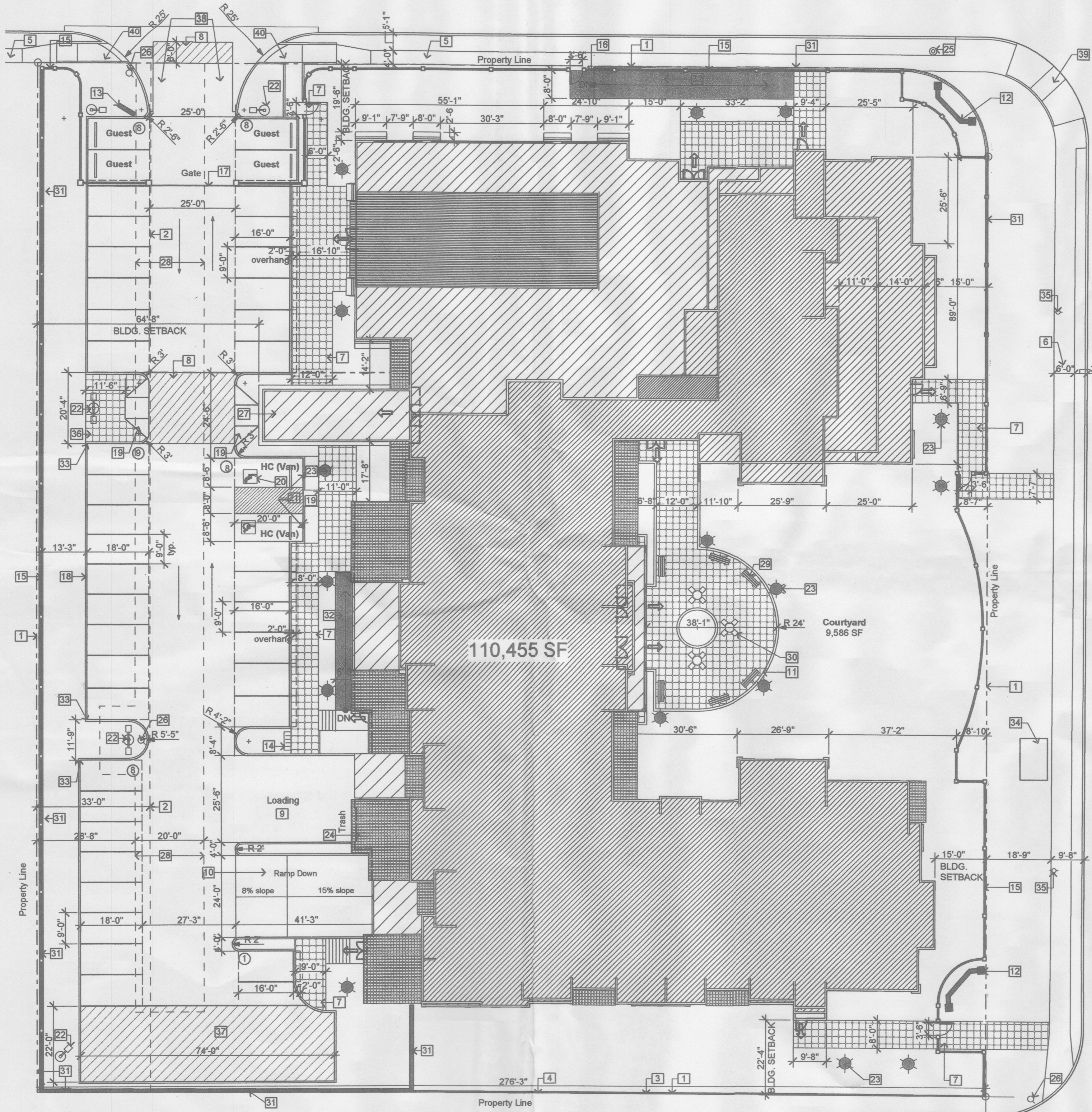


LAGRIMA DE ORO (60' R-O-W)



1 Site Plan  
SCALE: 1" = 20'

JUAN TABO BLVD. (100' R-O-W)

ROOF AND BUILDING HEIGHT LEGEND

- Flat Roof Height (47'-6") - Max. Parapet Height (48')
- Flat Roof Height (44') - Max. Parapet Height (46')
- Flat Roof Height (33') - Max. Parapet Height (37'-6")
- Flat Roof Height (17'-9" to 22') - Max. Parapet Height (24'-6")
- Flat Roof Height (11') - Max. Parapet Height (14'-6")
- Metal Roof (25'-9')
- Concrete Tile Roof (Varies) - Max. Height (44'-4")

Note: Flat Roof is a Single Ply Roofing System. Roof membrane white reflective color over solid insulation.

LIGHTING LEGEND

- LIGHTING -16' (Parking Circulation)  
See Detail 5/Sheet 3
- LIGHTING -3' (Pedestrian)  
See Detail 4/Sheet 3

NOTES:  
All light fixtures shall be shielded in conformance with the City Zoning Code Section 14-16-3-9. Height shall be measured from the finished grade to the top of pole. Wall mounted sconces shall be a maximum of 10' in height. There shall be a minimum 1 foot-candle of lighting on all parking and pedestrian pathways per ADA. All lighting shall comply with NM Night Sky Protection Act.

COMMON AREA CALCS

Area Type	Area (SF)
ADMINISTRATION	139.71
AQUATIC CENTER	6,499.28
CIRCULATION	14,760.39
HEALTH & FITNESS	3,652.91
KITCHEN/DINING	4,409.88
MECHANICAL	2,603.08
PARKING @ basement	15,878.42
RESIDENT ACTIVITY	3,157.61
RESTROOMS	501.80
	51,603.08 sq ft

UNIT MIX BY FLOOR

Unit Type	Qty
<b>First Floor</b>	
INDEPENDENT LIVING - 1 BED	5
INDEPENDENT LIVING - 2 BED	3
	8
<b>Second Floor</b>	
INDEPENDENT LIVING - 1 BED	7
INDEPENDENT LIVING - 2 BED	6
INDEPENDENT LIVING - 2 BED+DEN	2
INDEPENDENT LIVING - 3 BED	2
	17
<b>Third Floor</b>	
INDEPENDENT LIVING - 1 BED	8
INDEPENDENT LIVING - 2 BED	6
INDEPENDENT LIVING - 2 BED+DEN	2
INDEPENDENT LIVING - 3 BED	2
	18
<b>Fourth Floor</b>	
INDEPENDENT LIVING - 1 BED	6
INDEPENDENT LIVING - 2 BED	7
INDEPENDENT LIVING - 3 BED	2
	15
GUEST ROOM @ FIRST FLOOR	3

Parking Calculations

Parking Required: 1.5 per unit (87 spaces)  
Guest Rooms: 1 per room (3 spaces)  
Total Required Parking: 90 spaces (including 3 guest and 4 H.C. spaces)  
Transit Reductions: 10% for building within 300 feet of transit route  
5% for transit shelter  
Total transit reduction: 15% of 90 spaces = 77 spaces  
Bicycle spaces required: 1 per 20 vehicle spaces (5 spaces)  
Motorcycle spaces required: 3 per 51-100 vehicle spaces (3 spaces)  
Total Parking Provided:  
Surface: 42 spaces (including 4 guest, 2 H.C. Van spaces) and 5 Bicycle spaces  
Basement: 40 spaces (including 2 H.C. spaces) and 5 Motorcycle spaces  
Total: 82 spaces (including 4 guest and 4 H.C. spaces) and 5 Bicycle spaces and 5 Motorcycle spaces

SHEET INDEX

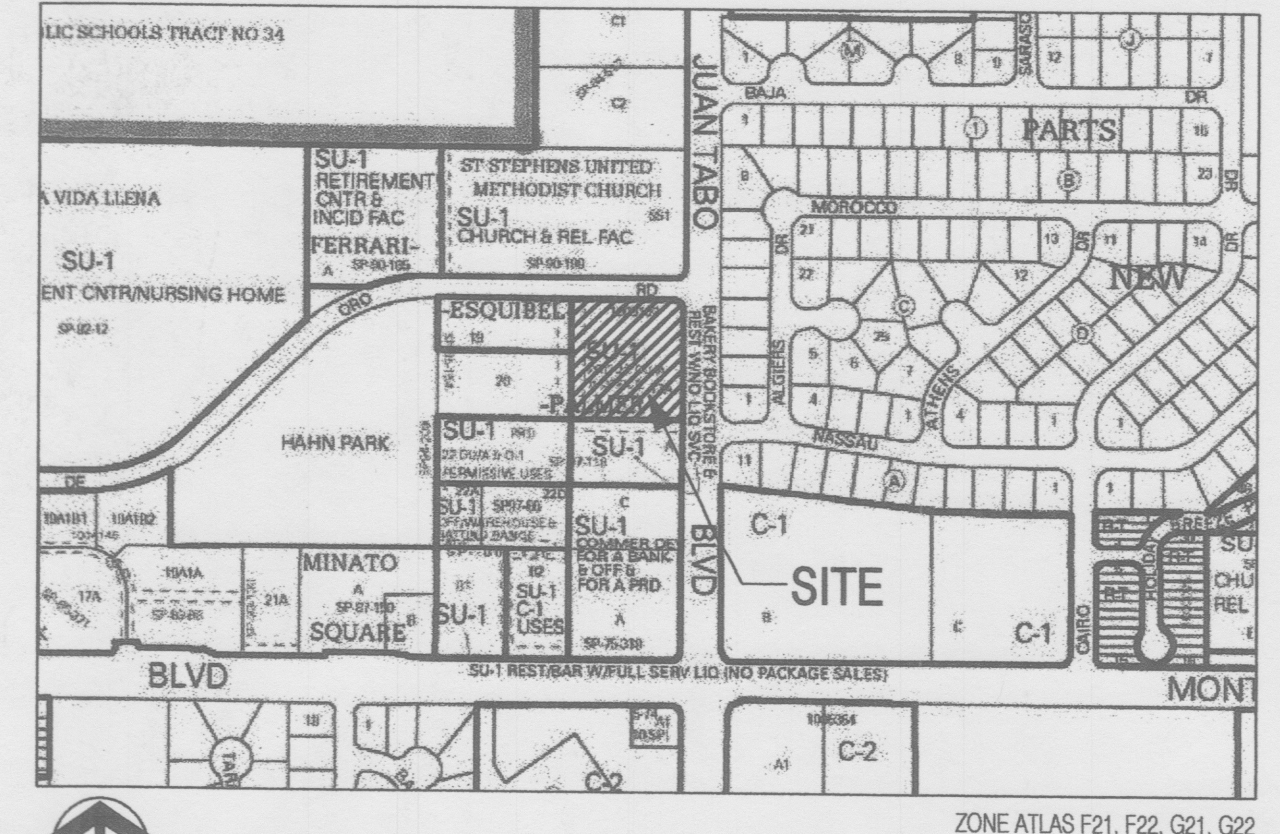
- Sheet 1 Site Plan
- Sheet 2 Basement Plan and Section
- Sheet 3 Details
- Sheet 4 Landscape Plan
- Sheet 5 Grading Plan
- Sheet 6 Utility Plan
- Sheet 7 Building Elevations
- Sheet 8 Building Elevations
- Sheet 9 Building Elevations

SITE KEYNOTES

- 1 Property Line
- 2 Existing 33' Private Access & P.U.E.
- 3 Existing Coyote Fence
- 4 New 6' C.M.U. Wall - Stucco Finish (Color: Light Brown)
- 5 Existing 4' Sidewalk
- 6 Existing 6' Sidewalk
- 7 Pedestrian Walkway (stamped & colored concrete) refer to plan for width
- 8 Pedestrian Crosswalk (colored & textured concrete) refer to plan for width
- 9 Loading Dock
- 10 Ramp to underground basement parking
- 11 Patio (stamped & colored concrete) 2,467 SF
- 12 Monumental Signage - refer to Detail 2/Sheet 3
- 13 Directional Signage - refer to Detail 3/Sheet 3
- 14 Bicycle Rack
- 15 Metal Fence - refer to Detail 6/Sheet 3
- 16 Pedestrian Gate
- 17 Retractable Gate (Entry gate will remain open during regular business hours. Residents will have an automatic gate opener for after hours.)
- 18 Concrete Curb
- 19 Handicapped Access Ramp - refer to Detail 7/Sheet 3
- 20 Handicapped Parking Symbol
- 21 Handicapped Parking Sign (12"x18")
- 22 16' Lighting fixture, pole & base - refer to Detail 5/Sheet 3
- 23 3' Lighting fixture - refer to Detail 4/Sheet 3
- 24 Trash Compactor & Recycling Area (located inside bldg.)
- 25 Existing Stop Sign
- 26 New Fire Hydrant
- 27 Covered Walkway at Entry
- 28 Proposed 20' P.U. Easement (Water and Storm Drain)
- 29 Site bench
- 30 Patio table
- 31 C.M.U. Retaining Wall (refer to grading for height) Stucco Finish (Color: Light Brown)
- 32 Pedestrian Ramp - refer to grading for slope
- 33 Curb Opening - refer to grading plan
- 34 Future Bus Shelter - COA Standard Detail Dwg. 2533
- 35 Existing streetlight
- 36 Pedestrian waiting area
- 37 Fire Lane
- 38 Private driveway entrance per COA std. dwg 2426
- 39 Curb ramp per COA std. dwg 2441, case 11
- 40 Curb ramp per COA std. dwg 2440

GENERAL NOTE: ALL RAMPS WITHIN THE PUBLIC RIGHT OF WAY SHALL HAVE TRUNCATED DOMES

SITE VICINITY



PROJECT DATA

PROPERTY: Lot 12-A, Lands of Ferrari-Esqubell-Palmer  
LOT SIZE: 1.91 Acres  
ZONING: SU-1 for Retirement Center and Related Facilities  
ACTUAL BUILDING SETBACKS PROVIDED: 19'-6" at North, 22'-4" at South, 64'-8" at West and 15'-0" at East  
LAND USE: "Housing for Older Persons" as defined in the federal Housing for Older Persons Act (42 U.S.C., §3607 (b)(2)) and uses will include related facilities.  
PROPOSED BUILDING TYPE: V-A  
BUILDING SQUARE FOOTAGE: Total 110,455 S.F.; 1st Floor = 31,369 S.F.; 2nd Floor = 21,913 S.F.; 3rd Floor = 21,728 S.F.; 4th Floor = 18,967 S.F.; Basement = 16,478 S.F.  
MAXIMUM BUILDING HEIGHT PROVIDED: 48'-0"  
DENSITY AND FLOOR AREA RATIO: 30.37 DU/AC, 1.13 F.A.R.  
TRANSIT: Bus Route 1 along Juan Tabo Blvd. and Bus Route 5 along Montgomery Blvd.

THIS SITE PLAN FOR BUILDING PERMIT REPLACES THE PREVIOUS SITE PLAN FOR BUILDING PERMIT, 06EPC-00147  
PROJECT NUMBER: 1003102  
Application Number: 09EPC-40029  
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated June 18, 2009 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	8-19-09
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	10/20/09
ABCWUA	Date
<i>[Signature]</i>	8/19/09
Parks and Recreation Department	Date
<i>[Signature]</i>	8-19-09
City Engineer	Date
* Environmental Health Department (conditional)	Date
<i>[Signature]</i>	8-18-09
Solid Waste Management	Date
<i>[Signature]</i>	8-19-09
DP&S Chairperson, Planning Department	Date

SITE PLAN FOR BUILDING PERMIT  
**LA VIDA LLENA**

Prepared for:  
La Vida Llena  
10501 Lagrima de Oro NE  
Albuquerque, NM 87111

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

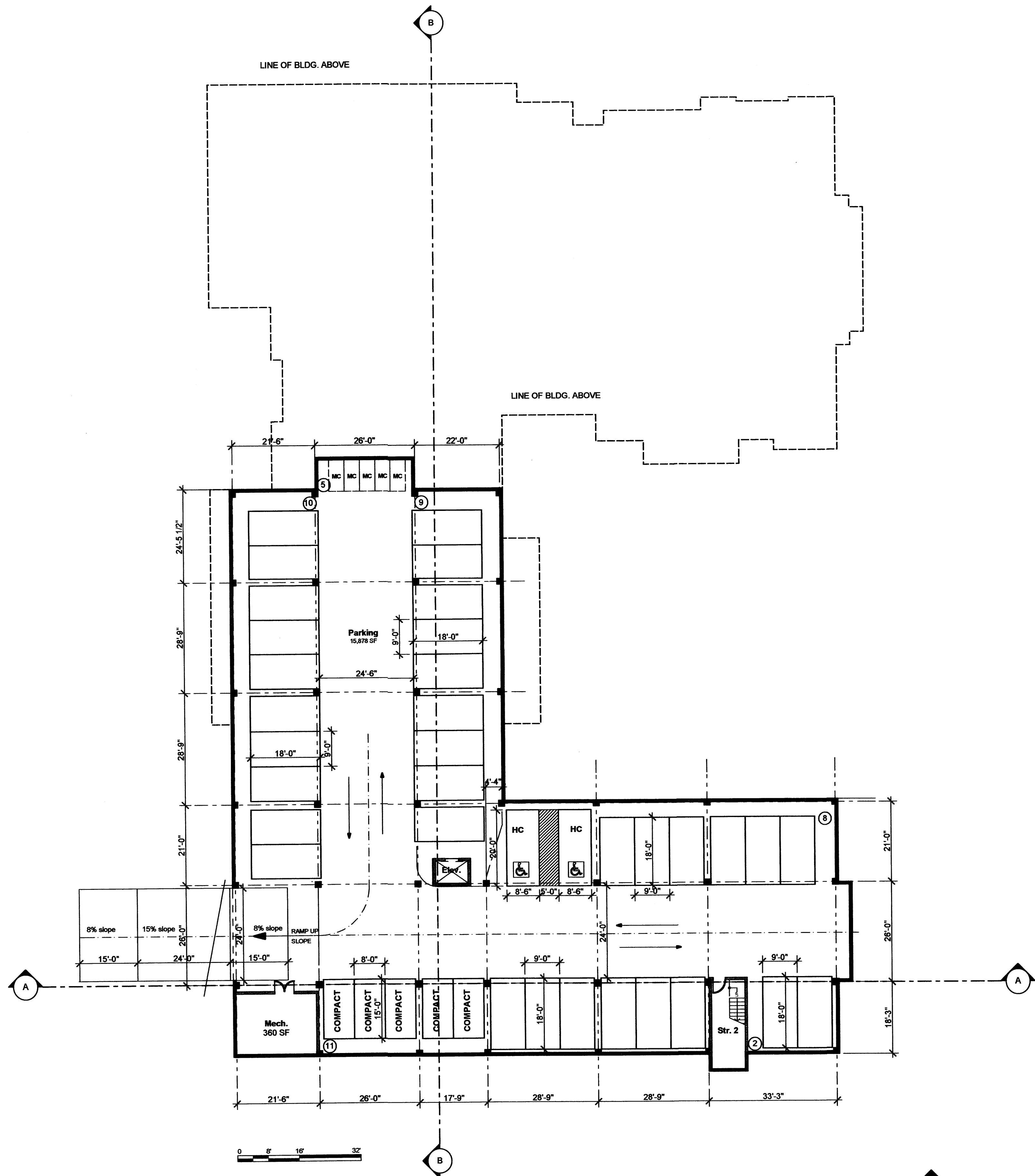


8/17/2009

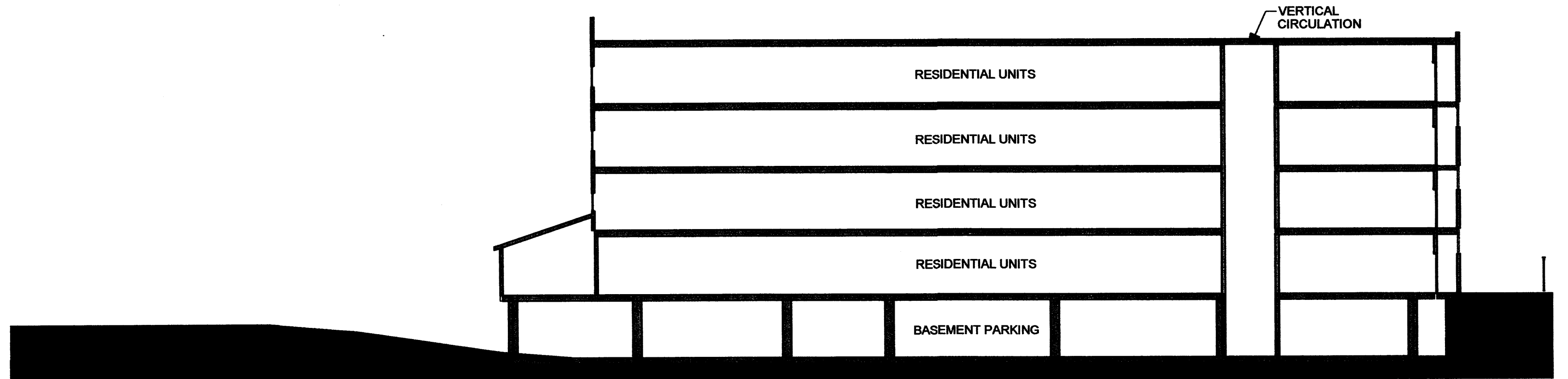
Irwin Pancake  
245 Fisher Ave., Suite B-2  
Costa Mesa, CA 92626

Bohannon Huston, Inc.  
Courtyard 1  
7500 Jefferson St. NE  
Albuquerque, NM 87109-4835

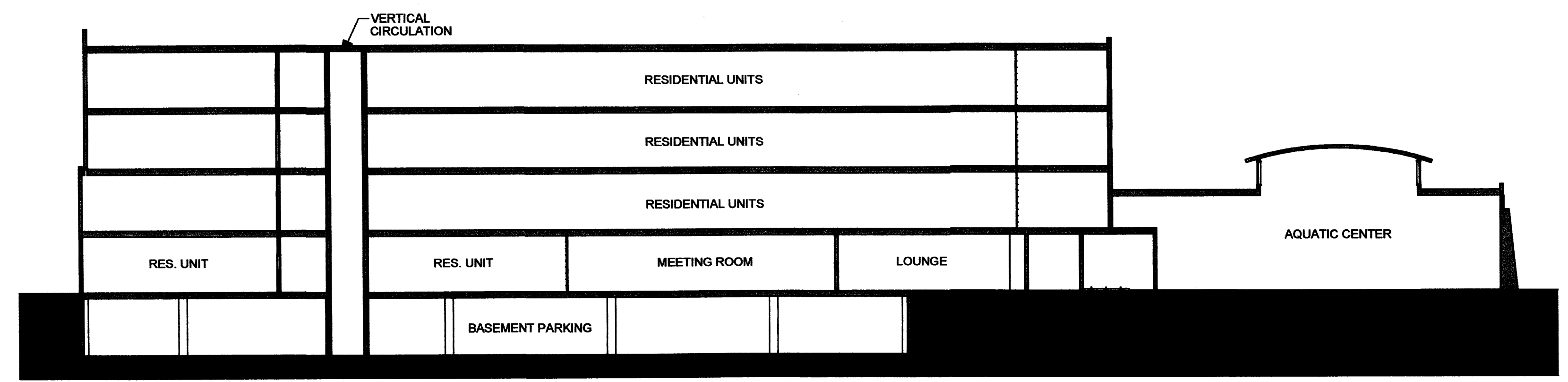
1003102



**1** Basement Plan  
SCALE: 1/16" = 1'-0"



**A** Section  
SCALE: 1/16" = 1'-0"



**B** Section  
SCALE: 1/16" = 1'-0"

## BASEMENT PLAN AND SECTION LA VIDA LLENA

Prepared for:  
La Vida Llena  
10501 Lagrima de Oro NE  
Albuquerque, NM 87111

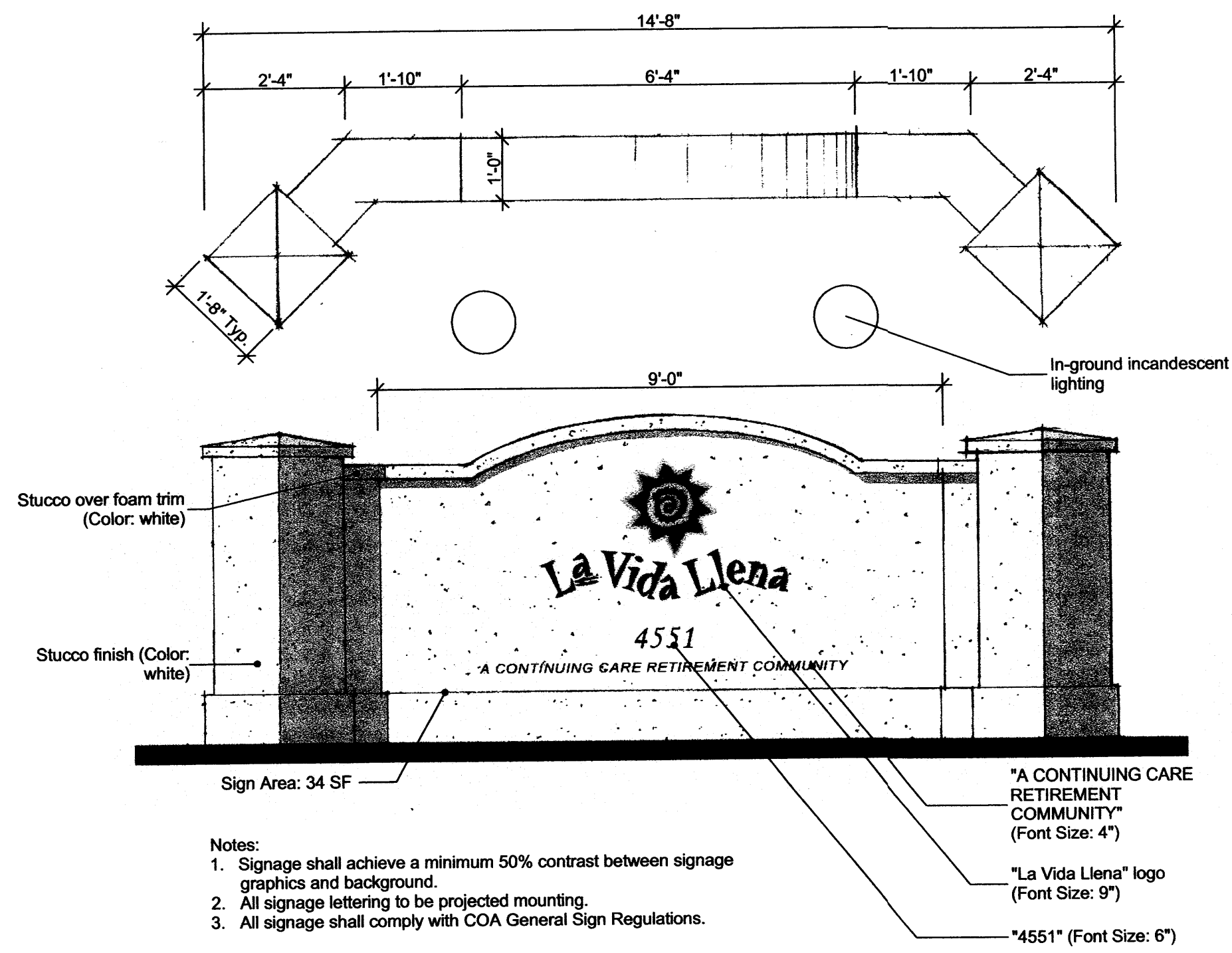
Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

Irwin Pancake  
245 Fisher Ave., Suite B-2  
Costa Mesa, CA 92626

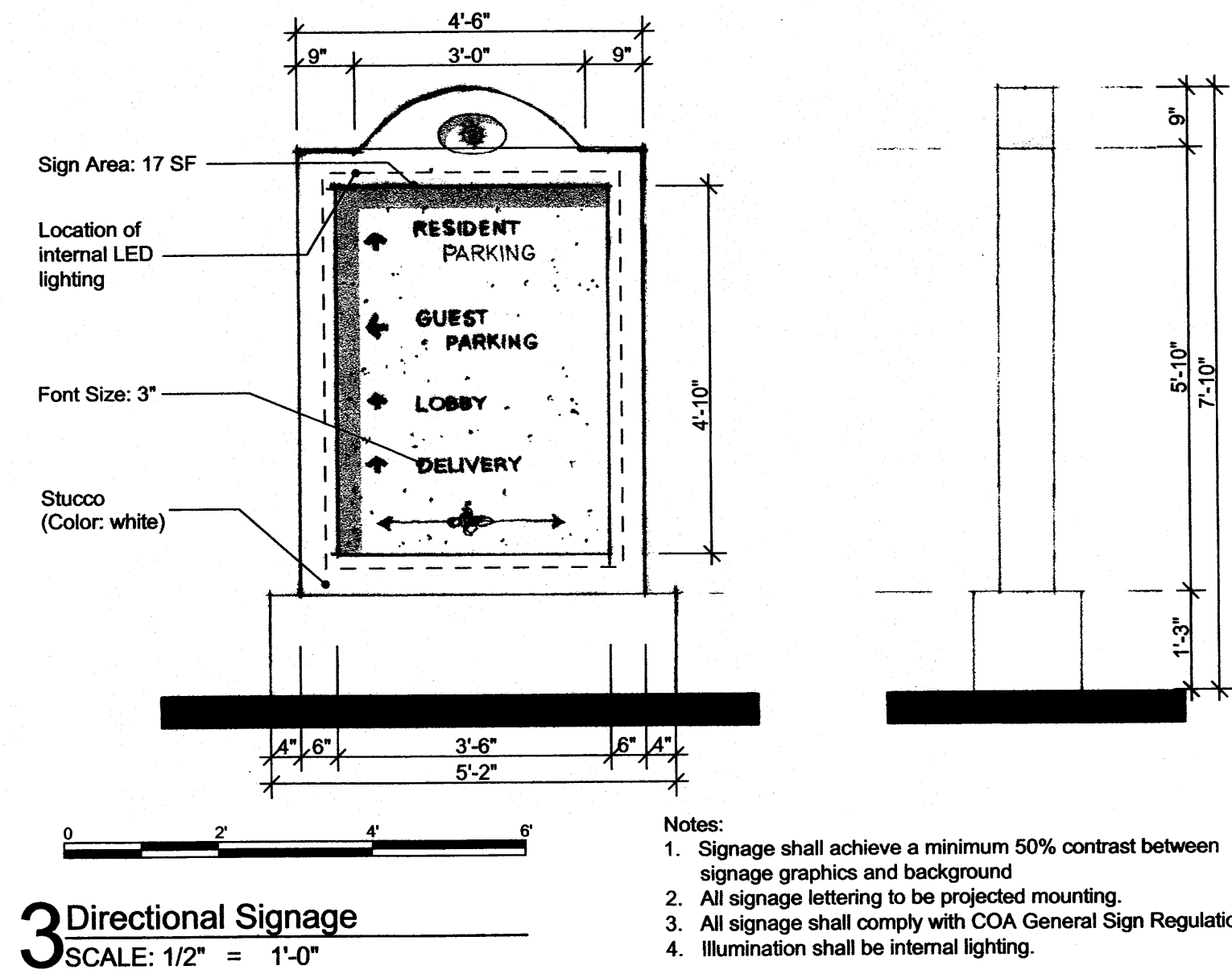
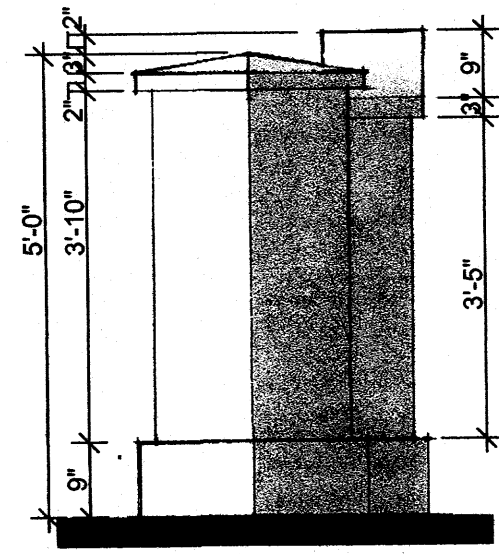
Bohannon Huston, Inc.  
Courtyard 1  
7500 Jefferson St. NE  
Albuquerque, NM 87109-4835



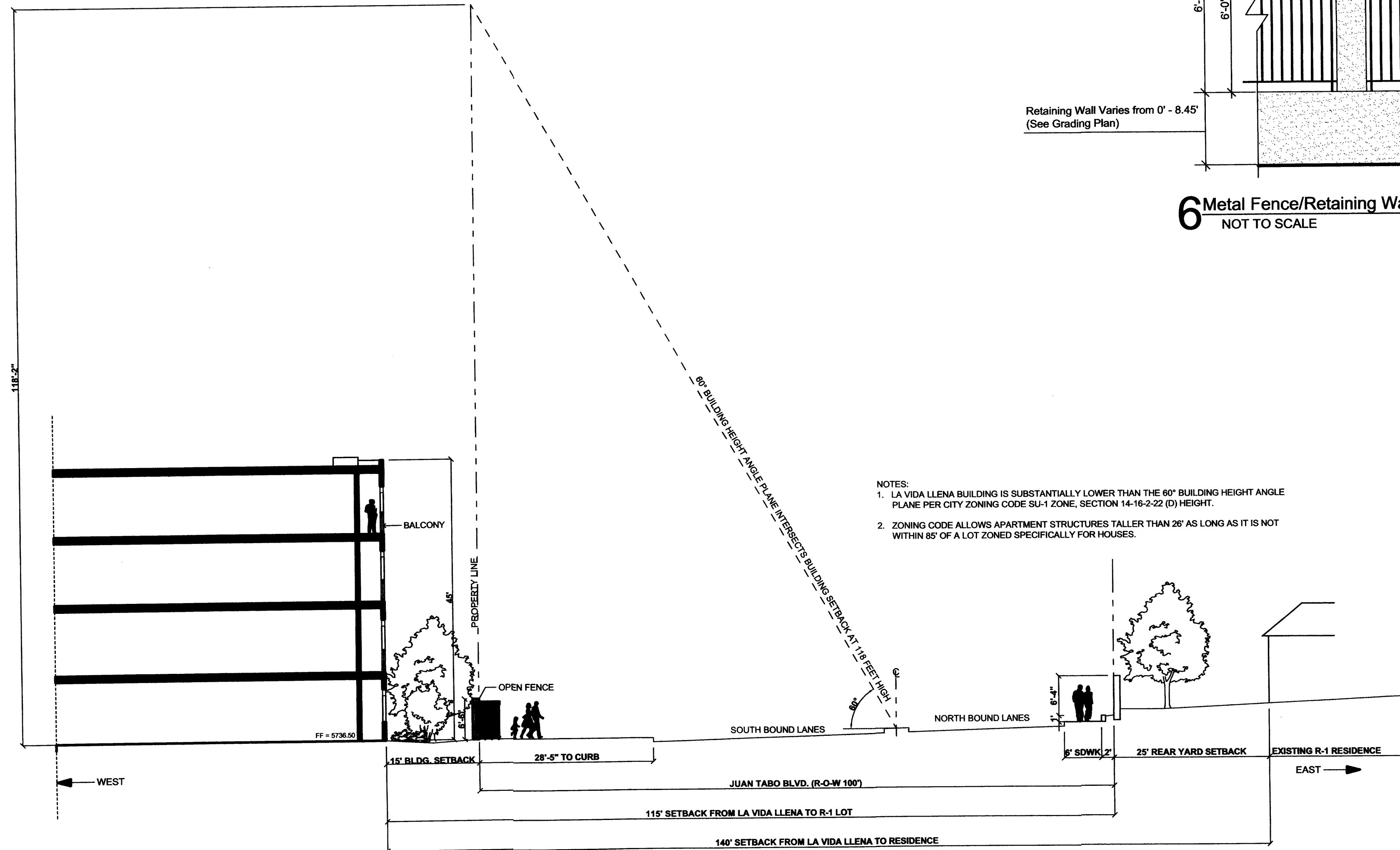
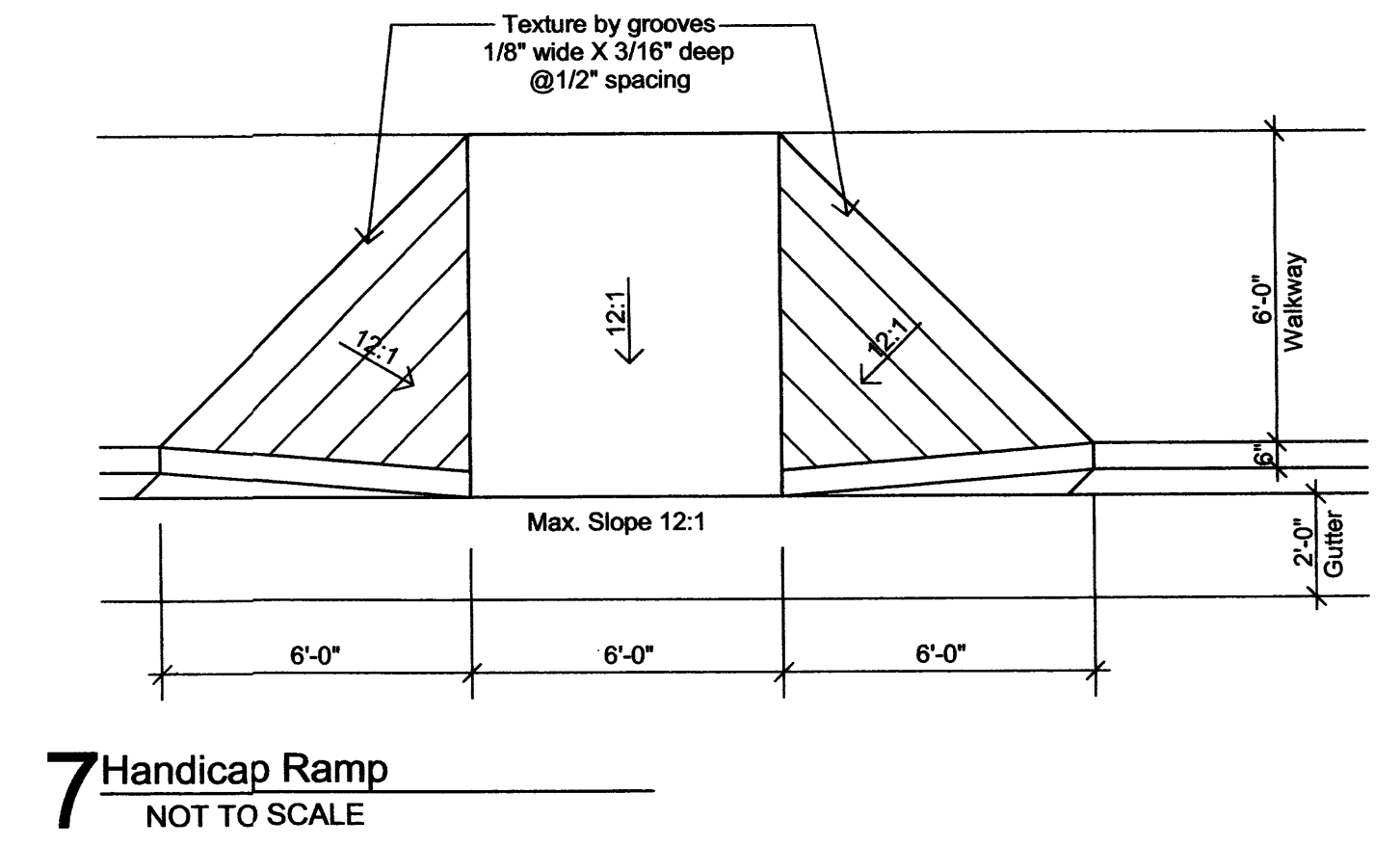
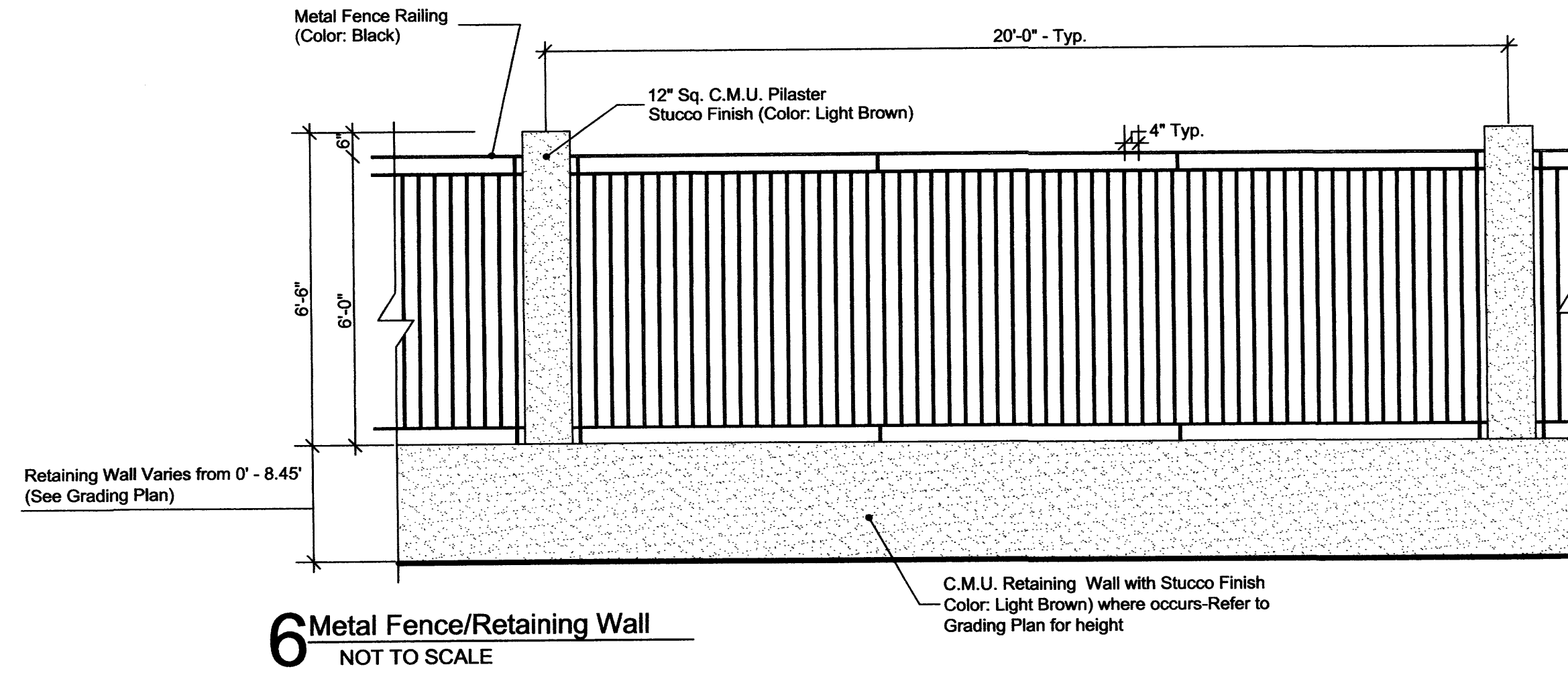
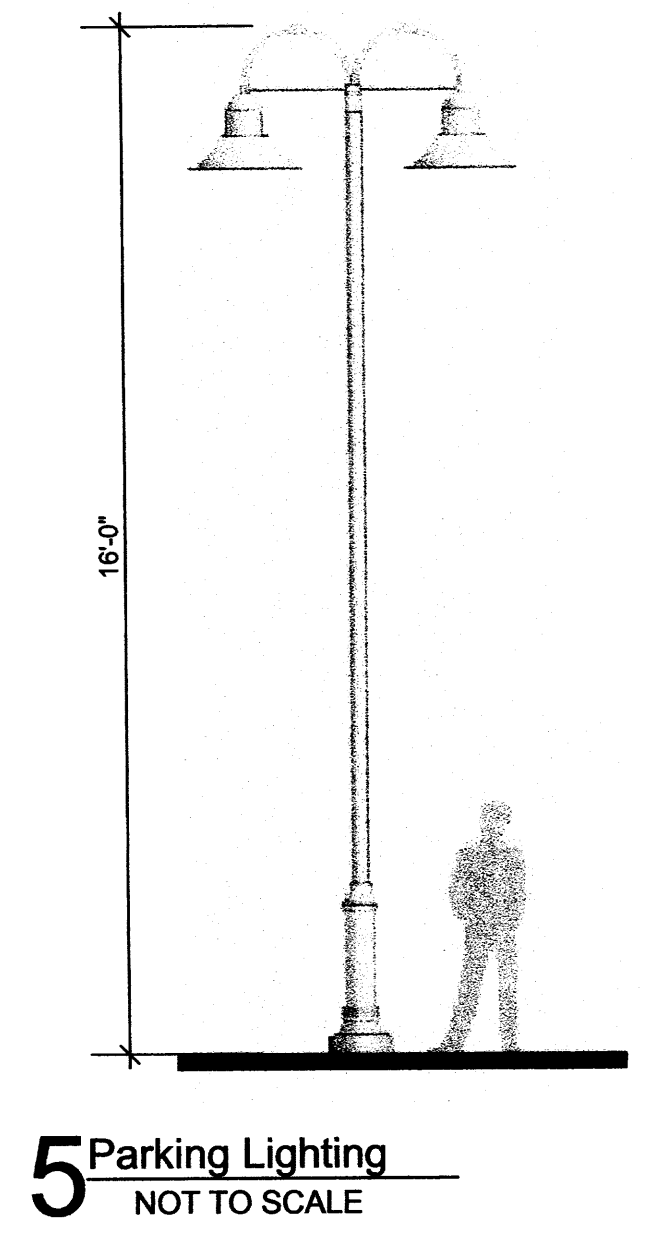
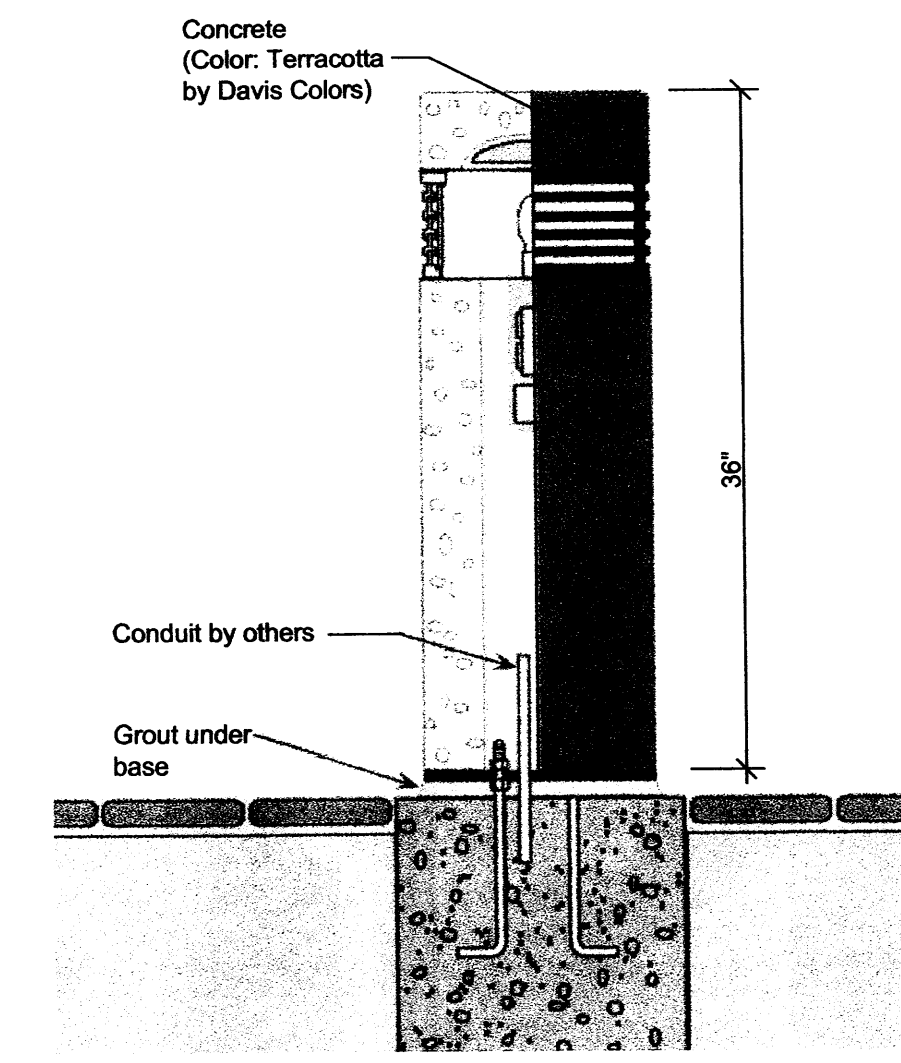
8/17/2009



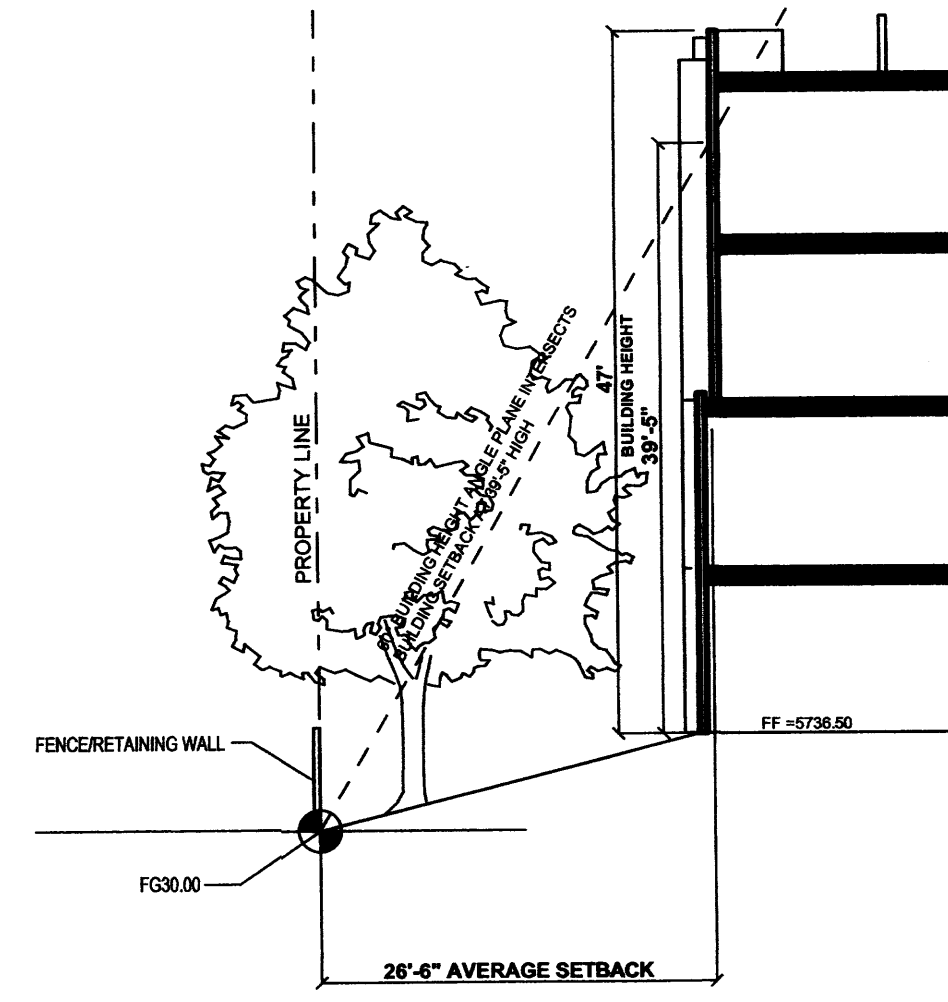
**2 Monument Sign**  
SCALE: 1/2" = 1'-0"



**4 Pedestrian Lighting**  
NOT TO SCALE



**8 Juan Tabo Section**  
NOT TO SCALE



**9 South Section**  
NOT TO SCALE

## SITE DETAILS/SECTION LA VIDA LLENA

Prepared for:  
La Vida Llena  
10501 Lagrima de Oro NE  
Albuquerque, NM 87111

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

Bohannon Huston, Inc.  
Courtyard 1  
7500 Jefferson St. NE  
Albuquerque, NM 87109-4335

Irwin Pancake  
245 Fisher Ave., Suite B-2  
Costa Mesa, CA 92626



GENERAL LANDSCAPE NOTES

**LANDSCAPE DESIGN**  
All planting areas shall be top dressed with crusher fines, 7/8" Santa Fe Brown rock mulch, 2"-4" cobbles mulch, or similar material. Concrete headers shall be provided to separate turf areas from planting areas.

Colored concrete with a brushed finish is designed to accommodate mobility limitations of potential users while still providing variety within the hardscape.

**IRRIGATION**  
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate turf areas and tree, shrub and groundcover planting areas. The irrigation system shall be designed to isolate plant material according to solar exposure and will be set up by plant zones according to water requirements. The trees will be provided with (6) 2 gph emitters, with the ability to be expanded to accommodate the growth of the tree. Shrubs and groundcovers will be provided with (2) 1 gph emitters. Trees, shrubs and groundcovers will be grouped on the same valve.

**RESPONSIBILITY OF MAINTENANCE**  
Maintenance of all planting and irrigation, including those within the public R.O.W., shall be the responsibility of the Property Owner.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
The Landscape Plan for La Vida Llena shall limit the provision of medium water use turf to a maximum of 20 percent of the required landscaped area. The plant palette is predominantly comprised of plants with low to medium water use requirements, thereby minimizing irrigation needs while ensuring the viability of the plants. An evapotranspiration management controller will be included in the design of the irrigation system to monitor weather conditions so that the optimum moisture balance is achieved and the possibility of over-watering is reduced.

**STREET TREES**  
The Juan Tabo frontage meets the requirements of the City of Albuquerque Street Tree Ordinance. The number of trees is determined by the size of the tree canopy at maturity. Random placement of trees shall be based upon the number of trees that would be required if they were evenly spaced. Juan Tabo frontage is 278 feet. Based on average tree canopy of 35 feet, the number of trees shall be 8.

**WATER HARVESTING**  
Storm discharge will be harvested on-site to reduce runoff. Curb cuts and cobbles swales with direct water flow, minimizing potential for flooding and erosion while reducing water needs. Plant materials amenable to water harvesting are provided in these areas.

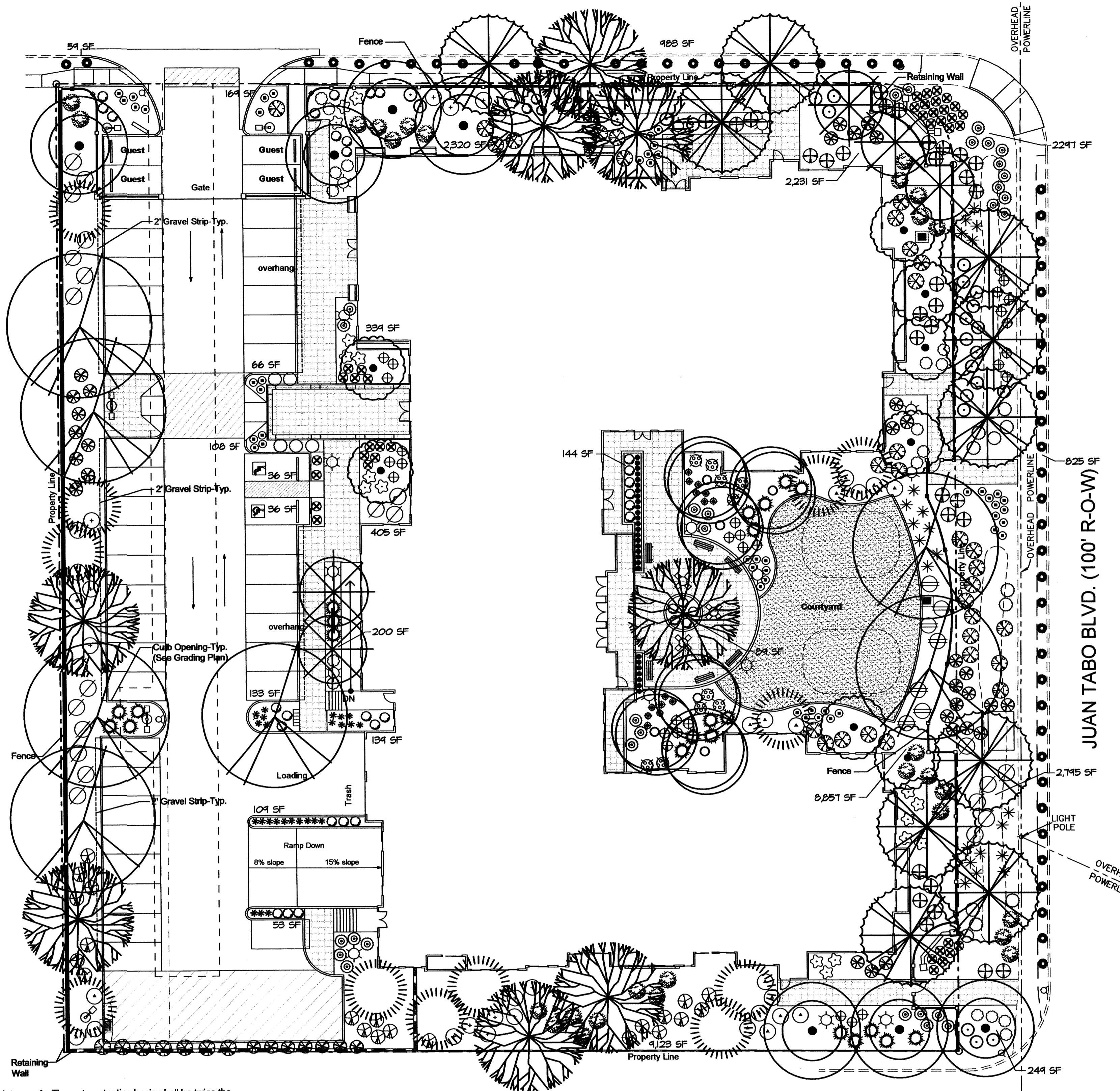
**LANDSCAPE CALCULATIONS**

Total Site Area:	83,200 SF (1.91 acres)
Building Footprint:	32,243 SF
Net Area:	50,957 SF
Required Landscape Area (15% of Net Area):	7,644 SF
Provided Landscape Area:	
(On-Site)	24,557 SF (48%)
(Off-Site)	7,304 SF
<b>Total</b>	<b>31,861 SF</b>

**Allowable Medium Water Use Turf (20% of Landscape Area):** 6,228 SF  
**Provided Medium Water Use Turf:** 3,084 SF

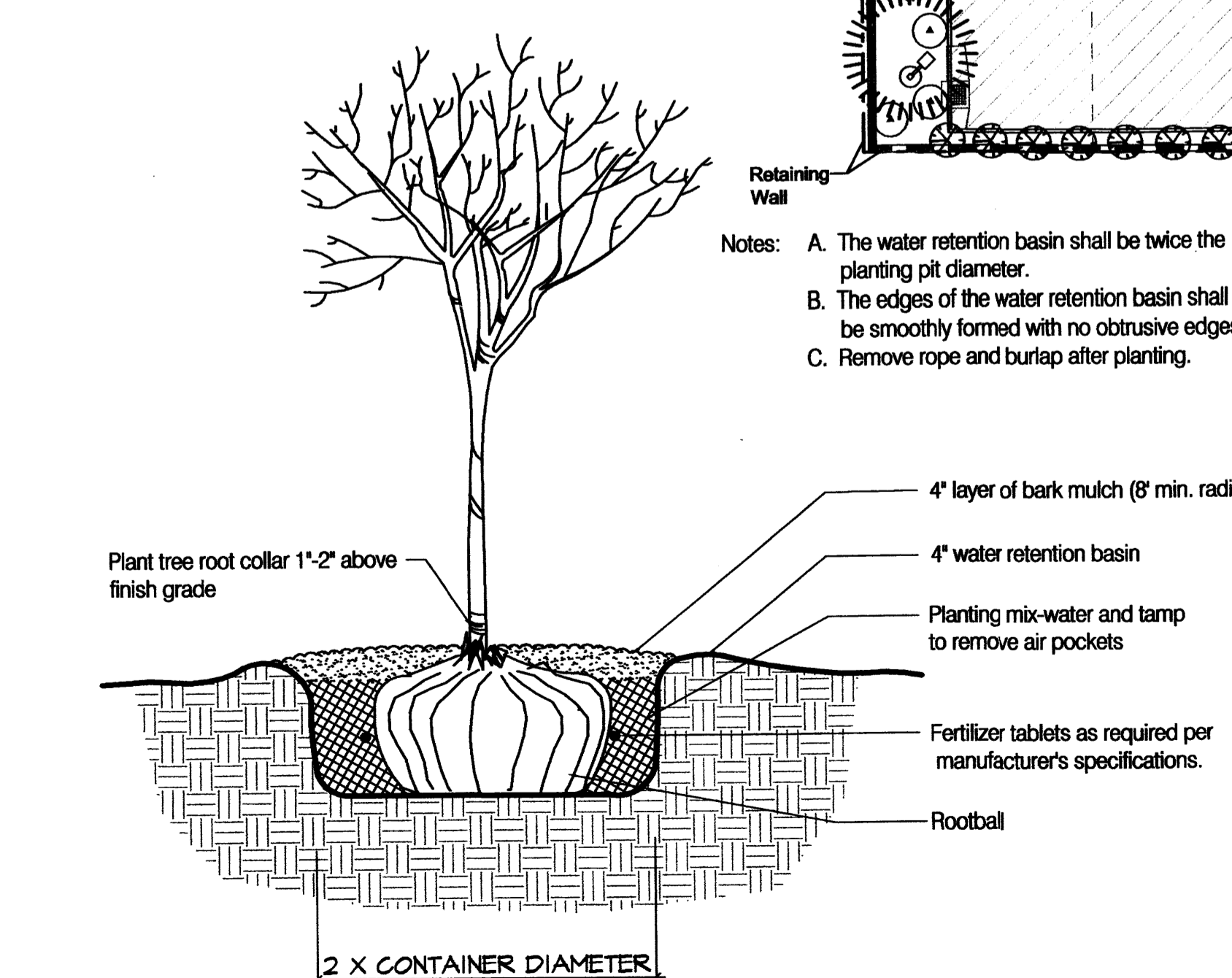
**ON-SITE TREE REQUIREMENTS (Per section 14-16-3-10(G)(4))**

1st Floor Units:	8
2nd Floor Units:	17
Required - 1 tree for each 1st floor unit:	8
Required - 1 tree for every two 2nd floor units:	9
<b>Total Trees Required:</b>	<b>17 Trees</b>



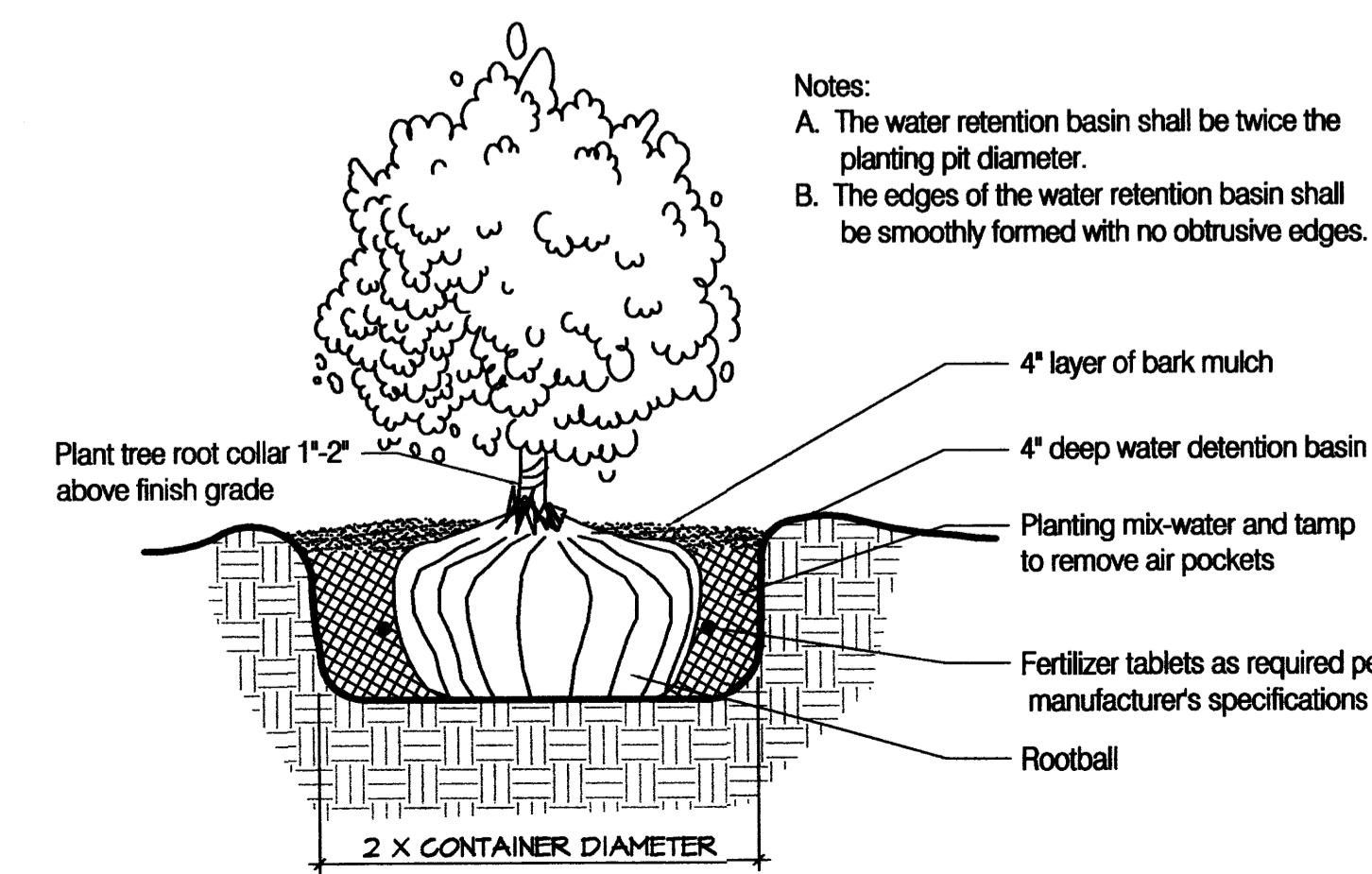
**LANDSCAPE PALETTE**

SYMBOL	QTY.	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE	TYPE
<b>TREES</b>						
(Symbol)	5	<i>Cercis reniformis</i> 'Oklahoma Oklahoma Redbud	2' B&B	8' ht. x 4' spr. 25' ht. x 25' spr.	med	D
(Symbol)	7	<i>Chitalpa tashkentensis</i> 'Pink Dawn' Chitalpa	2' B&B	8' ht. x 4' spr. 30' ht. x 30' spr.	med	D
(Symbol)	7	<i>Gleditsia triacanthus</i> inermis Honeylocust	2' B&B	12' ht. x 6' spr. 50' ht. x 45' spr.	med+	D
(Symbol)	6	<i>Koeleretaria paniculata</i> Goldenrain Tree	2' B&B	8' ht. x 4' spr. 25' ht. x 25' spr.	med	D
(Symbol)	12	<i>Pinus sibirica</i> Afghan Pine	2' B&B	8' min. ht. 40' ht. x 18' spr.	med	E
(Symbol)	8	<i>Pistacia chinensis</i> Chinese Pistache	2' B&B	12' ht. x 6' spr. 40' ht. x 35' spr.	med	D
(Symbol)	8	<i>Pyrus calleryana</i> 'Cleaveland' Flowering Pear	2' B&B	8' ht. x 4' spr. 20' ht. x 20' spr.	med+	D
(Symbol)	10	<i>Robinia ambigua</i> Purple Robe Locust	2' B&B	12' ht. x 6' spr. 40' ht. x 30' spr.	med	D
<b>SHRUBS/GROUNDCOVERS</b>						
(Symbol)	17	<i>Artemisia Fowlie Castle</i> Fowlie Castle Sage	1-GAL	5' o.c. 2' ht. x 4' spr.	med	D
(Symbol)	17	<i>Buddleia davidii</i> 'Nanhoensis' Butterfly Bush	1-GAL	4' o.c. 4' ht. x 3' spr.	med	D
(Symbol)	38	<i>Caryopteris clandestina</i> Blue Mist	1-GAL	5' o.c. 4' ht. x 4' spr.	low	D
(Symbol)	18	<i>Chrysothamnus nauseosus</i> Chamisa	1-GAL	6' o.c. 5' ht. x 5' spr.	low	D
(Symbol)	28	<i>Cotoneaster apiculatus</i> Cranberry Cotoneaster	1-GAL	9' o.c. 4' ht. x 8' spr.	med	D
(Symbol)	38	<i>Cytisus x 'Lena'</i> Lena's Broom	1-GAL	4' o.c. 2' ht. x 3' spr.	low	D
(Symbol)	24	<i>Erysimum 'Bowles Mauve'</i> Bowles Mauve Wallflower	1-GAL	4' o.c. 2' ht. x 3' spr.	med	E
(Symbol)	21	<i>Falugia paradoxa</i> Apache Plume	1-GAL	6' o.c. 5' ht. x 5' spr.	low	E
(Symbol)	30	<i>Gallardia grandiflora</i> 'Fandor' Blanket Flower	1-GAL	4' o.c. 3' ht. x 3' spr.	low	D
(Symbol)	39	<i>Hymenocys acaulis</i> Angelita Daisy	1-GAL	2' o.c. 1' ht. x 1' spr.	low	D
(Symbol)	36	<i>Lavandula angustifolia</i> English lavender	1-GAL	4' o.c. 3' ht. x 3' spr.	med	D
<b>SHRUBS/GROUNDCOVERS</b>						
(Symbol)	14	<i>Nandina domestica</i> 'Firepower' Dwarf Heavenly Bamboo	1-GAL	3' o.c. 2' ht. x 2' spr.	med+	E
(Symbol)	23	<i>Perovskia atriplicifolia</i> Russian Sage	1-GAL	6' o.c. 5' ht. x 5' spr.	med	D
(Symbol)	10	<i>Pinus Mugo</i> Mugo Pine	5-GAL	5' o.c. 4' ht. x 4' spr.	med	E
(Symbol)	16	<i>Potentilla fruticosa</i> Shrubby Cinquefoil	1-GAL	4' o.c. 3' ht. x 3' spr.	med	D
(Symbol)	32	<i>Prunus besseyi</i> Western Sand Cherry	1-GAL	4' o.c. 3' ht. x 3' spr.	med	D
(Symbol)	7	<i>Rhaphtolepis indica</i> India Hawthorn	1-GAL	5' o.c. 4' ht. x 4' spr.	low	E
(Symbol)	18	<i>Rhus aromatica</i> 'Gro-Low' Prostrate Sumac	1-GAL	5' o.c. 2' ht. x 4' spr.	low+	D
(Symbol)	22	<i>Rosmarinus officinalis</i> Prostrate Rosemary	1-GAL	6' o.c. 2' ht. x 5' spr.	low+	E
(Symbol)	29	<i>Salvia greggii</i> Cherry Sage	1-GAL	4' o.c. 2' ht. x 3' spr.	med	D
(Symbol)	46	<i>Sedum spectabile</i> Stonecrop	1-GAL	3' o.c. 2' ht. x 2' spr.	low	E
<b>DESERT ACCENTS</b>						
(Symbol)	22	<i>Hesperaloe parviflora</i> Red/Yellow Flowering Yucca	1-GAL	4' o.c. 3' ht. x 3' spr.	low	E
<b>ORNAMENTAL GRASSES</b>						
(Symbol)	28	<i>Holciobolochon sempervirens</i> Blue Avena Grass	1-GAL	2' o.c. 2' ht. x 1' spr.	med	E
(Symbol)	54	<i>Muhlenbergia capillaris</i> 'Regal Mist' Muhly Grass	1-GAL	5' o.c. 3' ht. x 4' spr.	med	D
(Symbol)	25	<i>Nassella tenuissima</i> Threadgrass	1-GAL	2' o.c. 2' ht. x 18' spr.	low	D
<b>TURF GRASSES</b>						
(Symbol)	3,084 sf	<i>Poa annua</i> Bluegrass				med D
(Symbol)	31	Moss Rock Boulders - 3' min. diameter.				



TREE PLANTING ON GRADE

Not to Scale

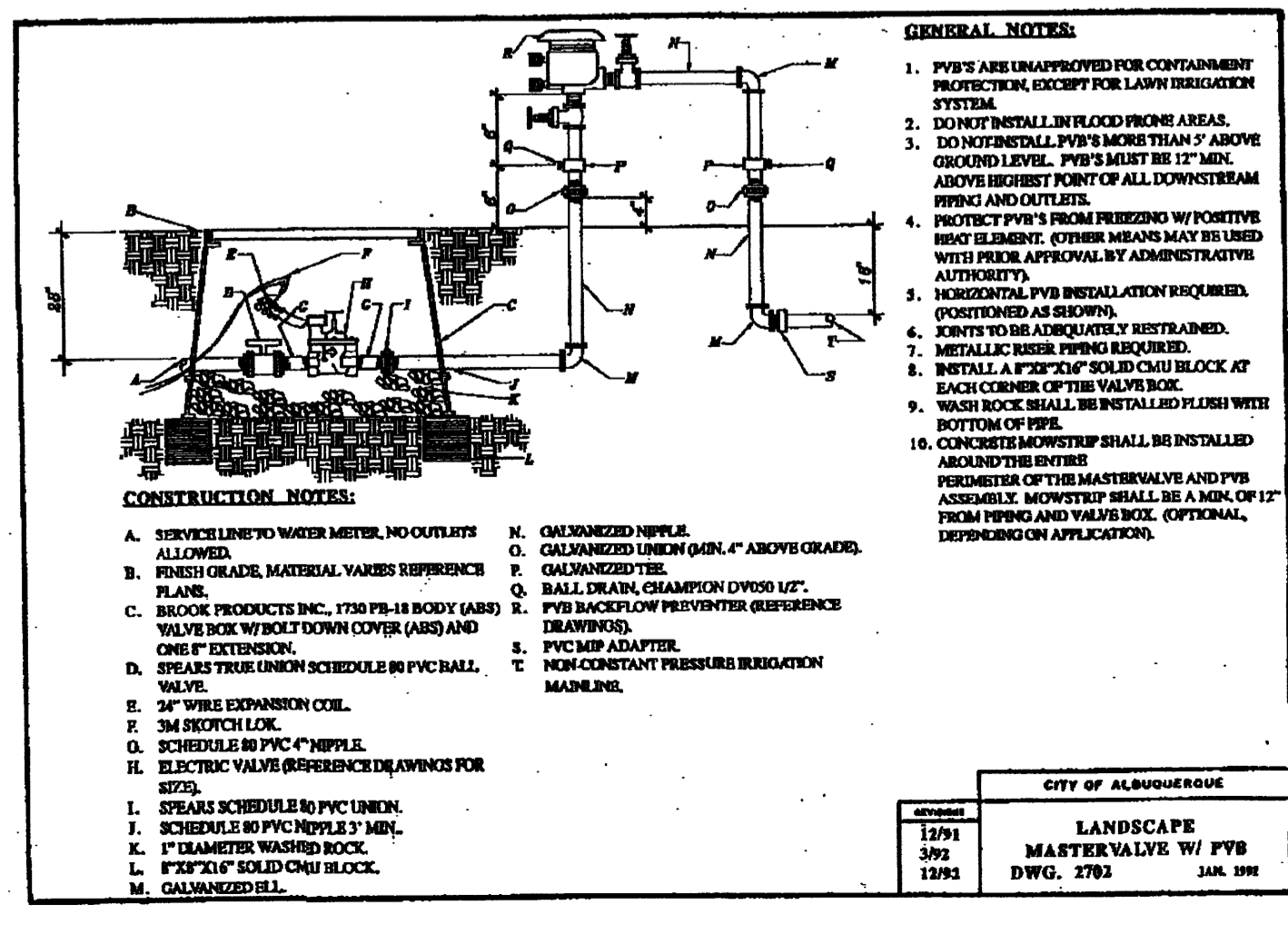


SHRUB PLANTING ON GRADE

Not to Scale

- Notes:
- A. The water retention basin shall be twice the planting pit diameter.
  - B. The edges of the water retention basin shall be smoothly formed with no obtrusive edges.
  - C. Remove rope and burlap after planting.

- Notes:
- A. The water retention basin shall be twice the planting pit diameter.
  - B. The edges of the water retention basin shall be smoothly formed with no obtrusive edges.



**GENERAL NOTES:**

1. PITS ARE UNGRADED FOR CONTAMINANT PROTECTION, EXCEPT FOR LAWN REGULATION SYSTEMS.
2. COVER INSTALL IN FLOOD PRONE AREAS.
3. DO NOT INSTALL PVB'S MORE THAN 6" ABOVE GROUND LEVEL. PVB'S MUST BE 1" MIN. ABOVE HIGHEST POINT OF ALL DOWNSTREAM PIPES AND OUTLETS.
4. PROTECT PVB'S FROM FREEZING W/ FORTIFIE BRAY ELEMENT. OTHER MEANS MAY BE USED WITH PERMITS APPROVED BY ADMINISTRATIVE AUTHORITY.
5. INCORPORATE PVB INSTALLATION IN PROFILES, POSITIONED AS SHOWN.
6. JOINTS TO BE SEPARATELY RESTRAINED.
7. METALLIC FITTINGS PERMITS REQUIRED.
8. INSTALL A 1/2" DIA. SOLID CHU BLOCK AT EACH CORNER OF THE VALVE BOX.
9. SOLID BLOCK SHALL BE INSTALLED FLUSH WITH BOTTOM OF PIPE.
10. CONCRETE SCHEDULE SHALL BE INSTALLED ACCORDING TO THE PERMITS OF THE METATERIALS AND PVB ASSEMBLY. MINOR TYP SHALL BE A MIN. OF 1/2" FROM PERMITS AND VALVE BOX. CONSULT PERMITS ON APPLICATION.

**CONSTRUCTION NOTES:**

- A. SURVEY LINE TO WATER METER, NO OUTLETS ALLOWED.
- B. FINISH GRADE, MATERIAL VARIES REFERENCE PLANS.
- C. BUCKLE PRODUCTS INC., 1700 FB-18 BODY (ABS) VALVE BOX W/ BOLT DOWN COVER (ABS) AND CHU 1" EXTENSION.
- D. SPEARS TRUCK UNION SCHEDULE IN PVC BALL VALVE.
- E. 5/8" WIRE EXPANSION COIL.
- F. 3/4" BRONCH LOCK.
- G. SCHEDULE 40 PVC 1" PIPE.
- H. 1/2" ELECTRIC VALVE (REFERENCE DRAWINGS FOR SIZE).
- I. SPEARS SCHEDULE 40 PVC UNION.
- J. SCHEDULE 40 PVC PIPE 1/2" MIN. 1" DIAMETER W/ 1/2" MIN. PVB.
- K. 1/2" DIA. SOLID CHU BLOCK.
- L. 1/2" DIA. SOLID CHU BLOCK.
- M. GALVANIZED STEEL.
- N. GALVANIZED PIPE.
- O. GALVANIZED LINE (MIN. 1" ABOVE GRADE).
- P. GALVANIZED FITTING.
- Q. BALL BEARING BALL BEARING 1/2" DIA. W/ 1/2" DIA. PVB BACKFLOW PREVENTER (REFERENCE DRAWINGS).
- R. PVB BACKFLOW PREVENTER (REFERENCE DRAWINGS).
- S. PVC TEE ADAPTER.
- T. HIGH CONSTANT PRESSURE REDUCATION MACHINE.

**CITY OF ALBUQUERQUE**

1991	LANDSCAPE
2001	MASTER PLANS W/ PVB
2003	DWG. 2703
	JAN. 09

LANDSCAPE PLAN  
LA VIDA LLENA

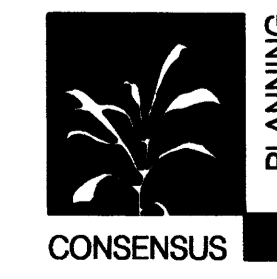
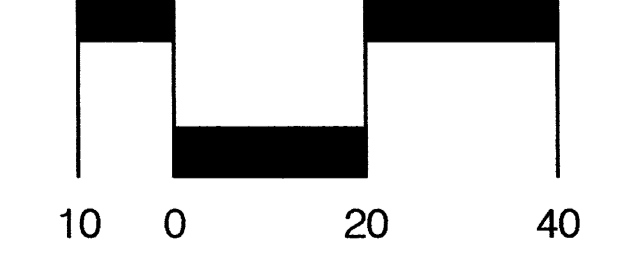
Prepared for:  
La Vida Llena  
10501 Lagrima de Oro NE  
Albuquerque, NM 87111

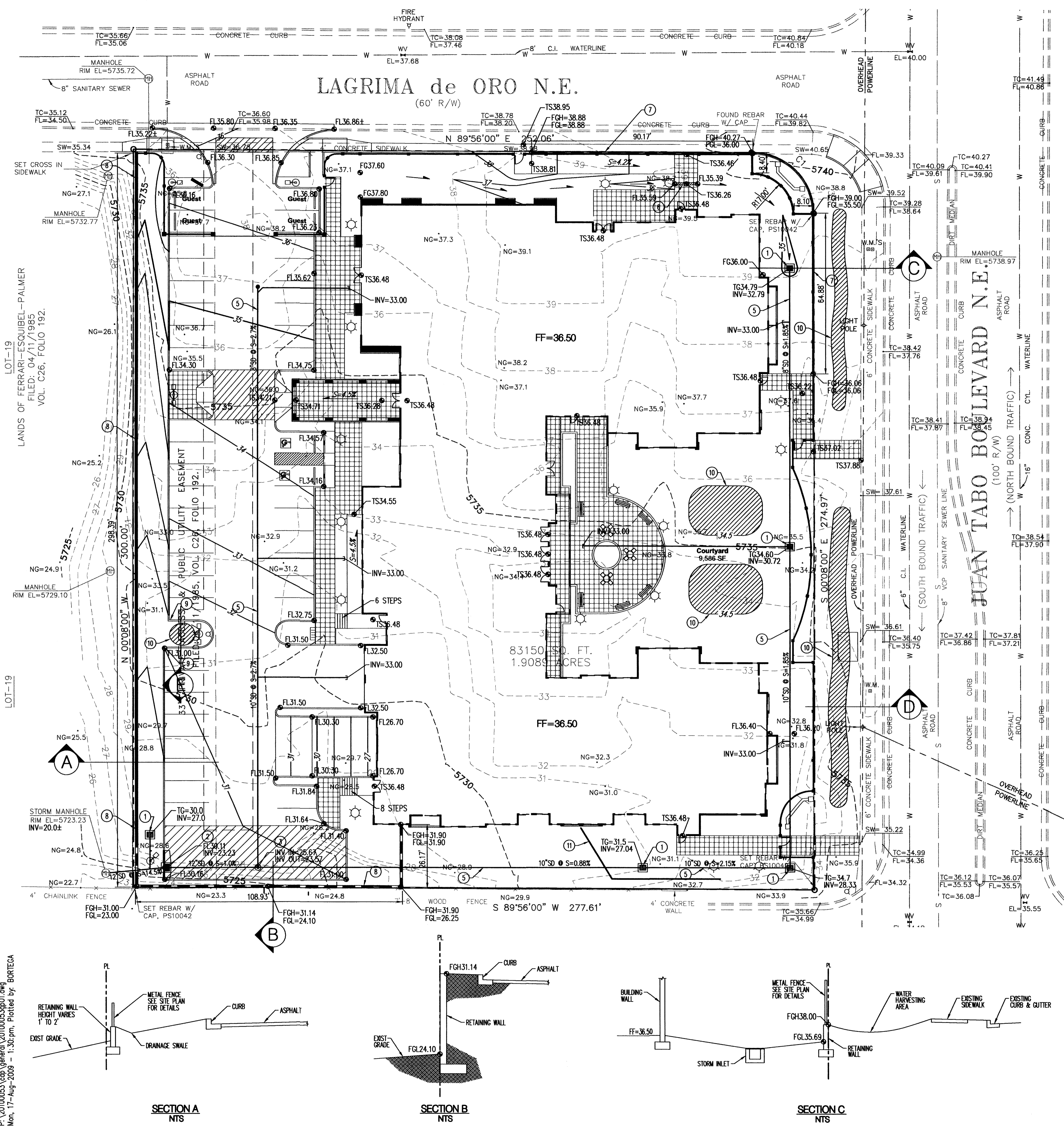
Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

Bohannon Huston, Inc.  
Courtyard 1  
7500 Jefferson St. NE  
Albuquerque, NM 87109-4335

Irwin Pancake  
245 Fisher Ave., Suite B-2  
Costa Mesa, CA 92626

Scale: 1" = 20'





**GRADING KEYED NOTES**

- INSTALL TYPE 'D' SINGLE GRATE INLET PER COA STD DWG 2206.
- INSTALL TYPE 'C' DOUBLE GRATE INLET PER COA STD DWG 2205.
- INSTALL TYPE 'E' MANHOLE PER COA STD DWG 2102.
- INSTALL STORM DRAIN CLEANOUT.
- INSTALL STORM DRAIN. SEE PLAN FOR SIZE & SLOPE.
- INSTALL 12" WIDE SIDEWALK CULVERT PER COA STD DETAIL 2236.
- CMU RETAINING WALL HEIGHT VARIES FROM 0' TO 4.27', SEE GRADING PLAN.
- CMU RETAINING WALL HEIGHT VARIES FROM 0' TO 8.00', SEE GRADING PLAN.
- 12" WIDE CURB OPENING.
- WATER HARVESTING AREA.
- LANDSCAPE BERM.

**LEGEND**

- PROPERTY LINE
- - - - 5735 EXISTING CONTOURS
- NG=37.3 EXISTING GROUND SPOT ELEVATION
- - - - S EXISTING EASEMENT
- - - - W EXISTING SANITARY SEWER
- - - - W EXISTING WATER LINE
- - - - W EXISTING WATER METER
- - - - V EXISTING VALVE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING SANITARY SEWER MANHOLE
- 65.23 PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE, TM=TOP OF WALL, BM=BOTTOM OF WALL, EX=EXISTING, TG=TOP OF GRADE
- - - - S PROPOSED DIRECTION OF FLOW
- - - - W PROPOSED RETAINING WALL
- - - - 5735 PROPOSED INDEX CONTOURS
- - - - W PROPOSED INTER CONTOURS
- - - - W PROPOSED CURB
- - - - W PROPOSED UTILITY EASEMENT
- ⊙ PROPOSED STORM DRAIN MANHOLE
- PROPOSED CLEANOUT
- PROPOSED CAP
- SD PROPOSED STORM DRAIN LINE

**GRADING NOTES**

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO-TECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

**CONCEPTUAL GRADING & DRAINAGE PLAN**

**Site location and Background**  
 The site is located at the southwest corner of Lagrima de Oro and Juan Tabo. Total area of the site is approximately 1.91 acres. The site was previously rough graded for a project known as Soft Lofts. After rough grading the site slopes at roughly 4% to the south and free discharges into the adjoining property. The approved grading plan for the Soft Loft project allow for free discharge from the site to a public storm drain in Hahn Park. This storm drain crosses the park and discharges into Lagrima de Oro.

**Existing Conditions**  
 As noted above the site slopes to the slope of roughly 4%. Since the site has been rough graded we have considered it to be 100% land treatment 'C' as defined by Table A-4, Section 22.2.A.3 of the DPM. Based on this, the existing runoff from the 1.91 acre site in the 100 year, 6 hour storm is 7.1 cfs (1.91 acres x 3.73 cfs/acre), see the Existing Conditions Basin Data Table. This runoff flows onto the adjoining property and is concentrated primarily at the southwest corner of the site. The site is not located within a floodplain and there are no off-site flows that enter the site.

**Proposed Conditions**  
 In the conceptual grading plan the finished floor elevation has been set at 5736.5. The building finished floor is lower than the street at the northeast corner of the site and a retaining wall is proposed in this location. The southwest corner of the site is higher than the adjacent grade and a retaining wall is proposed in this location as well. Slope across the site range between 1% and 5%. A site storm drain system will connect roof drains and area drains to convey site drainage to the southwest corner of the site. The onsite storm drain will connect to the existing storm drain that crosses Hahn Park. Under proposed condition the site was calculated to be 75% land treatment 'D'. The remainder of the site is land treatments 'C' and 'B' (23% and 2% respectively). Runoff from the site in the 100 year storm is 9.3 cfs, see the Proposed Conditions Basin Data Table.

The drainage concept presented in this plan conforms with the City of Albuquerque Hydrology requirements and with the previously approved drainage plan for the Soft Loft project. With this submittal we are requesting hydrology approval for Site Plan for Building Permit.

LA VIDA LLENA PHASE V Existing Conditions Basin Data Table										
This table is based on the DPM Section 22.2, Zone 4										
BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				100 Year Storm Event			
			A	B	C	D	Q(100) (cfs/acre)	Q(100) (cfs)	WTE (inches)	V(100) (CF)
1	83150.00	1.91	0.0%	0.0%	100.0%	0.0%	3.73	7.1	1.46	10117
<b>Total</b>	<b>83160.00</b>	<b>1.91</b>	<b>0.0%</b>	<b>0.0%</b>	<b>100.0%</b>	<b>0.0%</b>				

LA VIDA LLENA PHASE V Proposed Conditions Basin Data Table										
This table is based on the DPM Section 22.2, Zone 4										
BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				100 Year Storm Event			
			A	B	C	D	Q(100) (cfs/acre)	Q(100) (cfs)	WTE (inches)	V(100) (CF)
A	83150.00	1.91	0.0%	2.0%	23.0%	75.0%	4.86	9.27	2.34	16196
<b>Total</b>	<b>83160.00</b>	<b>1.91</b>	<b>0.0%</b>	<b>2.0%</b>	<b>23.0%</b>	<b>76%</b>				

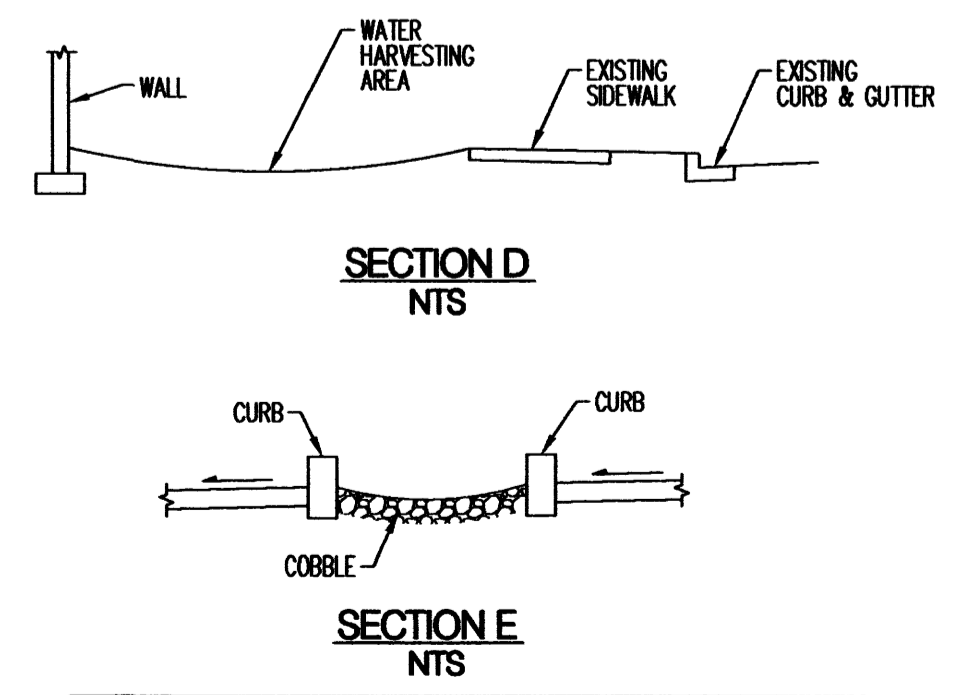
**CONCEPTUAL GRADING & DRAINAGE PLAN  
LA VIDA LLENA**

Prepared for:  
 La Vida Llena  
 10501 Lagrima de Oro NE  
 Albuquerque, NM 87111

Prepared by:  
 Consensus Planning, Inc.  
 302 Eighth Street NW  
 Albuquerque, NM 87102

Bohannon Huston, Inc.  
 Courtyard 1  
 7500 Jefferson St. NE  
 Albuquerque, NM 87109-4335

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 Costa Mesa, CA 92626

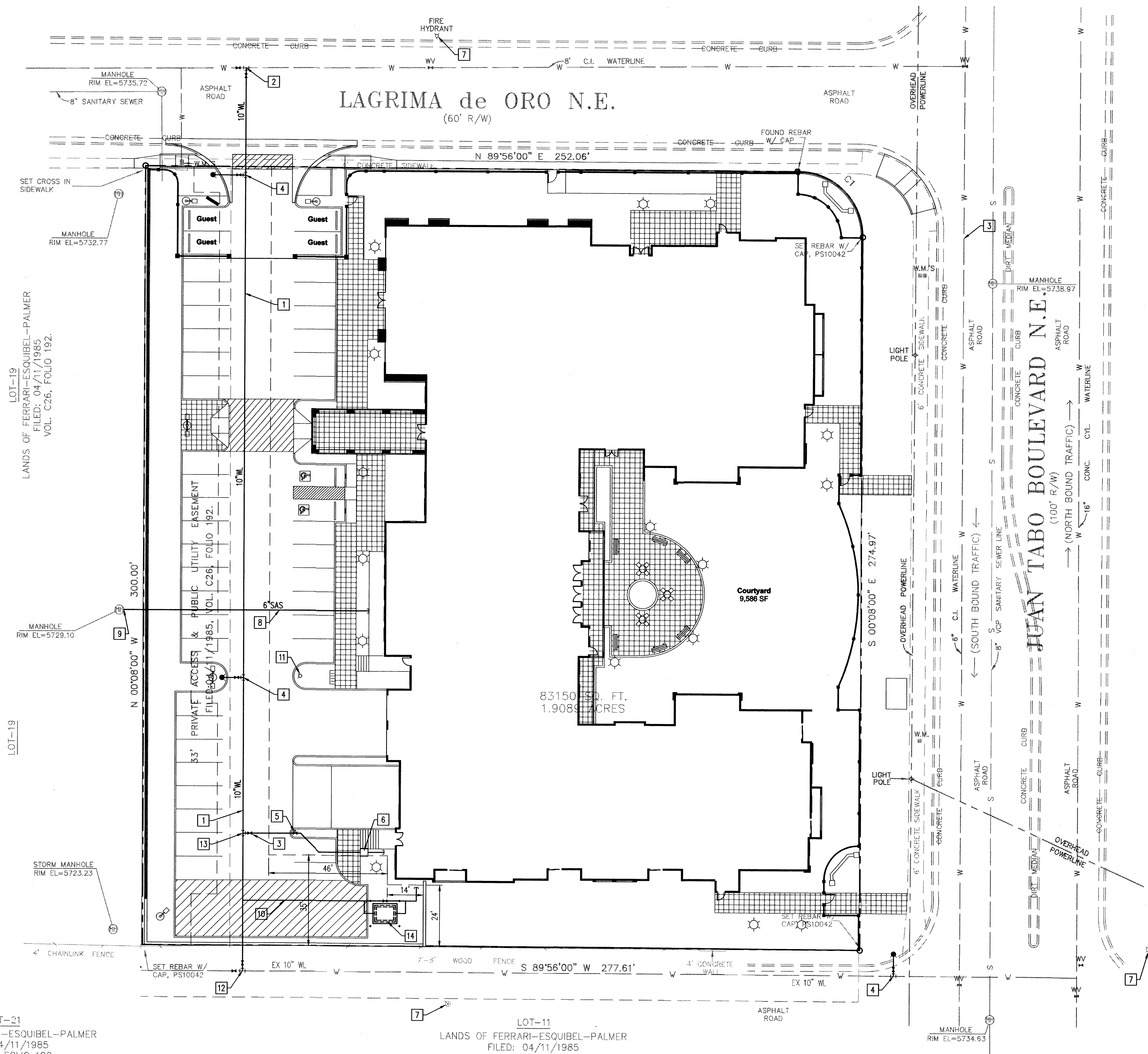


**Bohannon Huston**  
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**PLANNING**  
**CONSENSUS**  
 August 17, 2009

Scale: 1" = 20'  
  
 north  
 Sheet 5 of 9

P:\20100653\csp\general\20100653.dwg  
 Mon, 17-Aug-2009 - 1:30:pm, Plotted by: BORTIGA



**LEGEND**

---	PROPERTY LINE
---	EXISTING EASEMENT
S	EXISTING SANITARY SEWER
W	EXISTING WATER LINE
W	EXISTING WATER METER
X	EXISTING VALVE
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING SANITARY SEWER MANHOLE
---	PROPOSED CURB
---	PROPOSED UTILITY EASEMENT
SAS	PROPOSED SANITARY SEWER LINE
●	PROPOSED SANITARY SEWER MANHOLE
●	PROPOSED CLEANOUT
W	PROPOSED WATER LINE
X	PROPOSED VALVE
FL	PROPOSED FIRE LINE
⊕	PROPOSED HYDRANT
■	PROPOSED CAP
■	PROPOSED WATER METER

**UTILITY NOTES**

- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
- UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
- ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
- CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
- ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
- FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
- CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.

**UTILITY KEYED NOTES**

- INSTALL 10" WATER LINE.
- INSTALL 8"x8"x10" TEE, 1-8" GATE VALVE, & 1-10" GATE VALVE.
- INSTALL 6" PUBLIC GATE VALVE.
- INSTALL 10"x6" TEE, 6" GATE VALVE, AND FIRE HYDRANT.
- INSTALL POST INDICATOR VALVE.
- INSTALL REDUCED PRESSURE BACKFLOW PREVENTOR & HOT BOX.
- EXISTING FIRE HYDRANT.
- INSTALL 6" SANITARY SEWER SERVICE LINE.
- CONNECT TO EXISTING SANITARY SEWER MANHOLE.
- 3" DOMESTIC WATER SERVICE.
- REMOVE FIRE DEPARTMENT CONNECTION.
- INSTALL 10"x10"x10" TEE & 2-10" GATE VALVES.
- INSTALL 10"x10"x6" TEE.
- INSTALL 3" WATER METER VALVE & PIPING PER COA STD DWG 2370.

**CONCEPTUAL UTILITY PLAN  
LA VIDA LLENA**

Prepared for:  
La Vida Llena  
10501 Lagrima de Oro NE  
Albuquerque, NM 87111

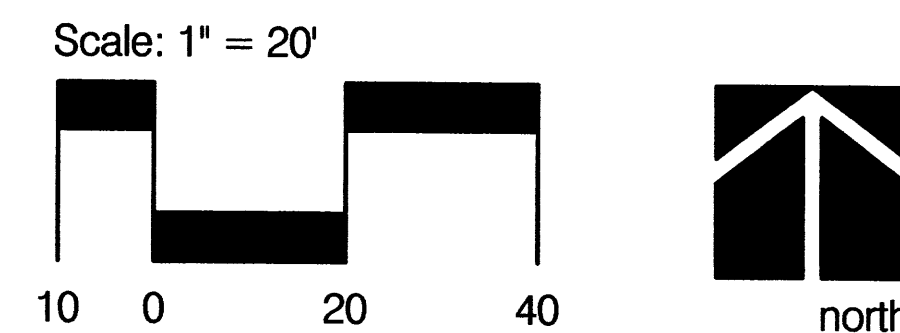
Prepared by:  
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Albuquerque, NM 87102

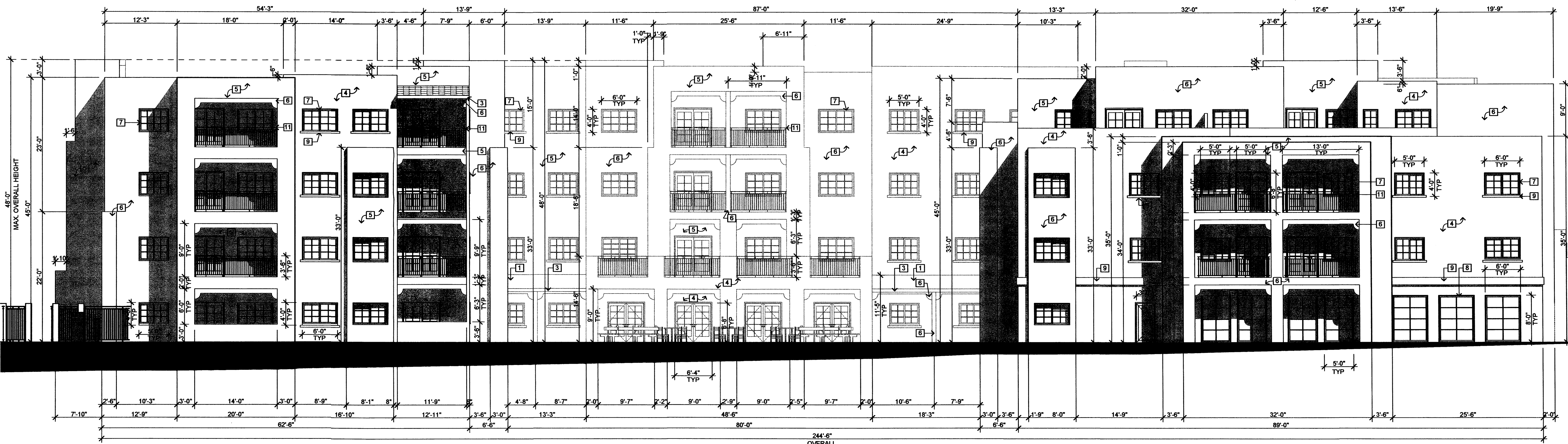
Bohannon Huston, Inc.  
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Albuquerque, NM 87109-4335

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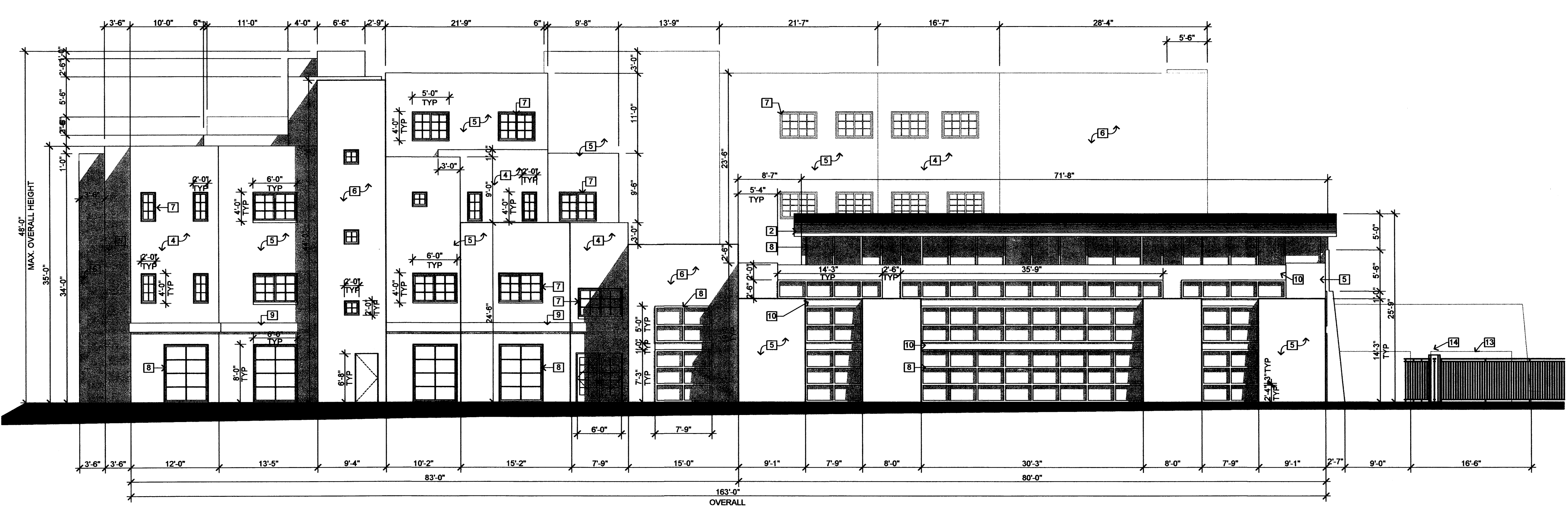
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FILED: 04/11/1985  
VOL. C26, FOLIO 192.

LOT-11  
LANDS OF FERRARI-ESQUIBEL-PALMER  
FILED: 04/11/1985  
VOL. C26, FOLIO 192.





**1 East Elevation**  
SCALE: 1/8" = 1'-0"



**2 North Elevation**  
SCALE: 1/8" = 1'-0"

- KEYNOTES**  
TYPICAL U.N.O.
- 1 CONCRETE 'S' TILE ROOF - TERRACOTTA BLEND
  - 2 NON-REFLECTIVE METAL ROOF - BROWN
  - 3 WOOD FASCIA - BROWN
  - 4 STUCCO 1 - LIGHT BROWN
  - 5 STUCCO 2 - MEDIUM BROWN
  - 6 STUCCO 3 - DARK BROWN
  - 7 VINYL FRAME W/ GRILLE PATTERN - BROWN
  - 8 ALUMINUM STOREFRONT W/ SOLARSHIELD GREEN GLASS - FRAME COLOR: BROWN
  - 9 STUCCO O/FOAM TRIM - BROWN
  - 10 ANODIZED METAL PANEL - BROWN
  - 11 METAL RAILING - BLACK
  - 12 METAL DOOR
  - 13 METAL FENCE
  - 14 STUCCO PIERS - LIGHT BROWN
- STUCCO COLOR PALLETTE**  
PAINT MANUFACTURER: DUNN EDWARDS
- STUCCO 1 (LIGHT BROWN) - DE6150 GOURMET HONEY  
STUCCO 2 (MEDIUM BROWN) - DE6151 WARM BUTTERSOTCH  
STUCCO 3 (DARK BROWN) - DE6153 PYRAMID
- NOTE: ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW PER CITY ZONING CODE

## BUILDING ELEVATIONS LA VIDA LLENA

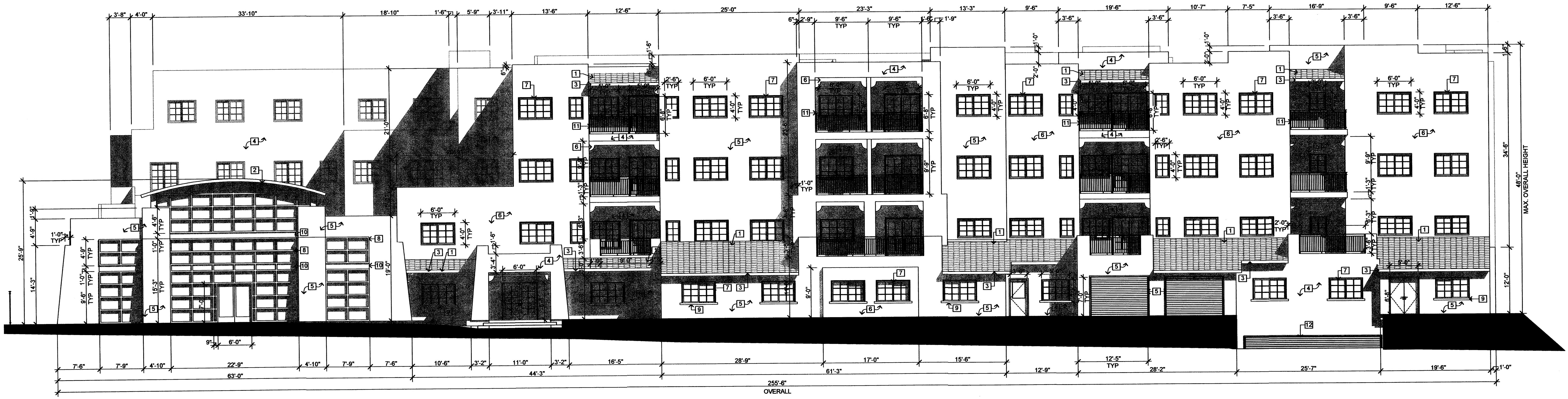
Prepared for:  
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Albuquerque, NM 87109-4835



**3 West Elevation**  
SCALE: 1/8" = 1'-0"

**KEYNOTES**

- TYPICAL U.O.
- 1 CONCRETE 'S' TILE ROOF - TERRACOTTA BLEND
  - 2 NON-REFLECTIVE METAL ROOF - BROWN
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  - 7 VINYL FRAME W/ GRILLE PATTERN - BROWN
  - 8 ALUMINUM STOREFRONT W/ SOLARSHIELD GREEN GLASS - FRAME COLOR: BROWN
  - 9 STUCCO O/FOAM TRIM - BROWN
  - 10 ANODIZED METAL PANEL - BROWN
  - 11 METAL RAILING - BLACK
  - 12 METAL DOOR
  - 13 METAL FENCE
  - 14 STUCCO PIERS - LIGHT BROWN

STUCCO COLOR PALLETTE  
PAINT MANUFACTURER: DUNN EDWARDS

STUCCO 1 (LIGHT BROWN) - DE6150 GOURMET HONEY  
STUCCO 2 (MEDIUM BROWN) - DE6151 WARM BUTTERSOTCH  
STUCCO 3 (DARK BROWN) - DE6153 PYRAMID

NOTE: ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW PER CITY ZONING CODE

**BUILDING ELEVATIONS**  
**LA VIDA LLENA**

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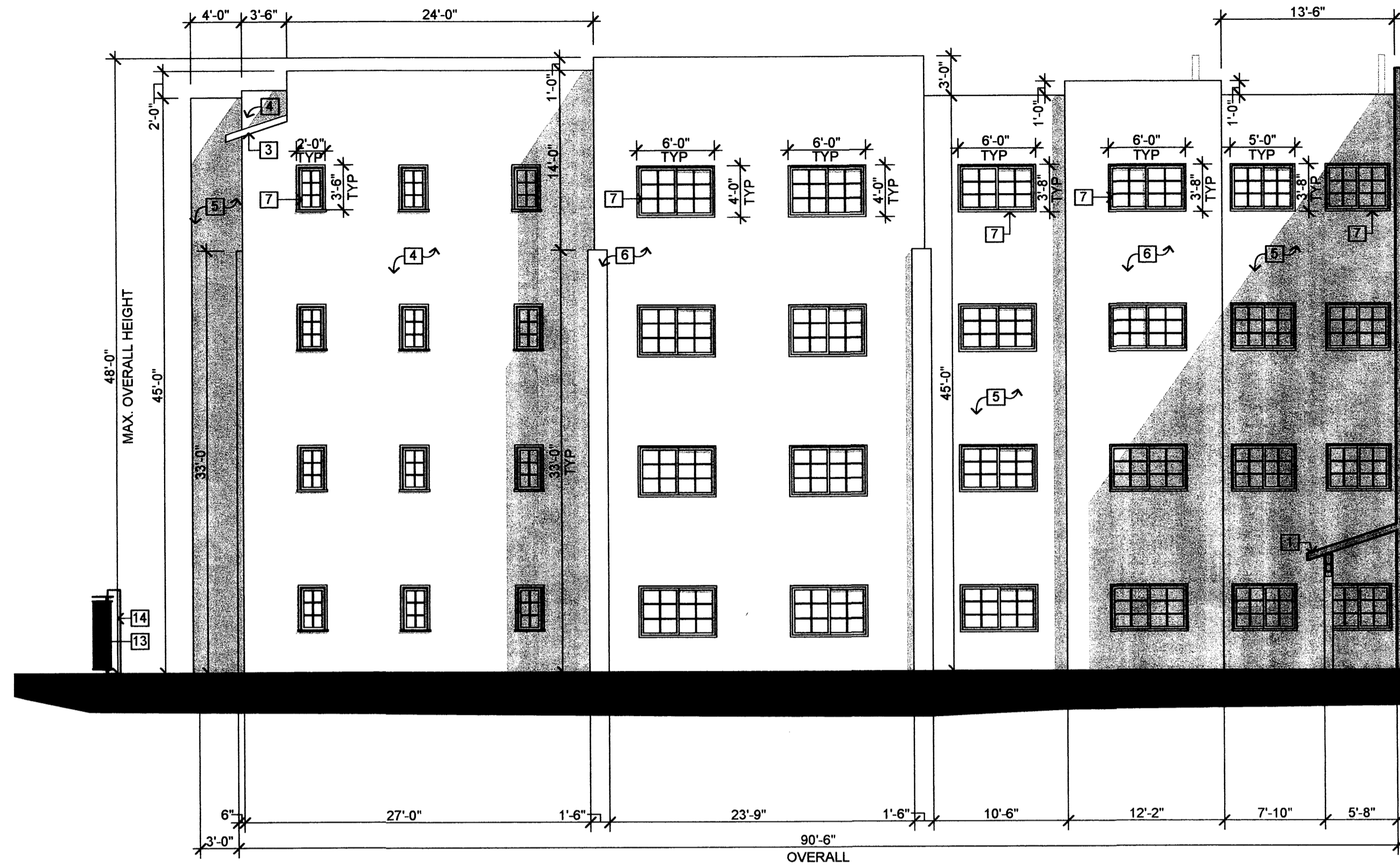
Bohannon Huston, Inc.  
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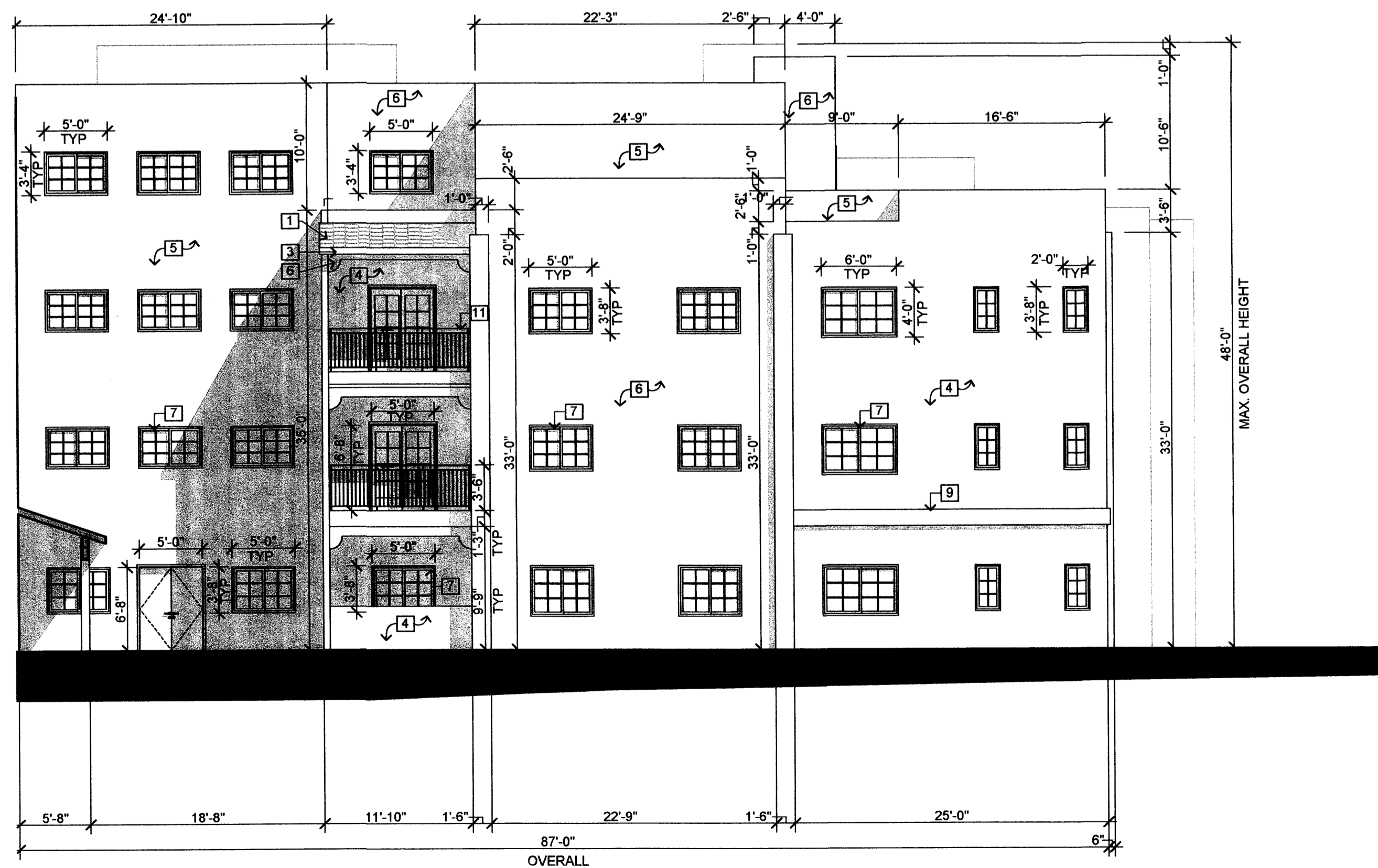
**4 South Elevation**  
SCALE: 1/8" = 1'-0"







**5** Courtyard - North Elevation  
SCALE: 1/8" = 1'-0"



**6** Courtyard - South Elevation  
SCALE: 1/8" = 1'-0"

### KEYNOTES

TYPICAL U.N.O.

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- 11 METAL RAILING - BLACK
- 12 METAL DOOR
- 13 METAL FENCE
- 14 STUCCO PIERS - LIGHT BROWN

#### STUCCO COLOR PALLETTE

PAINT MANUFACTURER: DUNN EDWARDS

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NOTE: ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW PER CITY ZONING CODE

### BUILDING ELEVATIONS

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8/3/2009