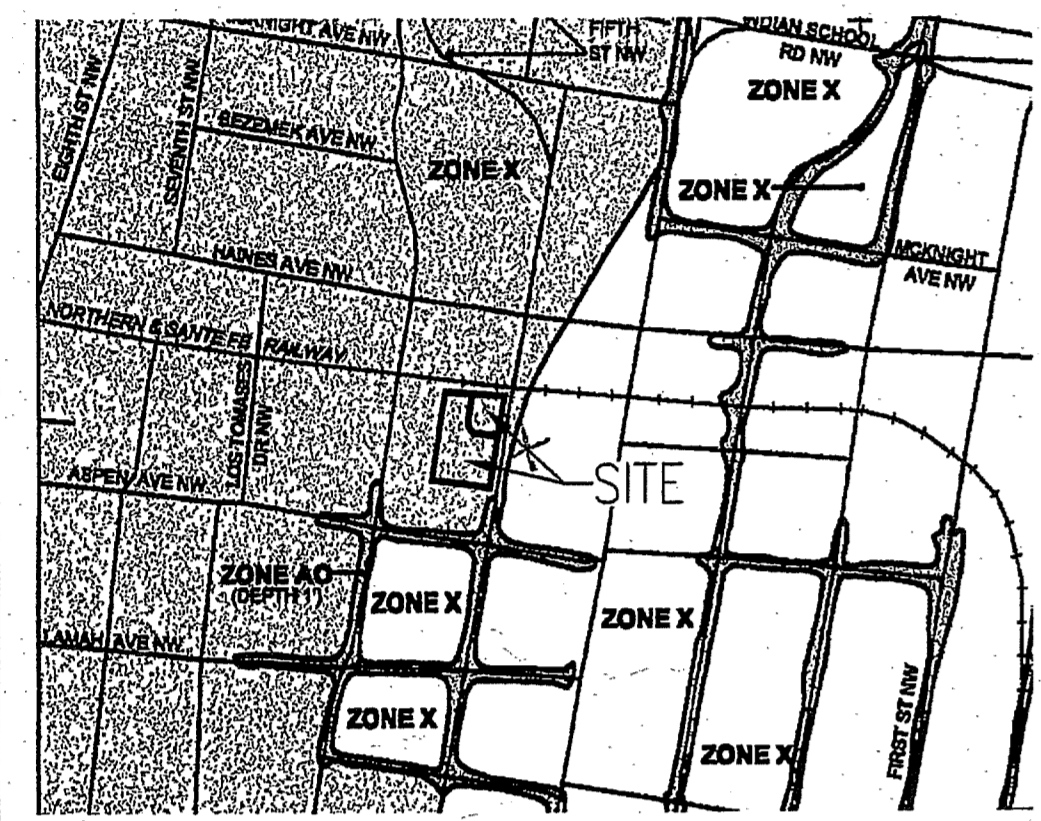




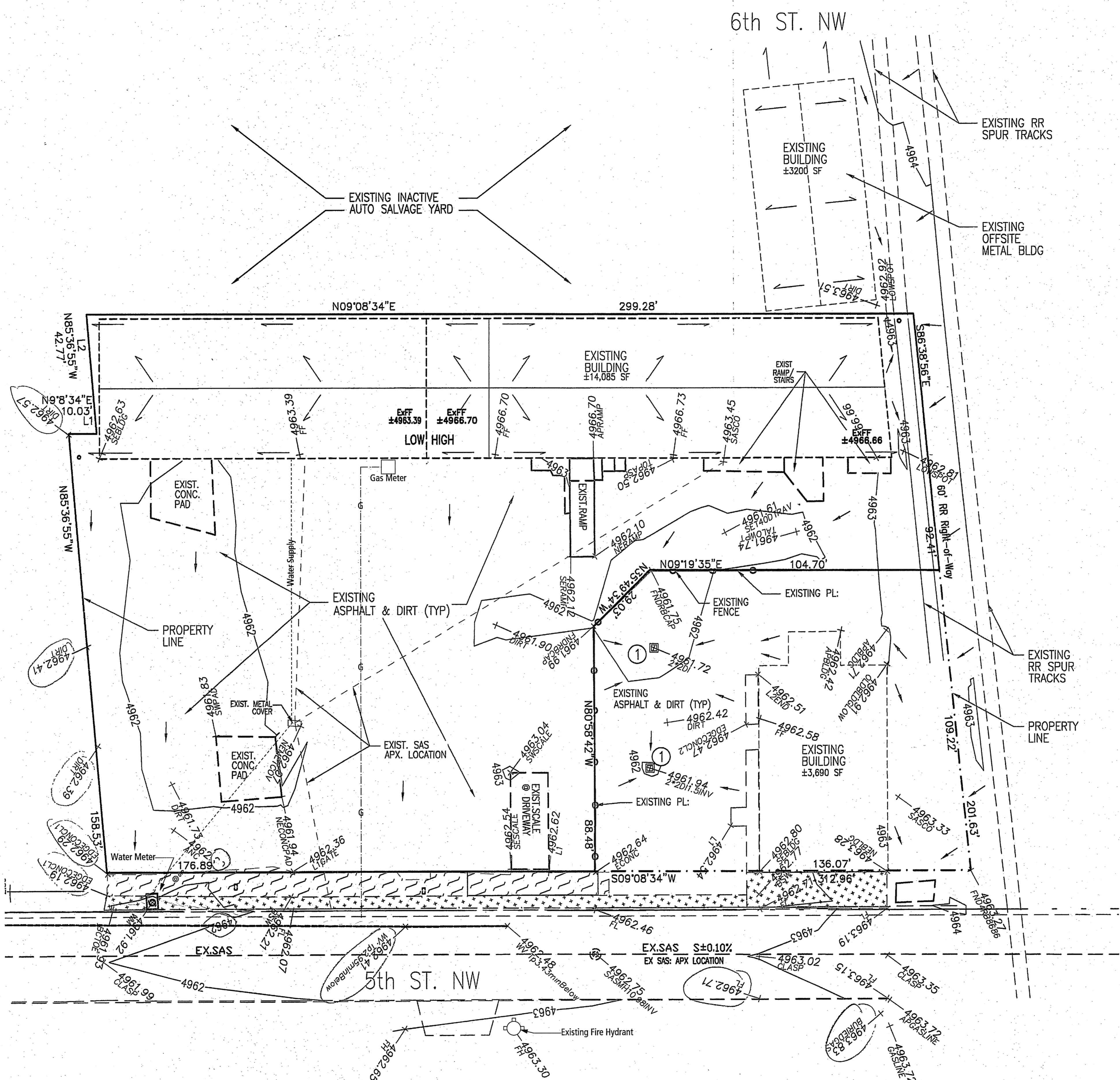
ALBUQUERQUE MAP H-14 NTS



FEMA PANEL 35001C-0332E NTS

**LEGEND**

- EXISTING ITEMS SHOWN DASHED OR OPEN
- TW TOP OF WALL
- INV INVERT
- LP LIGHT POLE
- PP POWER POLE
- T TELEPHONE
- G GAS
- SAS SANITARY SEWER
- SD STORM DRAIN
- W WATER
- E, EX EXISTING: ELECTRICITY
- TA TOP OF ASPHALT
- TP TOP OF PAVEMENT
- FL FLOW LINE
- TC TOP OF CURB / CONCRETE
- SW SIDEWALK
- FF FINISHED FLOOR
- FG FINISHED GRADE
- EG EXISTING GRADE
- X WATER VALVE
- ⊕ WATER METER
- ⊕ FIRE HYDRANT
- 0.0 NEW CONTOURS
- EXISTING CONTOURS
- FLOW DIRECTION
- NEW CURB AND GUTTER
- EXISTING CURB AND GUTTER
- NEW SPOT ELEVATION
- EG34.60 EXISTING SPOT ELEVATION
- EXISTING SIDEWALK TO REMAIN
- EXISTING SIDEWALK TO BE REMOVED. LANDSCAPE PER ARCHITECT.
- X/Y DETAIL X ON SHEET Y
- G Gas Line - Approximate Location
- Water Line - Approximate Location



**GENERAL NOTES:**

1. **PROPERTY LINES:**
2. **PERMITS & INSPECTIONS:** The Contractor is responsible for obtaining all required permits and inspections.
3. **OBSTRUCTIONS:** Prior to construction, the contractor will excavate and verify the horizontal and vertical locations of all construction. Should a conflict exist, the contractor will notify the Construction Engineer so that the conflict can be resolved with a minimum amount of delay.
4. **IMMEDIATELY FIELD VERIFY & RECORD** for the engineer the horizontal and vertical locations in the ROW behind the curb, and the pipe size and material, of the existing SAS services on the west side of 5th St.
5. **CONTRACTOR'S GOOD SENSE AND JUDGMENT:** The Contractor is expected to use his good sense and judgment and to bring to the Engineer's attention ALL issues that need resolution, BEFORE proceeding to final layout or construction. This relates to any oddities or apparent omission as well as to actual conflicts.
6. **SPECIFIED PRODUCTS:** Contact the engineer for approval before substituting for products specified. It is likely that equivalent products will be acceptable and that lesser products will not.
7. **DESIGN CHANGES:** Consult with the Engineer before making changes to the Plans. The Plans as designed address both practical and regulatory issues. Generally the Engineer expects the project to be built as designed.
8. **ELECTRONIC VERSION AVAILABLE TO CONTRACTOR.** The Engineer is willing to make an electronic version of these plans available to the Contractor for his use in constructing this project only. The electronic version may contain information not included on the plotted construction drawings. The plans were developed in plain AutoCAD 2005.
9. **ONLY C.O.A. WATER SYSTEM PERSONNEL** are authorized to operate water valves within the City right of way.
10. **ALL BACKFILL** to be 95% of maximum per ASTM D1557 (modified Proctor) EXCEPT that backfill in landscape areas to 90% and the upper portion of the fill to be prepared in accord with the landscape plans.
11. **PRIVATE FIRE LINE:** Restrain all joints and fittings. 3 FT MIN COVER.
12. 2 FT MIN COVER over water service lines onsite.

**LEGAL DESCRIPTION:**

TRACTS 1 & 2, LANDS OF DEVEREUX AND WATSON, (ALBUQUERQUE) BERNALILLO COUNTY, NEW MEXICO

**GENERAL NOTES THIS SHEET:**

1. **PROPERTY LINES:** Property lines shown are those at the time of design. The 2 tracts need to be replatted to reflect the proposed work.
2. **GRADING WARNING:** Near existing features, new grades are to be considered in relation to nearby existing grades, such as finished floor or top of concrete. DO NOT rely on the working benchmark in these locations.

**(X) KEYED NOTES:**

1. EXISTING CATCH BASIN TO REMAIN. (?FRENCH DRAIN?)

BENCH MARK: ACSC 424, Elev. 4949.58  
 TBM (Temporary Bench Mark): Manhole in 5th St apx. opposite NE property corner, elevation 4962.73

<b>PER SE ENGINEERING</b> <i>Drainage, Utilities, and Site Design</i> 2116 Lead Ave. SE Albuquerque NM, 87106 505.232.9394	
<b>FACTORY ON 5</b> 1715 5th ST. NW, ALBUQUERQUE NM	
<b>EXISTING CONDITIONS AND GENERAL INFORMATION</b>	<b>SHEET A-082</b>