

SITE PLAN FOR SUBDIVISION REQUIRED INFORMATION

Site: Approximately 300 acres, zoned SU-1 for Airport and Related Facilities
 Proposed User: Airport Related Industrial, Office, Retail, Warehousing, and Manufacturing (See Permissive Uses, Sheet 2) with the approval process as follows:

Application Number: 08EPC-02054
 Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN APPROVAL:

TRANSPORTATION DIVISION
 Date: 12-8-04
 UTILITIES DEPARTMENT
 Date: 12-8-04
 PARKS AND RECREATION DEPARTMENT
 Date: 12/16/04
 CITY ENGINEER
 Date: 12/18/04
 DRB Chairperson, Planning Department
 Date: 12/08/04

In accordance with the City Council Designation of Double Eagle II as a "Certified Site" and with the provision of the Design Standards included in this Site Plan for Subdivision, future Site Development Plans for Building Permit shall be delegated to Development Review Board (DRB) and shall not require a public hearing provided they are consistent with this Site Plan for Subdivision and Design Standards. **A TS SHALL BE REQUIRED FOR FURTHER DEVELOPMENT.**

Pedestrian and Vehicular Ingress and Egress:
 Access: The primary access to the Aerospace Technology Park (ATP) is from Pasado del Volcan (old), which is identified as a Minor Arterial on MRCOG's Roadway Functional Classification Map. Pasado del Volcan provides access south to Interstate 40 and north to Pasado del Norte. Access to the ATP is from Pasado del Volcan via the Shooting Range Access Road (the southern boundary of the ATP), and north via Aerospace Parkway.
 Roadways: It is anticipated that Aerospace Parkway will be an 86-foot right-of-way (to be dedicated with future platting). It is further anticipated that access into specific development areas will be from a series of cul-de-sac streets with 60-foot rights-of-way. Specific rights-of-way width for Aerospace Parkway and the cul-de-sacs shall be determined before final approval at the Development Review Board. The cul-de-sac streets also function as the primary utility corridors and will accommodate water, sewer, and storm drains.
 Pedestrian Access: Access shall be accommodated through the development of 8-foot trails along the north side of Shooting Range Access Road and on both sides of Aerospace Parkway. An additional 10-foot trail and landscape easement shall be provided in order to allow the trail to meander and maintain a minimum setback of 6-feet from the roadway. The cul-de-sac streets will be developed with City standard sidewalks on both sides.
Internal Circulation: In addition to the primary vehicular and pedestrian circulation system, the ATP is designed to accommodate a secondary circulation network for service and delivery directly from sites to Eclipse Aviation and a private taxiway network connecting to the Double Eagle II Airport Taxiway system. Both of these have been designed without conflict with the roadways.

Minimum Building Height:
 Maximum building height shall be pursuant to the City IP Zone and Federal Aviation Administration regulations.
Minimum Building Setback: 50-feet from Aerospace Parkway, 35-feet from secondary, cul-de-sac streets; 25-feet from the property line of adjoining properties; and 30-feet from the taxiway or service/delivery pavement.
Maximum Floor Area Ratio: 30

Landscape Plan: The landscape emphasis shall be on Aerospace Parkway and the public areas of the ATP (See Design Standards, Sheet 2 for more specific Standards).

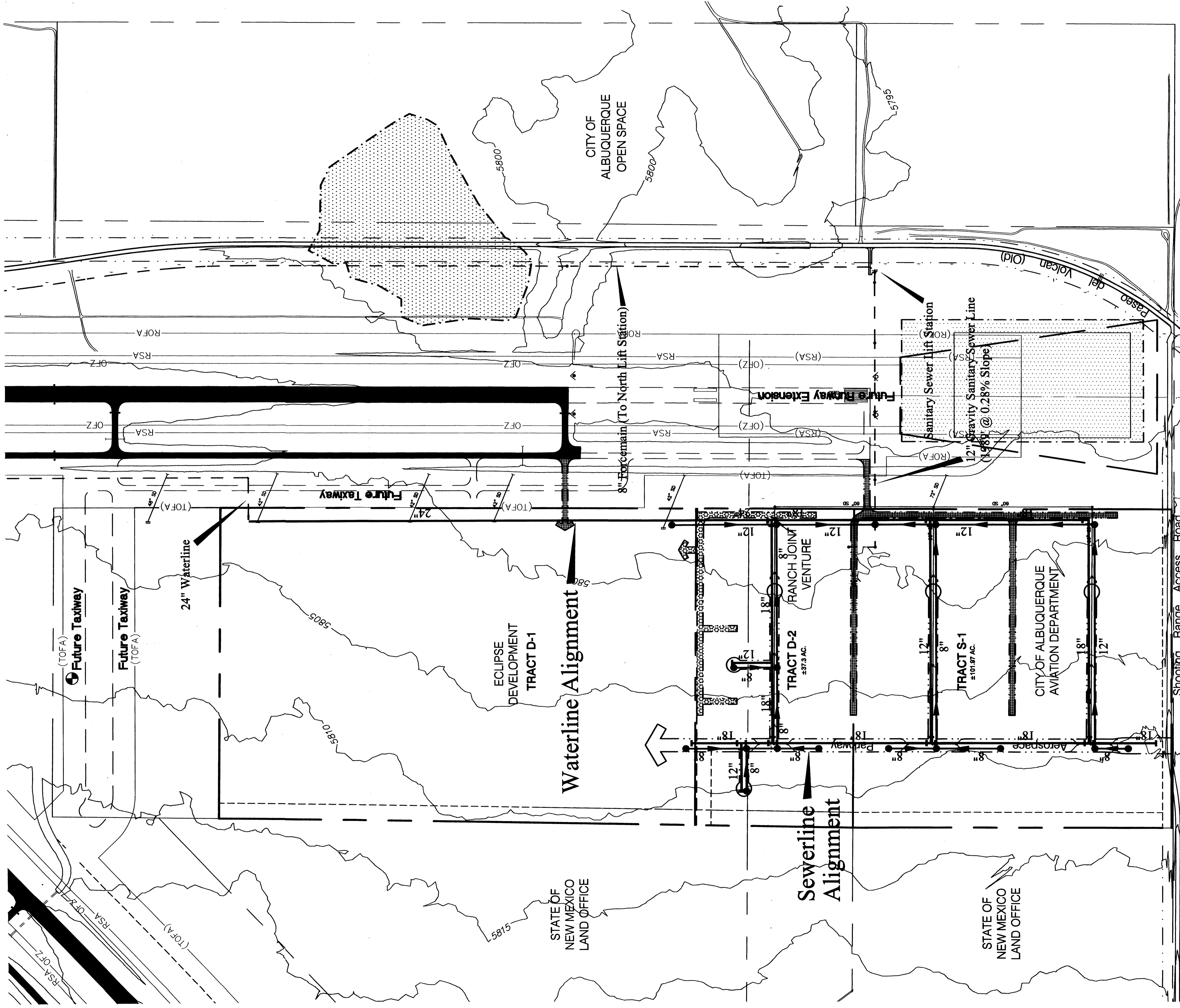
NOTE:
 Lot Lines shown on this Site Plan for Subdivision are illustrative, and shall be defined in subsequent Platting and Site Plans for Building Permit.

Site Plan for Subdivision
**Aerospace
 Technology Park**

Prepared for:
 City of Albuquerque Aviation Department
 Ranch Joint Venture, Ltd.
 Eclipse Aviation

Prepared by:
 Consensus Planning, Inc.
 Molzen-Corbin & Associates





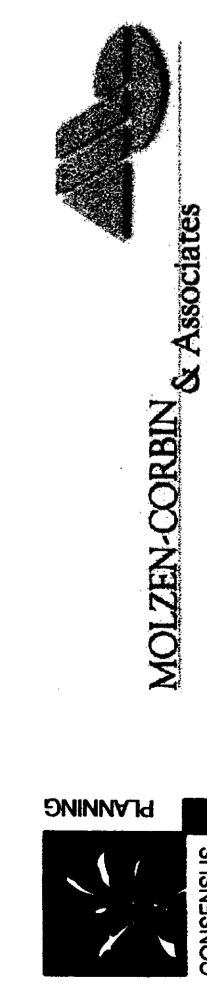
WESTLAND NORTH
(FUTURE PLANNED COMMUNITY)

Preferred Utility Alignment
**Aerospace
Technology Park**

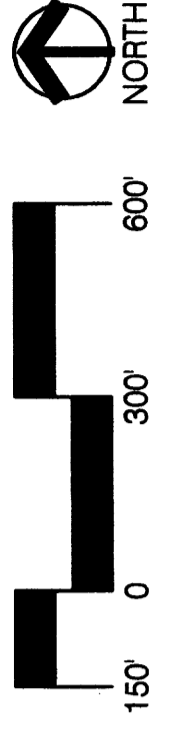
- Legend**
- 8" Proposed Sanitary Sewer Line
 - 12" Proposed Waterline

Prepared for:
City of Albuquerque Aviation Department
Ranch Joint Venture, Ltd.
Eclipse Aviation

Prepared by:
Consensus Planning, Inc.
Molzen-Corbin & Associates



SCALE 1" = 300'



1. FRAMEWORK

In order to implement the City's Economic Development Goals, it is crucial that this project include an expedited approval process for specific development projects. In accordance with the City Council designation of Double Eagle II as a "Certified Site" and with the provision of the Design Standards included in this Site Plan for Subdivision, Future Site Development Plans for Building Permit shall be delegated to the Development Review Board (DRB) and shall not require a public hearing provided they are consistent with this Site Plan for Subdivision and Design Standards.

The Eclipse Aviation property (hereinafter most 150 acres) is not governed by the following design standards. Eclipse Aviation shall prepare a separate Site Development Plan for Subdivision and Design Standards to be reviewed and approved by the Environmental Planning Commission (EPC) as part of Eclipse Aviation's internal master planning.

2. PERMISSIVE USES

A. SU-1 FOR AIRPORT AND RELATED USES

This score provides suitable sites for a wide range of industrial and commercial uses, provided such uses are conducted in a compatible and harmonious manner within the Aerospace Technology Park at Double Eagle II Airport achieved through a Site Development Plan for Subdivision.

■ PERMISSIVE USES:

- 1) Air separation plant for nitrogen, oxygen and argon only.
- 2) Aircraft sales and service, aircraft storage, and aircraft manufacturing *
- 3) Boeing plant.
- 4) Cold storage plant.
- 5) Golf driving range.
- 6) Laboratory experimental testing, or medical, provided all activities are conducted within a completely enclosed building. Noxious fumes, odor, or dust shall not be emitted from the premises.
- 7) Machine Shop.
- 8) Manufacturing, assembling, treating, repairing, or rebuilding articles provided manufacturing is conducted within a completely enclosed building.
- 9) Metal processing and painting provided it is conducted within a completely enclosed building.
- 10) Office.
- 11) Office machine equipment sales and repairs.
- 12) One dwelling per premises for a watchman or caretaker on the same premises with commercial or industrial use.
- 13) Printing, publishing, lithographing, blueprinting or photosetting.
- 14) Public utility use or structure and fire stations.
- 15) Retail sales of the following goods, plus incidental retailing of related goods and incidental services or repair:
 - (a) Books, magazines, newspapers, except adult bookstores.
 - (b) Confectioneries, notions gifts.
 - (c) Drugs, medical supplies.
 - (d) Flowers and plants.
 - (e) Food and drink, for consumption on premises.
 - (f) Gasoline, oil, liquefied petroleum gas.*
 - (g) Sales & display rooms or buildings for wholesalers, distributors, warehouses, or manufacturers.
- 16) Services:
 - (a) Automobile repairing, but no bodywork; repairing shall be done within a completely enclosed building at least 20 feet from any residential zone.
 - (b) Banking, learning money, including pawn. Drive-in facilities permitted on the condition the vehicle movement plan is approved by the City Traffic Engineer.
 - (c) Barber, beauty.
 - (d) Clinic.
 - (e) Day care center.
 - (f) Dry cleaning, laundry, clothes pressing.
 - (g) Hotel or motel, including incidental uses.
 - (h) Photography, except adult photo studios.
- 17) Signs on-premises as provided in § 14-16-3-5 of the City Comprehensive Zoning Code, and as regulated by the Design Standards included as part of the Site Plan for Subdivision:
 - 18) Signs on-premises as provided in § 14-16-3-5 of the City Comprehensive Zoning Code, and as regulated by the Design Standards included as part of the Site Plan for Subdivision.
 - 19) Street metal working.
 - 20) Swimming pool.
 - 21) Warehouse.
 - 22) Wholesale.

* Uses that compete with the activities of the existing Fixed Base Operators (FBO's) at Double Eagle II Airport, as determined by the City of Albuquerque Aviation Department, shall not be permitted including: dispensing of aviation fuels and lubricants, ground services and support; tie-down, hangar and parking; aircraft maintenance; aircraft rental; flight training; and aircraft charter and air taxi, unless conducted as an ancillary use in conjunction with the primary business (i.e. Eclipse Aviation will most likely have fueling capabilities, aircraft maintenance, hangar space and flight training in conjunction with their primary business of manufacturing and selling airplanes).

3. DESIGN STANDARDS

A. INTRODUCTION

These Design Standards are established to provide planners and designers with a design framework to accomplish the following:

- Create an attractive built environment that promotes opportunities for industrial Airpark activities.
- Define a common image for architectural and landscape design, while still providing a broad palette for unique innovation.

B. ARCHITECTURAL CONTROL COMMITTEE

An Architectural Control Committee (ACC) will be established by the ATP and, in conjunction with the City of Albuquerque Aviation Department, be responsible for the enforcement of the following design standards. Rules and procedures shall be created to govern the performance of the ACC separate from this document.

C. STREETScape

The development of a bold and dynamic entry and streetscape is essential to defining the image for the ATP that places it at the forefront of today's industrial airparks. The streetscape will provide a unifying element that ties together the vast and diverse development potential of the project.

- Easements shall be provided. In addition to the dedicated light-duty, to provide flexibility for entry, monumentation, landscaping, trail/cyclewalk development, other pedestrian amenities, and opportunities for screening. Easements shall be as follows, and as identified on the Landscape Master Plan:
 - 10 feet minimum on the north side of Shooting Range Access Road.
 - 10 foot buffer area on north side of the Ranch Joint Venture property, adjacent to Eclipse Aviation.
 - 10 feet (defined on the Site Plan for Subdivision and Plat) on the east and west side of Aerospace Parkway for use as a recreational area.
 - 15 feet on each side of Cui-de-sacs A, B, C, and D.
 - 75 feet by 75 feet at the intersection of Paseo del Volcan (old) and Shooting Range Access Road and at the intersection of Shooting Range Access Road and Aerospace Parkway, for development of the primary entry.

- Street trees shall be provided at an average spacing of 25 feet on-center along Shooting Range Access Road and Aerospace Parkway, and at an average spacing of 30 feet on-center on all other roads. Trees shall be provided in medians at an average spacing of 50 feet on-center (only includes landscapeable length of median).
- Living plant materials shall cover a minimum of 75 percent of the required landscape area.
- Low water, use turf may be provided at a maximum of 40 percent of the landscape area.
- High water, use turf is restricted to active recreational areas or park space within the ATP.

- Materials for the separation of turf and planting beds may be concrete, brick, or similar quality material. Steel edging is not allowed.

D. PARKING

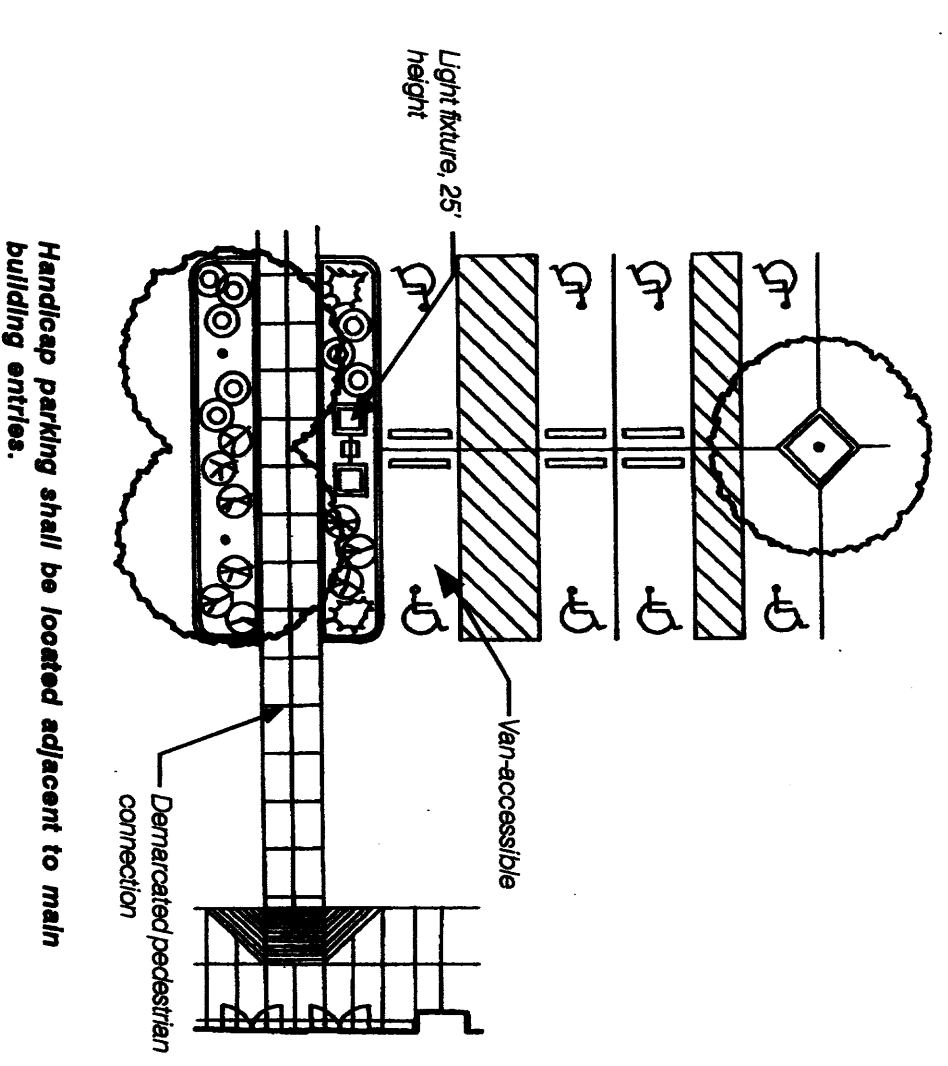
The intent of the standards for the development of parking areas is to: mitigate heat/drain through the provision of landscaping; minimize the visual impact of parking areas; and provide accessible, safe circulation within and adjacent to the parking areas.

- No on-street parking shall be permitted along Aerospace Parkway.
- Parking space standards shall be per the City of Albuquerque's Comprehensive Zoning Code.
- For office and retail use, a minimum of one parking space per 200 square feet of net leasable space on the ground floor; one parking space per 300 square feet of net leasable space in the basement area; and on all floors above first floor is required. No maximum parking limit is established with this Plan.
- Large parking areas visible from the public street shall be broken into smaller parking areas of 100 or fewer spaces.
- Larger employee parking areas are permitted provided they are completely screened from the public street and separated from visitor parking (which should be located at the front of the building).

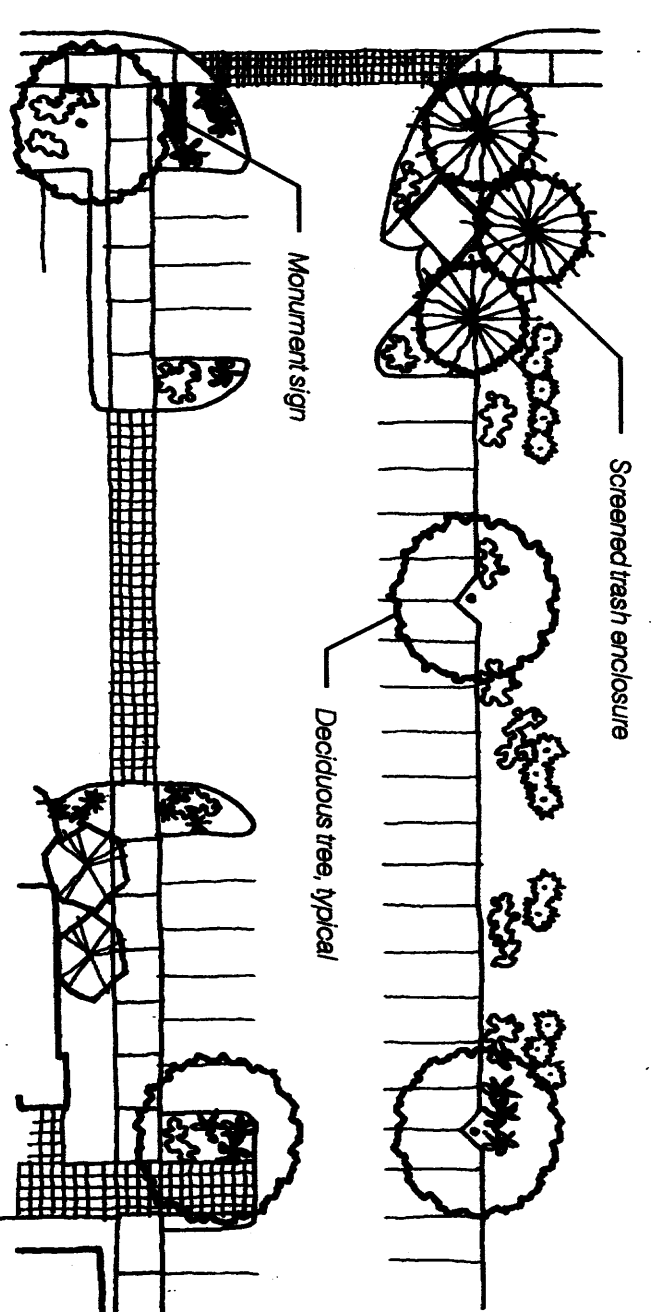
- Parking areas may be enlarged and/or reduced in order to accommodate shift scheduled uses as approved by the ACC.

■ Clear pedestrian connections shall be provided through parking areas at a minimum width of 6 feet and shall be clearly demarcated with slightly raised and/or textured paving where they cross vehicular entrances and drive aisles. Shade trees shall be provided along pedestrian walks at approximately 25 feet on center.

- ADA-compliant parking shall be located adjacent to main building entries.



- Sidewalks and/or pedestrian paths that are perpendicular and at the front of parking spaces shall be protected from overlapping cars by permanently anchored fire stops, bollards, or raising the walkway to provide for a 6-foot wide, clear pedestrian area.
- Landscaped islands shall be distributed throughout parking areas. Parking areas visible from the public street shall include at least one tree for every six parking spaces, and the maximum distance from any parking space to a tree shall be 50 feet. Trees located within 8 feet of the perimeter of the parking area may be counted toward this requirement, but may not be used to fulfill street tree requirements.



Parking areas visible from the street shall have one tree for each six parking spaces

- Parking areas not visible from the public street (employee parking) shall include at least one tree for every 10 parking spaces, with the maximum distance from any parking space to a street being 100 feet.
- A minimum of 75 percent of parking lot trees shall be large canopied deciduous trees to provide shade during the summer months.
- Parking shall be screened from adjacent public streets. Screening may include earth berms, perimeter or retaining walls, landscaping, or buildings.
- Car/vanpool preferred parking shall be provided near building entrances and shall be clearly demarcated.

E. BICYCLE FACILITIES

Providing convenient bicycle facilities to encourage non-vehicular travel to the ATP will be integral to the Plan's goal of supporting alternative modes of transportation to the ATP.

- Bicycle parking for employees shall be provided to promote alternative vehicle use. One bicycle rack space per 20 parking spaces is required, and shall be conveniently located near building entrances, but not within pedestrian pathways or landscape areas.
- A covered and secured bicycle storage area that is a minimum of 200 square feet shall be provided for each building over 35,000 square feet. For sites with more than one building meeting this threshold, the required secured bicycle and storage areas may be combined in one central location.
- A convenient shower facility available to bicyclists and other employees shall be provided for each building over 50,000 square feet. For sites with more than one building meeting this threshold, the required shower facility may be combined in one central location.

F. SITE LANDSCAPE

The landscape environment serves to enhance the visual dynamic of the development and aid in reinforcing the street edge and pedestrian environment. The primary focus for site landscape shall be the area fronting public streets and cul-de-sacs. Vegetation is located along the aviation side of development, including apron areas and land adjacent to the taxiway.

The plant palette for the ATP will provide for year-round color and interest, and reflect the natural beauty of New Mexico. Landscape elements, such as street furniture, lighting, bollards, and graphic options shall be used to reinforce the street edge. A clear theme and image for the ATP will be established through the use of these materials, as well as consistent paving materials, plantings, signage, etc.

- All landscape plans shall comply with the City's Water Conservation Ordinance and Pollen Ordinance.
- Water harvesting techniques are encouraged.
- A minimum of 15 percent of the developed site area (minus building square footage) shall be devoted to landscape materials.
- Future development areas within a site shall be maintained in their natural condition. If these areas are disturbed, they shall be revegetated with native seed mix appropriate for this region.
- Trees shall be provided at an average density of 1 tree per 1,500 square feet of landscape area.
- Live plant materials shall cover a minimum of 75 percent of all required landscaped areas.

- Landscape headers shall be used to separate turf and planting beds. Headers may be concrete, brick, or other similar quality material.
- Gravel mulch, cobble, and similar materials are acceptable as a top dressing for landscape areas, however, they are not to be considered a focal landscape element.
- An automatic underground irrigation system is required to support all site landscape. The system shall be designed to avoid overspraying onto walks, buildings, fences, etc.
- All plant material shall be maintained by the Owner or Tenant in a living, attractive condition. All areas shall be maintained free of weeds.
- Minimum plant material sizes at the time of installation shall be as follows:
 - Canopy trees - 2" caliper B&B
 - Evergreen trees - 8-foot minimum height
 - Accent trees - 1 1/2" caliper B&B
 - Shrubs and groundcovers - 1-gallon minimum

G. SITE PLANNING

The intent of the following guidelines is to create pedestrian-friendly environments for employees and visitors. A goal is to enhance the opportunities for interaction between Double Eagle II Airport and the ATP.

- As individual parcels are created, cross access easements shall be provided between adjoining parcels.
- An outdoor patio space (minimum 250 square feet) shall be provided for any buildings greater than or equal to 10,000 square feet. For sites with more than one building, shared patio areas are permitted.
- Patios, piazzas, courtyards, and other outdoor activity or seating areas shall be shaded (25 percent minimum, 50 percent maximum) from summer sunlight by tree canopies and/or shade structure that is architecturally integrated with the building.
- A sidewalk with a minimum width of 8 feet shall be provided along the front of buildings that are less than or equal to 35,000 square feet. A sidewalk with a minimum width of 15 feet shall be provided along the front of buildings that are greater than 35,000 square

feet. These sidewalks shall be shaded with architecturally integrated awnings, porails, or canopies, or by trees planted at intervals of 25 feet in patterns with a minimum interior dimension of 5' x 5'.

- Pedestrian connections (minimum 6-foot clear path) shall be provided from each building to the internal circulation system and to adjacent roadways. Shade trees shall be provided along the pedestrian connection at an interval of 25 feet in patterns that have a minimum interior dimension of 5' x 5'.

- A continuous sidewalk with a minimum width of 6 feet shall be located around the perimeter of buildings that are greater than 4,000 square feet.

- Paving of primary, pedestrian connections and primary outdoor activity areas shall use patterned, stained or integrally colored concrete, and/or concrete laid with tile.

- Asphalt paving shall only be used in parking/service areas and bicycle trails. The design of all trails shall comply with the ASHTO 1999 Guide for the Development of Bicycle Facilities, and shall be coordinated with the City's designated Trails Planner.

- Stabilized crusher fine surfaces may be considered for secondary pedestrian pathways or plazas.

- Perimeter walls, if provided, shall comply with the City's Design Manual for Subdivision Access and Perimeter Walls. Chain-link is allowed for airport security fencing purposes, as well as where out of public view. The use of razor or barbed wire, wood fencing, or plastic vinyl fencing is not permitted unless required by airport regulations.

H. COMMONS AREA

The Commons Area is intended to be attractive, lively, pedestrian-friendly, and a useful asset to the community. It not only provides a landscape buffer along Aerospace Parkway, but also provides for a continuous trail system to benefit the tenants of the ATP. The Commons Areas will be maintained by a tenants' association.

- Parking lots between buildings and the Commons Area shall be screened with low screen walls.
- Asphalt trails, 8 feet in width, shall be required through the Commons Area.



The Commons Area along Aerospace Parkway shall include an 8 foot meandering trail, with trees planted at an average spacing of 25 feet on-center.

- The landscape plans for the Commons Area must comply with the City's Water Conservation Ordinance and Pollen Ordinance.
- A minimum of 50 percent and a maximum of 75 percent of the site area shall be covered with low water, use turf grasses for recreational activities.

- Landscape headers shall be used to separate turf areas and planting beds. Headers shall be 6' x 6' concrete, or other similar quality material.

- Gravel mulch, cobble, bark, and similar materials are acceptable as top dressing for landscape areas, however, they are not to be considered a focal landscape element.

- An automatic underground irrigation system is required to support all landscaping. The system shall be designed to avoid overspray onto walks, buildings, fences, etc. Irrigation components shall be checked periodically to ensure maximum efficiency.

- All plant material shall be maintained by the Tenants' Association in a living, attractive condition. All areas shall be maintained free of weeds.

I. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes and provide a safe and compatible environment for aircraft, service vehicles, and pedestrians throughout the ATP. Required within these setbacks will be pedestrian walkways, screening devices, and landscape improvements.

- Buildings shall be located according to the following minimum setback dimensions:
 - 50 feet from the right-of-way line of Aerospace Parkway
 - 35 feet from the right-of-way line of Secondary Roads
 - 25 feet from the property line of other adjacent properties
 - 35 feet from existing pavement
 - Not closer to the airfield than the Building Restriction Line as shown on the Airport Layout Plan, 2003
 - Maintain clear line of site from air traffic control tower controller positions to airfield pavements on the airfield.
- Parking areas shall be setback as follows:
 - 25 feet from the right-of-way line of Aerospace Parkway
 - 15 feet from the right-of-way line of Secondary Roads (cul-de-sacs)
 - 10 feet from the property line of other adjacent properties

J. ARCHITECTURE

In general, all buildings shall comply with the current City of Albuquerque Zoning Code. However, in cases where the ATP requirements exceed the Zoning Code, the ATP standards will govern. The focus of these architectural standards and guidelines is on the front facade of building facing the public right-of-way.

Development Details

Infrastructure for the ATP is currently master planned for an overall Floor Area Ratio (F.A.R.) of 30. Individual sites should be planned accordingly.

Building Heights

Building height limits will be enforced in accordance with the City of Albuquerque Zoning Code for the C-1 zone. The Federal Aviation Administration (FAA) limits building and signage heights to below Federal Aviation Regulation (FAR) Part 77. Objects Affecting Navigable Airspace, surfaces including a 7:1 (horizontal to vertical from a distance 250 ft from runway centerline). Terminal Surface and the Horizontal Surface located 150 ft above airport elevation. Additionally, FAA FAR Part 77 states that any structure penetrating the plane created by a 100:1 sloped surface beginning at the nearest point of the nearest runway must be sited by FAA in accordance with Part 77. Notification is required by comparing and submitting SF-7450, Notice of Proposed Construction of Alteration, to the FAA for review and air spacing.

Building Entrances

- The major public entry to each building should face the "fronting street" that is established by the business address.
- The front facade of all buildings shall have architecturally integrated awnings, canopies, or porails along 50% of facade length to provide shade and shelter to pedestrians, and a sense of arrival. Alternatively, shade trees may be provided at intervals of 25 feet in plants with a minimum interior dimension of 5' x 5'. Special consideration shall be given to roof structures, including materials.
- Entries shall be clearly defined and connect to pedestrian linkages.
- Entrances shall be distinguished by lighting in order to enhance the perception of surface variety.

Service/Landing Areas

It is assumed that most, if not all, buildings in the ATP will have a service and/or a loading area. All service functions, with the exception of airplanes viewed from taxiways, shall be screened from public view. This includes but is not limited to: exterior refuse facilities, mechanical equipment, storage yards, and loading docks. Screens should be visually solid and be compatible with the overall building design, color, and primary materials.

Aerospace Technology Park

Prepared for:
City of Albuquerque Aviation Department
Ranch Joint Venture, Ltd.
Eclipse Aviation

Prepared by:
Consensus Planning, Inc.
Molsen-Corbin & Associates

Aviation Storage and Parking Areas

- Many ATP sites are located adjacent to the airport, taxiway system or service corridors. Sites along taxiways and service corridors are assumed to support aviation related activities which may require the storage of aircraft on-site. All areas related to on-site aircraft should be screened from view on all sides. This includes but is not limited to: exterior storage facilities, aircraft maintenance areas, and aircraft loading areas. Screens should be visually solid and be compatible with the overall building design, color, and primary materials. Landscape materials may be used as visual screens.

Context

- New buildings should be designed to harmonize with adjacent buildings.
- Building Articulation/Design**
 - Buildings should convey an image appropriate to a state-of-the-art industrial airport facility.

- Buildings should be sensitive to the local character of the region and the vernacular elements of buildings.
- Edge treatments shall "step down" to relate to the scale of pedestrians; reduce the scale of the building edge by stepping down to the street. It is encouraged that building masses be arranged in order to cast shadows on each other to emphasize the contrast of light and shaded surfaces at corners and edges.

- The front building facade shall employ variety in structural forms to create visual character and interest. With the exception of hangar doors, front facades should have varied front setbacks, with wall planes, not running in one continuous direction for more than 100 feet without a change in architectural treatment (i.e., 3 foot minimum offset, fenestration, material change, etc.)
- Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and cupolas, breezeways, and scrolls shall be carefully dimensioned and detailed to provide a human scale and visual interest.
- Extended architectural detailing on the ground floor in an elevational band from 0 to 10 feet, such as a change in color or texture, the architectural expression expansion joints as reveals, door and window articulation and architectural accents, is required.
- Special attention shall be given to the articulation of aircraft hanger facilities through use of color, materials, or building offsets. Metal structures are acceptable, however, they must visually tie to other building elements, such as the front office, storage areas, etc.

Equipment

- All roof top equipment and apertures shall be below the top of the parapet, or architecturally screened with a visually solid surround that is compatible with the predominant building materials and color. Roof penetrations that are not architecturally screened with a visually-solid surround shall be painted to match roof color or general building color.
- All ground-mounted equipment shall be architecturally screened and enclosed, with the top of the equipment below the top of the screen. This includes, but is not limited to: water backflow preventers, gas meters, electric meters, exposed conduit, cabling, and wiring.

Portable Buildings

- All plans for portable buildings must be submitted to and approved by the ACC.
- All portable buildings, both temporary (buildings on site for less than 1 year) and permanent (buildings on site for more than 1 year) must be screened from the public street with opaque walls, fencing, and/or landscaping.
- Permanent portable buildings must be finished to match the primary materials of the overall building.

Materials and Colors

- Buildings should convey solidity and durability and employ high quality materials. Materials and colors should pay homage to the vernacular architecture of the area. Acceptable materials include: stucco, concrete (sand blasted or finished surface), stone, split face block, burnished block, glass curtain wall, glass block, brick, exterior ceramic tile, painted metal, and EIFS. Architects shall use those materials traditionally used in the Albuquerque or New Mexico area.
- Acceptable colors include those taken from the native New Mexican landscape palette, such as Sand, Terracotta and Sage Green. Colors shall be the inherent color of rather than from application of color (painted), except when used as an accent color.
- Prohibited building materials include the following:
 - Plastic or vinyl building panels, awnings, or canopies
 - exposed, untreated precision block or wood
 - highly reflective surfaces
 - materials with high maintenance requirements

- Special consideration shall be given to roof structures. The use of contrasting colors between roofs and walls is encouraged to help differentiate the planes of building masses.
- The use of accent colors and materials is encouraged to bring out detailing to better articulate or give scale to a building, including glazed tile, wood trim, tile roofing, painted metal, etc.
- The entry monument theme shall be repeated throughout the ATP, relative to color and materials for individual building monument signs.

Sustainability

- Green architectural design is encouraged. The ATP promotes the use of sustainable design principles, environmentally-responsible building concepts, and earth-friendly products.

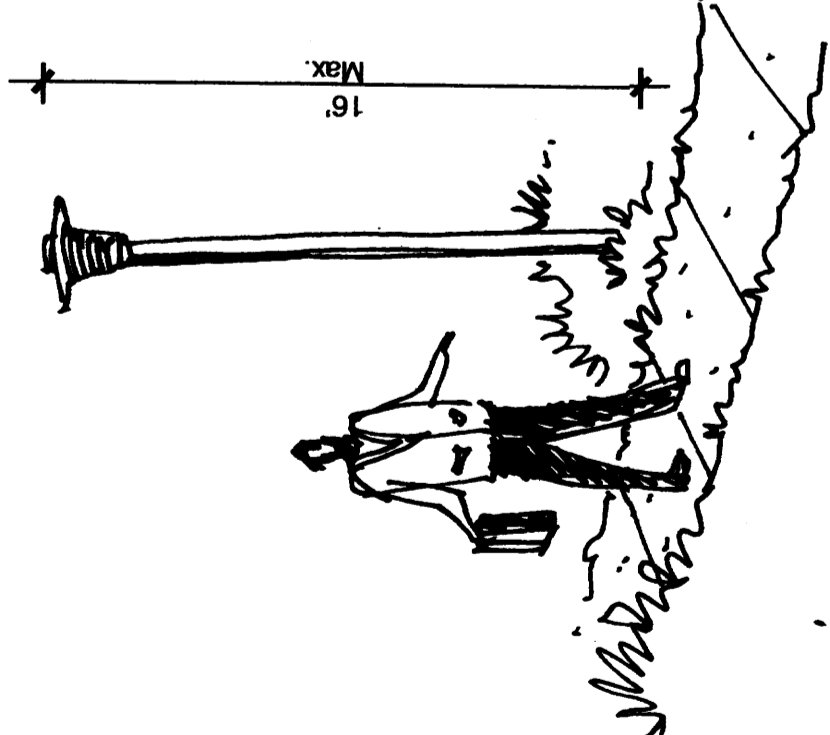
Plan Arrangement Opportunities

- Open courtyard designs shall be employed in order to form transitions between parking areas and building facades. Building access and entries should be visible from the street through open passages (such as garden courts).

K. LIGHTING

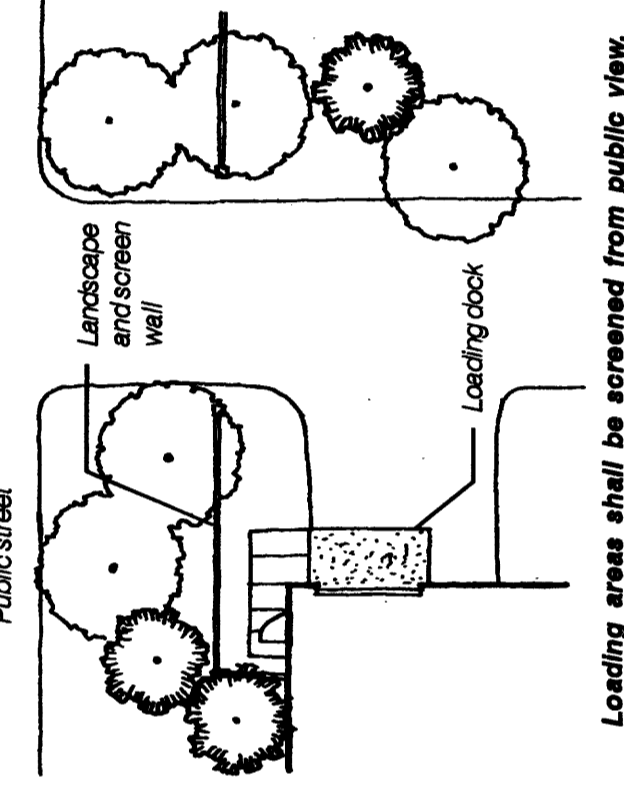
A consistent theme for the lighting fixtures within the streetscape and common areas of the ATP will contribute significantly to the ATP's overall aesthetic character. Safety and security should be the primary design consideration, as well as the daytime appearance of the light fixtures.

- Lighting shall be fully shielded horizontal lamps so that no fugitive light may escape beyond the property line and no light source shall be visible from the site perimeter.
- Height standards for light fixtures are as follows:
 - Streights shall not exceed 25 feet
 - Parking area light fixtures shall not exceed 24 feet
 - Lighting fixtures for walkways and entry plazas shall not exceed 16 feet
- Lighting shall not impinge upon allied sight planes. Lighting shall not be directed at aircraft movement areas, runway approaches, or aviation towers.
- Controlled, directional lighting should be used to highlight public spaces and walkways. The use of walkway level lighting, such as wall pocket or bollard lights, is encouraged to accent pedestrian areas.
- Fixture style and design should be compatible and consistent with the lighting design of other projects within the ATP.
- The pattern of light pooling from each fixture shall avoid glare or reflection on adjacent properties, buildings, or roadways.
- Exterior lighting fixtures should relate stylistically to the architecture of the adjacent buildings.
- Uplighting fixtures to highlight trees, walls and architectural features shall be limited to 100 maximum wattage per fixture, and shall be designed to comply with the New Mexico Night Sky Protection Act.



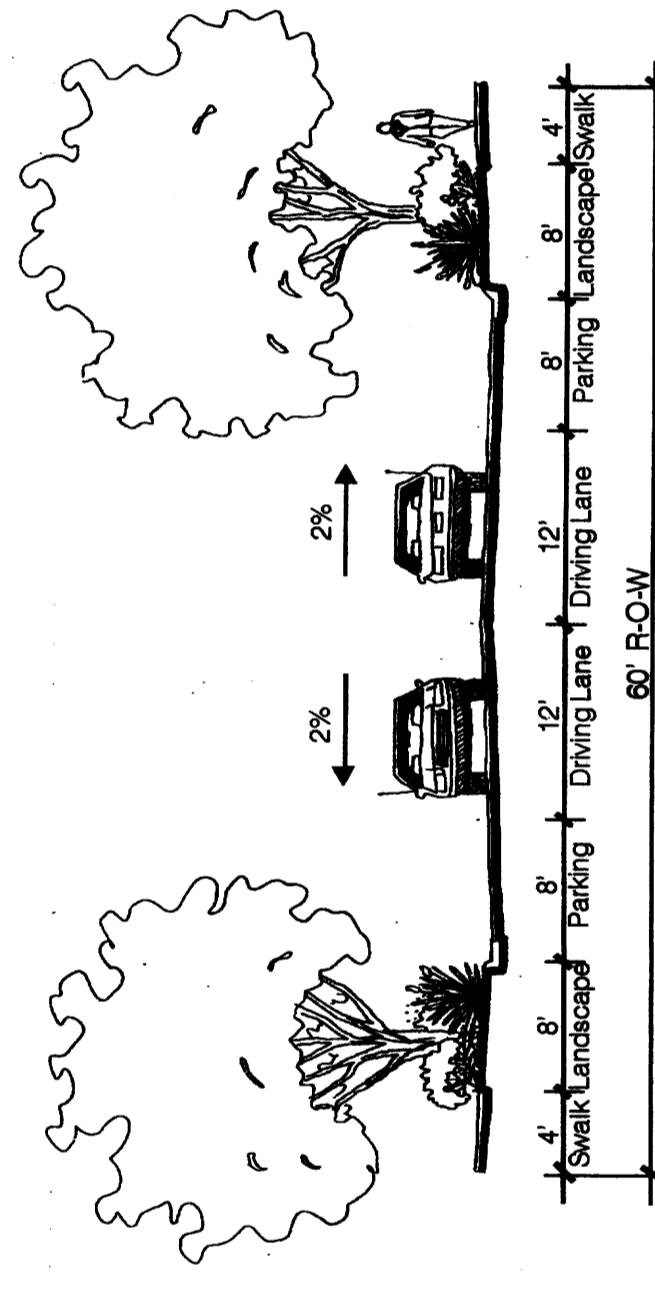
L. SCREENING/BUFFERING

- Mechanical equipment and refuse enclosures, whether on roof areas or at street level, shall be fully screened from pedestrians or motorists. Screening shall be compatible with materials and design of the building.
- Loading areas shall be screened from public view by walls, trellises, or landscaping. Passenger loading areas do not require screening.
- Aircraft areas shall be screened from the street with walls and/or plant material.
- The use of razor or barbed wire (except where required by Federal regulations), wood fencing, or plastic vinyl fencing is not permitted.
- Refuse enclosures shall be adjacent to the building and screened with walls of the same material as the building itself.
- Walls or landscaped berms 2 1/2 to 3 feet in height shall be provided to screen parking areas adjacent to public streets. Walls, if used, shall be designed to integrate with building materials and colors.

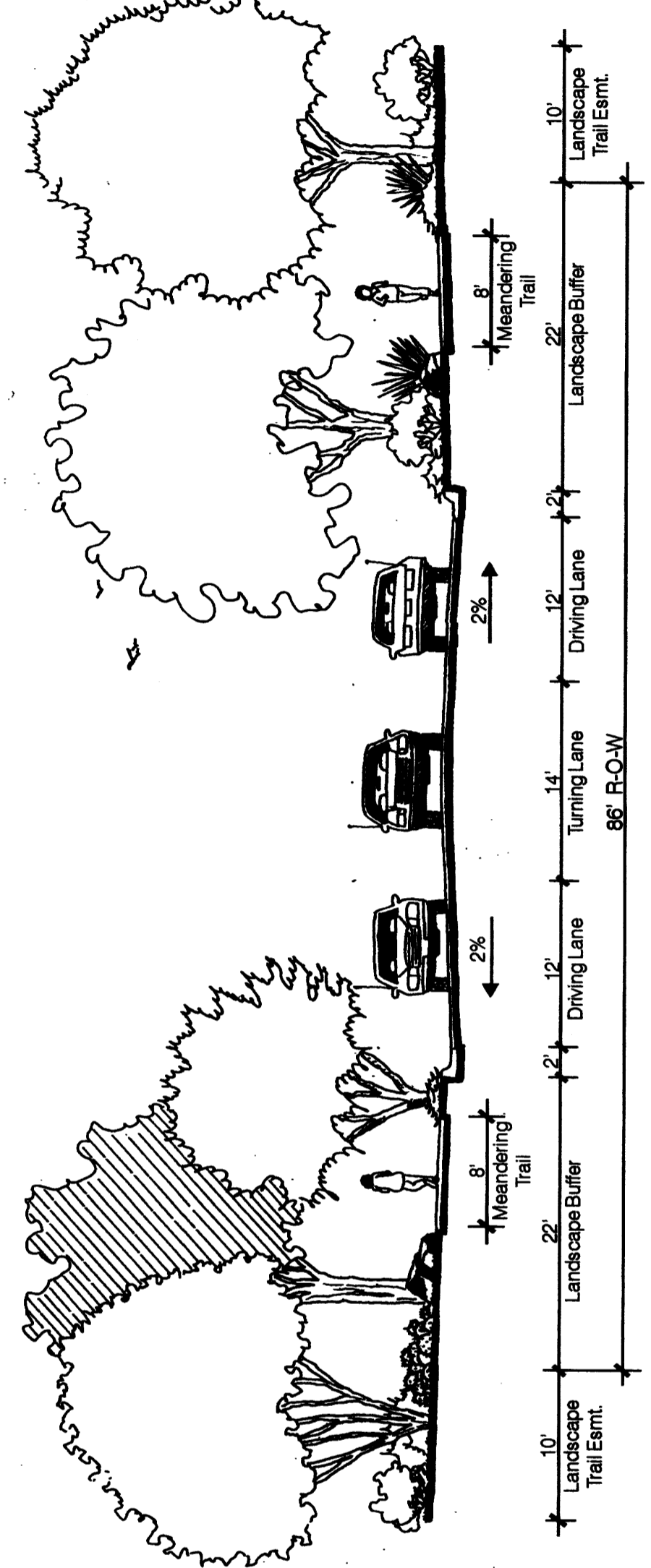


M. STREET DESIGN

It is anticipated that Aerospace Parkway will be an 86 foot roadway. It is further anticipated that access into specific development areas will be from a series of cul-de-sac streets with 60 foot rights-of-way. Specific right-of-way for Aerospace Parkway and the cul-de-sacs shall be determined before final approval at the Development Review Board. The cul-de-sac streets also function as the primary utility corridors and will accommodate water, sewer, and storm drains.



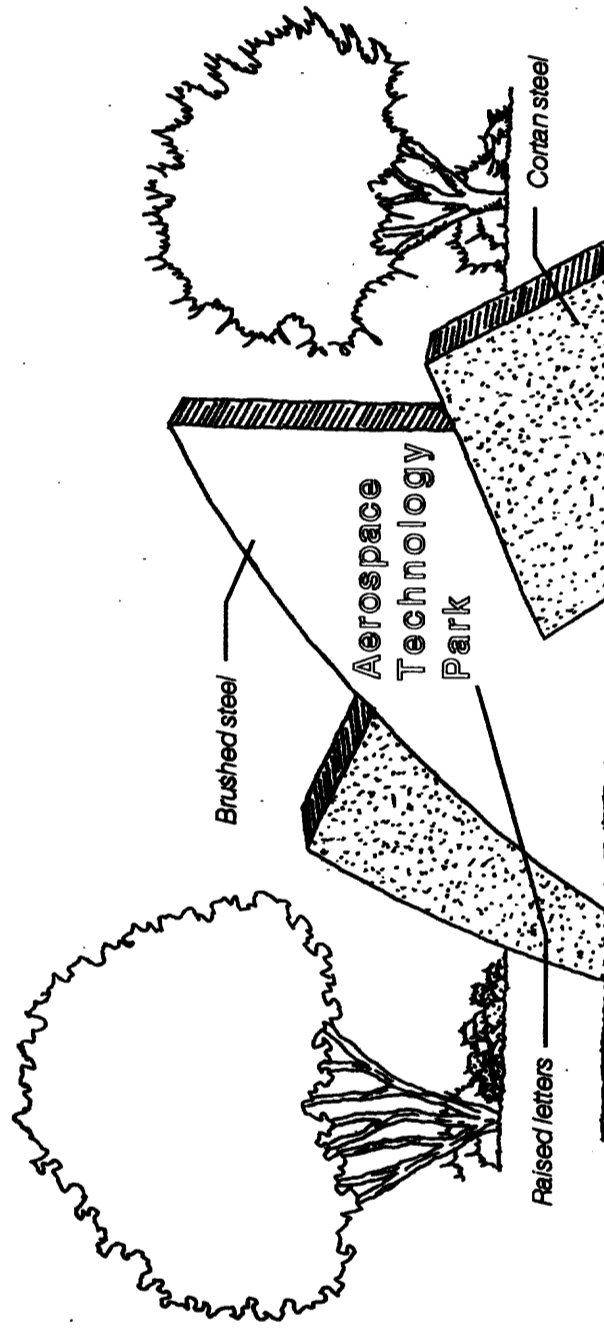
Cul-de-Sac Section



Aerospace Parkway Section

N. SIGNAGE

- The Master Developer shall provide entry monument signs (the only free-standing signs allowed) for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be within easements at locations described below, and shall be maintained by the Tenants' Association.
- A primary entry statement shall be located at Paseo del Volcan (old) and Shooting Range Access Road, and Shooting Range Access Road and Aerospace Parkway.
- Entry monument signs shall be a maximum of 20 feet in height and 200 square feet in sign face.



Project entry monument signs shall be located at the intersection of Aerospace Parkway and Shooting Range Access Road, and Paseo del Volcan (old) and Shooting Range Access Road.

- Individual sites are allowed one monument-style sign per street frontage. The sign shall not exceed 50 square feet in sign face, or 4 feet in height, and shall be architecturally integrated with the building color and materials. In addition, materials similar to those used at the primary project entries shall be used, although individual expression is allowed.
- Due to the size of the Eclipse Aviation campus, this site shall be permitted to have two entry signs not to exceed 20 feet in height and 300 SF of sign face.
- Directional signs may be provided, at the discretion of the Master Developer, to direct visitors to particular businesses. Directional signs shall not exceed 20 square feet in area, or 4 feet in height.
- All signage at the project entries shall be coordinated in order to have the same appearance (height, size, color, material, text height and style, etc.).
- No sign may overhang a right-of-way or property line.
- No sign shall intrude upon any architectural features, including windows, columns, moldings or any decorative features.
- Building-mounted signs shall consist of individual channelized letters. With the exception of logo images, no illuminated plastic panel signs are allowed.
- Building-mounted signs shall not exceed an area of 6 percent of the facade to which it is attached. Maximum letter size shall not exceed 5 feet in height, and maximum logo size shall not exceed 5' x 5'.
- Signs should identify only the name and business of the occupant or of those offering the premises for sale or lease.
- Prohibited signs include the following:
 - Banners, pennants, ribbons, streamers;
 - Strings of light bulbs and spinners (except during holiday season or special thematic event);
 - Brashly colored signs with moving or flashing lights;
 - Signs which are animated in any manner;
 - Portable signs; and
 - Off-premise signs referring to a business or merchant not doing business on the premise where the sign is displayed.

O. TAXILANE/ AVIATION AREAS

Aircraft circulation throughout the ATP must be developed to minimize interaction with vehicular traffic. Taxiway guidelines are based on an average stalling speed of at least 20 mph and wingspan and wingtip clearance. Taxiway access must have a minimum right-of-way width of 150 feet with a minimum paved surface area 50 feet in width.

- Taxilane Shoulders must be either stabilized or paved to reduce possibility of blast erosion and engine ingestion problems.
- Minimum separation between centerline of taxiway to structure (parked aircraft, structure, etc.) is 0.70 times the wingspan of the most demanding airplane, plus 10 feet. Setback standards have been designed to accommodate all Type I and II aircraft.

Taxilane Design Standards

Airplane Design Group	Taxilane Width	Taxilane Obstacle Area Width	Taxilane Shoulder Width	Wing Span (w) For Airplane Design Group
I	25 ft	15 ft	10 ft	48 ft <= w <= 79 ft
II	25 ft	15 ft	20 ft	79 ft <= w <= 118 ft
IV	75 ft	225 ft	25 ft	118 ft <= w <= 171 ft

P. PUBLIC ART

In order to create an exciting and pleasant pedestrian environment, developments are encouraged to integrate artwork into the design of all public spaces, both indoors and out. Consideration of integrating artwork into the design of bus shelters, outdoor furniture, information kiosks, yard walls, entry portals, plaza fountains, vertical elements, etc. is encouraged, instead of standing artwork in isolation, away from such usable elements. Future developments are encouraged to make use of the City of Albuquerque's 1% for the Arts program, as well as to consider opportunities for private endowments or sponsorships to allow artistic enhancements throughout the Park.

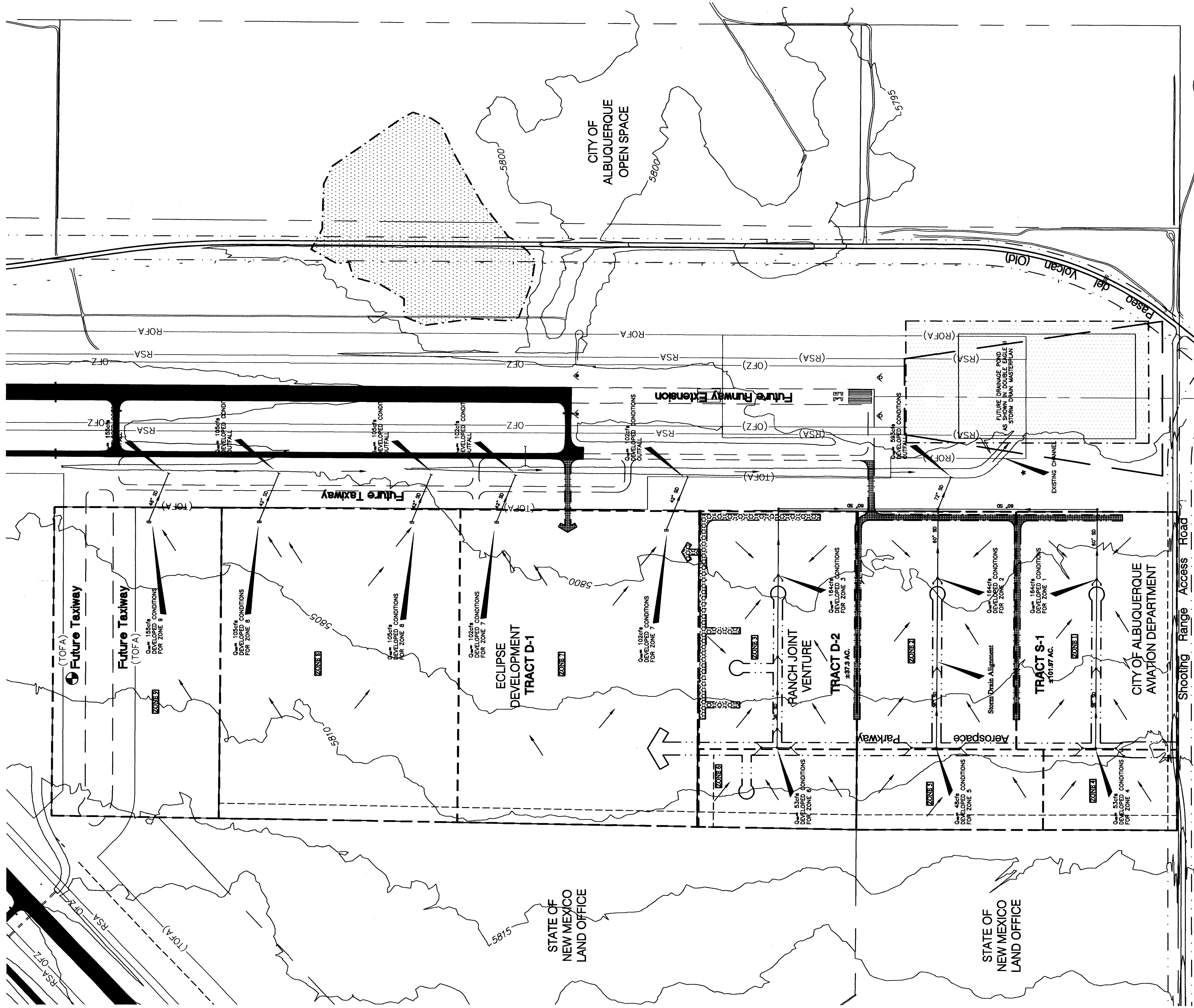
Q. WIRELESS TELECOMMUNICATIONS FACILITIES

Unless specifically approved by the FAA and the City Aviation Department, wireless telecommunications facilities are not allowed within the ATP.

Aerospace Technology Park

Prepared for:
City of Albuquerque Aviation Department
Ranch Joint Venture, Ltd.
Eclipse Aviation

Prepared by:
Consensus Planning, Inc.
Molzen-Corbin & Associates



WESTLAND NORTH
(FUTURE PLANNED COMMUNITY)

Preferred Storm Drain Alignment Aerospace Technology Park

Prepared for:
City of Albuquerque Aviation Department
Ranch Joint Venture, Ltd.
Eclipse Aviation

Prepared by:
Consensus Planning, Inc.
Moizen-Corbin & Associates

- PROPOSED STORM DRAIN
- - - ZONE BOUNDARIES
- - - FLOW DIRECTION
- EXISTING CONTOURS



MOIZEN-CORBIN & ASSOCIATES

SCALE 1" = 300'

