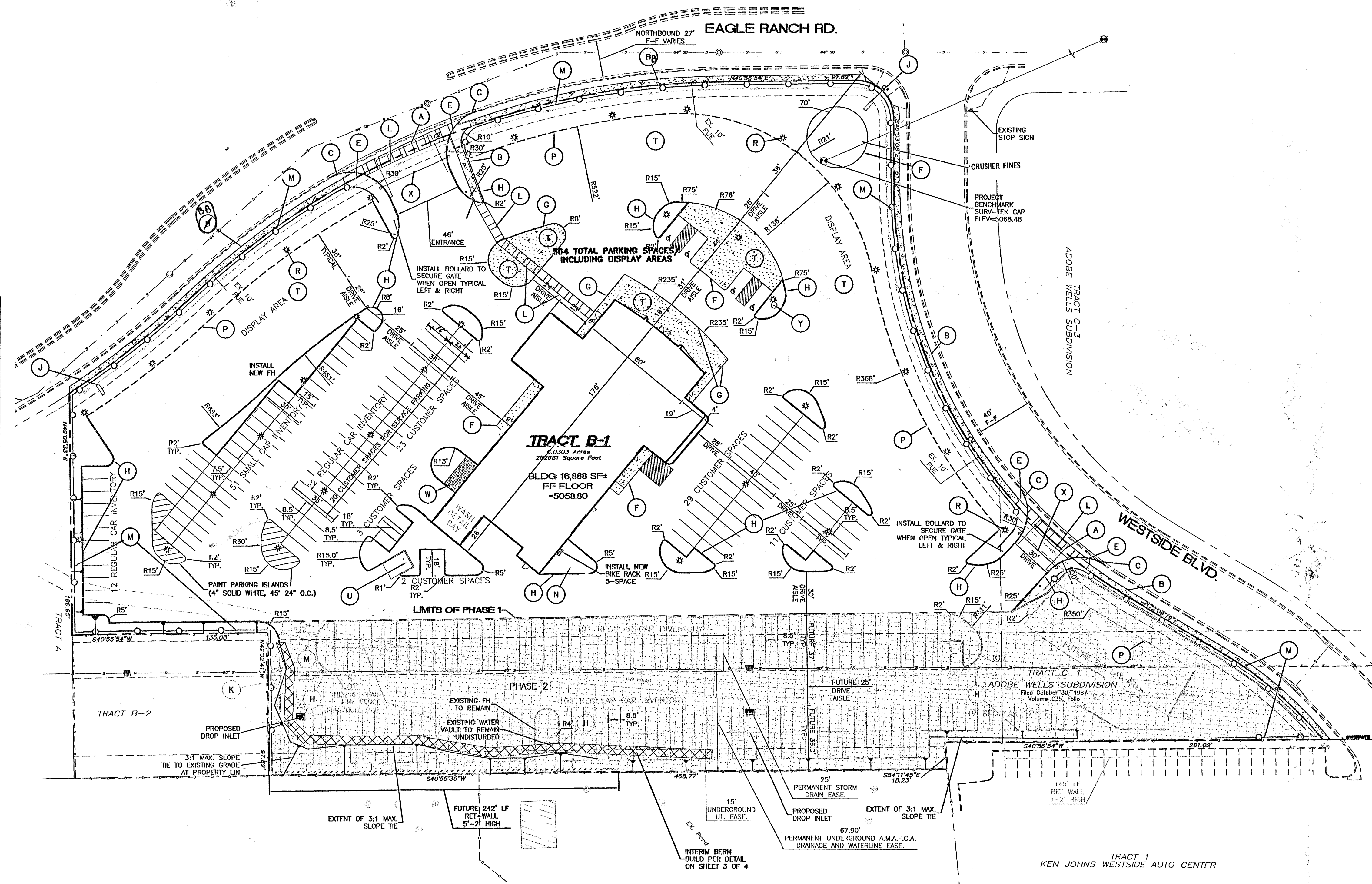


VICINITY MAP: B-19-7

- LEGAL DESCRIPTION**  
TRACT B-1, ADOBE WELLS
- NOTES**
- SEE CONCEPTUAL GRADING AND DRAINAGE PLAN, SHEET 3 OF 4 FOR RETAINING WALL DETAIL.
  - ALL CURBS TO BE 6" HEADER CURB, UNLESS OTHERWISE NOTED.
  - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
  - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH THE TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
  - SITE LIGHTING SHALL NOT HAVE A TOTAL OFF-SITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS. THE MOUNTING HEIGHT OF LUMINAIRES IN VEHICULAR AND/OR STORAGE AREAS SHALL BE NO HIGHER THAN 20 FEET.
  - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
  - NO FREESTANDING CELL TOWER OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
  - SETBACKS: THERE SHALL BE A FRONT YARD SETBACK OF NOT LESS THAN TWENTY (20) FEET AND A SIDE & REAR YARD SETBACK OF NOT LESS THAN TEN (10) FEET. A MINIMUM OF TEN (10) FEET LANDSCAPE STRIP SHALL BE PROVIDED ADJACENT TO PUBLIC ROADWAYS.
  - BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE COMPREHENSIVE CITY ZONING CODE AND WITHIN THE COORS CORRIDOR PLAN, WHICHEVER IS MORE RESTRICTIVE.
  - NO OUTDOOR LOUDBLANKERS OR OTHER AMPLIFIED PUBLIC ADDRESS SYSTEMS SHALL BE PERMITTED.

- KEYED NOTE:**
- A 6" VALLEY CUTTER PER C.O.A. STD DWG #2420
  - B 4' SIDEWALK TO BE BUILT W.H THIS PROJECT PER COA STD. DWG#2430
  - C STANDARD CURB & GUTTER PER C.O.A. STD DWG #2415
  - D CASE II-ACCESS RAMP PER C.O.A. STD DWG #2441 (TYP.)
  - E UNIDIRECTIONAL ACCESS RAMP PER C.O.A. STD DWG #2441 (TYP.)
  - F TURN DOWN CURB PER DETAIL ON SHEET 3 OF 4
  - G FLUSH CURB PER DETAIL ON SHEET 3 OF 4
  - H 6" HEADER CURB PER DETAIL ON SHEET 3 OF 4
  - J MONUMENT SIGN (75 SF. MAX), SEE ARCH PLAN
  - K EMERGENCY OVERFLOW POINT
  - L 6" PAINTED CROSSWALK
  - M INSTALL POST AND CABLE FENCE
  - N INSTALL TRANSFORMER AND PAD
  - P LIMITS OF PAVEMENT
  - R INSTALL SITE LIGHTING, TYP. (SEE NOTE#6)
  - T DISPLAY AREA
  - U INSTALL SINGLE DUMPSTER PER DETAIL THIS SHEET
  - W PATIO AREA (10x25)
  - X NEW 2" STEEL PIPE GATE ON SHEET 1A OF 5
  - Y INSTALL FLAG POLE PER MANUFACTURER DETAILS
  - BB 6' SIDEWALK TO BE BUILT WITH THIS PROJECT



**LEGEND**

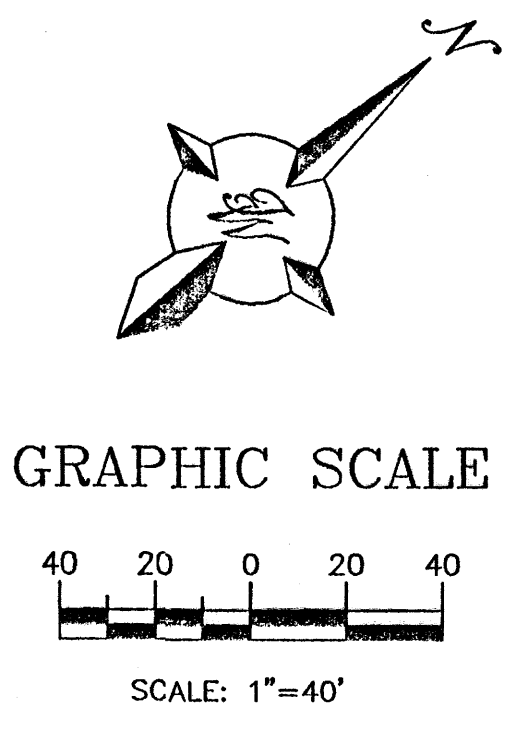
DESCRIPTION	SYMBOL
PROPOSED SINGL. "D" INLET	—
PROPOSED STORM SEWER LINE	—
EXISTING FENCE	—
EXISTING CURB & GUTTER	—
PROPOSED CURB & GUTTER	—
BOUNDARY LINE	—
EXISTING BOUNDARY LINE	—
EASEMENT	—
PROPOSED SIDEWALK	—
EXISTING SIDEWALK	—
FUTURE SIDEWALK	—
PROPOSED PERIMETER WALL	—
PROPOSED RETAINING WALL	—
FLOW ARROW	—
SLOPE TIE	—
CENTERLINE	—
RIGHT-OF-WAY	—
LOT LINES	—
EXISTING LOT LINES	—
BE-MARK LINE	—
PHASE LINE	—
BENCH MARK	—
STREET LIGHTS	—

**PARKING DATA**

	PHASE I	PHASE II	TOTAL
PUBLIC/EMPLOYEE	72	12	84
DISPLAY/INVENTORY	253	227	480
TOTAL	325	239	564

**SITE DATA**

	PHASE I	PHASE II
PROPOSED USAGE:	RETAIL CAR SALES (DEALERSHIP)	PHASE II PARKING
TOTAL LOT AREA:	262,681 SF (6.0303 ACRE)±	69,289 SF (1.507 ACRE)±
PHASE (#) AREA:	193,391 SF (4.4397 ACRE)±	XX,XXX SF±
BUILDING AREA:	16,888 SF±	XX SPACES
PARKING PROVIDED:	84 SPACES	XX SPACES
PARKING REQUIRED:	84 SPACES	XX SPACES
(1 FOR EVERY 200 SF BLDG. AREA)		
HC PARKING PROVIDED:	4 SPACES	X SPACES
HC PARKING REQUIRED:	4 SPACES	X SPACES
	1 SPACES VAN ACCESSIBLE	X SPACES VAN ACCESSIBLE
BIKE PARKING PROVIDED:	5 SPACES	X SPACES
BIKE PARKING REQUIRED:	3 SPACES	X SPACES
(1 FOR EVERY 20 CUSTOMER SPACES)		



- SHEET INDEX:**
- SITE PLAN
  - SITE PLAN DETAILS PLAN
  - LANDSCAPING PLAN
  - GRADING AND DRAINAGE PLAN
  - GRADING AND DRAINAGE PLAN DETAILS
  - MASTER UTILITY PLAN
  - MASTER UTILITY DETAILS PLAN
  - BUILDING AND STRUCTURE ELEVATIONS

**PROJECT NUMBER:** 1003100  
**APPLICATION NUMBER:** 03EPC-01921

Is an Infrastructure List required? ( ) Yes (X) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

<i>[Signature]</i> Engineer, Transportation Division	3-3-04 Date
<i>[Signature]</i> Utilities Development	3/19/04 Date
<i>[Signature]</i> Parks & Recreation Department	3/3/04 Date
<i>[Signature]</i> City Engineer	3/3/04 Date
N/A * Environmental Health Department (conditional)	Date
<i>[Signature]</i> Solid Waste Management	3-9-04 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	3/22/04 Date
* Environmental Health, if necessary	12/16/03

**ENGINEER'S SEAL**

**KIA WESTSIDE AUTO DEALERSHIP**

**SITE PLAN**

**TERRA WEST, LLC**  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

**RONALD R. BOHANNAN**  
P.E. #7868

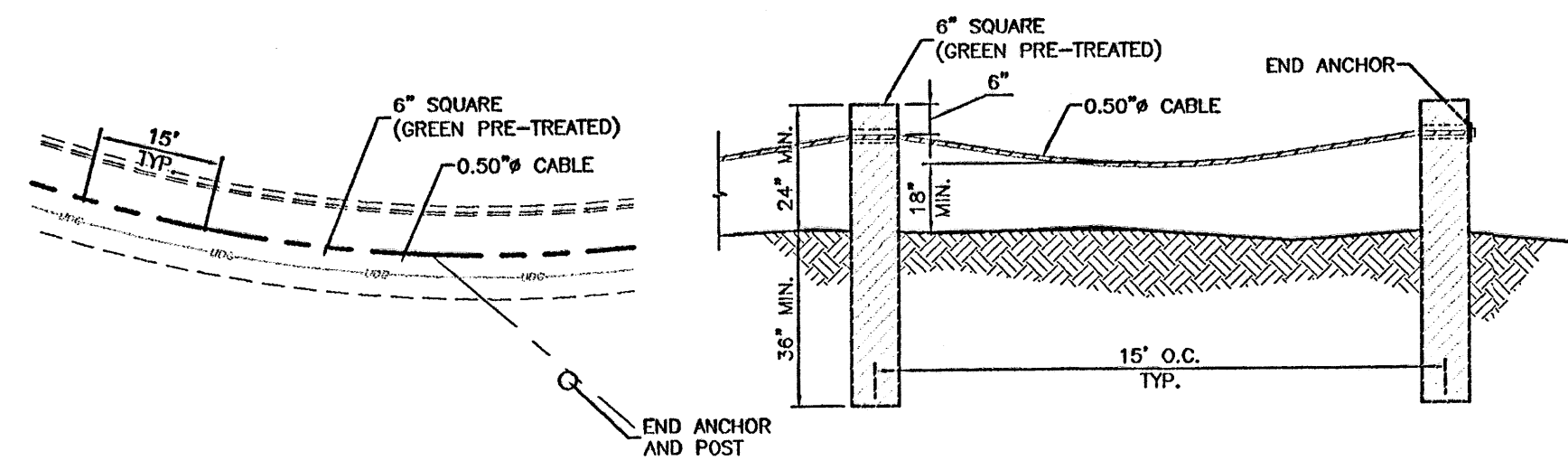
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**DATE**  
02-23-2004

**23965PD-012704X.DWG**

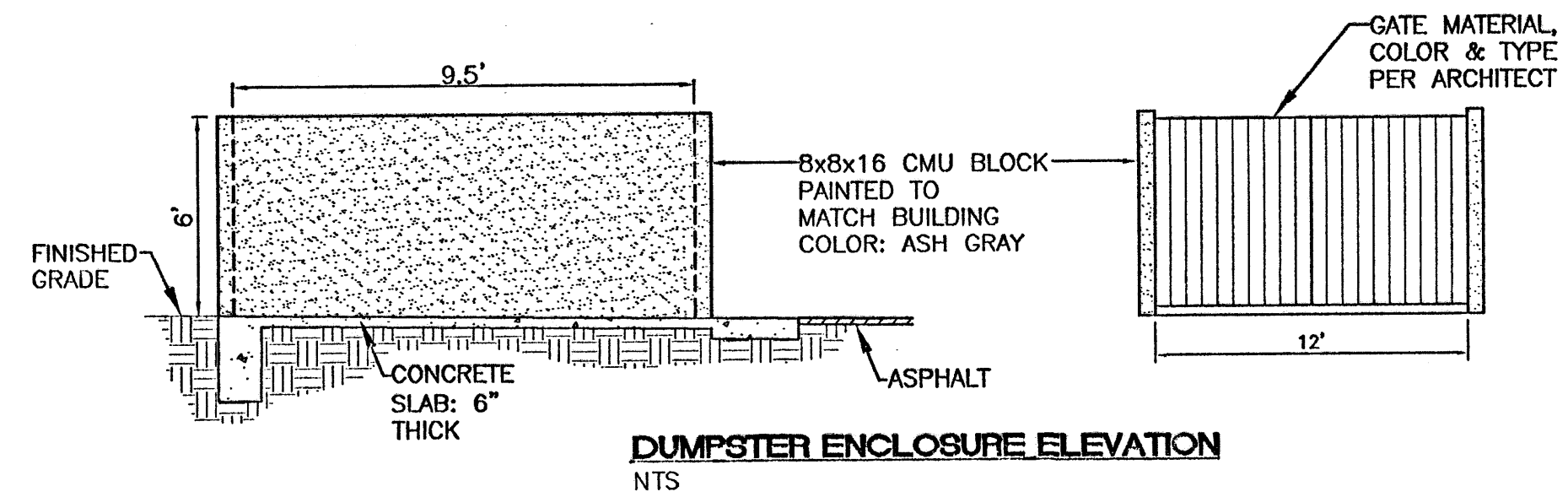
**SHEET #**  
**1 OF 5**

**JOB #**  
230096

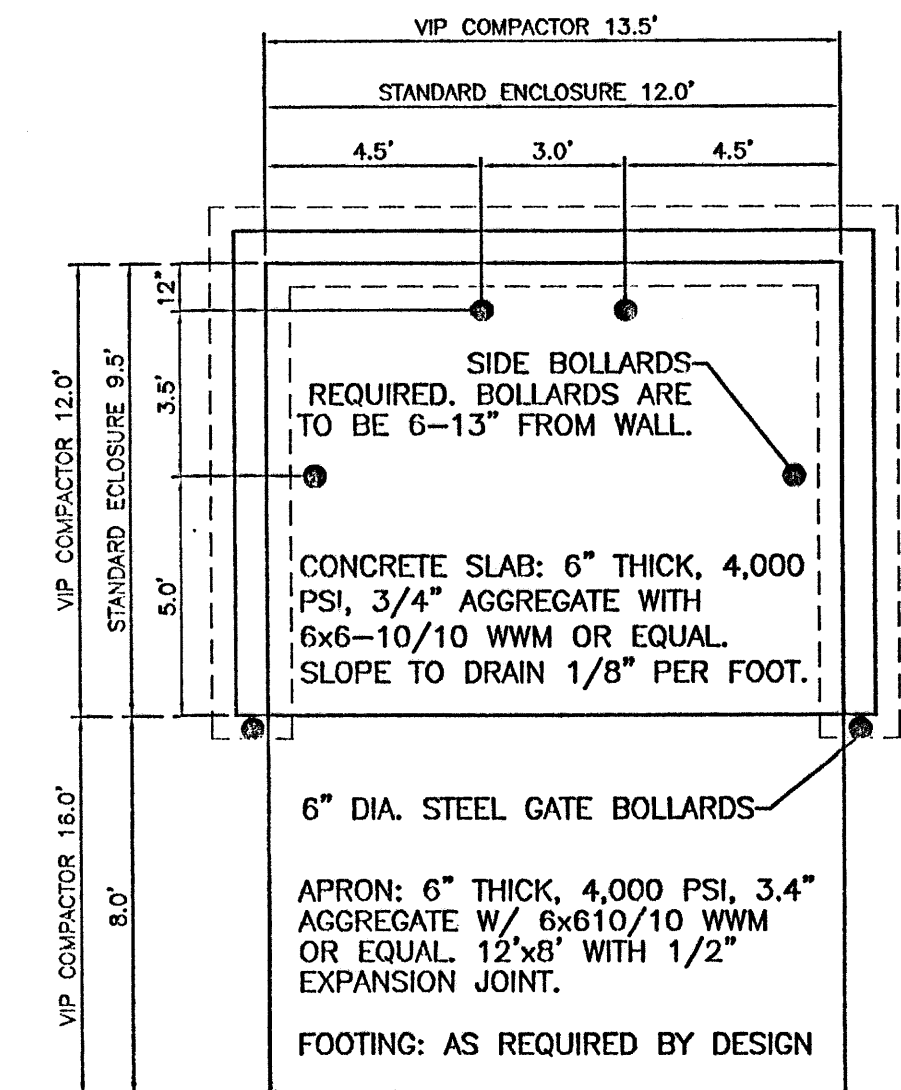
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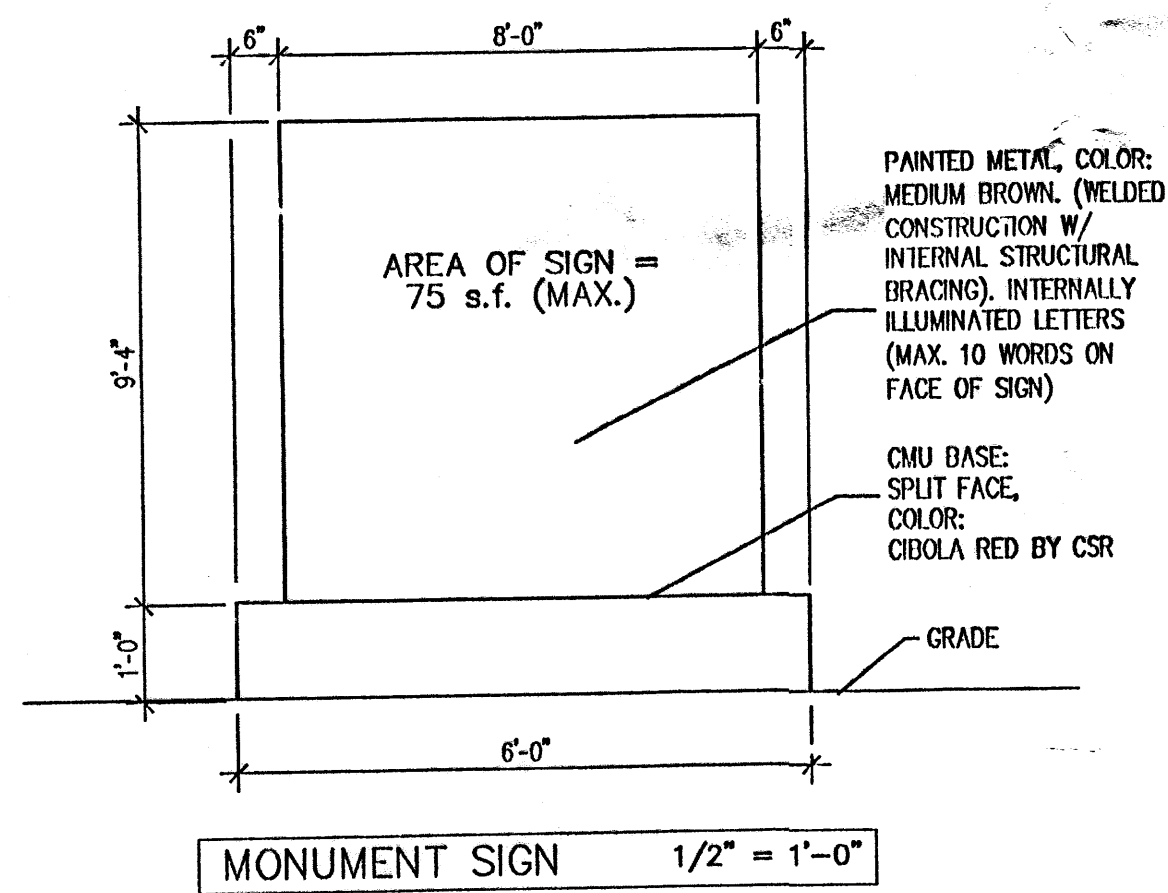
**POST AND CABLE FENCE DETAIL**  
NTS



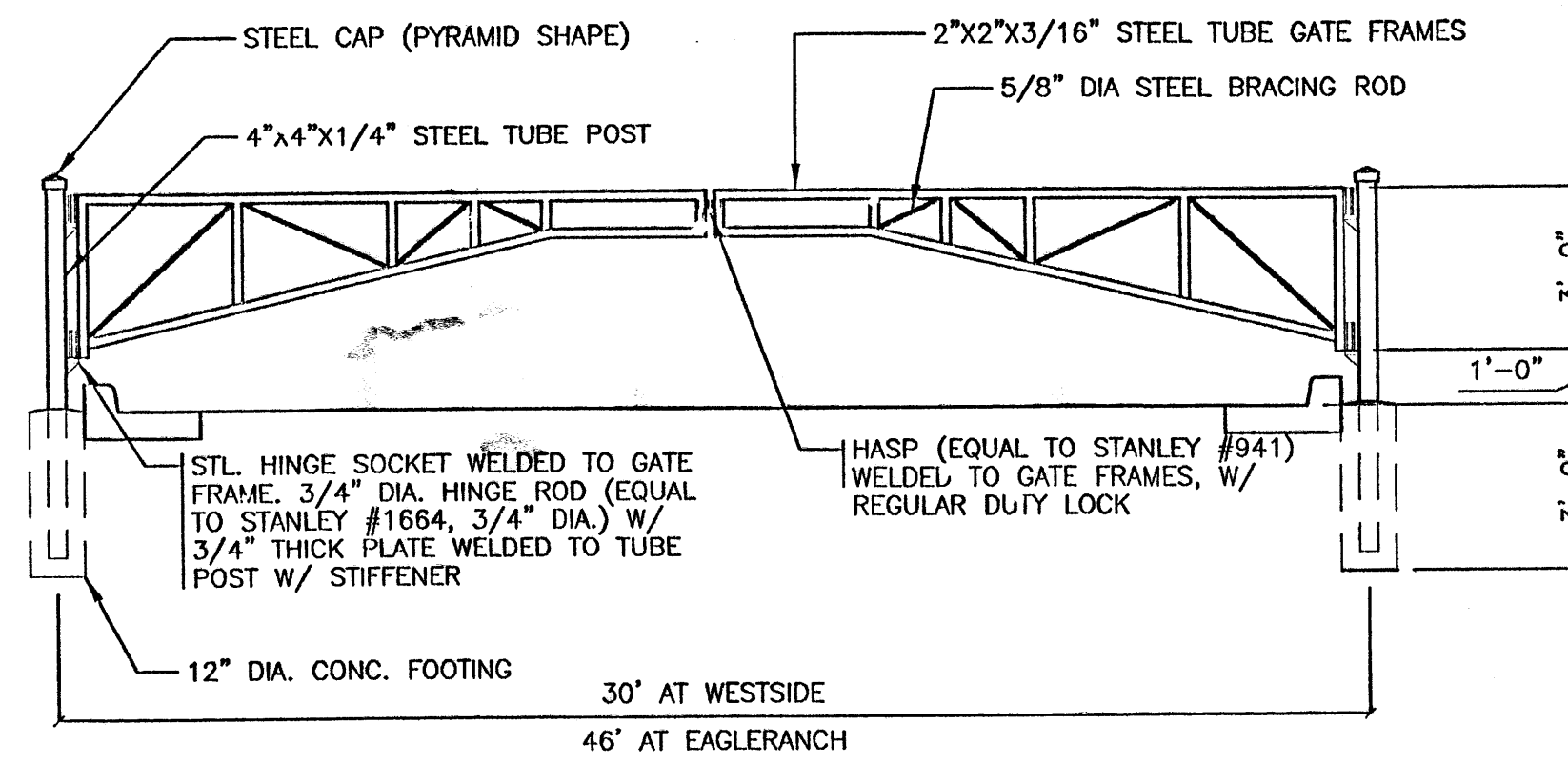
**DUMPSTER ENCLOSURE ELEVATION**  
NTS



**DUMPSTER ENCLOSURE DETAIL**  
NTS

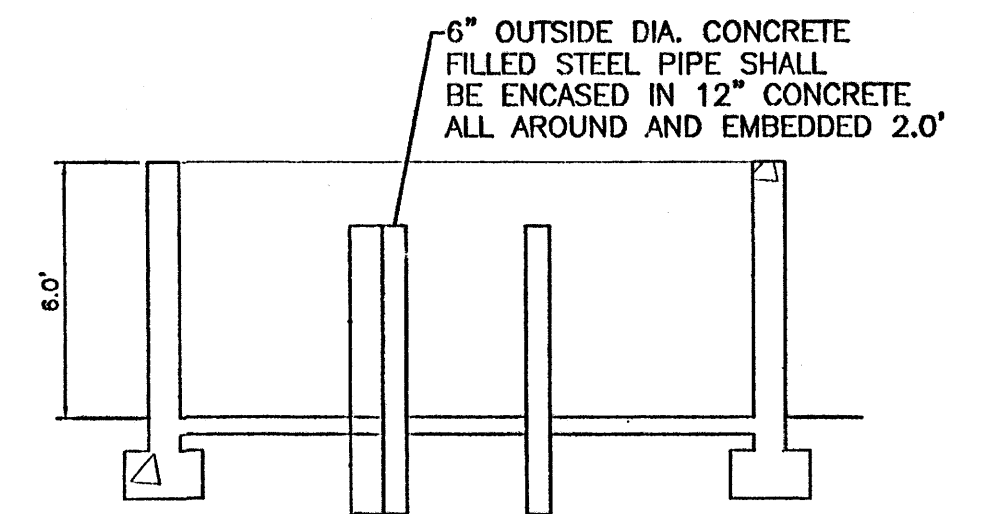


**MONUMENT SIGN** 1/2" = 1'-0"



- NOTE:  
1. PAINT ALL STEEL COMPONENTS ASH GREY TO MATCH BUILDING  
2. INSTALL 2 BOLLARDS TO SECURE GATE WHEN OPEN DURING BUSINESS HOURS;  
SEE SITE PLAN FOR APPROXIMATE LOCATION OF INSTALLATION

**FRONT GATE DETAIL**  
NTS



NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

**DUMPSTER ENCLOSURE DETAIL**  
NTS

	<b>ENGINEER'S SEAL</b> <b>KIA WESTSIDE AUTO DEALERSHIP</b>	DRAWN BY MP DATE 02-22-2004
	<b>SITE PLAN DETAILS SHEET</b>	2396SP-012704X.DWG
<b>TIERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>1A OF 5</b>	JOB # 230096
RONALD R. BOHANNAN P.E. #7868		

**SITE DATA**

GROSS LOT AREA 262,680 SF  
 LESS BUILDING 15,954 SF  
 LESS PHASE 2 AREA 67,300 SF  
 NET LOT AREA 179,426 SF

REQUIRED LANDSCAPE (PHASE 1) 26,914 SF  
 15% OF NET LOT AREA  
 PROPOSED LANDSCAPE 30,661 SF  
 PERCENT OF NET LOT AREA 17%

STREET TREES PROVIDED AT 30' O.C. SPACING ALONG EAGLE RANCH RD. 17 PROVIDED MIN.  
 PARKING LOT TREES PROVIDED AT 1' PER 10 SPACES 364 SPACES/10  
 29 PROVIDED PHASE 1  
 REMAINING 7 TREES TO BE PROVIDED IN PHASE 2

**PLANT LEGEND**

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
FR	17	FRAXINUS OXY.	RAYWOOD ASH	2" CAL	H
FP	15	FRAXINUS PENN.	PATMORE ASH	2" CAL	H
⊙	8	CRATAEGUS	HAWTHORN	15 GAL	M
⊙	6	CHILOPSIS	DESERT WILLOW	15 GAL	H
⊙	19	COTONEASTER PARNEYI	CLUSTERBERRY	1 GAL	M
⊙	61	JUNIPERUS SABINA	BUFFALO JUNIPER	1 GAL	M
⊙	131	RAPHIOLEPIS INDICA	INDIA HAWTHORN	1 GAL	M
⊙	5	CHRYSOTHAMNUS NAUSEOSUS	CHAMISA	1 GAL	L
⊙	5	BUDDLEIA DAVIDII	BUTTERFLY BUSH	1 GAL	M
⊙	28	CARYOPTERIS X CLADONENSIS	BLUE MIST	1 GAL	M
⊙	9	MISCANTHUS SINENSIS	MAIDEN GRASS	1 GAL	M
⊙	41	HESPERALOE PARVIFLORA	RED YUCCA	1 GAL	M
⊙	6	PRUNUS BESSEYI	SAND CHERRY	1 GAL	M
⊙	46	HELICTOTRICHON	BLUE AVENA GRASS	1 GAL	M
⊙	100	SALVIA GREGGII	CHERRY SAGE	1 GAL	M
⊙	74	LAVANDULA	LAVENDER	1 GAL	M
⊙	182	ROSMARINUS PRO.	CREEPING ROSEMARY	1 GAL	M
⊙	78	MUHLENBERGIA	REGAL MIST GRASS	1 GAL	M

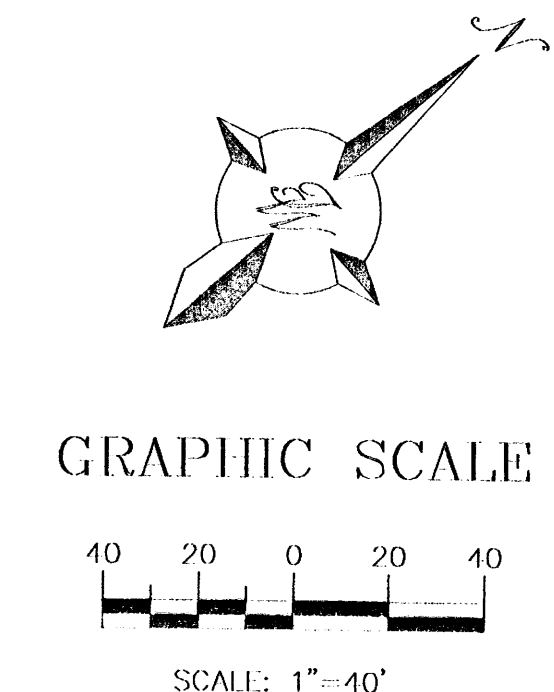
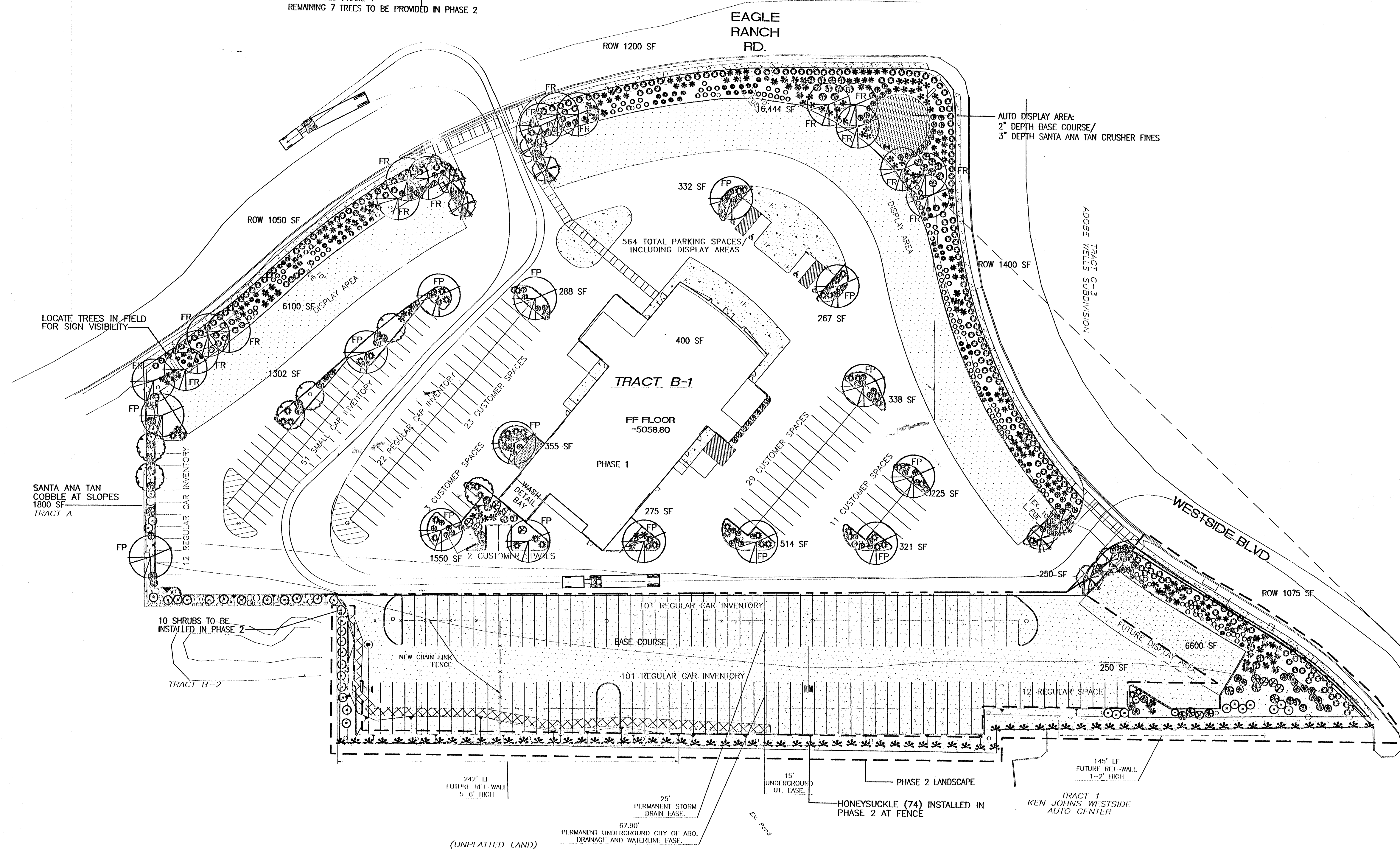
PHASE 1 QUANTITIES

**PLANTING RESTRICTIONS APPROACH**

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS  
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

**NOTE**

- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
- LANDSCAPE AREAS TO BE MULCHED WITH SANTA FE BROWN CRUSHER FINES AT 2"-3" DEPTH
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
- TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
- NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.
- ALL PHASE 2 LANDSCAPING WILL GO INTO PHASE 2 CONSTRUCTION



**HeadsUp**  
 LANDSCAPE CONTRACTORS  
 7525 SECOND ST. NW  
 ALBUQUERQUE, NM  
 (505) 898-9815  
 LICENSE 18890  
 www.headsuplandscape.com

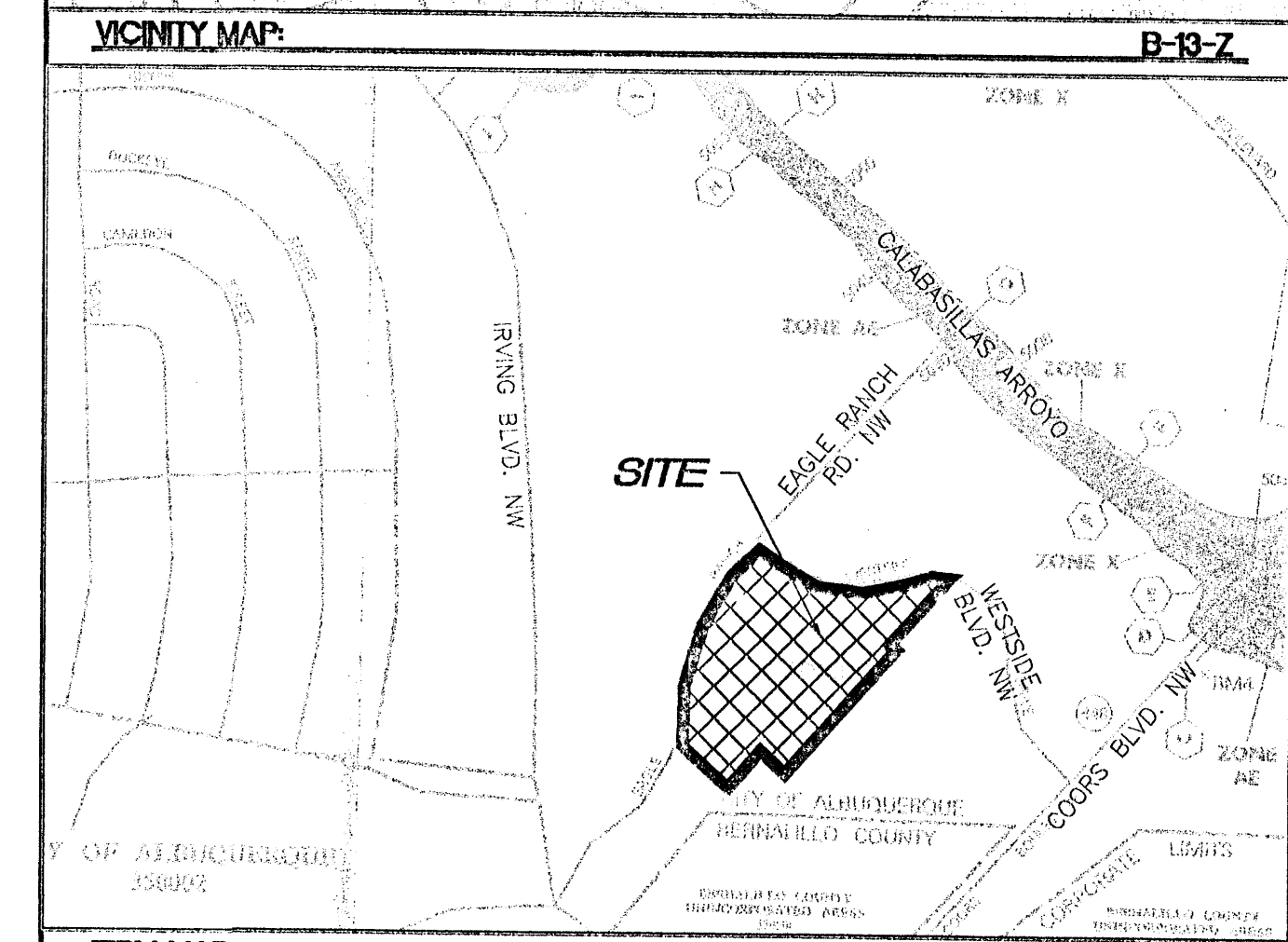
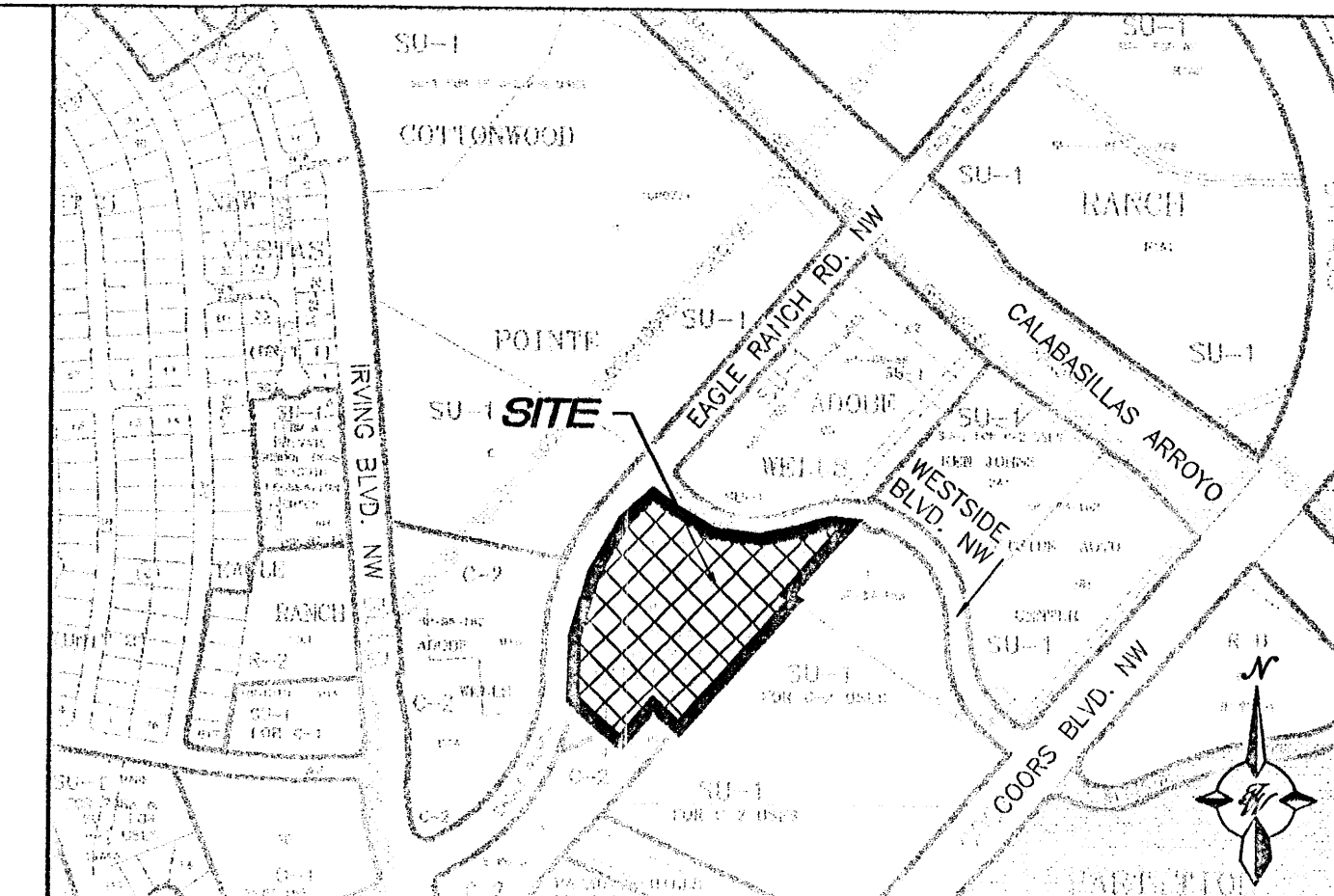


DATE 2/6/04  
 2/18/04  
 2/25/04  
 3/17/04

ENGINEER'S SEAL	<b>KIA WESTSIDE AUTO DEALERSHIP</b>	DRAWN BY JC
		DATE 01-27-2004
	<b>LANDSCAPE PLAN</b>	2396CRB-012704X.DWG
	<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-5100	SHEET # <b>2 OF 5</b>
RONALD R. BOLIANNAN P.E. #7868		JOB # 230096

**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



**LEGAL DESCRIPTION:**

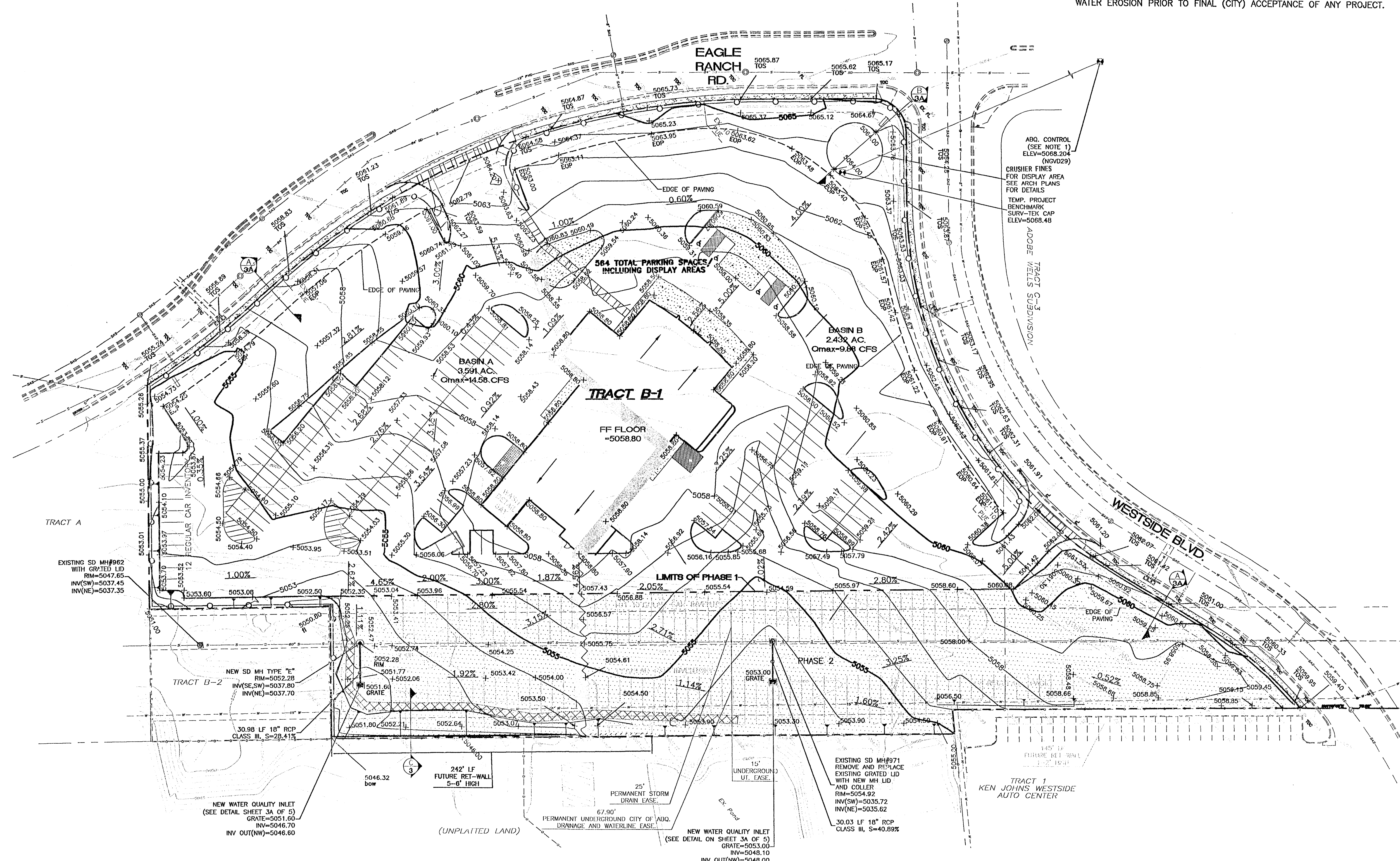
TRACT B-1, ADOBE WELLS

- NOTES:**
1. TIE TO PROJECT BENCHMARK ACS MONUMENT "2-B13" 894.97' N 17° 58' 31" E @ X:377098.54, Y:1525859.94; ELEV:5068.204(NGVD29)
  2. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
  3. ALL SLOPE TIES MAXIMUM OF 3:1.
  4. WATER QUALITY INLETS & STORM DRAIN LATERALS TO BE INSTALLED IN PHASE I CONSTRUCTION
  5. TEMPORARY MEASURE FOR STABILIZING PHASE II, USE GRAVEL OR BASE COURSE

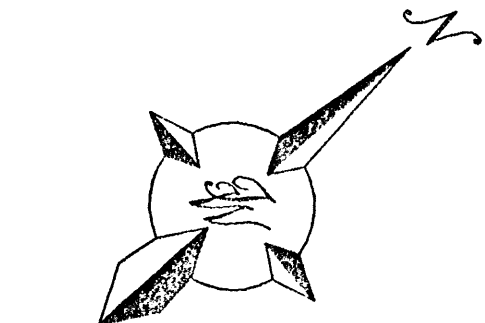
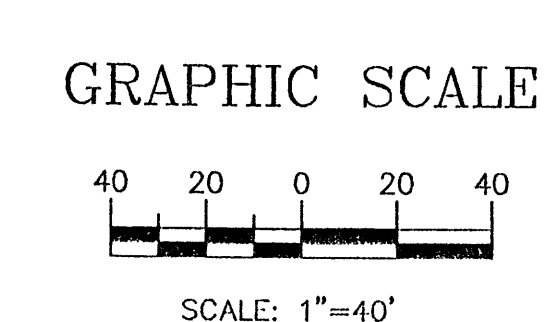
LEGEND	DESCRIPTION
	PROPOSED SINGL "D" INLET
	PROPOSED STORM SEWER LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	FUTURE SIDEWALK
	PROPOSED PERIMETER WALL
	PROPOSED RETAINING WALL
	FLOW ARROW
	SLOPE TIE
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	EXISTING LOT LINES
	SETBACK LINE
	PHASE LINE
	BENCH MARK
	STREET LIGHTS
	PHASE II

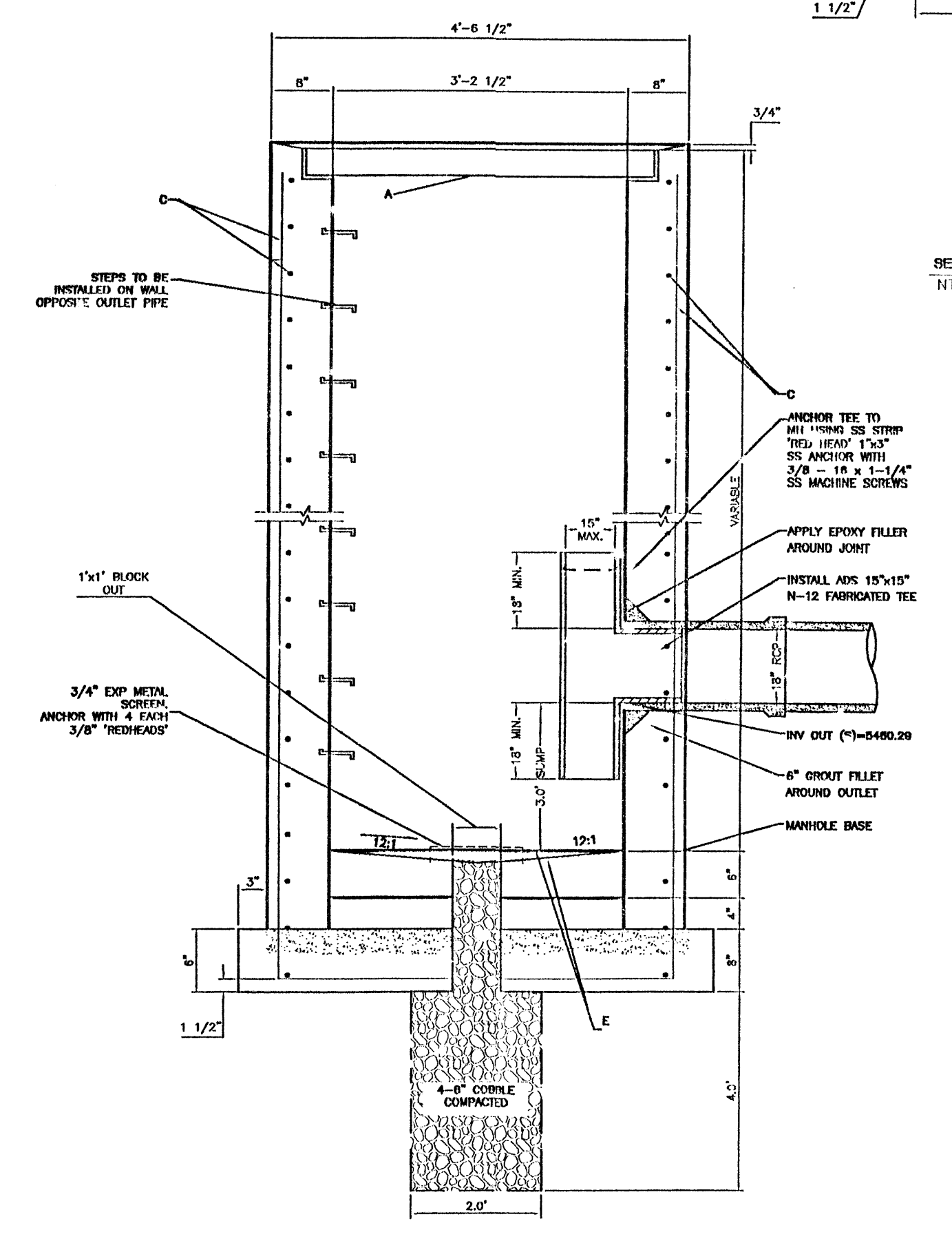
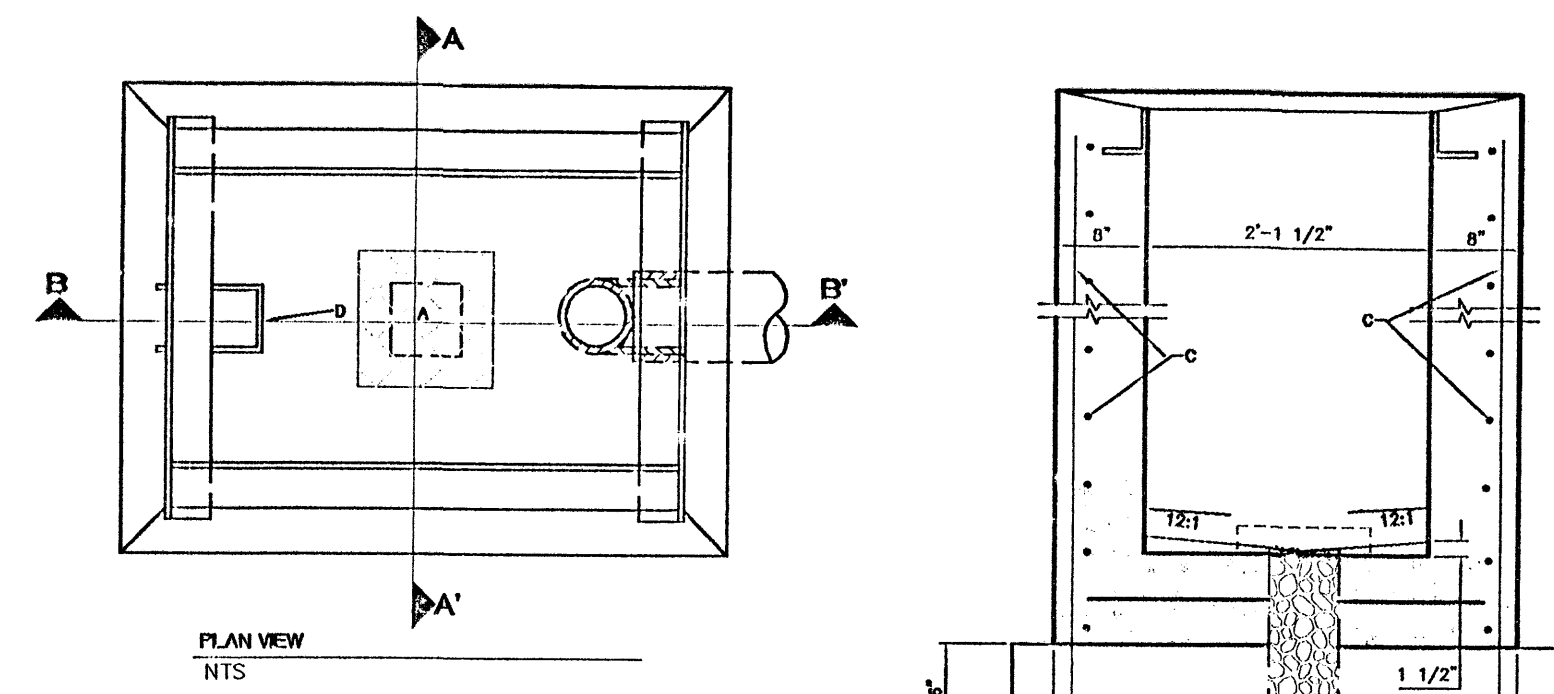
ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

ENGINEER'S SEAL 	<b>KIA WESTSIDE AUTO DEALERSHIP</b>	DRAWN BY MP
	<b>GRADING AND DRAINAGE PLAN</b>	DATE 01-27-2004
RONALD R. BOHANNON P.E. #7868	<b>TIERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2396GRD-012704X.DWG
		SHEET # 3 OF 5
		JOB # 270001



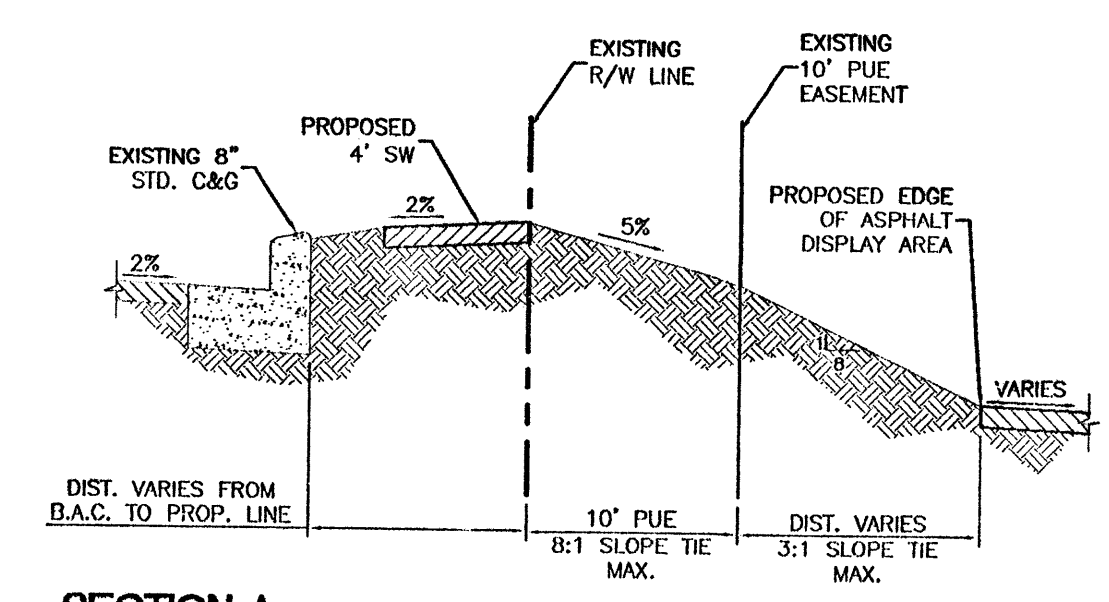
**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



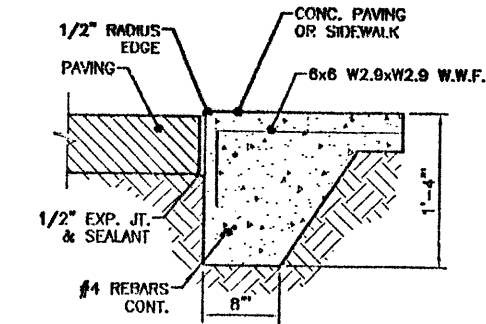


**WATER QUALITY DROP INLET TYPE 'D'**  
NTS

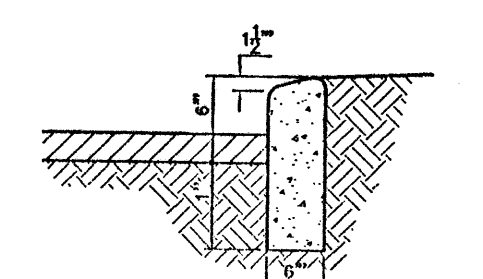
- GENERAL NOTES:**
- 5" INLET CUTTER TRANSITION WILL BE SHOWN ON THE CONSTRUCTION PLANS.
  - CURB PIPE PER DESIGN REQUIREMENT.
  - FOR FRAME & GRATING, SEE DWG. 2216, 2220 & 2221.
- CONSTRUCTION NOTES:**
- FRAME & GRATE.
  - CUT ONE HORIZONTAL AND ONE VERTICAL 1/2" MAX. AT PIPE OPENING.
  - NO. 4 BARS @ 6" O.C. EACH WAY.
  - USE STANDARD STEPS, SEE DWG. 2220.
  - CONC. FILL, SEE NOTE C DWG. 2201.
  - INVERT PER DESIGN.
  - INSTALL STEPS ON DOWNSTREAM FACE.
  - CENTER SUPPORT ASSEMBLY.



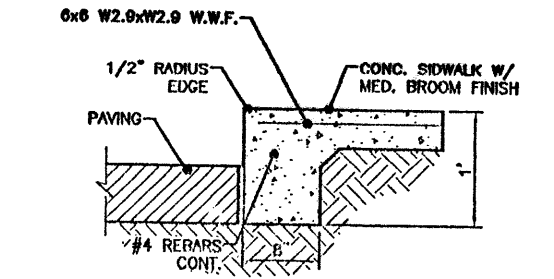
**SECTION A**  
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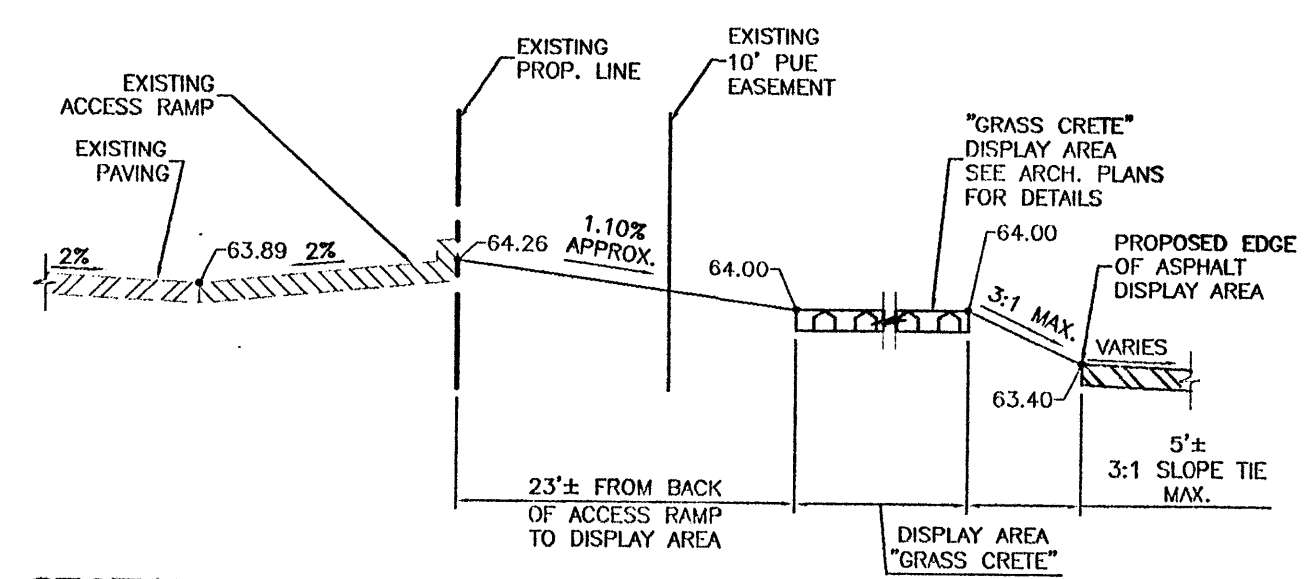
**DETAIL - FLUSH CURB**  
1" = 1'-0" SEE COA STD DWG#2414



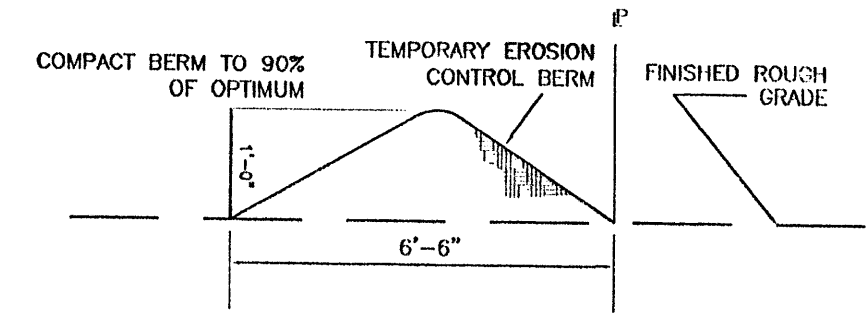
**DETAIL - HEADER CURB**  
1" = 1'-0" SEE COA STD DWG#2414



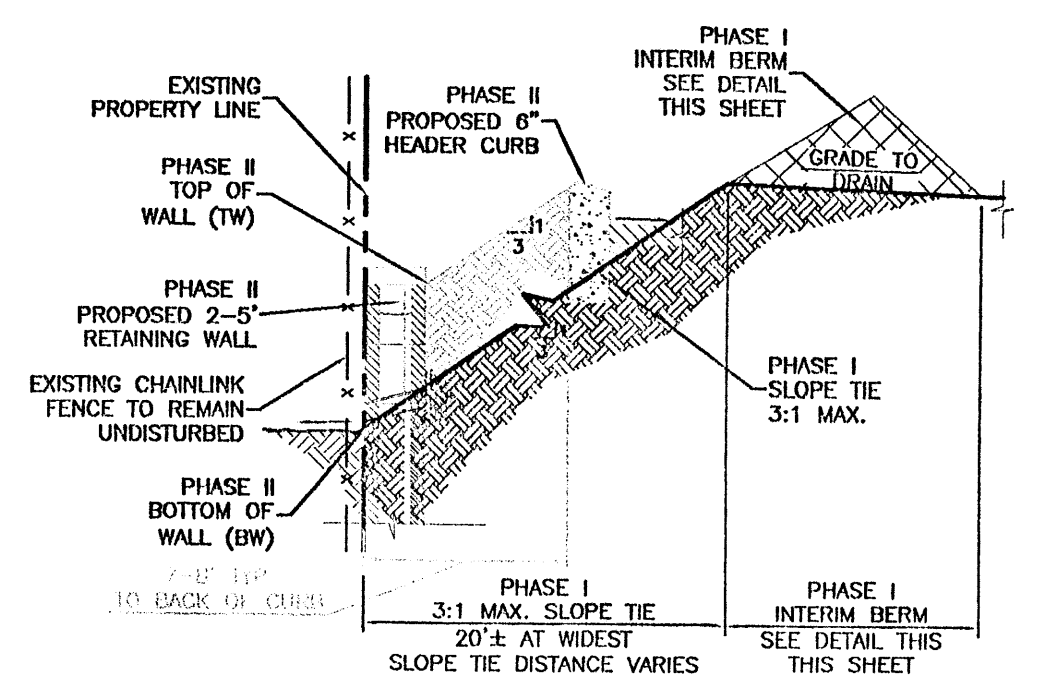
**DETAIL - TURNDOWN CURB**  
1" = 1'-0" SEE COA STD DWG#2414



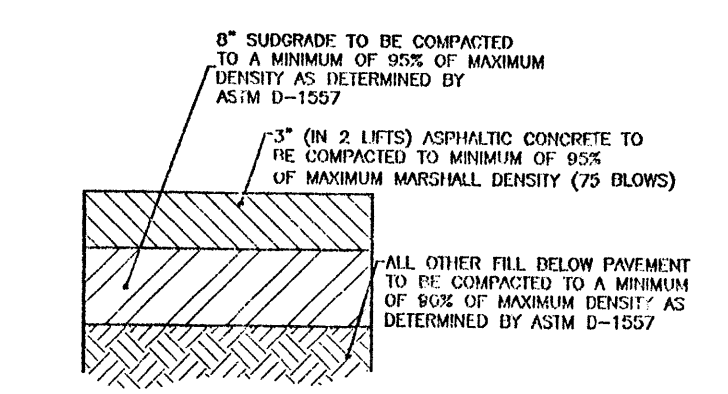
**SECTION B**  
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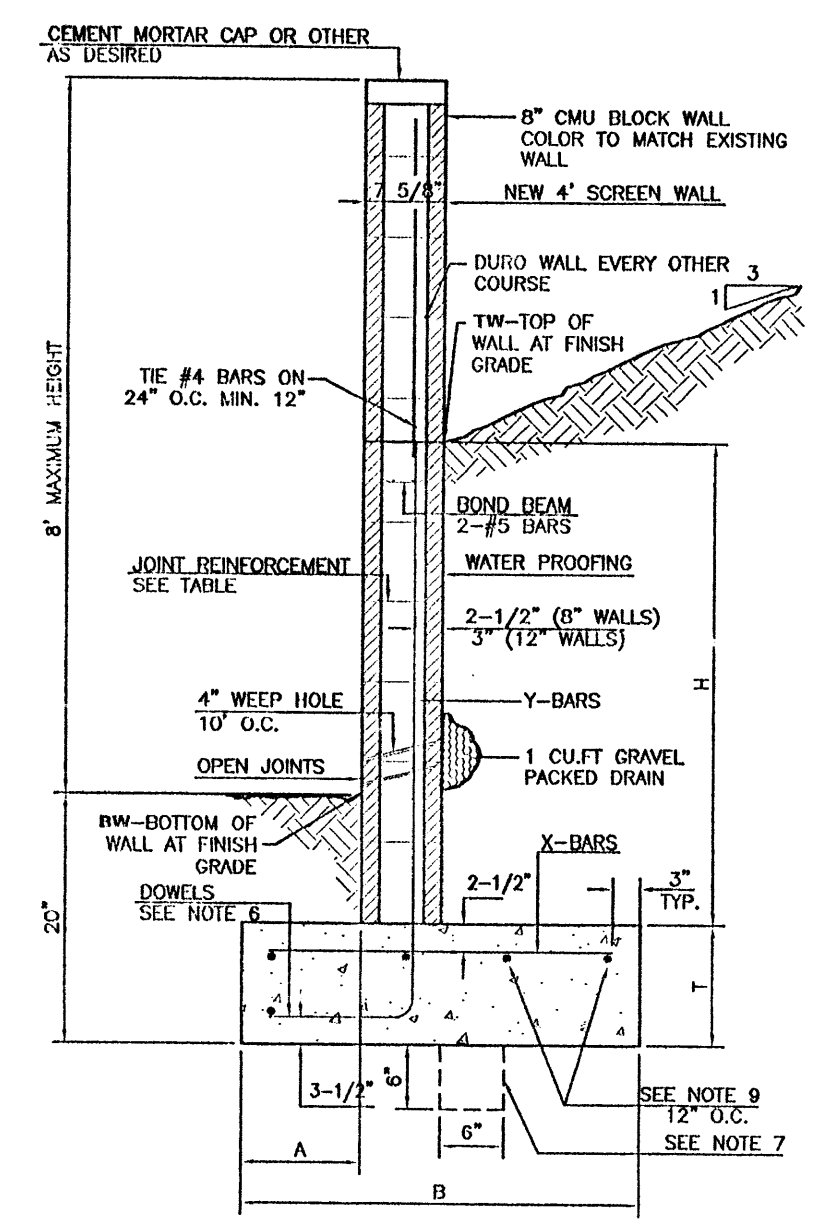
**EROSION CONTROL BERM DETAIL**  
NTS



**SECTION C**  
NTS



**AUTOMOBILE PARKING TYPICAL PAVING SECTION**  
DESIGNATED BY - GEO TECHNICAL REPORT



**RETAINING WALL DETAIL**  
NTS

**8 INCH REINFORCED CONCRETE MASONRY WALL**

H	X	A	B	T	Y-BARS	X-BARS
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-0"	1'-0"	8"	2'-4"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-4"	3'-1"	10"	3'-4"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
6'-0"	4'-6"	14"	3'-8"	10"	#6 @24" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

**12 INCH REINFORCED CONCRETE MASONRY WALL**

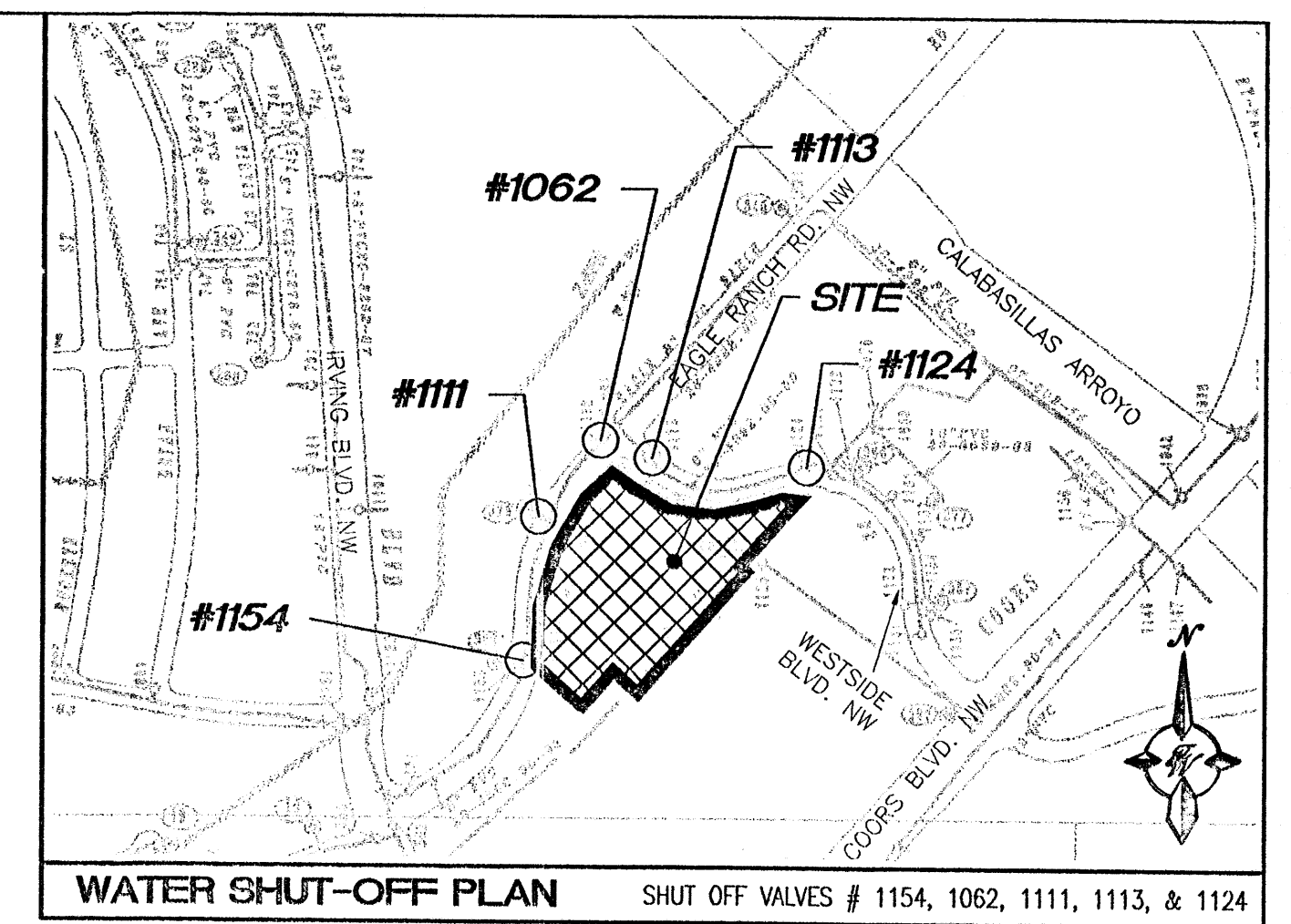
H	X	A	B	T	Y-BARS	X-BARS
5'-4"	4'-0"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	5'-4"	16"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	6'-0"	16"	4'-6"	12"	#6 @24" O.C.	#4 @25" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @20" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.
8'-0"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
  - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 90% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
  - EMCK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  - ALL BARS ARE TO BE GRADE 60, ASTM #15.
  - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
  - BOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
  - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0" (SEE NOTE 9).
  - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PLASTERS EVERY 16'.
  - #3 BARS TO BE USED ON WALLS LESS THAN 2'-0" IN HEIGHT.
  - #4 BARS TO BE USED ON WALLS GREATER THAN OR EQUAL TO 2'-0" IN HEIGHT.
  - #5 BARS TO BE USED ON WALLS EXCEEDING 2'-0" IN HEIGHT.
  - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

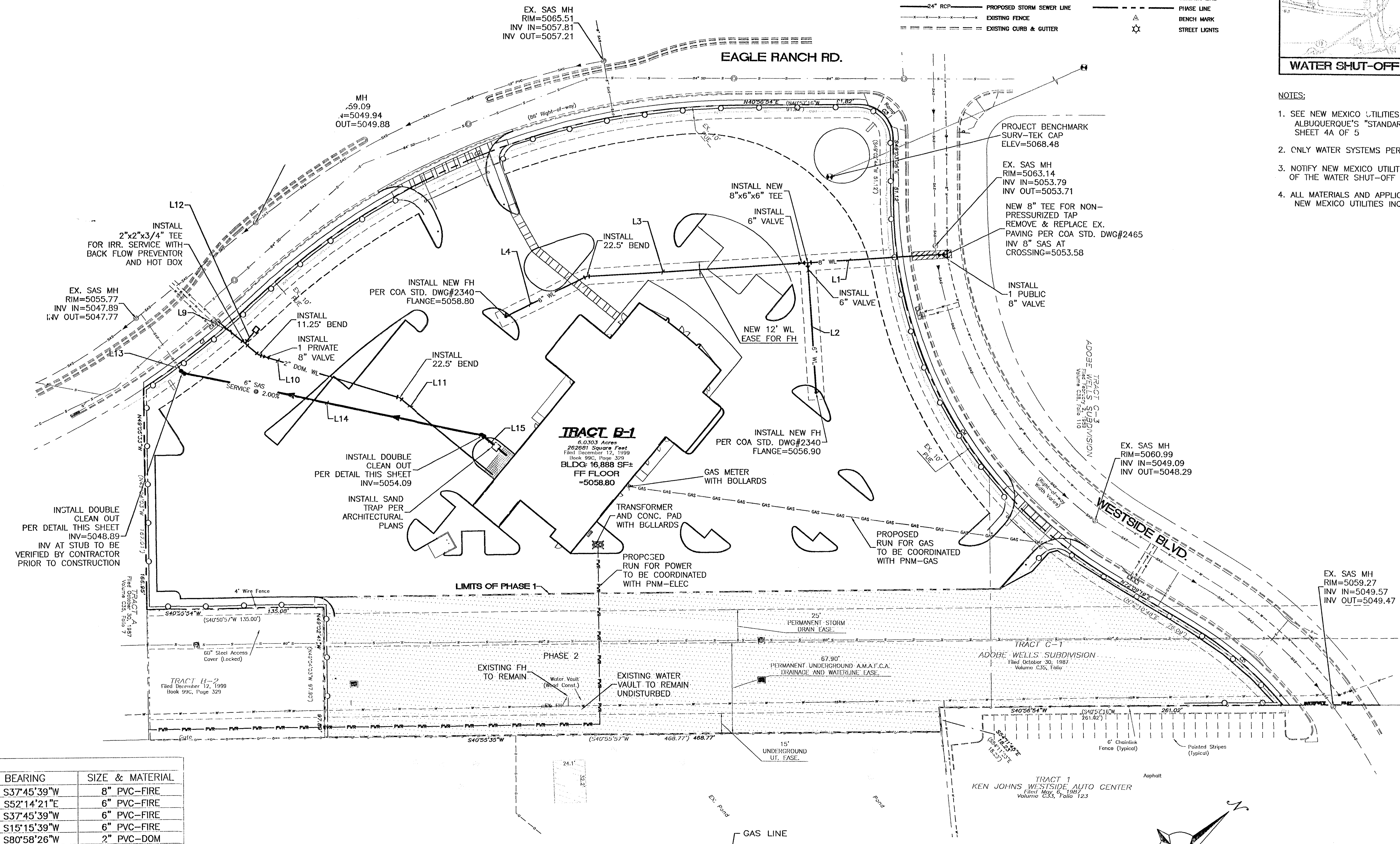
	<b>KIA WESTSIDE AUTO DEALERSHIP</b>	DRAWN BY MP DATE 12-15-2004
	<b>GRADING AND DRAINAGE PLAN</b>	2396GRE-112003X.DWG
<b>TRIMA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET # <b>3A OF 5</b>
RONALD R. BOHANNAN P.E. #7168		JOB # 2396GRE

LEGEND	DESCRIPTION
○	EXISTING SAS MANHOLE
— EX. 8" GAS	EXISTING SANITARY SEWER LINE
●	PROPOSED SAS MANHOLE
⊕	PROPOSED SAS CLEANOUT
— 8" SAS	PROPOSED SANITARY SEWER LINE
⊗	EXISTING METER
⊕	EXISTING VALVE W/BOX
⊕	EXISTING FIRE HYDRANT
— EX. 14" WL	EXISTING WATER LINE
⊕	PROPOSED METER
⊕	PROPOSED VALVE W/BOX
⊕	PROPOSED FIRE HYDRANT
— 8" WL	PROPOSED WATER LINE
— 24" RCP	PROPOSED SNGL. "D" INLET
—	PROPOSED STORM SEWER LINE
—	EXISTING FENCE
—	EXISTING CURB & GUTTER
—	PROPOSED CURB & GUTTER
—	BOUNDARY LINE
—	EXISTING BOUNDARY LINE
—	EASEMENT
—	PROPOSED SIDEWALK
—	EXISTING SIDEWALK
—	FUTURE SIDEWALK
—	PROPOSED PERIMETER WALL
—	PROPOSED RETAINING WALL
—	FLOW ARROW
—	SLOPE TIE
—	CENTERLINE
—	RIGHT-OF-WAY
—	LOT LINES
—	EXISTING LOT LINES
—	SETBACK LINE
—	PHASE LINE
—	BENCH MARK
—	STREET LIGHTS

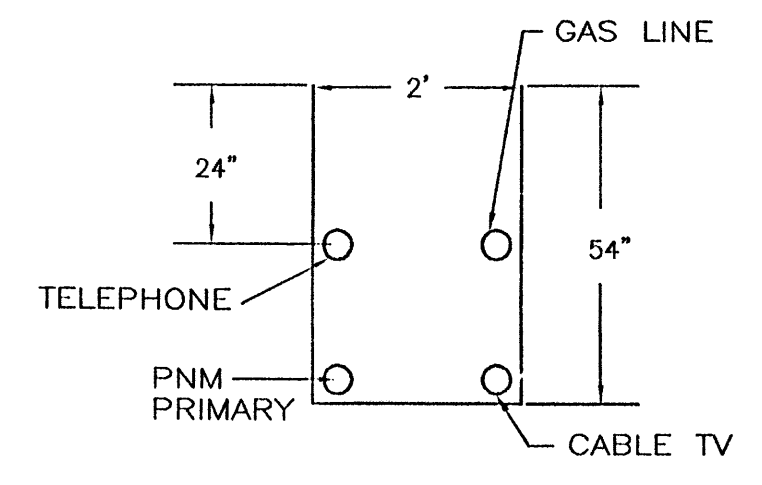


**WATER SHUT-OFF PLAN** SHUT OFF VALVES # 1154, 1062, 1111, 1113, & 1124

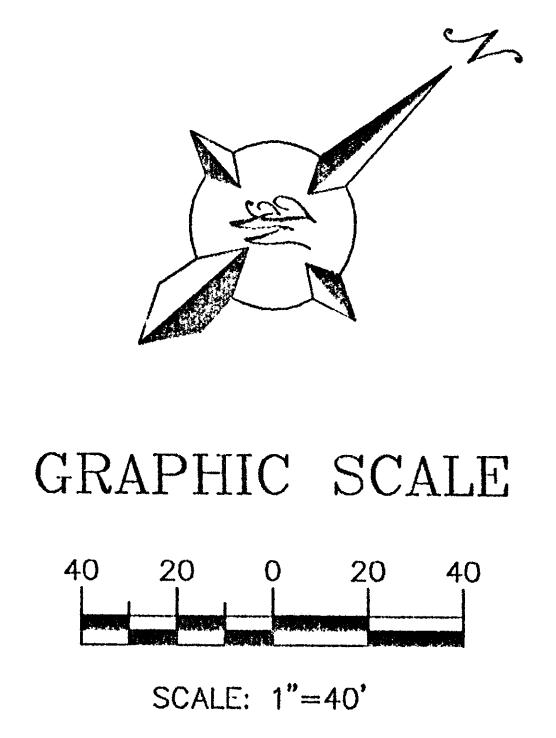
- NOTES:**
- SEE NEW MEXICO UTILITIES, INC. "EXCEPTIONS AND OR ADDITIONS" TO THE CITY OF ALBUQUERQUE'S "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" SHEET 4A OF 5
  - ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  - NOTIFY NEW MEXICO UTILITIES FIVE(5) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
  - ALL MATERIALS AND APPLICATIONS THEREOF SHALL BE SUBJECT TO APPROVAL BY NEW MEXICO UTILITIES INC.



LINE	LENGTH	BEARING	SIZE & MATERIAL
L1	105.98	S37°45'39"W	8" PVC-FIRE
L2	97.93	S52°14'21"E	6" PVC-FIRE
L3	168.04	S37°45'39"W	6" PVC-FIRE
L4	68.57	S15°15'39"W	6" PVC-FIRE
L9	40.00	S80°58'26"W	2" PVC-DOM
L10	111.82	S58°28'26"W	2" PVC-DOM
L11	91.82	S80°58'26"W	2" PVC-DOM
L12	11.31	S09°01'34"E	3/4" PVC-IRR
L13	6.97	N83°43'19"W	6" SAS SDR-35 @2%
L14	233.48	S53°22'24"W	6" SAS SDR-35 @2%
L15	23.04	S80°55'35"W	6" SAS SDR-35 @2%



- GENERAL NOTES:**
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
  - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  - ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
  - ALL PIPE MATERIAL TO BE USED PER U.P.C.



AFD PLANS CHECKING OFFICE  
924-3611  
**DISAPPROVED**  
NT(S) ONLY  
**R.C. Sanchez 3-3-08**  
5' SCALE

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

	<b>KIA WESTSIDE AUTO DEALERSHIP</b> <b>9640 EAGLERANCH RD. NW</b>	DRAWN BY: MP DATE: 02-23-2004
	<b>MASTER UTILITY PLAN</b>	2396MUB-012704X.DWG
	<b>TIERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>4 OF 5</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 230096

**NMUI EXCEPTIONS AND OR ADDITIONS**

**WATER:**

- 1) MATERIAL  
 -1.1 MAINLINE PIPE MATERIAL SHALL BE P.V.C. UNLESS OTHERWISE SPECIFIED BY NMUI.  
 -1.2 P.V.C. PIPE SHALL MEET THE SAME ASTM AND AWWA SPECIFICATIONS AS REQUIRED BY THE CITY OF ALBUQUERQUE (COA).

2) INSTALLATION

- 2.1 ALL WATER MAINS SHALL HAVE 4 FT. MINIMUM COVER OVER THE TOP OF THE PIPE.  
 -2.2 DEAD END LINES, I.E., CUL DE SACS, NOT EQUIPPED WITH A FIRE HYDRANT WILL REQUIRE A FLUSH LINE AS APPROVED BY THE ENGINEER AND NMUI.  
 -2.3 FITTING RESTRAINT ON P.V.C. PIPE SHALL BE CONCRETE BLOCKING OR "MEGALUGS" (OR APPROVED EQUAL), EXCEPT VERTICAL BEND WHICH SHALL REQUIRE BOTH BLOCKING AND "MEGALUGS", UNLESS OTHERWISE NOTED ON CONSTRUCTION PLANS.  
 -2.4 ALL MECHANICAL RESTRAINED JOINTS SHALL CONFORM TO THE RECOMMENDATIONS OF THE PIPE MANUFACTURER OR THE ENGINEER.  
 -2.5 A VISUAL INSPECTION OF ALL BLOCKING, "MEGALUGS", AND JOINT RESTRAINTS ARE REQUIRED.  
 -2.6 NO FLANGED FITTINGS ALLOWED UNDERGROUND. UNLESS THEY ARE BEING USED FOR A PRESSURIZED TAP.

3) VALVES

- 3.1 BUTTERFLY VALVES SHALL BE EQUIPPED WITH A 2-INCH OPERATING NUT.  
 -3.2 THE DISTANCE FROM THE TOP OF THE OPERATING NUT TO THE TOP OF THE VALVE CAN SHALL BE BETWEEN 3 FEET AND 18 INCHES.  
 -3.3 VALVES ARE REQUIRED ON ALL FIRE HYDRANT LEGS.  
 -3.4 BRASS GATE VALVES SHALL BE EITHER OHIO BRASS OR MILWAUKEE, SERIES 100.  
 -3.5 ALL VALVES WILL BE MECHANICALLY RESTRAINED AND BLOCKED.

4) VALVE CANS

- 4.1 VALVE CANS SHALL BE 5-1/4 INCHES CAST IRON SLIP TYPE CANS SUCH AS TYLER SERIES 6855, OR EQUAL.  
 -4.2 VALVE CANS MUST HAVE A CONCRETE COLLAR POURED TO THE TOP OF THE FINAL ASPHALT GRADE.

5) FIRE HYDRANTS

- 5.1 WATEROUS & U.S. PIPE HYDRANTS WILL NOT BE ACCEPTED.  
 -5.2 AN ISOLATION VALVE IS REQUIRED ON ALL FIRE HYDRANT LEGS.  
 -5.3 ALL VALVES MUST BE RESTRAINED TO THE TEE AT THE MAIN. BOTH LONG SIDE AND SHORT.  
 -5.4 ALL VALVES ON FIRE HYDRANT LEGS REGARDLESS OF THE LOCATION MUST BE RESTRAINED.  
 -5.5 NO SERVICE TAPS ARE ALLOWED ON FIRE HYDRANT LEGS PAST THE ISOLATION VALVE.  
 -5.6 FIRE HYDRANTS ARE TO BE RESTRAINED WITH "MEGALUGS" (OR APPROVED EQUAL) AND CONCRETE BLOCKING.

6) TESTING

- 6.1 THE HYDROSTATIC TEST SHALL BE PERFORMED AT A TEST PRESSURE OF 200 P.S.I. FOR TWO HOURS.  
 -6.2 INSPECTORS MUST HAVE A 48-HOUR ADVANCE NOTICE.

7) AIR RELEASE

- 7.1 AIR RELEASE VALVES SHALL BE CONTAINED WITHIN A MANHOLE. SEE "EXHIBIT E".  
 -7.2 THE SIZE AND TYPE OF AIR RELEASE VALVE SHALL BE DETERMINED BY THE ENGINEER.  
 -7.3 PIPE SIZING AND LENGTHS MAY VARY TO ACCOMMODATE ADEQUATE ACCESSIBILITY FOR SERVICING.

8) BACKFLOW PREVENTION

- 8.1 ALL FIRE LINES FOR SPRINKLER SYSTEMS WILL REQUIRE AN APPROVED DOUBLE CHECK ASSEMBLY THAT MEETS OR EXCEEDS AWWA C506.  
 -8.2 ALL POSSIBLE HAZARDOUS SITUATIONS REQUIRING BACKFLOW PREVENTION, I.E., HOSPITALS, MORTUARIES, MANUFACTURING LABORATORIES, ETC., WILL REQUIRE AN R.P.Z. (REDUCED PRESSURE ZONE) DEVICE THAT MEETS OR EXCEEDS AWWA C506.  
 -8.3 ALL BACKFLOW PREVENTION DEVICES WILL REQUIRE RESILIENT SEAT ISOLATION VALVES BOTH UPSTREAM AND DOWNSTREAM OF THE DEVICE.  
 -8.4 THE BACKFLOW PREVENTION DEVICE SHALL BE LOCATED IN AN ACCESSIBLE AREA WITH PROPER DRAINAGE FACILITIES FOR THE RELIEF LINE AS APPROVED BY THE ENGINEER AND NMUI.  
 -8.5 WATER SERVICES 3/4" - 1" WILL REQUIRE DUAL CHECK VALVE ASSEMBLIES AS APPROVED BY NMUI.  
 -8.6 WATER SERVICES 1-1/2" AND UP WILL REQUIRE DOUBLE CHECK VALVE ASSEMBLIES AS APPROVED BY NMUI.

**SERVICES**

1) FITTINGS

- 1.1 A TYPICAL SERVICE SET WITH FITTINGS FOR A 3/4" THROUGH 1" METER SET IS DETAILED IN "EXHIBIT A".  
 -1.2 A TYPICAL SERVICE SET WITH FITTINGS FOR A 1-1/2" AND 2" METER SET IS DETAILED IN "EXHIBIT A".  
 -1.3 METER VALVES SHALL BE BRONZE YOKE BALL VALVES, 1" COPPER FLARE BY 3/4" METER FOR A 3/4" SERVICE, 1" C.F. BY 1" METER FOR A 1" SERVICE, 1-1/2" C.F. BY 1-1/2" METER FLANGE FOR A 1-1/2" SERVICE, 2" C.F. BY 2" METER FLANGE FOR A 2" SERVICE.  
 -1.4 BRASS GATE VALVES SHALL BE EITHER OHIO BRASS OR MILWAUKEE, SERIES 105.  
 -1.5 WATER SERVICES 3/4" - 1" WILL REQUIRE DUAL CHECK VALVE ASSEMBLIES AS APPROVED BY NMUI.  
 -1.6 WATER SERVICES 1-1/2" AND UP WILL REQUIRE DOUBLE CHECK VALVE ASSEMBLIES AS APPROVED BY NMUI.  
 -1.7 SERVICE FITTINGS INCLUDING THE CORPORATION STOP SHALL BE COPPER FLARE NUT. PACK JOINT FITTINGS ARE NOT ACCEPTABLE.

2)

- 2.1 SERVICE LINES FOR A 3/4" SERVICE SHALL BE 1" IN DIAMETER.  
 -2.2 SERVICE LINES SHALL HAVE A MINIMUM OF 3' OF COVER.  
 -2.3 P.E. TUBING SHALL BE P.E. 3408 SDR 9 500 PSI C.T.S. AND MEET AWWA C901.  
 -2.4 "NU-MEX" P.E. TUBING IS NOT ACCEPTABLE.  
 -2.5 SERVICE LINES MUST BE FLARED AT BOTH ENDS.  
 -2.6 NO SPLICES ARE ALLOWED IN THE SERVICE LINE.

3) METER BOXES

- 3.1 3/4" AND 1" METER BOX AND LID ARE DETAILED IN "EXHIBIT B" (OR APPROVED EQUAL) FOR A SINGLE SERVICE AND FOR A DOUBLE SERVICE.  
 -3.2 1-1/2" AND 2" METER BOXES ARE DETAILED IN "EXHIBIT C".  
 -3.3 FOR A TYPICAL 3/4" METER BOX INSTALLATION THE BOX SHALL BE LOCATED 12" BACK OF CURB. SEE "EXHIBIT D".  
 -3.4 "W", SHOULD BE INSCRIBED IN FRONT OF THE BOX

4)

- 4.1 ALL APPLICATIONS OTHER THAN SINGLE-FAMILY RESIDENTIAL HOUSING WILL REQUIRE A SEPARATE WATER SERVICE FOR IRRIGATION USE.

**NMUI EXCEPTIONS AND OR ADDITIONS (CON'T)**

**WASTE WATER—MAIN LINES:**

1) MATERIALS

- 1.1 MAINLINE PIPE MATERIAL SHALL BE SDR 35 P.V.C. UNLESS OTHERWISE SPECIFIED BY NMUI.  
 -1.2 P.V.C. PIPE SHALL MEET THE ASTM SPECIFICATIONS AS REQUIRED BY THE CITY OF ALBUQUERQUE (COA).  
 -1.3 MANHOLES SHALL REQUIRE STEPS.  
 -1.4 STEPS SHOULD BE PLACED ON THE UP STREAM SIDE OF THE MANHOLE.  
 -1.5 MANHOLE COVERS SHALL BE IMPRINTED "SANITARY SEWER".  
 -1.6 MANHOLE RING AND COVER MUST HAVE A CONCRETE COLLAR POURED TO THE TOP OF FINAL ASPHALT GRADE.

2) TESTING

- 2.1 NO AIR TESTING SHALL BE PERFORMED, UNTIL THE COMMON UTILITY DITCH IS EXCAVATED.  
 -2.2 INSPECTORS MUST HAVE A 48-HOUR ADVANCE NOTICE.

**SERVICES**

1) MATERIAL

- 1.1 A TYPICAL RESIDENTIAL SERVICE LATERAL SHALL BE 4" DIAMETER SDR26 AND SHALL MEET THE REQUIREMENTS AND DESIGNATIONS OF ASTM D3034.  
 -1.2 SERVICE LATERALS FOR COMMERCIAL APPLICATION SHALL BE 6" DIAMETER S.D.R. 35 P.V.C. AND MEET THE SAME REQUIREMENTS FOR THE MAINLINE MATERIAL.

2) FITTINGS

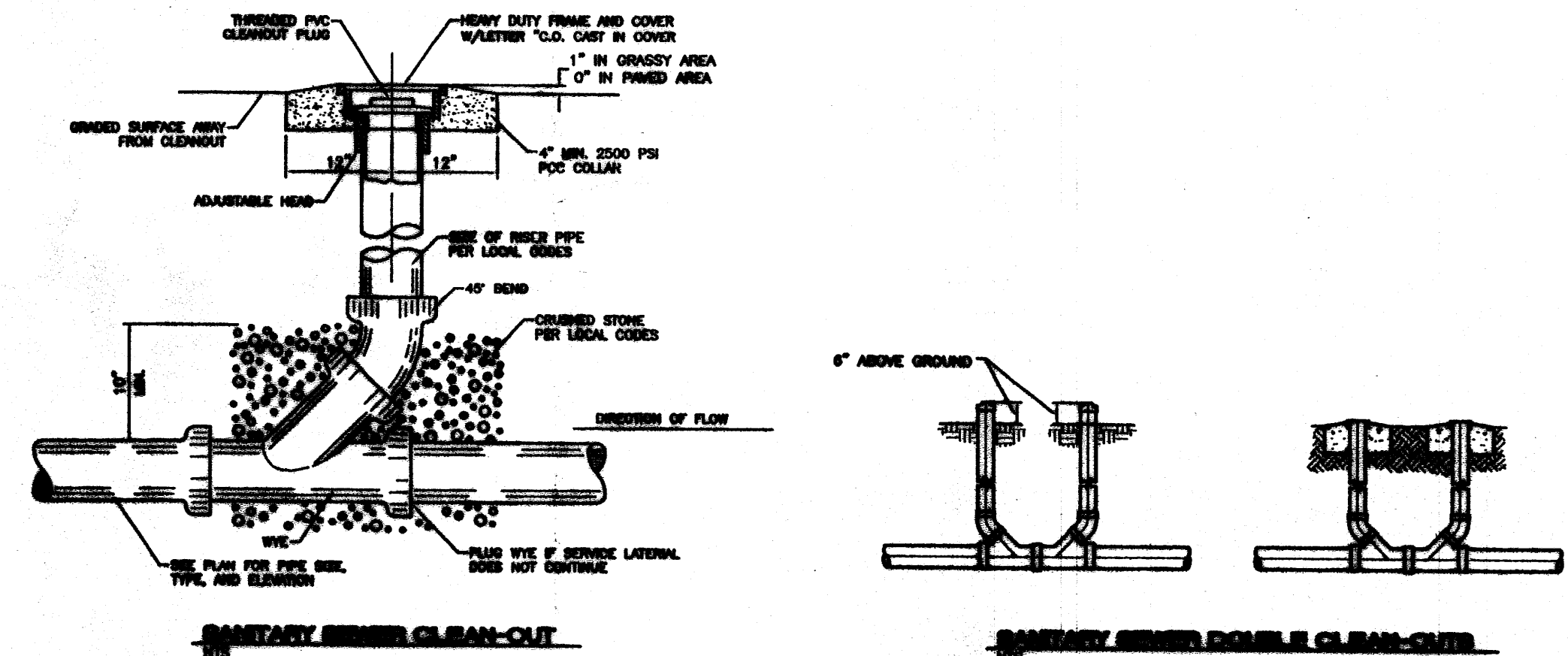
- 2.1 SERVICE CONNECTIONS TO THE MAINLINE MAY BE MADE WITH EITHER SADDLE TEES OR IN-LINE TEES OR WYES.  
 -2.2 SADDLE TEES SHALL REQUIRE PROTRUSIONS TO INSURE PROPER ALIGNMENT AND PREVENT ROTATION.  
 -2.3 FITTINGS SHALL REQUIRE NMUI APPROVAL AND BE COMPATIBLE WITH THE MAINLINE AND SERVICE LINE.  
 -2.4 NO CAN-TEX ADAPTERS ALLOWED. COUPLINGS MUST BE SOLID SLIP TYPE.

3) INSTALLATION

- 3.1 THE DEPTH OF THE SERVICE LATERAL AT ITS TERMINUS SHALL NOT BE GREATER THAN 10'. WHERE REQUIRED, RISERS SHALL BE USED.

4) GREASE TRAPS

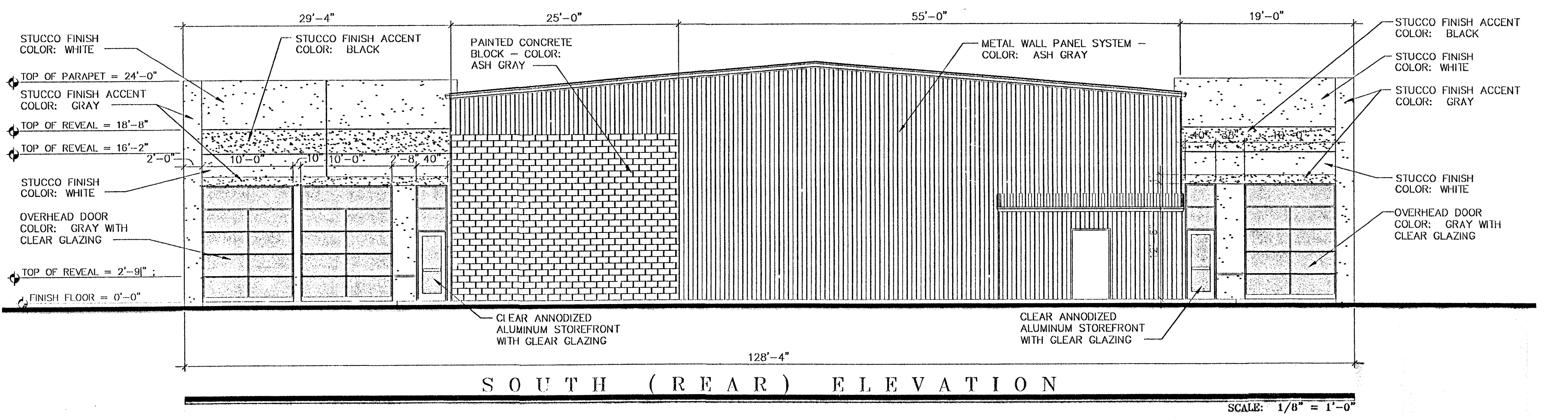
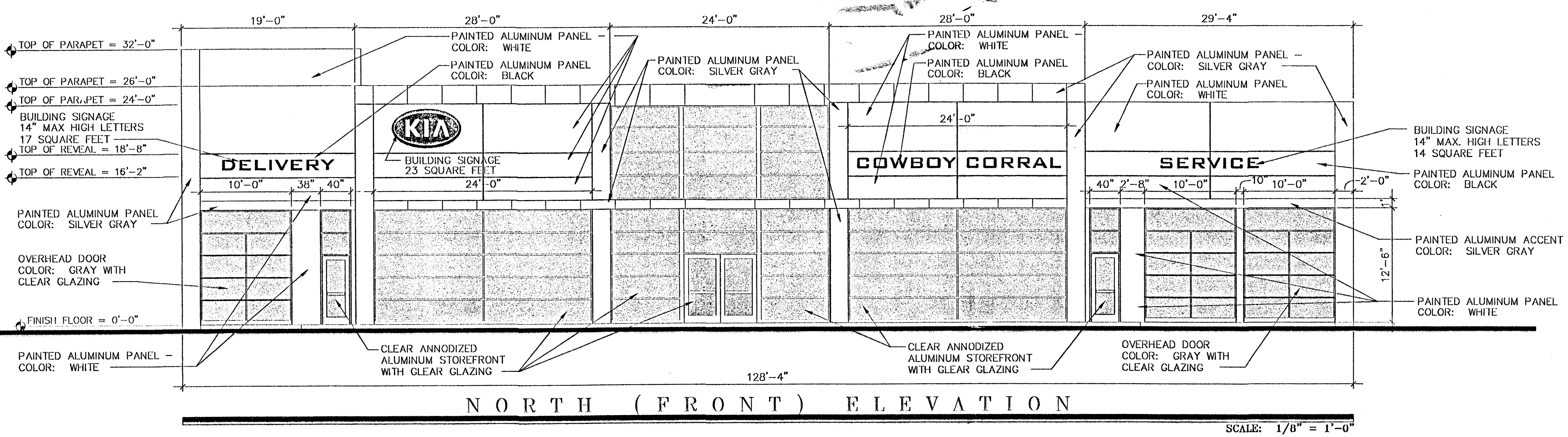
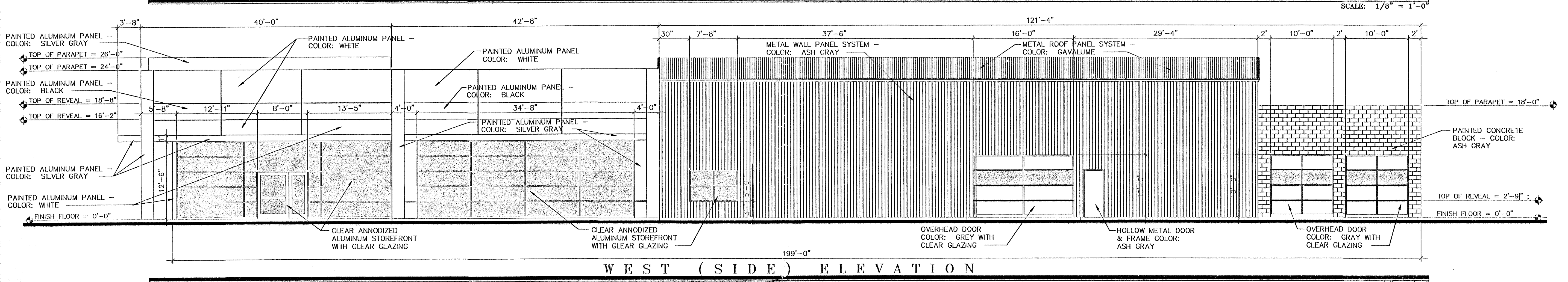
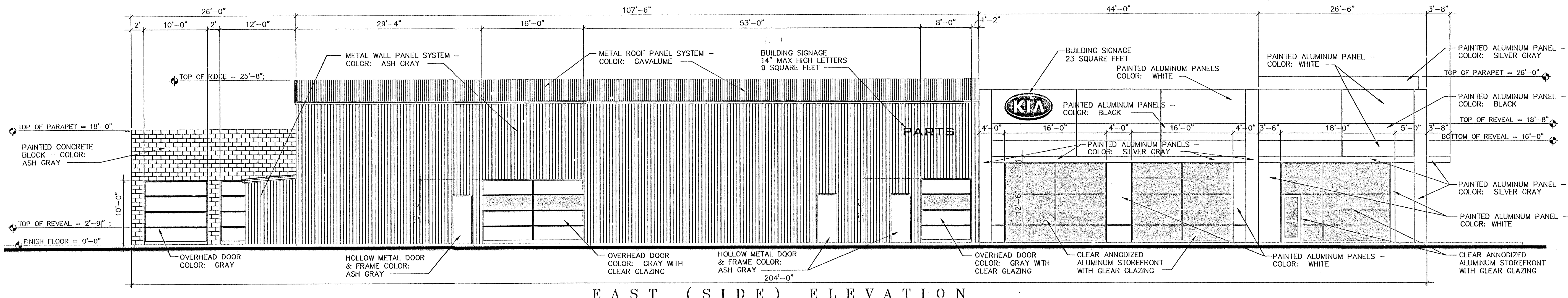
- 4.1 ON ALL FOOD SERVICE CORPORATIONS, A GREASE TRAP WILL BE REQUIRED BEFORE CONNECTION TO NMUI'S SEWER FACILITIES. THE TRAP WILL REQUIRE THE INSPECTION AND APPROVAL OF NMUI.



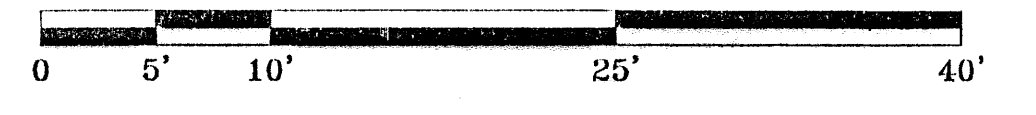
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NEW MEXICO UTILITIES INC.

	ENGINEER'S SEAL <b>KIA WESTSIDE AUTO DEALERSHIP</b> 8640 EAGLERANCH RD. NW UTILITY DETAILS SHEET	DRAWN BY MP DATE 02-12-2004 230098-012704.DWG
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>4A OF 5</b> JOB # 230098




**JAYNES CORPORATION  
GENERAL CONTRACTORS**




**EXTERIOR ELEVATIONS**

JANUARY 21, 2004 SCALE: 1/8" = 1'-0" (U.N.O.)



**CLAUDIO VIGIL ARCHITECTS**



**KIA MOTORS**

**NEW WESTSIDE DEALERSHIP**  
9640 EAGLE RANCH ROAD, N.W.  
ALBUQUERQUE, NEW MEXICO

**SHEET**  
A-2

PROJECT NUMBER  
03320

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