



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 17, 2007

Project # 1003102

06DRB-00935 Minor-SiteDev Plan Subd/EPC

06DRB-00936 Minor-SiteDev Plan BldPermit/EPC

INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER, (to be known as **THE SOFT LOFTS** zoned SU-1 PRD (22 DU/acre) located on JUAN TABO BLVD NE, between MONTGOMERY BLVD NE and LAGRIMA DE ORO RD NE containing approximately 2 acre(s). [REF: 05DRB-00911, 06EPC-00146, 06EPC-00147] **[David Stallworth, EPC Case Planner]** *[Deferred from 7/12/06]* (F-21)

At the October 17, 2007 Development Review Board meeting, Applications #06DRB-00935 and #06DRB-00936 were withdrawn at the agent's request.

Sheran Matson, AICP, DRB Chair

Cc: Christopher Calott/Infill Solutions – 723-B Silver Ave. SW – Alb, NM 87102

Marilyn Maldonado

File



DRB CASE ACTION LOG

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70760 Project # 1003102
 Project Name: FERRARI-ESQUIBEL-PALMER
 Agent: Consensus Planning Phone No.: _____

Your request was approved on 8-19-09 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: need off site Private Sewer Easement and Release of Existing Public Sewer Easement.
Done [Signature] 10/20/09

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**



DRB CASE ACTION LOG

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No. 09DRB-70260 Project # 1003102
 Project Name: FERRARI-ESQUIBEL-PALMER
 Agent: Consensus Planning Phone No.:

Your request was approved on 8-19-09 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: need off site Private Sewer Easement and
release of existing Public Sewer Easement.

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

6. **Project# 1003102**
09DRB-70260 EPC APPROVED SDP
FOR BUILD PERMIT

CONSENSUS PLANNING agent(s) for LA VIDA LIENA request(s) the above action(s) for all or a portion of Lot(s) 12A, **FERRARI-ESQUIBEL-PALMER** zoned SU-1 FOR RETIREMENT COMMUNITY AND REL FAC, located on 4551 JUAN TABO BLVD NE BETWEEN MONTGOMERY BLVD NE AND LAGRIMA DE ORO RD NE containing approximately 1.91 acre(s). (F-21) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO ABCWUA FOR OFFSITE, PRIVATE SEWER EASEMENT AND RELEASE OF EXISTING PUBLIC SEWER EASEMENT. 3 COPIES OF APPROVED SITE PLAN MUST BE PROVIDED TO PLANNING DEPARTMENT.**

7. **Project# 1003565**
08DRB-70534 EPC APPROVED SDP
FOR SUBDIVISION

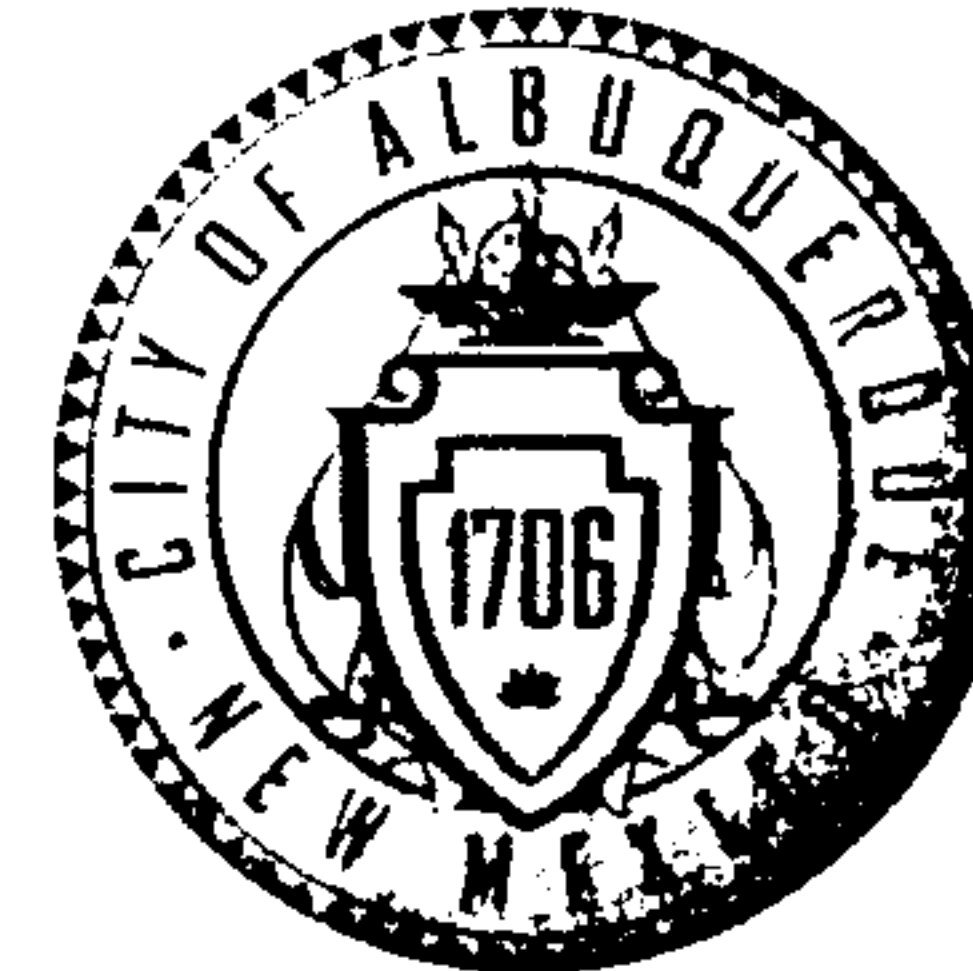
JOSH SKARSGARD agent(s) for ART GARDENSWARTZ request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Block(s) 8, **MIRAMONTES PARK Unit(s) 1**, zoned C-1, SU-1 C-2 USES AND WAREHOUSE, located on SAN MATEO BLVD NE BETWEEN CLAREMONT AVE NE AND PHOENIX AVE NE (H-1) *[Deferred from 1/7/09, 7/29/09, 8/12/09]* **DEFERRED TO 9/2/09 AT THE AGENT'S REQUEST.**

8. **Project# 1004375**
09DRB-70267 EPC APPROVED SDP
FOR BUILD PERMIT

LAND DEVELOPMENT PLANNING agent(s) for PARKS CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 1A, **J & P**, zoned SU-1 PRD, located on SAN ANTONIO DR NE BETWEEN SAN PEDRO DR NE AND LOUISIANA NE containing approximately 3.082 acre(s). (E-18) **DEFERRED TO 8/26/09 AT THE AGENT'S REQUEST.**

9. **Project# 1007412**
09DRB-70268 EPC APPROVED SDP
FOR BUILD PERMIT

JOHN D RUPLEY agent(s) for HOFFMANTOWN CHURCH request(s) the above action(s) for all or a portion of Tract(s) A, B-1 & B-2, **YORBA LINDA SUBDIVISION** zoned SU-1 FOR CHURCH & RELATED FACILITIES, located on HARPER RD NE BETWEEN VENTURA ST NE AND WYOMING NE containing approximately 58.9102 acre(s). (E-20) **DEFERRED TO 8/26/09 AT THE AGENT'S REQUEST.**



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003102

AGENDA ITEM NO: 3

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: August 12, 2009

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1003102

AGENDA ITEM NO: 3

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

All proposed ramps located within the public right of way must have truncated domes.

Build notes, referring to the specific City Standard, must be provided for all proposed items within the City right of way (curb and gutter, ramps, sidewalk, curb cuts, etc.).

The proposed metal fence/CMU retaining wall may interfere with the sight distance of the entrance. See the *Development Process Manual*, Chapter 23, Section 6, Part B.12. Provide a sight triangle exhibit.

The handicapped spaces must include an 8-foot wide van access aisle

Call out the width and length for all parking spaces.

Call out the width of the pedestrian gate (note the gate must be a minimum of 3 feet in width).

Is there an existing wheelchair ramp at Juan Tabo Blvd / Lagrima de Oro? Does this ramp meet current City standards?

Label the compact parking spaces by placing the words “compact” on the pavement of each space.

Clearly demonstrate the 6-foot wide, ADA accessible, pedestrian pathway from the roadway to the building.

All sidewalk within the site should be a minimum of 6 feet in width.

Provide additional information regarding the proposed gate. When will the gate be open? If the gate is closed and guest parking is full, how will cars maneuver out of the site?

How is ADA accessibility maintained across the loading and ramped areas?

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

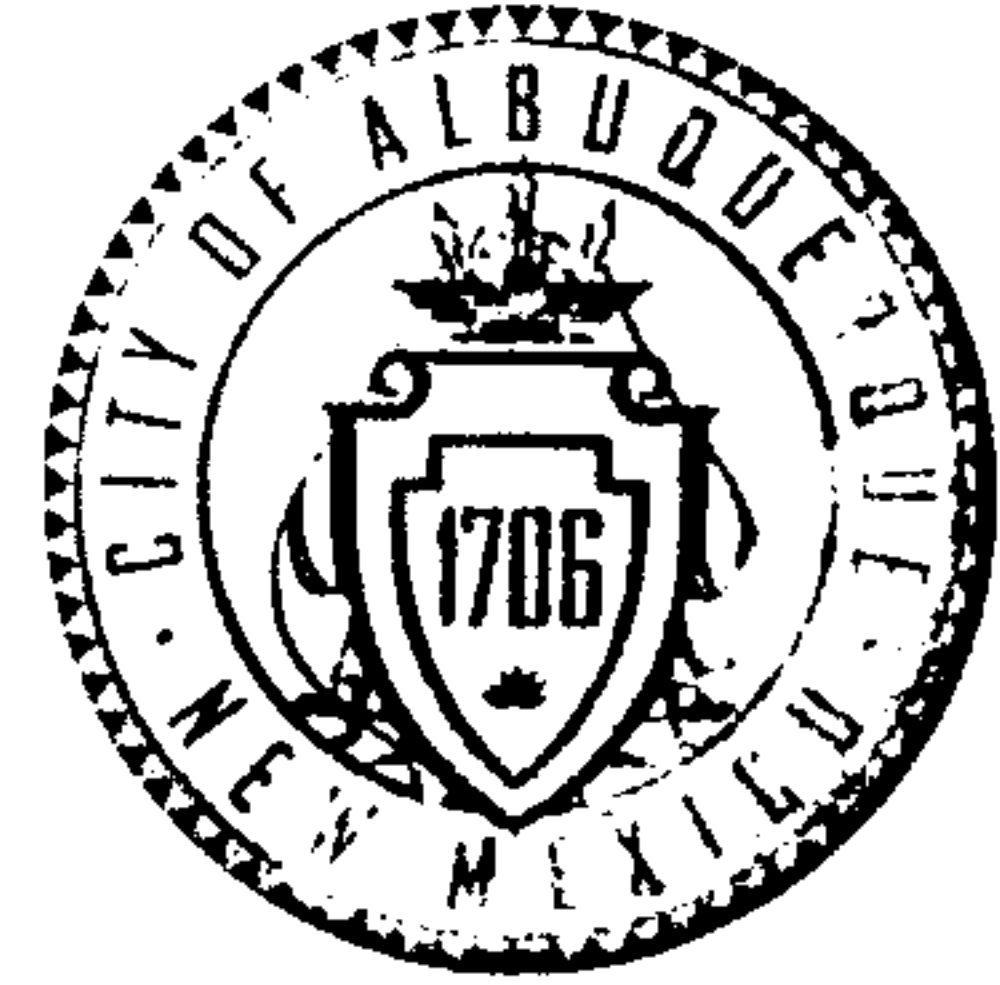
DATE: AUGUST 12, 2009

2. **Project# 1003095**
09DRB-70231 VACATION OF PRIVATE EASEMENT
- DAC ENTERPRISES ENTERPRISES INC agent(s) for JAMES A SELIGMAN request(s) the referenced/ above action(s) for all or a portion of Lot(s) 2-A-2, **LA MIRADA SUBDIVISION** zoned O-1 and P, located on the south side of LA MIRADA PL NE between WYOMING BLVD NE and PENNSYLVANIA ST NE containing approximately 1.1443 acre(s). (G-19)
3. **Project# 1003445**
09DRB-70238 MAJOR - 1 YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (2YR SIA)
- BOHANNAN HUSTON, INC agent(s) for DWAYNE PINO request(s) the referenced/ above action(s) for **FOUNTAIN HILLS PLAZA SUBDIVISION** zoned SU-1/ PDA, located on the west side of EAGLE RANCH RD NW between PASEO DEL NORTE NW and PARADISE BLVD NW containing approximately 39.9074 acre(s). (C-12)[*Deferred from 8/5/09*]

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

4. **Project# 1000901**
09DRB-70269 EPC APPROVED SDP FOR SUBDIVISION
09DRB-70248 MINOR – PRELIMINARY /FINAL PLAT APPROVAL
- SITES SOUTHWEST and URS agent(s) for ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY request(s) the above action(s) for all or a portion of Tract(s) 1 & 2, **BOSQUE SCHOOL** zoned SU-1 FOR C-2 USES, O-1 USES & PRD, located on MIRANDELA BETWEEN MONTANO BLVD AND THE BOSQUE SCHOOL containing approximately 4.5 acre(s). (E-12 & F-12)
5. **Project# 1001178**
09DRB-70214 AMENDED SDP FOR BUILDING PERMIT
- GARCIA/KRAEMER & ASSOC. agent(s) for CHECK WITH ME LLC request(s) the above action(s) for all or a portion of Tract(s) A-1-B-3, **ACME ACRES** zoned C-3, located on CUTLER NE BETWEEN CARLISLE BLVD NE AND MORNINGSIDE DR NE containing approximately 0.89 acre(s). (H-17)[*Deferred from 7/22/09, 8/5/09*]
6. ~~Project# 1003102~~
09DRB-70260 EPC APPROVED SDP FOR BUILD PERMIT
- CONSENSUS PLANNING agent(s) for LA VIDA LIENA request(s) the above action(s) for all or a portion of Lot(s) 12A, **FERRARI-ESQUIBEL-PALMER** zoned SU-1 FOR RETIREMENT COMMUNITY AND REL FAC, located on 4551 JUAN TABO BLVD NE BETWEEN MONTGOMERY BLVD NE AND LAGRIMA DE ORO RD NE containing approximately 1.91 acre(s). (F-21)

CITY OF ALBUQUERQUE



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003102

AGENDA ITEM NO: 3

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ^{8.19.09} X; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:


SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: August 12, 2009

M E M O

Date: August 7, 2009

To: Jack Cloud, DRB Chair

From: Carol Toffaleti, Planner 
Current Planning Division, City of Albuquerque Planning Department
Tel 924-3345, cgtoffaleti@cabq.gov

Re: Project #1003102, 09EPC-40029 SDP Building Permit – La Vida Llena

The EPC approved the site development plan that accompanied a zone change to SU-1 at a public hearing on June 18, 2009, subject to 13 conditions.

The staff planner defers review of condition 5 to the City Engineer. The applicant has met the other conditions with the exception of part of 11.e Landscaping:

- One tree at the southeast corner of the building (a Robinia) must be moved further than 4' from the façade.
- The triangular landscaped beds on either side of the west entrance must be retained even if the tree in each bed is eliminated.

In addition, the following elements need correcting:

Retaining wall in southeast corner of site – the DRB Grading & Drainage plan shows a new N-S extension between the property line and the southwest corner of the building. This extension also needs to be shown on the SDPBP and the Landscape Plan (Sheets 1 and 4).

Curb openings – the openings that allow runoff into landscaped beds along the west row of parking should be shown and called out on the landscape plan (they were shown on the EPC landscape plan).

Please contact me if you have any questions or concerns.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

May 23, 2007

7. Project # 1003102
07DRB-00620 Minor-Extension of Preliminary Plat

ISAACSON & ARFMAN PA agent(s) for LOS CANDELARIAS PARTNERS LLC request(s) the above action(s) for all or any portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **SOFT LOFTS**), zoned SU-1 PRD & office, located on JUAN TABO BLVD NE between LAGRIMA DE ORO RD NE and MONTGOMERY BLVD NE containing approximately 2 acre(s). [REF: 06EPC-00146, 06EPC-00147, 06DRB-00832, 06DRB-00837, 06DRB-00838, 06DRB-01054] (F-21)

At the May 23, 2007, Development Review Board meeting, a one-year extension of the preliminary plat was approved.

Sheran Matson, AICP, DRB Chair

Cc: Los Candelarias Partners LLC, 723-B Silver Ave SW, 87102
Isaacson & Arfman PA, 128 Monroe St NE, 87108
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 17, 2007 9:00 AM

MEMBERS:

**Sheran Matson, AICP, DRB Chair
Angela Gomez, Administrative Assistant**

**Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer**

**Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation**

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT ANGELA GOMEZ, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M. Adjourned: Changes and/or Additions to the Agenda
- B. New or Old Business

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1002848**
07DRB-70267 MAJOR - 2YR SUBD IMP
AGMT (2YR SIA)
TIERRA WEST LLC agent(s) for LARRY MILLER AMERICAN TOYOTA request(s) the above action(s) for all or a portion of Tract(s) A1 & B1, **AMERICAN TOYOTA**, zoned SU-2,SU-1 FOR AUTO SALES, located on ALAMEDA BLVD NE BETWEEN PAN AMERICAN FREEWAY NE AND SAN PEDRO DR NE containing approximately 5 acre(s). (C-18) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

2. **Project# 1005236**
07DRB-70268 VACATION OF PUBLIC
EASEMENT
07DRB-70269 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

ALPHA PROFESSIONAL SURVEYING INC. agent(s) for ZIA PARK TOWNHOMES LLC request(s) the above action(s) for all or a portion of Tract(s) H & I, **LA CUESTA SUBDIVISION**, zoned SU-1/TOWNHOMES, located on ZIA RD NE BETWEEN JUAN TABO NE AND ZENA LONA RD NE containing approximately 2.9788 acre(s). (K-22) **DEFERRED TO 10/24/07 AT THE AGENTS REQUEST**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

3. **Project# 1004873**
07DRB-70283 EPC APPROVED SDP
FOR BUILD PERMIT

DENISH & KLINE ASSOCIATES agent(s) for FOREST CITY COVINGTON NM, LLC request(s) the above action(s) for all or a portion of Tract(s) 23 & 24, **INNOVATION PARK**, zoned PC, located on STRYKER RD SE AND UNIVERSITY BLVD NORTHBOUND AND UNIVERSITY BLVD SOUTHBOUND containing 4.5 acre(s) [Deferred from 10/10/07] (R-16, R-17) [Catalina Lehner, EPC Planner] **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND TO PLANNING FOR CORRECTIONS TO NOTES 2, 9,10 AND 11 ON UTILITY PLAN, AND FOR 3 COPIES.**

4. **Project# 1000771**
07DRB-70281 EPC APPROVED SDP
FOR BUILD PERMIT

DEKKER PERICH SABATINI agent(s) for H R RENTAL PROPERTIES INC request(s) the above action(s) for all or a portion of Tract(s) C, **COTTONWOOD POINTE SUBDIVISION** to be known as **Eagle Vista Apartments**, zoned SU-1 FOR R-2, C-2 AND IP, located on EAGLE RANCH RD NW AND IRVING BLVD NW containing approximately 6.76 acre(s). (B-13) [Deferred from 10/10/07] [Carol Toffaletti, EPC Planner] **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/17/07, THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA, AND FOR EASEMENT TAPER, AND TO PLANNING FOR 3 COPIES.**

5. **Project# 1005132**
07DRB-70305 MINOR - SDP FOR
BUILDING PERMIT

THE DESIGN GROUP agent(s) for DR BERNITSKY request(s) the above action(s) for all or a portion of Tract(s) B-1, **NORTH ALBUQUERQUE ACRES Unit(s) B**, zoned SU-2 FOR O1, located on HOLLY AVENUE NE BETWEEN SAN PEDRO NE AND LOUISIANA NE containing approximately 0.76 acre(s). (C-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR SIDEWALK EASEMENT ON HOLLY AVE, FOR PARTICIPATION IN TRAFFIC SIGNAL AT HOLLY NE AND SAN PEDRO NE, AND TO PLANNING FOR 3 COPIES.**

- 07DRB-70306 MINOR - SDP FOR
BUILDING PERMIT

THE DESIGN GROUP agent(s) for ZIA RISING request(s) the above action(s) for all or a portion of Tract(s) C-1, **NORTH ALBUQUERQUE ACRES**, zoned SU-2 FOR O1, located on HOLLY PLACE NE BETWEEN SAN PEDRO NE AND LOUISIANA NE containing approximately 1.27 acre(s). (C-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR SIDEWALK EASEMENT ON HOLLY AVE, FOR PARTICIPATION IN TRAFFIC SIGNAL AT HOLLY NE AND SAN PEDRO NE, AND TO PLANNING FOR 3 COPIES.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project# 1003238**
07DRB-70295 SIDEWALK WAIVER

EVERGREEN DURANES LTD CO request(s) the above action(s) for all or a portion of Lot(s) 29 P-1, **FLORAL MEADOWS**, zoned R-LT, located on ON SARITA AVE containing approximately 0.25 acre(s). (H-13) **THE SIDEWALK WAIVER WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

7. **Project# 1005539**
07DRB-70279 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

WILSON AND COMPANY INC agent(s) for MGMe DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 1, Block(s) 5, **VOLCANO CLIFFS SUBDIVISION, Unit(s) 26, (to be known as TIERRA BUENA ESTATES)**, zoned SU-2 SRLL, located on KIMMICK DR NW BETWEEN ROSA PARKS RD NW AND VALIENTE RD NW containing approximately 3.62 acre(s). (C-11) *[Deferred from 10/03/07]* **DEFERRED TO 10/24/07 AT THE AGENTS REQUEST.**

8. **Project# 1005182**
07DRB-70309 MAJOR - FINAL PLAT APPROVAL
- WILSON AND COMPANY INC agent(s) for LA CUENTISTA II, LLC request(s) the above action(s) for all or a portion of Tract(s) C, **LA CUENTISTA SUBDIVISION Unit(s) 2**, zoned SU2-SRSL, located on ROSA PARKS ROAD NW BETWEEN ALOE ROAD NW AND KIMMICK DRIVE containing approximately 35.4714 acre(s). (C-10 C-11) **DEFERRED TO 10/24/07 AT THE AGENTS REQUEST.**
9. **Project# 1005271**
07DRB-70303 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for WALDO GRIEGO request(s) the above action(s) for all or a portion of Lot(s) 31, **WEAKS ADDITION**, zoned R-1, located on 47TH STREET NW BETWEEN CENTRAL AVE NW AND GLENDALE PL NW containing approximately .1802 acre(s). (R-12) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DRY UTILITY SIGNATURES.**
10. **Project# 1006890**
07DRB-70308 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- PRECISION SURVEYS INC agent(s) for NEW MEXICO BANK & TRUST request(s) the above action(s) for all or a portion of Lot(s) 5-11 AND PORTION OF 12 & 13-15, Block(s) 17, Tract(s) 15-A, **MONKBRIDGE ADDITION (TBK TRACTS A & B, NEW MEXICO BANK & TRUST)**, zoned P, C-1 & C-3, located on CANDELARIA NW BETWEEN 4TH ST NW AND 5TH ST NW containing approximately 1.9616 acre(s). (G-14) **DEFERRED TO 10/24/07.**
11. **Project # 1005070**
06DRB-01154 Major-Preliminary Plat Approval
06DRB-01156 Minor-Sidewalk Waiver
06DRB-01155 Minor-Temp Defer SDWK
- SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, **THE TRAILS, UNIT 2 (to be known as TAOS @ THE TRAILS, UNIT 2)** zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). [Deferred from 9/6/06, 9/13/06, 9/27/06, 10/11/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07, 4/18/07, 6/20/07, 7/18/07, 08/22/07 & 09/05/07 & 09/26/07]. (C-9) **DEFERRED TO 4/16/08 AT THE AGENTS REQUEST.**
12. **Project# 1005465**
07DRB-70277 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- THOMPSON ENGINEERING CONSULTANTS, INC agent(s) for DUKE CITY DISTRIBUTING request(s) the above action(s) for all or a portion of Tract(s) C, **SOUTH BROADWAY INDUSTRIAL ACRES**, zoned SU-2 HM, located on WOODWARD RD SE BETWEEN BROADWAY BLVD SE AND 2ND ST SE containing approximately 3.52 acre(s). (M-14) [Deferred from 10/03/07] **DEFERRED TO 10/24/07 AT THE AGENTS REQUEST.**

13. **Project #1003828**
07DRB-00717 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

WILLIAM T CANIGLIA, agent(s) for CANDELARIA VILLAGE COMPANY request(s) the above action(s) for all or a portion of Lot(s) 38, **CANDELARIA VILLAGE**, zoned R-1, located on 12TH ST NW and DON FRANCISCO PL NW containing approximately 0.338 acre(s). [Defer from 06/20/07, 7/11/07 & 08/22/07] (G-13) **WITHDRAWN AT AGENTS REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

14. **Project# 1006882**
07DRB-70304 SKETCH PLAT REVIEW
AND COMMENT

MONICA MONTOYA - BARELAS CPC agent(s) for VERA M MONTOYA request(s) the above action(s) for all or a portion of Lot(s) 12, Block(s) 4, **SANTA FE ADDITION**, zoned SU2-R1, located on SANTA FE SW BETWEEN 9TH ST SW AND 8TH ST SW containing approximately .1 acre(s). (K-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**

15. Approval of the Development Review Board Minutes for August 22nd and August 29th 2007.

Other Matters: ~~(Project #1003102)~~

~~Application # 06DRB-00935-(Soft-Lofts)~~

~~Application # 06DRB-00936-(Soft-Lofts)~~

~~was withdrawn at the Agent's request.~~

ADJOURNED: 9:59 AM



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

May 23, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE: 1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M. Adjourned 11:30 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1004272**
 07DRB-00547 Major-Preliminary Plat Approval
 07DRB-00548 Major-Vacation of Public Easements
 07DRB-00549 Minor-Sidewalk Waiver
 07DRB-00550 Minor-Temp Defer SDWK
 ISAACSON & ARFMAN PA agent(s) for CURB, INC request(s) the above action(s) for all or any portion of Tract(s) 16-D-1, EL RANCHO GRANDE UNIT 16 (to be known as **EL RANCHO GRANDE, UNIT 17**) zoned R-D located on GIBSON BLVD SW between MESSINA DR SW and DELGADO DR SW containing approximately 3 acre(s). [REF: 05DRB01033, 05DRB01038, 05DRB01039, 05DRB01084, 05DRB01447] (N-8) **WITH THE ISSUANCE OF THE CERTIFICATE OF COMPLETION FOR THE INFRASTRUCTURE AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/15/06 THE PRELIMINARY PLAT WAS APPROVED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT**

B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

07DRB-00643 Minor-Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for CURB, INC request(s) the above action(s) for all or any portion of Tract(s) 16-D-1, EL RANCHO GRANDE UNIT 16 (to be known as EL RANCHO GRANDE, UNIT 17) zoned R-D located on GIBSON BLVD SW between MESSINA DR SW and DELGADO DR SW containing approximately 3 acre(s). [REF: 05DRB01033, 05DRB01038, 05DRB01039, 05DRB01084, 05DRB01447] (N-8) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR OPEN SPACE PAYMENT AND PLANNING FOR SUBDIVISION DESIGN VARIANCE, 15-DAY APPEAL PERIOD AND TO RECORD.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

2. **Project # 1000762**
07DRB-00597 Minor-SiteDev Plan
BldPermit/EPC

GOLDEN ASSOCIATES LLC agent(s) for FIRST BAPTIST CHURCH request(s) the above action(s) for all or any portion of Tract(s) B, RICHLAND HILLS, UNIT 1, **FIRST BAPTIST CHURCH**, zoned SU-1 FOR IP uses with exceptions, located on PASEO DEL NORTE NW between RICHLAND HILLS RD NW and EAGLE RANCH RD NW containing approximately 6 acre(s). [REF: 06EPC01711] **[Stephanie Shumsky, EPC Case Planner] [Deferred from 5/23/07] (C-12) DEFERRED AT THE AGENT'S REQUEST TO 5/30/07.**

3. **Project # 1005242**
07DRB-00601 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for COMPASS BANK request(s) the above action(s) for all or any portion of Tract(s) A-1-E, **TOWN OF ATRISCO GRANT, UNIT 7**, zoned SU-1 for C-1, located on SAGE RD SW between SNOW VISTA BLVD SW and REBA AVE SW containing approximately 1 acre(s). [REF: 05DRB-01293, 05EPC-00364 THRU 00367, 05DRB-01716, 06EPC-01588] **[Stephanie Shumsky, EPC Case Planner] (M-9) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/23/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR NOTE 17, SMALL CAR SPACES, MOTORCYCLE SPACES AND SIDEWALK EASEMENTS AND CITY ENGINEER FOR SIA, STEPHANIE SHUMSKY'S INITIALS AND 3 COPIES OF THE SITE PLAN.**

4. **Project # 1005390**
07DRB-00648 Minor-SiteDev Plan
BldPermit

TIMOTHY OTT request(s) the above action(s) for all or any portion of Lot(s) 9, 10 & 12, **NZ COMMERCIAL, THE RANDOLPH BUILDING**, zoned IP, located on RANDOLPH RD SE between YALE BLVD SE and UNIVERSITY BLVD SE containing approximately 4 acre(s). [REF: 07DRB-00648] *[Deferred from 5/23/07]* (M-15) **DEFERRED AT THE AGENT'S REQUEST TO 5/30/07.**

07DRB-00206 Minor-Final Plat Approval

BORDENAVE DESIGNS agent(s) for TIMOTHY OTT request(s) the above action(s) for all or a portion of Lot(s) 9, 10 & 12, **NZ COMMERCIAL THE RANDOLPH BUILDING** zoned IP industrial park zone, located on RANDOLPH RD SE between YALE BLVD SE and UNIVERSITY BLVD SE containing approximately 4 acre(s). *[Deferred from 2/28/07 & Indef deferred 3/7/07] [Deferred from 5/23/07]* (M-15) **DEFERRED AT THE AGENT'S REQUEST TO 5/30/07.**

5. **Project # 1004772**
07DRB-00560 Minor-SiteDev Plan
BldPermit

GEORGE RAINHART ARCHITECTS & ASSOCIATES agent(s) for HOLLY-SP LLC request(s) the above action(s) for all or any portion of Lot(s) 18, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 special neighborhood zone M-1 located on PASEO DEL NORTE NE between SAN PEDRO NE and I-25 containing approximately 1 acre(s). *[Deferred from 05/09/07 & 05/16/07]* (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/23/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECORDING OF CCR'S AND CITY ENGINEER FOR SIA AND 3 COPIES OF THE SITE PLAN.**

6. **Project # 1003993**
07DRB-00591 Minor-SiteDev Plan
BldPermit/EPC

SUJAY THAKUR request(s) the above action(s) for all or any portion of Tract(s) A-37-1, **NE UNIT TOWN OF ATRISCO GRANT**, zoned SU-1 O-1 located on COORS BLVD NW between ST JOSEPHS NW and SEQUOIA NW containing approximately 4 acre(s). [REF: 07EPC-00113, 07EPC-00112, 06DRB01003, 06DRB01005] **[Maggie Gould, EPC Case Planner]** *[Indef deferred on 5/16/07]* *[Deferred from 5/23/07]* (G-11) **DEFERRED AT AGENT'S REQUEST TO 6/6/07.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

- ~~7.~~ **Project # 10031027**
07DRB-00620 Minor-Extension of
Preliminary Plat

ISAACSON & ARFMAN PA agent(s) for LOS CANDELARIAS PARTNERS LLC request(s) the above action(s) for all or any portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **SOFT LOFTS**), zoned SU-1 PRD & office, located on JUAN TABO BLVD NE between LAGRIMA DE ORO RD NE and MONTGOMERY BLVD NE containing approximately 2 acre(s). [REF: 06EPC-00146, 06EPC-00147, 06DRB-00832, 06DRB-00837, 06DRB-00838, 06DRB-01054] (F-21) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

8. **Project # 1002739**
07DRB-00630 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for all or any portion of Parcel(s) 7-A & 8-A-1, **ANDERSON HEIGHTS, UNITS 7 & 8**, zoned R-LT, located on DENNIS CHAVEZ BLVD SW between 98th ST SW and 118th ST SW containing approximately 22 acre(s). (N-8/P-8) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR STORM DRAIN EASEMENT EXTENSION TO DENNIS CHAVEZ BLVD SW, CROSS-LOT DRAINAGE EASEMENT, POSSIBLE JOINT ACCESS EASEMENTS ON DUPLEX LOTS AND PLANNING TO RECORD.**

9. **Project # 1005417**
07DRB-00575 Minor-Prelim&Final Plat Approval

KEVIN SMITH request(s) the above action(s) for all or any portion of Lot(s) 9A & 9B, Block(s) G, **PACIFIC ADDITION**, zoned SU-2 RG located on 3rd ST SW between STOVER SW and HAZELDINE SW containing approximately 1 acre(s). [REF: 07DRB00280] (K-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR GREEN TAGS FOR RELOCATION AND PLANNING TO RECORD.**

10. **Project # 1005584**
07DRB-00642 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for IZZY GALLEGOS, J.A.B. REINVEST LLC, request(s) the above action(s) for all or any portion of Lot(s) 6, Block(s) 17, together with a portion of vacated alley, **ALBRIGHT-MOORE ADDITION**, zoned S-R located on BELLAMAN AVE NW between LOS TOMASES DR NW and ASPEN AVE NW containing approximately 1 acre(s). (J-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

11. **Project # 1003928**
07DRB-00068 Minor-Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for JIM MOCHO request(s) the above action(s) for LOT 16D, **TOHATCHI ADDITION & LOT 12, BLOCK C, J M MOORE REALTY COMPANY'S 3RD ADDITION**, zoned R-1 residential zone, located on MOUNTAIN RD NW, between RIO GRANDE BLVD NW and PUEBLO BONITO NW containing approximately 1 acre(s). [REF: 06DRB01203] *[Deferred from 1/31/07 & Indef deferred on 2/14/07 & 4/04/07]* (J-13) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD THE PLAT AND RECORD THE HOME OWNER'S ASSOCIATION ANNEXAION AGREEMENT.**

12. **Project # 1005458**
07DRB-00379 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for DAN MUNIZA request(s) the above action(s) for all or any portion of Tract(s) Q, **TOWN OF ATRISCO GRANT, NORTHERN UNIT**, zoned C-1/P located on COORS RD NW between REDLANDS RD NW and ATRISCO DR NW containing approximately 4 acre(s). *[Indef deferred from 4/4/07]* (G-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/23/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

13. **Project # 1005585**
07DRB-00647 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for M. D. LOHMAN request(s) the above action(s) for all or any portion of Tract(s) A-1 & A-2, Block(s) 15, **DEL NORTE SUBDIVISION**, zoned C-2 located on LOMAS BLVD NE between CHAMA ST NE and GROVE ST NE containing approximately 2 acre(s). (K-19) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

14. **Project # 1005401**
07DRB-00593 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for ROBERT MIERA request(s) the above action(s) for all or any portion of Lot(s) 17-20, Block(s) K, **NEW KIMO ADDITION**, zoned O-1, located on SAN PEDRO DR NE between TAYLOR AVE NE and CUTLER AVE NE containing approximately 1 acre(s). [REF: 07DRB-00233] [*Deferred from 5/16/07*] (H-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

15. **Project # 1005250**
06DRB-01613 Minor-Final Plat Approval

JOSE RODRIGUEZ request(s) the above action(s) for all or a portion of Lot(s) A, B & C, Block T-1, **CARLOS REY SUBDIVISION**, zoned R-2 residential zone, located on CHURCHILL RD SW, between COORS BLVD SW and BATAAN DR SW containing approximately 1 acre(s). [*Deferred from 11/15/06 & 11/22/06 & 11/29/06 & 12/6/06*] [*Indef deferred from 12/13/06*] (K-10) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR P-1 LOT DESIGNATIONS ON THE PLAN AND TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1005547**
07DRB-00590 Minor-Sketch Plat or Plan

KEITH MEYER or JIM HAKEEM request(s) the above action(s) for Tract(s) 2-A plat of Tract A-1, UNIT 2, Tract(s) A-2 & C-2, **CLIFFORD WEST BUSINESS PARK, UNIT 3**, zoned IP, located on LOS VOLCANES RD NW between UNSER BLVD NW and SAUL BELL NW containing approximately 5 acre(s). (K-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

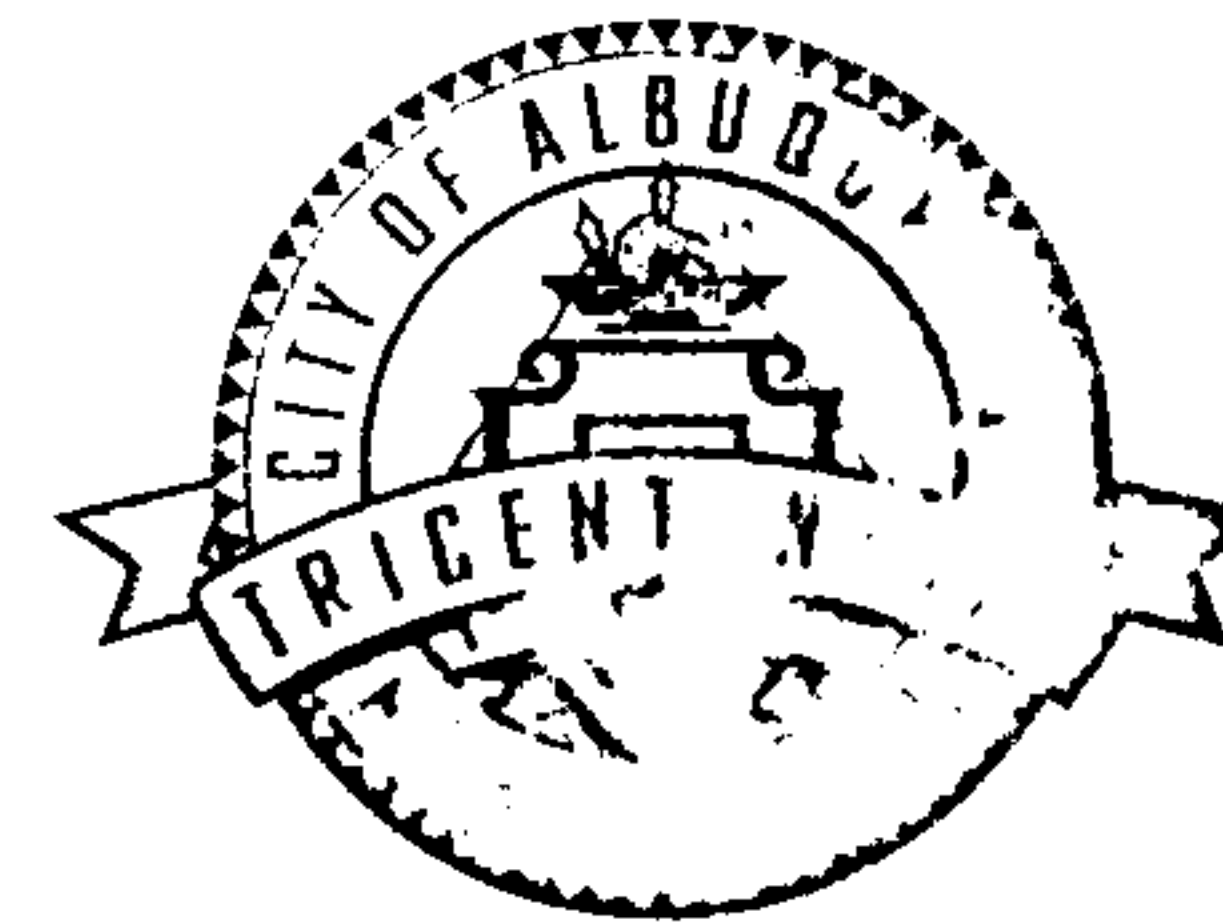
17. **Project # 1005586**
07DRB-00646 Minor-Sketch Plat or Plan

CARTESIAN SURVEYS INC agent(s) for DRAGONFLY DEVELOPMENT request(s) the above action(s) for all or any portion of Lot(s) 6-17 & 23-27, Tract(s) A, Block(s) 21, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned SU-2 O-1, located on PALOMAS AVE NE between WYOMING NE and BARSTOW NE containing approximately 7 acre(s).
(D-19) THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.

18. Approval of the Development Review Board Minutes for May 16, 2007. **THE DRB MINUTES FOR MAY 16, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:30 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003102

AGENDA ITEM NO: 7

SUBJECT:

Preliminary Plat – Extension

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION: 1 yr

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: MAY 23, 2007

(F-21/D075)

#2



SPS ✓

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

06DRB 00936 (SPS)

DRB Application No.: 06DRB-00936 (SBP)

Project # 1003102

Project Name: THE SOFT LOFTS

Agent: Infill Solutions

Phone No: 242-1871

Your request for (SDP for SUB), (SDP for BP) (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on _____ by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

- _____
- _____
- _____

UTILITIES: _____

- _____
- _____

CITY ENGINEER / AMAFCA: _____

- _____
- _____

PARKS / CIP: _____

- _____
- _____

PLANNING (Last to sign): 3 copies

- ~~all streets must be recorded~~
- ~~lot lines must go out to the private street~~
- ~~street name on site plan must be Rosamunda Lane~~

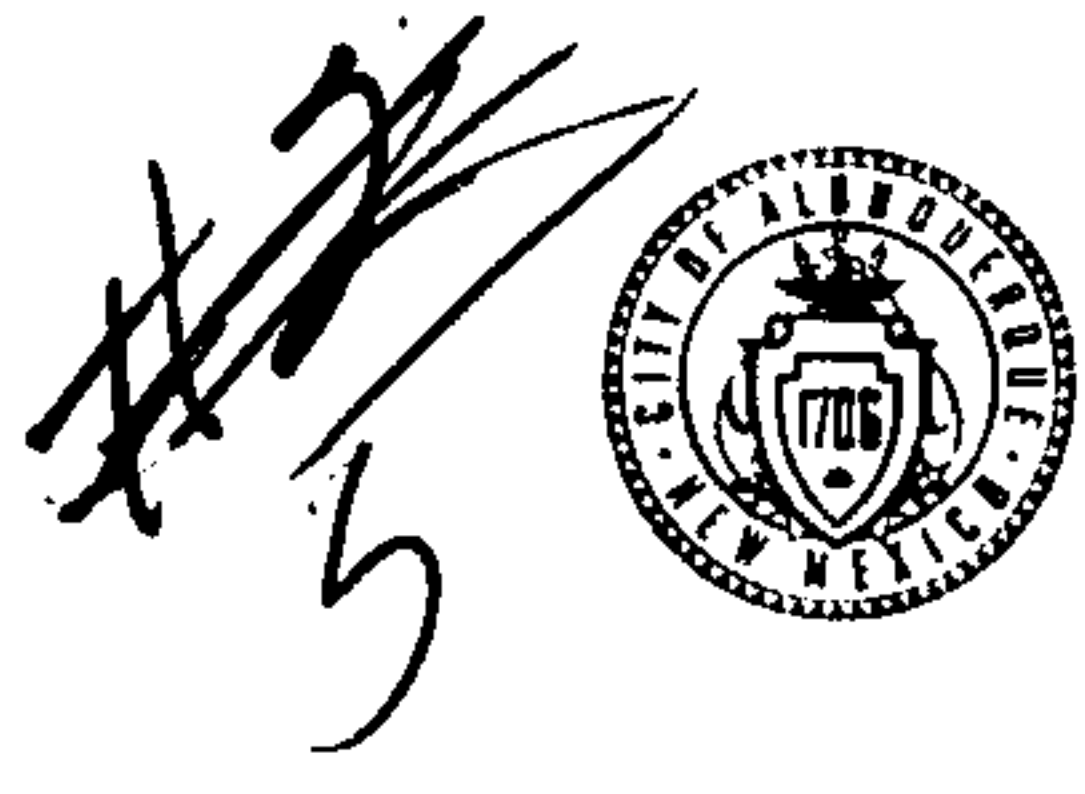
Vacation of 35' Roadway and Public Utility easement.

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

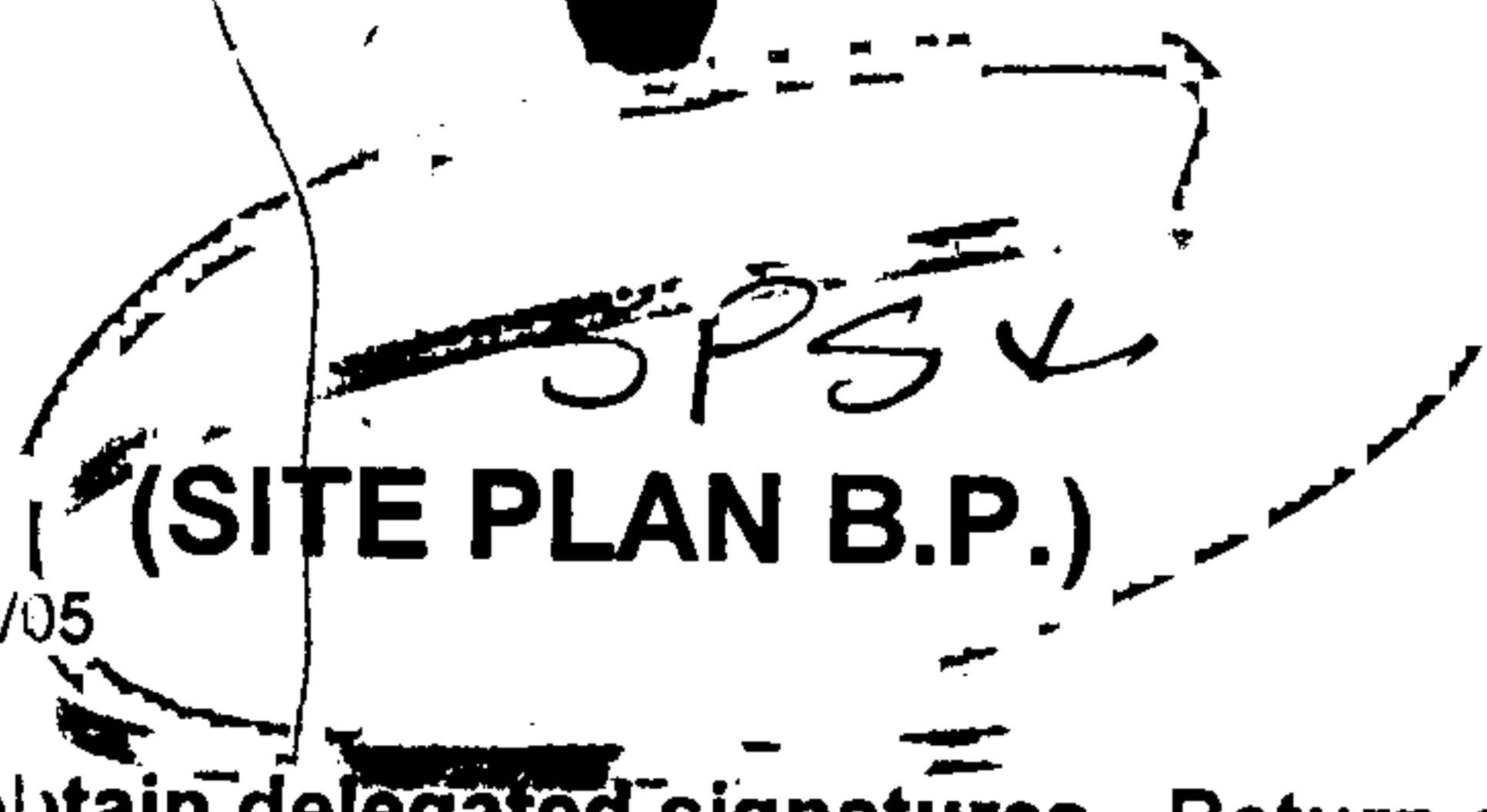
- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number 1003102



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05



This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00936 (SBP)

Project # 1003102

Project Name: THE SOFT LOFTS

Agent: Infill Solutions

Phone No: 242-1871

Your request for (SDP for SUB), (SDP for BP) (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on _____ by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____

- PLANNING (Last to sign): Boopie's
- ~~also state that the lot lines must go out to the private street~~
- ~~street name on site plan must be Benaminto Lane~~
- ~~vacation of 35' Roadway and Public utility easement.~~

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number 1003102



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 16, 2006

3. Project # 1003102
06DRB-01054 Major-Vacation of Public Easements

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS, INC. request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **SOFT LOFTS**) zoned SU-1 PRD (22 DU/AC), located on JUAN TABO BLVD NE, between LAGRIMA DE ORO NE and MONTGOMERY BLVD NE containing approximately 2 acre(s). [REF: 06DRB-00832, 06DRB-00837, 06DRB-00838, 06EPC00146, 06EPC-00147, 05DRB00911] (F-21)

At the August 16, 2006, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by August 31, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.



m

OFFICIAL NOTICE OF DECISION

PAGE 2

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

A handwritten signature in cursive script that reads 'Sheran Matson'.

Sheran Matson, AICP, DRB Chair

Cc: Infill Solutions Inc., 723-B Silver Ave SW, 87102
Isaacson & Arfman PA, 128 Monroe St NE, 87108
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



#3

#100 3102

8-16-04



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003102

AGENDA ITEM NO: 3

SUBJECT:

Vacation of Public Easements

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No objection to Vacation request.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: AUGUST 16, 2006

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003102 AGENDA#: 3 DATE: 8/16/06

1. Name: Med Arjman Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

August 16, 2006

Project # 1003102
 06DRB-01054 Major-Vacation of Public Easements

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS, INC. request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **SOFT LOFTS**) zoned SU-1 PRD (22 DU/AC), located on JUAN TABO BLVD NE, between LAGRIMA DE ORO NE and MONTGOMERY BLVD NE containing approximately 2 acre(s). [REF: 06DRB-00832, 06DRB-00837, 06DRB-00838, 06EPC00146, 06EPC-00147, 05DRB00911] (F-21)

- AMAFCA No adverse comments.
- COG No adverse comments.
- Transit No objection to the request.
- Zoning Enforcement No adverse comments.
- Neighborhood Coordination Letter sent to S.Y. Jackson NA (R).

APS **Soft Lofts** will consist of 34 residential townhouses near Juan Tabo and Lagrima del Oro Rd in the Replat of Ferrari Esquibel-Palmer. The proposed development will affect Mitchell Elementary, Eisenhower Middle School, and Eldorado High School. Currently, all three schools have excess capacity and should be able to absorb any student growth from this development.

School	2006-07 Projections	2006-07 Capacity	Space Available
Mitchell	410	479	69
Eisenhower	921	1,021	100
Eldorado	2,230	2,300	70

- Police Department No crime prevention or CPTED comments at this time.
- Fire Department No adverse comments.
- PNM Electric & Gas Approved.

Comcast

No comments received.

QWEST

No comments received.

Environmental Health

No comments received.

M.R.G.C.D.

No comments received.

Open Space Division

No adverse comments.

City Engineer The Hydrology section has no objection to the vacation request.

Transportation Development

The exhibits are unclear as to which easements are being vacated.

Parks & Recreation

Defer to affected agencies.

Utilities Development

No objection to Vacation request.

Planning Department

No objection to the vacation request. Applicant has one year to file plat.

Impact Fee Administrator

Impact Fees will be required at the time a building permit is issued for the proposed Townhomes. The estimated fees are approximately;

Public Safety Facilities: \$276.00 per 1000sf.

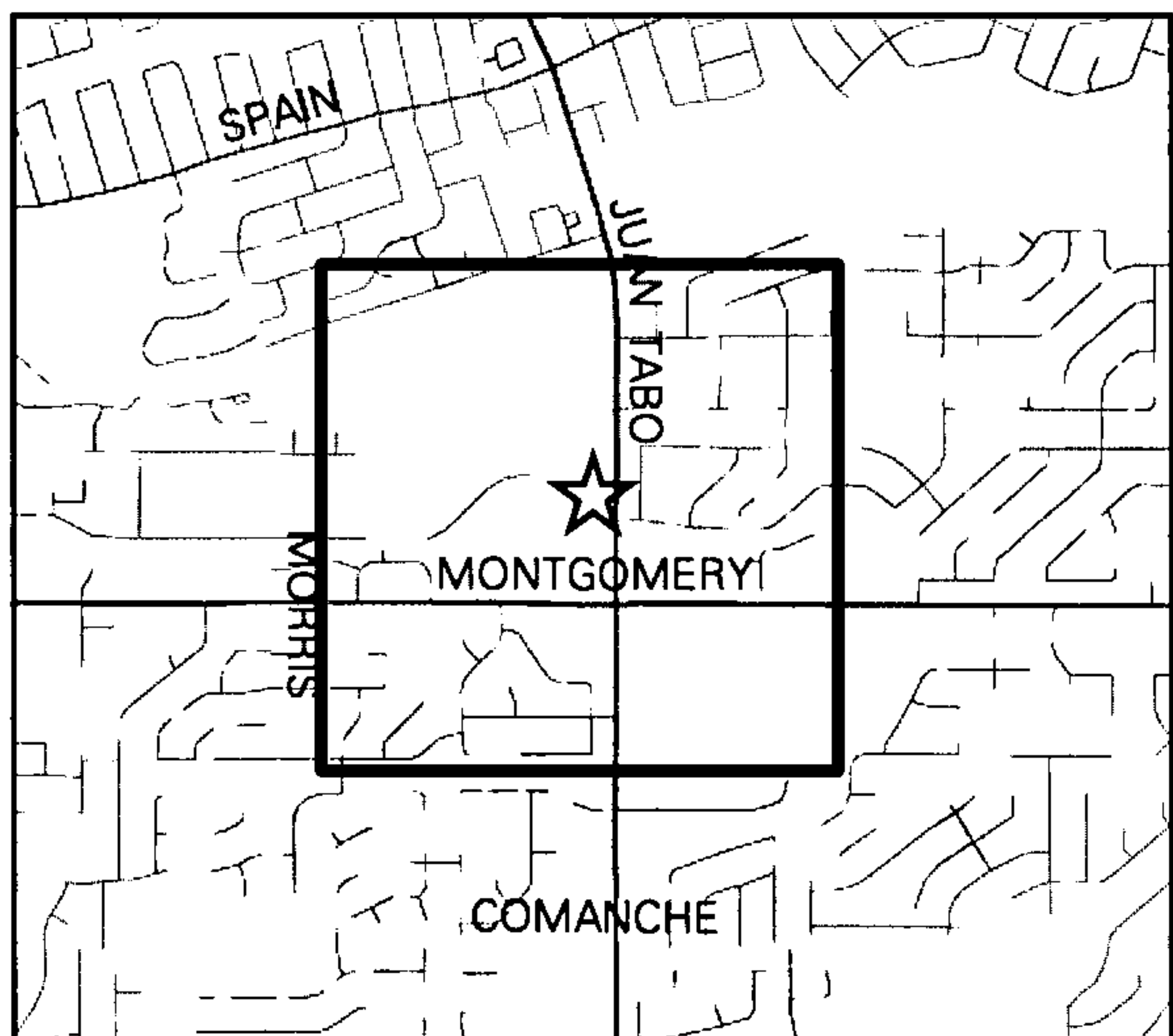
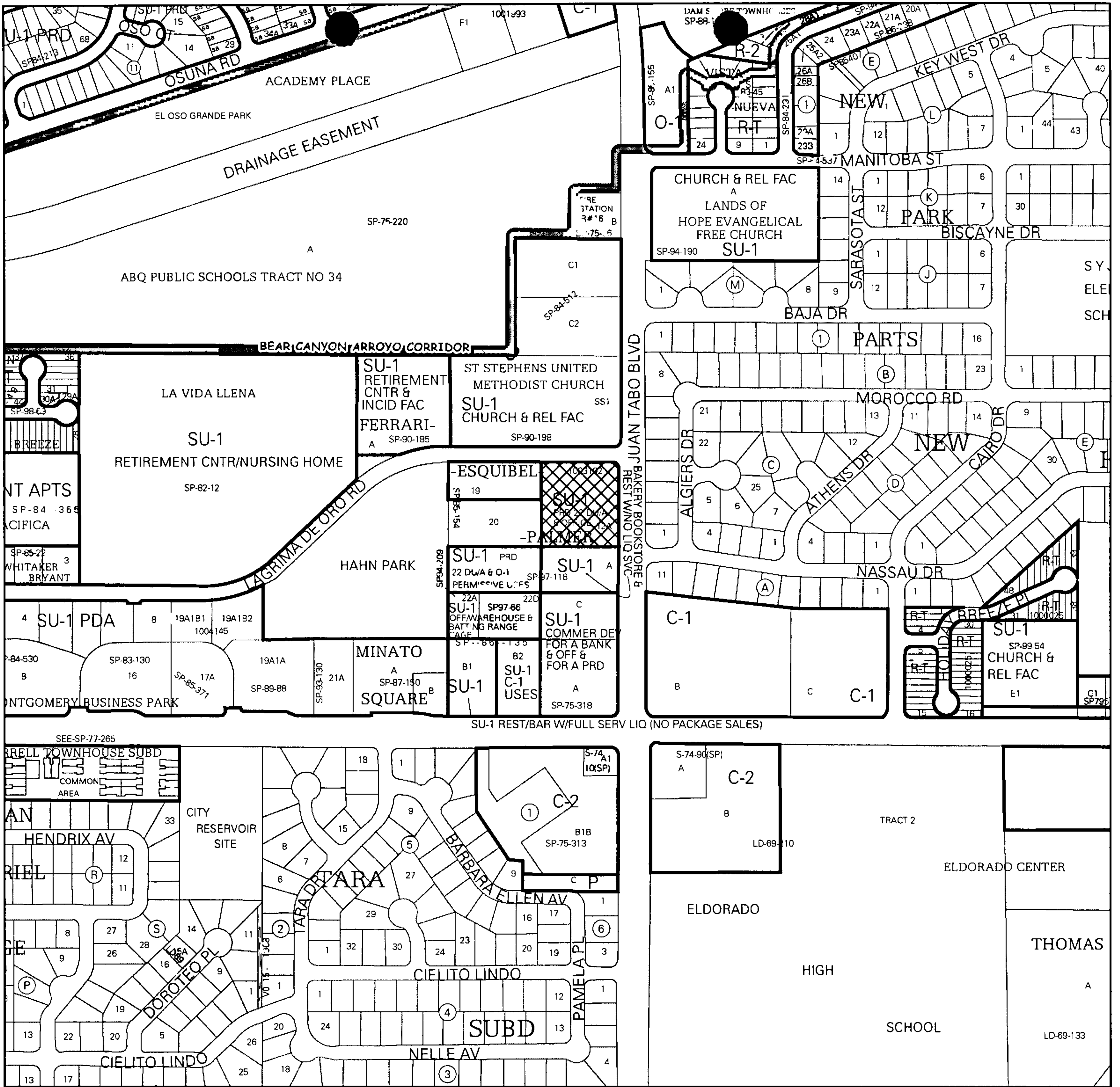
Parks, Recs, Trails & Open Space: 1220.00 per 1000sf

Impact Fees are to be paid at the time of issuance of building permits. However, the total Impact Fees may be paid at a rate of 67% if permits are obtained by December 29, 2006.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: Infill Solutions Inc., 723-B Silver Ave SW, 87102

Isaacson & Arfman PA, 128 Monroe St NE, 87108



ZONING MAP

Note: Grey shading indicates County.



1 inch equals 500 feet

Project Number:
1003102

Hearing Date:
8/16/06

Zone Map Page:
F-21

Additional Case Numbers:
06DRB-01054



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, August 16, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

- Project # 1002315**
06DRB-01053 Major-Vacation of Public Easements
- BOHANNAN HUSTON INC agent(s) for SCOTT PATRICK HOMES INC request(s) the above action(s) for all or a portion of Lot(s) 20 **WILDERNESS VILLAGE @ HIGH DESERT, UNIT 3**, zoned SU-2 HD R-R, located on FOOTHILLS TRAIL NE, between WILDERNESS TRAIL NE and HIGH DESERT NE. [REF: 03DRB-01651] (F-23)
- Project # 1004942**
06DRB-01055 Major-Vacation of Public Easements
- LARKIN GROUP NM INC agent(s) for ROBERT HILLS request(s) the above action(s) for Parcel(s) 16 & 17, **COLES INDUSTRIAL SUBDIVISION, NO. 1**, zoned M-1, located on VASSAR DR NE, between CANDELARIA RD NE and LOS ARBOLES AVE NE containing approximately 1 acre(s). [REF: 06DRB-00798] (H-16)
- Project # 1003102**
06DRB-01054 Major-Vacation of Public Easements
- ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS, INC. request(s) the above action(s) for all or a portion of Lot(s) 12-A, **LANDS OF FERRARI-ESQUIBEL-PALMER** (to be known as **SOFT LOFTS**) zoned SU-1 PRD (22 DU/AC), located on JUAN TABO BLVD NE, between LAGRIMA DE ORO NE and MONTGOMERY BLVD NE containing approximately 2 acre(s). [REF: 06DRB-00832, 06DRB-00837, 06DRB-00838, 06EPC00146, 06EPC-00147, 05DRB00911] (F-21)
- Project # 1000572**
06DRB-01038 Major-Preliminary Plat Approval
06DRB-01040 Minor-Sidewalk Waiver
06DRB-01041 Minor-Temp Defer SDWK
- ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Lot(s) 3, 7 & 8, **LENKURT PROPERTIES** (to be known as **THE PRESIDIO**) zoned SU-1 PRD, located on CHICO RD NE, between EUBANK BLVD NE and MORRIS ST NE containing approximately 23 acre(s). [REF: 05EPC-01116] (K-21)
- Project # 1005033**
06DRB-01056 Major-SiteDev Plan BldPermit
- STUDIO SOUTHWEST ARCHITECTS agent(s) for I. P. F. D. C. request(s) the above action(s) for A PORTION OF I. P. F. D. C. (INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP.) 7 ACRE SITE, **INDIAN PUEBLO COUNCIL PROPERTY**, zoned SU-1 C-2 with restrictions, located on 12th ST NW, between INDIAN SCHOOL NW and MENAUL NW containing approximately 3 acre(s). [REF: 03EPC-01676, 03EPC-01677] (H-13/H-14)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 31, 2006.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: AUGUST 16, 2006
Zone Atlas Page: F-21-Z
Notification Radius: 100 Ft.

Project# 1003102
App#06DRB-01054

Cross Reference and Location: JUAN TABO BLVD NE BETWEEN LAGRIMA
DE ORO NE AND MONTGOMERY BLVD NE

Applicant: INFILL SOLUTIONS, INC.
Address: 723-B SILVER AVE SW
ALBUQUERQUE, NM 87102

Agent: ISAACSON & ARFMAN
128 MONROE ST NE
ALBUQUERQUE, NM 87108

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: JULY 28, 2006
Signature: YVONNE SAAVEDRA

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # 1003102
APPLICATION # _____

PAGE 1 **OF** 1

ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
	1021061	510-074	401-12	✓
		510-089	14	✓
		494-057	11	✓
		509-040	09	✓
		484-040	37	✓
		467-040	22	✓
		477-074	20	✓ COA
		476-089	19	✓
		489-116	403-16	✓
	1022061	010-118	304-07	✓
		010-110	06	✓
		010-103	05	✓
		010-095	04	✓
		010-088	03	✓
		010-081	02	✓
		010-072	01	✓
		010-056	301-13	✓



mainframe@coa1mp3.ca
bq.gov
07/24/2006 09:19 AM

To
cc
bcc
Subject

1 R E C O R D S W I T H L A B E L S PAGE
1
01021061 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0102106151007440112 LEGAL: 12 R EPL OF LANDS OF FERRARI-ESQUIBEL-PALMER
CONT 1 LAND USE:
PROPERTY ADDR: 00000 LAGRIMA DE ORO
OWNER NAME: LOPEZ ALFRED L SR ETUX ETAL
OWNER ADDR: 04320 ASPEN NE
ALBUQUERQUE NM 87110
0102106151008940114 LEGAL: 14 R EPL OF LANDS OF FERRARI-ESQUIBEL-PALMER
CONT 0 LAND USE:
PROPERTY ADDR: 00000 JUAN TABO
OWNER NAME: ESQUIBEL RAY O & DONNA RAE
OWNER ADDR: 04320 ASPEN NE
ALBUQUERQUE NM 87110
0102106149405740111 LEGAL: TRAC T A PLAT OF TRACT A, LANDS OF DOUBLE
RAINBOW C LAND USE:
PROPERTY ADDR: 00000 JUAN TABO
OWNER NAME: SPIRIT MASTER HOLDINGS SPE LLC
OWNER ADDR: 02333 WISCONSIN ST NE
ALBUQUERQUE NM 87110
0102106150904040109 LEGAL: TR C NOR THWEST CORNER OF MONTGOMERY & JUAN TABO
BL LAND USE:
PROPERTY ADDR: 00000 JUAN TABO
OWNER NAME: 4425 JUAN TABO LLC & OTTO H BU
OWNER ADDR: PO BOX 14342
ALBUQUERQUE NM 87191
0102106148404040137 LEGAL: LOT 22D PLAT OF LOT 22D LANDS OF
FERRARI-ESQUIBEL- LAND USE:
PROPERTY ADDR: 00000 MONTGOMERY
OWNER NAME: DAK PROPERTIES LLC
OWNER ADDR: 10899 MONTGOMERY BL NE
ALBUQUERQUE NM 87111
0102106146704040122 LEGAL: LT 2 2A P LAT OF LOTS 22A, 22B & 22C LANDS OF
FERRAR LAND USE:
PROPERTY ADDR: 00000 JUAN TABO
OWNER NAME: MANN RICHARD D & MARGARET P
OWNER ADDR: 10723 EDITH NE
ALBUQUERQUE NM 87113
0102106147707440120 LEGAL: S1/2 SW NE SE SE SEC 33 T11N R4E
LAND USE:
PROPERTY ADDR: 00000 MONTGOMERY
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: PO BOX 1293
ALBUQUERQUE NM 87103
0102106147608940119 LEGAL: 19 R EPL OF LANDS OF FERRARI-ESQUIBEL-PALMER
CONT 1 LAND USE:
PROPERTY ADDR: 00000 MONTGOMERY
OWNER NAME: ESQUIBEL RAY O & DONNA RAE
OWNER ADDR: 4320 ASPEN NE
ALBUQUERQUE NM 87110

0102106148911640316 LEGAL: TR S S-1 REPL OF TR SS ST STEPHENS UNITED
METHODIST LAND USE:
PROPERTY ADDR: 00000 JUAN TABO
OWNER NAME: ST STEPHENS UNITED METHODIST
OWNER ADDR: 04601 JUAN TABO BL NE

ALBUQUERQUE NM 87111
0102206101011830407 LEGAL: 007 B OF THE NEW HOLIDAY PARK SUBD
LAND USE:
PROPERTY ADDR: 00000 ALGIERS
OWNER NAME: ORTEGA MARIE H
OWNER ADDR: 04631 ALGIERS DR NE

ALBUQUERQUE NM 87111
0102206101011030406 LEGAL: 006 B OF THE NEW HOLIDAY PARK SUBD 1 & 2
LAND USE:
PROPERTY ADDR: 00000 ALGIERS
OWNER NAME: MCFARLAND SEAN W & PAMELA A
OWNER ADDR: 04627 ALGIERS DR NE

ALBUQUERQUE NM 87111
0102206101010330405 LEGAL: 005 B OF THE NEW HOLIDAY PARK SUBD
LAND USE:
PROPERTY ADDR: 00000 ALGIERS
OWNER NAME: D'ORLANDO PATRICK A & CECILIA
OWNER ADDR: 04623 ALGIERS NE

ALBUQUERQUE NM 87111
0102206101009530404 LEGAL: 004 B OF THE NEW HOLIDAY PARK SUBD
LAND USE:
PROPERTY ADDR: 00000 ALGIERS
OWNER NAME: HERRERA ROBERT J & PATRICIA L
OWNER ADDR: 04613 ALGIERS NE

ALBUQUERQUE NM 87111
0102206101008830403 LEGAL: 003 B OF THE NEW HOLIDAY PARK SUBD
LAND USE:
PROPERTY ADDR: 00000 ALGIERS
OWNER NAME: REID PAULA J
OWNER ADDR: 04609 ALGIERS DR NE

ALBUQUERQUE NM 87111
0102206101008130402 LEGAL: 002 B OF THE NEW HOLIDAY PARK SUBD
LAND USE:
PROPERTY ADDR: 00000 ALGIERS
OWNER NAME: CLINTON TRACY M
OWNER ADDR: 04605 ALGIERS DR NE

ALBUQUERQUE NM 87111
0102206101007230401 LEGAL: 001 B OF THE NEW HOLIDAY PARK SUBD
LAND USE:
PROPERTY ADDR: 00000 ALGIERS
OWNER NAME: KADAS KIRK S
OWNER ADDR: 04601 ALGIERS DR NE

ALBUQUERQUE NM 87111
0102206101005630113 LEGAL: 011 A OF THE NEW HOLIDAY PARK SUBD
LAND USE:
PROPERTY ADDR: 00000 NASSAU
OWNER NAME: LUNA JOSE R JR ETUX
OWNER ADDR: 11200 NASSAU NE

ALBUQUERQUE NM 87111

QUIT

102106150904040109

LEGAL: TR C NORTHWEST CORNER OF MONTGOMERY & JUAN TABO
PROPERTY ADDR: 4425 JUAN TABO NE

OWNERS NAME: 4425 JUAN TABO LLC & OTTO H BU
OWNERS ADDR: PO BOX 14342
ALBUQUERQUE, NM 87191

102106147707440120

LEGAL: S ½ SW NE SE SEC 33 T11N R 4E
PROPERTY ADDR: MONTGOMERY BLVD NE

OWNERS NAME: CITY OF ALBUQUERQUE
OWNERS ADDR: PO BOX 1293
ALBUQUERQUE, NM 87103

102106147608940119

LEGAL: *19 REPL OF LANDS OF FERRARI-E SQUIBEL-PALMER
PROPERTY ADDR: MONTGOMERY BLVD NE

OWNERS NAME: ESQUIBEL RAY O & DONNA RAE
OWNERS ADDR: 4320 ASPEN NE
ALBUQUERQUE, NM 87110



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

July 20, 2006

Ruth Lozano
Isaacson and Arfman, P.A.
128 Monroe St. NE/87108
Phone: 268-8828/Fax: 268-2632

Dear Ruth:

Thank you for your inquiry of July 20, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **LOT 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER, LOCATED ON JUAN TABO BOULEVARD NE BETWEEN LAGRIMA DE ORO ROAD NE AND MONTGOMERY BOULEVARD NE** zone map F-21.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

S.Y. JACKSON N.A., INC. (SYJ) "R"
***Jeff Weaver**
4635 Algiers NE/87111 856-8048 (w) 228-8378 (c)
Wanda Silva
4533 Oahu Dr. NE/87111 294-9742 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani J. Winklepleck
Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(07/11/06)

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD ASSOCIATION.



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE

July 20, 2006

CERTIFIED MAIL 7005 1160 0001 1329 6699

Ms. Wanda Silva
S. Y. Jackson Neighborhood Association
4533 Oahu Drive NE
Albuquerque, NM 87111

**RE: Lot 12-A, Lands of Ferarri-Equibel-Palmer
Vacation of Public Easement for the Soft Lofts**

Dear Ms. Silva:

As the consulting engineers for the above referenced site, we are writing this letter to inform the S. Y. Jackson Neighborhood Association that we are requesting a City hearing to vacate a public utility and access easement on the property at the southwest corner of Juan Tabo and Lagrima de Oro, east of Hahn Park. Attached is a copy of the vicinity map showing the site location.

Please call me at 268-8828 if you have questions.

Sincerely,
ISAACSON & ARFMAN, P.A.

Genny Donart, PE
GD/gld

7005 1160 0001 1329 6699

U.S. Postal Service™		
CERTIFIED MAIL™ RECEIPT		
<i>(Domestic Mail Only; No Insurance Coverage Provided)</i>		
For delivery information visit our website at www.usps.com		
ALBUQUERQUE, NM 87101		
OFFICIAL USE		
Postage	\$ 0.00	0108
Certified Fee	\$ 2.40	
Return Receipt Fee (Endorsement Required)	\$ 1.00	
Restricted Delivery Fee (Endorsement Required)	\$ 0.00	
Total Postage & Fees	\$ 3.40	
Sent To: Wanda Silva S.Y. Jackson N.A.		
Street, Apt. No.; or PO Box No. 4533 Oahu Drive NE		
City, State, ZIP+4 Albuquerque, NM 87111		
PS Form 3800, June 2002		See Reverse for Instructions

7005 1160 0001 1329 6699

39¢
2.40
1.00
4.64

ALBUQUERQUE, NM
JUL 20 2006
07/20/2006

Project # 1003102

INFILL SOLUTIONS, INC.
723-B SILVER AVE SW
ALBUQUERQUE, NM 87102

Project # 1003102

ISAACSON & ARFMAN
128 MONROE ST EN
ALBUQUERQUE, NM 87108

Project # 1003102

JEFF WEAVER
S.Y. Jackson N. A. Inc.
4635 ALGIERS NE
ALBUQUERQUE, NM 87111

Project # 1003102

WANDA SILVA
S.Y. Jackson N.A. Inc.
4533 OAHU DR NE
ALBUQUERQUE, NM 87111

102106151007440112

LOPEZ ALFRED L SR ETUX ETAL
4320 ASPEN NE
ALBUQUERQUE NM 87110

102106151008940114

ESQUIBEL RAY O & DONNA RAE
4320 ASPEN NE
ALBUQUERQUE NM 87110

102106149405740111

SPIRIT MASTER HOLDINGS SPE LL
2333 WISCONSIN ST NE
ALBUQUERQUE NM 87110

102106150904040109

4425 JUAN TABO LLC & OTTO H B
PO BOX 14342
ALBUQUERQUE, NM 87191

102106148404040137

DAK PROPERTIES LLC
10899 MONTGOMERY BL NE
ALBUQUERQUE NM 87111

102106146704040122

MANN RICHARD D & MARGARET P
10723 EDITH NE
ALBUQUERQUE NM 87113

102106147707440120

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE, NM 87103

102106147608940119

ESQUIBEL RAY O & DONNA RAE
4320 ASPEN NE
ALBUQUERQUE, NM 87110

102106148911640316

ST STEPHENS UNITED METHODIST
4601 JUAN TABO BL NE
ALBUQUERQUE NM 87111

102206101011830407

ORTEGA MARIE H
4631 ALGIERS DR NE
ALBUQUERQUE NM 87111

102206101011030406

MCFARLAND SEAN W & PAMELA A
4627 ALGIERS DR NE
ALBUQUERQUE NM 87111

102206101010330405

D'ORLANDO PATRICK A & CECILIA
4623 ALGIERS NE
ALBUQUERQUE NM 87111

102206101009530404

HERRERA ROBERT J & PATRICIA L
4613 ALGIERS NE
ALBUQUERQUE NM 87111

102206101008830403

REID PAULA J
4609 ALGIERS DR NE
ALBUQUERQUE NM 87111

102206101008130402

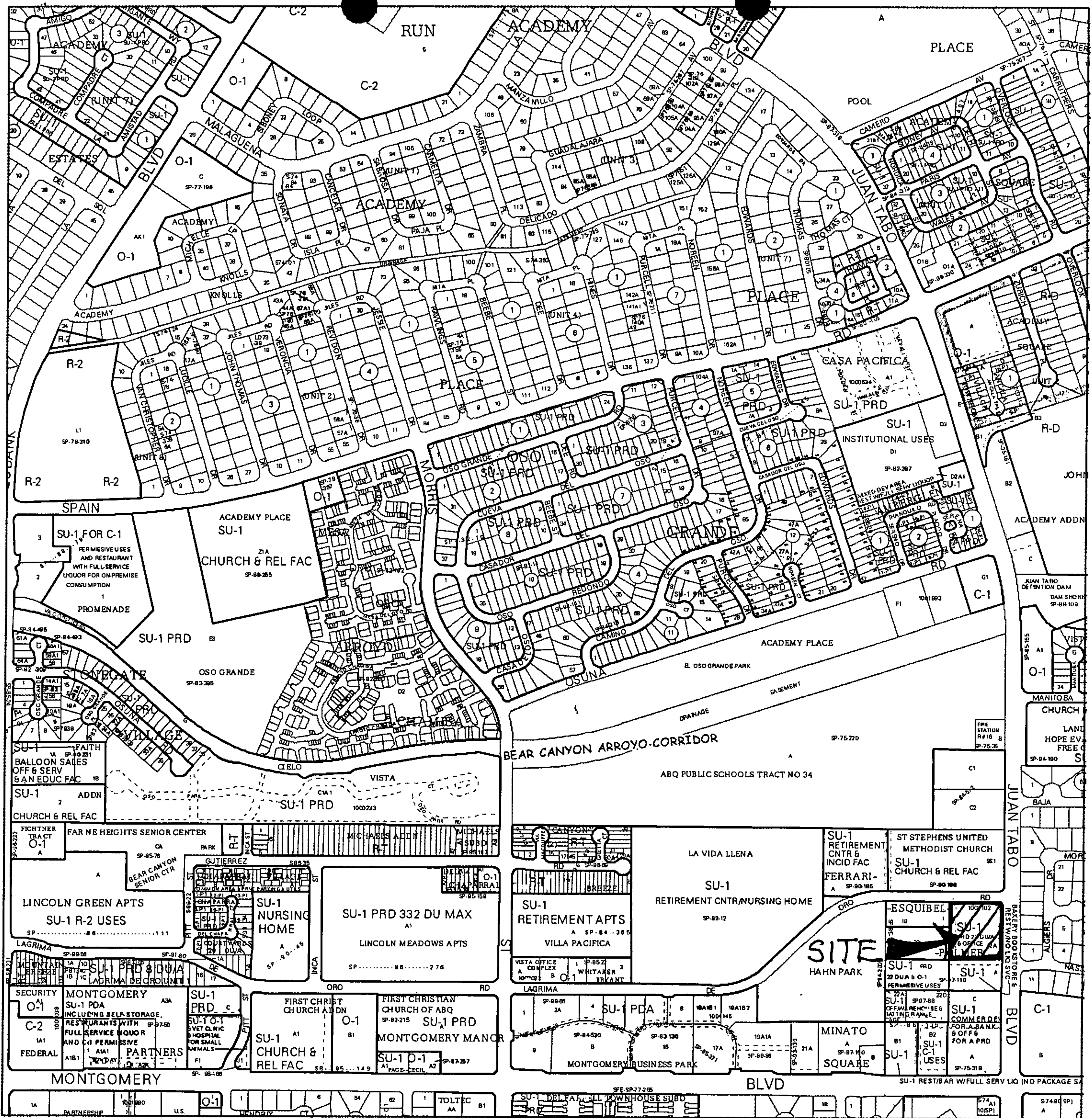
CLINTON TRACY M
4605 ALGIERS DR NE
ALBUQUERQUE NM 87111

102206101007230401

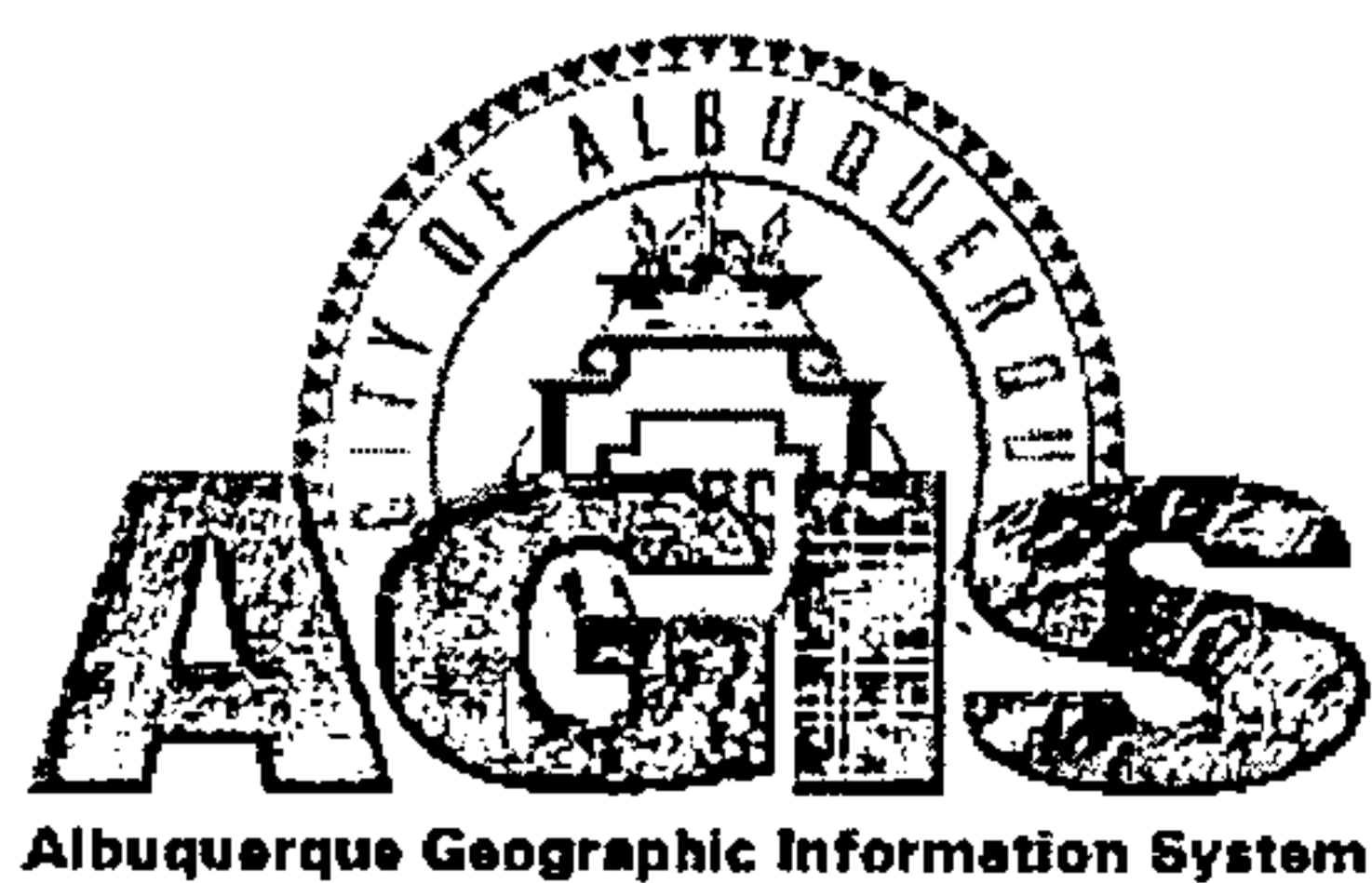
KADAS KIRK S
4601 ALGIERS DR NE
ALBUQUERQUE NM 87111

102206101005630113

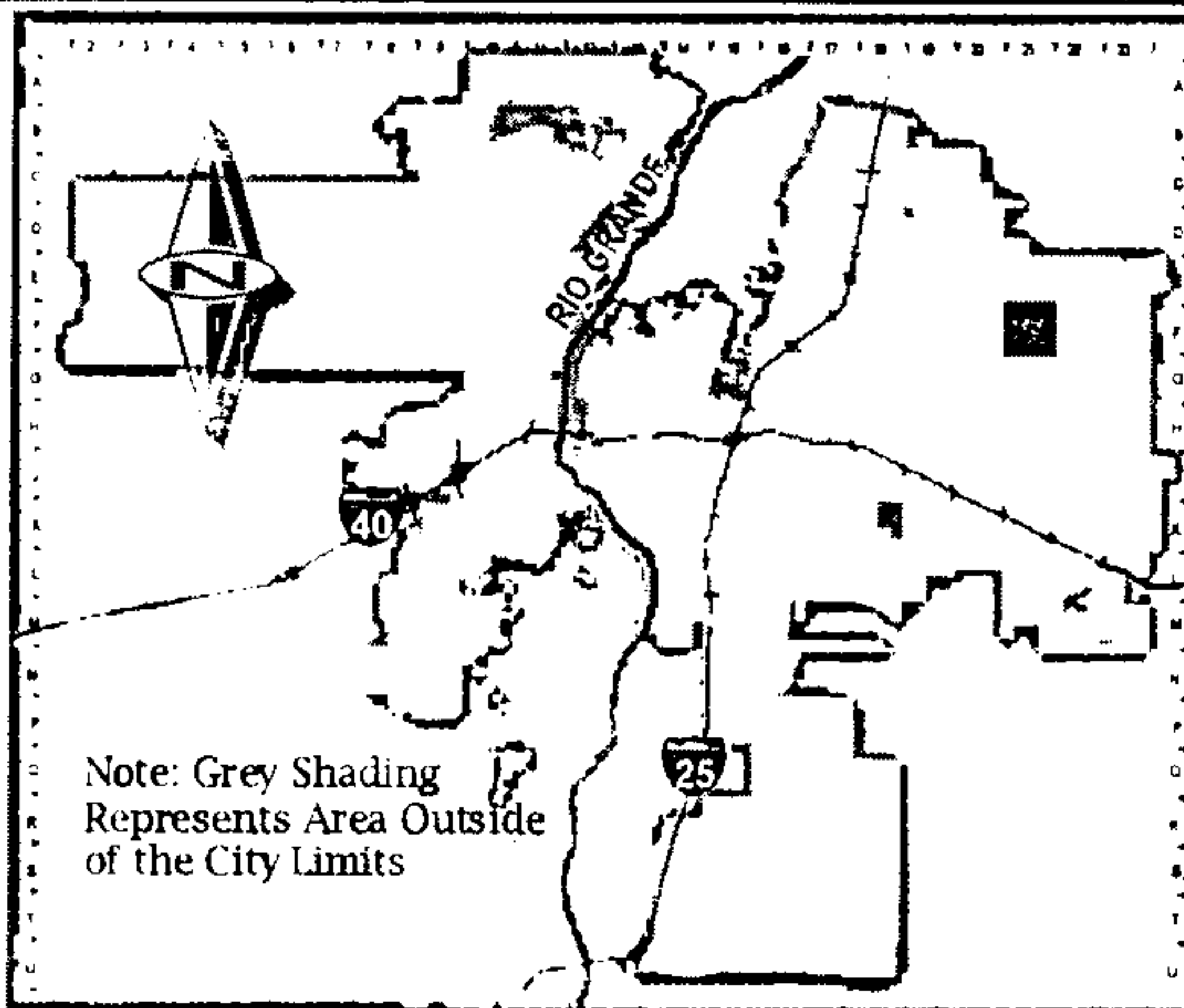
LUNA JOSE R JR ETUX
11200 NASSAU NE
ALBUQUERQUE NM 87111



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/21/2006



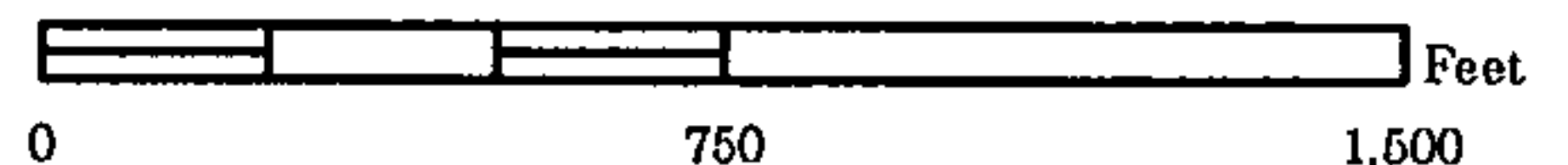
Note: Grey Shading Represents Area Outside of the City Limits

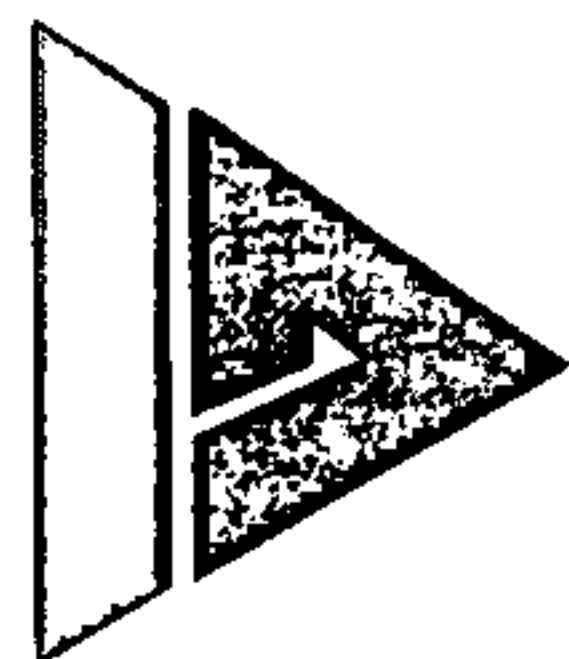
Zone Atlas Page:

F-21-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





PROJECT MEMORANDUM

07/20/06

TO: Sheran Matson, DRB Chair

FROM: Genny Donart, Isaacson & Arfman, P.A.

REF: The Softs Lofts
(Lot 12-A, Lands of Ferrari-Esquibel-Palmer)

PROJ NO: 1463

SUBJ: Justification for Vacation of Public Easement

Isaacson & Arfman, P.A., as agents for Infill Solutions, Inc., requests approval for vacation of the 33' wide access and public utility easement along the west boundary of the Soft Lofts subdivision.

We feel that this vacation action is justified for the following reasons:

1. All the lots that the easement was originally intended to serve have already been developed, and have access and utilities worked out from Juan Tabo Blvd, Montgomery Blvd, or cross-lot access through other lots.
2. There are no existing utilities or roads in the easement.
3. The proposed development on the site will create new access and utility easements to serve the property.
4. The public interest is in no way served by retaining the easement.

NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

July 27, 2006

TO: Jeff Weaver and Wanda Silva, S.Y. Jackson Neighborhood Association, Inc.

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: Requests the following for approximately two (2) acre(s) - Major Vacation of Public Easements for 33' wide access and public utility easements along the west boundary of the Soft Lofts subdivision.

Proposed by: Isaacson and Arfman, P.A. at 505-268-8828

Agent for: Infill Solutions, Inc.

For property located: On or near Juan Tabo Boulevard NE between Lagrima Del Oro Road NE and Montgomery Boulevard NE.

P.O. Box 1293

The case number(s) assigned is: 06DRB- 01054, Project # 1003102.

Albuquerque

City Planning accepted application for this request on July 21, 2006.

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

New Mexico 87103

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, August 16, 2006 in the Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.

www.cabq.gov

You should contact Claire Senova at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at 924-3902 or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 19 2006

5. Project # 1003102

06DRB-00832 Major-Preliminary Plat Approval
06DRB-00837 Minor-Sidewalk Waiver
06DRB-00838 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 Du/Acre), located on LAGRIMA DE ORO NE, between JUAN TABO NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 04DRB-00236, 06EPC-00146, 06EPC-00147, 05DRB-00911] [*Deferred from 7/12/06*] (F-21)

At the July 19, 2006, Development Review Board meeting, with the signing of the infrastructure list dated 7/19/06 and approval of the grading plan engineer stamp dated 6/8/06, the preliminary plat was approved with the following conditions of final plat:

If the final plat is approved after 10/31/06, the subdivider must comply with City Council Resolution R-06-74 regarding Pre-Development Facility Fee Agreements with the Albuquerque Public Schools (APS).

The Home Owner's Association President shall sign the final plat. If there is no Home Owner's Association President, the owner can sign.

A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

06DRB-00935 Minor-SiteDev Plan Subd/EPC
06DRB-00936 Minor-SiteDev Plan BldPermit/EPC

INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER, (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 DU/acre) located on JUAN TABO BLVD NE, between MONTGOMERY BLVD NE and LAGRIMA DE ORO RD NE containing approximately 2 acre(s). [REF: 05DRB-00911, 06EPC-00146, 06EPC-00147] [**David Stallworth, EPC Case Planner**] [*Deferred from 7/12/06*] (F-21)



OFFICIAL NOTICE OF DECISION

PAGE 2

The site plan for subdivision and the site plan for building permit were approved with final sign off delegated to Planning for the vacation of the 35-foot roadway and public utility easement and 3 copies of the site plan.

If you wish to appeal this decision, you must do so by August 3, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

Sheran Matson, AICP, DRB Chair

Cc: Isaacson & Arfman PA, 128 Monroe St NE, 87108
Infill Solutions, Christopher Calott, 723-B Silver Ave SW, 87102
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

HS
ORIGINAL

INFRASTRUCTURE LIST
 (Rev. 9-20-05)
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

THE SOFT LOFTS

PROPOSED NAME OF PLAT AND/OR SITE

Tract 12-A, Lands of Ferrari-Esquivel-Palmer

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		20' F-F	Residential paving including parking areas	Rozamiento Lane	Lagrima de Oro	Lagrima de Oro	/	/	/
		22' F-F	Residential paving including parking areas	Rozamiento Lane	east/west portion along	south boundary	/	/	/
		16' F-F	Residential paving	Rozamiento Lane gate access area			/	/	/
			Curb & gutter (2)	Rozamiento Lane	Lagrima de Oro	Lagrima de Oro	/	/	/
			Curb & gutter (2)	Rozamiento Lane gate access area			/	/	/
		8.5' 12' wide	parking spaces <i>incl. curb & gutter modifications</i>	Lagrima de oro	Rozamiento Lane	Rozamiento Lane	/	/	/
		4'	Concrete sidewalk (deferred)	Private esm't. between lots 5 & 6	Rozamiento Lane	Hahn Park	/	/	/
		4'	Concrete sidewalk (deferred)	Private esm't. between lots 14&15, and Lots 22&23	Rozamiento Lane	Rozamiento Lane	/	/	/
		4'	Concrete sidewalk (deferred)	Private esm't. between lots 30 & 31	Rozamiento Lane	Juan Tabo Blvd	/	/	/

ORIGINAL

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		6"	Waterline	Rozamiento Lane	Lagrima de Oro	Lagrima de Oro	/	/	/
		6"	Waterline	Rozamiento Lane	Rozamiento Lane	Exst 10" Waterline south of property	/	/	/
			Water meter for landscaping				/	/	/
							/	/	/
		8"	Sanitary Sewer	Rozamiento Lane	Lagrima de Oro	Lagrima de Oro	/	/	/
		8"	Sanitary Sewer	Public easement between lots 5 & 6	Babe Ruth Way	Hahn Park	/	/	/
		8"	Sanitary Sewer	Hahn Park Exst Sanitary Sewer easement	East Property line	Langrima de Oro	/	/	/
		8"	Exst Sanitary Sewer Abandon per DRC	Lagrima de Oro	W. Boundary line	Hahn Park Parking lot Lagrima de Oro	/	/	/
		48" 24"	Storm Drain	Exst public easement on Hahn Park	Rozamiento Lane	Hahn Park	/	/	/
		2'	concrete backyard rundown	private easement	Lot 10	Lot 17	/	/	/
		1'	concrete backyard rundown	east property line	Lot 26	Lot 34	/	/	/

(rev. 9-20-05)

ORIGINAL

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
		12"	Private PVC drain	west property line	Lot 1	Lot 9	/	/	/	
		4"	Private PVC drain	Lots 18-25	to rear adjoining lot		/	/	/	
			Concrete Sidewalk both sides (Aterras) excluding along south boundary	Rozamiento Lane	Lagrima de Ora	Lagrima de Ora	/	/	/	
			Perimeter walls	Along public right-of-way			/	/	/	
							/	/	/	
							/	/	/	
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							/	/	/	
							/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

(rev. 9-20-05)

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 All sidewalks to be deferred.
- 2 Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.
- 3 Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
- 4 All water to include fire hydrants, valves, and appurtenances per DPM.
- 5 Storm drain sizes are subject to change per final DRC determination.
- 6 Signing per DRC
- 7

AGENT / OWNER

Genevieve Donart
NAME (print)

Isaacson & Arfman, P.A.
FIRM

Genevieve Donart 6/08/06
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 07/19/06
DRB CHAIR - date

Christina Sandoval 7/19/06
PARKS & GENERAL RECREATION - date

[Signature] 7-19-06
TRANSPORTATION DEVELOPMENT - date

[Signature] 7/19/06
UTILITY DEVELOPMENT - date

Bradley L. Brigham 7/19/06
CITY ENGINEER - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 7-12-06

Date Site Plan Approved: [Signature]

Date Preliminary Plat Approved: 7-12-06

Date Preliminary Plat Expires: 7-12-07

DRB Project No.: 1003102

DRB Application No.: 06 DRB - 0032

HS
ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

THE SOFT LOFTS

PROPOSED NAME OF PLAT AND/OR ~~SITE DEVELOPMENT PLAN~~

Tract 12-A, Lands of Ferrari-Esquibel-Palmer

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

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		16' F-F	Residential paving	Rozamiento Lane gate access area			/	/	/
			Curb & gutter (2)	Rozamiento Lane	Lagrima de Oro	Lagrima de Oro	/	/	/
			Curb & gutter (2)	Rozamiento Lane gate access area			/	/	/
		8.5' / 12' wide	parking spaces <i>incl. curb & gutter modifications</i>	Lagrima de oro	Rozamiento Lane	Rozamiento Lane	/	/	/
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		4'	Concrete sidewalk (deferred)	Private esm't. between lots 14&15, and Lots 22&23	Rozamiento Lane	Rozamiento Lane	/	/	/
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		6"	Waterline	Rozamiento Lane	Rozamiento Lane	Exst 10" Waterline south of property	/	/	/
			Water meter for landscaping				/	/	/
							/	/	/
		8"	Sanitary Sewer	Rozamiento Lane	Lagrima de Oro	Lagrima de Oro	/	/	/
		8"	Sanitary Sewer	Public easement between lots 5 & 6	Babe Ruth Way	Hahn Park	/	/	/
		8"	Sanitary Sewer	Hahn Park Exst Sanitary Sewer easement	East Property line	Langrima de Oro	/	/	/
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		2'	concrete backyard rundown	private easement	Lot 10	Lot 17	/	/	/
		1'	concrete backyard rundown	east property line	Lot 26	Lot 34	/	/	/

(rev. 9-20-05)

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		4"	Private PVC drain	Lots 18-25	to rear adjoining lot		/	/	/	
			Concrete Sidewalk both sides (deterr excluding along south boundary	Rozamiento Lane	Lagrima de Ora	Lagrima de Ora	/	/	/	
			Perimeter walls	Along public right-of-way			/	/	/	
							/	/	/	
							/	/	/	
							/	/	/	
							/	/	/	
							/	/	/	
							/	/	/	
							/	/	/	
							/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature	Date	City User Dept. Signature	Date

(rev. 9-20-05)

NOTES

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- 6 Signing per DRC
- 7

AGENT / OWNER

Genevieve Donart
NAME (print)

Isaacson & Arfman, P.A.
FIRM

Genevieve Donart 6/08/06
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 07/19/06
DRB CHAIR - date

Christina Sanloval 7/19/06
PARKS & GENERAL RECREATION - date

[Signature] 7-19-06
TRANSPORTATION DEVELOPMENT - date

[Signature] 7/19/06
UTILITY DEVELOPMENT - date

Bradley L. Brigham 7/19/06
CITY ENGINEER - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003102 AGENDA#: 5 DATE: 7.19.06

1. Name: Jenny Dorast Address: Issaquah + Argman Zip: _____

2. Name: Chris Callatt Address: Infill Paluteros Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003102

AGENDA ITEM NO: 5

SUBJECT:

Preliminary Plat
Sidewalk Waiver
Sidewalk Deferral
Site Plan for BP
Site Plan for Subd

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

P.O. Box 1293

ENGINEERING COMMENTS:

Albuquerque

No objection to Sidewalk Waiver or Sidewalk Deferral request.
Minor plat comments.
Infrastructure List comments.
Site plan comments.

New Mexico 87103

An approved drainage report dated 6-08-06 is on file for Preliminary Plat approval.
Provide a vacation request for the PUE.

www.cabq.gov

RESOLUTION:

signed I.L.

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: JULY 19, 2006

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

#5

PAID RECEIPT

APPLICANT NAME INFILL SOLUTIONS
AGENT ISAACSON & ARFMAN
ADDRESS _____
PROJECT & APP # 1003102/06 DEB 00832
PROJECT NAME THE SOFT LOFTS

\$ _____ 441032/3424000 Conflict Management Fee
\$ 110.00 441006/4983000 DRB Actions DEFERRAL
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 110.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

7/19/2006 9:41AM LOC: ANNX
RECEIPT# 00061503 WS# 008 TRANSH# 0007
Account 441006 Fund 0110
Activity 4983000 TRSCXG
Trans Amt \$110.00
J24 Miss

\$110.00
VI \$110.00
CHANGE \$0.00

Thank You



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 12, 2006 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 1:20 P.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1004355**
06DRB-00808 Major-Vacation of Public Easements

WILSON AND COMPANY agent(s) for KB HOMES request(s) the above action(s) for all or a portion of Tract(s) 2, **VISTA VIEJA, UNIT 2**, zoned R-1 residential zone, located on SCENIC RD NW, between 81ST ST NW and ALBERICOQUE PL NW containing approximately 41 acre(s). [REF: 04DRB-01522, 04DRB-01523, 04DRB-01524, PROJECT #1003470] (D-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

2. **Project # 1003102**
06DRB-00832 Major-Preliminary Plat Approval
06DRB-00837 Minor-Sidewalk Waiver
06DRB-00838 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 Du/Acre), located on LAGRIMA DE ORO NE, between JUAN TABO NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 04DRB-00236, 06EPC-00146, 06EPC-00147, 05DRB-00911] [Deferred from 7/12/06] (F-21) **DEFERRED AT THE AGENT'S REQUEST TO 7/19/06.**

- 06DRB-00935 Minor-SiteDev Plan Subd/EPC
06DRB-00936 Minor-SiteDev Plan BldPermit/EPC

INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER, (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 DU/acre) located on JUAN TABO BLVD NE, between MONTGOMERY BLVD NE and LAGRIMA DE ORO RD NE containing approximately 2 acre(s). [REF: 05DRB-00911, 06EPC-00146, 06EPC-00147] [David Stallworth, EPC Case Planner] [Deferred from 7/12/06] (F-21) **DEFERRED AT THE AGENT'S REQUEST TO 7/19/06.**

3. **Project # 1004184**
06DRB-00819 Major-Bulk Land Variance
06DRB-00820 Minor-Prelim&Final Plat Approval

COMMUNITY SCIENCES CORP agent(s) for TOM SALAZAR request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF SALAZAR FAMILY TRUST ETAL**, zoned RLT AND SU-1 MIXED USE, located on VERMEJO PARK RD SW, between 98TH ST SW and UNSER BLVD SW containing approximately 149 acre(s). [REF: 05DRB-00810, 05DRB-00811] (N-9) **BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR REMOVAL OF PUBLIC UTILITY EASEMENT, DEDICATION OF PERMANENT 98TH STREET EASEMENT, AMAFCA'S SIGNATURE AND PLANNING FOR ZONING ON FIRST PAGE OF PLAT, RECORD THE PLAT, 15-DAY APPEAL PERIOD AND NOTICE OF SUBDIVISION PLAT CONDITIONS DOCUMENT.**

4. **Project # 1004715**
06DRB-00813 Major-Preliminary Plat Approval
06DRB-00814 Major-Vacation of Public Easements
06DRB-00815 Minor-Subd Design (DPM) Variance
06DRB-00816 Minor-Sidewalk Waiver
06DRB-00817 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, JUAN TABO HILLS, UNIT 1 (to be known as **JUAN TABO HILLS, UNIT 2**) zoned R-D residential and related uses zone, Developing Area, located on JUAN TABO BLV D SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 83 acre(s). (M-21, M-22) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/12/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 2/9/06 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: IF THE FINAL PLAT IS APPROVED AFTER 10/31/06, THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS) AND THE DEVELOPER SHALL ESTABLISH EITHER AN AVIGATION EASEMENT OR A COVENANT NOT TO SUE WITH THE CITY OF ALBUQUERQUE EITHER OF WHICH WOULD BE FILED WITH THE COUNTY CLERK'S OFFICE. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

06DRB-00938 Minor-SiteDev Plan Subd

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, JUAN TABO HILLS, UNIT 1 (to be known as **JUAN TABO HILLS, UNIT 2**) zoned R-D residential and related uses zone, Developing Area, located on JUAN TABO BLV D SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 83 acre(s). (M-21, M-22) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**

5. **Project # 1003613**
06DRB-00854 Major-Preliminary Plat Approval
06DRB-00855 Major-Vacation of Public Easements
06DRB-00859 Minor-SiteDev Plan Subd/EPC
06DRB-00856 Minor-Sidewalk Waiver
06DRB-00857 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for WAREHOUSE MOLDING & DOOR CORP request(s) the above action(s) for all or a portion of Tract(s) 34, MRGCD Map 39, Lot(s) 11, Rancho Rico and Lot(s) 1-4, Powell Gardens Addition (to be known as **SUNSET VILLA ADDITION**) zoned SU-1 for PRD, located on SUNSET GARDENS RD SW between ATRISCO RD SW and ARENAL DITCH, containing approximately 15 acres. [Deferred from 7/12/06] (K-12) **DEFERRED AT THE AGENT'S REQUEST TO 8/9/06.**

6. **Project # 1003247**
06DRB-00874 Major-Preliminary Plat Approval
06DRB-00876 Major-Final Plat approval
06DRB-00875 Minor-Temp Defer SDWK

QUICK DRAW ENGINEERING agent(s) for MARK VALENCIA request(s) the above action(s) for all or a portion of Lot(s) 1 & 2 VALENCIA SUBDIVISION (to be known as **CORONA DEL SOL**) zoned R-2 residential townhomes, located on ALAMOGORDO NW, between ST JOSEPH NW and TUCSON NW containing approximately 1 acre(s). [REF: 04DRB-00190, 05DRB-00498] (G-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/6/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/16/04 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE 15-DAY APPEAL PERIOD AND TO RECORD. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

7. **Project # 1003469**
06DRB-00882 Major-Vacation of Public Easements

TERRAMETRICS OF NEW MEXICO agent(s) for JEFFREY & LORRI ZUMWALT AND ED & CHARLENE WHITEHOUSE request(s) the above action(s) for Lot(s) 7A-P1, 8A-P1 & 9A-P1, **OAKLAND HEIGHTS**, zoned R-D (3 Du/Acre) located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). [REF: 04DRB-00891] (C-20) **THE VACATION WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A CONDITION OF FINAL**

PLAT: SHOW PEDESTRIAN EASEMENT AT THE END OF THE CUL-DE-SAC.

8. **Project # 1003886**
06DRB-00861 Major-Preliminary Plat Approval
06DRB-00862 Major-Vacation of Pub Right-of-Way
06DRB-00864 Major-Vacation of Public Easements
06DRB-00863 Minor-Vacation of Private Easements
06DRB-00867 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for HOME SITE FIVE request(s) the above action(s) for all or a portion of Tract(s) C & 42, MESA VILLAGE SUBDIVISION (to be known as **SILVER LEAF SUBDIVISION**) zoned R-3, located on LOMAS BLVD NE, between SELLARS DR NE and EASTERDAY NE containing approximately 52 acre(s). [REF: 05DRB-01831] (J-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/12/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/9/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: IF THE FINAL PLAT IS APPROVED AFTER 10/31/06, THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

9. **Project # 1004974**
06DRB-00884 Major-SiteDev Plan Subd
06DRB-00885 Major-SiteDev Plan Bldg Permit

STUDIO SW ARCHITECTS agent(s) for SAN PEDRO EQUITIES request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3, 30, 31 and 32, Tract(s) A, Block(s) 34, **NORTH ALBUQUERQUE ACRES**, zoned SU-2, IP, located on SAN PEDRO NE BETWEEN HOLLY NE AND CARMEL NE containing approximately 5 acres.[REF: AX-84-9,Z-84-41] [Deferred from 7/12/06] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/16/06.**

10. **Project # 1003703**
06DRB-00886 Major-Preliminary Plat
Approval
06DRB-00887 Major-Vacation of Public
Right-of-Way
06DRB-00888 Minor-Temp Defer SDWK

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13, 14, 15, 16, 19 & 20, Block(s) 2, Tract(s) 3, Unit(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as **EAGLE'S VIEW ESTATES**, zoned RD, located on VENTURA NE between EAGLE ROCK NE and OAKLAND NE containing approximately 6 acres. [REF: 04DRB-01533] (C-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/12/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/24/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT APPROVAL: THE DEDICATION ALONG EAGLE ROCK SHALL BE SHOWN ON THE FINAL PLAT PRIOR TO APPROVAL. THE FIRE DEPARTMENT MUST APPROVE THE HAMMERHEAD PRIOR TO FINAL PLAT APPROVAL. IF THE FINAL PLAT IS APPROVED AFTER 10/31/06, THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). THE PROVISION OF A GRADING PLAN FOR MS OTTMEYER'S LOT IS REQUIRED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

11. **Project # 1004240**
06DRB-00890 Major-Preliminary Plat
Approval
06DRB-00891 Minor-Sidewalk Waiver
06DRB-00892 Minor-Temp Defer SDWK
06DRB-00893 Minor-Vacation of Private
Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lot(s) A-1 and A-2, LANDS OF E. MAS (to be known as **VILLAS LAS MANANITAS SUBDIVISION**, zoned SU-1 FOR C-1 AND R-1, located on INDIAN SCHOOL RD NW between the ALAMEDA DRAIN AND RIO GRANDE BLVD NW containing approximately 5 acres. [REF: 05DRB-00918] [Deferred from 7/12/06] (H-13) **DEFERRED AT THE AGENT'S REQUEST TO 7/26/06.**

12. **Project # 1004932**
06DRB-00889 Major-Vacation of Public
Right-of-Way

RIMCON INC., WALTER TILLEY agent(s) for ALAN MALOTT request(s) the above action(s) for Lot(s) B, Block(s) 5, **MONTE VISTA ADDITION**, zoned C-1, located on CAMPUS BLVD NE between TULANE DR NE and CARLISLE NE containing approximately 1 acre(s). [REF: 06DRB-00775] (K-16) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

13. **Project # 1003612**
06DRB-00737 Major-Preliminary Plat
Approval
06DRB-00738 Major-Vacation of Pub
Right-of-Way
06DRB-00739 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 37, TOWN OF ATRISCO GRANT (to be known as **SUNDORO SOUTH, UNIT 9**) zoned SU-2 R-LT, located on ENDEE RD NW, between 98TH ST NW and 94TH ST NW containing approximately 6 acre(s). [REF: 04DRB-01868] [*Deferred from 6/21/06 & 6/28/06 & 7/12/06*] (J-9) **DEFERRED AT THE BOARD'S REQUEST TO 7/26/06.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

14. **Project # 1001275**
06DRB-00931 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART & ASSOCIATES agent(s) for DOPPCO DEVELOPMENTS request(s) the above action(s) for all or a portion of Lot(s) 2, LOWES SUBDIVISION (to be known as **SHOPPES OF ALAMEDA**) zoned SU-1 with Permissive Use, located on ALAMEDA NW, between COORS BLVD NW and ELLISON DR NW containing approximately 4 acre(s). [**Stephanie Shumsky, EPC Case Planner**] (A-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/12/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR 3 COPIES OF THE SITE PLAN AND THE EPC CASE PLANNER'S INITIALS.**

15. **Project # 1003272**
06DRB-00941 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING agent(s) for AMERI CONTRACTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 2-A-1-B-2, 3-A and 4-A-1, **ALBUQUERQUE WEST, UNIT 2**, zoned SU-1 PDA to include C-3 uses, located on PASEO DEL NORTE NW, between COORS BLVD NW and EAGLE RANCH RD NW containing approximately 10 acre(s). [REF: 06EPC-00283] **[Stephanie Shumsky, EPC Case Planner]** *[Deferred from 7/12/06]* (C-13) **DEFERRED AT THE AGENT'S REQUEST TO 7/26/06.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

16. **Project # 1004223**
06DRB-00913 Minor-Extension of
Preliminary Plat

SURVEYS SOUTHWEST LTD agent(s) for LUTHER MARTINEZ request(s) the above action(s) for all or a portion of Tract(s) 6-B **SUNDT'S INDUSTRIAL CENTER**, with Parcel(s) D of **RENAISSANCE CENTER III**, zoned M-2 & SU-1 IP, located on MONTANO RD NE, between ALEXANDER BLVD NE and DESERT SURF CIRCLE NE containing approximately 9 acre(s). [REF: 05DRB-00884, 05DRB-00885] (F-16) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

17. **Project # 1004120**
06DRB-00918 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for ROBERT RUTH request(s) the above action(s) for Lot(s) 30-A, 30-B-2-A & 30-B-2-B, **ALVARADO GARDENS, UNIT 3**, zoned R-2 residential zone, located on CANDELARIA RD NW, between GLENWOOD NW and VERANDA RD NW containing approximately 2 acre(s). [REF: 05DRB-00622] (G-12) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT TO CHECK FOR 6-FOOT SIDEWALKS.**

18. **Project # 1001789**
06DRB-00924 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS agent(s) for DASKALOS NOB HILL request(s) the above action(s) for all or a portion of Lot(s) 28-A-1, Block(s) 6, **MONTE VISTA**, zoned SU-2/CCR, located on CENTRAL AVE NE, between TULANE NE and WELLESLEY NE containing approximately 1 acre(s). (K-16) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

19. **Project # 1004604**
06DRB-00929 Minor-Prelim&Final Plat
Approval

CARTESIAN SURVEYS INC agent(s) for SILVERTON CUSTOM HOMES INC request(s) the above action(s) for all or a portion of Lot(s) 8-11, Block(s) 6, **BELMONT PLACE ADDITION**, zoned R-1, located on 5TH ST NW, between FREEMAN AVE NW and SAN CLEMENTE NW containing approximately 1 acre(s). [REF: 06DRB-00153] (G-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

20. **Project # 1004782**
06DRB-00928 Minor-Prelim&Final Plat
Approval

CARTESIAN SURVEYS INC agent(s) for THOMAS P GUTIERREZ request(s) the above action(s) for all or a portion of Lot(s) 18, Block(s) 1, **SLOAN'S ACRES**, zoned R-1, located on ESTANCIA NW, between LADERA DR NW and WESTERN TRAILS NW containing approximately 1 acre(s). [Deferred from 7/12/06] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 7/26/06.**

21. **Project # 1003739**
06DRB-00115 Minor- Final Plat Approval

WILKS COMPANY agent(s) for THE SHELDON CO LLC request(s) the above action(s) for all or a portion of Lot(s) 12-16, Block(s) 8, **ENCHANTED MESA SUBDIVISION**, zoned C-1 neighborhood commercial zone, located on CHELWOOD PARK BLVD NE, between MENAUL BLVD NE and PHOENIX AVE NE containing approximately 1

acre(s). *[Final Plat Indef deferred for SIA 2/8/06]* (H-22)
**THE FINAL PLAT WAS APPROVED WITH FINAL SIGN
OFF DELEGATED TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

22. **Project # 1004986**
06DRB-00922 Minor-Sketch Plat or Plan
- STEPHEN & PATRICIA DWYER request(s) the above action(s) for all or a portion of Lot(s) 2, Tract(s) 2, **FOUR HILLS VILLAGE INSTALLMENT 11-A**, zoned R-1 residential zone, located on STAGECOACH RD SE, between PEDREGOSO PL SE and LA CABRA DR SE containing approximately 1 acre(s). *[Deferred from 7/12/06]* (M-23) **DEFERRED AT THE APPLICANT'S REQUEST TO 7/19/06.**
23. **Project # 1004988**
06DRB-00926 Minor-Sketch Plat or Plan
- FORSTBAUER SURVEYING LLC agent(s) for EAGLE/3-V INVESTORS LLC request(s) the above action(s) for all or a portion of Tract(s) 2-D, **EAGLE RANCH**, zoned O-1, located on EAGLE RANCH RD NW between CONGRESS AVE NW and IRVING BLVD NW containing approximately 4 acre(s). (C-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
24. **Project # 1004989**
06DRB-00933 Minor-Sketch Plat or Plan
- BOHANNAN HUSTON INC agent(s) for MESA VERDE DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) A, **WILDERNESS SUBDIVISION UNIT 2**, zoned SU-2 HD R-R, located on HIGH DESERT PLACE NE, between TRAIL HEAD RD NE and EMBUDITO VIEW CT NE containing approximately 4 acre(s). [REF: 04DRB-00713, 04DRB-01723, 05DRB-00477] (F-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

25. Approval of the Development Review Board Minutes for June 28, 2006. **THE DRB MINUTES FOR JUNE 28, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 1:20 P.M.

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003102 AGENDA#: 2 DATE: 7-12-06

1. Name: Jenny Donant Address: Jackson + Argman Zip: _____
2. Name: Chris Callath Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____



James D.
Hinde/AVIATION/CABQ
07/12/2006 07:11 AM

To Sheran A. Matson/PLN/CABQ@COA
cc mrice@cabq.gov, Richard W. Dineen/PLN/CABQ@COA,
Steven L. Picou/AVIATION/CABQ@COA
bcc
Subject Juan Tabo Residential Development

cmd 2

Sheran

As a follow up to our discussion earlier this week, I would offer the following:

1. The new development is directly under the flight path of the main runway (8-26) at the Sunport and will most definitely be impacted by aircraft noise.
2. The development is outside of the current 65db noise contour and according to current City zoning ordinance and Federal regulation the residential construction cannot be prohibited.
3. We are very concerned that persons considering purchasing homes in the area be advised as to the proximity of the airport and recommend that the developer establish either an Avigation Easement or a Covenant Not to Sue with the City of Albuquerque, either of which would be filed with the County Clerk's office and would provide a means to disclose to buyers or other developers that they will be impacted by aircraft noise. This will also protect the City and/or the seller/developer from repercussions by the buyers. We are establishing a Covenant Not to Sue with the developers of Mesa del Sol for this very reason.
4. We would be more than happy to sit down with the developer and discuss either the Avigation Easement or the Covenant Not to Sue. It is a relatively simple process and provides information and protection for all parties involved. If there is interest in doing this, please feel free to contact me at the number below.

Thanks for allowing our input on the issue.

Jim Hinde
City of Albuquerque, Aviation Department
Planning Manager
Business Development
505-244-7805
505-842-7334 FAX



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003102

AGENDA ITEM NO: 2

SUBJECT:

Sidewalk Variance
Sidewalk Deferral
Preliminary Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

Albuquerque

An approved drainage report 6-8-06 is on file for Preliminary Plat approval.
An approved infrastructure list is required for Preliminary Plat approval.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED 6-19-06 X; COMMENTS PROVIDED ____; WITHDRAWN

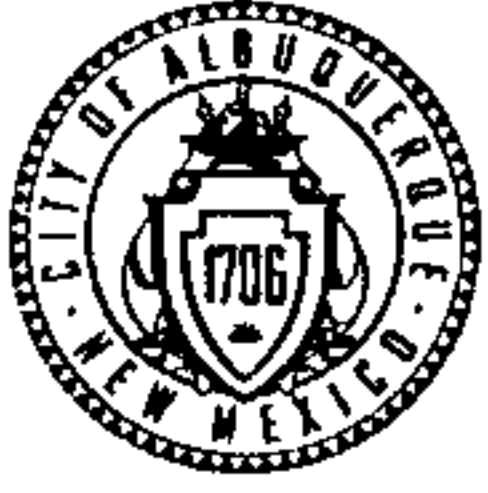
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: July 12, 2006



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

July 12, 2006

Project # 1003102

06DRB-00832 Major-Preliminary Plat Approval
 06DRB-00837 Minor-Sidewalk Waiver
 06DRB-00838 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 Du/Acre), located on LAGRIMA DE ORO NE, between JUAN TABO NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 04DRB-00236, 06EPC-00146, 06EPC-00147, 05DRB-00911] (F-21)

AMAFCA No adverse comments.
 COG No adverse comments.
 Transit No objection to the request.
 Zoning Enforcement No adverse comments.
 Neighborhood Coordination Letter sent to S.Y. Jackson NA (R)

APS

The **Soft Lofts** is a proposed development consisting of 34 townhouses. The development is located within the following attendance areas: Mitchell Elementary School, Eisenhower Middle School, and Eldorado High School. All three schools will have capacity to absorb any student growth from the proposed development.

School	2006-07 Projections	2006-07 Capacity	Space Available
Mitchell	410	479	69
Eisenhower	921	1,021	100
Eldorado	2,230	2,300	70

In regards to sidewalks, sidewalks near schools should not be waived as this would discourage walking to school. Subdivisions that are located within one mile of an elementary school, 1 ½ miles of a middle school, and 2 miles of a high school should be required to provide sidewalks/paths for students to access nearby schools.

Police Department

A review of the following DRB case(s) indicates the following problems or crime may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Traffic volume and need for a neighborhood association.

Fire Department

Fire Department is not approving street widths less than 32 feet at this time. Per Ray Sanchez, AFD. All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

PNM Electric & Gas

Approved.

Comcast

No comments received.

QWEST

No comments received.

Environmental Health

No comments received.

M.R.G.C.D.

No comments received.

Open Space Division

No adverse comments.

City Engineer

An approved drainage report is required for Preliminary Plat approval. Offsite easement is in file.

Transportation Development

The plat needs to be part of the approved EPC submittal. Transportation objects to the sidewalk waiver. Where is the infrastructure list? Are these P2 lots?

Parks & Recreation

What is the status of the work at Roadrunner Little League in exchange for the easements.

Utilities Development

Need a Vacation application for easements shown on Plat to be vacated. Can not approve Preliminary Plat without an infrastructure list. List and plat must meet requirements of Water/sewer Availability statement. No objection to Sidewalk Waiver/Deferral.

Planning Department

Perimeter wall design was approved by EPC in SPBP.

The public water & sanitary sewer easement should be granted to the City of Albuquerque.

Waiving sidewalks throughout the complex is usually not a good idea. No problem with deferring the sidewalks until construction is complete.

~~Planning was unable to compare the plat to the EPC approved site plan as it was not submitted with this application. Presumably the site plan will be submitted in time to be heard as a minor action with this plat. The Subdivision Ordinance requires site plan sign off by DRB before approval of platting. Agent was notified on June 23rd.~~

Be aware that residential subdivision preliminary plat and final plat approvals occurring after October 31, 2006, are subject to the provisions of City Council Resolution R-06-74. The complete resolution is available on the City website: www.cabq.gov/citycouncil.

Impact Fee Administrator

Construction of a new single family residence within the proposed subdivision will require payment of Impact Fees. Based on a house size of approximately 2,000 square feet, it is estimated that impact fees will total approximately \$2,005 if a permit is obtained prior to December 29, 2006, and the full impact fee of \$2,992 would be payable thereafter.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc: Infill Solutions, 723-B Silver Ave SW, 87102

Isaacson & Arfman PA, 128 Monroe St NE, 87108



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, July 12, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1004355

06DRB-00808 Major-Vacation of Public Easements

WILSON AND COMPANY agent(s) for KB HOMES request(s) the above action(s) for all or a portion of Tract(s) 2, **VISTA VIEJA, UNIT 2**, zoned R-1 residential zone, located on SCENIC RD NW, between 81ST ST NW and ALBERICOQUE PL NW containing approximately 41 acre(s). [REF: 04DRB-01522, 04DRB-01523, 04DRB-01524, PROJECT #1003470] (D-9)

Project # 1003102

06DRB-00832 Major-Preliminary Plat Approval
06DRB-00837 Minor-Sidewalk Waiver
06DRB-00838 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, **LANDS OF FERRARI-ESQUIBEL-PALMER** (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 Du/Acre), located on LAGRIMA DE ORO NE, between JUAN TABO NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 04DRB-00236, 06EPC-00146, 06EPC-00147, 05DRB-00911] (F-21)

Project # 1004184

06DRB-00819 Major-Bulk Land Variance
06DRB-00820 Minor-Prelim&Final Plat Approval

COMMUNITY SCIENCES CORP agent(s) for TOM SALAZAR request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF SALAZAR FAMILY TRUST ETAL**, zoned RLT AND SU-1 MIXED USE, located on VERMEJO PARK RD SW, between 98TH ST SW and UNSER BLVD SW containing approximately 149 acre(s). [REF: 05DRB-00810, 05DRB-00811] (N-9)

Project # 1004715

06DRB-00813 Major-Preliminary Plat Approval
06DRB-00814 Major-Vacation of Public Easements
06DRB-00815 Minor-Subd Design (DPM) Variance
06DRB-00816 Minor-Sidewalk Waiver
06DRB-00817 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, **JUAN TABO HILLS, UNIT 1** (to be known as **JUAN TABO HILLS, UNIT 2**) zoned R-D residential and related uses zone, Developing Area, located on JUAN TABO BLV D SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 83 acre(s). (M-21, M-22)

SEE PAGE 2 . . .



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1003613

06DRB-00854 Major-Preliminary Plat Approval
06DRB-00855 Major-Vacation of Public
Easements
06DRB-00859 Minor-SiteDev Plan Subd/EPC
06DRB-00856 Minor-Sidewalk Waiver
06DRB-00857 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for WAREHOUSE MOLDING & DOOR CORP request(s) the above action(s) for all or a portion of Tract(s) 34, MRGCD Map 39, Lot(s) 11, Rancho Rico and Lot(s) 1-4, Powell Gardens Addition (to be known as **SUNSET VILLA ADDITION**) zoned SU-1 for PRD, located on SUNSET GARDENS RD SW between ATRISCO RD SW and ARENAL DITCH, containing approximately 15 acres. (K-12)

Project # 1003247

06DRB-00874 Major-Preliminary Plat Approval
06DRB-00876 Major-Final Plat approval
06DRB-00875 Minor- Minor-Temp Defer
SDWK

QUICK DRAW ENGINEERING agent(s) for MARK VALENCIA request(s) the above action(s) for all or a portion of Lot(s) 1 & 2 VALENCIA SUBDIVISION (to be known as **CORONA DEL SOL**) zoned R-2 residential townhomes, located on ALAMOGORDO NW, between ST JOSEPH NW and TUCSON NW containing approximately 1 acre(s). [REF: 04DRB-00190, 05DRB-00498] (G-11)

Project # 1003469

06DRB-00882 Major-Vacation of Public
Easements

TERRAMETRICS OF NEW MEXICO agent(s) for JEFFREY & LORRI ZUMWALT AND ED & CHARLENE WHITEHOUSE request(s) the above action(s) for Lot(s) 7A-P1, 8A-P1 & 9A-P1, **OAKLAND HEIGHTS**, zoned R-D (3 Du/Acre) located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). [REF: 04DRB-00891] (C-20)

Project # 1003886

06DRB-00861 Major-Preliminary Plat Approval
06DRB-00862 Major-Vacation of Pub Right-of-
Way
06DRB-00864 Major-Vacation of Public
Easements
06DRB-00863 Minor-Vacation of Private
Easements
06DRB-00867 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for HOME SITE FIVE request(s) the above action(s) for all or a portion of Tract(s) C & 42, MESA VILLAGE SUBDIVISION (to be known as **SILVER LEAF SUBDIVISION**) zoned R-3, located on LOMAS BLVD NE, between SELLARS DR NE and EASTERDAY NE containing approximately 52 acre(s). [REF: 05DRB-01831] (J-20)

SEE PAGE 3 . . .



PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE

PAGE 3

Project # 1004974

06DRB-00884 Major-SiteDev Plan Subd
06DRB-00885 Major-SiteDev Plan Bldg Permit

STUDIO SW ARCHITECTS agent(s) for SAN PEDRO EQUITIES request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3, 30, 31 and 32, Tract(s) A, Block(s) 34, NORTH ALBUQUERQUE ACRES, zoned SU-2, IP, located on SAN PEDRO NE BETWEEN HOLLY NE AND CARMEL NE containing approximately 5 acres. [REF:AX-84-9,Z-84-41] (C-18)

Project # 1003703

06DRB-00886 Major-Preliminary Plat Approval
06DRB-00887 Major-Vacation of Public Right-of-Way
06DRB-00888 Minor-Temp Defer SDWK

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13, 14, 15, 16, 19 & 20, Block(s) 2, Tract(s) 3, Unit(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as **EAGLE'S VIEW ESTATES**, zoned RD, located on VENTURA NE between EAGLE ROCK NE and OAKLAND NE containing approximately 6 acres. [REF: 04DRB-01533] (C-20)

Project # 1004240

06DRB-00890 Major-Preliminary Plat Approval
06DRB-00891 Minor-Sidewalk Waiver
06DRB-00892 Minor-Temp Defer SDWK
06DRB-00893 Minor-Vacation of Private Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lot(s) A-1 and A-2, LANDS OF E. MAS (to be known as **VILLAS LAS MANANITAS SUBDIVISION**, zoned SU-1 FOR C-1 AND R-1, located on INDIAN SCHOOL RD NW between the ALAMEDA DRAIN AND RIO GRANDE BLVD NW containing approximately 5 acres. [REF: 05DRB-00918] (H-13)

Project # 1004932

06DRB-00889 Major-Vacation of Public Right-of-Way

RIMCON INC., WALTER TILLEY agent(s) for ALAN MALOTT request(s) the above action(s) for Lot(s) B, Block(s) 5, **MONTE VISTA ADDITION**, zoned C-1, located on CAMPUS BLVD NE between TULANE DR NE and CARLISLE NE containing approximately 1 acre(s). [REF: 06DRB-00775] (K-16)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JUNE 26, 2006.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: JULY 12, 2006
Zone Atlas Page: F-21-Z
Notification Radius: 100 Ft.

Project# 1003102
App#06DRB-00832
App#06DRB-00837
App#06DRB-00838

Cross Reference and Location: LAGRIMA DE ORO NE BETWEEN JUAN TABO
NE AND HAHN PARK

Applicant: INFILL SOLUTIONS
Address: 723-B SILBER AVE SW
ALBUQUERQUE, NM 87102

Agent: DEVELOPER
ISAACSON & ARFMAN, PA
128 MONROE ST NE
ALBUQUERQUE, NM 87108

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

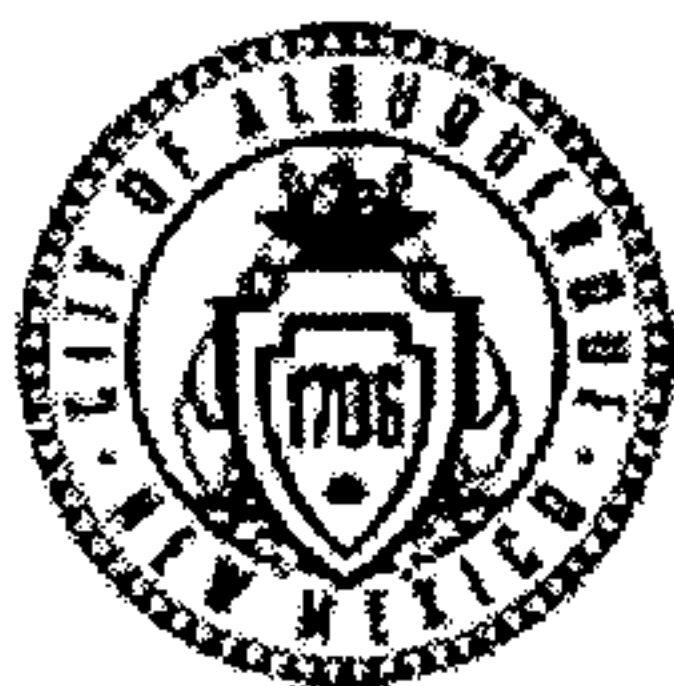
Date Mailed: JUNE 23, 2006
Signature: YVONNE SAAVEDRA

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # 1003102
APPLICATION # _____

PAGE 1 **OF** 2

ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
F-21	1021061	510-089	401-14	✓ Dup
		510-074	12	✓
		494-057	11	✓
		509-040	09	✓
		484-040	37	✓
		467-040	22	✓
		477-074	20	✓ COA
		476-089	19	✓ Dup 2
		443-075	27	✓ COA
		442-090	28	✓ COA
		442-057	26	✓ COA
		442-040	25	✓ COA
		489-116	403-16	✓
		442-116	29	✓ COA
	1022061	010-128	304-08	✓
		010-118	07	✓



mainframe@coa1mp3.ca

bq.gov

06/20/2006 01:52 PM

To

cc

bcc

Subject

1 R E C O R D S W I T H L A B E L S PAGE
1
01021061 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0102106151008940114 LEGAL: 14 R EPL OF LANDS OF FERRARI-ESQUIBEL-PALMER
CONT 0 LAND USE:
PROPERTY ADDR: 00000 JUAN TABO
OWNER NAME: ESQUIBEL RAY O & DONNA RAE
OWNER ADDR: 04320 ASPEN NE
ALBUQUERQUE NM 87110
0102106151007440112 LEGAL: 12 R EPL OF LANDS OF FERRARI-ESQUIBEL-PALMER
CONT 1 LAND USE:
PROPERTY ADDR: 00000 LAGRIMA DE ORO
OWNER NAME: LOPEZ ALFRED L SR ETUX ETAL
OWNER ADDR: 04320 ASPEN NE
ALBUQUERQUE NM 87110
0102106149405740111 LEGAL: TRAC T A PLAT OF TRACT A, LANDS OF DOUBLE
RAINBOW C LAND USE:
PROPERTY ADDR: 00000 JUAN TABO
OWNER NAME: SPIRIT MASTER HOLDINGS SPE LLC
OWNER ADDR: 02333 WISCONSIN ST NE
ALBUQUERQUE NM 87110
0102106150904040109 LEGAL: TR C NOR THWEST CORNER OF MONTGOMERY & JUAN TABO
BL LAND USE:
PROPERTY ADDR: 00000 JUAN TABO
OWNER NAME: 4425 JUAN TABO LLC & OTTO H BU
OWNER ADDR: PO BOX 14342
ALBUQUERQUE NM 87191
0102106148404040137 LEGAL: LOT 22D PLAT OF LOT 22D LANDS OF
FERRARI-ESQUIBEL- LAND USE:
PROPERTY ADDR: 00000 MONTGOMERY
OWNER NAME: DAK PROPERTIES LLC
OWNER ADDR: 10899 MONTGOMERY BL NE
ALBUQUERQUE NM 87111
0102106146704040122 LEGAL: LT 2 2A P LAT OF LOTS 22A, 22B & 22C LANDS OF
FERRAR LAND USE:
PROPERTY ADDR: 00000 JUAN TABO
OWNER NAME: MANN RICHARD D & MARGARET P
OWNER ADDR: 10723 EDITH NE
ALBUQUERQUE NM 87113
0102106147707440120 LEGAL: S1/2 SW NE SE SE SEC 33 T11N R4E
LAND USE:
PROPERTY ADDR: 00000 MONTGOMERY
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: PO BOX 1293
ALBUQUERQUE NM 87103
0102106147608940119 LEGAL: 19 R EPL OF LANDS OF FERRARI-ESQUIBEL-PALMER
CONT 1 LAND USE:
PROPERTY ADDR: 00000 MONTGOMERY
OWNER NAME: ESQUIBEL RAY O & DONNA RAE
OWNER ADDR: 4320 ASPEN NE
ALBUQUERQUE NM 87110

PAGE 2

0102106144307540127 LEGAL: TR I N S1 /2 SE1/4 NW1/4 SE1/4 SE1/4 EXC NWLY
PORT O LAND USE:
PROPERTY ADDR: 00000 MONTGOMERY
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: PO BOX 1293
ALBUQUERQUE NM 87103
0102106144209040128 LEGAL: THE SOUT H PORTION OF THE N1/2 SE1/4 NW1/4 SE1/4
SE LAND USE:
PROPERTY ADDR: 00000 MONTGOMERY
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: PO BOX 1293
ALBUQUERQUE NM 87103
0102106144205740126 LEGAL: N1/2 NE SW SE SE SEC 33 T11N R4E
LAND USE:
PROPERTY ADDR: 00000 MONTGOMERY
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: PO BOX 1293
ALBUQUERQUE NM 87103
0102106144204040125 LEGAL: S1/2 NE SW SE SE SEC 33 T11N R4E
LAND USE:
PROPERTY ADDR: 00000 EUBANK
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: PO BOX 1293
ALBUQUERQUE NM 87103
0102106148911640316 LEGAL: TR S S-1 REPL OF TR SS ST STEPHENS UNITED
METHODIST LAND USE:
PROPERTY ADDR: 00000 JUAN TABO
OWNER NAME: ST STEPHENS UNITED METHODIST
OWNER ADDR: 04601 JUAN TABO BL NE
ALBUQUERQUE NM 87111
0102106144211640329 LEGAL: TRAC T A REPL OF LTS 29 & 30 LANDS OF
FERRARI-ESQUI LAND USE:
PROPERTY ADDR: 00000 LAGRIMA DE ORO
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: PO BOX 1293
ALBUQUERQUE NM 87103
0102206101012830408 LEGAL: 008 B OF THE NEW HOLIDAY PARK SUBDIVISION
LAND USE:
PROPERTY ADDR: 00000 ALGIRES
OWNER NAME: WEAVER JEFFREY T & LEANNE M
OWNER ADDR: 04635 ALGIERS DR NE
ALBUQUERQUE NM 87111
0102206101011830407 LEGAL: 007 B OF THE NEW HOLIDAY PARK SUBD
LAND USE:
PROPERTY ADDR: 00000 ALGIERS
OWNER NAME: ORTEGA MARIE H
OWNER ADDR: 04631 ALGIERS DR NE
ALBUQUERQUE NM 87111
0102206101011030406 LEGAL: 006 B OF THE NEW HOLIDAY PARK SUBD 1 & 2
LAND USE:
PROPERTY ADDR: 00000 ALGIERS
OWNER NAME: MCFARLAND SEAN W & PAMELA A
OWNER ADDR: 04627 ALGIERS DR NE
ALBUQUERQUE NM 87111

PAGE 3

0102206101010330405 LEGAL: 005 B OF THE NEW HOLIDAY PARK SUBD
LAND USE:
PROPERTY ADDR: 00000 ALGIERS
OWNER NAME: D'ORLANDO PATRICK A & CECILIA
OWNER ADDR: 04623 ALGIERS NE
ALBUQUERQUE NM 87111
0102206101009530404 LEGAL: 004 B OF THE NEW HOLIDAY PARK SUBD
LAND USE:
PROPERTY ADDR: 00000 ALGIERS
OWNER NAME: HERRERA ROBERT J & PATRICIA L
OWNER ADDR: 04613 ALGIERS NE
ALBUQUERQUE NM 87111
0102206101008830403 LEGAL: 003 B OF THE NEW HOLIDAY PARK SUBD
LAND USE:
PROPERTY ADDR: 00000 ALGIERS
OWNER NAME: REID PAULA J
OWNER ADDR: 04609 ALGIERS DR NE
ALBUQUERQUE NM 87111
0102206101008130402 LEGAL: 002 B OF THE NEW HOLIDAY PARK SUBD
LAND USE:
PROPERTY ADDR: 00000 ALGIERS
OWNER NAME: CLINTON TRACY M
OWNER ADDR: 04605 ALGIERS DR NE
ALBUQUERQUE NM 87111
0102206101007230401 LEGAL: 001 B OF THE NEW HOLIDAY PARK SUBD
LAND USE:
PROPERTY ADDR: 00000 ALGIERS
OWNER NAME: KADAS KIRK S
OWNER ADDR: 04601 ALGIERS DR NE
ALBUQUERQUE NM 87111
0102206101005630113 LEGAL: 011 A OF THE NEW HOLIDAY PARK SUBD
LAND USE:
PROPERTY ADDR: 00000 NASSAU
OWNER NAME: LUNA JOSE R JR ETUX
OWNER ADDR: 11200 NASSAU NE
ALBUQUERQUE NM 87111
0102206103102830101 LEGAL: TRAC T B OF THE NEW HOLIDAY PARK SUBD
LAND USE:
PROPERTY ADDR: 00000 MONTGOMERY
OWNER NAME: HEIGHTS VILLAGE LLC
OWNER ADDR: 00100 SUN AV NE
ALBUQUERQUE NM 87109

QUIT

102106150904040109 LEGAL: TR C NORTHWEST CORNER OF MONTGOMERY & JUAN TABO
PROPERTY ADDR: 4425 JUAN TABO NE

OWNERS NAME: 4425 JUAN TABO LLC & OTTO H BU
OWNERS ADDR: PO BOX 14342
 ALBUQUERQUE, NM 87191

102106147707440120 LEGAL: S1/2 SW NE SE SE SEC 33 T11N R 4E
PROPERTY ADDR: MONTGOMERY BLVD NE

OWNERS NAME: CITY OF ALBUQUERQUE
OWNERS ADDR: PO BOX 1293
 ALBUQUERQUE, NM 87103

102106147608940119 LEGAL: *19 REPL OF LANDS OF FERRARI-E SQUIBEL-PALMER
PROPERTY ADDR: MONTGOMERY BLVD NE

Q OWNERS NAME: ESQUIBEL RAY O & DONNA RAE
OWNERS ADDR: 4320 ASPEN NE
 ALBUQUERQUE, NM 87110

102106144307540127 LEGAL: TR IN S1/2 SE1/4 NW ¼ SE1/4 S E1/4 EXC NWLY SEC 33 T11N R4 E CO
PROPERTY ADDR: MONTGOMERY BLV NE

OWNERS NAME: CITY OF ALBUQUERQUE
OWNERS ADDR: PO BOX 1293
 ALBUQUERQUE, NM 87103

102106144209040128 LEGAL: THE SOUTH PORTION OF THE N1/2 SE1/4 NW1/4 SE O RT OUT TO R/W
CONT.
PROPERTY ADDR: MONTGOMERY BLVD NE

OWNERS NAME: CITY OF ALBUQUERQUE
OWNERS ADDR: PO BOX 1293
 ALBUQUERQUE, NM 87103

102106144205740126 LEGAL: N1/2 NE SW SE SE SEC 33 T11N R4E
PROPERTY ADDR: MONTGOMERY BLVD NE

OWNERS NAME: CITY OF ALBUQUERQUE
OWNERS ADDR: PO BOX 1293
 ALBUQUERQUE, NM 87103

102106144204040125 LEGAL: S1/2 NE SW SE SE SEC 33 T11 N R 4E
PROPERTY ADDR: EUBANK BLVD NE

OWNERS NAME: CITY OF ALBUQUERQUE
OWNERS ADDR: PO BOX 1293
 ALBUQUERQUE, NM 87103

102106144211640329 LEGAL: TRACT A REPL OF LTS 29 & 30 LANDS OF FERRARI CONT 2.6001 AC
M/L
PROPERTY ADDR: 10501 LAGRIMA DE ORO NE

OWNERS NAME: CITY OF ALBUQUERQUE
OWNERS ADDR: PO BOX 1293
 ALBUQUERQUE, NM 87103



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: June 9, 2006

TO CONTACT NAME: Ruth Lozano
 COMPANY/AGENCY: ISAACSON & WILMAN PA
 ADDRESS/ZIP: 128 Monroe St NE 87108
 PHONE/FAX #: 268-8828 / 268-2632

Thank you for your inquiry of 6-9-06 (date) requesting the names of Recognized

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Tract 12-A, Lands of Ferrari-Esquivel - Palmer on Juan Tabo Blvd NE between Laguna de Oro Rd & Montgomery Blvd.
 zone map page(s) F21

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

S.V. Jackson
 Neighborhood Association
 Contacts: Jeff Weaver
4435 Algiers NE 87111
856-8048 (W) 228-8378 (C)
Wanda Silva
4533 Dahu Dr NE 87111
294-9742 (W)

Neighborhood Association
 Contacts: _____

See reverse side for additional Neighborhood Association Information: YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,
Dalaina Carmora
 OFFICE OF NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

June 9, 2006

CERTIFIED MAIL 7005 1160 0001 1329 6644

Mr. Jeff Weaver
S. Y. Jackson Neighborhood Association
4635 Algiers NE
Albuquerque, NM 87111

**RE: Lot 12-A, Lands of Ferarri-Equibel-Palmer
Preliminary Plat for Soft Lofts Subdivision**

Dear Mr. Weaver:

As the consulting engineers for the above referenced site, we are writing this letter to inform the S. Y. Jackson Neighborhood Association that we are requesting approval of a preliminary plat, and a sidewalk deferral and waiver. Attached is a copy of the vicinity map showing the site location.

Please call me at 268-8828 if you have questions.

Sincerely,
ISAACSON & ARFMAN, P.A.

Genny Donart, PE
GD/gld

7005 1160 0001 1329 6644

4499 62ET 1329 1000 09TT 5002

U.S. Postal Service™		
CERTIFIED MAIL™ RECEIPT		
<i>(Domestic Mail Only; No Insurance Coverage Provided)</i>		
For delivery information visit our website at www.usps.com		
OFFICIAL USE		
ALBUQUERQUE, NM 87111		
Postage	\$ 0.39	UNIT ID: 0108
Certified Fee	2.40	
Return Receipt Fee (Endorsement Required)	1.85	Postmark Here
Restricted Delivery Fee (Endorsement Required)		Clerk: BCPXFO
Total Postage & Fees	\$ 4.64	06/09/06
Sent To	Jeff Weaver S.Y. Jackson N.A.	
Street, Apt. No.; or PO Box No.	4635 Algiers NE	
City, State, ZIP+4	Albuquerque, NM 87111	
PS Form 3800, June 2002		
See Reverse for Instructions		

Project # 1003102

INFILL SOLUTIONS
723-B SILVER AVE SW
ALBUQUERQUE, NNM 87102

Project # 1003102

DEVELOPER ISAACSON & ARFMAN, PA
128 MONROE ST NE
ALBUQUERQUE, NM 87108

Project # 1003102

JEFF WEAVER
S.Y Jackson N.A.
4635 ALGIERS NE
ALBUQUERQUE, NM 87111

Project # 1003102

WANDA SILVA
S.Y. Jackson N.A.
4533 OAHU DR NE
ALBUQUERQUE, NM 87111

102106151008940114

ESQUIBEL RAY O & DONNA RAE
4320 ASPEN NE
ALBUQUERQUE NM 87110

102106151007440112

LOPEZ ALFRED L SR ETUX ETAL
4320 ASPEN NE
ALBUQUERQUE NM 87110

102106149405740111

SPIRIT MASTER HOLDINGS SPE LL
2333 WISCONSIN ST NE
ALBUQUERQUE NM 87110

102106150904040109

4425 JUAN TABO LLC & OTTO H B
PO BOX 14342
ALBUQUERQUE, NM 87191

102106148404040137

DAK PROPERTIES LLC
10899 MONTGOMERY BL NE
ALBUQUERQUE NM 87111

102106146704040122

MANN RICHARD D & MARGARET P
10723 EDITH NE
ALBUQUERQUE NM 87113

102106148911640316

ST STEPHENS UNITED METHODIST
4601 JUAN TABO BL NE
ALBUQUERQUE NM 87111

102206101012830408

WEAVER JEFFREY T & LEANNE M
4635 ALGIERS DR NE
ALBUQUERQUE NM 87111

102206101011830407

ORTEGA MARIE H
4631 ALGIERS DR NE
ALBUQUERQUE NM 87111

102206101011030406

MCFARLAND SEAN W & PAMELA A
4627 ALGIERS DR NE
ALBUQUERQUE NM 87111

102206101010330405

D'ORLANDO PATRICK A & CECILIA
4623 ALGIERS NE
ALBUQUERQUE NM 87111

102206101009530404

HERRERA ROBERT J & PATRICIA L
4613 ALGIERS NE
ALBUQUERQUE NM 87111

102206101008830403

REID PAULA J
4609 ALGIERS DR NE
ALBUQUERQUE NM 87111

102206101008130402

CLINTON TRACY M
4605 ALGIERS DR NE
ALBUQUERQUE NM 87111

102206101007230401

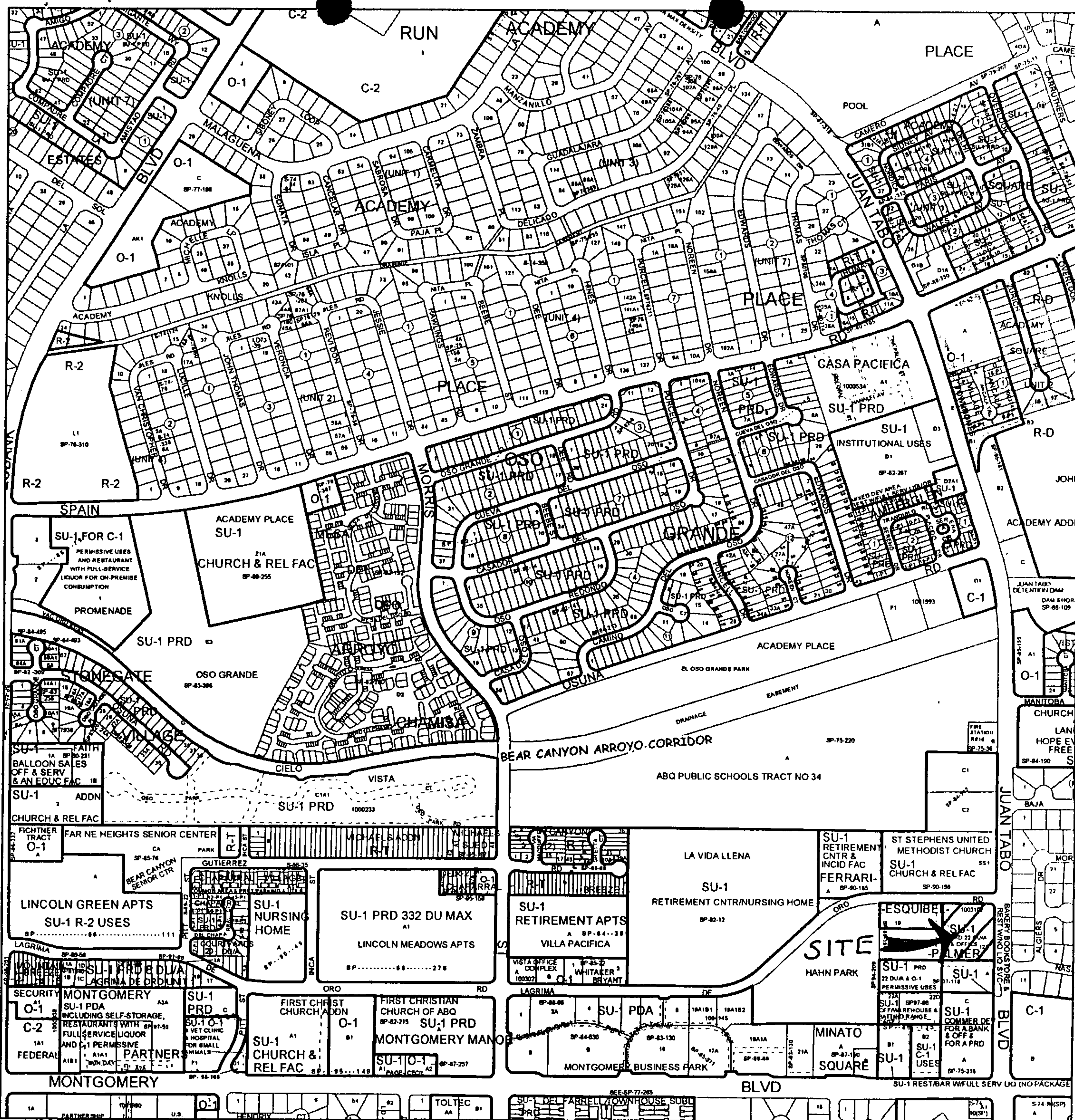
KADAS KIRK S
4601 ALGIERS DR NE
ALBUQUERQUE NM 87111

102206101005630113

LUNA JOSE R JR ETUX
11200 NASSAU NE
ALBUQUERQUE NM 87111

102206103102830101

HEIGHTS VILLAGE LLC
100 SUN AV NE
ALBUQUERQUE NM 87109



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 11/2/2005

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-21-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- ___ Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
 - ___ Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
 - ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - ___ Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
 - ___ Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DPM)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

VACATION OF PRIVATE EASEMENT

- ___ The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies**
 - ___ Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the vacation
 - ___ Letter of authorization from the grantors and the beneficiaries
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF RECORDED PLAT

- ___ **6 copies** of the recorded plat to be vacated.
 - ___ **6 copies** of documents justifying the vacation.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the vacation
 - ___ Any original and/or related file numbers are listed on the cover application
- I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

GENEVIEVE DONART
Genevieve Donart 06/09/06



Applicant name (print)
Applicant signature / date

Form revised 4/03, 10/03 and APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
00837
00838

Planner signature / date
Project # 1003102

FYI



Making History

NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

June 22, 2006

TO: Jeff Weaver and Wanda Silva, S.Y. Jackson Neighborhood Association

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: Requests the following for approximately two (2) acre(s) - Major Preliminary Plat Approval; Minor Sidewalk Waiver and Minor Temporary Deferral of Sidewalks for a proposed thirty-four (34) town homes - "The Soft Lofts".

Proposed by: Isaacson and Artman, P.A. at 268-8828

Agent for: Infill Solutions

For property located: On or near Lagrima De Oro Road NE between Juan Tabo Boulevard NE between Morris Street NE.

P.O. Box 1293

The case number(s) assigned is: 06DRB- 00832, 00837 and 00838, Project # 1003102

Albuquerque

City Planning accepted application for this request on June 9, 2006.

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

New Mexico 87103

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, July 12, 2006 in the **Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.**

www.cabq.gov

You should contact Claire Senova at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at 924-3902 or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, August 16, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1002315
06DRB-01053 Major-Vacation of Public Easements

BOHANNAN HUSTON INC agent(s) for SCOTT PATRICK HOMES INC request(s) the above action(s) for all or a portion of Lot(s) 20 **WILDERNESS VILLAGE @ HIGH DESERT, UNIT 3**, zoned SU-2 HD R-R, located on FOOTHILLS TRAIL NE, between WILDERNESS TRAIL NE and HIGH DESERT NE. [REF: 03DRB-01651] (F-23)

Project # 1004942
06DRB-01055 Major-Vacation of Public Easements

LARKIN GROUP NM INC agent(s) for ROBERT HILLS request(s) the above action(s) for Parcel(s) 16 & 17, **COLES INDUSTRIAL SUBDIVISION, NO. 1**, zoned M-1, located on VASSAR DR NE, between CANDELARIA RD NE and LOS ARBOLES AVE NE containing approximately 1 acre(s). [REF: 06DRB-00798] (H-16)

Project # 1003102
06DRB-01054 Major-Vacation of Public Easements

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS, INC. request(s) the above action(s) for all or a portion of Lot(s) 12-A, **LANDS OF FERRARI-ESQUIBEL-PALMER** (to be known as **SOFT LOFTS**) zoned SU-1 PRD (22 DU/AC), located on JUAN TABO BLVD NE, between LAGRIMA DE ORO NE and MONTGOMERY BLVD NE containing approximately 2 acre(s). [REF: 06DRB-00832, 06DRB-00837, 06DRB-00838, 06EPC00146, 06EPC-00147, 05DRB00911] (F-21)

Project # 1000572
06DRB-01038 Major-Preliminary Plat Approval
06DRB-01040 Minor-Sidewalk Waiver
06DRB-01041 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Lot(s) 3, 7 & 8, **LENKURT PROPERTIES** (to be known as **THE PRESIDIO**) zoned SU-1 PRD, located on CHICO RD NE, between EUBANK BLVD NE and MORRIS ST NE containing approximately 23 acre(s). [REF: 05EPC-01116] (K-21)

Project # 1005033
06DRB-01056 Major-SiteDev Plan BldPermit

STUDIO SOUTHWEST ARCHITECTS agent(s) for I. P. F. D. C. request(s) the above action(s) for A PORTION OF I. P. F. D. C. (INDIAN PUEBLOS FEDERAL DEVELOPMENT CORP.) 7 ACRE SITE, **INDIAN PUEBLO COUNCIL PROPERTY**, zoned SU-1 C-2 with restrictions, located on 12th ST NW, between INDIAN SCHOOL NW and MENAUL NW containing approximately 3 acre(s). [REF: 03EPC-01676, 03EPC-01677] (H-13/H-14)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 31, 2006.

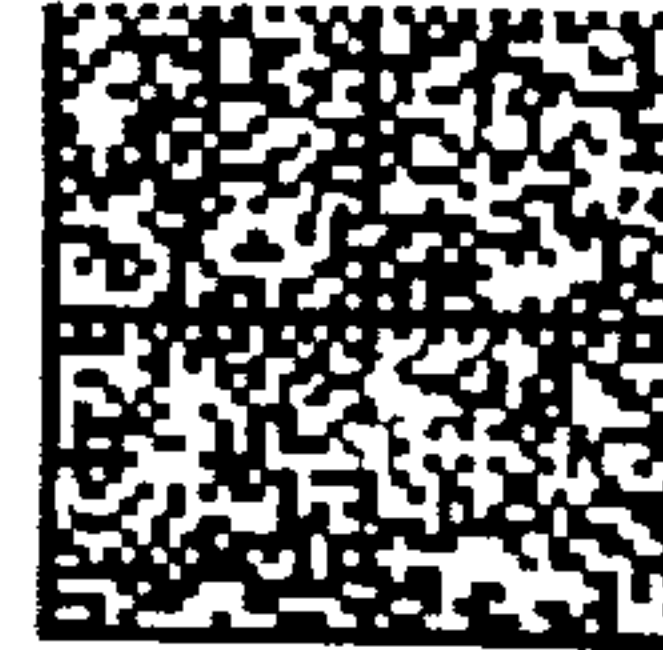


Planning Department

CITY OF ALBUQUERQUE

102106147707440120

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE, NM 87103



02 1A \$ 00.39⁰
0004329277 JUL 27 2006
MAILED FROM ZIP CODE 87102

Or Current Resident

8710341293-55 8018



DRB

P O Box 1293 Albuquerque, New Mexico 87103

Careful -
for ORB sign-off
Mtg next WED
8-12-09

Tx - JLC



August 4, 2009

Jack Cloud, AICP, Chairman
Development Review Board
City of Albuquerque
600 Second Street
Albuquerque, NM 87103

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102
(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

RE: *La Vida Llena Final Sign-Off, Site Development Plan for Building Permit; 09EPC-40029*

Dear Mr. Chairman:

The purpose of this letter is to explain how we have revised the Site Development Plan for Building Permit to comply with the EPC's conditions of approval. The Site Development Plan for Building Permit was approved on June 18, 2009. *Conditions are italicized*; applicant's response is in normal text.

CONDITIONS:

1. *The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.*

This letter fulfills this condition.

2. *Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.*

I met with Carol Toffaleti on July 31, 2009 to discuss the revised Site Development Plan for Building Permit, in compliance with this condition.

3. *Concurrent approval of the accompanying zone map amendment (09EPC-40027).*

The accompanying zone map amendment (09EPC-40027) was approved by the EPC on June 18, 2009.

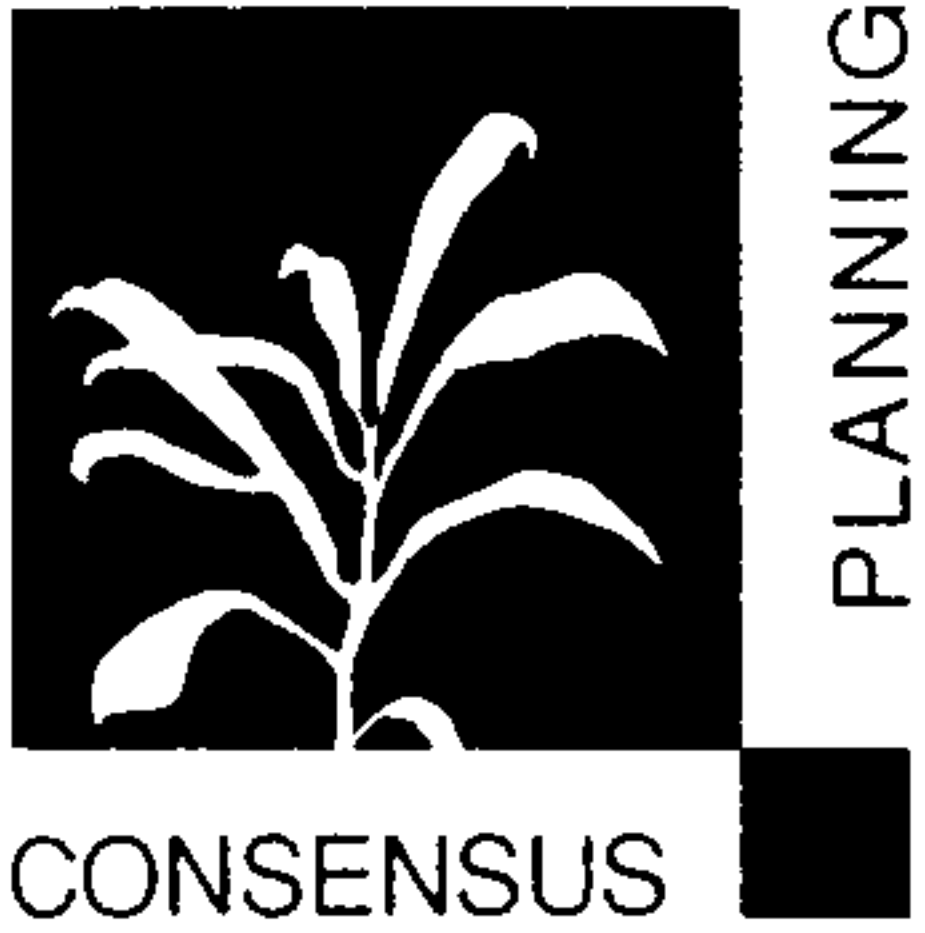
4. *The applicant shall request a Water/Sewer Availability Statement from the Water Utility Authority. A Fire Flow calculation sheet is required from the Fire Marshall. The off-site sanitary sewer in the Hahn Park property*

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP



shown as the outfall for this project was built without benefit of a City Work Order and has not been accepted for use by the Water Authority. This sewer line must be accepted by the Water Authority prior to sign off on the Site Plan at DRB unless it is included on an Infrastructure List as required infrastructure for this project.

We have had several separate meetings with Christina Sandoval, Brad Bingham, and Roger Green to get these issues resolved. Brad has confirmed that the stormwater system is functioning adequately and has the capacity for this development. The sanitary sewer will be made a private line, and a quit claim deed is being prepared by the City for signature by the Parks Department and the CAO. The water and sewer availability statement and a fire flow calculation sheet is attached to this submittal.

5. *RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT: Conditions of approval for the proposed Zone Map Amendment and Site Development Plan for Building Permit shall include:*
- a. *All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.*

All the requirement of previous actions taken by the EPC and DRB has been incorporated into this Site Plan for Building Permit, with the exception of the sanitary sewer. The sanitary sewer is being addressed by making the line private and designating it to be maintained by the property owner.

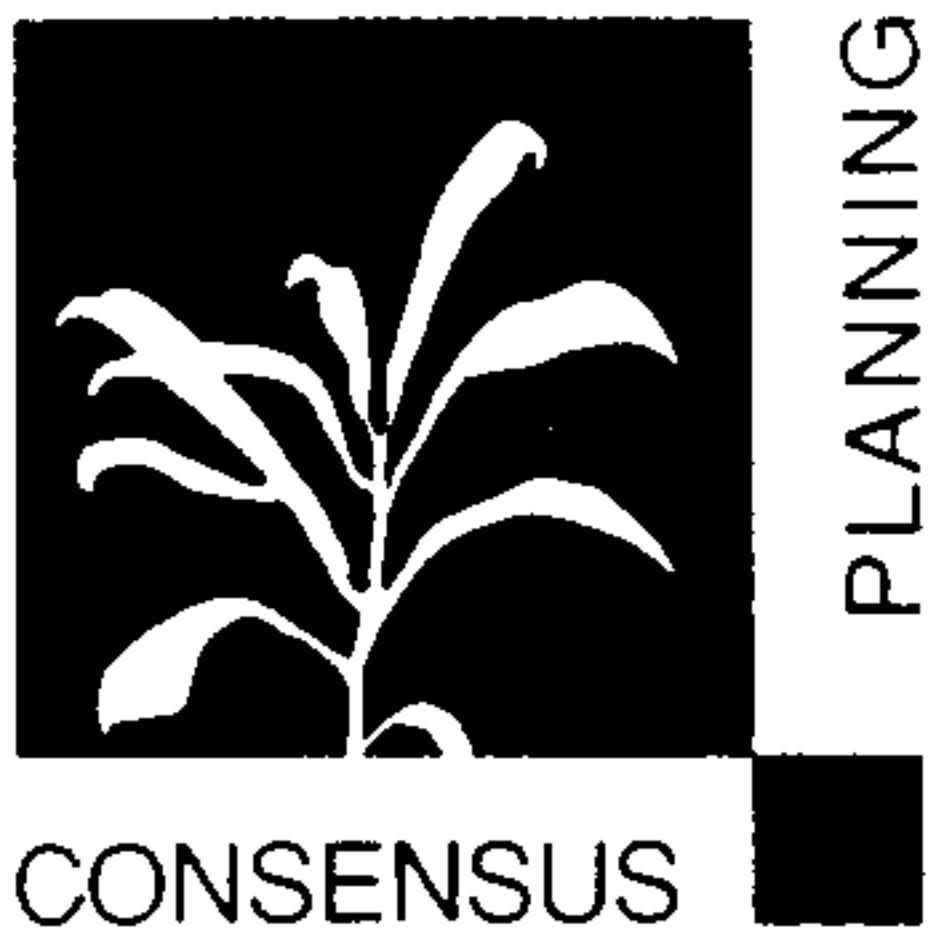
- b. *The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).*

We agree, however, no improvements are anticipated to be required by the DRB.

- c. *Delete three compact spaces at the south end of the drive aisle and replace with a five foot key way.*

The three compact spaces at the south end of the drive aisle have been deleted. This area has been reconfigured to comply with the Fire Marshal's requirements for a turn around.

- d. *Provide 4' of separation (with 2' radii) between ramp and adjacent loading area to the north and adjacent parking to the south.*



This change is reflected on Sheets 1, 4, 5, and 6.

- e. *Provide turning template information to demonstrate that design vehicle can maneuver in and out of loading area (include solid waste vehicle). Site plan shall comply and be designed per DPM Standards.*

Turning template information has been provided in the submittal to demonstrate that design vehicle can maneuver in and out of the south end of the parking area. The Site Plan for Building Permit complies and is designed per DPM Standards.

6. *Site Development Plan*

- a. *The bar scale and site plan shall be corrected to correspond to 1" = 20'.*

Sheet 1 has been corrected to show accurate scale.

- b. *A note shall be added to the site development plan stating that the property shall be operated only as "Housing for Older Persons" as that term is defined in the Federal Housing for Older Persons Act (42 U.S.C., §3607(b)(2)) and uses will include related facilities.*

This note has been added to Sheet 1, under Project Data in the Land Use description.

- c. *A recycling area shall be provided.*

A recycling area has been provided indoors and is called out on Key Note #24.

- d. *Diagram 9 on Sheet 2 showing the 60 degree angle plane at the south boundary shall reflect the exhibit presented at the hearing by the applicant.*

Diagram 9 is actually located on Sheet 3, and has been changed to reflect the exhibit presented at the hearing.

- e. *Actual building heights (incl. parapet where applicable) that correspond to the different roof heights shall be included in the legend, which shall be retitled "Roof and Building Height Legend".*

The actual building heights (including parapets) have been included in the legend on Sheet 1, which is now titled "Roof and Building Height Legend".

- f. Under Project Data, the actual building setback at the East shall be 15' and the FAR shall be 1.13.*

The F.A.R. and setback have been corrected on Sheet 1.

7. Walls/Fences:

- a. The length of the retaining walls shall be called out on the grading & drainage plan (ref. Keyed Notes 7 & 8).*

The length of the retaining walls has been added on Sheet 5.

- b. The retaining wall at the northeast corner of the site shall correspond to the fence line so that the monument sign in this location is at street grade.*

The retaining wall at the northeast corner of the site now corresponds to the fence line and the monument sign is at street grade in this location.

- 8. Vehicular Access, Circulation and Parking - Any reduction in parking required to accommodate fire trucks and other service vehicles shall be reflected in the site plan verified by staff prior to DRB submittal.**

Three spaces have been removed from the southern end of the surface parking lot to accommodate fire trucks and other service vehicles. The parking calculations have been revised on Sheet 1.

- 9. Pedestrian Access - provide an ADA accessible waiting area for pedestrians at the edge of the parking island across from the main entrance of the building.**

An ADA accessible waiting area for pedestrians has been added at the edge of the parking island across from the main entrance of the building.

10. Lighting

- a. Add pedestrian lighting to illuminate the north pedestrian connection to the sidewalk on Juan Tabo Blvd.*

Two pedestrian light fixtures have been added at this location.

- b. Show the location of the streetlights on Juan Tabo Blvd. on the site development plan.*

The location of the streetlights on Juan Tabo Blvd. has been added.

11. Landscaping

- a. In the notes, remove "high water use" in relation to all instances of "turf", as the proposed species listed in the landscape palette is medium water use.*

The notes on Sheet 4 have been revised to reflect "medium water use" when referencing turf.

b. Calculations

- i. Ensure that the building footprint, figure is correct relative to project data on the site development plan.*

The building footprint is 32,243 square feet, which was reflected correctly in the landscape calculations. The project data on Sheet 1 lists the first floor at 31,369 square feet, which only includes conditioned spaces. Both numbers are correct.

- ii. The provided on-site landscaped area shall indicate the percentage it represents of the net site area.*

The percentage of on-site landscaped area (49%) has been added to the Landscape Calculations on Sheet 4.

- c. The mature sizes of Honey Locust and Flowering Pear shall be reduced, per the City Forester's plant list.*

Per the City Forester's plant list, the mature sizes of Honey Locust and Flowering Pear have been reduced on Sheet 4.

- d. The Chitalpa shall be eliminated from a parking space near the south boundary of the site.*

The Chitalpa has been eliminated from the parking space on Sheet 4.

- e. The placement and selection of tree species shall take account of their spread at maturity, in particular at the main (west) entrance of the building, along the north and east facades and at the north and south edges of the courtyard.*

Adjustments have been made to tree locations where appropriate. A couple of the trees have been eliminated at the west entrance of the building, and some trees have been replaced with smaller specimens to comply with this condition.

12. Architecture

- a. *A roof or equivalent structure shall be added to shelter the balconies of the residential units on the 3rd floor of the north wing of the building (east and south facades).*

Roof structures have been added to the balconies on the 3rd floor of the north wing. This change is reflected on the east and south building elevation, sheets 7 and 9.

- b. *The metal roof of the aquatic center shall be specified as non-reflective.*

On Sheet 8, Keynote 2, the metal roof of the aquatic center has been specified as non-reflective.

13. Signage

- a. *The monument sign at the southeast corner of the site shall be moved to a nearby location outside the public ROW.*

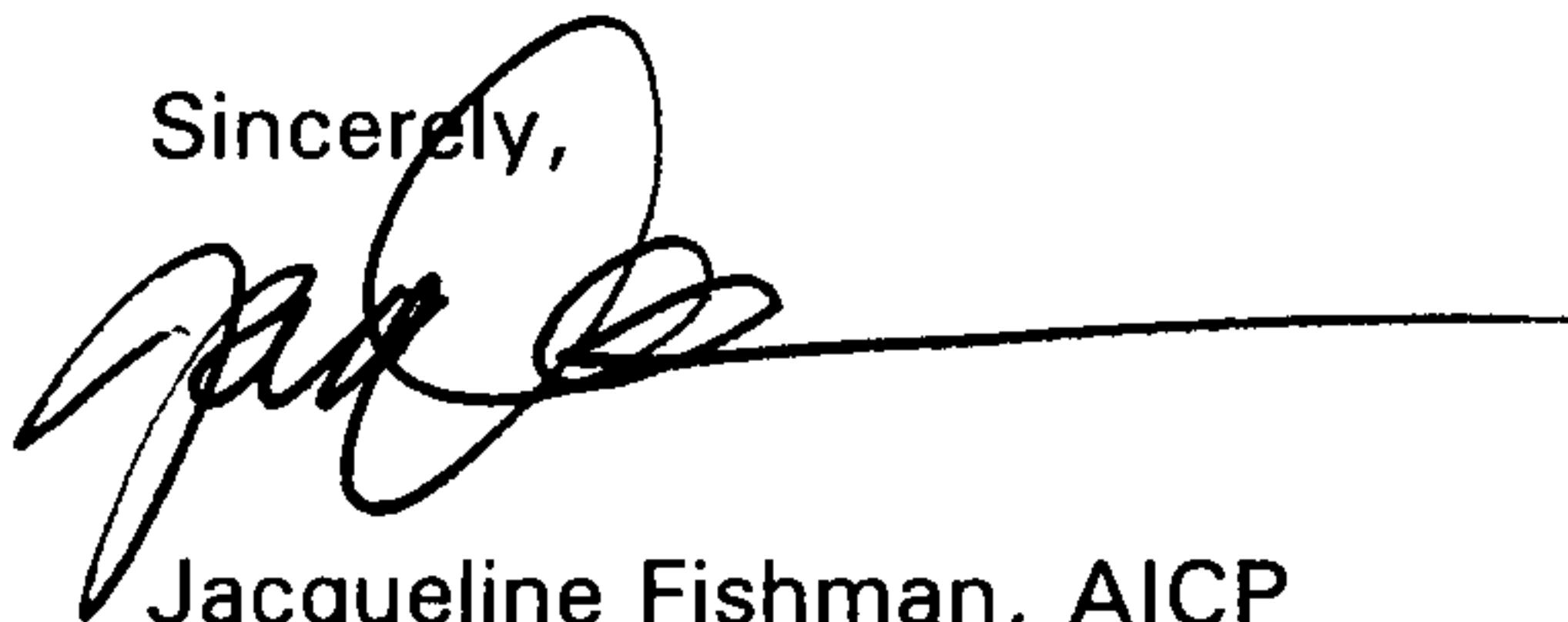
The monument sign at the southeast corner has been moved to inside the applicant's property.

- b. *A note shall be added to the detail of the directional sign stating that the illumination shall be internal or down-lighting.*

On Sheet 3, a note was added stating that the illumination shall be internal on the directional sign.

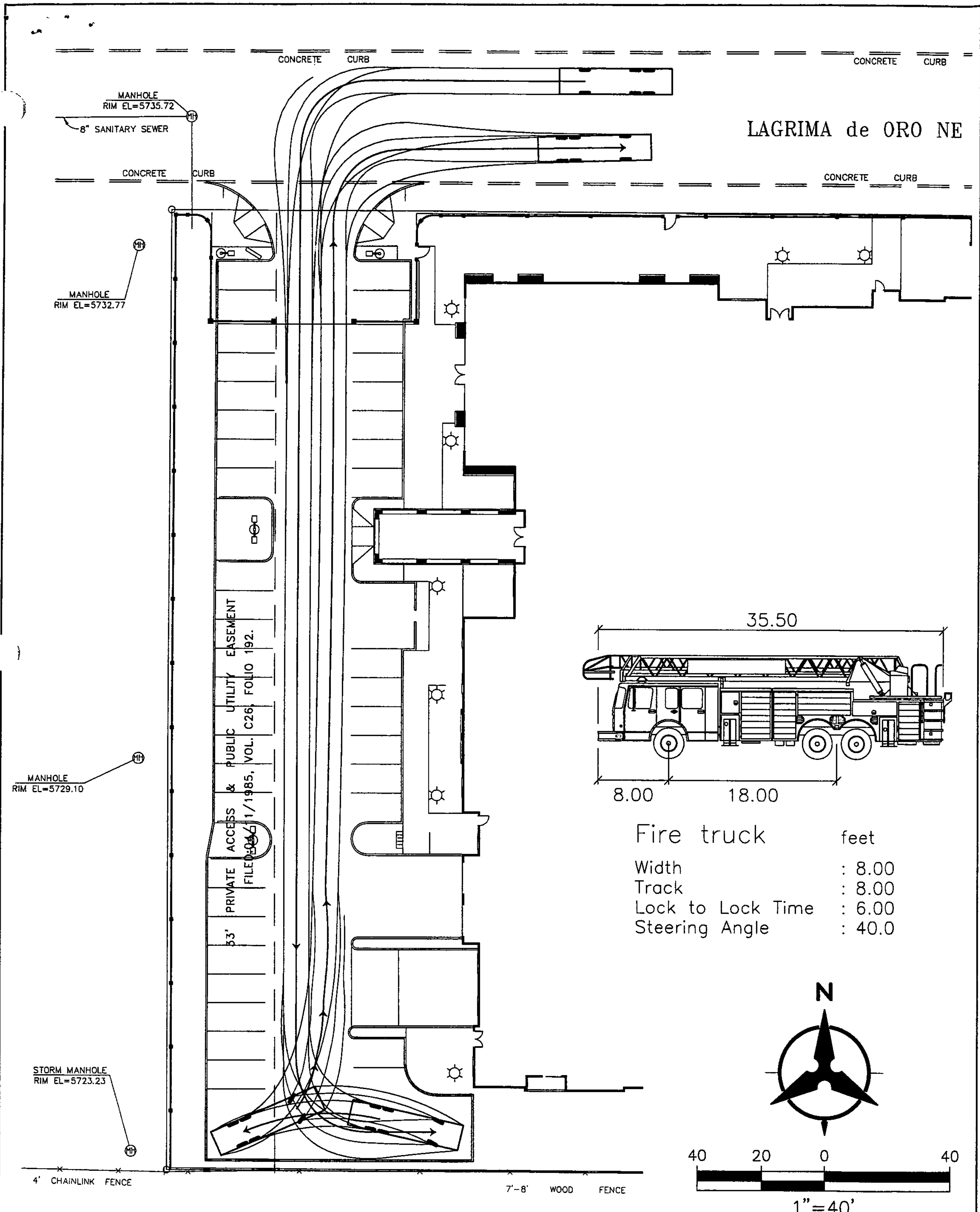
We respectfully request final sign-off of the Site Development Plan for Building Permit. Please do not hesitate to contact me at 764-9801 with any questions you may have regarding the submittal.

Sincerely,

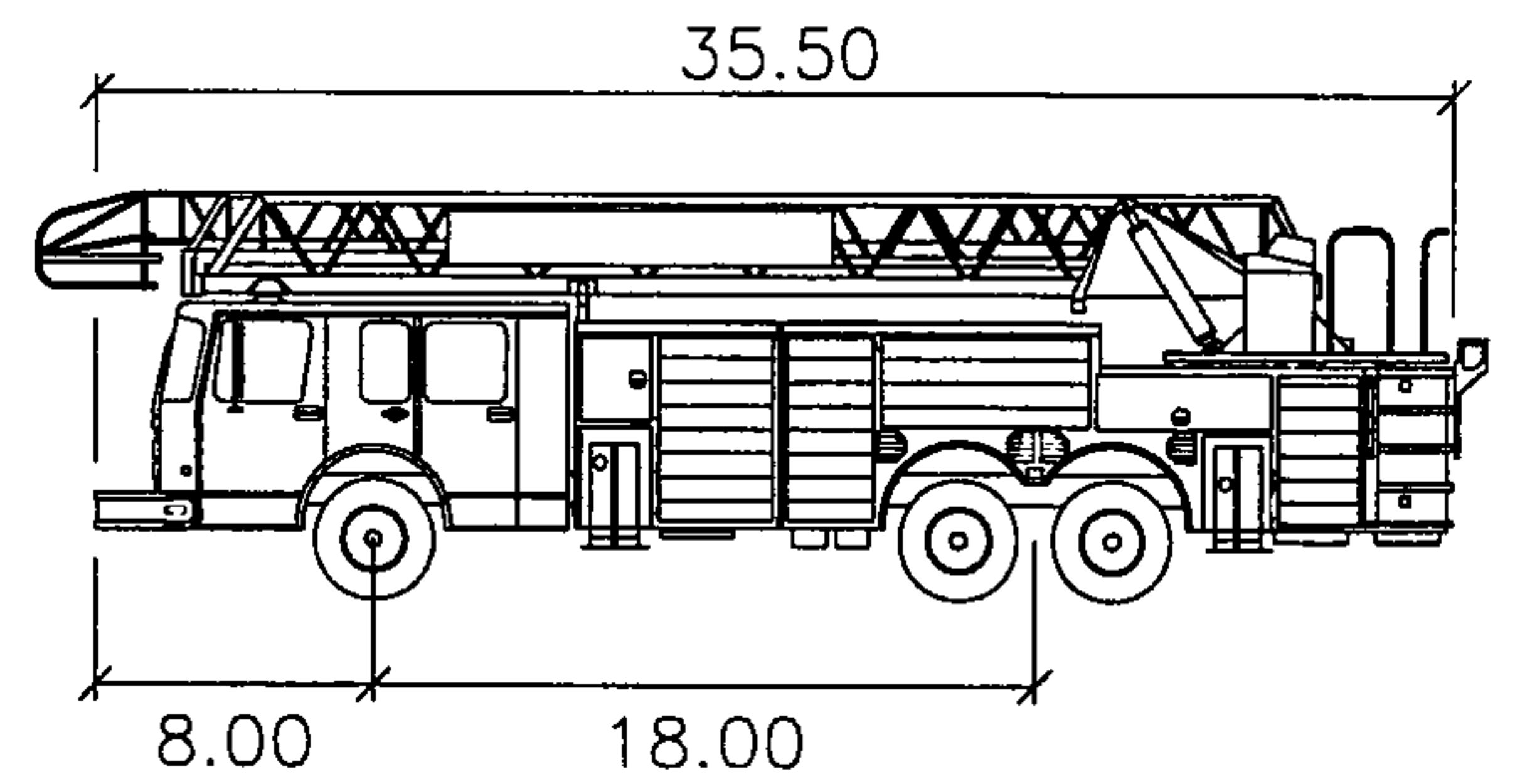


Jacqueline Fishman, AICP
Associate

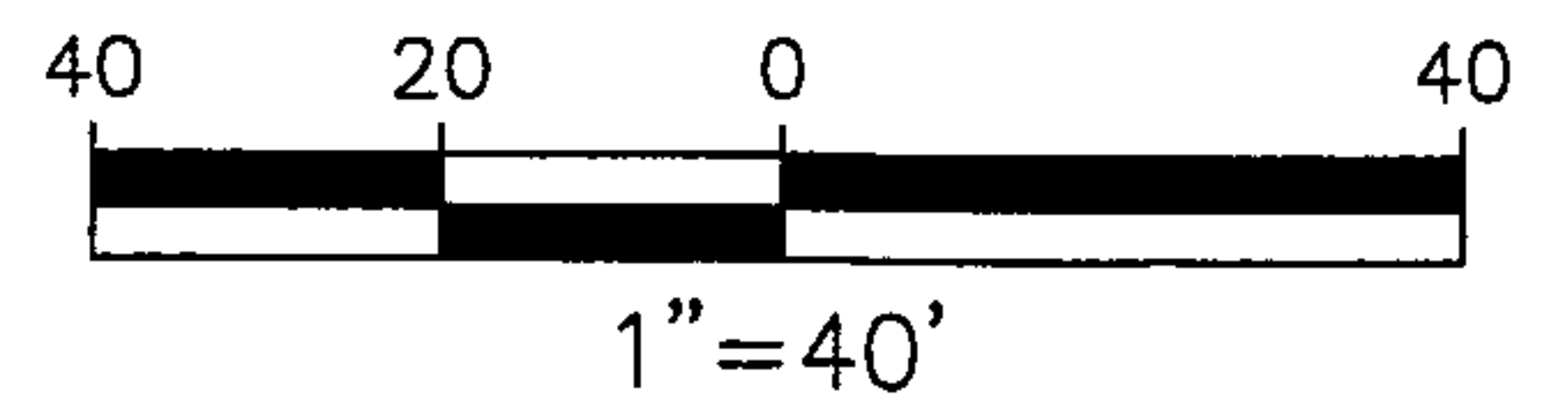
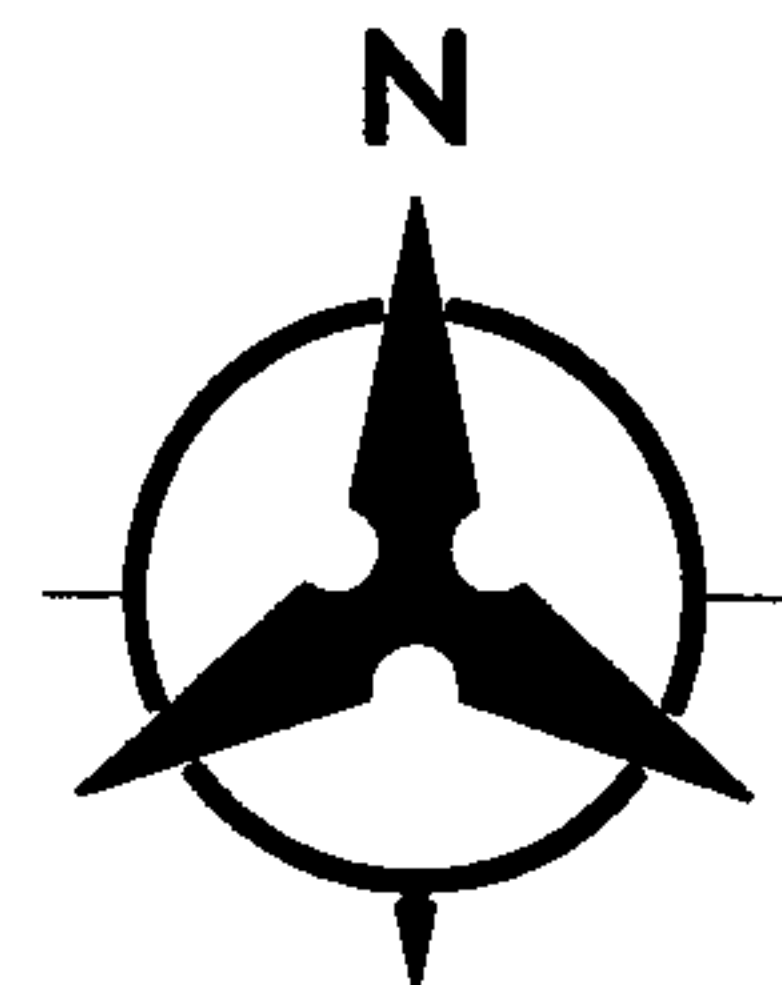
ATT: Zone Atlas
Fire Flow Requirements
Fire Marshal Signature on Utility Plan
Notice of Decision
Water & Sewer Availability July 28, 2009



LAGRIMA de ORO NE



Fire truck	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.00
Steering Angle	: 40.0



LA VIDA LLENA
6/3/09

Bohannon & Huston

Courtyard I 7600 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W, 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER _____

REFERRAL # _____

SITE ADDRESS _____

4551 Juan Tabo Blvd NE

LEGAL DESCRIPTION: SUBJECT TRACT _____

LOT 12A

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING _____

4

INSTANTANEOUS FLOW REQUIRED _____

4,486 gpm

SQUARE FOOTAGE - LARGEST BUILDING _____

16,955 sq ft

TYPE CONSTRUCTION _____

VA

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE _____

4

DATE: _____

July 14, 2009

FIRE DEPARTMENT INSPECTOR: _____

Steven Williams

RECEIVED BY: _____

Catherine Coakley

TELEPHONE: _____

823-1000

NOTES:

1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS.
2. DETERMINATION OF THE WATER SYSTEM CAPACITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPONSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL

YELLOW - FILE



City of Albuquerque
Planning Department
Current Planning Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: June 19, 2009

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1003102
09EPC-40027 AMNDT TO ZONE MAP (ESTB
ZONING/ZONE CHG)
09EPC-40029 SITE DEVELOPMENT
PLAN - BLD PRMT

La Vida Llena
10501 Lagrima De Oro Road NE
Albuquerque, NM 87111

LEGAL DESCRIPTION: CONSENSUS PLANNING agent(s) for LA VIDA LLENA request(s) the above action(s) for all or a portion of lot(s) 12A, LANDS OF FERRARI-ESQUIBEL-PALMER zoned SU-1 FOR PRD, (22DU/ACRE), OFFICE, C-1 W/ EXCLUSIONS, CAR WASH & RESTAURANT, to SU-1 FOR RETIREMENT CENTER & RELATED FACILITIES INCLUDING ON-PREMISE LIQUOR CONSUMPTION located on JUAN TABO BLVD NE BETWEEN MONTGOMERY BLVD NE AND LAGRIMA DE ORO RD NE containing approximately 2 acre(s). (F-21)
Carol Toffaleti, Staff Planner

On June 18, 2009 the Environmental Planning Commission voted to **APPROVE** Project 1003102 / 09EPC-40027, a request for a zone map amendment for all or a portion of lot 12A, LANDS OF FERRARI-ESQUIBEL-PALMER from SU-1 FOR PRD (22DU/ACRE), OFFICE, C-1 W/ EXCLUSIONS, CAR WASH & RESTAURANT, to SU-1 FOR RETIREMENT CENTER & RELATED FACILITIES, Based on the following Findings and subject to the following Conditions:

FINDINGS:

1. The request is to rezone Lot 12A, Lands of Ferrari-Esquibel-Palmer, a site of 1.92 acres located at the southwest corner of Juan Tabo Blvd. and Lagrima de Oro Rd. NW north of Montgomery Blvd., from SU-1 for PRD (22 DU/acre), Office, C-1 w/ exclusions, Car Wash and Restaurant, to SU-1 for Retirement Center and Related Facilities. The applicant revised the request to remove

“On-Site Liquor Consumption” from the SU-1 zone category. Re-advertisement/re-notice is not necessary because the revised request is less intense and more restrictive than the original request.

- 2. The request is accompanied by a site development plan for building permit (09EPC-40029).**
- 3. The subject site is in the Established Urban Area of the Comprehensive Plan and the Page One/El Dorado Village Community Activity Center. Juan Tabo Blvd. along the site’s east boundary is an Enhanced Transit Corridor.**
- 4. Juan Tabo Blvd. is a Principal Arterial and Lagrima de Oro is a local street.**
- 5. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.**
- 6. Several zoning and site development actions have involved the subject site since 1984, including senior housing, car wash and retail, and townhouses (Z-84-2, Z-85-102, Z-85-102-1, #1003102 / 03EPC-01925 & -01929, #1003102 / 06EPC-00146 & -00147, 06DRB-00935 & -00936). None came to fruition and the site is vacant.**
- 7. The request furthers the following goals and policies of the Comprehensive Plan:**
 - a. The zone change to SU-1 for a retirement community facilitates development of vacant land that is contiguous to existing urban facilities and services and provides design input from residential and non-residential neighbors through the site development plan process (Established Urban Area (EUA) policy II.B.5.e).**
 - b. The proposed zone provides higher density housing that is appropriate on a site in an Activity Center with a mixed density pattern, with excellent access to the major street network and compatible with existing uses in the area (EUA policies II.B.5.h, Activity Center goal & policy II.B.7.i)**
 - c. The proposed zoning combines senior housing with on-site support services on land adjacent to an arterial street, which minimizes traffic (EUA policy II.B.5.k).**
 - d. The location of the proposed zone in a Community Activity Center and Enhanced Transit Corridor encourages residents and staff to walk to other destinations in the center and to use transit (Community Identity and Urban Design policy II.C.9.d, Transportation and Transit goal and policy II.D.4.c)**

- e. The operation of the proposed senior community and its support services for residents create new employment opportunities that accommodate a range of occupational skills and salary levels (Economic Development goal and policy II.D.6.a)
 - f. The proposed combination of housing and support services, including health care, maximizes residents' access to human services on-site and is located within one mile of the city's Bear Canyon Senior Center (Human Services goal and policy II.D.8.a).
8. The request partially furthers the following goals and policies of the Comprehensive Plan:
- a. The location of the proposed zone respects existing neighborhood values but the proposed intensity, as reflected in building height, raises concerns among some members of the wider residential community (EUA policy II.B.5.d)
 - b. The proposed special use zoning centers on providing inclusive and quality housing for seniors, but it would not be classified as affordable (Housing goal and policy II.D.5.d)
9. The applicant provided an acceptable justification for the zone change per R-270-1980:
- A. A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the city.
The change will not place a significant burden on public facilities and services, including roadways, and is consistent with the health, safety, morals and general welfare of the city. (See reasoning under 9.C below.)
 - B. Stability of land use and zoning is desirable; therefore the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the city to show why the change should not be made.
The proposed zoning will not destabilize land use and zoning in the area. Although it raises the nominal residential density allowable on the site, the impacts of senior housing will be relatively less than for apartments of the same density that are not age-restricted. The zone is compatible with the mix of uses in the surrounding area and will facilitate the expansion of an existing retirement community in close proximity to the site.
 - C. A proposed change shall not be in significant conflict with adopted elements of the Comprehensive Plan or other city master plans and amendments there, to, including privately developed area plans which have been adopted by the city.
The proposed zone furthers or partially furthers a preponderance of applicable goals and policies of the Comprehensive Plan: Established Urban Area goal and policies d, e, h, and k; Activity Center goal and policy i; Community Identity and Urban Design policy d;

Transportation and Transit goal and policy c; Housing goal and policy d; Economic Development goal and policy a; and Human Services goal and policy a.

D. The applicant must demonstrate that the existing zoning is inappropriate because:

1. There was an error when the existing zone map pattern was created; or
2. Changed neighborhood or community conditions justify the change; or
3. A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other city master plan, even though (D)(1) or (D)(2) above do not apply.

The existing zoning is less appropriate than the proposed zoning based on criteria 2 and 3. Changed community conditions are the increased need for senior housing and the City's adoption of Centers and Corridors policies that direct more intense land uses, such as higher density housing, to Activity Centers and Enhanced Transit Corridors. The advantages of the proposed zone are articulated in Comprehensive Plan goals and policies. The existing PRD zoning does not allow for higher density housing to coexist with support services, dining and recreational facilities geared to the needs of seniors within a single project. The proposed density and combination of uses furthers goals and policies for the Established Urban Area, Activity Centers, Transportation and Transit, Housing, Economic Development, and Human Services.

E. A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to adjacent property, the neighborhood, or the community.

None of the permissive uses in the proposed retirement community would be harmful to adjacent property, the neighborhood or the community.

F. A proposed zone change which, to be utilized through land development, requires major and unprogrammed capital expenditures by the city may be:

1. Denied due to lack of capital funds; or
2. Granted with the implicit understanding that the city is not bound to provide the capital improvements on any special schedule.

The change will not require capital expenditures by the city

G. The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for a change of zone.

The applicant owns the land and economic considerations are not the determining factor for the request.

H. Location on a collector or major street is not in itself sufficient justification for apartment, office, or commercial zoning.

Location on a major street is not the only justification for the proposed retirement community.

- I. A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when:
1. The change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan; or
 2. The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of structures already on the premises makes the site unsuitable for the uses allowed in any adjacent zone.

The proposed zoning is not a spot zone, because sites with identical zoning are approximately half a block away

- J. A zone change request, which would give a zone different from surrounding zoning to a strip of land along a street is generally called "strip zoning." Strip commercial zoning will be approved only where:
1. The change will clearly facilitate realization of the Comprehensive Plan and any adopted sector development plan or area development plan; and
 2. The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones or because the site is not suitable for the uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.

The request is not for strip zoning.

10. Property-owners within 100' and the District 8 Coalition of Neighborhood Associations were notified of the proposal. A facilitated meeting was held on June 1, 2009. Residential property-owners within 400' of the east edge of the subject site were notified of the meeting. The report of the meeting indicates that members of the Coalition have concerns about the height and density of the development, and there is some concern about on-site liquor consumption. Two written comments have been received from residents of District 8 who oppose the dual request and two letters of support have been received from the adjacent restaurant and church. There is opposition to the height, density and other elements of the development from members of the District 8 Coalition, and from residents of the subdivision east of Juan Tabo Blvd. in the vicinity of the site (in the form of a petition signed by 24 people at 13 addresses).
11. The property shall be operated only as "Housing for Older Persons" as defined in the federal Housing for Older Persons Act (42 U.S.C., §3607(b) (2)) and uses will include related facilities.
12. The Legal Department, on record at the public hearing, stated an opinion that there is no conflict of interest due to the applicant's agent, Consensus Planning, having a contract for landscape architectural services with the City of Albuquerque, because the contract is not related directly or indirectly to the application before the EPC. Any perceived undue advantage to the applicant, or

implicit endorsement of Consensus Planning due to the landscape architectural contract, was properly addressed by the EPC, by each member representing that the Consensus Planning contract did not affect their ability to fairly and impartially assess the application based on the evidence and testimony presented and that, if any member's ability to fairly and impartially assess the project was compromised, that member would have recused themselves.

CONDITIONS:

1. Final DRB sign-off of the accompanying site development plan for building permit (09EPC-40029).
-

On June 18, 2009 the Environmental Planning Commission voted to **APPROVE** Project 1003102 / 09EPC-40029, a request for a site development plan for building permit for all or a portion of lot 12A, LANDS OF FERRARI-ESQUIBEL-PALMER, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. The request is to develop a retirement community on Lot 12A, Lands of Ferrari-Esquibel-Palmer, a site of 1.92 acres located at the southwest corner of Juan Tabo Blvd. and Lagrima de Oro Rd. NW north of Montgomery Blvd., zoned SU-1 for Retirement Center and Related Facilities.
2. A building of up to 4 stories with a total square footage of 110,445 sf is proposed. It includes 58 independent living units for seniors, 3 guest rooms, an aquatic center, common areas for recreational, social activities and food and beverage service, administrative offices and underground parking. The remainder of the site contains landscaping and surface parking. The breakdown of the residential units is: 26 1-bedroom, 22 2-bedroom, 4 2-bedroom plus den, and 6 3-bedroom. The average area of the residential units is approximately 850 sf.
3. The request is accompanied by a zone map amendment (09EPC-40027).
4. The subject site is in the Established Urban Area of the Comprehensive Plan and the Page One/El Dorado Village Community Activity Center. Juan Tabo Blvd. along the site's east boundary is an Enhanced Transit Corridor.
5. Juan Tabo Blvd. is a Principal Arterial and Lagrima de Oro is a local street.

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JUNE 18, 2009

PROJECT 1003102

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- 6. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.**

- 7. The request replaces the previous site development plans (#1003102, 06EPC-00146, -00147, 06DRB-00935, -00936).**

- 8. The request furthers the following goals and policies of the Comprehensive Plan:**
 - a. The development is accessed from a local street which minimizes traffic impact on the arterial adjacent to the site (EUA policy II.B.5.k, Transportation policy II.D.4.d)**

 - b. The scale of the senior community is appropriate in an Activity Center with a mixed density pattern and the design of the development creates an attractive streetscape that supports transit and pedestrian activity (EUA policy II.B.5.h, Activity Center policy II.B.7.a, Community Identity and Urban Design policy d, Transportation and Transit goal and policies II.D.4.a and g)**

 - c. The site layout, architecture and landscape design of the residential community are somewhat innovative and of quality. They will improve the visual appearance of the site, (EUA policy II.B.5.l)**

 - d. The landscape design enhances public and private rights-of-way, creates a pleasing visual environment for residents and passers-by and uses some native vegetation (Developed Landscape goal and policy II.C.8.d)**

 - e. The proposed landscape palette of drought-tolerant species, weather-sensitive irrigation system and water harvesting measures discourage wasteful water use and promote infiltration (Water Management policies a and b)**

- 9. The request partially furthers the following goals and policies of the Comprehensive Plan:**
 - a. The design of the residential community will improve the visual appearance of the site, but the building mass may partially obstruct some vistas from streets and properties in the area (EUA policy II.B.5.m, Housing policy II.D.5.b)**

 - b. The higher density development housed in a single building is inherently energy-efficient and the design includes a white roof, solarshield glazing and shaded balconies (Energy Management policy II.D.3.a)**

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JUNE 18, 2009

PROJECT 1003102

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10. Conditions are recommended to correct and clarify the submittal and bring it into greater compliance with city regulations.
11. Property-owners within 100' and the District 8 Coalition of Neighborhood Associations were notified of the proposal. A facilitated meeting was held on June 1, 2009. Residential property-owners within 400' of the east edge of the subject site were notified of the meeting. The report of the meeting indicates that members of the Coalition have concerns about the height and density of the development, and there is some concern about on-site liquor consumption. Two written comments have been received from residents of District 8 who oppose the dual request and two letters of support have been received from the adjacent restaurant and church. There is opposition to the height, density and other elements of the development from members of the District 8 Coalition, and from residents of the subdivision east of Juan Tabo Blvd. in the vicinity of the site (in the form of a petition signed by 24 people at 13 addresses).
12. The property will be operated only as "Housing for Older Persons" as defined in the federal Housing for Older Persons Act (42 U.S.C., §3607(b) (2)) and uses will include related facilities.
13. The Legal Department, on record at the public hearing, stated an opinion that there is no conflict of interest due to the applicant's agent, Consensus Planning, having a contract for landscape architectural services with the City of Albuquerque, because the contract is not related directly or indirectly to the application before the EPC. Any perceived undue advantage to the applicant, or implicit endorsement of Consensus Planning due to the landscape architectural contract, was properly addressed by the EPC, by each member representing that the Consensus Planning contract did not affect their ability to fairly and impartially assess the application based on the evidence and testimony presented and that, if any member's ability to fairly and impartially assess the project was compromised, that member would have recused themselves.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

3. Concurrent approval of the accompanying zone map amendment (09EPC-40027).
4. The applicant shall request a Water/Sewer Availability Statement from the Water Utility Authority. A Fire Flow calculation sheet is required from the Fire Marshall. The off-site sanitary sewer in the Hahn Park property shown as the outfall for this project was built without benefit of a City Work Order and has not been accepted for use by the Water Authority. This sewer line must be accepted by the Water Authority prior to sign off on the Site Plan at DRB unless it is included on an Infrastructure List as required infrastructure for this project.
5. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT: Conditions of approval for the proposed Zone Map Amendment and Site Development Plan for Building Permit shall include:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
 - c. Delete three compact spaces at the south end of the drive aisle and replace with a five foot key way.
 - d. Provide 4' of separation (with 2' radii) between ramp and adjacent loading area to the north and adjacent parking to the south.
 - e. Provide turning template information to demonstrate that design vehicle can maneuver in and out of loading area (include solid waste vehicle). Site plan shall comply and be designed per DPM Standards.
6. Site Development Plan
 - a. The bar scale and site plan shall be corrected to correspond to 1" = 20'.
 - b. A note shall be added to the site development plan stating that the property shall be operated only as "Housing for Older Persons" as that term is defined in the federal Housing for Older Persons Act (42 U.S.C., §3607(b)(2)) and uses will include related facilities.
 - c. A recycling area shall be provided.
 - d. Diagram 9 on Sheet 2 showing the 60 degree angle plane at the south boundary shall reflect the exhibit presented at the hearing by the applicant.

- e. Actual building heights (incl. parapet where applicable) that correspond to the different roof heights shall be included in the legend, which shall be retitled "Roof and Building Height Legend".
- f. Under Project Data, the actual building setback at the East shall be 15' and the FAR shall be 1.13.

7. Walls/Fences:

- a. The length of the retaining walls shall be called out on the grading & drainage plan (ref. Keyed Notes 7 & 8).
- b. The retaining wall at the northeast corner of the site shall correspond to the fence line so that the monument sign in this location is at street grade.

8. Vehicular Access, Circulation and Parking - Any reduction in parking required to accommodate fire trucks and other service vehicles shall be reflected in the site plan verified by staff prior to DRB submittal.

9. Pedestrian Access - provide an ADA accessible waiting area for pedestrians at the edge of the parking island across from the main entrance of the building.

10. Lighting

- a. Add pedestrian lighting to illuminate the north pedestrian connection to the sidewalk on Juan Tabo Blvd.
- b. Show the location of the streetlights on Juan Tabo Blvd. on the site development plan

11. Landscaping

- a. In the notes, remove "high water use" in relation to all instances of "turf", as the proposed species listed in the landscape palette is medium water use.
- b. Calculations

- i. Ensure that the building footprint figure is correct relative to project data on the site development plan.
- ii. The provided on-site landscaped area shall indicate the percentage it represents of the net site area.
- c. The mature sizes of Honey Locust and Flowering Pear shall be reduced, per the City Forester's plant list.
- d. The Chitalpa shall be eliminated from a parking space near the south boundary of the site.
- e. The placement and selection of tree species shall take account of their spread at maturity, in particular at the main (west) entrance of the building, along the north and east facades and at the north and south edges of the courtyard.

12. Architecture

- a. A roof or equivalent structure shall be added to shelter the balconies of the residential units on the 3rd floor of the north wing of the building (east and south facades).
- b. The metal roof of the aquatic center shall be specified as non-reflective.

13. Signage

- a. The monument sign at the southeast corner of the site shall be moved to a nearby location outside the public ROW.
- b. A note shall be added to the detail of the directional sign stating that the illumination shall be internal or down-lighting.

APPEAL: IF YOU WISH TO APPEAL A FINAL DECISION, YOU MUST DO SO BY JULY 3, 2009 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

**OFFICIAL NOTICE OF DECISION
JUNE 18, 2009
PROJECT 1003102
PAGE 12 OF 12**

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

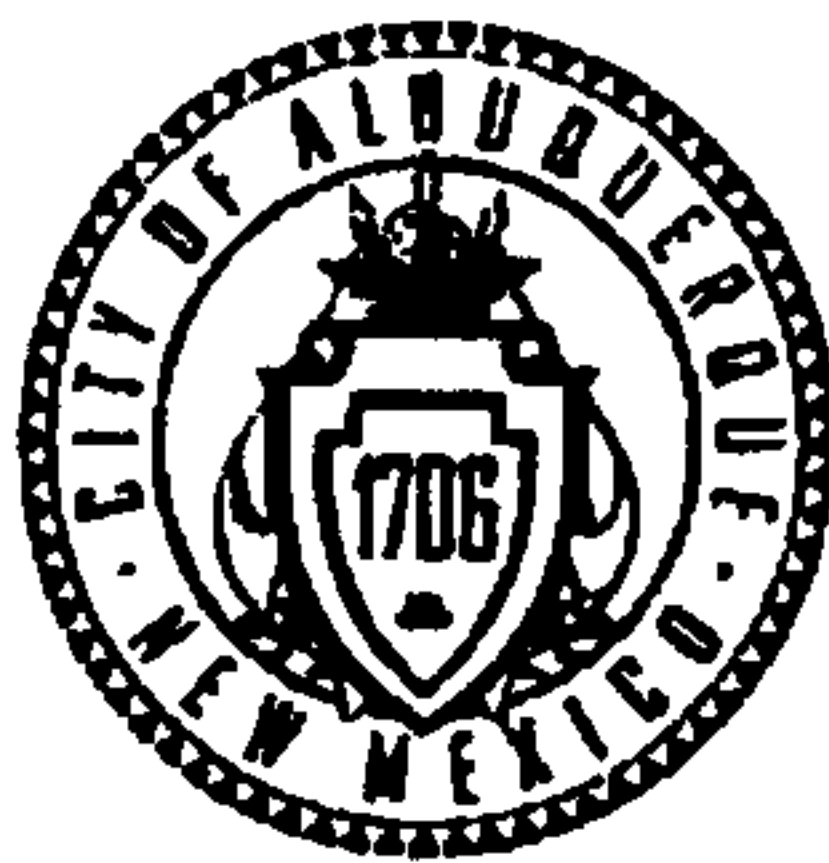
Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,


for Richard Dineen
Planning Director

RD/CT/ma

**cc: La Vida Llena, 10501 Lagrima De Oro Road NE, Albuquerque, NM 87111
Consensus Planning, 302 Eighth Street NW, Albuquerque, NM 87102
Don Couchman, District 8 Coalition of N.A.'s, 6441 Concordia NE, Albuquerque, NM 87111
Carole Pigaty, District 8 Coalition of N.A.'s, 7005 Sky Valley Way NE, Albuquerque, NM 87111
Kirk Kadas, 4601 Algiers Dr. NE, Albuquerque, NM 87111
Michael Block, 3520 Parisian Way NE, Albuquerque, NM 87111
Bob Francis, 2711 Palo Alto NE, Albuquerque, NM 87112
Silvio Dell'Angela, 11209 Camero Ave. NE, Albuquerque, NM 87111
Gary Bodman, 12029 Caribou NE, Albuquerque, NM 87111**



City of Albuquerque
Planning Department
Current Planning Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: June 19, 2009

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1003102
09EPC-40027 AMNDT TO ZONE MAP (ESTB
ZONING/ZONE CHG)
09EPC-40029 SITE DEVELOPMENT
PLAN - BLD PRMT

La Vida Llena
10501 Lagrima De Oro Road NE
Albuquerque, NM 87111

LEGAL DESCRIPTION: CONSENSUS PLANNING agent(s) for LA VIDA LLENA request(s) the above action(s) for all or a portion of lot(s) 12A, LANDS OF FERRARI-ESQUIBEL-PALMER zoned SU-1 FOR PRD, (22DU/ACRE), OFFICE, C-1 W/ EXCLUSIONS, CAR WASH & RESTAURANT, to SU-1 FOR RETIREMENT CENTER & RELATED FACILITIES INCLUDING ON-PREMISE LIQUOR CONSUMPTION located on JUAN TABO BLVD NE BETWEEN MONTGOMERY BLVD NE AND LAGRIMA DE ORO RD NE containing approximately 2 acre(s). (F-21)
Carol Toffaleti, Staff Planner

On June 18, 2009 the Environmental Planning Commission voted to **APPROVE** Project 1003102 / 09EPC-40027, a request for a zone map amendment for all or a portion of lot 12A, LANDS OF FERRARI-ESQUIBEL-PALMER from SU-1 FOR PRD (22DU/ACRE), OFFICE, C-1 W/ EXCLUSIONS, CAR WASH & RESTAURANT, to SU-1 FOR RETIREMENT CENTER & RELATED FACILITIES, Based on the following Findings and subject to the following Conditions:

FINDINGS:

1. The request is to rezone Lot 12A, Lands of Ferrari-Esquibel-Palmer, a site of 1.92 acres located at the southwest corner of Juan Tabo Blvd. and Lagrima de Oro Rd. NW north of Montgomery Blvd., from SU-1 for PRD (22 DU/acre), Office, C-1 w/ exclusions, Car Wash and Restaurant, to SU-1 for Retirement Center and Related Facilities. The applicant revised the request to remove

“On-Site Liquor Consumption” from the SU-1 zone category. Re-advertisement/re-notice is not necessary because the revised request is less intense and more restrictive than the original request.

- 2. The request is accompanied by a site development plan for building permit (09EPC-40029).**
- 3. The subject site is in the Established Urban Area of the Comprehensive Plan and the Page One/El Dorado Village Community Activity Center. Juan Tabo Blvd. along the site’s east boundary is an Enhanced Transit Corridor.**
- 4. Juan Tabo Blvd. is a Principal Arterial and Lagrima de Oro is a local street.**
- 5. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.**
- 6. Several zoning and site development actions have involved the subject site since 1984, including senior housing, car wash and retail, and townhouses (Z-84-2, Z-85-102, Z-85-102-1, #1003102 / 03EPC-01925 & -01929, #1003102 / 06EPC-00146 & -00147, 06DRB-00935 & -00936). None came to fruition and the site is vacant.**
- 7. The request furthers the following goals and policies of the Comprehensive Plan:**
 - a. The zone change to SU-1 for a retirement community facilitates development of vacant land that is contiguous to existing urban facilities and services and provides design input from residential and non-residential neighbors through the site development plan process (Established Urban Area (EUA) policy II.B.5.e).**
 - b. The proposed zone provides higher density housing that is appropriate on a site in an Activity Center with a mixed density pattern, with excellent access to the major street network and compatible with existing uses in the area (EUA policies II.B.5.h, Activity Center goal & policy II.B.7.i)**
 - c. The proposed zoning combines senior housing with on-site support services on land adjacent to an arterial street, which minimizes traffic (EUA policy II.B.5.k).**
 - d. The location of the proposed zone in a Community Activity Center and Enhanced Transit Corridor encourages residents and staff to walk to other destinations in the center and to use transit (Community Identity and Urban Design policy II.C.9.d, Transportation and Transit goal and policy II.D.4.c)**

- e. The operation of the proposed senior community and its support services for residents create new employment opportunities that accommodate a range of occupational skills and salary levels (Economic Development goal and policy II.D.6.a)
 - f. The proposed combination of housing and support services, including health care, maximizes residents' access to human services on-site and is located within one mile of the city's Bear Canyon Senior Center (Human Services goal and policy II.D.8.a).
8. The request partially furthers the following goals and policies of the Comprehensive Plan:
- a. The location of the proposed zone respects existing neighborhood values but the proposed intensity, as reflected in building height, raises concerns among some members of the wider residential community (EUA policy II.B.5.d)
 - b. The proposed special use zoning centers on providing inclusive and quality housing for seniors, but it would not be classified as affordable (Housing goal and policy II.D.5.d)
9. The applicant provided an acceptable justification for the zone change per R-270-1980:
- A. A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the city.
The change will not place a significant burden on public facilities and services, including roadways, and is consistent with the health, safety, morals and general welfare of the city. (See reasoning under 9.C below.)
 - B. Stability of land use and zoning is desirable; therefore the applicant must provide a sound justification for the change. The burden is on the applicant to show why the change should be made, not on the city to show why the change should not be made.
The proposed zoning will not destabilize land use and zoning in the area. Although it raises the nominal residential density allowable on the site, the impacts of senior housing will be relatively less than for apartments of the same density that are not age-restricted. The zone is compatible with the mix of uses in the surrounding area and will facilitate the expansion of an existing retirement community in close proximity to the site.
 - C. A proposed change shall not be in significant conflict with adopted elements of the Comprehensive Plan or other city master plans and amendments there, to, including privately developed area plans which have been adopted by the city.
The proposed zone furthers or partially furthers a preponderance of applicable goals and policies of the Comprehensive Plan: Established Urban Area goal and policies d, e, h, and k; Activity Center goal and policy i; Community Identity and Urban Design policy d;

Transportation and Transit goal and policy c; Housing goal and policy d; Economic Development goal and policy a; and Human Services goal and policy a.

- D. The applicant must demonstrate that the existing zoning is inappropriate because:
1. There was an error when the existing zone map pattern was created; or
 2. Changed neighborhood or community conditions justify the change; or
 3. A different use category is more advantageous to the community, as articulated in the Comprehensive Plan or other city master plan, even though (D)(1) or (D)(2) above do not apply.

The existing zoning is less appropriate than the proposed zoning based on criteria 2 and 3. Changed community conditions are the increased need for senior housing and the City's adoption of Centers and Corridors policies that direct more intense land uses, such as higher density housing, to Activity Centers and Enhanced Transit Corridors. The advantages of the proposed zone are articulated in Comprehensive Plan goals and policies. The existing PRD zoning does not allow for higher density housing to coexist with support services, dining and recreational facilities geared to the needs of seniors within a single project. The proposed density and combination of uses furthers goals and policies for the Established Urban Area, Activity Centers, Transportation and Transit, Housing, Economic Development, and Human Services.

- E. A change of zone shall not be approved where some of the permissive uses in the zone would be harmful to adjacent property, the neighborhood, or the community.

None of the permissive uses in the proposed retirement community would be harmful to adjacent property, the neighborhood or the community.

- F. A proposed zone change which, to be utilized through land development, requires major and unprogrammed capital expenditures by the city may be:
1. Denied due to lack of capital funds; or
 2. Granted with the implicit understanding that the city is not bound to provide the capital improvements on any special schedule.

The change will not require capital expenditures by the city

- G. The cost of land or other economic considerations pertaining to the applicant shall not be the determining factor for a change of zone.

The applicant owns the land and economic considerations are not the determining factor for the request.

- H. Location on a collector or major street is not in itself sufficient justification for apartment, office, or commercial zoning.

Location on a major street is not the only justification for the proposed retirement community.

- I. A zone change request which would give a zone different from surrounding zoning to one small area, especially when only one premise is involved, is generally called a "spot zone." Such a change of zone may be approved only when:
1. The change will clearly facilitate realization of the Comprehensive Plan and any applicable adopted sector development plan or area development plan; or
 2. The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones; because the site is not suitable for the uses allowed in any adjacent zone due to topography, traffic, or special adverse land uses nearby; or because the nature of structures already on the premises makes the site unsuitable for the uses allowed in any adjacent zone.

The proposed zoning is not a spot zone, because sites with identical zoning are approximately half a block away

- J. A zone change request, which would give a zone different from surrounding zoning to a strip of land along a street is generally called "strip zoning." Strip commercial zoning will be approved only where:
1. The change will clearly facilitate realization of the Comprehensive Plan and any adopted sector development plan or area development plan; and
 2. The area of the proposed zone change is different from surrounding land because it could function as a transition between adjacent zones or because the site is not suitable for the uses allowed in any adjacent zone due to traffic or special adverse land uses nearby.

The request is not for strip zoning.

10. Property-owners within 100' and the District 8 Coalition of Neighborhood Associations were notified of the proposal. A facilitated meeting was held on June 1, 2009. Residential property-owners within 400' of the east edge of the subject site were notified of the meeting. The report of the meeting indicates that members of the Coalition have concerns about the height and density of the development, and there is some concern about on-site liquor consumption. Two written comments have been received from residents of District 8 who oppose the dual request and two letters of support have been received from the adjacent restaurant and church. There is opposition to the height, density and other elements of the development from members of the District 8 Coalition, and from residents of the subdivision east of Juan Tabo Blvd. in the vicinity of the site (in the form of a petition signed by 24 people at 13 addresses).
11. The property shall be operated only as "Housing for Older Persons" as defined in the federal Housing for Older Persons Act (42 U.S.C., §3607(b) (2)) and uses will include related facilities.
12. The Legal Department, on record at the public hearing, stated an opinion that there is no conflict of interest due to the applicant's agent, Consensus Planning, having a contract for landscape architectural services with the City of Albuquerque, because the contract is not related directly or indirectly to the application before the EPC. Any perceived undue advantage to the applicant, or

implicit endorsement of Consensus Planning due to the landscape architectural contract, was properly addressed by the EPC, by each member representing that the Consensus Planning contract did not affect their ability to fairly and impartially assess the application based on the evidence and testimony presented and that, if any member's ability to fairly and impartially assess the project was compromised, that member would have recused themselves.

CONDITIONS:

1. Final DRB sign-off of the accompanying site development plan for building permit (09EPC-40029).
-

On June 18, 2009 the Environmental Planning Commission voted to **APPROVE** Project 1003102 / 09EPC-40029, a request for a site development plan for building permit for all or a portion of lot 12A, LANDS OF FERRARI-ESQUIBEL-PALMER, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. The request is to develop a retirement community on Lot 12A, Lands of Ferrari-Esquibel-Palmer, a site of 1.92 acres located at the southwest corner of Juan Tabo Blvd. and Lagrima de Oro Rd. NW north of Montgomery Blvd., zoned SU-1 for Retirement Center and Related Facilities.
2. A building of up to 4 stories with a total square footage of 110,445 sf is proposed. It includes 58 independent living units for seniors, 3 guest rooms, an aquatic center, common areas for recreational, social activities and food and beverage service, administrative offices and underground parking. The remainder of the site contains landscaping and surface parking. The breakdown of the residential units is: 26 1-bedroom, 22 2-bedroom, 4 2-bedroom plus den, and 6 3-bedroom. The average area of the residential units is approximately 850 sf.
3. The request is accompanied by a zone map amendment (09EPC-40027).
4. The subject site is in the Established Urban Area of the Comprehensive Plan and the Page One/El Dorado Village Community Activity Center. Juan Tabo Blvd. along the site's east boundary is an Enhanced Transit Corridor.
5. Juan Tabo Blvd. is a Principal Arterial and Lagrima de Oro is a local street.

6. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. The request replaces the previous site development plans (#1003102, 06EPC-00146, -00147, 06DRB-00935, -00936).
8. The request furthers the following goals and policies of the Comprehensive Plan:
 - a. The development is accessed from a local street which minimizes traffic impact on the arterial adjacent to the site (EUA policy II.B.5.k, Transportation policy II.D.4.d)
 - b. The scale of the senior community is appropriate in an Activity Center with a mixed density pattern and the design of the development creates an attractive streetscape that supports transit and pedestrian activity (EUA policy II.B.5.h, Activity Center policy II.B.7.a, Community Identity and Urban Design policy d, Transportation and Transit goal and policies II.D.4.a and g)
 - c. The site layout, architecture and landscape design of the residential community are somewhat innovative and of quality. They will improve the visual appearance of the site, (EUA policy II.B.5.l)
 - d. The landscape design enhances public and private rights-of-way, creates a pleasing visual environment for residents and passers-by and uses some native vegetation (Developed Landscape goal and policy II.C.8.d)
 - e. The proposed landscape palette of drought-tolerant species, weather-sensitive irrigation system and water harvesting measures discourage wasteful water use and promote infiltration (Water Management policies a and b)
9. The request partially furthers the following goals and policies of the Comprehensive Plan:
 - a. The design of the residential community will improve the visual appearance of the site, but the building mass may partially obstruct some vistas from streets and properties in the area (EUA policy II.B.5.m, Housing policy II.D.5.b)
 - b. The higher density development housed in a single building is inherently energy-efficient and the design includes a white roof, solarshield glazing and shaded balconies (Energy Management policy II.D.3.a)

10. Conditions are recommended to correct and clarify the submittal and bring it into greater compliance with city regulations.
11. Property-owners within 100' and the District 8 Coalition of Neighborhood Associations were notified of the proposal. A facilitated meeting was held on June 1, 2009. Residential property-owners within 400' of the east edge of the subject site were notified of the meeting. The report of the meeting indicates that members of the Coalition have concerns about the height and density of the development, and there is some concern about on-site liquor consumption. Two written comments have been received from residents of District 8 who oppose the dual request and two letters of support have been received from the adjacent restaurant and church. There is opposition to the height, density and other elements of the development from members of the District 8 Coalition, and from residents of the subdivision east of Juan Tabo Blvd. in the vicinity of the site (in the form of a petition signed by 24 people at 13 addresses).
12. The property will be operated only as "Housing for Older Persons" as defined in the federal Housing for Older Persons Act (42 U.S.C., §3607(b) (2)) and uses will include related facilities.
13. The Legal Department, on record at the public hearing, stated an opinion that there is no conflict of interest due to the applicant's agent, Consensus Planning, having a contract for landscape architectural services with the City of Albuquerque, because the contract is not related directly or indirectly to the application before the EPC. Any perceived undue advantage to the applicant, or implicit endorsement of Consensus Planning due to the landscape architectural contract, was properly addressed by the EPC, by each member representing that the Consensus Planning contract did not affect their ability to fairly and impartially assess the application based on the evidence and testimony presented and that, if any member's ability to fairly and impartially assess the project was compromised, that member would have recused themselves.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

3. Concurrent approval of the accompanying zone map amendment (09EPC-40027).
4. The applicant shall request a Water/Sewer Availability Statement from the Water Utility Authority. A Fire Flow calculation sheet is required from the Fire Marshall. The off-site sanitary sewer in the Hahn Park property shown as the outfall for this project was built without benefit of a City Work Order and has not been accepted for use by the Water Authority. This sewer line must be accepted by the Water Authority prior to sign off on the Site Plan at DRB unless it is included on an Infrastructure List as required infrastructure for this project.
5. **RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT: Conditions of approval for the proposed Zone Map Amendment and Site Development Plan for Building Permit shall include:**
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
 - c. Delete three compact spaces at the south end of the drive aisle and replace with a five foot key way.
 - d. Provide 4' of separation (with 2' radii) between ramp and adjacent loading area to the north and adjacent parking to the south.
 - e. Provide turning template information to demonstrate that design vehicle can maneuver in and out of loading area (include solid waste vehicle). Site plan shall comply and be designed per DPM Standards.
6. **Site Development Plan**
 - a. The bar scale and site plan shall be corrected to correspond to 1" = 20'.
 - b. A note shall be added to the site development plan stating that the property shall be operated only as "Housing for Older Persons" as that term is defined in the federal Housing for Older Persons Act (42 U.S.C., §3607(b)(2)) and uses will include related facilities.
 - c. A recycling area shall be provided.
 - d. Diagram 9 on Sheet 2 showing the 60 degree angle plane at the south boundary shall reflect the exhibit presented at the hearing by the applicant.

- e. Actual building heights (incl. parapet where applicable) that correspond to the different roof heights shall be included in the legend, which shall be retitled "Roof and Building Height Legend".
- f. Under Project Data, the actual building setback at the East shall be 15' and the FAR shall be 1.13.

7. Walls/Fences:

- a. The length of the retaining walls shall be called out on the grading & drainage plan (ref. Keyed Notes 7 & 8).
- b. The retaining wall at the northeast corner of the site shall correspond to the fence line so that the monument sign in this location is at street grade.

8. Vehicular Access, Circulation and Parking - Any reduction in parking required to accommodate fire trucks and other service vehicles shall be reflected in the site plan verified by staff prior to DRB submittal.

9. Pedestrian Access - provide an ADA accessible waiting area for pedestrians at the edge of the parking island across from the main entrance of the building.

10. Lighting

- a. Add pedestrian lighting to illuminate the north pedestrian connection to the sidewalk on Juan Tabo Blvd.
- b. Show the location of the streetlights on Juan Tabo Blvd. on the site development plan

11. Landscaping

- a. In the notes, remove "high water use" in relation to all instances of "turf", as the proposed species listed in the landscape palette is medium water use.
- b. Calculations

- i. Ensure that the building footprint figure is correct relative to project data on the site development plan.
- ii. The provided on-site landscaped area shall indicate the percentage it represents of the net site area.
- c. The mature sizes of Honey Locust and Flowering Pear shall be reduced, per the City Forester's plant list.
- d. The Chitalpa shall be eliminated from a parking space near the south boundary of the site.
- e. The placement and selection of tree species shall take account of their spread at maturity, in particular at the main (west) entrance of the building, along the north and east facades and at the north and south edges of the courtyard.

12. Architecture

- a. A roof or equivalent structure shall be added to shelter the balconies of the residential units on the 3rd floor of the north wing of the building (east and south facades).
- b. The metal roof of the aquatic center shall be specified as non-reflective.

13. Signage

- a. The monument sign at the southeast corner of the site shall be moved to a nearby location outside the public ROW.
- b. A note shall be added to the detail of the directional sign stating that the illumination shall be internal or down-lighting.

APPEAL: IF YOU WISH TO APPEAL A FINAL DECISION, YOU MUST DO SO BY JULY 3, 2009 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

**OFFICIAL NOTICE OF DECISION
JUNE 18, 2009
PROJECT 1003102
PAGE 12 OF 12**

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

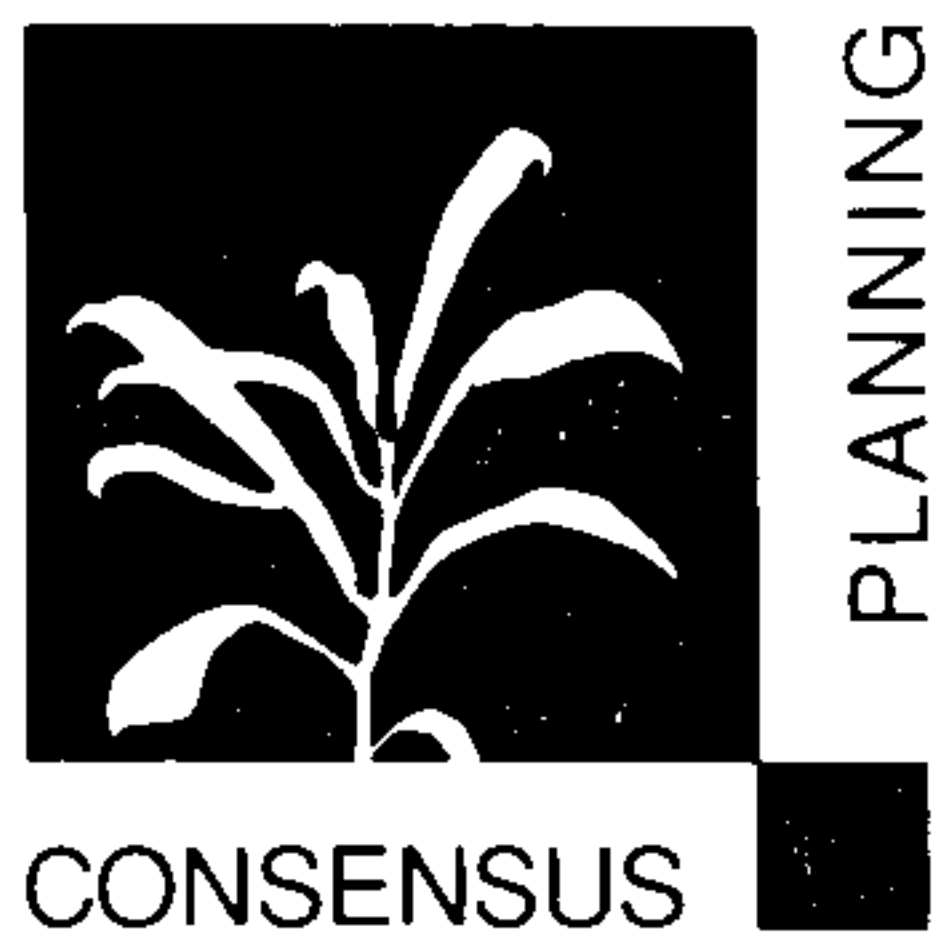
Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,


for Richard Dineen
Planning Director

RD/CT/ma

**cc: La Vida Llena, 10501 Lagrima De Oro Road NE, Albuquerque, NM 87111
Consensus Planning, 302 Eighth Street NW, Albuquerque, NM 87102
Don Couchman, District 8 Coalition of N.A.'s, 6441 Concordia NE, Albuquerque, NM 87111
Carole Pigaty, District 8 Coalition of N.A.'s, 7005 Sky Valley Way NE, Albuquerque, NM 87111
Kirk Kadas, 4601 Algiers Dr. NE, Albuquerque, NM 87111
Michael Block, 3520 Parisian Way NE, Albuquerque, NM 87111
Bob Francis, 2711 Palo Alto NE, Albuquerque, NM 87112
Silvio Dell'Angela, 11209 Camero Ave. NE, Albuquerque, NM 87111
Gary Bodman, 12029 Caribou NE, Albuquerque, NM 87111**



August 4, 2009

Jack Cloud, AICP, Chairman
Development Review Board
City of Albuquerque
600 Second Street
Albuquerque, NM 87103

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495

cp@consensusplanning.com
www.consensusplanning.com

RE: *La Vida Llena Final Sign-Off, Site Development Plan for Building Permit; 09EPC-40029*

Dear Mr. Chairman:

The purpose of this letter is to explain how we have revised the Site Development Plan for Building Permit to comply with the EPC's conditions of approval. The Site Development Plan for Building Permit was approved on June 18, 2009. *Conditions are italicized; applicant's response is in normal text.*

CONDITIONS:

1. *The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.*

This letter fulfills this condition.

2. *Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.*

I met with Carol Toffaleti on July 31, 2009 to discuss the revised Site Development Plan for Building Permit, in compliance with this condition.

3. *Concurrent approval of the accompanying zone map amendment (09EPC-40027).*

The accompanying zone map amendment (09EPC-40027) was approved by the EPC on June 18, 2009.

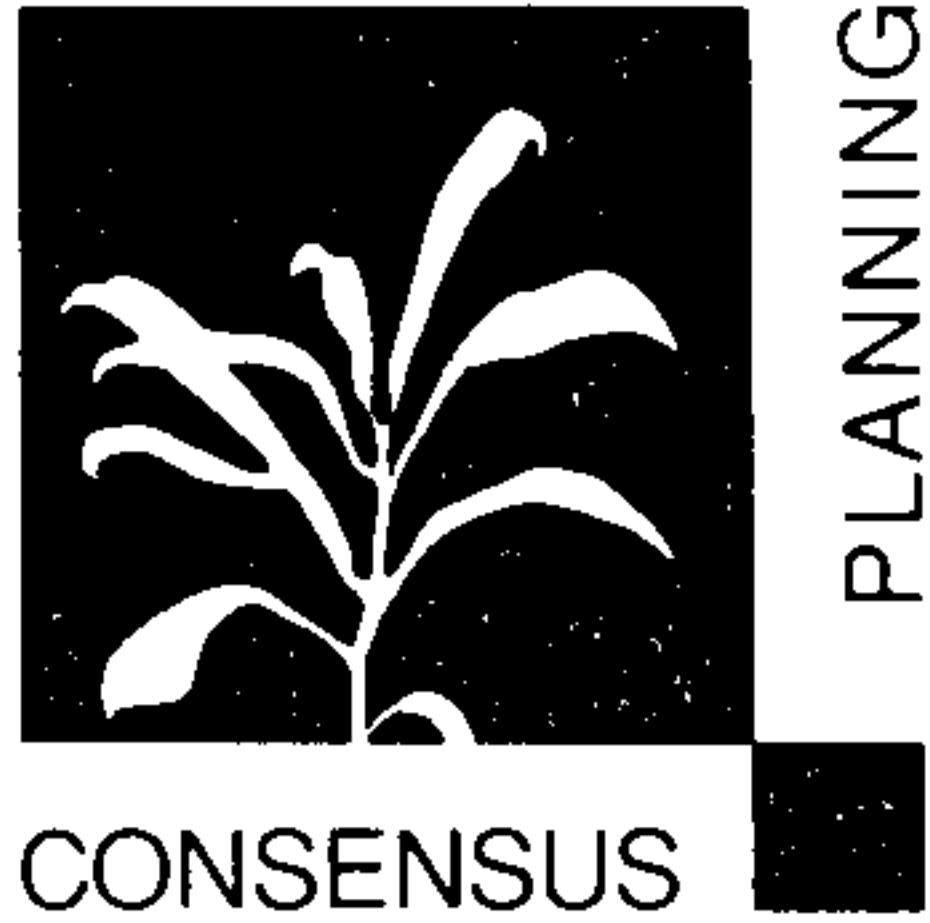
4. *The applicant shall request a Water/Sewer Availability Statement from the Water Utility Authority. A Fire Flow calculation sheet is required from the Fire Marshall. The off-site sanitary sewer in the Hahn Park property*

PRINCIPALS

Karen R. Marcotte AICP
James K. Strozier AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP



shown as the outfall for this project was built without benefit of a City Work Order and has not been accepted for use by the Water Authority. This sewer line must be accepted by the Water Authority prior to sign off on the Site Plan at DRB unless it is included on an Infrastructure List as required infrastructure for this project.

We have had several separate meetings with Christina Sandoval, Brad Bingham, and Roger Green to get these issues resolved. Brad has confirmed that the stormwater system is functioning adequately and has the capacity for this development. The sanitary sewer will be made a private line, and a quit claim deed is being prepared by the City for signature by the Parks Department and the CAO. The water and sewer availability statement and a fire flow calculation sheet is attached to this submittal.

5. *RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT: Conditions of approval for the proposed Zone Map Amendment and Site Development Plan for Building Permit shall include:*

- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.*

All the requirement of previous actions taken by the EPC and DRB has been incorporated into this Site Plan for Building Permit, with the exception of the sanitary sewer. The sanitary sewer is being addressed by making the line private and designating it to be maintained by the property owner.

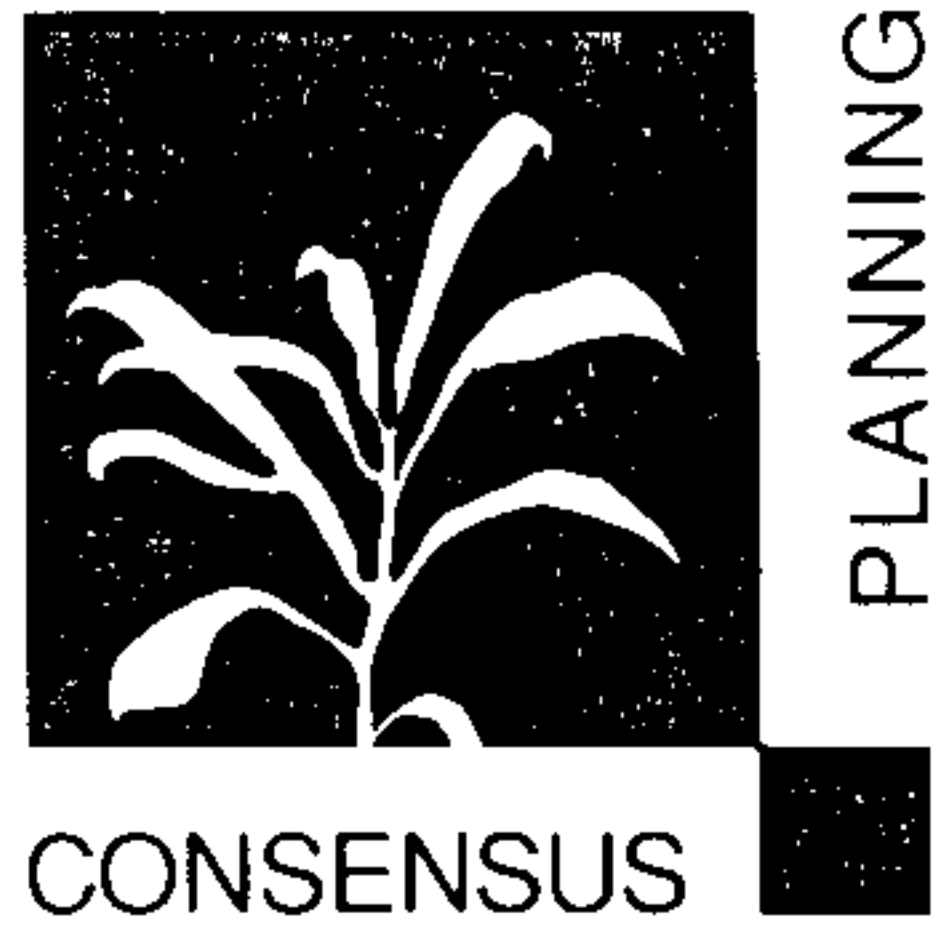
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).*

We agree, however, no improvements are anticipated to be required by the DRB.

- c. Delete three compact spaces at the south end of the drive aisle and replace with a five foot key way.*

The three compact spaces at the south end of the drive aisle have been deleted. This area has been reconfigured to comply with the Fire Marshal's requirements for a turn around.

- d. Provide 4' of separation (with 2' radii) between ramp and adjacent loading area to the north and adjacent parking to the south.*



This change is reflected on Sheets 1, 4, 5, and 6.

- e. *Provide turning template information to demonstrate that design vehicle can maneuver in and out of loading area (include solid waste vehicle). Site plan shall comply and be designed per DPM Standards.*

Turning template information has been provided in the submittal to demonstrate that design vehicle can maneuver in and out of the south end of the parking area. The Site Plan for Building Permit complies and is designed per DPM Standards.

6. Site Development Plan

- a. *The bar scale and site plan shall be corrected to correspond to 1" = 20'.*

Sheet 1 has been corrected to show accurate scale.

- b. *A note shall be added to the site development plan stating that the property shall be operated only as "Housing for Older Persons" as that term is defined in the Federal Housing for Older Persons Act (42 U.S.C., §3607(b)(2)) and uses will include related facilities.*

This note has been added to Sheet 1, under Project Data in the Land Use description.

- c. *A recycling area shall be provided.*

A recycling area has been provided indoors and is called out on Key Note #24.

- d. *Diagram 9 on Sheet 2 showing the 60 degree angle plane at the south boundary shall reflect the exhibit presented at the hearing by the applicant.*

Diagram 9 is actually located on Sheet 3, and has been changed to reflect the exhibit presented at the hearing.

- e. *Actual building heights (incl. parapet where applicable) that correspond to the different roof heights shall be included in the legend, which shall be retitled "Roof and Building Height Legend".*

The actual building heights (including parapets) have been included in the legend on Sheet 1, which is now titled "Roof and Building Height Legend".

- f. Under Project Data, the actual building setback at the East shall be 15' and the FAR shall be 1.13.*

The F.A.R. and setback have been corrected on Sheet 1.

7. Walls/Fences:

- a. The length of the retaining walls shall be called out on the grading & drainage plan (ref. Keyed Notes 7 & 8).*

The length of the retaining walls has been added on Sheet 5.

- b. The retaining wall at the northeast corner of the site shall correspond to the fence line so that the monument sign in this location is at street grade.*

The retaining wall at the northeast corner of the site now corresponds to the fence line and the monument sign is at street grade in this location.

- 8. Vehicular Access, Circulation and Parking - Any reduction in parking required to accommodate fire trucks and other service vehicles shall be reflected in the site plan verified by staff prior to DRB submittal.**

Three spaces have been removed from the southern end of the surface parking lot to accommodate fire trucks and other service vehicles. The parking calculations have been revised on Sheet 1.

- 9. Pedestrian Access - provide an ADA accessible waiting area for pedestrians at the edge of the parking island across from the main entrance of the building.**

An ADA accessible waiting area for pedestrians has been added at the edge of the parking island across from the main entrance of the building.

10. Lighting

- a. Add pedestrian lighting to illuminate the north pedestrian connection to the sidewalk on Juan Tabo Blvd.*

Two pedestrian light fixtures have been added at this location.

- b. Show the location of the streetlights on Juan Tabo Blvd. on the site development plan.*

The location of the streetlights on Juan Tabo Blvd. has been added.

11. Landscaping

- a. *In the notes, remove "high water use" in relation to all instances of "turf", as the proposed species listed in the landscape palette is medium water use.***

The notes on Sheet 4 have been revised to reflect "medium water use" when referencing turf.

b. Calculations

- i. *Ensure that the building footprint, figure is correct relative to project data on the site development plan.***

The building footprint is 32,243 square feet, which was reflected correctly in the landscape calculations. The project data on Sheet 1 lists the first floor at 31,369 square feet, which only includes conditioned spaces. Both numbers are correct.

- ii. *The provided on-site landscaped area shall indicate the percentage it represents of the net site area.***

The percentage of on-site landscaped area (49%) has been added to the Landscape Calculations on Sheet 4.

- c. *The mature sizes of Honey Locust and Flowering Pear shall be reduced, per the City Forester's plant list.***

Per the City Forester's plant list, the mature sizes of Honey Locust and Flowering Pear have been reduced on Sheet 4.

- d. *The Chitalpa shall be eliminated from a parking space near the south boundary of the site.***

The Chitalpa has been eliminated from the parking space on Sheet 4.

- e. *The placement and selection of tree species shall take account of their spread at maturity, in particular at the main (west) entrance of the building, along the north and east facades and at the north and south edges of the courtyard.***

Adjustments have been made to tree locations where appropriate. A couple of the trees have been eliminated at the west entrance of the building, and some trees have been replaced with smaller specimens to comply with this condition.

12. Architecture

- a. *A roof or equivalent structure shall be added to shelter the balconies of the residential units on the 3rd floor of the north wing of the building (east and south facades).*

Roof structures have been added to the balconies on the 3rd floor of the north wing. This change is reflected on the east and south building elevation, sheets 7 and 9.

- b. *The metal roof of the aquatic center shall be specified as non-reflective.*

On Sheet 8, Keynote 2, the metal roof of the aquatic center has been specified as non-reflective.

13. Signage

- a. *The monument sign at the southeast corner of the site shall be moved to a nearby location outside the public ROW.*

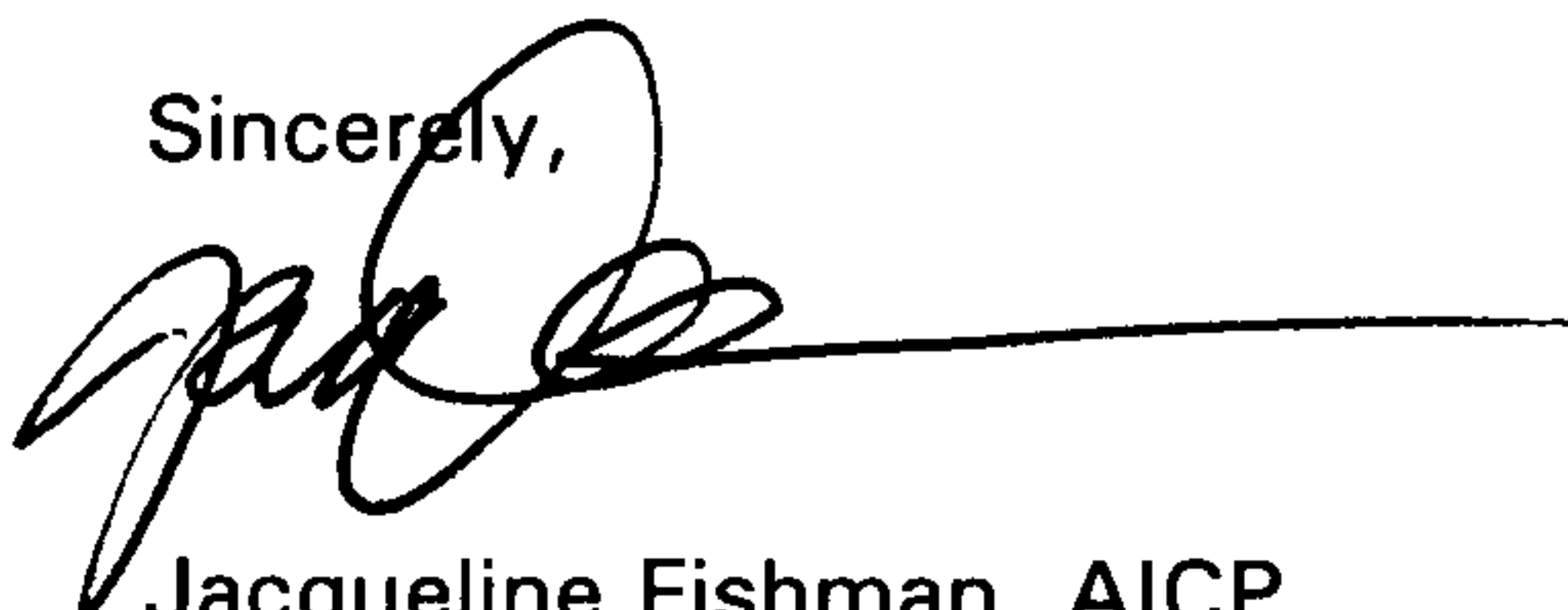
The monument sign at the southeast corner has been moved to inside the applicant's property.

- b. *A note shall be added to the detail of the directional sign stating that the illumination shall be internal or down-lighting.*

On Sheet 3, a note was added stating that the illumination shall be internal on the directional sign.

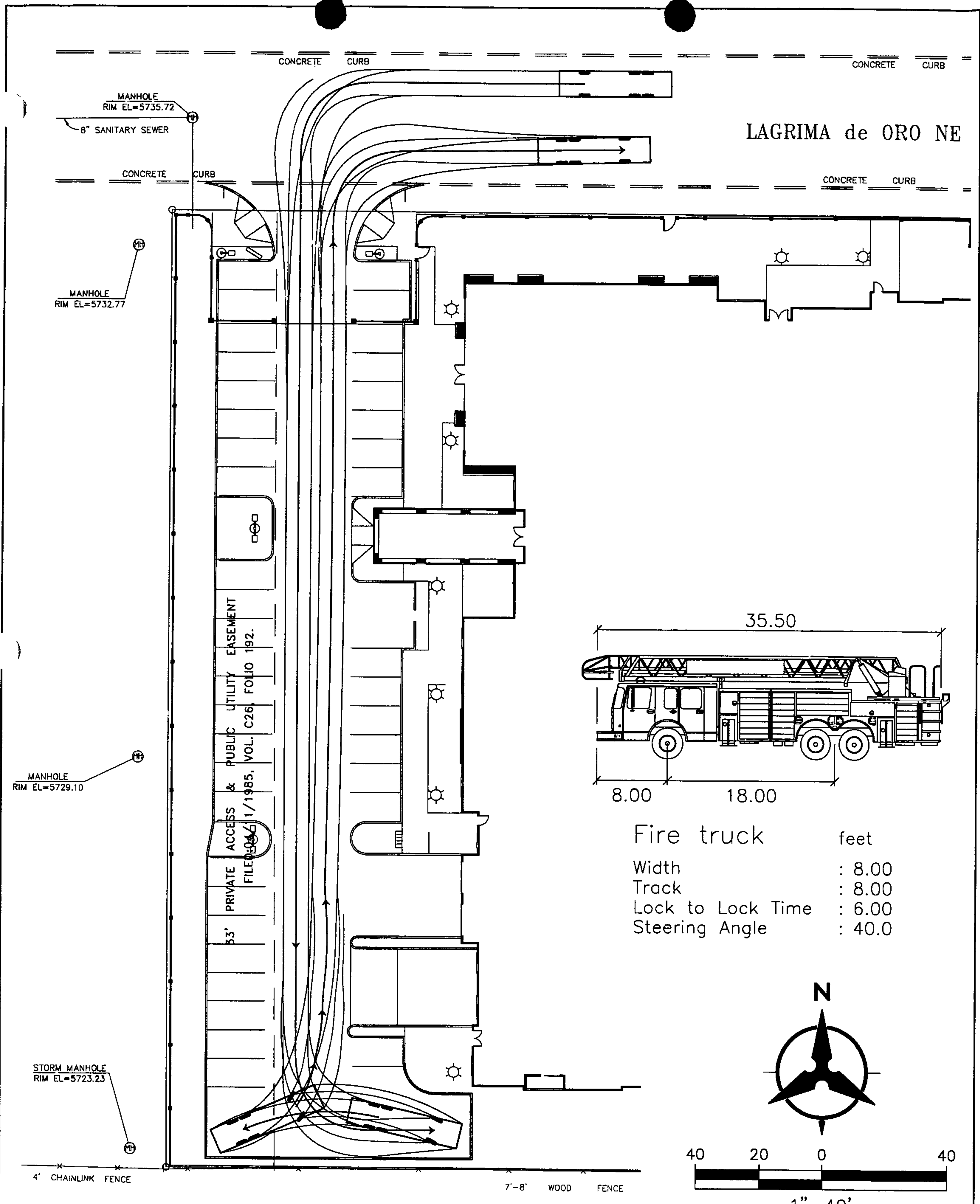
We respectfully request final sign-off of the Site Development Plan for Building Permit. Please do not hesitate to contact me at 764-9801 with any questions you may have regarding the submittal.

Sincerely,

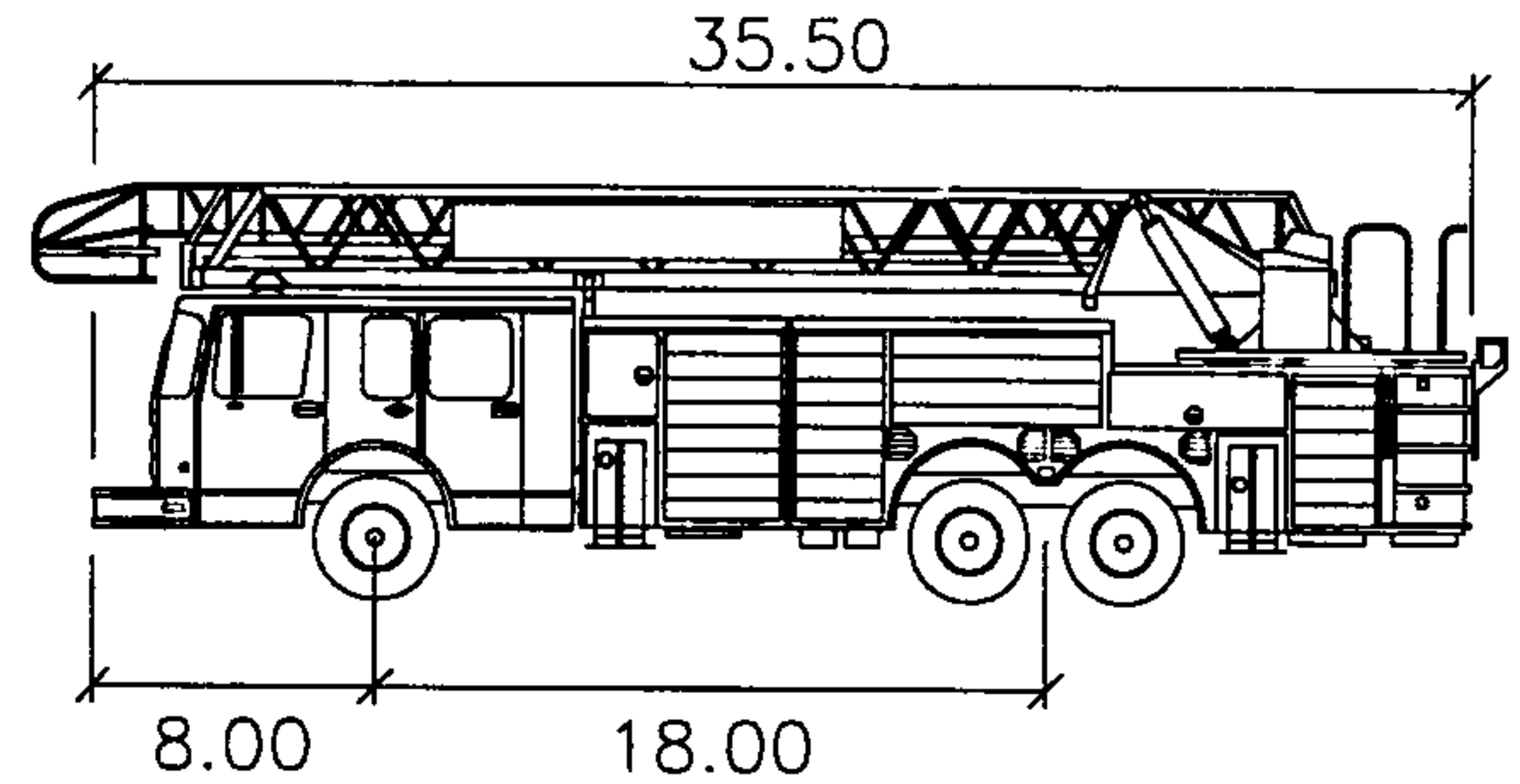


Jacqueline Fishman, AICP
Associate

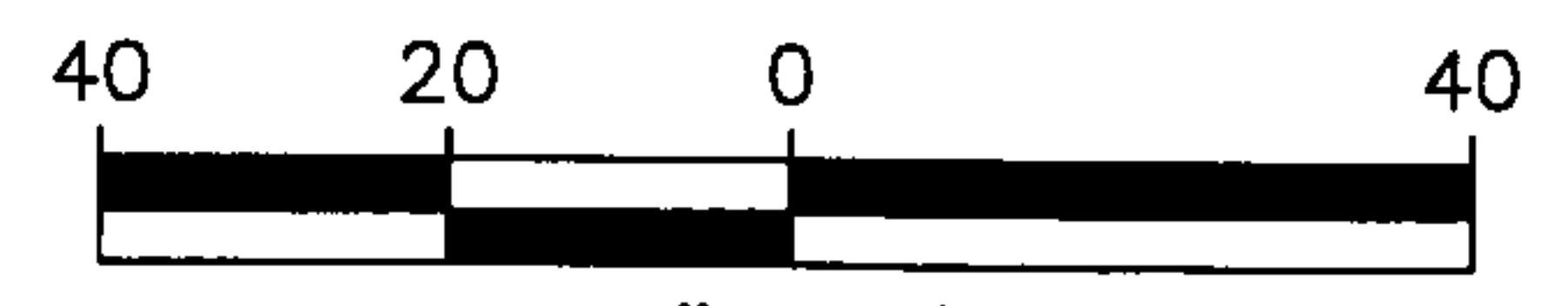
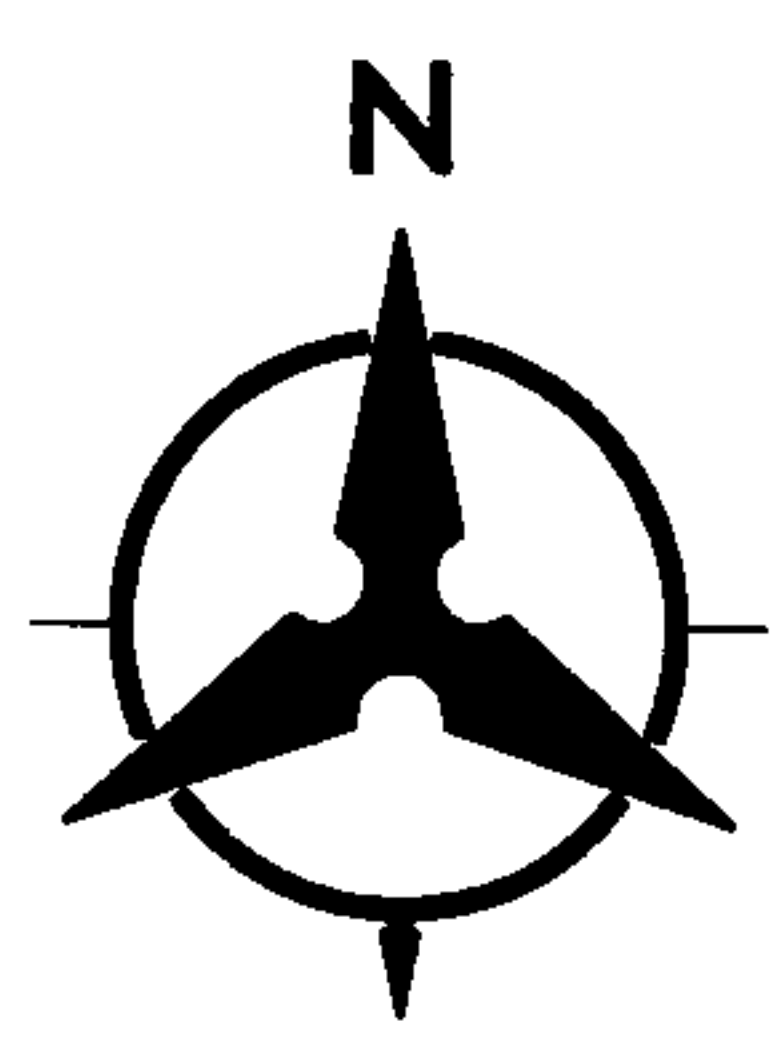
ATT: Zone Atlas
Fire Flow Requirements
Fire Marshal Signature on Utility Plan
Notice of Decision
Water & Sewer Availability July 28, 2009



LAGRIMA de ORO NE



Fire truck	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.00
Steering Angle	: 40.0



1" = 40'

LA VIDA LLENA
6/3/09

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W., 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER _____

REFERRAL # _____

SITE ADDRESS 4551 Juan Tabo Blvd NE

LEGAL DESCRIPTION: SUBJECT TRACT LOT 12A

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 4

INSTANTANEOUS FLOW REQUIRED 4 486 gpm

SQUARE FOOTAGE - LARGEST BUILDING 10,195

TYPE CONSTRUCTION VA

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 4

DATE: July 14, 2009

FIRE DEPARTMENT INSPECTOR: Steven Whelan

RECEIVED BY: Catherine Coker TELEPHONE: 823-1000

NOTES:

- 1 ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS.
- 2 DETERMINATION OF THE WATER SYSTEM CAPASITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
- 3 DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPOSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL YELLOW - FILE

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

		Supplemental form	
SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action			<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation			<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN			<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision	P		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/> for Building Permit			<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)			<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	D		
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	A	APPEAL / PROTEST of...
STORM DRAINAGE (Form D)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Consensus Planning, Inc. PHONE: 505-764-9801
 ADDRESS: 302 Eighth Street NW FAX: 505-842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

APPLICANT: La Vida Llena PHONE: 505-296-6700
 ADDRESS: 10501 Lagrima De Oro Road NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87111 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Final Sign-off for EPC Approved Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 12A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Ferrari-Esquibel-Palmer Subdivision
 Existing Zoning: SU-1 for Retirement Community and Related Facilities Proposed zoning: N/A MRGCD Map No _____
 Zone Atlas page(s): F-21-Z UPC Code: 102106151408240112

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 06EPC-00146, 06EPC-00147, 06DRB-00935, 06DRB-00936, 07DRB-00620, 1003102, 09EPC-40027, and 09EPC-40029

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.91
 LOCATION OF PROPERTY BY STREETS: On or Near: 4551 Juan Tabo Boulevard NE
 Between: Montgomery Boulevard NE and Lagrima De Oro Road NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 8/4/09
 (Print) Jacqueline Fishman, AICP Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB 70260</u>	<u>SBP</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>08/12/09</u>	_____	_____	Total \$ <u>20.00</u>
<u>Sandy Handley</u> <u>08/09/09</u>		Project # <u>1003102</u>		
Planner signature / date				

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

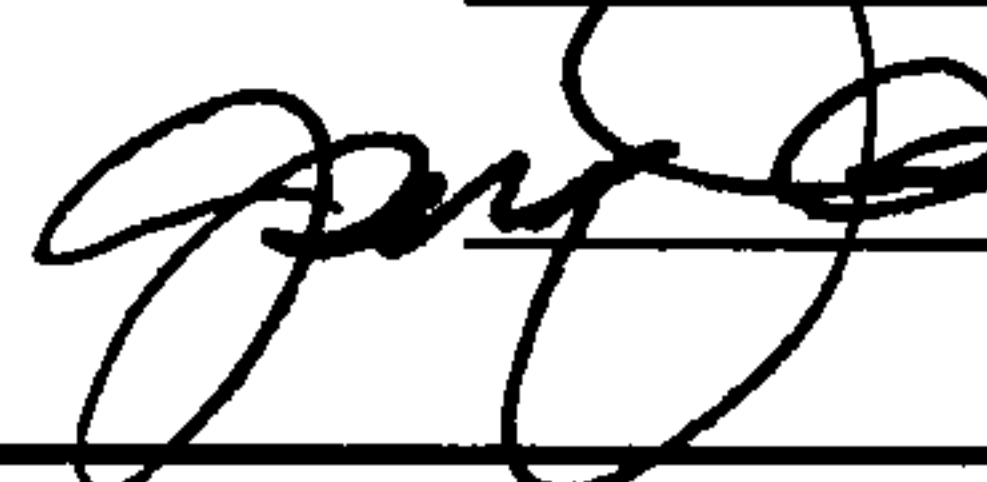
- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JACQUELINE FISHMAN
Applicant name (print)

Applicant signature / date

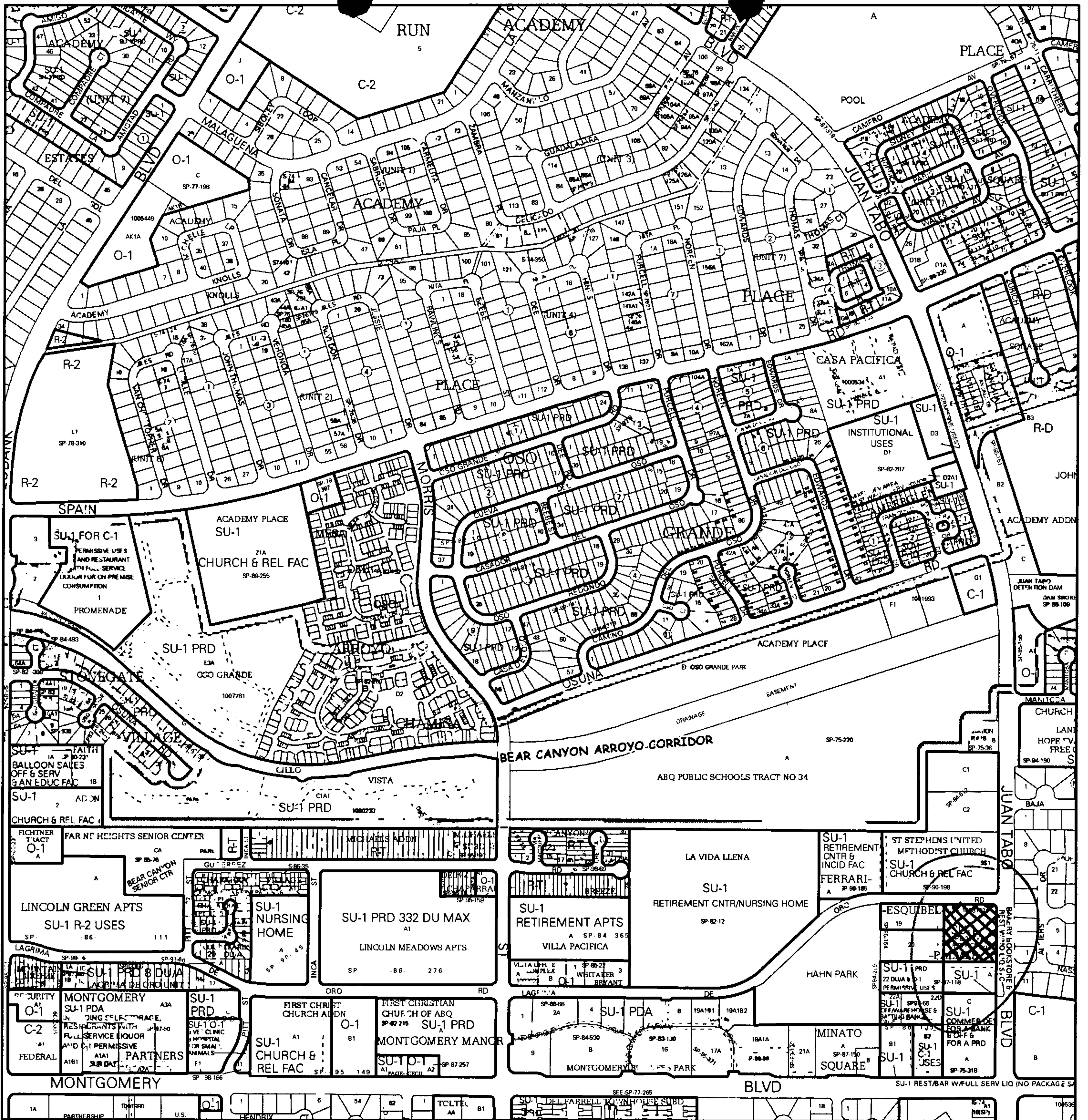


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
09DRB - 70260

Sandy Handley 08/4/09
Planner signature / date
Project # 1003102



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 3/10/2009

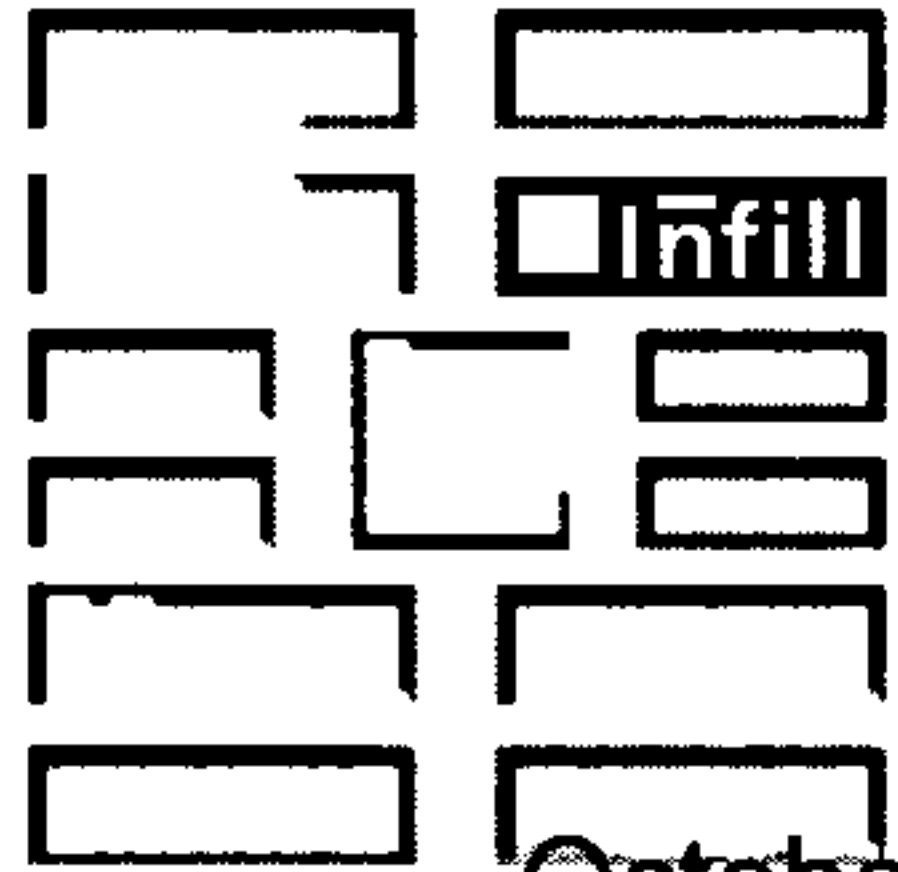
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-21-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet



Infill Solutions
Innovative Urban Design and Development

October 12, 2007

Ms. Sheran Matson
Chairperson, Development Review Board
City of Albuquerque Planning Department
600 2nd Street, NW
Albuquerque, New Mexico
8 7 1 0 2

Re: DRB Application No: 06DRB-00935 and 06DRB-00936, DRB Project #1003102
and
Project No. 785581/ Subdivision Improvements Agreement and Sidewalk
Deferral Agreement for property at Juan Tabo Blvd. and Lagrima de Oro Rd. N.E.
(Lot numbered Twelve-A(12-A) of the Plat of Lot 12-A, LANDS OF FERRARI-
ESQUIBEL-PALMER within Section 33, Township 11 North, Range 4 East,
N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, as the same is
shown and designated on the plat thereof, filed in the office of the County Clerk
of Bernalillo County, New Mexico on January 24, 2005, in Plat Book 2005C, page
27, as Document No. 2005011000)

Dear Ms. Matson:

Los Candelarias Partners, LLC is withdrawing its Preliminary Plat for its former property at Juan Tabo Blvd. N.E. and Lagrima del Oro Road N.E., DRB Application No: 06DRB-00935 and 06DRB-00936, DRB Project #1003102. We have sold this property and no longer have an interest in moving forward with this Preliminary Plat. We are therefore also requesting release of the Subdivision Improvements Agreement, recorded on 9/15/2006 at Book A124, page 505 and Sidewalk Deferral Agreement, recorded on 9/15/2006 in Book A124, page 587 and the right to terminate the financial guaranty.

We greatly appreciate your diligence in this matter and forwarding this request to Ms. Jane Rael, DRC Section Manager.

Sincerely,

LOS CANDELARIAS PARTNERS, LLC

By: _____

Christopher Calott, member

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Los Candelarias Partners, LLC PHONE: 242-1871
 ADDRESS: 723-B Silver Ave. SW FAX: 242-1872
 CITY: ABQ STATE NM ZIP 87102 E-MAIL: _____

Proprietary interest in site: Owner List all owners: _____

AGENT (if any): Isaacson + Artman, P.A. PHONE: 268-8828
 ADDRESS: 128 Monroe St. NE FAX: 268-2632
 CITY: ABQ STATE NM ZIP 87108 E-MAIL: GennyD@iacivil.com

DESCRIPTION OF REQUEST: Major Subdivision Extension of Preliminary Plat Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 12-A Block: _____ Unit: _____
 Subdiv. / Adn. Lands of Ferrari-Esquivel-Palmer (tbka Soft Lofts)
 Current Zonings SU-1 PRD 22/DU/A+Office Proposed zoning: Same
 Zone Atlas page(s): F-21 No. of existing lots: 1 No. of proposed lots: 34
 Total area of site (acres): 1.9088 Density if applicable: dwellings per gross acre: 17.8 dwellings per net acre: 17.8
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 102106151008940114 MRGCD Map No. NA

LOCATION OF PROPERTY BY STREETS: On or Near: Juan Tabo Blvd. NE
 Between: Lagrimade Oro Rd. NE and Montgomery Blvd. NE

CASE HISTORY: 04DRB-00236; 05DRB-00911; 06EPC-00146; 06EPC-00147; 06DRB-00832; 06DRB-00837; 06DRB-00838; 06DRB-01054

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE Genevieve Donart DATE 5/8/07
 (Print) Genevieve Donart Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>07DRB-00620</u>	<u>EPP</u>	<u>5(3)</u>	<u>\$ 50.00</u>
_____	<u>CME</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>05/23/07</u>			Total <u>\$ 70.00</u>

Sandy Handley 05/11/07 Project # 1003102

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

- SKETCH PLAT REVIEW AND COMMENT** **YOUR ATTENDANCE IS REQUIRED.**
- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application

- MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT** **Your attendance is required.**
- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Copy of previous D.R.B. approved infrastructure list
 - Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
 - Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
 - Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- AMENDMENT TO PRELIMINARY PLAT (with minor changes)** **Your attendance is required.**
- AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**
- AMENDMENT TO GRADING PLAN (with minor changes)**
- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

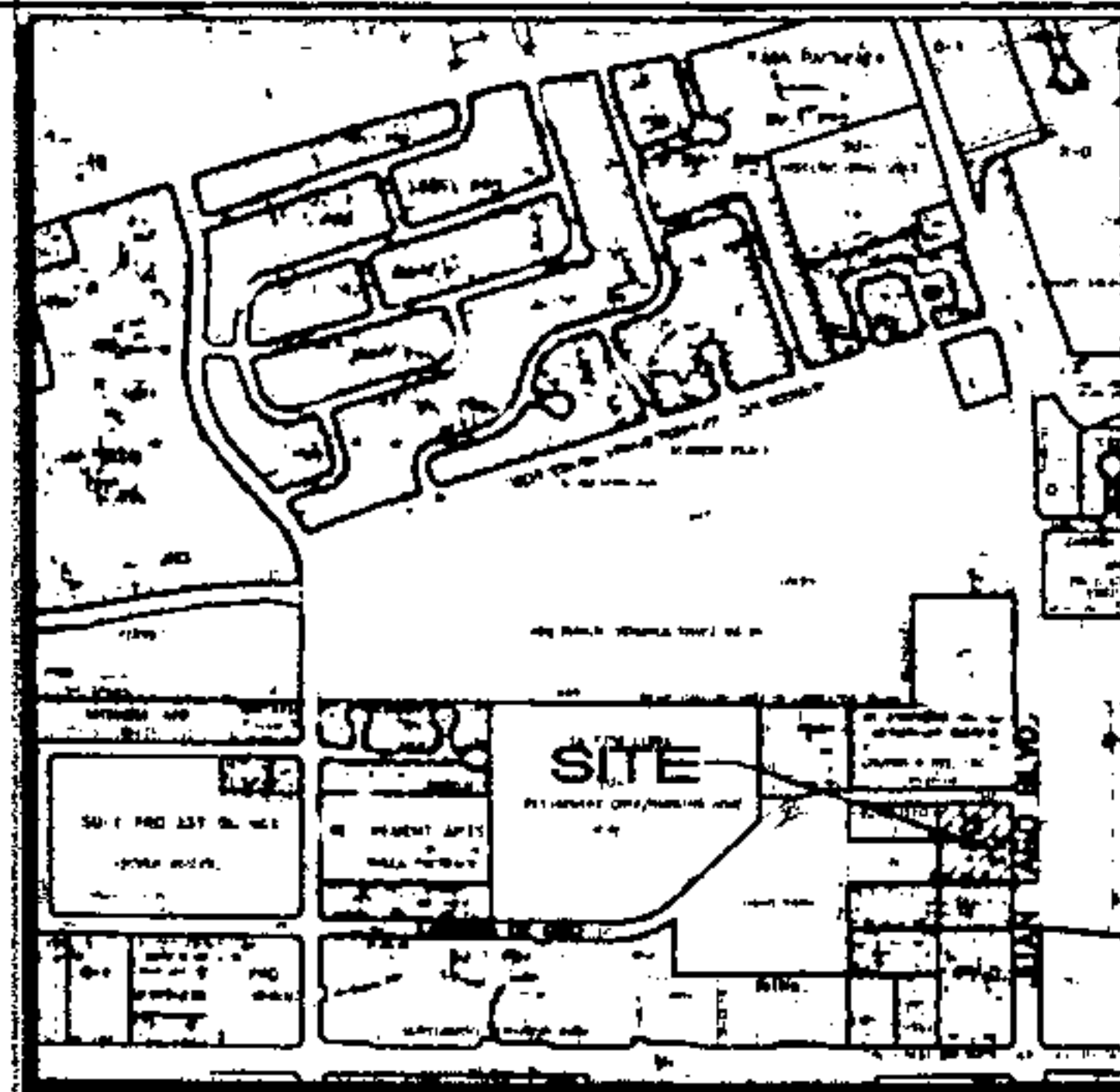
Genevieve Donart Applicant name (print)
Genevieve Donart Applicant signature / 5/8/07 date



Form revised 8/04, 1/05, 10/05 & NOV 06

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 01DRP- _____ -00670
 _____ - _____ - _____
 _____ - _____ - _____

Sandy Handley 05/11/07 Planner signature / date
Project # 1003102



KEYED EASEMENT NOTES

- ① EXISTING PUBLIC UTILITY EASEMENT TO BE VACATED BY FINAL PLAT (XX/XX/XXXX, BK XXX, Pg XXX)
- ② EXISTING 33' RIGHT-OF-WAY AND PUBLIC UTILITY EASEMENT (TYP.) TO BE VACATED BY FINAL PLAT (FILED: APRIL 11, 1985 VOLUME C26, FOLIO 192)
- ③ 7' WIDE PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT
- ④ PRIVATE PAVEMENT GRANTED AND MAINTAINED BY THE SOFT LOFTS HOMEOWNER'S ASSOCIATION BY FINAL PLAT
- ⑤ PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY BY FINAL PLAT
- ⑥ PUBLIC DRAINAGE EASEMENT AND EMERGENCY VEHICLE ACCESS GRANTED TO THE CITY OF ALBUQUERQUE BY FINAL PLAT
- ⑦ 5' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 1-9 TO BE MAINTAINED BY THE OWNER OF THE PROPERTY THAT THE EASEMENT OVERLAYS TO BE GRANTED BY FINAL PLAT
- ⑧ 5' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 10-14 AND LOTS 18-22 TO BE MAINTAINED BY THE OWNER OF THE PROPERTY THAT THE EASEMENT OVERLAYS TO BE GRANTED BY FINAL PLAT
- ⑨ 5' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 15-17 AND LOTS 23-25 TO BE MAINTAINED BY THE OWNER OF THE PROPERTY THAT THE EASEMENT OVERLAYS TO BE GRANTED BY FINAL PLAT

EASEMENTS CONT.

- ⑩ 5' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOT 18 TO BE MAINTAINED BY THE OWNER OF THE PROPERTY THAT THE EASEMENT OVERLAYS TO BE GRANTED BY FINAL PLAT
- ⑪ 5' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 31-34 TO BE MAINTAINED BY THE OWNER OF THE PROPERTY THAT THE EASEMENT OVERLAYS TO BE GRANTED BY FINAL PLAT
- ⑫ 23' WIDE PRIVATE ROADWAY, PEDESTIAN ACCESS, AND DRAINAGE EASEMENT GRANTED TO AND MAINTAINED BY THE SOFT LOFTS HOMEOWNER'S ASSOCIATION BY FINAL PLAT
- ⑬ 23' WIDE PUBLIC SANITARY SEWER EASEMENT GRANTED TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY BY FINAL PLAT
- ⑭ 10' WIDE PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY FINAL PLAT
- ⑮ 10' WIDE PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT

PRELIMINARY PLAT FOR
SOFT LOFTS SUBDIVISION
 BEING A REPLAT OF LOT 12A
 LANDS OF FERRARI-ESQUIBEL-PALMER
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL 2006

LEGAL DESCRIPTION

LOT NUMBER TWELVE-A (12-A) OF THE REPLAT OF THE LANDS OF FERRARI-ESQUIBEL-PALMER, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 24, 2005, IN PLAT BOOK 2005C, FOLIO 27.

ACS BENCHMARK

CITY OF ALBUQUERQUE
 STATION No. "28-F21"
 ELEVATION: 5745.73 (NAVD 1929)

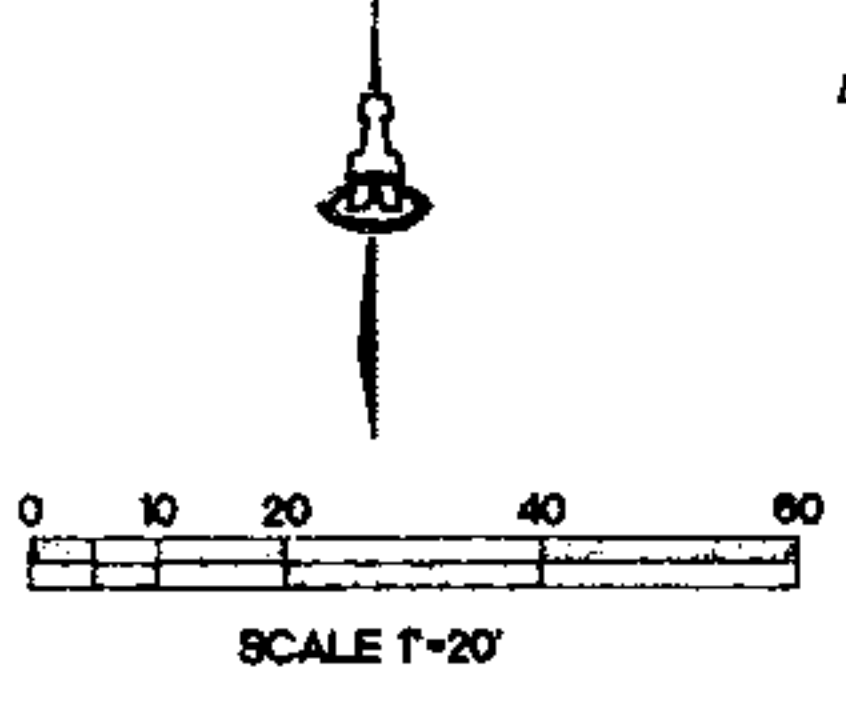
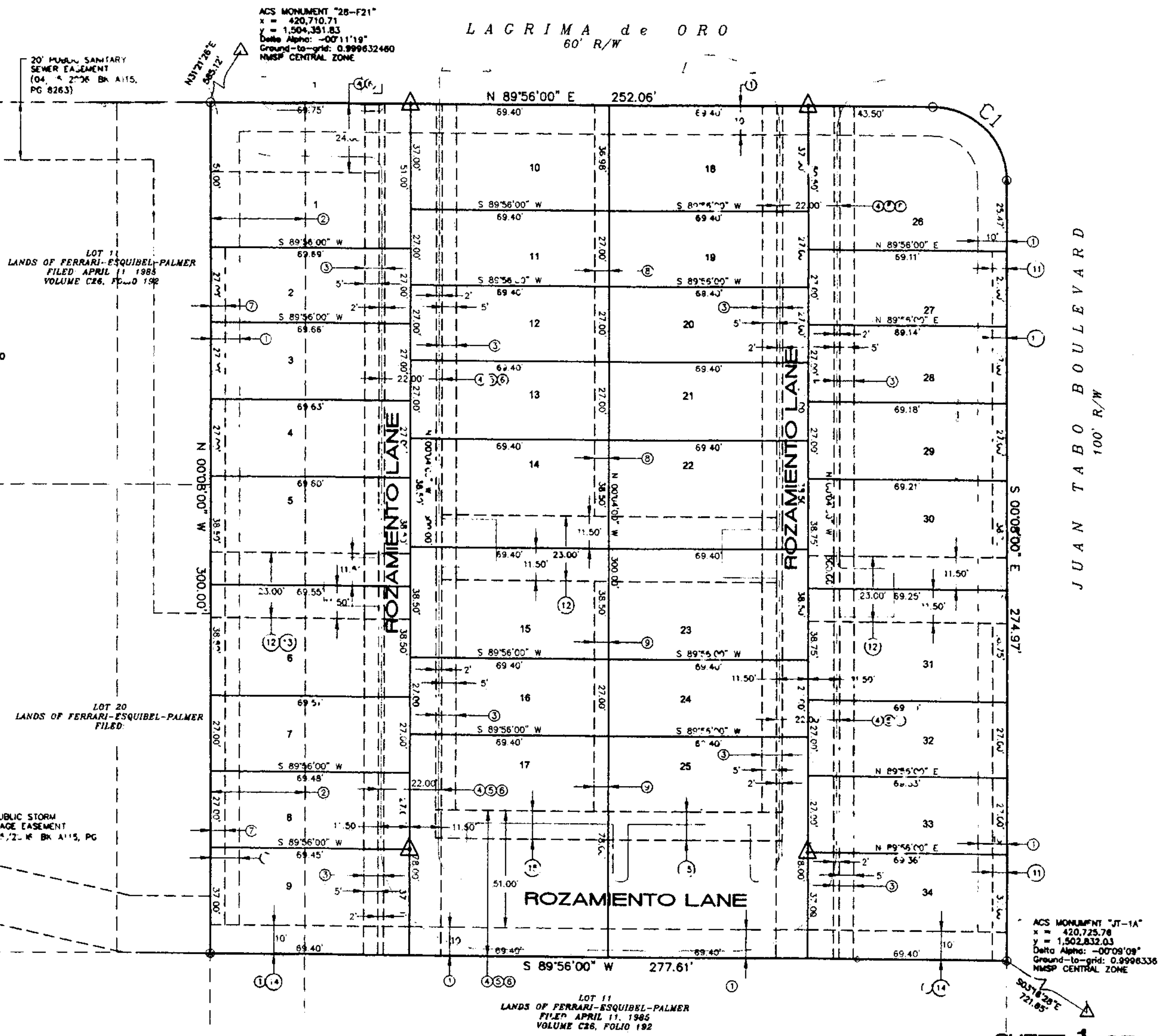
SITE DATA

1. TOTAL LAND AREA = 1.9088 ACRES.
2. NUMBER OF EXISTING TRACTS IS 2.
3. NUMBER OF PROPOSED RESIDENTIAL LOTS IS 34.
4. LOT AREA: 57,111 SQ. FT. AT 22.00' ACRES.
5. ALL DISTANCES WILL MEET CITY STANDARDS AND WILL BE PUBLIC UTILITY EASEMENT AND BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. ALL LOTS SHALL HAVE DIRECT ACCESS TO JUAN TABO BLVD. NEAR LAGRIMA DE ORO.
6. CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT CITY OF ALBUQUERQUE.

NOTES

1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN WILL BE MARKED BY A 1/2" DIA. IRON REBAR WITH PLASTIC CAP STAMPED "P" #14269.
2. ALL STREET CENTERLINE POINTS SHOWN WILL BE MARKED BY A 1/2" DIA. ALUMINUM DISK STAMPED "CENTR" LINE MONUMENT, PLS #14269.
3. BOUNDARIES WILL BE SET TO THE NEW MEXICO STATE PLANNED COORDINATE SYSTEM AT THE TIME OF CONSTRUCTION.
4. BASIS OF BEARINGS WILL BE NAD 83 AND DISTANCES WILL BE IN FEET AND DECIMALS THEREOF.
5. DISTANCES WILL BE IN FEET AND DECIMALS THEREOF.
6. MANHOLE WILL BE SET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTION, AND ALL ANGLE POINTS. ALL WILL BE OF CENTERLINE IMPLEMENTATION.
7. THERE SHALL BE A MINIMUM OF 4' CLEARANCE FEET OPEN SPACE PROVIDED FOR EACH LOT WITHIN THE SUBDIVISION.

F-21-Z
 VICINITY MAP
 SCALE 1"=750'±



- LEGEND**
- C FOUND 5/8" REBAR (TYP.)
 - SET 5/8" REBAR WITH CAP "A" S 7719" TYP.
 - L FOUND 5/8" REBAR WITH CAP "ALS" S 7719" TYP.
 - ⊙ FOUND 1/2" REBAR (P)
 - PROPERTY LINE
 - - - ADJOINING PROPERTY LINE
 - △ CENTERLINE MONUMENT

CURVE TABLE

STATION	RADIUS	LENGTH	DELTA
1	7.20	39.89	91.24°

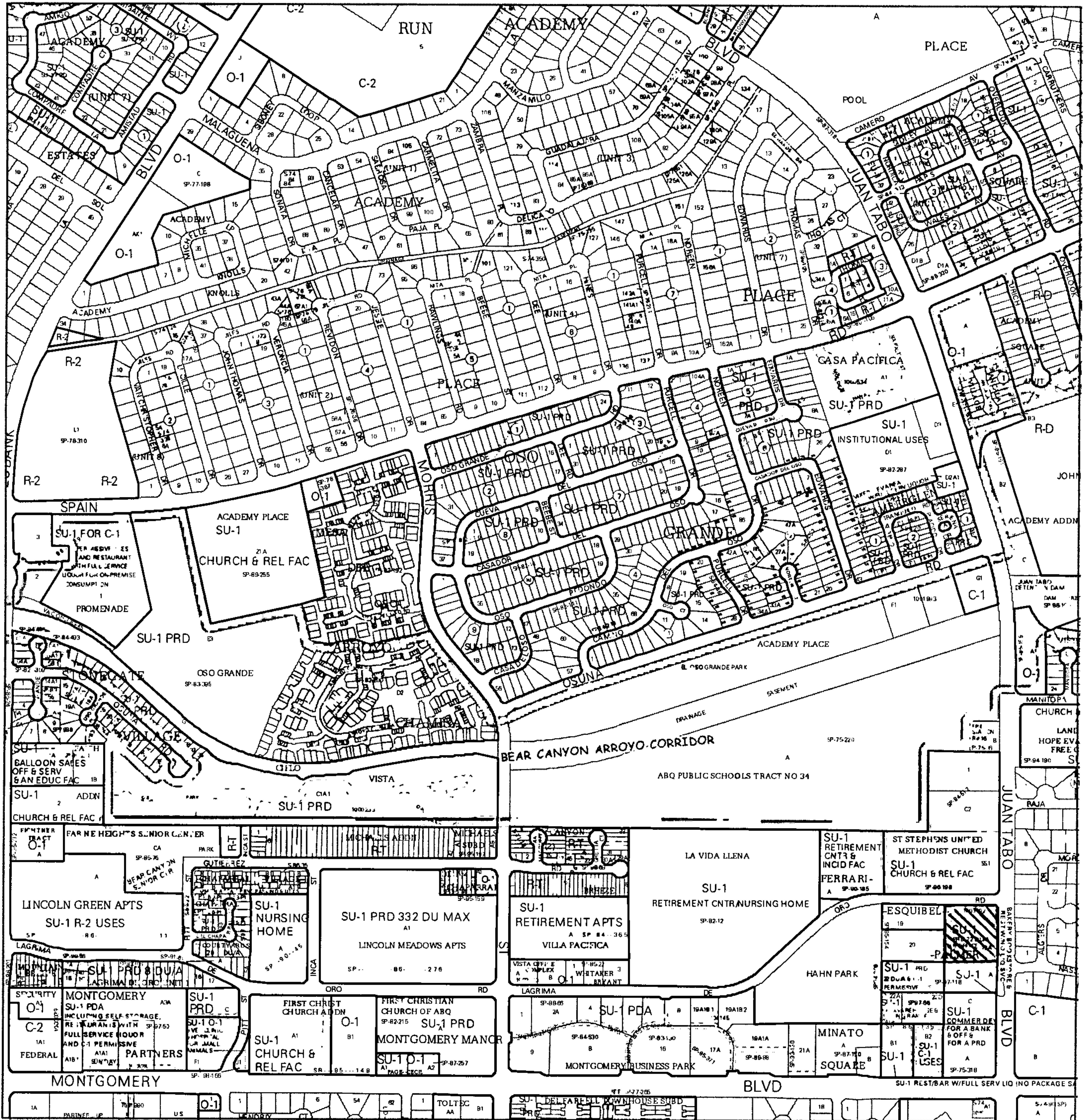
APPROVED FOR MONUMENTATION AND STREET NAMES

[Signature] 6/8/06
 CITY SURVEYOR DATE

OWNERSHIP

[Signature] 6/8/06
 JAY R. ... PARTNERS DATE

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-269-8828 Fax 505-269-2632
 141 3rd Avenue N.W. (505) 271-1111



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Map amended through: 2/18/2007

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-21-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

May 8, 2007

Ms. Sheran Matson
DRB Chair
City of Albuquerque
600 2nd St NE
Albuquerque, NM 87102

**RE: Extension of Preliminary Plat for the Soft Lofts subdivision
(DRB Project #1003102)**

Dear Ms. Matson:

Isaacson & Arfman, P.A., as agents for Infill Solutions, LLC, requests an extension of the preliminary plat for the above mentioned project. The final plat for this project has not yet been filed, but the owner plans to keep the same configuration previously approved with the preliminary plat and site development plan.

Please contact me at 268-8828 or gennyd@iacivil.com if you have any questions about this application.

Sincerely yours,
Isaacson & Arfman, P.A.

Genny Donart, PE
GD/gld

Attachments



OFFICIAL NOTICE OF DECISION

JUL 24 2006

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 19 2006

5. Project # 1003102

06DRB-00832 Major-Preliminary Plat Approval

06DRB-00837 Minor-Sidewalk Waiver

06DRB-00838 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 Du/Acre), located on LAGRIMA DE ORO NE, between JUAN TABO NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 04DRB-00236, 06EPC-00146, 06EPC-00147, 05DRB-00911] *[Deferred from 7/12/06]* (F-21)

At the July 19, 2006, Development Review Board meeting, with the signing of the infrastructure list dated 7/19/06 and approval of the grading plan engineer stamp dated 6/8/06, the preliminary plat was approved with the following conditions of final plat:

If the final plat is approved after 10/31/06, the subdivider must comply with City Council Resolution R-06-74 regarding Pre-Development Facility Fee Agreements with the Albuquerque Public Schools (APS).

The Home Owner's Association President shall sign the final plat. If there is no Home Owner's Association President, the owner can sign.

A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

06DRB-00935 Minor-SiteDev Plan Subd/EPC

06DRB-00936 Minor-SiteDev Plan BldPermit/EPC

INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER, (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 DU/acre) located on JUAN TABO BLVD NE, between MONTGOMERY BLVD NE and LAGRIMA DE ORO RD NE containing approximately 2 acre(s). [REF: 05DRB-00911, 06EPC-00146, 06EPC-00147] **[David Stallworth, EPC Case Planner]** *[Deferred from 7/12/06]* (F-21)



OFFICIAL NOTICE OF DECISION

PAGE 2

The site plan for subdivision and the site plan for building permit were approved with final sign off delegated to Planning for the vacation of the 35-foot roadway and public utility easement and 3 copies of the site plan.

If you wish to appeal this decision, you must do so by August 3, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

A handwritten signature in cursive script, reading "Sheran Matson", is positioned above the typed name.

Sheran Matson, AICP, DRB Chair

Cc: Isaacson & Arfman PA, 128 Monroe St NE, 87108
Infill Solutions, Christopher Calott, 723-B Silver Ave SW, 87102
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Submitted: 7-12-06
 Date Site Plan Approved: [Signature]
 Date Preliminary Plat Approved: 7-12-06
 Date Preliminary Plat Expires: 7-12-07
 DRB Project No.: 1003102
 DRB Application No.: LG DRB-0032

THE SOFT LOFTS

PROPOSED NAME OF PLAT AND/OR SITE: _____

Tract 12-A, Lands of Ferrari-Esquibel-Palmer
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	20' F-F	Residential paving <u>670'</u> including parking areas <u>1191 yd²</u>	Rozamiento Lane	Lagrima de Oro	Lagrima de Oro	/	/	/
<input type="checkbox"/>	<input type="checkbox"/>	22' F-F	Residential paving <u>75' + 167 yd² parking + 107 yd² 4 pull outs</u> including parking areas <u>150 yd²</u>	Rozamiento Lane	east/west portion along south boundary		/	/	/
<input type="checkbox"/>	<input type="checkbox"/>	16' F-F	Residential paving <u>55'</u> <u>73 yd²</u>	Rozamiento Lane gate access area			/	/	/
<input type="checkbox"/>	<input type="checkbox"/>		Curb & gutter (2) <u>14100'</u>	Rozamiento Lane	Lagrima de Oro	Lagrima de Oro	/	/	/
<input type="checkbox"/>	<input type="checkbox"/>		Curb & gutter (2) <u>478'</u>	Rozamiento Lane gate access area			/	/	/
<input type="checkbox"/>	<input type="checkbox"/>	<u>8.5'</u> <u>22' wide</u>	parking spaces <u>incl. curb & gutter modifications</u>	Lagrima de oro	Rozamiento Lane	Rozamiento Lane	/	/	/
<input type="checkbox"/>	<input type="checkbox"/>	<u>4'</u>	Concrete sidewalk (deferred) <u>60'</u>	Private esm't. between lots 5 & 6	Rozamiento Lane	Hahn Park	/	/	/
<input type="checkbox"/>	<input type="checkbox"/>	<u>4'</u>	Concrete sidewalk (deferred) <u>70'</u>	Private esm't. between lots 14&15, and Lots 22&23	Rozamiento Lane	Rozamiento Lane	/	/	/
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<u>4'</u>	Concrete sidewalk (deferred) <u>60'</u>	Private esm't. between lots 30 & 31	Rozamiento Lane	Juan Tabo Blvd	/	/	/

ORIGINAL

B

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To
785581	785581	6"	✓ Waterline 760'	Rozamiento Lane	Lagrima de Oro	Lagrima de Oro
		6"	✓ Waterline 25'	Rozamiento Lane	Rozamiento Lane	Exst 10" Waterline south of property
			Water meter for landscaping			
		8"	✓ Sanitary Sewer 200'	Rozamiento Lane	Lagrima de Oro	Lagrima de Oro
		8"	✓ Sanitary Sewer 85'	Public easement between lots 5 & 6	Babe Ruth Way	Hahn Park
		8"	✓ Sanitary Sewer 365'	Hahn Park	East Property line	Lagrima de Oro
		48"	✓ Exst Sanitary Sewer: Abandon per DRC 345'	Lagrima de Oro	W. Boundary line	Hahn Park Parking lot
		48" 24"	✓ Storm Drain 530'+280'	Exst public easement on Hahn Park	Rozamiento Lane	Lagrima de Oro
		2'	✓ concrete backyard rundown 215'	private easement	Lot 10	Lot 17
		1'	✓ concrete backyard rundown ~260'	east property line	Lot 26	Lot 34

Construction Certification		
Private		City Cnst Engineer
Inspector	P.E.	
/	/	/
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(rev. 9-20-05)

ORIGINAL

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 All sidewalks to be deferred.
- 2 Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.
- 3 Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
- 4 All water to include fire hydrants, valves, and appurtenances per DPM.
- 5 Storm drain sizes are subject to change per final DRC determination.
- 6 *Signing per DRC*
- 7

AGENT / OWNER

Genevieve Donart
NAME (print)

Isaacson & Arfman, P.A.
FIRM

Genevieve Donart 6/08/06
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

J. Matson 07/19/06
DRB CHAIR - date

Christina Sanloval 7/19/06
PARKS & GENERAL RECREATION - date

[Signature] 7-19-06
TRANSPORTATION DEVELOPMENT - date

[Signature] 7/19/06
UTILITY DEVELOPMENT - date

Bradley D. Brighan 7/19/06
CITY ENGINEER - date

AMAFCA - date
- date
- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME LOS CANDELARIAS PARTNER LLC
 AGENT ISAACSON & ARFMAN P.A.
 ADDRESS 128 MONROE ST. NE
 PROJECT & APP # 1003102/07DRB000620
 PROJECT NAME SOFT LOFTS

\$ 20.00 441032/3424000 Conflict Management Fee
 \$ 50.00 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 70.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

5/11/2007 12:19PM LOC: ANNX
 RECEIPT# 00075432 WSH 008 TRANS# 0025
 ACCOUNT 441032 FUND 0110
 ACTIVITY 3424000 TRSLJS
 TRANS AMT \$70.00
 J24 Misc \$20.00
 UI \$0.00
 CHANGE \$0.00

City Of Albuquerque
 Treasury Division

City Of Albuquerque
 Treasury Division

5/11/2007 12:19PM LOC: ANNX
 RECEIPT# 00075432 WSH 008 TRANS# 0025
 Account 441032 Fund 0110
 Activity 3424000 TRSLJS
 Trans. Amt \$70.00
 J24 Misc \$20.00

Thank You

Thank You

Counterreceipt.doc 6/21/04

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input checked="" type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	APPEAL / PROTEST of...
STORM DRAINAGE	D	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: INFILL SOLUTIONS, INC. PHONE: 242-1871
 ADDRESS: 723-B SILVER AVE SW FAX: 242-1872
 CITY: ALBUQ STATE NM ZIP 87102 E-MAIL: REMBEE@INFILLSOLUTIONS.COM
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): ISAACSON & ARFMAN PHONE: 268-8828
 ADDRESS: 128 MONROE ST NE FAX: 268-2632
 CITY: ALBUQ STATE NM ZIP 87108 E-MAIL: GennyDeiacivil.com

DESCRIPTION OF REQUEST: VACATION OF PUBLIC EASEMENT FOR THE SOFT LOFTS

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 12-A Block: _____ Unit: _____
 Subdiv. / Addn. LANDS OF FERRARI - ESQUIBEL - PALMER
 Current Zoning: SU-1 PRD 22 DU/Ac Proposed zoning: SAME
 Zone Atlas page(s): F-21 No. of existing lots: 1 No. of proposed lots: _____
 Total area of site (acres): 1.91 Density if applicable: dwellings per gross acre: 17.8 dwellings per net acre: 17.8
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 102106151008940114 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: JUAN TABO BLVD NE
 Between: LAGRIMA DE ORO NE and MONTGOMERY BLVD NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): Proj # 1003102
APP# 06-DRB-00832, 06 DRB-00837, 06 DRB-00838, 06 EPC-00146, 06 EPC-00147, 05 DRB-00911

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE Genevieve Donart DATE 7/20/06
 (Print) GENEVIEVE DONART _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06 DRB - 01054</u>	<u>VPE</u>		\$ <u>300.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CME</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>Adv</u>		\$ <u>75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ <u>395.00</u>

Hearing date August 16, 2006

Andrew Garcia 7/21/06

Project # 1003102

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
- Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **6 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Genevieve Donorf Applicant name (print)
Genevieve Donorf Applicant signature / date 7/20/06

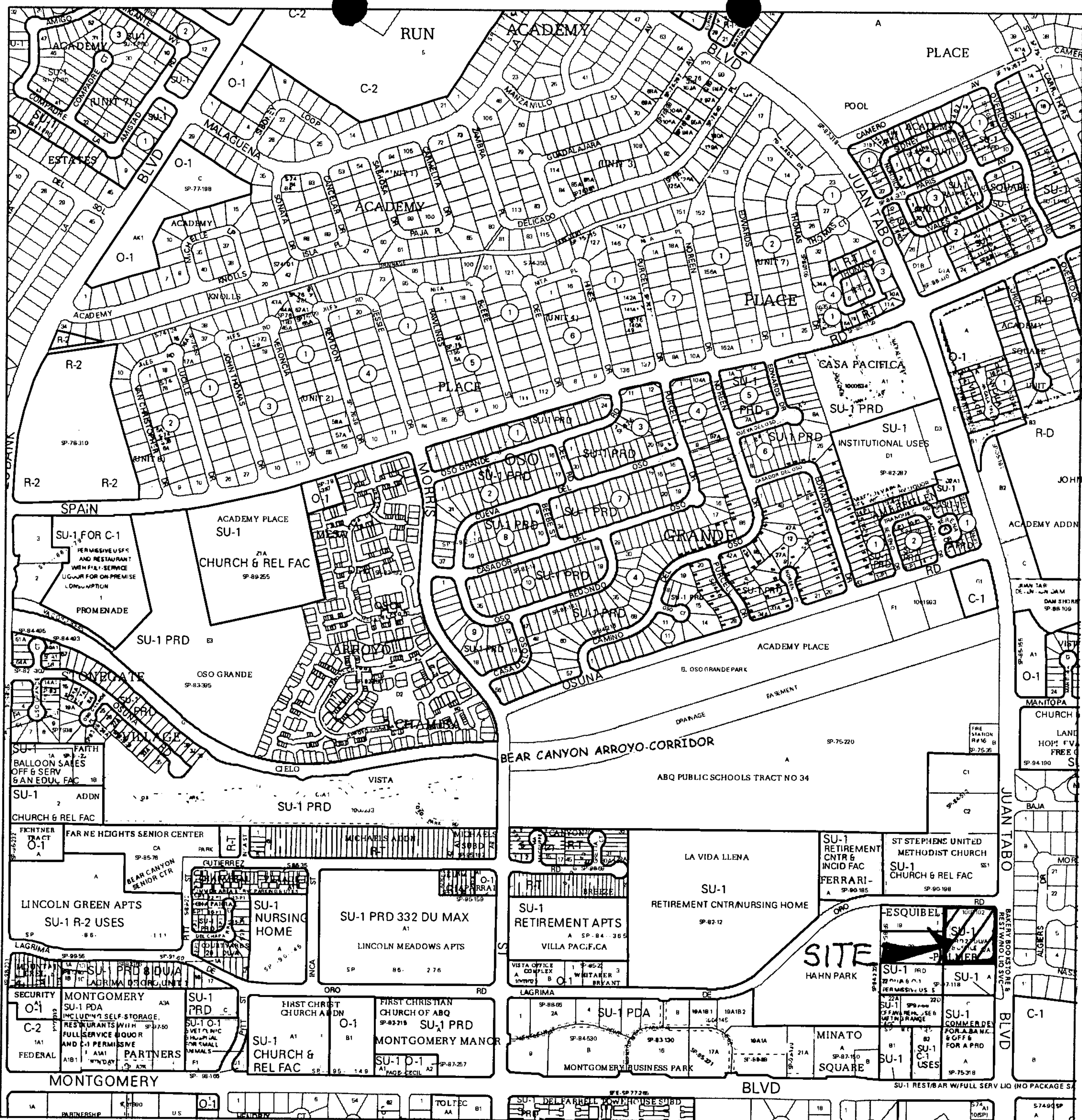


Form revised 4/03, 10/03 and JUNE 2005

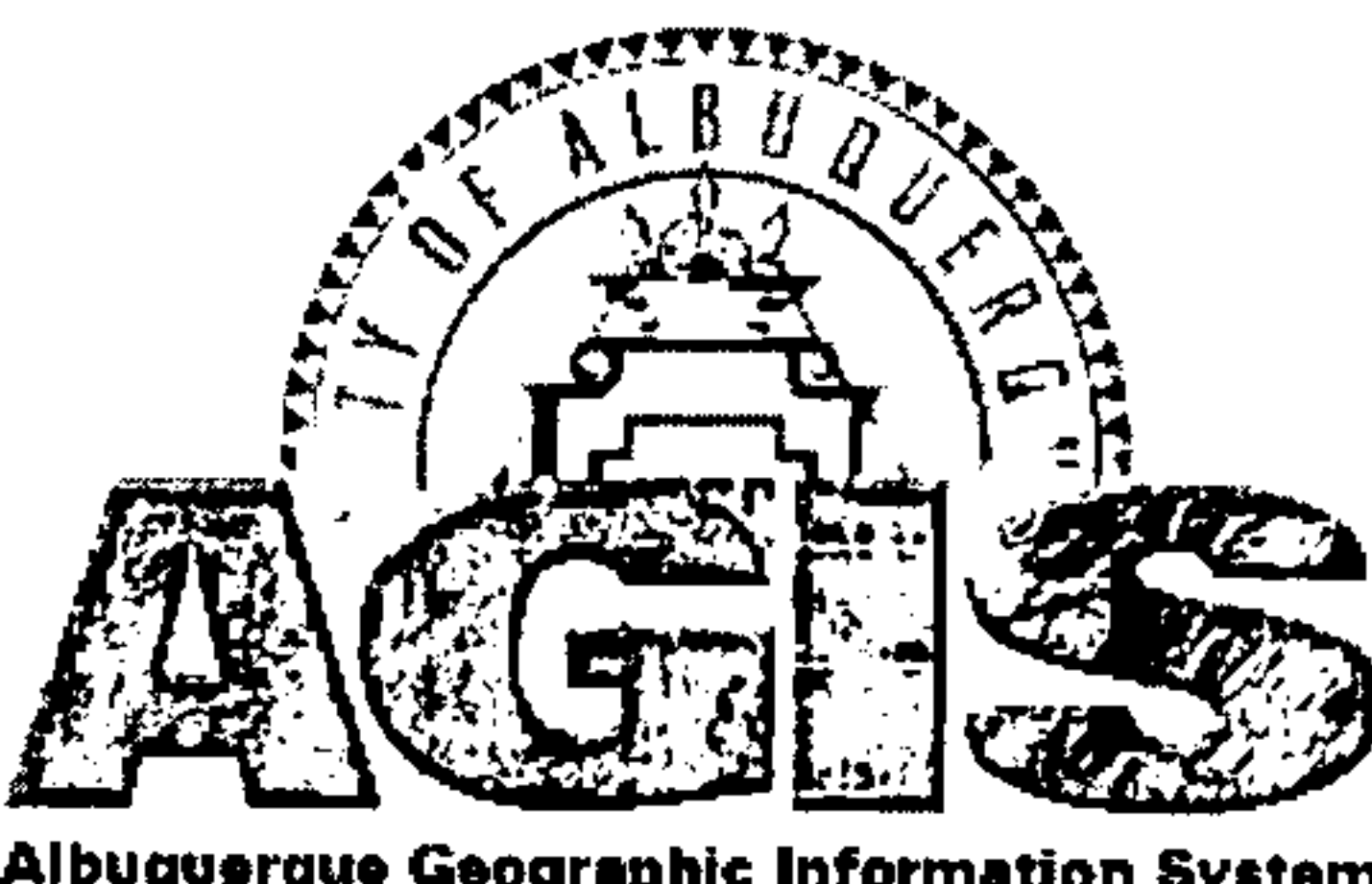
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06028 - 01054

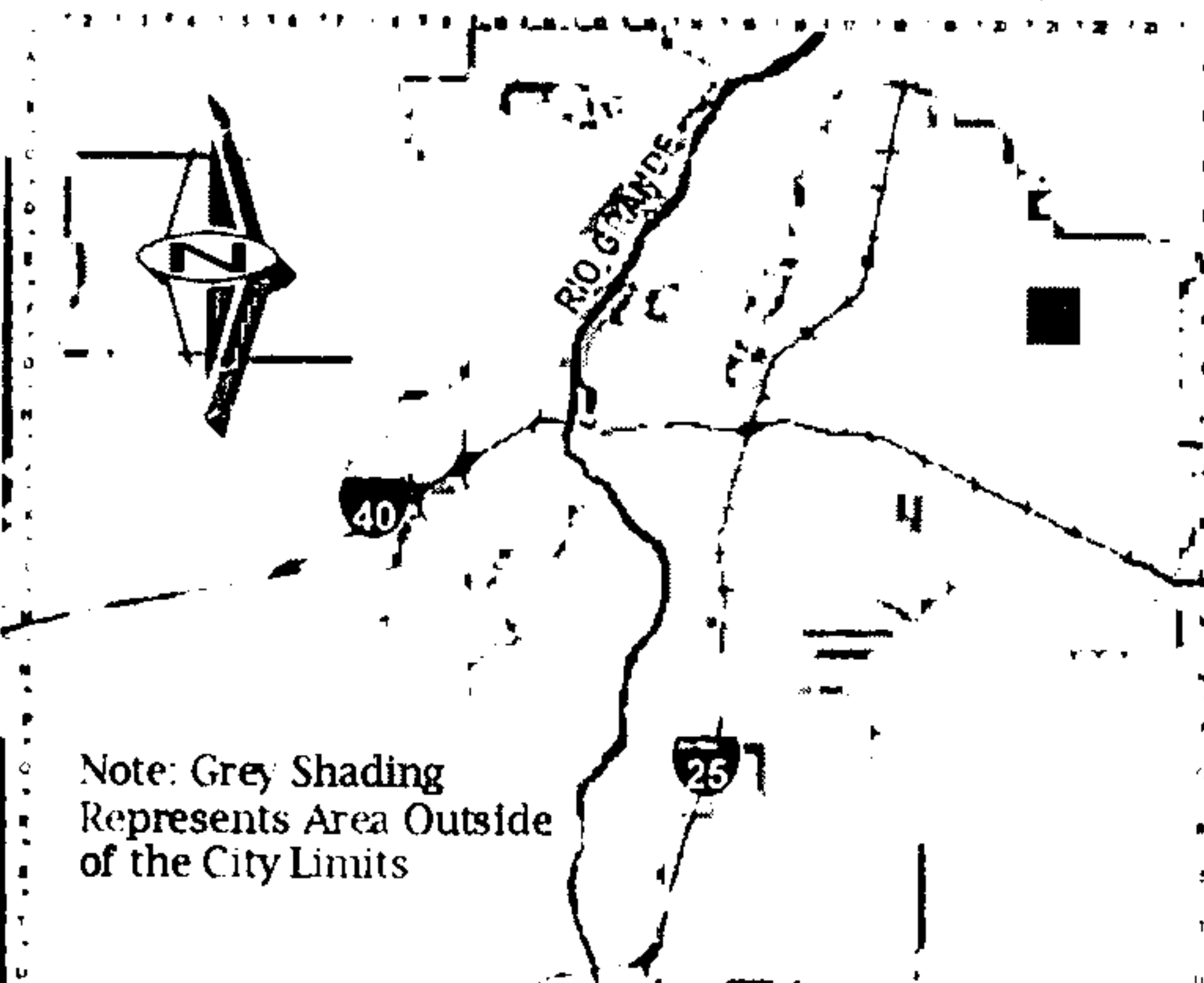
Archen Garcia 7/21/06
 Planner signature / date
Project # 1003102



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/21/2006



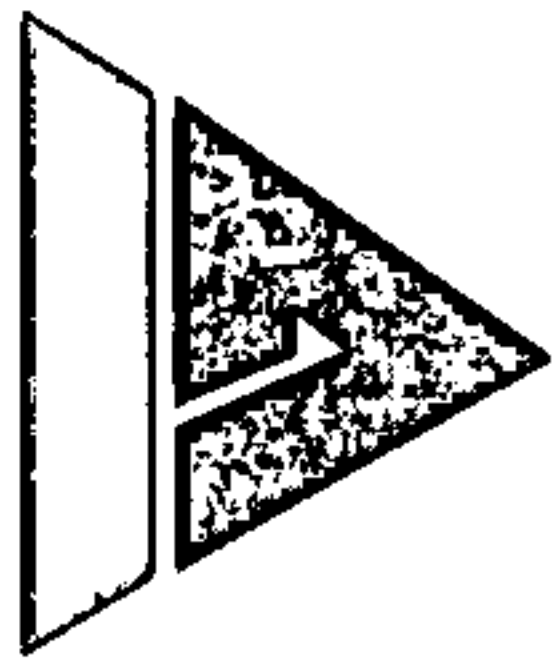
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-21-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



PROJECT MEMORANDUM

07/20/06

TO: Sheran Matson, DRB Chair

FROM: Genny Donart, Isaacson & Arfman, P.A.

REF: The Softs Lofts
(Lot 12-A, Lands of Ferrari-Esquibel-Palmer)

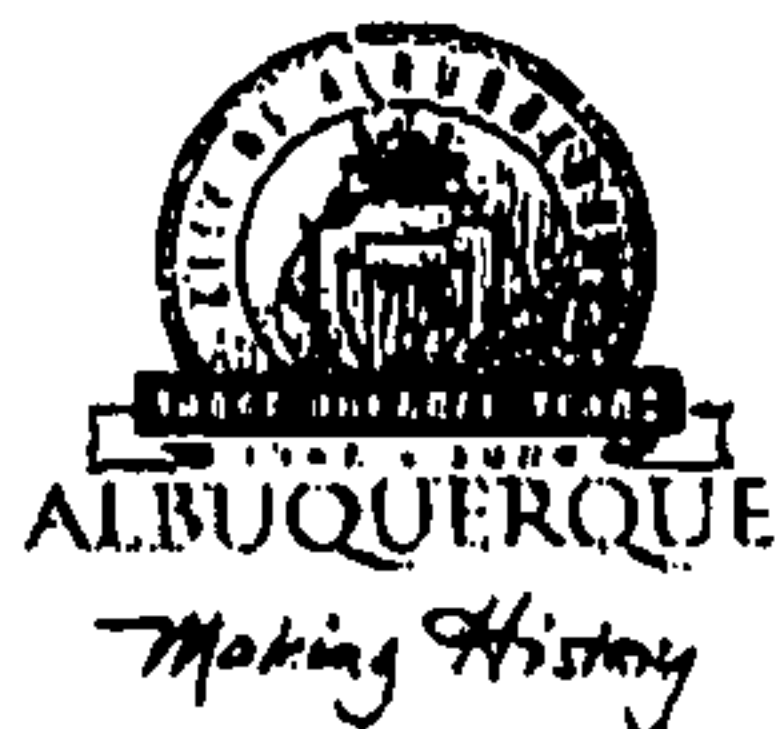
PROJ NO: 1463

SUBJ: Justification for Vacation of Public Easement

Isaacson & Arfman, P.A., as agents for Infill Solutions, Inc., requests approval for vacation of the 33' wide access and public utility easement along the west boundary of the Soft Lofts subdivision.

We feel that this vacation action is justified for the following reasons:

1. All the lots that the easement was originally intended to serve have already been developed, and have access and utilities worked out from Juan Tabo Blvd, Montgomery Blvd, or cross-lot access through other lots.
2. There are no existing utilities or roads in the easement.
3. The proposed development on the site will create new access and utility easements to serve the property.
4. The public interest is in no way served by retaining the easement.



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

July 20, 2006

Ruth Lozano
Isaacson and Arfman, P.A.
128 Monroe St. NE/87108
Phone: 268-8828/Fax: 268-2632

Dear Ruth:

Thank you for your inquiry of July 20, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **LOT 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER, LOCATED ON JUAN TABO BOULEVARD NE BETWEEN LAGRIMA DE ORO ROAD NE AND MONTGOMERY BOULEVARD NE** zone map F-21.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

S.Y. JACKSON N.A., INC. (SYJ) "R"

***Jeff Weaver**

4635 Algiers NE/87111 856-8048 (w) 228-8378 (c)

Wanda Silva

4533 Oahu Dr. NE/87111 294-9742 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani J. Winklepleck

Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(07/11/06)

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE

July 20, 2006

CERTIFIED MAIL 7005 1160 0001 1329 6699

Ms. Wanda Silva
S. Y. Jackson Neighborhood Association
4533 Oahu Drive NE
Albuquerque, NM 87111

**RE: Lot 12-A, Lands of Ferarri-Equibel-Palmer
Vacation of Public Easement for the Soft Lofts**

Dear Ms. Silva:

As the consulting engineers for the above referenced site, we are writing this letter to inform the S. Y. Jackson Neighborhood Association that we are requesting a City hearing to vacate a public utility and access easement on the property at the southwest corner of Juan Tabo and Lagrima de Oro, east of Hahn Park. Attached is a copy of the vicinity map showing the site location.

Please call me at 268-8828 if you have questions.

Sincerely,
ISAACSON & ARFMAN, P.A.

Genny Donart, PE
GD/gld

7005 1160 0001 1329 6699

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For delivery information visit our website at www.usps.com		
ALBUQUERQUE, NM 87101		
OFFICIAL USE		
39¢	Postage	\$ 0.05
2.40	Certified Fee	\$ 2.40
1.05	Return Receipt Fee (Endorsement Required)	\$ 1.05
	Restricted Delivery Fee (Endorsement Required)	\$ 0.00
4.64	Total Postage & Fees	\$ 4.64
0108		
ALBUQUERQUE, NM Postmark JUL 20 2006 07/20/2006		
Sent To	Wanda Silva S.Y. Jackson N.A.	
Street, Apt. No.; or PO Box No.	4533 Oahu Drive NE	
City, State, ZIP+4	Albuquerque, NM 87111	
PS Form 3800, June 2002		See Reverse for Instructions



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

July 20, 2006

CERTIFIED MAIL 7005 1160 0001 1329 6682

Mr. Jeff Weaver
S. Y. Jackson Neighborhood Association
4635 Algiers NE
Albuquerque, NM 87111

**RE: Lot 12-A, Lands of Ferarri-Equibel-Palmer
Vacation of Public Easement for the Soft Lofts**

Dear Mr. Weaver:

As the consulting engineers for the above referenced site, we are writing this letter to inform the S. Y. Jackson Neighborhood Association that we are requesting a City hearing to vacate a public utility and access easement on the property at the southwest corner of Juan Tabo and Lagrima de Oro, east of Hahn Park. Attached is a copy of the vicinity map showing the site location.

Please call me at 268-8828 if you have questions.

Sincerely,
ISAACSON & ARFMAN, P.A.

Genny Donart, PE
GD/gld

7005 1160 0001 1329 6682

2899 6682 1329 1000 0911 5002

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For delivery information visit our website at www.usps.com	
ALBUQUERQUE NM 87111 OFFICIAL USE	
Postage	\$ 0.39
Certified Fee	\$2.40
Return Receipt Fee (Endorsement Required)	\$1.85
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 4.64
Sent To	Jeff Weaver
	S.Y. Jackson N.A.
Street, Apt. No., or PO Box No.	4635 Algiers NE
City, State, ZIP+4	Albuquerque, NM 87111
PS Form 3800, June 2002	
See Reverse for Instructions	

Thank You
\$20.00

ONE STOP SHOP

CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

RECEIPT# 00063990 WSH 006 TRANSH 0033
LOC: ANNX 11:21AM 006
PAID RECEIPT

APPLICANT NAME Fufill Solutions Inc
AGENT Isaacson & Arfman
ADDRESS 128 Monroe St. NE.
PROJECT & APP # 1003102 / 06 DRB-01054
PROJECT NAME Soft Lofts

- \$ 26.00 441032/3424000 Conflict Management Fee
- \$ 300.00 441006/4983000 DRB Actions
- \$ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ 75.00 441018/4971000 Public Notification
- \$ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study
- \$ 395.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

7/21/2006
RECEIPT# 00063991 WSH 006
ACCOUNT# 441006
ACTIVITY# 4983000
TRANS#
J24 MISS

ISAACSON AND ARFMAN P A
128 MONROE ST NE
ALBUQUERQUE, NM 87108-1247
268-8828

DATE 7/21/06

17186
95-219/1070 176
1350743997

City of Albuquerque
Treasury Division

THREE HUNDRED NINETY FIVE AND NO/100 DOLLARS

WELLS FARGO
Wells Fargo Bank, N.A.
New Mexico
wellsfargo.com

FOR 1463 DRB FEE

RECEIPT# 00063992 WSH 006 TRANSH 0033
Account 441018 Fund 01.0
Activity 471000

7/21/2006 11:22AM LOC: ANNX
TRSVRS

\$75.00

Thank You
\$300.00

CHANGE \$0.00

Thank You

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

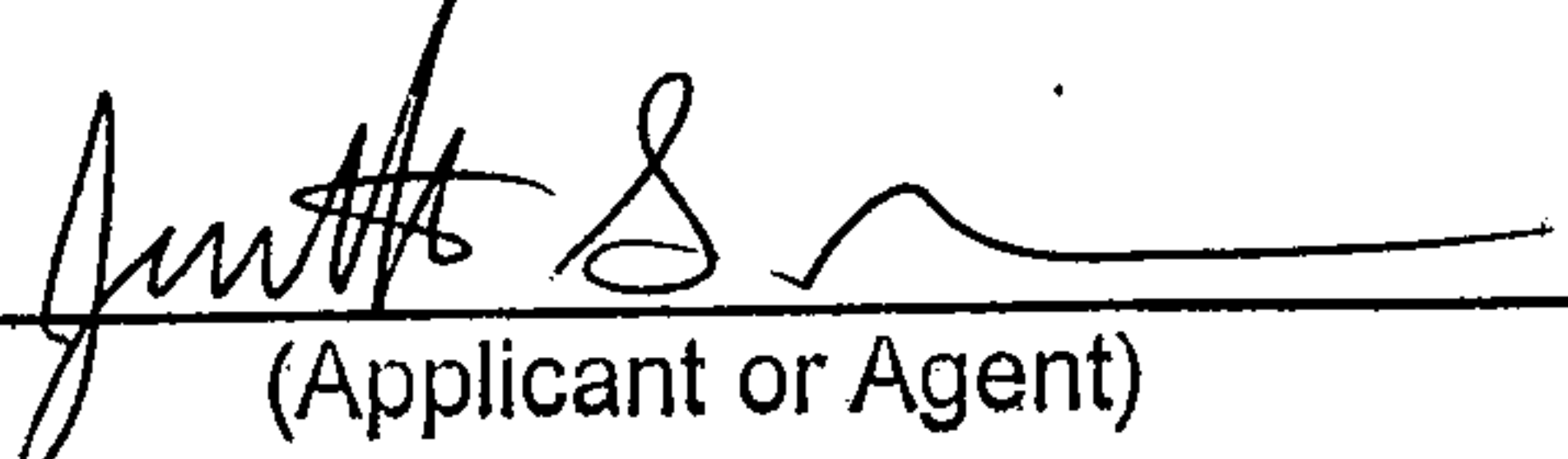
4. TIME

Signs must be posted from August 1, 2006 To August 16, 2006

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

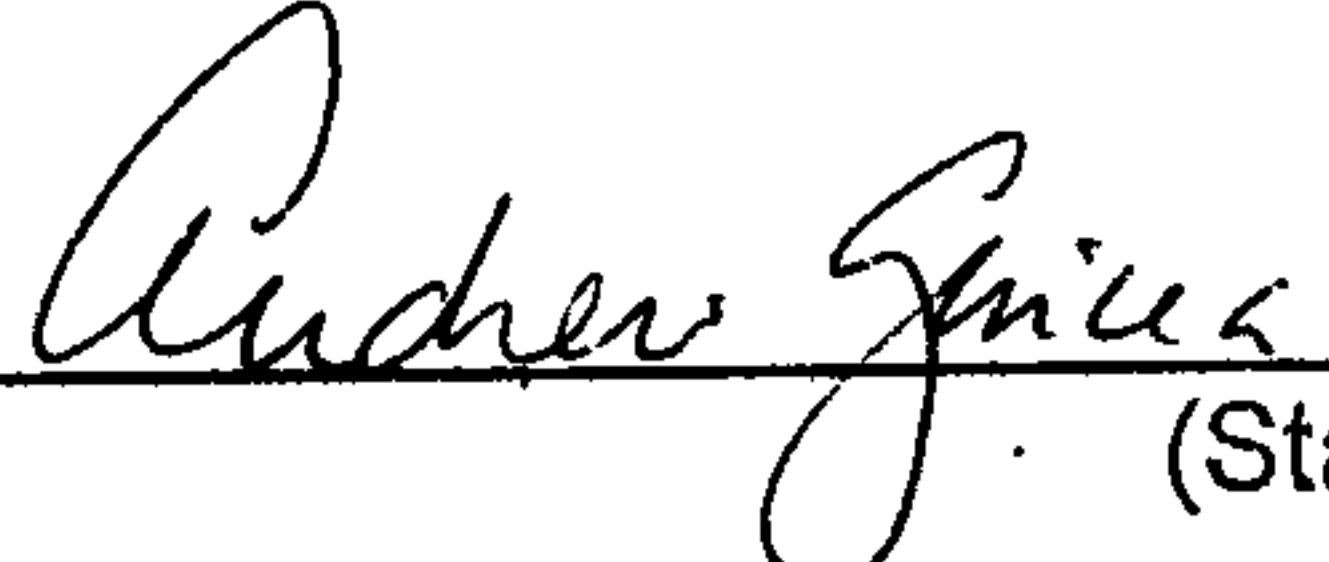
I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.


(Applicant or Agent)

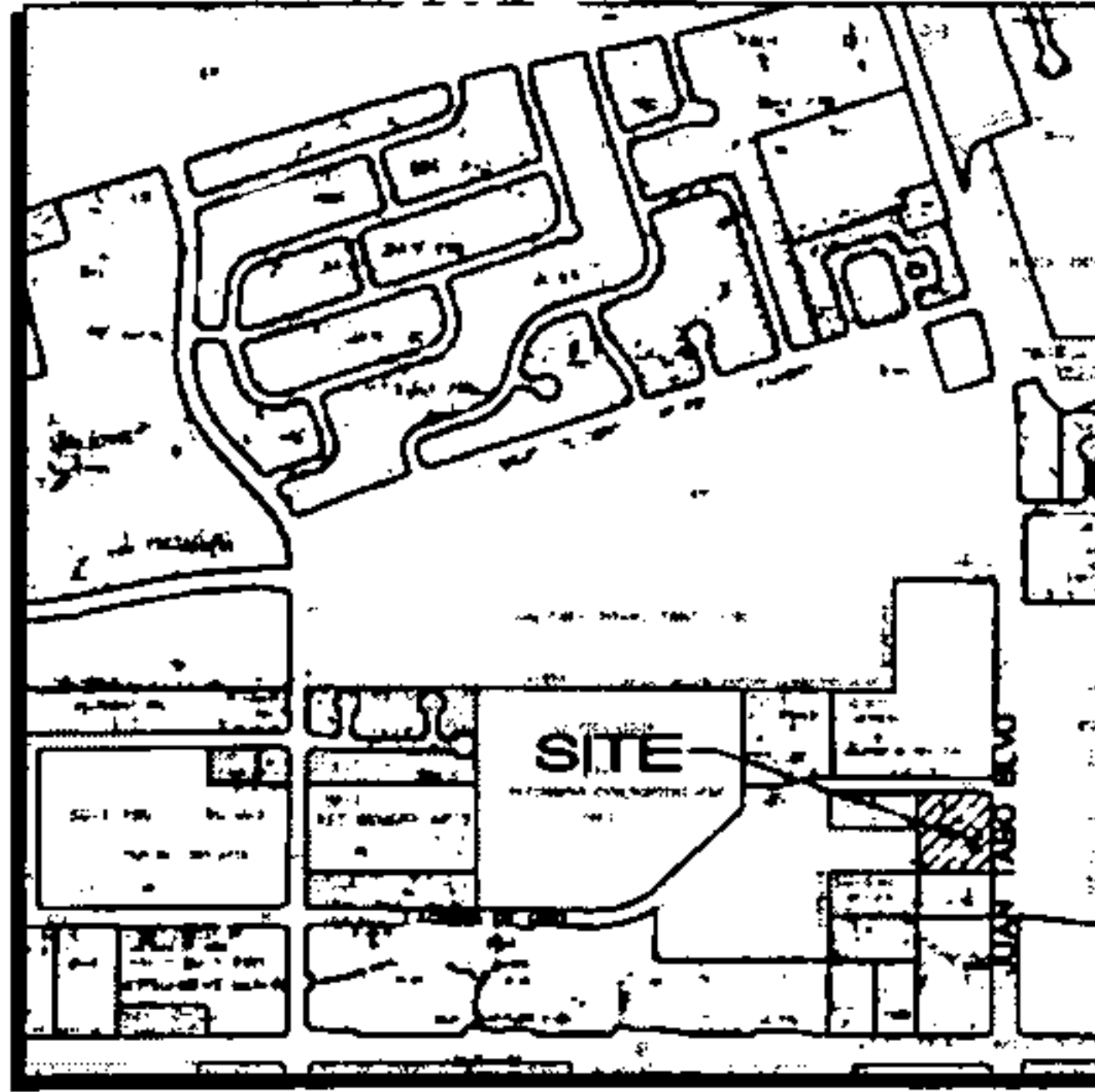
7/21/06
(Date)

I issued 2 signs for this application,

7/21/06
(Date)


(Staff Member)

DRB PROJECT NUMBER: 1003102



F-21-Z

VICINITY MAP

1" = 750' ±

KEYED EASEMENT NOTES

- ① NOT USED.
- ② EXISTING 33' RIGHT-OF-WAY AND PUBLIC UTILITY EASEMENT (TYP.) TO BE VACATED BY FINAL PLAT (FILED: APRIL 11, 1985 VOLUME C26, FOLIO 192)
- ③ 7' WIDE PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT.
- ④ PRIVATE DRAINAGE & ROADWAY EASEMENT GRANTED TO AND MAINTAINED BY THE SOFT LOFTS HOMEOWNER'S ASSOCIATION BY FINAL PLAT.
- ⑤ PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY FINAL PLAT.
- ⑥ EMERGENCY VEHICLE ACCESS GRANTED TO THE CITY OF ALBUQUERQUE BY FINAL PLAT.
- ⑦ 5' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 1-9 TO BE MAINTAINED BY THE OWNER OF THE PROPERTY THAT THE EASEMENT OVERLAYS TO BE GRANTED BY FINAL PLAT.
- ⑧ 5' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 10-14 AND LOTS 18-22 TO BE MAINTAINED BY THE OWNER OF THE PROPERTY THAT THE EASEMENT OVERLAYS TO BE GRANTED BY FINAL PLAT.
- ⑨ 5' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 15-17 AND LOTS 23-25 TO BE MAINTAINED BY THE OWNER OF THE PROPERTY THAT THE EASEMENT OVERLAYS TO BE GRANTED BY FINAL PLAT.

EASEMENTS CONT.

- ⑩ 5' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 26-30 TO BE MAINTAINED BY THE OWNER OF THE PROPERTY THAT THE EASEMENT OVERLAYS TO BE GRANTED BY FINAL PLAT.
- ⑪ 5' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 31-34 TO BE MAINTAINED BY THE OWNER OF THE PROPERTY THAT THE EASEMENT OVERLAYS TO BE GRANTED BY FINAL PLAT.
- ⑫ 23' WIDE PRIVATE ROADWAY, PEDESTIAN ACCESS, AND DRAINAGE EASEMENT GRANTED TO AND MAINTAINED BY THE SOFT LOFTS HOMEOWNER'S ASSOCIATION BY FINAL PLAT.
- ⑬ 23' WIDE PUBLIC SANITARY SEWER EASEMENT GRANTED TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY BY FINAL PLAT.
- ⑭ 10' WIDE PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY FINAL PLAT.
- ⑮ 10' WIDE PUBLIC UTILITY EASEMENT GRANTED BY FINAL PLAT.

PRELIMINARY PLAT FOR
SOFT LOFTS SUBDIVISION
 BEING A REPLAT OF LOT 12A
 LANDS OF FERRARI-ESQUIBEL-PALMER
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL 2006

LEGAL DESCRIPTION

LOT NUMBERED TWELVE-A (12-A) OF THE REPLAT OF THE LANDS OF FERRARI-ESQUIBEL-PALMER, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 24, 2006, IN PLAT BOOK 2005C, FOLIO 27.

ACS BENCHMARK

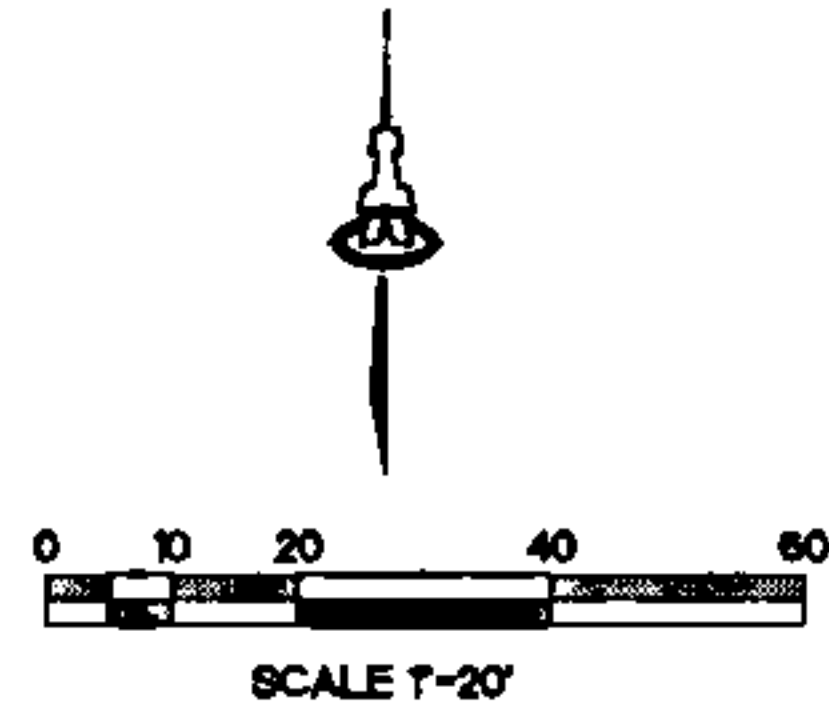
CITY OF ALBUQUERQUE
 STATION No. "28-F21"
 ELEVATION: 5745.73 (NAVD 1929)

SITE DATA

1. TOTAL LAND AREA = 1.9088 ACRES.
2. NUMBER OF EXISTING TRAILS IS 2.
3. NUMBER OF PROPOSED RESIDENTIAL LOTS IS 34.
4. CURRENT ZONING: SU-1/PRD AT 22 DU/ACRE.
5. ALL STREETS WILL MEET CITY STANDARDS AND WILL BE PUBLIC BY PLAT DEDICATION AND BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. NO LOT SHALL HAVE DIRECT ACCESS TO JUAN TABO BLVD. NE OR LAGRIMA DE ORO NE.
6. CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

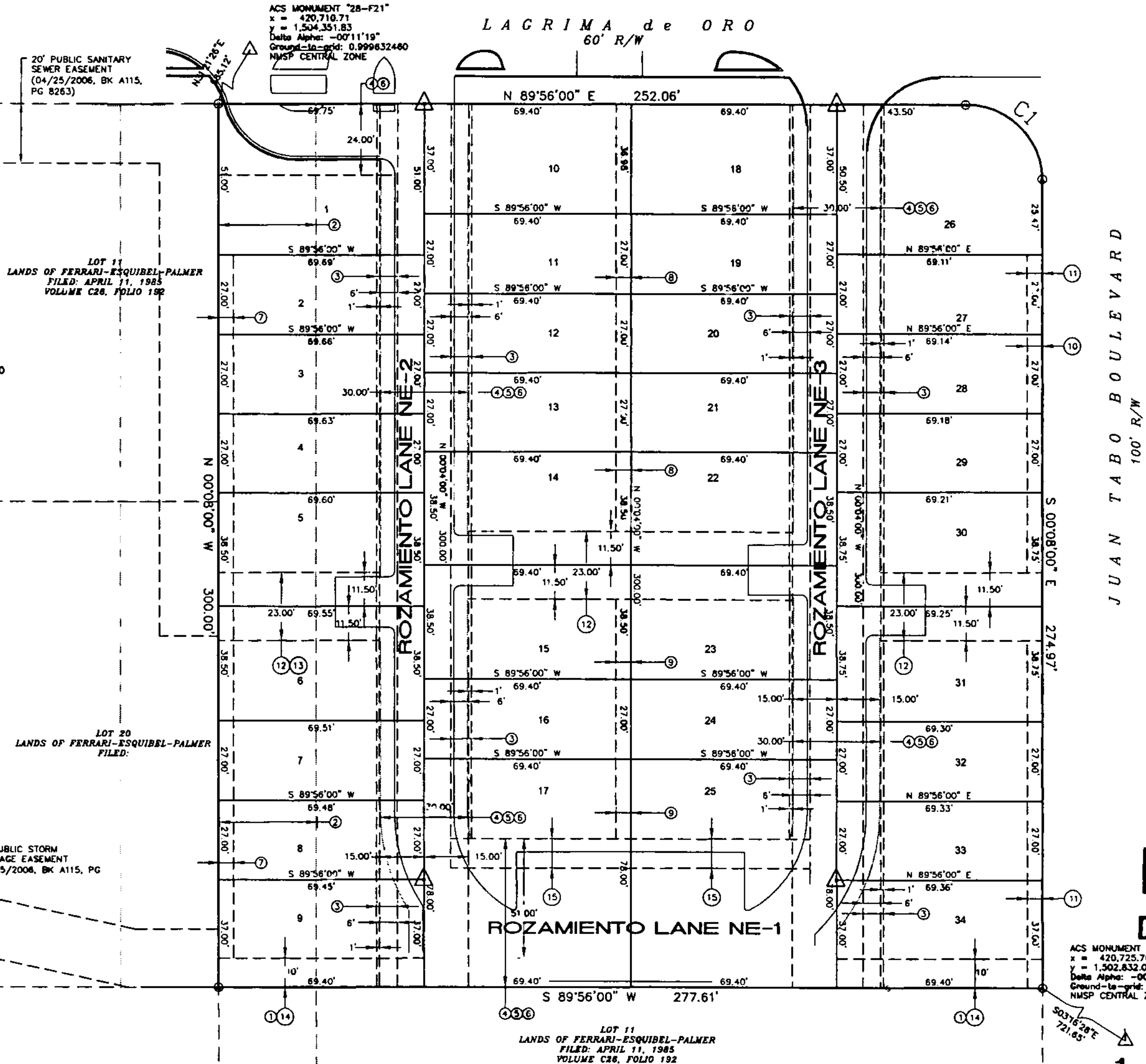
NOTES

1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS #14269".
2. ALL STREET CENTERLINE POINTS SHOWN THUS WILL BE MARKED BY A 4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, PLS #14269".
3. BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARINGS WILL BE NMSP GRID BEARINGS.
5. DISTANCES WILL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION. THERE SHALL BE A MINIMUM OF 2,000 SQUARE FEET OF OPEN SPACE PROVIDED FOR EACH LOT WITHIN THE SUBDIVISION.



LEGEND

- FOUND 5/8" REBAR (TYP.)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)
- FOUND 1/2" REBAR (TYP.)
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- △ CENTERLINE MONUMENT



CURVE TABLE				
CURVE	RADIUS	LENGTH	DELTA	CHD BRG
CT	25.00	39.89	91°24'39"	N 45°41'22" W

APPROVED FOR MONUMENTATION AND STREET NAMES

CITY SURVEYOR _____ DATE _____

EXHIBIT B
 Date: 08/11/06
 OWNER: LOS CAÑELARAS PARTNERS
 PREPARED BY: ISAACSON & ARFMAN, P.A.

ACS MONUMENT "JT-1A"
 x = 420.725,76
 y = 1,502.632,03
 Delta Alpha: -0°08'09"
 Ground-to-grid: 0.9996336
 NMSP CENTRAL ZONE

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 Fax. 505-268-2632
 4670PLM.DWG C7.13.06

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
___ Major Subdivision action	___	___ Annexation
___ Minor Subdivision action	___	___ County Submittal
___ Vacation	V	___ EPC Submittal
___ Variance (Non-Zoning)	___	___ Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	___ Sector Plan (Phase I, II, III)
___ for Subdivision Purposes	___	___ Amendment to Sector, Area, Facility or Comprehensive Plan
___ for Building Permit	___	___ Text Amendment (Zoning Code/Sub Regs)
___ IP Master Development Plan	___	___ Street Name Change (Local & Collector)
___ Cert. of Appropriateness (LUCC)	L A	APPEAL / PROTEST of...
STORM DRAINAGE	D	___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
___ Storm Drainage Cost Allocation Plan	___	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: CHRISTOPHER CALOTT / INFILL SOLUTIONS PHONE: 401-7844
 ADDRESS: 723-B SILVER AVE, S.W. FAX: 242-1872
 CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL CALOTT@INFILLSOLUTIONS.COM
 Proprietary interest in site: OWNER List all owners: INFILL SOLUTIONS
 AGENT (if any): SAME PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST: D.P.B. FINAL SIGN-OFF FOR EPC APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 12-A Block: _____ Unit: _____
 Subdiv. / Addn. LANDS OF FERRARI - ESQUIBEL - PALMER
 Current Zoning: SU-1/PRD @ 22 D.U./XRF Proposed zoning: SAME
 Zone Atlas page(s): F-21-2 No. of existing lots: 1 No. of proposed lots: 34
 Total area of site (acres): 1.88 Density if applicable: dwellings per gross acre: 17.80 dwellings per net acre: 21.75
 Within city limits? Yes. No ___ (but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 102106151008940114 MRGCD Map No. N/A
 LOCATION OF PROPERTY BY STREETS: On or Near: JUAN TABO BOULEVARD, N.E.
 Between: MONTGOMERY BOULEVARD and LA GRIMA DE ORO ROAD

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App, DRB-, AX, Z, V, S, etc.): EPC # 1003102
APPT# 06EPC-00146 & 06EPC-00147; 05DRB-0091

Check-off if project was previously reviewed by Sketch Plat/Plan? ___ or Pre-application Review Team? ___ Date of review: JUNE 29, 2006

SIGNATURE [Signature] DATE JUNE 29, 2006
 (Print) CHRISTOPHER CALOTT Applicant ___ Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill.
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>06DRB -00935</u>	<u>SPS</u>	<u>PL3)</u>	<u>\$ 0.00</u>
<u>06DRB -00936</u>	<u>SBP</u>		<u>\$ 0.00</u>
	<u>CME</u>		<u>\$ 20.00</u>
			<u>\$</u>
			<u>\$</u>
			<u>\$</u>
			<u>\$</u>
			<u>Total</u>
			<u>\$ 20.00</u>

Hearing date 07/12/06

Sandy Handley 06/29/06 Project # 1003102
 PLANNER SIGNATURE/DATE

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

Maximum Size: 24" x 36"

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

Maximum Size: 24" x 36"

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Maximum Size: 24" x 36"

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

Maximum Size: 24" x 36"

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

CHRISTOPHER CALOTT
Applicant name (print)
[Signature]
Applicant signature / date
JUNE 29, 2006

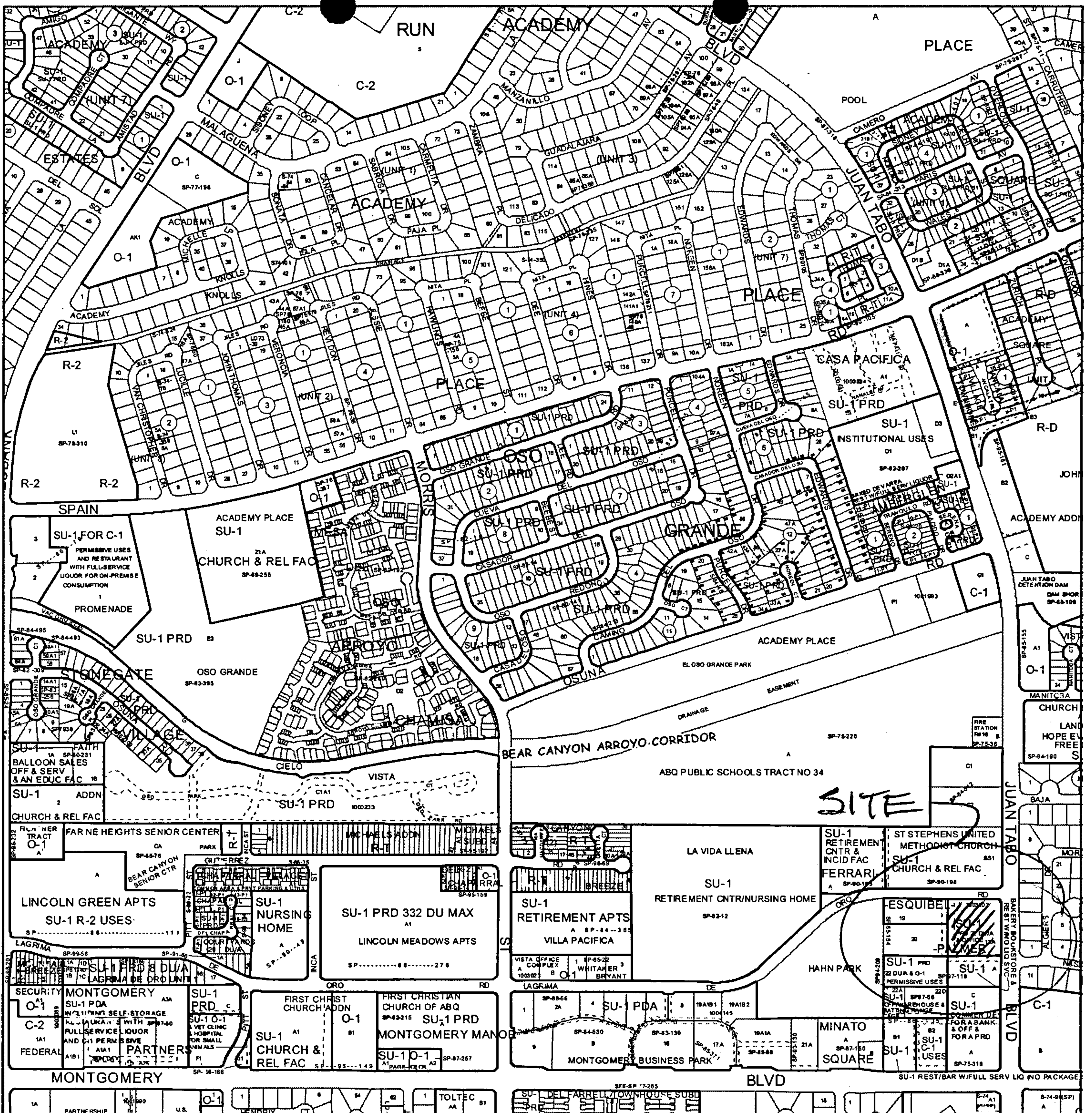


Form revised APRIL 2006

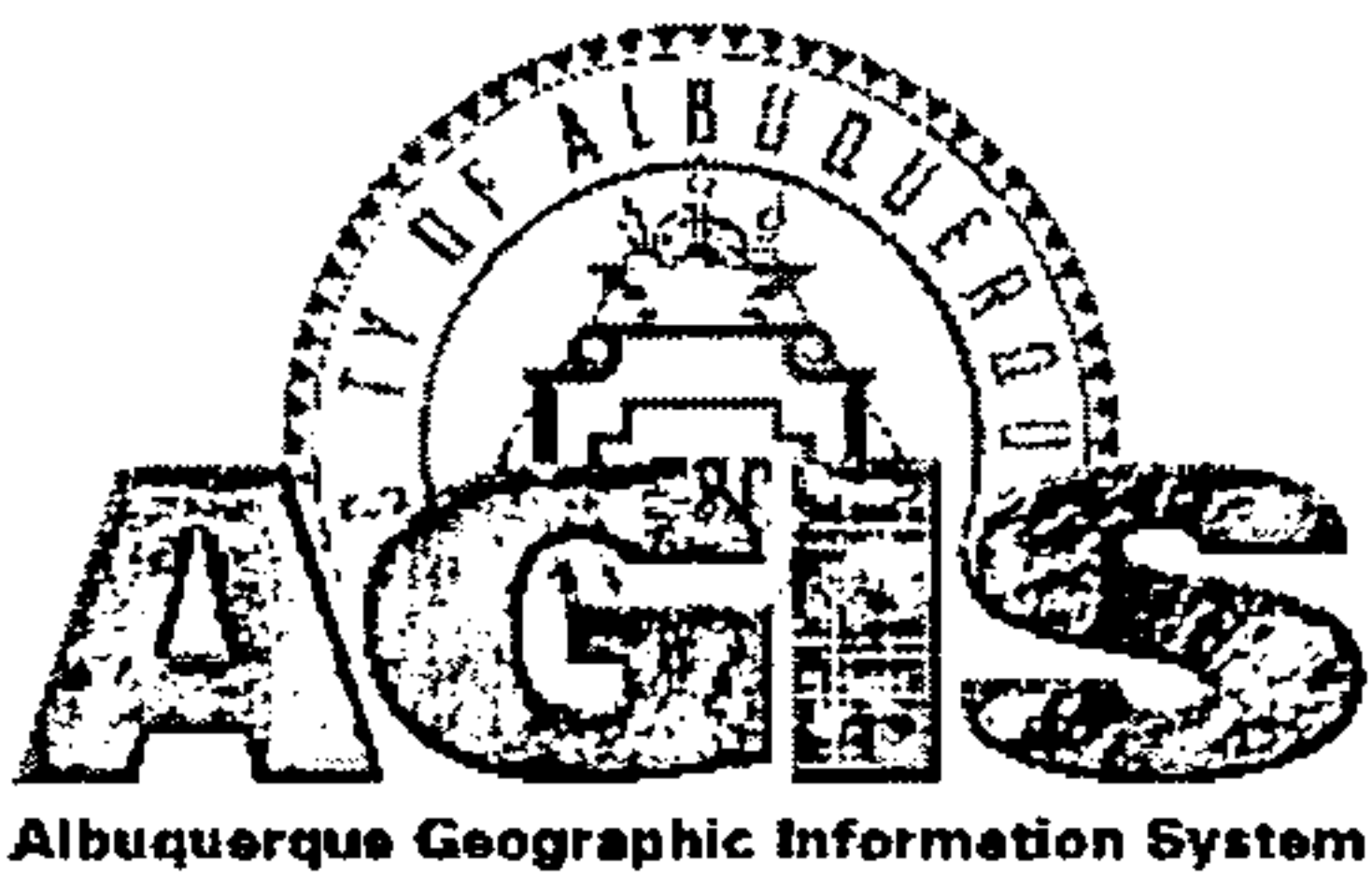
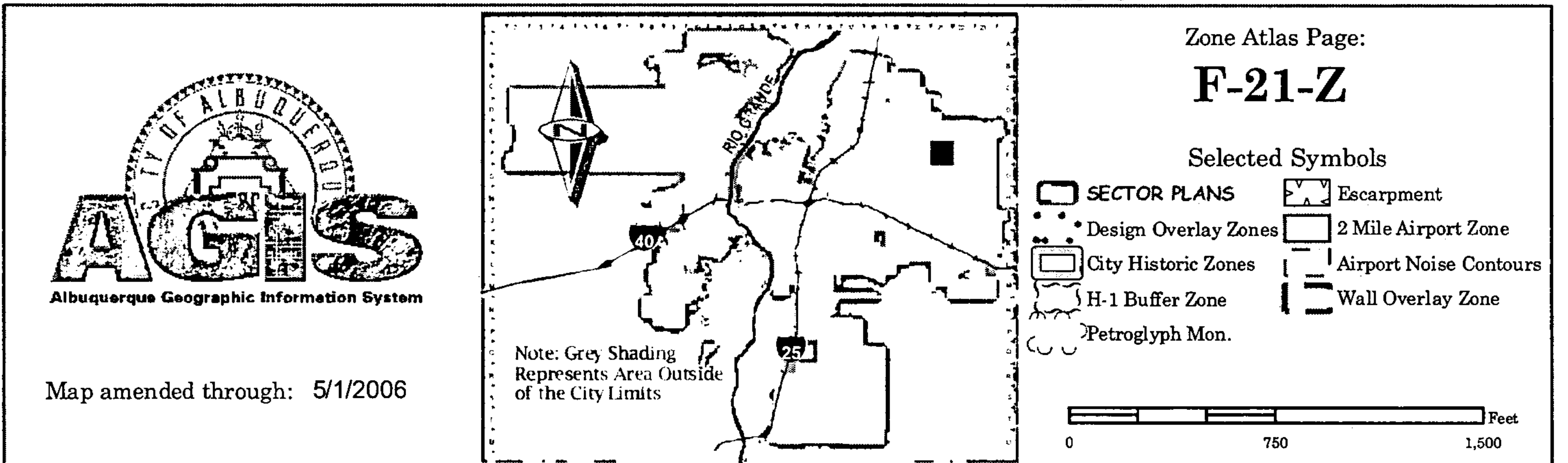
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 06DRB - _____ - 00935
 06DRB - _____ - 00936
 _____ - _____ - _____

Sandy Sandley 06/29/06
Planner signature / date
Project # 1003102



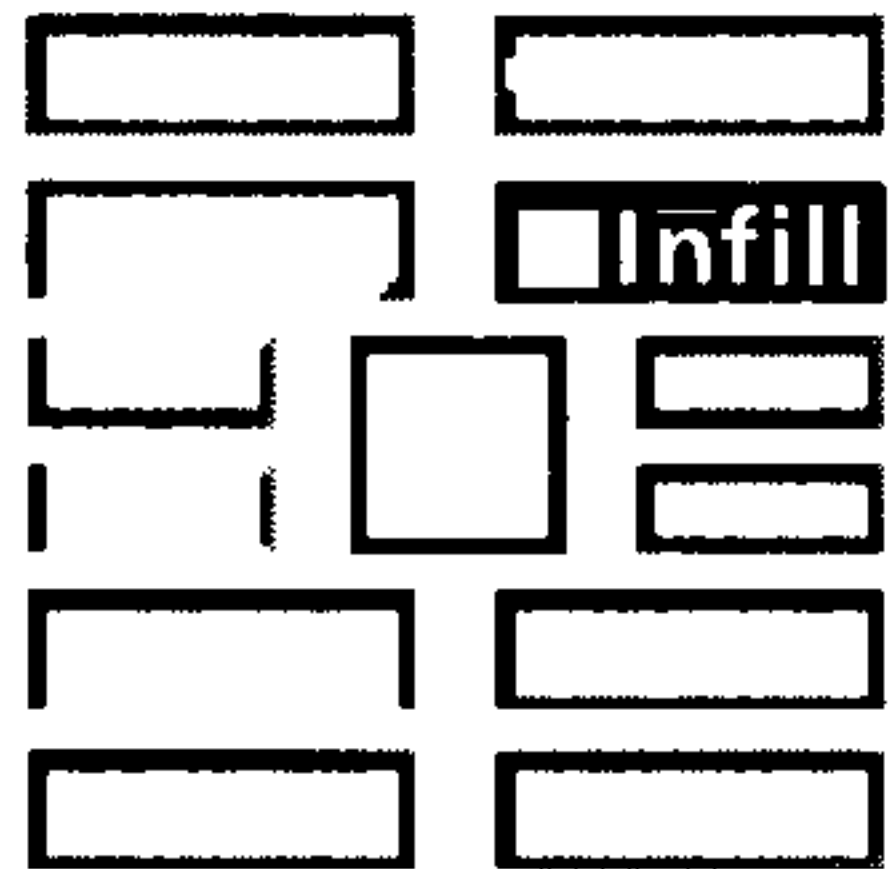
For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 5/1/2006

Note: Grey Shading Represents Area Outside of the City Limits

0 750 1,500 Feet



Infill Solutions
Innovative Urban Design and Development

Ms. Sheran Matson
Chair
Development Review Board
City of Albuquerque
600 2nd Street, N.W.
Albuquerque, New Mexico
8 7 1 0 2

Dear Chair Matson and Development Review Board,

June 29, 2006

I am submitting this application for Development Review Board Final Sign-Off for E.P.C. Approved Site Development Plan for Subdivision and Building Permit. Our plans for the Soft Lofts, a unique 34-unit residential subdivision on 1.88 acres in the Northeast Heights, were approved by the Environmental Planning Commission on March 16th, 2006. As a condition of final approval, I am submitting this letter and drawings specifying all modifications that have been made to the site plan since the E.P.C. Hearing, including how the site plan has been modified to meet each of the required E.P.C. Conditions. Our plans have been modified to address and incorporate all Conditions set forth in the *Official Notification of Decision* dated March 17, 2006.

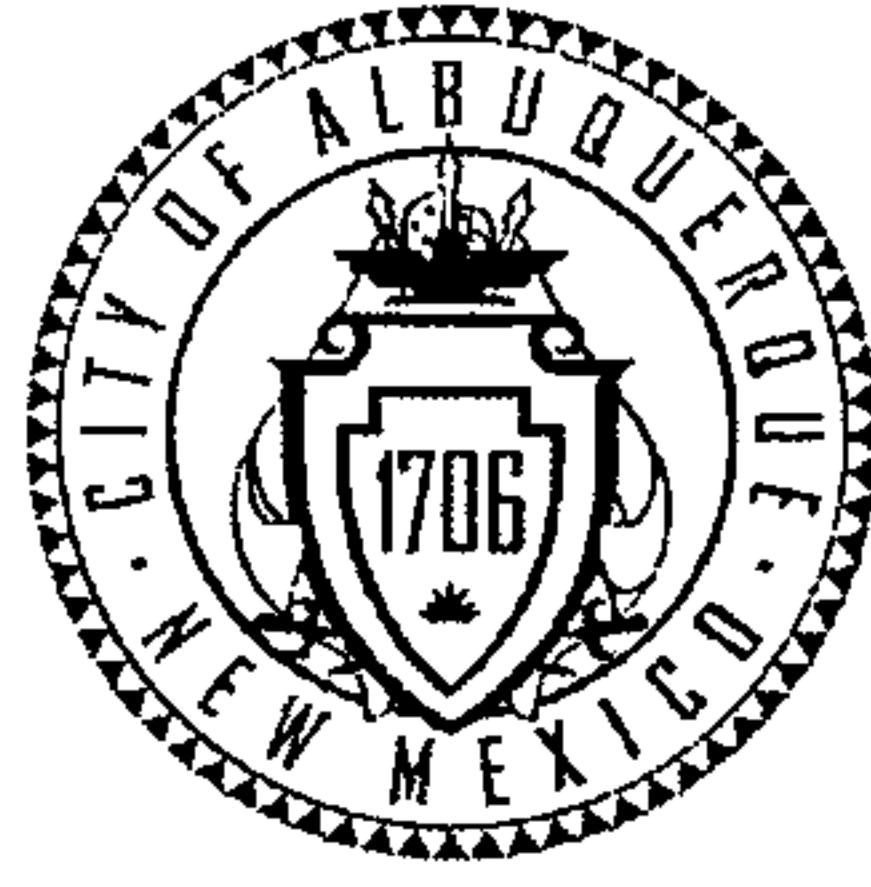
With respect to engineering considerations, we have demonstrated adequate emergency/service access, circulation widths, one-way signage and turning radii as evidenced by stamped approvals from Fire and Solid Waste. In order to accommodate Solid Waste's "best practices", at their request we have added two City Standard trash enclosures at the SW and SE corners of our site. In doing this, we have lost two guest parking spaces. However, in all other traffic areas, our plan complies with the E.P.C. Conditions and is designed per DPM Standards.

We have added additional drawing sheet A.5 to encompass further requested information and all changes addressing monument signage, site lighting and on-site walls. We have included in this submission a copy of the final color palette drawing which was presented and approved at the March 16th, 2006 E.P.C. Hearing. Finally, we have incorporated all requested changes in our Landscape plan.

Although loft developments have long been considered only a Downtown phenomenon, the Soft Lofts will be an exemplary "infill project" on one of the few remaining vacant lands in the heart of the Northeast Heights. We greatly thank you and the Development Review Board for your thoughtful consideration and approval of this application for Final Sign-Off for E.P.C. Approved Site Development Plan for Subdivision and Building Permit.

Very Best,

Christopher Calott
Partner, INFILL SOLUTIONS



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: March 17, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003102***
06EPC-00146 EPC Site Development Plan-
Subdivision
06EPC-00147 EPC Site Development Plan-
Building Permit

Christopher Calott
c/o Infill Solutions
723-B Silver Avenue SW
Albuq. NM 87102

LEGAL DESCRIPTION: for all or a portion of
Lots 12 & 14, **Replat of Ferrari – Esquivel –
Palmer**, zoned SU-1/PRD at 22 du/acre, C-1
(w/Exclusions), Car Wash and Restaurant,
located at the southwest corner of JUAN TABO
BLVD., NE and LA GRIMA DE ORO DR. NE,
containing approximately 2 acres. (F-21) David
Stallworth, Staff Planner

On March 16, 2006 the Environmental Planning Commission voted to approve Project 1003102/06EPC 00146, a site development plan for subdivision, for Lots 12 & 14, Replat of Ferrar – Esquivel – Palmer, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for consideration and approval of a site development plan for subdivision purposes on an overall +/-2-acre tract identified as **Lots 12 & 14, Replat of Ferrar – Esquivel – Palmer**, to accommodate a proposed 34-lot residential subdivision.
2. Neither a traffic impact analysis nor an air quality impact assessment is required for this project. The current proposal attains densities of 18 units per acre under a gross site area of 1.89 acres and 22.4 units per acre under a net site area of 1.512 acres, taking into account a minimal twenty percent differential for circulation and detached open space.
3. There are no Rank-II or Rank-III plans governing development on the project site. The site is located within the *Page One/El Dorado Village* Community Activity Center.

4. With the implementation of recommended conditions, the request will satisfy the following policies of the *City/County Comprehensive Plan*:
 - a. *Land Use Policies II.B.5.d, II.B.5.l and II.B.5.k* – The site plan review process plays a crucial role in maintaining area values, ensuring a safe, visually amenable and integral development and providing the opportunity for affected residents to participate and offer input relative to the proposed development of the property.
 - b. *Land Use Policies II.B.5.e and II.B.5.p* – The project site is located on an existing public street right-of-way and has access to existing municipal services. Infill development will be stimulated through private investment.
 - c. *Land Use Policy II.B.5.h and Activity Center Policy II.B.7.f* – The proposed medium-density residential development is appropriate for a community activity center, and its location functions as a transition between nearby low-density residential uses and more intensive commercial development nearer the intersection of Juan Tabo and Montgomery Boulevards.
5. Juan Tabo Boulevard is a designated Enhanced Transit Corridor. With this in mind, the request is consistent with *Transportation/Transit Policy II.D.4, Subsection c* and *Table 11* of the *City/County Comprehensive Plan*.
6. The applicant has standing to request consideration and approval of a site development plan for subdivision purposes on **Lots 12 & 14, Replat of Ferrar – Esquivel – Palmer**, per the Zoning Code.
7. There is no known public opposition to the request. There are no registered neighborhood associations within proximity of the project site.
8. A site development plan for building permit to accommodate the construction of a retail center and car wash facility had been approved for the subject area (03EPC 01929) in January of 2004. Approval of this request renders the previously approved site development plan null and void.
9. Rolled curb is encouraged by the Environmental Planning Commission in conjunction with a 4-foot sidewalk.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION

APRIL 20, 2006

PROJECT #1003102

PAGE 3 OF 8

2. Prior to an application for final DRB sign-off, the applicant shall meet with the staff planner to ensure that all conditions of approval are satisfactorily met.
3. All observed format-related deficiencies brought to the attention of the applicant by the staff planner shall be satisfactorily addressed on the final site plan.
4. With respect to engineering considerations, the following conditions shall apply:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. Provide turning templates demonstrating adequate circulation by trucks and/or approval from Fire and Solid Waste for internal turning radii.
 - c. Unless otherwise approved by the Traffic Engineer, the following shall apply:
 1. Provide vehicle back-up warning devices on garages to alert pedestrians.
 2. Site drive curb return radii to be 15' minimum.
 3. Sign site drives as one way.
 4. Sign secondary site drive (2nd drive west of Juan Tabo) as emergency/service access only.
 - d. Site plan shall comply and be designed per DPM Standards.
 - e. Platting must be a concurrent DRB action.
 - f. The applicant must request an availability statement.
5. With respect to site plan layout and configuration, the following conditions shall apply:
 - a. The applicant shall clarify solid waste disposal measures for this development on the final site plan, subject to approval of the City's Solid Waste Department.
6. With respect to architecture and signage, the following conditions shall apply:
 - a. The applicant shall include a color palette with the final site plan.
 - b. Details on sign design and illumination shall be provided on the final site plan.
 - c. On-site monument signage shall be limited to twelve feet (12') in height at the corner and a four feet (4') in height at the entry, and all signage shall be architecturally integrated compatible with the overall development.
7. The final site plan shall clarify the configuration of the site's primary access on the final site plan through appropriate labeling and call-outs.
8. With respect to lighting, security, walls and fences, the following conditions shall apply:
 - a. Details on all on-site walls shall be demonstrated on the final site plan. All perimeter walls shall conform to design standards outlined in §14.16.3.19.B.2 of the Zoning Code; perimeter walls shall include perforations and/or wrought-iron view fencing.
 - b. The applicant shall provide further details on proposed designs for bollard lighting.

- c. The applicant shall ensure that any on-site lighting throughout the overall development is shielded in order to provide downward light emission and prevent both light trespass and upward light pollution. The details and specifications of any proposed site lighting shall be provided on the final site plan. Light standards shall be limited to a maximum height of sixteen feet (16').
9. With respect to landscaping, the following conditions shall apply:
 - a. The applicant shall reexamine the landscaping calculations as submitted and revise, if necessary. The applicant shall install on site the minimum landscaping as required.
 - b. The applicant shall replace the proposed Flowering Pear trees along Juan Tabo with Purple Robe Locust.
 - c. The final landscape plan shall exclude the proviso that reads "Final landscape layout and design to be determined upon receipt of final grading plan."
 10. With respect to fire and safety, the applicant shall provide reasonable measures to prohibit on-street parking and accommodate emergency access within the development, subject to Fire Department approval.
-

On March 16, 2006 the Environmental Planning Commission voted to approve Project 1003102/06EPC 00147, a site development plan for building permit, for Lots 12 & 14, Replat of Ferrar – Esquivel – Palmer, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for consideration and approval of a site development plan for building permit purposes on an overall +/-2-acre tract identified as **Lots 12 & 14, Replat of Ferrar – Esquivel – Palmer** for the construction of thirty-four (34), three-story townhouses, each with a gross floor area of 3,420 square feet.
2. Neither a traffic impact analysis nor an air quality impact assessment is required for this project. The current proposal attains densities of 18 units per acre under a gross site area of 1.89 acres and 22.4 units per acre under a net site area of 1.512 acres, taking into account a minimal twenty percent differential for circulation and detached open space.
3. There are no Rank-II or Rank-III plans governing development on the project site. The site is located within the *Page One/El Dorado Village* Community Activity Center.

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PROJECT #1003102

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4. With the implementation of recommended conditions, the request will satisfy the following policies of the *City/County Comprehensive Plan*:
 - a. *Land Use Policies II.B.5.d, II.B.5.l and II.B.5.k* – The site plan review process plays a crucial role in maintaining area values, ensuring a safe, visually amenable and integral development and providing the opportunity for affected residents to participate and offer input relative to the proposed development of the property.
 - b. *Land Use Policies II.B.5.e and II.B.5.p* – The project site is located on an existing public street right-of-way and has access to existing municipal services. Infill development will be stimulated through private investment.
 - c. *Land Use Policy II.B.5.h and Activity Center Policy II.B.7.f* – The proposed medium-density residential development is appropriate for a community activity center, and its location functions as a transition between nearby low-density residential uses and more intensive commercial development nearer the intersection of Juan Tabo and Montgomery Boulevards.
5. Juan Tabo Boulevard is a designated Enhanced Transit Corridor. With this in mind, the request is consistent with *Transportation/Transit Policy II.D.4, Subsection c* and *Table 11* of the *City/County Comprehensive Plan*.
6. The applicant has standing to request consideration and approval of a site development plan for building permit purposes on **Lots 12 & 14, Replat of Ferrar – Esquivel – Palmer**, per the Zoning Code.
7. There is no known public opposition to the request. There are no registered neighborhood associations within proximity of the project site.
8. A site development plan for building permit to accommodate the construction of a retail center and car wash facility had been approved for the subject area (03EPC 01929) in January of 2004. Approval of this request renders the previously approved site development plan null and void.
9. Rolled curb is encouraged by the Environmental Planning Commission in conjunction with a 4 foot sidewalk.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

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PROJECT #1003102

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2. Prior to an application for final DRB sign-off, the applicant shall meet with the staff planner to ensure that all conditions of approval are satisfactorily met.
3. All observed format-related deficiencies brought to the attention of the applicant by the staff planner shall be satisfactorily addressed on the final site plan.
4. With respect to engineering considerations, the following conditions shall apply:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. Provide turning templates demonstrating adequate circulation by trucks and/or approval from Fire and Solid Waste for internal turning radii.
 - c. Unless otherwise approved by the Traffic Engineer, the following shall apply:
 1. Provide vehicle back-up warning devices on garages to alert pedestrians.
 2. Site drive curb return radii to be 15' minimum.
 3. Sign site drives as one way.
 4. Sign secondary site drive (2nd drive west of Juan Tabo) as emergency/service access only.
 - d. Site plan shall comply and be designed per DPM Standards.
 - e. Platting must be a concurrent DRB action.
 - f. The applicant must request an availability statement.
5. With respect to site plan layout and configuration, the following conditions shall apply:
 - a. The applicant shall clarify solid waste disposal measures for this development on the final site plan, subject to approval of the City's Solid Waste Department.
6. With respect to architecture and signage, the following conditions shall apply:
 - a. The applicant shall include a suggested color palette with the final site plan.
 - b. Details on sign design and illumination shall be provided on the final site plan.
 - c. On-site monument signage shall be limited to twelve feet (12') in height at the corner and a four feet (4') in height at the entry, and all signage shall be architecturally integrated compatible with the overall development.
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8. With respect to lighting, security, walls and fences, the following conditions shall apply:
 - a. Details on all on-site walls shall be demonstrated on the final site plan. All perimeter walls shall conform to design standards outlined in §14.16.3.19.B.2 of the Zoning Code; perimeter walls shall include perforations and/or wrought-iron view fencing.
 - b. The applicant shall provide further details on proposed designs for bollard lighting.

- c. The applicant shall ensure that any on-site lighting throughout the overall development is shielded in order to provide downward light emission and prevent both light trespass and upward light pollution. The details and specifications of any proposed site lighting shall be provided on the final site plan. Light standards shall be limited to a maximum height of sixteen feet (16').
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 - a. The applicant shall reexamine the landscaping calculations as submitted and revise, if necessary. The applicant shall install on site the minimum landscaping as required.
 - b. The applicant shall replace the proposed Flowering Pear trees along Juan Tabo with Purple Robe Locust.
 - c. The final landscape plan shall exclude the proviso that reads "Final landscape layout and design to be determined upon receipt of final grading plan."
 10. With respect to fire and safety, the applicant shall provide reasonable measures to prohibit on-street parking and accommodate emergency access within the development, subject to Fire Department approval.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MARCH 31, 2006 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

OFFICIAL NOTICE OF DECISION
APRIL 20, 2006
PROJECT #1003102
PAGE 8 OF 8

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Richard Dineen
Planning Director

RD/DS/ac

cc: Jeff Weaver, SY Jackson NA, 4635 Algiers, NE, Albuquerque, NM 87111
Wanda Silva, SY Jackson NA, 4538 Oahu, NE, Albuquerque, NM 87111
Juli Koleske, SY Jackson Elementary PTA, 4720 Cairo, NE, Albuquerque, NM 87111
Ty Kattenhorn, Roadrunner Little League, Inc., Box 16116, Albuquerque, NM 87191
LeAnn Stubbs, 4609 Bali Ct. NW, Albuquerque, NM 87111

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME CHRISTOPHER CALOTT / INFILL SOLUTIONS
AGENT _____
ADDRESS 723-B SILVER AVE SW
PROJECT & APP # 1003102 / 06 DRB00935, 06 DRB00936
PROJECT NAME LT 12 & 14 REPLAT OF FERRARI-ESQUIBEL PALMER
\$ 20.00 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 20.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

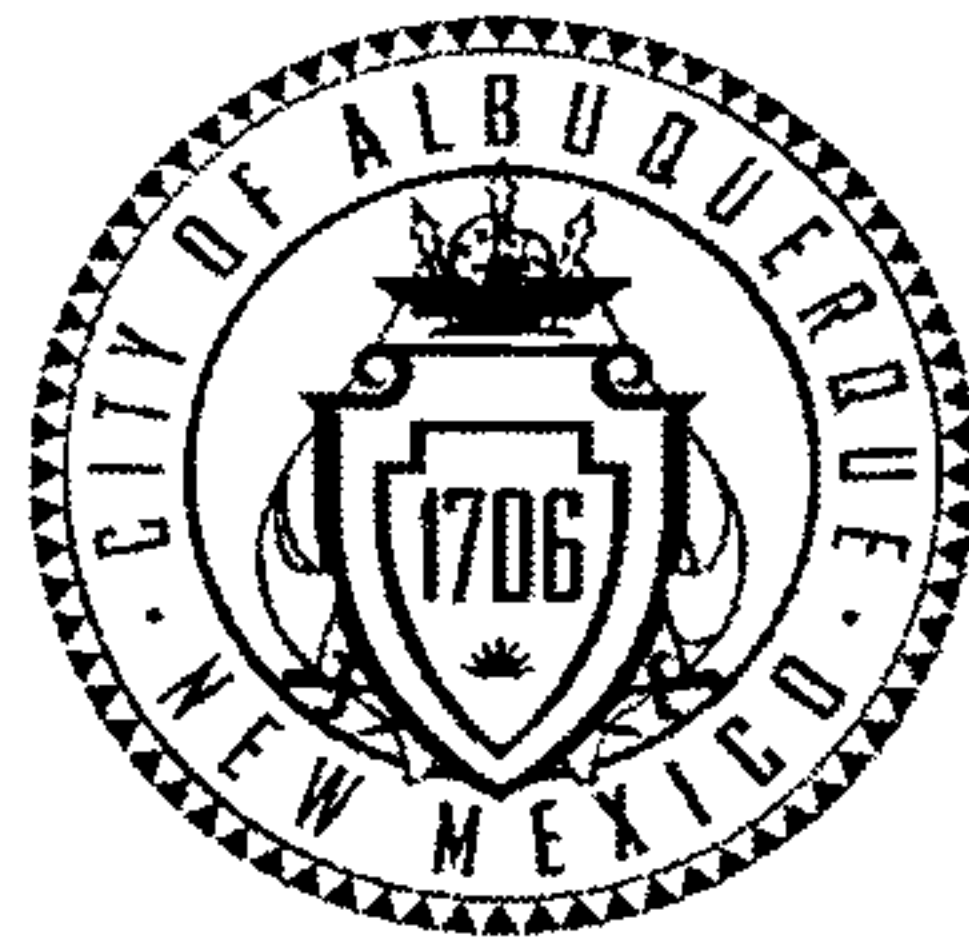
City of Albuquerque
Treasury Division

6/29/2006 10:06AM LOC: ANIX
RECEIPT# 00065115 WSH 007 TRANSH 0001
Account 441032 Fund 0110
Activity 3424000 TRSKAL
Trans Amt \$20.00
J24 Misc

\$20.00

PC \$20.00
CHANGE \$0.00

Thank You



#2

**CITY OF ALBUQUERQUE, PLANNING DEPARTMENT
INTERNAL MEMORANDUM**

TO: Sheran Matson, Chairperson – Development Review Board

FROM: David Stallworth, Planner

COPIES TO: Claire Senova, Development Review
Andrew Garcia, Development Review

DATE: July 12, 2006

RE: **PROJECT NO. 1003102, Case Number 06DRB – 00935 and 00936, Soft Lofts.**

All conditions of approval relative to Cases **06EPC – 00146** and **06EPC – 00147** as heard by the Environmental Planning Commission on January 19, 2006 have been satisfactorily met with the following exceptions:

1. Condition 5a, both site plans – No details on waste management shown on final site plan.
2. Condition 8a, both site plans – No details on perimeter walls provided
3. Condition 8b, both site plans – No apparent changes from EPC submittal made on bollard lighting details.
4. Condition 8c, both site plans – Minimal details on site lighting provided.
5. Condition 9a, both site plans – Minimal landscape requirements not met; may need to revisit calculations.
6. Condition 10, both site plans – Fire Marshall's approval is for hydrants only; not applicable to on-street parking.

Thank you.



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: March 17, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003102***

06EPC-00146 EPC Site Development Plan-
Subdivision

06EPC-00147 EPC Site Development Plan-
Building Permit

Christopher Calott
c/o Infill Solutions
723-B Silver Avenue SW
Albuq. NM 87102

LEGAL DESCRIPTION: for all or a portion of
Lots 12 & 14, **Replat of Ferrari – Esquibel –
Palmer**, zoned SU-1/PRD at 22 du/acre, C-1
(w/Exclusions), Car Wash and Restaurant,
located at the southwest corner of JUAN TABO
BLVD., NE and LA GRIMA DE ORO DR. NE,
containing approximately 2 acres. (F-21) David
Stallworth, Staff Planner

May need to revise sheets A-2
& A-3, rd: bldg elevation
call-outs. May be confusing
to others

On March 16, 2006 the Environmental Planning Commission voted to approve Project 1003102/06EPC 00146, a site development plan for subdivision, for Lots 12 & 14, Replat of Ferrar – Esquivel – Palmer, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for consideration and approval of a site development plan for subdivision purposes on an overall +/-2-acre tract identified as **Lots 12 & 14, Replat of Ferrar – Esquivel – Palmer**, to accommodate a proposed 34-lot residential subdivision.
2. Neither a traffic impact analysis nor an air quality impact assessment is required for this project. The current proposal attains densities of 18 units per acre under a gross site area of 1.89 acres and 22.4 units per acre under a net site area of 1.512 acres, taking into account a minimal twenty percent differential for circulation and detached open space.
3. There are no Rank-II or Rank-III plans governing development on the project site. The site is located within the *Page One/El Dorado Village* Community Activity Center.

4. With the implementation of recommended conditions, the request will satisfy the following policies of the *City/County Comprehensive Plan*:
 - a. *Land Use Policies II.B.5.d, II.B.5.l and II.B.5.k* – The site plan review process plays a crucial role in maintaining area values, ensuring a safe, visually amenable and integral development and providing the opportunity for affected residents to participate and offer input relative to the proposed development of the property.
 - b. *Land Use Policies II.B.5.e and II.B.5.p* – The project site is located on an existing public street right-of-way and has access to existing municipal services. Infill development will be stimulated through private investment.
 - c. *Land Use Policy II.B.5.h and Activity Center Policy II.B.7.f* – The proposed medium-density residential development is appropriate for a community activity center, and its location functions as a transition between nearby low-density residential uses and more intensive commercial development nearer the intersection of Juan Tabo and Montgomery Boulevards.
5. Juan Tabo Boulevard is a designated Enhanced Transit Corridor. With this in mind, the request is consistent with *Transportation/Transit Policy II.D.4, Subsection c* and *Table 11* of the *City/County Comprehensive Plan*.
6. The applicant has standing to request consideration and approval of a site development plan for subdivision purposes on **Lots 12 & 14, Replat of Ferrar – Esquivel – Palmer**, per the Zoning Code.
7. There is no known public opposition to the request. There are no registered neighborhood associations within proximity of the project site.
8. A site development plan for building permit to accommodate the construction of a retail center and car wash facility had been approved for the subject area (03EPC 01929) in January of 2004. Approval of this request renders the previously approved site development plan null and void.
9. Rolled curb is encouraged by the Environmental Planning Commission in conjunction with a 4-foot sidewalk.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

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PROJECT #1003102
PAGE 3 OF 8

2. Prior to an application for final DRB sign-off, the applicant shall meet with the staff planner to ensure that all conditions of approval are satisfactorily met.
3. All observed format-related deficiencies brought to the attention of the applicant by the staff planner shall be satisfactorily addressed on the final site plan.
4. With respect to engineering considerations, the following conditions shall apply:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. Provide turning templates demonstrating adequate circulation by trucks and/or approval from Fire and Solid Waste for internal turning radii.
 - c. Unless otherwise approved by the Traffic Engineer, the following shall apply:
 1. Provide vehicle back-up warning devices on garages to alert pedestrians.
 2. Site drive curb return radii to be 15' minimum.
 3. Sign site drives as one way.
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 - d. Site plan shall comply and be designed per DPM Standards.
 - e. Platting must be a concurrent DRB action.
 - f. The applicant must request an availability statement.
- X 5. With respect to site plan layout and configuration, the following conditions shall apply:
 - a. The applicant shall clarify solid waste disposal measures for this development on the final site plan, subject to approval of the City's Solid Waste Department. *Not found*
- OK 6. With respect to architecture and signage, the following conditions shall apply:
 - ✓ a. The applicant shall include a color palette with the final site plan.
 - ✓ b. Details on sign design and illumination shall be provided on the final site plan.
 - ✓ c. On-site monument signage shall be limited to twelve feet (12') in height at the corner and a four feet (4') in height at the entry, and all signage shall be architecturally integrated compatible with the overall development.
- OK 7. The final site plan shall clarify the configuration of the site's primary access on the final site plan through appropriate labeling and call-outs.
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 - X a. Details on all on-site walls shall be demonstrated on the final site plan. All perimeter walls shall conform to design standards outlined in §14.16.3.19.B.2 of the Zoning Code; perimeter walls shall include perforations and/or wrought-iron view fencing. *Perimeter walls?*
 - X b. The applicant shall provide further details on proposed designs for bollard lighting.
No change from EPC submittal

- X c. The applicant shall ensure that any on-site lighting throughout the overall development is shielded in order to provide downward light emission and prevent both light trespass and upward light pollution. The details and specifications of any proposed site lighting shall be provided on the final site plan. Light standards shall be limited to a maximum height of sixteen feet (16'). *Minimal details on Htg. standards*
9. With respect to landscaping, the following conditions shall apply:
- X a. The applicant shall reexamine the landscaping calculations as submitted and revise, if necessary. The applicant shall install on site the minimum landscaping as required. *6753 ft² req'd?*
- ✓ b. The applicant shall replace the proposed Flowering Pear trees along Juan Tabo with Purple Robe Locust.
- ✓ c. The final landscape plan shall exclude the proviso that reads "Final landscape layout and design to be determined upon receipt of final grading plan."
- X 10. With respect to fire and safety, the applicant shall provide reasonable measures to prohibit on-street parking and accommodate emergency access within the development, subject to Fire Department approval. *Approval is for hydrants only*

On March 16, 2006 the Environmental Planning Commission voted to approve Project 1003102/06EPC 00147, a site development plan for building permit, for Lots 12 & 14, Replat of Ferrar – Esquivel – Palmer, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for consideration and approval of a site development plan for building permit purposes on an overall +/-2-acre tract identified as **Lots 12 & 14, Replat of Ferrar – Esquivel – Palmer** for the construction of thirty-four (34), three-story townhouses, each with a gross floor area of 3,420 square feet.
2. Neither a traffic impact analysis nor an air quality impact assessment is required for this project. The current proposal attains densities of 18 units per acre under a gross site area of 1.89 acres and 22.4 units per acre under a net site area of 1.512 acres, taking into account a minimal twenty percent differential for circulation and detached open space.
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9. Rolled curb is encouraged by the Environmental Planning Commission in conjunction with a 4 foot sidewalk.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to an application for final DRB sign-off, the applicant shall meet with the staff planner to ensure that all conditions of approval are satisfactorily met.
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 - X b. The applicant shall provide further details on proposed designs for bollard lighting. *No chgs from EPC submittal*

- X c. The applicant shall ensure that any on-site lighting throughout the overall development is shielded in order to provide downward light emission and prevent both light trespass and upward light pollution. The details and specifications of any proposed site lighting shall be provided on the final site plan. Light standards shall be limited to a maximum height of sixteen feet (16'). *Minimal to no details on Htg standards*
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- ✓ c. The final landscape plan shall exclude the proviso that reads "Final landscape layout and design to be determined upon receipt of final grading plan."
- X 10. With respect to fire and safety, the applicant shall provide reasonable measures to prohibit on-street parking and accommodate emergency access within the development, subject to Fire Department approval. *Approval is for hydrants only*

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **MARCH 31, 2006** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

OFFICIAL NOTICE OF DECISION
APRIL 20, 2006
PROJECT #1003102
PAGE 8 OF 8

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

Richard Dineen
Planning Director

RD/DS/ac

cc: Jeff Weaver, SY Jackson NA, 4635 Algiers, NE, Albuquerque, NM 87111
Wanda Silva, SY Jackson NA, 4538 Oahu, NE, Albuquerque, NM 87111
Juli Koleske, SY Jackson Elementary PTA, 4720 Cairo, NE, Albuquerque, NM 87111
Ty Kattenhorn, Roadrunner Little League, Inc., Box 16116, Albuquerque, NM 87191
LeAnn Stubbs, 4609 Bali Ct. NW, Albuquerque, NM 87111

10/11

Date Submitted: 7-12-06
 Date Site Plan Approved: ~~7-12-06~~ 7-12-06
 Date Preliminary Plat Approved: 7-12-06
 Date Preliminary Plat Expires: 7-12-07
 DRB Project No.: 1003102
 DRB Application No.: 06 DRB - 00832

ORIGINAL

INFRASTRUCTURE LIST
 (Rev. 9-20-05)
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

THE SOFT LOFTS

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract 12-A, Lands of Ferrari-Esqui-bel-Palmer

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		20' F-F	Residential paving including parking areas	Rozamiento Lane	Lagrima de Oro	Lagrima de Oro	/	/	/
		22' F-F	Residential paving including parking areas	Rozamiento Lane	east/west portion along	south boundary	/	/	/
		16' F-F	Residential paving	Rozamiento Lane gate access area			/	/	/
			Curb & gutter (2)	Rozamiento Lane	Lagrima de Oro	Lagrima de Oro	/	/	/
			Curb & gutter (2)	Rozamiento Lane gate access area			/	/	/
		8.5' 12' wide	parking spaces <i>incl. curb & gutter & modifications</i>	Lagrima de oro	Rozamiento Lane	Rozamiento Lane	/	/	/
		4'	Concrete sidewalk (deferred)	Private esm't. between lots 5 & 6	Rozamiento Lane	Hahn Park	/	/	/
		4'	Concrete sidewalk (deferred)	Private esm't. between lots 14&15, and Lots 22&23	Rozamiento Lane	Rozamiento Lane	/	/	/
		4'	Concrete sidewalk (deferred)	Private esm't. between lots 30 & 31	Rozamiento Lane	Juan Tabo Blvd	/	/	/

ORIGINAL

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		6"	Waterline	Rozamiento Lane	Lagrima de Oro	Lagrima de Oro	/	/	/
		6"	Waterline	Rozamiento Lane	Rozamiento Lane	Exst 10" Waterline south of property	/	/	/
			Water meter for landscaping				/	/	/
							/	/	/
		8"	Sanitary Sewer	Rozamiento Lane	Lagrima de Oro	Lagrima de Oro	/	/	/
		8"	Sanitary Sewer	Public easement between lots 5 & 6	Babe Ruth Way	Hahn Park	/	/	/
		8"	Sanitary Sewer	Hahn Park	East Property line	Langrima de Oro	/	/	/
				Exst Sanitary Sewer easement			/	/	/
		8"	Exst Sanitary Sewer Abandon per DRC	Lagrima de Oro	W. Boundary line	Hahn Park parking lot	/	/	/
		48" 24"	Storm Drain	Exst public easement on Hahn Park	Rozamiento Lane	Lagrima de Oro	/	/	/
		2"	concrete backyard rundown	private easement	Lot 10	Lot 17	/	/	/
		1' ⚠	Private PVC Drain	private esmt	Lot 10	Lot 17	/	/	/
		1' ⚠	Private PVC Drain	private esmt	Lot 18	Lot 25	/	/	/
		4"	concrete backyard rundown	east property line	Lot 26	Lot 34	/	/	/
		1' ⚠	Private PVC Drain	East PL	Lot 26	Lot 34	/	/	/

(rev. 9-20-05)

ORIGINAL

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
		12"	Private PVC drain	west property line	Lot 1	Lot 9	/	/	/	
			Private PVC drain	Lots 18-25	to rear adjoining lot		/	/	/	
			Concrete Sidewalk both sides (deferred) excluding along south boundary	Rozamianto Lane	Lagrima de Oro	Lagrima de Oro	/	/	/	
			Perimeter walls	Along public right-of-way			/	/	/	
							/	/	/	
							/	/	/	
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							/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature	Date	City User Dept. Signature	Date

(rev. 9-20-05)

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 All sidewalks to be deferred.

- 2 Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.

- 3 Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.

- 4 All water to include fire hydrants, valves, and appurtenances per DPM.

- 5 Storm drain sizes are subject to change per final DRC determination.

- 6 Signing per DRC

- 7

AGENT / OWNER

Genevieve Donart
NAME (print)

Isaacson & Arfman, P.A.
FIRM

Genevieve Donart 6/08/06
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Matson 07/19/06
DRB CHAIR - date

Christina Sanloval 7/19/06
PARKS & GENERAL RECREATION - date

[Signature] 7-19-06
TRANSPORTATION DEVELOPMENT - date

[Signature] 7/19/06
UTILITY DEVELOPMENT - date

Bradley L. Brigham 7/19/06
CITY ENGINEER - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
△	8/31/06	<i>[Signature]</i>	75025	<i>Genevieve Donart</i>

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: INFILL SOLUTIONS PHONE: 242-1871
 ADDRESS: 723-B SILVER AVE SW FAX: 242-1872
 CITY: ABQ STATE NM ZIP 87102 E-MAIL: REMBE@INFILLSOLUTIONS.COM
 Proprietary interest in site: DEVELOPER List all owners: LOS CANDELARIAS, LLC
 AGENT (if any): ISAACSON & ARFMAN, P.A. PHONE: 268-8828
 ADDRESS: 128 MONROE ST NE FAX: 268-2632
 CITY: ABQ STATE NM ZIP 87108 E-MAIL: GennyD@iacivil.com

DESCRIPTION OF REQUEST: PRELIMINARY PLAT APPROVAL; & SIDEWALK DEFERRAL & WAIVER (thru The Soft Lofts)

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 12-A Block: _____ Unit: _____
 Subdiv. / Addn. LANDS OF FERRARI - ESQUIDEL - PALMER
 Current Zoning: SU-1/PRO AT 22 DU/AC Proposed zoning: SAME
 Zone Atlas page(s): F-21 No. of existing lots: 1 No. of proposed lots: 34
 Total area of site (acres): 1.9088 Density if applicable: dwellings per gross acre: 17.8 dwellings per net acre: 17.8
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 102106151008940114 MRGCD Map No. NA
 LOCATION OF PROPERTY BY STREETS: On or Near: LAGRIMA DE ORO NE
 Between: JUAN TABO NE and HAHN PARK

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 04DRB-00236
APP# 06EPC-00146 & 06EPC-00147; 05DRB-00911
EPC # 1003102

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE GENEVIEVE DONART DATE 06/09/06
 (Print) GENEVIEVE DONART _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

06DRB 00832
06DRB 00837
06DRB 00838

Action

PP
SW
TDS
CMF
Adv

S.F.

Fees

\$ 1265.⁰⁰
 \$ _____
 \$ _____
 \$ 20.⁰⁰
 \$ 75.⁰⁰
 Total
 \$ 1360.⁰⁰

Hearing date July 12, 2006

Andrew Jones 6/9/06

Project # 1003102

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
 - Proposed Infrastructure List
 - Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed plat
 - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Signed** Pre-Annexation Agreement if Annexation required.
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.
 DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
 - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.
 DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

GENEVIEVE DONART
 Applicant name (print)
Genevieve Donart 06/09/06
 Applicant signature / date



Form revised 11/04 and JUNE 05

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 06DRB- _____ -00832

Andrew Jones 6/9/06
 Planner signature / date
 Project # 1003102

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE (PUBLIC HEARING CASE)
 ___ Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
 ___ Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
 ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 ___ Any original and/or related file numbers are listed on the cover application
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY
 VACATION OF PUBLIC EASEMENT
 ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
 ___ Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
 ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ Any original and/or related file numbers are listed on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DPM)
 SIDEWALK DESIGN VARIANCE
 SIDEWALK WAIVER
 Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 Letter briefly describing, explaining, and justifying the variance or waiver
 Any original and/or related file numbers are listed on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION
 EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION
 Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 Letter briefly describing, explaining, and justifying the deferral or extension
 Any original and/or related file numbers are listed on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT
 ___ The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies**
 ___ Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 ___ Letter briefly describing, explaining, and justifying the vacation
 ___ Letter of authorization from the grantors and the beneficiaries
 ___ Fee (see schedule)
 ___ Any original and/or related file numbers are listed on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF RECORDED PLAT
 ___ 6 copies of the recorded plat to be vacated.
 ___ 6 copies of documents justifying the vacation.
 ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 ___ Letter describing, explaining, and justifying the vacation
 ___ Any original and/or related file numbers are listed on the cover application
 I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

GENEVIEVE DONARD
 Genevieve Donard 06/09/06



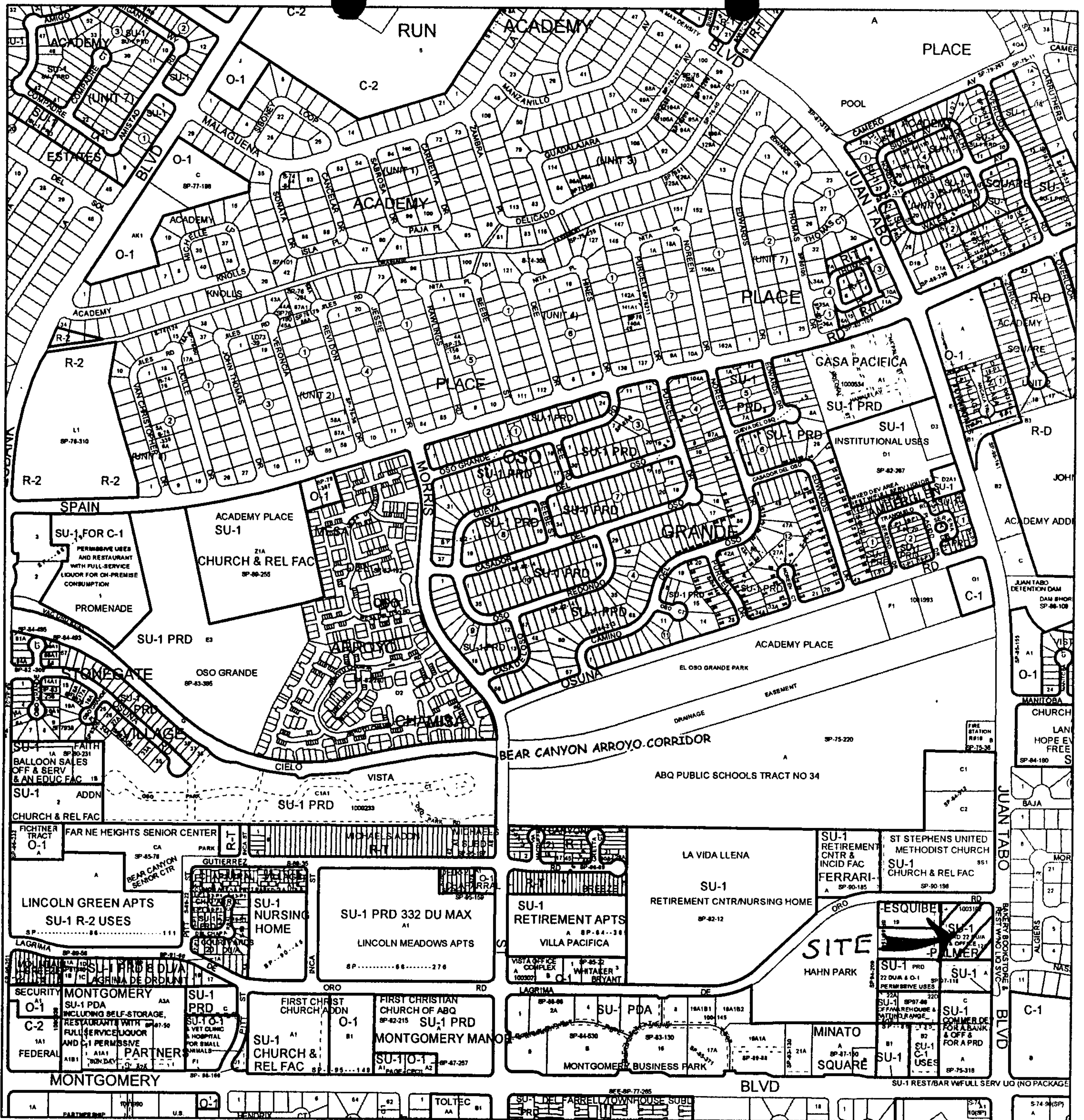
Applicant name (print)
 Applicant signature / date

Form revised 4/03, 10/03 and APRIL 2006

Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed

Application case numbers
 060213 - 00837
 060213 - 00838

Planner signature / date
 Project # 1003102



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 11/2/2005

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-21-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

June 9, 2006

Ms. Sheran Matson
DRB Chair
City of Albuquerque
600 2nd St NE
Albuquerque, NM 87103

**RE: Submittal for Tract 12-A, Lands of Ferrari-Esquibel-Palmer
Preliminary Plat and Sidewalk Waiver & Deferral**

Dear Ms. Matson:

Isaacson & Arfman, P.A., as agents for Los Cadelarias LLC, request approval of the Preliminary Plat and Sidewalk Deferral & Waiver for the proposed Soft Lofts development. The Soft Lofts are proposed as a private, gated community.

This project includes 34 townhomes on 1.91 acres. It is an infill site, with a recently approved zoning of SU-1/PRD (22 D.U./Ac.). At the time of rezoning, a Site Development Plan was also approved with conditions at EPC. The final Site Development Plan will be submitted to DRB for approval in the near future.

Because of the high density use on this site, there is very little space between the curb and garage. The Site Plans only show sidewalk in private pedestrian access easements running east/west through the middle of the site. We have included a submittal for sidewalk waiver and deferral as part of this package to reflect that constraint.

Please contact me if you have any questions about this submittal.

Sincerely,
Isaacson & Arfman, P.A.

Genny Donart, PE
GD/gld

FORM DRWS: DRAINAGE REPORT / WATER & SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME: The Soft Lofts

AGIS MAP # F-21

LEGAL DESCRIPTION: Lot 12A, Lands of Ferrari/Esquibel/Palmer

 DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd floor Plaza del Sol) on 6/9/06 [date].

Genevieve D. Isaacson
Applicant/ Agent ISAACSON + Artman, P.A.

6/9/06
Date

Andrew Gomez
Hydrology Division representative

6/9/06
Date

 WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2nd floor Plaza del Sol) on 2/8/06 [date].

Genevieve D. Isaacson
Applicant/ Agent ISAACSON + Artman, P.A.

6/9/06
Date

Andrew Gomez
Utilities Division representative

6/9/06
Date

DRB-1003102

CITY OF ALBUQUERQUE



March 31, 2006

Mr. Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe NE
Albuquerque, NM 87108

APR 04 2006

RE: Water and Sanitary Sewer Availability Statement
Lot 12A of the lands of Ferrari, Esquibel & Palmer

F-21

Mr. Arfman,

The subject site includes approximately 1.9 acres of vacant land located at the southwest corner of Juan Tabo and Lagrima de Oro in northeast Albuquerque as shown on the attached figure 1. Your request for service availability indicated that a 34-lot, residential subdivision is planned. Access is shown from Lagrima de Oro at two (2) locations.

Existing infrastructure includes 8-inch sewers in both Juan Tabo and Lagrima de Oro. The water line in Lagrima de Oro is 8-inch. Two (2) water lines, a 6-inch and a 16-inch, are present in Juan Tabo. By size, designation, location and material type, the 16-inch is not available for additional connections.

Service will require the construction of new water and sewer lines both internally and externally. However, the utility layout configuration included in your submittal is not acceptable. The new water line will be a 6-inch and must connect to the 8-inch in Lagrima de Oro at two (2) locations (see figure 3), loop through the development, and connect to the 6-inch in Juan Tabo. As always, fire hydrants must be included at standard locations and intervals. The internal sewers will be 8-inch and will drain north to Lagrima de Oro through your access road. The sewer corridor you propose will not be allowed. Due to the proposed pad elevations, traditional gravity sewers would not be possible with the existing Lagrima de Oro sewer line geometry. Your project will therefore be responsible for the reconstruction of the existing sewer in Lagrima de Oro between manhole #883 and #891. See figure 2. There is sufficient grade in La Grima de Oro to allow for the sewer's reconstruction with a flatter slope which would, in turn, allow for standard gravity sewers outfalling through your proposed northwestern access.

Design and Construction of all required improvements will be at the developer / property owner's expense and must be coordinated through the City of Albuquerque via the DRC / City Work Order process. Designs must be by a licensed, New Mexico registered Professional Engineer. Construction must be by a licensed, bonded, public utility contractor.

Costs and Fees: In addition to installation and construction costs, both sanitary sewer and metered water services to each property will be subject to Utility Expansion Charges (UEC) payable at the time of service application. Any outstanding pro rata assessments must be paid in full as part of the replatting process. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

Closure: This statement of availability will remain in effect for a period of one (1) year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Albuquerque Bernalillo County Water Utility (ABCWU) as soon as possible.

P.O. Box 1293

Albuquerque

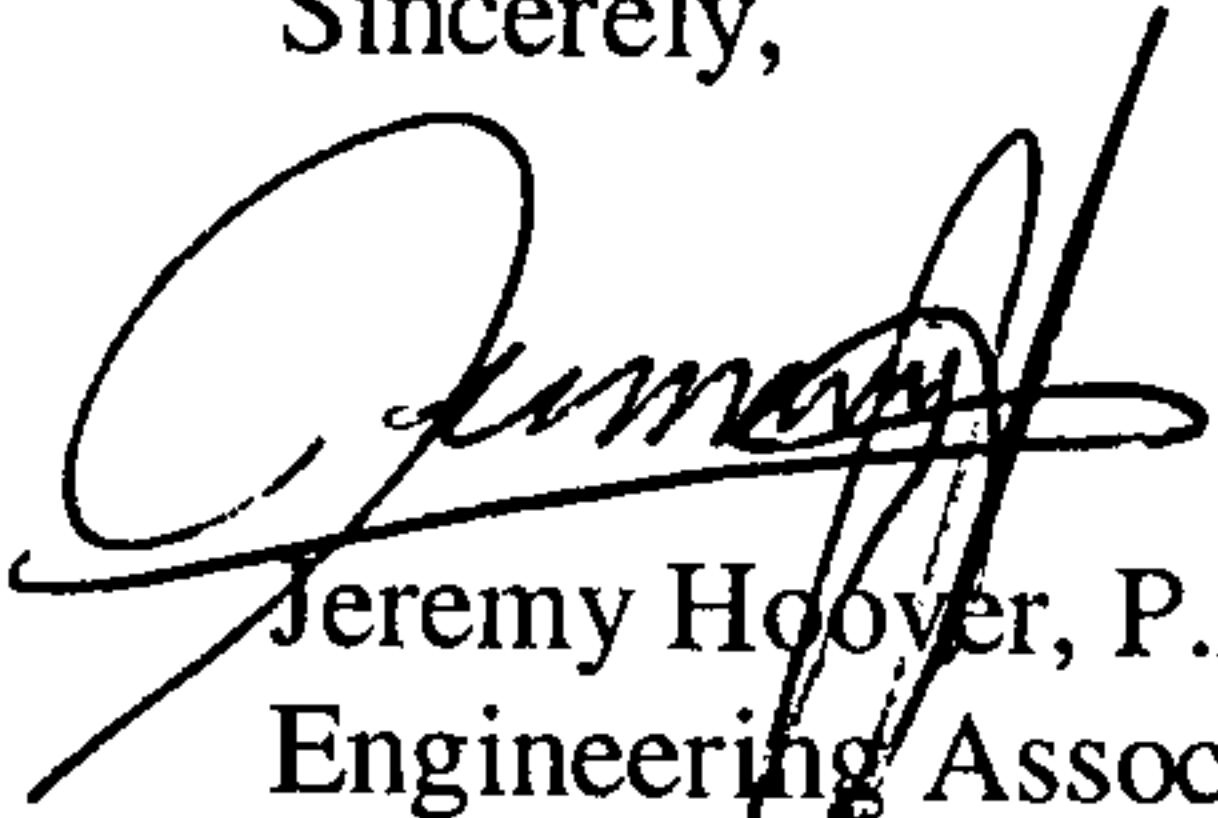
New Mexico 87103

www.cabq.gov

Easements: Albuquerque Bernalillo County Water Authority public water and sewer easements are required for all lines to be constructed outside of dedicated rights-of-way. The minimum easement width for the new water line loop to Juan Tabo shall be 20-feet. Acceptable easements must be documented on the final site plan prior to DRB site plan approval.

Please feel free to contact the undersigned at (505) 924-3987, or by fax at (505) 924-3864 if you have questions regarding the information presented herein or need additional information.

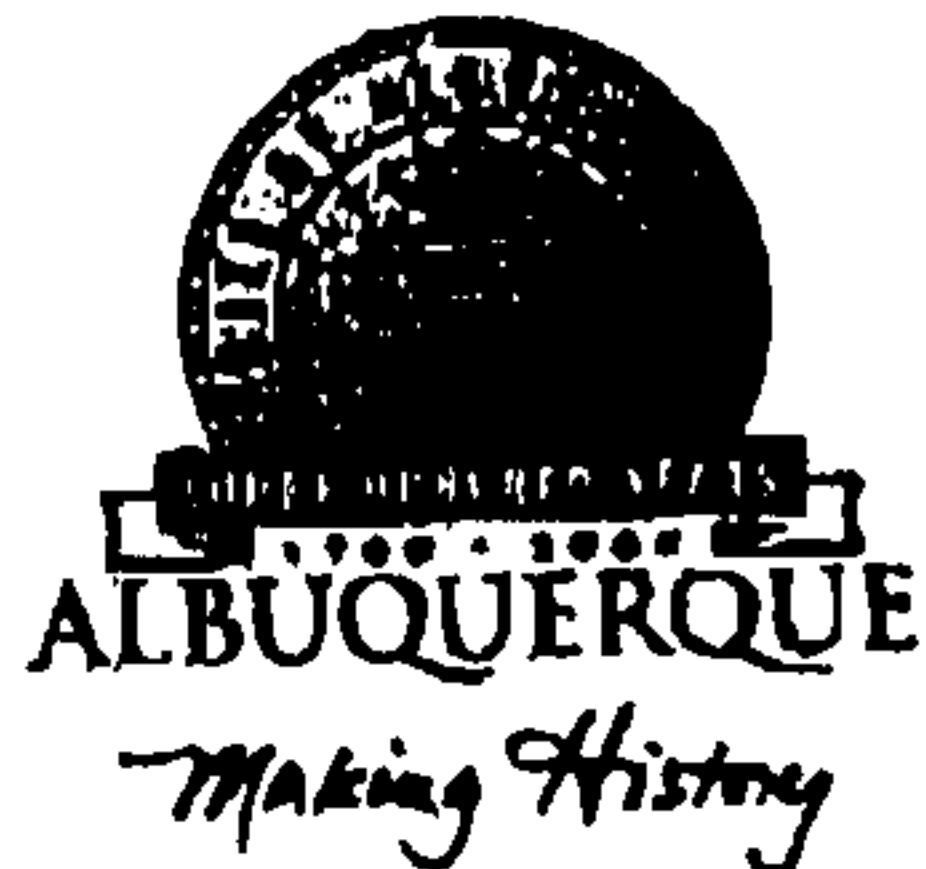
Sincerely,



Jeremy Hoover, P.E.
Engineering Associate
Utility Development Section
Water Utility Department

encl: Site and Infrastructure Maps (3)

cc: f/ Readers #60206
f/ DRB #1003102
f/ Availability F-21



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: June 9, 2006

TO CONTACT NAME: Ruth Lozano
COMPANY/AGENCY: Jackson & Arfman PA
ADDRESS/ZIP: 128 Monroe St NE 87108
PHONE/FAX #: 268-8828 / 268-2632

Thank you for your inquiry of 6-9-06 requesting the names of Recognized
(date)

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Tract 12-A, Lands of Ferrari-Esquivel - Palmer on Juan Tabo Blvd NE between Laguna de Oro Rd & Montgomery Blvd.
zone map page(s) F21

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

S.V. Jackson

Neighborhood Association

Contacts: Jeff Weaver
4635 Algiers NE 87111
856-8048 (w) 228-8378 (c)
Wanda Silva
4533 Dahu Dr NE 87111
294-9742 (w)

Neighborhood Association

Contacts: _____

See reverse side for additional Neighborhood Association Information: YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED. BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaina S. Carmora
OFFICE OF NEIGHBORHOOD COORDINATION

.....
Attention: Both contacts per neighborhood association need to be notified.
.....



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

June 9, 2006

CERTIFIED MAIL 7005 1160 0001 1329 6644

Mr. Jeff Weaver
S. Y. Jackson Neighborhood Association
4635 Algiers NE
Albuquerque, NM 87111

**RE: Lot 12-A, Lands of Ferarri-Equibel-Palmer
Preliminary Plat for Soft Lofts Subdivision**

Dear Mr. Weaver:

As the consulting engineers for the above referenced site, we are writing this letter to inform the S. Y. Jackson Neighborhood Association that we are requesting approval of a preliminary plat, and a sidewalk deferral and waiver. Attached is a copy of the vicinity map showing the site location.

Please call me at 268-8828 if you have questions.

Sincerely,
ISAACSON & ARFMAN, P.A.

Genny Donart, PE
GD/gld

7005 1160 0001 1329 6644

4499 6229 1329 7000 09TT 6644

7005 1160 0001 1329 6644

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE
ALBUQUERQUE, NM 87111

Postage	\$ 0.39	UNIT ID: 0108
Certified Fee	2.40	
Return Receipt Fee (Endorsement Required)	1.85	Postmark JUN 9 Here
Restricted Delivery Fee (Endorsement Required)		Clerk: BCPXFO
Total Postage & Fees	\$ 4.64	06/09/06

Sent To Jeff Weaver
S.Y. Jackson N.A.

Street, Apt. No.;
or PO Box No. 4635 Algiers NE

City, State, ZIP+4
Albuquerque, NM 87111

PS Form 3800, June 2002 See Reverse for Instructions



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE

June 9, 2006

CERTIFIED MAIL 7005 1160 0001 1329 6651

Ms. Wanda Silva
S. Y. Jackson Neighborhood Association
4533 Oahu Drive NE
Albuquerque, NM 87111

**RE: Lot 12-A, Lands of Ferarri-Equibel-Palmer
Preliminary Plat for Soft Lofts Subdivision**

Dear Ms. Silva:

As the consulting engineers for the above referenced site, we are writing this letter to inform the S. Y. Jackson Neighborhood Association that we are requesting approval of a preliminary plat, and a sidewalk deferral and waiver. Attached is a copy of the vicinity map showing the site location.

Please call me at 268-8828 if you have questions.

Sincerely,
ISAACSON & ARFMAN, P.A.

Genny Donart, PE
GD/gld

7005 1160 0001 1329 6651

7599 622T 1329 0000 09TR 5002
7005 1160 0001 1329 6651

U.S. Postal Service		
CERTIFIED MAIL RECEIPT		
<i>(Domestic Mail Only; No Insurance Coverage Provided)</i>		
For delivery information visit our website at www.usps.com		
ALBUQUERQUE, NM 87111		
Postage	\$ 0.39	UNIT ID: 0109
Certified Fee	2.40	Postmark Here
Return Receipt Fee (Endorsement Required)	1.95	Clerk: BCPXFO
Restricted Delivery Fee (Endorsement Required)		06/09/06
Total Postage & Fees	\$ 4.64	
Sent To	Wanda Silva S.Y. Jackson N.A.	
Street, Apt. No.; or PO Box No.	4533 Oahu Drive NE	
City, State, ZIP+4	Albuquerque, NM 87111	
PS Form 3800, June 2002 See Reverse for Instructions		

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Infill Solutions
AGENT Isaacson; Arfman, PA
ADDRESS 128 Monroe St. NE.
PROJECT & APP # 1003102 /
PROJECT NAME _____

\$ 20.00 441032/3424000 Conflict Management Fee
\$ 1265.00 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ 75.00 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 1360.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

LOS CANDELARIAS PARTNERS LLC
LAGRIMA DEL ORO
723B SILVER SW
ALBUQUERQUE, NM 87102

95-145/1070
002298384

1027

DATE 6-8-06

PAY TO THE ORDER OF City of ALB. \$ 1,360.00
Thirteen Hundred Sixty & 00/100 DOLLARS

1ST STATE BANK
www.fsbnm.com

MEMO Prelim. Plat

MP

Counterreceipt

1070014521 1027 002298384

DUPLICATE
City Of Albuquerque
Treasury Division

6/9/2006 11:28AM LOC: A:INX
RECEIPT# 00064002 WSH 007 TRANS# 0010
Account 441037 Fund 01.0
Activity 3424000 TRSKAL
Trans Amt \$1,360.00
J24 Misc

\$20.00
Thank You

DUPLICATE
City Of Albuquerque
Treasury Division

6/9/2006 11:29AM LOC: ANN
RECEIPT# 00064003 WSH 007 TRANS# 0010
Account 441006 Fund 0110
Activity 4783000 TRSKAL
Trans Amt \$1,360.00
J24 Misc

\$1,265.00
Thank You

DUPLICATE
City Of Albuquerque
Treasury Division

6/9/2006 11:29AM LOC: A:INX
RECEIPT# 00064004 WSH 007 TRANS# 0010
Account 441018 Fund 0110
Activity 4971000 TRSKAL
Trans Amt \$1,360.00
J24 Misc

\$75.00
CK \$1,360.00
CHANGE \$0.00

Thank You

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from June 27, 2006 To July 12, 2006

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

for Ruth Lopez (Applicant or Agent) Isaacson + Artman 06/09/06 (Date)

I issued 2 signs for this application, 6/9/06 (Date) Andrew Garcia (Staff Member)

DRB PROJECT NUMBER: 1003102

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 0375
CONNECTION TEL 9p2682632
SUBADDRESS
CONNECTION ID
ST. TIME 06/12 11:48
USAGE T 03'13
PGS. 5
RESULT OK

City of Albuquerque
Planning Department
505-924-3900 (main number)
505-924-3864 (fax number - 2nd Level)
505-924-3440 (fax number - 4th Floor)
Development and Building Services (One Stop Shop)
600 2nd Street NW
Albuquerque, NM 87102

**City of Albuquerque
Planning Dept.
Dev. & Bldg. Svcs.**

Fax

To: GENEVIEVE DONART From: SANDY

Fax: 268-2632 Pages Sent: (including this page) 5

Phone: 268-8828 Date: 06/12/06

Time: 11:50

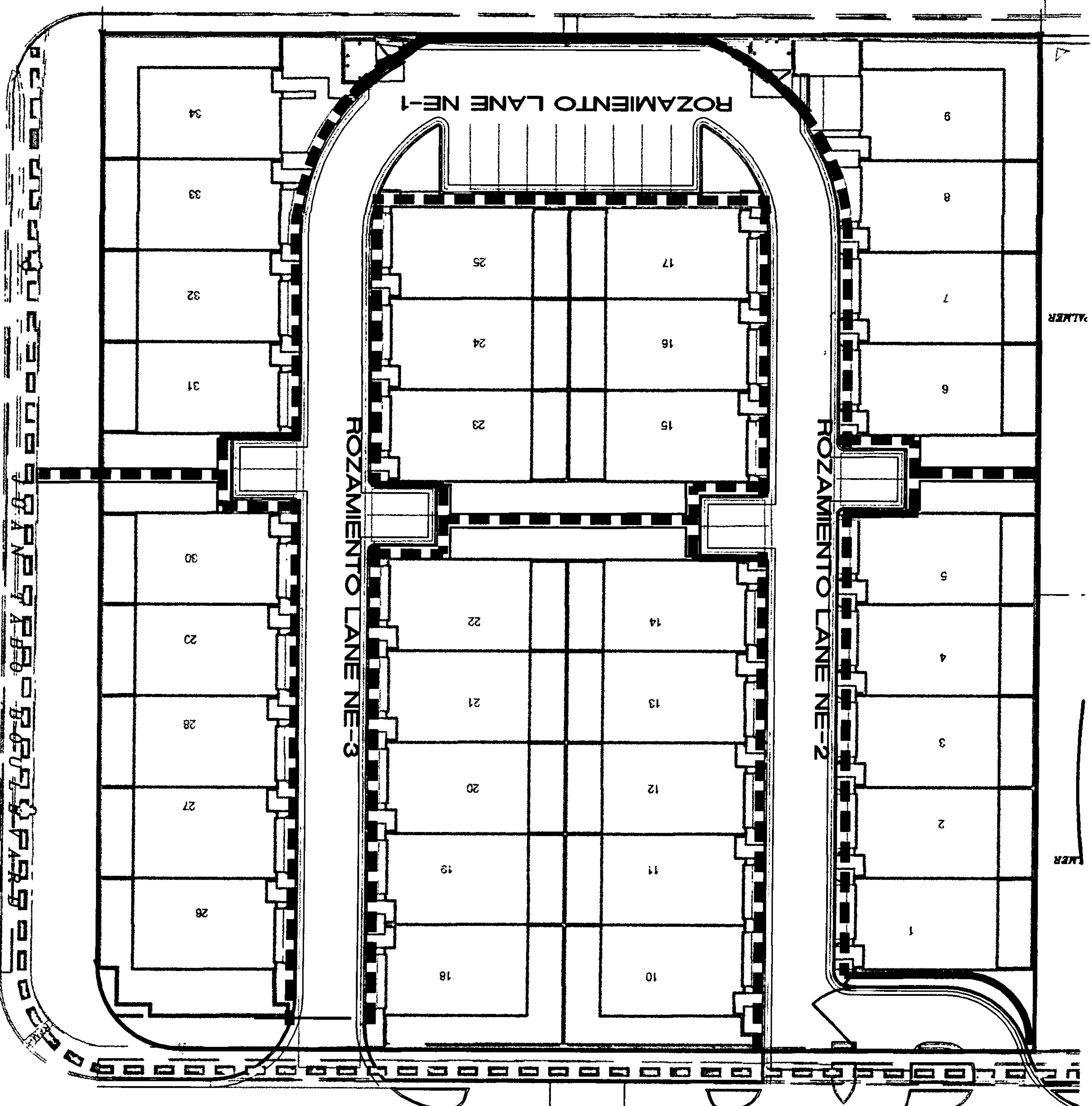
- Urgent For Review Please Comment Please Reply Please Recycle

Comments:

PLEASE ADD THESE CASE & PROJECT
NUMBERS TO YOUR SIGNS

THANKS

LANDS OF FERRARI-ESQUIBEL-PALMER
 FILED APRIL 11, 1986
 VOLUME C28, FOLIO 192



100' R/W

LAGRIMA DE ORO NE
 60' R/W

LEGEND

- SIDEWALK TO BE WAIVED
- 4' SIDEWALK TO BE DEFERRED
- ▣ EXISTING SIDEWALK

SCALE:
 1" = 40'

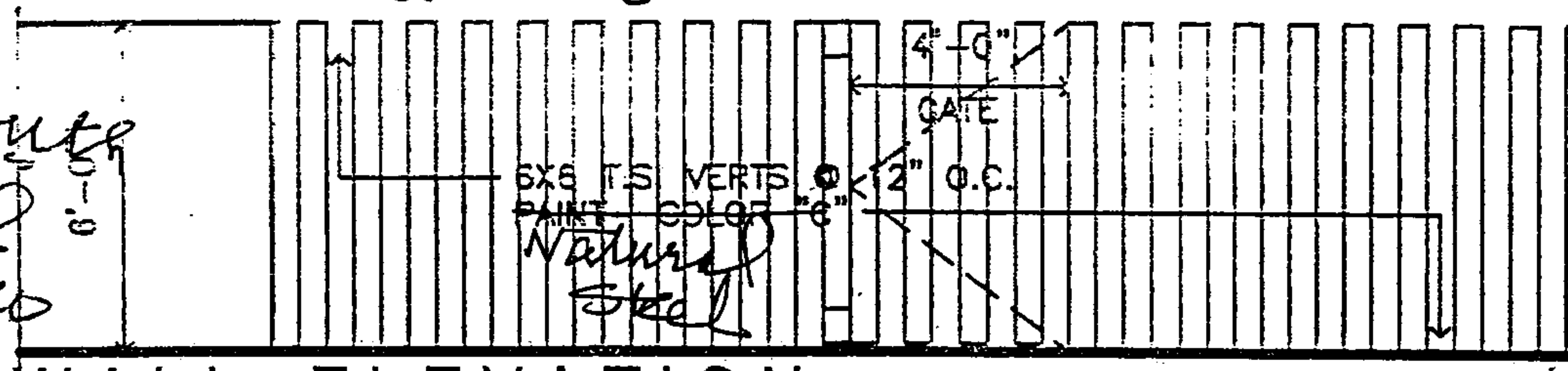


Revised
EXHIBIT C
 Date 07/19/06

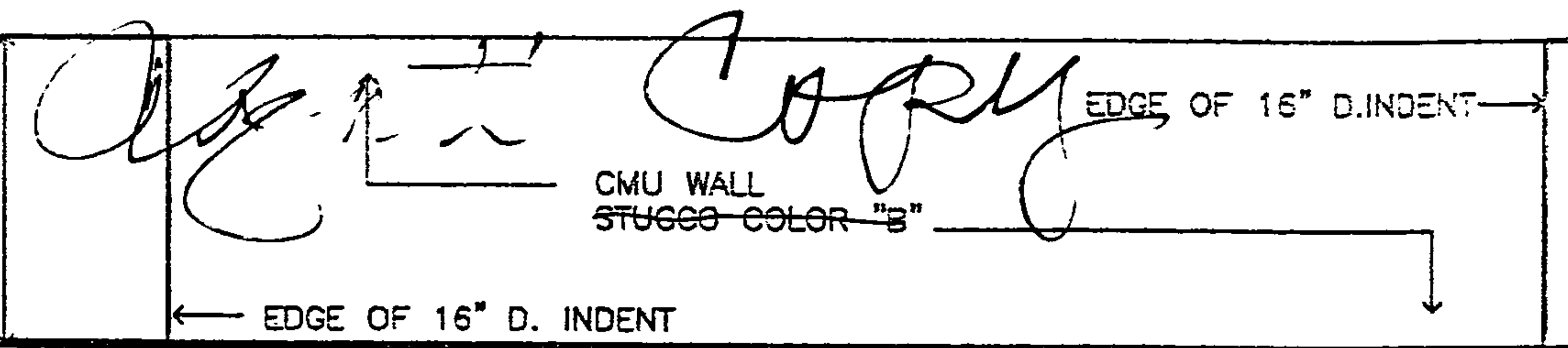
**SOFT LOTS
 SIDEWALK WAIVER
 DEFERRAL EXHIBIT**

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico
 1352EXHSWDEFERRAL.DWG.rth
 06/01/06

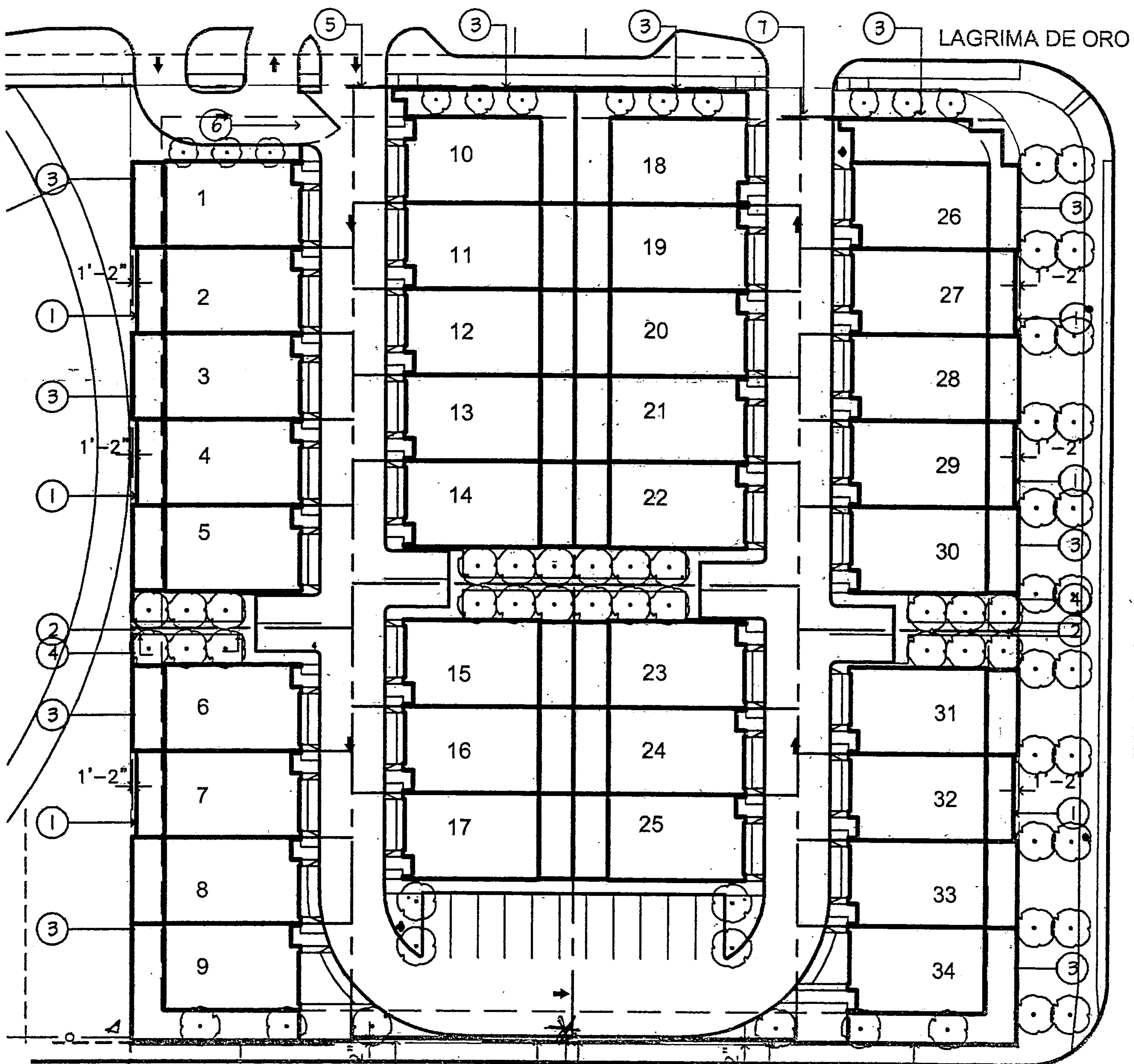
* South
End
also



CMU WALL
STUCCO COLOR
Earthtone Sunset Red



WALL ELEVATION SCALE 3/16" = 1'0"

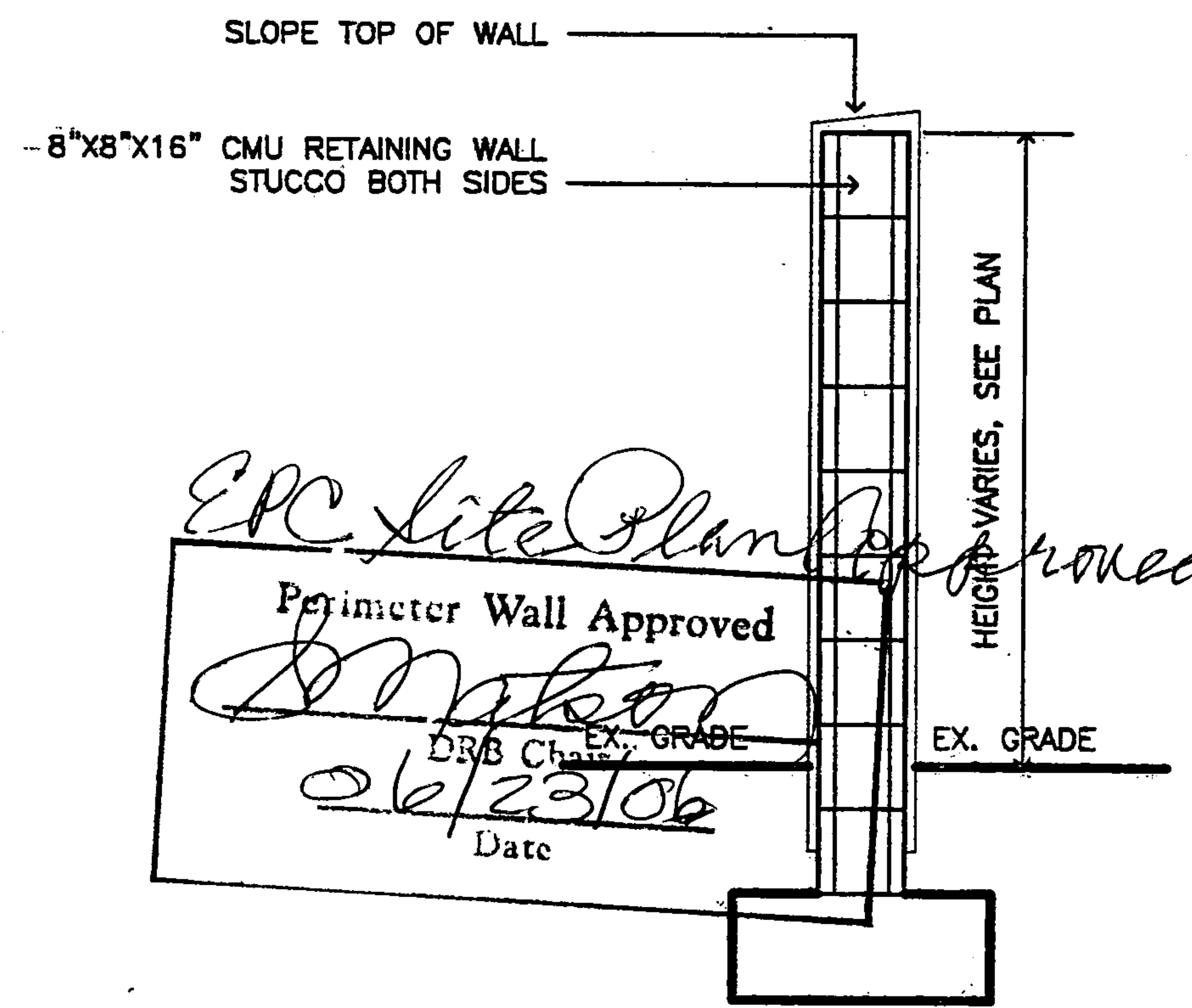


PERIMETER WALL SITE PLAN SCALE 1" = 40'0"

Flying Star

KEYED NOTES

- 1 1'4" INDENT IN WALL
- 2 4'0" W X 6'0" H. STEEL GATE, SEE ELEVATIONS
- 3 6'0" H CMU YARD WALL, STUCCO, SEE DETAL 2/A.1
- 4 6X6 X 6'0" T. T.S. FENCE VERTICALS @ 12" O.C.
- 5 EMERGENCY AND SERVICE VEHICLES ONLY GATE
6'0" HIGH X 28'0" WIDE ROLLING METAL GATE
- 6 RESIDENT AND GUEST ENTRY GATE
6'0" HIGH X 17'0" WIDE SWINGING METAL GATE
- 7 ALL VEHICLE EXIT GATE
6'0" HIGH X 28'0" WIDE ROLLING METAL GATE



EPC Site Plan Approved
Perimeter Wall Approved
[Signature]
DBB Chair
06/23/06
Date

WALL SECTION SCALE 1/2" = 1'0"

SOFT LOFTS
JUAN TABO & LAGRIMA DEL ORO
ALBUQUERQUE, NEW MEXICO

DATE: 6.9.06

Solutions
Innovative Urban Design and Development
725-B Silver Avenue, SW
Albuquerque, NM 87102
Office: 505.242.1871
Fax: 505.242.1872

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 0466
CONNECTION TEL 9p2682632
SUBADDRESS
CONNECTION ID
ST. TIME 06/27 15:40
USAGE T 00'51
PGS. 2
RESULT OK



DEVELOPMENT REVIEW BOARD FAX FORM

TO: ISAACSON & AREMAN PA

FAX NUMBER: 268-2632 # PAGES 2

SENT BY: Sheran Matson, DRB Chair DATE: 06/27/06

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 1003102 APPLICATION NO: 06DRB-00832
06DRB-00837
06DRB-00838

THE SOFT LOFTS



**DEVELOPMENT REVIEW BOARD
FAX FORM**

TO: ISAACSON & AREFMAN PA

FAX NUMBER: 268-2632 # PAGES 2

SENT BY: Sheran Matson, DRB Chair DATE: 06/27/06

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 1003102 APPLICATION NO: 06DRB-00838

06DRB-00832
06DRB-00837
06DRB-00838

THE SOFT LOFTS



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, July 12, 2006, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1004355
06DRB-00808 Major-Vacation of Public Easements

WILSON AND COMPANY agent(s) for KB HOMES request(s) the above action(s) for all or a portion of Tract(s) 2, **VISTA VIEJA, UNIT 2**, zoned R-1 residential zone, located on SCENIC RD NW, between 81ST ST NW and ALBERICOQUE PL NW containing approximately 41 acre(s). [REF: 04DRB-01522, 04DRB-01523, 04DRB-01524, PROJECT #1003470] (D-9)

No objection to the requested vacation action. Please remember that this vacation, if approved, must be completed by filing a recorded plat within one year of the DRB approval date.

Project # 1003102
06DRB-00832 Major-Preliminary Plat Approval
06DRB-00837 Minor-Sidewalk Waiver
06DRB-00838 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 Du/Acre), located on LAGRIMA DE ORO NE, between JUAN TABO NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 04DRB-00236, 06EPC-00146, 06EPC-00147, 05DRB-00911] (F-21)

Perimeter wall design was approved by EPC in SPBP.

The public water & sanitary sewer easement should be granted to the City of Albuquerque.

Waiving sidewalks throughout the complex is usually not a good idea. No problem with deferring the sidewalks until construction is complete.

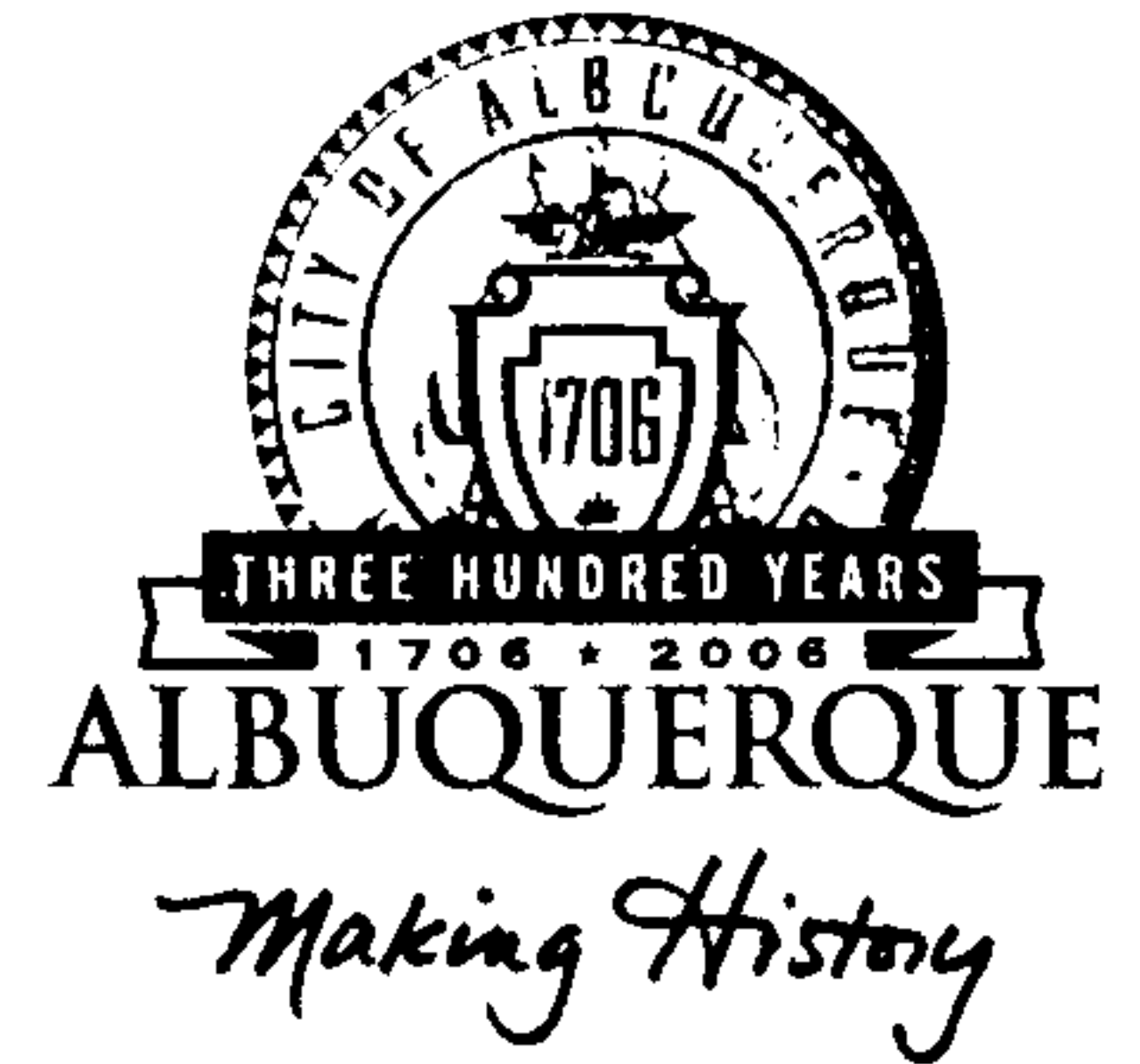
Planning was unable to compare the plat to the EPC approved site plan as it was not submitted with this application. Presumably the site plan will be submitted in time to be heard as a minor action with this plat. The Subdivision Ordinance requires site plan sign off by DRB before approval of platting. Agent was notified on June 23rd.

Be aware that preliminary plat and final plat approvals occurring after October 31, 2006, are subject to the provisions of City Council Resolution R-06-74. The complete resolution is available on the City website: www.cabq.gov/citycouncil.

PROJECT TRACKING HISTORY

Date	Project Name/#	Application Request	Action
6/8/05	Islandhead Commons Prj 1003102	Sketch	Comments Given

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003102

AGENDA ITEM NO: 25

SUBJECT:

Sketch Plat/Plan

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

An approved drainage report is required for Preliminary Plat approval.
An approved infrastructure list is required for Preliminary Plat approval.
May need downstream easement or written permission to accept drainage.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED X; WITHDRAWN

discussed

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 8, 2005



City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1003102
Application Number: 05DRB-00911

DRB Date: 6/8/2005
Item Number: 25

Subdivision: Trailhead commons
Lots 12-A Lands of Ferrari- Esquibel-Palmer

Zoning: SU-1 PRD, C-1

Zone Page: F-21

New Lots (or units) : 20


Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

This development will be subject to impact fees for Parks, Recreation, Trails and Open Space. Fees will be collected at building permit.

This property is adjacent to Hahn Park which is leased to Roadrunner Little. A future field and parking lot may be built next to your property.

Signed: 

Christina Sandoval, (DMD)

Phone: 768-3808

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**June 8, 2005
DRB Comments**

ITEM # 25

PROJECT # 1003102

APPLICATION # 05-00911

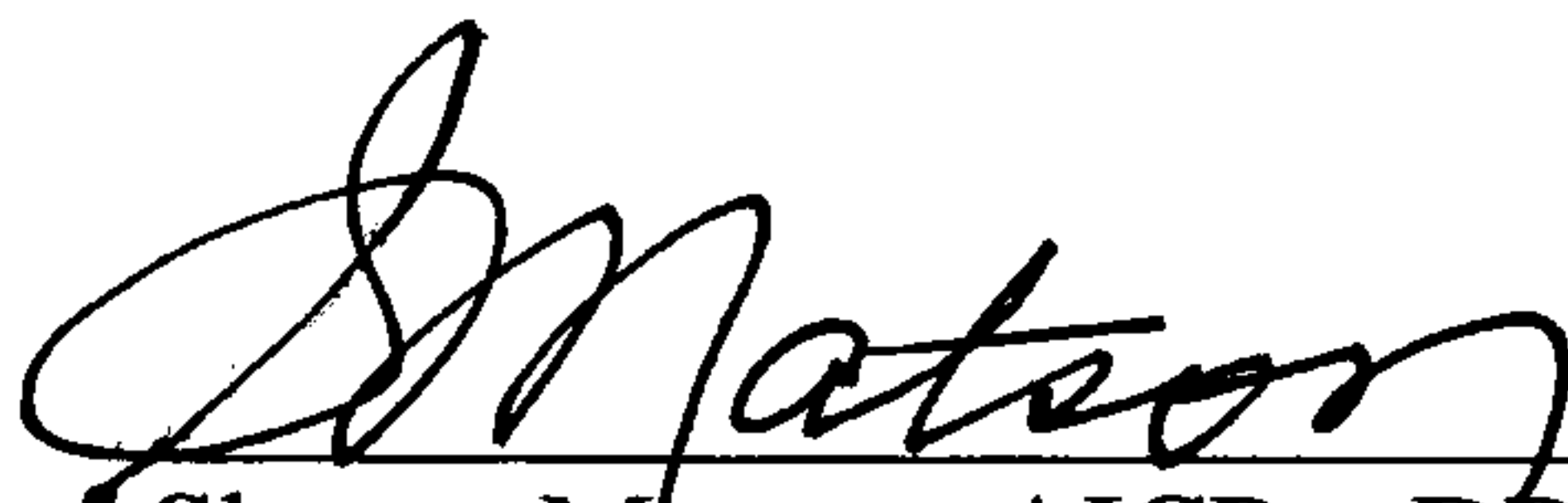
RE: Trailhead Commons/sketch

The file contains a previously approved SPBP for a commercial development. Planning assumes that plan is now obsolete.

EPC review of a new SPBP is required per the zoning on the lot.

Dwelling units are a conditional use on C-1 property. Application to the ZHE is required and an approval notice is needed by Planning.

*Zone Line
Location
J. Boney*



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov

#11



Completed
1-24-05
CS.

DRB CASE ACTION LOG (PREL & FINAL)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **05DRB-00039 (P&F)**

Project # **1003102**

Project Name: **Ferrari-Esquivel Palmer**

Agent: **Wilks Company**

Phone No.: **888-3066**

Your request for (SDP for SUB), (SDP for BP), (**FINAL PLATS**), (MASTER DEVELOP. PLAN), was approved on 1/19/05 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): _____
- _____
- _____
- _____

Project Number 1003102

X

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

OKAY.



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **05DRB-00039 (P&F)**

Project # **1003102**

Project Name: **Ferrari-Esquibel Palmer**

Agent: **Wilks Company**

Phone No.: **888-3066**

Your request for (SDP for SUB), (SDP for BP), (**FINAL PLATS**), (MASTER DEVELOP. PLAN), was approved on 1/19/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): _____
- _____
- _____
- _____

Project Number 1003102

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- ~~AGIS DXF File approval required.~~
- Copy of recorded plat for Planning.**

Okay

##/

3102

DXF Electronic Approval Form

DRB Project Case #: 1003102

Subdivision Name: FERRARI-ESQUIBEL-PALMER LOT 12A

Surveyor: ANTHONY L HARRIS

Contact Person: ANTHONY L HARRIS

Contact Information:

DXF Received: 1/19/2005

Hard Copy Received: 1/19/2005

Coordinate System: Ground rotated to NMSP Grid


Approved

1/19/05
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied cov3102 to agiscov on 1/19/2005 Contact person notified on 1/19/2005



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

January 19, 2005 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 a.m. Adjourned: 10:50 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000045**
04DRB-01978 Major-SiteDev Plan
BldPermit

TIERRA WEST LLC agent(s) for SAMS EAST INC request(s) the above action(s) for all or a portion of Tract(s) 3A4A, 3B2A, **RENAISSANCE CENTER**, zoned SU-1 FOR C-2 AND SU-1 FOR IP, located on RENAISSANCE BLVD NE, between ALEXANDER BLVD NE and CULTURE DR NE containing approximately 15 acre(s). [REF: Z-98-22, Z-99-3, Z-84-13-1, S-99-16] [Deferred from 1/19/05] (F-16)
DEFERRED AT THE AGENT'S REQUEST TO 1/26/05.

2. **Project # 1003004**
04DRB-01974 Major-Preliminary Plat
Approval
04DRB-01975 Minor-Temp Defer
SDWK

RIO GRANDE ENGINEERING agent(s) for ALBUQUERQUE EXCAVATORS request(s) the above action(s) for all or a portion of Tract(s) 414, 415B, 415C, 415D & 416, LANDS OF ATRISCO GRANT UNIT 3, (to be known as **STINSON PARK**), zoned RD, located on STINSON ST SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 15 acre(s). [REF: DRB-98-320, 03EPC01644, 04EPC00132] [*Deferred from 1/19/05*] (L-10) **DEFERRED AT THE AGENT'S REQUEST TO 1/26/05.**

SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

3. **Project # 1001763**
05DRB-00053 Minor-SiteDev Plan
Subd/EPC
05DRB-00054 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for AUTO ZONE INC request(s) the above action(s) for all or a portion of Tract(s) C-1, **ALBUQUERQUE WEST SUBDIVISION**, zoned SU-1 PRD AND C-1, located on 57TH ST NW, between QUAIL RD NW and OURAY RD NW containing approximately 2 acre(s). [REF: 04EPC01716, 04EPC01717, Z-74-118, AX-74-22, Z-95-18] [**Carmen Marrone, EPC Case Planner**] [*Deferred from 1/19/05*] (L-10) (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/26/05.**

- 04DRB-01136 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for J. HOWARD MOCK, LAVA PARTNERS request(s) the above action(s) for all or a portion of Tract(s) C-1, **ALBUQUERQUE WEST**, zoned SU-1 FOR C-1 PERMISSIVE USES, located on 57TH ST NW, between QUAIL RD NW and OURAY RD NW containing approximately 2 acre(s). [REF:DRB-96-279, 02DRB00308, 309, 02DRB00856] (*Indef. Deferred from 7/28/04 & 1/19/05*) (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/26/05.**

4. **Project # 1000816**
05DRB-00005 Minor-SiteDev Plan
Bld/Permit/EPC

TAFAZZUL HUSSAIN agent(s) for ALEEM & FAIZEL KASSAM request(s) the above action(s) for all or a portion of Block(s) 4B, Tract(s) 1A, **SUNPORT PARK**, zoned IP, located on UNIVERSITY BLVD SE, between SUNPORT BLVD SE and WOODWARD RD SE containing approximately 3 acre(s). [REF: 04EPC00293] **[Chris Hyer, EPC Case Planner]** *[Deferred from 1/12/05 & 1/19/05]* (M-15) **DEFERRED AT THE AGENT'S REQUEST TO 1/26/05.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

5. **Project # 1002176**
05DRB-00051 Minor-Sidewalk Waiver

BILL WADE request(s) the above action(s) for all or a portion of Block(s) 90C, Tract(s) E-1, NORTH FOUR HILLS, AND Tract(s) C, VARAN (to be known as **COVERED WAGON SUBDIVISION, UNIT 78**, zoned SU-1 special use zone, located on CENTRAL AVE SE, between FOUR HILLS RD SE and WATER FALL SE containing approximately 7 acre(s). [REF: 04DRB01071, 04DRB01072] (L-23) **A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

6. **Project # 1003881**
05DRB-00047 Minor-Prelim&Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES INC agent(s) for MACK & CHERYL ETHRIDGE request(s) the above action(s) for all or a portion of Tract(s) A, **ADOBE WELLS SUBDIVISION**, zoned C-2, located on EAGLE RANCH RD NW, between IRVING BLVD NW and WESTSIDE DR NW containing approximately 3 acre(s). (B-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE.**

7. **Project # 1000980**
05DRB-00058 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for ITRA GROUP request(s) the above action(s) for all or a portion of Tract(s) A3, **SIERRA VISTA SHOPPING CENTER**, zoned C-2 (SC), located on MONTGOMERY BLVD NE, between EUBANK BLVD NE and PARSIFAL ST NE containing approximately 15 acre(s). [REF: DRB-93-332, Z-93-83, 01EPC00731, 00AA00773, 01DRB01131, 04AA01022] (G-20) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR 9-FOOT DEDICATION ALONG EUBANK.**

8. **Project # 1003186**
05DRB-00050 Major-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for STV INVESTMENTS LLC request(s) the above action(s) for all or a portion of Tract(s) 442, LAND OF ATRISCO GRANT, UNIT 3 (to be known as **TORRETTA OESTE SUBDIVISION**) zoned RD, located on 97TH ST SW, between SAN YGNACIO BLVD SW and TOWER BLVD SW containing approximately 6 acre(s). [REF: 04DRB00035, 04DRB00256, 04DRB00508, 04DRB00668 (L-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND PLANNING FOR AGIS DXF FILE AND PROPERTY MANAGEMENT'S SIGNATURE.**

9. **Project # 1003592**
05DRB-00055 Minor-Prelim&Final Plat
Approval

FORSTBAUER SURVEYING INC agent(s) for GOLDEN SLUMBERS INC request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, **SCHMIDER PARCEL**, zoned M-2 heavy manufacturing zone, located on CANDELARIA RD NE, between EDITH NE and I-25 containing approximately 6 acre(s). [REF: 04DRB01197, 04DRB01368] (G-15) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
January 19,2005
DRB Comments**

ITEM # 11

PROJECT # 1003102 APPLICATION # 05-00052

RE: Lots 12 & 14, Ferrari-Esquibel-Palmer/minor plat

No objection.

AGIS dxf approval is required before Planning signs the plat.

Planning must record the plat.

*Matson
DRB Chair*

10. **Project # 1003752**
05DRB-00027 Minor-Prelim&Final Plat
Approval

SURV-TEK, INC agent(s) for DISMAS CHARITIES INC request(s) the above action(s) for all or a portion of Tract(s) F, **MENAU DEVELOPMENT AREA**, zoned C-3, located on MENAU NE, between PRINCETON NE and VASSAR NE containing approximately 3 acre(s). [REF: 04DRB01679] (H-16) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE.**

11. **Project # 1003102**
05DRB-00039 Minor-Prelim&Final Plat
Approval

WILKS COMPANY agent(s) for CLASSIC EMPORIUM 1, LLC request(s) the above action(s) for all or a portion of Lot(s) 12 & 14, **FERRARI-ESQUIBEL-PALMER**, zoned SU-1 PRD, located on JUAN TABO BLVD NE, between MONTGOMERY BLVD NE and LAGRIMA DE ORO RD NE containing approximately 2 acre(s). [REF: 03EPC01925, 03EPC01929, 04AA01762, 04DRB00236] (F-21) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

12. **Project # 1003883**
05DRB-00052 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS INC agent(s) for JOURNAL CENTER CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 9A-1A-1, **JOURNAL CENTER, PHASE 2, UNIT 1**, zoned IP industrial park zone, located on MASTHEAD ST NE, between TIBURON ST NE and JEFFERSON ST NE containing approximately 10 acre(s). [REF: 1000633] (D-17) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

13. **Project # 1003871**
05DRB-00019 Minor-Prelim&Final Plat
Approval

SANDIA LAND SURVEYING LLC agent(s) for RICHARD BERRY request(s) the above action(s) for all or a portion of Tract(s) B-1-A & B-1-B, Block(s) 3 & 4, **LA CUESTA SUBDIVISION**, zoned C-3, located on PAISANO ST NE, between I-40 and CENTRAL NE containing approximately 2 acre(s). [REF: DRB-94-317, V-94-60, V-85-36] *[Was Indef. Deferred on a no show 1/19/05]* (K-22) **DEFERRED AT AGENT'S REQUEST TO 1/26/05.**

14. **Project # 1003884**
05DRB-00056 Minor-Prelim&Final Plat
Approval

DOUG SMITH SURVEYING agent(s) for MAXWELL & BETTY SEVER request(s) the above action(s) for all or a portion of Lot(s) 29-32, Block(s) 37, **MESA VERDE ADDITION**, zoned R-2, located on VERMONT ST NE, between MARQUETTE AVE NE and COPPER AVE NE containing approximately 1 acre(s). (K-19) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

15. **Project # 1003885**
05DRB-00057 Minor-Sketch Plat or
Plan

ISAACSON & ARFMAN AND FAMILY HOUSING DEVELOPMENT CORPORATION agent(s) for CITY OF ALBUQUERQUE, METROPOLITAN REDEVELOPMENT AGENCY, request(s) the above action(s) for all or a portion of Lot(s) 4-7, 9-12 AND 21-24, Block(s) 13, PEREA ADDITION (to be known as **BELL TRADING POST HOMES**) zoned SU-2 TH, located on ROMA AVE NW, between 15TH ST NW and 16TH ST NW containing approximately 1 acre(s). [REF: ZA-88-50, Z-68-134, Z-85-8, Z-68-134, Z-85-8] (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. **Project # 1003749**
05DRB-00059 Minor-Sketch Plat or
Plan

MARK GOODWIN & ASSOCIATES PA agent(s) for ALPHA EQUITIES LLC request(s) the above action(s) for all or a portion of Tract(s) B, ACADEMY SQUARE, ELENA GALLEGOS GRANT, UNIT 2 (to be known as **ANCALA VILLAGE TOWNHOMES**) zoned O-1, located on JUAN TABO BLVD NE, between SPAIN RD NE and OSUNA RD NE containing approximately 3 acre(s). [REF: 04ZHE01594] (F-21) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

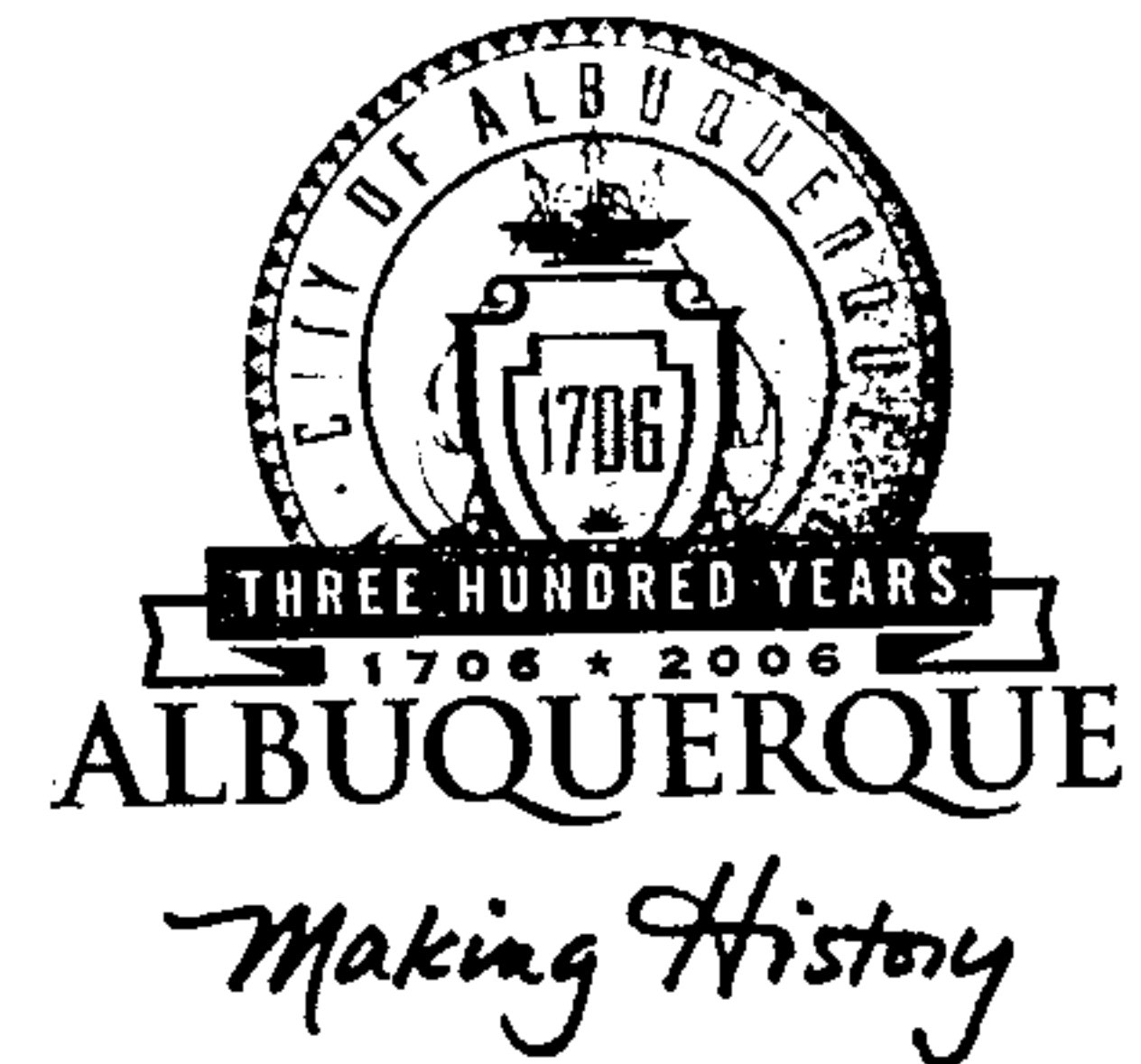
17. **Project # 1003886**
05DRB-00060 Minor-Sketch Plat or
Plan

MARK GOODWIN & ASSOCIATES PA agent(s) for EVERGREEN DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) C & 42, **MESA VILLAGE SUBDIVISION**, zoned R-3, located on LOMAS BLVD NE, between SELLARS DR NE and EASTERDAY DR NE containing approximately 5.2 acre(s). [REF: ZA-73-44, Z-77-53] (J-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. Approval of the Development Review Board Minutes for Month January 5, 2005. **THE DRB MINUTES FOR JANUARY 5, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:50 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003102

AGENDA ITEM NO: 11

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

No adverse comments.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: January 19, 2005

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action (**SKETCH PLAT**)
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: CHRISTOPHER CALOTT / INFIL SOLUTIONS PHONE: 401-7844
 ADDRESS: 723-B SILVER AVE, S.W. FAX: 242-1872
 CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL: CHRISCALOTT@AOL.COM
 Proprietary interest in site: OWNER/DEVELOPER List all owners: _____
 AGENT (if any): _____ PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST: RE-PLAT OF SINGLE 1.88 ACRE SITE TO INCLUDE 20 TOWNHOUSE RESIDENTIAL LOTS AND 1 COMMERCIAL LOT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No TBK TRAILHEAD COMMONS

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY

Lot or Tract No. LOT 12-A, LANDS OF FERRARI-ESQUIBEL - PALMER Block: _____ Unit: _____
 Subdiv. / Addr. SECTION 33, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
 Current Zoning: SU-1-PRD, C-1, 220/APE Proposed zoning: SAME
 Zone Atlas page(s): F-21-Z No. of existing lots: 1 No. of proposed lots: 21
 Total area of site (acres): 1.88 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: 20
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 102106151008940114 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: SW CORNER OF LAURIMA de ORO ROAD
 Between: _____ and AND JUAN TABO BOULEVARD, N.E.

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):
PROJECT NO: 1003102, APPLICATION NO: 04-00236

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE _____
 (Print) CHRISTOPHER CALOTT Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> INTERNAL ROUTING				
<input type="checkbox"/> All checklists are complete	<u>05DRB - 00911</u>	<u>SK</u>	<u>53</u>	<u>\$ 0</u>
<input type="checkbox"/> All fees have been collected				\$ _____
<input type="checkbox"/> All case #s are assigned				\$ _____
<input type="checkbox"/> AGIS copy has been sent				\$ _____
<input type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>06/08/05</u>			Total \$ <u>0</u>

Sandy Sandley 05/3/05
 Planner signature / date

Project # 1003102

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

CHRISTOPHER CALOTT
Applicant name (print)
[Signature]
Applicant signature / date
MAY 30, 2005



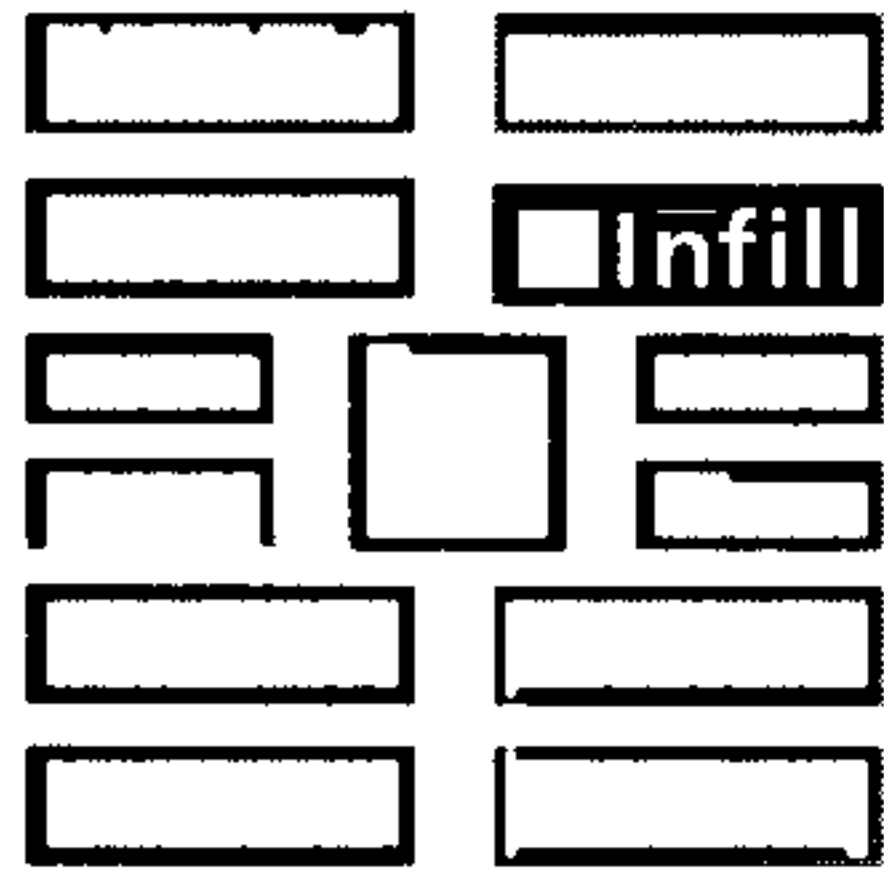
Form revised 8/04 & 1/05

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
05DRB-_____-00911

Sandy Hawley 05/31/05
Planner signature / date

Project # 1003102



Infill Solutions
Innovative Urban Design and Development

Chair
Design Review Board
City of Albuquerque
600 2nd Street, NW
Albuquerque, New Mexico
8 7 1 0 2

Dear Chair,

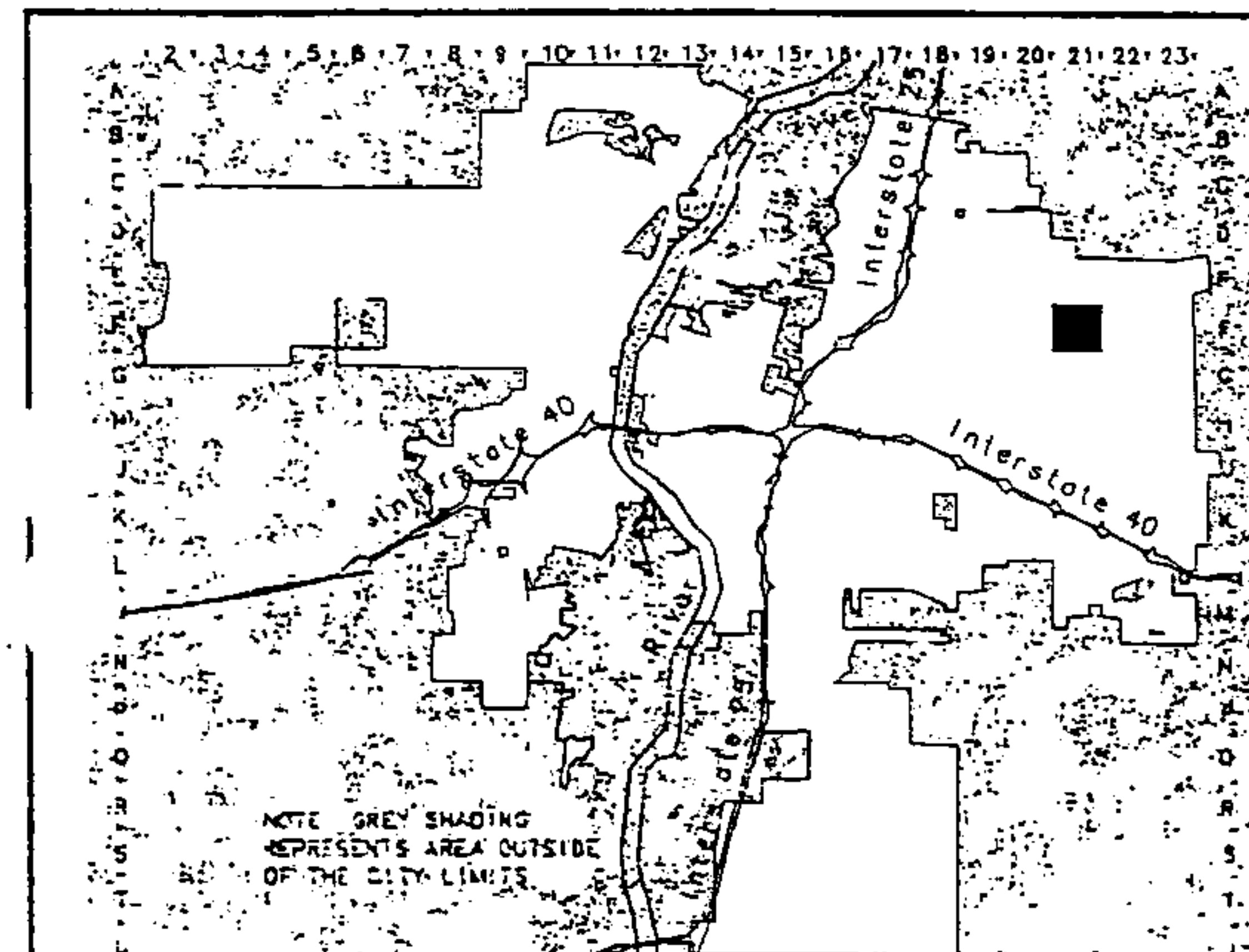
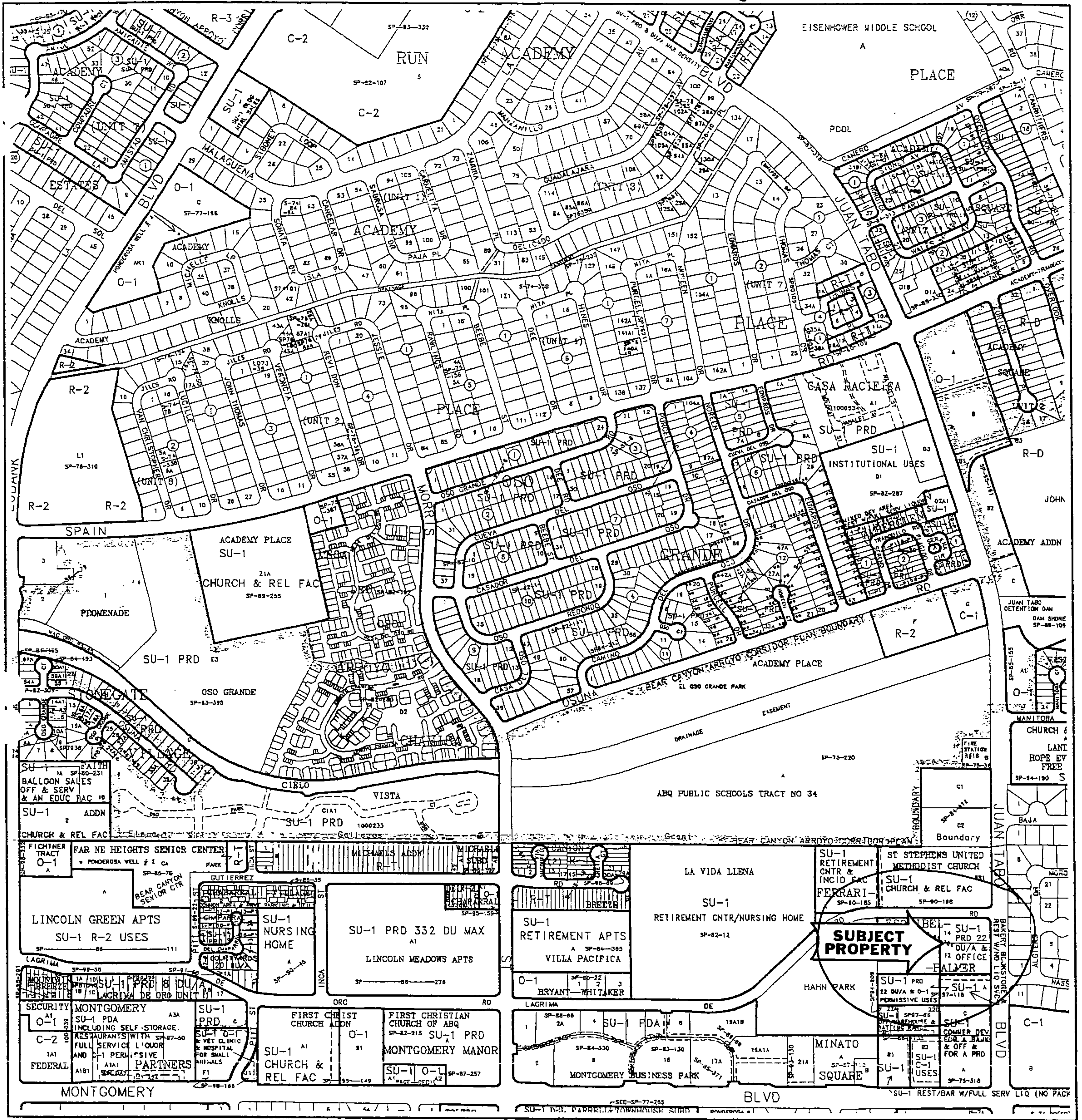
May 31, 2005

I am submitting this conceptual Sketch Plat plan for your review of "Trailhead Commons", a mixed-use residential/commercial retail development on a 1.88 acre site fronting Juan Tabo Boulevard, just north of Montgomery Boulevard, N.E. This site is zoned SU-1-PRD, 22 d.u./acre, C-1. The project proposes to locate a +/- 9,500 square foot retail/commercial center on an individually platted parcel with parking facing Juan Tabo Boulevard. Behind this retail/commercial center, 20 individually platted lots would accommodate 20 townhouse Lofts with two-car garages at roughly 2,200 square feet each. A 30-foot wide access, drainage and public utility easement would be created to service the 20 townhouse Lofts and a central landscape amenity would connect the housing with the commercial center.

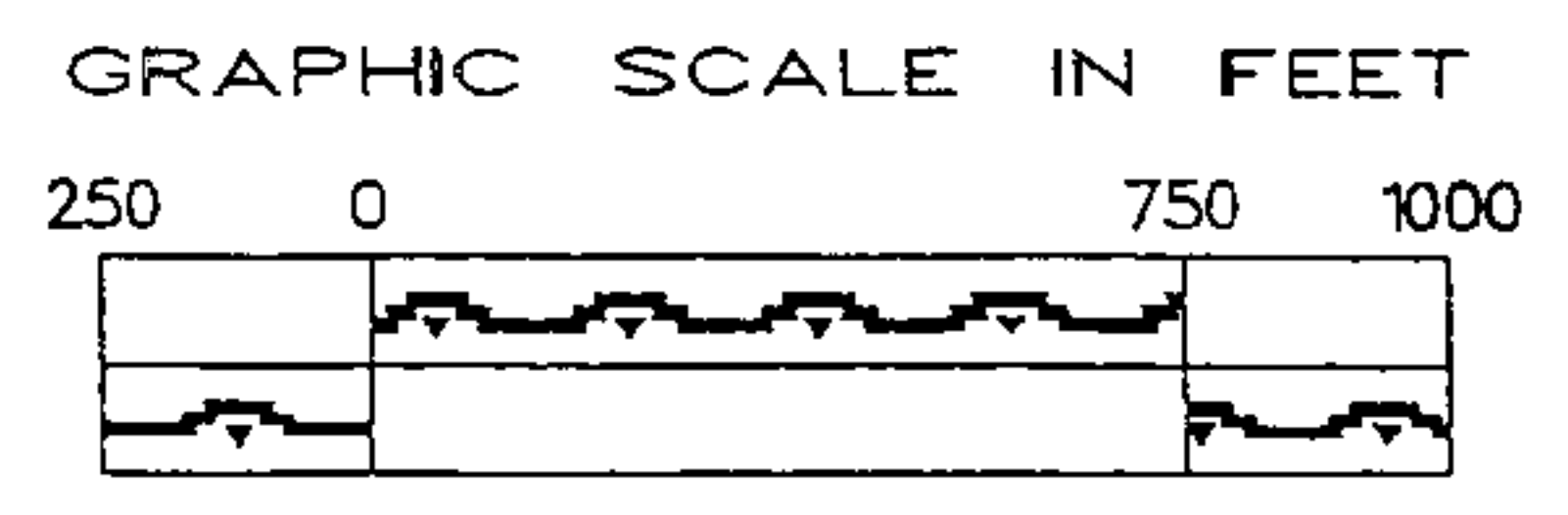
Thank you very much for your comments and review of our Sketch Plat.

Very Best,

Christopher Calott, AIA
Partner
Infill Solutions



CITY OF
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page

F-21-Z

Map Amended through January 21, 2003

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		
		APPEAL / PROTEST of...	A
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Classic Emporium I, LLC PHONE: 797-8710
 ADDRESS: 10013 San Bernadino Dr. NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87122 E-MAIL: _____
 Proprietary interest in site: Owner
 AGENT (if any): Wilks Co. PHONE: 888-3066
 ADDRESS: P.O. Box 10097 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87184 E-MAIL: _____
 DESCRIPTION OF REQUEST: Combine two lots into one lot. PRELIM SKETCH/FINAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 12 and 14 Block: _____ Unit: _____
 Subdiv. / Addn. Ferrari - Esquivel - Palmer
 Current Zoning: SU-1 PRD Proposed zoning: SU-1
 Zone Atlas page(s): F-21 No. of existing lots: 2 No. of proposed lots: 1
 Total area of site (acres): 1.9089 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 102106151007440112 / 102106151008940114 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 4551 Juan Tabo Blvd NE
 Between: Montgomery Blvd NE and Laguna P. Oro Rd NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 03EPC01925
03EPC01929, 04AA01762, 04DRB00236

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre application Review Team . Date of review: Jan 10, 05

SIGNATURE Jim Wilks DATE Jan 10, 05
 (Print) Jim Wilks (Wilks Co.) Applicant Agent

FOR OFFICIAL USE ONLY

<input type="checkbox"/> INTERNAL ROUTING <input checked="" type="checkbox"/> All checklists are complete <input checked="" type="checkbox"/> All fees have been collected <input checked="" type="checkbox"/> All case #s are assigned <input checked="" type="checkbox"/> AGIS copy has been sent <input checked="" type="checkbox"/> Case history #s are listed <input checked="" type="checkbox"/> Site is within 1000ft of a landfill <input checked="" type="checkbox"/> F.H.D.P. density bonus <input checked="" type="checkbox"/> F.H.D.P. fee rebate	Application case numbers	Action	S.F.	Fees
	<u>05DRB - 00039</u>	<u>PCF</u>	<u>53</u>	<u>\$ 215.00</u>
	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
	_____	_____	_____	<u>\$</u>
	_____	_____	_____	<u>\$</u>
	_____	_____	_____	<u>\$</u>
	_____	_____	_____	<u>\$</u>
Hearing date <u>1-19-05</u>	Total		<u>\$ 235.00</u>	
<u>1-10-05</u> Planner signature / date	Project # <u>1003102</u>			

Form revised 9/01, 3/03, 7/03

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
 Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED. Pending

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Wilks Co. Jim Wilks
 Applicant name (print)
Jim Wilks 1/10/05
 Applicant signature / date



Form revised 3/03, 8/03 and 11/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 05DRB - _____ - 00039
 _____ - _____ - _____
 _____ - _____ - _____

[Signature] 1-10-05
 Planner signature / date
Project # 1003102

WILKS COMPANY
P.O. BOX 10097
ALBUQUERQUE, NM 87184

Phone or FAX (505) 888 3066

January 10, 2005

TO: DEVELOPMENT REVIEW BOARD; CITY OF ALBUQUERQUE

REFERENCE: Plat of Lot 12-A, Lands of Ferrari-Esquibel-Palmer

SUBJECT: Letter of plat request description.

The purpose of this requested platting action is to combine Lots 12 and 14 into one lot and grant any easements as shown.

LETTER OF AUTHORIZATION

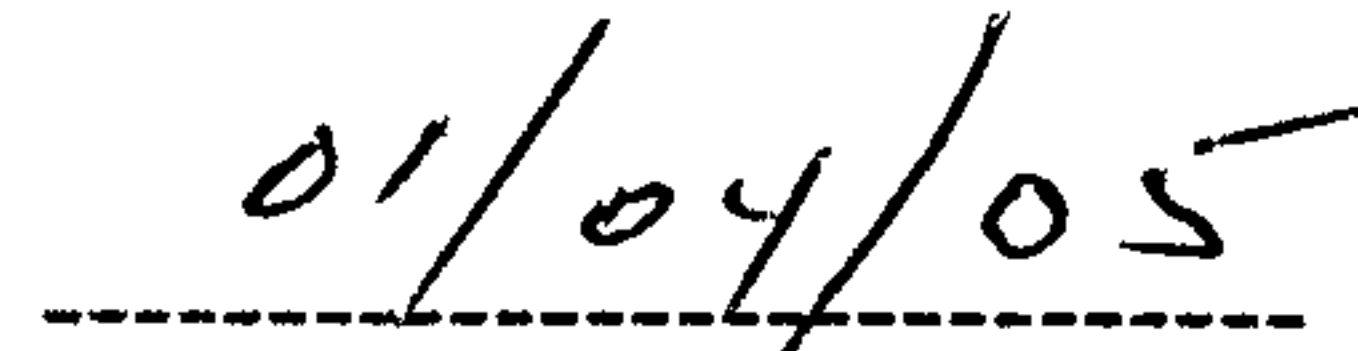
Subject Property: Lot 12-A Lands of Ferreri-Esguibel-Palmer

I, the, undersigned owner of subject property hereby designate **WILKS COMPANY** to be my authorized representative agent for the processing and recording of planning, zoning or appeals actions on this property.



Owner

A. A. Buckner | Managing Member
Classic Emporium I, LLC



Date

WARRANTY DEED

Ray O. Esquibel and Donna Rae Esquibel, his wife, Trustees under the Ray O. Esquibel and Donna Rae Esquibel Revocable Trust Agreement, as to an undivided 50% interest, and Alfred O. Lopez and Eppie E. Lopez, Co-Trustees of the Alfred L. Lopez and Eppie E. Lopez Revocable Trust, under agreement dated November 16, 1993, as amended and restated December 21, 1994, as to 48% of their 50% interest, and Alfred L. Lopez and Eppie E. Lopez Limited Partnership, a New Mexico Limited Partnership, as to 52% of their 50% interest (AS TO LOT 12)

AND

Ray O. Esquibel and Donna Rae Esquibel, his wife, Trustees under the Ray O. Esquibel and Donna Rae Esquibel Revocable Trust Agreement, as to an undivided 1/3 interest, and Alfred O. Lopez and Eppie E. Lopez, Co-Trustees of the Alfred L. Lopez and Eppie E. Lopez Revocable Trust, under agreement dated November 16, 1993, as amended and restated December 21, 1994, as to 48% of their 1/3 interest, and Alfred L. Lopez and Eppie E. Lopez Limited Partnership, a New Mexico Limited Partnership, as to 52% of their 1/3 interest, ~~add Alfred L. Lopez / M.I. / married to Eppie E. Lopez / 1/3 interest~~ ^{joined by Eppie E. Lopez} (AS TO LOT 14)

for consideration paid, grant to

Classic Emporium I, LLC, a New Mexico Limited Liability Company

whose address is 10013 San Bernadino Drive NE, Albuquerque, NM 87122 the following described real estate in Bernalillo County, New Mexico:

Lots numbered Twelve (12) and Fourteen (14) of the replat of Lands of Ferrari-Esquibel-Palmer, for Vacation Ordinance No. V-84-77 within Sec. 33 of the S.E. 1/4, T.11N., R.4E., N.M.P.M., Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 11, 1985, in Plat Book C26, page 192.

with warranty covenants.

SUBJECT TO Patent, reservations, restrictions, and easements of record and to taxes for the year 2004, and subsequent years.

Witness _____ hand _____ and seal _____ this 8th day of March, 2004

Ray O. Esquibel and Donna Rae Esquibel Revocable Trust
By: Ray O. Esquibel Ray O. Esquibel, Trustee
By: Donna Rae Esquibel Donna Rae Esquibel, Trustee

Alfred L. Lopez and Eppie E. Lopez Revocable Trust
By: Alfred L. Lopez Alfred L. Lopez, Trustee & Individually and as general partner
By: Eppie E. Lopez Eppie E. Lopez, Trustee & Individually and as general partner



ACKNOWLEDGEMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO

COUNTY OF Bernalillo

This instrument was acknowledged before me on March 8, 2004, by Ray O. Esquivel and Donna Rae Esquivel and Alfred L. Lopez and Eppie E. Lopez, as trustees and individually

(Name or Names of Person or Persons Acknowledging)

[Signature]
Notary Public

My commission expires: 7/12/06



ACKNOWLEDGEMENT FOR CORPORATION
STATE OF NEW MEXICO

COUNTY OF Bernalillo

FOR RECORDER'S USE ONLY

This instrument was acknowledged before me _____

by _____
(Name of Officer)

_____ of _____
(Title of Officer) (Name of Corporation Acknowledging)

a _____ corporation, on behalf of said corporation.
(State of Incorporation)

My commission expires:
(Seal)

Notary Public

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

This instrument was acknowledged before me on March 8, 2004, by Alfred L. Lopez and Eppie E. Lopez, as general partners of the Alfred L. Lopez and Eppie E. Lopez Limited Partnership, a New Mexico Limited Partnership

[Signature]
Notary Public
7/12/06

2804832233
8845719
Page: 2 of 2
03/11/2004 10:23A
Bk-R74 Pg-2147
R 11.00
Bern. Co. 10
Gary Herrera

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME Classic Emporium I, LLC
 AGENT Wilks Co
 ADDRESS PO Box 10097
 PROJECT & APP # 1003102/05DRB 00039
 PROJECT NAME Ferrari-Esquivel - Palmer

\$ 2000 441032/3424000 Conflict Management Fee

\$ 215.00 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study

\$ 235.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

City Of Albuquerque
Treasury Division

City Of Albuquerque
Treasury Division

1/10/2005 10:44AM LOC: ANN
 RECEIPT# 00033669 WSH 006 TRANS# 0022
 Account 441006 Fund 0110
 Activity 4983000 TRSEJA
 TRANS AMT \$235.00
 J24 Disc \$0.00
 CHANGE \$0.00
 Thank You

1/10/2005 10:44AM LOC: ANN
 RECEIPT# 00033668 WSH 006 TRANS# 0022
 Account 441032 Fund 0110
 Activity 3424000 TRSEJA
 TRANS AMT \$235.00
 J24 Disc \$20.00

Thank You



DRB CASE ACTION LOG

REVISED 2/5/04

*Completed
1/31/05
OS*

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **04DRB-00236 (SBP)**

Project # **1003102**

Project Name: **Esquibel-Palmer**

Agent: **SM & R Group**

Phone No.: **761-9700**

Your request for (SDP for SUB), (SDP for BP) (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 3.10.04 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____

- UTILITIES: _____
- _____
- _____
- _____

- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____

- PARKS / CIP: _____
- _____
- _____
- _____

- PLANNING (Last to sign): *✓* _____
- _____
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - Include 3 copies of the approved site plan ~~along with the originals.~~**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Project Number 1003102

**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 10, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:05 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000376**
04DRB-00206 Major-Two Year SIA

TIERRA WEST LLC agent(s) for BUILDERS INVESTMENT CO. OF NM request(s) the above action(s) for all or a portion of Lot(s) 1-117 and Lot(s) 1-35, Unit 2, **PARADISE SKIES, UNITS 1 & 2**, zoned R-T residential zone, located on BANDELIER DR NW, between MCMAHON BLVD NW and UNSER BLVD NW containing approximately 29 acre(s). [REF: DRB-94-107, 00DRB-00391, 00DRB-00908, 02DRB-00034, 03DRB-00113, 03DRB-00188] (A-11) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED. THIS WILL BE THE LAST EXTENSION. AGENT AGREED.**

2. **Project # 1000419**
04DRB-00207 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST NM 2000-02 NM, request(s) the above action(s) for all or a portion of Lot(s) 1B-1-A, 1B-1-B-1 and 1B-1-C-1, **RENAISSANCE CENTER**, zoned SU-1 FOR AUTO SALES & C-1 USE, located on RENAISSANCE BLVD NE, between MONTANO RD NE and UNION WAY RD NE containing approximately 3 acre(s). [REF: 02500-00165/00164, 02AA0-00814, 03DRB-00590] (F-16) **AN EXTENSION OF THE SIA WAS APPROVED TO JANUARY 8, 2005.**

3. **Project # 1000122**
04DRB-00174 Major-Vacation of Public Easements
04DRB-00173 Minor-Extension of Preliminary Plat
04DRB-00175 Minor-Vacation of Private Easements

KIM KEMPER, agent(s) for HIGH LONESOME RANCH request(s) the above action(s) for all or a portion of Tract(s) 1A AND 1C, EDEN LANDS (to be known as **HIGH LONESOME RANCH SUBDIVISION**, zoned RA-1 AND SU-1 for O-1 located on GABALDON RD NW, between MOUNTAIN RD NW and I-40 NW containing approximately 21 acre(s). [REF: DRB-98-146, Z-98-70, AX-98-8, 03DRB-00184, 00185 and 00186] [*Deferred from 3/3/04*] (H-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: M.R.G.C.D. SIGNATURE IS REQUIRED PRIOR TO CITY ENGINEER'S SIGN OFF. AN INFRASTRUCTURE LIST DATED 3/10/04 WAS APPROVED. VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1002711**
04DRB-00171 Major-Preliminary Plat
Approval
04DRB-00172 Minor-Temp Defer
SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for STV INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Lot(s) 7-12 AND 21-26, Block(s) 27, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT B, (to be known as **OAKLAND ESTATES**) zoned R-D residential and related uses zone, developing area, located on EAGLE ROCK AVE NE, between SAN PEDRO BLVD NE and LOUISIANA BLVD NE containing approximately 11 acre(s). [REF: 03EPC-00907 & 00908, 03EPC-00915, 04DRB-00067, 1003099] [*Deferred from 3/3/04*] (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/10/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/28/04 THE PRELIMINARY PLAT WAS APPROVED. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1000650**
04DRB-00277 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for WALMART STORES INC request(s) the above action(s) for all or a portion of Lot(s) 1-A, **LANDS OF LAMONICA & WENK**, zoned SU-1, C-1 PERMANENT USES, located on COORS BLVD SW, between RIO BRAVO BLVD SW and LAMONICA RD SW containing approximately 21 acre(s). [REF: AX-88-7, Z-99-78, 03EPC-00905, 00907, 03DRB-01906] [**Carmen Marrone, EPC Case Planner**] [*Deferred from 3/10/04*] (P-10) **DEFERRED AT THE AGENT'S REQUEST TO 3/24/04.**

6. **Project # 1001206**
04DRB-00273 Minor-SiteDev Plan
Subd/EPC
04DRB-00272 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART ARCHITECTS & ASSOCIATES, agent(s) for ENTERPRISE RENTAL CAR request(s) the above action(s) for all or a portion of Tract(s) 2-A-2B, **BLACK RANCH**, zoned SU-1 FOR C-1, located on COORS BLVD NW, between PASEO DEL NORTE NW and VALLEY VIEW PL NW containing approximately 1 acre(s). [REF: 03EPC-00697, 03EPC-00698] [Debbie Stover, EPC Case Planner] (C-13) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR EPC CASE PLANNER COMMENTS. SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT TO PROVIDE DOCUMENT NUMBER AND PAGE FOR 30-FOOT PRIVATE EASEMENT, TO PROVIDE DIMENSIONS FOR ADA PARKING AND SIDEWALK, TO PROVIDE WIDTH FOR ENTRANCE WIDTH DETAIL FOR 8-FOOT RAISED CROSSWALK AND INFRASTRUCTURE LIST SENTENCE ON SIGNATURE BLOCK.**

7. **Project # 1002796**
03DRB-02022 Minor-SiteDev Plan
BldPermit/EPC
03DRB-02024 Minor-SiteDev Plan
Subd/EPC

RMKM ARCHITECTURE agent(s) for ALBUQUERQUE FIRE DEPARTMENT, request(s) the above action(s) for all or a portion of Lot(s) 8-11, **KAY ADDITION** and Lots 8-10, Block(s) 4, **LOMA VERDE ADDITION**, zoned SU-1 & C-1, located on DALLAS NE, between CHARLESTON ST. NE and CHICO RD. NE containing approximately 1 acre(s). [REF:03EPC01099,01100,01101] [Debbie Stover, EPC Case Planner] [Deferred from 2/25/04 & 3/10/04] (K-19) **DEFERRED AT THE AGENT'S REQUEST TO 3/17/04.**

8. **Project # 1003102**
04DRB-00236 Minor-SiteDev Plan
BldPermit/EPC

SM & R GROUP request(s) the above action(s) for all or a portion of Lot(s) 12 & 14, **ESQUIBEL - PALMER**, zoned SU-1 PRD, located on LA GRIMA DE ORO RD NE, between JUAN TABO NE and MORRIS NE containing approximately 2 acre(s). [REF: V 84-77, Z-85-103, Z-85-102-1, 03EPC-01925, 03EPC-01929] **[Makita Hill, EPC Case Planner]** *[Deferred from 3/3/04]* (F-21) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

9. **Project # 1002333**
04DRB-00209 Minor-SiteDev Plan
BldPermit/EPC

DEKKER/PERICH/SABATINI agent(s) for THE BARRETT FOUNDATION request(s) the above action(s) for all or a portion of Block(s) 10A, Tract(s) C-1-A-2, **BELLAMAH'S PRINCESS JEANNE PARK ADDITION**, zoned C-1, located on CONSTITUTION AVE NE, between EUBANK NE and MARY ELLEN ST NE containing approximately 2 acre(s). [REF: 1002333, 02EPC-01691, 02EPC-01693, Z-870, DRB-94-619] **[Cynthia Borrego, EPC Case Planner]** *[Deferred from 2/25/04 & 3/3/04]* (J-21) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND DELEGATED TO PLANNING FOR CYNTHIA BORREGO'S INITIALS AND INFRASTRUCTURE LIST STATEMENT ON SIGNATURE BLOCK.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project # 1002885**
04DRB-00244 Minor-Final Plat Approval
- JEFF MORTENSEN & ASSOCIATES, INC., agent(s) for DESERT RIDGE DEVELOPMENT LLC AND JASON & CINDY LYNN DASKALOS, request(s) the above action(s) for all or a portion of Lot(s) 10-24 AND 7-16, Easterly remaining portion of Lot 16, Block(s) 18 & 20, Unit(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 1, TRACT 3, (to be known as **OCOTILLO SUBDIVISION**, zoned R-D residential and related uses zone, developing area, 4 DU/AC, located on HOLBROOK NE, CARMEL NE & HOLLY AVE NE, between ANAHEIM AVE NE and PASEO DEL NORTE containing approximately 24 acre(s). [REF: 03DRB-01354-01356, 02EPC-01353, 03DRB-01980, 01985] *[Deferred from 3/3/04]* (C-21) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
11. **Project # 1000570**
04DRB-00270 Minor-Sidewalk Waiver
- MARK GOODWIN & ASSOCIATES agent(s) for WESTLAND DEVELOPMENT CO. request(s) the above action(s) for all or a portion of Parcel A, **PARKWAY, UNIT 7** and Tract(s) A, **PAINTED SKY, UNIT 1**, Tract 95, Town of Atrisco Grant, Parkway, Unit 10, zoned R-D residential and related uses zone, developing area, located on W. OF UNSER BLVD NW, between GAVIN RD. NW and VINEMONT PL. NW [REF: DRB-95-94, S-98-5, S-98-62, Z-99-8, AX-99-2, 00410-00162, 00931 & 00933] (J-9) **A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

12. **Project # 1002633**
04DRB-00276 Minor-Prelim&Final Plat
Approval

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for JAYEFF CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 20-24 & 9-13, Block(s) 10, Tract(s) 3 (to be known as **VENTURA PLACE SUBDIVISION**) Lots 2-A & 3-A, NORTH ALBUQUERQUE ACRES, UNIT 3, zoned SU-1 special use zone, located on BARSTOW ST NE, between VENTURA ST NE and BARSTOW ST NE containing approximately 6 acre(s). [REF: 03EPC-00693, EPC-00694 , 03EPC-01323] (C-20) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

13. **Project # 1002792**
04DRB-00278 Minor-Vacation of Private
Easements

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Lot(s) 1-6, **COTTONWOOD CROSSING, PHASE 2**, zoned SU-1 FOR C-1 & REST. AND SU-1, O-1, located on COORS BLVD NW and SEVEN BAR LOOP NW containing approximately 10 acre(s). [REF: DRB-94-358, SRP5-98-37, DRB-90-361, DRB-98-61, 03EPC-01085, 01086, 03DRB-01780, 03DRB-2084, 04DRB-00184, 04AA-00222] (B-14) **VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

14. **Project # 1003273**
04DRB-00279 Minor-Vacation of Private
Easements

TIERRA WEST LLC agent(s) for ARC INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 5A-13A, **VISTA MOBILE HOME COMMUNITY**, zoned C-2 community commercial zone, located on CENTRAL AVE SW, between 94th STREET SW and 98th STREET SW containing approximately 2 acre(s). [REF:Z-85-93, V-85-44] (K-9) **WITHDRAWN AT AGENT'S REQUEST TO BE ADVERTISED.**

15. **Project # 1002934**
04DRB-00271 Minor-Prelim&Final Plat
Approval

DE LA TORRE ARCHITECTS agent(s) for FOURTH STREET & MENAUL INC request(s) the above action(s) for all or a portion of Tract(s) 1A, Block(s) O, **WALGREEN ADDITION**, zoned C-2 (SC), located on MENAUL BLVD NW, between 4th ST NW and 2nd ST NW containing approximately 11 acre(s). [REF: 03AA0413] (H-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO RELOCATE FIRE HYDRANT (2ND & PROSPECT), ADD VALVES AT MENAUL, CUT AND CAP WATER LINE AT 2ND STREET AND WEST END OF PROSPECT AND PROPERTY MANAGEMENT'S SIGNATURE.**

- 04DRB-00274 Minor-Prelim&Final Plat
Approval

R. JOHN MARNEY request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 46, **FRANCISCAN ADDITION**, zoned M-1 light manufacturing zone, located on 2nd ST NW and PROSPECT NW, between I-40 and MENAUL NW containing approximately 1 acre(s). (H-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO RELOCATE FIRE HYDRANTS, ADD VALVES AT MENAUL, CUT AND CAP WATER LINE AT 2ND STREET AND ON WEST END OF PROSPECT.**

16. **Project # 1003258**
04DRB-00205 Minor-Prelim&Final Plat
Approval

PHILIP W. TURNER agent(s) for SALVADOR PEREZ request(s) the above action(s) for all or a portion of Lot(s) 280 B, **TOWN OF ATRISCO GRANT, UNIT 8**, zoned R-T residential zone, located on 55TH ST NW, between BICE RD NW and JUNIPER RD NW containing approximately 1 acre(s). [REF: DRB-97-205] [*Deferred from 2/25/04 & 3/10/04*] (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 3/24/04.**

17. **Project # 1002992**
03DRB-02138 Minor- Final Plat Approval

WAYJOHN SURVEYING INC. agent(s) for WEST EIGHT LTD. request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 5, **ORIGINAL TOWNSITE OF WESTLAND**, zoned C-2 community commercial zone, located on 86th ST SW, between BRIDGE BLVD SW and CENTRAL AVE SW containing approximately 2 acre(s). [REF: 03DRB-01623] *[Final Plat was indefinitely deferred]* (K-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

18. **Project # 1001347**
04DRB-00245 Minor-Final Plat Approval

ISAACSON & ARFMAN agent(s) for CURB, INC. request(s) the above action(s) for all or a portion of Tract(s) D1B, ALBUQUERQUE SOUTH (to be known as **EL RANCHO GRANDE, UNIT 8B**) zoned R-LT residential zone, located on CARTAGENA / DE ANZA DR SW, between VALLEY VIEW DR SW and SNOW VISTA BLVD SW containing approximately 10 acre(s). [REF: 03DRB-1133 & 01134, 04DRB-00057, 04DRB-00115] *[Deferred from 3/3/04]* (M-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

19. **Project # 1002864**
04DRB-00242 Minor-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) B, LANDS OF MASSACHUSETTS GENERAL HOSPITAL, **CANTA CIELO SUBDIVISION**, zoned R-LT residential zone, located on IRVING BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 20 acre(s). [REF: 03DRB-01302, 03DRB-01487, 01488, 01490, 01491] *[Deferred from 3/3/04]* (A-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK

20. Approval of the Development Review Board Minutes for February 18, 2004. **DRB MINUTES FOR FEBRUARY 18, 2004 WERE APPROVED.**

ADJOURNED: 11:05 A.M.



DRB CASE ACTION LOG

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **04DRB-00236 (SBP)**

Project # **1003102**

Project Name: **Esquibel-Palmer**

Agent: **SM & R Group**

Phone No: **761-9700**

Your request for (SDP for SUB), **(SDP for BP)** (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on **3.10.04** by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): _____
- _____
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - Include 3 copies of the approved site plan along with the originals.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Project Number

1003102



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003102

AGENDA ITEM NO: 8

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

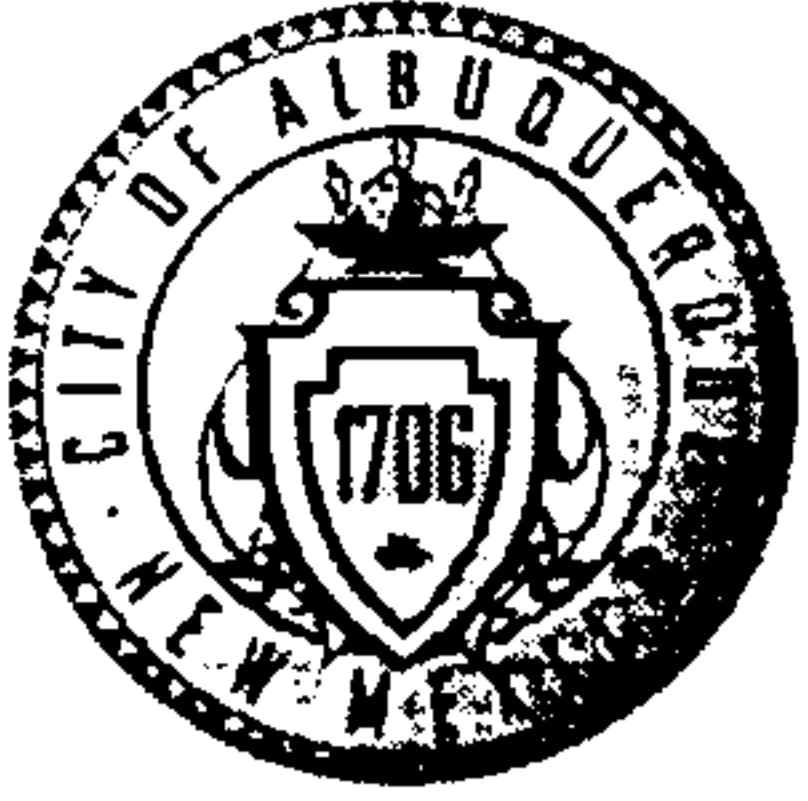
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: March 10, 2004



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 3, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:40 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000122**
04DRB-00174 Major-Vacation of Public Easements
04DRB-00173 Minor-Extension of Preliminary Plat
04DRB-00175 Minor-Vacation of Private Easements

KIM KEMPER, agent(s) for HIGH LONESOME RANCH request(s) the above action(s) for all or a portion of Tract(s) 1A AND 1C, EDEN LANDS (to be known as **HIGH LONESOME RANCH SUBDIVISION**, zoned RA-1 AND SU-1 for O-1 located on GABALDON RD NW, between MOUNTAIN RD NW and I-40 NW containing approximately 21 acre(s). [REF: DRB-98-146, Z-98-70, AX-98-8, 03DRB-00184, 00185 and 00186] [Deferred from 3/3/04] (H-12) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

2. **Project # 1003112**
04DRB-00167 Major-Bulk Land Variance
04DRB-00168-Major-Vacation of Public
Easements
04DRB-00166 Minor-Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORP agent(s) for COLLATZ INC./CLIFFORD CAPITAL FUND INC request(s) the above action(s) for: A TRACT OF LAND SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTIONS 34 AND 35, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING ALL OF: TRACT D OF LAVA TRAILS SUBDIVISION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 5/16/2002, IN BOOK 2002C, PAGE 172; THE REMAINING "LANDS OF SLOAN" AS THE SAME IS SHOWN AND DESIGNATED ON THE SPECIAL WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 7/27/1945, IN BOOK 220, PAGE 289; THE LANDS OF BOB CARRICO AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 5/15/1972, IN BOOK D918, PAGE 551; THE LANDS OF JOE SAAVEDRA AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 5/10/1964, AS DOC #98133; THE LANDS OF ALBERT GURULE AND THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 2/17/1997, IN BOOK 97-4, PAGE 9000; PAQUIN TRAIL GRANT OF EASEMENT AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 01/14/1955, IN BOOK D302, PAGE 303; THE LANDS OF DUNCAN KIRK/DEBORAH TARPLEY AS THE SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON 02/01/2002, IN BOOK A31, PAGE 4192 BUT LESS AND EXCEPTING THEREFROM THOSE LANDS GRANTED TO THE CITY OF ALBUQUERQUE IN THAT WARRANTY DEED RECORDED ON JUNE 12, 1992 IN BK. 92-13, PGS. 9944-9948; ALL BEING DESCRIBED MORE FULLY AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT D, LAVA TRAILS SUBDIVISION, A POINT LOCATED ON THE NORTHERLY RIGHT OF WAY LINE OF WESTERN TRAIL N.W. AND RUNNING THENCE N11°45'21"W, 338.72 FEET; THENCE S77°36'56"W, 127.43 FEET; THENCE N35°50'27"W, 123.47 FEET; THENCE N35°50'27"W, 66.00 FEET TO A POINT LOCATED ON THE EASTERLY RIGHT OF WAY LINE OF UNSER BLVD N.W.; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE 652.67 FEET ALONG AN 1178.00 FOOT RADIUS CURVE TO THE LEFT (CENTRAL ANGLE = 31°44'40"; CHORD BEARS N44°22'41" E, 644.35 FEET); THENCE LEAVING SAID EASTERLY RIGHT OF WAY LINE S89°34'22"E, 144.15 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF ATRISCO DRIVE N.W.; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE S11°45'40"E 793.97 FEET TO A NON-TANGENT POINT OF CURVATURE; THENCE 29.21 FEET ALONG A 50.00 FOOT RADIUS CURVE TO THE RIGHT (CENTRAL ANGLE = 33°28'34"; CHORD BEARS S05°07'51"W, 28.80 FEET); THENCE CONTINUING ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES: N56°53'08"W, 11.55 FEET; S33°06'52"W, 21.60 FEET; S56°53'08"E, 11.09 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF WESTERN TRAIL ROAD NW; THENCE CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY LINE 30.39 FEET ALONG A 50.00 FOOT RADIUS CURVE TO THE RIGHT (CENTRAL ANGLE = 34°49'19"; CHORD BEARS S64°14'04"W, 29.92 FEET TO A POINT OF REVERSE CURVATURE; THENCE CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY LINE 188.62 FEET ALONG A 2683.31 FOOT RADIUS CURVE TO THE LEFT (CENTRAL ANGLE = 04°01'39"; CHORD BEARS S79°37'54"W 188.58 FEET A POINT OF TANGENCY; THENCE S77°37'04"W, 228.57 FEET TO THE POINT OF BEGINNING, AND CONTAINING 9.0545 ACRES, MORE OR LESS, (to be known as **RINCONADA TRAILS SUBDIVISION** (formerly Western Trails Estates), zoned R-D, located on UNSER BLVD NW, between WESTERN TRAILS NW and LEGENDS AVE NW containing approximately 10 acre(s). [REF:SD-80-5, 03DRB-01994](F-10 & F-11) **BULK LAND VARIANCE WAS APPROVED. VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE 15-DAY APPEAL PERIOD.**

3. **Project # 1002711**
04DRB-00171 Major-Preliminary Plat
Approval
04DRB-00172 Minor-Temp Defer
SDWK

MARK GOODWIN & ASSOCIATES; PA agent(s) for STV INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Lot(s) 7-12 AND 21-26, Block(s) 27, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT B, (to be known as **OAKLAND ESTATES**) zoned R-D residential and related uses zone, developing area, located on EAGLE ROCK AVE NE, between SAN PEDRO BLVD NE and LOUISIANA BLVD NE containing approximately 11 acre(s). [REF: 03EPC-00907 & 00908, 03EPC-00915, 04DRB-00067, 1003099] [*Deferred from 3/3/04*] (C-18) **DEFERRED AT AGENT'S REQUEST TO 3/10/04.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

4. **Project # 1000651**
04DRB-00246 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for TIJERAS PLACE LLC SERIES B request(s) the above action(s) for all or a portion of Tract(s) A29A1, **TOWN OF ATRISCO GRANT NORTHEAST, UNIT 1**, zoned SU-1 FOR PLANNED DEVELOPMENT AREA C-1 USES, located on REDLANDS RD NW, between COORS BLVD NW and CORONA DR NW containing approximately 2 acre(s). [REF: 02EPC-01672,01673, 02DRB-01946,01947, 03DRB-00190, 03DRB-00285, 03EPC-01927] [**Makita Hill, EPC Case Planner**] [*Deferred from 3/3/04*] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 3/17/04.**

5. **Project # 1002624**
04DRB-00239 Minor-SiteDev Plan
Subd/EPC
04DRB-00240 Minor-SiteDev Plan
BldPermit/EPC

DEKKER/PERICH/SABATINI , agent(s) for NEW DAY YOUTH & FAMILY SERVICES request(s) the above action(s) for all or an Unplatted portion of Section 36, T10N, R3E, **UNPLATTED LAND, NEW DAY SHELTER**, zoned SU-1 special use zone for Short Term Shelter, located on RIDGECREST DR SE, between LOUISIANA BLVD SE and DAKOTA ST SE containing approximately 1 acre(s). [REF: 03AA-00669, 03EPC-00935, 03DRB-01223, 03EPC-02050] **[Juanita Vigil, EPC Case Planner] (M-18) THE SITE PLAN FOR SUBDIVISION AND SITE PLAN FOR BUILDING PERMIT WERE APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND TRANSPORTATION DEVELOPMENT FOR ADA STALLS AND PLACEMENT OF SIDEWALKS ON SITE PLANS.**

04DRB-00243 Minor-Prelim&Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES, INC. agent(s) for NEW DAY YOUTH & FAMILY SERVICES request(s) the above action(s) for all or an Unplatted portion of Section 36, T10N, R3E, **UNPLATTED LAND, NEW DAY SHELTER**, zoned SU-1 special use zone for Short Term Shelter, located on RIDGECREST DR SE, between LOUISIANA BLVD SE and DAKOTA ST SE containing approximately 1 acre(s). [REF: 03AA-00669, 03EPC-00935, 03DRB-01223, 03EPC-02050] (M-18) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

6. **Project # 1003054**
04DRB-00226 Minor-SiteDev Plan
BldPermit
04DRB-00227 Minor-Prelim&Final Plat
Approval

MECHENBIER CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 36 & 37, **RICHFIELD PARK**, zoned IP, located on WASHINGTON NE, between BALLOON MUSEUM DR NE and JEFFERSON ST NE containing approximately 2 acre(s). [REF: Z-85-70-1, Z-82-86, DRB-94-339, 03DRB-01804] [*Listed under Project #1003086 in error*] (C-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ADA STALL DIMENSIONS, PARKING BUMPERS AND ADA RAMP CONFIGURATIONS AND PLANNING FOR MISCELLANEOUS COMMENTS AND INFRASTRUCTURE LIST SENTENCE AND AEHD AND SWMD SIGNATURES. PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

7. **Project # 1003100**
04DRB-00247 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for SKYE INC request(s) the above action(s) for all or a portion of Tract(s) B-1 & C-1, **ADOBE WELLS SUBDIVISION**, zoned SU-1, IP, C-2, R-2 USES, located on EAGLE RANCH RD NW, between WESTSIDE DR NW and IRVING BLVD NW containing approximately 6 acre(s). [REF: 03EPC-01921] [**Debbie Stover, EPC Case Planner**] (B-13) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FIRE MARSHAL'S APPROVAL AND PLANNING FOR LANDSCAPE PLAN MODIFICATIONS PER D. STOVER'S COMMENTS.**

8. **Project # 1003102**
04DRB-00236 Minor-SiteDev Plan
BldPermit/EPC

SM & R GROUP request(s) the above action(s) for all or a portion of Lot(s) 12 & 14, **ESQUIBEL - PALMER**, zoned SU-1 PRD, located on LA GRIMA DE ORO RD NE, between JUAN TABO NE and MORRIS NE containing approximately 2 acre(s). [REF: V 84-77, Z-85-103, Z-85-102-1, 03EPC-01925, 03EPC-01929] **[Makita Hill, EPC Case Planner]** *[Deferred from 3/3/04]* (F-21) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

9. **Project # 1003262**
04DRB-00216 Minor-SiteDev Plan Subd
04DRB-00215 Minor-Prelim&Final Plat
Approval

TIMOTHY OTT request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Block(s) 11, **NORTH ALBUQUERQUE ACRES**, zoned SU-1 for M-1, located on OAKLAND NW, between SAN MATEO NW and I-25 containing approximately 2 acre(s). [REF: 04DRB-00215] *[Deferred from 2/25/04]* (C-18) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO ADDRESS PREVIOUS SITE PLAN COMMENTS. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/3/04 THE PRELIMINARY PLAT WAS APPROVED FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

10. **Project # 1002333**
04DRB-00209 Minor-SiteDev Plan
BldPermit/EPC

DEKKER/PERICH/SABATINI agent(s) for THE BARRETT FOUNDATION request(s) the above action(s) for all or a portion of Block(s) 10A, Tract(s) C-1-A-2, **BELLAMAH'S PRINCESS JEANNE PARK ADDITION**, zoned C-1, located on CONSTITUTION AVE NE, between EUBANK NE and MARY ELLEN ST NE containing approximately 2 acre(s). [REF: 1002333, 02EPC-01691, 02EPC-01693, Z-870, DRB-94-619] **[Cynthia Borrego, EPC Case Planner]** *[Deferred from 2/25/04 & 3/3/04]* (J-21) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1001347**
04DRB-00245 Minor-Final Plat
Approval
- ISAACSON & ARFMAN agent(s) for CURB, INC. request(s) the above action(s) for all or a portion of Tract(s) D1B, ALBUQUERQUE SOUTH (to be known as **EL RANCHO GRANDE, UNIT 8B**) zoned R-LT residential zone, located on CARTAGENA / DE ANZADR DR SW, between VALLEY VIEW DR SW and SNOW VISTA BLVD SW containing approximately 10 acre(s). [REF: 03DRB-1133 & 01134, 04DRB-00057, 04DRB-00115] *[Deferred from 3/3/04]* (M-9) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**
12. **Project # 1002864**
04DRB-00242 Minor-Final Plat
Approval
- BOHANNAN HUSTON, INC. agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) B, LANDS OF MASSACHUSETTS GENERAL HOSPITAL, **CANTA CIELO SUBDIVISION**, zoned R-LT residential zone, located on IRVING BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 20 acre(s). [REF: 03DRB-01302, 03DRB-01487, 01488, 01490, 01491] *[Deferred from 3/3/04]* (A-9) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

13. **Project # 1002885**
04DRB-00244 Minor-Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES, INC., agent(s) for DESERT RIDGE DEVELOPMENT LLC AND JASON & CINDY LYNN DASKALOS, request(s) the above action(s) for all or a portion of Lot(s) 10-24 AND 7-16, Easterly remaining portion of Lot 16, Block(s) 18 & 20, Unit(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 1, TRACT 3, (to be known as **OCOTILLO SUBDIVISION**, zoned R-D residential and related uses zone, developing area, 4 DU/AC, located on HOLBROOK NE, CARMEL NE & HOLLY AVE NE, between ANAHEIM AVE NE and PASEO DEL NORTE containing approximately 24 acre(s). [REF: 03DRB-01354-01356, 02EPC-01353, 03DRB-01980, 01985] [*Deferred from 3/3/04*] (C-21) **DEFERRED AT THE AGENT'S REQUEST TO 3/10/04.**

14. **Project # 1003264**
04DRB-00224 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for BILL WADE MOUNTAIN WEST DEV., LLC request(s) the above action(s) for all or a portion of Lot(s) 68, 69 & 72, **BREEZE AT MOUNTAIN GATE**, zoned SU-1 PRD, located on KAYLYN DR SE, between KEESHA JO AVE SE and SHAFFER CT SE containing approximately 1 acre(s). [REF: DRB 98-45, Z-70-60-1, 1000849] (L-23) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO FIELD LOCATE WATER METER BOXES THAT SERVE AFFECTED LOTS.**

15. **Project # 1002636**
03DRB-01959 Minor-Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for ROBERT SIEGLITZ request(s) the above action(s) for all or a portion of Lot(s) 24, **RICE'S DURANES ADDITION NO. 1**, zoned R-2 residential zone, located on RICE AVE NW, between RIO GRANDE BLVD NW and DURANES NW containing approximately 1 acre(s). [REF: 03DRB-01084, 03DRB-00708] [*Deferred from 11/26/03, Final plat was indefinitely deferred 12/03/03*] (H-13) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1003265**
04DRB-00237 Minor-Sketch Plat or Plan

WILKS CO. agent(s) for RENE LOYA DURAN request(s) the above action(s) for all or a portion of Lot(s) 2-4, Block(s) 3, **SANTA FE ADDITION**, zoned R-1 residential zone, located on BARELAS ST SW, between PACIFIC AVE SW and CROMWELL AVE SW containing approximately 1 acre(s). (K-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1001899**
04DRB-00248 Minor-Sketch Plat or Plan

BRASHER & LORENZ INC agent(s) for GARY TIPTON request(s) the above action(s) for all or a portion of Tract(s) 7, **LA VILLITA SUBDIVISION**, zoned SU-1, PRD, located EAST OF LA VILLITA NE, SOUTH OF CANDELARIA NE and EAST OF TRAMWAY NE containing approximately 2 acre(s). [*Listed under Project #1003268 in error*] (H-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. ADJOURNED: 12:40 P.M.



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003102

AGENDA ITEM NO: 8

SUBJECT:

- | | | |
|-------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

3/10/04

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: March 3, 2004

MEMORANDUM

To: Development Review Board
From: Makita Hill, Planner, Advance Planning Division MH
Date: Tuesday, March 2, 2004
Re: Comments on Project 1003102 04DRB-00236

Project 1003102, a request for a zone map amendment and a site development plan for building permit, was reviewed by the Environmental Planning Commission at a public hearing on January 15, 2004. The EPC voted to approve this request with conditions as noted in the Official Notification of Decision. I have reviewed the revised site development plan for building permit as submitted to the DRB, and the letter from agent Darren Sowell dated February 16, 2004 designed to address the EPC's conditions of approval.

All EPC conditions have been addressed in the submitted site development plan for building permit.

Should you have any questions on these or related matters, please let me know.

XC: Darren Sowell, agent

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form S

SUBDIVISION

___ Major Subdivision action

___ Minor Subdivision action

___ Vacation **V**

___ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

___ ...for Subdivision Purposes

...for Building Permit

___ IP Master Development Plan

___ Cert. of Appropriateness (LUCC) **L**

Supplemental form Z

ZONING & PLANNING

___ Annexation

___ County Submittal

___ EPC Submittal

___ Zone Map Amendment (Establish or Change Zoning)

___ Sector Plan (Phase I, II, III)

___ Amendment to Sector, Area, Facility or Comprehensive Plan

___ Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... **A**

___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

AGENT NAME: DARREN SOWELL (for SMTR group.) PHONE: 761-9700

ADDRESS: 6801 Jefferson Suite 100 FAX: 761-4722

CITY: ALBUQ STATE NM ZIP 87109 E-MAIL: darsows@dpsabq.com

Proprietary interest in site: agent for owner

AGENT (if any): SMTR GROUP PHONE: 792-1222

ADDRESS: 10013 SAN BERNARDINO DR. NE. FAX: _____

CITY: ALBUQ. STATE NM ZIP 87122 E-MAIL: _____

DESCRIPTION OF REQUEST: Final DRB sign off for EAC APPROVED SDP For Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 12+14 Replat Esquivel Palmer Block: _____ Unit: _____

Subdiv. / Addn. _____

Current Zoning: SU-1 Prd 22 dvlac + office Proposed zoning: AE

Zone Atlas page(s): F-21 No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 1.98 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No

UPC No. 102106151008940114 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: Laguna de Oro Rd - NE

Between: Juan Tabo NE and Morris NE

CASE HISTORY: Marta Hill, EPC Case Planner

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 1003102

V 84-77 Z 85-103 Z 85-102-1 03EPC-01925 03EPC-01929

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 2/17/04

(Print) DARREN SOWELL Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>DRB - 00236</u>	<u>SBP</u>	<u>R(3)</u>	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		\$ <u>20</u>
<input type="checkbox"/> All case #s are assigned				\$ _____
<input type="checkbox"/> AGIS copy has been sent				\$ _____
<input type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>3/3/04</u>			Total <u>\$20</u>

[Signature] 2/17/04
Planner signature / date

Project # 1003102

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DARREN SOWELL
Applicant name (print)
Darren Sowell 2-17-04
Applicant signature / date

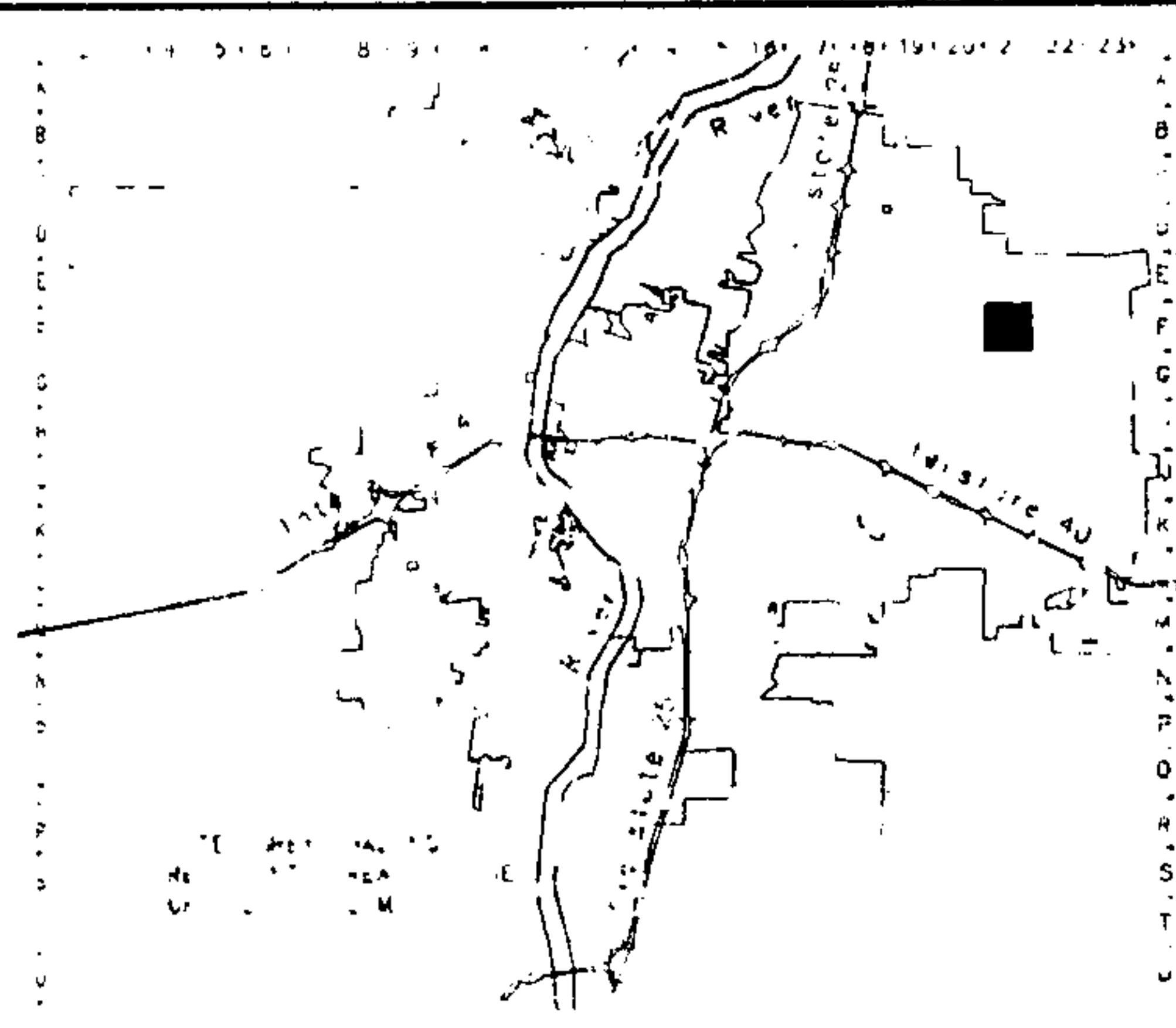
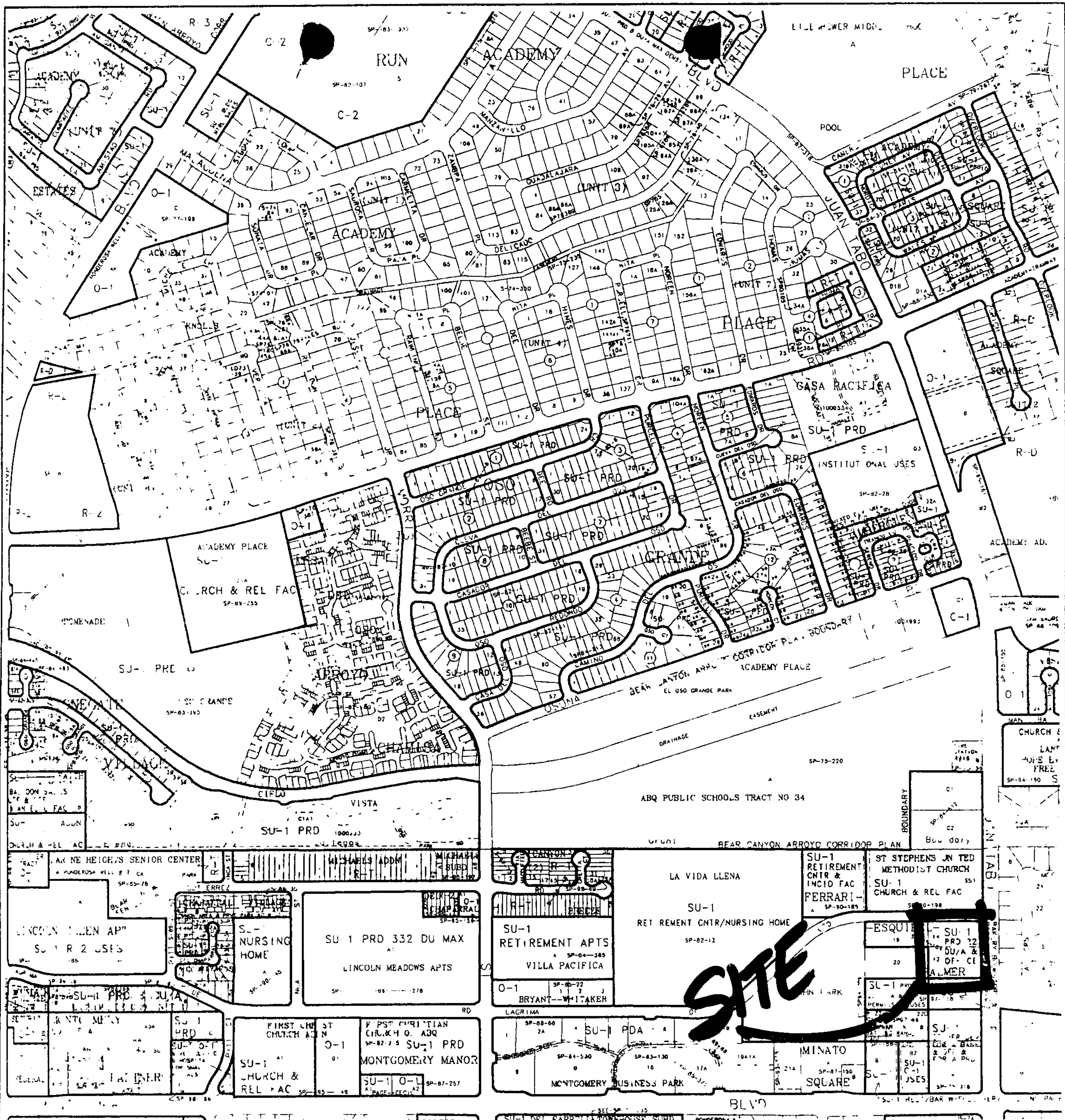


Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04DRB- - 00236
_____-_____-_____
_____-_____-_____

[Signature] 2/17/04
Planner signature / date
Project # 1003102



CITY OF
Albuquerque
Geographic Information System
PLANNING DEPARTMENT

© Copyright 2003



Zone Atlas Page

F-21-Z

Map Amended through July 10, 2003

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME SM & R Group
AGENT Darren Sowell
ADDRESS 6801 Jefferson Ste 100
PROJECT & APP # 1003802 04DRB-00236
PROJECT NAME Replot Esquivel - Palmer

\$ 20- 469099/4916000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 20- TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

02/20/2004 2:32PM LOC: ANNX
RECEIPT# 00019959 WSH 008 TRANSH 0024
Account 469099 Fund 0000
Activity 4916000 TRSTAM
Trans Amt \$20.00
J24 Misc \$20.00
CX \$20.00
CHANCE \$0.00

RECEIVED

JAN 22 2004

Dekker/Perich/Sabatini



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: January 16, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003102**
03EPC-01925 Zone Map Amendment
03EPC-01929 EPC Site Development Plan-Building
Permit

SM&R Group
10013 San Bernardino Dr. NE
Albuq. NM 87122

LEGAL DESCRIPTION: for all or a portion of Lots 12, 14, **Replat of Ferrari Esquibel-Palmer Sec 23**, a zone map amendment from SU-1 PRD 22 DU/ac & Office to SU-1 for PRD 22 du/ac, office, C-1 Retail (excluding auto parts and supply sales, drive-up restaurants, liquor sales, gasoline sales, hardware and building material sales), car wash, and restaurant, located on JUAN TABO NE, between MONTGOMERY BLVD. NE & LAGRIMA DE ORO NE, containing approx. 2 acres. (F-21) Makita Hill, Staff Planner **(DEFERRED FROM DECEMBER 18, 2003)**

On January 15, 2004 the Environmental Planning Commission voted to approve Project 1003102/03EPC 01925, a request for a zone map amendment from SU-1 PRD 22 du/ac and Office to SU-1 for PRD 22 du/ac, Office, C-1 Retail (excluding auto parts and supply sales, drive-up restaurant, liquor sales, gasoline sales, hardware and building material sales), Car Wash, and Restaurant for Lots 12 and 14, Replat of Ferrari-Esquibel Palmer Section 33, located at the northwest corner of Juan Tabo Boulevard and Lagrima de Oro, north of Montgomery Boulevard, based on the following Findings:

FINDINGS:

1. This is a request for a zone map amendment from SU-1 PRD 22 du/ac and Office to SU-1 for PRD 22 du/ac, Office, C-1 Retail (excluding auto parts and supply sales, drive-up restaurant, liquor sales, gasoline sales, hardware and building material sales), Car Wash, and Restaurant for Lots 12 and 14, Replat of Ferrari-Esquibel Palmer Section 33, located at the northwest corner of Juan Tabo Boulevard and Lagrima de Oro, north of Montgomery Boulevard. The site contains approximately 1.88 acres and is currently vacant.

OFFICIAL NOTICE DECISION
JANUARY 15, 2004
PROJECT #1003102
PAGE 2 OF 5

2. This case was deferred from the December 18, 2003 EPC public hearing for 30 days. The applicant made a last minute request that the proposed zone map amendment for the subject site include the site's current SU-1 PRD 22 du/ac and office zoning. The deferral allowed for the new request to be advertised for the January 15, 2004 EPC public hearing.
3. The request is a limited commercial application intended to facilitate development of the subject site for specific commercial uses and a car wash as reflected in the submitted site development plan for building permit.
4. The City has consistently limited commercial uses along the west side of the Juan Tabo corridor north of Montgomery while supporting higher-density residential and office development.
5. The request is consistent with Established Urban policies of the Comprehensive Plan in that the proposed SU-1 for PRD 22 du/ac, Office, C-1 Retail (excluding auto parts and supply sales, drive-up restaurant, liquor sales, gasoline sales, hardware and building material sales), Car Wash, and Restaurant zoning will facilitate new development that will have a minimal impact on the adjacent residential neighborhood (Policy d), will utilize vacant land (Policy e), will be of minimal traffic impact to the neighborhood (Policy k), and will promote quality design that enhances the urban environment and contributes to the preservation of scenic views in the area (Policies l and m).
6. The request is generally consistent with development policies for Enhanced Transit Corridors as established in the Centers and Corridors component of the Comprehensive Plan (Policy A, Corridor Policies).
7. The consistency of the request with adopted elements of the Comprehensive Plan is consistent with Section 1C of R-270-1980. The request for SU-1 for PRD 22 du/ac, Office, C-1 Retail (excluding auto parts and supply sales, drive-up restaurant, liquor sales, gasoline sales, hardware and building material sales), Car Wash, and Restaurant zoning, thus, is more advantageous to the community as expressed in the Comprehensive Plan and is consistent with Section 1(D)(3) of R-270-1980. Staff is in agreement with the applicant's arguments regarding this request.
8. There is no known opposition to this request.

On January 15, 2004 the Environmental Planning Commission voted to approve Project 1003102/03EPC 01929, a request for approval of a site development plan for Lots 12 and 14, Replat of Ferrari-Esquibel Palmer Section 33, located at the northwest corner of Juan Tabo Boulevard and Lagrima de Oro, north of Montgomery Boulevard, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site development plan for building permit, for Lots 12 and 14, Replat of Ferrari-Esquibel Palmer Section 33, located at the northwest corner of Juan Tabo Boulevard and Lagrima de Oro, north of Montgomery Boulevard. The site contains approximately 1.88 acres and is currently vacant.
2. This request accompanies a request for a zone map amendment from SU-1 PRD 22 du/ac and office to SU-1 for PRD 22 du/ac, Office, C-1 Retail (excluding auto parts and supply sales, drive-up restaurant, liquor sales, gasoline sales, hardware and building material sales), Car Wash, and Restaurant.
3. The request is consistent with Established Urban policies of the Comprehensive Plan in that the proposed design, scale, and location of the retail/car wash building will have a minimal impact on the adjacent residential neighborhood (Policy d), will utilize vacant land (Policy e), will be of minimal traffic impact to the neighborhood (Policy k), and promotes quality design that enhances the urban environment and contributes to the preservation of scenic views in the area (Policies l and m).
4. The request is generally consistent with development policies for Enhanced Transit Corridors as established in the Centers and Corridors component of the Comprehensive Plan (Policy A, Corridor Policies).
5. Minor site design modifications are needed to bring the request into full compliance with existing City regulations and development policies.
6. There is no known opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The applicant shall provide screening of the east parking area abutting Juan Tabo Boulevard as required in Section 14-16-3-1(E)(3) of the City Zoning Code.

OFFICIAL NOTICE DECISION
JANUARY 15, 2004
PROJECT #1003102
PAGE 4 OF 5

3. The applicant shall lower the proposed height of light poles from 20 feet to 16 feet as required in Section 14-16-3-9(F) of the City Zoning Code.
4. The applicant shall include a statement in the landscape plan that indicates compliance with Section 14-16-3-1(G)(4) of the City Zoning Code; this regulation requires a minimum 6 foot width along walkways that abut buildings to remain clear and unobstructed at all times for pedestrian use. This statement pertains specifically to the walkway along the south edge of the building which is proposed to contain Oak trees.
5. The applicant shall increase the width of the west landscape buffer to 10 feet, establish primary use of trees in the buffer area that are at least 8 feet in height at planting and will reach a height at maturity of 25 feet, and establish a minimum 6-foot tall opaque wall or fence to screen the abutting parking from the R-1 zone as required in Section 14-16-3-1(E) of the City Zoning Code.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JANUARY 30, 2004 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

OFFICIAL NOTICE DECISION
JANUARY 15, 2004
PROJECT #1003102
PAGE 5 OF 5

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


For Victor J. Chavez
Planning Director

VJC/MH/ac

cc: Dekker/Perich/Sabatini, 6801 Jefferson St. NE, Albuquerque, NM 87109
Seth Heath, SY Jackson, P.O. Box 20216, Albuquerque, NM 87154
LeeAnn Stubbs, SY Jackson, 4609 Bali Ct. NE, Albuquerque, NM 87111

February 16, 2004



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

Sheran Matson
Planning Manager, DRB
600 2nd Street NW, Suite 1B
Plaza Del Sol
Albuquerque, NM 87102

RE: Classic Emporium, Project # 1003102, 03EPC 01925/01929

Dear Mrs. Matson:

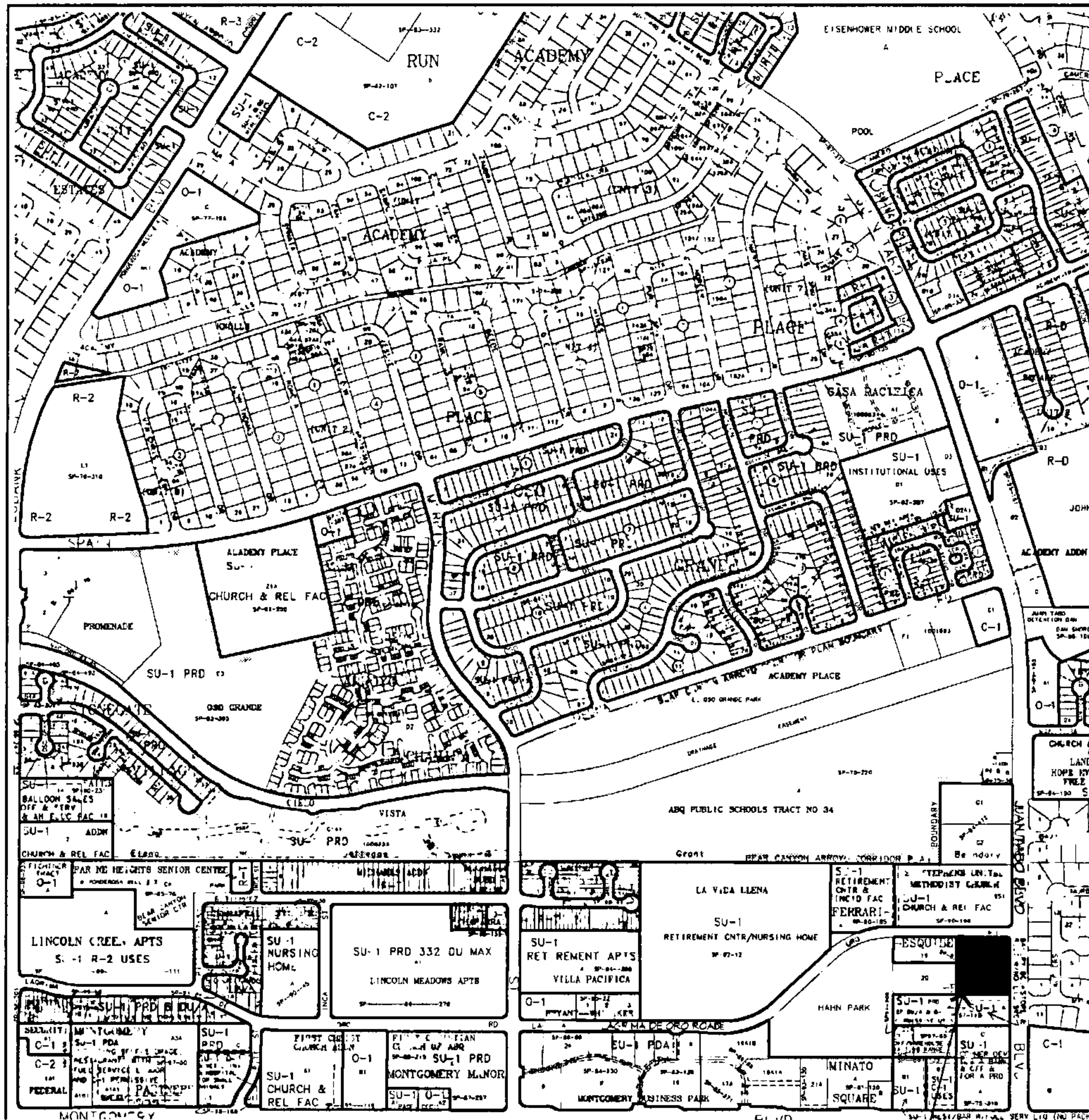
On behalf of our client the SM&R Group we are requesting your approval of our site plan for building permit as approved by the EPC on January 15, 2004. As conditions of this approval, the EPC listed 5 Conditions that were to be met for final DRB sign off. The purpose of this letter is to directly address how we have met those conditions. The first statement simply delegates final sign off authority to the DRB. Condition 2 asks the applicant to screen the parking facing Juan Tabo which we have complied with; please see our revised C001 sheet, Revision 1, dated 02/17/04. Condition 3 requested that the applicant lower the height of the light poles from 20'-0" to 16'-0" which has been complied with per our revised detail D5/A301, Revision 1, dated 02/17/04. Condition 4 requests the addition of a landscaping note that indicates our intention to comply with Section 14-16-3 (G) (4) of the city zoning code. Our Note 8, sheet L001, Revision 1, dated 02/17/04 directly addresses this issue. Lastly, Condition 5 requests that we increase the west landscape buffer to 10'-0" which we have done. Compliance with this condition can be verified on sheet A001, Revision 1, dated 02/17/04. The other items that needed to be addressed to comply with condition of approval #5 can be found on sheets L001 and C001. L001, Revision 1, dated 02/17/04 address the tree use concerns and the retaining wall section on C001 specifically addresses the EPC's condition with regards to the screen/retaining wall to the west.

We would like to thank you in advance for your consideration of these modifications. We have made every effort to meet or exceed the project enhancing suggestions the EPC has brought to our attention. We hope you agree.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

Darren Sowell
Architect - Dekker/Perich/Sabatini

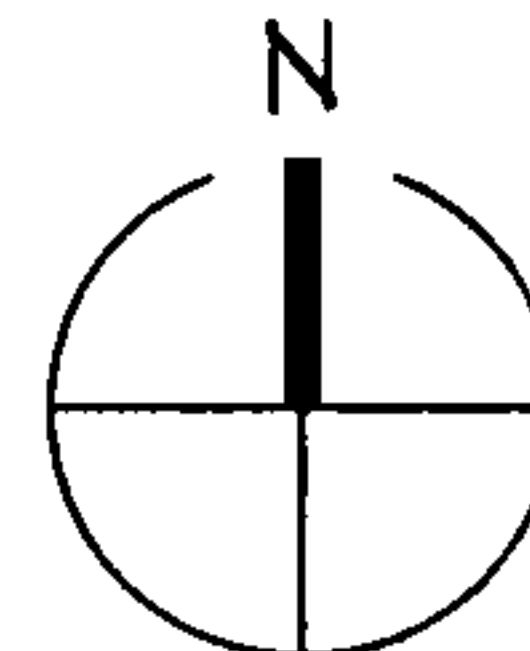


ZONE ATLAS PAGE

F-21-Z

PROJECT LOCATION

VICINITY MAP



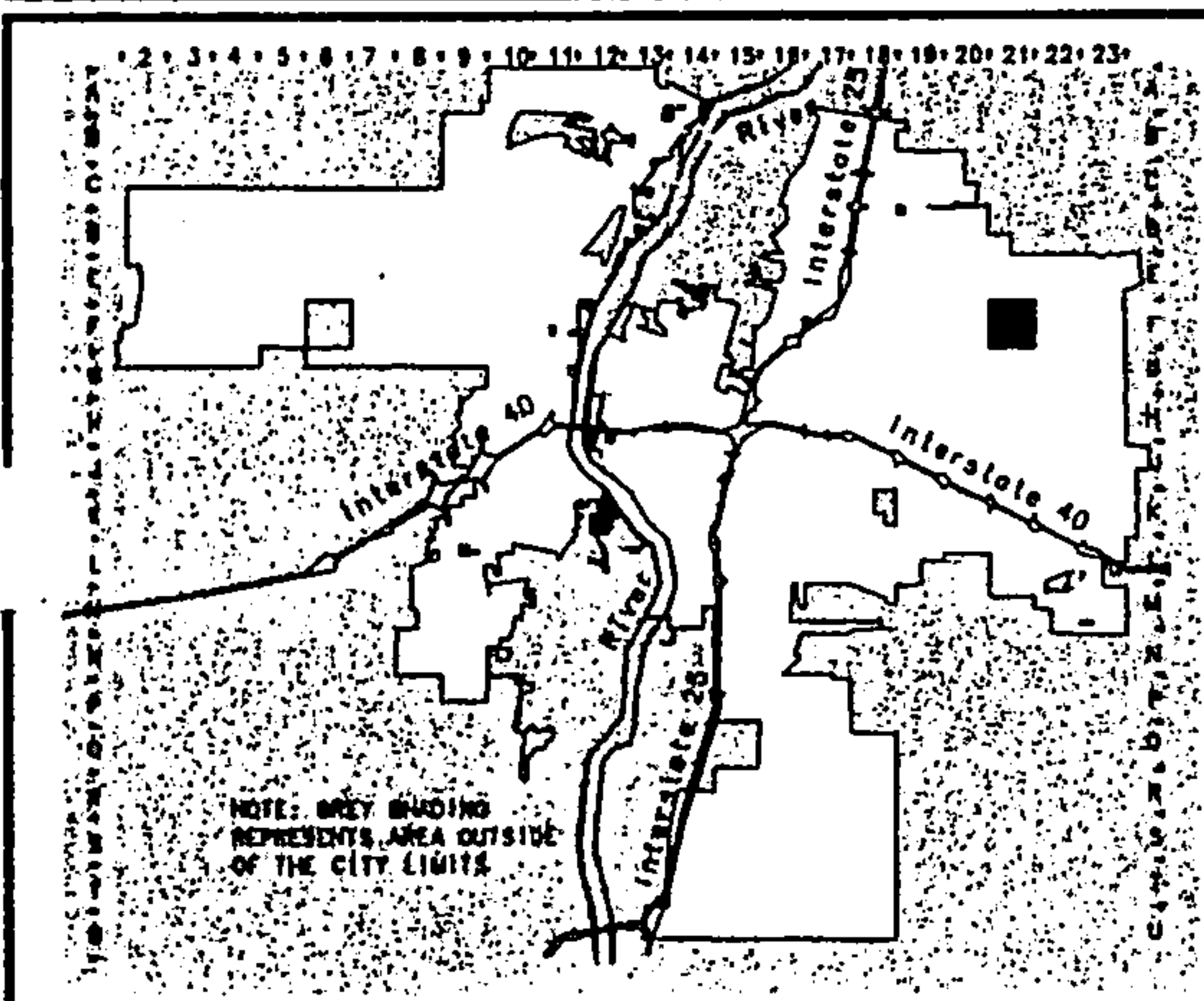
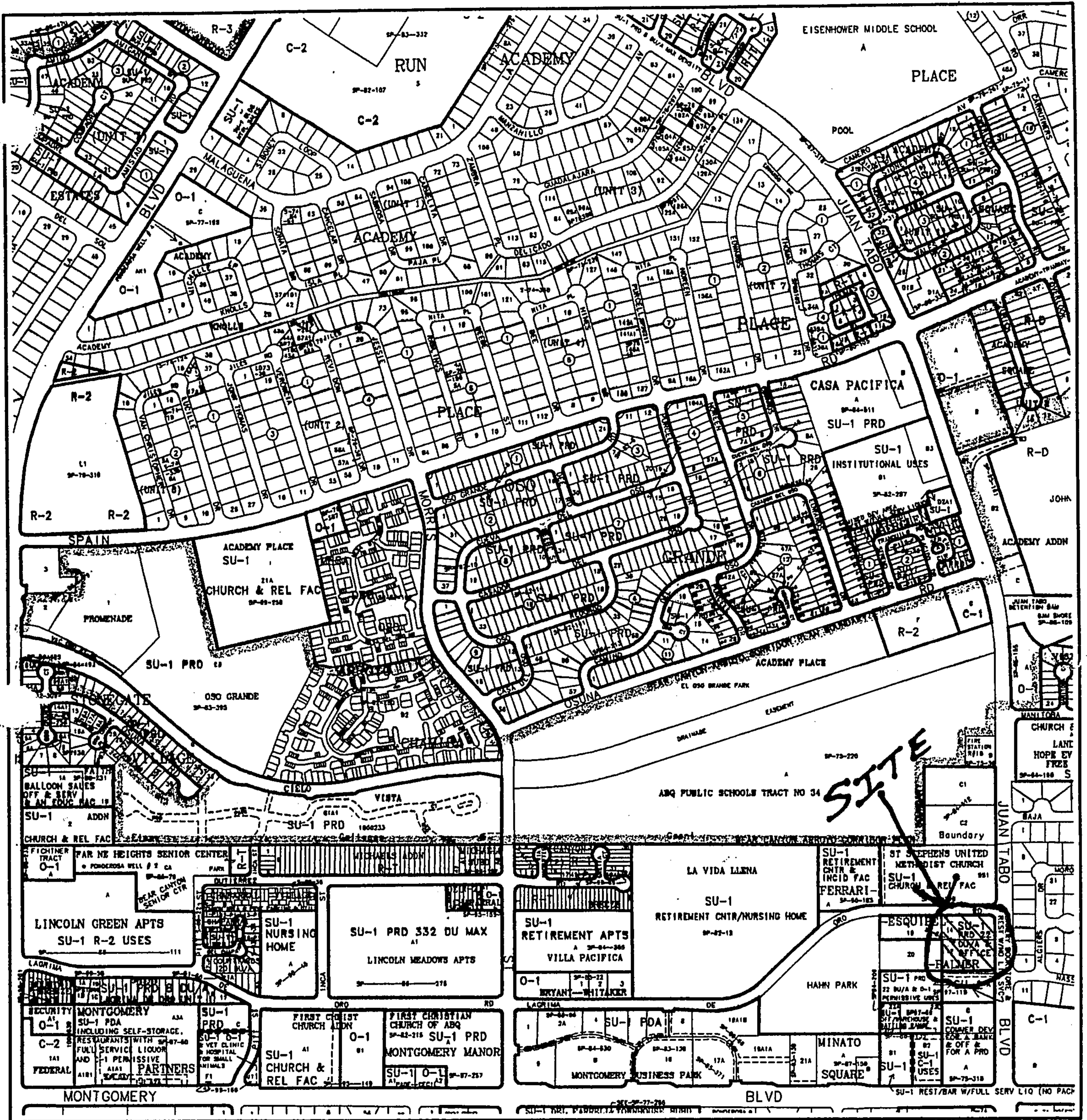
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 Ferrari-Esguibel-Palmer

L14,12

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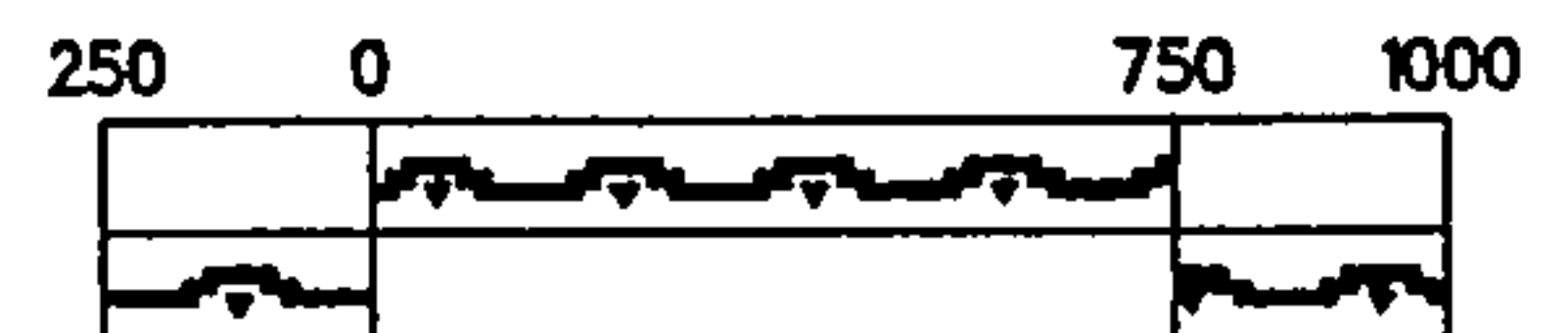


CITY OF Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

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GRAPHIC SCALE IN FEET

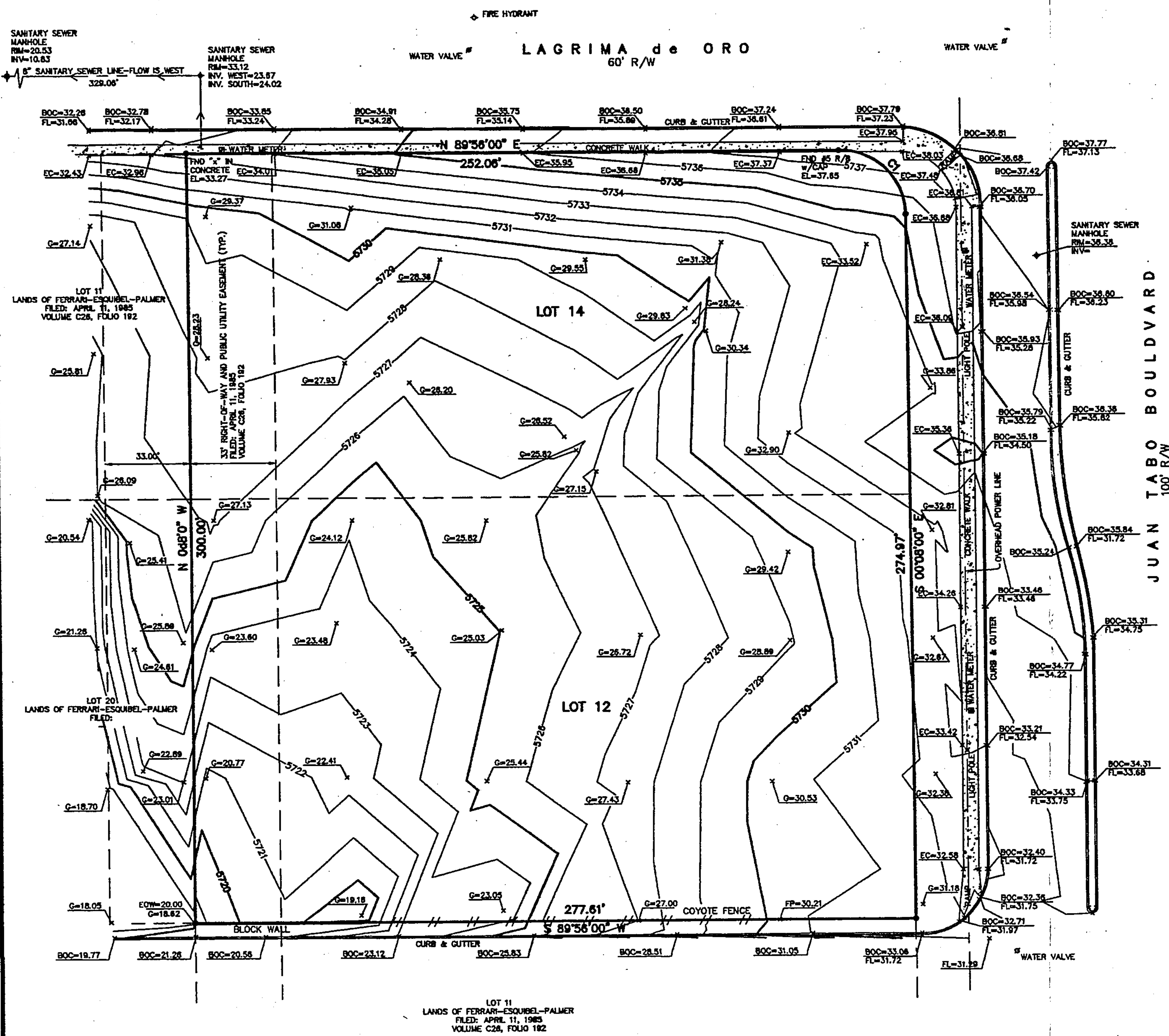


Zone Atlas Page

F-21-Z

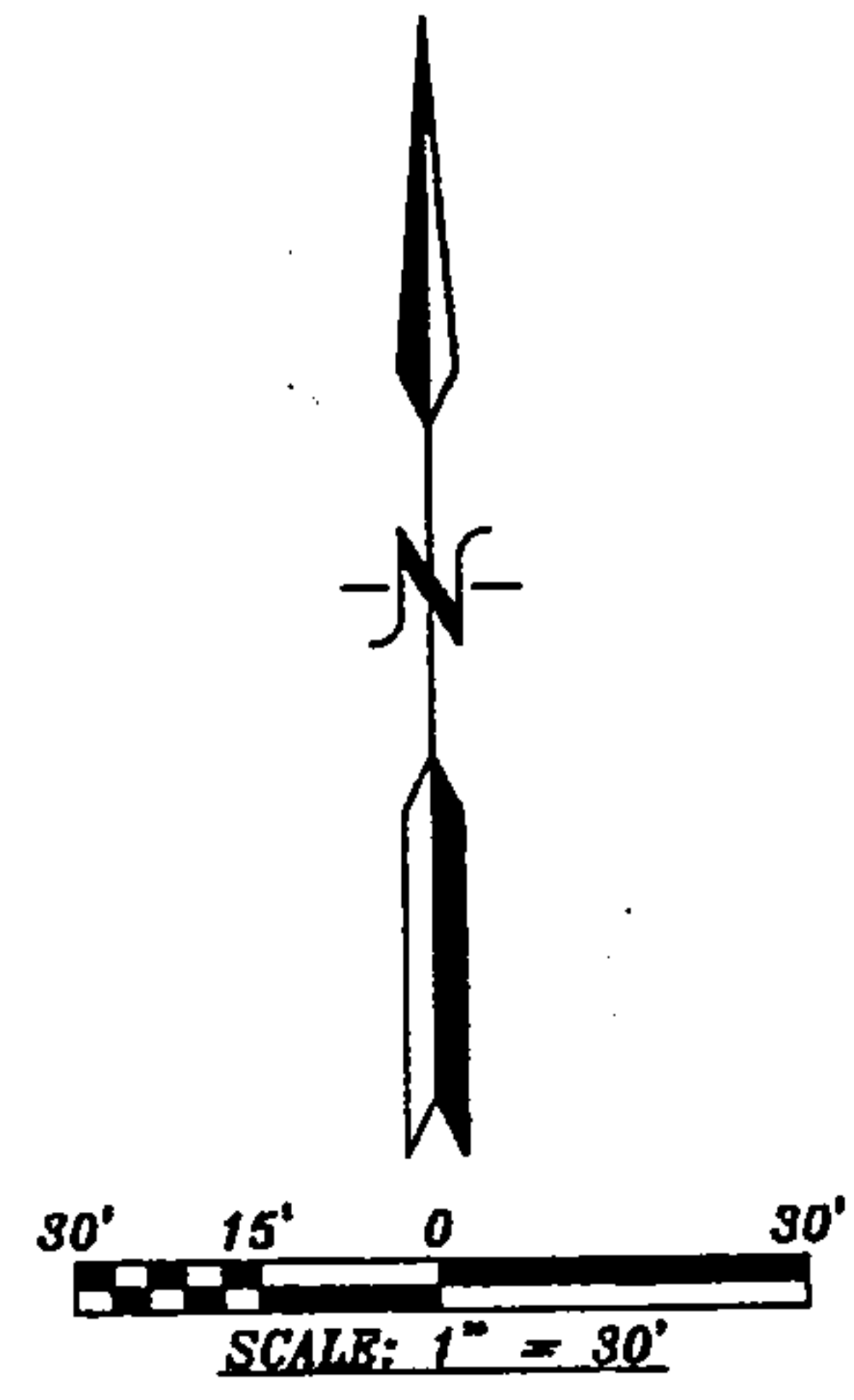
Map Amended through July 28, 2000

PLAT OF TOPOGRAPHY
 OF
LOTS 12 AND 14
LANDS OF FERRARI-ESQUIBEL-PALMER
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2003



GENERAL NOTES:

- 1: CONTOUR INTERVAL IS ONE (1) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "28-F21", HAVING AN ELEVATION OF 5745.73.
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 5: THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.



23773W(03-03)