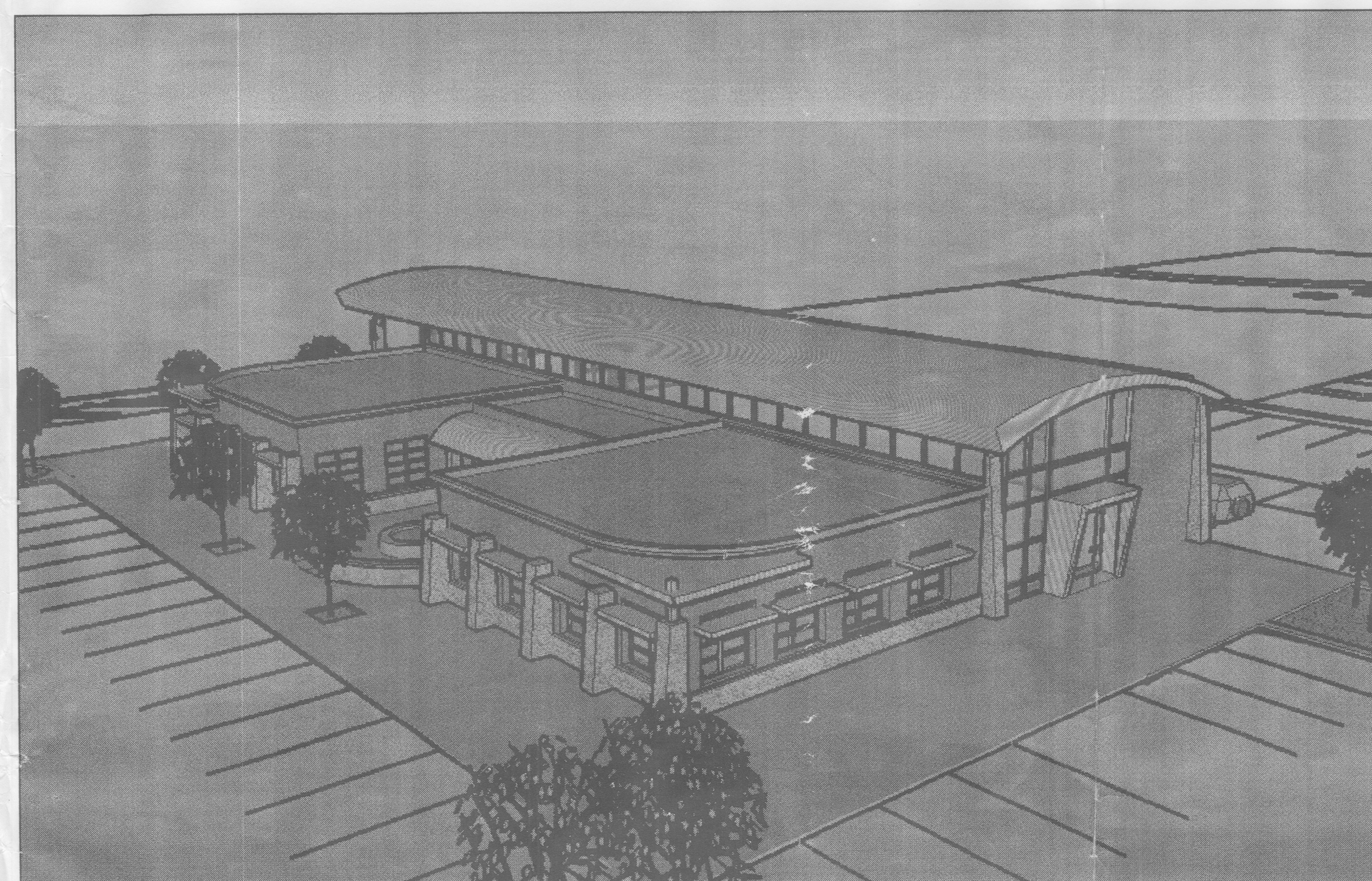


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DRAWINGS :

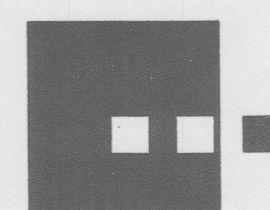
AS01	PLAN FOR BUILDING PERMIT
LS01	PLAN FOR BUILDING PERMIT
CC01	GRADING PLAN
CC02	UTILITY PLAN
AS01	NOTATIONS

Classic Emporium



ENVIRONMENTAL PLANNING COMMISSION SUBMITTAL
 Site Development Plan For Building Permit

November 6, 2003



Dekker/Perich/Sabatini

architecture ■ interiors ■ planning ■ engineering

6801 Jefferson NE, Suite 100
 Albuquerque, NM 87109

505 761-9700
 fax 761-4222

**Classic
 Emporium**

DPS: 03082 ALBP: ~~100512~~ 1003102

Site Development Plan For Building Permit

November 6, 2003

SITE DATA

LEGAL DESCRIPTION
 LOTS 12, 14, OF THE REPLAT OF LANDS OF FERRARI - ESQUIBEL - PALMER, SEC. 33 OF SE 1/4, T11N, R4E, NMPM.
 TOTAL AREA: 1.88 ACRES

BUILDING DATA

ALBUQUERQUE ZONING CODE
 RETAIL EMPORIUM = 10,580 S.F.
 CAR WASH = 3,600 S.F.
 TOTAL = 14,180 S.F.

PARKING REQUIRED:
 14,180 S.F. @ 1 PER 200 S.F. = 70.9 SPACES
 HC SPACES REQUIRED FOR 50-100 SPACES = 4 SPACES
 BICYCLE PARKING @ 1 PER 20 SPACES = 11/20 = 3.5

PARKING SPACES PROVIDED:
 REGULAR = 70
 HC ACCESSIBLE = 4
 TOTAL VEHICULAR SPACES = 74

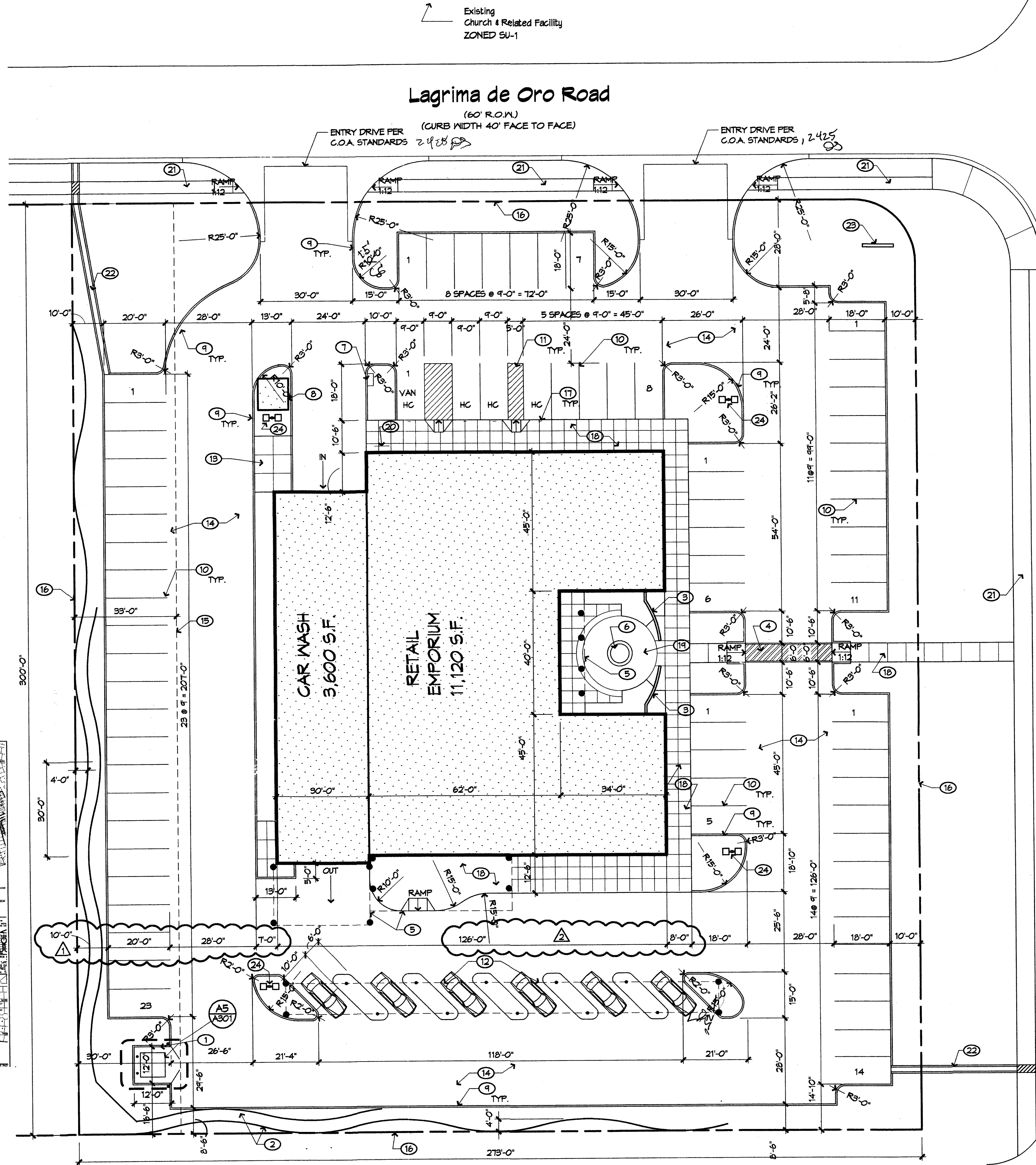
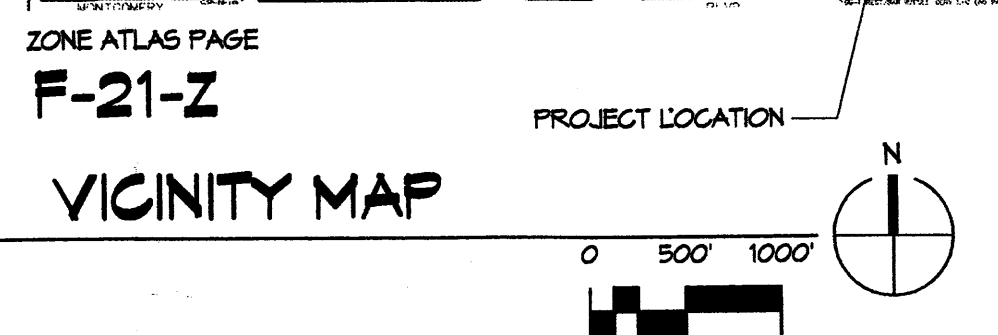
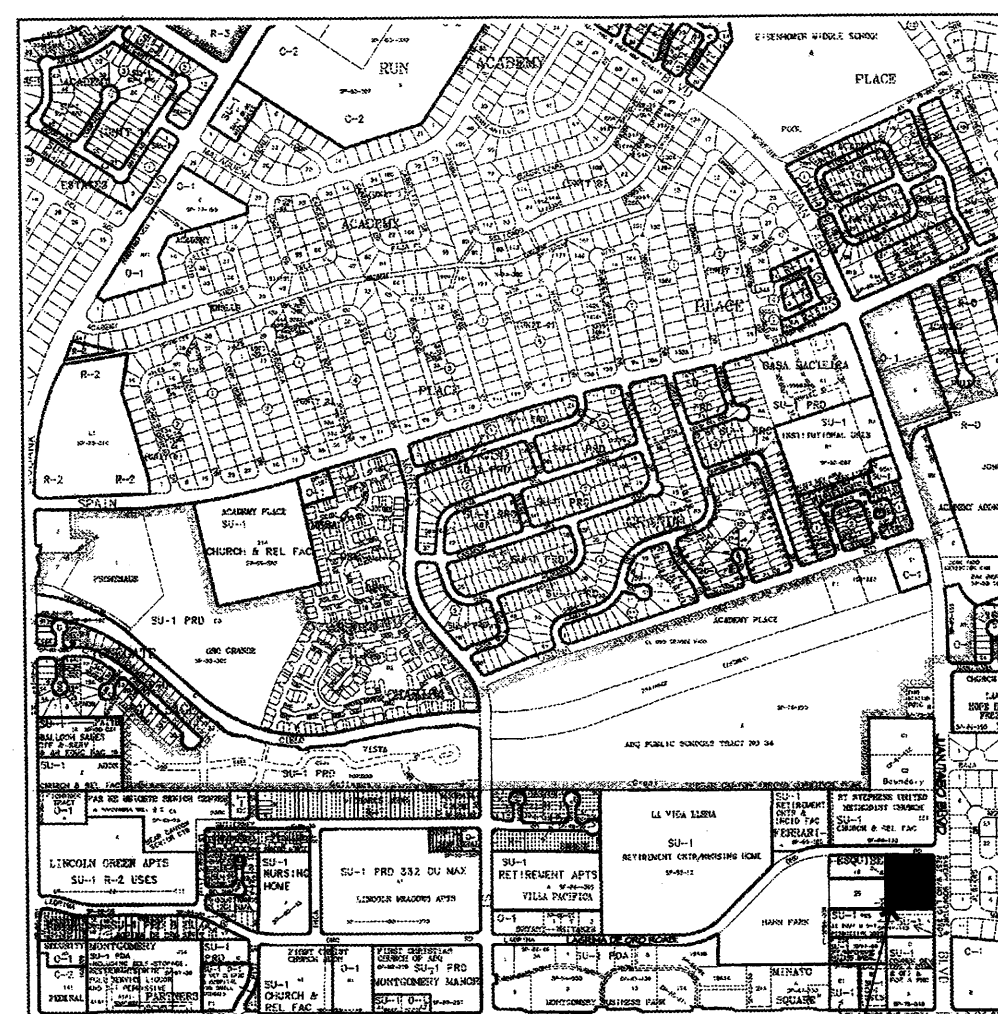
BICYCLE PARKING = 4

GENERAL NOTES

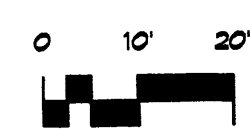
- PROPERTY CURRENTLY ZONED SU-1-PRD 22/OFFICE, REQUESTING TO CHANGE TO SU-1 C-1.
- FOR SITE LIGHTING STANDARDS REFER TO DS/A301. SITE LIGHTING SPACING & LOCATIONS TO CONFORM WITH C.O.A. STANDARDS.
- SLOPE ON ALL HC ACCESSIBLE RAMPS NOT TO EXCEED 1:12.

KEYED NOTES

- TRASH ENCLOSURE SEE AS/A301
- INTERLOCK BLOCK RETAINING WALL, VARY COLOR 20% MINIMUM
- LANDSCAPE WALL
- PAINTED STRIPE CROSSWALK
- METAL CANOPY ABOVE
- FOUNTAIN (LOW TILE BASIN W/ WATER JET COLUMNS)
- AUTOMATED PAY BOX
- ATTENDANT HUT
- 6" CURBS & GUTTER
- 4" WIDE PARKING STRIPE
- 4" WIDE PAINTED STRIPES AT 45° ANGLE
- METAL CANOPY ABOVE FOR AUTO DETAILING AREA
- CONCRETE PAD
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- HC ACCESSIBLE PARKING SIGN
- CONCRETE SIDEWALK
- DECORATIVE STONE OR CONCRETE PAVING
- BIKE RACK
- EXISTING SIDEWALK (6'-0" ON Juan Tabo, 4'-0" ON Lagrima de Oro)
- CONCRETE DRAINAGE CULVERT, REFER TO C001
- MONUMENT SIGN, REFER TO D4/A301
- LIGHT POLE (SEE DS/A301)



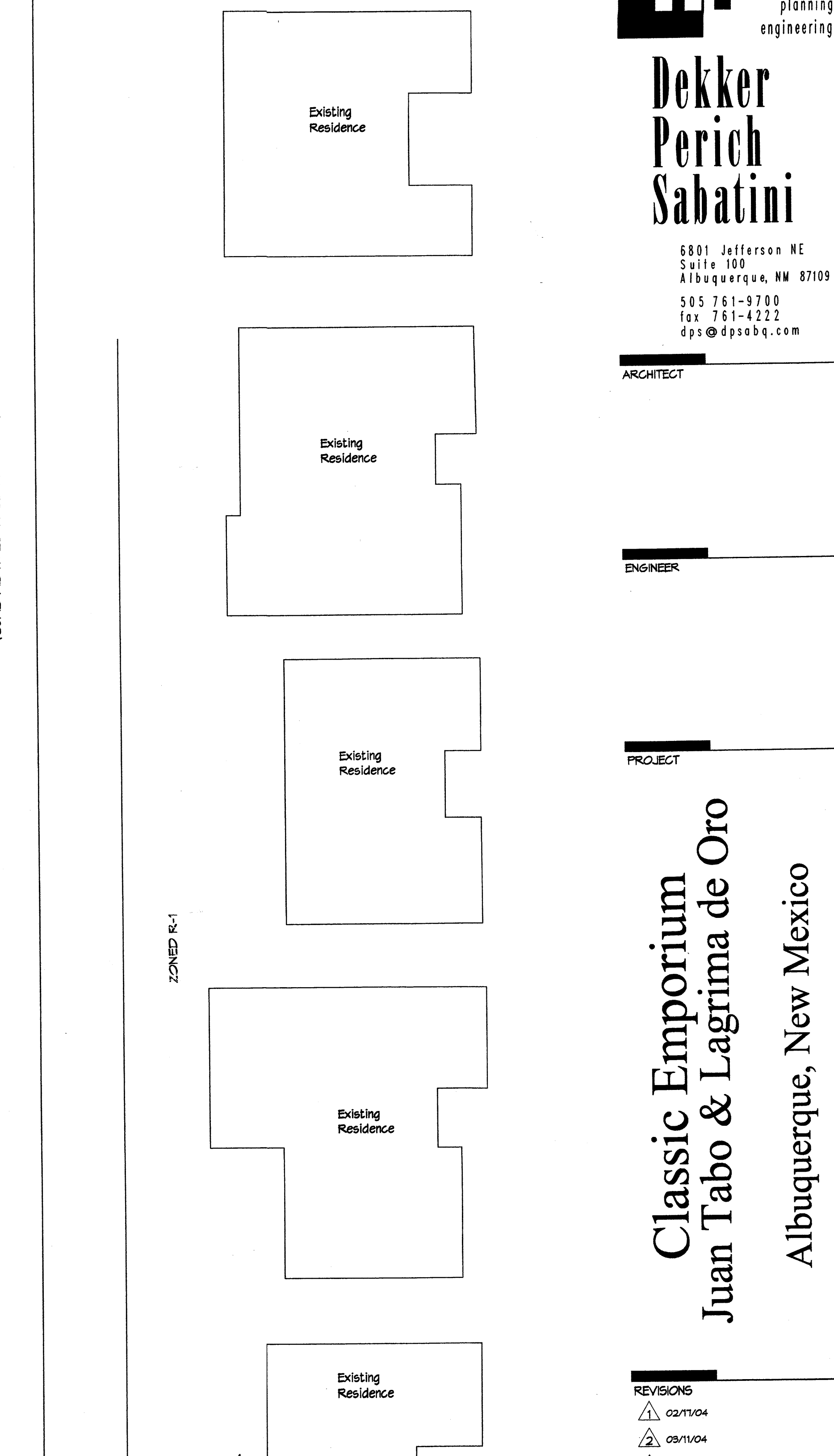
SITE DEVELOPMENT PLAN
 For Building Permit.
 1" = 20'-0"



Existing Bakery, Bookstore & Restaurant w/no Liquor Service
 ZONED SU-1

Existing Church & Related Facility
 ZONED SU-1

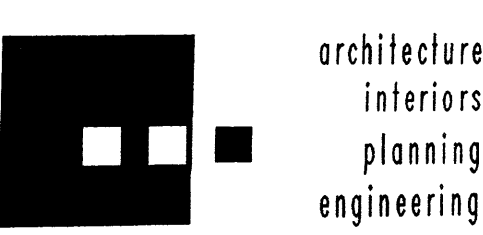
Juan Tabo Blvd.
 (100' R.O.W.)
 (CURB WIDTH 25' FACE TO MEDIAN)



PROJECT NUMBER: 1008102
 APPLICATION NUMBER: 04-00286
 DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	3/10/04
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	3/10/04
UTILITIES DIVISION	DATE
<i>[Signature]</i>	3/10/04
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	3/10/04
CITY ENGINEER	DATE
<i>[Signature]</i>	3-10-04
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	3/10/04
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

IS AN INFRASTRUCTURE LIST REQUIRED? YES (X) NO.
 IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER
 IS REQUIRED FOR THE PUBLIC WORKS DEPARTMENT OF PUBLIC IMPROVEMENTS.



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 fax 761-4222
 dps@dpsabq.com

ARCHITECT
 ENGINEER
 PROJECT

Classic Emporium
Juan Tabo & Lagrima de Oro
 Albuquerque, New Mexico

REVISIONS
 1 02/11/04
 2 03/11/04

DRAWN BY DLS, SAS
 REVIEWED BY CG
 DATE 11/6/03
 PROJECT NO. 03082
 DRAWING NAME
 Site Development Plan for Building Permit
 SHEET NO. **A001** OF

SITE DATA

LEGAL DESCRIPTION
 LOTS 12, 14, OF THE REPLAT OF LANDS OF FERRARI - ESQUEBEL - PALMER, SEC. 33 OF SE 1/4, T11N, R4E, NMPM.
 TOTAL AREA: 1.88 ACRES

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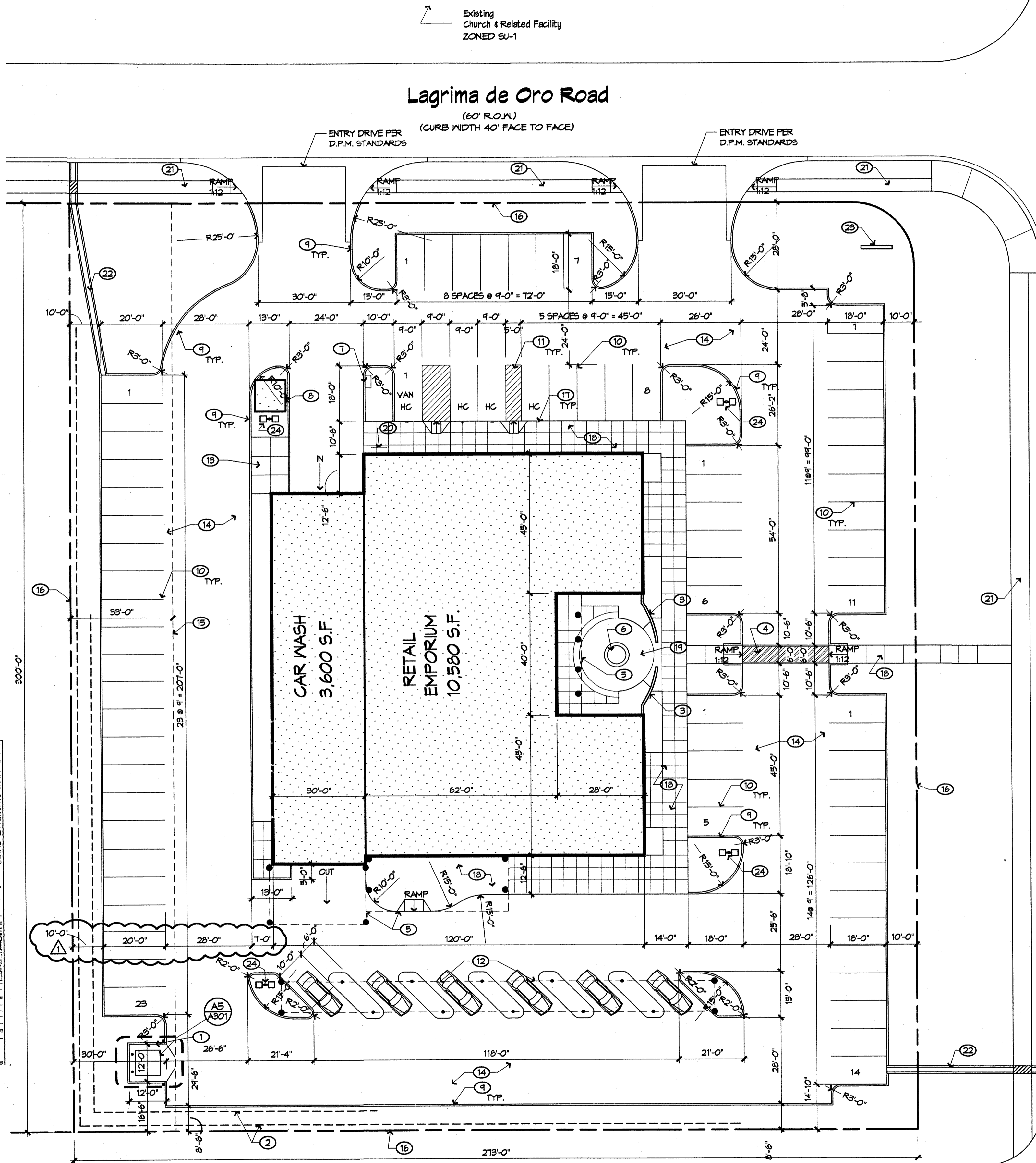
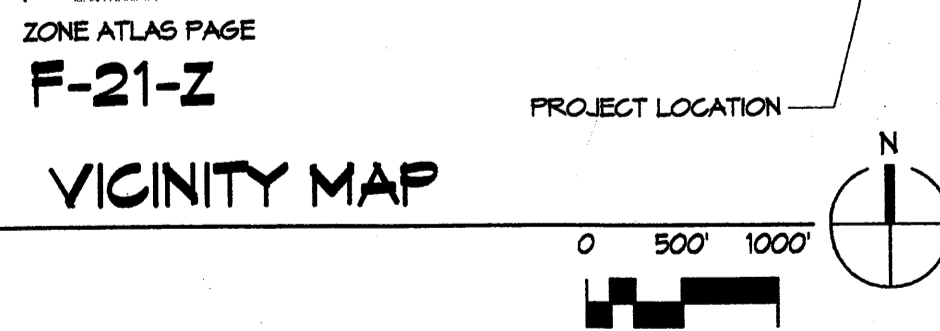
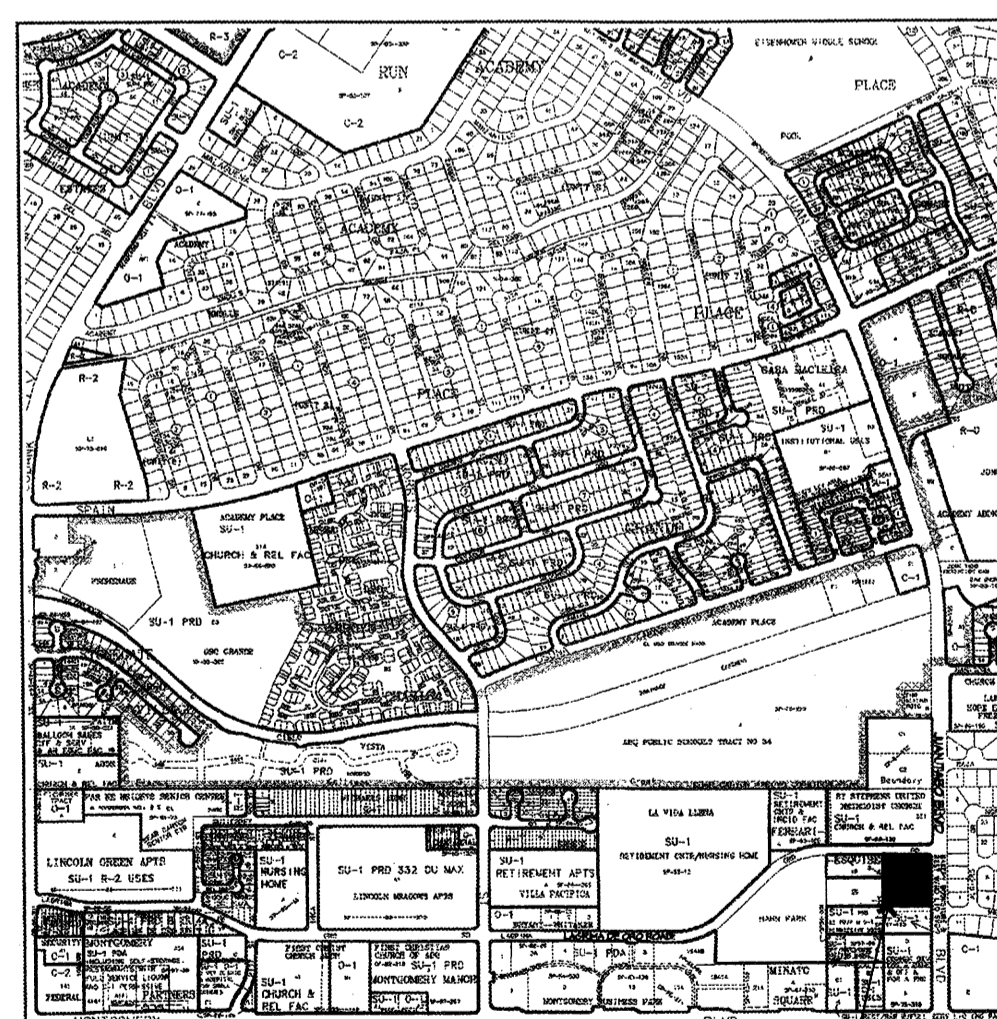
BICYCLE PARKING = 4

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- FOR SITE LIGHTING STANDARDS REFER TO DS/A301. SITE LIGHTING SPACING & LOCATIONS TO CONFORM WITH C.O.A. STANDARDS.
- SLOPE ON ALL HC ACCESSIBLE RAMPS NOT TO EXCEED 1:12.

KEYED NOTES

- TRASH ENCLOSURE SEE A5/A301
- RETAINING WALL
- LANDSCAPE WALL
- PAINTED STRIPE CROSSWALK
- METAL CANOPY ABOVE
- FOUNTAIN (LOW TILE BASIN W/ WATER JET COLUMNS)
- AUTOMATED PAY BOX
- ATTENDANT HUT
- 6" CURB & GUTTER
- 4" WIDE PARKING STRIPE
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- LIGHT POLE (SEE DS/A301)



SITE DEVELOPMENT PLAN
 For Building Permit
 1" = 20'-0"



Existing Bakery, Bookstore
 & Restaurant w/ho Liquor Service
 ZONED SU-1

architect
 intr
 plc
 engine

Dekker Perich Sabatini

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ARCHITECT

ENGINEER

PROJECT

Classic Emporium
Juan Tabo & Lagrima de Oro
 Albuquerque, New Mexico

REVISIONS

△	02/11/04
△	
△	
△	

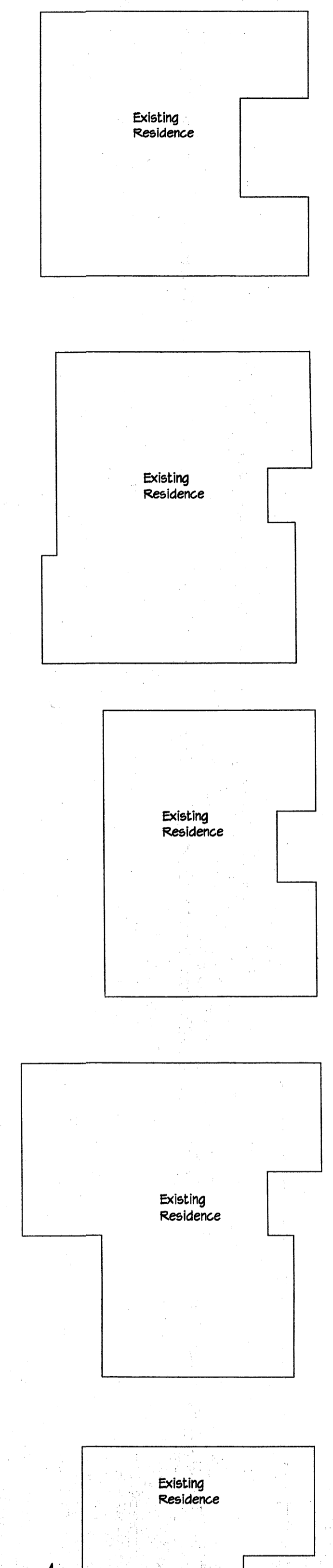
PROJECT NUMBER:	
APPLICATION NUMBER:	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

DRAWN BY: DLS, SAS
 REVIEWED BY: CG
 DATE: 11/6/03
 PROJECT NO.: 02082
 DRAWING NAME: Site Development Plan for Building Permit

SHEET NO. **A001** OF

Juan Tabo Blvd.
 (100' R.O.W.)
 (CURB WIDTH 25' FACE TO MEDIAN)

ZONED R-1



KEYED NOTES

- 1 TRASH ENCLOSURE SEE A5/A301
- 2 RETAINING WALL
- 3 LANDSCAPE WALL
- 4 FOUNTAIN
- 5 ATTENDANT HUT
- 6 ASPHALT PAVING
- 7 CONCRETE SIDEWALK
- 8 DECORATIVE PAVING
- 9 TREE GRATE
- 10 LANDSCAPE AREA:
SANTA ANA TAN CRUSHER FINES /
2'-4" SANTA ANA TAN ROCK ON SLOPES
STEEPER THAN 5:1
- 11 C.O.A. UTILITY EASEMENT
- 12 PROPERTY LINE

LANDSCAPE CALCULATIONS

TOTAL AREA: 98,344 SF
BUILDING AREA: 14,180 SF
NET AREA: 84,164 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA): 12,625 SF
ALLOWABLE HIGH WATER USE TURF (20% OF LANDSCAPE AREA): 2,525 SF
PROVIDED LANDSCAPE AREA: 16,378 SF
PROVIDED HIGH WATER USE TURF AREA: 0 SF

LANDSCAPE NOTES

DESIGN: THE PLANTING DESIGN ACCENTUATES THE SITE PLANS PEDESTRIAN AND VEHICULAR CIRCULATION PATTERNS. IT ALSO STRENGTHENS THE PROJECT'S RELATIONSHIP TO ITS NATURALLY ARID SETTING IN THE NEARBY FOOTHILLS, WHERE SUGGULENTS AND MULTI-TRUNK TREES ARE FREQUENT SYMBOLS OF ALBUQUERQUE'S REGIONAL IDENTITY.

HEAT TOLERANT, LOW WATER-USE SHRUBS AND GROUNDCOVERS PROVIDE ADDITIONAL SEASONAL COLOR, TEXTURE AND FRAGRANCE WITHOUT COMPROMISING THE INTEGRITY AND STRENGTH OF THE OVERALL LANDSCAPE.

2. PLANTING AND IRRIGATION DESIGN AND INSTALLATION SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE. LANDSCAPE BEDS SHALL ACHIEVE MINIMUM 75% LIVE VEGETATIVE COVERAGE UPON PLANT MATURITY. NOTED PLANT QUANTITIES ARE APPROXIMATE, AND REFLECT THE ESTIMATED NUMBER OF PLANTS NECESSARY TO ACHIEVE THE DESIGN INTENT AND THE REQUIRED COVERAGE AT PLANT MATURITY.

3. PLANTING AND IRRIGATION INSTALLATION DETAILS SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS.

4. PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

5. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 60 MINUTES UPON PLANT ESTABLISHMENT. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.

DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL EXCEPT PERHAPS FOR GROUNDCOVER AREAS. THIS AREA MAY BE IRRIGATED WITH SPRAY EMITTERS APPROPRIATELY DESIGNED TO AVOID OVERSPRAY ONTO IMPERMEABLE SURFACES AND ADJACENT PAVING.

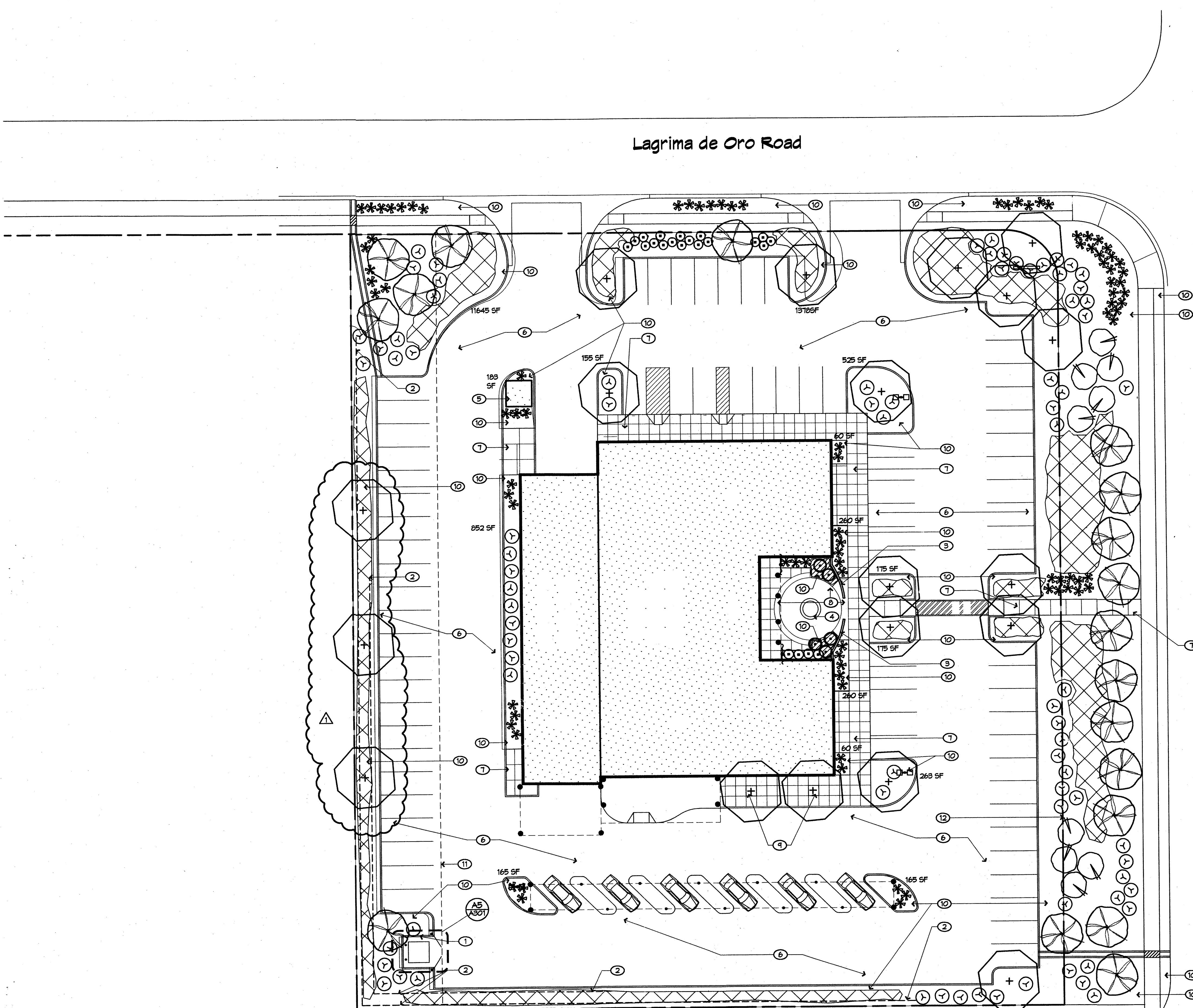
6. POINT OF CONNECTION: A CONNECTION TO CITY WATER FOR IRRIGATION PURPOSES WILL BE MADE ON THE PROPERTY.

7. MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH, IN ORDER TO MINIMIZE WEED GROWTH, ADD VISUAL INTEREST, AND PROTECT SOIL MOISTURE.

8. ALL LANDSCAPING SHALL COMPLY WITH SECTION 14-16-3-1 OF THE CITY ZONING CODE WHICH REQUIRES A 6'-0" CLEAR MINIMUM PEDESTRIAN CIRCULATION WIDTH ALONG WALKWAYS THAT ABUT BUILDINGS.

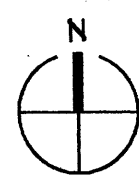
PLANTING LEGEND

TREE				
SYMBOL	EST QTY	SIZE @ MIN HTXSPD	COMMON NAME Botanical name	IRRIG / OTHER NOTES
	10	6x4' B&S	DESERT HELLOW <i>Chilopsis linearis</i>	3 - 2 GPH DRIP
	15	24"-Box @ 9x4'	ESCAPMENT LIVE OAK <i>Quercus fusiformis</i>	4 - 4 GPH DRIP
PALM				
SYMBOL	EST QTY	SIZE @ MIN HTXSPD	COMMON NAME Botanical name	IRRIG / OTHER NOTES
	5	6x3'	WINDMILL PALM <i>Trachycarpus fortunei</i>	3 - 2 GPH DRIP
SHRUB				
SYMBOL	EST QTY	SIZE @ MIN HTXSPD	COMMON NAME Botanical name	IRRIG / OTHER NOTES
	4	5-Gal @ 15'x15'	YELLOW BIRD OF PARADISE <i>Cassipouira gilliesii</i>	1 - 1 GPH DRIP
	21	1-Gal @ 4'x6'	TURPENTINE BUSH <i>Ericameria laricifolia</i>	1 - 2 GPH DRIP
ACCENT				
SYMBOL	EST QTY	SIZE @ MIN HTXSPD	COMMON NAME Botanical name	IRRIG / OTHER NOTES
	81	5-Gal @ 12'x12'	BLUE SOTOL <i>Dasylirion wheeleri</i>	1 - 1 GPH DRIP
	87	5-Gal @ 12'x12'	RED HESPERALOE <i>Hesperaloe parviflora</i>	1 - 2 GPH DRIP
GROUNDCOVER				
SYMBOL	EST QTY	SIZE @ MIN HTXSPD	COMMON NAME Botanical name	IRRIG / OTHER NOTES
	30	1-Gal @ 4'x4'	SUNSET HYSSOP <i>Agneshippe ripens</i>	1 - 2 GPH DRIP, 2" O.C.
	185	1-Gal @ 6'x4'	THOMPSON BROOM <i>Baccharis x Starrs</i>	1 - 2 GPH DRIP, 5" O.C.
	2	5-Gal @ 2'x1'	YELLOW LADY BANKS' ROSE <i>Rosa banksiae 'Lutea'</i>	1 - 4 GPH DRIP, INSTAKE, TIE TO PORTAL



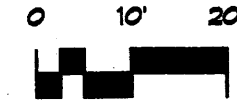
Lagrima de Oro Road

Juan Tabo Blvd.



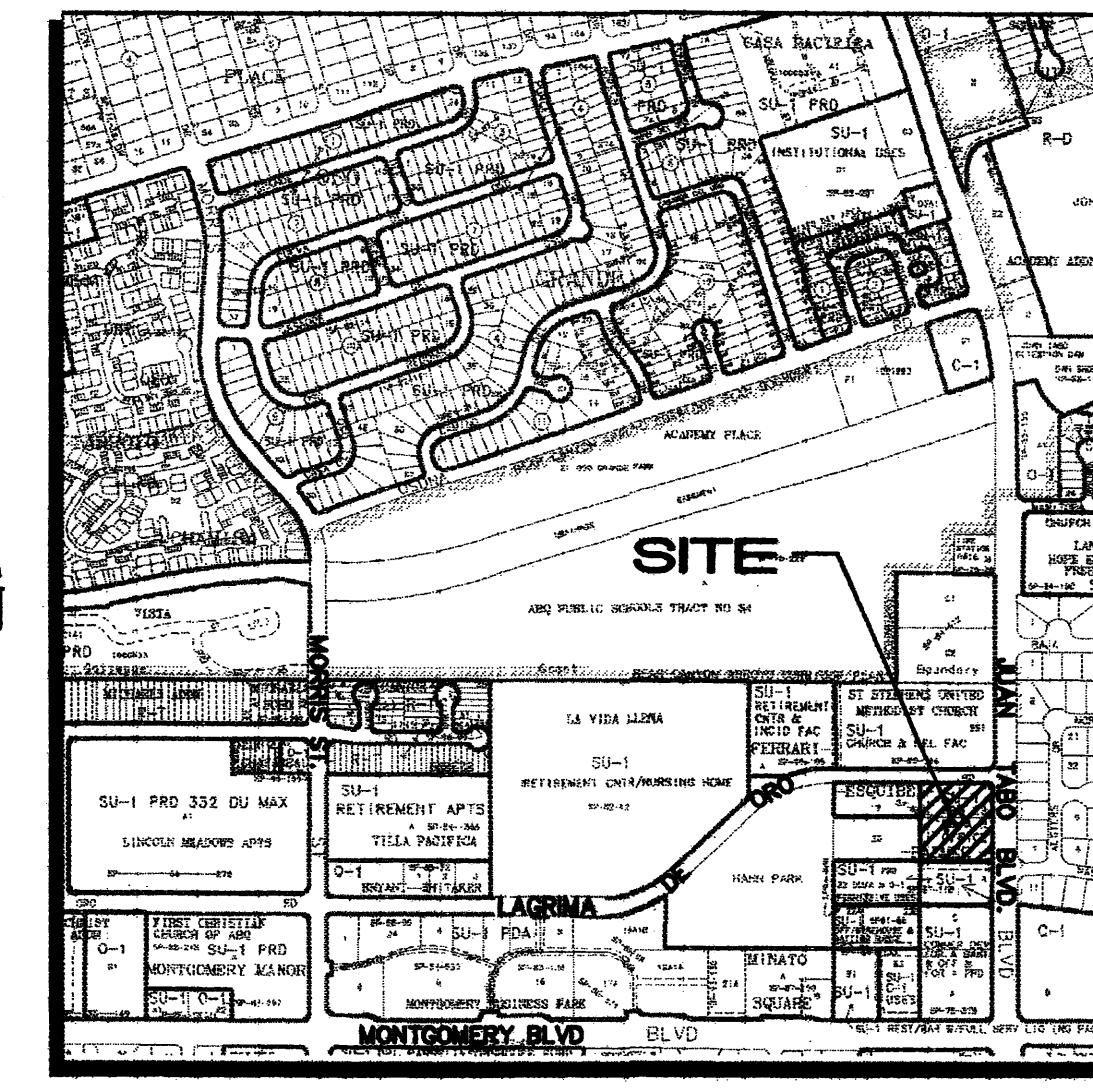
Landscape Plan for Building Permit

1" = 20'-0"

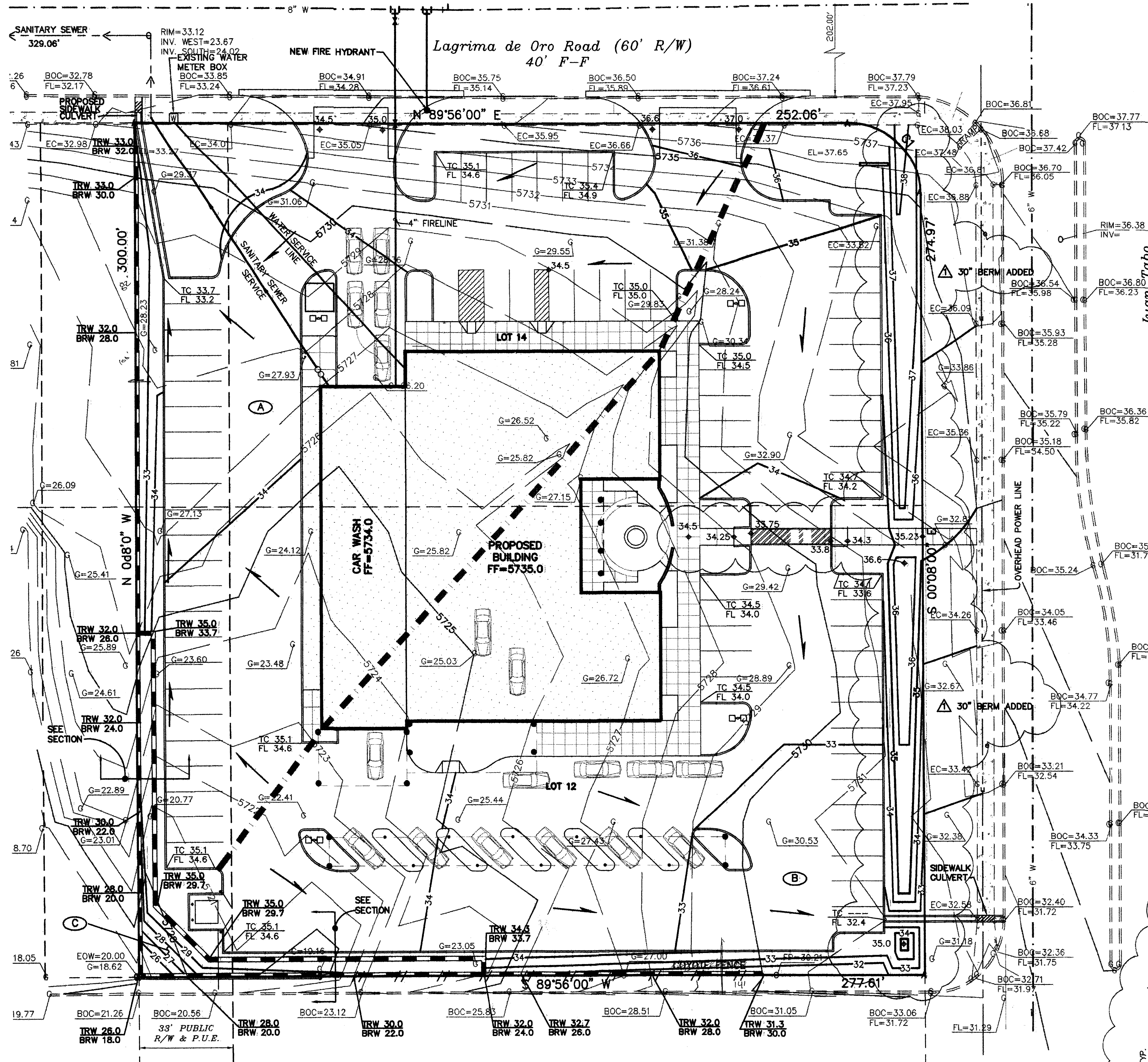




Classic Emporium
Juan Tabo & Lagrima de Oro
Albuquerque, New Mexico



VICINITY MAP



GRADING & DRAINAGE PLAN

1" = 20'-0"

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- TOP OF CURB ELEVATION
- FLOWLINE ELEVATION
- PROPOSED RETAINING WALL
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- BASIN ID
- BASIN BOUNDARY

LEGAL DESCRIPTION:
LOTS 12 & 14, LANDS OF
FERRARI - ESQUIBEL - PALMER

AREA: 1.9088 ACRES

BENCHMARK: ACS BENCHMARK "28-F21"
ELEVATION = 5745.73

FLOOD ZONE DESIGNATION: ZONE 'X', OUTSIDE THE
100-YR FLOODPLAIN, AS SHOWN ON FIRM PANEL 144.

EXISTING CONDITIONS: THE SITE DRAINS TO THE SOUTHWEST
AT 4-5% SLOPE. THE SITE IS BOUND BY JUAN TABO BLVD.
(EAST), LAGRIMA DE ORO (NORTH), UNDEVELOPED LAND (WEST),
& A FLYING STAR RESTAURANT (SOUTH).

EXISTING HYDROLOGY:
Precipitation Zone: 4
Land Treatment: 100% 'A'
 $Q_{100-6} = (1.91)(2.20) = 4.2$ CFS

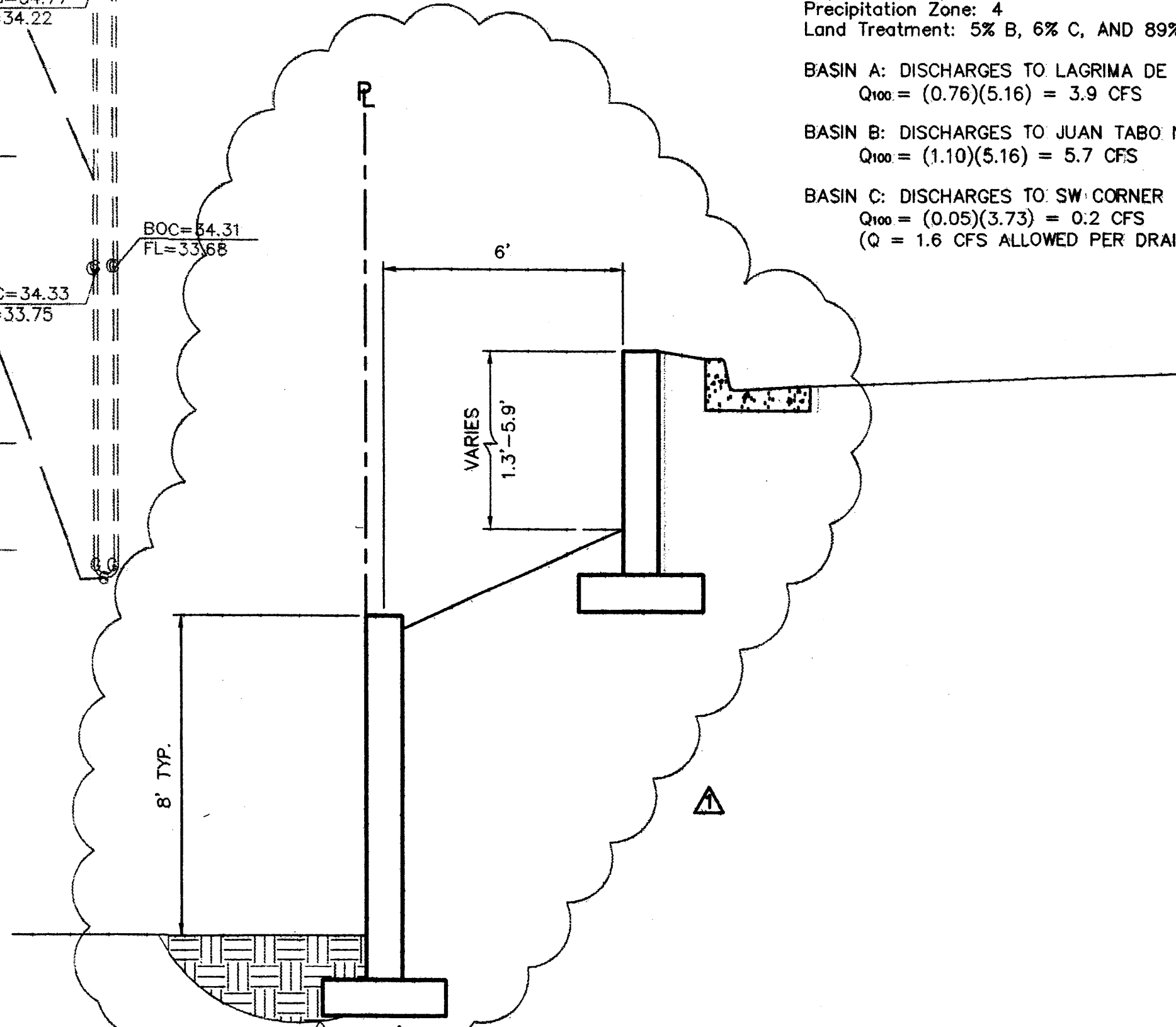
PROPOSED CONDITIONS: THE PROPOSED 14,300SF BUILDING INCLUDES
RETAIL SPACE, A CAR WASH, AND ASSOCIATED LANDSCAPING AND
PAVED PARKING. APPROXIMATELY 3/4 ACRE DRAINS NW TO LAGRIMA
DE ORO, 1 ACRE DRAINS TO THE SE TO JUAN TABO, AND 2,000SF
DRAINS TO THE SW CORNER.

PROPOSED HYDROLOGY:
Precipitation Zone: 4
Land Treatment: 5% B, 6% C, AND 89% D

BASIN A: DISCHARGES TO LAGRIMA DE ORO
 $Q_{100} = (0.76)(5.16) = 3.9$ CFS

BASIN B: DISCHARGES TO JUAN TABO NE
 $Q_{100} = (1.10)(5.16) = 5.7$ CFS

BASIN C: DISCHARGES TO SW CORNER
 $Q_{100} = (0.05)(3.73) = 0.2$ CFS
(Q = 1.6 CFS ALLOWED PER DRAINAGE PLAN D67)

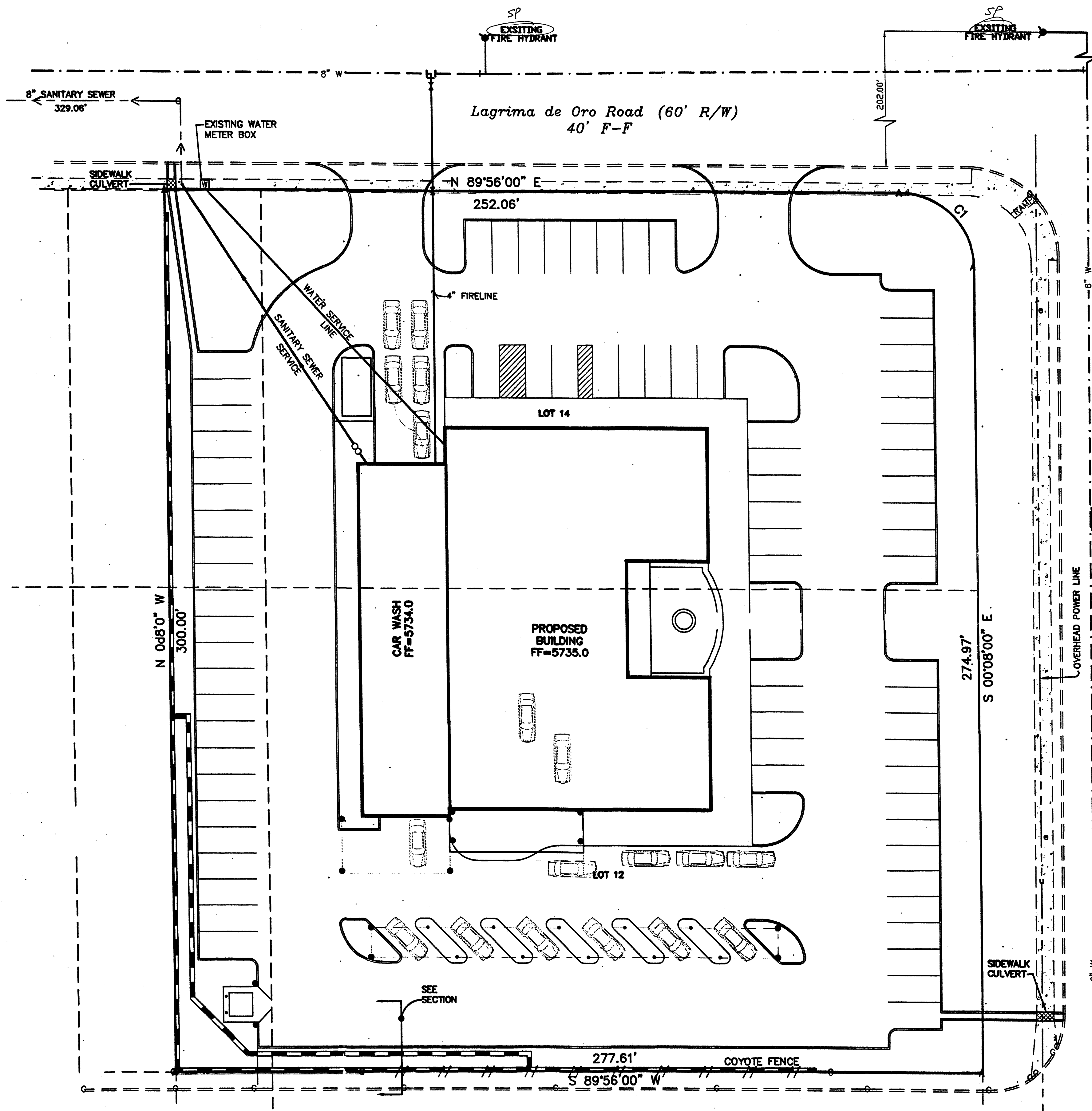


RETAINING WALL SECTION

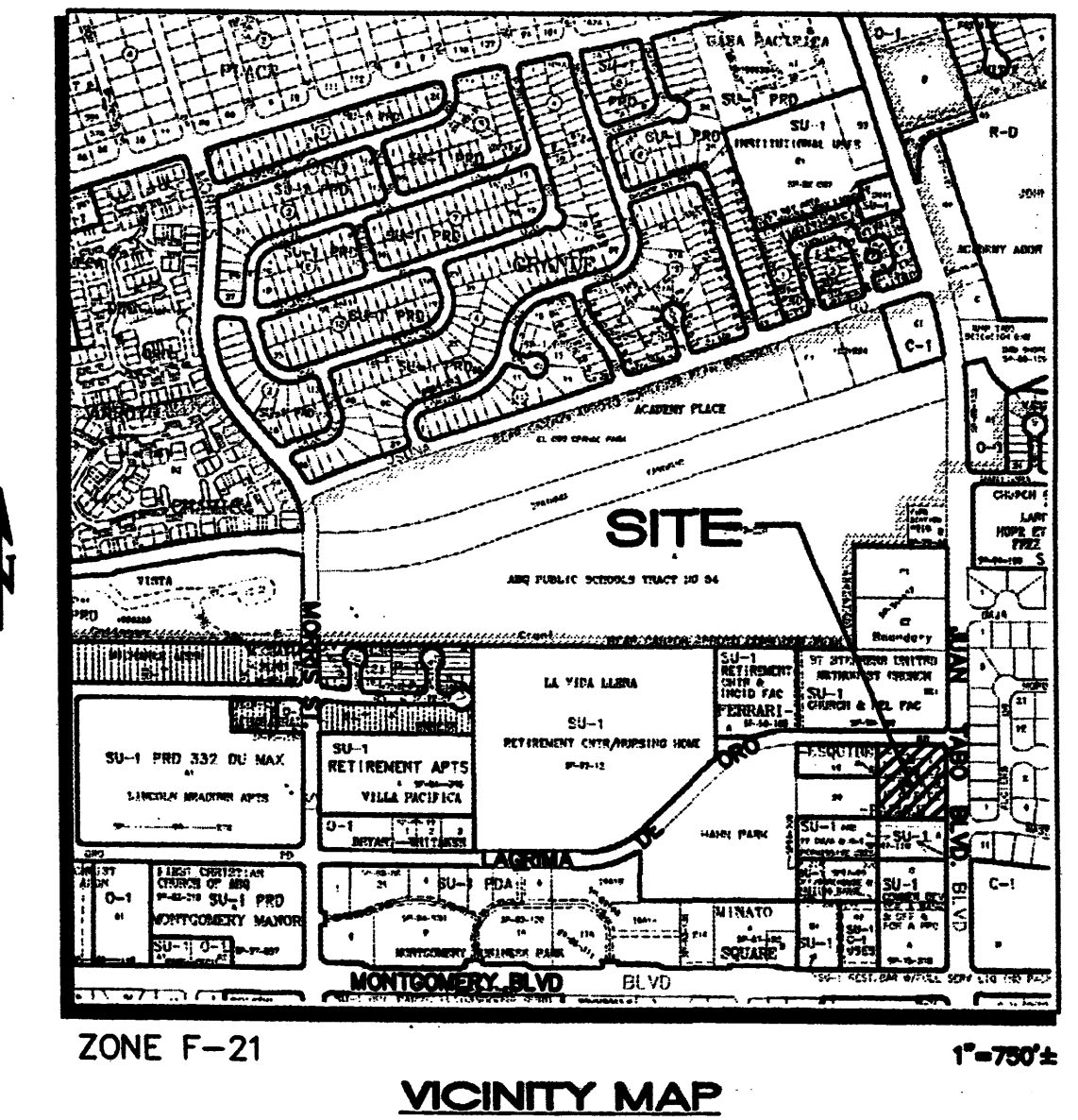
SCALE: 1" = 3'

REVISIONS	
	02/17/04

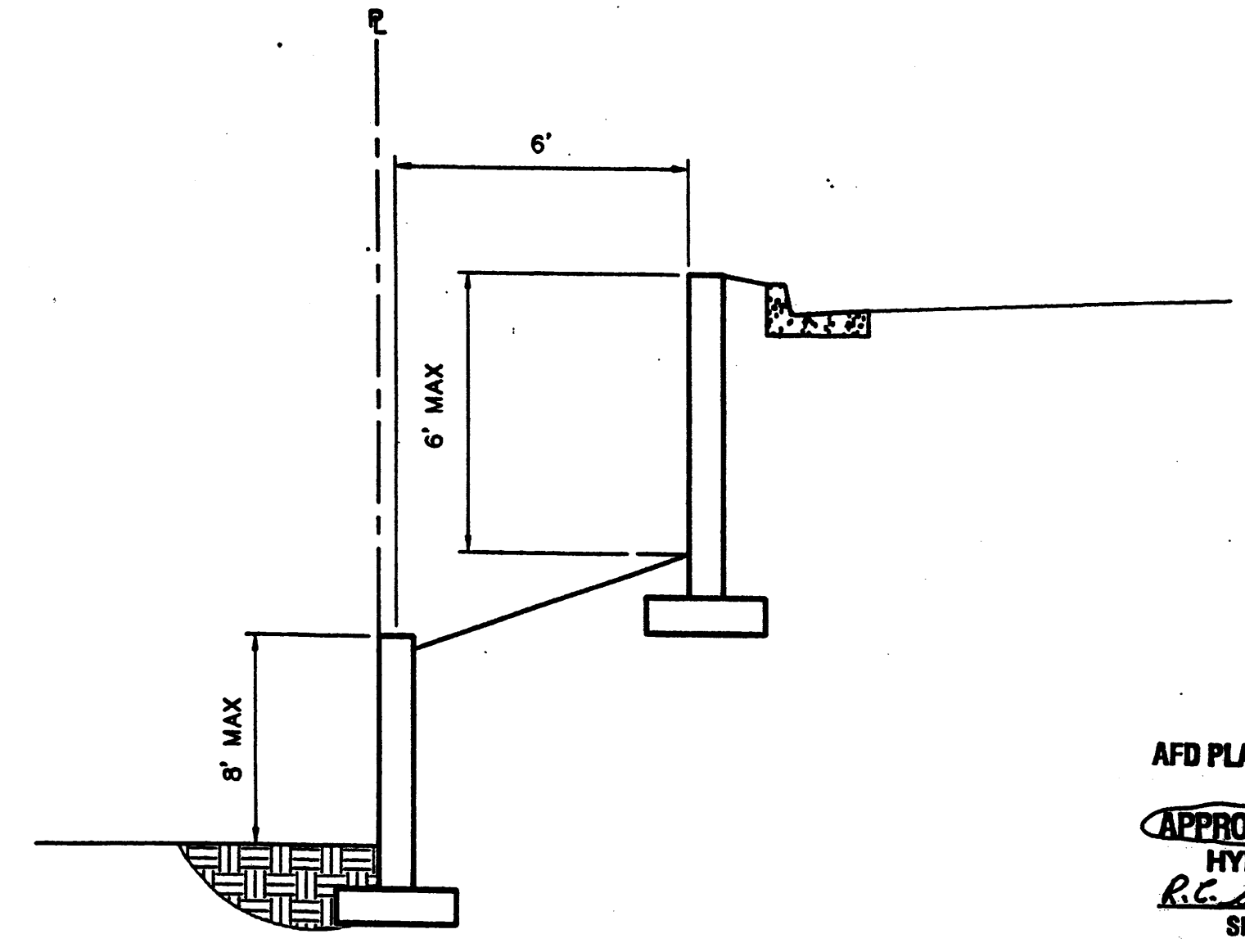
DRAWN BY	RFH
REVIEWED BY	SMM
DATE	11/08/03
PROJECT NO.	
DRAWING NAME	Conceptual Grading & Utility Plan



CONCEPTUAL UTILITY PLAN
1" = 20'-0"
0 10' 20'

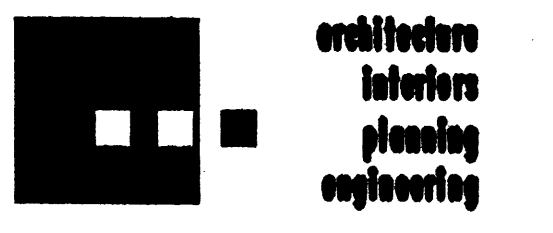


- LEGEND**
- EXISTING WATER LINE
 - FIRE LINE
 - WATER SERVICE LINE
 - ☐ WATER METER
 - ⊥ EXISTING WATER VALVE
 - SIDEWALK CULVERT
 - SANITARY SEWER LINE
 - PROPOSED RETAINING WALL
 - ← 8" SANITARY SEWER LINE
 - ⊙ EXISTING FIRE HYDRANT
 - ⊥ TEE
 - ⊥ PROPOSED WATER VALVE



AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
RCB 11-17-03
SIGNATURE & DATE

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico
1299UTL.DWC 11/17/03



Dekker Perich Sabatini

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Albuquerque, NM 87109
505 781-8700
505 781-8222
dps@dpsobq.com

ARCHITECT

ENGINEER



PROJECT

Classic Emporium
Juan Tabo & Lagrima de Oro
Albuquerque, New Mexico

REVISIONS

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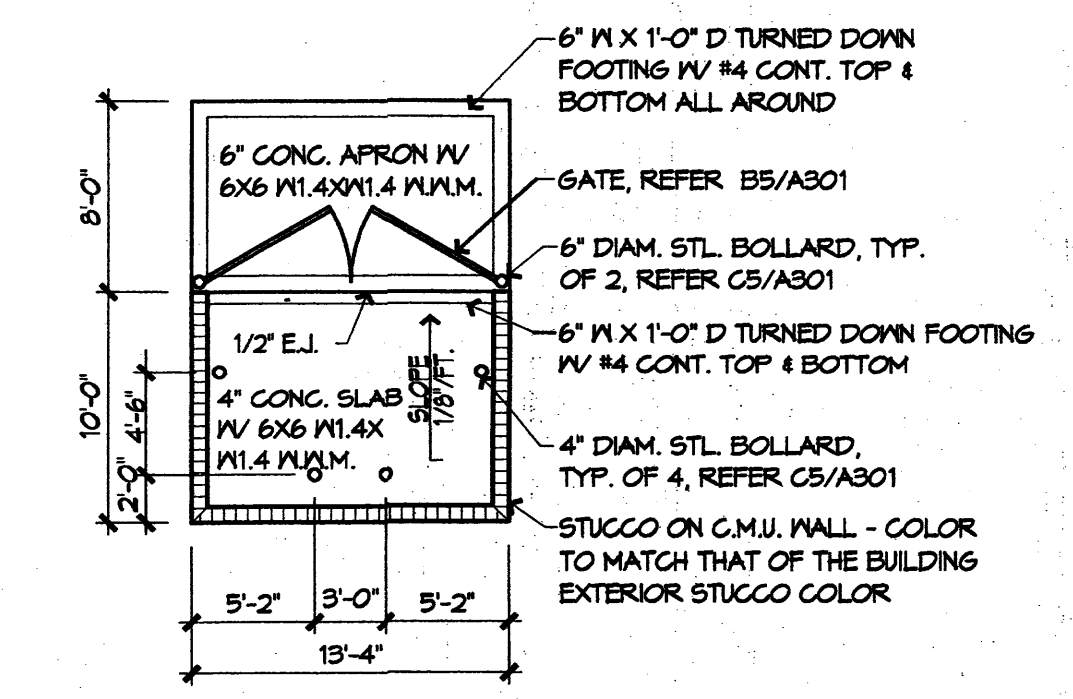
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REVIEWED BY SMH
DATE 11/06/03

PROJECT NO.
DRAWING NAME
Conceptual Utility Plan

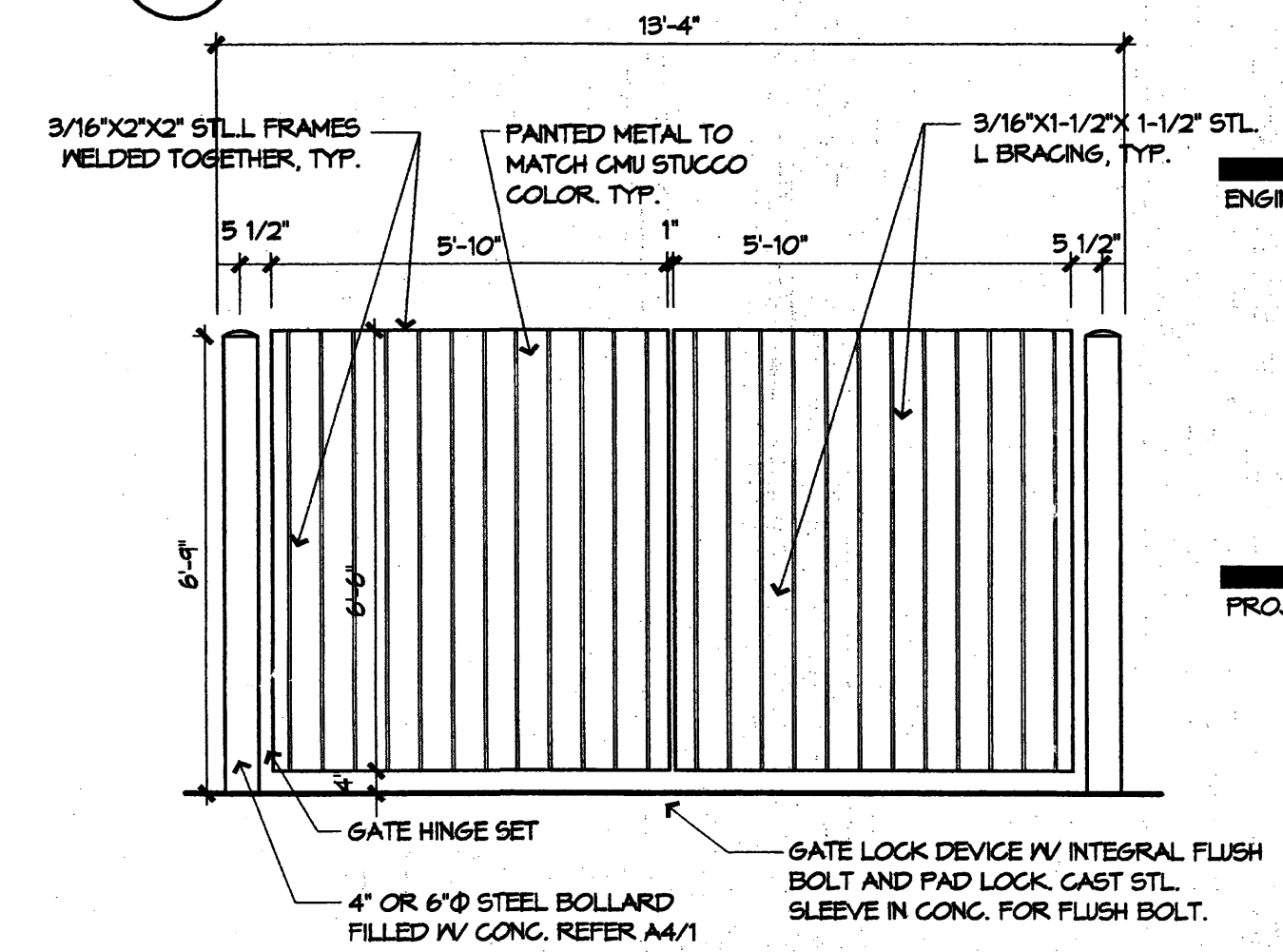
SHEET NO.
002

GENERAL NOTES

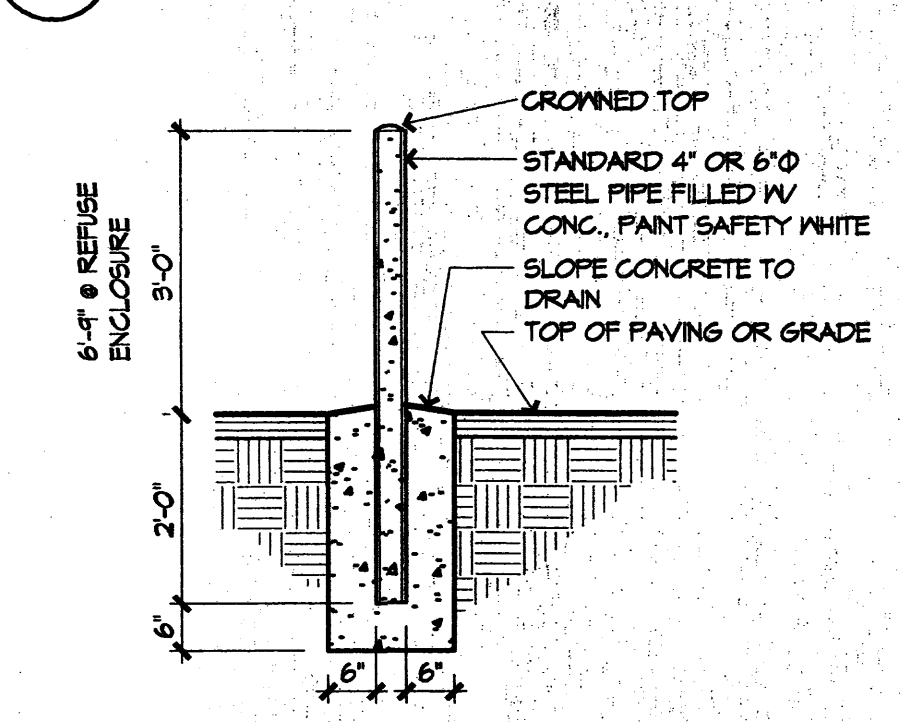
- STUCCO COLORS:
#1 - LIGHT TAN
#2 - MEDIUM TAN
- EXTERIOR SIGNAGE DESIGN GUIDELINES:
ALL SIGNAGE TO BE MULTI-COLOR, BACK LIT, BUILDING MOUNTED.
ALL SIGNAGE SHALL CONFORM TO COA SIZE REQUIREMENTS



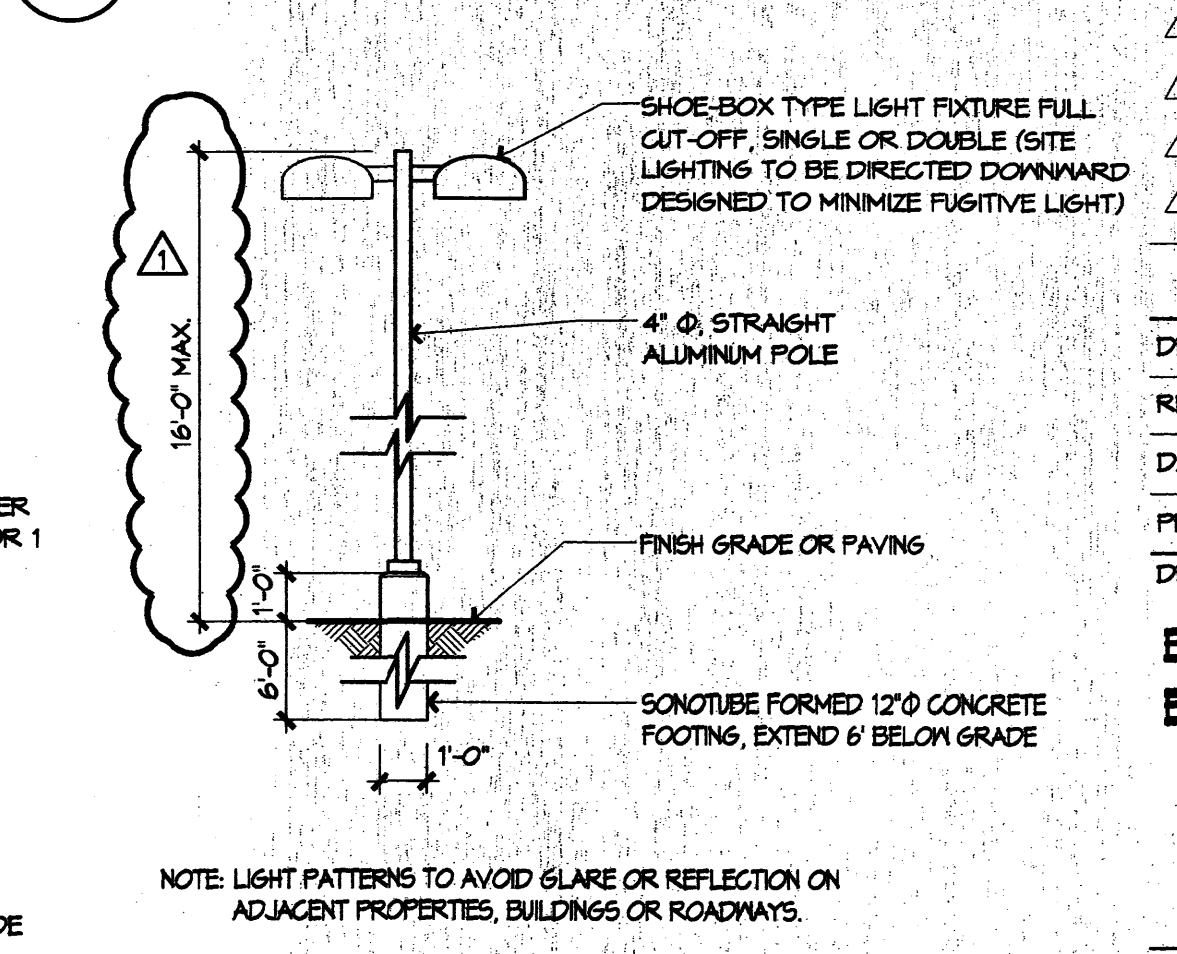
A5 SINGLE REFUSE ENCLOSURE



B5 GATE ELEVATION



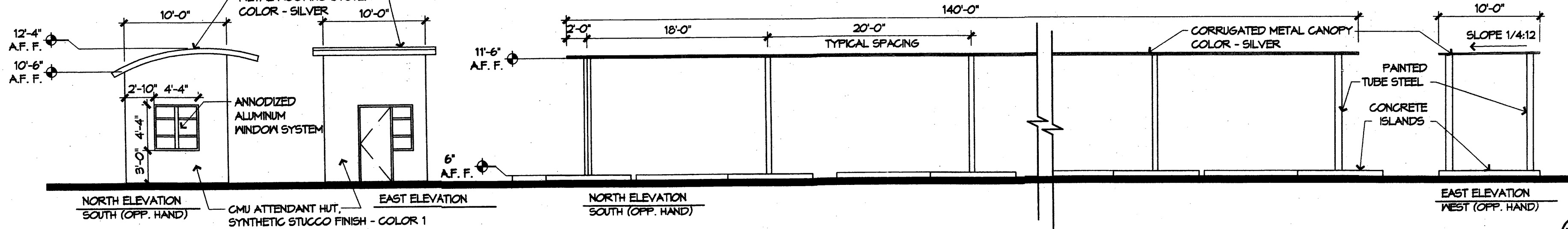
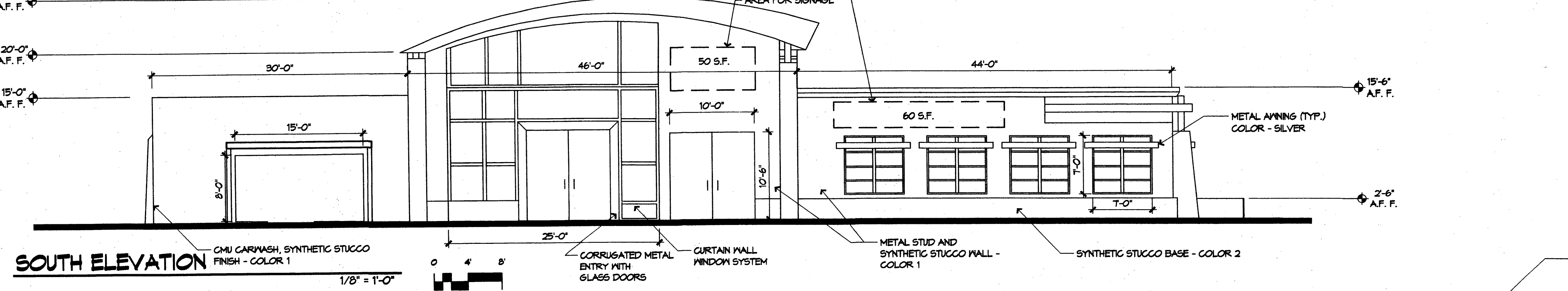
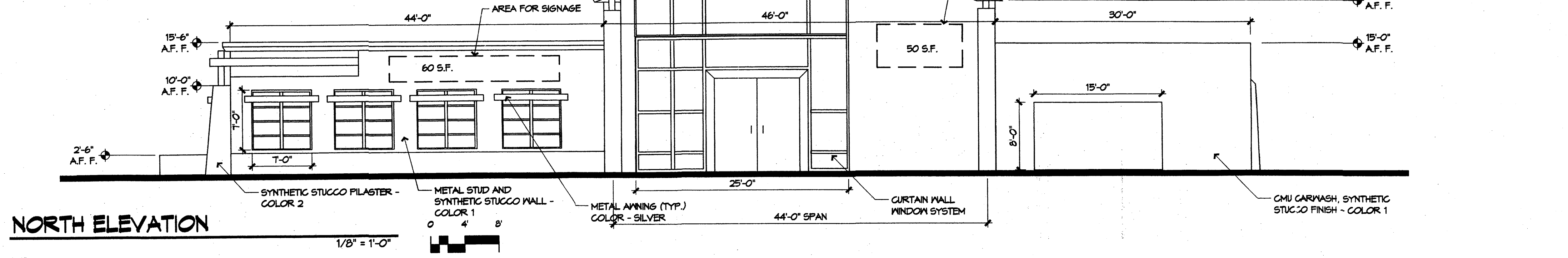
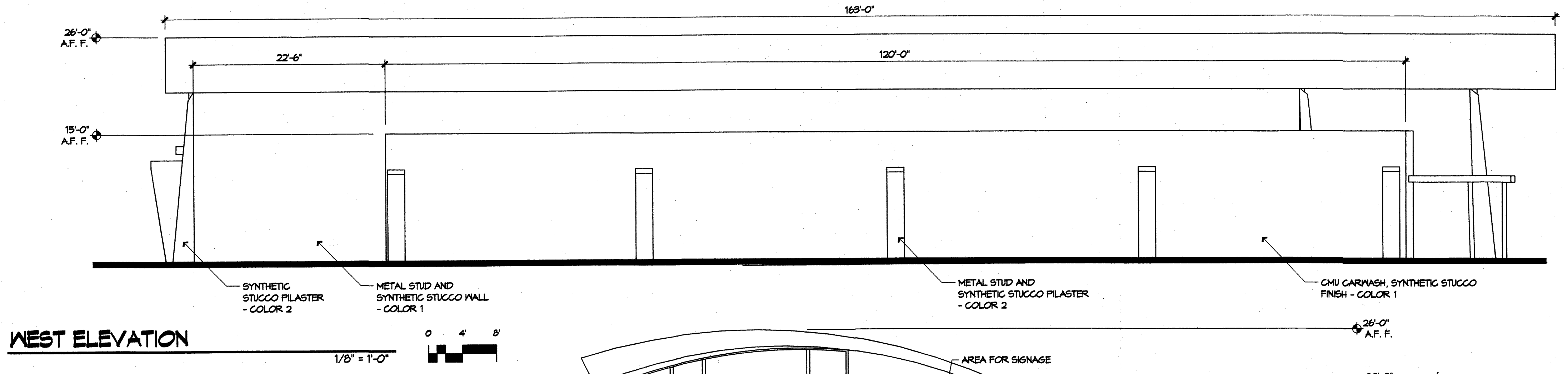
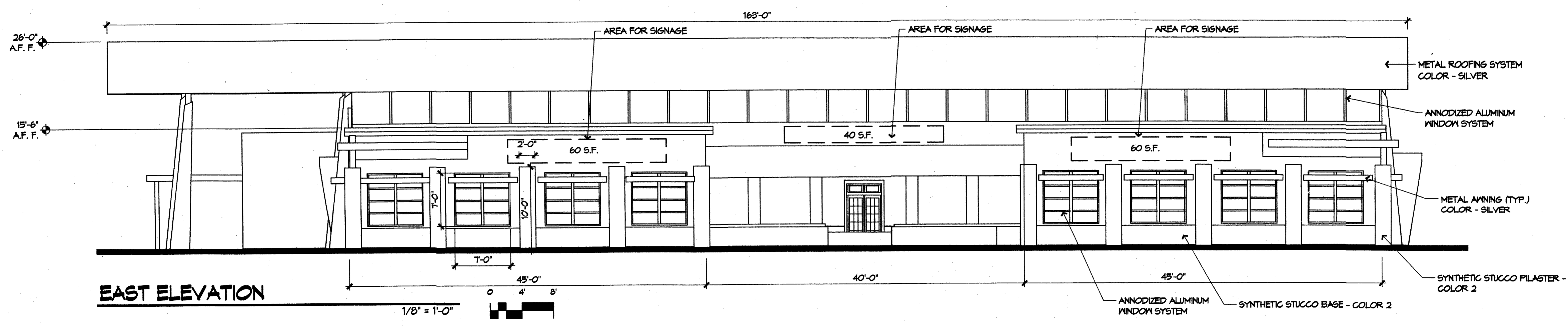
C5 BOLLARD DETAIL



D4 MONUMENT SIGN ELEVATION



D5 LIGHT STANDARD ELEVATION



ATTENDANT HUT ELEVATIONS

DETAILING CANOPY ELEVATIONS

REVISIONS

△	02/11/04
△	
△	
△	

DRAWN BY	DL5
REVIEWED BY	CS
DATE	11/6/03
PROJECT NO.	03082
DRAWING NAME	

Building Elevations

SHEET NO.

A301
OF

GENERAL NOTES

- SITE LIGHTING SPACES & LOCATIONS TO CONFORM WITH COA STANDARDS.
- SLOPE ON ALL ACCESSIBLE RAMP NOT TO EXCEED 1:2.

KEYED NOTES

- TRASH ENCLOSURE RE EB/AVI
- INTERLOCK CAR RETAINING WALL COLOR TO VARY BY 20% FROM SURROUNDING WALLS.
- STEEL GALLERY COVER, GALVANIZED, CHECKERED, 2" WIDE X 6" LONG, V.I.P.
- CONCRETE PAINT
- CONCRETE VAULTS 8'-0" X 11'-0" X 8'-0" BELOW GRADE BY CONCRETE VAULT MANUFACTURER, COORDINATE WITH CAR WASH EQUIPMENT SUPPLIER RE MECHANICAL.
- NOT USED
- STAIR UP FOR FUTURE AUTOMATIC ELECTRICAL PAN BOX RE ELECTRICAL AND COORDINATE WITH EQUIPMENT SUPPLIER.
- CONCRETE CARB. RE EB/AVI
- PRECAST CONCRETE SPLASHBLOCK, TYP. AT EACH CAR WASH DOWNSPUT.
- DEMO EXISTING CARB, BITTER, LANDSCAPING, AND SIDEWALK.
- SEWER LINES TO BE PAINTED, 1" CONC. PAD AS REQUIRED.
- ASPHALT FINISH.
- ASPHALT CONCRETE CURB, 4" AGGREGATE BASE COURSE AT DRIVEWAYS.
- ASPHALT CONCRETE OVER 12" GRANULAR SUB-BASE AT PARKING AREAS.
- CURB RAMP RE EB/AVI
- CONCRETE SIDEWALK RE EB, CA, AND CANAVI
- DOMESTIC WATER LINE REDUCED PRESSURE BACK FLOW PREVENTER HOT BOX, RE ELECTRICAL AND MECHANICAL.
- BIKE RACK RE TO CANAVI
- CONCRETE SIDEWALK RE EB/AVI
- CONCRETE DRAINAGE GULLY RE EB/AVI
- NOT USED
- DRAINAGE BASIN, AND SIDEWALK GULLY RE EB/AVI

ISSUED FOR
ADMIN. AVENUE.

PROJECT

Classic Emporium
Albuquerque, New Mexico

LEGEND

- INTERIALLY COLORED CONCRETE SIDEWALK SIMILAR TO DRIVE COLOR.
- PROPERTY LINE
- PANT CARB RED PANT TEXT WHITE FIRE LANE NO PARKING AND ELECTRICAL
- LIGHT STANDARD RE EB/AVI
- PARKING CONT.
- D-CO
- (C)

ADMINISTRATIVE AMENDMENT

PREPARED BY: [Signature]

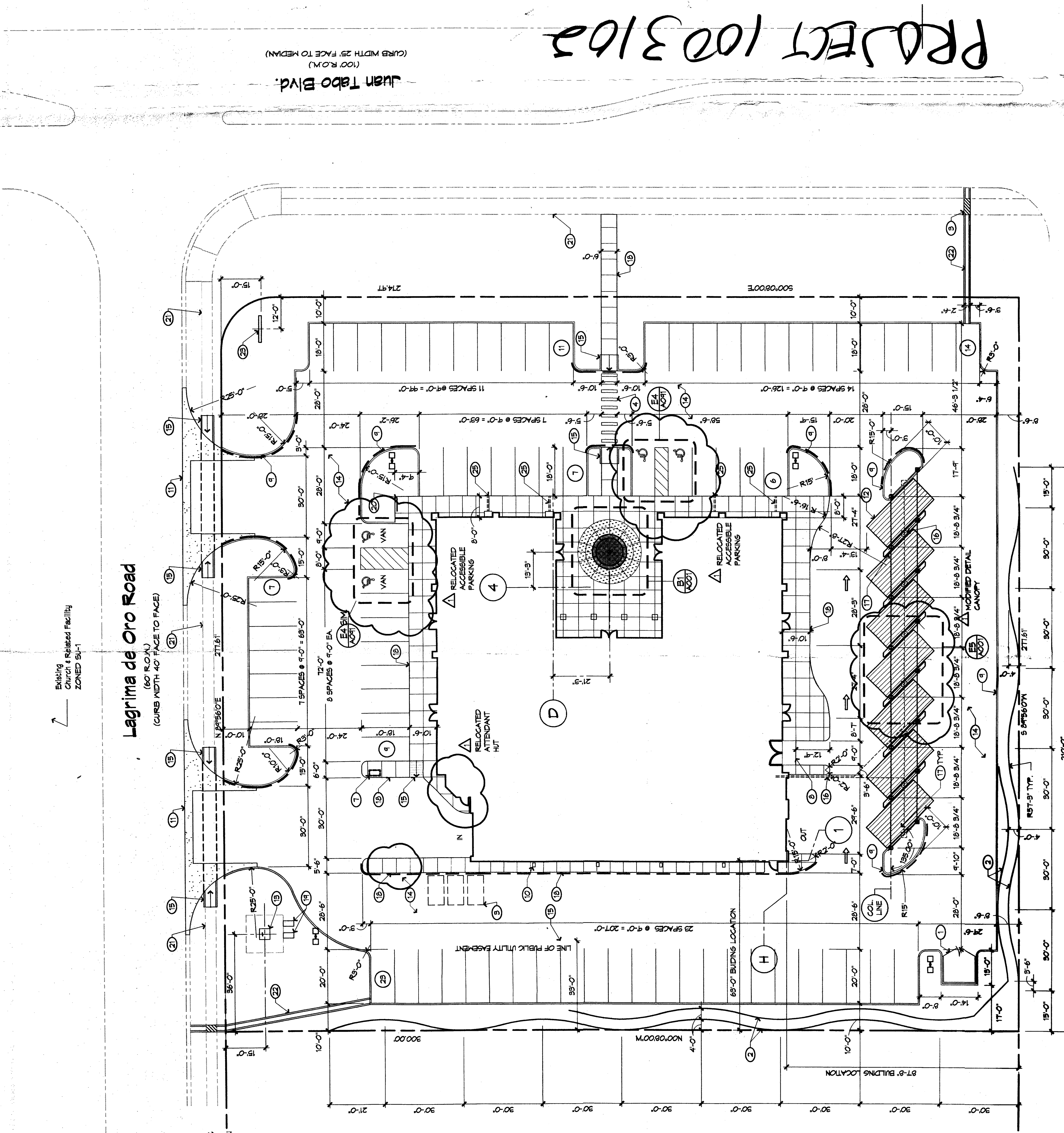
DATE: 11.10.25

APPROVED BY: [Signature]

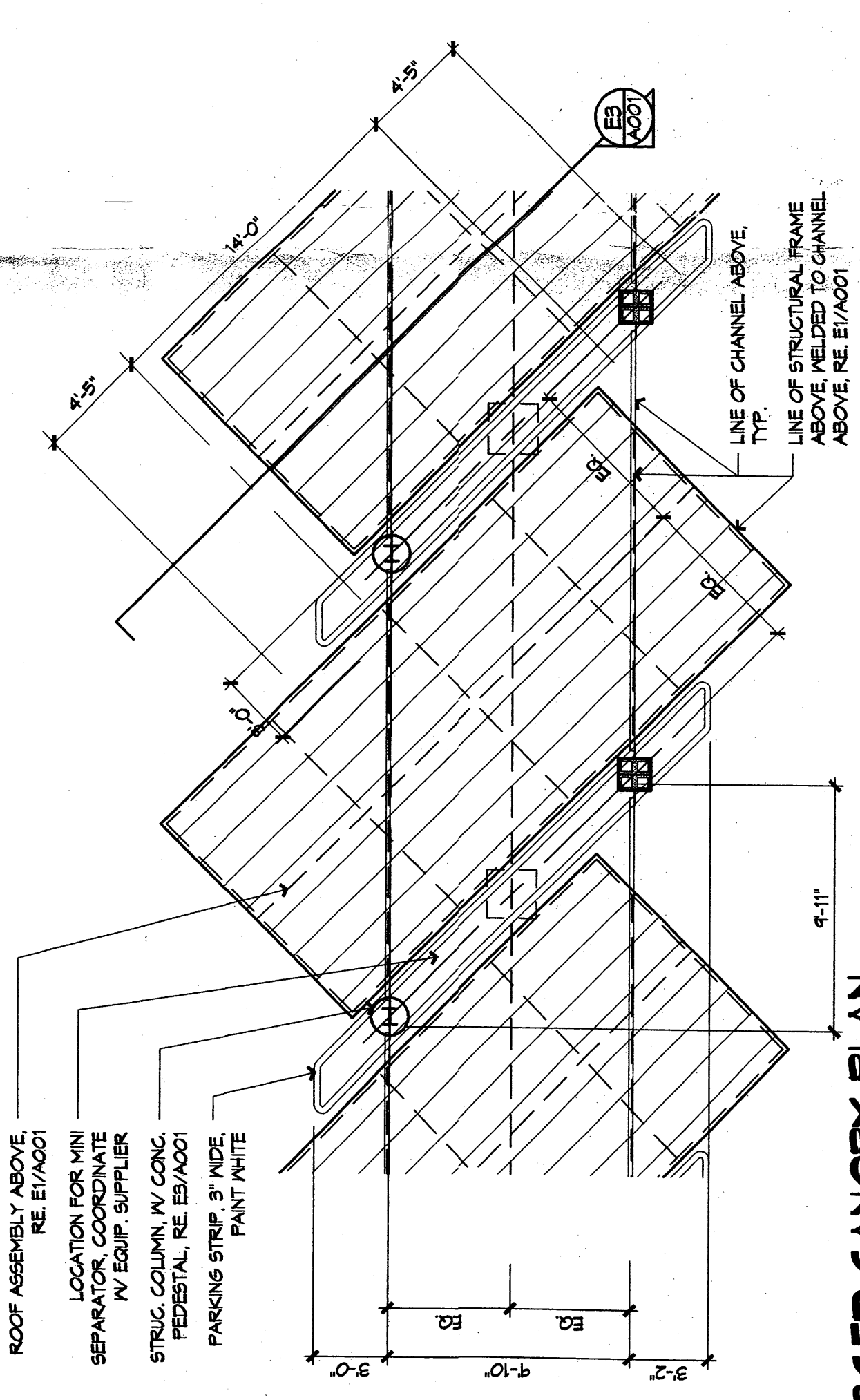
REVISIONS

1	11/25/24	ADMIN. AVENUE
2		
3		
4		
5		

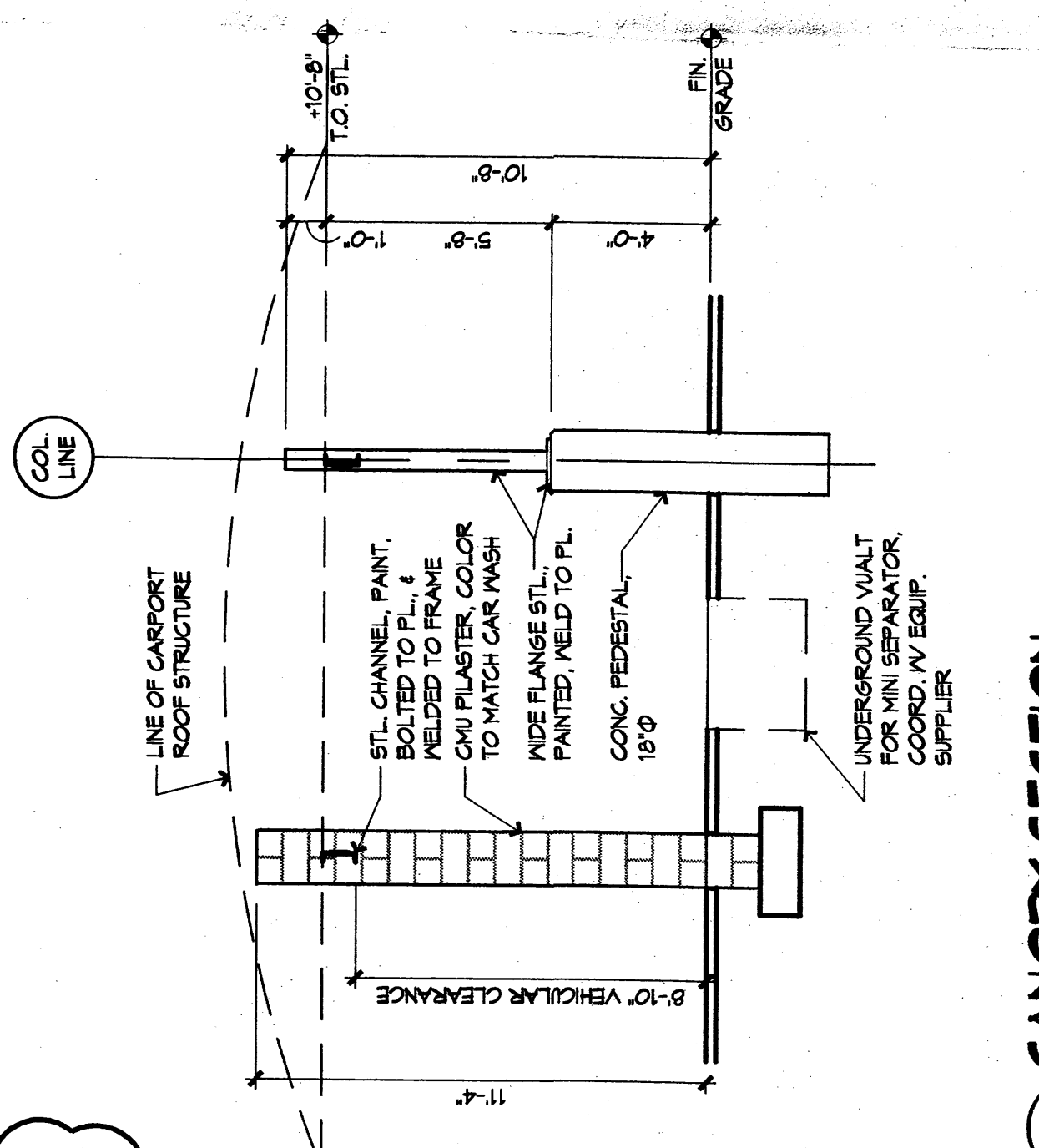
DRAWN BY: DPS
REVIEWED BY: DPS
DATE: 10/28/24
PROJECT NO.: 082023
DRAWING NAME: Site Plan



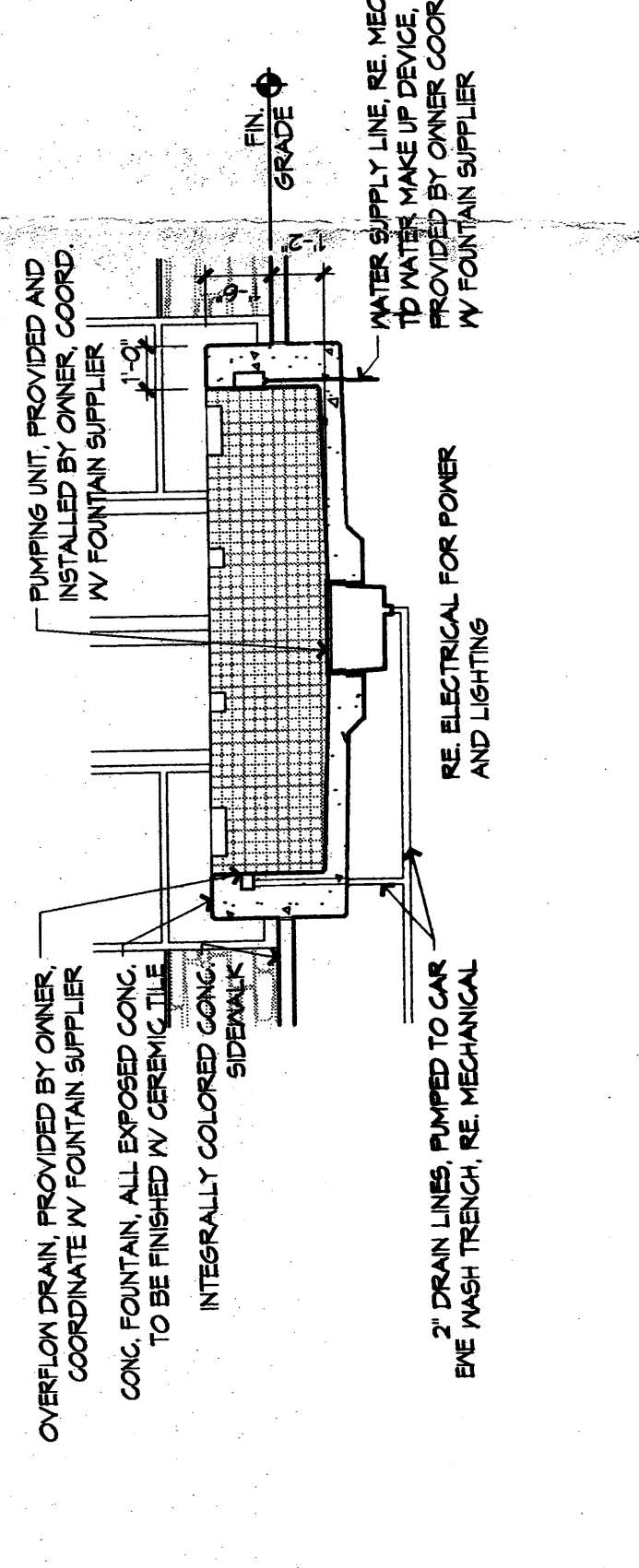
SITE PLAN
1" = 20'-0"



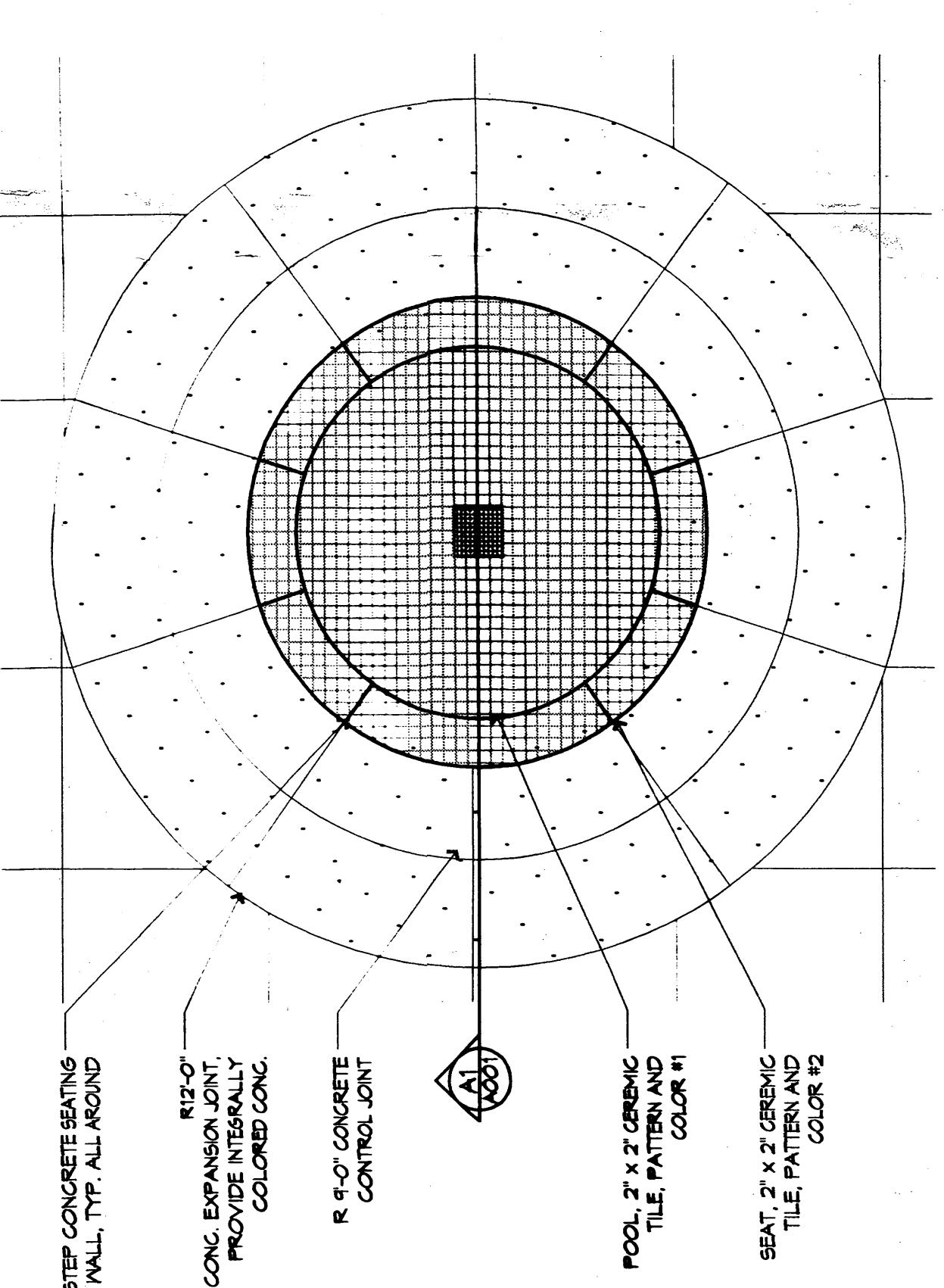
E4 ENLARGED CANOPY PLAN
3/16" = 1'-0"
DETAIL CANOPY



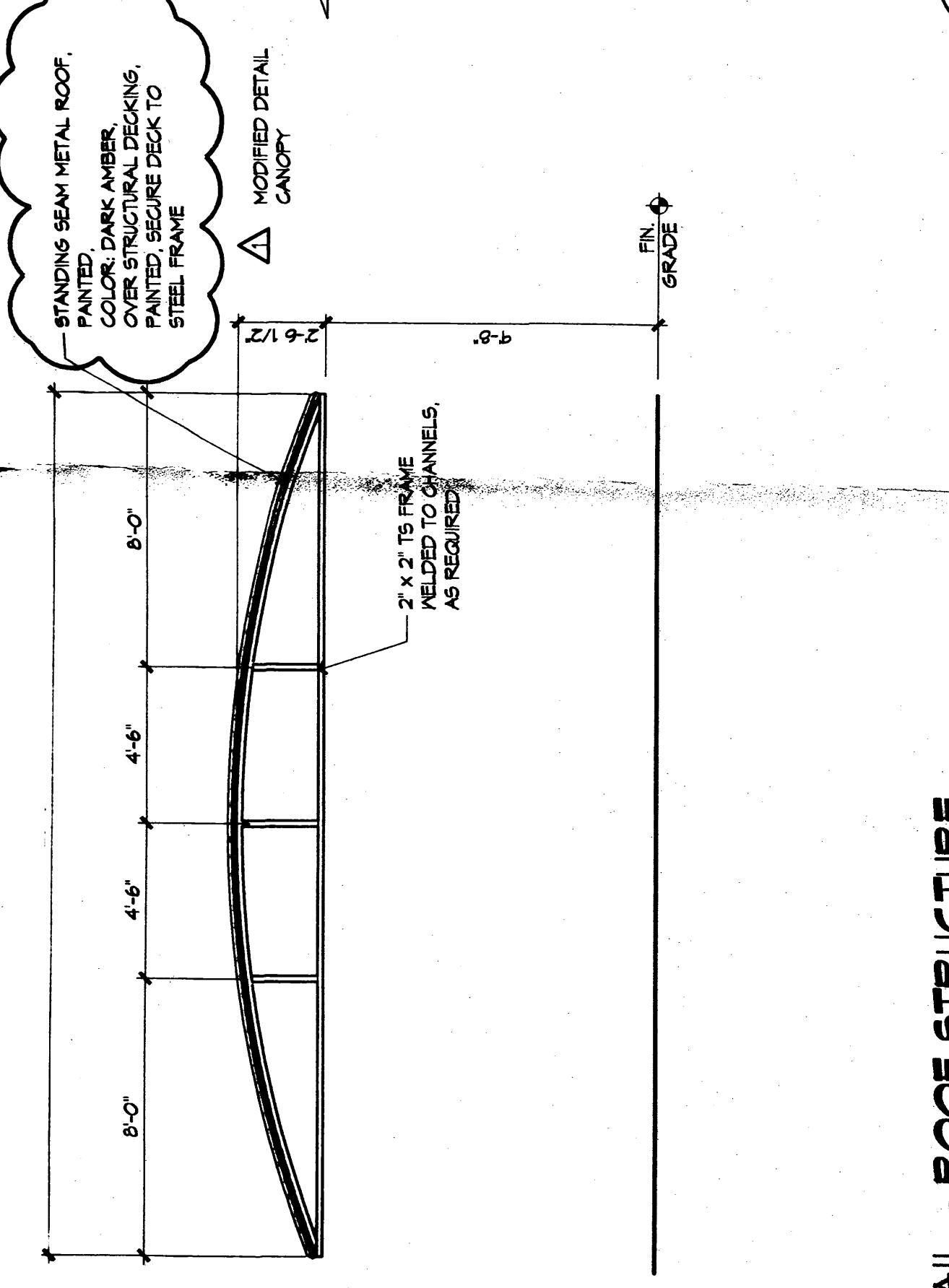
E3 CANOPY SECTION
1/4" = 1'-0"
DETAIL CANOPY



A1 SECTION
1/4" = 1'-0"
COURTYARD FOUNTAIN



C1 ENLARGED PLAN
1/4" = 1'-0"
COURTYARD FOUNTAIN




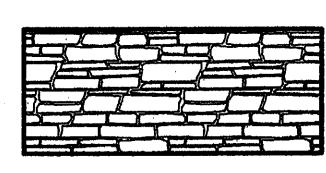
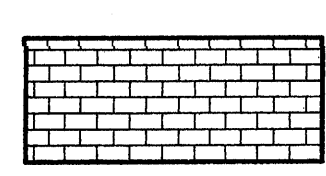
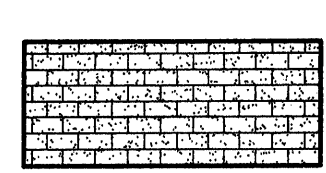
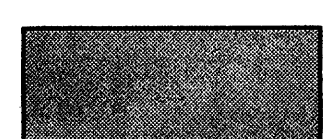

E1 DETAIL - ROOF STRUCTURE
1/4" = 1'-0"
DETAIL CANOPY

GENERAL NOTES

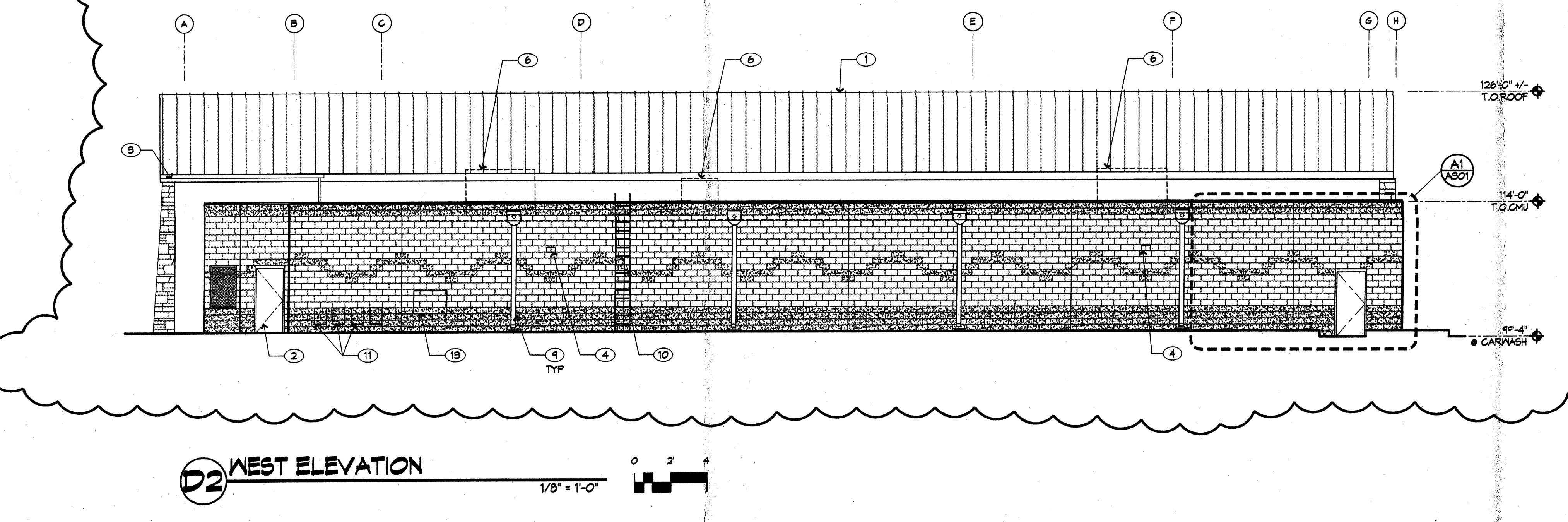
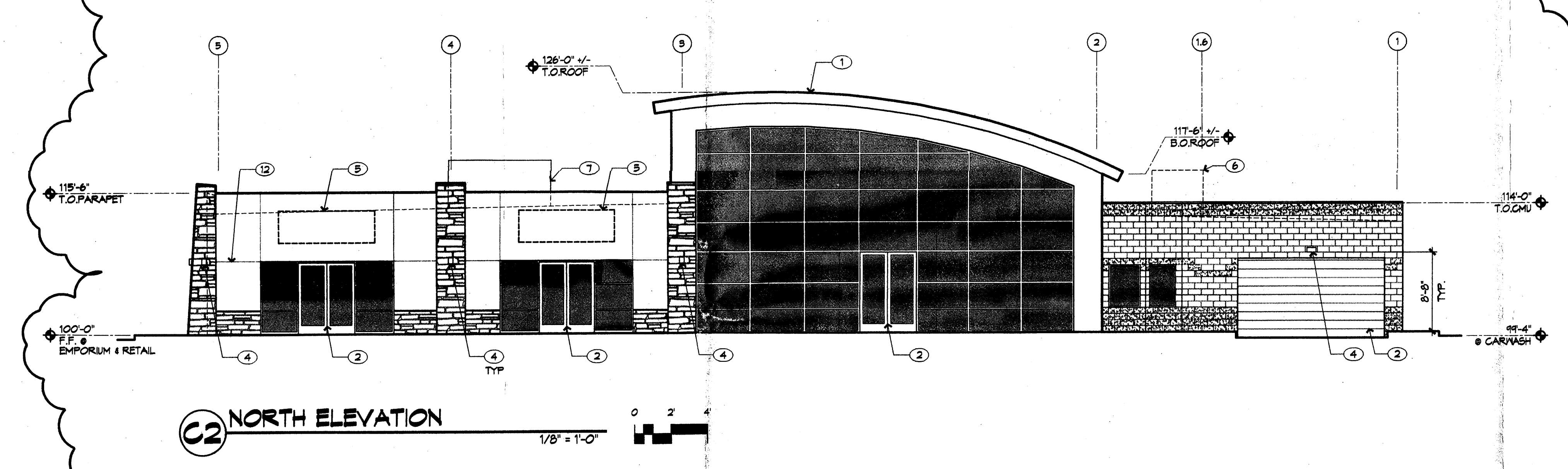
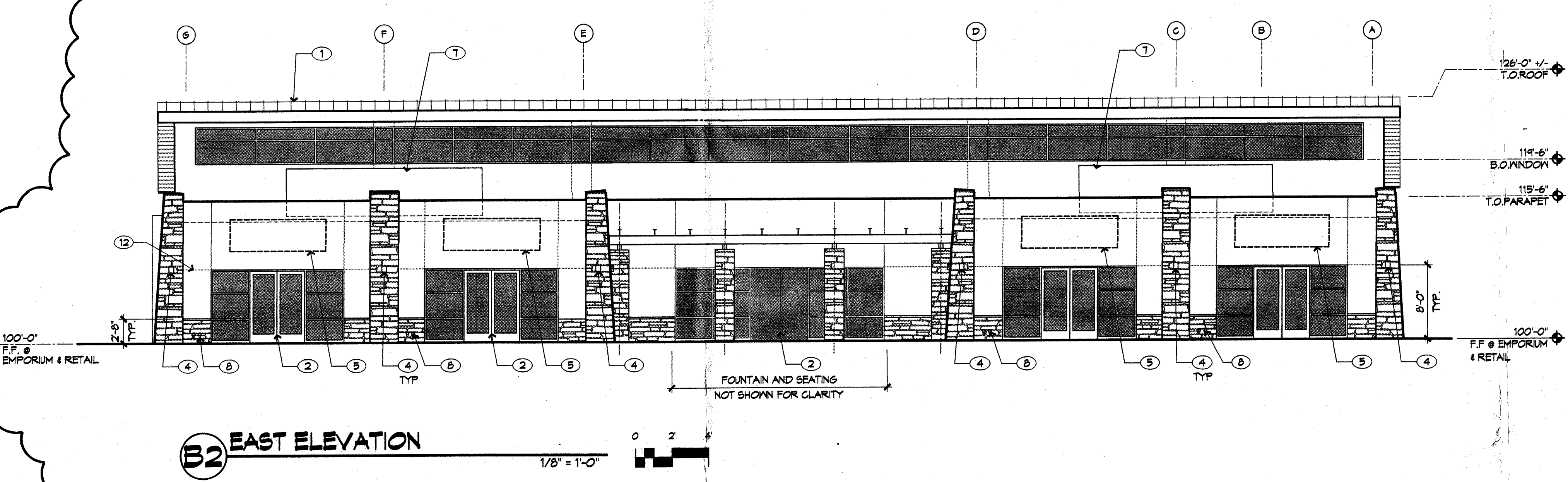
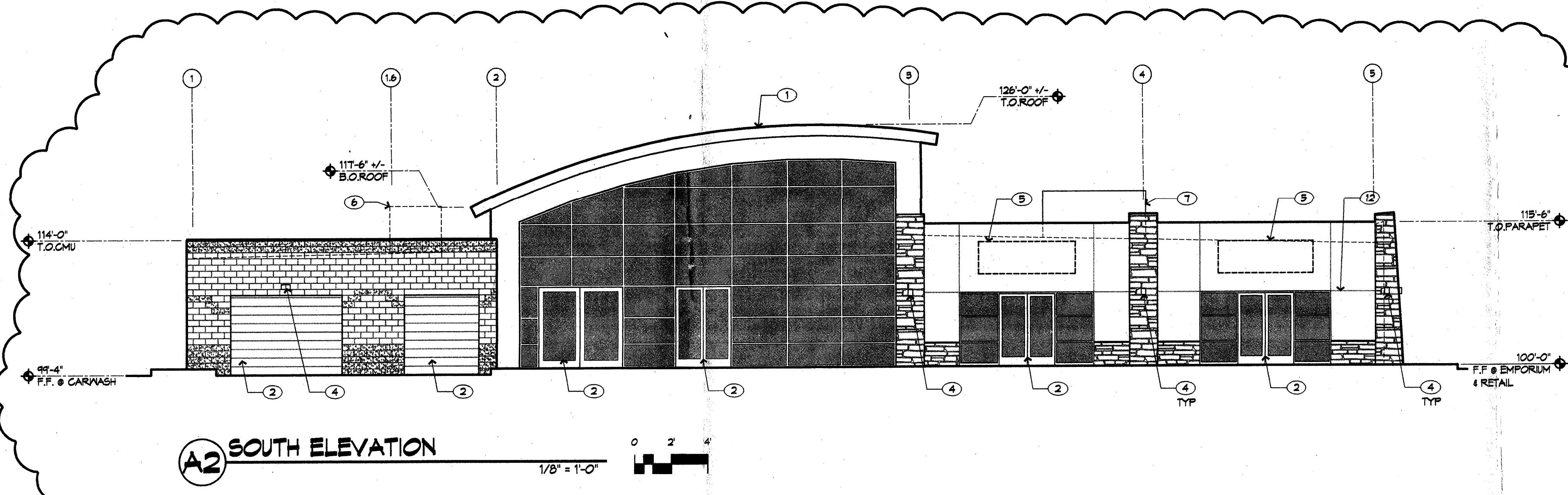
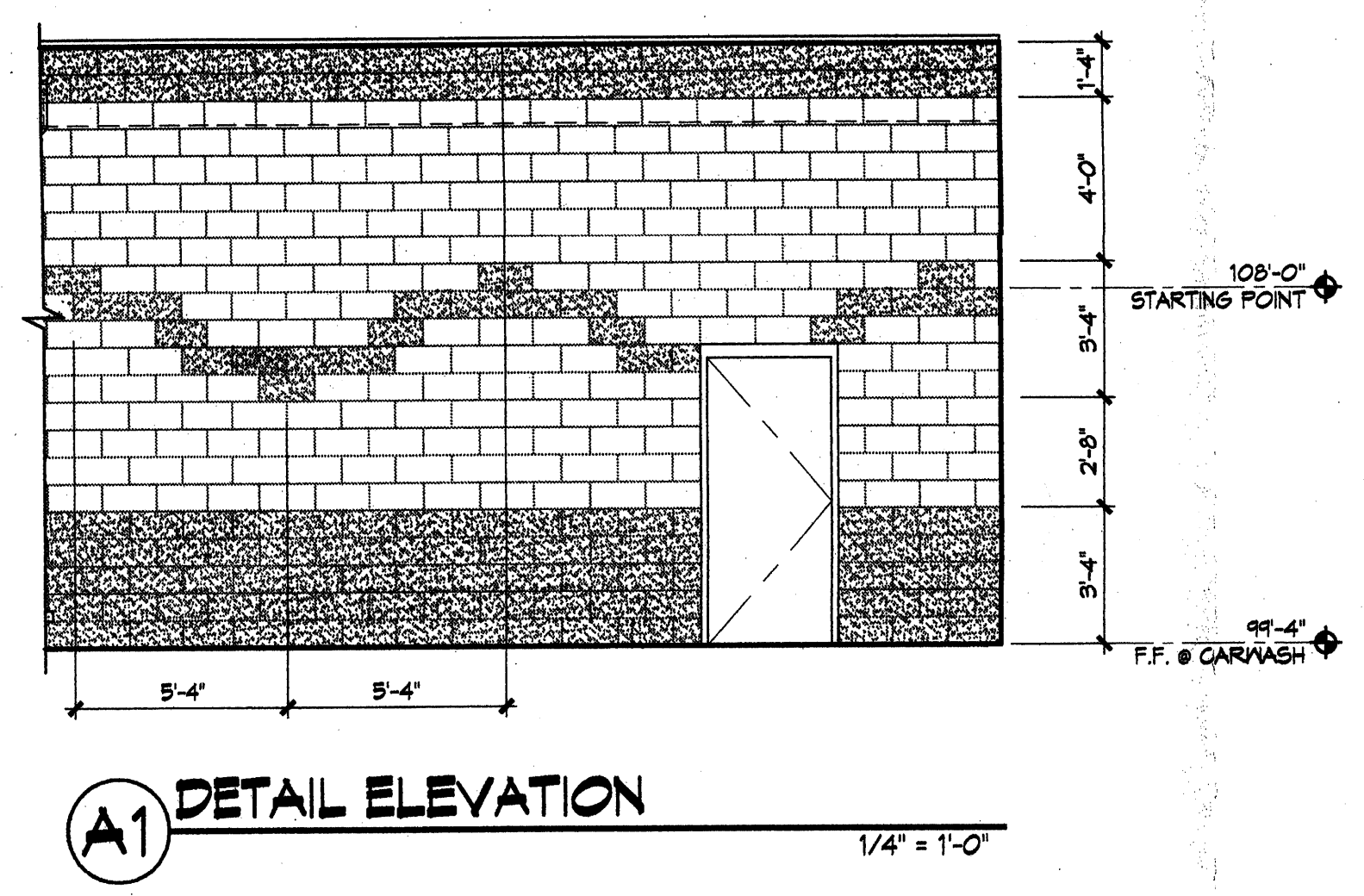
1. SIGNAGE: NO INDIVIDUAL SIGN WILL EXCEED 12 SF, OR 12.5% OF FACADE AREA
2. NORTH FACADE: 2,401 SF
3. SOUTH FACADE: 2,401 SF
4. EAST FACADE: 9,390 SF
5. WEST FACADE: 9,480 SF

KEYED NOTES

1. STANDING SEAM METAL ROOF COLOR: DARK AMBER
2. DOOR AS SCHEDULED
3. BUTTER DOWNSPOUT TO CARWASH
4. WALL MOUNTED LIGHT FIXTURE RE. E111
5. AREA FOR SIGNAGE (36 SF. TYP. FOR REFERENCE ONLY)
6. MECHANICAL ROOF TOP UNIT, RE. MECHANICAL
7. RTU SCREEN, 2 COAT STUCCO SYSTEM OVER 6" STEEL STUDS, FINISH TO MATCH BUILDING, RE. E4/A201
8. ROOF DRAIN & OVERFLOW ROOF DRAIN NOZZLE, RE. E1/A201
9. LEADER BOX & DOWNSPOUT, PAINT, RE. C1/D1/A201
10. STEEL LADDER
11. GAS METERS
12. STUCCO REVEAL
13. ELECTRIC METERS, RE. E411

-  TWO COAT STUCCO SYSTEM
COLOR: TAN
-  STACKED STONE VENEER
COLOR: TAN/BROWN
-  SMOOTH FACE CMU
COLOR: TAN
-  SPLIT FACE CMU
COLOR: BROWN
-  SLAZING (COLOR: BLUE/GREEN/ALUMINUM)
-  STOREFRONT/CURTAINWALL (COLOR: CLEAR ANODIZED)

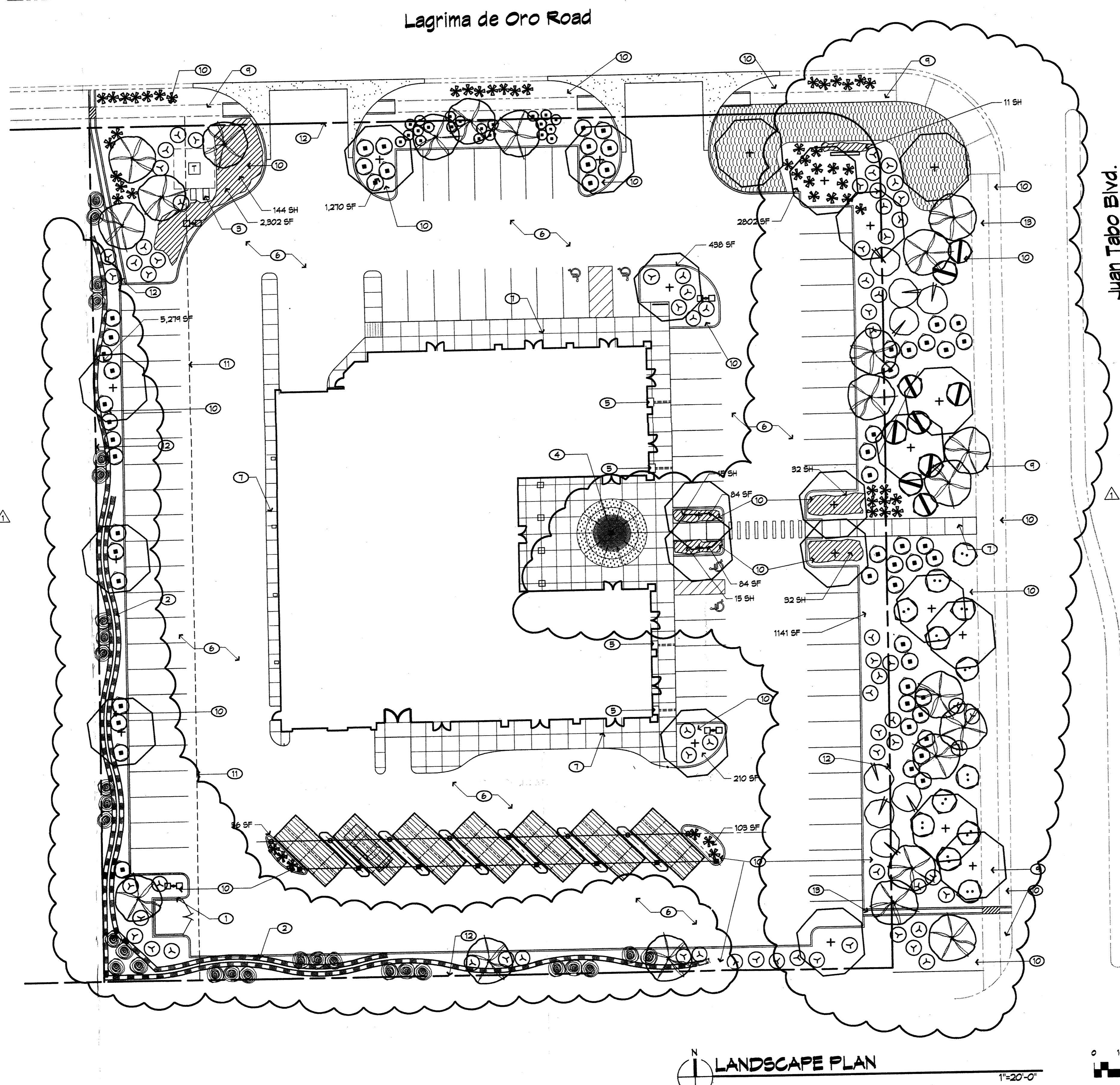
△ MODIFIED ELEVATIONS AND COLOR SELECTIONS



REVISIONS

△	11/12/04	ADMIN. AMENDMENT
△		
△		
△		

DRAWN BY: **DPB**
REVIEWED BY: **DPB**
DATE: **10/26/04**
PROJECT NO.: **08082**
DRAWING NAME:
Building Exterior Elevations



KEYED NOTES

- 1 TRASH ENCLOSURE SEE AS/801
- 2 RETAINING WALL, SEE CIVIL
- 3 PROPOSED LOCATION OF IRRIGATION BACKFLOW PREVENTER IN HEATED ENCLOSURE AND PEDestal MOUNTED CONTROLLER.
- 4 FOUNTAIN, SEE ARCHITECTURAL AND MECHANICAL SHEETS.
- 5 DOWNSPOUT AND SIDEWALK CULVERT
- 6 ASPHALT PAVING
- 7 CONCRETE SIDEWALK
- 8 EXISTING SIDEWALK
- 9 NOT USED
- 10 LANDSCAPE AREA
SANTA ANA TAN CRUSHER FINES / 2" SANTA ANA TAN ROCK ON SLOPES STEEPER THAN 5:1
- 11 C.O.A. UTILITY EASEMENT
- 12 PROPERTY LINE
- 13 DRAINAGE FULINE, SEE CIVIL.

LANDSCAPE CALCULATIONS

TOTAL AREA: 81,892 SF
BUILDING AREA: 14,873 SF
NET AREA: 67,019 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA): 10,053 SF
ALLOWABLE HIGH WATER USE TURF (20% OF LANDSCAPE AREA): 2,091 SF
PROVIDED LANDSCAPE AREA: 13,075 SF
PROVIDED HIGH WATER USE TURF AREA: 1,400 SF
LANDSCAPE AREA IN PUBLIC R.O.W.: 10,640 SF (NOT INCLUDED IN LANDSCAPE AREA CALCULATION)

LANDSCAPE NOTES

1. DESIGN: THE PLANTING DESIGN ACCENTUATES THE SITE PLANS PEDESTRIAN AND VEHICULAR CIRCULATION PATTERNS. IT ALSO STRENGTHENS THE PROJECT'S RELATIONSHIP TO ITS NATURALLY ARIID SETTING IN THE NEARBY FOOTHILLS, WHERE SUGGULENTS AND MULTI-TRUNK TREES ARE FREQUENT SYMBOLS OF ALBUQUERQUE'S REGIONAL IDENTITY. HEAT TOLERANT, LOW WATER-USE SHRUBS AND ORNAMENTALS PROVIDE ADDITIONAL SEASONAL COLOR, TEXTURE AND FRAGRANCE WITHOUT COMPROMISING THE INTEGRITY AND STRENGTH OF THE OVERALL LANDSCAPE.
2. LANDSCAPE BEDS SHALL ACHIEVE MINIMUM 75% LIVE VEGETATIVE COVERAGE UPON PLANT MATURITY. NOTED PLANT QUANTITIES ARE APPROXIMATE, AND REFLECT THE ESTIMATED NUMBER OF PLANTS NECESSARY TO ACHIEVE THE DESIGN INTENT AND THE REQUIRED COVERAGE AT PLANT MATURITY.
3. PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
4. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL EXCEPT TURF AREAS, WHICH MAY BE IRRIGATED WITH SPRAY HEADS. SPRAY HEADS SHALL BE APPROPRIATELY DESIGNED TO AVOID OVERSPRAY ONTO IMPERMEABLE SURFACES AND ADJACENT PAVING.
5. UNDERGROUND IRRIGATION SYSTEM: THE IRRIGATION SYSTEM SHALL CONSIST OF A FULLY AUTOMATED DRIP AND SPRAY IRRIGATION SYSTEM DESIGNED TO BE IN FULL COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER MASTER ORDINANCE.
A. POINT OF CONNECTION: SEE C002 FOR POINT OF CONNECTION.
B. SEE E001 FOR CIRCUITS PROVIDED FOR THE CONTROLLER AND BACKFLOW PREVENTER.
C. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE LAIRGUS ZONES SHALL BE APPROXIMATELY 60 MINUTES UPON PLANT ESTABLISHMENT. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
6. MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH, IN ORDER TO MINIMIZE WEED GROWTH, ADD VISUAL INTEREST, AND PROTECT SOIL MOISTURE.
7. ALL LANDSCAPING SHALL COMPLY WITH SECTION 14-16-3-1 OF THE CITY ZONING CODE WHICH REQUIRES A 6'-0" CLEAR MINIMUM PEDESTRIAN CIRCULATION WIDTH ALONG WALKWAYS THAT ADJUT BUILDINGS.

PLANTING LEGEND

TREE				
SYMBOL	EST QTY	SIZE @ MIN HTXSPD	COMMON NAME Botanical name	IRRIG / OTHER NOTES
	2B	6"x4" B&B	DESERT MILLON Chippelis thiersii	3 - 2 GPH DRIP MULTITRUNK
	2C	24"-Box @ 9"x4"	ESCAPMENT LIVE OAK Quercus fusiformis	4 - 4 GPH DRIP TRUNK LINES TO 6" ABOVE FINISH GRADE
SHRUB				
SYMBOL	EST QTY	SIZE @ MIN HTXSPD	COMMON NAME Botanical name	IRRIG / OTHER NOTES
	9	15-gal @ 15"x15"	YELLOW BIRD OF PARADISE Caesalpinia gilliesii	1 - 1 GPH DRIP
	11	1-gal @ 4"x6"	TURPENTINE BUSH Eucalyptus brigitolia	1 - 2 GPH DRIP
	30	1-gal @ 6"x6"	TRAILING ROSEMARY Rosmarinus officinalis prostratus	1 - 2 GPH DRIP
	58	5-gal @ 12"x12"	THOMPSON BROOM Baccharis x barta	1 - 2 GPH DRIP
	12	5-gal @ 12"x12"	HUGHES JUNIPER Juniperus horizontalis 'Hughes'	1 - 2 GPH DRIP
	4	5-gal @ 12"x12"	LOW-GROW SUMAC Rhus aromatica 'Gro-lo'	1 - 2 GPH DRIP
ACCENT				
SYMBOL	EST QTY	SIZE @ MIN HTXSPD	COMMON NAME Botanical name	IRRIG / OTHER NOTES
	74	5-gal @ 12"x12"	BLUE BOTOL Ceanothus lesteri	1 - 1 GPH DRIP
	55	5-gal @ 12"x12"	RED HESPERALOE Hesperaloe parviflora	1 - 2 GPH DRIP
GROUNDCOVER				
SYMBOL	EST QTY	SIZE @ MIN HTXSPD	COMMON NAME Botanical name	IRRIG / OTHER NOTES
	244	1-gal @ 4"x4"	SUNSET HYSSOP Agelaeche rupestris	1 - 2 GPH DRIP, 2 O.C.
TURF				
SYMBOL	EST QTY	INSTALLATION	COMMON NAME	IRRIG / OTHER NOTES
	1,400 SF	SCD	ALB. PARK BLEND	SPRAY HEADS

REVISIONS

11/26/04	ADMIN. AMENDMENT
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DRAWN BY: DFB
REVIEWED BY: DFB
DATE: 10/26/04
PROJECT NO.: 02082
DRAWING NAME: Landscape Plan for Building Permit