

Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 12-J13 AND 17-J14, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. GROSS AREA: 1.4231 ACRES
6. NUMBER OF EXISTING TRACTS: 1
7. NUMBER OF TRACTS CREATED: 2
8. SUBJECT PROPERTY IS ZONED S-MI

STATION 12-J13  
 X = 376,922.94  
 Y = 1,489,212.34  
 GROUND TO GRID = 0.9996824  
 DELTA ALPHA = -00°14'12"  
 NEW MEXICO STATE PLANE  
 COORDINATE SYSTEM  
 CENTRAL ZONE  
 NAD 1927

STATION 17-J14  
 X = 378,903.40  
 Y = 1,488,804.10  
 GROUND TO GRID = 0.9996799  
 DELTA ALPHA = -00°13'58"  
 NEW MEXICO STATE PLANE  
 COORDINATE SYSTEM  
 CENTRAL ZONE  
 NAD 1927

TRACT 77-B-2  
 M.R.G.C.D. MAP NO. 36

LINE	BEARING	LENGTH
L1	N09°08'34"E	10.03'
L2	N85°36'55"W	42.77'

MONUMENT LEGEND

- - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "GRITSKO 8686" UNLESS OTHERWISE NOTED

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON  
 UPC#: 1-014-059-213008-30503  
 PROPERTY OWNER OF RECORD:  
 Watson Stefan & Devereux  
 BERNALILLO COUNTY TREASURERS OFFICE:  
 June 24, 2004 05-14-04

LEGAL DESCRIPTION

A certain tract of land being and comprised of Tract 77B1 as shown on the Middle Rio Grande Conservancy District Property Map No. 36 within Sec. 8, T10N, R3E NMPM Bernalillo County, New Mexico TOGETHER WITH a 10' Private Ditch and being more particularly described as follows:  
 BEGINNING at the northwest corner of said tract, being a point on the South right-of-way of the A.T.&B.N. Railroad Spur whence City ACS Station 17-J14 bears S 21° 38' 46" W, 4276.68 feet distant; thence from said point of beginning S 86° 38' 56" E, 201.63 feet along said South right-of-way to the northeast corner, being a point on the West right-of-way of Fifth Street N.W.; thence S 09° 08' 34" W, 312.96 feet along said right-of-way to the southeast corner; thence leaving said right-of-way N 85° 36' 55" W, 158.53 feet; thence N 09° 08' 34" E, 10.03 feet; thence N 85° 36' 55" W, 42.77 feet to the southwest corner; thence N 09° 08' 34" E, 299.28 feet to the point of beginning and containing 1.4231 acres, more or less.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN.

OWNER(S) SIGNATURE: *Eileen Devereux & Stefan Watson* DATE: 3/12/04  
 OWNER(S) PRINT NAME: EILEEN DEVEREUX & STEFAN WATSON  
 ADDRESS: 1719 5TH NW - A1B-87102 TRACT:  
 ACKNOWLEDGMENT  
 STATE OF NEW MEXICO )  
 ) SS  
 COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12 DAY OF MARCH, 2004.  
 BY: EILEEN DEVEREUX & STEFAN WATSON  
 MY COMMISSION EXPIRES: 10/01/05  
 Sarah Amato  
 NOTARY PUBLIC

PLAT OF  
 TRACTS 1 & 2  
 LANDS OF DEVEREUX & WATSON  
 PROJECTED SECTION 8, T. 10 N., R. 3 E., N.M.P.M.  
 TOWN OF ATRISCO GRANT  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 MARCH 2004

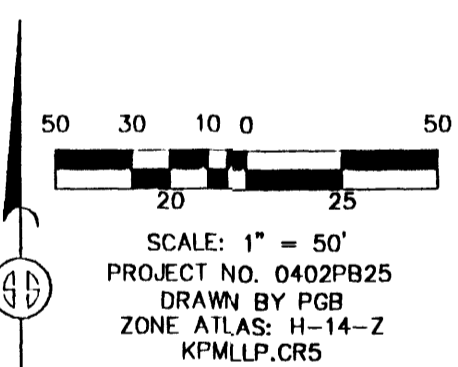
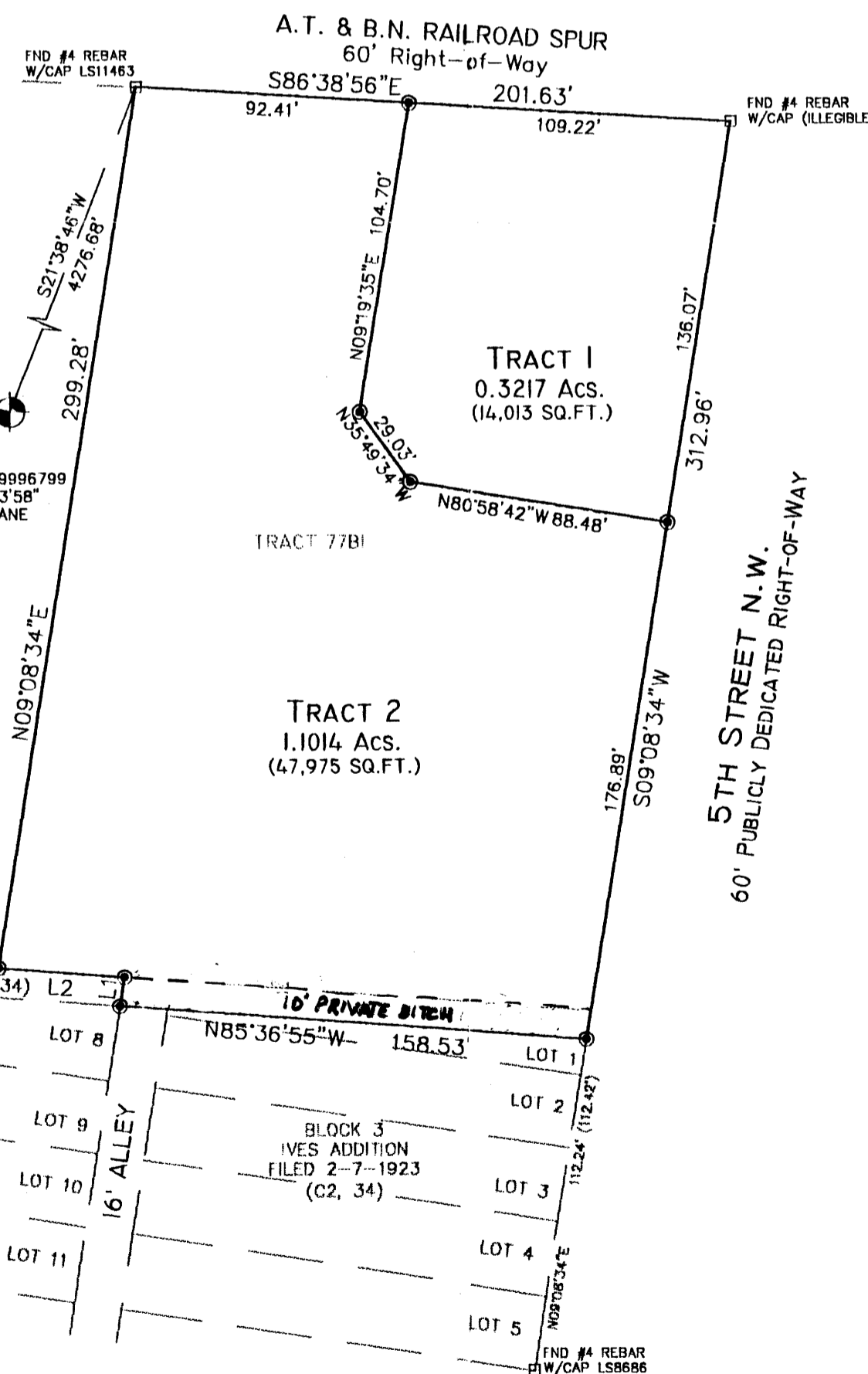


DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE (1) EXISTING TRACT INTO TWO (2) NEW TRACTS OF LAND.

CITY APPROVALS: PROJECT NO.: 1003123 APPLICATION NO. 04DRB003487

*W. B. Gault* 3/12/04  
 CITY SURVEYOR DATE  
*S. J. ...* 5-12-04  
 TRAFFIC ENGINEERING DATE  
*W. J. ...* 5/12/04  
 PARKS & RECREATION DEPARTMENT DATE  
*Roger A. Sheen* 5-12-04  
 UTILITIES DEVELOPMENT DATE  
*Brad L. Bigham* 5/12/04  
 A.M.A.F.C.A. DATE  
*Brad L. Bigham* 5/12/04  
 CITY ENGINEER DATE  
*S. Watson* 5/12/04  
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE



SURVEYOR'S CERTIFICATION

I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

*Gary E. Gritsko* March 11, 2004  
 Gary E. Gritsko Date  
 New Mexico Professional Surveyor, 8686



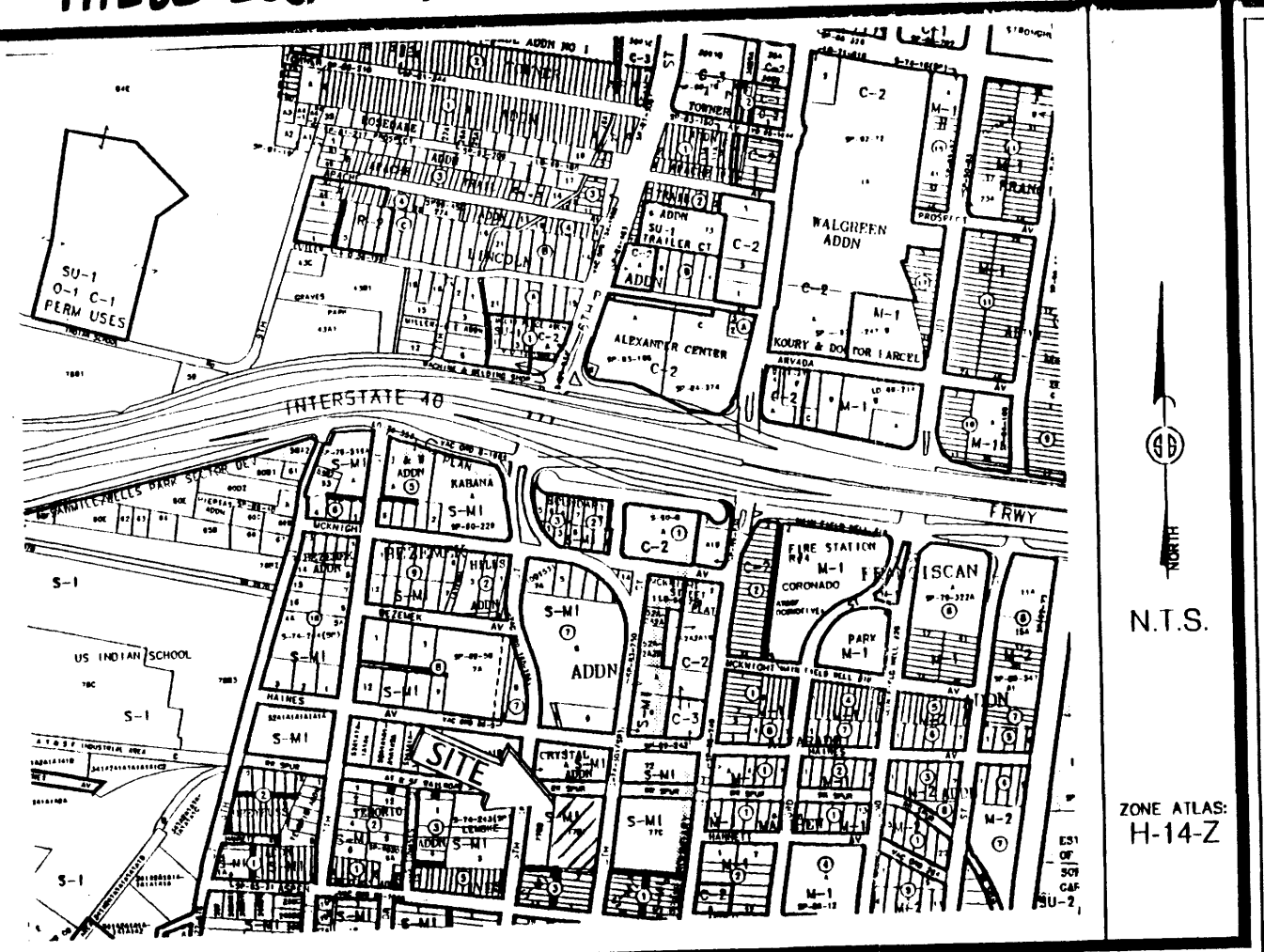
SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E.  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE: (505) 998-0303  
 FAX: (505) 998-0306

T10N R3E SEC. 8

**PLAT OF  
TRACTS 1 & 2  
LANDS OF DEVEREUX & WATSON  
PROJECTED SECTION 8, T. 10 N., R. 3 E., N.M.P.M.  
TOWN OF ATRISCO GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH 2004**

**PRELIMINARY PLAT  
APPROVED BY DRB**  
*ON 3/24/04*



Vicinity Map

**LEGAL DESCRIPTION**  
A certain tract of land being and comprised of Tract 77B1 as shown on the Middle Rio Grande Conservancy District Property Map No. 36 within Sec. 8, T10N, R3E NMPM Bernalillo County, New Mexico TOGETHER WITH A 10' Private Ditch and being more particularly described as follows:  
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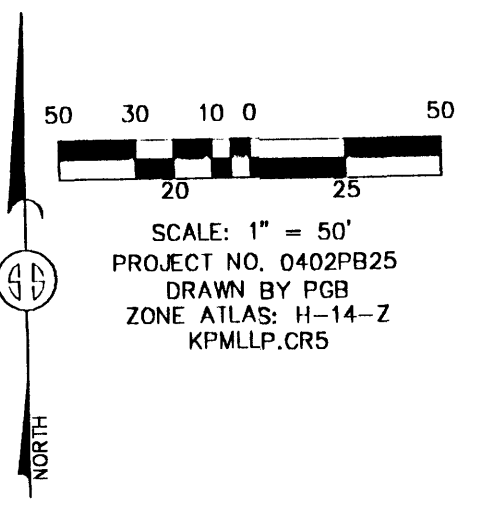
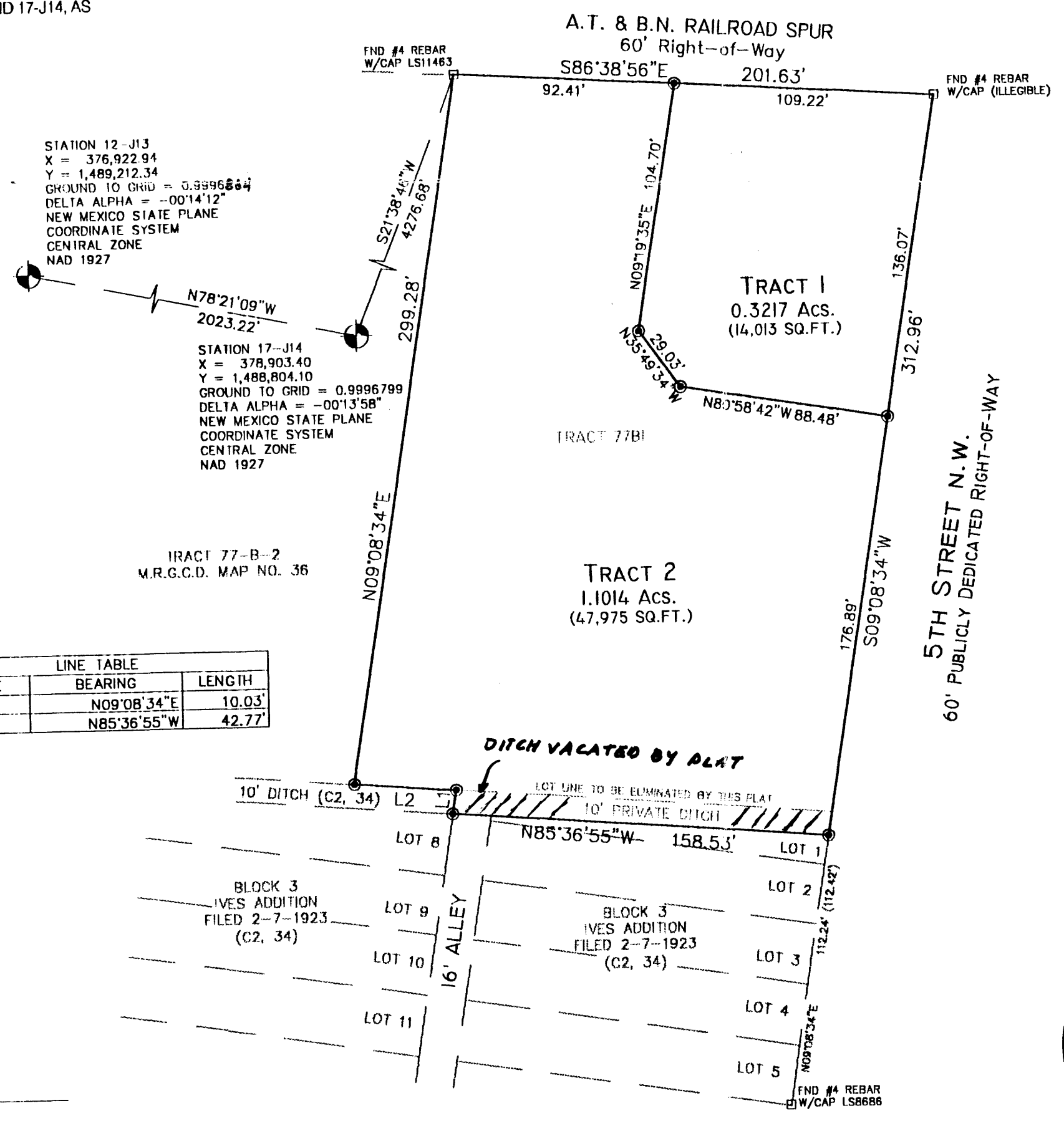
OWNER(S) SIGNATURE: *Eileen Devereux & Stefan Watson* DATE: *3/12/04*  
OWNER(S) PRINT NAME: *EILEEN DEVEREUX & STEFAN WATSON*  
ADDRESS: *1719 5TH NW - AFB 87102* TRACT:  
ACKNOWLEDGMENT  
STATE OF NEW MEXICO )  
) SS  
COUNTY OF BERNALILLO )  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS *12* DAY OF *MARCH*, 2004.  
BY: *EILEEN DEVEREUX & STEFAN WATSON*  
MY COMMISSION EXPIRES: *10/01/05* *Sarah Amato* NOTARY PUBLIC

**DISCLOSURE STATEMENT**  
THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE (1) EXISTING TRACT INTO TWO (2) NEW TRACTS OF LAND AND VACATE PRIVATE 10' DITCH.

CITY APPROVALS: PROJECT NO.: APPLICATION NO.  
*[Signature]* DATE: *3/12/04*  
CITY SURVEYOR  
TRAFFIC ENGINEERING DATE  
PARKS & RECREATION DEPARTMENT DATE  
UTILITIES DEVELOPMENT DATE  
A.M.A.F.C.A. DATE  
CITY ENGINEER DATE  
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

**SUBDIVISION DATA / NOTES**

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**SURVEYOR'S CERTIFICATION**

I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

*Gary E. Gritsko* *March 11, 2004*  
Gary E. Gritsko  
New Mexico Professional Surveyor, 8686 Date



**SURVEYS SOUTHWEST LTD.**

333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE: (505) 998-0303  
FAX: (505) 998-0306

**T10N R3E SEC. 8**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON  
UPC#: \_\_\_\_\_  
PROPERTY OWNER OF RECORD: \_\_\_\_\_  
BERNALILLO COUNTY TREASURERS OFFICE: \_\_\_\_\_

25

25

# PART OF THE IVES ADDITION

## ALBUQUERQUE, BENAVILLO COUNTY, NEW MEXICO.

SCALE: 1 INCH = 100 FEET

APPROVED AND AUTHORIZED, MARCH 1923, BY THE ROSS ENGINEERING OFFICE

February 1923  
Ross Engineering Office  
Albuquerque, N.M.



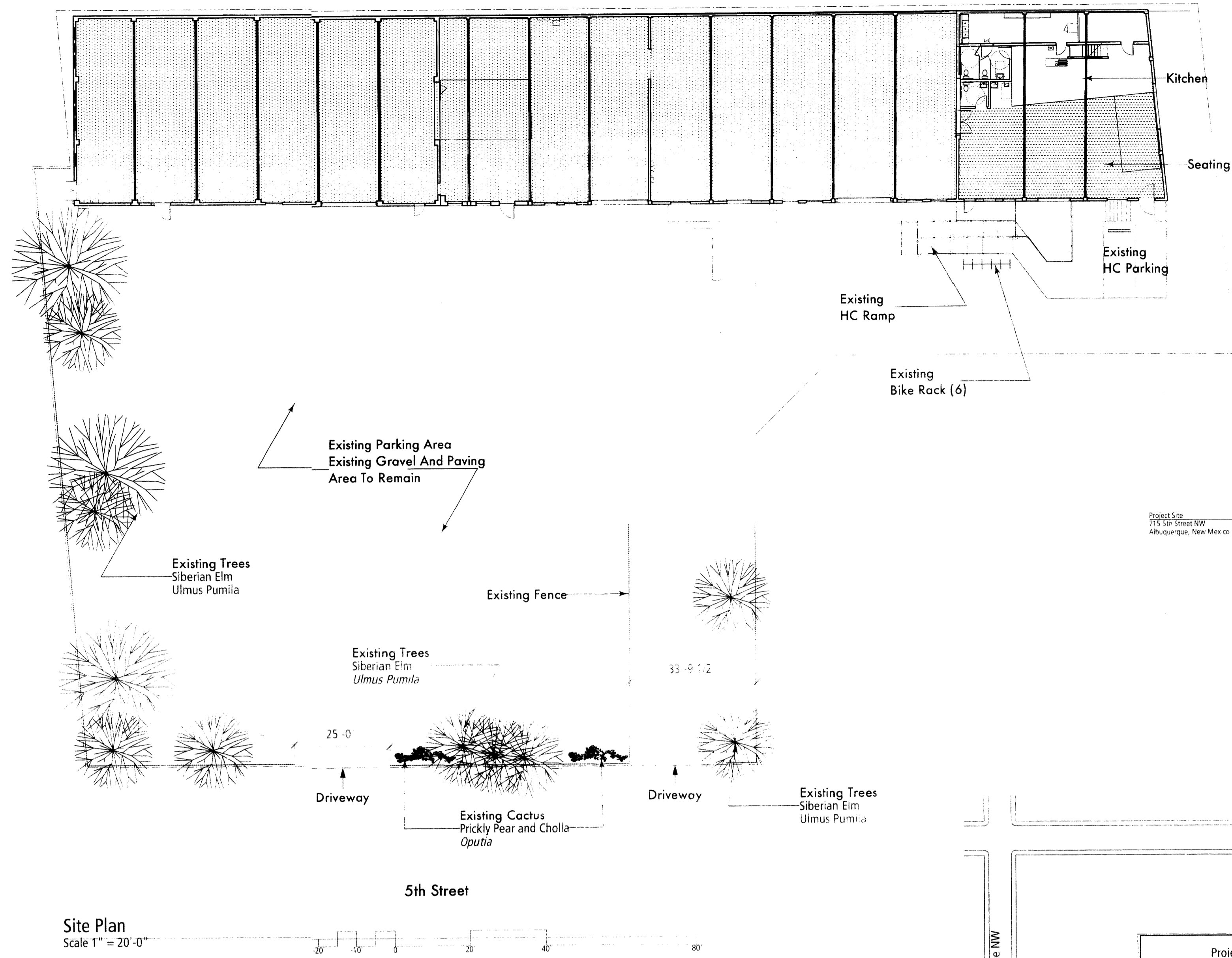
As going volume of land in Section 23 of Benavillo County, New Mexico, and bounded North by Virginia Boulevard, South by Avenue A, East by the right-of-way of the Ives Addition, and West by the right-of-way of the Ives Addition, the five corner and center lines of the five lots shown on the plat attached hereto.

State of New Mexico, County of Bernalillo, ss: Personally appeared before me a Notary Public in and for said County, RUTH E. YOD & CAMMON, widow, to me, Notary Public, known to be the person described in and who executed the above and foregoing instrument and acknowledged that she executed the same as her free act and deed. Witness my hand and seal in this the 24th day of January, A.D. 1923.

My Commission expires 24th day of 1924.

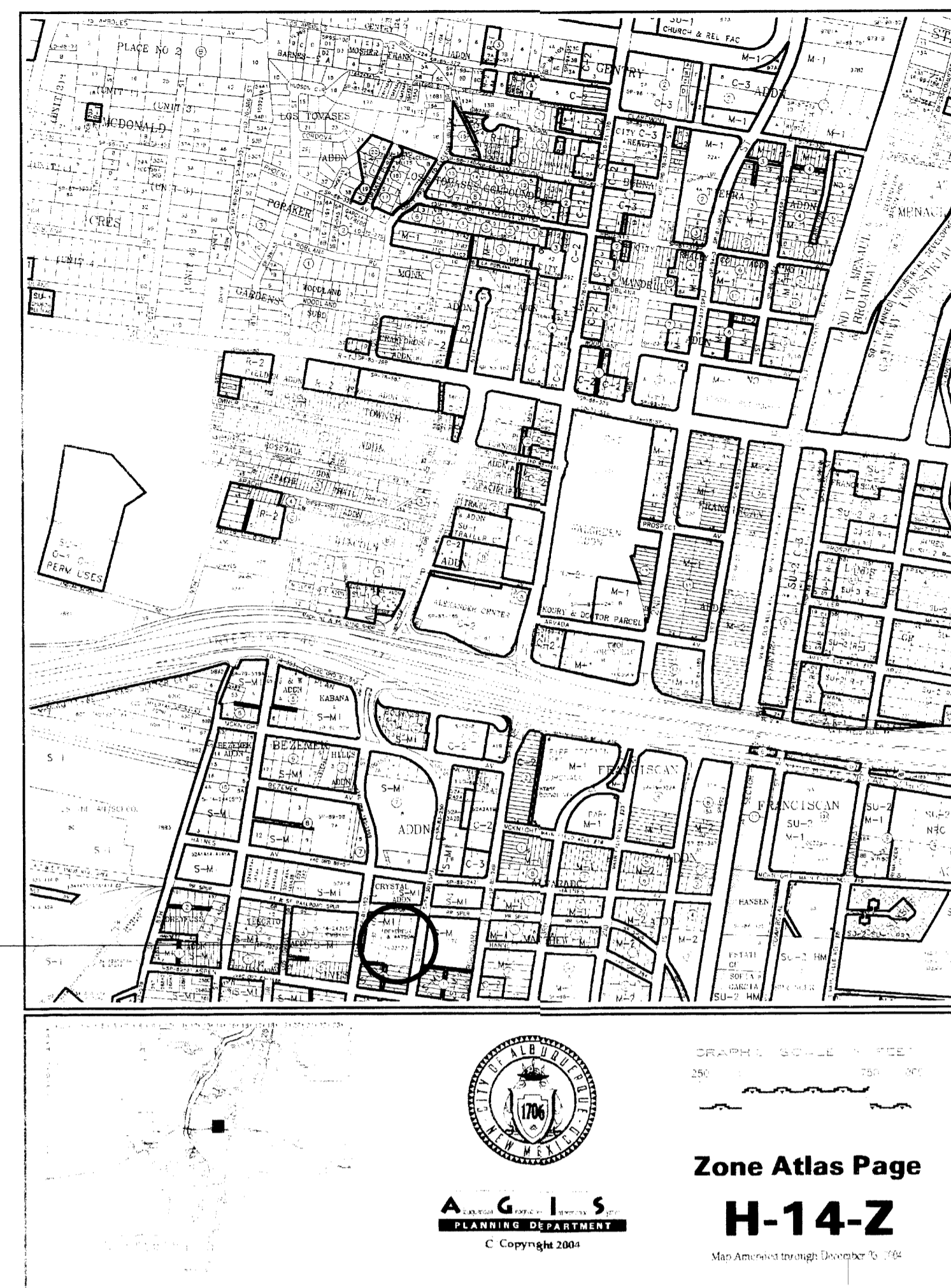
*Ruth E. Yod & Cammon*  
Notary Public.

02, 31



Site Plan  
Scale 1" = 20'-0"

NOTE: All site lighting shall conform to Section 14-16-3-9 Area Lighting Regulations of the City of Albuquerque Zoning Code  
**(A)** The location of the lighting fixture together with its cut-off angle shall be such that it does not directly shine on any public right-of-way or any other residential premises;  
**(B)** It shall not have an off-site luminance greater than 1,000 footlamberts; it shall not have an off-site luminance greater than 200 footlamberts measured from any private property in a residential zone.  
**(C)** Where on-site lighting is provided, the location of all light poles shall be indicated on the site plan.  
**(D)** For sites smaller than five acres, the maximum height of a light pole, measured from the finished grade to the top of the pole, shall be 20 feet.  
**(E)** For sites five or more acres, the maximum height of a light pole, measured from the finished grade to the top of the pole, shall be 30 feet.  
**(F)** The maximum height of a light pole, measured from the finished grade to the top of the pole, within 100 feet of a residential zone shall be 16 feet.  
 (\*74 Code, § 14-401) (Am. Ord. 36-2002)



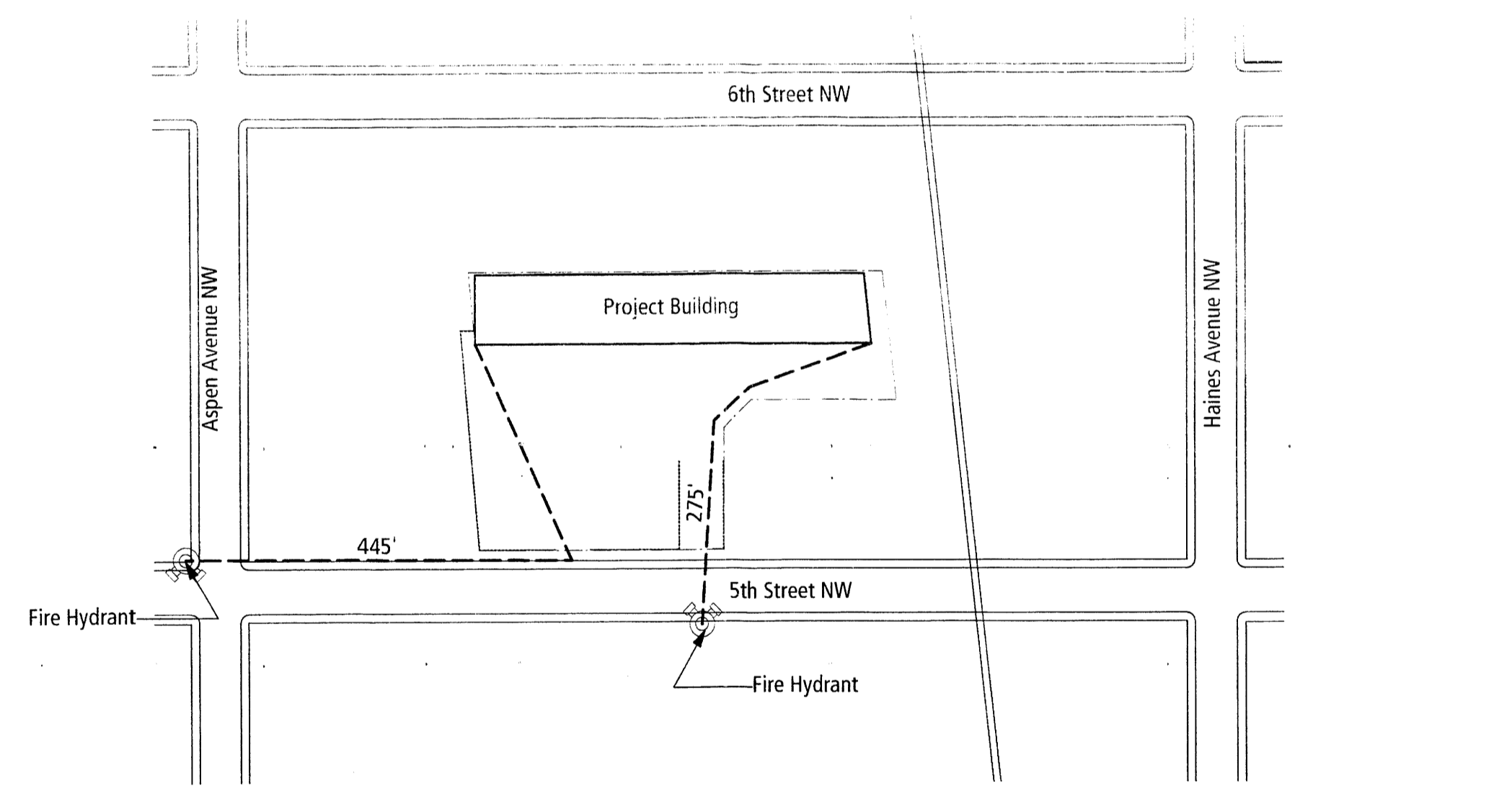
**CODE DATA**  
 City of Albuquerque  
 Location: 1715 5th Street NW  
 Albuquerque, New Mexico  
 Zoning: SU-2  
 Setback: 5-M  
 Zoning Area: P-14  
 Sublots: Do not apply to existing building  
 Height: Do not apply to existing building  
 Parking: Pre 1965 Building  
 Existing: None

**I.E.B.C.**  
 FEELING: Not Applicable  
 Occupancy: Warehouse  
 Occupancy: 34  
 Construction: Type VB  
 Separator: 0' Exposure: 5.0' @ 0'  
 1' High Exposure: 10.0'  
 1' High Exposure: 0.0'  
 Allowable: Existing  
 Allowable: Existing  
 Sprinkler: Not required under 300 Occupants  
 Existing: None  
 Existing: No Changes for Zone Change Only

**Building Actual**  
 Site: 1.095 Acres  
 Entire Building: 14,195 sq.ft.  
 Area of Removal: 2,644 sq.ft.  
 Kitchen: 919 Gross @ 200 = 5  
 1,410 Net @ 15 = 94  
 30 Rooms: 316 = 94  
 Total: 99 Dec.  
 Parking Area: Pre 1965 Building  
 Parking Space: Pre 1965 Building

**Plumbing:**  
 Water Closet: 175 requires 2 skidling  
 Water Closet: 175 requires 1 skidling  
 Lavatories: 1700 requires 7 skidling  
 Drinking Water: 1 requires 1 skidling  
 Sinks: 1 requires 1 skidling

**Sheet Index**  
 A-08: General Info  
 A-08: Landscape Plan

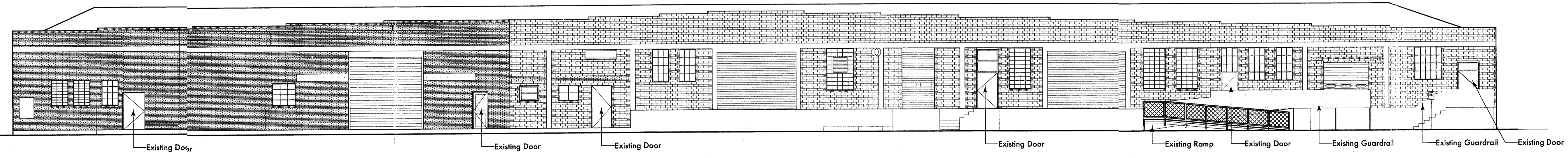


1 Site Plan- Fire Hydrant Locations  
 Scale: 1" = 100 ft

Fire Hydrant Locations  
 - SW corner of Aspen / 5th Street (290' from driveway)  
 - Mid Block 5th Street btwn. Aspen and Haines (40' from driveway)

**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_  
**DRB SITE DEVELOPMENT PLAN APPROVAL:**

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
* ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
<i>Carl Wilkins</i> SOLID WASTE MANAGEMENT	12-15-15 DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

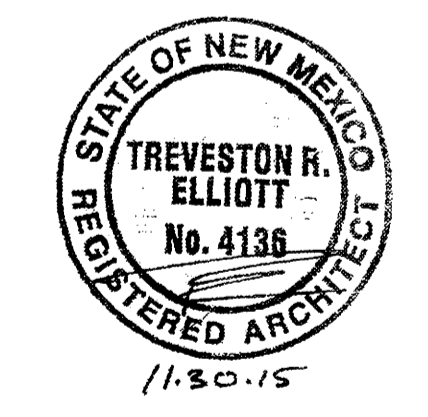


1 East Existing Elevation  
 Scale: 3/32" = 1'-0"

TREVESTON ELLIOTT ARCHITECT

811 1701 ST. NW  
 ALBUQUERQUE, NEW MEXICO  
 87102  
 (505) 259-6671  
 WWW.TREVESTONELLIOTT.COM

Factory on 5th  
 ALBUQUERQUE, NEW MEXICO



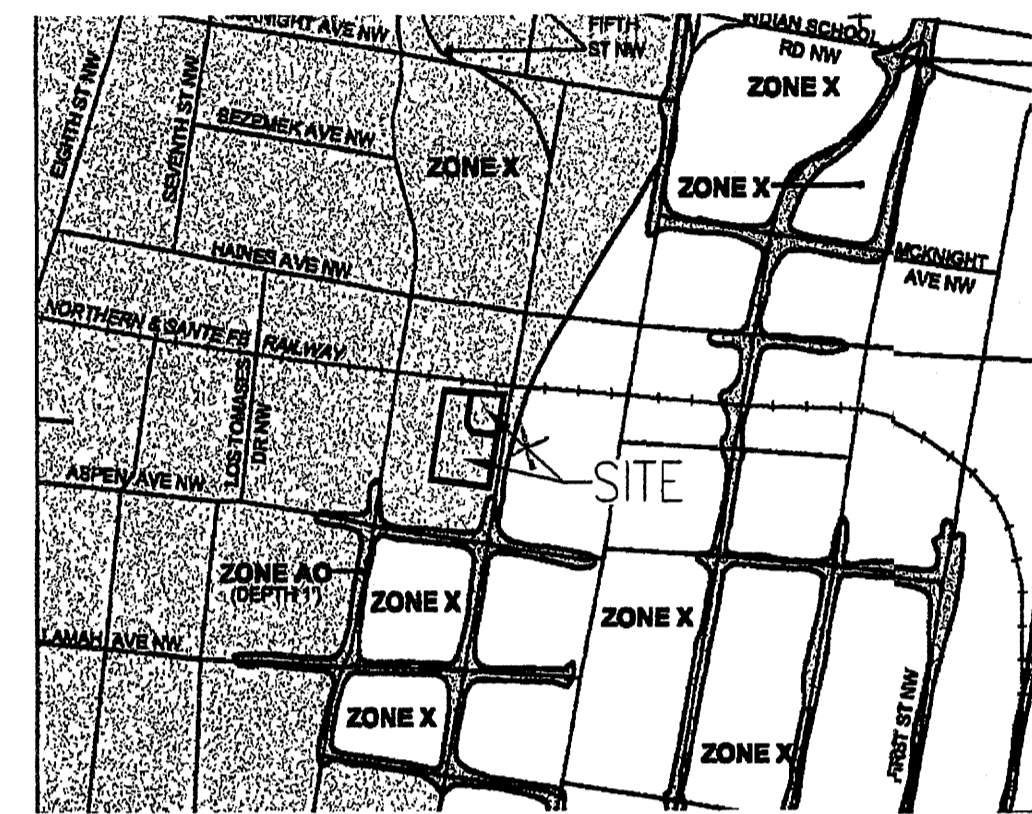
Date: December 10, 2015  
 REV: December 10, 2015  
 Sheet: General Info  
 Site Plan  
 Landscape Plan  
 Elevation

HYDRANT AND FIRE ACCESS  
 ALBUQUERQUE FIRE MARSHAL'S OFFICE  
 PLANS CHECKING DIVISION  
 SOFT COPY CONSTRUCTION TYPE 1-2  
 GPM 1388 NUMBER OF HYDRANTS 2  
 APPROVED / DISAPPROVED  
 SIGNATURE / MAN NUMBER / DATE 12/14/15  
 CASE # 629515

**A-081**



ALBUQUERQUE MAP H-14 NTS

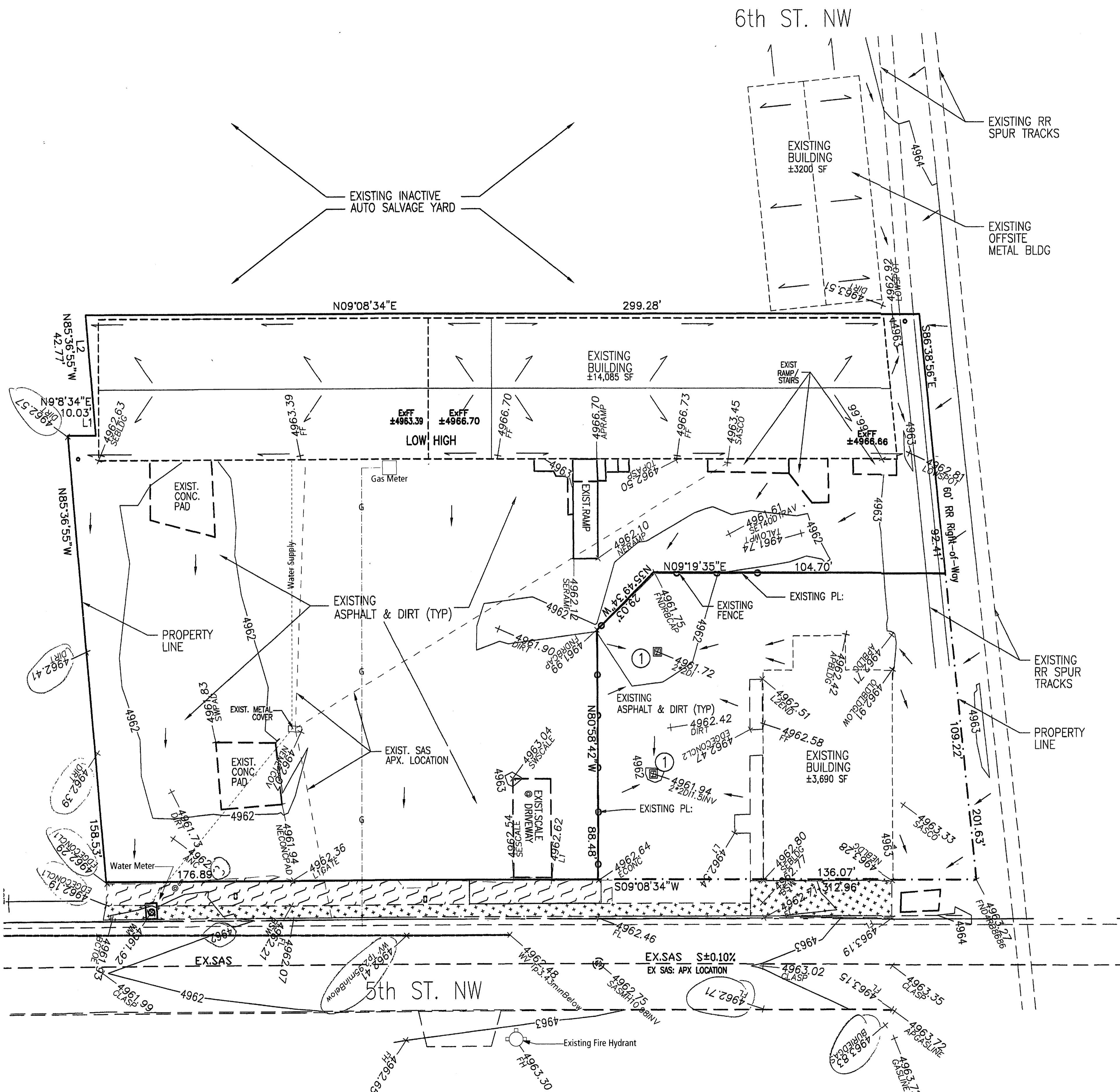


FEMA PANEL 35001C-0332E NTS

**LEGEND**

EXISTING ITEMS SHOWN DASHED OR OPEN

- TW TOP OF WALL
- INV INVERT
- LP LIGHT POLE
- PP POWER POLE
- T TELEPHONE
- G GAS
- SAS SANITARY SEWER
- SD STORM DRAIN
- W WATER
- E, EX EXISTING: ELECTRICITY
- TA TOP OF ASPHALT
- TP TOP OF PAVEMENT
- FL FLOW LINE
- TC TOP OF CURB / CONCRETE
- SW SIDEWALK
- FF FINISHED FLOOR
- FG FINISHED GRADE
- EG EXISTING GRADE
- W VALVE
- WATER METER
- FIRE HYDRANT
- NEW CONTOURS
- EXISTING CONTOURS
- FLOW DIRECTION
- NEW CURB AND GUTTER
- EXISTING CURB AND GUTTER
- TC35.36 NEW SPOT ELEVATION
- EG34.60 EXISTING SPOT ELEVATION
- EXISTING SIDEWALK TO REMAIN
- EXISTING SIDEWALK TO BE REMOVED. LANDSCAPE PER ARCHITECT.
- X/Y DETAIL X ON SHEET Y
- Gas Line - Approximate Location
- Water Line - Approximate Location



**GENERAL NOTES:**

1. **PROPERTY LINES:**
2. **PERMITS & INSPECTIONS:** The Contractor is responsible for obtaining all required permits and inspections.
3. **OBSTRUCTIONS:** Prior to construction, the contractor will excavate and verify the horizontal and vertical locations of all construction. Should a conflict exist, the contractor will notify the Construction Engineer so that the conflict can be resolved with a minimum amount of delay.
4. **IMMEDIATELY FIELD VERIFY & RECORD** for the engineer the horizontal and vertical locations in the ROW behind the curb, and the pipe size and material, of the existing SAS services on the west side of 5th St.
5. **CONTRACTOR'S GOOD SENSE AND JUDGMENT:** The Contractor is expected to use his good sense and judgment and to bring to the Engineer's attention ALL issues that need resolution, BEFORE proceeding to final layout or construction. This relates to any oddities or apparent omission as well as to actual conflicts.
6. **SPECIFIED PRODUCTS:** Contact the engineer for approval before substituting for products specified. It is likely that equivalent products will be acceptable and that lesser products will not.
7. **DESIGN CHANGES:** Consult with the Engineer before making changes to the Plans. The Plans as designed address both practical and regulatory issues. Generally the Engineer expects the project to be built as designed.
8. **ELECTRONIC VERSION AVAILABLE TO CONTRACTOR.** The Engineer is willing to make an electronic version of these plans available to the Contractor for his use in constructing this project only. The electronic version may contain information not included on the plotted construction drawings. The plans were developed in plain AutoCAD 2005.
9. **ONLY C.O.A. WATER SYSTEM PERSONNEL** are authorized to operate water valves within the City right of way
10. **ALL BACKFILL** to be 95% of maximum per ASTM D1557 (modified Proctor) EXCEPT that backfill in landscape areas to 90% and the upper portion of the fill to be prepared in accord with the landscape plans,
11. **PRIVATE FIRE LINE:** Restrain all joints and fittings. 3 FT MIN COVER.
12. 2 FT MIN COVER over water service lines onsite.

**LEGAL DESCRIPTION:**

TRACTS 1 & 2, LANDS OF DEVEREUX AND WATSON, (ALBUQUERQUE) BERNALILLO COUNTY, NEW MEXICO

**GENERAL NOTES THIS SHEET:**

1. **PROPERTY LINES:** Property lines shown are those at the time of design. The 2 tracts need to be replatted to reflect the proposed work.
2. **GRADING WARNING:** Near existing features, new grades are to be considered in relation to nearby existing grades, such as finished floor or top of concrete. DO NOT rely on the working benchmark in these locations.

**(X) KEYED NOTES:**

1. EXISTING CATCH BASIN TO REMAIN. (?FRENCH DRAIN?)

BENCH MARK: ACSC 424, Elev. 4949.58  
 TBM (Temporary Bench Mark): Manhole in 5th St apx. opposite NE property corner, elevation 4962.73

<b>PER SE ENGINEERING</b> <i>Drainage, Utilities, and Site Design</i> 2116 Lead Ave. SE Albuquerque, NM, 87106 505.232.9394	
<b>FACTORY ON 5</b> 1715 5th ST. NW, ALBUQUERQUE NM.	
EXISTING CONDITIONS AND GENERAL INFOMATION	SHEET <b>A-082</b>