

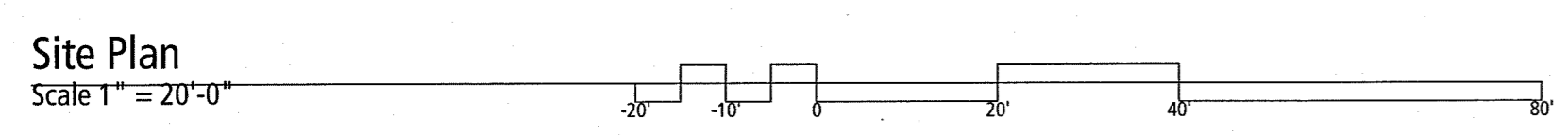
CODE DATA
 city of Albuquerque
 Location: 1715 5th Street NW
 Albuquerque, New Mexico
 Zoning: SU-2
 Savanhill 5-MI
 Zoning Atlas Page: H-14
 Setbacks: Do not apply to existing building
 Height: Do not apply to existing building
 Parking: Pre 1965 building
 Existing Chainlink fence

I.E.B.C.
 TENANT IMPROVEMENT
 Occupancy Classification: A-2
 94
 Type VB
 Construction Type:
 Separation:
 0 Exterior >10'-0"
 1 Hour Exterior <10'-0"
 2 Hour Between Occ.
 Allowable Area:
 Existing
 Allowable Height:
 Existing
 Sprinkler:
 Not required under 100 Occupants
 Existing Building
 -NO CHANGES FOR ZONE CHANGE ONLY

Building Actual
 Site: 1.095 Acre's
 Entire Building: 14,195 sq.ft.
 Area of Remodel: 2,644 sq.ft.
 Kitchen: 919 Gross @200 = 5
 Seating: 1,410 Net @15 = 94
 Restrooms: 316 = 16
 Total: 99 Occ.

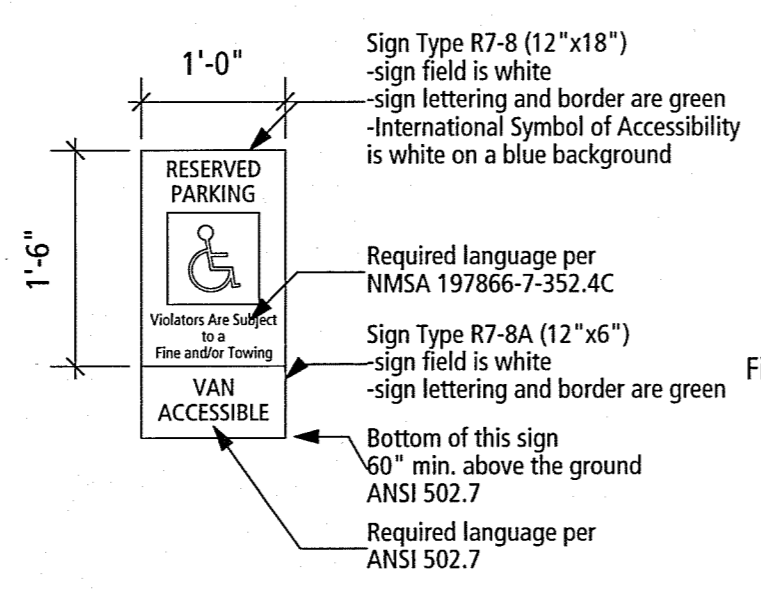
Plumbing:
 Water Closets Female: 1/75 required 2 Existing
 Water Closets Male: 1/75 required 1 Existing
 Lavatories: 1/200 required 2 Existing
 Drinking Fountain: 1 required 1 Existing
 Service Sink: 1 required 1 Existing

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 A-081 General Info / Site Plan / Landscape Plan / Elevation
 A-082 Grading and Drainage Plan

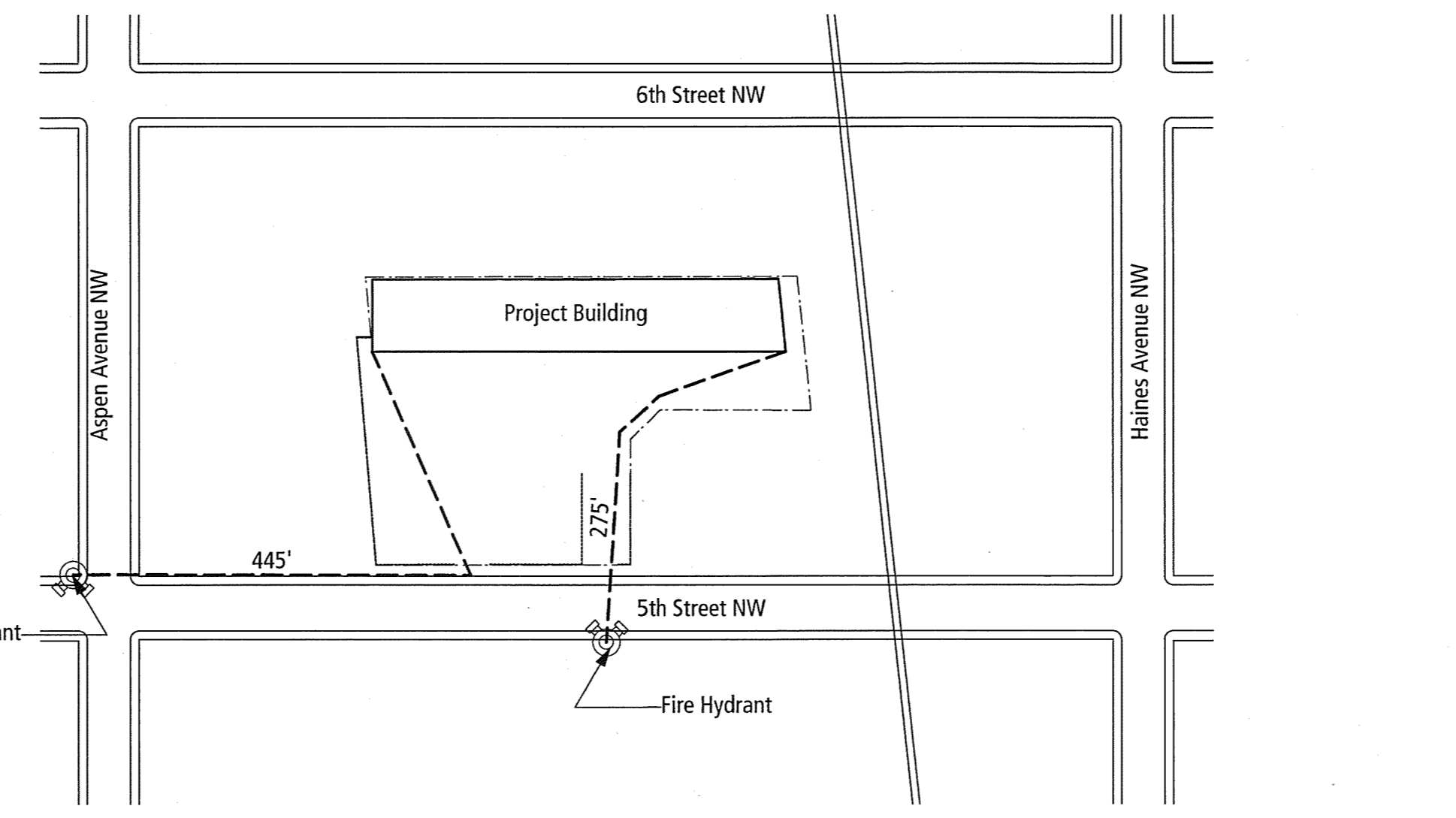


CLEAR SIGHT TRIANGLE
 Landscaping, fencing and signing will not interfere with clear sight triangle. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in clear sight triangle.

NOTE: All site lighting shall conform to Section 14-16-3-9 Area Lighting Regulations of the City of Albuquerque Zoning Code
 (A) The location of the lighting fixture together with its cut-off angle shall be such that it does not directly shine on any public right-of-way or any other residential premises;
 (B) It shall not have an off-site luminance greater than 1,000 footlamberts; it shall not have an off-site luminance greater than 200 footlamberts measured from any private property in a residential zone.
 (C) Where on-site lighting is provided, the location of all light poles shall be indicated on the site plan.
 (D) For sites smaller than five acres, the maximum height of a light pole, measured from the finished grade to the top of the pole, shall be 20 feet.
 (E) For sites five or more acres, the maximum height of a light pole, measured from the finished grade to the top of the pole, shall be 30 feet.
 (F) The maximum height of a light pole, measured from the finished grade to the top of the pole, within 100 feet of a residential zone shall be 16 feet.
 ('74 Code, §9-14-401) (Am. Ord. 36-2002)

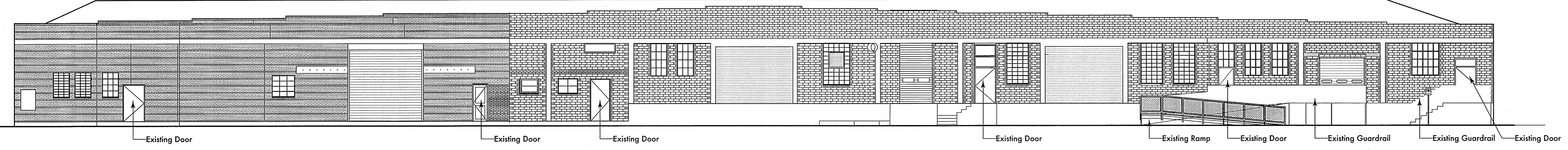


2 HC Sign Detail
 Scale: 3/4" = 1'-0"



1 Site Plan- Fire Hydrant Locations
 Scale: 1" = 100 ft
 Fire Hydrant Locations
 - SW corner of Aspen / 5th Street (290' from driveway)
 - Mid Block 5th Street btwn. Aspen and Haines (40' from driveway)

PROJECT NUMBER: 1003123
APPLICATION NUMBER:
DRB SITE DEVELOPMENT PLAN APPROVAL:
Paul M. Mead 1/11/16
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
Jon E. Stgaard 12/23/15
 UTILITIES DEVELOPMENT DATE
Carol S. Dumont 12-23-15
 PARKS AND RECREATION DEPARTMENT DATE
Alfred 12/23/15
 CITY ENGINEER DATE
 * ENVIRONMENTAL HEALTH DEPARTMENT (conditional) 1-1-16
 DATE
Carol Williams 12-15-15
 SOLID WASTE MANAGEMENT DATE
Paul P. H. 1-1-16
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

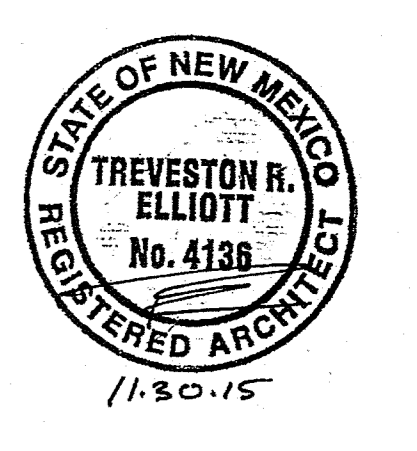


1 East Existing Elevation
 Scale: 3/32" = 1'-0"
 0 8 12 16 FT

HYDRANT AND FIRE ACCESS
 ALBUQUERQUE FIRE MARSHAL'S OFFICE
 PLANS CHECKING DIVISION
 807-2624 CONSTRUCTION TYPE 2
 GWH 1268 NUMBER OF HYDRANTS 2
 APPROVED / DISAPPROVED
 SIGNATURE AND DATE: 12/23/15
 CASE # 629515

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Factory on 5th
 ALBUQUERQUE, NEW MEXICO



Date: January 8, 2016
 REV. January 8, 2016
 Sheet: General Info
 Site Plan
 Landscape Plan
 Elevation

A-081