			
				NGVD 1929 ELEVATION = 5732.892 <td></td> <td></td> <td></td>			
				ON PASEO DEL VULCAN, 0.81 MI NORTH <td></td> <td></td> <td></td>			
				OF 1-40, 0.74 MI SOUTH OF POWER LINES, 39'-6" <td></td> <td></td> <td></td>			
				NM OF CENTERLINE OF PASEO DEL VULCAN <td></td> <td></td> <td></td>			



NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	

DESIGNED BY	JPP/JML	DATE	4/2004
DRAWN BY	BS	DATE	4/2004
CHECKED BY	KGP	DATE	4/2004

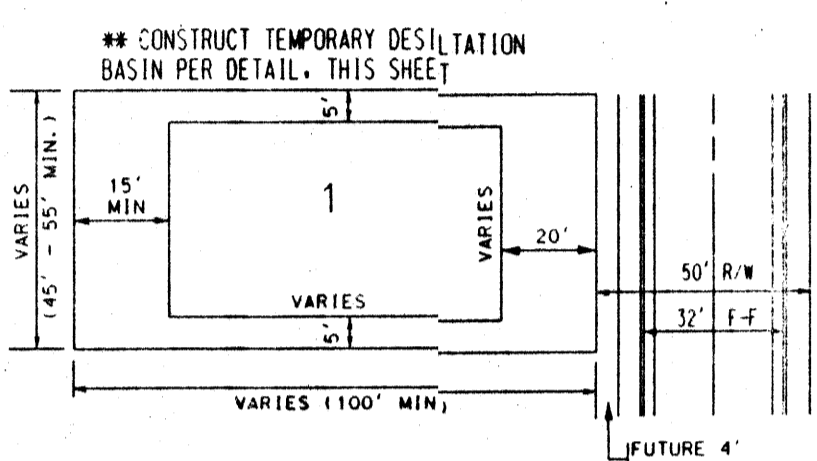
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 12:20
 JPP



TYPICAL LOT GRADING PLAN - A
NOT TO SCALE

NOTE: 0.5% SLOPE MUST NOT BE IMPEDED TO STREET

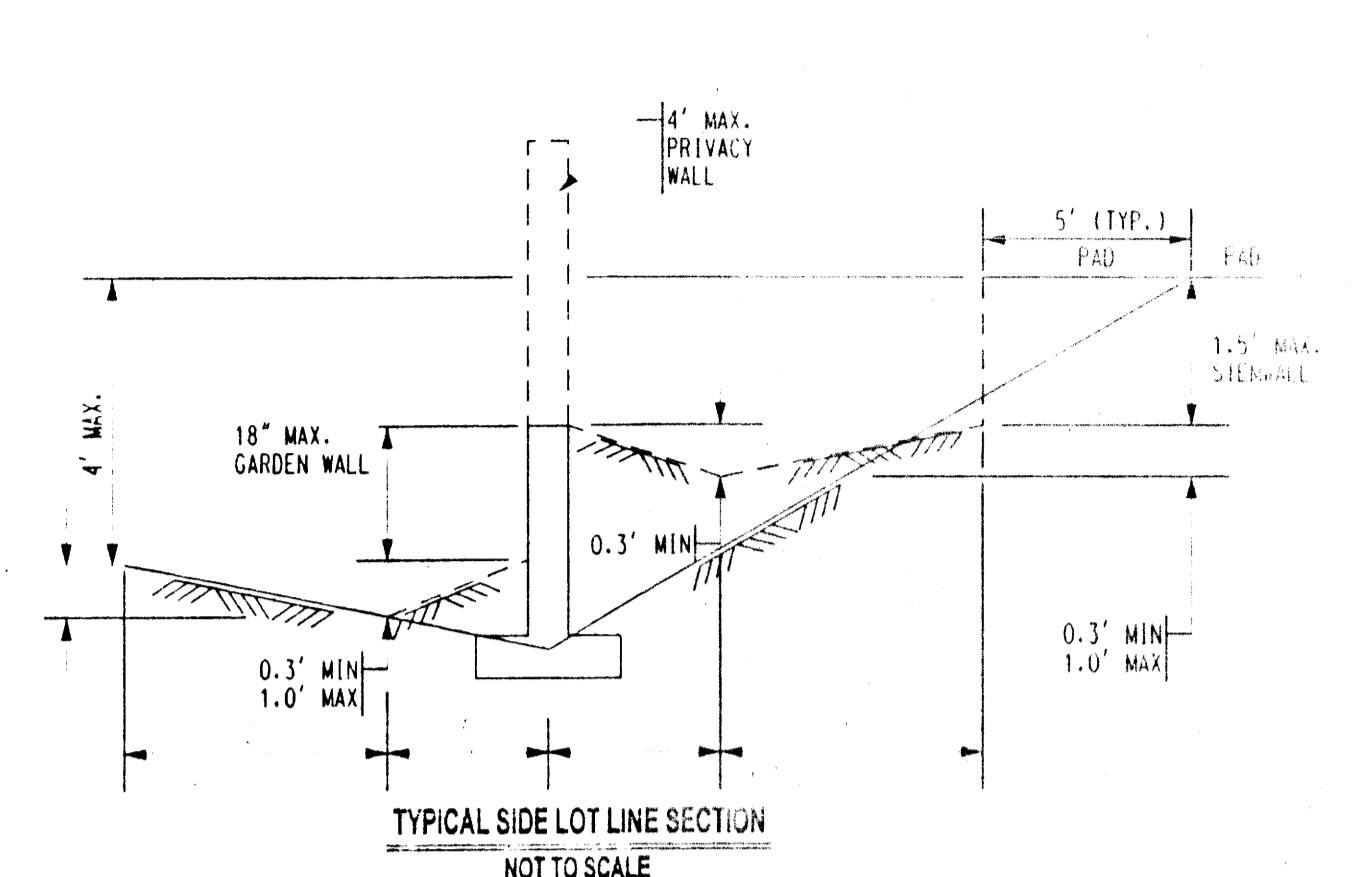
TO SET SPOT ① - ADD 0.85' TO SPOT ②
 TO SET SPOT ③ - MULTIPLY ① BY 0.5% AND ADD TO SPOT ②
 TO SET SPOT ④ - ADD 0.2' TO SPOT ③
 TO SET SPOT ⑤ - MULTIPLY ④ BY 0.5% AND SUBTRACT FROM SPOT ③



TYPICAL LOT DETAIL
NO SCALE

TEMPORARY DESILTATION BASIN
NOT TO SCALE

** BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION SEE GRADING PLANS FOR EXACT ELEVATIONS

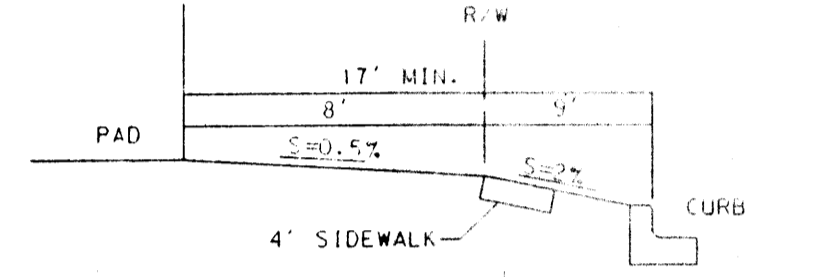


TYPICAL SIDE LOT LINE SECTION
NOT TO SCALE

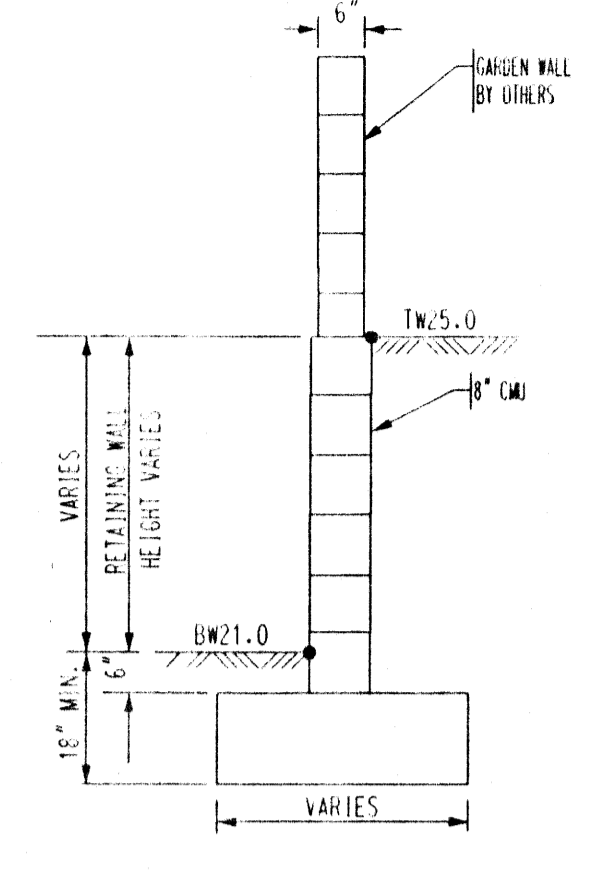
UNFINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
 FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL

TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



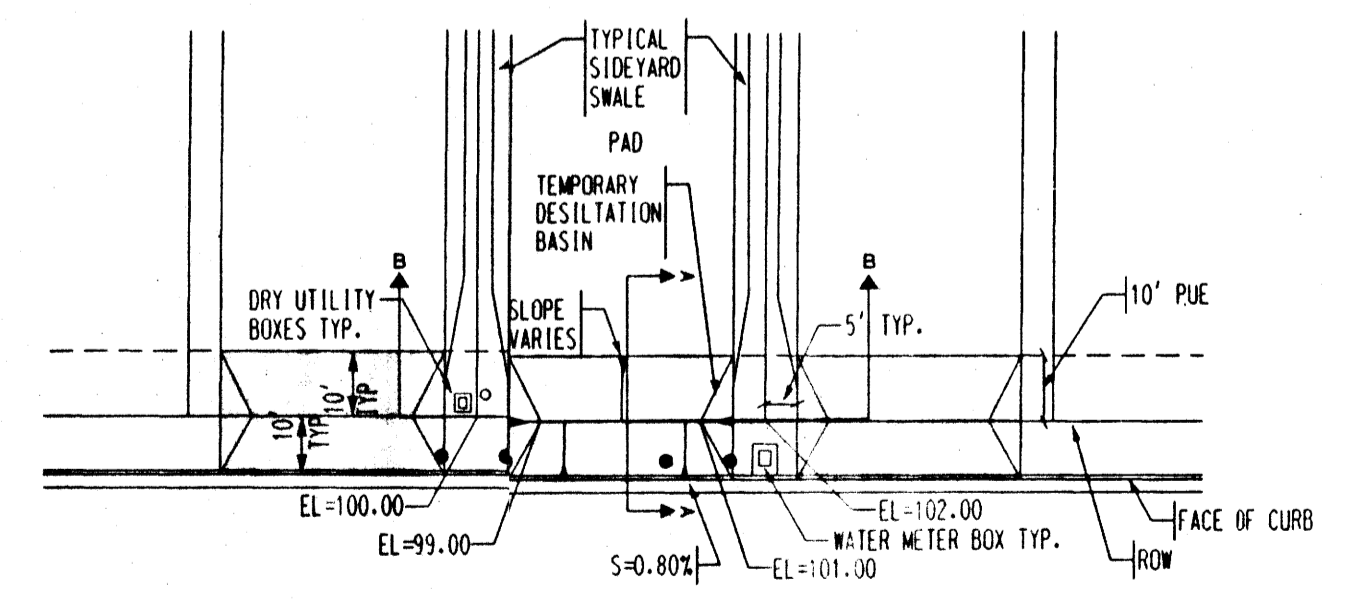
ULTIMATE FRONT YARD GRADING DETAIL
NO SCALE



UNFINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
 FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL

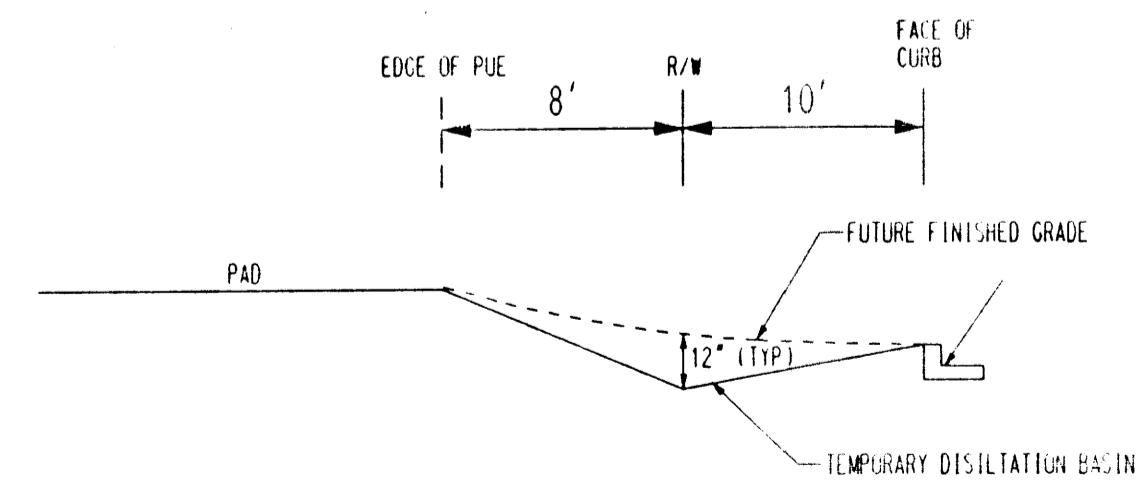
TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)

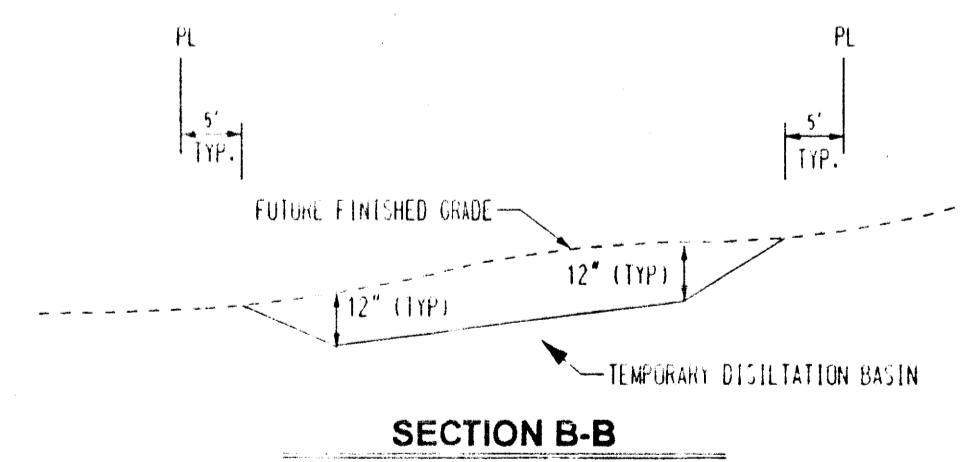


TEMPORARY DESILTATION BASIN
NOT TO SCALE

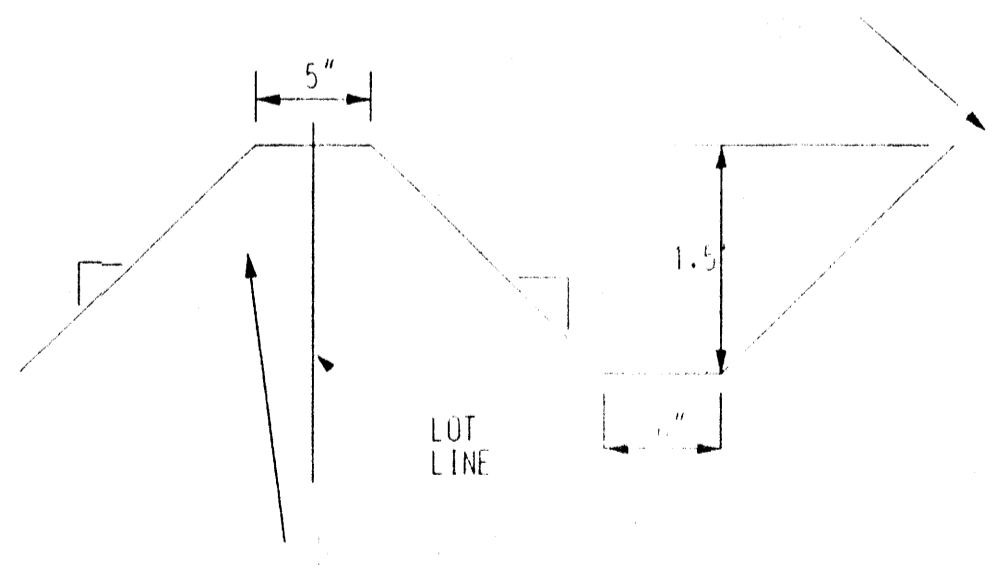
** BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION SEE GRADING PLANS FOR EXACT ELEVATIONS



SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE



EROSION CONTROL PLAN
NOT TO SCALE

A BERM WITH THE DIMENSIONS SHOWN SHALL BE MAINTAINED DURING CONSTRUCTION UNTIL COMPLETION OF INDIVIDUAL TRIMMS WITHIN THE PROJECT

GENERAL NOTES:
 1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.

2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.

3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR SUBORDINATE DIVISION AT THE PETROLUL PHASE, PREPARED BY VINEYARD & ASSOCIATES, DATED JULY, 2003. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).

4. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1164) FOR LOCATION OF EXISTING UTILITIES.

5. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OFF-SITE IN STOCK PILES FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.

6. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.

7. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY LINE BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.

8. CONTRACTOR SHALL RESEED ALL DISTURBED AREAS PER COA STANDARD SPECIFICATION 1012.

9. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES PER DETAIL THIS SHEET 2 OF 4 AND WEEDING THE SOIL TO PROTECT IT FROM WIND EROSION.

10. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.

11. PAVING AND ROADWAY GRADES SHALL BE +0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.

12. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.

13. ALL INTERIOR CURBS ARE ROLL CURB AND GUTTER UNLESS OTHERWISE NOTED.

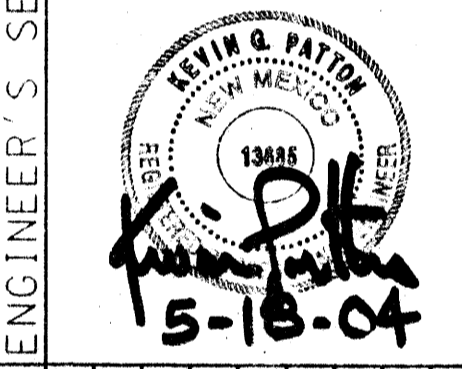
14. ALL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY VINEYARD & ASSOC.

Bohannon Huston

Courtyard | 7500 Jefferson St NE Albuquerque, NM 87109-4335
 ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES

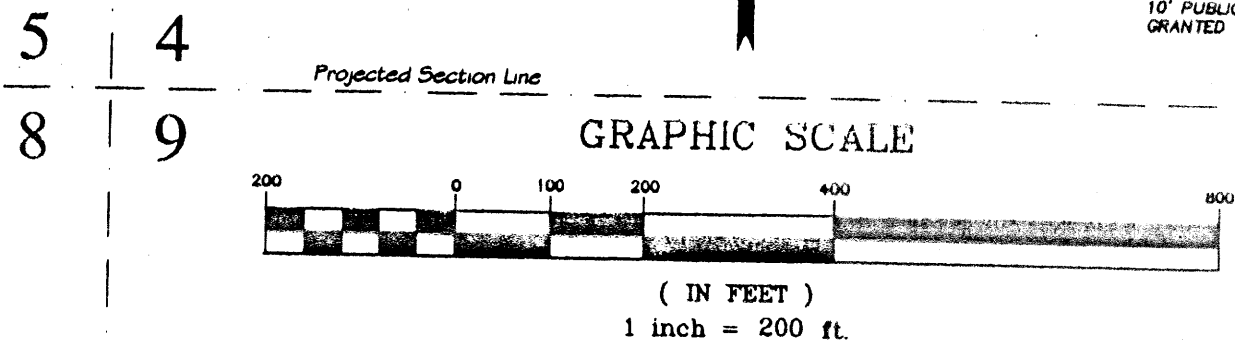
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
 WATERSHED SUBDIVISION AT WESTLAND
 GRADING DETAILS AND SECTIONS

DESIGNED BY	JPP/JML	DATE	4/2004
DRAWN BY	BS/ARR	DATE	4/2004
CHECKED BY	KCP	DATE	4/2004
NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	
IGN REVIEW BOARD NO.	APPROVAL DATE	MO./DAY/YR.	MO./DAY/YR.
X X	/ /		
PROJECT NO.	ZONE MAP NO.	SHEET	OF
XXXXXX	H-9	7	7



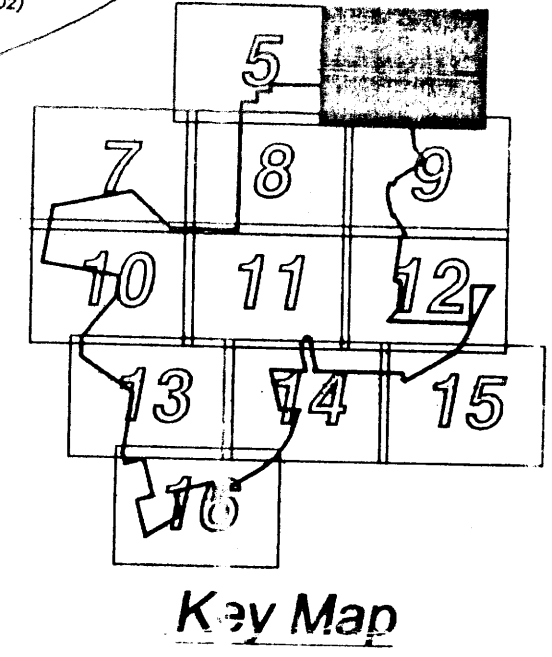
AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	ACC. STATION NAMED	CONTRACTOR	DATE	NO.	NO.	NO.	NO.
ALUM. CAP	4 + K6.3 - 1/4"	ALUM. CAP					
WORKED BY	N. M. STATE PLANE COORDINATES (1927)	WORKED BY	DATE				
ACCEPTED BY	N. M. STATE PLANE COORDINATES (CENTRAL ZONE)	ACCEPTED BY	DATE				
DATE	X=334,918.47, Y=1,483,515.05	DATE	DATE				
DATE	(E00-90)-TO-PRID, FACTOR = .099865656	DATE	DATE				
DATE	NGVD 1929 ELEVATION = 5732.892	DATE	DATE				
DATE	ON PASEO DEL VULCAN, 0.91 MI NORTH	DATE	DATE				
DATE	OF 1-40, 0-24 MI SOUTH OF FOWLER LINES, 39.6'	DATE	DATE				
DATE	NW 1/4 CENTERLINE OF PASEO DEL VULCAN	DATE	DATE				

2688127146
 5448832
 Page: 7 of 23
 12/27/2688 11:18A
 Judy D. Woodward Bern. Co. PLAT R 117.88 Bk-2688C Pg-316

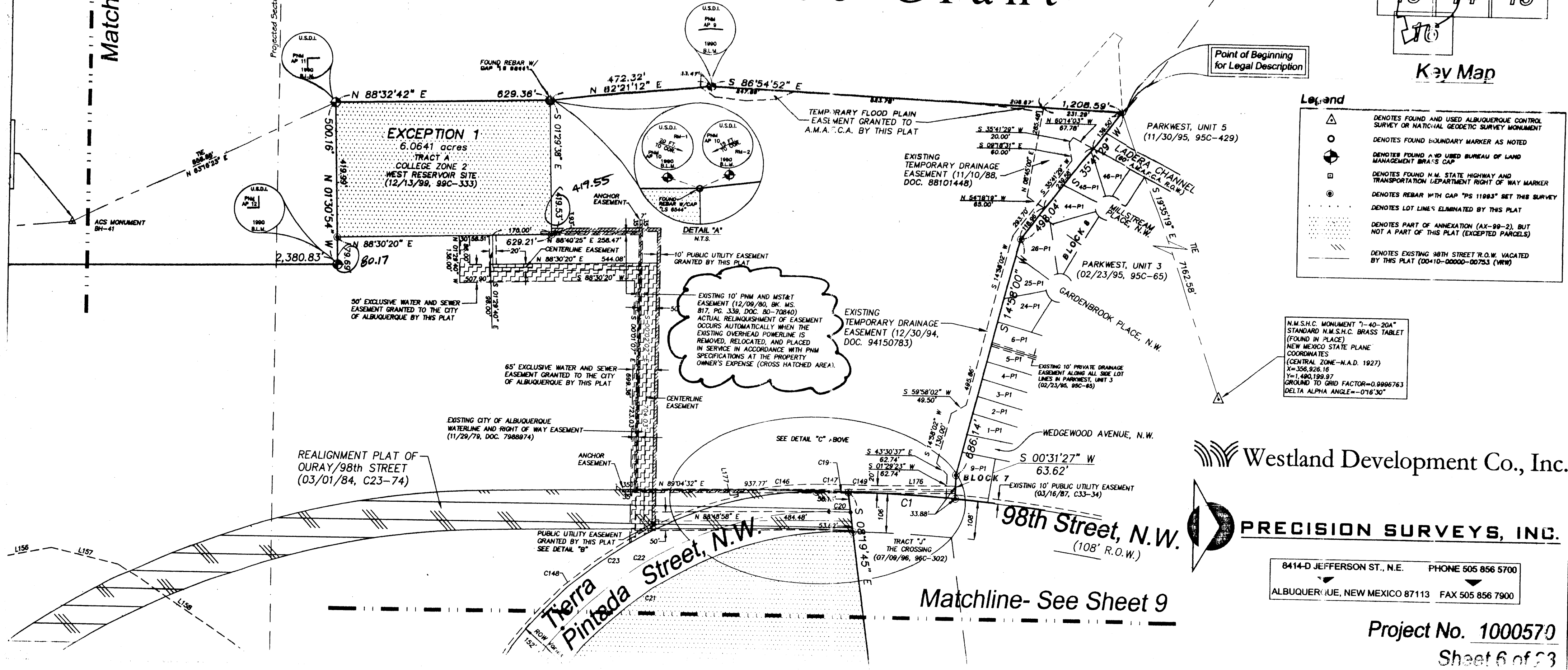


Petroglyph National Monument

Town of Atrisco Grant



Matchline- See Sheet 5



- Legend**
- DENOTES FOUND AND USED ALBUQUERQUE CONTROL SURVEY OR NATIONAL GEODETIC SURVEY MONUMENT
 - DENOTES FOUND BOUNDARY MARKER AS NOTED
 - DENOTES FOUND AND USED BUREAU OF LAND MANAGEMENT B.M.A.'S CAP
 - DENOTES FOUND N.M. STATE HIGHWAY AND TRANSPORTATION DEPARTMENT RIGHT OF WAY MARKER
 - DENOTES REBAR WITH CAP 'PS 11983' SET THIS SURVEY
 - DENOTES LOT LINES ELIMINATED BY THIS PLAT
 - DENOTES PART OF ANNEXATION (AX-99-2), BUT NOT A PART OF THIS PLAT (EXCEPTED PARCELS)
 - DENOTES EXISTING 98TH STREET R.O.W. VACATED BY THIS PLAT (00410-00000-00753 (V.R.W.))

N.M.S.H.C. MONUMENT "1-40-20A"
 STANDARD N.M.S.H.C. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE
 COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=356,926.16
 Y=1,490,199.97
 GROUND TO GRID FACTOR=-0.0986763
 DELTA ALPHA ANGLE=-076'30"

Westland Development Co., Inc.

PRECISION SURVEYS, INC.

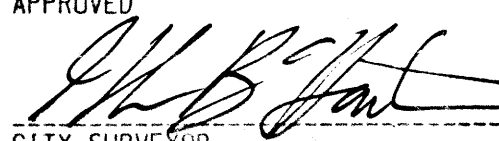
8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

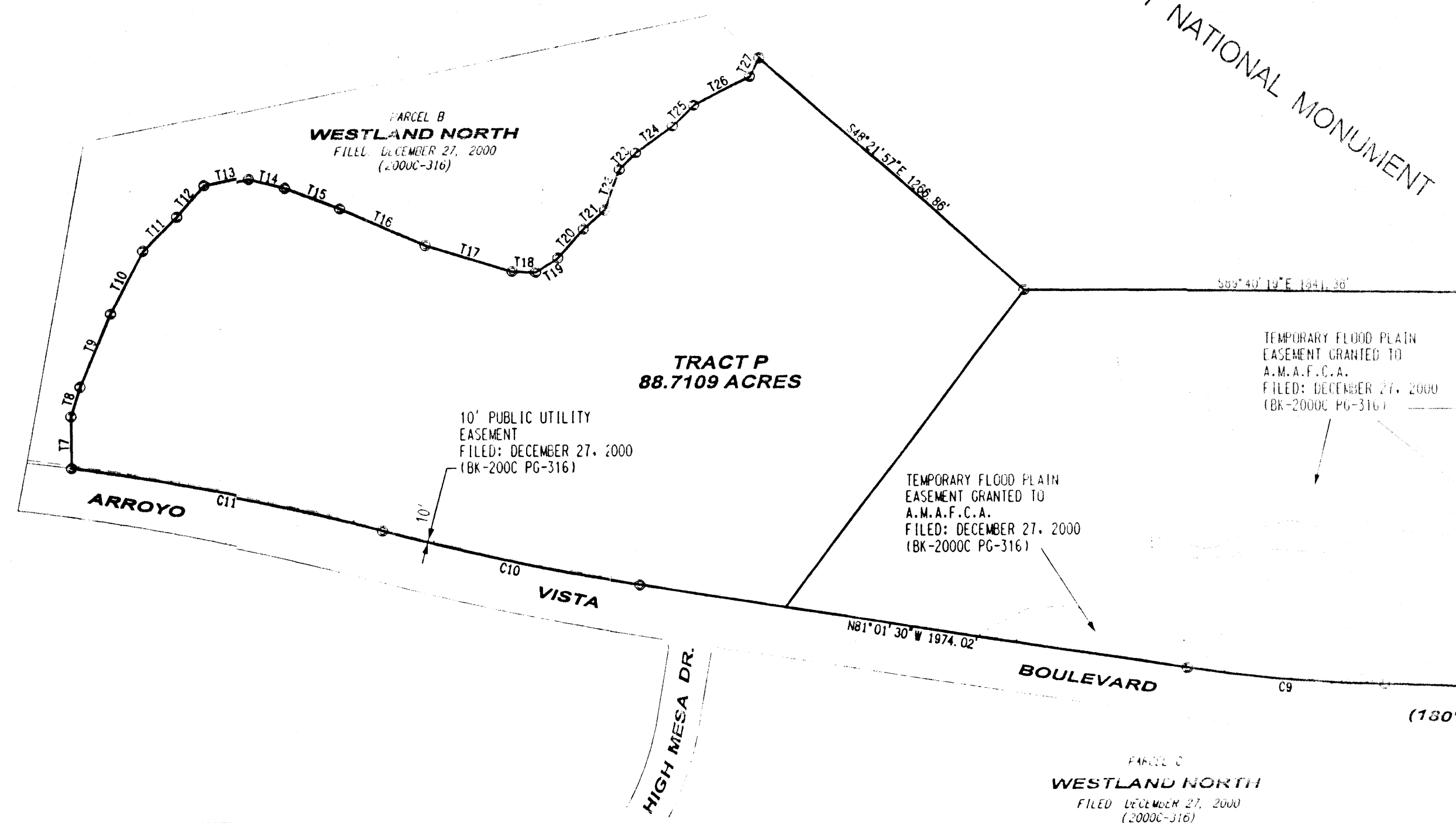
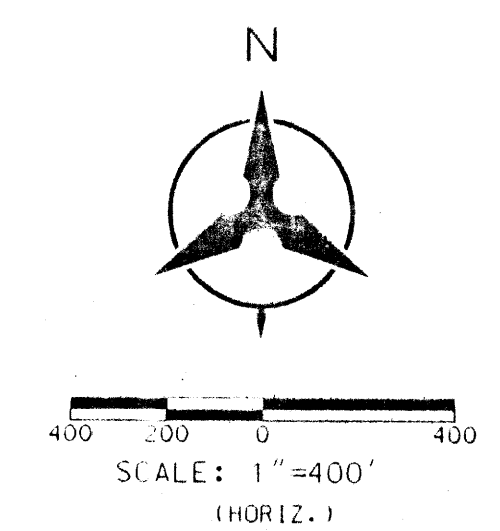
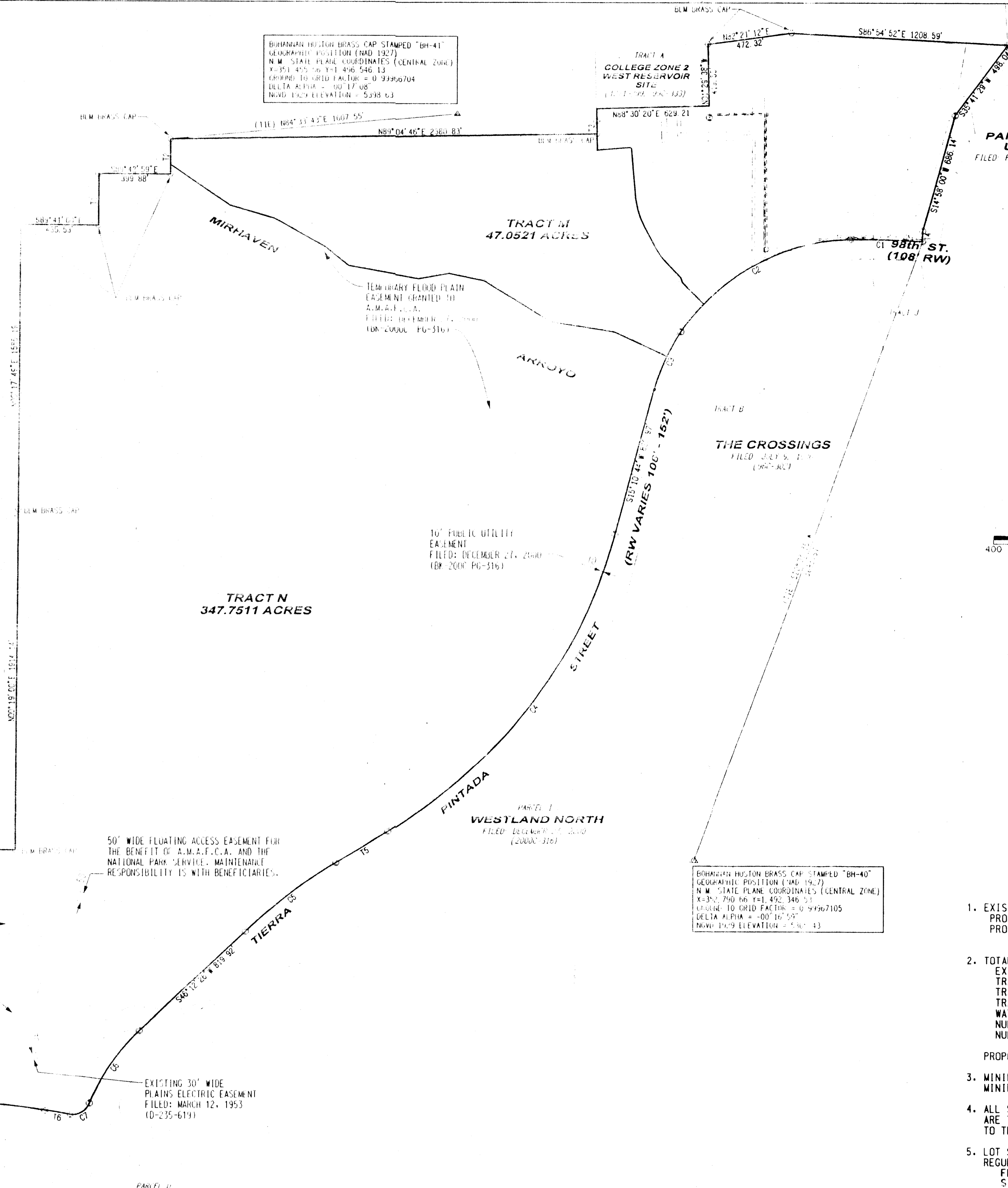
Final Plat
Approved
5/26/04

- SURVEY NOTES:**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (⊙) SHALL BE MARKED BY A REBAR WITH CAP STAMPED "PS 11993".
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT DESIGNATED CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE, CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 6544".
 - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
 - DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEG.
C1	04°58'41"	202.06	403.87	4646.34	403.75	N88°28'47"W
C2	55°54'13"	611.83	1125.00	1153.00	1080.90	S61°04'40"W
C3	16°03'21"	177.45	352.55	1212.00	351.39	S25°03'32"W
C4	43°29'44"	1131.79	2154.58	2648.00	2103.56	S36°51'06"W
C5	12°19'03"	319.82	637.18	2944.00	635.96	S52°21'57"W
C6	24°44'51"	295.39	502.80	1164.00	498.90	S33°49'57"W
C7	27°29'11"	80.74	159.24	100.00	125.17	S60°12'03"W
C8	08°10'33"	363.90	726.36	5090.00	725.75	N85°08'39"W
C9	08°12'23"	353.13	705.05	4922.00	704.45	N85°07'43"W
C10	06°04'31"	472.02	944.76	8910.00	944.31	N77°59'14"W
C11	07°07'40"	56.15	112.30	9090.00	1130.10	N78°30'49"W

Tangent Data		
ID	BEARING	DISTANCE
T1	N00°19'03"E	340.17
T2	N00°15'44"E	199.95
T3	N01°30'54"W	80.17
T4	S00°30'27"W	63.62
T5	S28°31'35"W	519.65
T6	N81°03'21"W	146.26
T7	N00°48'54"W	186.88
T8	N17°01'20"E	111.30
T9	N22°23'45"E	295.02
T10	N27°15'01"E	291.55
T11	N45°13'12"E	179.69
T12	N40°27'11"E	149.62
T13	N08°26'21"E	101.29
T14	S76°02'41"E	152.46
T15	S75°34'11"E	210.71
T16	S61°40'11"E	334.91
T17	S27°57'18"E	323.55
T18	S27°40'42"E	83.47
T19	S27°14'11"E	94.57
T20	N41°11'11"E	134.10
T21	N49°01'32"E	102.56
T22	S17°11'31"E	197.84
T23	S41°11'31"E	89.62
T24	N53°13'44"E	163.25
T25	S44°55'27"E	102.44
T26	N1°12'40"W	223.18
T27	N50°24'10"E	24.41

APPROVED

 CITY SURVEYOR DATE 5-4-04



BOHANNAN HUSTON BRASS CAP STAMPED "BH-40"
 GEOMETRIC POSITION (MAD 1927)
 N.W. STATE PLANE COORDINATES (CENTRAL ZONE)
 X=31,790.00 Y=1,492,346.11
 CURVED TO GRID FACTOR = 0.99997105
 DELTA ALPHA = -00'10.55"
 NORTHING ELEVATION = 5398.63

- EXISTING ZONING FOR : SU-2 FOR PDA FOR RESIDENTIAL RESORT
 PROPOSED ZONING: SU-2 FOR PDA FOR RESIDENTIAL RESORT
 PROPOSED RESIDENTIAL DEVELOPMENT:
 SINGLE FAMILY DETACHED RESIDENTIAL
- TOTAL ACREAGE:
 EXISTING PARCEL A = 530.7076 ACRES
 TRACT M (REMAINDER) = 47.0521 ACRES
 TRACT N (REMAINDER) = 347.7511 ACRES
 TRACT P (REMAINDER) = 88.7109 ACRES
 WATERSHED SUBDIVISION = 47.1934 ACRES
 NUMBER OF SUBDIVISION LOTS: 139
 NUMBER OF SUBDIVISION TRACTS: 11
 PROPOSED DENSITY: 2.94 D.U./ACRE
- MINIMUM DETACHED LOT DIMENSIONS: 70' x 105.00'
 MINIMUM DETACHED LOT AREA: 7350 S.F.
- ALL STREETS, UTILITIES AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
- LOT SETBACKS SHALL CONFORM TO R-T ZONE REGULATIONS. REQUIRE SETBACKS SHALL INCLUDE:
 FRONT YARD: 20' TYP. (15' w/20' TO GARAGE MIN.)
 SIDE YARD: 5' MIN.
 BACK YARD: 15' MIN.

OWNER
Fred Ambrogi 5-4-04
 FRED AMBROGI, VICE PRESIDENT, DEVELOPMENT DIVISION DATE
 WESTLAND DEVELOPMENT COMPANY INC.

PRELIMINARY PLAT WATERSHED SUBDIVISION (REPLAT OF PARCEL A OF WESTLAND NORTH) ALBUQUERQUE, NEW MEXICO MAY, 2004

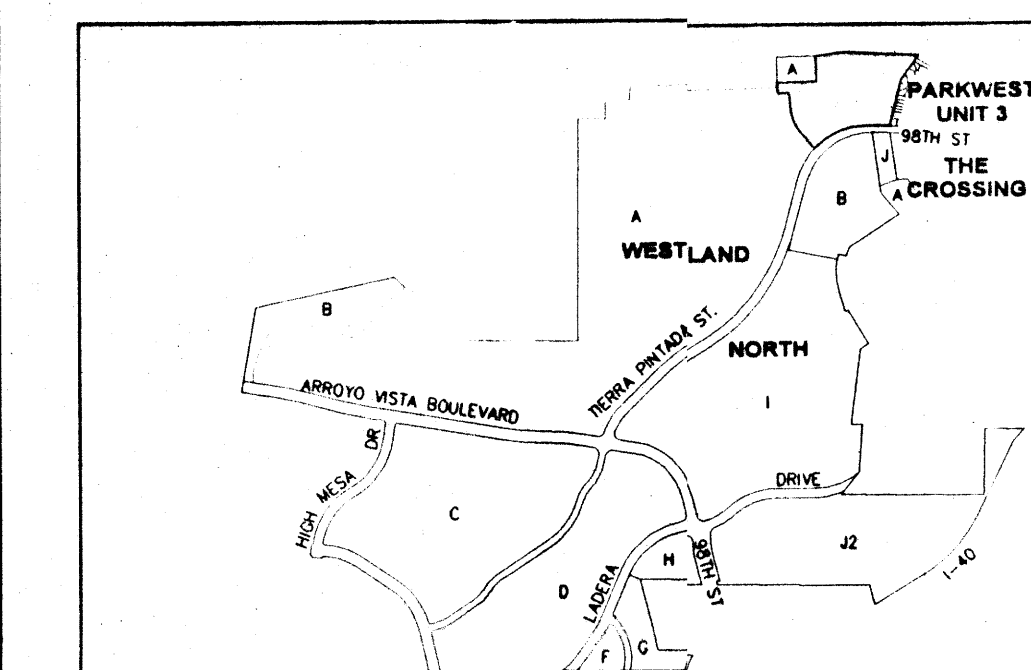
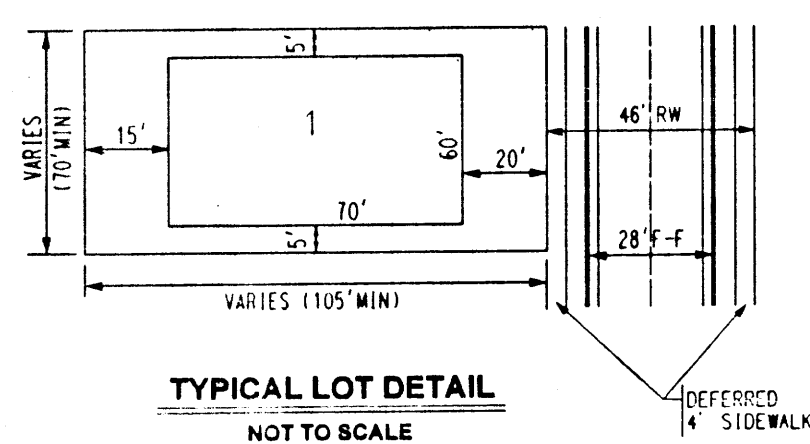
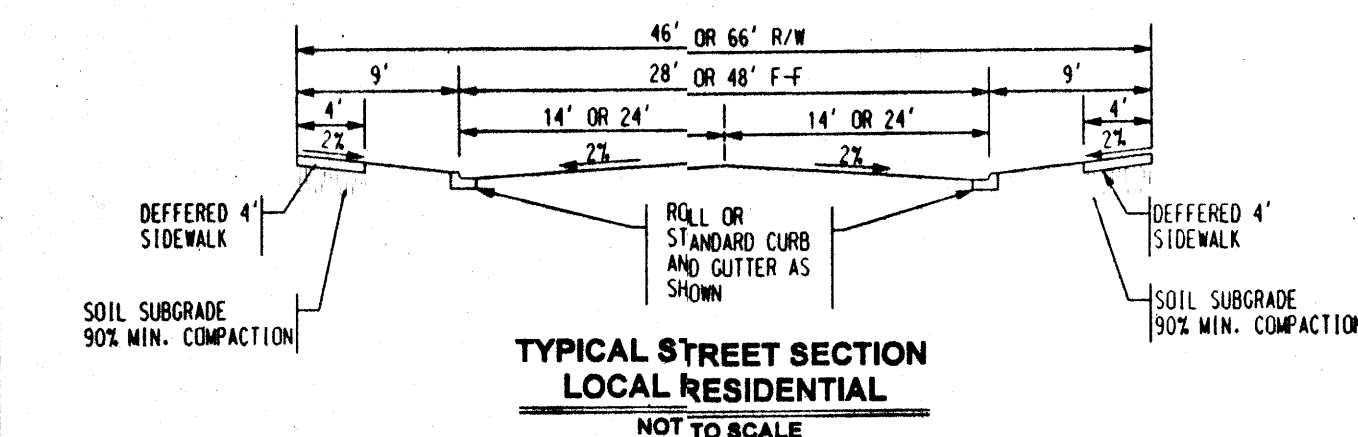
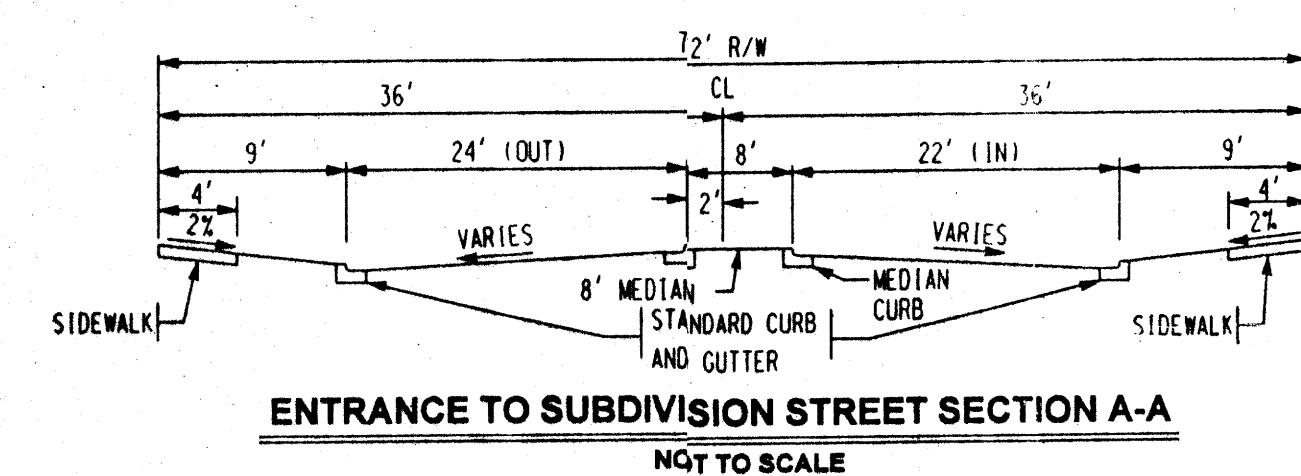
Bohannan Huston

Courtesy: 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING SPATIAL DATA ADVANCED TECHNOLOGIES

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 03 MAY 2004
 9:01

Keyed Note Table

1. EXISTING EXCLUSIVE WATER AND SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE FILED: DECEMBER 27, 2000 (BK-2000C PG-316)
2. EXISTING 10' PUBLIC UTILITY EASEMENT FILED: DECEMBER 27, 2000 (BK-2000C PG-316) VACATED BY VACATION ACTION AND SHOWN ON FINAL PLAT
3. EXISTING 10' PUBLIC UTILITY EASEMENT FILED: DECEMBER 27, 2000 (BK-2000C PG-316)
4. EXISTING CITY OF ALBUQUERQUE WATERLINE AND RIGHT OF WAY EASEMENT FILED: NOVEMBER 29, 1979 (DOC: 7988974)
5. EXISTING 10' PNM AND WSTAT EASEMENT FILED: DECEMBER 09, 1980 (BK: MS. 817, PG. 339, DOC. 80-70840)
6. EXISTING 10' PRIVATE DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES IN PARK WEST, UNIT 3 FILED: FEBRUARY 23, 1995 (95C-45)
7. EXISTING TEMPORARY FLOOD PLAIN EASEMENT GRANTED TO A.W.F.C.A. FILED: DECEMBER 27, 2000 (BK-2000C PG-316)
8. EXISTING TEMPORARY DRAINAGE EASEMENT FILED: NOVEMBER 10, 1988 (DOC. 88101448) SUPERSEDED BY (DOC. 9032221) FILED: APRIL 24, 1990 HATCHED PORTION VACATED BY VACATION ACTION AND SHOWN ON FINAL PLAT
9. EXISTING TEMPORARY DRAINAGE EASEMENT FILED: DECEMBER 30, 1994 (DOC. 94150783) SHADED PORTION VACATED BY VACATION ACTION AND SHOWN ON FINAL PLAT
10. EXISTING 10' PUBLIC UTILITY EASEMENT FILED: MARCH 16, 1987 (C33-34)
11. EXISTING 10' PNM ELECTRIC SERVICES EASEMENT FILED: DECEMBER 27, 2000 (BK-2000C PG-316)
12. EXISTING 10' PUBLIC UTILITY EASEMENT FILED: DECEMBER 27, 2000 (BK-2000C PG-316)
13. PROPOSED 30' PUBLIC STORM DRAIN, WATERLINE AND SANITARY SEWER EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT
14. 25' PUBLIC STORM DRAIN EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT
15. EXISTING 10' PUBLIC UTILITY EASEMENT TO BE VACATED BY VACATION ACTION AND SHOWN ON FINAL PLAT
16. PROPOSED 12' PUBLIC ACCESS EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FINAL PLAT
17. BLANKET DRAINAGE EASEMENT OVER TRACT K TO BE GRANTED TO A.W.F.C.A. WITH THE FINAL PLAT



PRELIMINARY PLAT WATERSHED SUBDIVISION (REPLAT OF PARCEL A OF WESTLAND NORTH)

ALBUQUERQUE, NEW MEXICO
MAY, 2004

LEGEND	
	SUBDIVISION BOUNDARY LINE
	CURB AND GUTTER
	EXISTING STORM DRAIN MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	GUY WIRE
	EXISTING ELECTRIC LINE
	POWER POLE
	10' PUE TO BE GRANTED WITH THE FINAL PLAT

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING SPATIAL DATA ADVANCED TECHNOLOGIES

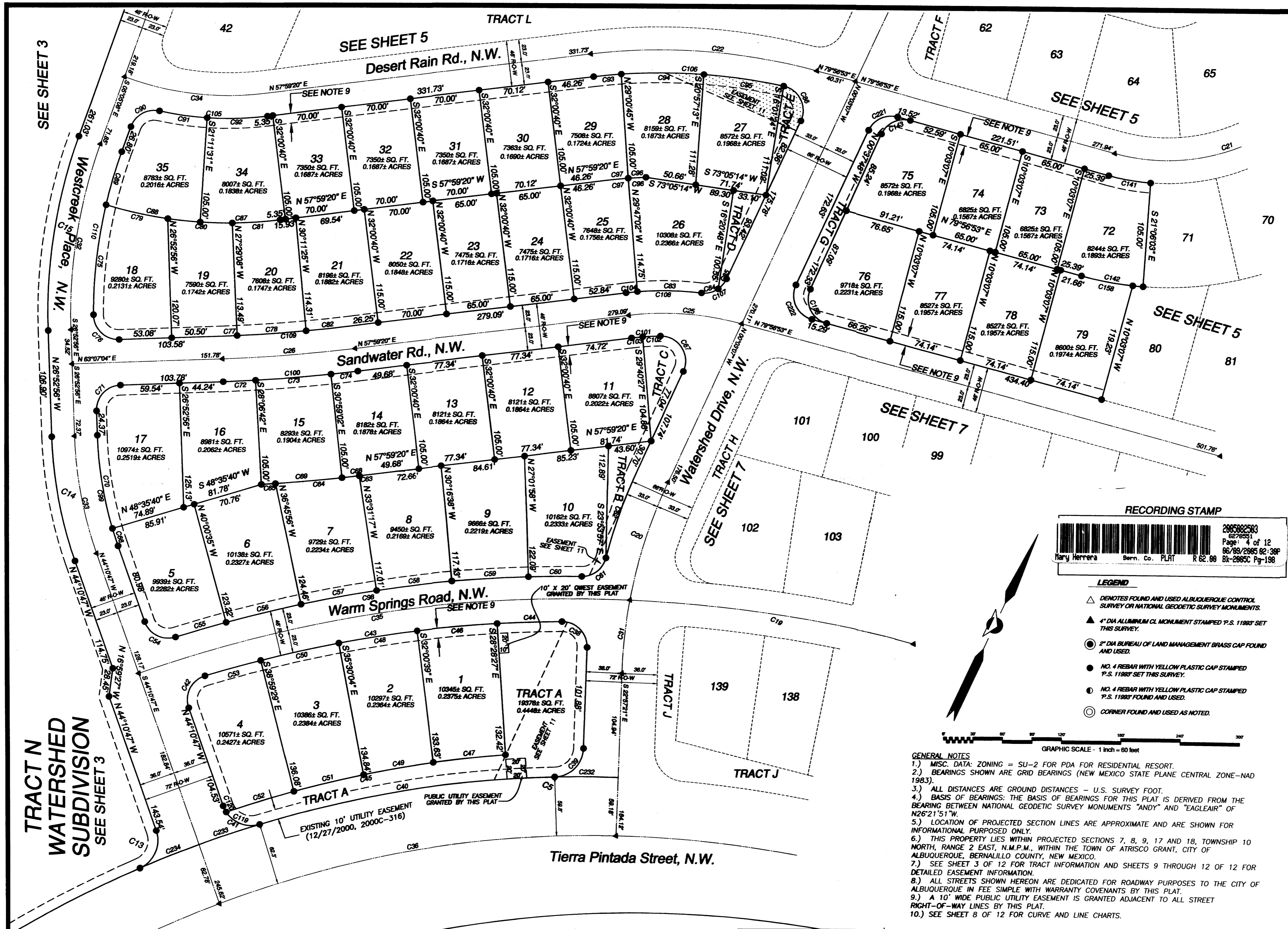
SHEET 2 OF 2

BHI JOB NO. 040166

COPYRIGHT BOHANNAN HUSTON, INC. 1999

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RECORDING STAMP

2005082503
 SEP 25 11 1983
 Page: 4 of 12
 66/89/2685 62-38P
 Mary Herrera Bern. Co. PLRI R 62.88 BK-2685C Pg-198

LEGEND

- △ DENOTES FOUND AND USED ALBUQUERQUE CONTROL SURVEY OR NATIONAL GEODETIC SURVEY MONUMENTS.
- ▲ 4" DIA ALUMINUM CL MONUMENT STAMPED P.S. 11983 SET THIS SURVEY.
- 2" DIA BUREAU OF LAND MANAGEMENT BRASS CAP FOUND AND USED.
- NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED P.S. 11983 SET THIS SURVEY.
- NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED P.S. 11983 FOUND AND USED.
- CORNER FOUND AND USED AS NOTED.

GENERAL NOTES

- 1.) MISC. DATA: ZONING = SU-2 FOR PDA FOR RESIDENTIAL RESORT.
- 2.) BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE-NAID 1983).
- 3.) ALL DISTANCES ARE GROUND DISTANCES - U.S. SURVEY FOOT.
- 4.) BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS PLAT IS DERIVED FROM THE BEARING BETWEEN NATIONAL GEODETIC SURVEY MONUMENTS "ANDY" AND "EAGLE" OF N26°21'51"W.
- 5.) LOCATION OF PROJECTED SECTION LINES ARE APPROXIMATE AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- 6.) THIS PROPERTY LIES WITHIN PROJECTED SECTIONS 7, 8, 9, 17 AND 18, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., WITHIN THE TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- 7.) SEE SHEET 3 OF 12 FOR TRACT INFORMATION AND SHEETS 9 THROUGH 12 OF 12 FOR DETAILED EASEMENT INFORMATION.
- 8.) ALL STREETS SHOWN HEREON ARE DEDICATED FOR ROADWAY PURPOSES TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS BY THIS PLAT.
- 9.) A 10' WIDE PUBLIC UTILITY EASEMENT IS GRANTED ADJACENT TO ALL STREET RIGHT-OF-WAY LINES BY THIS PLAT.
- 10.) SEE SHEET 8 OF 12 FOR CURVE AND LINE CHARTS.

GRAPHIC SCALE - 1 inch = 60 feet

GRANTOR GRANTS TO THE CITY AN EXCLUSIVE, PERMANENT EASEMENT ("EASEMENT") IN, OVER, UPON AND ACROSS THE REAL PROPERTY DESCRIBED AS SHOWN HEREON ("PROPERTY") FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, REPAIR, MODIFICATION, REPLACEMENT AND OPERATION OF PUBLIC WATER AND SANITARY SEWER, TOGETHER WITH THE RIGHT TO REMOVE TREES, BUSHES, UNDERGROWTH AND ANY OTHER OBSTACLES UPON THE PROPERTY IF THE CITY DETERMINES THEY INTERFERE WITH THE APPROPRIATE USE OF THIS EASEMENT.

PREPARED BY:
PRECISION SURVEYS, INC.
 8140 JEFFERSON ST., N.E. PHOENIX, AZ 85016
 ALBUQUERQUE, NEW MEXICO 87110 FAX 505 888 7888

SHEET TITLE:
WATERSHED SUBDIVISION LOT DETAILS
 DRAWN BY: **KJS** CHECKED BY: **LM** DATE: **4/29/05**
 PROJECT NO.: **03 5444P** SHEET NO.: **4** OF SHEETS: **12**

PRECISION SURVEYS, INC.

SEE SHEET 3

TRACT N
WATERSHED
SUBDIVISION
SEE SHEET 3

SEE SHEET 5

SEE SHEET 5

SEE SHEET 7

SEE SHEET 7

LINE	BEARING	DISTANCE	CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
L1	N 00°48'54" W	186.88'	C1	4922.00'	705.05'	704.45'	N 85°07'43" W	08°12'28"
L2	N 17°01'20" E	111.32'	C2	8910.00'	944.76'	944.31'	N 77°59'14" W	06°04'31"
L3	N 22°23'45" E	285.02'	C3	9090.00'	1130.83'	1130.10'	N 78°30'49" W	07°07'40"
L4	N 27°15'01" E	251.58'	C4	4646.34'	403.87'	403.75'	N 88°28'47" W	04°58'46"
L5	N 45°13'12" E	170.00'	C5	1153.00'	1125.00'	1080.90'	S 81°04'40" W	55°54'15"
L6	N 40°27'11" E	149.02'	C6	1252.00'	352.55'	351.39'	S 25°03'32" W	16°08'02"
L7	N 78°26'21" E	161.29'	C7	2848.00'	2154.58'	2103.56'	S 36°51'06" W	43°20'44"
L8	S 76°00'59" E	132.78'	C8	2964.00'	637.18'	635.96'	S 52°21'57" W	12°19'02"
L9	S 68°30'00" E	210.32'	C9	1184.00'	502.80'	498.90'	S 33°49'57" W	24°44'59"
L10	S 66°40'11" E	331.93'	C10	100.00'	135.24'	125.17'	S 60°12'03" W	77°29'11"
L11	S 72°57'19" E	323.38'	C11	5090.00'	726.36'	725.75'	N 85°08'39" W	08°10'35"
L12	S 67°40'49" E	83.48'	C12	1153.00'	946.86'	920.49'	N 65°30'13" E	47°03'10"
L13	N 57°14'37" E	94.55'	C13	30.00'	45.11'	40.98'	S 01°06'05" E	86°09'25"
L14	N 41°52'51" E	136.07'	C14	423.00'	127.70'	127.22'	S 35°31'51" E	17°17'51"
L15	N 49°01'32" E	102.36'	C15	523.00'	198.98'	197.76'	S 15°50'02" E	21°47'48"
L16	N 21°35'21" E	157.89'	C16	10.00'	15.71'	14.14'	S 50°05'08" E	90°00'00"
L17	N 42°21'27" E	85.02'	C17	1252.00'	159.11'	159.00'	N 29°29'08" E	07°16'53"
L18	N 53°13'44" E	163.55'	C18	1153.00'	178.12'	177.94'	N 37°33'05" E	08°51'05"
L19	N 44°15'57" E	107.64'	C253	1252.00'	193.44'	193.25'	S 21°25'05" W	08°51'09"
L20	N 62°12'46" E	223.18'						
L21	N 26°24'00" E	74.49'						
L22	N 81°03'21" W	146.56'						
L23	N 00°19'03" E	300.15'						
L24	N 00°15'44" E	56.11'						
L25	N 00°15'44" E	143.82'						
L26	N 00°15'44" E	199.93'						
L27	S 55°05'15" E	408.93'						
L28	S 73°11'22" E	255.36'						
L29	S 60°20'44" E	339.89'						
L30	S 51°59'32" E	156.58'						
L31	S 79°53'39" E	383.01'						
L32	N 80°08'52" E	175.30'						
L33	S 78°17'43" E	201.82'						
L34	S 57°52'06" E	443.76'						
L35	S 80°38'56" E	360.99'						
L36	S 64°37'49" E	319.75'						
L37	N 01°30'54" W	172.83'						
L38	N 84°54'52" E	179.75'						
L39	S 05°05'08" E	261.03'						
L40	S 44°10'47" E	114.75'						
L41	S 16°59'27" E	28.45'						
L42	S 44°10'47" E	143.54'						
L43	N 01°30'54" W	92.66'						
L44	N 01°30'54" W	80.17'						
L45	S 00°31'27" W	63.62'						
L46	S 26°52'58" E	106.90'						

TRACT	ACREAGE	SQUARE FOOTAGE	PURPOSE OF TRACT
A	0.4448± AC.	19,376± SQ. FT.	PRIVATE LANDSCAPE
B	0.0497± AC.	2165± SQ. FT.	PRIVATE LANDSCAPE
C	0.0615± AC.	2678± SQ. FT.	PRIVATE LANDSCAPE
D	0.0421± AC.	1833± SQ. FT.	PRIVATE LANDSCAPE
E	0.0348± AC.	1514± SQ. FT.	PRIVATE LANDSCAPE
F	0.0703± AC.	3061± SQ. FT.	PRIVATE LANDSCAPE
G	0.0729± AC.	3177± SQ. FT.	PRIVATE LANDSCAPE
H	0.0933± AC.	4063± SQ. FT.	PRIVATE LANDSCAPE
J	0.7339± AC.	31,967± SQ. FT.	PRIVATE LANDSCAPE
K	0.8802± AC.	38,340± SQ. FT.	PRIVATE OPEN SPACE
L	1.8161± AC.	79,109± SQ. FT.	PRIVATE PARK
M	47.0519± AC.	2,049,583± SQ. FT.	FUTURE DEVELOPMENT
N	347.7535± AC.	15,148,143± SQ. FT.	FUTURE DEVELOPMENT
P	88.7115± AC.	3,864,271 SQ. FT.±	FUTURE DEVELOPMENT

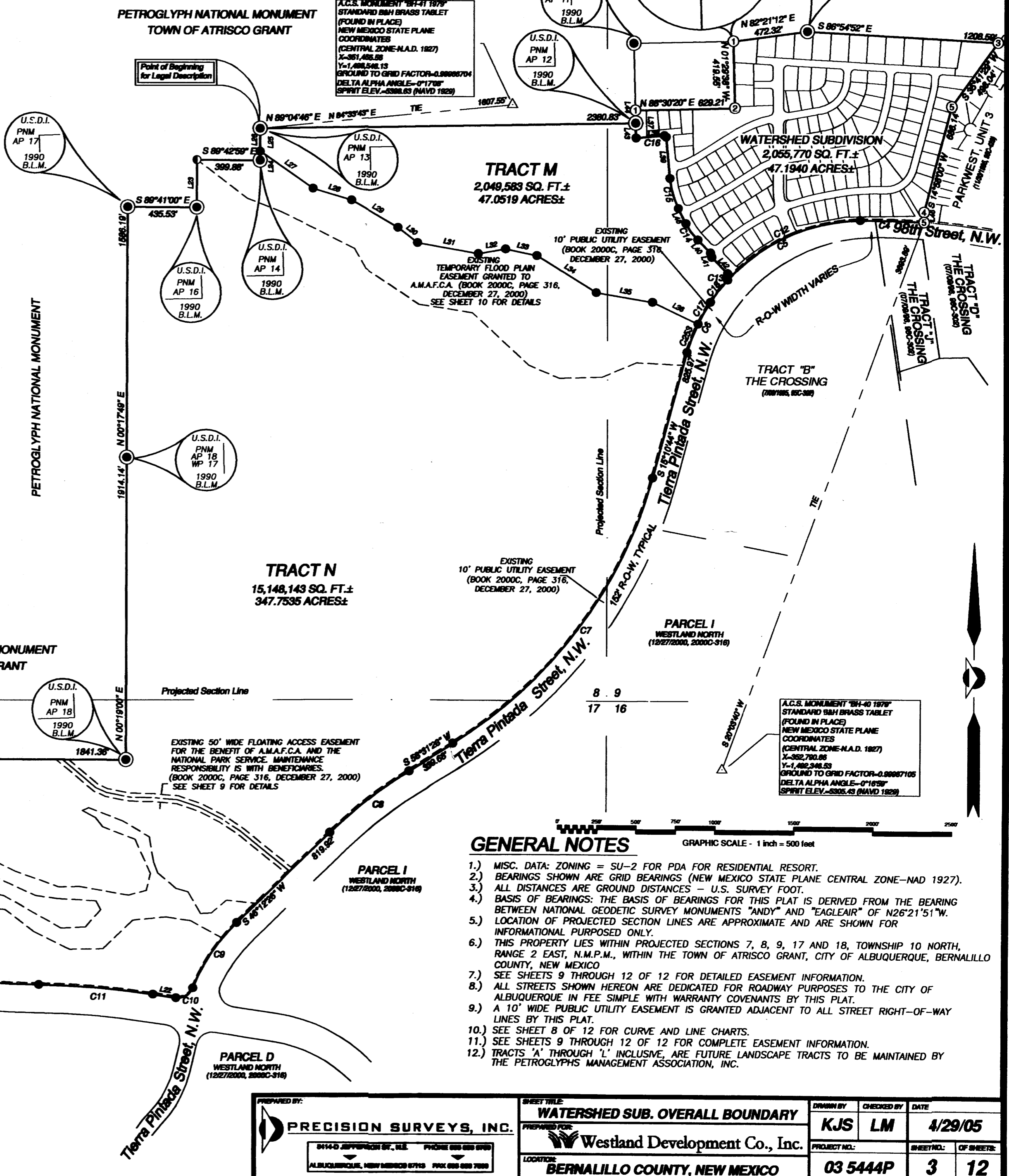
TRACTS 'A' THROUGH 'L' INCLUSIVE, ARE FUTURE LANDSCAPE TRACTS TO BE MAINTAINED BY THE PETROGLYPHS MANAGEMENT ASSOCIATION, INC.

- LEGEND**
- △ DENOTES FOUND AND USED ALBUQUERQUE CONTROL SURVEY OR NATIONAL GEODETIC SURVEY MONUMENTS.
 - ① EXISTING CORNER FOUND AND USED, SEE NUMERIC KEYED DESCRIPTION TO RIGHT FOR COMPLETE INFORMATION.
 - 2" DIA BUREAU OF LAND MANAGEMENT BRASS CAP FOUND AND USED.
 - NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED "P.S. 11989" SET FOR THIS SURVEY.
 - NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED "P.S. 11989" FOUND AND USED.
- NUMERIC KEYED CORNERS**
- NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED "WEAVER" FOUND AND USED.
 - NO. 5 REBAR WITH UNSTAMPED YELLOW PLASTIC CAP, FOUND AND USED.
 - NO. 4 REBAR WITH ALUMINUM CAP STAMPED "CSC" FOUND AND USED.
 - "X" MARK CHISELED IN CONCRETE, FOUND AND USED.
 - PK NAIL IN CONCRETE, FOUND AND USED.

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Hary Herrera Bern. Co. PLRT R 62.09



- GENERAL NOTES**
- MISC. DATA: ZONING = SU-2 FOR PDA FOR RESIDENTIAL RESORT.
 - BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE-NAD 1927).
 - ALL DISTANCES ARE GROUND DISTANCES - U.S. SURVEY FOOT.
 - BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS PLAT IS DERIVED FROM THE BEARING BETWEEN NATIONAL GEODETIC SURVEY MONUMENTS "ANDY" AND "EAGLEAIR" OF N26°21'51" W.
 - LOCATION OF PROJECTED SECTION LINES ARE APPROXIMATE AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
 - THIS PROPERTY LIES WITHIN PROJECTED SECTIONS 7, 8, 9, 17 AND 18, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., WITHIN THE TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
 - SEE SHEETS 9 THROUGH 12 OF 12 FOR DETAILED EASEMENT INFORMATION.
 - ALL STREETS SHOWN HEREON ARE DEDICATED FOR ROADWAY PURPOSES TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS BY THIS PLAT.
 - A 10' WIDE PUBLIC UTILITY EASEMENT IS GRANTED ADJACENT TO ALL STREET RIGHT-OF-WAY LINES BY THIS PLAT.
 - SEE SHEET 8 OF 12 FOR CURVE AND LINE CHARTS.
 - SEE SHEETS 9 THROUGH 12 OF 12 FOR COMPLETE EASEMENT INFORMATION.
 - TRACTS 'A' THROUGH 'L' INCLUSIVE, ARE FUTURE LANDSCAPE TRACTS TO BE MAINTAINED BY THE PETROGLYPHS MANAGEMENT ASSOCIATION, INC.

PRECISION SURVEYS, INC.

PREPARED BY: **PRECISION SURVEYS, INC.**

PROJECT: **WATERSHED SUB. OVERALL BOUNDARY**

DRAWN BY: **KJS** CHECKED BY: **LM** DATE: **4/29/05**

PROJECT NO.: **03 5444P** SHEET NO.: **3** OF SHEETS: **12**

LOCATED: **BERNALILLO COUNTY, NEW MEXICO**

Legal Description


A TRACT OF LAND LYING AND BEING SITUATE WITHIN THE TOWN OF ATRISCO GRANT, WITHIN PROJECTED SECTIONS 7, 8, 9, 17 AND 18, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPLE MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING COMPRISED OF PARCEL "A" OF WESTLAND NORTH, AS THE SAME IS SHOWN AND DESIGNATED ON THE BULK LAND PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 27, 2000, IN BOOK 2000C, PAGE 316, AND BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES (U.S. SURVEY FOOT) AS FOLLOWS: BEGINNING AT AN ANGLE POINT ALONG THE NORTHERLY BOUNDARY OF THE TRACT HEREIN DESCRIBED, SAID BOUNDARY BEING THE COMMON BOUNDARY WITH PETROGLYPH NATIONAL MONUMENT MARKED BY A FOUND BUREAU OF LAND MANAGEMENT BRASS CAP MARKED "PNM AP 13, 1990" FROM WHENCE ALBUQUERQUE CONTROL SURVEY MONUMENT "BH-41 1979", A STANDARD B&H BRASS TABLET FOUND IN PLACE HAVING NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D.-1927) OF X = 351,455.56' AND Y = 1,496,546.13' BEARS N84°33'43"E A DISTANCE OF 1607.55 FEET; THENCE FROM SAID POINT OF BEGINNING N 89°04'46" E, A DISTANCE OF 2380.83 FEET TO AN ANGLE POINT MARKED BY A FOUND BUREAU OF LAND MANAGEMENT BRASS CAP MARKED "PNM AP12, 1990"; THENCE N 01°30'54" W, A DISTANCE OF 80.17 FEET TO A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED "WEAVER"; THENCE N 88°30'20" E, A DISTANCE OF 629.21 FEET TO A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP NOT STAMPED; THENCE N 01°29'38" W, A DISTANCE OF 419.55 FEET TO A FOUND NO. 5 REBAR WITH PLASTIC CAP STAMPED "WEAVER"; THENCE N 82°21'12" E, A DISTANCE OF 472.32 FEET TO AN ANGLE POINT MARKED BY A FOUND BUREAU OF LAND MANAGEMENT BRASS CAP MARKED "PNM AP 9, 1990"; THENCE S 86°54'52" E, A DISTANCE OF 1208.59 FEET TO THE NORTHEAST CORNER OF THE DESCRIBED TRACT MARKED BY A FOUND NO. 4 REBAR WITH ALUMINUM CAP STAMPED "CSCC"; THENCE S 35°41'29" W, A DISTANCE OF 498.04 FEET TO A FOUND PK NAIL WITH A BRASS TAG STAMPED PS 11993; THENCE S 14°58'00" W, A DISTANCE OF 686.14 FEET TO A FOUND CHISELED 'X' IN CONCRETE; THENCE S 00°31'27" W, A DISTANCE OF 63.62 FEET TO A FOUND PK NAIL WITH A BRASS TAG STAMPED PS 11993; THENCE THROUGH A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 4646.34 FEET, AN ARC LENGTH OF 403.87 FEET, A CENTRAL ANGLE OF 4°58'49", AND A CHORD BEARING N 88°28'47" W, A DISTANCE OF 403.75 FEET TO A POINT OF COMPOUND CURVATURE MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE THROUGH A CURVE TO THE LEFT HAVING A RADIUS OF 1153.00 FEET, AN ARC LENGTH OF 1125.00 FEET, A CENTRAL ANGLE OF 55°54'15", AND A CHORD BEARING S 61°04'40" W, A DISTANCE OF 1080.90 FEET TO A POINT OF COMPOUND CURVATURE MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE THROUGH A CURVE TO THE LEFT HAVING A RADIUS OF 1252.00 FEET, AN ARC LENGTH OF 352.55 FEET, A CENTRAL ANGLE OF 16°08'02", AND A CHORD BEARING S 25°03'32" W, A DISTANCE OF 351.39 FEET TO A POINT OF TANGENCY MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE S 15°10'44" W, A DISTANCE OF 825.97 FEET TO A POINT OF CURVATURE MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE THROUGH A CURVE TO THE RIGHT HAVING A RADIUS OF 2848.00 FEET, AN ARC LENGTH OF 2154.58 FEET, A CENTRAL ANGLE OF 43°20'44", AND A CHORD BEARING S 36°51'06" W, A DISTANCE OF 2103.56 FEET TO A POINT OF TANGENCY MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE S 58°31'28" W, A DISTANCE OF 339.68 FEET TO A POINT OF CURVATURE MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE THROUGH A CURVE TO THE LEFT HAVING A RADIUS OF 2964.00 FEET, AN ARC LENGTH OF 637.18 FEET, A CENTRAL ANGLE OF 12°19'02", AND A CHORD BEARING S 52°21'57" W, A DISTANCE OF 635.96 FEET TO A POINT OF TANGENCY MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE S 46°12'26" W, A DISTANCE OF 819.92 FEET TO A POINT OF CURVATURE MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE THROUGH A CURVE TO THE LEFT HAVING A RADIUS OF 1164.00 FEET, AN ARC LENGTH OF 502.80 FEET, A CENTRAL ANGLE OF 24°44'59", AND A CHORD BEARING S 33°49'57" W, A DISTANCE OF 498.90 FEET TO A POINT OF REVERSE CURVATURE MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE THROUGH A CURVE TO THE RIGHT HAVING A RADIUS OF 100.00 FEET, AN ARC LENGTH OF 135.24 FEET, A CENTRAL ANGLE OF 77°29'11", AND A CHORD BEARING S 60°12'03" W, A DISTANCE OF 125.17 FEET TO A POINT OF TANGENCY LYING ON THE NORTH RIGHT OF WAY LINE OF ARROYO VISTA BOULEVARD, NW MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 81°03'21" W, A DISTANCE OF 146.56 FEET TO A POINT OF CURVATURE MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE THROUGH A CURVE TO THE LEFT HAVING A RADIUS OF 5090.00 FEET, AN ARC LENGTH OF 726.36 FEET, A CENTRAL ANGLE OF 8°10'35", AND A CHORD BEARING N 85°08'39" W, A DISTANCE OF 725.75 FEET TO A POINT OF REVERSE CURVATURE MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE THROUGH A CURVE TO THE RIGHT HAVING A RADIUS OF 4922.00 FEET, AN ARC LENGTH OF 705.05 FEET, A CENTRAL ANGLE OF 8°12'26", AND A CHORD BEARING N 85°07'43" W, A DISTANCE OF 704.45 FEET TO A POINT OF TANGENCY MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 81°01'30" W, A DISTANCE OF 1974.02 FEET TO A POINT OF CURVATURE MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE THROUGH A CURVE TO THE RIGHT HAVING A RADIUS OF 8910.00 FEET, AN ARC LENGTH OF 944.76 FEET, A CENTRAL ANGLE OF 6°04'31", AND A CHORD BEARING N 77°59'14" W, A DISTANCE OF 944.31 FEET TO A POINT OF REVERSE CURVATURE MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE THROUGH A CURVE TO THE LEFT HAVING A RADIUS OF 9090.00 FEET, AN ARC LENGTH OF 1130.83 FEET, A CENTRAL ANGLE OF 7°07'40", AND A CHORD BEARING N 78°30'49" W, A DISTANCE OF 1130.10 FEET TO A POINT OF TANGENCY MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE LEAVING SAID NORTH RIGHT OF WAY LINE N 00°48'54" W, A DISTANCE OF 186.88 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 17°01'20" E, A DISTANCE OF 111.32 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 22°23'45" E, A DISTANCE OF 285.02 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 27°15'01" E, A DISTANCE OF 251.55 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 45°13'12" E, A DISTANCE OF 170.00 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 40°27'11" E, A DISTANCE OF 149.02 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 78°26'21" E, A DISTANCE OF 161.29 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE S 76°00'59" E, A DISTANCE OF 132.78 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE S 68°30'00" E, A DISTANCE OF 210.32 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE S 66°40'11" E, A DISTANCE OF 331.93 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE S 72°57'19" E, A DISTANCE OF 323.38 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE S 87°40'49" E, A DISTANCE OF 83.48 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 57°14'37" E, A DISTANCE OF 94.55 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 41°52'51" E, A DISTANCE OF 136.07 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 49°01'32" E, A DISTANCE OF 102.36 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 21°35'21" E, A DISTANCE OF 157.89 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 42°21'27" E, A DISTANCE OF 85.02 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 53°13'44" E, A DISTANCE OF 163.55 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 44°15'57" E, A DISTANCE OF 107.64 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 62°12'46" E, A DISTANCE OF 223.18 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE N 26°24'00" E, A DISTANCE OF 74.49 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE S 48°21'57" E, A DISTANCE OF 1266.86 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE S 89°40'19" E, A DISTANCE OF 1841.36 FEET TO AN ANGLE POINT MARKED BY A FOUND BUREAU OF LAND MANAGEMENT BRASS CAP MARKED "PNM AP 18, 1990"; THENCE N 00°19'00" E, A DISTANCE OF 1914.14 FEET TO AN ANGLE POINT MARKED BY A FOUND BUREAU OF LAND MANAGEMENT BRASS CAP MARKED "PNM AP 17, WP 17, 1990"; THENCE N 00°17'49" E, A DISTANCE OF 1586.19 FEET TO AN ANGLE POINT MARKED BY A FOUND BUREAU OF LAND MANAGEMENT BRASS CAP MARKED "PNM AP 17, 1990"; THENCE S 89°41'00" E, A DISTANCE OF 435.53 FEET TO AN ANGLE POINT MARKED BY A FOUND BUREAU OF LAND MANAGEMENT BRASS CAP MARKED "PNM AP 16, 1990"; THENCE N 00°19'03" E, A DISTANCE OF 300.15 FEET TO A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP STAMPED PS 11993; THENCE S 89°42'59" E, A DISTANCE OF 399.88 FEET TO AN ANGLE POINT MARKED BY A FOUND BUREAU OF LAND MANAGEMENT BRASS CAP MARKED "PNM AP 14, 1990"; THENCE N 00°15'44" E, A DISTANCE OF 199.93 FEET TO AN ANGLE POINT MARKED BY A FOUND BUREAU OF LAND MANAGEMENT BRASS CAP MARKED "PNM AP 13, 1990", SAID POINT BEING THE POINT AND PLACE OF BEGINNING, CONTAINING 530.7109 ACRES (23117767 SQUARE FEET), MORE OR LESS, NOW COMPRISING WATERSHED SUBDIVISION.

INDEX TO SHEETS, WATERSHED SUBDIVISION

SHEET 1	WATERSHED SUBDIVISION TITLE PAGE
SHEET 2	DESCRIPTION AND INDEX
SHEET 3	WATERSHED SUBDIVISION OVERALL BOUNDARY
SHEET 4	WATERSHED SUBDIVISION LOT DETAILS
SHEET 5	WATERSHED SUBDIVISION LOT DETAILS
SHEET 6	WATERSHED SUBDIVISION LOT DETAILS
SHEET 7	WATERSHED SUBDIVISION LOT DETAILS
SHEET 8	AREA, CURVE AND LINE TABLES
SHEET 9	TRACT EASEMENT DETAIL
SHEET 10	TRACT EASEMENT DETAIL
SHEET 11	WATERSHED SUBDIVISION EASEMENT DETAILS
SHEET 12	EASEMENT VACATION DETAILS

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Mary Herrera Bern. Co. PLAT R 62.00

NOTE

Pursuant to Section 7 of the City of Albuquerque, New Mexico subdivision ordinance, a variance or waiver from certain subdivision requirements has been granted by the City and the Albuquerque Metropolitan Arroyo Flood Control Authority in connection with this plat.

Future subdivision of lands within this plat, zoning site development plan approvals and development permits may be conditioned upon dedication of rights-of-way and easements and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City (and AMAFCA with reference to drainage) may require and/or permit easements to be added, modified or removed when future plats and/or site development plans are approved.

By its approval, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items:

1. Water and sanitary sewer availability
2. Future street dedications and/or improvements
3. Park and open space requirements
4. Drainage requirements and/or improvements
5. Excavation, filling or grading requirements

Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a re-cordable document, removing such conditions from all or from a portion of the area within the subject subdivision.

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<p>PREPARED BY: PRECISION SURVEYS, INC.</p> <p>8414-D JEFFERSON ST., N.E. PHONE 888 888 8700 ALBUQUERQUE, NEW MEXICO 87115 FAX 888 888 7800</p>	<p>SHEET TITLE: DESCRIPTION AND INDEX</p> <p>PREPARED FOR: Westland Development Co., Inc.</p> <p>LOCATION: BERNALILLO COUNTY, NEW MEXICO</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 15%;">DRAWN BY: KJS</td> <td style="width: 15%;">CHECKED BY: LM</td> <td style="width: 15%;">DATE: 4/29/05</td> </tr> <tr> <td colspan="2">PROJECT NO.: 03 5444P</td> <td>SHEET NO.: 2</td> </tr> <tr> <td colspan="2"></td> <td>OF SHEETS: 12</td> </tr> </table>	DRAWN BY: KJS	CHECKED BY: LM	DATE: 4/29/05	PROJECT NO.: 03 5444P		SHEET NO.: 2			OF SHEETS: 12
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