

HEARINGS DATE: 10-26-11 (SK)

CITY OF ALBUQUERQUE
Planning Department
August 22, 2007
DRB COMMENTS

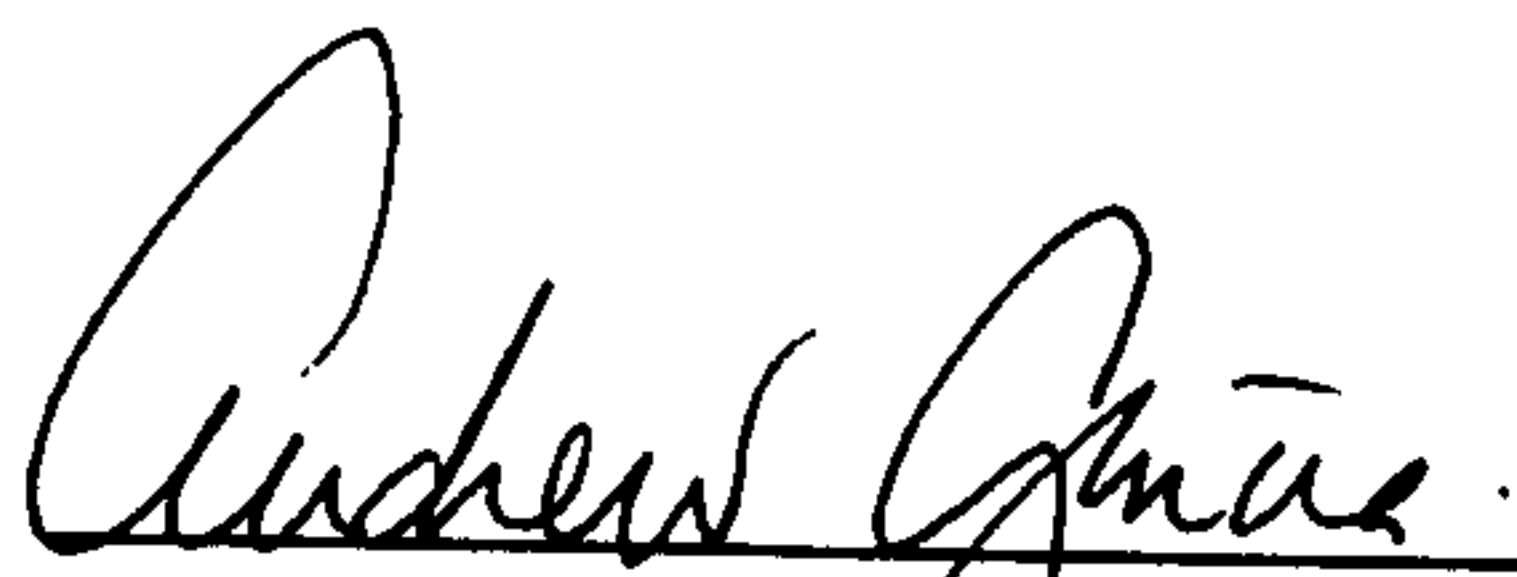
ITEM # 12

PROJECT # 1003125 APPLICATION # 07-70192

**RE: Tract D-1 & S-1, Lands of Double Eagle II Airport aerospace
Technology Park/p &f**

The AGIS dxf is not approved.

Planning will take delegation for the AGIS dxf approval, and to record
the plat.



Andrew Garcia, Planning Alternate
924-3858 agarcia@cabq.gov

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 10

SUBJECT:

Final Plat
Preliminary Plat - Amd

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: December 19, 2007

Draft to
5/21/08

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1003125

AGENDA ITEM NO: 10

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

Call out the width of all handicapped parking spaces and associated aisles.
Clarify existing versus proposed conditions. Infrastructure may be required for this site.
How does the site access a public roadway? Provide additional information.
Infrastructure list: where are these items located? Additional information is needed.

RESOLUTION:

5-21-08

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

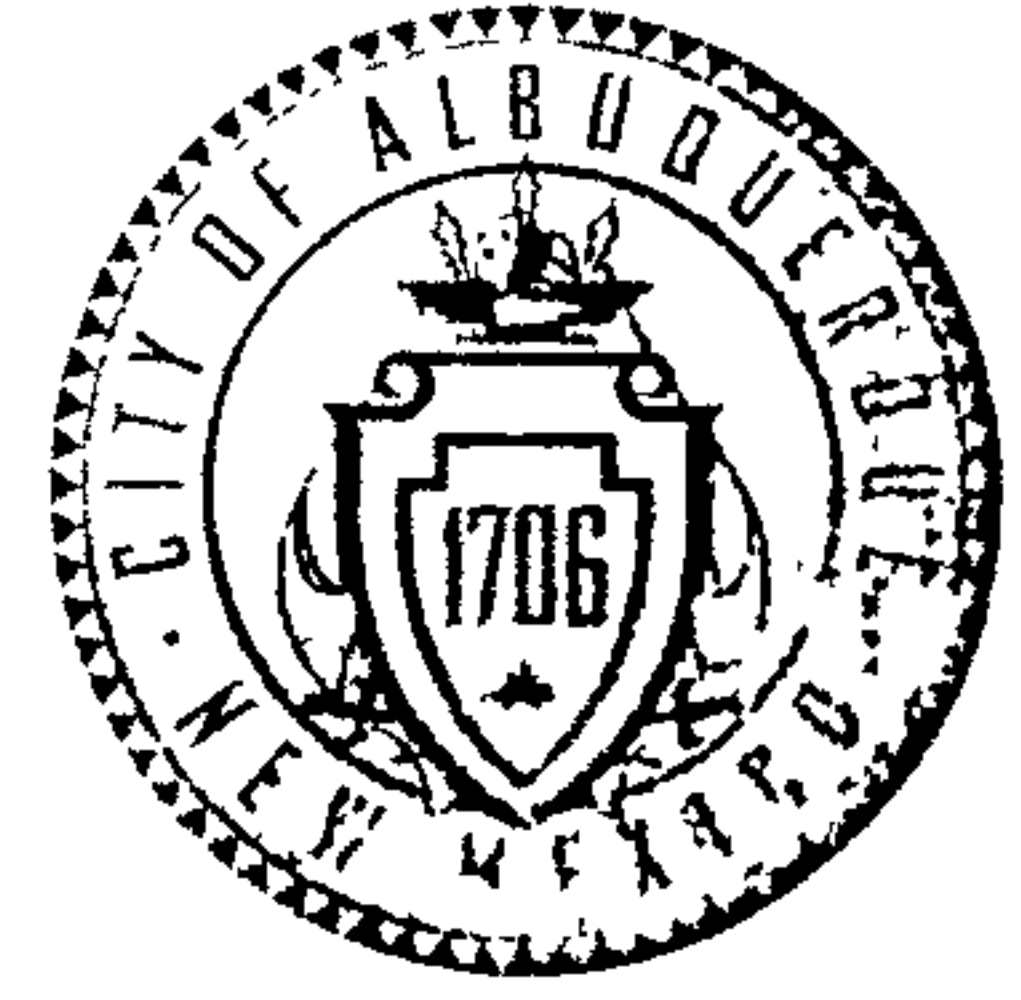
SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: MAY 14, 2008

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 10

SUBJECT:

Site Development for Building Permit

ENGINEERING COMMENTS:

Submittal shows property lines that do not agree with Plat.
Access road is not ROW; therefore an I.L. is not required.

PO Box 1293

RESOLUTION:

Albuquerque

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____: WITHDRAWN

NM 87103

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

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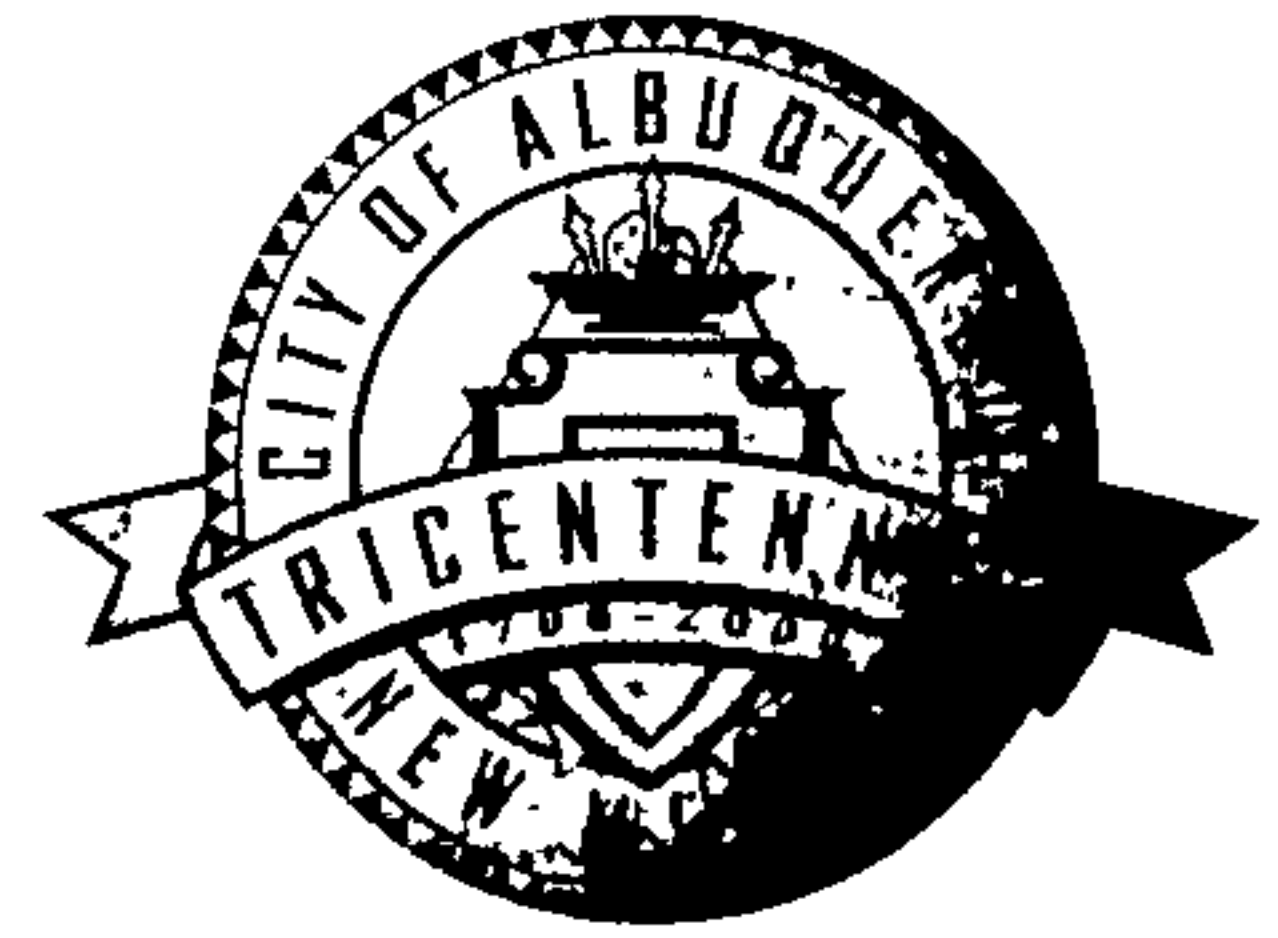
FOR:

SIGNED:

Curtis Cherne
City Engineer Designee
924-3695

DATE: 5-14-08

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 12

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) **(FP)** TO: (UD) (CE) (TRANS) (PRKS) **(PLNG)**

SIGNED: Bradley L. Bingham

DATE: AUGUST 22, 2007

City Engineer / AMAFCA Designee, 505-924-3986

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**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 10

SUBJECT:

Site Development for Building Permit

ENGINEERING COMMENTS:

Submittal shows property lines that do not agree with Plat.
Access road is not ROW; therefore an I.L is not required.

PO Box 1293

RESOLUTION:

Albuquerque

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

NM 87103

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

www.cabq.gov

FOR:

SIGNED:

Curtis Cherne
City Engineer Designee
924-3695

DATE: 5-14-08

5-21-08



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 9

SUBJECT:

Final Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

Need to revise plat to show middle tract platting action previously approved.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ¹²⁻¹⁹⁻⁰⁷ X; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

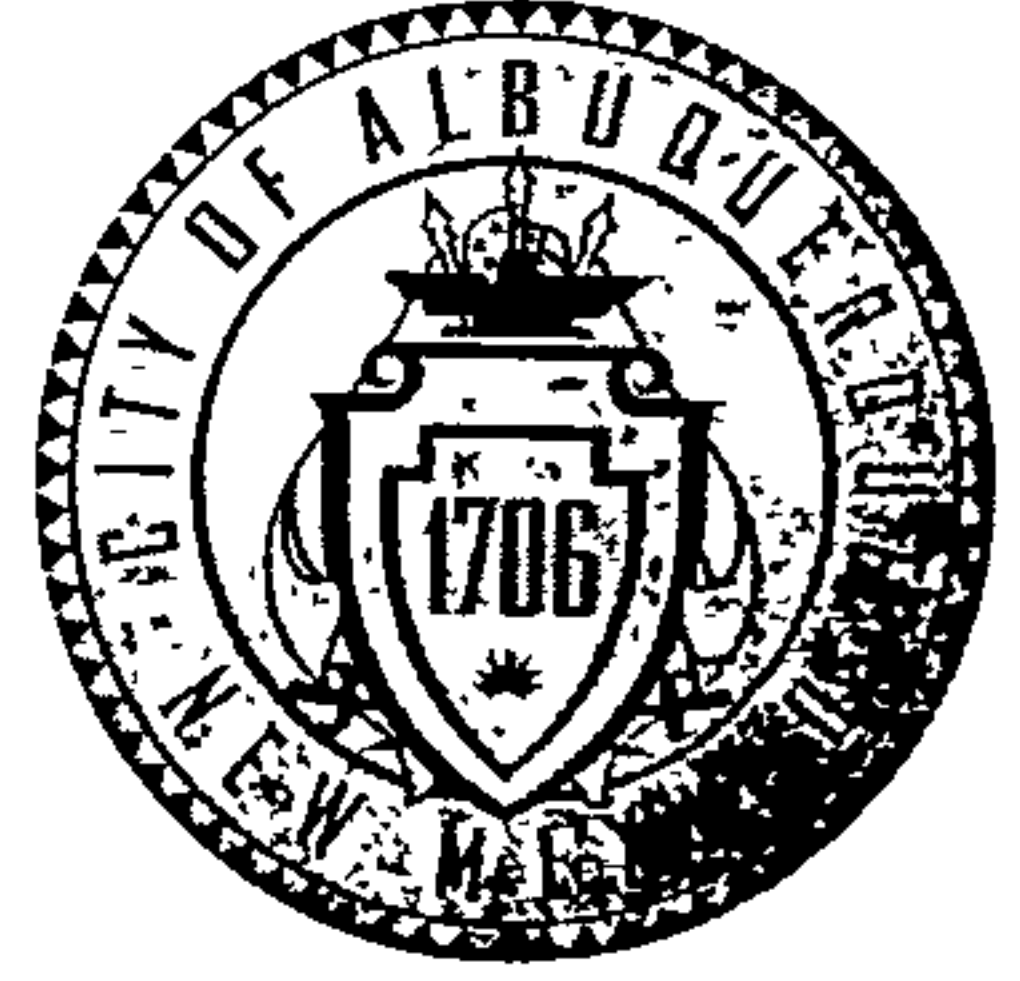
DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: December 12, 2007

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 8

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: APP: SIGN-OFF: EXTN: AMEND:

ENGINEERING COMMENTS:

An approved infrastructure list, signed by COA Aviation, is required for Site Plan approval.

RESOLUTION:

APPROVED _____; DENIED _____; DEFERRED X; COMMENTS PROVIDED _____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: May 7, 2008

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

5-19-08



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 8, 2007

1. Project# 1003125
07DRB-70128 VACATION OF PUBLIC EASEMENT

MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE - ECLIPSE AVIATION request(s) the above action(s) for all or a portion of Tract(s) D-1 & S-1, **LANDS OF DOUBLE EAGLE II AEROSPACE TECHNOLOGY PARK**, zoned SU-1 AIRPORT & RELATED FACILITIES, located on DOUBLE EAGLE II AIRPORT NW BETWEEN PASEO DEL VOLCAN NW AND SHOOTING RANGE PARK ROAD NW containing approximately 251 acre(s). (F/G-6)

At the August 8, 2007, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file per Section 14-14-7-2(A)(1) and (B) (1)(3) of the Subdivision Ordinance:

(A)(1) The 106-foot public access easement vacation request was filed by the owners of a majority of the front footage of land abutting the proposed vacation.

(B)(1) The public welfare is in no way served by retaining the 106-foot public access easement.

(3) There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year of this vacation approval.

If you wish to appeal this decision, you must do so by August 23, 2007, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.



OFFICIAL NOTICE OF DECISION

PAGE 2

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

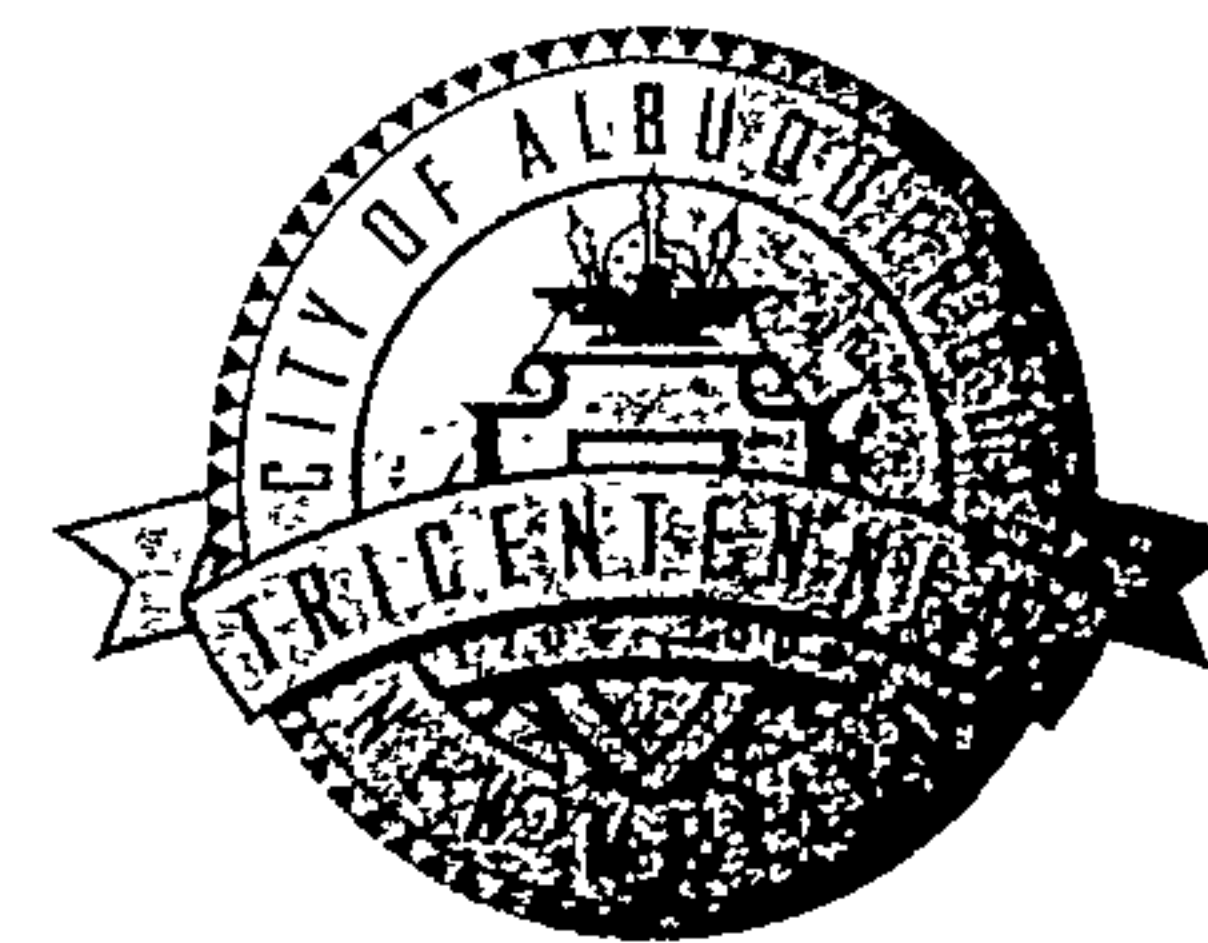
You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)


Sheran Matson, AICP, DRB Chair

Cc: Molzen-Corbin & Associates, 2701 Miles Rd SE, 87106
City of Albuquerque, P.O. Box 9948, 87119
Aviation and Eclipse Aviation, 2503 Clark Carr Loop SE, 87106
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 1

SUBJECT:

Vacation of Public Easement

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No objection to Vacation request.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: AUGUST 8, 2007
505-924-3986

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DRB CASE ACTION LOG (Site Plan – Building P.)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70183	Project # 1003125
Project Name: AEROSPACE TECHNOLOGY PARK IN DOUBLE EAGLE II AIRPORT	
Agent: MOLZEN-CORBIN & ASSOCIATES	Phone No.: 242-5700

Your request was approved on 5-21-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

→ TRANSPORTATION: see written comments

→ UTILITIES: Revised Utility Plan

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Created On:



46
46
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46

**DEVELOPMENT REVIEW BOARD
Action Sheet**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building
May 21, 2008**

MEMBERS:

**Jack Cloud, AICP, DRB Chairman, Planning Department
Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E., Transportation Development Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Brad Bingham, P.E., Hydrology/ Alternate City Engineer Christina Sandoval, Parks/Municipal Development**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- 1. Project# 1007258**
08DRB-70200 – SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

RICK BENNETT ARCHITECTS agent(s) for RIO GRANDE PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 7A, **JOURNAL CENTER PHASE 2, UNIT 1**, zoned IP, located at the southern terminus of HANCOCK CT NW south of WOLCOTT AVE NW containing approximately 0.5 acre(s). (D-17) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR JOURNAL CENTER ARCHITECTURAL COMMENTS APPROVAL AND TO TRANSPORTATION FOR WRITTEN COMMENTS.**
- 2. Project# 1007259**
08DRB-70201 – SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

PETER BUTTERFIELD, ARCHITECT agent(s) for ALAMEDA PARTNERS, LLC request(s) the above action(s) for all or a portion of Lot 1, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP-EP, located on the southwest corner of ALAMEDA PARK DR NW AND ALAMEDA RD NW containing approximately 2.2014 acre(s). (C-16) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR COMMENTS. 3 COPIES OF APPROVED SITE PLAN MUST BE PROVIDED TO PLANNING.**

3. **Project# 1005540**
 08DRB-70187 VACATION OF PUBLIC EASEMENT
 08DRB-70188 MAJOR - PRELIMINARY PLAT APPROVAL
 08DRB-70189 - TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

WILSON & COMPANY agent(s) for LEGACY SUSTAINABLE DEVELOPMENT, INC. request(s) the above action(s) for all or a portion of Tract(s) D & E, **LA CUENTISTA SUBDIVISION**, zoned SU-2 (VOLCANO HEIGHTS SECTOR PLAN), located on the east side of KIMMICK DR NW BETWEEN FIRE THORN LN NW AND ROSA PARKS RD NW containing approximately 91.037 acre(s). (C-11, D-11)[*Deferred from 5/14/08*] **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. WITH AN APPROVED GRADING AND DRAINAGE PLAN ENGINEER STAMP DATED 4/18/08 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT 'C' IN THE PLANNING FILE.**

4. **Project# 1006822**
 08DRB-70146 VACATION OF PUBLIC RIGHT-OF-WAY
 08DRB-70147 MINOR - PRELIMINARY/FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for 2000 GOLD AVE LLC PHILLIP RABY PRINCIPAL request(s) the above action(s) for all or a portion of Lot(s) 1&2, Block(s) 76, **TERRACE ADDITION, TOGETHER WITH VACATED PORTIONS OF TERRACE ST GOLD AV & BUENA VISTA DR**, zoned SU-2 / PR, located on GOLD AV SE BETWEEN TERRACE ST SE AND BUENA VISTA DR SE containing approximately 0.411 acre(s). (R-15) [*Deferred from 4/16/08 & 4/30/08.*] **DEFERRED TO 6/4/08 AT THE AGENT'S REQUEST.**

5. **Project# 1001275**
 08DRB-70192 MAJOR - 2YR EXTENSION OF SUBDIVISION IMPROVEMENTS

CONSENSUS PLANNING INC agent(s) for TEAM RETAIL COTTONWOOD, LTD request(s) the above action(s) for all or a portion of Lot(s) 1, **LOWES SUBDIVISION**, zoned SU-1/C-2/IP/R-3, located on the north side of OLD AIRPORT AVE NW BETWEEN COTTONWOOD DR NW AND COORS BLVD NW containing approximately 8.13 acre(s). (A-14) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED**

6. **Project# 1000572**
08DRB-70197 VACATION OF PUBLIC
EASEMENT

SURV-TEK INC agent(s) for MW DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of Tract(s) B, **THE PRESIDIO (TBK COPPER POINTE SUBDIVISION)** zoned SU-1 FOR PRB, located on COPPER AVE NE BETWEEN EUBANK BLVD NE AND MORRIS ST NE containing approximately 18.9993 acre(s). (K-21) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

08DRB-70212 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
08DRB-70226 EPC APPROVED SDP
FOR SUBDIVISION

CONSENSUS PLANNING agent(s) for NW DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) B-1, B-2, B-3, B-4 & B-5, **THE PRESIDIO** zoned SU-1 FOR IP, located on COPPER AVE NE BETWEEN EUBANK BLVD NE AND MORRIS ST NE containing approximately 19 acre(s). (K-21) **DEFERRED TO 5/25/08 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

7. **Project# 1004221**
08DRB-70228 EPC APPROVED SDP
FOR BUILD PERMIT

CONSENSUS PLANNING agent(s) for KENNY HINKES request(s) the above action(s) for all or a portion of Lot(s) D-3, **ACADEMY PLACE SUBDIVISION** zoned SU-1 FOR INSTITUTION, located on JUAN TABO BLVD NE BETWEEN SPAIN RD NE AND OSUNA RD NE containing approximately 1.0842 acre(s). (F-21) *[Planner – Randall Falkner]* **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR REVISED PLAN PER COMMENTS, AND TO ABCWUA FOR REVISED UTILITY PLAN.**

8. **Project# 1000771**
08DRB-70218 AMENDED EPC SDP
FOR SUBDIVISION

DEKKER/PERICH/SABATINI agent(s) for H.R. RENTAL PROPERTIES, INC request(s) the above action(s) for all or a portion of Tract(s) C, **COTTONWOOD POINTE** zoned SU-1, R-2, C-2, IP USES, located on EAGLE RANCH RD AND IRVING BLVD containing approximately 6.76 acre(s). (B-13) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED. 3 COPIES OF APPROVED SITE PLAN MUST BE PROVIDED TO PLANNING.**

9. **Project# 1003125**
08DRB-70183 MINOR - SDP FOR
BUILDING PERMIT

MOLZEN-CORBIN & ASSOCIATES agent(s) for TRI MOTOR LLC request(s) the above action(s) for all or a portion of Tract(s) S-1, **AEROSPACE TECHNOLOGY PARK IN DOUBLE EAGLE II AIRPORT**, zoned SU-1 FOR AIRPORT & REL FAC, located on AEROSPACE PARKWAY NW BETWEEN SHOOTING RANGE PARK RD NW AND AREOSPACE PARKWAY NW containing approximately 2 acre(s). (G-6) [Deferred from 4/30/08 & 5/7/08] **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR WRITTEN COMMENTS AND TO ABCWUA FOR REVISED UTILITY PLAN. 3 COPIES OF SITE PLAN MUST BE PROVIDED TO PLANNING.**

10. **Project# 1003801**
08DRB-70227 EPC APPROVED SDP
FOR BUILD PERMIT

DAC ENTERPRISES, INC agent(s) for DOUG PETERSON request(s) the above action(s) for all or a portion of Lot(s) 28-A, Block(s) A, **ALTURA ADDITION** zoned SU-1 FOR C-1 W/ EXCEPTIONS, located on CARLISLE BLVD NE BETWEEN INDIAN SCHOOL RD NE AND HANNETT AVE NE containing approximately 1 acre(s). (J-16) [Planner – Jennifer Donofrio] **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED. 3 COPIES OF APPROVED SITE PLAN MUST BE PROVIDED TO PLANNING**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project# 1005073**
08DRB-70217 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

ALEJANDRO GONZALES-BASURTO agent(s) for GABRIEL & ARLENE GONZALES-BASURTO request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 2, **ROSEMONT PARK ADDITION** zoned SR, located on 12TH ST NW BETWEEN ROSEMONT AVE NW AND ARIAS AV NW containing approximately .48 acre(s). (J-13) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DEED DOCUMENT WEST OF 1- 40 BEFORE 1973. SHOW SETBACK FROM NEW PROPERTY LINE.**

12. **Project# 1006571**
08DRB-70225 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

DOUG SMITH agent(s) for GEROGE EK request(s) the above action(s) for all or a portion of Tract(s) 309-B-2, **LANDS OF GEORGE R EK** zoned RA-2, located on MOUNTAIN RD NW BETWEEN MONTOYA RD NW AND LULAC AVE NW containing approximately .5326 acre(s). (J-12) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO INDICATE REVISED WATER AND SEWER EASEMENTS TO DISCLOSURE STATEMENT.**

13. **Project# 1006868**
08DRB-70220 MAJOR - FINAL PLAT APPROVAL
- TIERRA WEST LLC agent(s) for PACIFIC PASEO DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 1-A, Block(s) 35, **NORTH ALBUQUERQUE ACRES / TBK LOTS 1-4, DEL NORTE PLAZA Unit(s) B**, zoned SU-2 FOR IP USES, located on HOLLY AVE NE BETWEEN SAN PEDRO DR NE AND LOUISIANA BLVD NE containing approximately 7.4007 acre(s). (C-18) **THE FINAL PLAT WAS APROVED. A COPY OF THE RECORDED PLAT MUST BE PROVIDED TO PLANNING.**
14. **Project# 1006939**
08DRB-70078 MINOR - FINAL PLAT APPROVAL
- WAYJOHN SURVEYING INC agent(s) for E&J INVESTMENTS LLC request(s) the above action(s) for all or a portion of Tract(s) 1, **BRUNACINI INDUSTRIAL PARK Unit 3**, zoned M-1, located on PHOENIX AVE NE BETWEEN VASSAR DR NE AND GIRARD BLVD NE containing approximately 1.9085 acre(s). (H-16) [*Deferred from 2/27/08, 3/5/08 & 3/12/08*] **THE FINAL PLAT WAS APROVED. A COPY OF THE RECORDED PLAT MUST BE PROVIDED TO PLANNING.**
15. **Project # 1002455**
07DRB-70004 VACATION OF PRIVATE EASEMENT
07DRB-70005 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- RIO GRANDE SURVEYING CO. agent(s) for SAN ANTONIO PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 3-7, **JJ SUBDIVISION**, zoned SU-1 for C-1 USES, located on SAN ANTONIO NE between INTERSTATE 25 NE and FOREST HILLS NE containing approximately 6.5044 acre(s). [*Indef deferred from 5/30/07*] (E-18) **DEFERRED TO 5/28/08 AT THE AGENT'S REQUEST.**
16. **Project# 1007214**
08DRB-70169 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for KENDALL SYKES C/O: TERRY SYKES request(s) the above action(s) for all or a portion of Lot(s) L-4, **COLES INDUSTRIAL SUBD., #2** zoned M-1, located on STANFORD DR NE BETWEEN CANDELARIA RD NE AND VASSAR NE containing approximately 0.267 acre(s). (H-16) [*Deferred from 4/16/08, 4/30/08 & 5/14/08*]. **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project# 1006749**
08DRB-70216 SKETCH PLAT REVIEW
AND COMMENT

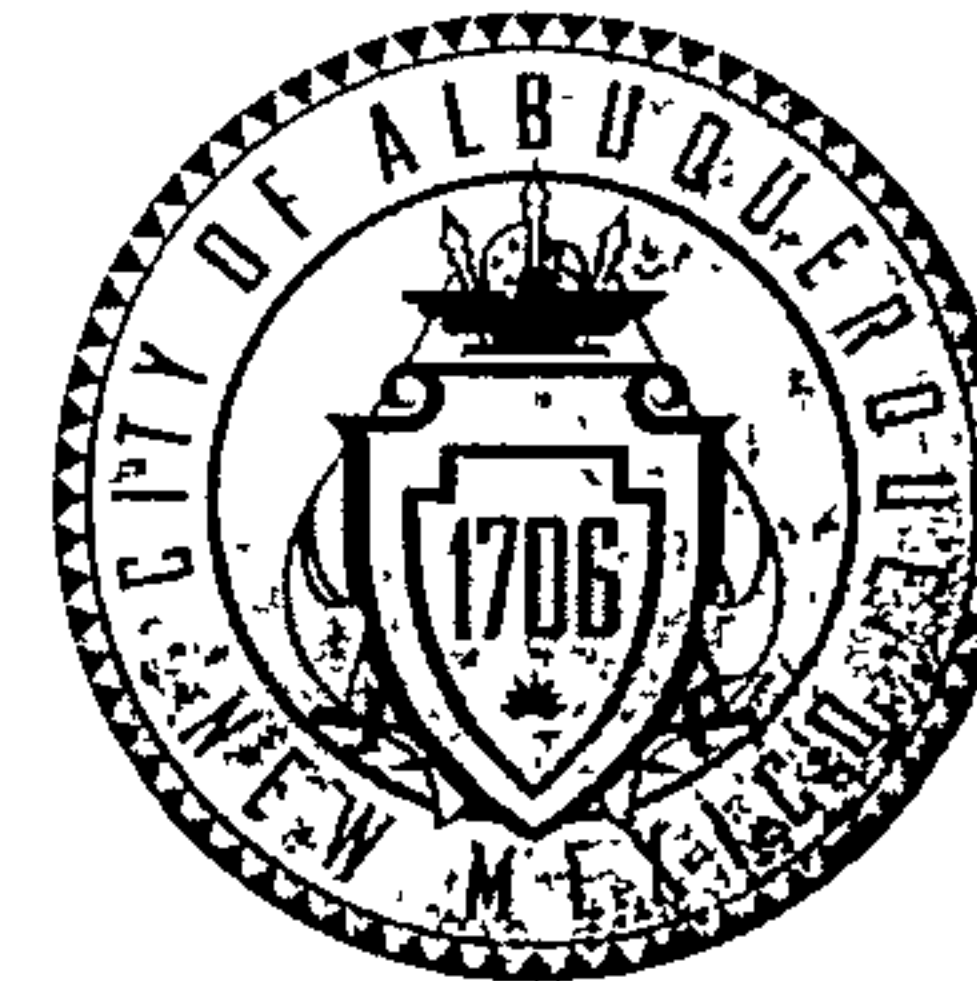
BRUNO MOROSIN agent(s) for BRUNO MOROSIN request(s) the above action(s) for all or a portion of Lot(s) 24, Block(s) 13, **FOUR HILLS VILLAGE ADDITION** zoned R-1, located on HIDEAWAY LN SE AND STAGE COACH containing approximately 1.706 acre(s). (M-23)**THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. Approval of the Development Review Board Minutes for March 5, 2008.

Other Matters: None

ADJOURNED: 11:20

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 7

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

PO Box 1293

ENGINEERING COMMENTS:

An approved infrastructure list may be required. If so, this IL should be signed by Aviation Dept.
What lot are you building on?
Site plan needs signature block.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

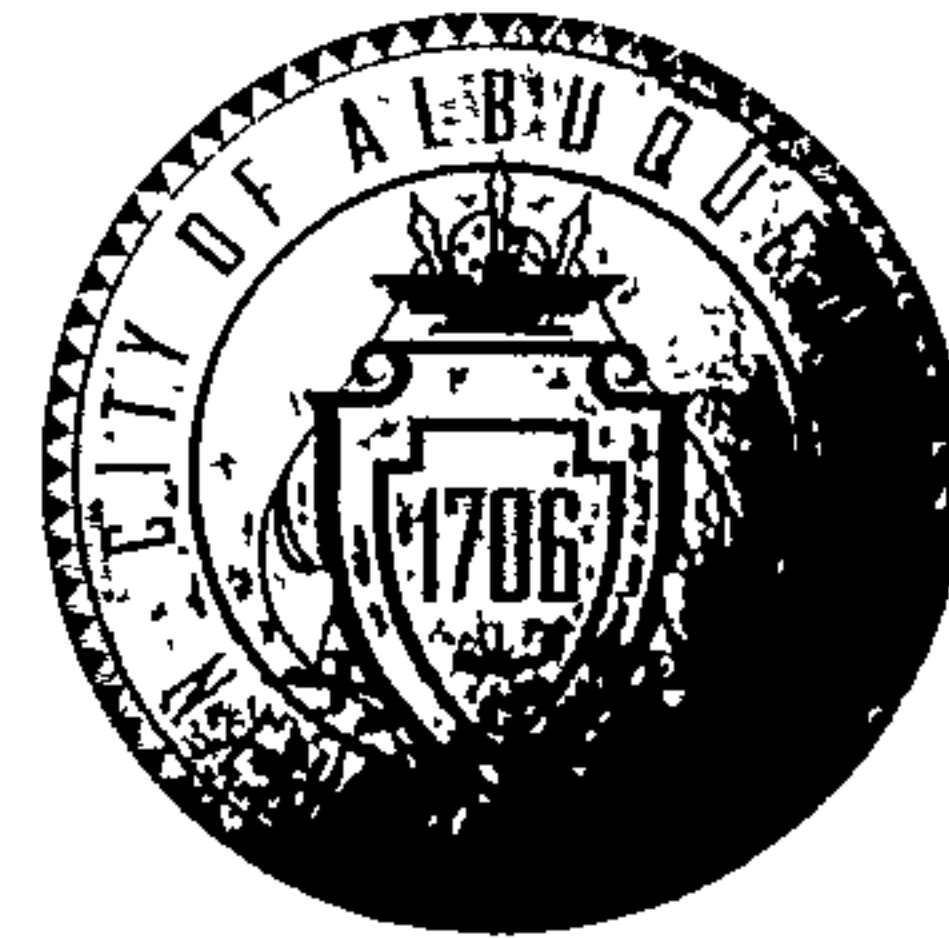
FOR: _____

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: April 30, 2008

5-7-08

CITY OF ALBUQUERQUE



Martin J. Chávez
Mayor

Nicholas S. Bakas
Director of Aviation

May 16, 2008

Mr. John Casburn
Tri-motor, LLC
2850 A. Rufina Street
Santa Fe, NM 87507

P.O. Box 9948

Re: Double Eagle II Charter School

Dear Mr. Casburn

Albuquerque

New Mexico

The Architectural Control Committee, as established by the Aerospace Technology Park in conjunction with the City of Albuquerque Aviation Department, has reviewed the plans and specifications for the above referenced project, and has determined that they are in compliance with the Design Standards contained in the Aerospace Technology Park Development Guidelines.

87119-1048

Sincerely

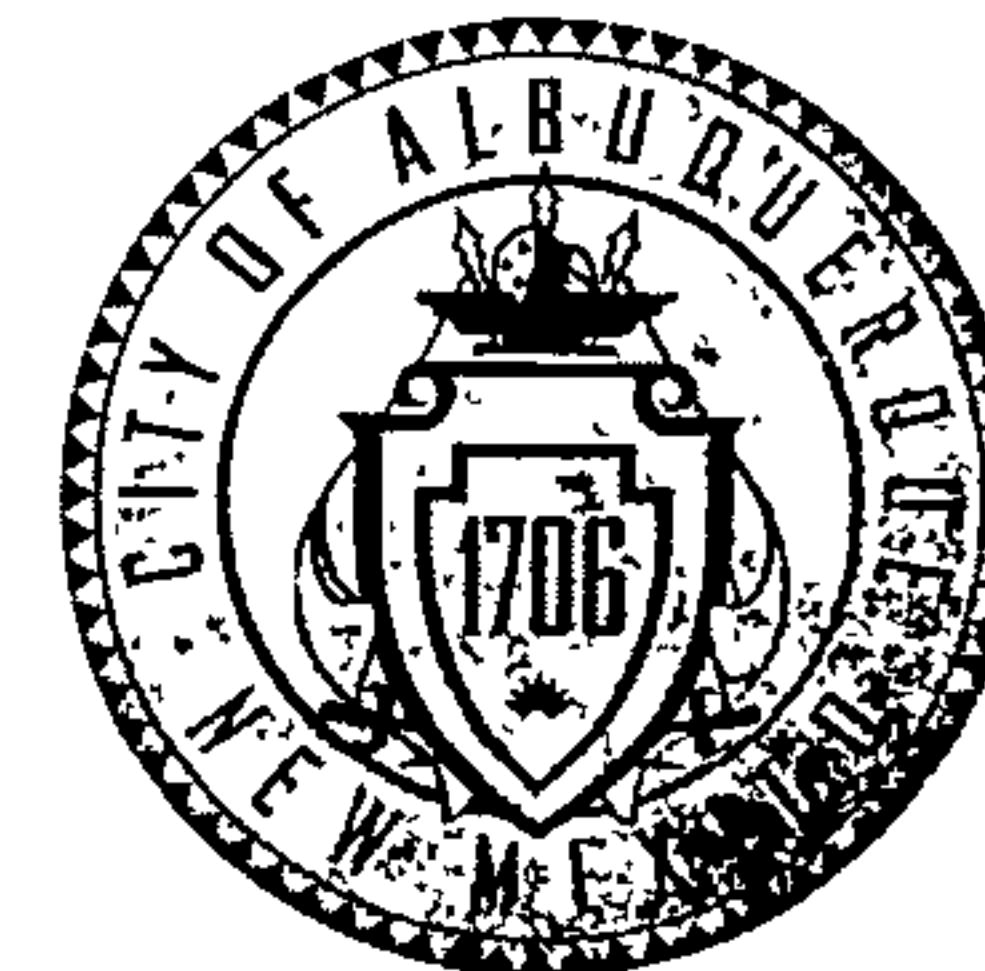
Jack D. Scherer
Planning Manager
Business Development

www.cabq.gov

c Jim Hinde, Planning Manager, Business Development
Sterling Mahan, Facilities Maintenance Coordinator



CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 9

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

PO Box 1293

ENGINEERING COMMENTS:

An approved infrastructure list signed by Aviation is required for Site Plan approval.
Still have questions where this site is located.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

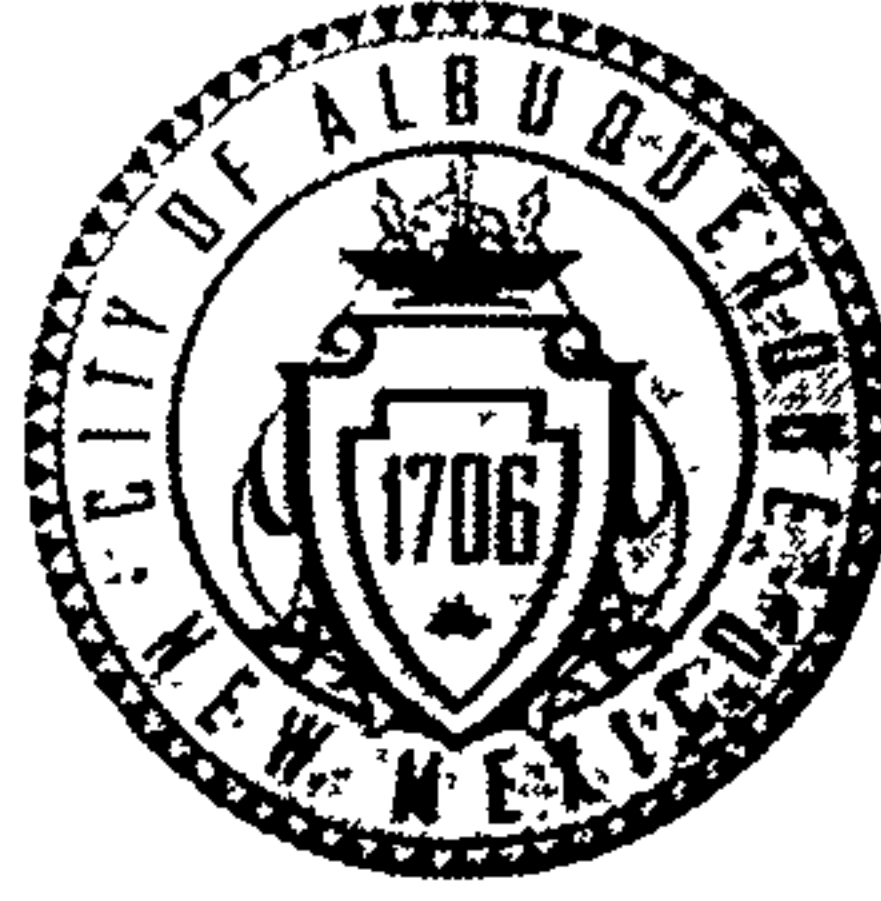
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR: _____

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: May 21, 2008



**DEVELOPMENT REVIEW BOARD
Action Sheet**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

**April 30, 2008 9:00AM
MEMBERS:**

**Jack Cloud, AICP, DRB Chairman, Planning Department
Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E. , Transportation Development Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Brad Bingham, P.E., Hydrology/ Alternate City Engineer Christina Sandoval, Parks/Municipal Development**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- 1. Project# 1005029**
08DRB-70165 MAJOR - 2YR
EXTENSION OF SUBDIVISION
IMPROVEMENTS

SUNCAL COMPANIES/ WESTLAND DevCo LP (f.k.a
WESTLAND DEVELOPMENT CO. INC.). request(s) the
above action(s) for the Mirehaven Arroyo as part of
Tract(s) B & J, **THE CROSSING**, and Tract(s) R,
STORMCLOUD Unit(s) 3 & 4, (to be known as
STORMCLOUD SUBDIVISION Unit(s) 4 & 5), zoned
SU-2/R-LT, located west of UNSER BLVD NW
BETWEEN TIERRA PINTADA BLVD NW AND
LADERA BLVD NW containing approximately 50 acre(s).
(H-9) **THE TWO YEAR EXTENSION OF THE
SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS
APPROVED.**

2. **Project# 1005108**
08DRB-70059 MAJOR - PRELIMINARY
PLAT APPROVAL
08DRB-70105 SIDEWALK WAIVER
08DRB-70138 SIDEWALK WAIVER

THE DESIGN GROUP agent(s) for RALPH CORRIZ request(s) the above/ referenced action(s) for all or a portion of Tract(s) 67-A-1 AND 67-A-2, **MRGCD MAP #29**, zoned R-1 and C-1, located on the east side of 4TH ST NW BETWEEN VINEYARD RD NW AND WILLOW RD NW containing approximately 2.4 acre(s). (E-15) *[Deferred from 2/27/08, 3/12/08, 3/26/08 & 4/2/08]* **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

3. **Project# 1006822**
08DRB-70146 VACATION OF PUBLIC
RIGHT-OF-WAY
08DRB-70147 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for 2000 GOLD AVE LLC PHILLIP RABY PRINCIPAL request(s) the above action(s) for all or a portion of Lot(s) 1&2, Block(s) 76, **TERRACE ADDITION, TOGETHER WITH VACATED PORTIONS OF TERRACE ST GOLD AV & BUENA VISTA DR**, zoned SU-2 / PR, located on GOLD AV SE BETWEEN TERRACE ST SE AND BUENA VISTA DR SE containing approximately 0.411 acre(s). (R-15) *[Deferred from 4/16/08]* **DEFERRED TO 5/14/08 AT THE AGENT'S REQUEST.**

4. **Project# 1004354**
08DRB-70048 SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

TIERRA WEST LLC agent(s) for MCDONALD'S CORPORATION request(s) the above action(s) for all or a portion of Lot 2, **KRANIA ADDITION**, zoned SU-2 PCA, located on the SE corner of 98TH ST NW AND VOLCANO RD NW containing approximately 1.1172 acre(s). (K-9) *[Deferred from 2/20/08, 3/5/08, 3/12/08, 3/19/08, 3/26/08 & 4/2/08 & 4/16/08]*. **DEFERRED TO 5/7/08 AT THE AGENT'S REQUEST.**

5. **Project# 1006833**
08DRB-70108 VACATION OF PUBLIC
EASEMENT
08DRB-70111 VACATION OF PRIVATE
EASEMENT
08DRB-70112 MAJOR - PRELIMINARY
PLAT APPROVAL

SURV-TEK INC agent(s) for TABEL LUMBER CO request(s) the above/ referenced action(s) for all or a portion of Tracts S-1A and S-2A-2, **ATRISCO BUSINESS PARK, UNIT 2**, (TBK as Tract(s) A & B, MERIDIAN BUSINESS PARK II) together with Tract S-2A-1, **ATRISCO BUSINESS PARK, UNIT 2** (TBK as UNSER TOWNE CROSSING) zoned IP, located on the east side of UNSER BLVD NW BETWEEN LOS VOLCANES RD NW AND INTERSTATE ROUTE 40 containing approximately 70.3629 acre(s). (J-9, J-10) *[Deferred from 3/26/08, 4/9/08 & 4/16/08]*
THE PRELIMINARY PLAT WAS APPROVED. THE VACATION FOR PUBLIC EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE WITH THE CONDITION THAT COVENANCE DOCUMENT AND MAINTENANCE STATEMENT BE PROVIDED ON THE FINAL PLAT. THE VACATION FOR PRIVATE EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.

07DRB-70254 MAJOR - SDP FOR
SUBDIVISION
07DRB-70255 MAJOR - SDP FOR
BUILDING PERMIT

GEORGE RAINHART ARCHITECTS agent(s) for WEBER AND COMPANY request(s) the above action(s) for all or a portion of Tract(s) S2A2, S2A1 & S1A, **ATRISCO BUSINESS ADDITION (to be known as UNSER TOWNE CROSSING)** zoned IP, located on LOS VOLCANES NW BETWEEN UNSER BLVD NW AND GALATIN NW containing approximately 53 acre(s). (J-9 & J-10) *[Deferred from 10/10/07, 11/14/07, 12/12/07, 1/30/08, 2/27/08, 3/26/08 & 4/9/08 & 4/16/08]* **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO CHECK FOR WATER LINE EASEMENTS ON THE NORTH, AND TREE REMOVAL FROM NEW 20FT WATERLINE, AND FROM NORTH STRIP MALL AREA. THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS DEFERRED TO 5/14/08.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

6. **Project# 1002404**
08DRB-70023 EPC APPROVED SDP
FOR BUILD PERMIT
08DRB-70024 EPC APPROVED SDP
FOR SUBDIVISION

GEORGE RAINHART ARCHITECT & ASSOCIATES agent(s) for PETERSON PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 1-B & 1-D, **LADERA INDUSTRIAL CENTER**, located on UNSER BLVD NW BETWEEN VISTA ORIENTE NW AND LADERA CHANNEL containing approximately 7.08 acre(s). (H-9) (*Deferred from 1/23/08, 1/30/08 & 2/13/08*)

THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED. 3 COPIES OF THE APPROVED SITE PLAN MUST BE SUBMITTED TO PLANNING. THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR SIA. 3 COPIES OF THE APPROVED SITE PLAN MUST BE SUBMITTED TO PLANNING.

- Project# 1002404**
08DRB-70029 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURV-TEK INC agent(s) for PETERSON INV-98TH/UNSER LLC request(s) the above action(s) for all or a portion of Lot(s) 1-B & 1-D, **LADERA INDUSTRIAL CENTER**, zoned SU-1 LIGHT INDUSTRIAL, located on UNSER BLVD NW AND VISTA ORIENTE ST NW containing approximately 7.0919 acre(s). (H-9) (*Deferred from 1/30/08 & 2/13/08*) **THE PRELIMINARY/FINAL PLAT WAS APPROVED. A COPY OF THE RECORDED PLAT MUST BE SUBMITTED TO PLANNING.**

7. **Project# 1003125**
08DRB-70183 MINOR - SDP FOR
BUILDING PERMIT

MOLZEN-CORBIN & ASSOCIATES agent(s) for TRI MOTOR LLC request(s) the above action(s) for all or a portion of Tract(s) S-1, **AEROSPACE TECHNOLOGY PARK IN DOUBLE EAGLE II AIRPORT** zoned SU-1 FOR AIRPORT & REL FAC, located on AEROSPACE PARKWAY NW BETWEEN SHOOTING RANGE PARK RD NW AND AREOSPACE PARKWAY NW containing approximately 2 acre(s). (G-6) **DEFERRED TO 5/7/08 AT THE AGENT'S REQUEST.**

8. **Project# 1002798**
08DRB-70191 MINOR - SDP FOR BUILDING PERMIT
- VINCENT SANCHEZ request(s) the above action(s) for all or a portion of Lot(s) O1-P1, **RANCHO DE CANDELARIA** zoned SU-1 FOR PRD, located on CANDELARIA NW BETWEEN 12TH ST NW AND RIO GRANDE NW containing approximately .2648 acre(s). (G-13) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR A REVISED GRADING PLAN BY P.E., AND TO PLANNING TO PROVIDE PLAT RECORDING INFORMATION ON PLAN, AND FOR 3 COPIES.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project# 1001129**
08DRB-70196 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- MRCOG request(s) the above action(s) for all or a portion of Lot(s) B, **MONTANO INDUSTRIAL SUBDIVISION** zoned M-1, located on MONTANO INDUSTRIAL SUBDIVISION containing approximately 4.3173 acre(s). (F-15) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SOLAR NOTE, COPIES OF DEEDS REGARDING EASEMENTS AND GRANT ACCESS EASEMNT – CALL OUT MAINTENANCE AND BENEFICIARIES.**
10. **Project# 1007214**
08DRB-70169 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for KENDALL SYKES C/O: TERRY SYKES request(s) the above action(s) for all or a portion of Lot(s) L-4, **COLES INDUSTRIAL SUBD #2** zoned M-1, located on STANFORD DR NE BETWEEN CANDELARIA RD NE AND VASSAR NE containing approximately 0.267 acre(s). (H-16) *[Deferred from 4/16/08]*. **DEFERRED TO 5/14/08 AT THE AGENT'S REQUEST.**
11. **Project# 1002200**
08DRB-70190 AMENDMENT TO PRELIMINARY PLAT
- SCOTT EVERETT agent(s) for PHYLLIS SMITH AND HARRISON SMITH request(s) the above action(s) for all or a portion of Block(s) 15D-1B-1C, **HIGH DESERT** zoned R-1, located on ACADEMY RD NE BETWEEN TRAMWAY NE AND FOREST SERVICE LINE containing approximately 0.6007 acre(s). (E-24) **THE AMENDMENT TO PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR HIGH DESERT ASSOCIATION SIGNATURE. A COPY OF THE RECORDED PLAT MUST BE SUBMITTED TO PLANNING.**

12. **Project# 1004622**
08DRB-70195 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- CARTESIAN SURVEYS INC agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 18 & PORTIONS OF 15-17, Block(s) 21, Tract(s) A, **NORTH ALBUQUERQUE ACRES TRACT A, UNIT A** Unit(s) A, zoned SU-2/C-1, located on PALOMAS NE BETWEEN BARSTOW NE AND WYOMING NE containing approximately 1.6275 acre(s). (D-19) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 35FT RIGHT OF WAY RADIUS AND SOLAR NOTE.**
13. **Project# 1006989**
08DRB-70150 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- CARTESIAN SURVEYS INC agent(s) for TIMOTHY AND CHRISTINE HELMICK request(s) the above action(s) for all or a portion of Lot(s) 16-A, Block(s) 16, **NORTH ALBUQUERQUE ACRES TRACT A, UNIT B** zoned SU-2 FOR I-P, located on SAN PEDRO DR AND ANAHEIM AVE containing approximately 0.9994 acre(s). (C-18) [*Deferred from 4/2/08, 4/16/0/ & 4/23/08*]. **THE PRELIMINARY/FINAL PLAT WAS APPROVED. REQUIREMENTS ARE FOR AGIS DXF FILE AND A COPY OF THE RECORDED PLAT PROVIDED TO PLANNING.**
14. **Project# 1004677**
08DRB-70194 SIDEWALK VARIANCE
- ISAACSON AND ARFMAN PA agent(s) for INFILL SOLUTIONS LLC request(s) the above action(s) for all or a portion of Lot(s) A1A, Tract(s) A & B, 129B1A, B, **HB & CALVINHORN, HUNING CASTLE ADDITION & LUGUNA** (TBK zoned SU-2/CLD, located on CENTRAL AVE SW BETWEEN LAGUNA BLVD SW AND SAN PASQUALE AVE SW containing approximately 3.1303 acre(s). **THE SIDEWALK WAIVER WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE AND THE SIDEWALKS WERE WAIVERED ON THE NORTHSIDE OF THE COUNTRY CLUB PER THE SITE DEVELOPMENT PLAN.**
15. **Project# 1007081**
08DRB-70193 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- PULLMAN INVESTMENTS LLC agent(s) for CRIS DIGREGORY request(s) the above action(s) for all or a portion of Lot(s) C, **SHELL 1**, zoned R2, located on CENTRAL BLVD SW BETWEEN RIO GRANDE SW AND WILLIS PL SW containing approximately .63 acre(s). (J-13) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO ABCWUA FOR 40FT EASEMENT REVISION AND CENTERED, AND TO PLANNING FOR TWO MYLARS, RECORDING FEE AND CURRENT TAX INFORMATION.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project# 1004607**
08DRB-70181 SKETCH PLAT REVIEW
AND COMMENT

WILSON & COMPANY agent(s) for SALLS BROTHERS CONSTRUCTION request(s) the above action(s) for all or a portion of Block(s) 15, 16, Tract(s) 1-A-22A , 1A-22A, **VISTA VIEJA Unit(s) 3**, zoned RD, located on MOCK HEATHER RD NW BETWEEN VISTA TERRAZA DR NW AND METE SOL DR NW containing approximately 6.21 acre(s). (D-9) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. Other Matters: None

ADJOURNED: 10:35

#10



COMPLETED 05/13/08 SH DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70192

Project # 1003125

Project Name: LANDS OF DOUBLE EAGLE II AIRPORT AEROSPACE TECHNOLOGY PARK

Agent: MOLZEN-CORBIN & ASSOCIATES

Phone No.: 242-5400 Debe Dodge

Your request was approved on 12-19-07 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: ① correct E'ment language D-1-A1
② address SW on S-1A U of U
satisfactory to the Authority

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required. *OK*
- Copy of recorded plat for Planning.

Created On:

Debe Dodge



DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70192

Project # 1003125

Project Name: LANDS OF DOUBLE EAGLE II AIRPORT AEROSPACE TECHNOLOGY PARK

Agent: MOLZEN-CORBIN & ASSOCIATES

Phone No.:

Your request was approved on 12-19-07 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: ① correct E'ment language D-1-A1
② address SW on S-1A Vfo
submitted to the Authority

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On:

DRB Comments –April 30 2008 9:00AM

Project # 1003125

08DRB-70183 Minor SDP For Building Permit

1. Must Provide ACC letter of approval that proposed development complies with all design standards of approved Site Development Plan for Subdivision.
2. Mechanical equipment shall be screened from view (i.e. Ground mounted Transformer – no screening indicated).
3. Refuse location must be located adjacent to building. Screening shall be provided to blend with same material as wall of principal building.
(dumpster location as shown on plan is between the parking lot and street, no screening indicated)



**DEVELOPMENT REVIEW BOARD
AGENDA**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 19, 2007 9:00AM

MEMBERS:

Jack Cloud, Acting Chair
Angela Gomez, Administrative Assistant

Kristal Metro, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1000539**
07DRB-70400 VACATION OF PUBLIC EASEMENT
07DRB-70401 VACATION OF PRIVATE EASEMENT
07DRB-70402 MINOR - TEMP DEFR SWDK CONST
07DRB-70403 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
MARK GOODWIN AND ASSOCIATES PA agent(s) for HOPE CHRISTIAN SCHOOL request(s) the above action(s) for all or a portion of Lot(s) 6, 7, 8-A, 9A-1, 10& 26, Block(s) 11, **NORTH ALBUQUERQUE ACRES Unit(s) A**, zoned SU-1 PRIVATE SCHOOL, located on PALOMAS NE BETWEEN SAN PEDRO AND LOUISIANA containing approximately 6.75 acre(s). (D-18) **DEFERRED TO 1/2/08 AT THE AGENT'S REQUEST.**
2. **Project# 1006953**
07DRB-70406 VACATION OF PUBLIC EASEMENT
LOGAN HALL request(s) the above action(s) for all or a portion of Lot(s) 1-A, Block(s) 4, **TERRACE ADDITION**, zoned SU-2/NCR, located on LEAD AVE SE BETWEEN LOCUST AVE SE AND ELM ST SE containing approximately 0.4539 acre(s). (K-15) **DEFERRED TO 1/23/08 AT THE AGENT'S REQUEST.**
3. **Project# 1004073**
07DRB-70399 MAJOR - 2YR SUBD IMP AGMT EXT (2YR SIA)
MARK GOODWIN AND ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 1-5, **JUAN TABO HILLS Unit(s) 1**, zoned R-D, located on JUAN TABO BLVD NE BETWEEN EUBANK BLVD NE AND FOUR HILLS ROAD SE containing approximately 244.4124 acre(s). (M-21, M-22) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

4. **Project# 1001449**
07DRB-70379 VACATION OF PUBLIC
RIGHT-OF-WAY
07DRB-70380 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- ABQ ENGINEERING agent(s) for CV LAND DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 9, Block(s) A, **KIRTLAND ADDITION Unit(s) 2**, located on GIBSON SE BETWEEN UNIVERSITY SE AND YALE SE containing approximately 3.254 acre(s). (M-15) [*Deferred from 12/5/07*] **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR REVISION OF ADJOINER FOR ALLEY AND ACCESS EASEMENTS, AND FOR REMOVAL OF EASMENT NOTE PER TRANSPORTATION, AND TO RECORD.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

5. **Project# 1003479**
07DRB-70438 EPC APPROVED SDP
FOR BUILD PERMIT
- DAC ENTERPRISES INC agent(s) for EDDIE & CHRISTINE LOPEZ request(s) the above action(s) for all or a portion of Lot E, **ST ANTHONY ORPHANAGE ADDITION**, zoned SU-1 FOR C-1 Residential, located on 12TH ST NW BETWEEN INDIAN SCHOOL RD NW AND I-40 containing approximately 1.4 acre(s). [REF: 06EPC-00955] (H-13) [*Catalina Lehner- EPC Planner*] **DEFERRED TO 1/2/08 AT THE AGENT'S REQUEST.**
6. **Project# 1004875**
07DRB-70382 EPC/ SDP FOR
BUILDING PERMIT
07DRB-70383 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- ALBUQUERQUE MONTHLY MEETING OF THE RELIGIOUS SOCIETY OF FRIENDS request(s) the above action(s) for all or a portion of Lot(s) 19-25, Block(s) 2, **IVES ADDITION** zoned SU2 FOR S-R, located on 5TH ST NW BETWEEN BELLAMAH NW AND ASPEN AVE NW containing approximately 0.57 acre(s). [REF: 06EPC00627/00628] (J-14) [*Catalina Lehner - EPC Planner*] [*Deferred from 11/21/0 & 12/5/07*] **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR 6 FT SIDEWALK FOR RAMP DETAIL, BUILD NOTE FOR ALLEY, REFERENCE TO CITY STANDARD 24-15, ALLEY IMPROVEMENTS, CURB AND GUTTER TO REPLACE 3 EXISTING DRIVE PADS AND TO CITY ENGINEER FOR THE SIA AND FOR 3 COPIES. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/19/07, THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

7. **Project# 1000965**
07DRB-70421 AMENDED SDP FOR
SUBDIVISION

CONSENSUS PLANNING agent(s) for ANDALUCIA DEVELOPMENT CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 1-164, 1-54 & 1-60, Tract(s) A, B-2 & 6A, **LANDS OF RAY A GRAHAM III, OVEN CORP & COA; ANDALUCIA AT LA LUZ**, zoned SU-1 FOR PRD & MPOS, located on COORS BLVD NW BETWEEN MONTANO RD NW AND NAMASTE RD NW containing approximately 158 acre(s). (F-11/12 & E-12) *[Deferred from 12/12/07]*. **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project# 1000572**
07DRB-70440 MINOR - TEMP DEFR
SWDK CONST

ISAACSON AND ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of **THE PRESIDIO Unit(s) 1 & 2**, zoned SU-1 FOR PRD, located on CHICO RD NE BETWEEN EUBANK BLVD NE AND MORRIS ST NE containing approximately 28.0088 acre(s). (K-21) **THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

9. **Project# 1001164**
07DRB-70434 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

BOHANNAN HUSTON INC agent(s) for HUNT UPTOWN III, LLC request(s) the above action(s) for all or a portion of Tract(s) B-1-A, **ST. PIUS X SUBDIVISION**, zoned SU-3, located on UPTOWN LOOP RD AND INDIAN SCHOOL ROAD containing approximately 1.8509 acre(s). (H-19) **DEFERRED TO 1/9/08 AT THE AGENT'S REQUEST.**

10. ~~Project# 1003125~~
07DRB-70192 MINOR – AMENDED
PRELIMINARY/FINAL PLAT
APPROVAL

MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE/AVIATION & ECLIPSE AVIATION INC request(s) the above action(s) for all or a portion of Tract(s) D-1 & S-1, **LANDS OF DOUBLE EAGLE II AIRPORT AEROSPACE TECHNOLOGY PARK**, zoned SU-1/ AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW BETWEEN PASEO DEL VOLCAN NW AND SHOOTING RANGE PARK RD NW containing approximately 251 acre(s). (F-G/6). **THE AMENDED PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO ABCWUA FOR SATISFACTORY RECTIFICATION OF S1-A WATERLINE ISSUE AND CORRECTION OF EASEMENT LANGUAGE FOR D1-A1, AND TO PLANNING FOR SOLAR COLLECTORS LANGUAGE ON PLAT, AGIS DXF AND TO RECORD. A CONDITION OF FINAL PLAT WILL BE THAT THE DISCLAIMER LANGUAGE PER CITY ATTORNEY BE PLACED ON THE FINAL PLAT.**

11. **Project# 1003798**
07DRB-70424 EXT OF MAJOR
PRELIMINARY PLAT

GREATER ALBUQUERQUE HOUSING PARTNERSHIP agent(s) for GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 7-12, Block(s) 27, **EMIL MANN ADDITION** zoned RT, located on PENNSYLVANIA SE BETWEEN SOUTHERN SE AND TRUMBULL SE containing approximately 1.1 acre(s). (L-19) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

12. **Project# 1004428**
07DRB-70435 EXT OF MAJOR
PRELIMINARY PLAT

MARK GOODWIN AND ASSOCIATES PA agent(s) for ALBUQUERQUE RIO BRAVO PARTNERS LLC request(s) the above action(s) for all or a portion of Tract(s) RR-3B & RR-3D, **CEJA VISTA/ TOWN OF ATRISCO GRANT**, zoned SU-1/C-1, RLT, located on DENNIS CHAVEZ BLVD SW BETWEEN MEADE AVE SW AND 118TH ST SW containing approximately 98.907 acre(s). (P-9) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

13. **Project# 1005130**
07DRB-70437 EXT OF MAJOR
PRELIMINARY PLAT

SLAGLE HERR ARCHITECTS agent(s) for NEW COVENANT CHURCH OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 7A & 25, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2 MIXED USE, located on HOLLY AND PASEO DEL NORTE NE BETWEEN WYOMING NE AND LOUISIANA NE containing approximately 2.7306 acre(s). (C-19) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

14. **Project# 1005081**
07DRB-70441 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO. INC. request(s) the above action(s) for all or a portion of Tract(s) B & F, ANDALUCIA AT LA LUZ, and Tract A-1, ANDALUCIA AT LA LUZ UNIT 3, zoned SU-1/PRD 5 DU/A, located on COORS BLVD NW BETWEEN NAMASTE RD NW AND SEVILLA AVENUE NW containing approximately 18.3517 acre(s). (F-11) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE AND TO TRANSPORTATION FOR RIGHT OF WAY INDICATION, CURVE C1 MUST BE 30 FT AND INDICATION OF NARROWEST PORTION OF RIGHT OF WAY ON COORS AND SEVILLA.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

15. **Project# 1005108**
07DRB-70436 SKETCH PLAT REVIEW
AND COMMENT

RALPH CORRIZ agent(s) for THE DESIGN GROUP request(s) the above action(s) for all or a portion of Tract(s) 67-A-1 & 67-A - 2, zoned C-1 & R-1, located on 4TH ST NW BETWEEN VINEYARD NW AND WILLOW NW containing approximately 2.4 acre(s). (E-15) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. **Project# 1006965**
07DRB-70418 SKETCH PLAT REVIEW
AND COMMENT

CECILIA PULSIFER agent(s) for CECILIA PULSIFER request(s) the above action(s) for all or a portion of Lot(s) 3a, Block(s) 3, **WELLS SANDIA MANOR**, zoned R-1, located on WINDSOR NE AND ARCADIA NE containing approximately .4067 acre(s). (L-23) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. Approval of the Development Review Board Minutes for October 24, 2007, November 7, 2007 and November 14, 2007.

Other Matters:

ADJOURNED: 11:25



DRB CASE ACTION LOG (AMENDED PREL/FINAL)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70192

Project # 1003125

Project Name: LANDS OF DOUBLE EAGLE II AIRPORT AEROSPACE TECHNOLOGY PARK

Agent: MOLZEN-CORBIN & ASSOCIATES

Phone No.:

Your request was approved on _____ by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.** OK
- Copy of recorded plat for Planning.**

3125

DXF Electronic Approval Form

DRB Project Case #: 1003125

Subdivision Name: AEROSPACE TECHNOLOGY PARK TRACTS D1A1 & D1A2

Surveyor: DAN B HOLMES

Contact Person: KIM R KEMPER

Contact Information: 892-5141

DXF Received: 12/11/2007

Hard Copy Received: 12/11/2007

Coordinate System: NMSP Grid (NAD 27)


Approved

12.11.2007
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc **3125** to agiscov on **12/11/2007** Contact person notified on **12/11/2007**

3125

DXF Electronic Approval Form

DRB Project Case #: 1003125

Subdivision Name: AEROSPACE TECHNOLOGY PARK TRACTS D1A & S1A

Surveyor: SANTIAGO ROMERO JR


Contact Person: MIKE PROVINE

Contact Information: 884-5119

DXF Received: 12/14/2007

Hard Copy Received: 12/5/2007

Coordinate System: NMSP Grid (NAD 27)


Approved

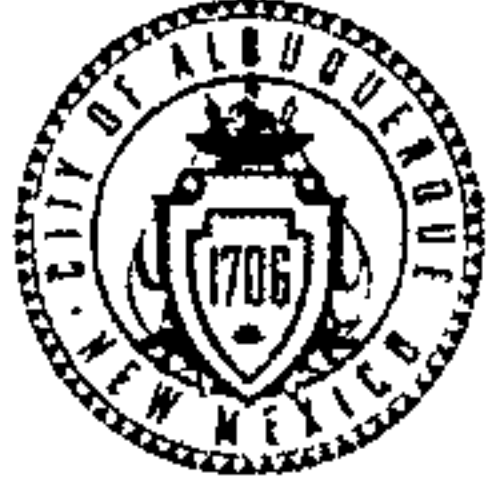
12.10.2007
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc **3125** to agiscov on **12/10/2007** Contact person notified on **12/10/2007**

#12



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **07DRB-70192 (P&F)**

Project # **1003125**

Project Name: **LANDS OF DOUBLE EAGLE II
AIRPORT AEROSPACE TECHNOLOGY PARK**

Agent: **MOLZEN-CORBIN & ASSOCIATES**

Phone No: **242-5700**

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/22/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

ABCWUA: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): AGIS dxf
 record.



Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1003125

**CITY OF ALBUQUERQUE
Planning Department
August 22, 2007
DRB COMMENTS**

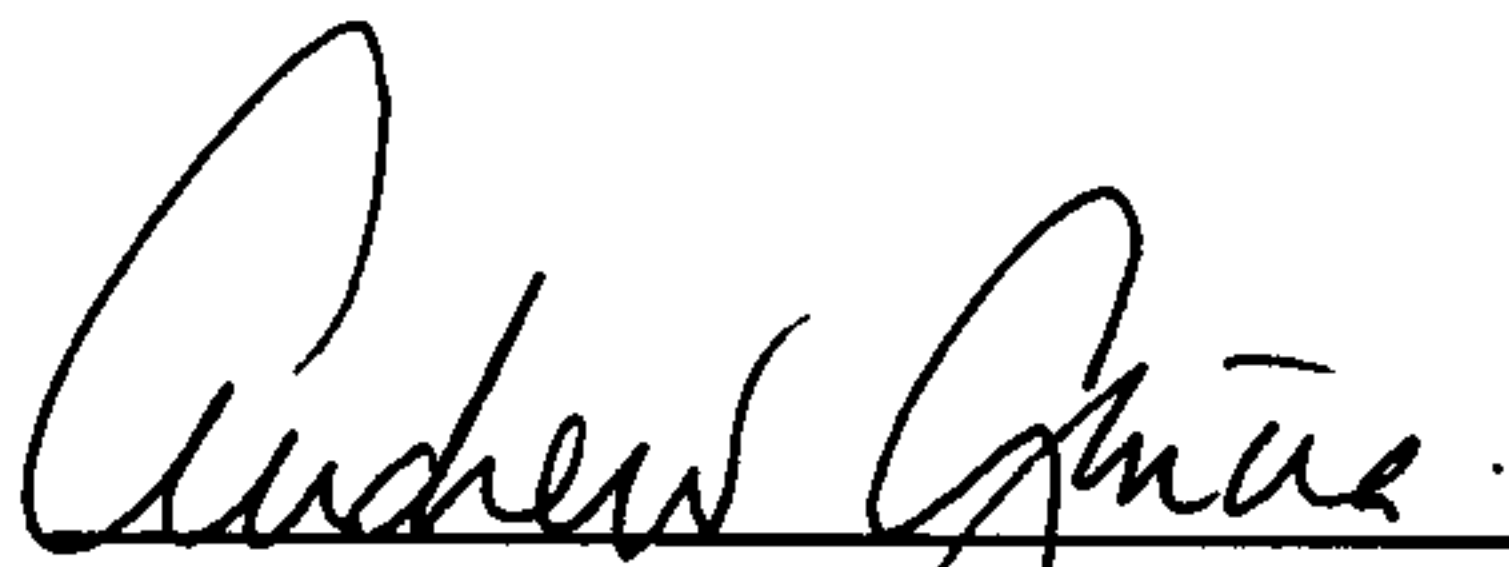
ITEM # 12

PROJECT # 1003125 APPLICATION # 07-70192

**RE: Tract D-1 & S-1, Lands of Double Eagle II Airport aerospace
Technology Park/p &f**

The AGIS dxf is not approved.

Planning will take delegation for the AGIS dxf approval, and to record
the plat.



Andrew Garcia, Planning Alternate
924-3858 agarcia@cabq.gov



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 22, 2007 9:00 A.M.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Sandra Handley, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:15 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project# 1003859**
07DRB-70161 MAJOR - 2YR SUBD IMP
AGMT (2YR SIA)

BOHANNAN HUSTON INC agent(s) for SILVERLEAF VENTURES LLC request(s) the above action(s) for all or a portion of Tract(s) 1-9, **NORTH ANDALUCIA AT LA LUZ**, zoned SU-1 for C-2, O-1 & PRD, located on COORS BLVD NW BETWEEN MONTANO RD NW AND LEARNING RD NW containing approximately 50.77 acre(s). (E-12 & F-12) **TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project# 1004355**
07DRB-70146 VACATION OF PUBLIC
RIGHT-OF-WAY
- WILSON AND COMPANY INC agent(s) for KB HOME NEW MEXICO request(s) the above action(s) for all or a portion of **VISTA VIEJA, UNIT 2**, zoned R-D, located on VISTA TERRAZA DR NW BETWEEN BOUVARDIA RD NW AND MOCK HEATHER RD NW. (D-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**
3. **Project# 1004607**
07DRB-70147 VACATION OF PUBLIC
RIGHT-OF-WAY
- WILSON AND COMPANY INC agent(s) for KB HOME NEW MEXICO request(s) the above action(s) for all or a portion of Block(s) 12 & 14, 20, **VISTA VIEJA, UNITS 3 & 4**, zoned R-D, located on VISTA TERRAZA DR NW BETWEEN BOUVARDIA RD NW AND MOCK HEATHER RD NW (D-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**
4. **Project# 1002739**
07DRB-70148 VACATION OF PUBLIC
EASEMENT
07DRB-70149 MAJOR - PRELIMINARY
PLAT APPROVAL
07DRB-70150 MINOR - SDP FOR
SUBDIVISION
07DRB-70151 SUBDN DESIGN
VARIANCE FROM MIN DPM STDS
07DRB-70152 SIDEWALK WAIVER
07DRB-70153 MINOR - TEMP DEFR
SWDK CONST
- MARK GOODWIN AND ASSOCIATES PA agent(s) for KB HOME NEW MEXICO INC. request(s) the above action(s) for all or a portion of Parcel(s) 4 & 6, **ANDERSON HEIGHTS, UNIT 4 & 6**, zoned R-D, located on 118th ST NW BETWEEN COLONEL AVE NW AND AMOLE MESA NW containing approximately 56.8675 acre(s). *[Deferred from 08/15/07]* (N-8) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. WITH AN APPROVED GRADING PLAN ENGINEER STAMP DATED 07/20/07, THE PRELIMINARY PLAT WAS APPROVED. THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE AND FOR 3 COPIES OF THE PLAN. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT D IN THE PLANNING FILE. THE SIDEWALK WAIVER AND THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WERE APPROVED AS SHOWN OF EXHIBIT C.**

5. **Project# 1006516**
 07DRB-70030 BULK LAND VARIANCE
 07DRB-70031 MAJOR - PRELIMINARY
 PLAT APPROVAL
 07DRB-70034 VACATION OF PUBLIC
 EASEMENT
 07DRB-70032 MINOR - TEMP DEFR
 SWDK CONST
 07DRB-70033 SIDEWALK WAIVER
 07DRB-70085 MINOR-PRELIM&FINAL
 PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for MESA DEL SOL, LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, **MESA DEL SOL**, zoned SU-2/PC, located on UNIVERSITY BLVD SE BETWEEN SOLAR MESA AVE. SE AND BOBBY FOSTER SE containing approximately 114.7792 acre(s). *[Deferred from 06/27/07, 07/25/07, 07/22/07 & 08/22/07]* (R-15, R-16, S-15 & S-16) **DEFERRED AT THE AGENT'S REQUEST TO 09/26/07.**
6. **Project # 1005070**
 06DRB-01154 Major-Preliminary Plat
 Approval
 06DRB-01156 Minor-Sidewalk Waiver
 06DRB-01155 Minor-Temp Defer SDWK
- SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). *[Deferred from 9/6/06, 9/13/06, 9/27/06, 10/11/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07, 4/18/07, 6/20/07, 7/18/07 & 08/22/07]* (C-9) **Deferred at the agent's request to 09/05/07.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
 MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

7. **Project# 1004622**
 07DRB-70197 EPC APPROVED SDP
 FOR BUILD PERMIT
- GEORGE RAINHART ARCHITECTS agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 18, PARCELS K, M & N, Tract(s) A, Block(s) 21, **NORTH ALBUQUERQUE ACRES, Unit(s) A**, zoned SU-2/C-1, located on PASEO DEL NORTE NE BETWEEN BARSTOW NE AND WYOMING BLVD NE containing approximately 1.45 acre(s). *[Deferred from 08/22/07]* **[Anna DiMambro, EPC Planner]** (D-19) **DEFERRED AT THE AGENT'S REQUEST TO 08/29/07.**
8. **Project# 1005484**
 07DRB-70196 EPC APPROVED SDP
 FOR BUILD PERMIT
- MULLEN HELLER ARCHITECTURE agent(s) for CAT STEVENS LLC request(s) the above action(s) for all or a portion of Tract(s) H-6A6A2A1, **RIVERVIEW PARCELS**, zoned SU-1 FOR IP USES, located on GOLF COURSE RD NW BETWEEN PASEO DEL NORTE NW AND SHELLY ROSE NW containing approximately 0.9607 acre(s). **[Carol Toffaleti, EPC Planner]** (C-12) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK EASEMENT AND TO PLANNING FOR 3 COPIES.**

9. **Project# 1005389**
07DRB-70189 MINOR - SDP FOR BUILDING PERMIT
- SADLER CONSTRUCTION agent(s) for ALTUSA LLC request(s) the above action(s) for all or a portion of Tract(s) 7, **LAS LOMITAS BUSINESS PARK**, zoned SU-1/IP, located on EL PUEBLO NE BETWEEN EDITH NE AND JEFFERSON NE containing approximately 1.7015 acre(s). (D-16) **WITHDRAWN AT THE AGENT'S REQUEST.**
10. **Project# 1005282**
07DRB-70170 EPC APPROVED SDP FOR BUILD PERMIT
- ANISSA CONSTRUCTION INC agent(s) for MIKE HOSNI of M & F AUTO PARKING GARAGE request(s) the above action(s) for all or a portion of Lot(s) A-26-B1, CASY SUBDIVISION, zoned SU-1 FOR C-2 USES, located on COORS BETWEEN QUAIL NW AND PHEASANT NW containing approximately 2.4334 acre(s). **[Catalina Lehner, EPC Case Planner] [Deferred from 08/15/07] (G-11) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CATALINA LEHNER'S INITIALS AND 3 COPIES OF THE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project# 1005415**
07DRB-70188 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- JACKS HIGH COUNTRY INC agent(s) for LAWRENCE SEGURA request(s) the above action(s) for all or a portion of Tract(s) 43B1 ,43C1 & 43D1, TOWN OF ALBUQUERQUE GRANT (to be known as **LANDS OF JODI AND LAWRENCE SEGURA**, zoned RA-2, located on CARLOTA NW BETWEEN GABALDON RD NW AND LOS LUCEROS NW containing approximately 0.981 acre(s). (H-12) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD THE PLAT.**
- ~~12. Project# 1003125~~
07DRB-70192 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE/AVIATION & ECLIPSE AVIATION INC request(s) the above action(s) for all or a portion of Tract(s) D-1 & S-1, **LANDS OF DOUBLE EAGLE II AIRPORT AEROSPACE TECHNOLOGY PARK**, zoned SU-1/ AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW BETWEEN PASEO DEL VOLCAN NW AND SHOOTING RANGE PARK RD NW containing approximately 251 acre(s). (F-G/6). **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD THE PLAT**

13. **Project# 1003613**
07DRB-70193 MAJOR - FINAL PLAT APPROVAL
- THOMPSON ENGINEERING CONSULTANTS, INC agent(s) for SUNSET VILLA, LLC request(s) the above action(s) for all or a portion of Lot(s) 11, 1-4, Tract(s) 34 (to be known as **SUNSET VILLA**) zoned SU-1 for PRD, located on SUNSET GARDENS RD SW BETWEEN ATRISCO RD SW AND SUNSET GARDENS RD SW containing approximately 14.7 acre(s). (K-12) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR MRGCD SIGNATURE, REVISE NOTE 11, SHOW ACCESS EASEMENT TO TRACT 11, DEDICATION ON SUNSET GARDENS TO MOVE MRGCD EASEMENT AND TO PLANNING TO RECORD THE PLAT.**
14. **Project# 1002837**
07DRB-70191 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for BARBARA JARVIS request(s) the above action(s) for all or a portion of Lot(s) 12 & 13, Block(s) 3, **BUENA VISTA HEIGHTS**, zoned SU-2/UC, located on LEAD AVE SE BETWEEN SILVER SE AND YALE SE containing approximately 0.326 acre(s). (K-15) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ISSUE ON LEAD AVENUE AND TO PLANNING FOR COPY OF THE RECORDED PLAT.**
15. **Project# 1006742**
07DRB-70194 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for JOE OLIVAS request(s) the above action(s) for all or a portion of Lot(s) 1 & 10, Block(s) 14, **EAST CENTRAL BUSINESS ADDITION**, with a portion of vacated Skyline Rd NE, zoned C-2, located on DOROTHY ST NE BETWEEN LINN AVE NE AND MARTHA ST NE containing approximately 0.5527 acre(s). (L-21) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR 15-FOOT RADIUS ON LINN AND DOROTHY AND COPY OF THE RECORDED PLAT.**
16. **Project# 1006549**
07DRB-70195 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for BENCOR request(s) the above action(s) for all or a portion of Tract(s) Z, **MILLS & BOREN SUBDIVISION**, zoned C-2, located on CARLISLE BLVD NE BETWEEN MENAUL BLVD AND SOLANO NE containing approximately 1.66 acre(s). (H-17) **THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

17. **Project# 1005160**
07DRB-70178 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for MARK GONZALES request(s) the above action(s) for all or a portion of Lot(s) 2-A & 4-A, Tract(s) 246, **JESUS ROMERO ADDITION, UNIT 2**, and Tract 246, MRGCD Map 38, zoned C-1 W/CONDITIONAL USE FOR DWELLING UNITS, located on RIO GRANDE BLVD NW BETWEEN HOLLYWOOD AVE NW AND SOTO NW containing approximately 0.4309 acre(s). *[Deferred from 08/15/07]* (J-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CONDITIONAL USE REVISION, AGIS DXF FILE AND COPY OF THE RECORDED PLAT.**
18. **Project # 1004387**
07DRB-00335 Final Plat Approval
- SURVEYS SOUTHWEST LTD agent(s) for JUDITH C SCHAAB request(s) the above action(s) for all or any portion of Lot(s) 31-35, Block(s) 12, **COUNTRY CLUB ADDITION**, together with a portion of LAS LOMAS RD NE, zoned O-1 located on LAS LOMAS RD NE between ENCINO PL NE and CEDAR CT NE containing approximately 1 acre(s). [REF: 06DRB00644, 05DRB01332] *[Deferred from 04/11/07, Indef defer 4/18/07]* (J-15) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR REAL PROPERTY'S SIGNATURE AND COPY OF THE RECORDED PLAT.**
19. **Project #1003828**
07DRB-00717 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- WILLIAM T CANIGLIA, agent(s) for CANDELARIA VILLAGE COMPANY request(s) the above action(s) for all or a portion of Lot(s) 38, **CANDELARIA VILLAGE**, zoned R-1, located on 12TH ST NW and DON FRANCISCO PL NW containing approximately 0.338 acre(s). *[Defer from 06/20/07, 7/11/07 & 08/22/07]* (G-13) **Deferred at the agent's request to 10/17/07.**
20. **Project# 1003445**
07DRB-70054 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for FOUNTAIN HILLS PLAZA LLC request(s) the above action(s) for Tract(s) B-1-A, C-1-A, D-1-A & Lot(s) 6-A-1-A, A and 10-A-2, Block(s) D, Unit 1, ALBUQUERQUE WEST, **FOUNTAIN HILLS** and Tract(s) B, RICHLAND HILLS, UNIT 1, zoned SU-1 FOR IP USES W/EXCEPTIONS & PDA TO INCLUDE C-3 USES, located on NUNZIO AVE NW between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 39.9074 acre(s). *[Defer from 06/20/07]* [REF: 07DRB00261] (C-12) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SITE PLAN FOR SUBDIVISION AMENDMENT AND TO RECORD THE PLAT.**

21. **Project# 1006715**
07DRB-70169 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACK'S HIGH COUNTRY INC. agent(s) for ALVIN & NANCY ANDERSEN request(s) the above action(s) for all or a portion of Lot(s) 11, **RINCON DEL RIO ADDITION**, zoned RA-2, located on RINCON DEL RIO CT NW BETWEEN TRELIS DR NW AND GLENWOOD NW containing approximately 0.4719 acre(s). [Deferred from 08/08/07,08/15/07 & 08/22/07] (G-12) **Deferred at the agent's request to 08/29/07.**

22. **Project# 1003692**
07DRB-70035 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

WILSON AND COMPANY INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) A, B, AND C, LANDS OF ALBUQUERQUE PUBLIC SCHOOLS (to be known as **HEIGHTS COMMUNITY CENTER**) zoned SU-2 for O-1, located on BUENA VISTA AVE SE BETWEEN ST. CYR AVE SE AND COAL AVE SE containing approximately 7.916 acre(s)(K-15) [Deferred from 6/13/07 & 08/22/07. Indef deferred on 06/20/07] **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT AND TO RECORD.**

23. **Project# 1006507**
07DRB-70025 MINOR - FINAL PLAT
APPROVAL

COMMUNITY SCIENCES CORP agent(s) for K & M DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 17, 18, 19 & 20, Block(s) 30, RAYNOLDS ADDITION (to be known as **14TH & COAL SUBDIVISION, UNIT 1**) zoned SU-2/MFR, located on 14TH ST SW BETWEEN IRON SW AND LEAD SW containing approximately 0.33 acre(s). [REF: DRB 1005244] [Indef deferred on 06/20/07] (K-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**

24. **Project# 1006509**
07DRB-70026 MINOR - FINAL PLAT
APPROVAL

COMMUNITY SCIENCES CORP agent(s) for K & M DEVELOPMENT INC. request(s) the above action(s) for all or a portion of Lot(s) 13, 14, 15, 16, 17, 18 AND 19, Block(s) 29, HUNING CASTLE ADDITION (to be known as **14TH & COAL SUBDIVISION, UNIT 2**) zoned SU-2 FOR MFR, located on 14TH ST SW BETWEEN IRON SW AND LEAD SW containing approximately 0.68 acre(s). [REF: 1005244] [Indef deferred on 06/20/07] (K-19)) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

25. **Project# 1005094**
07DRB-70190 SKETCH PLAT REVIEW
AND COMMENT

ANTONIO BILOTTO request(s) the above action(s) for all or a portion of Lot(s) 7 & 8, Block(s) A, **GRANDE HEIGHTS SUBDIVISION**, zoned R-1, located on WARD CT NW BETWEEN VISTA GRANDE NW AND SEQUOIA CT NW containing approximately 1.573 acre(s). (G-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

26. Approval of the Development Review Board Minutes for July 25, 2007. **THE DRB MINUTES FOR JULY 25, 2007 WERE APPROVED BY THE BOARD.**

Other Matters:

ADJOURNED: 11:15 A.M.



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plan boundaries)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): SANTIAGO ROMERO JR & ASSOC. INC PHONE: 505 400-3845
 ADDRESS: 8708 BRANDYWINE RD. NE FAX: 505 884-5119
 CITY: ALBUQUERQUE STATE NM ZIP 87111 E-MAIL: sromero@questoffice.net

APPLICANT: CITY OF ALBUQUERQUE AVIATION DEPT. PHONE: 244-7805
 ADDRESS: 2200 SUNPORT BLVD. SE. PO BOX 9948 FAX: 244-7793
 CITY: ALBUQUERQUE STATE NM ZIP 87111 E-MAIL: j.hinde@cabq.gov

Proprietary interest in site: _____ List all owners: CITY OF ALBUQUERQUE & BLACK RANCH JOINT VENTURE

DESCRIPTION OF REQUEST: ADJUST TRACT BOUNDARIES.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS D-1-A-1 & D-1-A-2, AEROSPACE Block: _____ Unit: _____
 Subdiv/Addn/TBKA: AEROSPACE TECHNOLOGY PARK @ DE II AIRPORT
 Existing Zoning: SU-1 AIRPORT & REL. FAC Proposed zoning: SAME MRGCD Map No N/A
 Zone Atlas page(s): F-6 UPC Code: 100606109926730101

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1003125

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 2 No. of proposed lots: 2 Total site area (acres): 150 AC
 LOCATION OF PROPERTY BY STREETS: On or Near: N. of SHOOTING RANGE RD & ATLASO VISTA RD.
 Between: _____ and _____

Check if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 10/17/2011
 (Print Name) SANTIAGO ROMERO JR. Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 6/2011

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>HDRB - 70288</u>	<u>SP</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>Oct. 26, 2011</u>			Total \$ <u>0</u>

[Signature] 10-17-11
 Staff signature & Date

Project # 1003125

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SANTIAGO ROMERO JR.
Applicant name (print)
[Signature]
Applicant signature / date



Form revised **October 2007**

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
110RB - 70288

[Signature] 10-17-11
Planner signature / date
 Project # 1003125



Santiago Romero Jr.
and Associates, Inc.
ENGINEERS • SURVEYORS

Oct. 17, 2011

Mr. Jack Cloud
Design Review Board
Planning Department
City of Albuquerque, NM

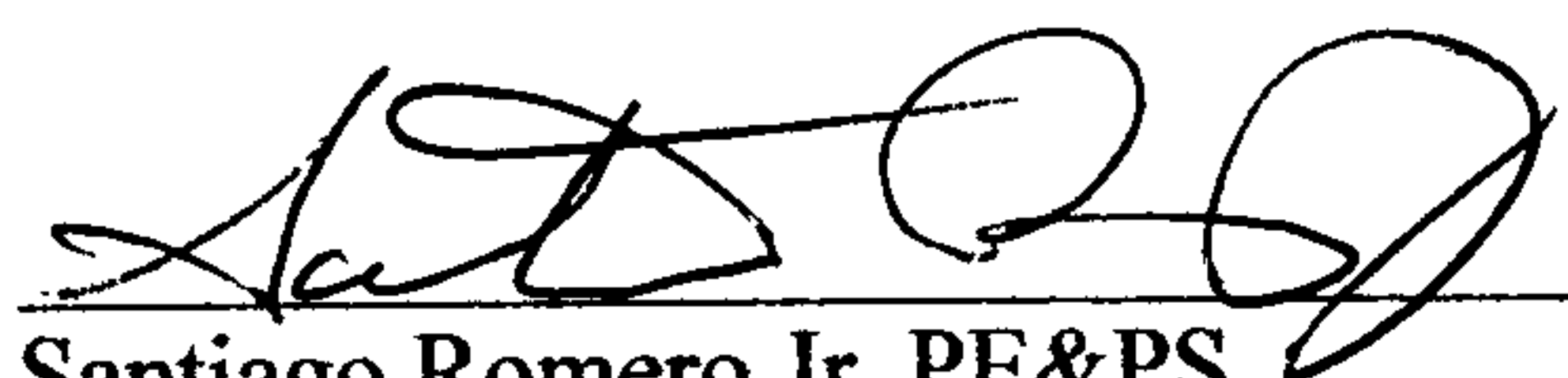
RE: Sketch Plat for Tracts D-1-A-1-A & D-1-A-1-B, of Bulk Land Plat for Aerospace Technology Park, Double Eagle II Airport.

Dear Sir:

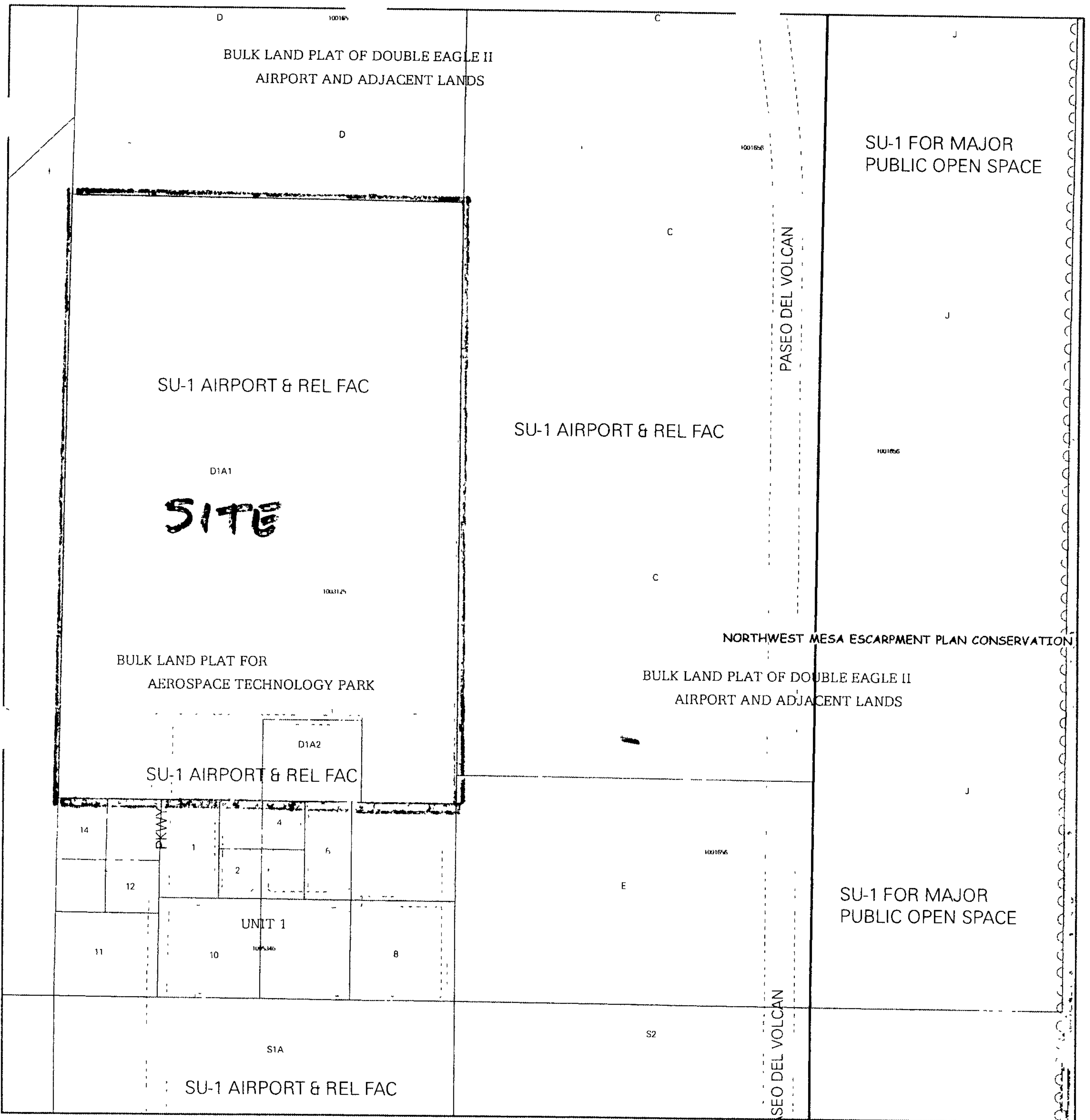
The purpose of this plat is to take two portions of the existing larger Tract D-1-A-1 and add both of these portions to the existing smaller Tract D-1-A-2. The two existing tracts were created by the document "Tracts D-1-A-1, D-1-A-2 & S-1-A of Amended Bulk Land Plat Aerospace Technology Park, June 2007" and filed as Document # 2008054238 on 5/13/2008.

The east and west property lines of the existing Tract D-1-A-2 are to be deleted and the bearing of the north property line of said tract is projected east and west to the property lines of Tract D-1-A-1, creating a new tract to be known as Tract D-1-A-1-B. The remainder of Tract D-1-A-1 is to be known as Tract D-1-A-1-A. Easements shall remain unchanged. Please call if you have any questions or need additional information.

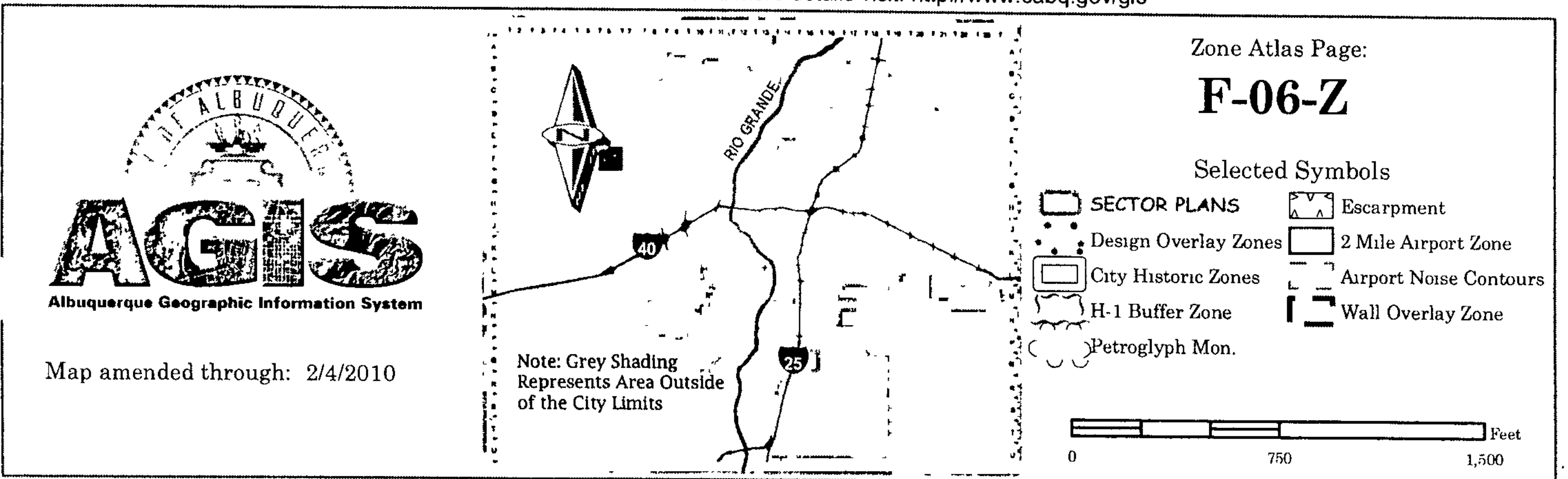
Sincerely



Santiago Romero Jr. PE&PS



For more current information and more details visit. <http://www.cabq.gov/gis>



Zone Atlas Page:

F-06-Z

Selected Symbols

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

12/11/2007 Issued By: PLNABG

Permit Number: 2007 070 439 **Category Code 910**

Application Number: 07DRB-70439, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: DOUBLE EAGLE AIRPORT SE BETWEEN PASEO DEL VOLCAN SE AND SHOOTING RANGE ACCESS RD SE

Project Number: 1003125

Applicant
Eclipse Aviation

2503 Clark Carr Loop Se
Albuquerque NM 87108
724-1247

Agent / Contact
Huitt-Zollars, Inc., Kim R. Kemper

333 Rio Rancho Dr Ne, Suite 101
Rio Rancho NM 87124

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441008/4983000	DRB Actions	\$285.00
TOTAL:		\$305.00

City Of Albuquerque
Treasury Division

12/11/2007 11:45AM LOC: ANNX
LS# 007 TRANS# 0018
RECEIPT# 00091581-00091581
PERMIT# 2007070439 TRMSF
Trans Amt \$350.00
Conflict Manag. Fee \$20.00
DRB Actions \$285.00

Thank You

CITY OF ALBUQUERQUE



My Copy

CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 10

SUBJECT:

Final Plat
Preliminary Plat - Amd

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: December 19, 2007

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 10

SUBJECT:

FINAL PLAT – AMENDED
PRELIMINARY PLAT – AMENDED

ENGINEERING COMMENTS:

No adverse comments

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: DECEMBER 19, 2007

2701 Miles Road SE
Albuquerque, NM 87106
TEL: 505.242.5700
FAX: 505.242.0673

MOLZEN-CORBIN & Associates
ENGINEERS/ARCHITECTS/PLANNERS

May 12, 2008

Development Review Board
City of Albuquerque
600 2nd Street, NW
Albuquerque, NM 87103

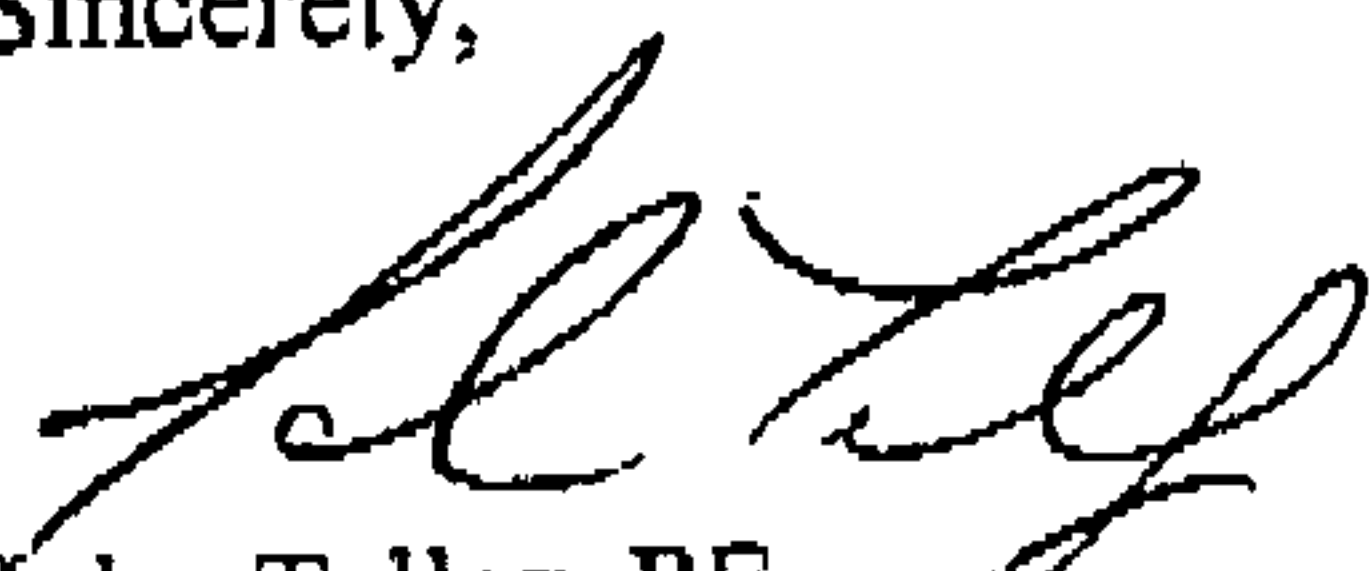
RE: DRB Project #1003125

Dear DRB Chair,

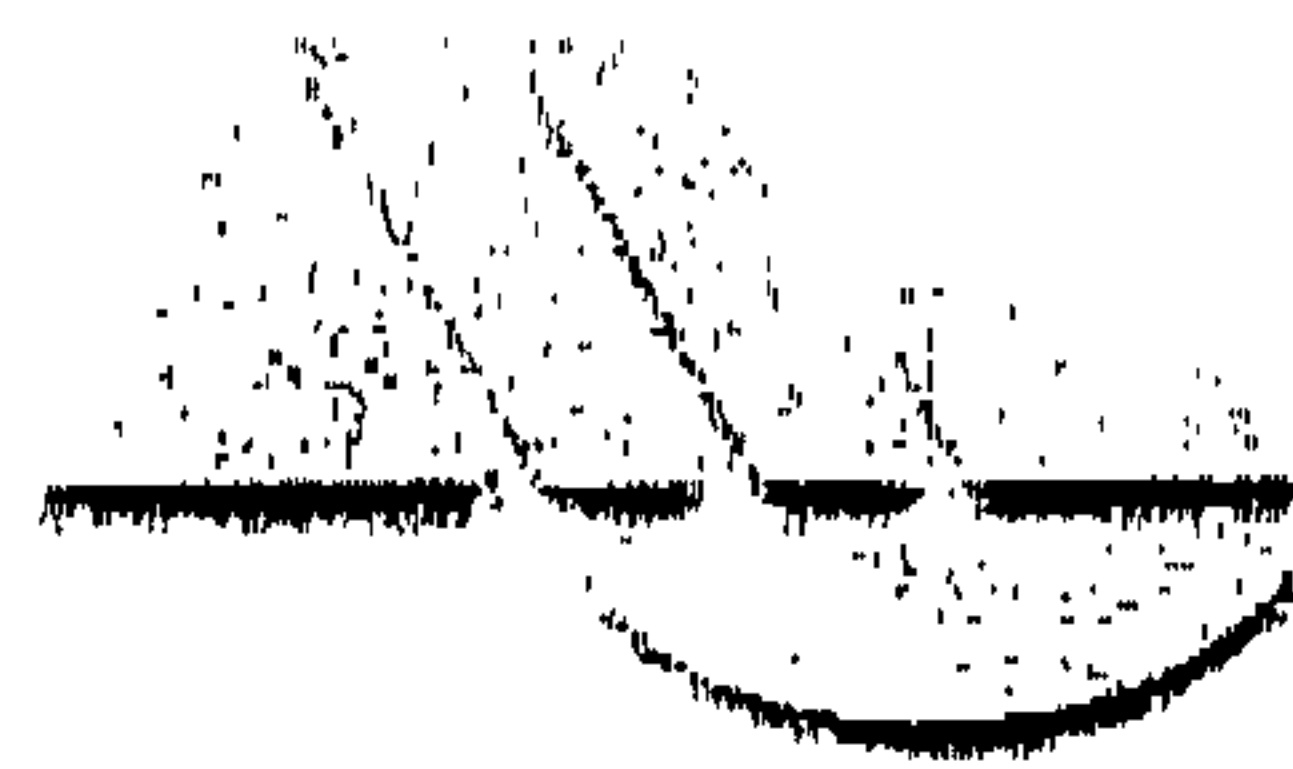
This letter serves as a request for deferral for DRB Hearing, Item #10 on agenda dated May 14, 2008. Our new requested deferral date is May 21, 2008.

If you have any questions or concerns, please do not hesitate to contact me at 242-5700.

Sincerely,


John Tellez, PE

2701 Miles Rd. SE
Albuquerque, NM 87111
505-242-5700
Fax 242-0673



MOLZEN-CORBIN & Associates

Facsimile Transmission

To: DRB Fax: 924-3864

Company: City of Albuquerque Phone: _____

Date: May 12, 2008 Pages: 2, incl. cover

From: John Tellez

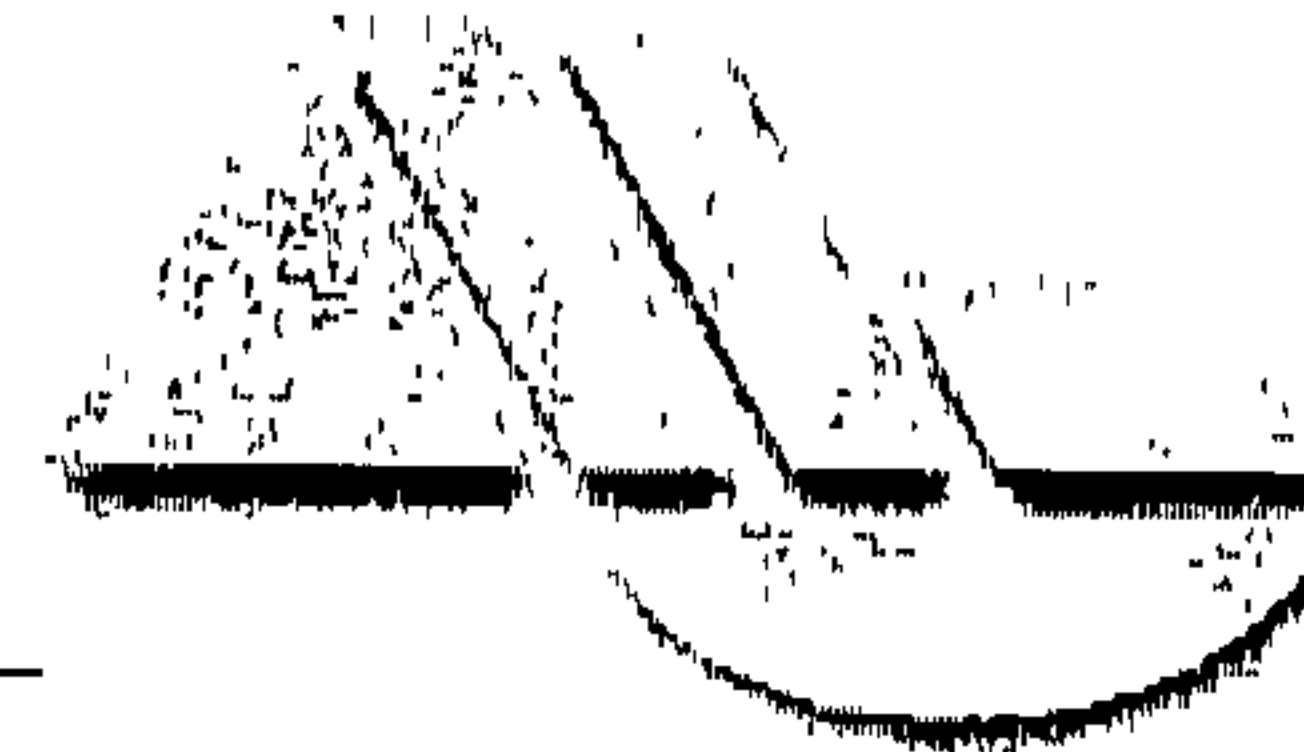
Re: DRB Project # 1003125

CC: _____ Project No. _____

- Urgent
- For Review
- Please Comment
- Please Reply
- Please Recycle

Notes/Comments:

2701 Miles Road SE
Albuquerque, NM 87106
TEL: 505.242.5700
FAX: 505.242.0673



MOLZEN-CORBIN & Associates
ENGINEERS/ARCHITECTS/PLANNERS

Development Review Board
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87103

RE: DRB Project #1003125

Dear DRB Chair:

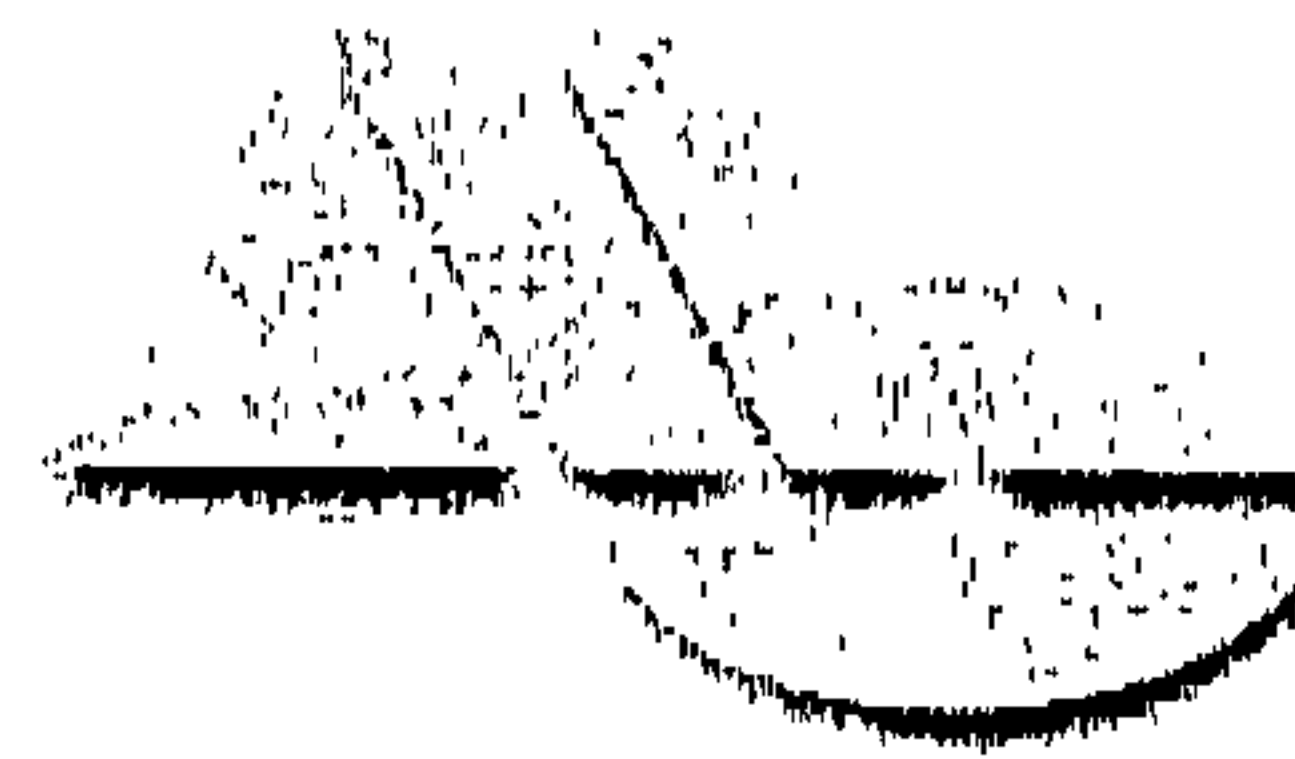
This letter serves as a request for deferral for DRB Hearing, Item #8 on agenda dated May 7, 2008. Our new requested deferral date is May 14, 2008.

If you have any questions or concerns, please do not hesitate to contact me at 242-5700.

Sincerely,

John Tellez, PE

2701 Miles Rd. SE
Albuquerque, NM 87111
505-242-5700
Fax 242-0673



MOLZEN-CORBIN & Associates

Facsimile Transmission

To: DRB Fax: 924-3864

Company: City of Albuquerque Phone: _____

Date: May 7, 2008 Pages: 2, incl. cover

From: John Teller

Re: DRB Project # 1003125

CC: _____ Project No. _____

Urgent For Review Please Comment Please Reply Please Recycle

Notes/Comments:

ENGINEERS

ARCHITECTS

PLANNERS



Supplemental form

SUBDIVISION	S Z ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action	<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action	<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<input checked="" type="checkbox"/> V EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	<input type="checkbox"/> P Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/> for Building Permit	<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)	<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	<input type="checkbox"/> D L A APPEAL / PROTEST of...
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<input type="checkbox"/> Decision by DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
STORM DRAINAGE (Form D)	
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any) Molzen-Corbin & Associates PHONE (505) 242-5700
 ADDRESS 2701 Miles Rd. SE FAX _____
 CITY Albuquerque STATE NM ZIP 87106 E-MAIL _____

APPLICANT Tri Motor, LLC PHONE (505) 473-2032
 ADDRESS 2850 A. Rufina FAX _____
 CITY Santa Fe STATE NM ZIP 87507 E-MAIL _____

Proprietary interest in site _____ List all owners _____

DESCRIPTION OF REQUEST: Requesting Site Development Plan for Bldg. Permit for a Charter School

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No Tract S-1 Block _____ Unit _____
 Subdiv/Addn/TBKA Aerospace Technology Park in Double Eagle II Airport
 Existing Zoning SU-1 AIRPORT & REL. FAC Proposed zoning _____ MRGCD Map No _____
 Zone Atlas page(s) G-6 UPC Code _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj, App, DRB-, AX, Z, V, S, etc) _____
EPC#03EPC-02054, DRB#04DRB-01630, COA Proj. #1003125

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No of existing lots 1 No of proposed lots 1 Total area of site (acres) 300 2.
 LOCATION OF PROPERTY BY STREETS On or Near Aerospace Parkway NW
 Between Shooting Range Park Rd NW and Aerospace Parkway NW
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team Date of review _____

SIGNATURE John A. Tellez DATE 04/09/2008
 (Print) _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	SF	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>08DRB 70183</u>	<u>SBP</u>	<u>P(3)</u>	<u>\$ 385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F H D P density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F H D P fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>04/30/08</u>			Total <u>\$ 405.00</u>

Sandy Handley 04/17/08 Project # 1003125
 Planner signature / date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.



 Applicant name (print) John A. Tellez
 Applicant signature / date [Signature] 4/17/08

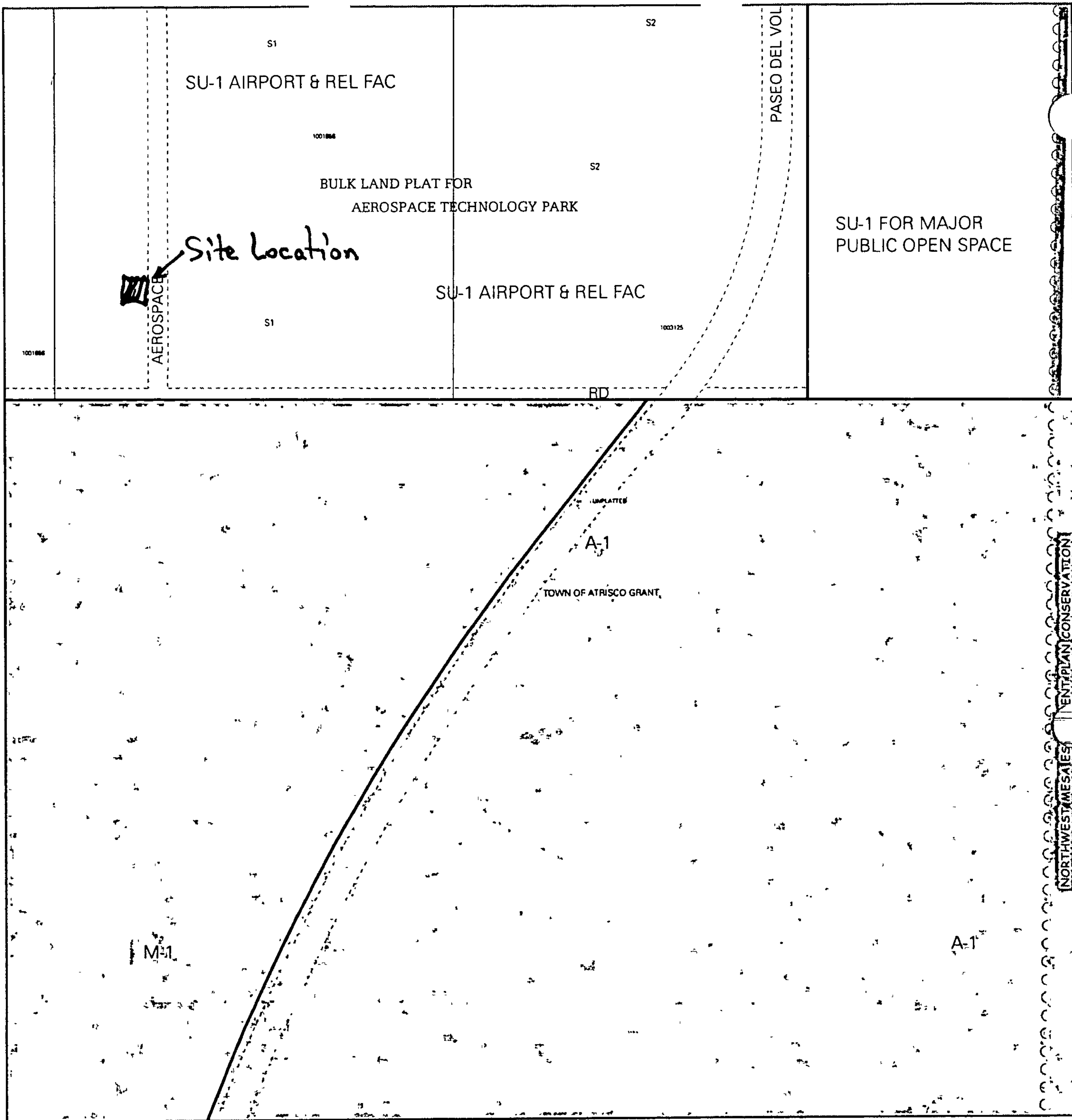


Form revised October 2007

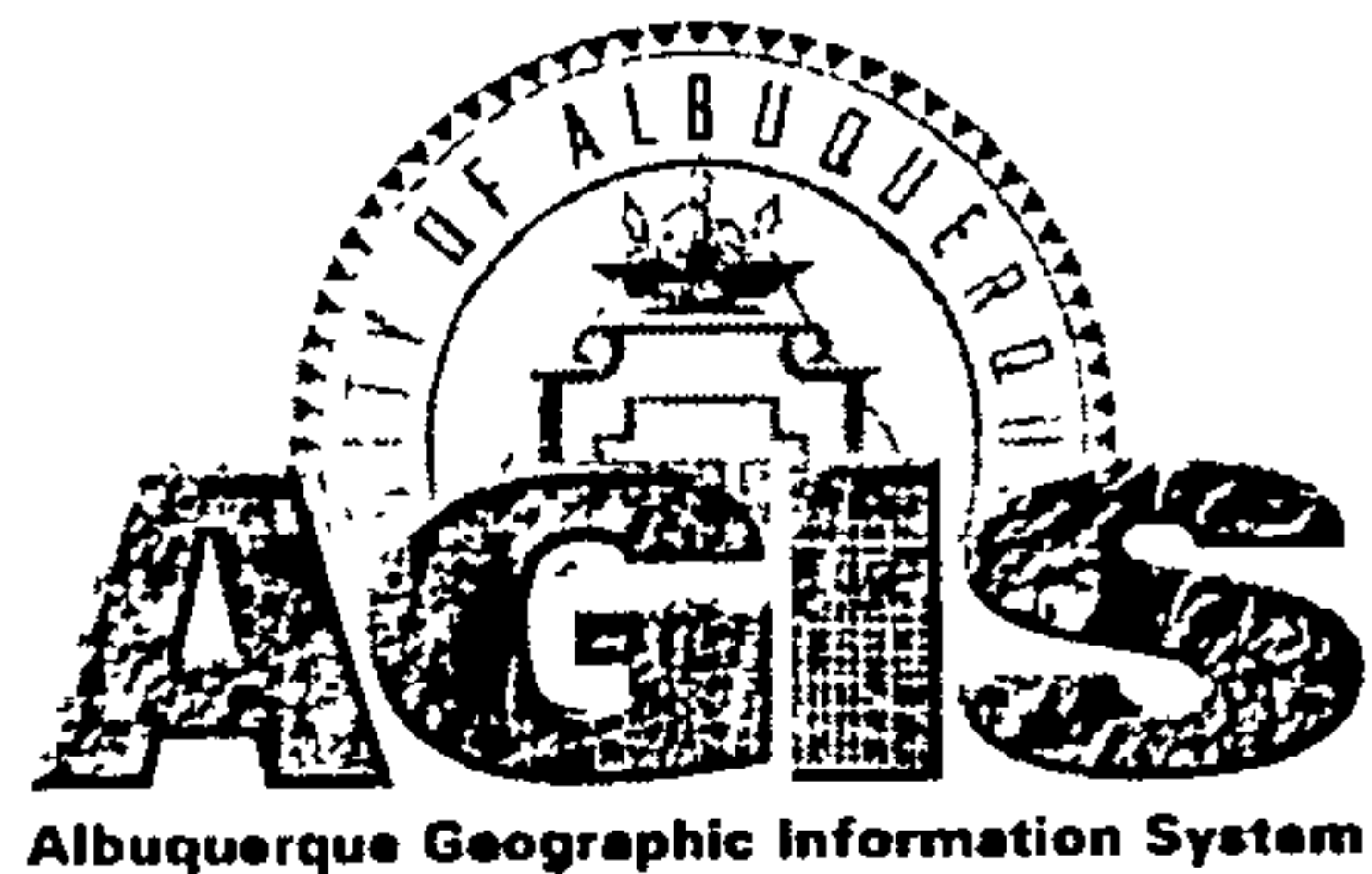
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
08DRB - 70183

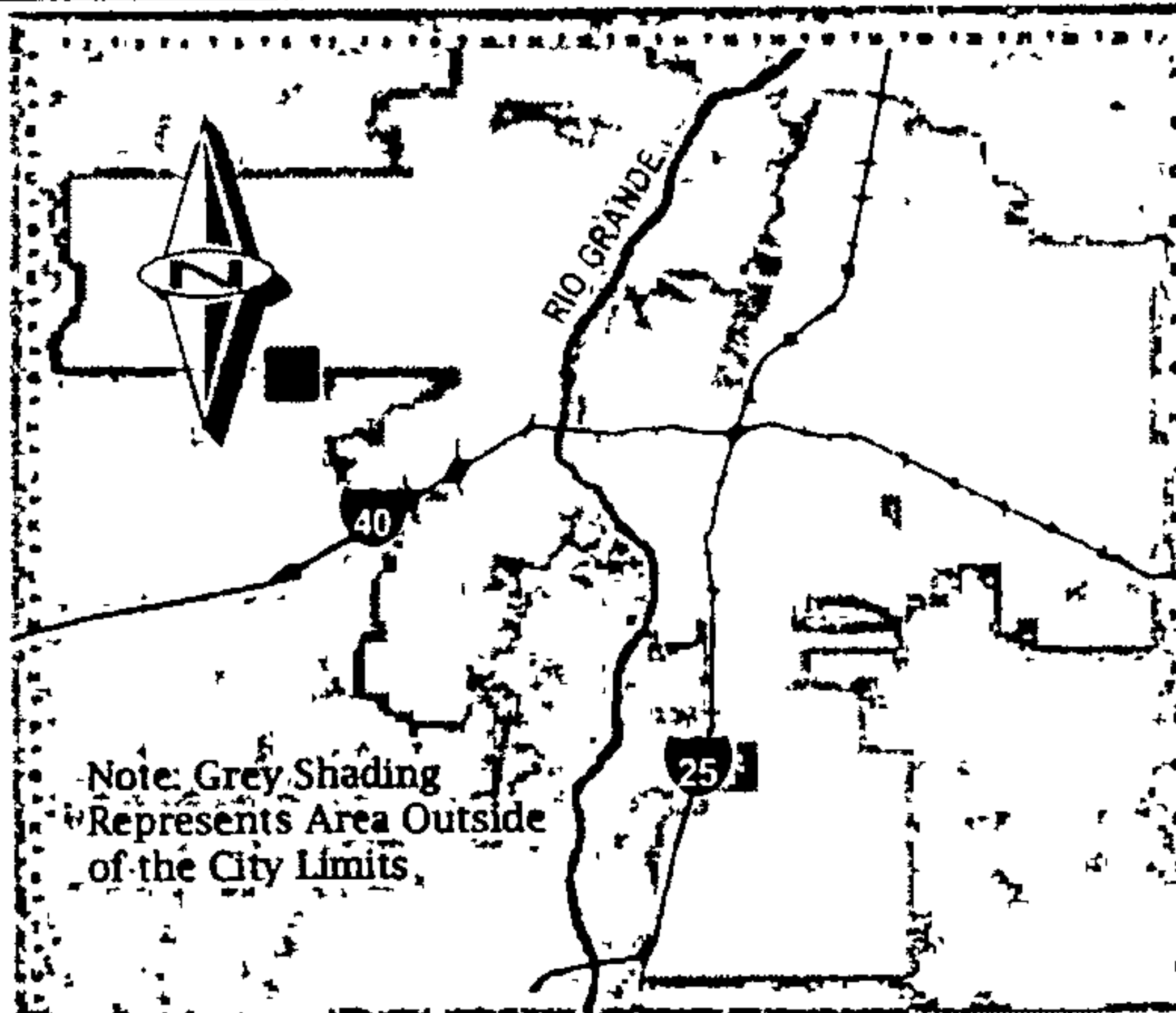

 Planner signature / date [Signature] 04/17/08
 Project # 1003125



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 2/8/2008

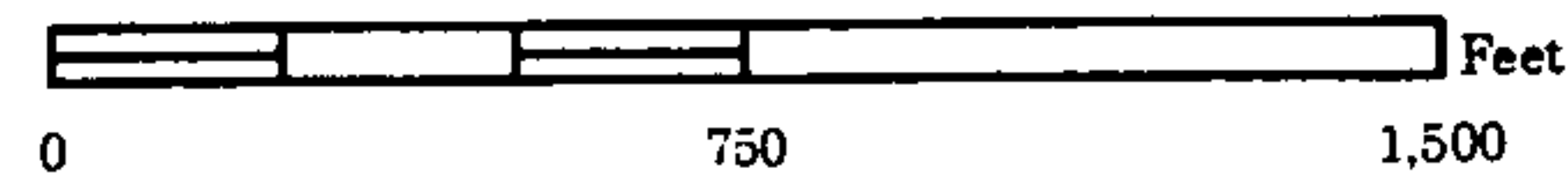


Zone Atlas Page:

G-06-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contour
- Wall Overlay Zone



NORTHWEST SALES
CENTRAL CONSERVATION

2701 MILE SE
ALBUQUERQUE, NM 87106
TEL: 505.242.5700
FAX: 505.242.0673



MOLZEN-CORBIN & Associates
ENGINEERS/ARCHITECTS/PLANNERS

TRI-MOTOR CHARTER SCHOOL

EXECUTIVE SUMMARY

Tri-Motor, LLC, a privately-owned firm, is submitting a request for building permit for a Charter School to be built at Double Eagle II Airport. The property is currently owned by the City of Albuquerque, Aviation Department, and will be leased by Tri-Motor. All infrastructure, including utilities, will be installed as part of this request. The scope of work closely follows the Aerospace Technology Park Master Plan, approved by EPC and DRB in 2004.

TRI-MOTOR, LLC

Commercial Building and Leasing

2850 A Rufina Street
Santa Fe, NM 87507

505-473-2032 office
505-473-9474 fax

April 11, 2008

Development Review Board
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87103

RE: Site Plan for Development / Building Permit

Dear DRB Chair:

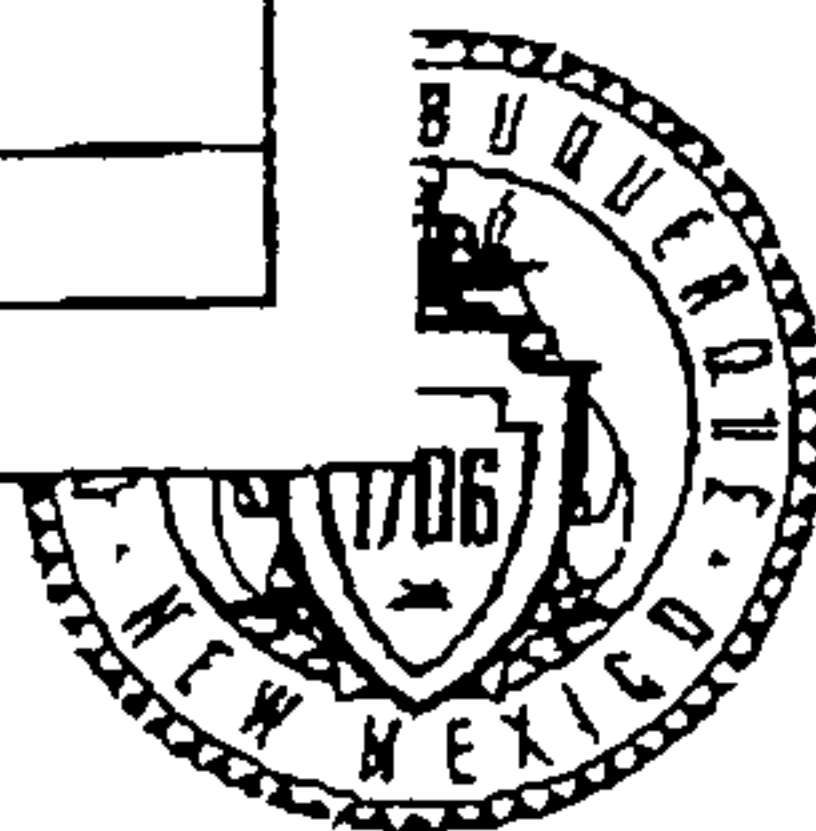
The purpose of this letter is to authorize Molzen-Corbin & Associates to act as our agent for the site plan for building permit for the ALBUQUERQUE TALENT DEVELOPMENT SECONDARY CHARTER SCHOOL project at the Double Eagle II Airport. Tri-Motor, LLC has entered into a lease with the City of Albuquerque Aviation Department for a parcel within the Aerospace Technology Park area of Double Eagle II Airport and will be constructing the school on the site.

Please contact Mike Provinc at Molzen-Corbin & Associates with any questions or concerns.

Sincerely,


Ralph Balthazar Member
Tri-Motor, LLC.

Post-it® Fax Note	7671	Date	8/1/9	Pages	4
To	Mike Provine	From	line		
Co./Dept.	Molgen-Corbu	Co.	CP		
Phone #		Phone #			
Fax #	2420673	Fax #			



City of Albuquerque
 Planning Department
 Development Services Division
 P.O. Box 1293
 Albuquerque, New Mexico 87103

Date: January 16, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1003125*
 03EPC-02054 EPC Site Development Plan-
 Subdivision

Ranch Joint Venture
 3613 Rio Rancho Rd. Ste H
 Albuquerque, NM 87114

LEGAL DESCRIPTION: for all or a portion of Tracts D and a portion of S, **Lands of Double Eagle II Airport**, zoned SU-1 for Airport Related Uses, located on **DOUBLE EAGLE II AIRPORT**, west of **PASEO DEL VOLCAN** and **NORTH OF SHOOTING RANGE, ACCESS** Road, containing approximately 300-acre(s). (F-5) Chris Hyer, Staff Planner

On January 15, 2004 the Environmental Planning Commission voted to approve Project 1003125/ 03EPC 02054, a request for site development plan for subdivision, for a 300 site legally described as Tracts D and a portion of S (Section 1), Bulk Land Plat of Double Eagle II Airport and Adjacent Lands, Book 2002C, Page 228, zoned SU-1 for airport and related facilities, located at the Double Eagle II Airport, the north side of the Shooting Range Access Road, to the west of old Paseo del Volcan between the existing runways, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for Site Development Plan for Subdivision for 300-acres of lands at the *Double Eagle II Airport*, Tract D and a portion of Section I of tract S as shown on the Bulk Land Plat of Double Eagle II Airport and Adjacent Lands, Book 2002C, Page 228. Tract D is owned by the applicant, Ranch Joint Ventures, and is 200 acres. Tract S, Section I is owned by the City's Aviation Department and is 192.36 acres. Only 100-acres of Tract S is a part of this request. The Lands are located west of Runway 17-35, adjacent to that runway's taxiway network, south of the inner angle formed by the two current runways at *Double Eagle II Airport* and north of Shooting Range Access Road.
2. The request is in compliance with the *Comprehensive Plan's* Goal of promoting Economic Development. (Goal B.2, D.6, Policies a, b & g)

3. This request does not contradict the *Comprehensive Plan* Reserve Area Goal by not incorporating a residential component. Consequently, the reference to the planned communities is not applicable to the airport -- the goal is specific to future planned communities, not the existing airport. The request proposes improvements to an existing facility that predated the "Reserve Area" designation.
4. This request supports the *West Side Strategic Plan's* concept of establishing an employment center at the *Double Eagle II Airport*. (Policies 1.6, 3.76, 3.85, 6.27)
5. Design Guidelines are a part of this submittal and any future Site Development Plans for Building Permit are requested to be delegated to the DRB and not require a public hearing provided they are consistent with this Site Plan for Subdivision and Design Guidelines.
6. The Aerospace Technology Park will be the home of Eclipse Aviation, a start-up airplane manufacturer, on the northern half of the site. The southern half of the site will be created into 30 separate lots, 1 to 10 acres in size, for businesses who desire to locate at the airport.
7. All but 5 of the lots within the Aerospace Technology Park will be accessible by car or truck, or airplane via private taxiways that connect the airport to the various businesses in the Tech-Park.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The following recommended conditions by the City Engineer:
 - a. requirements of previous actions taken by the EPC and the DRB must be completed and/or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
 - c. Traffic Impact Study is required and must be submitted prior to any DRB action or prior to EPC Site Development Plan for Building Permit action, whichever is made first.
 - d. At a minimum, access to site shall meet DPM requirements but may be modified by the Traffic Engineer depending on the results of the TIS.
 - e. Requirements for street right-of-way, geometry, connections and signalization shall be determined by the Traffic Engineer based on the TIS and DPM.

- f. All access points to be designed per DPM standards.
 - g. Provide cross access agreement between tracts.
 - h. Site shall comply and be designed per DPM Standards.
 - i. The note on sheet 1 of the Site Development Plan regarding the delegation of future site development plans for building permits, shall read Development Review Board (DRB) rather than "Administrative Review".
 - j. Platting should be a concurrent DRB action.
3. Under roadway access the text will be changed as follows:
It is anticipated that Aerospace Parkway will be an 86-foot right of way. It is further anticipated that access into specific development areas will be from a series of cul-de-sac streets with 60-foot rights-of-way. Specific right-of-way width for Aerospace Parkway and the cul-de-sacs shall be determined before final approval at the Development Review Board. The cul-de-sac streets also function as the primary utility corridors and will accommodate water, sewer, and storm drains.
4. The design guidelines and street sections on sheet, letter M shall be changed accordingly to match the Site Plan prior to final approval at the Development Review Board.
5. The Eclipse Aviation property (northeastern most 150 acres) is not governed by the following design standards. Eclipse Aviation shall prepare a separate Site Development Plan for Subdivision and Design Standards to be reviewed and approved by the Environmental Planning Commission as part of their internal master planning." Eclipse Aviation design standards shall be accompanied by the Aerospace Technology Park design standards to ensure compatibility.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JANUARY 30, 2004 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.


Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
JANUARY 15, 2004
PROJECT #1003125
PAGE 4 OF 4

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,


for Victor J. Chavez
Planning Director

VJC/CH/ac


cc: Consensus Planning, 924 Park Ave. SW, Albuq. NM 87102

City of Albuquerque

#2

Planning Department Inter-Office Memorandum

October 21, 2004

TO: Sheran Matson, DRB Chair
FROM: Christopher Hyer, Senior Planner 
RE: Project # 1003125 04DRB-01630

The Environmental Planning Commission approved 03EPC 02054 (Site Development Plan for Subdivision) zoned SU-1 for Airport and Related Facilities on January 15, 2004 for Project 1003125. The applicant has satisfied all of the conditions of approval.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3927.

Thank you.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - ___ 1. **Location and typical dimensions**, including handicapped spaces
 - ___ 2. **Calculations:** spaces required: _____ provided: _____
Handicapped spaces required: _____ provided: _____
- B. Bicycle parking & facilities
 - ___ 1. Bicycle racks, spaces required: _____
provided: _____
 - ___ 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- No phasing will be done*
- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail
- 16. Street Tree Plan as defined in the Street Tree Ord.

SHEET #3 –PRELIMINARY GRADING PLAN –

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

DATE - 08/22 1:55PM ALB 2008 - 3877-111 (9)

TRI-MOTOR, LLC
2850 A. RUFINA ST.
SANTA FE, NEW MEXICO 87507

APRIL, 2008

for the

DOUBLE EAGLE II CHARTER SCHOOL
7401 Paseo Del Volcan N.W.
Albuquerque, New Mexico 87121

INDEX OF DRAWINGS

SHEET	DESCRIPTION
G-001	TITLE SHEET AND INDEX TO DRAWINGS
C-10	TRAFFIC CIRCULATION LAYOUT (SITE PLAN) LANDSCAPE PLAN
C-102	GRADING & DRAINAGE PLAN
C-103	GRADING & DRAINAGE PLAN PROPOSED DRAINAGE BASINS ELEVATIONS
C-104	UTILITY PLAN

CIVIL ENGINEERS

Molzen-Corbin & Associates
John A. Tellez P.E.
John M. Province P.E.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR THE CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR

ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS INSTRUMENT ARE OWNED BY AND THE PROPERTY OF MOLZEN-CORBIN & ASSOCIATES, AND WERE CREATED AND DEVELOPED FOR USE ONLY AND IN CONNECTION WITH THE SPECIFIED PROJECT. THESE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL NOT BE USED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF MOLZEN-CORBIN & ASSOCIATES.

CERTIFICATION:

I, JOHN A. TELLEZ, REGISTERED PROFESSIONAL ENGINEER NO. 16671, HEREBY CERTIFY THAT THE FOLLOWING PLANS AND DESIGNS WERE MADE UNDER MY SUPERVISION AND DIRECTION AND THAT SAME IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

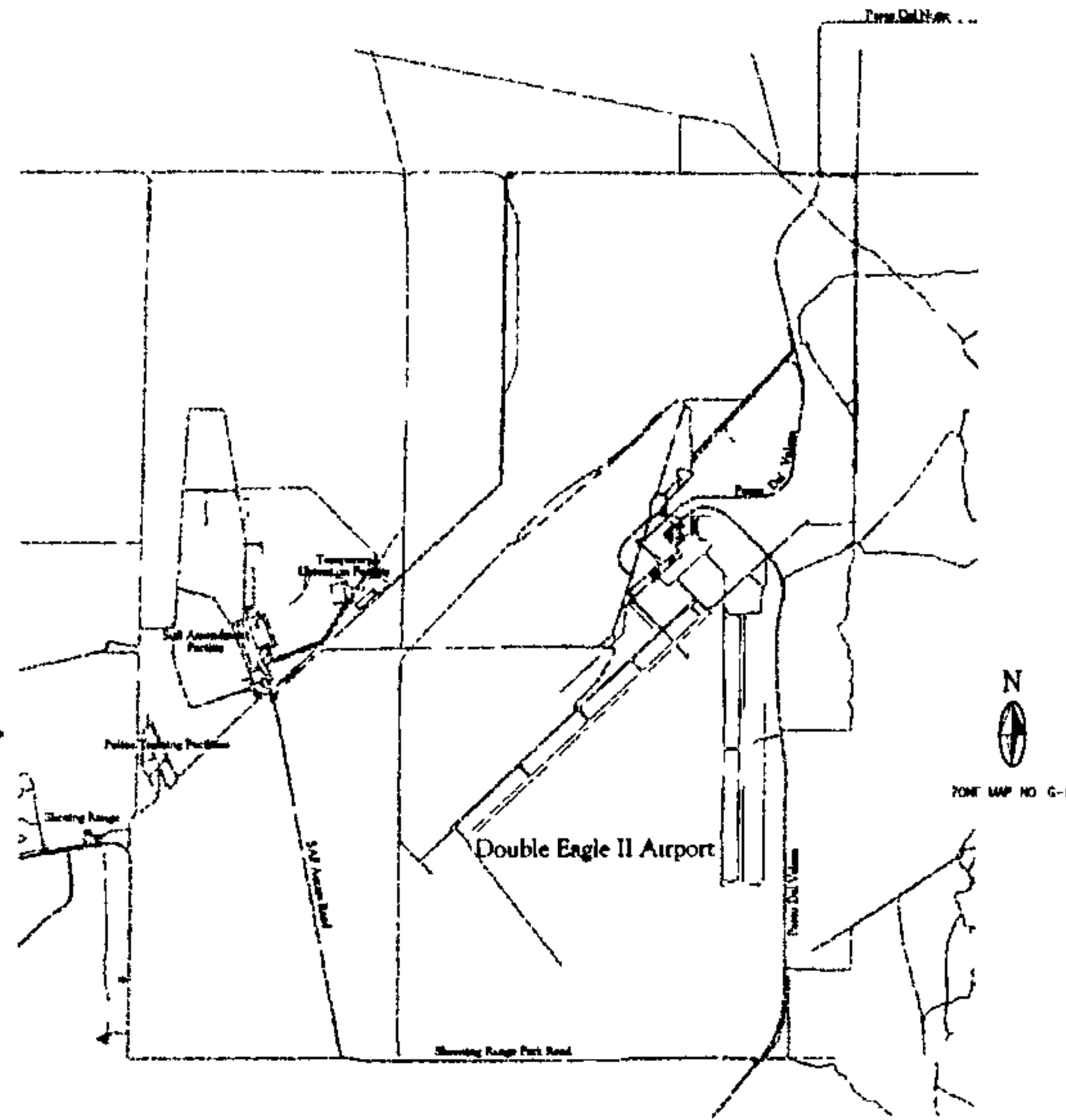
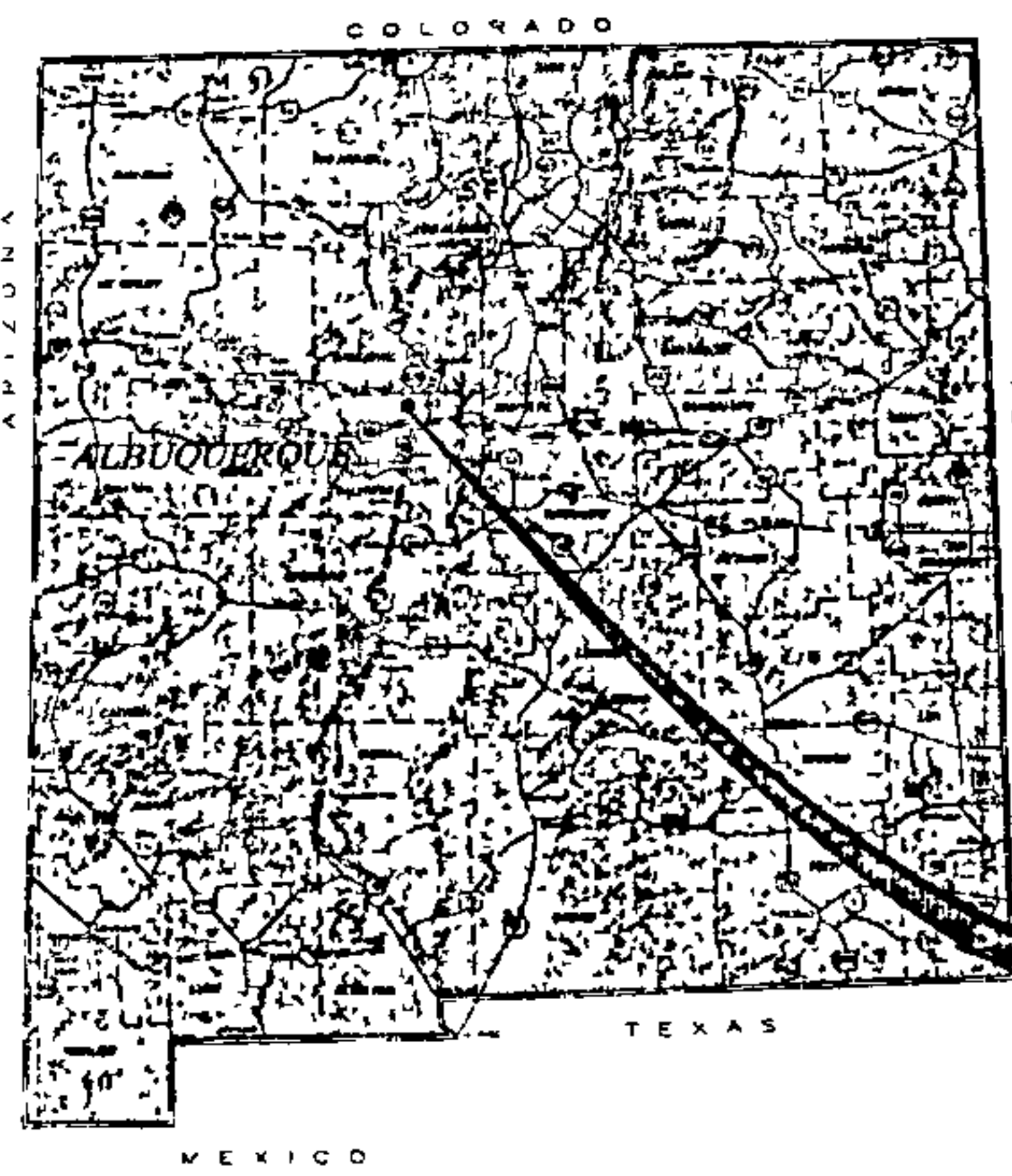
John A. Tellez
NAME NO. 16671



2701 MILES RD SE
ALBUQUERQUE, NEW MEXICO 87106
TEL. 505 242 5700
FAX 505 242 0673

MOLZEN-CORBIN & Associates
ENGINEERS/ARCHITECTS/PLANNERS

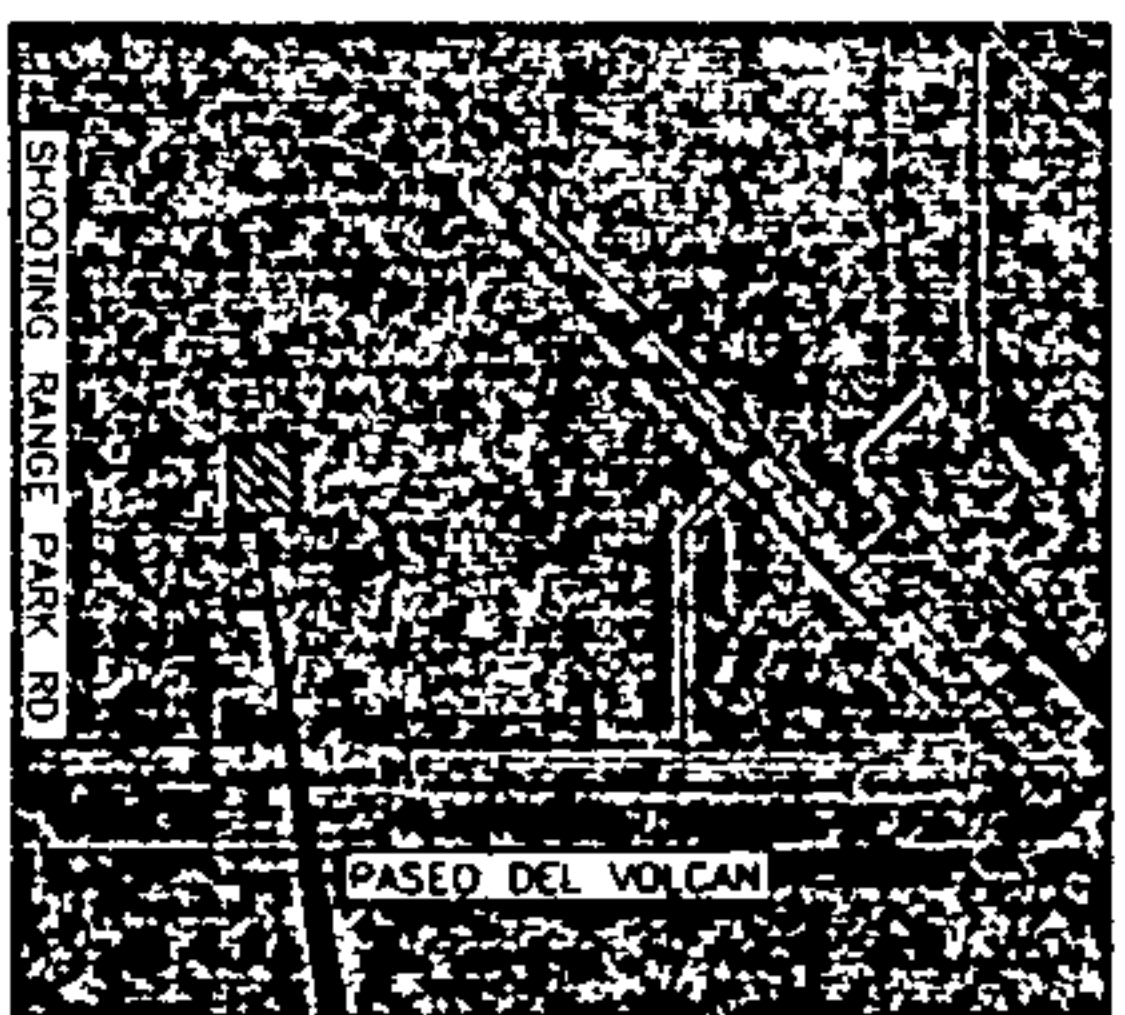
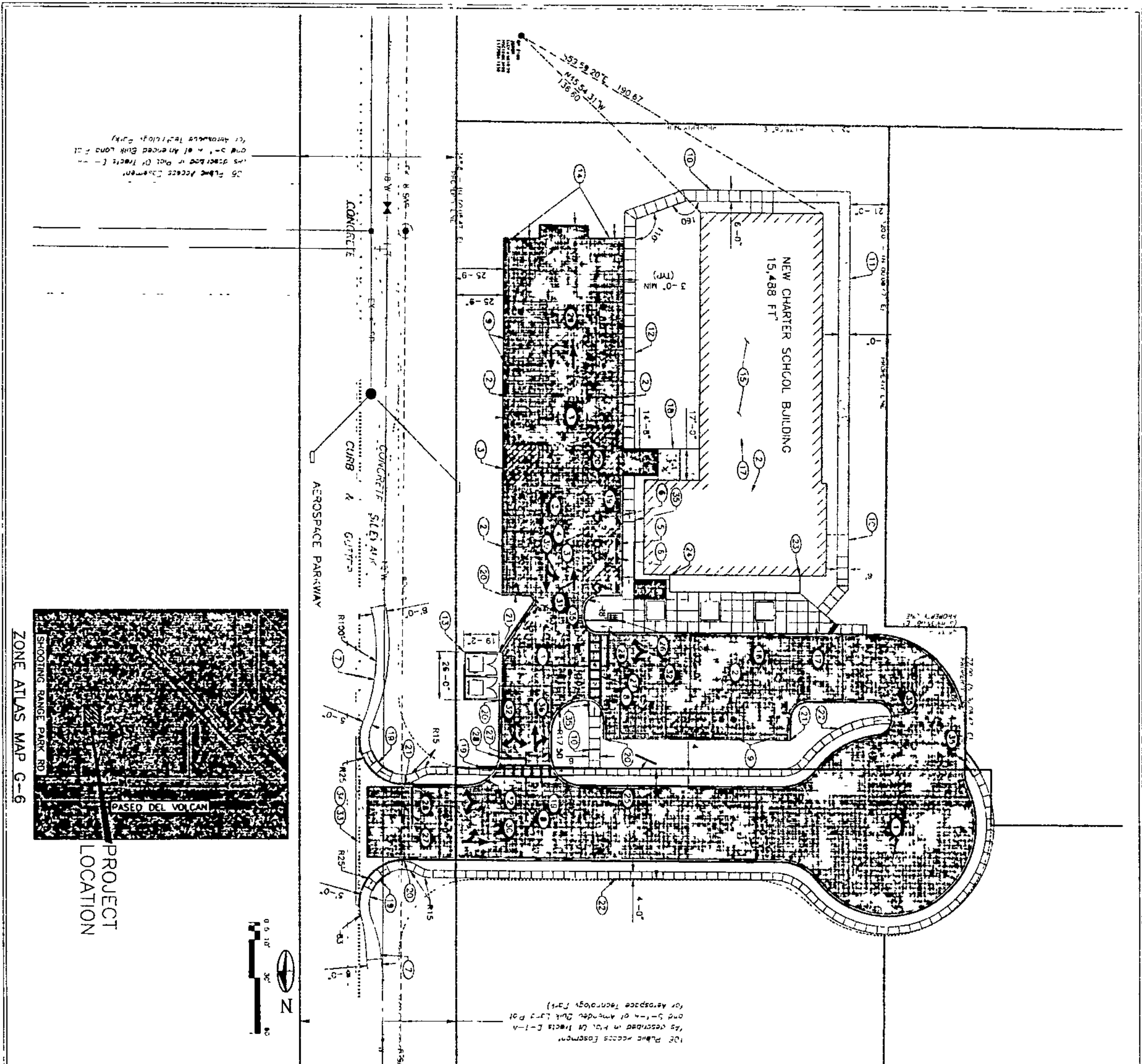
G-001



DESCRIPTION	REV. DATE	REV. NO.	NUMERIC SCALE CONFIRMATION
			DRAWINGS ARE DEPICTED AT INTENDED NUMERIC SCALES IF THIS BAR EQUALS ONE INCH

NOTICE OF EXTENDED PAYMENT PROVISION: THIS CONTRACT AGREEMENT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 45 DAYS AFTER SUBMISSION OF AN UNDISPUTED REQUEST FOR PAYMENT.

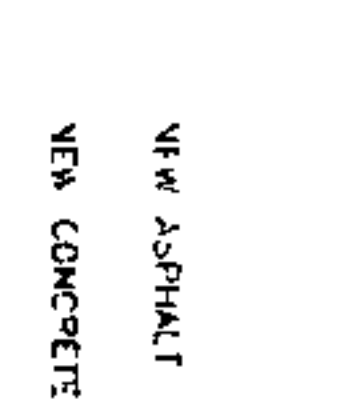
DATE 12 04:01 AM 7/20/08



PROJECT LOCATION

- NOTES**
- 1) INSTALL 3\"/>
 - 2) INSTALL 4\"/>
 - 3) INSTALL 3\"/>
 - 4) INSTALL 4\"/>
 - 5) INSTALL ADA PARKING SIGN (TYP 2)
 - 6) INSTALL ADA PARKING WITH VMI ACCESSIBLE 1.2M 5.1E DETAIL
 - 7) INSTALL 8\"/>
 - 8) INSTALL 12\"/>
 - 9) INSTALL CONCRETE WHEEL STOP
 - 10) INSTALL 6\"/>
 - 11) INSTALL 6\"/>
 - 12) INSTALL 6\"/>
 - 13) INSTALL TRASH-REUSE PIR COIL STANDARDS
 - 14) 15\"/>
 - 15) REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT
 - 16) INSTALL TREE WELLS (TYP 3)
 - 17) INSTALL PATIOWALK CONCRETE FLAZA AREA
 - 18) INSTALL 6\"/>
 - 19) INSTALL CONCRETE ADA ACCESS RAMP WITH DETECTABLE SURFACE PER COA STD 206C. 2441 - CASE 1
 - 20) BEGIN MEGAN CURB & GUTTER INSTALLATION PER COA STD 2415B
 - 21) END MEGAN CURB & GUTTER
 - 22) INSTALL 4\"/>
 - 23) BEGIN PLANTER WALL SEE ARCHITECTURAL DRAWINGS FOR DETAILS
 - 24) END PLANTER WALL
 - 25) INSTALL MONUMENT SIGN REFER TO ARCHITECTURAL SHEETS FOR DETAILS
 - 26) SIGN ROCK TO BE INSTALLED BY OTHERS REFER TO ARCHITECTURAL DRAWINGS
 - 27) INSTALL 2\"/>
 - 28) INSTALL 1\"/>
 - 29) INSTALL TWO WAY TRAFFIC ARROW PAVEMENT MARKING
 - 30) INSTALL THRU TRAFFIC & LEFT TURN TRAFFIC ARROW PAVEMENT MARKING
 - 31) INSTALL ONE WAY TRAFFIC ARROW PAVEMENT MARKING
 - 32) INSTALL LEFT TURN & RIGHT TURN TRAFFIC ARROW PAVEMENT MARKING
 - 33) INSTALL PRIVATE ENTRANCE PER COA STD 2425
 - 34) INSTALL 5\"/>
 - 35) INSTALL CONCRETE ADA ACCESS RAMP V M DETECTABLE SURFACE PER COA STD 206C. 2441 - CASE 1
 - 36) INSTALL THRU TRAFFIC & RIGHT TURN TRAFFIC ARROW PAVEMENT MARKING

LEGEND



NOTES: NOT ALL UTILITIES ARE SHOWN. EXISTING UTILITIES ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE FOR INFORMATION ONLY. THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND TO CONDUCT ALL NECESSARY FIELD SURVEYS AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS IS SOLELY HIS OWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES AND OTHER IMPROVEMENTS.

DATE: 4/10/88
 DRAWN BY: J. TELLEZ
 CHECKED BY: B. HERRERA
 PROJECT NO: C-101

<p>TRAFFIC CIRCULATION LAYOUT (SITE PLAN)</p>	<p>DOUBLE EAGLE II CHARTER SCHOOL TRI-MOTOR, DE II AIRPORT (CITY OF ALBUQUERQUE) ALBUQUERQUE (NEW MEXICO)</p>	<p>PROJECT NUMBER: C-101 DATE: 4/10/88 DRAWN BY: J. TELLEZ CHECKED BY: B. HERRERA</p>		<p>Molzen-Corbin & Associates</p> <p>2701 Miles Road N.E. Albuquerque, New Mexico 87106 Phone: (505) 242-7424 Fax: (505) 242-0973</p>
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LENGYEL & ASSOCIATES

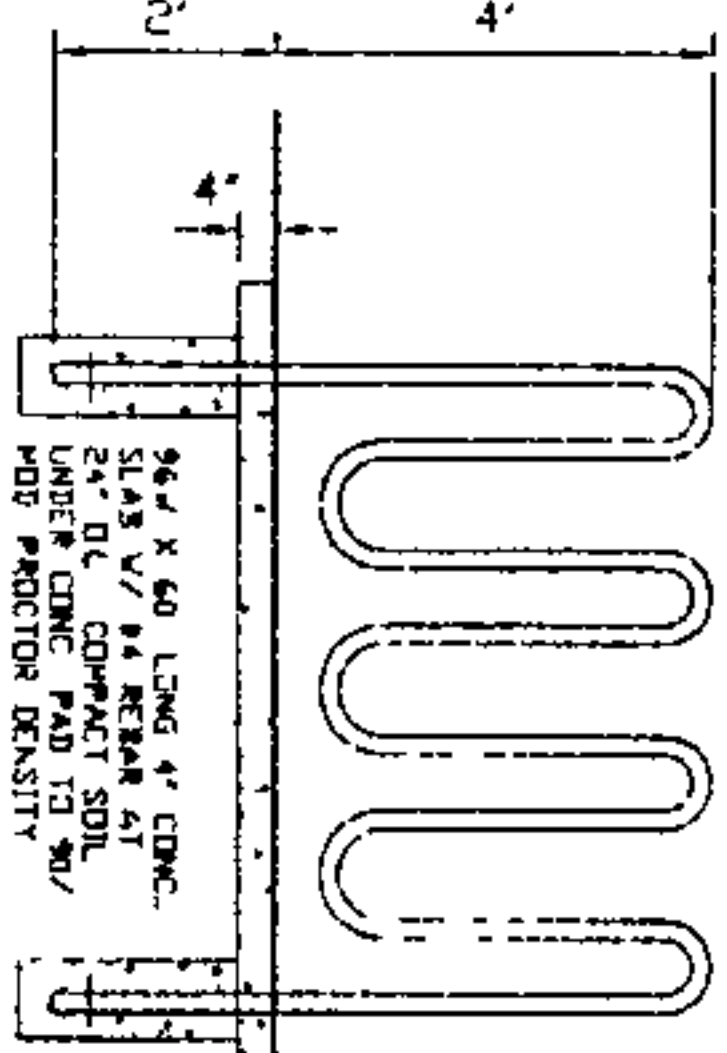
3241 SIRINGO RD SANTA FE, NEW MEXICO

SANTA FE

NEW MEXICO

DATE	02-11-08
JOB #	07-13
SHEET #	1 OF 1

2 TYPICAL BIKE RACK DETAIL



NOTE: BIKES SHOULD BE TURNED TO FACE CONCRETE POST. BIKES SHOULD BE TURNED TO FACE CONCRETE POST. BIKES SHOULD BE TURNED TO FACE CONCRETE POST. BIKES SHOULD BE TURNED TO FACE CONCRETE POST.

SYMBOL	QUANTITY	INSTALLER SPEC	COMMON NAME	HEIGHT	WIDTH	DEPTH	INSTALLATION
A	16	2" DIA.	CONCRETE POST	48 FT	6.0 FT	48 FT	CONCRETE POST
B	16	18" X 18" X 1/2"	METAL RACK	18 FT	18 FT	18 FT	METAL RACK
C	3	5" DIA.	CONCRETE POST	48 FT	5.0 FT	48 FT	CONCRETE POST
D	16	18" X 18" X 1/2"	METAL RACK	18 FT	18 FT	18 FT	METAL RACK
E	48	5" DIA.	CONCRETE POST	48 FT	5.0 FT	48 FT	CONCRETE POST

GRASS SHALL BE TYPICAL GRASS SEED AT THE RATE OF 4 LBS / 1000 SQ FT FROM TEMPORARY SEEDING SYSTEM UNTIL GRASS IS FULLY ESTABLISHED.

PLANTING NOTES:

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE PLANTING SPECIFICATIONS AND THE UNIVERSITY OF NEW MEXICO PLANTING SPECIFICATIONS.
2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE PLANTING SPECIFICATIONS AND THE UNIVERSITY OF NEW MEXICO PLANTING SPECIFICATIONS.
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5. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE PLANTING SPECIFICATIONS AND THE UNIVERSITY OF NEW MEXICO PLANTING SPECIFICATIONS.

LANDSCAPE CALCULATIONS - AIRBORNE TECHNOLOGY, INC.

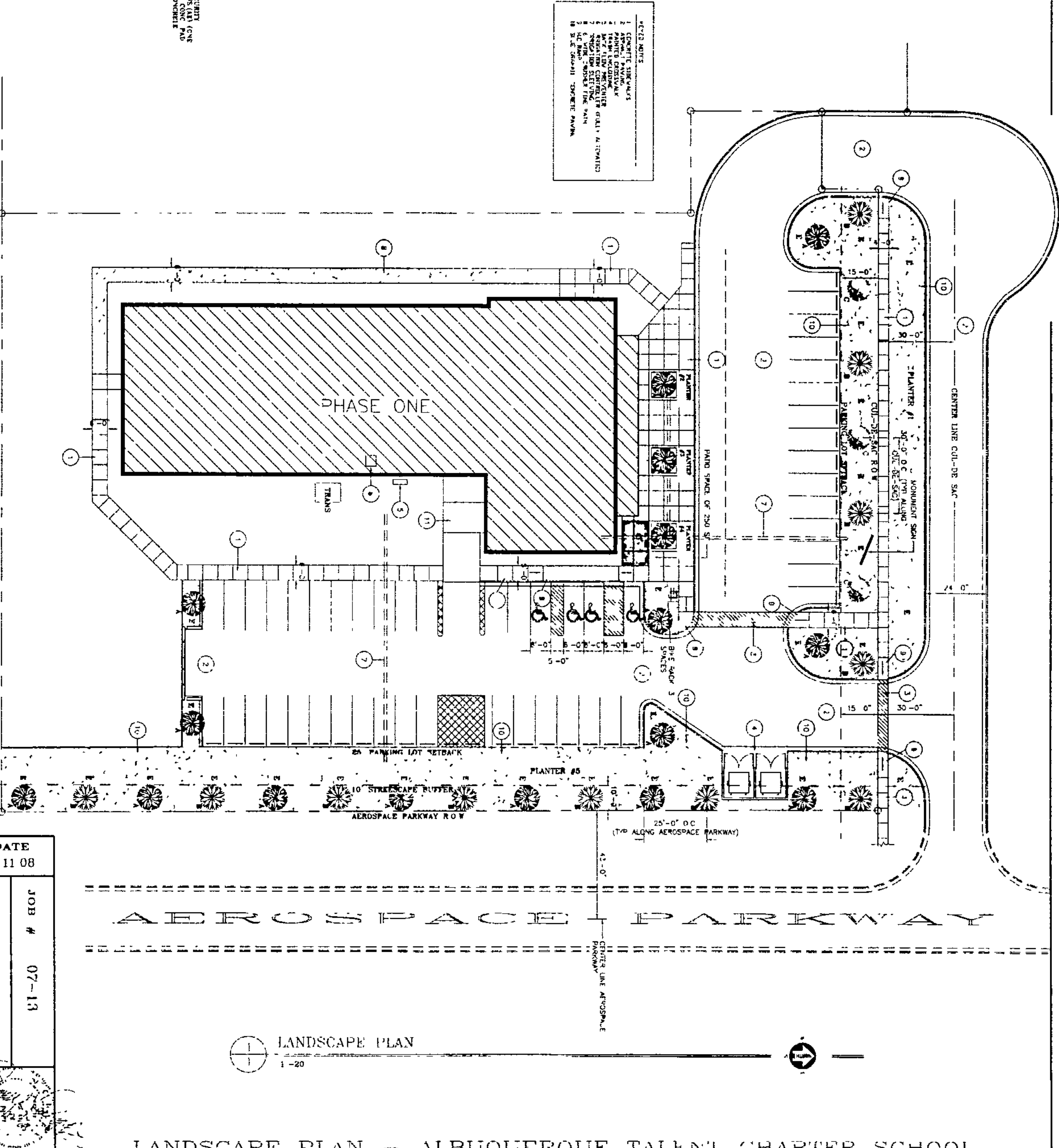
TOTAL LOT AREA = 84,300 SQ FT

GRASS INSTALLATION AREA = 13,100 SQ FT

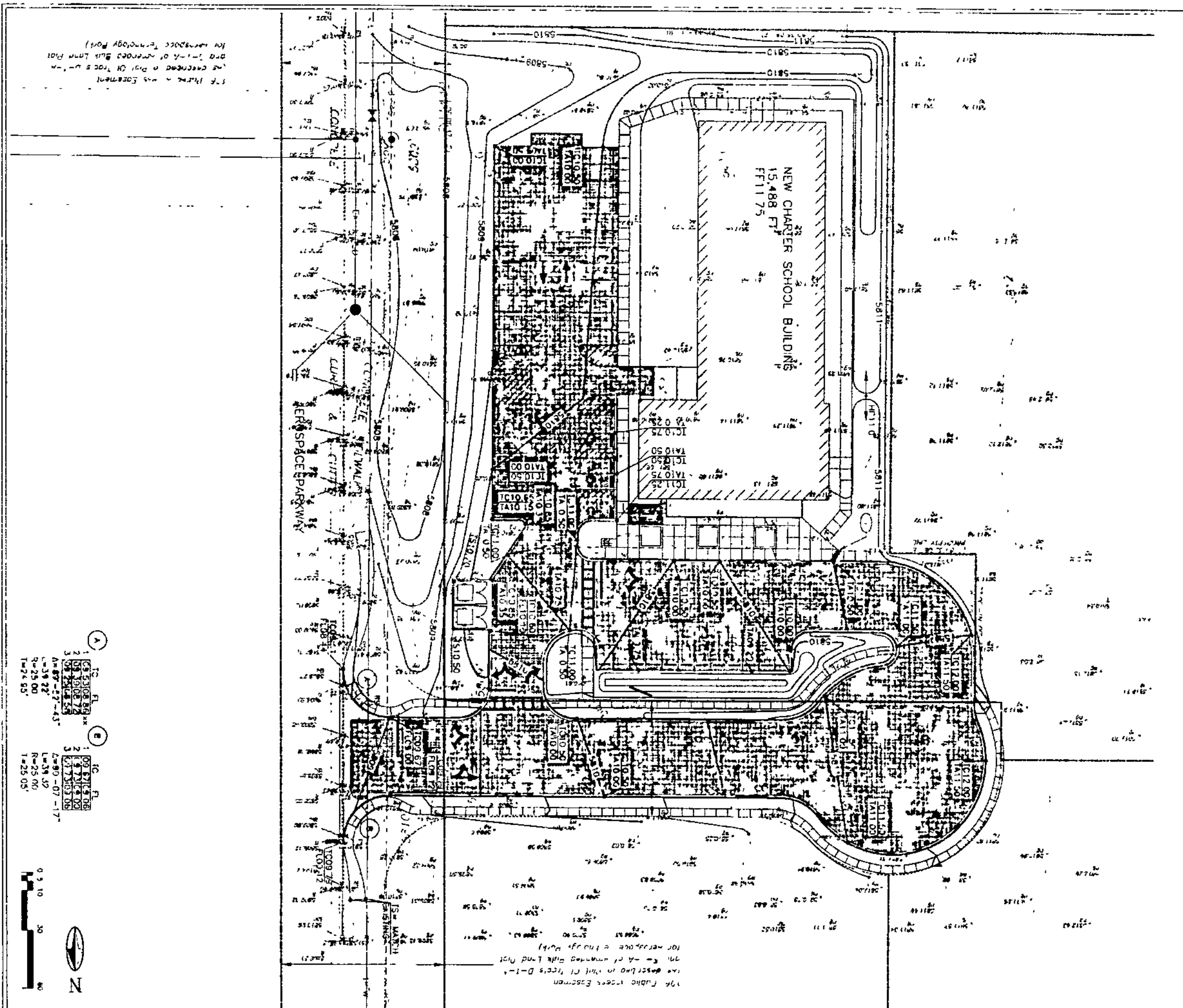
STREET SCAPING: 44 STREETS ALONG AIRBORNE TECHNOLOGY STREET. THESE SHALL BE PROVIDED AT 25' TO 30' ALONG AIRBORNE TECHNOLOGY STREET.

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LANDSCAPE PLAN



177 Public Works Division
has installed in this Project's D-1
7th floor of unvented fire and not
for reference & study only.

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7th floor of unvented fire and not
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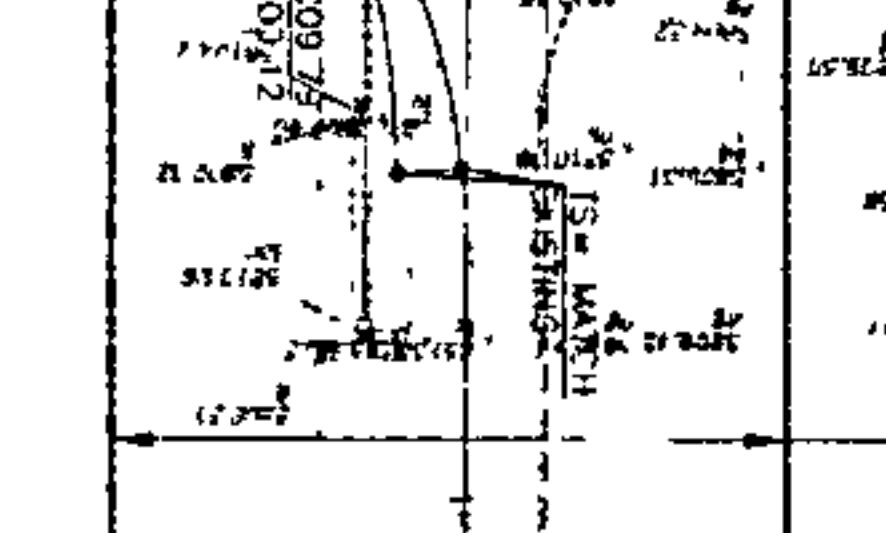
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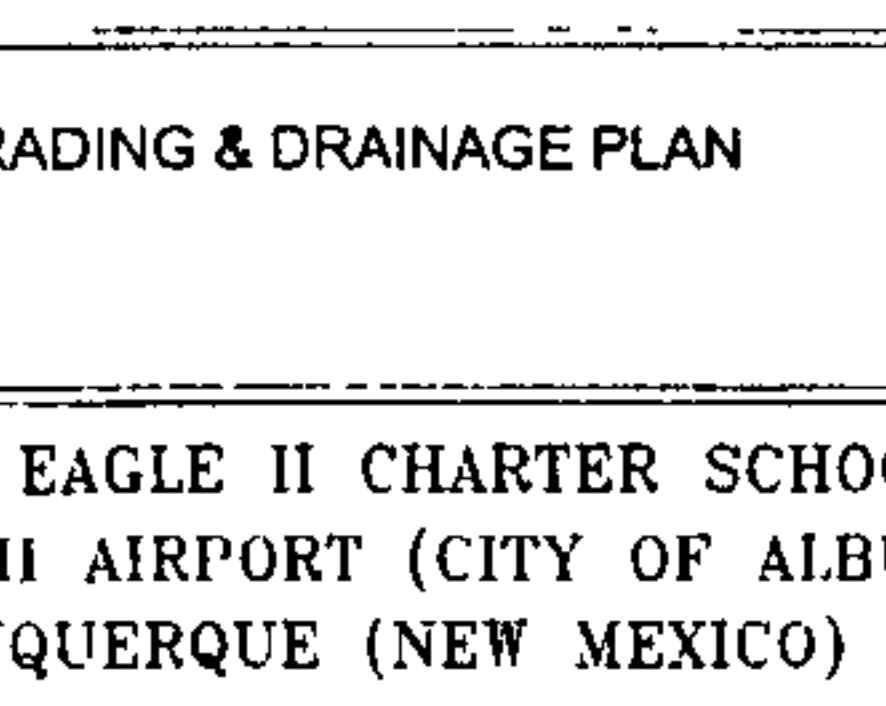
- 1. 15' FL
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- 99. 15' FL
- 100. 15' FL



NOTE: THE ALL EXISTING UTILITIES ARE NOT BE SHOWN AND EXISTING UTILITIES THAT ARE SHOWN ARE SHOWN IN APPROXIMATE LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ALL UTILITIES SHALL BE PROTECTED AND NOT REMOVED UNLESS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.

GENERAL SHEET NOTES
1. ALL ROOM ARE TAKEN TO FACE OF CURB UNLESS OTHERWISE NOTED

- EGE/ID
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- NEW MAJOR CONTOUR
- NEW MINOR CONTOUR
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING SCOT ELEVATION
- NEW ASPHALT
- NEW CONCRETE
- NEW SPOT ELEVATION
- FINISH FLOOR
- TOP OF CURB
- TOP OF ASPHALT
- TOP OF SLAB
- INVERT ELEVATION



PROJECT LOCATION
ZONE ATLAS MAP G-6

KEYED NOTES
REV. ALL 1 - 24" SIDEWALK CHANGES PER COA
S10 LMC 2238
REV. 01/11 - 10/03
REV. 01/11 - 10/03

PROJECT NUMBER	MOA 1 HERE
DESIGNED BY	J. CALLE
DRAWN BY	J. CALLE
CHECKED BY	J. CALLE
PROJECT ENGINEER	J. CALLE
DATE	04/10/04

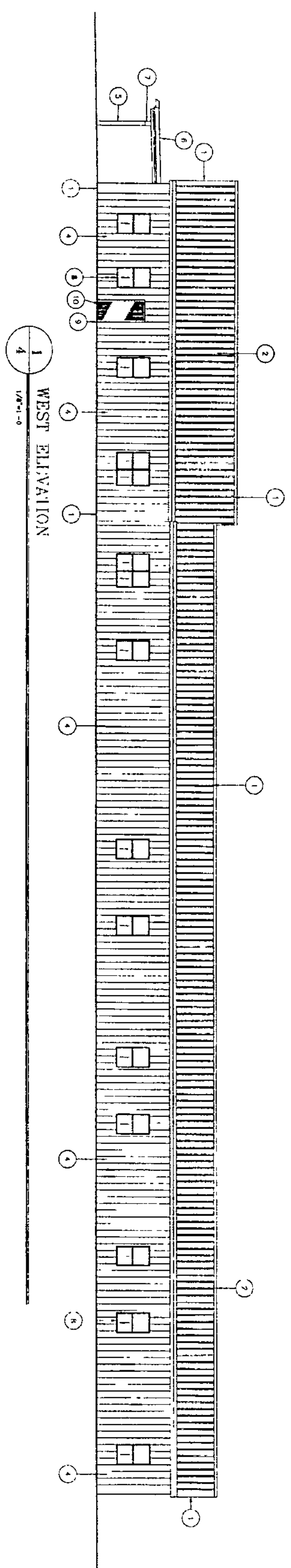


GRADING & DRAINAGE PLAN

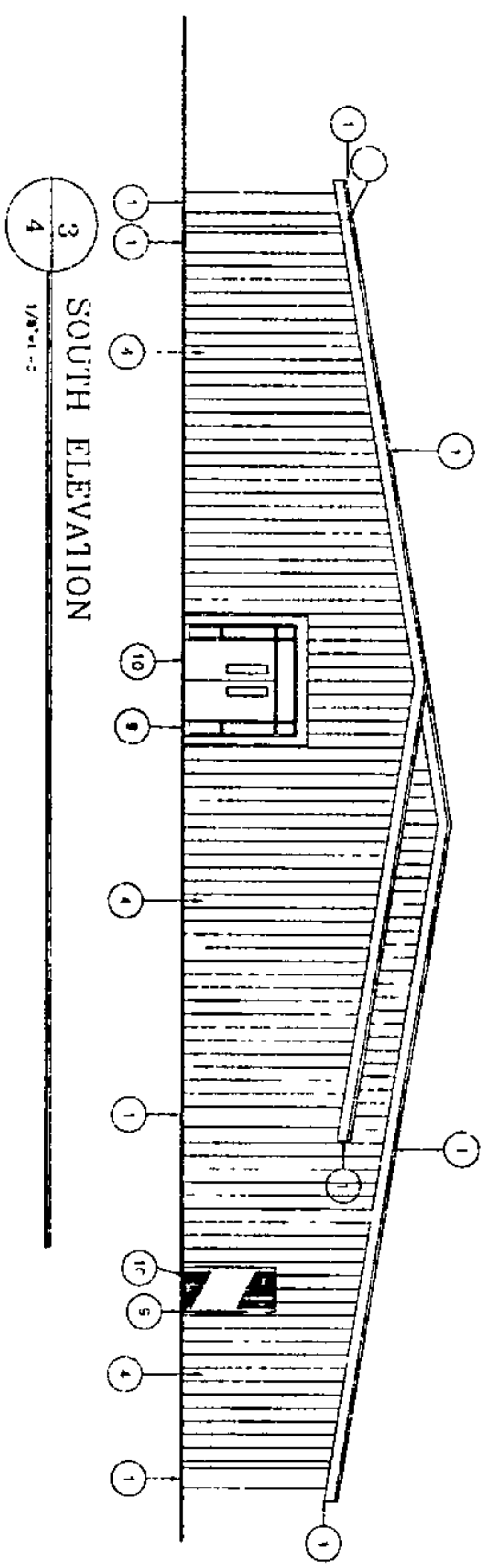
DOUBLE EAGLE II CHARTER SCHOOL
TRI-MOTOR, DE II AIRPORT (CITY OF ALBUQUERQUE)
ALBUQUERQUE (NEW MEXICO)

C-102

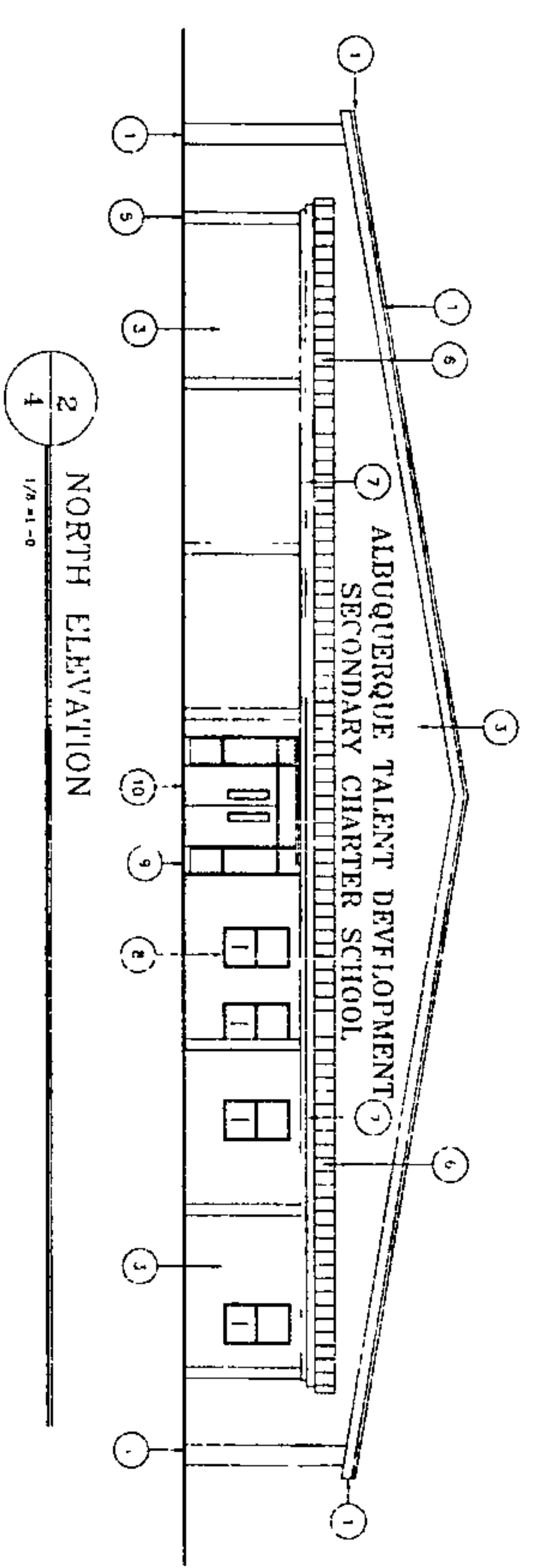
Molzen-Corbin & Associates
3401 Miles Road S.E.
Albuquerque, New Mexico 87106
Phone (505) 242-5700
Fax (505) 242-0473



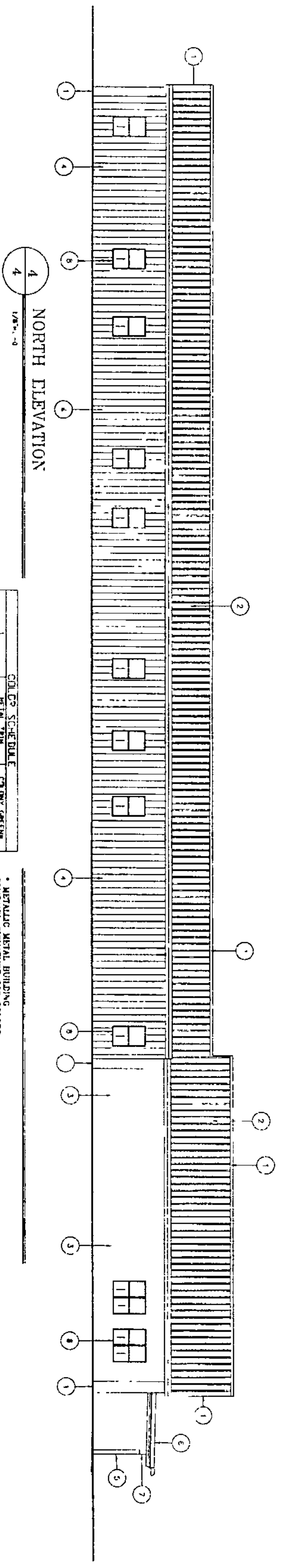
1 WEST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



4 NORTH ELEVATION
1/8" = 1'-0"

COLOR SCHEDULE	
1	METAL PANELS
2	METAL ROOF
3	GLASS
4	METAL VENTS
5	STEEL COLUMNS
6	STEEL BEAMS
7	TUBE STEEL BEAM
8	ALL VANDOS
9	ROOFING
10	WALLS

* METALLIC METAL BUILDING
COMPANY SIGNATURE 200 COLORS
** SHEPPARD-WILLIAMS PAINT CO
COLORS

LENGYEL & ASSOCIATES 3241 SILINGO RD SANTA FE, NEW MEXICO

A NEW CHARTER SCHOOL CAMPUS DEVELOPED BY TRI MOTOR LLC. SANTA FE NEW MEXICO		DATE 11 19 07	JOB # 07-13
		SHEET # 4 OF	

Cloud, Jack W.

From: Curran, Kevin J. **Sent:** Wed 12/19/2007 10:43 AM
To: Cloud, Jack W.
Cc:
Subject: Aviation plat
Attachments:

Jack,

Here is language that should be placed on the aviation plat as a condition to the plat approval.

Owner acknowledges and agrees that the recording of the plat prior to the expiration date of the appeal period may result in the vacation or voiding of the plat. Owner further agrees to defend, indemnify, and hold harmless the City for any and all claims, damages, or causes of action resulting from the vacation or voiding of the plat.

In addition Owner acknowledges and agrees that in the event any portion the property shown on the plat is sold or conveyed prior to the expiration of the appeal period, Owner shall include in the sale agreement or conveyancing instrument a provision that notifies the buyer or grantee that this plat is subject to the vacation or voiding by the City. The provision shall further require that the Owner and buyer or grantee agree to defend, indemnify and hold harmless the City from for any and all claims, damages or causes of action resulting from the voiding or vacation of the plat, or the violation of this paragraph.

Kevin J. Curran
Assistant City Attorney
t 505-924-3995
f 505-924-3440
kcurran@cabq.gov

After all the jacks are in their boxes, and the clowns have all gone to bed, you can hear happiness staggering on down the street, footsteps dressed in red.... and the wind cries Mary. Jimi Hendrix (1967)

§ 14-14-3-5 FINAL PLAT.

(C) *Required Submittals.*

(2) Final Plat. The final plat shall be prepared in accordance with city requirements as specified in the *Development Process Manual* and shall include the following.

(g) Certifications by the:

2. Authorized representatives of the local water and sanitary sewer, electric, gas, and telephone utilities certifying that their systems' needs have been met (for minor subdivisions the *Utility Council Location System Log* acknowledgement in lieu of signatures will be used); this requirement may be waived for subdivisions when the Development Review Board determines that the requirements of such utilities are found to be unreasonable or not in the public interest;

§ 14-14-1-6 DEFINITIONS.

SUBDIVISION, MINOR. Any subdivision:

- (1) Within the city or the city's extraterritorial jurisdiction:
 - (a) Creating not more than ten lots on any single lot which existed three years previously; and
 - (b) Not requiring installation of any significant infrastructure; and
 - (c) Not containing any lots which do not front on a street; but
 - (d) Including plats which only combine lots and terminate easements created by plat where it is clear that all benefited and burdened parties agree to the easement termination; and
- (2) Within the city's extraterritorial jurisdiction and qualifying as a "land division" as defined by the Bernalillo County Subdivision Ordinance; and
- (3) Not adversely affecting the remainder of the parcel or adjoining property.

§ 14-14-3-5 FINAL PLAT.

C) *Required Submittals.*

(2) Final Plat. The final plat shall be prepared in accordance with city requirements as specified in the *Development Process Manual* and shall include the following.

(g) Certifications by the:

2. Authorized representatives of the local water and sanitary sewer, electric, gas, and telephone utilities certifying that their systems' needs have been met (for minor subdivisions the *Utility Council Location System Log* acknowledgement in lieu of signatures will be used); this requirement may be waived for subdivisions when the Development Review Board determines that the requirements of such utilities are found to be unreasonable or not in the public interest.



11
11
11
11

SUBDIVISION		Supplemental form		ZONING & PLANNING	
<input type="checkbox"/>	Major Subdivision action	S	Z	<input type="checkbox"/>	Annexation
<input checked="" type="checkbox"/>	Minor Subdivision action			<input type="checkbox"/>	County Submittal
<input type="checkbox"/>	Vacation			<input type="checkbox"/>	EPC Submittal
<input type="checkbox"/>	Variance (Non-Zoning)	V		<input type="checkbox"/>	Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN		P		<input type="checkbox"/>	Sector Plan (Phase I, II, III)
<input checked="" type="checkbox"/>	for Subdivision			<input type="checkbox"/>	Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/>	for Building Permit			<input type="checkbox"/>	Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/>	Administrative Amendment (AA)	D		<input type="checkbox"/>	Street Name Change (Local & Collector)
<input type="checkbox"/>	IP Master Development Plan	L	A	APPEAL / PROTEST of...	
<input type="checkbox"/>	Cert. of Appropriateness (LUCC)			Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	
STORM DRAINAGE (Form D)					
<input type="checkbox"/>	Storm Drainage Cost Allocation Plan				

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Huitt-Zollars, Inc., Kim R. Kemper PHONE: 892-5141
 ADDRESS: 333 Rio Rancho Dr. NE, Suite 101 FAX: 892-3259
 CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: KRKEMPER@Huitt-Zollars.com

APPLICANT: E Eclipse Aviation PHONE: 505-724-1247
 ADDRESS: 2503 Clark Carr Loop SE FAX: 505-241-8723
 CITY: Albuquerque STATE NM ZIP 87106 E-MAIL: Larry.Jones@EclipseAviation.Com
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: This Request is for Preliminary and Final Plat of a Minor Subdivision

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. D-1-A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Double Eagle Airport
 Existing Zoning: SU-1 Airport Fac Proposed zoning: N/A MRGCD Map No _____
 Zone Atlas page(s): F-06 UPC Code: 100606109926730101

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1003125
03EPC-02D54, 04DRB-01505, 04-DRB-01506, 05EPC-00566, 06DRB-00401

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO 07DRB-70128, 70192
 No. of existing lots: 1 No. of proposed lots: 2 Total area of site (acres): 150
 LOCATION OF PROPERTY BY STREETS: On or Near: Double Eagle Airport ^{SE} off Aerospace Pkwy
 Between: Paseo del Volcan ^{SE} and Shooting Range Access Rd. ^{SE}
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE DATE 12-11-07
 (Print) Kim R. Kemper Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>07DRB-70439</u>	<u>P&F</u>	<u>237</u>	<u>\$ 285.⁰⁰</u>
_____	_____	_____	<u>\$ 20.⁰⁰</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>12-19-07</u>			Total <u>\$ 305.⁰⁰</u>

Planner signature / date

Project # 1003125

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

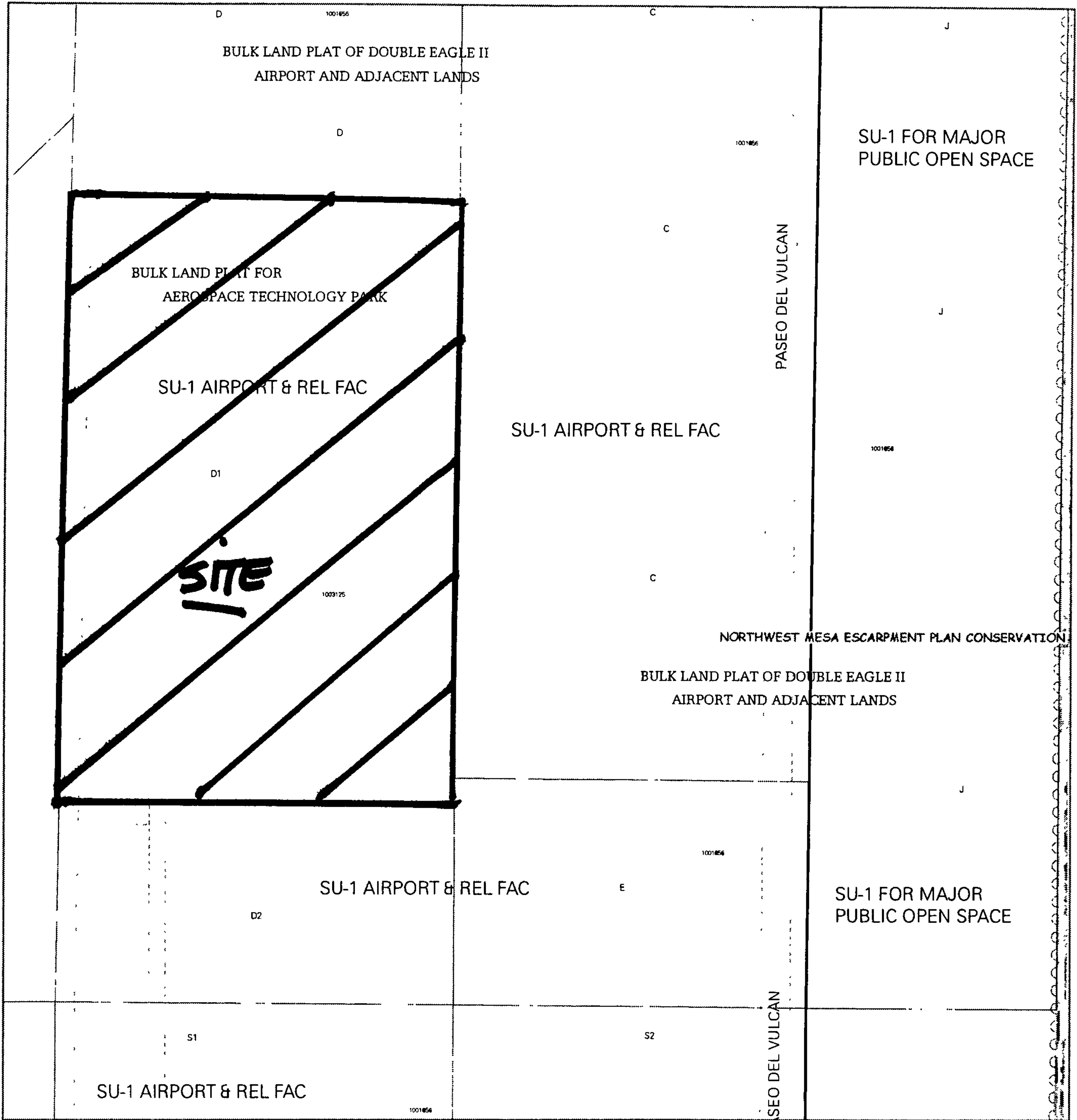
Kim R. Kemper
Applicant name (print)
12-11-07
Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
07 DRB - 70439

Richard Sanchez 12-11-07
Planner signature / date
Project # 1003125



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 9/6/2007

Note: Grey Shading Represents Area Outside of the City Limits.

Zone Atlas Page:
F-06-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon	

0 750 1,500 Feet

HUITT-ZOLLARS

HUITT-ZOLLARS, INC. • 333 Rio Rancho Dr. NE • Suite 101 • Rio Rancho, NM 87124-1450 • 505.892.5141 phone • 505.892.3259 fax • huitt-zollars.com

December 11, 2007

DRB Chairman
City of Albuquerque Planning Department
600 Second Street, NW
Albuquerque, New Mexico 97102

RE: Eclipse Aviation Campus
Preliminary and Final Plat for Minor Subdivision
Site Development Plan for Subdivision

Dear Chairman:

On behalf of our client, Eclipse Aviation we request consideration of a Minor Subdivision Plat and an Administrative Amendment to a Site Development Plan for Subdivision. The purpose of this request is to subdivide the Eclipse Aviation Campus located at the Double Eagle Airport. Currently their property is a single Tract of approximately 150 acres. This action subdivides the Tract into two (2) Tracts of approximately 145 acres and 5 acres respectively and creates new public and private easements to accommodate the new 5 acre site. There are no other changes to the Site Development plan other than to show this division of land and new easements.

If you have any questions or comments, please do not hesitate to contact me at 892-5141 or 883-8114. Thank you for your consideration of this matter.

Sincerely,

Huitt-Zollars, Inc.



Kim R. Kemper, P.E.
Senior Vice President



ECLIPSE
AVIATION

December 10, 2007

DRB Chairman
City of Albuquerque Planning Department
600 Second Street, NW
Albuquerque, New Mexico 97102

RE: Eclipse Aviation Campus
Preliminary and Final Plat for Minor Subdivision
Site Development Plan for Subdivision

Dear Chairman:

This letter will serve is to authorize Huitt-Zollars, Inc. to act as Eclipse Aviation's agent for the purpose of processing a minor Subdivision Plat and Site Plan for Subdivision.

If you have any questions or concerns regarding this letter, please do not hesitate to contact me at 724-1247. Thank you for your cooperation on this matter.

Sincerely,

Larry Jones
Facilities Director
Eclipse Aviation

Cc: Kim R. Kemper, HZI

**CULTURAL RESOURCE SURVEY OF
A LAND EXCHANGE BETWEEN
THE NEW MEXICO STATE LAND
OFFICE AND THE CITY OF
ALBUQUERQUE
FOR LANDS IN THE AREA OF
DOUBLE EAGLE AIRPORT**

Bernalillo County, New Mexico

Prepared by
**Teresa Hurt, Gerry Raymond, and
Christopher Carlson**
Taschek Environmental Consulting

Survey Conducted Under
New Mexico Archaeological Survey Permit
NM- 02-121

NMCRIS Activity Number: 78805

Taschek Environmental Consulting Report No. 600-69

May 6, 2002



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May 6, 2002

ABSTRACT

The City of Albuquerque (COA) and the New Mexico State Land Office (SLO) have entered into an agreement to exchange lands in the area of the Double Eagle II Airport in Bernalillo County, New Mexico, just west of the Petroglyph National Monument. The land exchange consolidates COA land in the area of the airport including lands that will be leased to Eclipse Aviation for the future development of aircraft manufacturing facilities. Molzen-Corbin & Associates (MCA) was contracted by COA to design future utility infrastructure improvements for the airport. Taschek Environmental Consulting (TEC) was contracted by MCA to conduct a cultural resource survey of the lands involved in the exchange. The cultural resource inventory was undertaken to identify, record, and evaluate all cultural sites for eligibility to the National Register of Historic Places (NRHP). This information will allow COA and SLO to make management decisions regarding the cultural resources and the exchange of public lands.

A prefield site records search was conducted at the Archaeological Records Management Section (ARMS) at the Laboratory of Anthropology. Ninety-three sites are located within a one-mile radius of the project area, but only two previously recorded sites (LA 27594 and LA 134642) fall within the project boundaries. LA 27594 was previously recorded by Rodgers (1980) and consists of two large, conjoined rock features, one circular and the other subrectangular, which he interpreted as sheep pens. Huckell (2002:30) later revisited the site and pointed out that there is little direct surface evidence of the function of the two rock enclosures to determine that they served as pens for small animal stock. Therefore, further ethnographic and archaeological investigations should be conducted before a determination of the site's eligibility is made and its eligibility remains undetermined. LA 134642 was previously recorded by Huckell (2002) and is a Paleoindian site that consists of flaked-stone tools and debitage. Huckell determined that the site retains further research potential; thus, the site is eligible to the NRHP under Criterion D; TEC concurs with that recommendation.

During the survey, four new sites and 20 isolated occurrences were identified and documented. LA 135734 consists of five rock concentrations/alignments. LA 135735 has one similar isolated rock-concentration feature. Neither a temporal nor cultural affiliation could be assigned to the features and their functions are undetermined. Many of the basalt boulders are lodged a few centimeters into the loose alluvial sediments. Although there are no clear indications of buried artifacts, the partially buried rocks suggest that buried cultural deposits could be present. Although various interpretations have been offered as to the function of features similar to the rock concentrations found at LA 135734 and LA 135735, their function has not been determined. Therefore, further ethnographic and archaeological investigations should be conducted before a determination of the sites' eligibility is made and their eligibility remains undetermined.

LA 135736 consists of a low-density scatter of 29 historic period artifacts including glass fragments, tin cans, and various other metal items. This site is likely a surficial artifact scatter that represents the remains of a single-episode trash dump. All of the observed artifacts were analyzed and recorded in the field, thereby exhausting their information potential. There are no features present and there are no clear indications that buried artifacts are present. However, the sediments at the site are deep and the possibility of buried cultural remains cannot be eliminated. Therefore, the eligibility of the site to the NRHP remains undetermined.

LA 135737 consists of nine depressions (likely bomb craters), a bomb casing, and an enamel-covered metal container. The depressions range from 11m (36 ft) to 27m (89 ft) in diameter. The depression features at the site appear to have been formed as the result of bombing practice during WWII. The information potential of this site has been exhausted by this recordation of the crater features and the bomb casing. The site is recommended as not eligible for the NRHP.

Any future undertakings upon the lands covered by this survey and report should be reviewed by a professional archaeologist for their effects upon the cultural properties identified in this report. Those conclusions as to effect should be reviewed by all involved agencies and a report of the findings should be submitted to the New Mexico State Historic Preservation Officer for review and clearance.

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PROJECT BACKGROUND

The City of Albuquerque (COA) and the New Mexico State Land Office (SLO) have entered into an agreement to exchange lands of similar value in the general area of the Double Eagle II Airport in Bernalillo County, New Mexico, just west of the Petroglyph National Monument (Figure 1). The land exchange consolidates land in the area of the airport for the future development of the airport and includes lands that will be leased to Eclipse Aviation for the future development of aircraft manufacturing facilities. Molzen-Corbin & Associates (MCA), the engineering firm contracted by COA to design certain future infrastructure improvements for the airport, has contracted with Taschek Environmental Consulting (TEC) to conduct a cultural resource survey of the lands involved in the exchange (New Mexico Cultural Resources Information System Activity No. 78805, New Mexico State Archaeological Permit NM-02-121). The cultural resource survey and inventory was conducted to identify, record, and evaluate all cultural sites for eligibility to the National Register of Historic Places (NRHP). This information will allow each of the parties to the land exchange agreement to make management decisions regarding the resources and the exchange of public lands.

This report documents the results of a 100-percent pedestrian cultural resource survey of the parcels of land involved in the land exchange between the SLO and the COA. After the land exchange has been completed, the COA will annex the acquired land. Portions of the annexed land will be zoned for aviation use, and 65 hectares (ha) (160 acres [ac]) along the entire east side of Section 36, Township 11 North, Range 1 East, will be designated as Open Space and will be part of a one-quarter mile buffer zone between the airport and the Petroglyph National Monument.

PROJECT DESCRIPTION

The land exchange covers three parcels of land totaling 477 ha (1178 ac) in Bernalillo County (Figures 2 and 3), on the *Volcanoes, New Mexico* (1990) 7.5-minute United States Geological Survey (USGS) quadrangle map, described as follows:

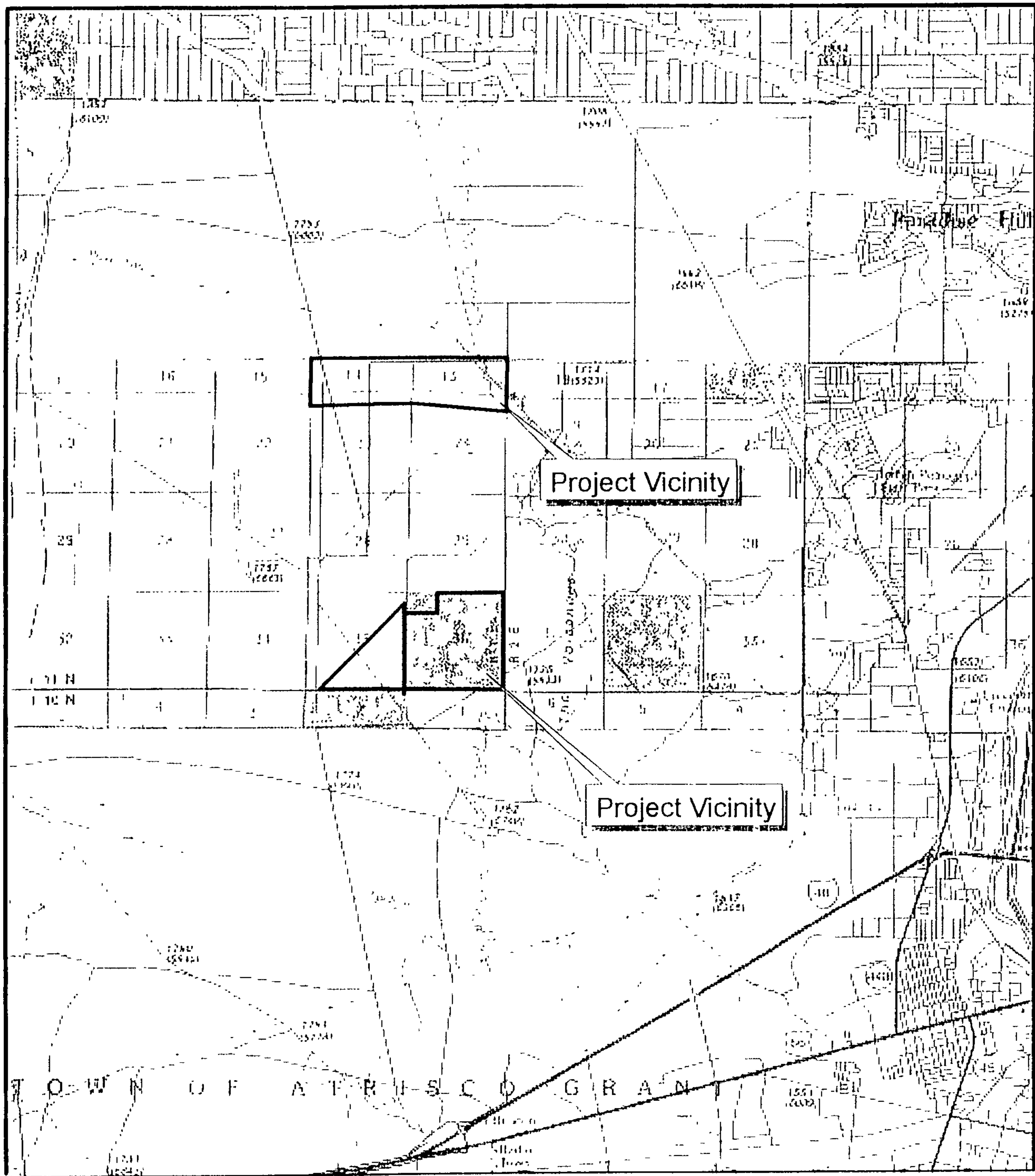
Lands currently owned by the SLO to be conveyed to the COA:

238 ha (589 ac) in Section 36, Township 11 North, Range 1 East. The remaining 21 ha (52 ac) in the northwest quarter of this section is also currently owned by the SLO and title to that acreage is retained by the SLO, and is not part of the land exchange, nor is it covered by this report.

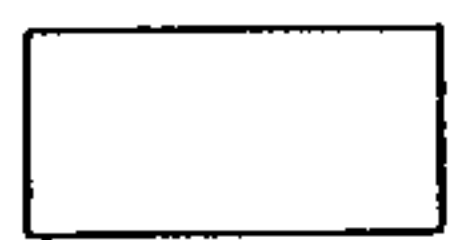
Lands currently owned by the COA to be conveyed to the SLO:

- (1) 102 ha (251 ac) in Section 35, Township 11 North, Range 1 East
- (2) 137 ha (338 ac) in Sections 13, 14, and 15, Township 11 North, Range 1 East

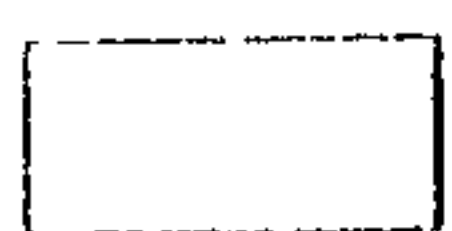
The Universal Transverse Mercator (UTM) coordinates and the legal descriptions for each parcel are detailed in Table 1.



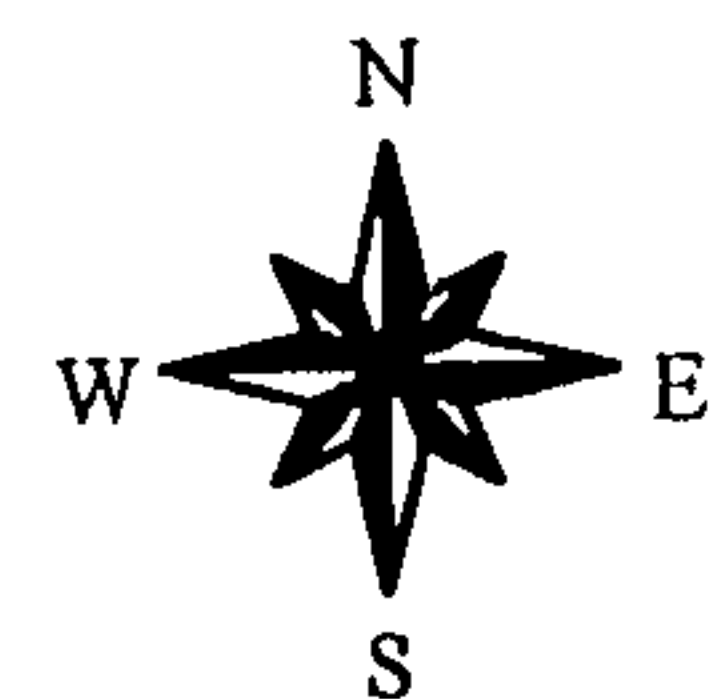
Source:
 Bureau of Land Management
 1:100,000 Surface Management Status Land Map
 Albuquerque, New Mexico



Patented Lands

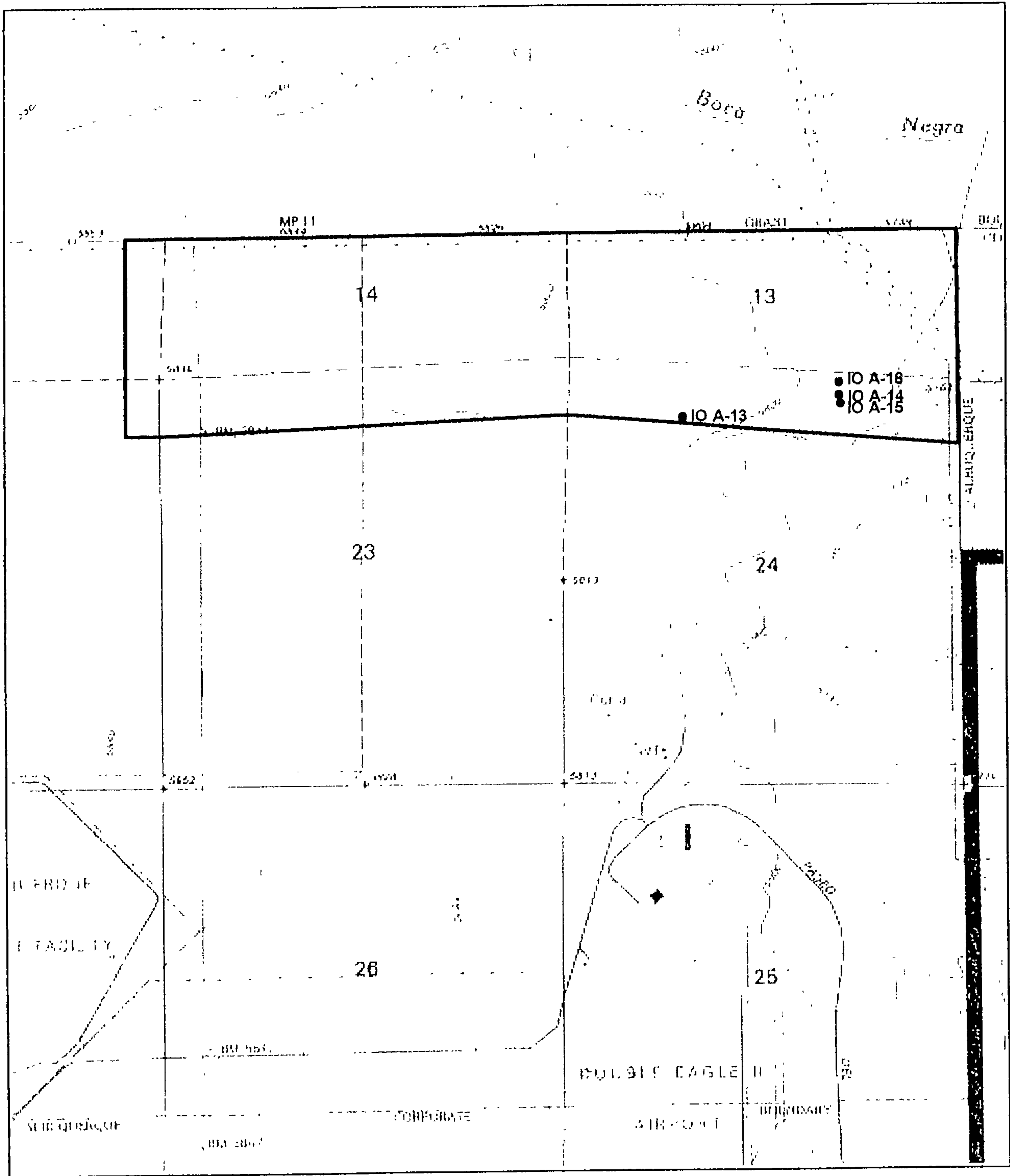


State Lands

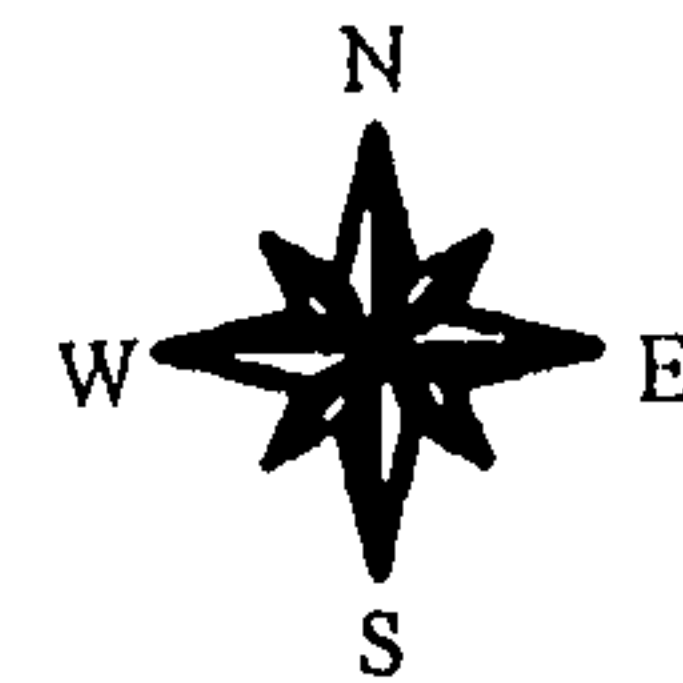


Prepared by:
 Taschek Environmental Consulting

Figure 1
 Project Vicinity Map

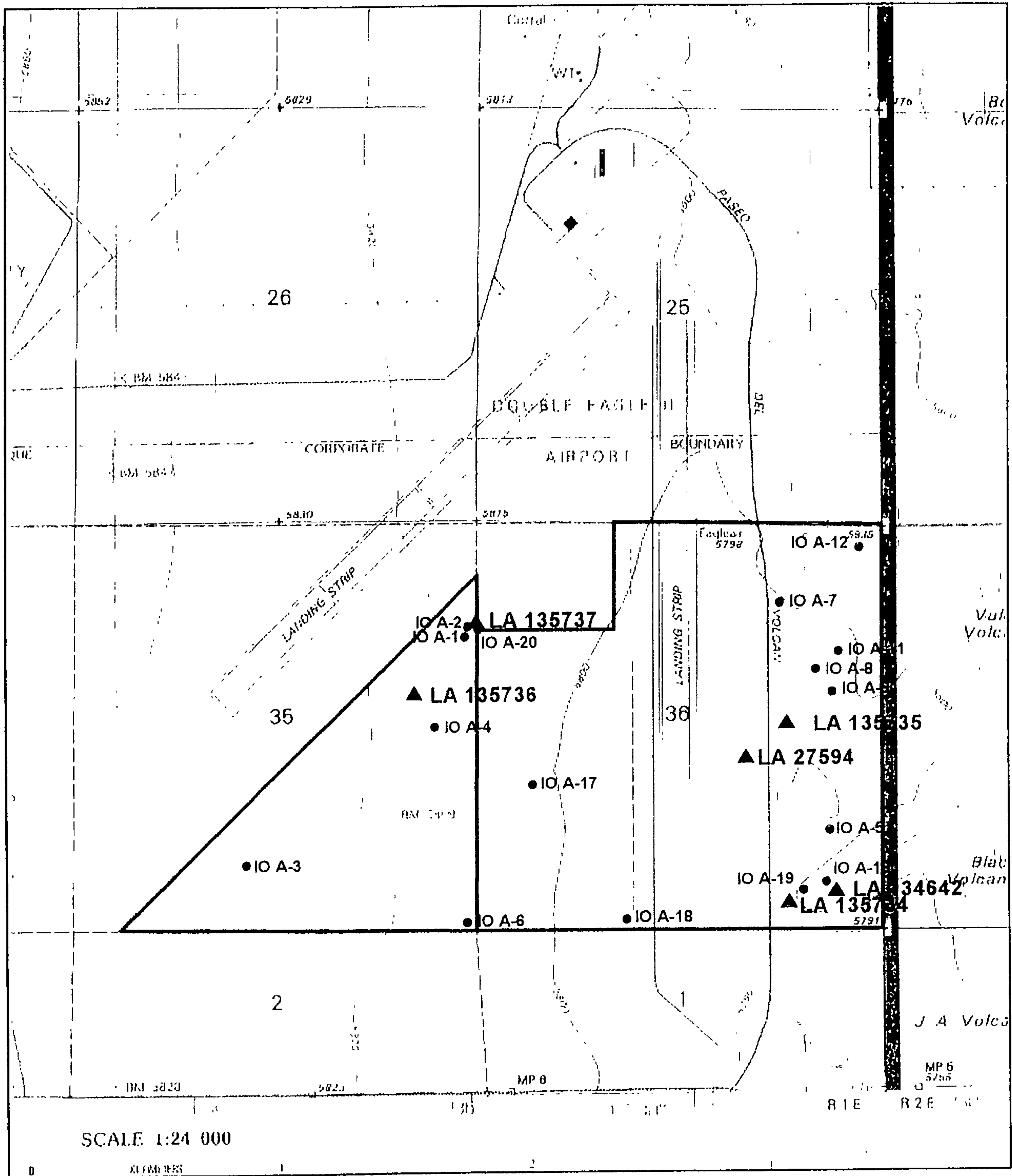


Source:
 USGS 7.5 Quadrangle Map, 1990
 The Volcanoes

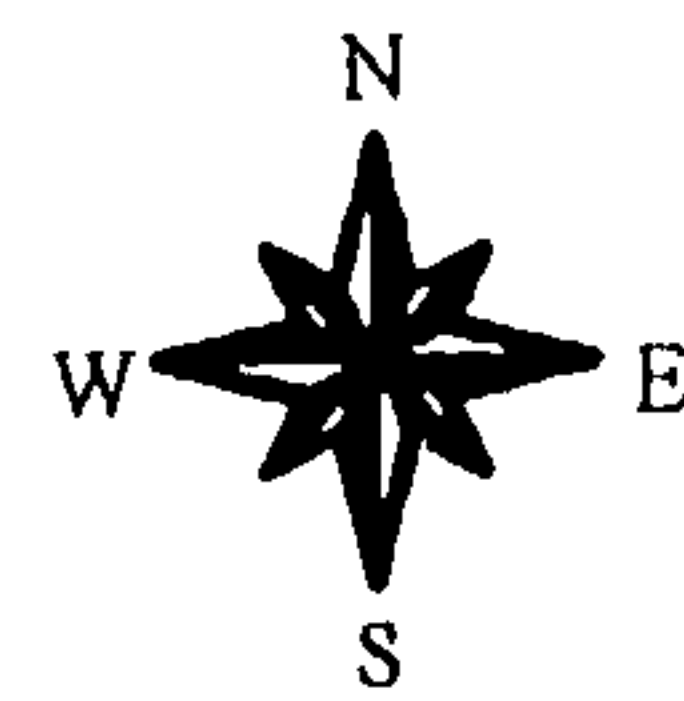


Prepared by:
 Taschek Environmental Consulting

Figure 2
 Project Location Map
 North Area of Project



Source:
 USGS 7.5 Quadrangle Map, 1990
 The Volcanoes



Prepared by
 Taschek Environmental Consulting

Figure 3
 Project Location Map
 South Area of Project

Double Eagle II Land Exchange Cultural Resource Survey

Table 1: UTM Coordinates and Legal Descriptions for Parcels that Comprise the Land Exchange

Parcel	Acres	Current Owner	UTM Coordinates	Legal Location
1	589	SLO	Begin at E336180 N3890250 to E336150 N3889030 to E337760 N3889000 to E337800 N3890600 to E336740 N3890650 to E336720 N3890240 at end	T 11 N R 1 E: All of Sec. 36, except 52 ac described as the NW/4 NW/4 and part of the W/2 NE/4 NW/4
2	251	COA	Begin at E334700 N3889090 To E336150 N3889040 To E336185 N3890460	T 11 N R 1 E: Part of Section 35 described as all of the SE/4 except part of the NW/4 NW/4 SE/4; all of the SE/4 NE/4 except part of the NW/4 SE/4 NE/4; part of the SE/4 SW/4 NE/4; part of the SE/4 NE/4 NE/4; all of the SE/4 SW/4 except part of the NW/4 SE/4 SW/4; part of the SE/4 NE/4 SW/4; part of the SE/4 SW/4 SW/4; part of the NE/4 NE/4 NE/4
3	338	COA	Begin at E334540 N3894460 to E334520 N3893725 to E336300 N3893750 to E337810 N3893595 to E337800 N3894400 at end	T 11 N, R 1 E: All of irregular Section 13 and 14; the E/2 E/2 E/2 of irregular Section 15; the N/2 N/2 N/2 of irregular Section 23; the N/2 N/2 N/2 of irregular Section 24; and part of the NE/4 NE/4 NE/4

ENVIRONMENTAL SETTING

The project area is located in Bernalillo County, New Mexico on the West Mesa (also known as the Ceja Mesa or the Llano de Albuquerque), overlooking the Rio Grande Valley and the city of Albuquerque. The mesa top slopes eastward toward the basalt escarpment located to the east of the project area (Brandi 1999). Immediately east of the project area in the Petroglyph National Monument lies a north-south oriented chain of five volcanoes. The tallest of the volcanoes, Vulcan Volcano, reaches an elevation of 1854 m (6083 ft). Elevation in the project area averages approximately 1768 m (5800 ft). The Rio Grande floodplain is located approximately 5.5 km (3.4 mi) to the east.

Albuquerque and its West Mesa fall within the Albuquerque Basin of the Rio Grande Subsection of the Mexican Highland Section of the Basin and Range Province in north-central New Mexico. The Basin and Range Province is characterized by block-faulted mountains that commonly have Precambrian cores overlain by Paleozoic sedimentary sequences. The basins separating the north-south oriented ranges have several basin-fill facies, including piedmont alluvium, fine-

Double Eagle II Land Exchange Cultural Resource Survey

grained lake and playa sediments, coarse river deposits, and aeolian deposits (Hawley 1986). The West Mesa is one of 12 centers of volcanic activity within the Albuquerque Basin. The mesa is composed of a lava-flow field of nearly 104 square kilometers (40 square miles), which overlies several step-like terraces. The topography in the general vicinity of the project area consists of flatlands, small volcanic cones, basalt push-ups, shallow drainages, and the steep West Mesa escarpment (Schmader and Hays 1986).

The lava-flow field overlays the Santa Fe Formation, a late Tertiary alluvial deposit composed primarily of sand and gravel deposits of the ancestral Rio Grande, Rio Puerco, and Jemez River (Kelly 1977). Santa Fe Formation sediments are visible on the surface in areas where lava flow coverage was incomplete or was thin and has since eroded. Santa Fe formation deposits provided prehistoric inhabitants with stone tool raw materials such as chert, quartzite, chalcedony, and petrified wood.

Soils in the project area are derived chiefly from Santa Fe Formation alluvium, weathered basalt, and aeolian materials and include the Latene sandy loam, the Wink fine sandy loam, the Alameda sandy loam, the Madurez loamy fine sand, and the Kokan-Rock outcrop association. The Latene sandy loam is moderately permeable, moderately alkaline, and strongly calcareous. It is on nearly level to gentle slopes with moderate erosion. The Wink fine sandy loam occurs on the sides of low ridges with moderate to severe wind erosion. This soil is calcareous and permeability is moderate. The Madurez loamy fine sand occurs primarily on convex piedmont fans. It is also calcareous and moderately permeable. The Alameda sandy loam is a level to undulating soil overlying basalt flows. Water erosion is slight while wind erosion is moderate to severe. Permeability is moderate, and the soil is strongly calcareous and moderately alkaline. The Kokan-Rock outcrop association consists of the Kokan gravelly sand in association with basalt rock outcrops. Kokan soils have high permeability and are slightly calcareous and alkaline (Hacker 1977).

The climate in the vicinity is classified as semiarid to arid (Tuan et al. 1973), with annual precipitation averaging 178 to 250 mm (7 to 10 inches) (Bennett 1986; Hacker 1977). The majority of the rainfall occurs during afternoon summer thunderstorms. The frost-free season averages 170 to 195 days (Hacker 1977). The warm-temperate conditions for the area encompass a wide range of variation, with temperatures in the vicinity of the project area sometimes climbing to 100° F in the summer and dropping to below freezing in the winter, with elevation the strongest influence on temperature (Bennett 1986). The combined effect of elevation on temperature and precipitation results in high seasonality and marked variations in resource availability.

Desert Grasslands and Plains-Mesa Grasslands biotic communities characterize the project vicinity. Shrub and grass species such as creosote, sagebrush, saltbush, and grama grasses dominate the landscape, while juniper and various cacti occasionally occur (Brown 1994; Dick-Peddie 1993). Currently the parcel in Section 35 is zoned as COA Open Space and the parcel in Section 36 is used for airport activities and an airport runway lies in the parcel. The parcel in Section 13 is zoned for City Aviation and the parcel in Section 14 is zoned as Open Space. This parcel is undeveloped, although there are utility lines and associated service dirt roads.

CULTURAL SETTING

Several comprehensive overviews provide prehistoric and historic cultural context for the project area, including Cordell (1979, 1997), Crollet, Seymour, and St. Germain (1995), Schmader and Hays (1986), Simmons (1982) and Stuart and Gauthier (1981). These syntheses provide the basis for the discussion below.

Paleoindian Period (10,000–5500 B.C.)

The first well-documented human settlement of the Albuquerque area dates to the Paleoindian period, which is defined chiefly on the basis of distinctive lanceolate projectile points. The Paleoindian occupation began during the Late Pleistocene, at which time the climate in area was generally cooler and wetter than the present, supporting extensive grasslands and many species of now extinct megafauna. Paleoindian settlement and subsistence is characterized as small groups of highly mobile hunter-gatherers focused on large game. In the Southwest the period is subdivided into the Clovis (10,000–9000 B.C.), Folsom (9000–8000 B.C.), and Plano (8000–5500 B.C.) complexes (Irwin-Williams 1979). Each complex is distinguished by unique projectile point styles, and slightly differing artifact assemblages and site types. Clovis sites are typically kill and butchering locations associated with mammoth and other now extinct megafauna. Folsom sites are also usually kill and butchering locations, but in association with the now extinct *Bison antiquus*. The Plano Complex incorporates several artifact complexes defined by distinctive projectile point types, including Plainview, Firstview, Agate Basin, Hell Gap, Alberta, Cody, and Frederick. Of these complexes Cody assemblages have been recorded in the Middle Rio Grande Valley. The Belen Complex, defined specifically in the Middle Rio Grande Valley, may be a local variant of Plainview (Huckell 2002). Plano sites continue to reflect mobile hunting groups, but with a focus on modern species of bison.

Several Paleoindian sites have been identified in the vicinity of the project area. The few Clovis sites found are typically isolated occurrences of projectile points (Judge 1973). Several Folsom and Plano sites are known to exist on the West Mesa, in the plains to the southwest, and in the Sandia Mountains to the northeast (e.g., Brandi 1993, 1999; Hibben 1941; Huckell 2001, 2002; Huckell and Kilby 2000; Judge and Dawson 1972; Judge 1973; Marshall 1985).

Archaic Period (5500 B.C.–A.D. 1)

The transition from the Paleoindian period to the Archaic period is often characterized as a shift in subsistence practices. While Paleoindian groups focused on large game species, Archaic peoples exploited a broader range of plant and animal food sources. This shift is usually attributed to large-scale climatic changes and the extinction of megafauna necessitating a more diverse subsistence base. These changes are reflected in tool assemblages, marked by a shift to smaller projectile points and the introduction of groundstone tools. Artifact assemblages become more diverse in general and sites are located in a greater variety of environmental and topographic contexts.

Cynthia Irwin-Williams' (1973) definition of the Oshara Tradition provides the framework for Archaic period developments in the Middle Rio Grande Valley area. This framework, based on

work in the Arroyo Cuervo area west of Albuquerque, divides the Archaic period into six phases (Jay, Bajada, San Jose, Armijo, En Medio, and Trujillo) on the basis of lithic artifact assemblages, particularly projectile point attributes, and on other attributes such as site size and complexity. Small seasonal base camps and limited activity sites, both of which reflect a highly mobile hunter-gatherer adaptation, characterize the earlier phases. Through time there is an increase in the use of plant resources, an increase in site frequency, and an elaboration and enlargement of the base camps (Cordell 1979). The lithic technology becomes more expedient, with carefully executed bifaces and projectile points showing a marked decrease, in contrast to an increase in the number of large choppers and side scrapers. The Bajada and San Jose phases denote the addition and development of large subsurface earthen ovens and a substantial increase in the number of groundstone implements. The Armijo phase is characterized by population aggregation into small villages and the introduction of maize cultivation. During the En Medio phase there was an expansion of sites into the dunal environment of the West Mesa along with a continued increase in overall site frequency. The final, Trujillo, phase in Irwin-Williams' (1973) chronology denotes major changes in technology including the introduction of ceramics and the bow and arrow, traits which define the inception of the Basketmaker III period in the Pecos Classification.

Evidence of Archaic occupation in the vicinity of the project area is common. According to Cordell (1979), however, Archaic sites are typically situated well above the Rio Grande floodplain on terraces and in rockshelters. While no early Archaic sites have been documented in the lowlands of Albuquerque, numerous sites have been recorded and excavated in the uplands to the west. Recent archaeological investigations in the Rio Puerco Valley have documented multiple aggregated village sites dating primarily to the En Medio and Trujillo phases (Fletcher 1998, Kovacik 1998). Sites of similar age have also been excavated to the north of the project area, on the West Mesa near Rio Rancho (Brandi 1993). Within the Rio Grande Valley, Late Archaic age components have been identified during excavation at the Montano Bridge site, LA 33223 (Gossett and Gossett 1988).

Basketmaker III-Pueblo I/Early Developmental Period (A.D. 1-900)

Two comprehensive cultural/temporal classification schemes can be used to describe the prehistoric Puebloan occupation of the Albuquerque area. The first sequence is the Pecos Classification (Kidder 1927), which includes Basketmaker III, and Pueblo I-IV periods. This framework was devised to organize data pertaining to pan-Southwestern prehistory. The next sequence was developed specifically for the Rio Grande Valley by Wendorf (1954) and Wendorf and Reed (1955). The Rio Grande sequence includes Developmental, Coalition, and Classic periods, which cover roughly the same broad time span as the Pecos Classification, but accounts for temporal and spatial distinctions particular to the Rio Grande Valley. In addition, Reinhart (1968) has defined two local phases (Rio Rancho and Alameda) based on work in the Rio Rancho area west of Albuquerque. The first of these phases dates to the late Archaic while the Alameda phase corresponds to Basketmaker III. Both Reinhart (1968) and Irwin-Williams (1973) interpret the shift from the Archaic to Puebloan cultures as a gradual, *in situ*, development from ancestral Archaic occupations.

Double Eagle II Land Exchange Cultural Resource Survey

The inception of the Basketmaker III period is defined by the use of new technology such as ceramics and the bow-and-arrow, and a shift to more formalized, permanent habitations such as pithouse structures. The late Basketmaker III and Pueblo I Periods are not well-defined for the Albuquerque area. Climactically the period is marked by drought and substantial erosion, which probably accounts for the shift from cultivation in the narrow canyon floodplains to cultivation almost exclusively in broad valley bottoms (Irwin-Williams 1973). Irwin-Williams notes that there is a concomitant shift in settlement location from cliff-base shelters in canyons to open sites. These developments are associated with an increased reliance on agriculture. Sites dating to this time period are highly variable in their assemblage composition and features (Stuart and Gauthier 1981). In the Albuquerque area this period is marked by the appearance of pithouse villages. Documented sites of this age in the region can be found near Sandia Pueblo, Tijeras Canyon, and on the sandy terraces and hilltops west of the Rio Grande (Cordell 1997).

Pueblo II/Late Developmental Period (A.D. 900–1200)

During the Pueblo II period, pithouses with more formalized floor features continued, but people began to employ aboveground adobe roomblock construction. Settlements were predominately located near fertile floodplains or at the confluence of major drainages, with population aggregation becoming more common. It is during the Pueblo II period that Chaco Canyon and the surrounding San Juan Basin witnessed their greatest building episodes and cultural florescence. A contemporaneous florescence did not, however, take place in the Albuquerque area. In the vicinity of the project there is little evidence of behavioral change from that of the previous period and sites persisted in the same general locales (Cordell 1979).

Pueblo III/Late Developmental-Coalition Period (A.D. 1200–1300)

The Pueblo III period in the Southwest witnessed a dramatic demographic shift from Chaco Canyon to the Mesa Verde region. The shift corresponds with a restructuring of economic networks, periodic abandonment of pueblos, and an emphasis on defense in the location of settlements. In the Albuquerque area the period is characterized by more widespread use of aboveground adobe roomblock residences, although pithouses continued to be used as well. During this period most of the large pueblos in the vicinity of the project area were located on the first terraces overlooking the Rio Grande Valley, while pueblos further west experienced a decrease in population density. There was an overall increase in trade with outside areas that is expressed in a wide variety of new imported ceramic types (Cordell 1997).

Pueblo IV/Classic Period (A.D. 1300–1600)

During the Pueblo IV/Classic period the San Juan Basin and Mesa Verde areas experienced large decrease in population, with a shift in settlement to areas with permanent water sources, such as the Rio Grande Valley. Wendorf and Reed (1955) define this period as a time of “cultural florescence” defined by a peak in population density and an elaboration of material culture. Diagnostic traits include glaze-paint ceramics, stone effigies, kiva murals, and population aggregation into a few large pueblos. The majority of petroglyphs on the West Mesa escarpment are also thought to date to this period, and may relate to the introduction of the widespread Kachina cult (Schaafsma and Schaafsma 1975). Some of the large Pueblo IV settlements in the

vicinity of the project area are Corrales Pueblo, Kuaua Pueblo, Santiago Pueblo, Puaray Pueblo, Alameda Pueblo, and Calabacillas Pueblo. All of these pueblos are located on benches or in the floodplain adjacent to the Rio Grande.

While there is a clear dependence on maize agriculture and extensive trading networks during the late Puebloan Period, a semi-sedentary lifestyle only partly dependent on cultivated plants persisted in some areas of the Rio Grande Valley until European contact.

Historic Period (post-A.D. 1540)

European contact in the area occurred in the mid-sixteenth century with the arrival of the Spanish conquistadors of the Coronado expedition. Pueblo populations in the area were primarily aggregated in a few large settlements at this time, and Apachean groups may have utilized some areas of the Middle Rio Grande Valley (Berman 1979). The subsequent years of conflict between the Spanish and indigenous groups resulted in a large-scale population displacement and the ruin of many pueblos. Due to warfare and newly introduced diseases, the native population declined dramatically following contact.

The Historic Period in the region is typically defined with the beginning of Spanish colonization, with the arrival of Don Juan de Oñate at the Tiquex villages along the Middle Rio Grande Valley in 1598. In the Albuquerque area, substantial (but rapidly declining) Pueblo populations precluded significant Spanish settlement until the mid-1600s, by which time several dozen *estancias* were scattered in the Middle Rio Grande Valley. Initial occupation in the area lasted until the Pueblo Indian Revolt of 1680, at which time all of the Spanish *estancias* in the area were abandoned. Reconquest by the Spanish occurred in 1692, with an expedition led by Don Diego de Vargas. During the revolt and subsequent reconquest, the Rio Grande pueblos were ravaged, often abandoned and only sometimes later reoccupied. Numerous land grants were awarded to encourage European settlement, including the nearby Alameda and Atrisco grants. The Alameda Land Grant was established in 1710; the Atrisco Land Grant pre-dates the revolt but was re-established in 1692. Atrisco, like most of the settlements in the area at this time, was centered on sheep herding. This community was officially recognized in 1703, a few years prior to the villa of Albuquerque, which was formally recognized in 1706 (Simmons 1982).

The primary use of the project vicinity continued to be for livestock grazing until the late 1880s. The arrival of the Atchison, Topeka, and Santa Fe Railway in Albuquerque in 1880 brought dramatic increases in Anglo-American settlement and promoted economic growth and expansion that, until very recently, extended almost exclusively to the east of the river. Albuquerque witnessed rapid growth during and following World War II, in large part due to the establishment and growth of the Albuquerque Army Air Base (later to become Kirtland Field and then Kirtland Air Force Base) and the related Sandia National Laboratories.

Kirtland Field used the West Mesa for several bombing ranges during WWII, including areas within, and in the vicinity of Double Eagle Airport. From 1941 to 1945 bombardiers flew AT-11 and B-18 aircraft to these ranges for target practice using 100-lb concrete and 100-lb sand-filled "practice" bombs, and 250-lb general purpose high explosive bombs. Numerous sites consisting of the remains of ground targets and/or ordnance and explosives waste (OEW), (e.g., scrap metal

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from practice bombs) have been identified in the area (U. S. Army Public Information Retrieval System 1994).

Degradation of the West Mesa environment followed the rapid post-war growth of Albuquerque, and residential and commercial development on the mesa itself, with the open land of the mesa increasingly subjected to trash dumping, target shooting, off-road vehicle use, and vandalism of petroglyphs. The City of Albuquerque responded by acquiring various parcels of West Mesa land under its Open Space program, beginning in 1961 (Brandi 1999). In 1985 a large portion of the basalt escarpment was surveyed and subsequently nominated to the NRHP as the Las Imagines Archeological District (Schmader and Hays 1986). The results of the survey and efforts of several local conservation and preservation groups contributed to the establishment of the Petroglyph National Monument in 1990, which protects 7,244 acres of land located immediately east of the project area (Brandi 1999).

PREVIOUS RESEARCH

Records Search

On January 15, a pre-field site records search was conducted at ARMS of the New Mexico State Historic Preservation Division. The search also entailed a review of the current listings of the New Mexico State Register of Cultural Properties (NMSRCP) and the NRHP. The purpose of the search was to identify any previous surveys and previously recorded cultural properties within or in the vicinity (a one-mile radius) of the project area, and to determine the density of site distribution and nature of sites. Two previously recorded sites fall within the project boundaries and 91 sites are located within a one-mile radius outside the project area (Table 2). None of the sites in the project vicinity are listed on either the NMSRCP or the NRHP.

Previously recorded sites in the project area and vicinity include occupations dating from Paleoindian to Recent times (9500 B.C.–present). Sites representing Paleoindian, Archaic, Ancestral Puebloan (Anasazi), Spanish Contact/Colonial, Mexican, Territorial, New Mexico Statehood, and Recent occupation periods are all present. Prehistoric site types include lithic scatters, lithic and ceramic scatters, lithic quarries, rockshelters, petroglyphs, and sites with architectural and/or other features. Historic sites include artifact scatters, petroglyphs, and architectural feature sites.

Table 2: Previously Recorded Sites

LA Number	Site Type	Cultural/Temporal Affiliation	Location (UTM, Zone 13:)
<i>Sites within the project area</i>			
27594 (134643)	Historic/Structural	Unspecified AD 1539-1993	337270E, 3889450N
134642	Lithic Scatter	Paleoindian 9500-5500 BC, Unspecified Prehistoric 5500 BC-AD 1540	337600E, 3889180N

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LA Number	Site Type	Cultural/Temporal Affiliation	Location (UTM, Zone 13:)
<i>Sites outside of the project area (within 1 mile)</i>			
27591	Ceramic Scatter/Structural	Anasazi Pueblo IV AD 1325-1400	337615E, 3893222N
27592	Lithic Scatter	Unspecified Archaic 5500 BC-AD900	333640E, 3889451N
27593	Shrine	Unspecified 9500 BC-AD 1993	334591E, 3890160N
29564	Historic/Structural	Unspecified Historic AD 1539-1998	337954E, 3893140N
29565	Lithic Scatter, Historic/Structural	Unspecified Prehistoric 9500 BC-AD 1993, Unspecified Historic AD 1539-1993	338308E, 3893758N
29566	Historic/Structural	Unspecified Historic AD 1539-1993	338970E, 3893653N
29567	Historic/Structural	Unspecified Historic AD 1539-1993	340082E, 3894130N
29568	Prehistoric/Features, Historic/Structural	Unspecified Prehistoric 9500 BC-AD 1993, Unspecified Historic AD 1539-1993	340152E, 3894098N
29570	Prehistoric/Structural with Features	Unspecified Anasazi AD 1-1600	340503E, 3894186N
29571	Historic/Structural	Unspecified Historic AD 1539-1993	340810E, 3894147N
29572	Historic/Structural	Unspecified Historic AD 1539-1993	340774E, 3894051N
29573	Historic/Structural	Unspecified Historic AD 1539-1993	340601E, 3894022N
29574	Historic/Structural	Unspecified Historic AD 1539-1993	339761E, 3893651N
29575	Historic/Structural	Unspecified Historic AD 1539-1993	339503E, 3891093N
29576	Prehistoric/Structural with Features	Unspecified Anasazi AD 1-1600	340530E, 3891810N
29577	Historic/Structural	Unspecified Historic AD 1539-1993	340840E, 3891700N
29578	Historic/Structural	Unspecified Historic AD 1539-1993	339368E, 3890501N
29579	Historic/Structural	Unspecified Historic AD 1539-1993	339666E, 3890514N
45268	Lithic Scatter	Unspecified 9500 BC-AD 1993	338230E, 3888200N
45269	Historic/Structural	Unspecified Historic AD 1912-1945	338340E, 3889000N
45270	Lithic Scatter	Unspecified 9500 BC-AD 1993	339200E, 3888825N
45271	Paleoindian, Pueblo/Spanish Contact	Folsom/Midland 9000-8000 BC, Pueblo/ Spanish Contact AD 1539-1680	339100E, 3889110N
45272	Historic/Structural	Anglo/Euroamerican AD 1945-1993	338900E, 3889050N
45273	Historic/Structural	Anglo/Euroamerican AD 1945-1993	338670E, 3888350N
45274	Historic/Structural	Anglo/Euroamerican AD 1945-1993	338550E, 3888700N
45276	Lithic/Ceramic Scatter with Features, Historic/Structural	Anasazi Pueblo IV AD 1300-1600, Unspecified Historic AD 1539-1993	338650E, 3890050N
45277	Lithic Scatter with Feature	Unspecified 9500 BC-AD 1993	338700E, 3889940N
45278	Lithic/Ceramic Scatter with Feature	Anasazi Pueblo IV AD 1300-1600	338600E, 3889870N

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LA Number	Site Type	Cultural/Temporal Affiliation	Location (UTM, Zone 13:)
45279	Unknown/Structural with Features	Unspecified 9500 BC-AD 1993	338500E, 3888945N
45280	Lithic/Ceramic Scatter with Features, Historic/Structural	Anasazi Pueblo III AD 1100-1300, Anglo/Euroamerican AD 1912-1945	338575E, 3888500N
45281	Historic/Structural	Unspecified Historic AD 1539-1993	338990E, 3889090N
45282	Prehistoric/Structural/Lithic Scatter/Features, Historic/Structural	Anasazi Pueblo IV AD 1300-1600, Anglo/Euroamerican AD 1846-1912	337620E, 3888300N
45531	Lithic Scatter	Unspecified 9500 BC-AD 1993	331575E, 3889650N
45534	Lithic Quarry	Unspecified 9500 BC-AD 1993	331900E, 3891975N
45536	Lithic/Ceramic Scatter	Unspecified 9500 BC-AD 1993, Anasazi Pueblo III AD 1100-1300	331000E, 3891775N
45556	Historic Artifact Scatter	Anglo/Euroamerican AD 1912-1945	332775E, 3890225N
45569	Lithic Scatter	Unspecified 9500 BC-AD 1993	333660E, 3891320N
45590	Prehistoric with Feature	Unspecified Anasazi AD 1-1600	341325E, 3891575N
45591	Historic Artifacts/Structural	Unspecified Historic AD 1539-1993	341375E, 3891575N
45592	Prehistoric Features/Historic Features	Unspecified Anasazi AD 1-1600, Unspecified Historic AD 1539-1993	341050E, 3891550N
45593	Prehistoric with Feature	Unspecified Anasazi AD 1-1600	341100E, 3891650N
45604	Historic/Structural	Unspecified Historic AD 1539-1993	341100E, 3891475N
45611	Lithic Scatter with Features	Anasazi Pueblo IV AD 1300-1600	341050E, 3891675N
46426	Unknown/Structural	Unspecified 9500 BC-AD 1993	338740E, 3892730N
46427	Unknown/Structural	Unspecified 9500 BC-AD 1993	338600E, 3892710N
46428	Historic Artifacts/Structural	Unspecified Historic AD 1539-1993	338700E, 3892640N
46429	Prehistoric Feature, Historic Features	Unspecified Anasazi AD 1-1600, Unspecified Historic AD 1539-1993	338640E, 3892610N
46430	Unknown/Structural	Unspecified 9500 BC-AD 1993	338480E, 3892570N
46431	Prehistoric Ceramic/Lithic Scatter/Structural, Historic Artifact Scatter/Structural	Unspecified Late Archaic 1000 BC-AD 550, Anasazi Pueblo I-IV AD 700-1600, Historic Hispanic AD 1692-1945	338640E, 3891880N
46432	Unknown/Structural/Lithic Scatter	Unspecified 9500 BC-AD 1993	338620E, 3891810N
46433	Unknown/Structural	Unspecified 9500 BC-AD 1993	338580E, 3891870N
46434	Unknown/Structural	Unspecified 9500 BC-AD 1993	338620E, 3891740N
46435	Historic Artifacts/Structural	Unspecified Historic AD 1539-1993	338680E, 3891780N
46436	Historic/Structural	Unspecified Historic AD 1539-1993	338690E, 3893180N
46437	Lithic Scatter/Structural	Unspecified 9500 BC-AD 1993	338720E, 3893210N
49629	Unknown/Structural	Unspecified 9500 BC-AD 1993	341340E, 3894320N
49630	Historic/Structural	Hispanic Historic AD 1539-1993	340260E, 3894915N
49828	Unknown/Structural	Unspecified 9500 BC-AD 1993	343250E, 3892000N

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LA Number	Site Type	Cultural/Temporal Affiliation	Location (UTM, Zone 13:)
52079	Unknown/Structural	Unspecified 9500 BC-AD 1993	343090E, 3892450N
52080	Lithic Scatter/ Structural	Unspecified Anasazi AD 1-1600	343330E, 3892330N
52081	Prehistoric/Structural	Anasazi Pueblo III-IV AD 1100-1600	343350E, 3892420N
52082	Prehistoric/Structural	Anasazi Pueblo III-IV AD 1100-1600	343420E, 3892130N
52083	Prehistoric/Structural	Unspecified Anasazi AD 1-1600	343750E, 3892270N
52084	Historic/Structural	Unspecified Historic AD 1539-1993	343820E, 3892080N
54655	Lithic/Ceramic Scatter	Anasazi Pueblo I AD 700-900	334620E, 3893960N
54656	Lithic Scatter	Unspecified 9500 BC-AD 1993	334480E, 3893870N
54657	Lithic/Ceramic Scatter	Unspecified 9500 BC-AD 1993	335290E, 3893170N
54658	Lithic Scatter	Unspecified Archaic 5500 BC-AD 900	334370E, 3892530N
54659	Lithic Scatter	Unspecified 9500 BC-AD 1993	338380E, 3892440N
54661	Lithic Scatter	Paleoindian 9500-5500 BC, Anasazi Basketmaker II AD 1-500	337910E, 3891630N
55494	Lithic Scatter	Unspecified 9500 BC-AD 1993	343420E, 3891240N
60755	Unknown/Structural	Unspecified 9500 BC-AD 1993	340230E, 3894250N
60756	Historic/Structural	Hispanic Historic AD 1539-1993	340760E, 3893850N
61081	Lithic Scatter	Paleoindian 9500-5500 BC	333600E, 3891370N
61082	Lithic Scatter	Early Archaic 5500-3000 BC	333700E, 3891860N
69703	Ceramic Scatter, Historic/Structural	Anasazi Pueblo II-III AD 900-1300, Anasazi Pueblo IV AD 1300-1600, Anglo/Euroamerican 1539-1993	339080E, 3895200N
69705	Lithic Scatter	Unspecified Archaic 5500 BC-AD 900	337540E, 3894000N
69706	Lithic Scatter	Unspecified 9500 BC-AD 1993	337900E, 3895410N
71199	Lithic/Ceramic Scatter, Historic/ Structural/Features	Unspecified Archaic 5500 BC-AD 900, Anasazi Pueblo III AD 1100-1300, Recent Historic AD 1945-1993	336215E, 3891025N
76951	Lithic/Ceramic Scatter/Structural	Late Archaic 500BC-AD 400, Anasazi Pueblo II-III AD 900-1300	336413E, 3895350N
76952	Lithic Scatter	Late Archaic 1800 BC-AD 200	336229E, 3895320N
103036	Historic/Structural with Artifacts	Anglo/Euroamerican AD 1941-1945	337030E, 3892850N
103054	Historic Artifact Scatter/ Lithic Scatter	NM Statehood AD 1941-1942	333271E, 3893640N
103725	Historic/Structural	Spanish Contact/Colonial AD 1539-1680	343025E, 3892395N
103726	Lithic/Ceramic Scatter	Anasazi Pueblo IV AD 1300-1600	343130E, 3893040N
126422	Lithic Scatter/ Structural	Unspecified Archaic 5500 BC-AD 200	336520E, 3895350N
126423	Lithic Scatter/ Structural	Unspecified Archaic 5500 BC-AD 200	335970E, 3895390N
126424	Lithic Scatter/ Structural	Unspecified Archaic 5500 BC-AD 200	335090E, 3895710N
132556	Lithic/Ceramic Scatter/Structural, Historic Artifacts	Anasazi Pueblo III AD 1100-1300	342350E, 3891800N
132557	Unknown/Structural	Unspecified 9500 BC-AD 1993	342300E, 3891110N
134644	Lithic Scatter	Folsom 9000-8000 BC	337770E, 3892910N

Previous Investigations

Several large-scale surveys have been conducted relatively recently in the project area and general vicinity (Brandi 1999; Huckell 2002; Rodgers 1980; Schmader and Hays 1986), as well as a number of smaller or less-recent projects (e.g., Beal 1978; Cross-Cultural Research Systems 1991; Johnson 1976; Reycraft 2001; Rodgers 1978; Ward 1978). In 1980 the Center for Anthropological Studies conducted a 100-percent survey overlapping the current project area prior to the construction of Double Eagle Airport (known as the West Mesa Airport at that time) (Rodgers 1980). During that survey of 1751.6 ha (4326.5 ac), four archaeological sites and 802 “non-site loci” (primarily isolated lithic artifacts) were recorded. The sites include a large lithic quarry and tool manufacturing site thought to date to the late Archaic (LA 27592), a group of prehistoric farming terraces (LA 27591), a possible Pueblo IV/Classic period shrine (LA 27593), and purported sheep corrals constructed of basalt cobbles and boulders, dating to the early twentieth century (LA 27594).

In a 1985 survey of 445 ha (1100 ac) conducted for the Open Space Division of the Parks and Recreation Department, City of Albuquerque, 67 archaeological sites were identified along the West Mesa escarpment, including the massive Las Imagines petroglyph site (LA 52100). This project led to the NRHP nomination of the Las Imagenes Archeological District (Schmader and Hays 1986) and contributed to the establishment of the Petroglyph National Monument immediately east of the current project area. A survey of approximately half of the 2933-ha (7244-ac) monument recorded 214 new archaeological sites, 1878 IOs, and approximately 270 petroglyphs.

A recently completed survey of 445 ha (1129 ac) directed by Bruce Huckell of the Maxwell Museum of Anthropology University of New Mexico focused on re-evaluating Paleoindian settlement and use of the West Mesa in the vicinity of the Albuquerque Volcanoes (Huckell 2002). The project overlapped portions of the current project area and two (LA 134642 and LA 27594) of the sites recorded during that survey fall within the boundaries of the current land exchange. LA 134642 is a Paleoindian site, newly recorded during the Huckell survey, consisting of a scatter of flaked-stone tools and debitage. LA 27594 is a previously recorded site of two rock alignments of unknown function and affiliation, similar to features that others have recorded as sheep pens (e.g., Rodgers 1983 [this site was assigned LA 134643 by Huckell])

Cultural resources encountered during the current project are consistent with the above-mentioned investigations and other previous research in the vicinity of the project area, which indicate that prehistoric use of the area was primarily for short-term occupations related to specialized activities such as lithic tool procurement and manufacturing, plant and animal procurement and processing, and agriculture. Historic use is primarily related to livestock grazing, although the area around the airport was used for a period during WWII as a practice bombing range. In addition, ceremonial activities are evidenced by possible shrine features and thousands of petroglyphs (both prehistoric and historic), located primarily on the nearby basalt escarpment of the mesa. No petroglyphs were identified during the current survey, but that is to

be expected because the area does not contain the basalt plugs found closer to the volcanoes or the wall faces on the escarpment.

METHODS

An intensive (100-percent) pedestrian survey of the project area was completed between January 22, 2002 and April 30, 2002 by TEC personnel. The project director was Gerry Raymond, and the field supervisor was Christopher Carlson. Field crew members were Adam Sullins, Christa Burrus, and Peter Sheldon. The survey was conducted by walking compass-oriented parallel transects spaced at intervals no greater than 15 m (50 ft). Surface visibility ranged from about 60 to 90% and the sparse vegetation in most areas provided excellent ground visibility. The survey area was located using topographic features and landmarks found on The Volcanoes USGS 7.5 minute quadrangle map. Positions on the ground were verified with two satellite-lock GPS units. Engineering maps provided by MCA were also used when needed.

Sites were defined as any location of purposeful prehistoric or historic human activity that, in general, pre-dates 1950. Cultural remains, which include at least one of the following, are defined as sites:

1. one or more features
2. an occurrence of cultural material which contains at least one of the following: three or more classes of artifacts or materials, two classes of artifacts or materials in a density of at least ten items per 100 square meters, or a single artifact class or material in a density of at least 25 items per 100 square meters

Cultural remains that do not meet the above criteria are defined as isolated occurrences (IOs). IOs generally consist of single artifacts or artifact scatters of extremely low density and number (less than 10), or that represent a single event or unintentional activity, such as a single tool-making episode or a pot drop.

The locations of sites and IOs were marked on the appropriate 7.5-minute USGS quadrangle map. UTM coordinate locations for sites and IOs were taken with two satellite-lock GPS units. IOs were analyzed and described in the field and culturally and/or temporally diagnostic IOs were illustrated. Sites were recorded on Laboratory of Anthropology Site Record forms and a site sketch map was prepared for each site. A site datum in the form of an aluminum bar marked with the TEC field site number was placed on each site and plotted on the site sketch map. A representative sample of artifacts was recorded at each site, using supplemental analysis forms. Limited trowel tests were conducted in areas most likely to inform on the potential for subsurface cultural deposits, unless this evidence could be recovered in road cuts, arroyos, or other natural or human-made features observed on the site.

RESULTS OF SURVEY

During the survey two previously recorded sites, four new sites and 20 isolated occurrences were identified and documented. Descriptions and discussion of the sites follow and IOs are detailed in Table 3.

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Table 3: Isolated Occurrences

IO No.	Description	UTM Coordinates	Legal Description
A-1	Oxidized practice bomb, hollow inside. Threaded head, four separate fins. See photos 1 and 2, Roll 1. Diameter: 9", Length: 35".	E336157 N3890185	T11N, R1E Section 35: NE SE NE
A-2	Milky-gray chalcedony interior flake.	E336141 N3890254	T11N, R1E Section 35: NE SE NE
A-3	4 Sherds, black-on-red, 5-6mm thick, fine temper. Exterior is mineral paint.	E335237 N3889321	T11N, R1E Section 35: NE SE SW
A-4	Prohibition era glass alcohol bottle, clear glass. Metal screw-on cap. Embossed: "One Half Pint" & "R 261" 6 11/16" x 3 1/4" x 1 7/16"	E335992 N3889823	T11N, R1E Section 35: NE NE SE
A-5	One basalt interior flake	E337557 N3889380	T11N, R1E Section 36: NW SE SE
A-6	One metal lard bucket, 7 13/16" height x 6 5/16" diameter. "CANCO".	E336121 N3889066	T11N, R1E Section 35: SE SE SE
A-7	Metal parachute flare (M8A1 or M24) fragments	E337405 N3890334	T11N, R1E Section 36: SW NE NE
A-8	One chalcedony exterior flake, 1-2 cm. One chalcedony interior flake with crazing, 1-2 cm.	E337510 N3890049	T11N, R1E Section 36: NW SE NE
A-9	One tan chert scraper, 3.8 x 4.5 x 1.1cm	E337562 N3889967	T11N, R1E Section 36: SW SE NE
A-10	One white chert interior flake, 1-2 cm	E337542 N3889197	T11N, R1E Section 36: SW SE SE
A-11	One rhyolite one-hand mano with moderate usage and cleaved in half, lengthwise. 2 gray chert exterior flakes, 1-2 cm.	E337615 N3890075	T11N, R1E Section 36: NE SE NE
A-12	Metal practice bomb fragment, model M 85 or M38A2	E337718 N3890524	T11N, R1E Section 36: NE NE NE
A-13	Metal parachute flare (M8A1) fragments consisting of an identification tag with lead solder on back, 1940's.	E336769 N3893732	T11N, R1E Section 24: NW NE NW(irregular – aligned to SE corner)
A-14	One white chert exterior flake, 2-4 cm.	E337367 N3893790	T11N, R1E Section 24: NE NW NE (irregular – aligned to SE corner)
A-15	Metal propeller blade, possibly from a practice bomb	E337361 N3893798	T11N, R1E Section 24: NE NW NE (irregular –

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IO No.	Description	UTM Coordinates	Legal Description
			aligned to SE corner)
A-16	Metal shrapnel	E337378 N3893862	T11N, R1E Section 24: NE NW NE (irregular -- aligned to SE corner)
A-17	One gray chert exterior flake, 4+ cm.	E336352 N3889590	T11N, R1E Section 36: SW NW SW
A-18	One white chert exterior flake, 2-4 cm.	E336756 N3889045	T11N, R1E Section 36: SE SE SW
A-19	One quartzite exterior flake, 4+ cm. One granite mano, 7.5 x 11 x 5 cm. One chalcedony angular debris, 1-2 cm.	E337473 N3889173	T11N, R1E Section 36: SW SE SE
A-20	One quartzite bifacial mano, 10 x 9.5 x 3.5 cm.	E336174 N3890246	T11N, R1E Section 35: SE NE NE

Previously Recorded Sites

Site Number: LA 27594

Land Status: State Land Office

Legal Description: T 11 N, R 1 E, Section 36: NW/4 NW/4 SE/4

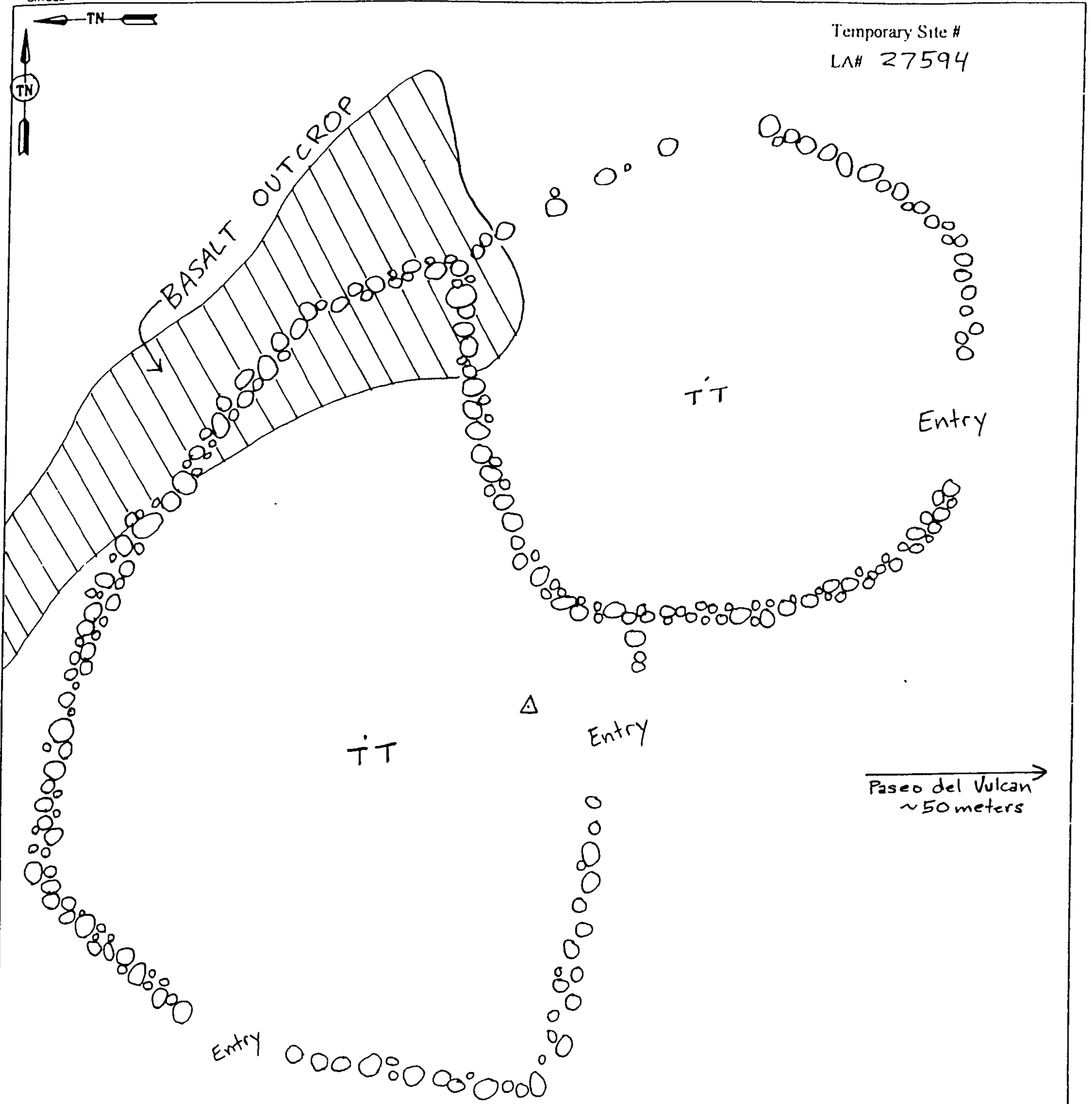
UTM coordinates: E337270, N3889450

The site was previously recorded by Rodgers (1980) and consists of two large, conjoined rock features (Figure 4). The site is located between Paseo del Volcan Road on the east, and the east landing strip at Double Eagle II Airport on the west. Rodgers interpreted the rock features as sheep pens/corrals. The site was re-recorded by Huckell in 2001-2002 during a survey to study Paleoindian use of the mesa. Huckell assigned a new LA site number (LA 134643), however, this is obviously the previously recorded site LA 27594. TEC personnel revisited the site on April 10, 2002 during the current investigation and reevaluated the site. The two vesicular basalt rock features are of unknown cultural or temporal affiliation, and their function is not known. Alluvial soils at the site support an understory of desert grasses, low shrubs, and cacti.

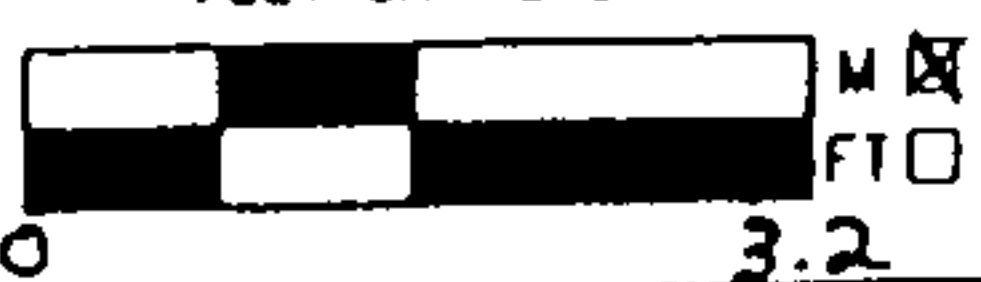
The site has not changed significantly since its original recordation by Rodgers. The rock alignments consist of cobbles and small boulders, most about 40-45 cm (16-18 inches) in diameter. One of the rock alignments is circular and is about 11 m in diameter, and the other is sub-rectangular and is about 17 m across at its widest point. , and each is about 12m (39 ft) in diameter. The only artifacts found at the site were a lithic flake and two brown glass fragments. There is a basalt outcrop in the western part of the site that appears to be the source material for the features.

CIRCLE TRUE NORTH

Temporary Site #
LA# 27594



INDICATE SCALE IN
FEET OR METERS



- | | | | |
|---------------|---------------|---------------------|----------------------|
| Datum | Concentration | Fenceline | F- Feature (and #) |
| Site Boundary | Dune/Hill | Two-Track Road | C- Core |
| Rock Outcrop | Vegetation | P → Photo (and #) | PP- Projectile Point |
| Depression | Contour | 0880 Rock Alignment | BF- Biface |
| Utility Line | Drainage | | GS- Groundstone |
| | | | HS- Hammerstone |
| | | | TI- Trowel Test |

Adapted From
 Drawn By Center For
 Anthropological Studies
 Site # LA 27594
 Date April 10, 2002

Double Eagle II Land Exchange Cultural Resource Survey

The site appears to be largely intact and only minor water and wind erosion has occurred at the site. Two randomly placed trowel tests were conducted and revealed about 7 cm of alluvial sediments. Some of the basalt rocks are lodged a few centimeters into the loose alluvial sediments. Although there are no clear indications of buried artifacts, the presence of the loose alluvial sediments and the partially buried rocks suggest that buried cultural deposits may be present.

Site evaluation: This site was originally recorded by Rogers (1983) as sheep pens. However, as Huckell (2002:30) points out, "there is little direct surface evidence of the function of the two rock enclosures at this site to convincingly argue that they did serve as pens for sheep or other small stock". Therefore, TEC recommends that further ethnographic and archaeological investigations should be conducted before a determination of the site's eligibility is made and the site's eligibility to the NRHP remains undetermined.

Site Number: LA 134642

Land Ownership: State Land Office

Legal Description: SE/4 SE/4 Section 36, T 11 N, R 1 E

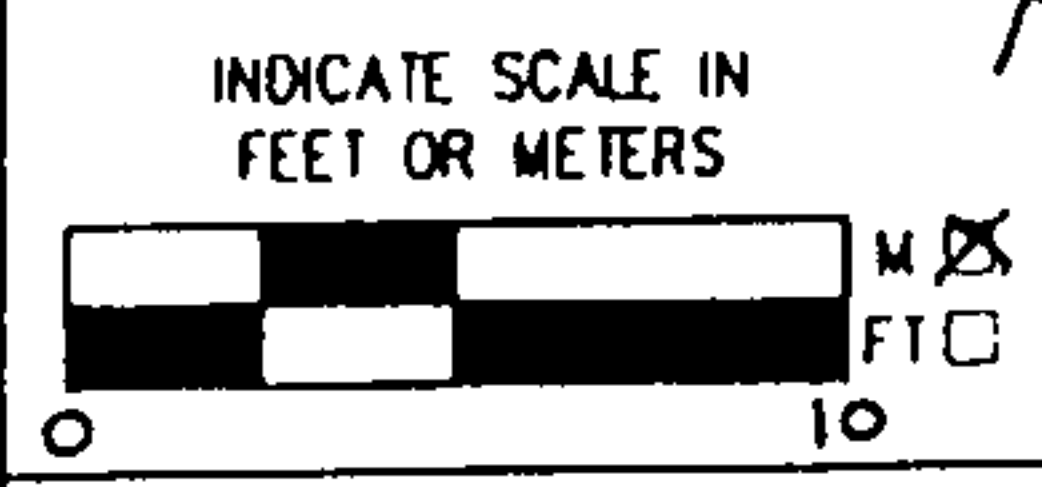
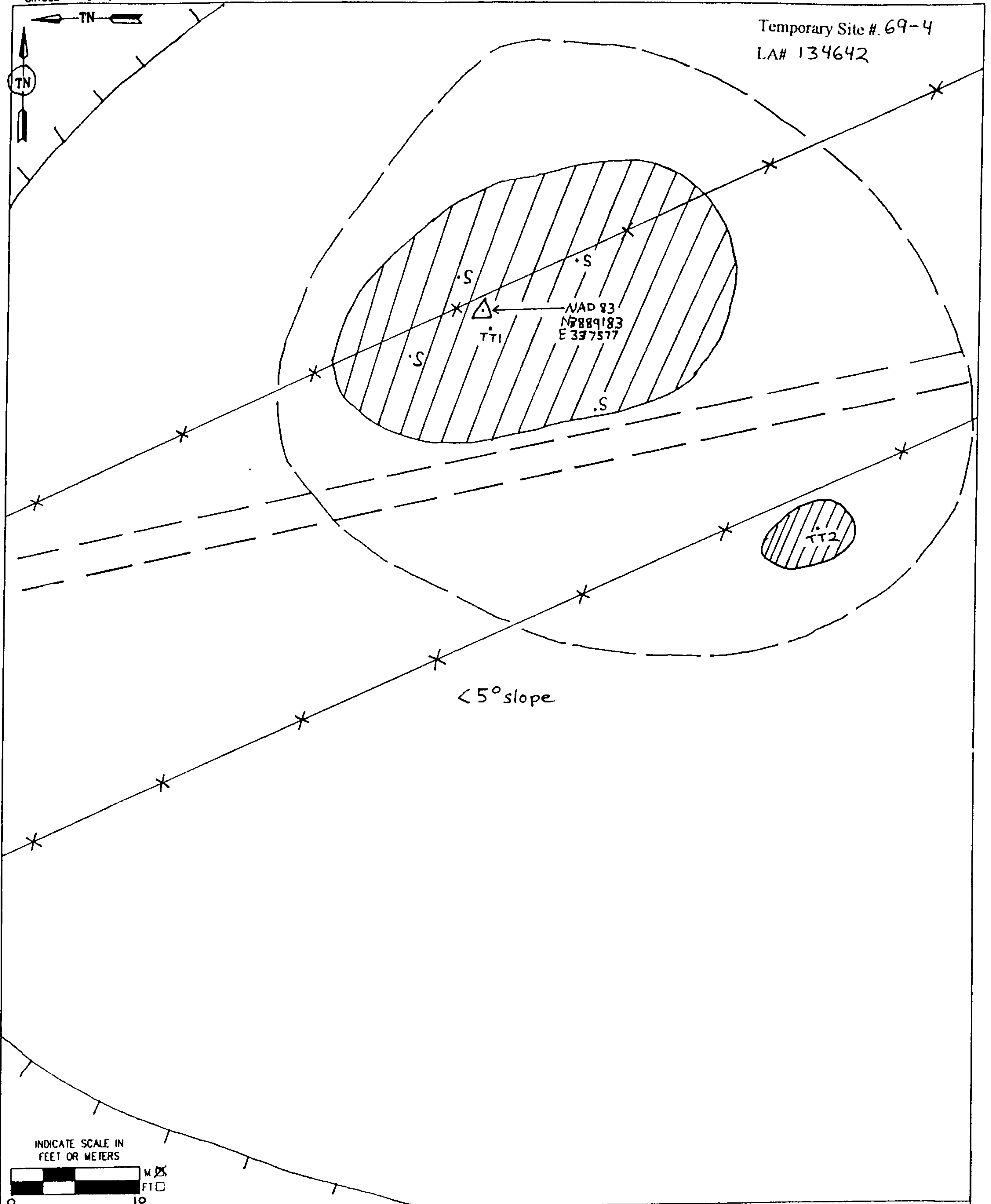
UTM coordinates: E337577, N3889183

This site (Figure 5) was recently recorded by Huckell (2002) during his survey to study Paleoindian settlement and use of the West Mesa. The site is situated on a low knoll east of Paseo del Volcan Road and west of Black Volcano. As recorded by Huckell, the site consists of flaked stone tools and debitage that span an area approximately 45m in diameter. About 200-300 artifacts were observed on the surface. The artifacts associated with this site are mostly made of yellowish chert material, and lesser amounts of Rio Grande chalcedony – both Santa Fe Formation gravels. A few quartzite flakes and one obsidian flake were also observed. Huckell assigned the site to the Paleoindian period based on the discovery of two complete endscrapers of classic Paleoindian form (Judge, 1973), and two fragmentary scrapers. Huckell also recorded three nondiagnostic biface fragments. TEC personnel revisited the site on April 30, 2002, and found it to be in the same condition as Huckell's recordation.

Site evaluation: Huckell (2002) recommended that the site retains further research potential and is eligible to the NRHP under Criterion D. Further, during this investigation, two trowel tests revealed 3-5 cm of loose sediments at this site. Subsurface artifacts were observed in one test at about 3 cm below ground surface. These tests clearly indicate that the site has sufficient depth for cultural deposits and that subsurface artifacts are present at the site. Therefore, the site retains the potential to provide further information as to Paleoindian lifeways and TEC concurs with Huckell's recommendation.

CIRCLE TRUE NORTH

Temporary Site # 69-4
LA# 134642



Datum	Concentration	Fenceline (collapsed)	F- Feature (and #)
Site Boundary	Dune/Hill	Two-Track Road	C- Core
Rock Outcrop	Vegetation	P → Photo (and #)	PP- Projectile Point
Depression	Contour	S- scraper	BF- Biface
Utility Line	Drainage		GS- Groundstone
			HS- Hammerstone
			TT- Trowel Test

Drawn By Christa Burrus
Site # 69-4(LA 134642)
Date April 30, 2002

Newly Recorded Sites

Site Number: LA 135734

Land Ownership: State Land Office

Legal Description: T 11 N, R 1 E, Section 36: S/2 SE/4

UTM coordinates: E337460, N3888910

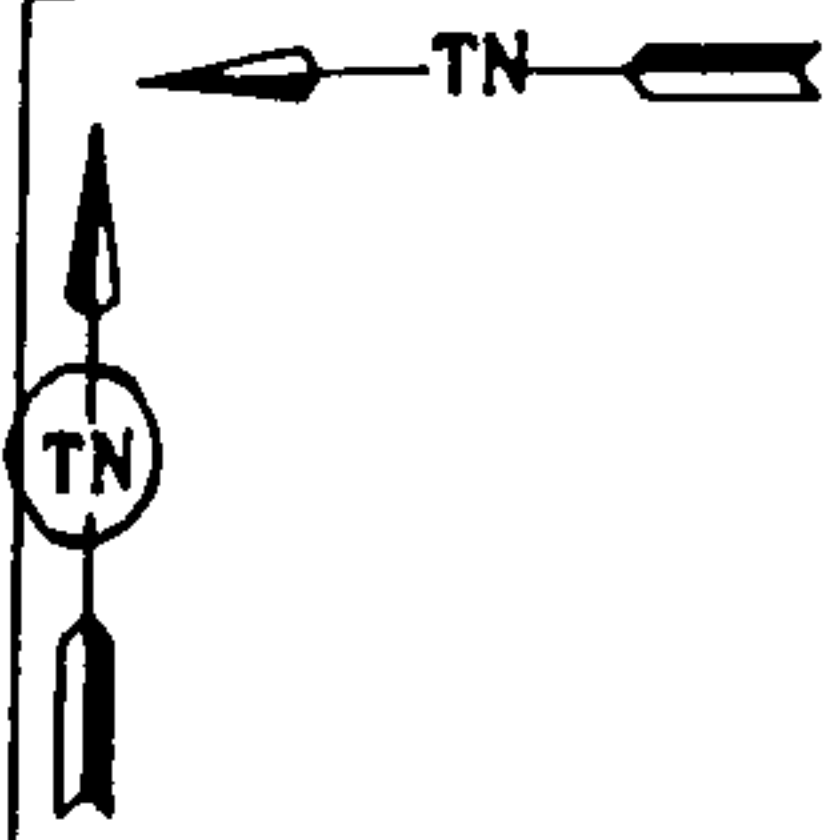
This site (Figure 6) is located east of Paseo del Volcan Road and west of Black Volcano and consists of five rock alignments/concentrations and two lithic flakes. Alluvial sediments support an understory of grasses, low shrubs, and cacti. The low artifact count at the site may be due to its proximity to the road and the Volcanoes, thus subjecting the area to surface collection. The two pieces of debitage are interior flakes made of local, mottled gray chert. Neither a temporal nor cultural affiliation could be assigned to the features, and their function is undetermined.

Features 1 and 2 are located about 75 meters away from one another and are at the south end of the site. Features 3-5 are located within an approximate 100 meter diameter area and are about 300 meters north of Features 1 and 2. Each rock feature is about 2m by 2m and consists of numerous vesicular basalt boulders. Only minor water and wind erosion has occurred and the site appears to be largely intact. Many of the basalt boulders are lodged four to ten cm into the loose alluvial sediments. Although there are no clear indications of buried artifacts, the presence of at least 10 cm of alluvial sediments and the partially buried rocks suggest that buried cultural deposits may be present.

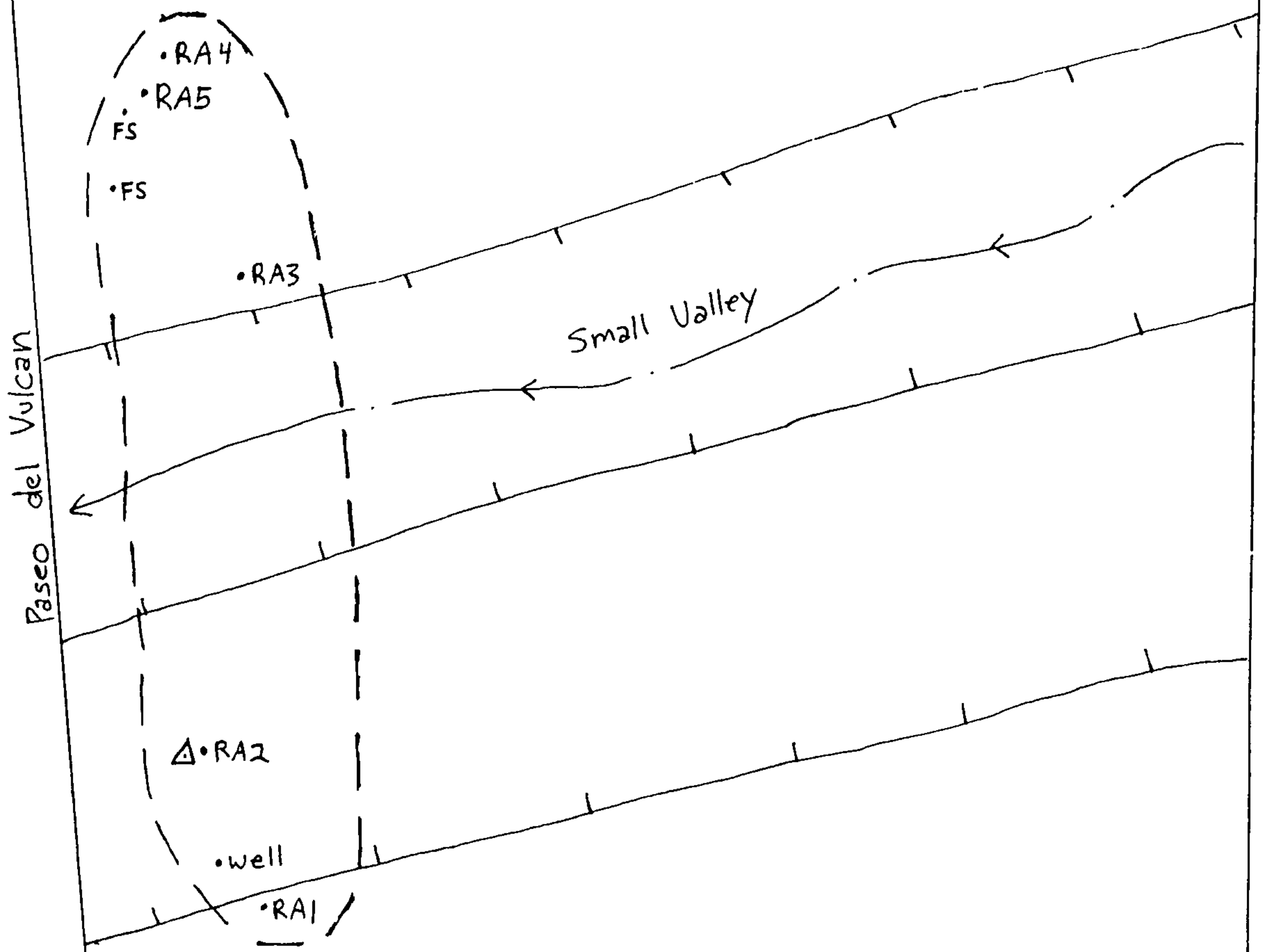
Reycraft (2001) identified similar rock concentrations in a survey of 40 acres about two miles east of the current project. In the report of the survey results the features were referred to as oval concentrations that represented the remnants of cairns. He noted that previous research (Brandi 1999; Schmader and Hays 1987; Rodgers 1978; Whitmore 1978) have identified similar features, and that they were interpreted as either ceremonial features or small agricultural/water control features. The ceremonial interpretation is derived from the area's proximity to the Petroglyph National Monument and the Los Imagines Archaeological District, and the viewsheds from the features to those areas. Thus the features associated with this site may represent properties where ceremonial activities took place. As to their use as agricultural/water control features, the nature of the features does not appear to be suitable for water control or agricultural practice.

Site evaluation: Although various interpretations have been offered for features similar to the rock alignments/concentrations found at this site, their function has not been determined. Several of the basalt boulders are lodged into the loose alluvial sediments, and although there are no clear indications of buried artifacts, the presence of at least 10 cm of alluvial sediments suggest that buried cultural deposits may be present. Therefore, further ethnographic and archaeological investigations should be conducted before a determination of the site's eligibility to the NRHP is made and the site's eligibility remains undetermined.

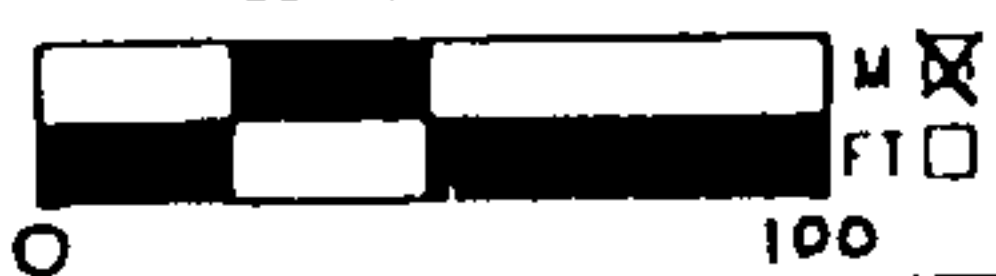
CIRCLE TRUE NORTH



Temporary Site # 69-5
LA# 135734



INDICATE SCALE IN
FEET OR METERS



- | | | | |
|---------------|---------------|--------------------|----------------------|
| Datum | Concentration | Fenceline | F- Feature (and #) |
| Site Boundary | Dune/Hill | Two-Track Road | C- Core |
| Rock Outcrop | Vegetation | Photo (and #) | PP- Projectile Point |
| Depression | Contour | FS- Flaked Stone | BF- Biface |
| Utility Line | Drainage | RA- Rock Alignment | GS- Groundstone |
| | | | HS- Hammerstone |
| | | | TI- Trowel Test |

Drawn By Christa Burrus
Site # 69-5
Date Feb. 22, 2002

Double Eagle II Land Exchange Cultural Resource Survey

Site Number: LA 135735

Land Status: State Land Office

Legal Description: T 11N, R 1 E, Section 36: SW/4 SE/4 NE/4

UTM coordinates: E337400, N3889900

This site (Figure 7) consists of one rock alignment/concentration located east of Paseo del Volcan Road about one-quarter mile west of the boundary of the lands of the Petroglyph National Monument. It is similar to the rock alignment features in LA 135734 discussed above, however, the feature was assigned a separate site number because of its distance from the other rock alignment features. Alluvial sediments support an understory of grasses, low shrubs, and cacti. No artifacts were observed in association with the feature. Like the other rock alignment site, neither a temporal or cultural affiliation could be assigned, nor is its function known.

Site Evaluation: The rock feature at this site is similar to those at 135734, although this site has only one isolated feature. The temporal and cultural affiliation of the feature is not known, and its function has not been determined. Thus the same recommendation as presented for LA 135734 holds for this site. That is, further ethnographic and archaeological investigations should be conducted before a determination of the site's eligibility to the NRHP is made and the site's eligibility remains undetermined.

Site Number: LA 135736

Land Status: City of Albuquerque

Legal Description: T 11 N, R 1 E, Section 35: SW/4 SE/4 NE/4

UTM coordinates: E335861, N3890198

This historic artifact scatter (Figure 8) is located on a grass plain between the two runways of Double Eagle II airport. It is situated on alluvial and aeolian deposits that support an understory of grasses, desert shrub and cacti. The site consists of a disperse scatter of glass fragments, tin cans, and various other metal items.

Twenty-nine artifacts were observed and the entire assemblage was analyzed in the field. Materials include fragments of clear, green, and brown glass, one clear glass bottle, one brown glass bottle neck, rubber items, vent-hole tin cans, a metal stove leg, one white enameled pot lid, a fragment of heavily oxidized barb wire, and a miscellaneous metal object. The types of tin cans and glass fragments indicate an historic affiliation that dates from about the turn of the century to recent times.

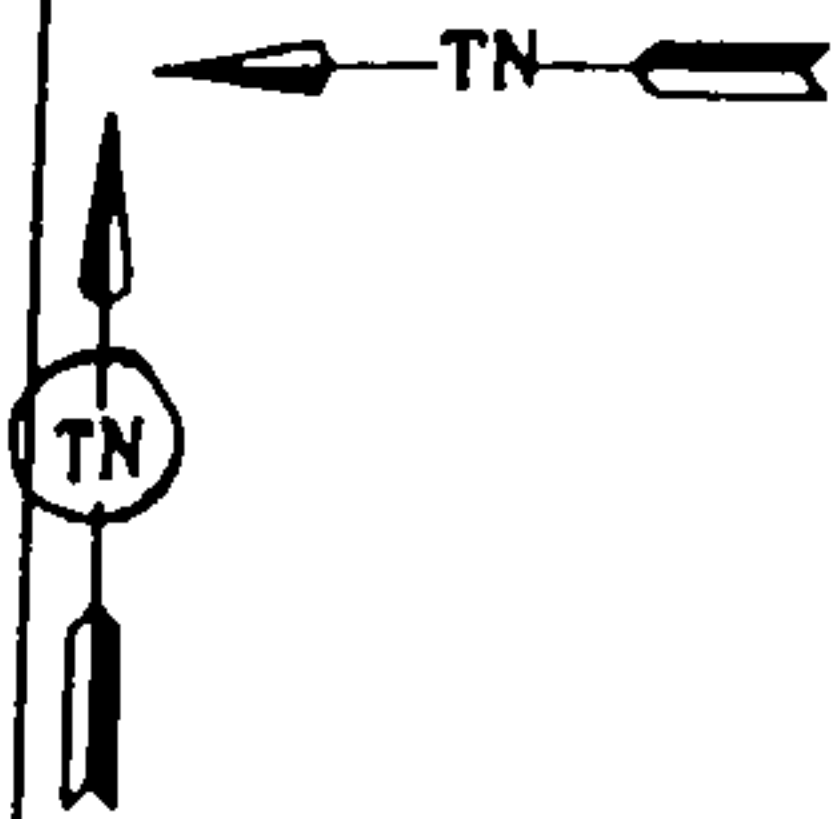
The site exhibits some wind and water erosion and minor bioturbation. A nearby road and arroyo cuts indicate sedimentary deposits of about one meter. Although no partially buried artifacts or other indications of buried cultural deposits were observed, the possibility of buried cultural material cannot be eliminated.

Site Evaluation: This historic period artifact scatter is likely a surficial artifact scatter that represents the remains of a single episode trash dump. All of the observed artifacts were

CIRCLE TRUE NORTH

Temporary Site # 69-7

LA# 135735



← Paseo del Volcan ~ 50 meters



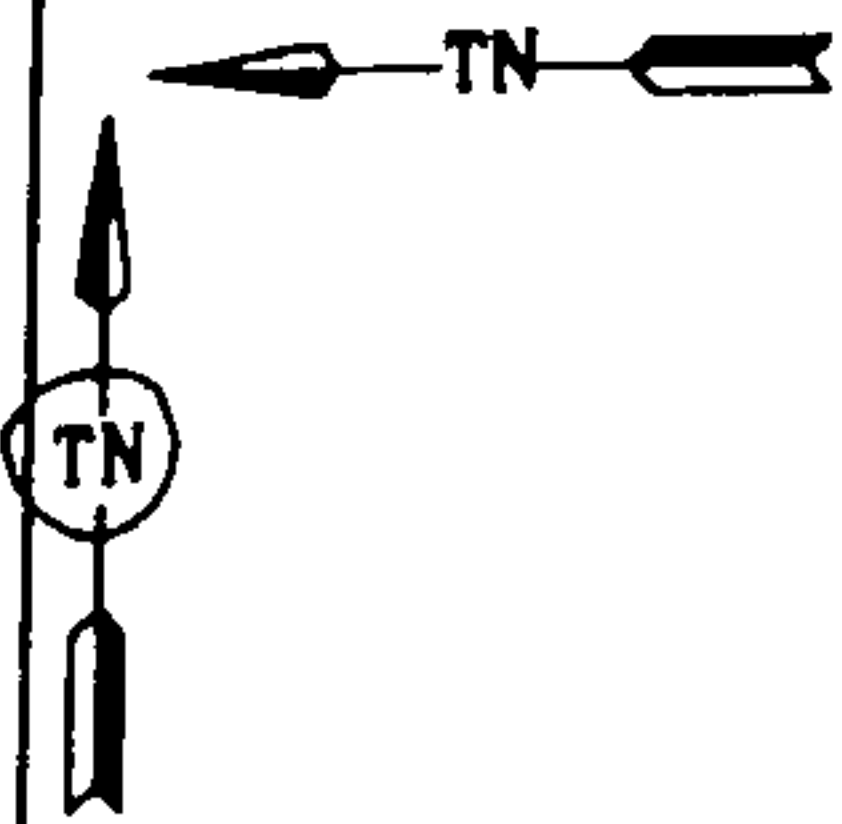
INDICATE SCALE IN FEET OR METERS



- | | | | |
|---------------|---------------|----------------|----------------------|
| Datum | Concentration | Fenceline | F- Feature (and #) |
| Site Boundary | Dune/Hill | Two-Track Road | C- Core |
| Rock Outcrop | Vegetation | Photo (and #) | PP- Projectile Point |
| Depression | Contour | Rock | BF- Biface |
| Utility Line | Drainage | | GS- Groundstone |
| | | | HS- Hammerstone |
| | | | TL- Trowel Test |

Drawn By
Site # 69-7
Date

CIRCLE TRUE NORTH



Temporary Site # 69-8

LA# 135736

To Landing Strip
~200 m

NAD 83
E 335861
N 3890198

INDICATE SCALE IN
FEET OR METERS



Datum	misc metal Concentration	Bottle	Glass shards
Site Boundary	Dune/Hill	Fenceline	Feature (and #)
Rock Outcrop	Vegetation	Two-Track Road	Core
Depression	Contour (1m int.)	Photo (and #)	Projectile Point
Utility Line	Drainage	Headlight	Biface
		venthole can	Groundstone
		Metal Stove Leg	Hammerstone
			Trowel Test

Drawn By Peter Sheldon

Site # 69-8

Date April 10, 2002

Rubberized Material

Double Eagle II Land Exchange Cultural Resource Survey

analyzed and recorded in the field thereby exhausting their information potential. There are no features present, nor any partially buried artifacts, surface stains, landscape depressions, or any other indication that buried cultural material is present. However, the sediments are deep and the possibility of buried cultural remains cannot be eliminated. Therefore, the eligibility of the site to the NRHP remains undetermined.

Site Number: LA 135737

Land Status: City of Albuquerque and State Land Office

Legal Description: T 11 N, R 1 E, Section 35: SE/4 NE/4 NE/4,
and Section 36: SW/4 NW/4 NW/4

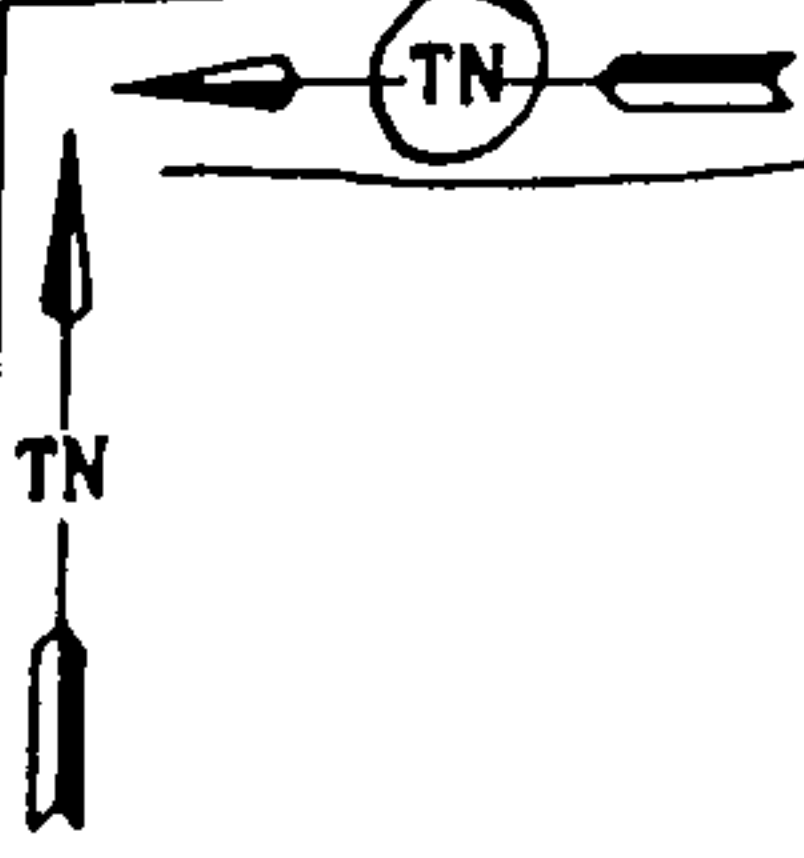
UTM coordinates: E336174, N3890246

This historic site (Figure 9) is located between the two runways of Double Eagle II Airport. It is approximately 0.75 mi west of Paseo del Volcan Road on a grass plain of alluvial and aeolian deposits that support an understory of desert shrub and cacti. The site consists of nine depressions (likely bomb craters), a bomb casing, and an enamel covered metal container. The depressions range from 11m (36 ft) to 27m (89 ft) in diameter.

There is some minor water erosion at the site, including some erosion of the depression features. Bioturbation was observed at various locations throughout the site, but is most pronounced within the crater features. It has been documented that the area was used for WWII bombing practice (U. S. Army Public Information Retrieval System 1994) and the presence of the bomb casing in association with the depressions suggests that the site formed as the result of practice bomb explosions. It should be noted that these types of sites often have numerous pieces of associated shrapnel, however, no shrapnel was observed at this site.

Site Evaluation: The depression features at the site were formed as the result of bomb practice during the WWII period. The information potential of this site has been exhausted by this recordation of the crater features and the bomb casing. The site is recommended as not eligible for the NRHP.

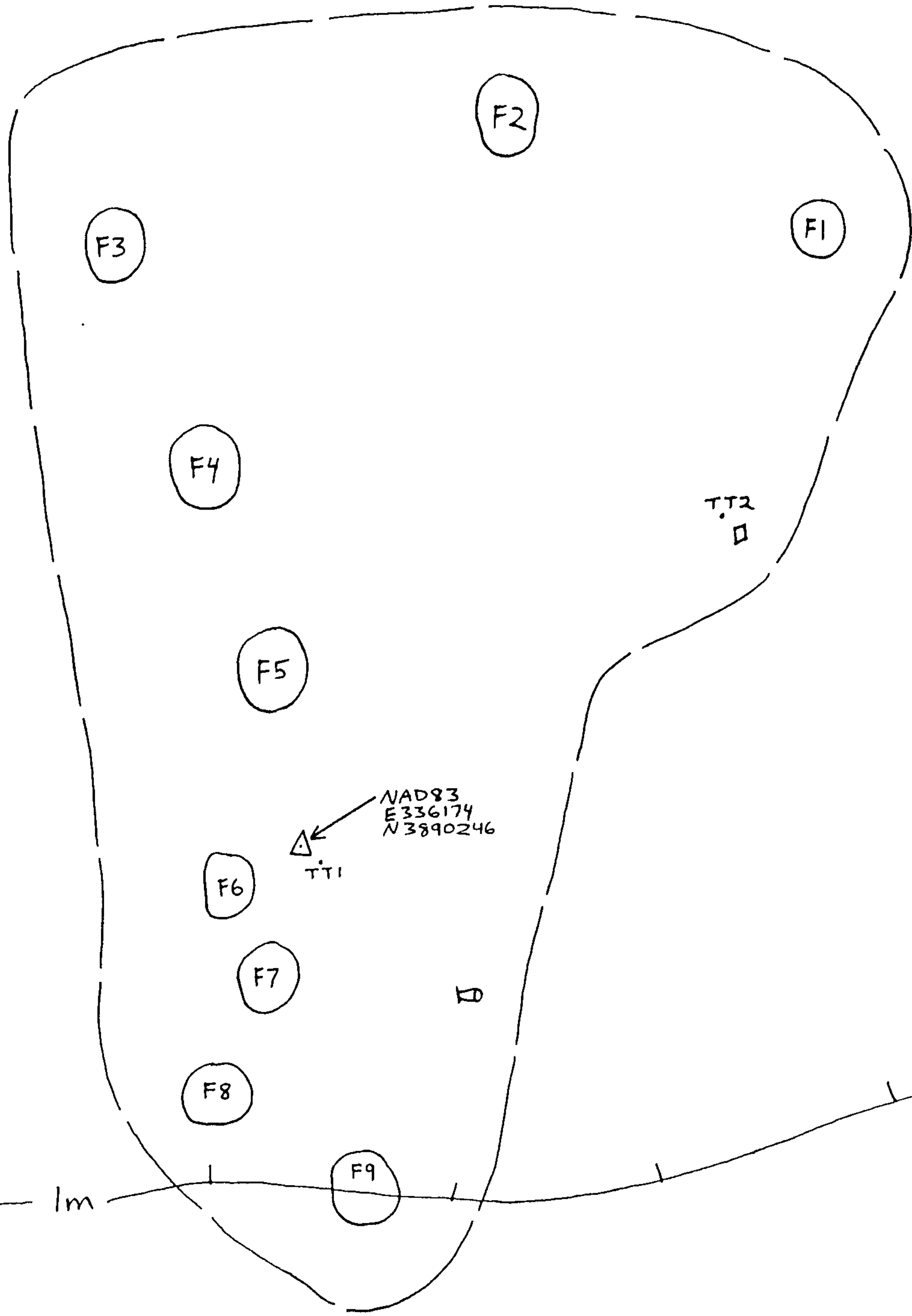
CIRCLE TRUE NORTH



0m

Temporary Site # 69-20

LA# 135737



INDICATE SCALE IN FEET OR METERS



- | | | | |
|---------------|---------------|-------------------|----------------------|
| Datum | Concentration | Fenceline | F- Feature (and #) |
| Site Boundary | Dune/Hill | Two-Track Road | C- Core |
| Rock Outcrop | Vegetation | P → Photo (and #) | PP- Projectile Point |
| Depression | Contour | Metal Container | BF- Biface |
| Utility Line | Drainage | Bomb | GS- Groundstone |
| | | | HS- Hammerstone |
| | | | TT- Trowel Test |

Drawn By Peter Sheldon
Site # 69-20
Date April 8, 2002

SUMMARY

During the survey two previously recorded sites, four new sites and 20 isolated occurrences were identified and documented. One site (LA 134642) is recommended eligible to the NRHP, one (LA 135737) is recommended not eligible, and the eligibility of the remaining four sites (LA 27594, LA 135734, LA 135735, and 135736) is undetermined.

Any future undertakings upon the lands covered by this survey and report should be reviewed by a professional archaeologist for their effects upon the cultural properties identified in this report. Those conclusions as to effect should be reviewed by all involved agencies and a report of the findings should be submitted to the New Mexico State Historic Preservation Officer for review and clearance.

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DIRT, GRASS AND NATIVE VEGETATION

(N 00°56'49" E)
N 00°56'47" E

419.43'

ECI
①

Ⓐ

②

②

N 89°35'18" W
(N 89°35'08" W)

2085.38'
(2085.45')

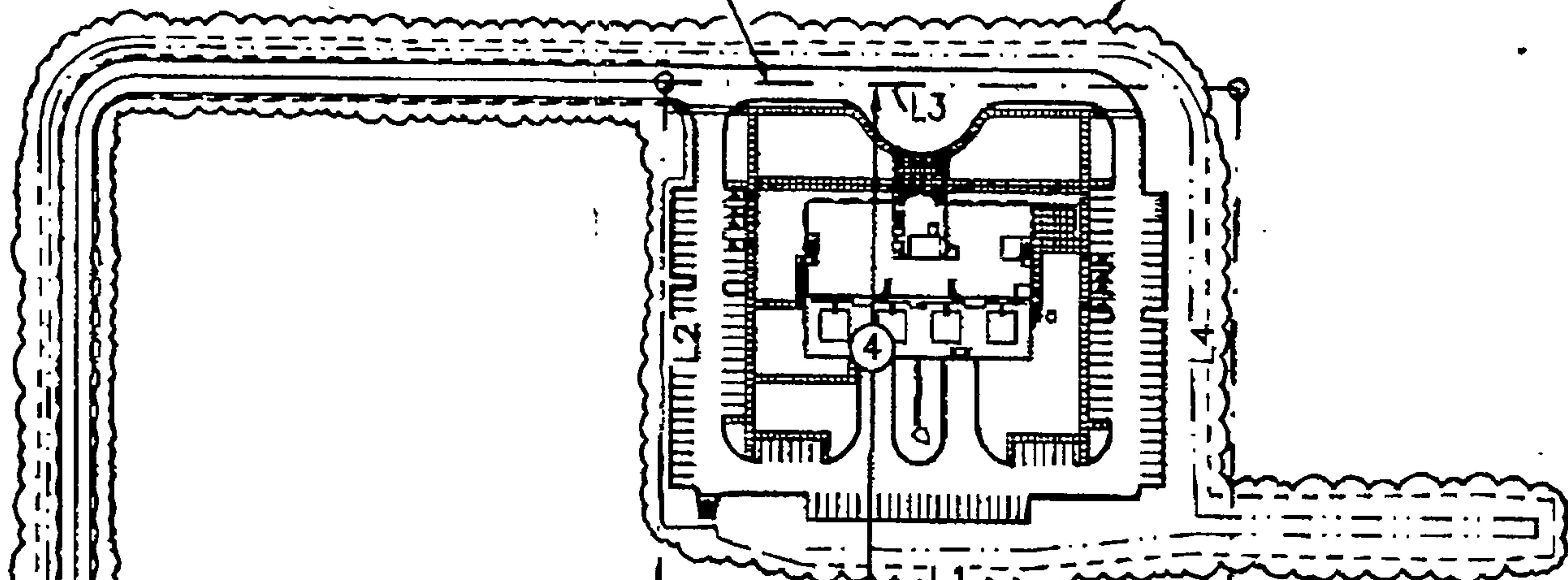
DESCRIPTION P.O.B.

T1

TRACT D-2
AEROSPACE TECHNOLOGY PARK
(FILED 12-21-2004, 2004C-396)

NOTE: THE CONSTRUCTION PARCEL
DESCRIBED HEREON IS NOT
SERVED BY PUBLIC UTILITY
EASEMENTS.

AREA OF RECENT
CONSTRUCTION ACTIVITY



434.35'

Ⓐ

Ⓐ

S 00°15'00" W
DEAD END PACE

4' 4-STRAND BARBED WIRE FENCE

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): MOLTEN-CARBIN & ASSOC. PHONE: 242-5700
 ADDRESS: 2701 MILES RD SE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87106 E-MAIL: MPROVINE@MOLTEN-CARBIN.COM
COA/AVIATION DEPARTMENT PHONE: 244-7805
 APPLICANT: ECLIPSE AVIATION PHONE: 270-7433
 ADDRESS: P.O. Box 9948 / 2503 CLARK CARR LOOP SE FAX: 244-7793
 CITY: ALBUQUERQUE STATE NM ZIP 87119/87106 E-MAIL: L.JONES@ECLIPSEAVIATION.COM
 Proprietary interest in site: OWNERS List all owners: COA/AVIATION; ECLIPSE AVIATION

DESCRIPTION OF REQUEST: AMENDED FINAL PLAN

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT D-1A & S-1-A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: LOTS OF DE II AIRPORT AEROSPACE TECHNOLOGY PARK
 Existing Zoning: SW-1 AIRPORT & RELATED Proposed zoning: SAME MRGCD Map No _____
 Zone Atlas page(s): E-6 6 UPC Code: 1006111022530101; 100606020543520144

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____
PROJ 1003125

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO D-1A 150.00 AC
 No. of existing lots: 2 No. of proposed lots: 2 Total area of site (acres): S-1A 101.972
 LOCATION OF PROPERTY BY STREETS: On or Near: DOUBLE EAGLE II AIRPORT
 Between: PASEO del VOLCAN and SHOOTING RANGE PARK RD
 Check-off if project was previously reviewed by ~~Sketch~~ PRELIM Plat/Plan , or Pre-application Review Team . Date of review: 8/22/07

SIGNATURE [Signature] DATE 12/6/07
 (Print) JOHN M. PROVINE Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07 DRB - 70425</u>	<u>AFP</u>	<u>5(3)</u>	<u>\$ 0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>December 12, 2007</u>				Total <u>\$ 0</u>

[Signature]
 Planner signature / date

Project # 1003125

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John M Pearson
 Applicant name (print)

JKR
 Applicant signature / date



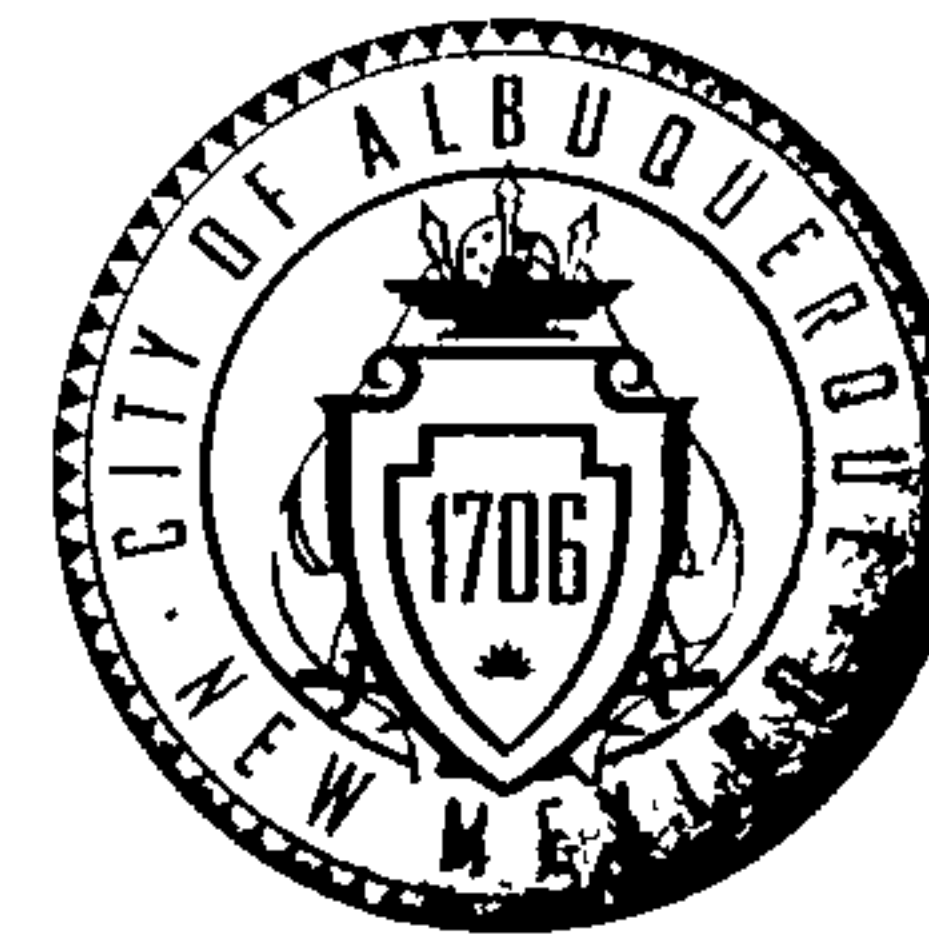
Form revised **October 2007**

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 07 DRB - _____ - 70425

Andrew Garcia
 Planner signature / date
 Project # **1003125**

CITY OF ALBUQUERQUE



Martin J. Chávez
Mayor

December 6, 2007

Nicholas S. Bakas
Director of Aviation

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**Re: Plat of Tracts D-1-A and S-1-A of Amended Bulk Land Plat for
Aerospace Technology Park - DRB Project No. 1003125**

Dear Chairman Cloud and Members of the Board

The purpose of this letter is to clarify our request for amendment of the final plat approved in DRB Project No. 1003125. A final signature was requested from Qwest Telecommunications; however before executing the final plat, they requested that an easement be added to the plat for telecommunications access to the Aerospace Technology Park. Prior to their request for such easement, Qwest Telecommunications had been advised that access to the Aerospace Technology Park for their telecommunications system could be accomplished through an existing telecommunication infrastructure constructed by the Aviation Department. Qwest Telecommunications declined access through this system. Because access for telecommunications is available, we do not believe that a separate easement is necessary.

The amendment to this final plat includes the addition of Note 14 on Sheet 1 of 2, Bulk Land Plat for Aerospace Technology Park which indicates that access for telecommunications at the Aerospace Technology Park is available to telecommunication service providers through the existing fiber optic infrastructure. We believe that this satisfies the requirement for providing telecommunication service providers access to the Aerospace Technology Park, and request that the final plat be filed without signature from Qwest Telecommunications. We must note that Qwest Telecommunications did not comment on the matter during their review of the preliminary/final plat (DRB comments dated August 8, 2007). Their request for an additional easement came after the DRB hearing on the final plat.

Please contact me at 244-7712 with any questions on this matter.

Respectfully


Jack D. Scherer
Planning Manager
Business Development

c Mike Provine, Molzen-Corbin & Associates





Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): MOLZEN-CORBIN & ASSOC PHONE: 242-5700
 ADDRESS: 2701 MILES RD SE FAX: 242-0673
 CITY: ALBUQUERQUE STATE NM ZIP 87106 E-MAIL: MPROVINE@MOLZENCORBIN.COM
 APPLICANT: COAVIATION & ECLIPSE AVIATION, INC PHONE: 244-7805
 ADDRESS: P.O. BOX 9948 / 2503 CLARK CARR LOOP SE FAX: 244-7793
 CITY: ALBUQUERQUE, STATE NM ZIP 87119/87106 E-MAIL: JHINDE@CABG.COM
 Proprietary interest in site: OWNERS List all owners: COAVIATION; ECLIPSE AVIATION, INC

DESCRIPTION OF REQUEST: REPLAT FOR EASEMENT VACATION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT D-1 & S-1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: LANDS OF DEER AIRPORT AEROSPACE TECHNOLOGY PARK
 Existing Zoning: SU-1 AIRPORT & RELATED Proposed zoning: SAME MRGCD Map No _____
 Zone Atlas page(s): F-66 UPC Code: 1006611022530101 ; 100666020543520144

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 04DRB-01630, 03EPC-02054, 07DRB 70128

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO 150.00 AC TRACT D-1
 No. of existing lots: 2 No. of proposed lots: 2 Total area of site (acres): 19.972 AC TRACT S-1
 LOCATION OF PROPERTY BY STREETS: On or Near: DOUBLE EAGLE II AIRPORT NW
 Between: PASEO DEL VOLCAN NW and SHOOTING RANGE PARK RD NW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 8/14/07
 (Print) JOHN M PROVINE Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	07DRB - 70192	P+F	5(3)	\$ 0
<input type="checkbox"/> All fees have been collected				\$
<input type="checkbox"/> All case #s are assigned				\$
<input type="checkbox"/> AGIS copy has been sent				\$
<input type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				\$
<input type="checkbox"/> F.H.D.P. fee rebate				\$
	Hearing date <u>August 22, 2007</u>			Total \$ <u>0</u>

[Signature] 8-14-07
 Planner signature / date

Project # 1003125

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
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 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
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- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
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- Fee (see schedule)
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 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

John M. Prov. Jr
Applicant name (print)

[Signature]
Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 07 DRB - 70192

Form revised 4/07

[Signature] 8-14-07
Planner signature / date

Project # 1003125

2701 MILES RD SW
ALBUQUERQUE, NM 87106
TEL: 505.242.5700
FAX: 505.242.0673



MOLZEN-CORBIN & Associates
ENGINEERS/ARCHITECTS/PLANNERS

July 12, 2007

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

RE: Aerospace Technology Park at Double Eagle II Airport

SMP11F-11.D20

Dear Madam Chair:

The purpose of this letter is to explain our request for approval of an easement vacation by an amended bulk land plat for the lands of Double Eagle II Airport and the Aerospace Technology Park (ATP) on Tracts S-1 and D-1 on behalf of the City of Albuquerque Aviation Department and Eclipse Aviation, Inc. The site is located on the City's west side, adjacent to the Double Eagle II Airport. The Environmental Planning Commission approved a Site Plan for the Subdivision for the ATP on January 15, 2004 (Project 1003125; 03EPC-02054). A bulk land plat was approved by DRB (Project 04DRB-01639).

- The ATP site covers approximately 300 acres from north to south: 150 acres is owned by Eclipse Aviation (Tract D-1); 50 acres is owned by COBA Investments (Tract D-2) and 101.97 acres owned by the City of Albuquerque Aviation Department (Tract S-1). The entire property is zoned SU-1 for Airport and Related Use.

The easement to be vacated under this action will not affect the access to the tracts in the Aerospace Technology Park or the adjoining tracts to the west owned by the State Land Office. Access within the ATP has been provided by the 106 ft public access and utility easement, Aerospace Parkway, as shown on the plat. Access to the State Land Office property, Tract B specifically, is provided by a 106 ft wide public access and utility easement across Tract D-2 from Aerospace Parkway. Tract R, the other adjoining tract to the easement that will be vacated by this action and also owned by the State Land Office, has access from Shooting Range Park Road adjoining the south property line of that tract.

The public access and utility easement that traverses Tract D-2 will be vacated under a separate action.

The easement vacation action was improperly included in the bulk land plat action of October 2004 (Project 10003125, 04DRB-01505/06). The public advertisement period was not provided. This action includes the vacation certification and the public advertisement period will be provided. We appreciate the Board's review of this submittal and the assistance that has been extended to this project by the staff. Please do not hesitate to contact me at 242-5700 with any questions, or if you need any additional information prior to the hearing.

Sincerely,

MOLZEN-CORBIN & ASSOCIATES


Mike Provine, P.E.

MP:jgo

cc: Mr. Jim Hinde, City of Albuquerque Aviation Department
Mr. Larry Jones, Eclipse Aviation, Inc.



ECLIPSE
AVIATION

June 28, 2007

Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87103

RE: Bulk Land Plat and Vacation of Easement Request for Aerospace Technology
Park, Tracts D-1 and S, Lands of Double Eagle II Airport

Dear Chairwoman Matson:

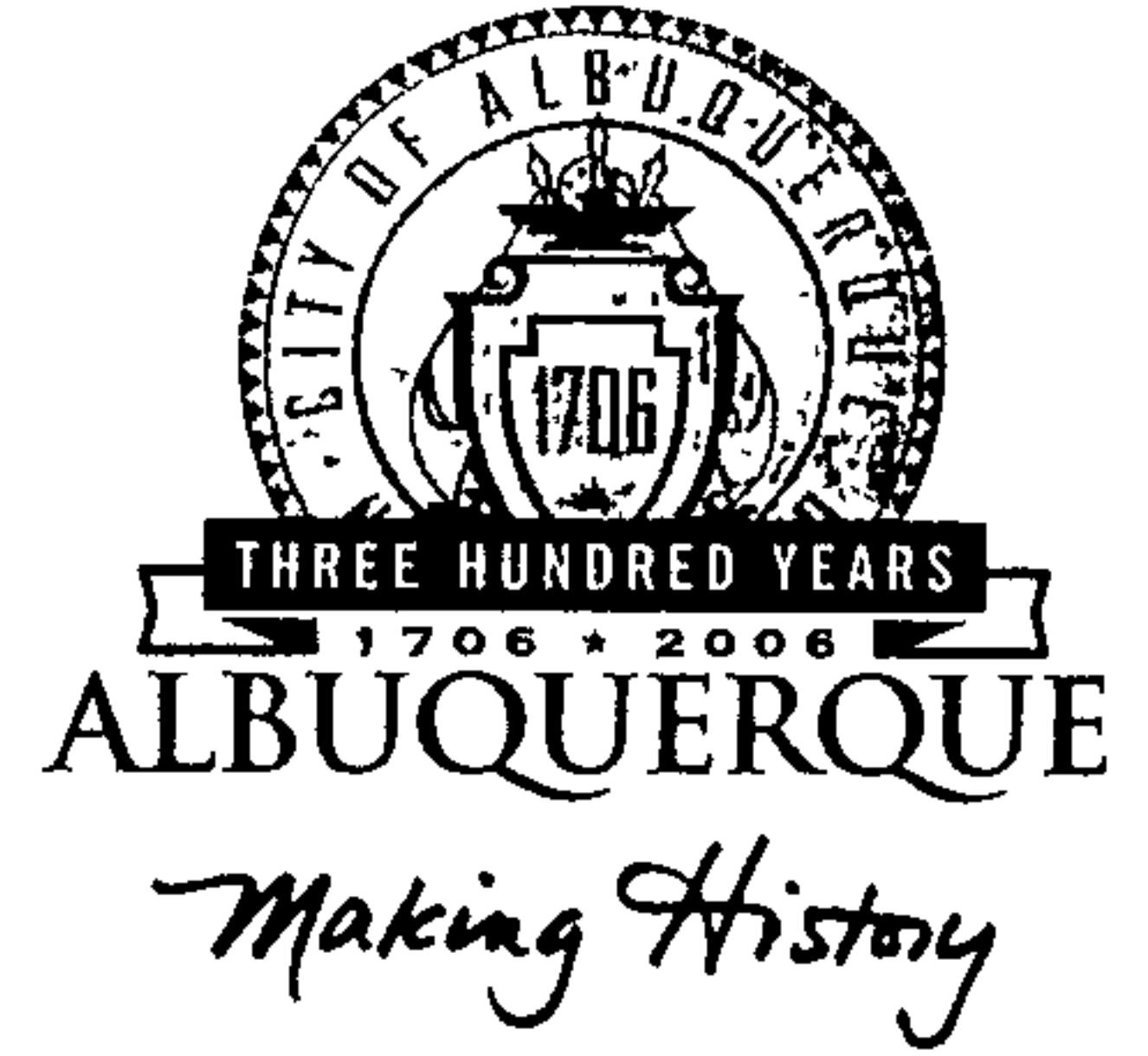
The purpose of this letter is to authorize Molzen-Corbin & Associates to act as our agent for the bulk land plat and easement vacation request concerning the Lands of Double Eagle II Airport and Aerospace Technology Park. Eclipse Aviation is the owner of Tract D-1 included in this bulk land plat and easement vacation request. The submittal will be made on or about June 29, 2007.

Please contact Molzen-Corbin & Associates with any questions or concerns.

Sincerely,

Larry Jones
Facilities Director
Eclipse Aviation, Inc.

CITY OF ALBUQUERQUE



Martin J. Chavez
Mayor

John D. "Mike" Rice
Director of Aviation

February 15, 2007

Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87103

P O Box 9948
RE: **Bulk Land Plat and Vacation of Easement Request for Aerospace
Technology Park, Tracts D-1 and S, Lands of Double Eagle II Airport**

Dear Chairwoman Matson:

Albuquerque

The purpose of this letter is to authorize Molzen-Corbin & Associates to act as our agent for the bulk land plat and easement vacation request concerning the Lands of Double Eagle II Airport and Aerospace Technology Park. The City of Albuquerque Aviation Department is the owner of Tract S included in this bulk land plat and easement vacation request. The submittal will be made on or about February 16, 2007.

New Mexico

87119-1048

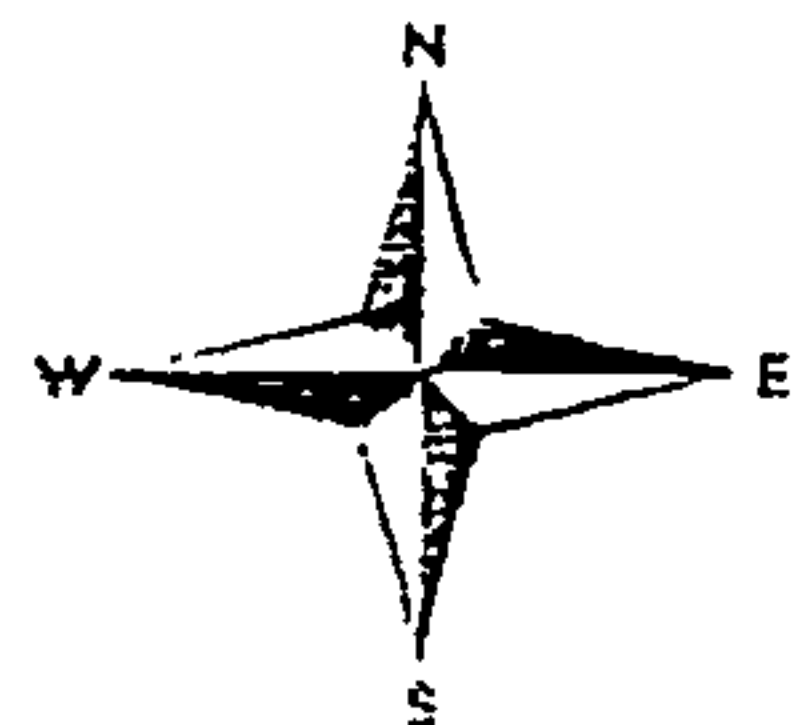
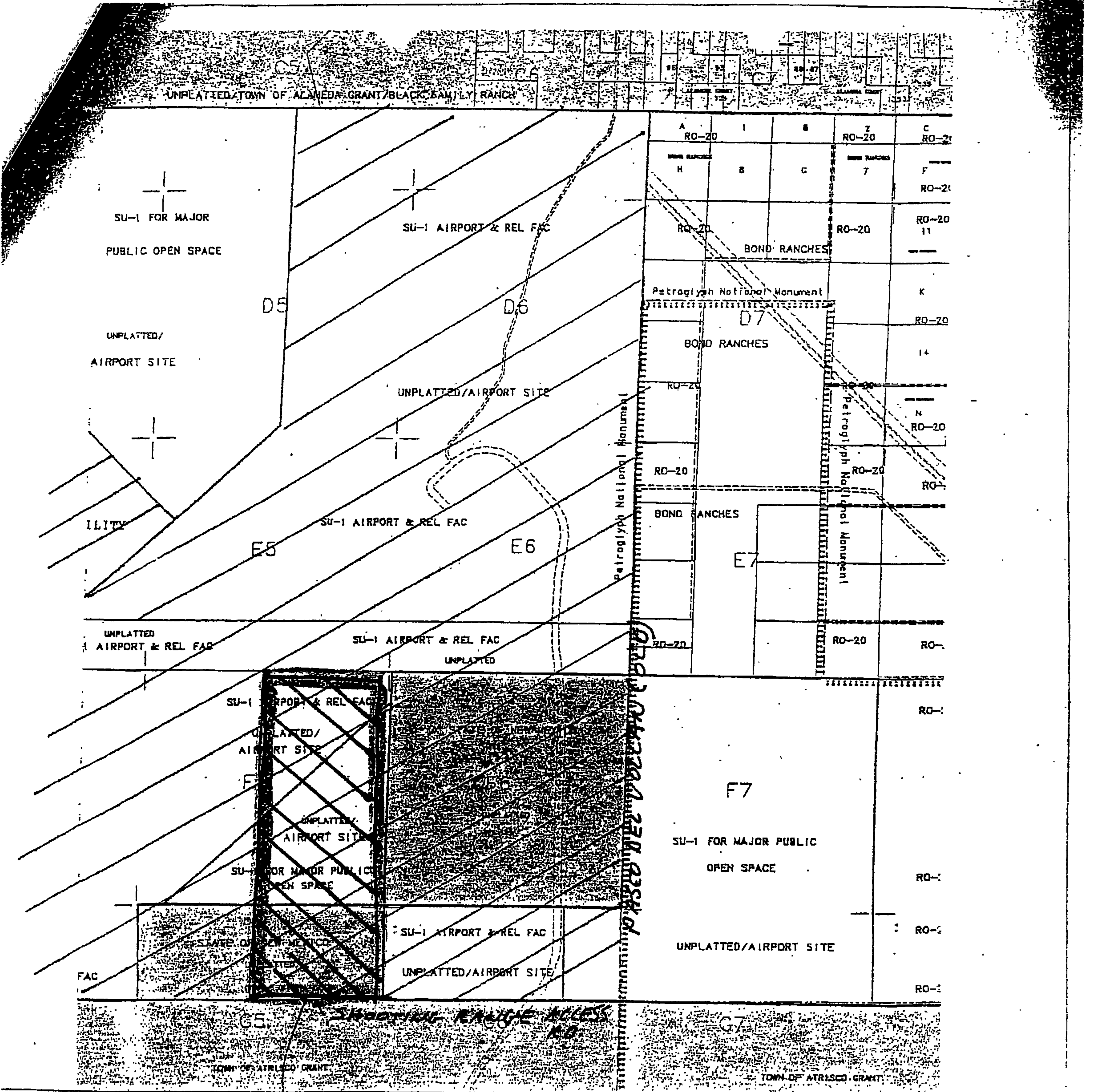
Please contact Molzen-Corbin & Associates with any questions or concerns.

Respectfully,

www.cabq.gov

Jim Hinde
Acting Director
Aviation Department





±300 Acres



CITY OF Albuquerque



© Copyright 2001



Scale 1" = 3000'

Zone Atlas Pages

- C-5-Z TO C-7-Z
- D-5-Z TO D-7-Z
- E-5-Z TO E-7-Z
- F-5-Z TO F-7-Z
- G-5-Z TO G-7-Z

**"NOTICE OF SUBDIVISION PLAT CONDITIONS"
AEROSPACE TECHNOLOGY PARK**

The plat of Aerospace Technology Park, Tracts D-1-A-1, D-1-A-2, and S of Double Eagle II Airport and adjacent lands, has been granted a variance or waiver from certain subdivision requirements pursuant to Section 14-14-6-1 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning site development plan approvals, and development permits may be conditioned upon dedication of rights-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

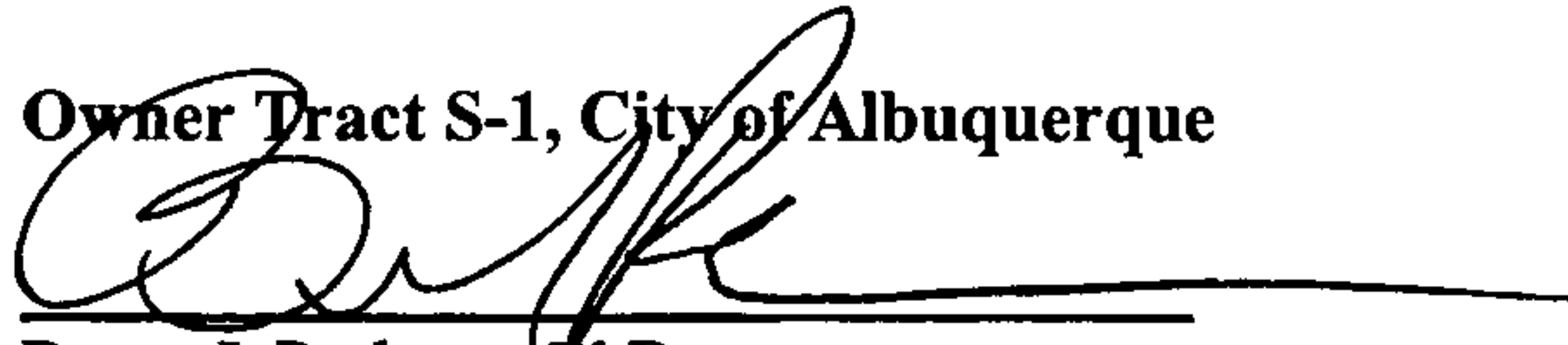
The City and AMAFCA (*with reference to drainage*) may require and/or permit easements to be added, modified, or removed when future plats and/or site development plans are approved.

By its approval of this subdivision the City makes no representation or warranties as to availability of utilities or final approval of all requirements including (*but not limited to*) the following items: water and sanitary sewer availability, future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and, excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all or from a portion of the area within the subject subdivision.

ACKNOWLEDGED:

Owner Tract S-1, City of Albuquerque


Bruce J. Perlman, PhD.
Chief Administrative Officer
City of Albuquerque


Chairperson
Development Review Board

State of New Mexico)

))

County of Bernalillo)

This Instrument was acknowledged before me on May 7, 2008 by Bruce J. Perlman as Chief Administrative Officer of the City of Albuquerque, New Mexico, A Municipal Corporation, on behalf of said Corporation.


Notary Public

Date

[My commission expires: 1-27-2010];

Owner Tracts D-1-A-1 and D-1-A-2, Eclipse Aviation, Inc.

By: 
Larry Jones, Facilities Manager

This Instrument was acknowledged before me on 5/13/08 by Larry Jones as Facilities Manager of Eclipse Aviation, Inc., A Delaware Corporation, on behalf of said Corporation.


Notary Public

Date

[My commission expires: 10-22-11]

Doc# 2008054239

05/13/2008 03:19 PM Page: 1 of 1
NOT R:\$9.00 M. Toulouse, Bernalillo County





Complete 9
12/22/04 OS.

DRB CASE ACTION LOG

REVISED 2/5/04

(Preel & Jerald)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB01506 (PDF) Project # 1003/25
 Project Name: Cesspool Technology
 Agent: Melvin Collier Phone No.: 242-5700

Project Number 1003/25

Your request for (SDP for SUB), (SDP for BR), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/08/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

OK



DRB CASE ACTION LOG

REVISED 2/5/04

(Preel & Jerald)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB01506 (PDF) Project # 1003/25
 Project Name: Cesspool Technology
 Agent: Melissa Cohen Phone No.: 242-5700

Project Number 1003125

Your request for (SDP for SUB), (SDP for BR), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/08/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXE File approval required.**
- Copy of recorded plat for Planning.**

OK



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 8, 2004

6. Project # 1003125
04DRB-01505 Major-Bulk Land Variance
04DRB-01506 Minor-Prelim&Final Plat Approval

MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D & S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN (OLD) NW and SHOOTING RANGE PARK RD NW containing approximately 300 acre(s).
[Deferred from 10/27/04 & 11/3/04 & 11/10/04, Indefinitely Deferred on 11/10/04] [REF: 03EPC02054](F-6/G-6)

At the December 8, 2004, Development Review Board meeting, the Bulk Land Variance was approved subject to the Findings and Conditions of the Subdivision Ordinance as follows:

BULK LAND VARIANCE:

1. The variance will not be injurious to the public safety, health or welfare, or to adjacent property, the neighborhood or the community.
2. The variance will not conflict significantly with the goals and provisions of any City, County or AMAFCA adopted plan or policy; the applicable zoning ordinance, or any other City code or ordinance.
3. The variance will not permit, encourage or make possible undesired development in the 100-year floodplain.
4. The variance will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements.

The preliminary and final plat were approved and signed off by the Board.

04DRB-01630 Minor-SiteDev Plan Subd/EPC

CONSENSUS PLANNING agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D, F AND S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN NW and SHOOTING RANGE ACCESS RD NW containing approximately 300 acre(s). [REF: 03EPC02054, 04DRB01505, 04DRB01506] [**Chris Hyer, EPC Case Planner**] *[Deferred from 10/27/04 & 11/3/04 & Indefinitely Deferred on 11/10/04] (F-5/G-6)*

The site plan for subdivision was approved and signed off by the Board.

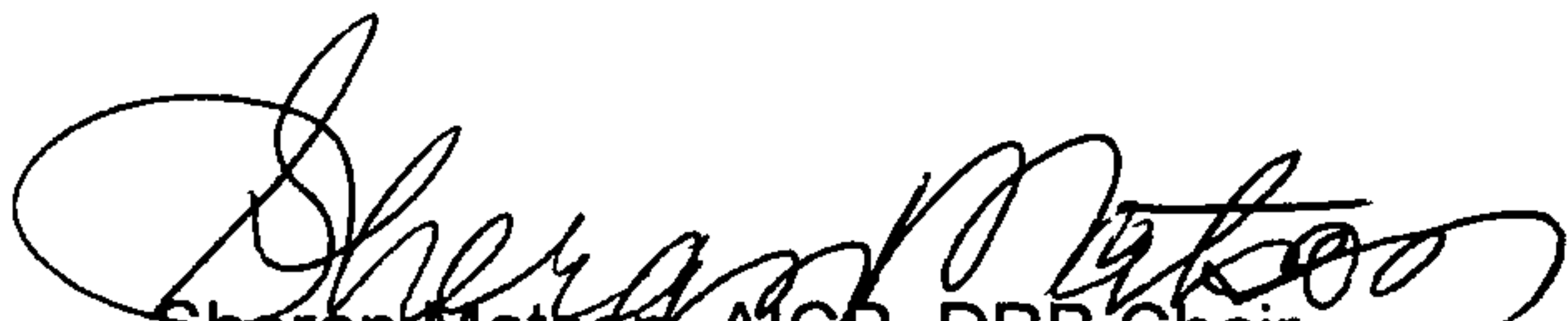


**OFFICIAL NOTICE OF DECISION
PAGE 2**

If you wish to appeal this decision, you must do so by December 23, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Sheran Matson, AICP, DRB Chair

Cc: City of Albuquerque, Aviation Department, P.O. Box 9948, 87119
Ranch Joint Venture, 3613 Rio Rancho Rd., Suite H, 87111
Consensus Planning, 924 Park Ave SW, 87102
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003125 AGENDA#: 6 DATE: 12.8.04

1. Name: Jim Strasser Address: _____ Zip: _____

2. Name: Nick Proveni Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

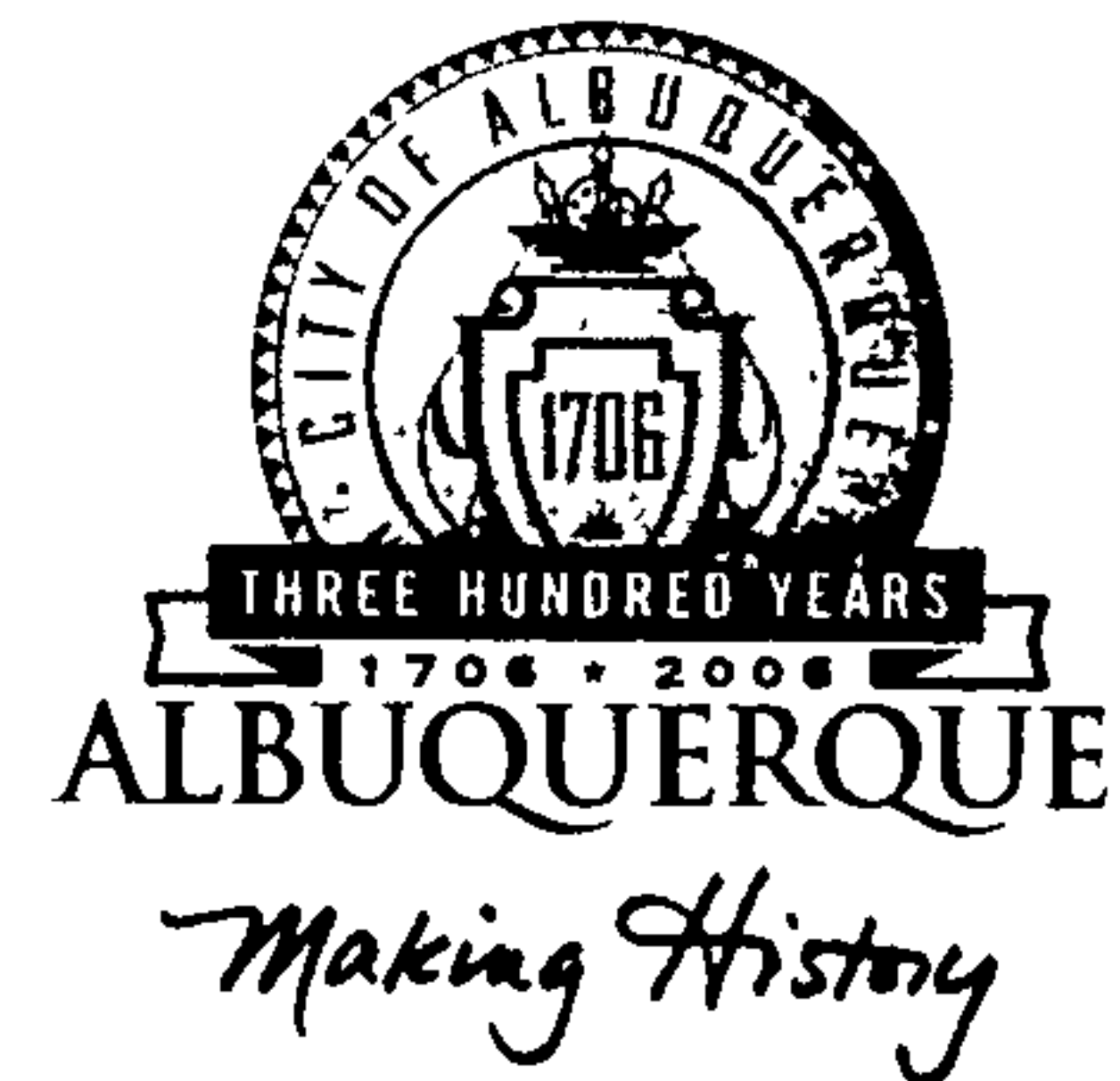
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 6

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

The Hydrology Section has no objection to the BLV request.
No adverse comments on Site Plan or Plat.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: December 8, 2004



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

November 10, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 9:25 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1002092**
04DRB-01623 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for OXBOW NORTH VENTURES LLC request(s) the above action(s) for all or a portion of Tract(s) B-1, Unit(s) 1, 2 & 3, **OXBOW NORTH**, zoned SU-3 special center zone, located on COORS BLVD NW, between NAMASTE DR NW and north of ST PIUS X HIGH SCHOOL containing approximately 40 acre(s). [REF: 04DRB01159] (F-11) **A ONE-YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED.**

2. **Project # 1002464**
04DRB-01576 Major-Vacation of Pub
Right-of-Way
- PRECISION SURVEYS INC agent(s) for UNSER VULCAN LLC request(s) the above action(s) for all or a portion of Lot(s) 6A, **SANTA FE VILLAGE, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on VULCAN RD NW, between BOGART ST NW and UNSER BLVD NW containing approximately 1 acre(s). [REF: 03DRB00191] (F-10) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
3. **Project # 1003420**
04DRB-01508 Major-Preliminary Plat
Approval
04DRB-01509 Minor-Temp Defer SDWK
- ISAACSON & ARFMAN PA agent(s) for WINDMILL MANOR PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, VOLCANO CLIFFS UNIT 3, (to be known as **SUNRISE RIDGE SUBDIVISION**) zoned R-LT, located on MONTANO RD NW, between TESUQUE DR NW and SHADOW RIDGE DR NW containing approximately 5 acre(s). [REF: 04EPC00682] [*Deferred from 10/27/04 & 11/17/04*] (E-10) **DEFERRED AT THE AGENT'S REQUEST TO 11/17/04.**
4. **Project # 1002051**
03DRB-02008 Major-Preliminary Plat
Approval
03DRB-02009 Major-Vacation of Public
Easements
03DRB-02010 Minor-Vacation of Private
Easements
03DRB-02011 Minor-Temp Defer SDWK
- TIERRA WEST LLC agent(s) for GELTMORE LAND LTD CO request(s) the above action(s) for all or a portion of Tract(s) A, **CHAMISA RIDGE - UNIT 1**, zoned R-LT, located on PARADISE BLVD NW, between BIG SAGE DR NW and CONEFLOWER DR NW containing approximately 18 acre(s). [*Deferred from 6/9/04, 6/23/04, 8/4/04 & 9/29/04*] [REF: 02DRB-00963] (B-10) **NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT. THE REQUEST WAS INDEFINITELY DEFERRED.**

5. **Project # 1003571**
04DRB-01517 Major-Vacation of Public Easements
04DRB-01518 Major-Preliminary Plat Approval
04DRB-01519 Minor-Sidewalk Waiver
04DRB-01520 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, **EL RANCHO GRANDE 1, UNIT 9B**, zoned R-LT residential zone, located on BLAKE RD NW, between AMOLE CHANNEL and 98TH ST NW containing approximately 36 acre(s). [REF: 04DRB01134] *[Deferred from 11/3/04 & 11/10/04]* (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/17/04.**

6. **Project # 1003470**
04DRB-01522 Major-Bulk Land Variance
04DRB-01523 Major-Preliminary Plat Approval
04DRB-01524 Minor-Temp Defer SDWK

WILSON & COMPANY agent(s) for SCOTT SCHIABOR SPS LC request(s) the above action(s) for all or a portion of Tract(s) 1A, 2A, 1B & 2B, **VISTA VIEJA SUBDIVISION, KASSUBA-MONTBEL LANDS**, zoned R-1 residential zone, located on 81ST ST NW and ALBERICOQUE PL NW containing approximately 152 acre(s). [REF: 04DRB00825, 04DRB01460] *[Deferred from 11/3/04 & 11/10/04]* (D-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**

7. **Project # 1003705**
04DRB-01540 Major-Vacation of Public Easements
04DRB-01539 Minor-Sketch Plat or Plan

FORSTBAUER SURVEYING LLC agent(s) for DR VIJAY AGARWAL request(s) the above action(s) for all or a portion of Lot(s) 7, 8 AND 9 and the south 47 feet of Lot(s) 4, 5, 6, Block(s) 22, **BROWNEWELL & LAIHS HIGHLAND ADDITION**, zoned SU-2 MC, located on OAK ST NE, between TIJERAS NE and COPPER NE containing approximately 1 acre(s). [REF:V-78-38] *[Deferred from 11/3/04]* (K-15) **NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT. THE REQUEST WAS INDEFINITELY DEFERRED.**

8. Project # -1003125
04DRB-01505 Major-Bulk Land Variance
04DRB-01506 Minor-Prelim&Final Plat
Approval

MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D & S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN (OLD) NW and SHOOTING RANGE PARK RD NW containing approximately 300 acre(s). [Deferred from 10/27/04 & 11/3/04 & 11/10/04, NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 12/8/04] [REF: 03EPC02054](F-6/G-6) **DEFERRED TO 12/8/04.**

04DRB-01630 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D, F AND S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN NW and SHOOTING RANGE ACCESS RD NW containing approximately 300 acre(s). [REF: 03EPC02054, 04DRB01505, 04DRB01506][Chris Hyer, EPC Case Planner] [Deferred from 10/27/04 & 11/3/04 & 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 12/8/04] (F-5/G-6) **DEFERRED TO 12/8/04.**

SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

9. **Project # 1003010**
04DRB-01687 Minor-SiteDev Plan
BldPermit/EPC

DEKKER/PERICH/SABATINI agent(s) for T. S. MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) A, (to be known as **HOUSING @ ALBUQUERQUE LITTLE THEATRE**, zoned SU-2 CLD, located on CENTRAL AVE SW, between LAGUNA BLVD SW and SAN PASQUALE AVE SW containing approximately 2 acre(s). [REF: 02EPC01669, 03EPC0670, 02EPC01671, 03EPC01704, 04DRB00366, 04EPC00860] [11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04] [Makita Hill, EPC Case Planner] (J-13) **DEFERRED TO 11/17/04.**

10. **Project # 1002786**
04DRB-01635 Minor-SiteDev Plan
BldPermit

JIM MILLER & ASSOCIATES agent(s) for DEKE NOFTSKER request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, Block(s) 5, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on SAN MATEO NE, between SAN DIEGO NE and BEVERLY HILLS AVE NE containing approximately 2 acre(s). [REF: 03DRB01075, 03DRB01508, 03DRB01457, 04DRB000365] *[Deferred from 10/27/04 & 11/10/04]* (B-18) **DEFERRED AT THE AGENT'S REQUEST TO 11/17/04.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1000633**
04DRB-01700 Minor-Ext of SIA for Temp
Defer SDWK

BOHANNAN HUSTON INC agent(s) for HIGH DESERT INVESTMENT INC request(s) the above action(s) for all or a portion of Lot(s) 6A-1,13, 15, 9, 11, 5, 6 and 7, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP, located on TIBURON ST NE, between MASTHEAD ST NE and WOLCOTT AVE NE [REF: 02DRB01598] (D-17) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALK WAS APPROVED.**

12. **Project # 1001289**
04DRB-01701 Minor-Ext of SIA for Temp
Defer SDWK

TIERRA WEST LLC agent(s) for K B HOME NEW MEXICO INC request(s) the above action(s) for all or a portion of Lot(s) 1-114, **DESERT PINE UNIT 2**, zoned RD, located on EUCARIZ AVE SW, between 94TH STREET SW and 98TH STREET SW containing approximately 16 acre(s). [REF: 01DRB00777, 02DRB01207] *[11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT]* (L-9) **INDEFINITELY DEFERRED ON A NO SHOW.**

13. **Project # 1000635**
04DRB-01698 Minor-Vacation of Private Easements
- PRECISION SURVEYS INC agent(s) for COORS & MONTANO LLC request(s) the above action(s) for all or a portion of Tract(s) 38-1-A, 38-L-A and 38-3-A, **TAYLOR RANCH SUBDIVISION**, zoned SU-1 FOR C-1, located on MONTANO RD NW, between COORS BLVD NW and MONTANO PLAZA DR NW containing approximately 4 acre(s). [REF: 04DRB01092, 04DRB01093, 03DRB00613, 03DRB00454, 03DRB00455] (E-12) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
14. **Project # 1002405**
04DRB-01703 Minor-Prelim&Final Plat Approval
- MARK GOODWIN & ASSOC PA agent(s) for TANGER REDLANDS, LLC request(s) the above action(s) for all or a portion of Tract(s) A-28-B1, NORTHEAST UNIT TOWN OF ATRISCO GRANT, **REDLANDS SHOPPING CENTER**, zoned SU-1/C-1, located on REDLANDS RD NW, between COORS BLVD NW and ATRISCO DR NW containing approximately 5 acre(s). [REF: 03DRB00879] *[Deferred from 11/10/04]* (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**
15. **Project # 1002858**
04DRB-01683 Minor-Amnd Prelim Plat Approval
- MARK GOODWIN & ASSOCIATES agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for **MESA @ ANDERSON HILLS, UNIT 1**, zoned R-2, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and GRACE VIGIL RD SW containing approximately 43 acre(s). [REF: 04DRB01155, Z-88-58] (N-9/P-9) **THE AMENDED PRELIMINARY PLAT WAS WITHDRAWN AT THE AGENT'S REQUEST.**

16. **Project # 1003187**
04DRB-01704 Minor-Final Plat Approval
04DRB-01705 Minor-Temp Defer SDWK

ABQ ENGINEERING INC agent(s) for AMERI-CONTRACTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 5E, LANDS OF UNM AND PARADISE VALLEY SUBDIVISION, (to be known as **VISTA DEL RINCON SUBDIVISION**) zoned R-1 residential zone, located on the southeast corner of GOLF COURSE RD NW and MARNA LYNN AVE NW between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 2 acre(s). [REF: 04DRB00037, 04DRB00910, 04DRB01365, 04DRB01366, 04DRB001586] [11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04] (C-12) **DEFERRED TO 11/17/04.**

17. **Project # 1003467**
04DRB-01706 Minor-Prelim&Final Plat Approval

WALLACE BINGHAM agent(s) for CHARLIE MOSS request(s) the above action(s) for all or a portion of Lot(s) 11, **RICE'S DURANES ADDITION, UNIT 1**, zoned R-2, located on RICE AVE NW, between I-40 and INDIAN SCHOOL NW containing approximately 1 acre(s). [REF: DRB 95-337, DRB 95-438, 04DRB00814] (H-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/10/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/1/04 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

18. **Project # 1003673**
04DRB-01637 Minor-Prelim&Final Plat Approval
04DRB-01638 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 7, 8 and 9, Block(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **OAKLAND SOUTH SUBDIVISION**) zoned RD, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01424] [Deferred from 10/27/04 & 11/3/04, [11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04] (C-20) **DEFERRED TO 11/17/04.**

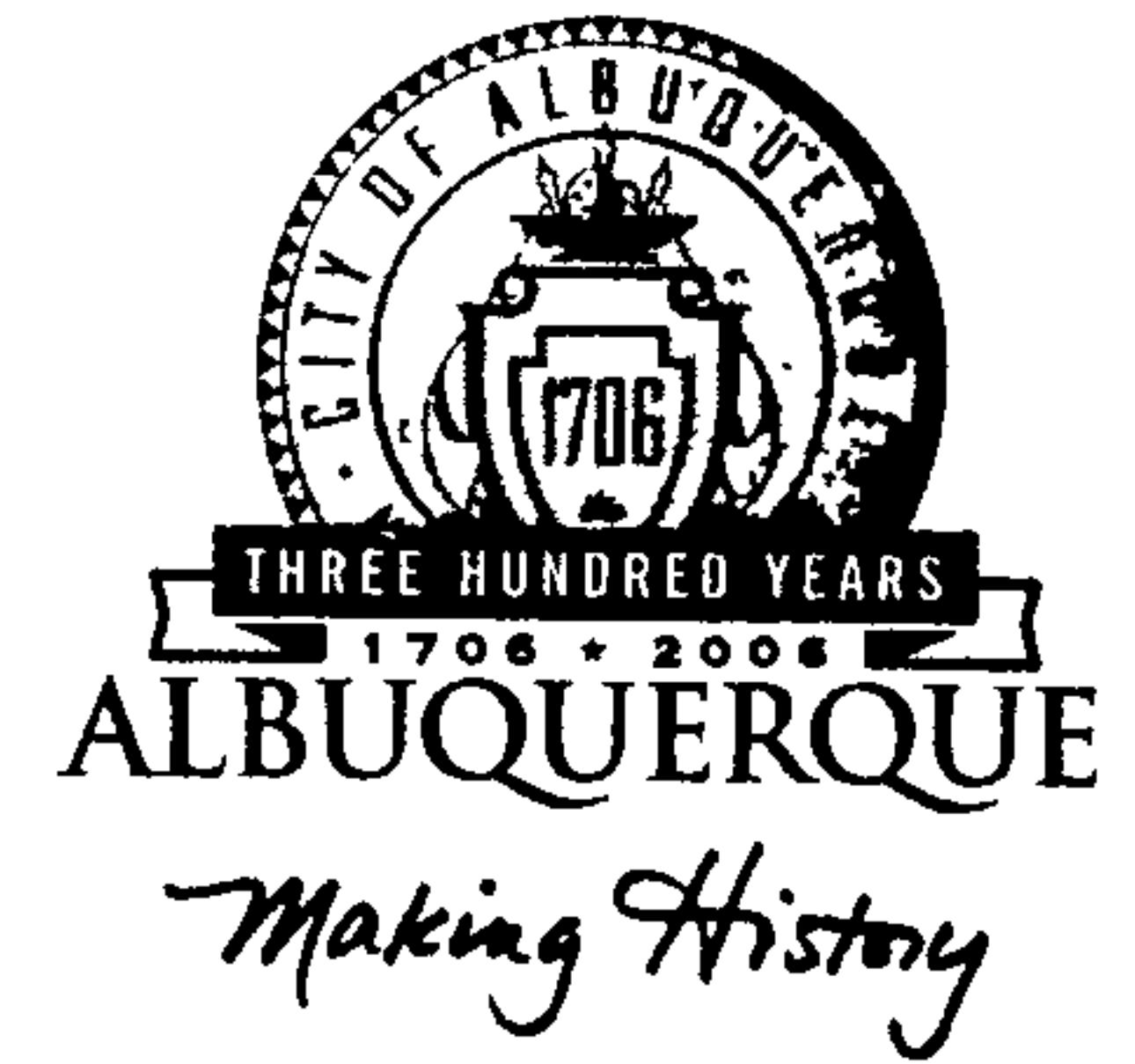
19. **Project # 1002397**
04DRB-01668 Minor-Prelim&Final Plat Approval
- SURV-TEK INC agent(s) for LA ORILLA GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) 10, **BOSQUE PLAZA**, zoned C-1 (SC), located on COORS BLVD NW, between COORS BLVD NW and LA ORILLA RD WEST containing approximately 3 acre(s). [REF: 02DRB-01925, 01926, 03DRB00634, 04DRB00768, 04DRB01588, 04DRB01587,04DRB00707, 04DRB00798] *[Deferred from 11/3/04 & 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04]*(E-12) **DEFERRED TO 11/17/04.**
20. **Project # 1003634**
04DRB-01297 Minor-Final Plat Approval
- WAYJOHN SURVEYING INC agent(s) for HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) 4, 5 & 6, Block(s) 12, **EASTERN ADDITION**, zoned SU-2 MR, located on CROMWELL AVE SE, between HIGH ST SE and WALTER ST SE containing approximately 1 acre(s). *[Deferred from 9/1/04] [Final Plat indefinitely deferred for SIA, 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04]*(K-14) **DEFERRED TO 11/17/04.**
21. **Project # 1003668**
04DRB-01414 Minor-Prelim&Final Plat Approval
- TERRAMETRICS OF NEW MEXICO agent(s) for LLAVE CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 5, Block(s) 3, Tract(s) 3, Unit(s) 3, **NORTH ALBUQUERQUE ACRES**, zoned RD-3, located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). *[Was indefinitely deferred at the agent's request,11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04]* (C-20) **DEFERRED TO 11/17/04.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

22. **Project # 1003759**
04DRB-01702 Minor-Sketch Plat or Plan
- KEN BALIZER request(s) the above action(s) for all or a portion of Tract(s) 173-A-1, 173-A-2, 174-A and 174-B, M.R.G.C.D. MAP 31, zoned RA-2 residential and agricultural zone, located on SAN ISIDRO ST NW, between CANDELARIA NW and GRIEGOS NW containing approximately 1 acre(s). *[INDEF. DEFERRED ON A NO SHOW 11/10/04]* (G-13) **COMMENTS RECEIVED BY THE AGENT.**
23. Approval of the Development Review Board Minutes for October 27, 2004. **DRB MINUTES FOR OCTOBER 27, 2004 WERE APPROVED.**

ADJOURNED: 9:25 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 8

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

No adverse comments.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED X ^{ind of}; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: November 10, 2004

Just added

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003125 AGENDA#: 8 DATE: 11.10.04

1. Name: _____ Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

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11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

#2

3125

AGIS ELECTRONIC PLAT APPROVAL FORM

DRB Project Case # 1003125
 Subdivision Name Aerospace Technology Park D-1, D-2, S-145-5
 Surveyor Santiago Romero Jr
 Company/Agent Santiago Romero & Assoc.
 Contact Person _____ Phone # 884-5119 email _____

DXF Received Date: 10/20/04
 Hard-Copy Date: 10/20/04

Coordinate system: NMSP Grid (NAD 83) NMSP Grid (NAD 27) Ground rotated to NMSP Grid Other

Colleen G. Alvarez 10/20/04
 Approved Date

*The dxf file cannot be accepted at this time for the following reason(s):

AGIS Use Only		
Copied cov <u>3125</u> to agiscov.	Date: <u>10/20/04</u>	Contact person <u>in person</u> Notified on: <u>10/20/04</u>

2. ~~Project # 1003125~~
04DRB-01505 Major-Bulk Land Variance
04DRB-01506 Minor-Prelim&Final Plat
Approval

MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D & S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN (OLD) NW and SHOOTING RANGE PARK RD NW containing approximately 300 acre(s). [Deferred from 10/27/04] [REF: 03EPC02054](F-6/G-6) **DEFERRED AT THE AGENT'S REQUEST TO 11/3/04.**

04DRB-01630 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D, F AND S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN NW and SHOOTING RANGE ACCESS RD NW containing approximately 300 acre(s). [REF: 03EPC02054, 04DRB01505, 04DRB01506][Chris Hyer, EPC Case Planner] [Deferred from 10/27/04] (F-5/G-6) **DEFERRED AT THE AGENT'S REQUEST TO 11/3/04.**

3. **Project # 1003420**
04DRB-01508 Major-Preliminary Plat
Approval
04DRB-01509 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for WINDMILL MANOR PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, VOLCANO CLIFFS UNIT 3, (to be known as **SUNRISE RIDGE SUBDIVISION**) zoned R-LT, located on MONTANO RD NW, between TESUQUE DR NW and SHADOW RIDGE DR NW containing approximately 5 acre(s). [REF: 04EPC00682] [Deferred from 10/27/04] (E-10) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**

4. **Project # 1003687**
04DRB-01510 Major-Vacation of Public Easements
04DRB-01512 Major-Preliminary Plat Approval
04DRB-01511 Minor-Sidewalk Waiver
04DRB-01513 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for VENTANA WEST LLC request(s) the above action(s) for all or a portion of Tract(s) 2 & 9, VENTANA RANCH WEST, UNITS 1 & 2, (to be known as **WESTERN RIDGE SUBDIVISION**) zoned R-LT, located on PASEO DEL NORTE BLVD NW, between VENTANA RIDGE RD NW and VENTANA WEST PARKWAY NW containing approximately 50 acre(s). [REF: 04DRB01461] (B-8) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/27/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/25/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: PROVIDE EMERGENCY ACCESS TO TRACTS L AND A. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBITS C-1 AND C-2 IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBITS C-1 AND C-2 IN THE PLANNING FILE.**

5. **Project # 1001218**
04DRB-01432 Major-Vacation of Public Easements
04DRB-01433 Minor-Prelim&Final Plat Approval
04DRB-01434 Minor-Vacation of Private Easements

SURVEYS SOUTHWEST, LTD agent(s) for DALE ARMSTRONG request(s) the above action(s) for all or a portion of Lot(s) 1, 2 & 3, **LANDS OF LAFARGE**, zoned M-1 light manufacturing zone, located on EDITH BLVD NE, near CARMONY RD NE containing approximately 15 acre(s). [REF: 01EPC00690, 01EPC00689, 01DRB00581] (*Deferred from 10/13/04*) (G-15) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/27/04 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

6. **Project # 1002786**
04DRB-01635 Minor-SiteDev Plan
BldPermit
- JIM MILLER & ASSOCIATES agent(s) for DEKE NOFTSKER request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, Block(s) 5, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on SAN MATEO NE, between SAN DIEGO NE and BEVERLY HILLS AVE NE containing approximately 2 acre(s). [REF: 03DRB01075, 03DRB01508, 03DRB01457, 04DRB000365] *[Deferred from 10/27/04]* (B-18) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**
7. **Project # 1001445**
04DRB-01634 Minor-SiteDev Plan Subd
- CONSENSUS PLANNING agent(s) for DAVE AND LORETTA GARDUNO request(s) the above action(s) for all or a portion of Tract(s) 13, **BLACK RANCH**, zoned SU-1 FOR C-1 AND SU-1 FOR O-1, located on COORS BLVD NW, between 7-BAR LOOP ROAD NW and ALAMEDA BLVD NW containing approximately 5 acre(s). [REF: 03EPC001029, 01EPC0244, 02EPC00991, 03EPC00351, 03EPC00804, CITY COUNCIL BILL 0-02-16, ENACTMENT 13-2002] (B-14) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
- 04DRB-01633 Minor-Prelim&Final Plat
Approval
- SURV-TEK INC agent(s) for DAVE GARDUNO AND LORETTA ROMERO request(s) the above action(s) for all or a portion of Tract(s) 13, **BLACK RANCH**, zoned SU-1 FOR C-1 AND SU-1 FOR O-1, located on COORS BLVD NW, between 7-BAR LOOP ROAD NW and ALAMEDA BLVD NW containing approximately 6 acre(s). [REF: 03EPC01029, 01EPC01244, 02EPC00991, 03EPC00351, 03EPC00864] (B-14) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

8. **Project # 1003742**
04DRB-01626 Minor-SiteDev Plan
BldPermit/EPC

SHIVER CONSTRUCTION CO. agent(s) for SUPERIOR AMBULANCE SERVICE request(s) the above action(s) for all or a portion of Lot(s) 10, **LADERA BUSINESS PARK**, zoned SU-1 special use zone, located on UNSER BLVD NW, between I-40 and OURAY RD NW containing approximately 5 acre(s). [REF: 01EPC01405, PROJECT 1001523] [Russell Brito for Lola Bird, EPC Case Planner] (H-10) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR TIS UPDATE AND DIMENSIONING AND PLANNING TO CHECK IF EPC COMMENTS WERE ADDRESSED.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1001816**
04DRB-01612 Minor-Prelim&Final Plat
Approval

FORSTBAUER SURVEYING LLC agent(s) for JOHNNY & JANE CARLTON request(s) the above action(s) for all or a portion of Lot(s) 10,11 and 12, Block(s) 54, **NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-2 HDA, located on TIJERAS AVE NW, between 9TH ST NW and 10TH ST NW containing approximately 1 acre(s). [REF: 04DRB01370, 04LUCC00112, 03DRB01640, 03DRB01503] (J-13) **PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO ADD WATER METERS TO EXHIBIT AND PLANNING TO ADDRESS PREVIOUS COMMENTS.**

10. **Project # 1001753**
04DRB-01631 Minor-Final Plat Approval
- MARK GOODWIN & ASSOCIATES agent(s) for MESA VERDE DEVELOPMENT CORP. request(s) the above action(s) for all or a portion of Lot(s) 1-11, Tract(s) 1, Block(s) 11, North Albuquerque Acres, Unit 3, (to be known as **DESERT RIDGE TRAILS EAST**) zoned R-D residential and related uses zone, developing area, located on FLORENCE AVE NE, between WYOMING BLVD NE and BARSTOW ST NE containing approximately 12 acre(s). [REF: 03DRB01998, 03DRB01999, 03DRB01884, 03DRB01885, 03DRB01128] (B-19) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND DETACHED OPENS SPACE TABLE AND NOTE AND TO PLANNING FOR WALL ON FLORENCE WILL NEED TO BE ADDRESSED.**
11. **Project # 1003673**
04DRB-01637 Minor-Prelim&Final Plat Approval
04DRB-01638 Minor-Temp Defer SDWK
- RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 7, 8 and 9, Block(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **OAKLAND SOUTH SUBDIVISION**) zoned RD, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01424] [*Deferred from 10/27/04*] (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 11/3/04.**
12. **Project # 1003689**
04DRB-01636 Minor-Prelim&Final Plat Approval
- HALL SURVEYING agent(s) for GREG BOULOY request(s) the above action(s) for all or a portion of Lot(s) 1, 2 & 3, Block(s) 13, **PEREA ADDITION**, zoned SU-2 TH, located on 16TH STREET NE, between LOMAS BLVD NE and CENTRAL NE containing approximately 1 acre(s). [REF: 04DRB01464] (J-13) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

13. **Project # 1003027**
04DRB-01629 Minor-Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORP agent(s) for RAYLEE HOMES request(s) the above action(s) for all or a portion of Lot(s) 1A-P1 & 2A-P1, **TREMENTINA OESTE SUBDIVISION**, zoned R-D, located on ALAMEDA BLVD NE, between CALLE CALMA NE and ALAMEDA BLVD NE containing approximately 1 acre(s). [REF: 03DRB02159, 04DRB01500] (C-19) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

- 04DRB-01628 Minor-Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORP agent(s) for RAYLEE HOMES request(s) the above action(s) for all or a portion of Lot(s) 14A-P1 & 15A-P1, **TREMENTINA OESTE SUBDIVISION**, zoned R-D, located on ALAMEDA BLVD NE, between CALLE ALEGREA NE and ALAMEDA BLVD NE containing approximately 1 acre(s). [REF: 0302159, 04DRB01501] (C-19) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK...

14. Approval of the Development Review Board Minutes for October 13, 2004. **DEVELOPMENT REVIEW BOARD MINUTES FOR OCTOBER 13,2004 WERE APPROVED.**

ADJOURNED: 10:45 A.M.

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003125 AGENDA#: 2 DATE: 10/27/04

1. Name: Mike Provenza Address: Molyn Crk Zip: _____

2. Name: Jackie Testerman Address: Conners Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

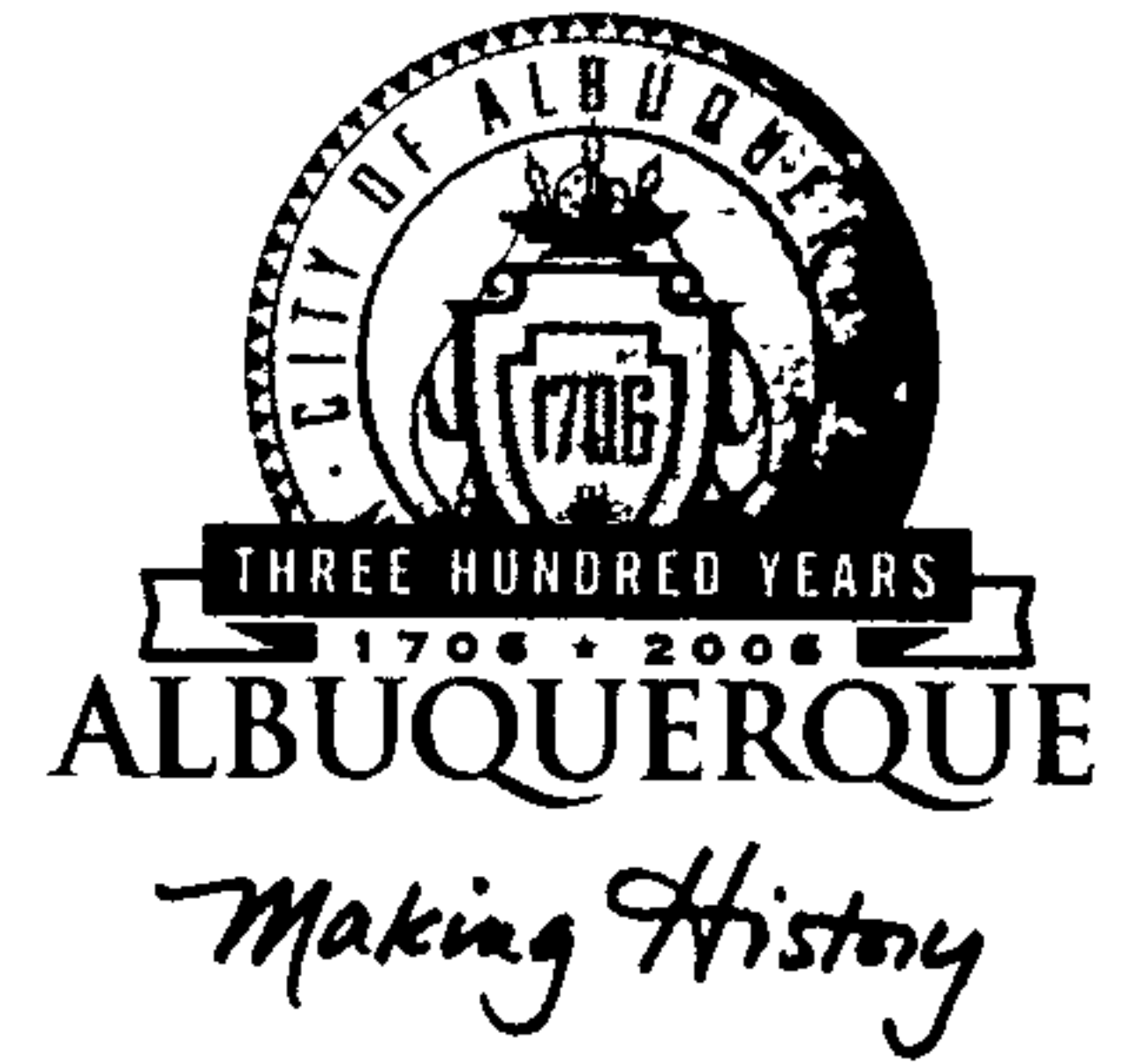
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 2

SUBJECT:

- | | | |
|--------------------------------|--------------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

The Hydrology Section has no objection to the BLV request.
No adverse comments on site plan.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ¹¹⁻³⁻⁰⁴ **X**; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: October 27, 2004



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, October 27, 2004, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1000269

04DRB-01507 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2 NM request(s) the above action(s) for all or a portion of Tract(s) 5B2C1A1, **RENAISSANCE CENTER**, zoned SU-1 C-2 USES, located on MERCANTILE AVE NE, between MONTANO RD NE and CULTURE DR NE containing approximately 1 acre(s). [REF: DRB-96-242, 00DRB-00802, 02DRB01878] (F-16)

Project # 10003125

04DRB-01505 Major-Bulk Land Variance

04DRB-01506 Minor-Prelim&Final Plat Approval

MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D & S, **LANDS OF DOUBLE EAGLE II AIRPORT**, zoned SU-1 AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN (OLD) NW and SHOOTING RANGE PARK RD NW containing approximately 300 acre(s). [REF: 03EPC02054](F-6/G-6)

Project # 1003420

04DRB-01508 Major-Preliminary Plat Approval

04DRB-01509 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for WINDMILL MANOR PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, VOLCANO CLIFFS UNIT 3, (to be known as **SUNRISE RIDGE SUBDIVISION**) zoned R-LT, located on MONTANO RD NW, between TESUQUE DR NW and SHADOW RIDGE DR NW containing approximately 5 acre(s). [REF: 04EPC00682] (E-10)

Project # 1003687

04DRB-01510 Major-Vacation of Public Easements

04DRB-01512 Major-Preliminary Plat Approval

04DRB-01511 Minor-Sidewalk Waiver

04DRB-01513 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for VENTANA WEST LLC request(s) the above action(s) for all or a portion of Tract(s) 2 & 9, VENTANA RANCH WEST, UNITS 1 & 2, (to be known as **WESTERN RIDGE SUBDIVISION**) zoned R-LT, located on PASEO DEL NORTE BLVD NW, between VENTANA RIDGE RD NW and VENTANA WEST PARKWAY NW containing approximately 50 acre(s). [REF: 04DRB01461] (B-8)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, OCTOBER 11, 2004.

CITY OF ALBUQUERQUE



Making History

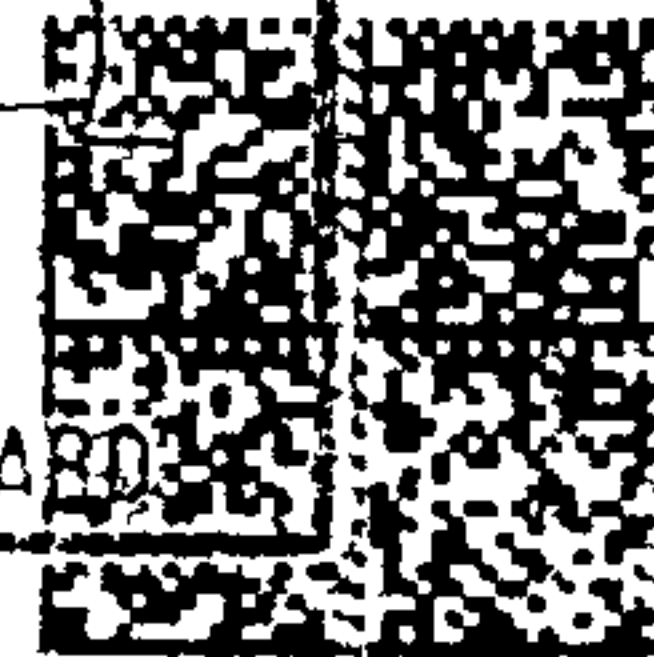
Planning Department

P.O. Box 1293

Albuquerque, NM 87103



RETURN
TO SENDER
NOT DELIVERABLE
AS ADDRESSED
UNABLE TO FORWARD



UNITED STATES POSTAGE
PITNEY BOWES
02 1A \$ 00.37⁰
0004329277 OCT 08 2004
MAILED FROM ZIP CODE 87102

Project# 1003125

RANCH JOINT VENTURE
3616 RIO RANCHO RD NE, STE# H
ALBUQUERQUE NM 87111

08 000000000000



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 27, 2004

Project # 10003125

04DRB-01505 Major-Bulk Land Variance

04DRB-01506 Minor-Prelim&Final Plat Approval

MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D & S, **LANDS OF DOUBLE EAGLE II AIRPORT**, zoned SU-1 AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN (OLD) NW and SHOOTING RANGE PARK RD NW containing approximately 300 acre(s). [REF: 03EPC02054](F-6/G-6)

AMAFCA	No comment.
COG	No adverse comments.
Transit	No objection to the request.
Zoning Enforcement	No comments received.
Neighborhood Coordination	No Association(s).
APS	No comments received.
Police Department	No adverse comments.
Fire Department	No adverse comments.
PNM Electric & Gas	Approves.
Comcast	No comments received
QWEST	No comments received
Environmental Health	Site is not within 1000 feet of a landfill. No comment.
M.R.G.C.D.	No comments received.
Open Space Division	No adverse comment.

City Engineer

No objection to the Bulk Land Variance.

Transportation Development

Unsure of language regarding bulk plat variance on cover sheet. Show the 156' easement for Paseo Del Volcan.

Parks & Recreation

No objection.

Utilities Development

No objection to Bulk Land Variance and Plat approval.

Planning Department

Updated Notice of Subdivision Plat Conditions was given to applicant to place on the bulk land plat mylar. Also, the City Surveyor's and owner(s) signatures are required on the mylar prior to DRB approving and signing the plat.

Planning has no objection to either of the requested actions.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc: City of Albuquerque, Aviation Department, P.O. Box 9948, 87119

Molzen-Corbin & Associates, 2701 Miles Rd SE, 87106



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

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Project # 1000269

04DRB-01507 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2 NM request(s) the above action(s) for all or a portion of Tract(s) 5B2C1A1, **RENAISSANCE CENTER**, zoned SU-1 C-2 USES, located on MERCANTILE AVE NE, between MONTANO RD NE and CULTURE DR NE containing approximately 1 acre(s). [REF: DRB-96-242, 00DRB-00802, 02DRB01878] (F-16)

Project # 10003125

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Project # 1003420

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Project # 1003687

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04DRB-01512 Major-Preliminary Plat Approval

04DRB-01511 Minor-Sidewalk Waiver

04DRB-01513 Minor-Temp Defer SDWK

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Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, OCTOBER 11, 2004.



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Project # 10003125

04DRB-01505 Major-Bulk Land Variance

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Project # 1003420

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04DRB-01509 Minor-Temp Defer SDWK

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Project # 1003687

04DRB-01510 Major-Vacation of Public Easements

04DRB-01512 Major-Preliminary Plat Approval

04DRB-01511 Minor-Sidewalk Waiver

04DRB-01513 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for VENTANA WEST LLC request(s) the above action(s) for all or a portion of Tract(s) 2 & 9, VENTANA RANCH WEST, UNITS 1 & 2, (to be known as **WESTERN RIDGE SUBDIVISION**) zoned R-LT, located on PASEO DEL NORTE BLVD NW, between VENTANA RIDGE RD NW and VENTANA WEST PARKWAY NW containing approximately 50 acre(s). [REF: 04DRB01461] (B-8)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, OCTOBER 11, 2004.

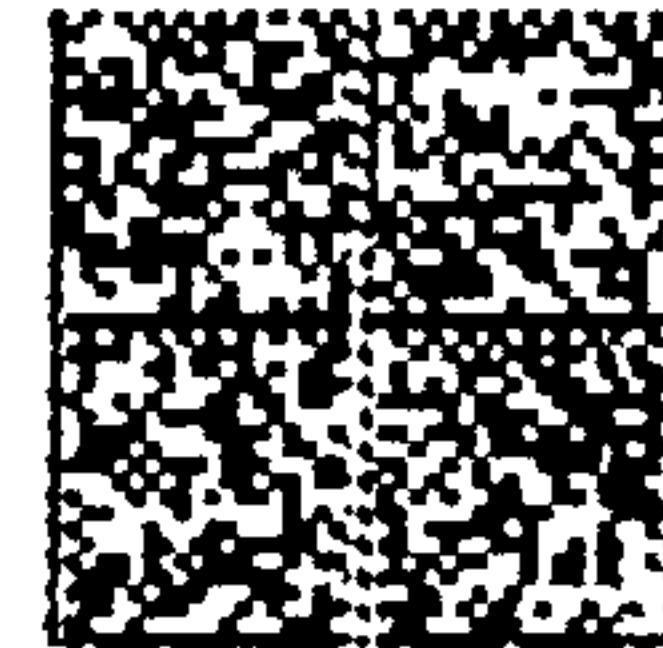
CITY OF ALBUQUERQUE



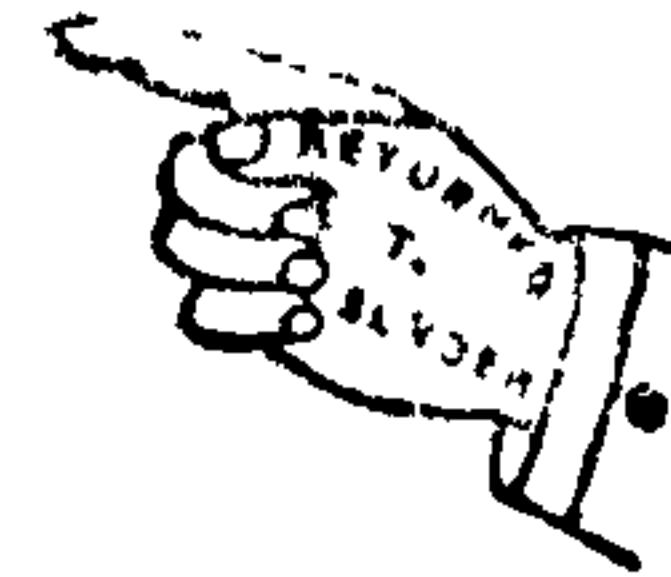
Planning Department

P.O. Box 1293

Albuquerque, NM 87103



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0004329277 OCT 08 2004
MAILED FROM ZIP CODE 87102



100606111022530101

RANCH JOINT VENTURE LLP
1999 AVENUE OF THE STA
LOS ANGELES CA 90067

*Addresssee Unknown
6749*

Aw

90067+6022

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: OCTOBER 27, 2004
Zone Atlas Page: F-6-Z & G-6-Z
Notification Radius: 100 Ft.

Project# 1003125
App# 04DRB-01505
App# 04DRB-01506

Cross Reference and Location:

Applicant: CITY OF ALBUQUERQUE / AVIATION DEPARTMENT
Address: PO BOX 9948
ALBUQUERQUE NM 87119

Agent: MOLZEN-CORBIN & ASSOCIATES
Address: 2701 MILES RD SE
ALBUQUERQUE NM 87106

Special Instructions:

RANCH JOINT VENTURE
3613 RIO RANCHO RD, STE# H
ALBUQUERQUE NM 87111

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: OCTOBER 8, 2004

Signature: KYLE TSEHLIKAI

PROPERTY OWNERSHIP / LEGAL LIST

App# _____
 Proj# _____

Date: _____

Page / Of /

Zone Atlas Page	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address
F-6	1006061	110-495	201-01	✓ N/A
		110-225	301-01	✓
		295-295	101-63	✓ mp
		260-085	401-01	✓ mp
G-6	1006060	205-435	201-44	✓ COA
		278-185	401-44	✓ mp
G-5	1005060	270-185	401-44	✓ mp
		275-425	101-44	✓ COA
F-5	1005061	495-215	401-25	✓
E-6	1006062	261-331	101-0421	✓ COA
		505-215	401- 07	✓ COA
E-7	1007062	066-099	301-25	✓ COA
		066-033	05	✓ COA
F-6	1006061	495-265	101-64	✓ mp
F-7	1007061	204-204	101-64	✓ COA
B-7	1007060	207-424	201-43	✓ COA
B-6	1006060	460-422	101-44	✓ COA
B-7	1007060	324-184	401-01	✓
H-7	1007059	272-275	101-45	✓



<mainframe@coa1mp3.cabq.gov>

To:
cc:
Subject:

10/06/2004 02:36 PM

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AND LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000
ALBUQUERQUE NM 87103
0100606111022530101 LEGAL: TR D BUL K LAND PLAT OF DOUBLE EAGLE II AIRPORT
AND LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: RANCH JOINT VENTURE LLP
OWNER ADDR: 01999 AVENUE OF THE STARS
LOS ANGELES CA 90067
0100606129529510163 LEGAL: TR C BUL K LAND PLAT OF DOUBLE EAGLE II AIRPORT
AND LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: STATE OF NEW MEXICO
OWNER ADDR: ~~00000~~ *to Box 1148*
SANTA FE NM 87504
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AND LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: STATE OF NEW MEXICO
OWNER ADDR: 00000
SANTA FE NM 87504
0100606020543520144 LEGAL: TR S BUL K LAND PLAT OF DOUBLE EAGLE II AIRPORT
AND LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000
ALBUQUERQUE NM 87103
0100606027818540144 LEGAL: TR O F LA ND WITHIN TOWN OF ATRISCO GRANT SEC 1
T10N LAND USE:
PROPERTY ADDR: 00000 N/A
OWNER NAME: WESTLAND DEVELOPMENT CO INC
OWNER ADDR: 00401 COORS BL NW
ALBUQUERQUE NM 87121
0100506027018540144 LEGAL: TR O F LA ND WITHIN TOWN OF ATRISCO GRANT SEC 2
T10N LAND USE:
PROPERTY ADDR: 00000 N/A
OWNER NAME: WESTLAND DEVELOPMENT CO INC
OWNER ADDR: 00401 COORS BL NW
ALBUQUERQUE NM 87121
0100506027542510144 LEGAL: TR R BUL K LAND PLAT OF DOUBLE EAGLE II AIRPORT
AND LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000
ALBUQUERQUE NM 87103
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AND LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: STATE OF NEW MEXICO
OWNER ADDR: 00000

SANTA FE NM 87504
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AND LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103
0100606250521540102 LEGAL: TR I BUL K LAND PLAT OF DOUBLE EAGLE II AIRPORT
AND LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103
1 R E C O R D S W I T H L A B E L S

PAGE

2
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17,18,19,20, LAND USE:

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OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

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PROPERTY ADDR: 00000 N/A
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103
0100606149526510164 LEGAL: TR J BUL K LAND PLAT OF DOUBLE EAGLE II AIRPORT
AND LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: STATE OF NEW MEXICO
OWNER ADDR: 00000

SANTA FE NM 87504
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LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103
0100706026742420143 LEGAL: N1/2 OF SEC 6 T10N R2E CONT 253.83 AC M/L
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PROPERTY ADDR: 00000 N/A
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103
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LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103
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SEC 8 LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: UNITED STATES OF AMERICA
OWNER ADDR: 06001 UNSER

BL NW

ALBUQUERQUE NM 87120

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LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: UNITED STATES OF AMERICA
OWNER ADDR: ~~00000~~ *Pl Box 728*

SANTA FE NM 87504

·
QUIT

INTER-OFFICE MAIL

Project# 1003125

COA - AVIATION DEPARTMENT
PO BOX 9948
ALBUQUERQUE NM 87119

RANCH JOINT VENTURE
3616 RIO RANCHO RD NE, STE# H
ALBUQUERQUE NM 87111

MOLZEN-CORBIN & ASSOCIATES
2701 MILES RD SE
ALBUQUERQUE NM 87106

100606111022530101

100606129529510163

100606027818540144

RANCH JOINT VENTURE LLP
1999 AVENUE OF THE STA
LOS ANGELES CA 90067

STATE OF NEW MEXICO
PO BOX 1148
SANTA FE NM 87504

WESTLAND DEVELOPMENT CO INC
401 COORS BL NW
ALBUQUERQUE NM 87121

100706032418440101

100705927227510145

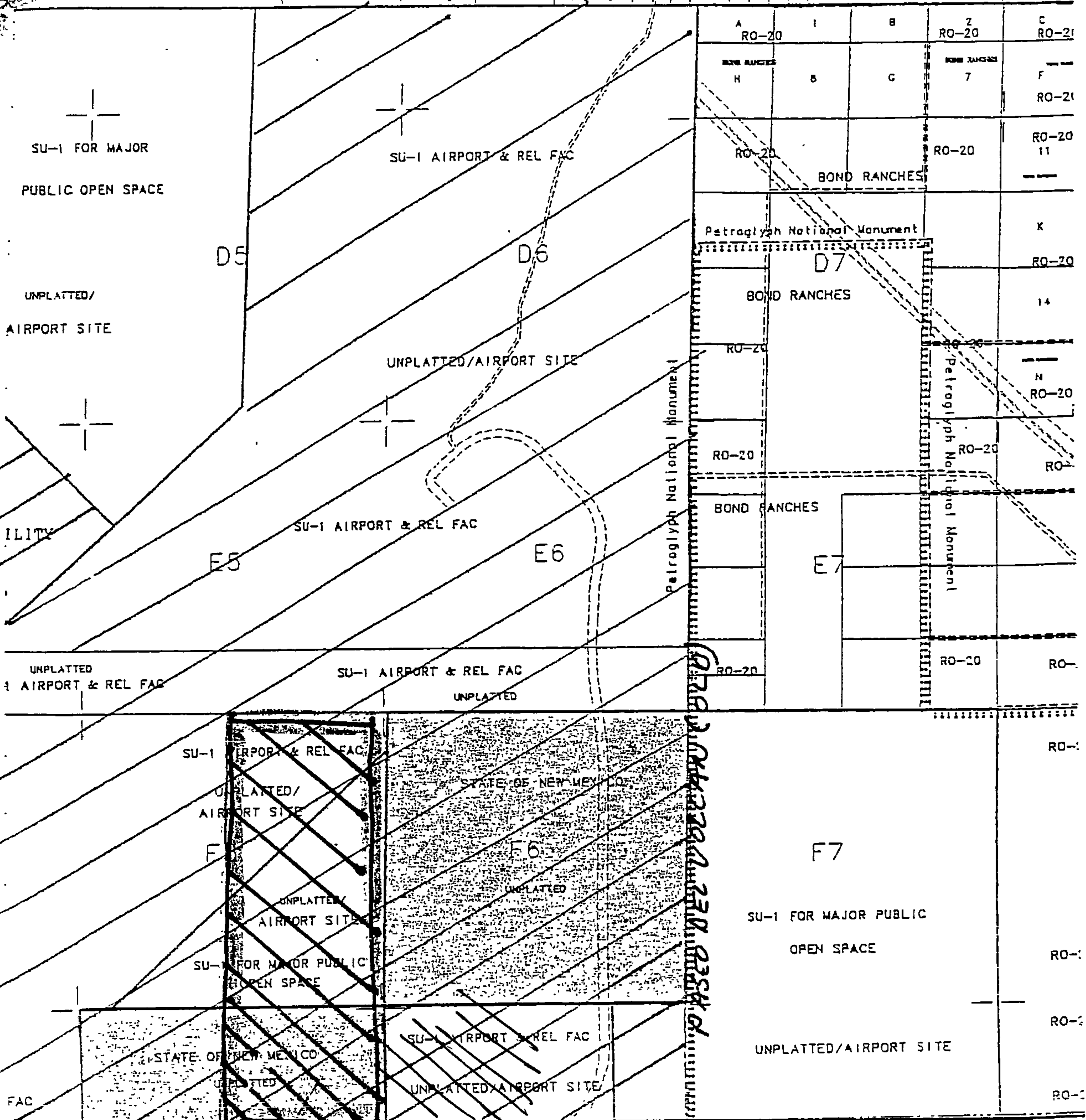
UNITED STATES OF AMERICA
6001 UNSER BL NW
ALBUQUERQUE NM 87120

UNITED STATES OF AMERICA
PO BOX 728
SANTA FE NM 87504

UNPLATTED TOWN OF ALAMEDA GRANT/BLACK FAMILY RANCH

ALAMEDA COUNTY

ALAMEDA COUNTY

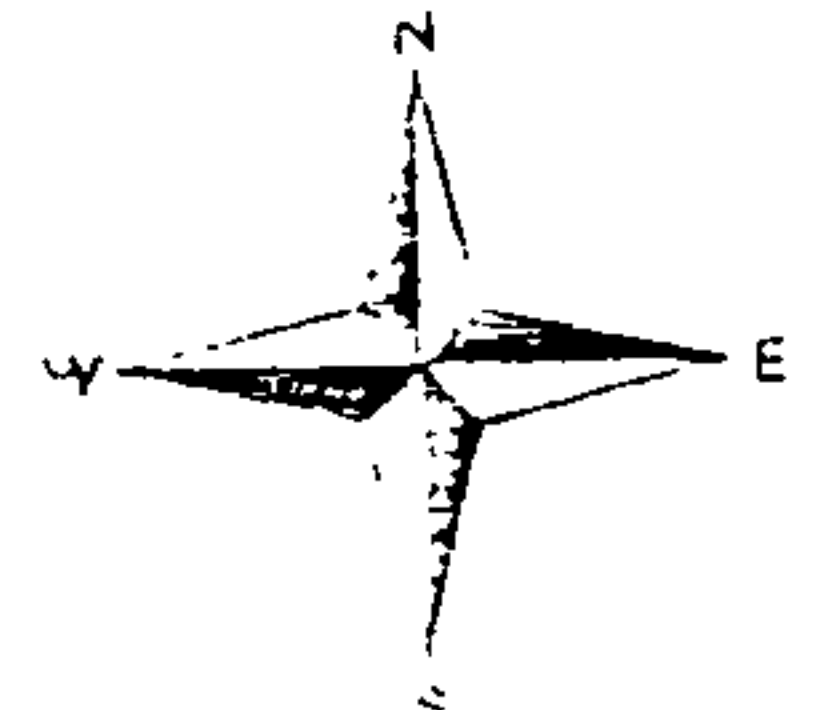


SHOOTING RANGE ACCESS RD

TOWN OF ATRISCO GRANT

TOWN OF ATRISCO GRANT

±300 Acres: 100 COA 200 R JV



CITY OF ALBUQUERQUE

1000 500 0



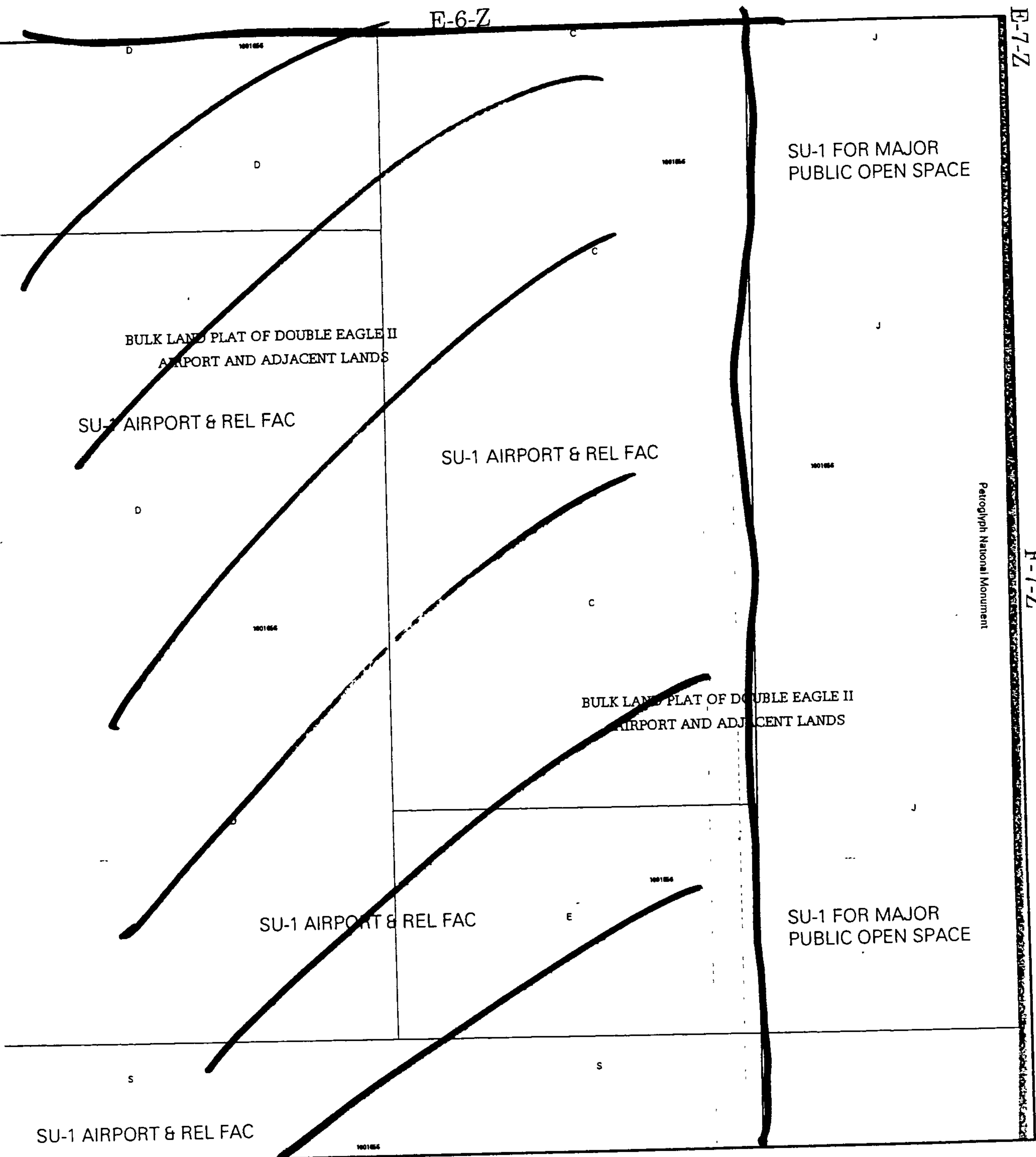
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Zone Atlas Pages

- C-5-2 TO C-7-2
- D-5-2 TO D-7-2
- E-5-2 TO E-7-2
- F-5-2 TO F-7-2
- G-5-2 TO G-7-2

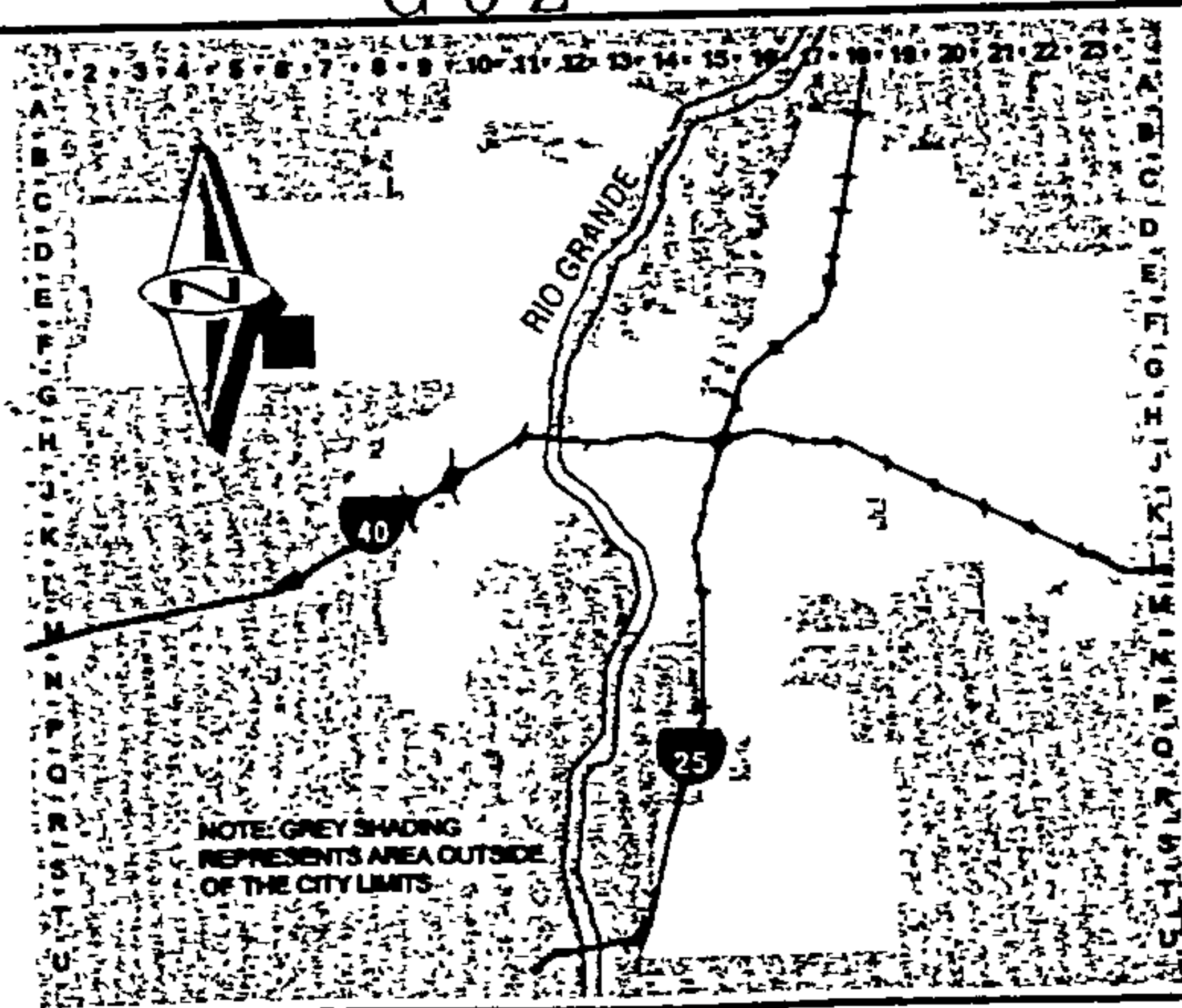
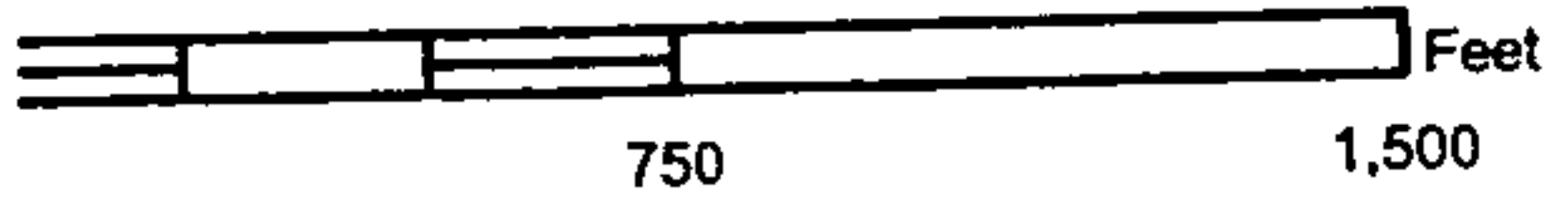


Zone Atlas Page: **F-6-Z**

Map amended through: **Aug 06, 2004**

Selected Symbols

- Incorporated Areas X — Grant Boundaries
- Sector Plan Boundaries ○ — Petroglyph
- Parcel Boundaries — — — H-1 Buffer Zone
- Easement Lines ~ ~ ~ Arroyos
- Freeway Lanes — — — LDN Noise Level
- Jurisdictional Boundaries + — Airport Clearance Zone
- Westgate Wall • • • Design Overlay Zones
- Escarpment



THREE HUNDRED YEARS
1706 - 2006

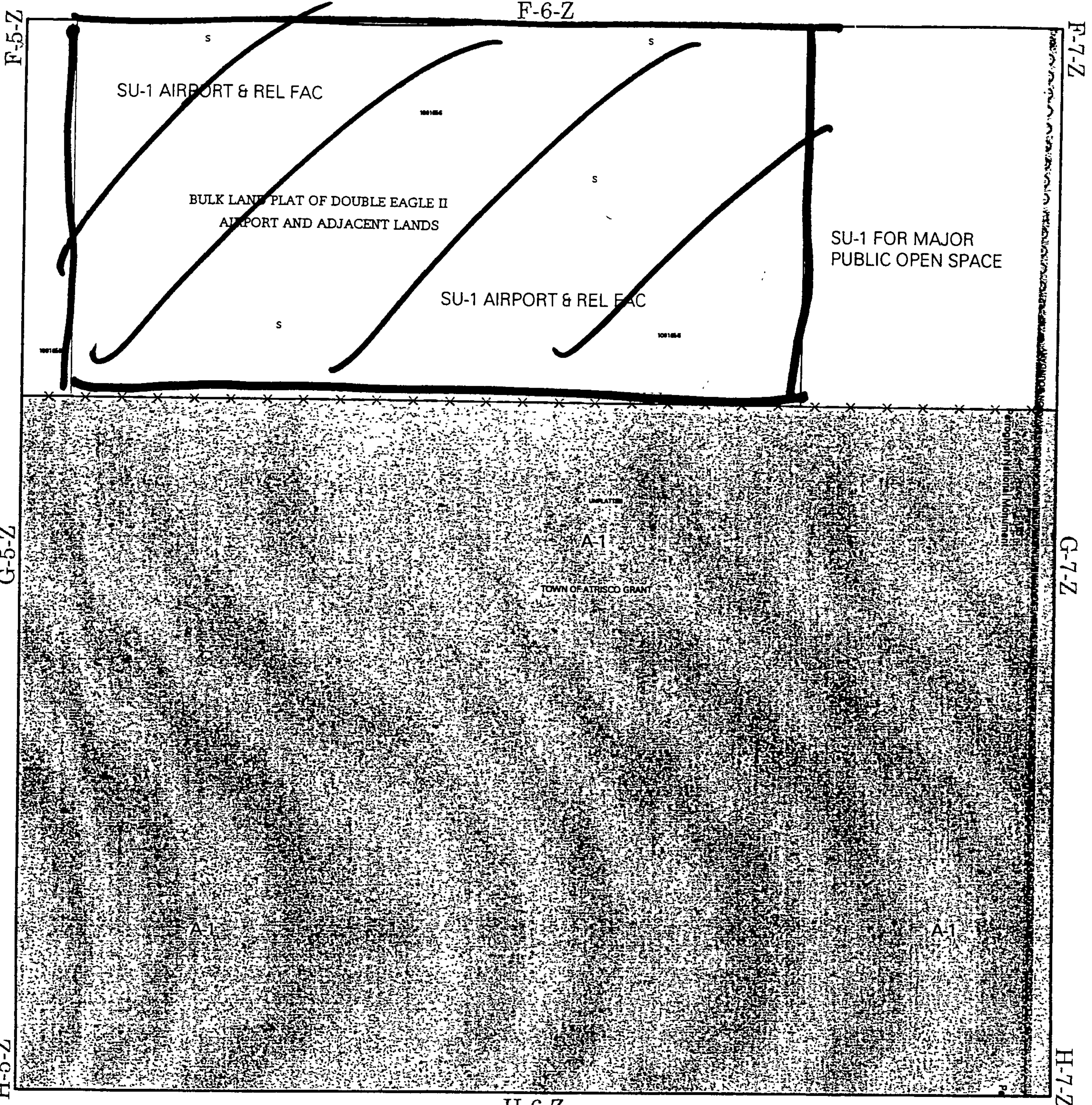
ALBUQUERQUE

Hacienda Historia

Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT

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E-6-Z
F-7-Z
G-7-Z
Petroglyph National Monument

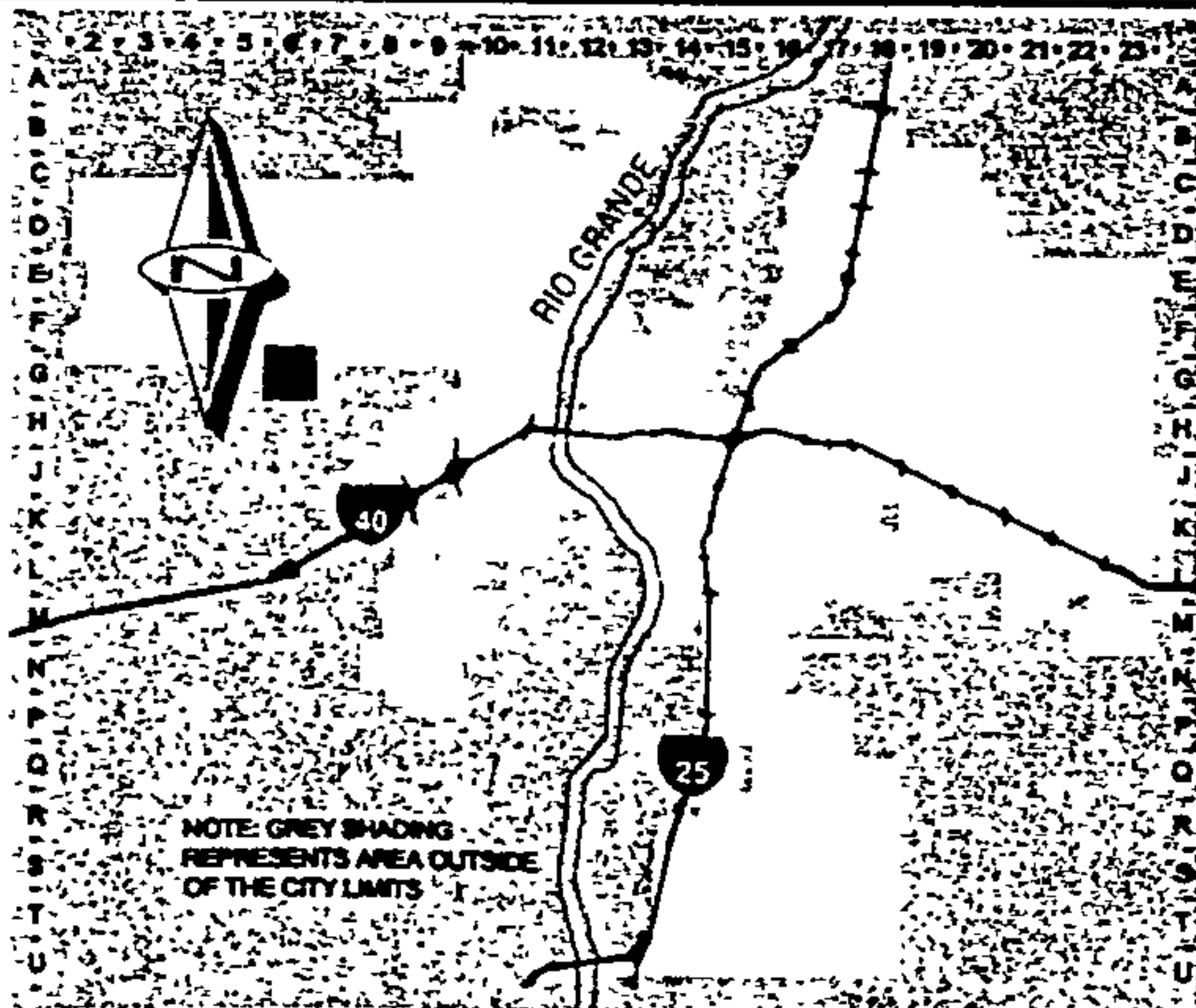
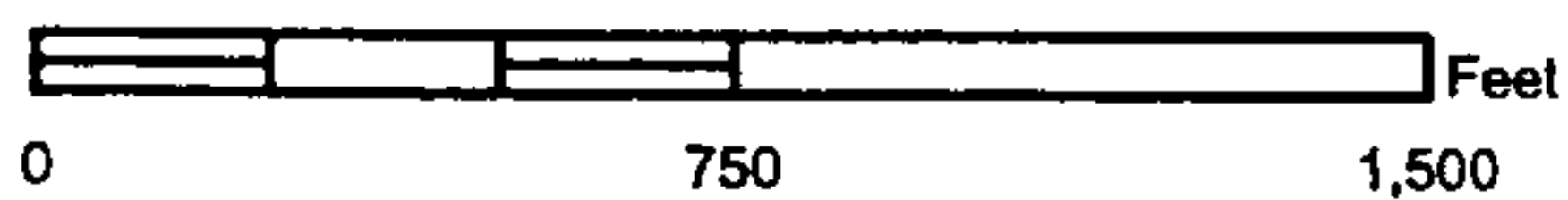


Zone Atlas Page: **G-6-Z**

Map amended through: **Aug 06, 2004**

Selected Symbols

- Unincorporated Areas
- Sector Plan Boundaries
- Parcel Boundaries
- Easement Lines
- Freeway Lanes
- Jurisdictional Boundaries
- Westgate Wall
- Escarpment
- Grant Boundaries
- Petroglyph
- H-1 Buffer Zone
- Arroyos
- LDN Noise Level
- Airport Clearance Zone
- Design Overlay Zones



CITY OF ALBUQUERQUE
 1706 • 2006
ALBUQUERQUE
Hacienda Historia
Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT
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1. Ranch Joint Venture
UPC: 10006111022530101
Tract D, Bulk Land Plat of Double Eagle II Airport and Adjacent Lands

2. City of Albuquerque Aviation Department
UPC: 100606020543520144
Tract S, Bulk Land of Double Eagle II Airport and Adjacent Lands

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: DECEMBER 8, 2004
Zone Atlas Page: F-6-Z & G-6-Z
Notification Radius: 100 Ft.

Project# 1003125
App# 04DRB-01505
App# 04DRB-01506

Cross Reference and Location:

Applicant: CITY OF ALBUQUERQUE / AVIATION DEPARTMENT
Address: PO BOX 9948
ALBUQUERQUE NM 87119

Agent: MOLZEN-CORBIN & ASSOCIATES
Address: 2701 MILES RD SE
ALBUQUERQUE NM 87106

Special Instructions:

RANCH JOINT VENTURE
3613 RIO RANCHO RD, STE# H
RIO RANCHO NM 87174

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: NOVEMBER 19, 2004

Signature: KYLE TSETHLIKAI

KT

PROPERTY OWNERSHIP / LEGAL LIST

App# _____
 Proj# _____

Date: _____

Page 1 / 1 Of 1 / 1

Zone Atlas Page	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address			
F-6	1006061	110-495	201-01	✓ MP			
		110-225	301-01	✓			
		295-295	101-03	✓ MP			
		260-085	401-01	✓ MP			
B-6	1006060	205-435	201-44	✓ CPA			
		278-185	401-44	✓ MP			
B-5	1005060	270-185	401-44	✓ MP			
		275-425	101-44	✓ CPA			
F-5	1005061	495-215	401-25	✓			
E-6	1006062	261-331	101-0421	✓ CPA			
		505-215	401- 05	✓ CPA			
E-7	1007062	016-099	301-25	✓ CPA			
		06-033	05	✓ CPA			
F-6	1006061	495-265	101-04	✓ MP			
F-7	1007061	204-204	101-04	✓ CPA			
B-7	1007060	267-424	101-43	✓ CPA			
B-6	1006060	460-422	101-44	✓ CPA			
B-7	1007060	324-184	401-01	✓			
H-7	1007059	272-225	101-45	✓			



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To:
cc:
Subject:

10/06/2004 02:36 PM

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PROPERTY ADDR: 00000
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000
ALBUQUERQUE NM 87103
0100606111022530101 LEGAL: TR D BUL K LAND PLAT OF DOUBLE EAGLE II AIRPORT
AND LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: RANCH JOINT VENTURE LLP
OWNER ADDR: 01999 AVENUE OF THE STARS
LOS ANGELES CA 90067
0100606129529510163 LEGAL: TR C BUL K LAND PLAT OF DOUBLE EAGLE II AIRPORT
AND LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: STATE OF NEW MEXICO
OWNER ADDR: ~~00000~~ *PO Box 1148*
SANTA FE NM 87504
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PROPERTY ADDR: 00000
OWNER NAME: STATE OF NEW MEXICO
OWNER ADDR: 00000
SANTA FE NM 87504
0100606020543520144 LEGAL: TR S BUL K LAND PLAT OF DOUBLE EAGLE II AIRPORT
AND LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000
ALBUQUERQUE NM 87103
0100606027818540144 LEGAL: TR O F LA ND WITHIN TOWN OF ATRISCO GRANT SEC 1
T10N LAND USE:
PROPERTY ADDR: 00000 N/A
OWNER NAME: WESTLAND DEVELOPMENT CO INC
OWNER ADDR: 00401 COORS BL NW
ALBUQUERQUE NM 87121
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T10N LAND USE:
PROPERTY ADDR: 00000 N/A
OWNER NAME: WESTLAND DEVELOPMENT CO INC
OWNER ADDR: 00401 COORS BL NW
ALBUQUERQUE NM 87121
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AND LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000
ALBUQUERQUE NM 87103
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AND LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: STATE OF NEW MEXICO
OWNER ADDR: 00000

SANTA FE NM 87504

0100606226133110164L1 LEGAL: TR A BUL K LAND PLAT OF DOUBLE EAGLE II AIRPORT
AND LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103

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AND LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103

1 R E C O R D S W I T H L A B E L S PAGE

2

0100706206609930125 LEGAL: TRAC T'C C'OF BOND RANCHES IN SECTIONS
17,18,19,20, LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103

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17,18,19,20, LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103

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AND LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: STATE OF NEW MEXICO
OWNER ADDR: 00000

SANTA FE NM 87504

0100706126426410164 LEGAL: ALL SEC 31 11N 2E CONT 640.000 AC
LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103

0100706026742420143 LEGAL: N1/2 OF SEC 6 T10N R2E CONT 253.83 AC M/L
LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103

0100606046042210144 LEGAL: LOTS 1 & 8 SEC 1 T10N R1E CONT 63.82 AC
LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103

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SEC 8 LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: UNITED STATES OF AMERICA
OWNER ADDR: 06001 UNSER

ALBUQUERQUE NM 87120

BL NW

0100705927227510145 LEGAL: TR 1 01-1 8 PETROGLYPH NATIONAL MONUMENT
LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: UNITED STATES OF AMERICA
OWNER ADDR: ~~00000~~ *Pl. Box 728*

SANTA FE NM 87504

·
QUIT

INTER-OFFICE MAIL

Project# 1003125

COA - AVIATION DEPARTMENT
PO BOX 9948
ALBUQUERQUE NM 87119

RANCH JOINT VENTURE
3616 RIO RANCHO RD NE, STE# H
ALBUQUERQUE NM 87111

MOLZEN-CORBIN & ASSOCIATES
2701 MILES RD SE
ALBUQUERQUE NM 87106

100606111022530101

100606129529510163

100606027818540144

RANCH JOINT VENTURE LLP
1999 AVENUE OF THE STA
LOS ANGELES CA 90067

STATE OF NEW MEXICO
PO BOX 1148
SANTA FE NM 87504

WESTLAND DEVELOPMENT CO INC
401 COORS BL NW
ALBUQUERQUE NM 87121

100706032418440101

100705927227510145

UNITED STATES OF AMERICA
6001 UNSER BL NW
ALBUQUERQUE NM 87120

UNITED STATES OF AMERICA
PO BOX 728
SANTA FE NM 87504

UNPLATTED TOWN OF ALAMEDA GRANT/BLACK FAMILY RANCH

ALAMEDA GRANT 125 ALAMEDA GRANT 13533

SU-1 FOR MAJOR PUBLIC OPEN SPACE

SU-1 AIRPORT & REL FAC

A RO-20 I B RO-20 C RO-20

BOND RANCHES H B C BOND RANCHES F RO-20

RO-20 BOND RANCHES RO-20 RO-20 11

Petroglyph National Monument D7 RO-20 K RO-20

BOND RANCHES RO-20 14

RO-20 Petroglyph National Monument RO-20 N RO-20

RO-20 BOND RANCHES RO-20 RO-

RO-20 BOND RANCHES F7 RO-

RO-20 RO-20 RO-

RO-20 RO-20 RO-

RO-20 RO-

RO-

F7 SU-1 FOR MAJOR PUBLIC OPEN SPACE RO-

RO-

RO-

UNPLATTED/AIRPORT SITE RO-

G7 TOWN OF ATRISCO GRANT

UNPLATTED/AIRPORT SITE

UNPLATTED/AIRPORT SITE

ILITY

SU-1 AIRPORT & REL FAC

Petroglyph National Monument

Petroglyph National Monument

UNPLATTED AIRPORT & REL FAC

SU-1 AIRPORT & REL FAC UNPLATTED

SU-1 AIRPORT & REL FAC

UNPLATTED/AIRPORT SITE

UNPLATTED/AIRPORT SITE

UNPLATTED/AIRPORT SITE

SU-1 FOR MAJOR PUBLIC OPEN SPACE

STATE OF NEW MEXICO

SU-1 AIRPORT & REL FAC

UNPLATTED

UNPLATTED/AIRPORT SITE

FAC

SHOOTING RANGE ACCESS RD.

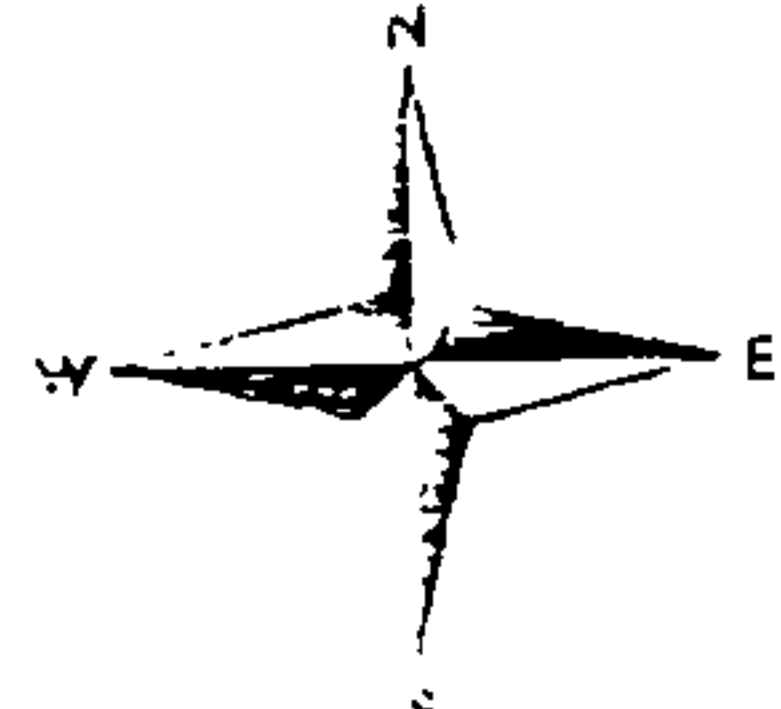
G5

G7

TOWN OF ATRISCO GRANT

TOWN OF ATRISCO GRANT

±300 Acres: 100 COA 200 R JV



CITY OF ALBUQUERQUE



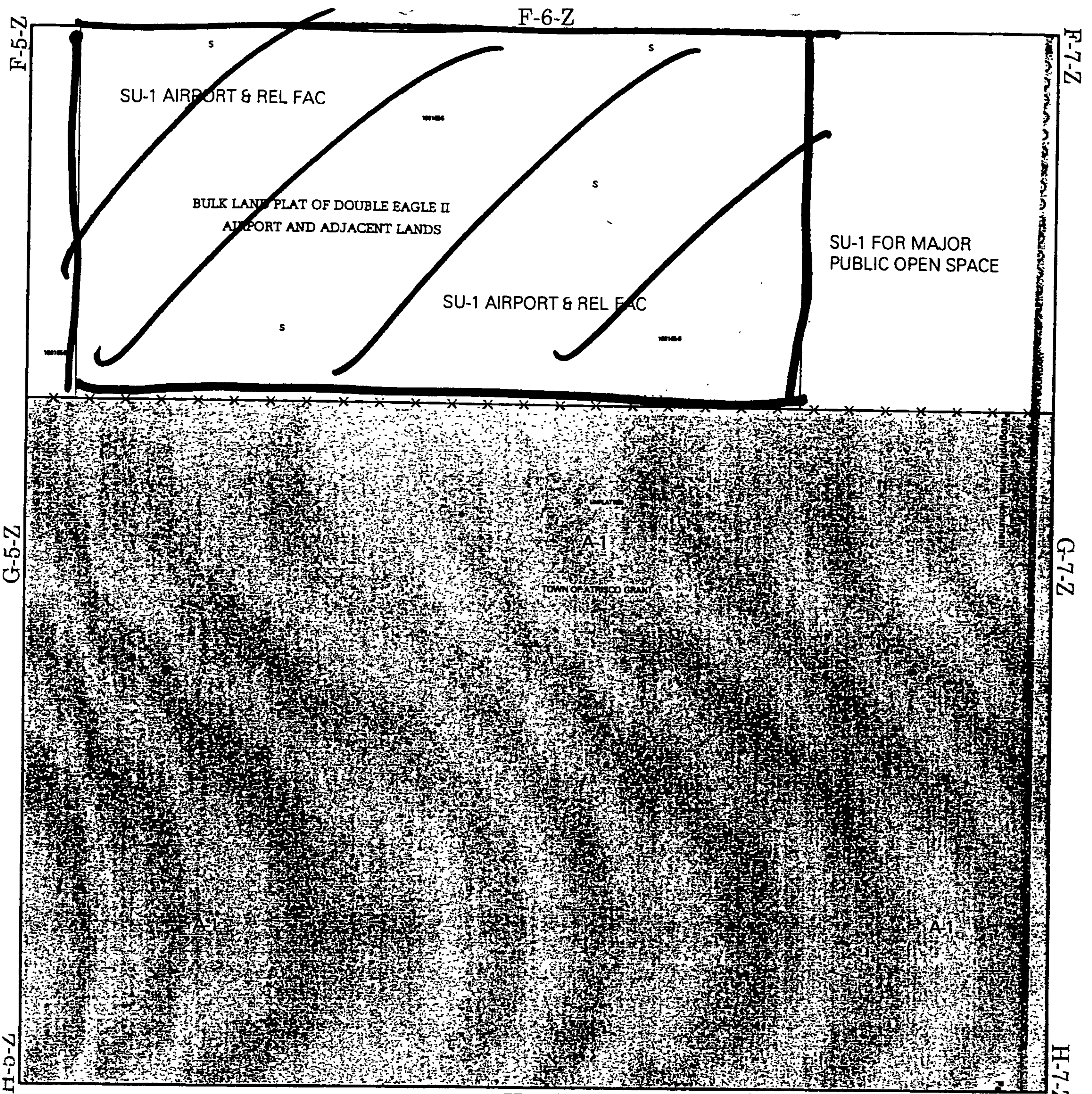
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Zone Atlas Pages

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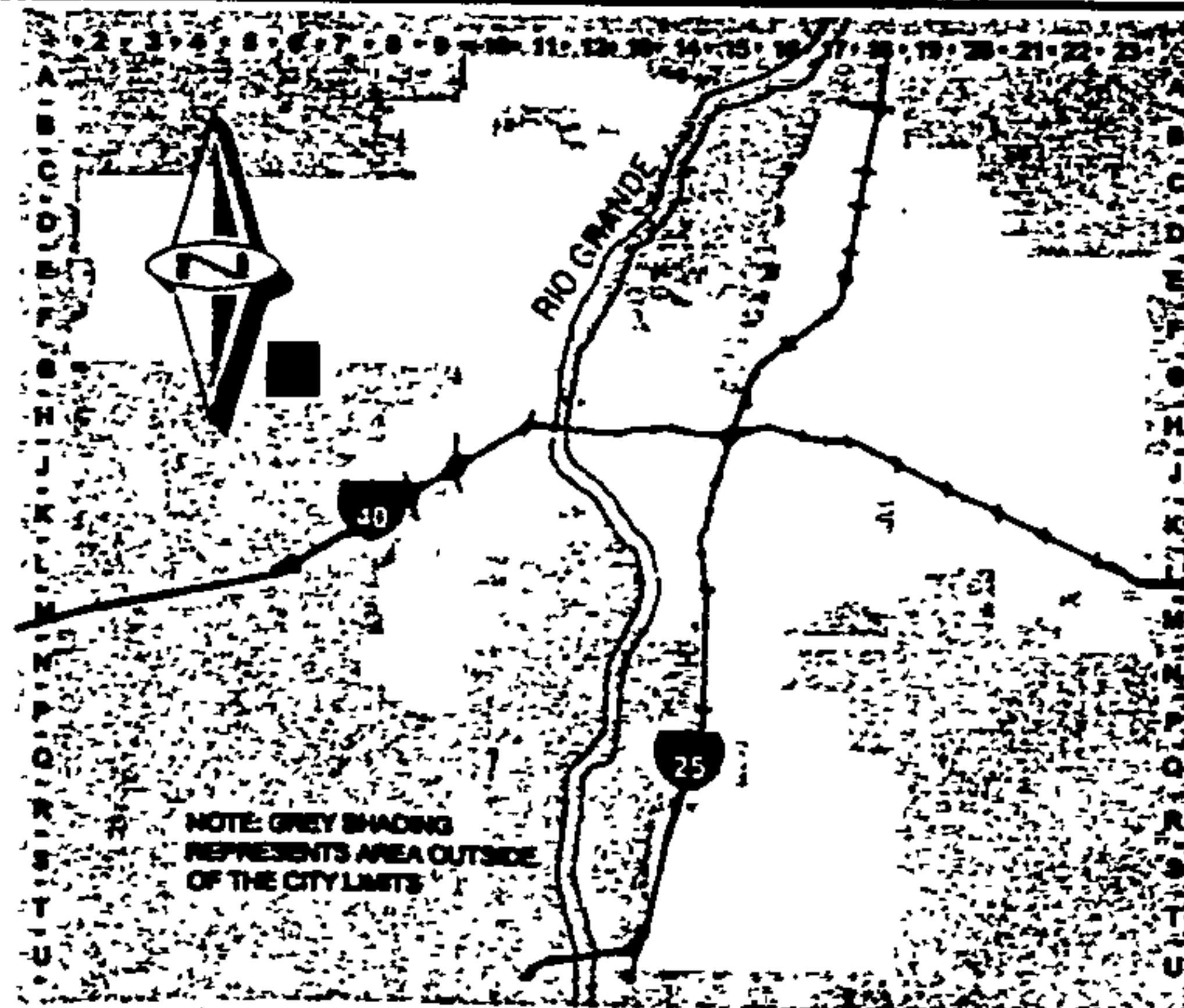
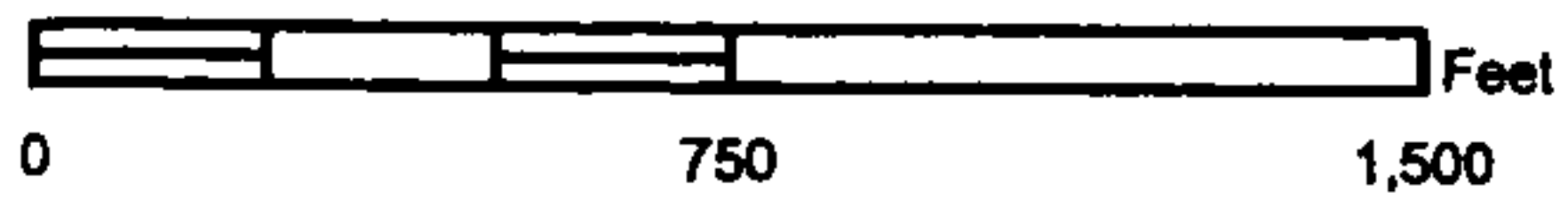


Zone Atlas Page: **G-6-Z**

Map amended through: Aug 06, 2004

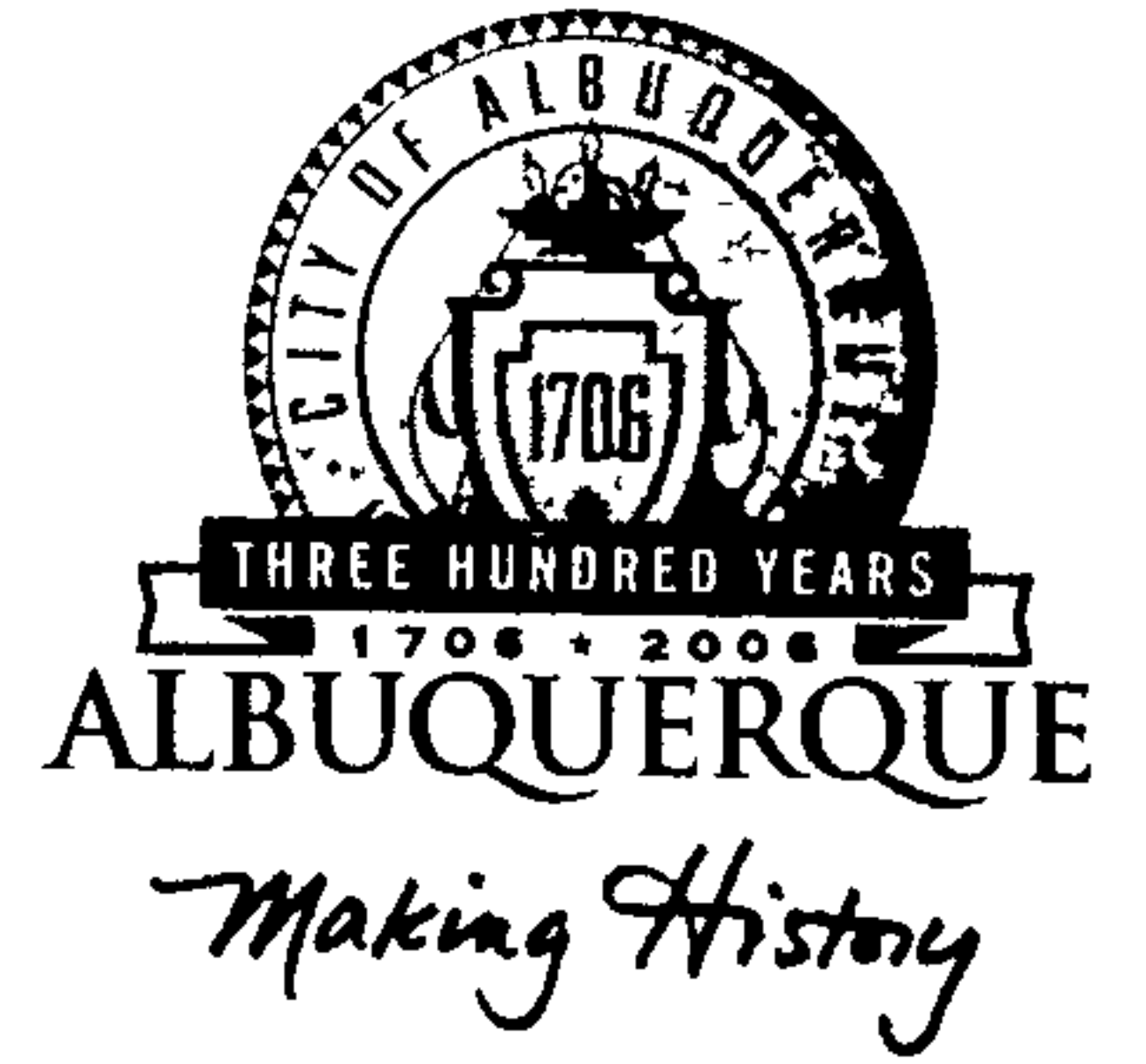
Selected Symbols

- Unincorporated Areas
- Sector Plan Boundaries
- Parcel Boundaries
- Easement Lines
- Freeway Lanes
- Jurisdictional Boundaries
- Westgate Wall
- Escarpment
- Grant Boundaries
- Petroglyph
- H-1 Buffer Zone
- Arroyos
- LDN Noise Level
- Airport Clearance Zone
- Design Overlay Zones



CITY OF ALBUQUERQUE
THREE HUNDRED YEARS
 1706 • 2006
ALBUQUERQUE
Haciendo Historia
Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT
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CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 9

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

The Hydrology Section has no objection to the BLV request.
No adverse comments on plat or site plan.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

11-10-04

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: November 3, 2004



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 27, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 a.m. Adjourned: 10:45 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000269**
04DRB-01507 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2 NM request(s) the above action(s) for all or a portion of Tract(s) 5B2C1A1, **RENAISSANCE CENTER**, zoned SU-1 C-2 USES, located on MERCANTILE AVE NE, between MONTANO RD NE and CULTURE DR NE containing approximately 1 acre(s).[REF:DRB-96-242, 00DRB-00802, 02DRB01878] (F-16) **AN EXTENSION OF THE SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED TO JANUARY 8, 2005.**

2. **Project # 1003125**
04DRB-01505 Major-Bulk Land Variance
04DRB-01506 Minor-Prelim&Final Plat
Approval

MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D & S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN (OLD) NW and SHOOTING RANGE PARK RD NW containing approximately 300 acre(s). [Deferred from 10/27/04] [REF: 03EPC02054](F-6/G-6) **DEFERRED AT THE AGENT'S REQUEST TO 11/3/04.**

04DRB-01630 Minor-Site Dev Plan
Subd/EPC

CONSENSUS PLANNING agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D, F AND S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN NW and SHOOTING RANGE ACCESS RD NW containing approximately 300 acre(s). [REF: 03EPC02054, 04DRB01505, 04DRB01506][Chris Hyer, EPC Case Planner]. [Deferred from 10/27/04] (F-5/G-6) **DEFERRED AT THE AGENT'S REQUEST TO 11/3/04.**

3. **Project # 1003420**
04DRB-01508 Major-Preliminary Plat
Approval
04DRB-01509 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for WINDMILL MANOR PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, VOLCANO CLIFFS UNIT 3, (to be known as **SUNRISE RIDGE SUBDIVISION**) zoned R-LT, located on MONTANO RD NW, between TESUQUE DR NW and SHADOW RIDGE DR NW containing approximately 5 acre(s). [REF: 04EPC00682] [Deferred from 10/27/04] (E-10) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**

4. **Project # 1003687**
04DRB-01510 Major-Vacation of Public Easements
04DRB-01512 Major-Preliminary Plat Approval
04DRB-01511 Minor-Sidewalk Waiver
04DRB-01513 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for VENTANA WEST LLC request(s) the above action(s) for all or a portion of Tract(s) 2 & 9, VENTANA RANCH WEST, UNITS 1 & 2, (to be known as **WESTERN RIDGE SUBDIVISION**) zoned R-LT, located on PASEO DEL NORTE BLVD NW, between VENTANA RIDGE RD NW and VENTANA WEST PARKWAY NW containing approximately 50 acre(s). [REF: 04DRB01461] (B-8) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/27/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/25/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: PROVIDE EMERGENCY ACCESS TO TRACTS L AND A. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBITS C-1 AND C-2 IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBITS C-1 AND C-2 IN THE PLANNING FILE.**

5. **Project # 1001218**
04DRB-01432 Major-Vacation of Public Easements
04DRB-01433 Minor-Prelim&Final Plat Approval
04DRB-01434 Minor-Vacation of Private Easements

SURVEYS SOUTHWEST, LTD agent(s) for DALE ARMSTRONG request(s) the above action(s) for all or a portion of Lot(s) 1, 2 & 3, **LANDS OF LAFARGE**, zoned M-1 light manufacturing zone, located on EDITH BLVD NE, near CARMONY RD NE containing approximately 15 acre(s). [REF: 01EPC00690, 01EPC00689, 01DRB00581] (*Deferred from 10/13/04*) (G-15) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/27/04 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

6. **Project # 1002786**
04DRB-01635 Minor-SiteDev Plan
BldPermit
- JIM MILLER & ASSOCIATES agent(s) for DEKE NOFTSKER request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, Block(s) 5, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on SAN MATEO NE, between SAN DIEGO NE and BEVERLY HILLS AVE NE containing approximately 2 acre(s). [REF: 03DRB01075, 03DRB01508, 03DRB01457, 04DRB000365] *[Deferred from 10/27/04]* (B-18) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**
7. **Project # 1001445**
04DRB-01634 Minor-SiteDev Plan Subd
- CONSENSUS PLANNING agent(s) for DAVE AND LORETTA GARDUNO request(s) the above action(s) for all or a portion of Tract(s) 13, **BLACK RANCH**, zoned SU-1 FOR C-1 AND SU-1 FOR O-1, located on COORS BLVD NW, between 7-BAR LOOP ROAD NW and ALAMEDA BLVD NW containing approximately 5 acre(s). [REF: 03EPC001029, 01EPC0244, 02EPC00991, 03EPC00351, 03EPC00804, CITY COUNCIL BILL 0-02-16, ENACTMENT 13-2002] (B-14) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
- 04DRB-01633 Minor-Prelim&Final Plat
Approval
- SURV-TEK INC agent(s) for DAVE GARDUNO AND LORETTA ROMERO request(s) the above action(s) for all or a portion of Tract(s) 13, **BLACK RANCH**, zoned SU-1 FOR C-1 AND SU-1 FOR O-1, located on COORS BLVD NW, between 7-BAR LOOP ROAD NW and ALAMEDA BLVD NW containing approximately 6 acre(s). [REF: 03EPC01029, 01EPC01244, 02EPC00991, 03EPC00351, 03EPC00864] (B-14) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

8. **Project # 1003742**
04DRB-01626 Minor-SiteDev Plan
BldPermit/EPC

SHIVER CONSTRUCTION CO. agent(s) for SUPERIOR AMBULANCE SERVICE request(s) the above action(s) for all or a portion of Lot(s) 10, **LADERA BUSINESS PARK**, zoned SU-1 special use zone, located on UNSER BLVD NW, between I-40 and OURAY RD NW containing approximately 5 acre(s). [REF: 01EPC01405, PROJECT 1001523] [Russell Brito for Lola Bird, EPC Case Planner] (H-10) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR TIS UPDATE AND DIMENSIONING AND PLANNING TO CHECK IF EPC COMMENTS WERE ADDRESSED.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1001816**
04DRB-01612 Minor-Prelim&Final Plat
Approval

FORSTBAUER SURVEYING LLC agent(s) for JOHNNY & JANE CARLTON request(s) the above action(s) for all or a portion of Lot(s) 10,11 and 12, Block(s) 54, **NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-2 HDA, located on TIJERAS AVE NW, between 9TH ST NW and 10TH ST NW containing approximately 1 acre(s). [REF: 04DRB01370, 04LUCC00112, 03DRB01640, 03DRB01503] (J-13) **PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO ADD WATER METERS TO EXHIBIT AND PLANNING TO ADDRESS PREVIOUS COMMENTS.**

10. **Project # 1001753**
04DRB-01631 Minor-Final Plat Approval
- MARK GOODWIN & ASSOCIATES agent(s) for MESA VERDE DEVELOPMENT CORP. request(s) the above action(s) for all or a portion of Lot(s) 1-11, Tract(s) 1, Block(s) 11, North Albuquerque Acres, Unit 3, (to be known as **DESERT RIDGE TRAILS EAST**) zoned R-D residential and related uses zone, developing area, located on FLORENCE AVE NE, between WYOMING BLVD NE and BARSTOW ST NE containing approximately 12 acre(s). [REF: 03DRB01998, 03DRB01999, 03DRB01884, 03DRB01885, 03DRB01128] (B-19) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND DETACHED OPENS SPACE TABLE AND NOTE AND TO PLANNING FOR WALL ON FLORENCE WILL NEED TO BE ADDRESSED.**
11. **Project # 1003673**
04DRB-01637 Minor-Prelim&Final Plat Approval
04DRB-01638 Minor-Temp Defer SDWK
- RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 7, 8 and 9, Block(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **OAKLAND SOUTH SUBDIVISION**) zoned RD, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01424] [*Deferred from 10/27/04*] (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 11/3/04.**
12. **Project # 1003689**
04DRB-01636 Minor-Prelim&Final Plat Approval
- HALL SURVEYING agent(s) for GREG BOULOY request(s) the above action(s) for all or a portion of Lot(s) 1, 2 & 3, Block(s) 13, **PEREA ADDITION**, zoned SU-2 TH, located on 16TH STREET NE, between LOMAS BLVD NE and CENTRAL NE containing approximately 1 acre(s). [REF: 04DRB01464] (J-13) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

13. **Project # 1003027**
04DRB-01629 Minor-Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORP agent(s) for RAYLEE HOMES request(s) the above action(s) for all or a portion of Lot(s) 1A-P1 & 2A-P1, **TREMENTINA OESTE SUBDIVISION**, zoned R-D, located on ALAMEDA BLVD NE, between CALLE CALMA NE and ALAMEDA BLVD NE containing approximately 1 acre(s). [REF: 03DRB02159, 04DRB01500] (C-19) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

- 04DRB-01628 Minor-Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORP agent(s) for RAYLEE HOMES request(s) the above action(s) for all or a portion of Lot(s) 14A-P1 & 15A-P1, **TREMENTINA OESTE SUBDIVISION**, zoned R-D, located on ALAMEDA BLVD NE, between CALLE ALEGREA NE and ALAMEDA BLVD NE containing approximately 1 acre(s). [REF: 0302159, 04DRB01501] (C-19) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK...

14. Approval of the Development Review Board Minutes for October 13, 2004. **DEVELOPMENT REVIEW BOARD MINUTES FOR OCTOBER 13,2004 WERE APPROVED.**

ADJOURNED: 10:45 A.M.


City of Albuquerque #2

Planning Department

Inter-Office Memorandum

October 21, 2004

TO: Sheran Matson, DRB Chair

FROM: Christopher Hyer, Senior Planner 

RE: Project # 1003125 04DRB-01630

The Environmental Planning Commission approved 03EPC 02054 (Site Development Plan for Subdivision) zoned SU-1 for Airport and Related Facilities on January 15, 2004 for Project 1003125. The applicant has satisfied all of the conditions of approval.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3927.

Thank you.



Complete 12-9-03 *By*
 Site Plan
 Submission

DRB CASE ACTION LOG
 REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB 01630 (SPB) Project # 1003125
 Project Name Access Technology
 Agent: Consensus Planning Phone No.: 764-9801

Project Number

1003125

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/08/03 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): _____
- _____
- _____
- _____
- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - Include 3 copies of the approved site plan along with the originals.**
 - ~~County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.~~
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.



Site Plan
Submission

DRB CASE ACTION LOG

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB 01630 (SPB) Project # 1003125
 Project Name: Access Technology
 Agent: Consensus Planning Phone No.: 764-9801

Project Number

1003125

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/03/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- ~~Include 3 copies of the approved site plan along with the originals.~~
- ~~County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.~~
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.



PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE

PAGE 2

~~Project # 1003125~~
04DRB-01505 Major-Bulk Land Variance
04DRB-01506 Minor-Prelim&Final Plat
Approval

MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D & S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN (OLD) NW and SHOOTING RANGE PARK RD NW containing approximately 300 acre(s). [Deferred from 10/27/04 & 11/3/04 & 11/10/04, Indefinitely Deferred on 11/10/04] [REF: 03EPC02054](F-6/G-6)

~~[NO NEW SUBMITTAL]~~

04DRB-01630 Minor-SiteDev Plan Subd/EPC

CONSENSUS PLANNING agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D, F AND S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN NW and SHOOTING RANGE ACCESS RD NW containing approximately 300 acre(s). [REF: 03EPC02054, 04DRB01505, 04DRB01506][Chris Hyer, EPC Case Planner] [Deferred from 10/27/04 & 11/3/04 & Indefinitely Deferred on 11/10/04] (F-5/G-6)

~~[NO NEW SUBMITTAL]~~

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3940. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, NOVEMBER 22, 2004.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, December 8, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1002337

04DRB-01758 Major-Two Year SIA

BOHANNAN HUSTON, INC agent(s) for HUNT UPTOWN II, LLC request(s) the above action(s) for all or a portion of Tract(s) A, **UPTOWN SPECTRUM**, zoned SU-3, located on UPTOWN LOOP NE, between INDIAN SCHOOL RD NE and LOUISIANA BLVD NE [REF: 02DRB01708, 03CC00343, 03CC00199] (J-19)

Project # 1003778

04DRB-01750 Major-Preliminary Plat Approval
04DRB-01751 Major-Vacation of Pub Right-of-Way
04DRB-01753 Minor-Temp Defer SDWK
04DRB-01752 Minor-Sidewalk Variance

LARRY READ & ASSOCIATES INC agent(s) for ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 21 & 22, Block(s) 2, Tract(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **SHAHEEN SUBDIVISION**) zoned R-D, located on OAKLAND AVE NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). (C-19)

Project # 1003779

04DRB-01754 Major-Preliminary Plat Approval
04DRB-01765 Major-Vacation of Pub Right-of-Way
04DRB-01756 Minor-Sidewalk Variance
04DRB-01757 Minor-Temp Defer SDWK

LARRY READ & ASSOCIATES INC agent(s) for ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 17 & 18, Block(s) 2, Tract(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **KUMAIL SUBDIVISION**) zoned R-D, located on OAKLAND AVE NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). (C-19)

Project # 1002051

03DRB-02008 Major-Preliminary Plat Approval
03DRB-02009 Major-Vacation of Public Easements
03DRB-02010 Minor-Vacation of Private Easements
03DRB-02011 Minor-Temp Defer SDWK

TIERRA WEST LLC agent(s) for GELTMORE LAND LTD CO request(s) the above action(s) for all or a portion of Tract(s) A, **CHAMISA RIDGE - UNIT 1**, zoned R-LT, located on PARADISE BLVD NW, between BIG SAGE DR NW and CONEFLOWER DR NW containing approximately 18 acre(s). [*Deferred from 6/9/04, 6/23/04, 8/4/04, 9/29/04, Indefinitely Deferred on 11/10/04*][REF: 02DRB-00963](B-10)

[NO NEW SUBMITTAL]

Project # 1003705

04DRB-01540 Major-Vacation of Public Easements
04DRB-01539 Minor-Sketch Plat or Plan

FORSTBAUER SURVEYING LLC agent(s) for DR VIJAY AGARWAL request(s) the above action(s) for all or a portion of Lot(s) 7, 8 AND 9 and the south 47 feet of Lot(s) 4, 5, 6, Block(s) 22, **BROWNEWELL & LAIIS HIGHLAND ADDITION**, zoned SU-2 MC, located on OAK ST NE, between TIJERAS NE and COPPER NE containing approximately 1 acre(s).[REF:V-78-38] [*Deferred from 11/3/04, Indefinitely Deferred on 11/10/04*] (K-15)

[NO NEW SUBMITTAL]

SEE PAGE 2 . . .



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

November 3, 2004 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A Call to Order: 9:00 a.m. Adjourned: 11:40 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1003571**
04DRB-01517 Major-Vacation of Public Easements
04DRB-01518 Major-Preliminary Plat Approval
04DRB-01519 Minor-Sidewalk Waiver
04DRB-01520 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, **EL RANCHO GRANDE 1, UNIT 9B**, zoned R-LT residential zone, located on BLAKE RD NW, between AMOLE CHANNEL and 98TH ST NW containing approximately 36 acre(s). [REF: 04DRB01134] *[Deferred from 11/3/04]* (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**

2. **Project # 1003520**
04DRB-01567 Major-Preliminary Plat Approval
04DRB-01570 Minor-Ext of SIA for Temp Defer SDWK (WITHDRAWN)
04DRB-01568 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES PA agent(s) for WASHINGTON STREET INVESTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, Block(s) 16, Tract(s) 1, NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as **BENJAMIN PLACE SUBDIVISION**) zoned R-D, located on GLENDALE AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 2 acre(s). [REF: 04DRB00999] [Deferred from 11/3/04] (B-20) 04DRB-1570 WAS WITHDRAWN. **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**
3. **Project # 1001685**
04DRB-01566 Major-Vacation of Pub Right-of-Way
- WILSON & COMPANY agent(s) for GOLF COURSE & MCMAHON LLC request(s) the above action(s) for all or a portion of Tract(s) 1-B, **PARADISE NORTH**, zoned SU-1 FOR IP, located on GOLF COURSE RD NW, between MCMAHON BLVD NW and IRVING BLVD NW containing approximately 24 acre(s). [REF: 02DRB-00005] (A-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
4. **Project # 1003470**
04DRB-01522 Major-Bulk Land Variance
04DRB-01523 Major-Preliminary Plat Approval
04DRB-01524 Minor-Temp Defer SDWK
- WILSON & COMPANY agent(s) for SCOTT SCHIABOR SPS LC request(s) the above action(s) for all or a portion of Tract(s) 1A, 2A, 1B & 2B, **VISTA VIEJA SUBDIVISION**, KASSUBA-MONTBEL LANDS, zoned R-1 residential zone, located on 81ST ST NW and ALBERICOQUE PL NW containing approximately 152 acre(s). [REF: 04DRB00825, 04DRB01460] [Deferred from 11/3/04] (D-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**

5. **Project # 1003238**
04DRB-01569 Major-Preliminary Plat
Approval
04DRB-01573 Minor-Vacation of Private
Easements
04DRB-01571 Minor-Sidewalk Waiver
04DRB-01572 Minor-Temp Defer SDWK

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Lot(s) A, B C, Tract(s) 267, 268-B, 270-A-2, 270-A-1-C, 270-A-1-D, 270-B AND 315-A-1-A-1, M.R.G.C.D. MAP 35 AND LAND OF ALBERT PEREZ, TRACT(S) B1 AND B2, LAND OF MACIEL & TRUJILLO (to be known as **FLORAL MEADOWS SUBDIVISION**, zoned R-LT residential zone, located on INTERSTATE 40 between RIO GRANDE BLVD NW and MONTOYA ST NW containing approximately 8 acre(s). [REF: 04EPC00156, 04EPC00157, 04DRB00661, 04DRB01227] *[Deferred from 11/3/04]* (H-12/H-13) **DEFERRED AT THE AGENT'S REQUEST TO 11/17/04.**

6. **Project # 1003705**
04DRB-01540 Major-Vacation of Public
Easements
04DRB-01539 Minor-Sketch Plat or Plan

FORSTBAUER SURVEYING LLC agent(s) for DR VIJAY AGARWAL request(s) the above action(s) for all or a portion of Lot(s) 7, 8 AND 9 and the south 47 feet of Lot(s) 4, 5, 6, Block(s) 22, **BROWNEWELL & LAILS HIGHLAND ADDITION**, zoned SU-2 MC, located on OAK ST NE, between TIJERAS NE and COPPER NE containing approximately 1 acre(s). [REF:V-78-38] *[Deferred from 11/3/04]* (K-15) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**

7. **Project # 1003717**
04DRB-01565 Major-Vacation of Pub
Right-of-Way

ERIC C JOHNSON request(s) the above action(s) for all or a portion of Lot(s) 6, Block(s) 38, **EASTERN ADDITION**, zoned SU-2 NCR, located on AVENIDA CESAR CHAVEZ SE, between BROADWAY SE and ARNO SE containing approximately 1 acre(s). (L-14) **VACATION WAS DENIED.**

8. **Project # 1003369**
04DRB-00514 Major-Drainage Plan to
Determine the Cost Allocation for Storm
Drainage Improvements

BOB KEERAN agent(s) for LLAVE CONSTRUCTION INC request(s) these action(s) for all or a portion of Unit(s) 3, Lot(s) 6 & 7, Tract(s) 3, Block(s) 16, NORTH ALBUQUERQUE ACRES, VINTNER COURT SUBDIVISION, zoned DETENTION POND, located on VINTNER NE, between VENTURA NE and CORONA NE containing approximately 2 acre(s). [Deferred from 5/12/04, 5/26/04, 6/9/04, 6/23/04, 7/14/04, 7/21/04, 8/11/04, 8/25/04, 9/8/04, 10/6/04 & 11/3/04] (C-20) **DEFERRED AT THE BOARD'S REQUEST TO JANUARY 12, 2005.**

9. **Project # 1003125**
04DRB-01505 Major-Bulk Land Variance
04DRB-01506 Minor-Prelim&Final Plat
Approval

MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D & S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN (OLD) NW and SHOOTING RANGE PARK RD NW containing approximately 300 acre(s). [Deferred from 10/27/04 & 11/3/04] [REF: 03EPC02054](F-6/G-6). **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**

- 04DRB-01630 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT AND RANCH JOINT VENTURE request(s) the above action(s) for all or a portion of Tract(s) D, F AND S, LANDS OF DOUBLE EAGLE II AIRPORT, (to be known as **AEROSPACE TECHNOLOGY PARK**) zoned SU-1 for AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW, between PASEO DEL VOLCAN NW and SHOOTING RANGE ACCESS RD NW containing approximately 300 acre(s). [REF: 03EPC02054, 04DRB01505, 04DRB01506][Chris Hyer, EPC Case Planner] [Deferred from 10/27/04 & 11/3/04] (F-5/G-6) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**

SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

10. **Project # 1001946**
04DRB-01670 Minor-SiteDev Plan
BldPermit/EPC
- WADE-TRIM agent(s) for TARGET CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A-1, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on PASEO DEL NORTE NE, between I-25 and SAN PEDRO NE containing approximately 11 acre(s). [REF: 04EPC01032, 04DRB01177, 04DRB01178, 04DRB01176] **[Makita Hill, EPC Case Planner]** *[Deferred from 11/3/04]* (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 11/17/04.**
11. **Project # 1003372**
04DRB-01234 Minor-SiteDev Plan Subd
- DEKKER/PERICH/SABATINI agent(s) for TIM OTT request(s) the above action(s) for all or a portion of Lot(s) 30-A, Block(s) 11, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 FOR M-1, located on ALAMEDA BLVD NE, between SAN MATEO BLVD NE and I-25 containing approximately 1 acre(s). [REF: 03DRB00092, DRB-96-352] (The site plan for building permit was withdrawn at the agent's request.) *[Site Plan for Subdivision was deferred from 8/18/04 & 9/8/04]* (C-18) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO ACCOMMODATE NEW PUBLIC SAS MANHOLE WITHIN NEW PUBLIC SAS & WATER EASEMENTS AND TO PLANNING FOR 3 COPIES OF SITE PLAN.**
- 04DRB-01665 Minor-Prelim&Final Plat
Approval
- Forstbauer Surveying agent(s) for Tijeras Place LLC request(s) the above action(s) for all or a portion of Lot(s) 30-A, Block(s) 11, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 FOR M-1, located on ALAMEDA BLVD NE, between SAN MATEO BLVD NE and I-25 containing approximately 1 acre(s). [REF: 03DRB00092, DRB-96-352, 04DRB01369] (C-18) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO ACCOMMODATE NEW PUBLIC SAS MANHOLE WITHIN NEW PUBLIC SAS & WATER EASEMENTS AND TO PLANNING TO RECORD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1002397**
04DRB-01668 Minor-Prelim&Final Plat Approval
- SURV-TEK INC agent(s) for LA ORILLA GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) 10, **BOSQUE PLAZA**, zoned C-1 (SC), located on COORS BLVD NW, between COORS BLVD NW and LA ORILLA RD WEST containing approximately 3 acre(s). [REF: 02DRB-01925, 01926, 03DRB00634, 04DRB00768, 04DRB01588, 04DRB01587, 04DRB00707, 04DRB00798] *[Deferred from 11/3/04]* (E-12) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**
13. **Project # 1002711**
04DRB-01646 Minor-Final Plat Approval
- MARK GOODWIN & ASSOCIATES agent(s) for STV INVESTMENTS VII, LLC request(s) the above action(s) for all or a portion of Lot(s) 7-12 and 21-26, Tract(s) A, NORTH ALBUQUERQUE ACRES, (to be known as **OAKLAND ESTATES**, zoned R-D residential and related uses zone, developing area, located on EAGLE ROCK AVE NE, between SAN PEDRO NE and LOUISIANA BLVD NE containing approximately 11 acre(s). [REF: 03EPC00907, 03EPC00908, 03EPC00915] (C-18) **FINAL PLAT WS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND OPEN SPACE NOTE.**
14. **Project # 1002948**
04DRB-01669 Minor-Final Plat Approval
- ISAACSON & ARFMAN, PA agent(s) for MS DEV ONE, LLC request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Tract(s) A1,171A1BA, LANDS OF JACK F CULLY (to be known as **VISTA FAISAN SUBDIVISION**, zoned RA-2, located on ADOBE RD NW, between GUADALUPE TRAIL NW and OPEN SPACE containing approximately 6 acre(s). [REF: 03EPC01736, 03DRB01485, 03DRB01486, 03DRB01497, 04DRB01504] (F-14) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR M.R.G.C.D. SIGNATURE AND PARKS FOR CASH-IN-LIEU.**

15. **Project # 1003573**
04DRB-01417 Minor-Prelim&Final Plat
Approval

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 28, 29 & 30, Block(s) 2, Tract(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3, **OAKLAND NORTH SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB-01138] *[Deferred from 9/22/04 & 10/6/04]* (C-20) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

16. **Project # 1003673**
04DRB-01637 Minor-Prelim&Final Plat
Approval
04DRB-01638 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 7, 8 and 9, Block(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **OAKLAND SOUTH SUBDIVISION**) zoned RD, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01424] *[Deferred from 10/27/04 & 11/3/04]* (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 11/10/04.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project # 1003748**
04DRB-01660 Minor-Sketch Plat or Plan

SANDRA DAVIS request(s) the above action(s) for all or a portion of Tract(s) 8-E & 9-E, **LANDS OF HOLLINGSWORTH**, zoned RA-2 residential and agricultural zone, located on ARCADIAN TRAIL NW, between VAN CLEAVE RD NW and GRIEGOS RD NW containing approximately 2 acre(s). (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. Approval of the Development Review Board Minutes for October 20, 2004. **THE DRB MINUTES FOR OCTOBER 20, 2004 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:40 A.M.

*Refer
11/10/04*

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003125 AGENDA#: 9 DATE: 11.3.04

1. Name: _____ Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

#2



COMPLETED 10/26/06 *SH* DRB CASE ACTION LOG (SITE PLAN SUBD)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **06DRB-00401 (SPS)**
Project Name **ECLIPSE AVIATION CAMPUS**
Agent: Dekker Perich Sabatini

Project # **1003125**
Phone No.: **761-9700**

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/15/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: public access thru property
by plat or paper easement *SH*

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 3 copies - DRB ok
#1 framed copy
statement on front page
AMOL

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1003125

4

1900

1901

X

X

.....

#2



DRB CASE ACTION LOG (SITE PLAN SUBD)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed!

DRB Application No.: 06DRB-00401 (SPS)

Project # 1003125

Project Name ECLIPSE AVIATION CAMPUS

Agent: Dekker Perich Sabatini

Phone No.: 761-9700

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/15/06 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: public access statement
by plat or paper easement

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 3 copies - DRB ok
statement on final plat

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1003125



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

APRIL 5, 2006

9:00 A.M.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 10:40 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. Project # 1000696

05DRB-01529 Major-Preliminary Plat
Approval

05DRB-01530 Minor-Sidewalk Waiver

05DRB-01531 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for ICDC LLC request(s) the above action(s) for all or a portion of Tract(s) C, LEE'S BOSQUE SUBDIVISION (to be known as **BOSQUECITO SUBDIVISION**) zoned RD, located on BOSQUE MEADOWS BLVD NW, between LA ORILLA NW and PASEO DEL NORTE containing approximately 7 acre(s). [Deferred from 10/26/05 & 11/9/05 & 11/23/05 & 11/30/05 & 1/4/06 & 1/25/06 & 2/22/06 & 3/15/06 & 4/5/06] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 4/19/06.**

SITE DEVELOPMENT PLANS (FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

2. **Project # 1003125**
06DRB-00401 Minor-SiteDev Plan
Subd/EPC

DEKKER PERICH SABATINI agent(s) for ECLIPSE AVIATION request(s) the above action(s) for all or a portion of Tract(s) D-1, DOUBLE EAGLE II AIRPORT, **ECLIPSE AVIATION CAMPUS**, zoned SU-1 FOR AIRPORT RELATED FACILITIES, located on AEROSPACE PARKWAY NW, between PASEO DEL VOLCAN NW and SHOOTING RANGE ACCESS RD NW containing approximately 150 acre(s). [REF: 03EPC02054, 04DRB01505, 04DRB01506] [Stephanie Shumsky, EPC Case Planner] (F-6) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/5/06 THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PUBLIC ACCESS EASEMENT BY PLAT OR A PAPER EASEMENT NEEDS TO BE RECORDED AND PLANNING FOR 3 COPIES OF THE SITE PLAN, AND THERE ARE TWO MODIFICATIONS THAT NEED TO BE MADE TO THIS SITE PLAN FOR SUBDIVISION. STEPHANIE SHUMSKY IS IN AGREEMENT ON THESE CHANGES. 1. ON THE SITE PLAN SHEET DIRECTLY UNDER "SITE PLAN FOR SUBDIVISION REQUIRED INFORMATION", THIS STATEMENT SHOULD APPEAR: THIS SITE PLAN FOR SUBDIVISION IS FOR THE ECLIPSE AVIATION CAMPUS ONLY (TRACT D-1) AND SUPERCEDES THAT PORTION OF THE PREVIOUSLY APPROVED AEROSPACE TECHNOLOGY PARK SITE PLAN FOR SUBDIVISION (03EPC-02054) WHICH INCLUDED THE ECLIPSE AVIATION CAMPUS PROPERTY. 2. UNDER #1, FRAMEWORK ON SHEET, THIS CHANGE SHOULD BE MADE: "...FUTURE SITE PLANS FOR BUILDING PERMIT SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD AND SHALL NOT REQUIRE...."**

3. **Project # 1004784**
06DRB-00402 Minor-SiteDev Plan
BldPermit

SANDERS & ASSOCIATES ARCHITECTS agent(s) for MIKE BAKER request(s) the above action(s) for all or a portion of Lot(s) 39, **ALAMEDA BUSINESS PARK**, zoned SU-2/IP-EP, located on CALLE ALAMEDA NE, between PASEO ALAMEDA NE and VISTA ALAMEDA NE containing approximately 1 acre(s). [REF:DRB-98-223] (C-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN AND ENVIRONMENTAL HEALTH ISSUES.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

4. **Project # 1001685**
06DRB-00405 Minor-Vacation of Private
Easements

GREAT BASIN ENGINEERING agent(s) for SMITH'S FOOD & DRUG CENTERS request(s) the above action(s) for all or a portion of Tract(s) 1B-2, PARADISE NORTH (to be known as **GOLF COURSE MARKET PLACE**) zoned C-2 (SC), located on MCMAHON BLVD NW and GOLF COURSE RD NW, containing approximately 8 acre(s). [REF: 04EPC-01348, 04EPC-01349, 04EPC-01590, 04ZHE-01924, 05DRB-01349, 05DRB-01350, 05DRB-01893, 05DRB01894] (A-12) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project # 1003483**
06DRB-00400 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for SANTOSH MODY request(s) the above action(s) for all or a portion of Lot(s) 17, 18 & 19, Block(s) 12, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on SAN PEDRO NE, between ALAMEDA BLVD NE and SIGNAL AVE NE containing approximately 3 acre(s). [REF: 04DRB-00881, 04DRB-01167] (C-18) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

6. **Project # 1004785**
06DRB-00403 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF W MEXICO agent(s) for L. DEVELOPMENT INC request(s) the above action(s) for or a portion of Lot(s) 18, Block(s) 1, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D 3DU/A, located on EAGLE ROCK AVE NE, between VENTURA ST NE and BARSTOW ST NE containing approximately 1 acre(s). (*Indef Deferred from 4/5/06*) (C-20) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

7. **Project # 1003885**
06DRB-00389 Minor-Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for FAMILY HOUSING DEVELOPMENT CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 4-7, 9-12 & 21-24, Block(s) 13, PEREA ADDITION (to be known as **BELL TRADING POST HOMES**), zoned SU-2 TH, located on ROMA AVE NW, between 15TH ST NW and 16TH ST NW containing approximately 1 acre(s). [REF: 05ZHE00271, 05ZHE00273, 05ZHE00274, 05DRB00057, 05DRB01674, 05DRB01675, 05DRB01676] (J-13) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR REVIEW OF CONSTRUCTION PLANS WITH EASEMENT AND CORRECT NOTES N AND P AND PLANNING TO RECORD THE PLAT.**

8. **Project # 1004360**
06DRB-00395 Minor-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for WASHINGTON INVESTORS request(s) the above action(s) for all or a portion of Lot(s) 313-A-2-A, ACRES ADDITION (to be known as **ENTRADA DEL BOSQUE**) zoned RA-2 residential and agricultural zone, located on MOUNTAIN RD NW, between GABALDON NW and LULAC AVE NW containing approximately 5 acre(s). [REF: 05DRB01737, 06DRB00025, 06DRB00024] (J-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ADA RAMPS IN RIGHT-OF-WAY AND PLANNING FOR RESTRICTIONS AND COVENANTS TO BE RECORDED, AGIS DXF FILE, MRGCD SIGNATURE AND TO RECORD.**

9. **Project # 1004177**
06DRB-00407 Major-Final Plat Approval
- BOHANNAN HUSTON . . . C agent(s) for D.R. HORTON HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 12-A VENTANA HIGHLANDS, UNIT 1, (to be known as **VENTANA HIGHLANDS, UNIT 3**, zoned R-LT residential zone, located on VENTANA RIDGE RD NW and DEL OESTE DR NW, containing approximately 26 acre(s). [REF:05DRB01122, 06DRB00374, 06DRB00098] (B-8) **FINAL PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**
10. **Project # 1004788**
06DRB-00408 Minor-Prelim&Final Plat Approval
- BOHANNAN HUSTON agent(s) for UNIVERSITY OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 1E1-A-1 and 1E2-A-1, 1E2-A-2, **UNIVERSITY OF NEW MEXICO, SCIENCE & TECHNOLOGY PARK**, zoned SU-1 PDA, PERMISSIVE USE OF O-1/C-2, IP, located on UNIVERSITY BLVD SE , between AVENIDA CESAR CHAVEZ SE and INTERSTATE 40 SE containing approximately 13 acre(s). [*Deferred from 4/5/06*] (L-15) **DEFERRED AT AGENT'S REQUEST TO 4/12/06.**
11. **Project # 1004036**
06DRB-00263 Minor-Final Plat Approval
- HALL SURVEYING CO agent(s) for MAX CONTRERAS request(s) the above action(s) for all or a portion of Tract(s) A & B, **MAX REPLAT**, zoned R-1 residential zone, located on RIO GRANDE BLVD NW, between LOS ANAYAS RD NW and ZICKERT NW containing approximately 2 acre(s). [REF: 05DRB 00446, 05DRB00922] [*Indef deferred from 3/8/06*] (H-12/H-13) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

12. **Project # 1004771**
06DRB-00373 Minor-Prelim&Final Plat Approval
- RON GARNER agent(or GARBAC, LLC request(s) the above action(s) for all or a portion of Lot(s) 4, 5 & 6, Block(s) 41, **RAYNOLDS ADDITION**, zoned SU-2/NCR, located on COAL AVE SW, between 10TH ST SW and 11TH ST SW containing approximately 1 acre(s). *[Deferred from 3/29/06 & 4/5/06]* (K-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/12/06.**
13. **Project # 1002176**
06DRB-00092 Major-Final Plat Approval
- SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT request(s) the above action(s) for all or a PORTION OF LAND IN SW 1/4 - NW 1/4 SECTION R4E TOGETHER W/ TRACT E-1, NORTH FOUR HILLS, (to be known as **COVERED WAGON SUBDIVISION**) zoned SU-1, located on FOUR HILLS RD SE, between LANIER DR SE and WATERFALL DR SE containing approximately 7 acre(s). *(Was Indef deferred on 2/1/06) [Deferred from 4/5/06]* (L-23) **DEFERRED AT THE AGENT'S REQUEST TO 4/12/06.**
14. **Project # 1004770**
06DRB-00372 Minor-Prelim&Final Plat Approval
- WAYJOHN SURVEYING INC agent(s) for COE PROPERTIES, STEVE COE request(s) the above action(s) for all or a portion of Lot(s) 9-12, Block(s) 10, **MESA GRANDE ADDITION**, zoned O-R, located on SIERRA DR SE, between SILVER AVE SE and ZUNI RD SE containing approximately 1 acre(s). *[Deferred from 3/29/06 & 4/5/06]* (K-17) **DEFERRED AT THE AGENT'S REQUEST TO 4/12/06.**
15. **Project # 1004766**
06DRB-00361 Minor-Prelim&Final Plat Approval
- LAND DEVELOPMENT CONSULTANTS agent(s) for JESUS & CINDY FRAIRE request(s) the above action(s) for all or a portion of Lot(s) 12 & 13, Block(s) 2, **GREGORIO & RAFAEL APODACA ADDITION**, zoned SU-2 MR, located on JESUS ST SE, between DAN AVE

SE and JESUS ST SE aining approximately 1 acre(s).
[Deferred from 3/29/06] [Indef deferred from 4/5/06] (L-14)
**INDEFINITELY DEFERRED AT THE AGENT'S
REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1004782**
06DRB-00398 Minor-Sketch Plat or Plan
THOMAS GUITERREZ request(s) the above action(s) for all or a portion of Lot(s) 18, Block(s) 1, **SLOANS ACRES**, zoned R-1, located on ESTANCIA NW, between WAYNE NW and EVERITT NW containing approximately 1 acre(s). (G-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1004789**
06DRB-00409 Minor-Sketch Plat or Plan
REBECCA LANGTON request(s) the above action(s) for all or a portion of Lot(s) 10A & 10B, **GAUL - RL ADDITION**, zoned R-1 residential zone, located on 4TH ST NW, between GRIEGOS NW and MONTANO NW containing approximately 1 acre(s). (F-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. Approval of the Development Review Board Minutes for March 29, 2006. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR MARCH 29, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:40 A.M.

**DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet**

DRB- 1003125 Item No. 2 Zone Atlas F-6

DATE ON AGENDA 4-5-06

INFRASTRUCTURE REQUIRED YES NO

CROSS REFERENCE: _____

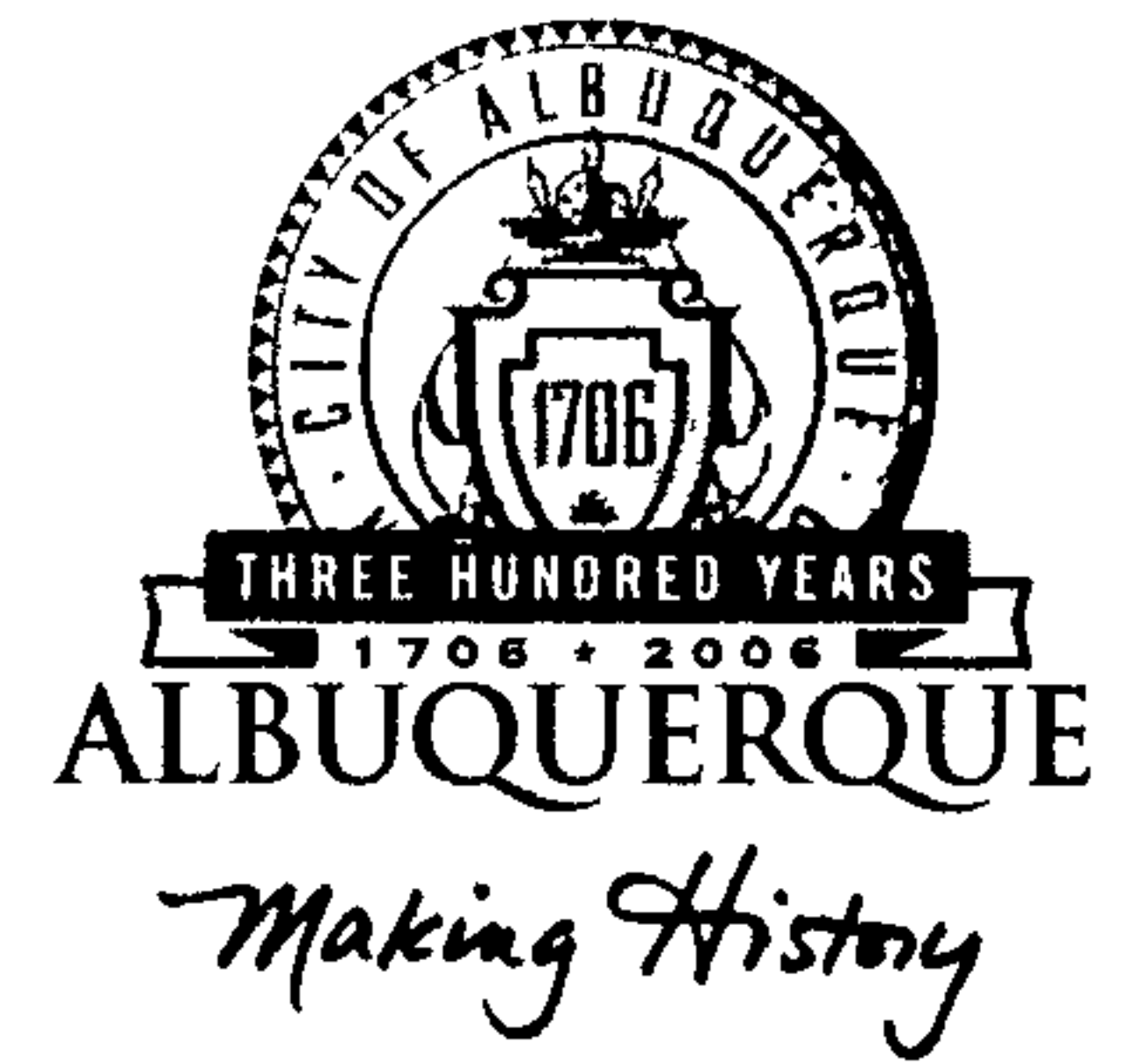
TYPE OF APPROVAL REQUESTED:

- SKETCH PLAT PRELIMINARY PLAT FINAL PLAT
- SITE PLAN REVIEW AND COMMENT SITE PLAN FOR SUBDIVISION
- SITE PLAN FOR BUILDING PERMIT

<u>No.</u>	<u>Comment</u>
1)	Standard infrastructure per DPM is required.
2)	AQIA analysis?
3)	Where are the rest of the infrastructure improvements per the TIS?
4)	The public access easement needs to be in place, infrastructure for the cul-de-sac needs to be listed.

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 2

SUBJECT:

Site Plan for Subd

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: APRIL 5, 2006

**CITY OF ALBUQUERQUE
Planning Department
April 5, 2006
DRB Comments**

ITEM # 2

PROJECT # 1003125 APPLICATION # 06-00401

RE: Eclipse Aviation Campus/sps/epc

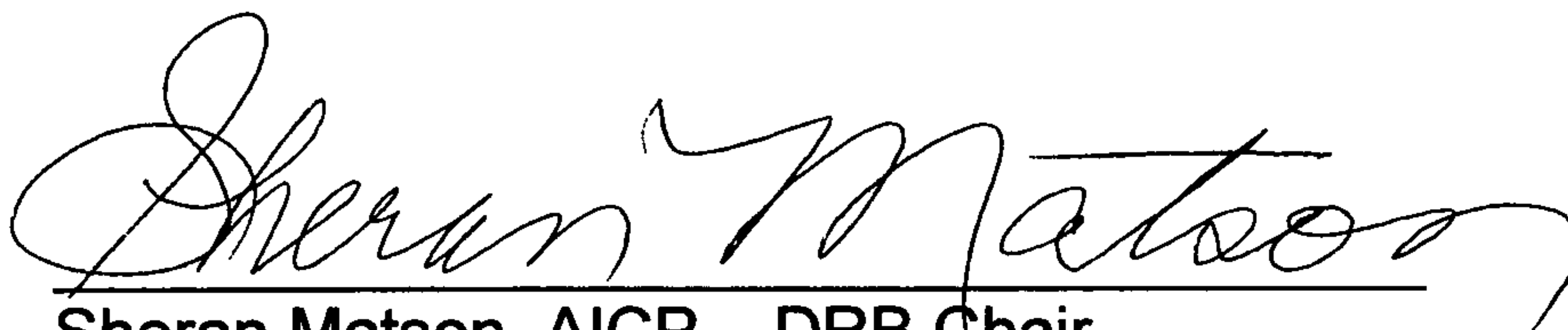
There are two modifications that need to be made to this site plan for subdivision. Stephanie Shumsky is in agreement on these changes.

1. On the site plan sheet directly under "Site Plan for Subdivision Required Information", this statement should appear:

This Site Plan for Subdivision is for the Eclipse Aviation Campus only (Tract D-1) and supercedes that portion of the previously approved Aerospace Technology Park Site Plan for Subdivision (03EPC-02054) which included the Eclipse Aviation Campus property.

2. Under #1, Framework on Sheet, This change should be made:

"...future Site Plans for Building Permit shall be delegated to the Development Review Board and shall not require..."



Sheran Matson, AICP DRB Chair
914-3880 fax 924-3864 smatson@cabq.gov



City of Albuquerque

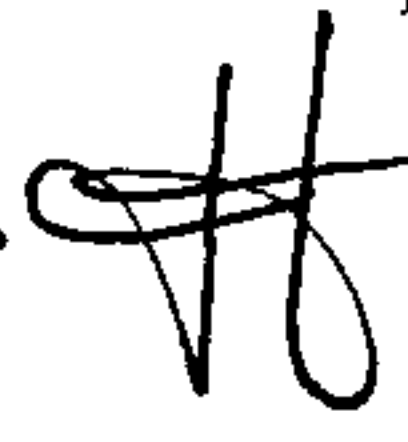
Aviation Department

Phone: (505) 244-7700 FAX: (505) 842-4278

Martin J. Chavez, Mayor

Interoffice Memorandum

To: Sheran Matson, AICP, Chair, Development Review Board

From: Jim Hinde, Planning Manager 

Subject: Eclipse Aviation Site Development Plan for Subdivision at the Aerospace Technology Park at Double Eagle II Airport

It is our understanding that the final submittal for the referenced plan will soon go before the Development Review Board for approval. As a condition of approval by the Environmental Planning Commission for this case, it was indicated that an Air Quality Impact Analysis (AQIA) would have to be performed by the Aviation Department. This is to advise you that the AQIA is under way as part of the Environmental Assessment being performed at Double Eagle II Airport for runway and roadway work, and is anticipated to be completed no later than September of this year.

In light of the fact that this work is the responsibility of the Aviation Department we respectfully request that the approval of the Eclipse site development plan not be withheld pending completion of the AQIA.

Drb030306

April 3, 2006

City of Albuquerque
Planning Department
Inter-Office Memorandum



TO: Sheran Matson, DRB Chair

FROM: Stephanie Shumsky, Planner

SUBJECT: Project # 1003125

On May 19, 2005, the Environmental Planning Commission approved Project # 1003125/05EPC-00566, a request for approval of a site development plan for subdivision for approximately 150-acres, zoned SU-1 for Airport and Related Facilities located on Double Eagle II Airport Road between Paseo del Volcan and Shooting Range Access Road. The applicant has satisfied all of the conditions of approval.

Regarding Conditions #2 and 3:

The applicant has met the requirements of conditions #2 and #3 with the provision of a letter to the DRB dated March 28, 2006. The City is primarily responsible for the information required to fulfill these two conditions. These conditions will be met prior to development of the site as evidenced in the applicant's letter and supplemental information.

Regarding Condition #4: On 3/10/06, the applicant's agent met with Planning staff to discuss EPC Condition #4, which both the applicant and staff felt was written too ambiguously to enforce and did not meet the intent of Eclipse Aviation and/or the Planning Commission. The language proposed by the applicant, and reflected in the changes to the site plan, clarifies the requirement while meeting the intent of the EPC.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3933.

Thank you.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: August 08, 2007
Z one Atlas Page: F-6, G-6
Notification Radius: 100 Ft.

**Project# 1003125
App#07DRB-70128**

**Cross Reference and Location: DOUBLE EAGLE II AIRPORT BETWEEN
PASEO DEL VOLCAN AND SHOOTNG RANGE PARK RD**

Applicant: MOLZEN CORBIN & ASSOCIATES
2701 MILES RD SE
ALBUQUERQUE, NM 87106

Agent: AVIATION AND ESCAPE AVIATION
2503 CARR LOOP SE
ALBUQUERQUE, NM 87106

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: JULY 20, 2007
Signature: ERIN TREMLIN



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): MOLLEN-CORBIN & ASSOC. PHONE: 242-5700
 ADDRESS: 2701 MILES RD SE A FAX: 242-0673
 CITY: ALBUQUERQUE STATE NM ZIP 87104 E-MAIL: MPROVINE@MOLLEN-CORBIN.COM

APPLICANT: CITY OF ALBUQUERQUE / AVIATION AND ECLIPSE AVIATION PHONE: 244-7805
 ADDRESS: PO BOX 7148 / 2503 CLARK CARR LOOP SE FAX: 244-7793
 CITY: ALBUQUERQUE STATE NM ZIP 87119 E-MAIL: L.JONES@ECLIPSEAVIATION.COM

Proprietary interest in site: OWNERS List all owners: CCA/AVIATION; ECLIPSE AVIATION

DESCRIPTION OF REQUEST: VACATE PUBLIC ACCESS EASEMENT ON TRACTS D-1 & S-1

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No: TRACT D-1 & S-1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: LANDS OF DOUBLE EAGLE II AIRPORT AEROSPACE TECHNOLOGY PARK
 Existing Zoning: SU-1 AIRPORT RELATED Proposed zoning: N/A MRGCD Map No _____
 Zone Atlas page(s): E-6-6 UPC Code: 10006111022530101 ; 10006020543520144

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App, DRB-, AX_Z_, V_, S_, etc). 04 DRB-01630
03 EPC-02054

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO 150,000 TRACT D-1
 No of existing lots: 2 No of proposed lots: 2 Total area of site (acres): 101.912 TRACTS-1
 LOCATION OF PROPERTY BY STREETS: On or Near: DOUBLE EAGLE II AIRPORT
 Between: BASEO DEL VOLCAN and SHOOTING RANGE PARK RD

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE: [Signature] DATE: 7/12/07
 (Print) JOHN M. PROVINE, P.E. Applicant Agent

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F	Fees
<u>07 DRB - 70128</u>	<u>VPE</u>	<u>✓</u>	<u>\$ 0</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>August 8, 2007</u>			Total \$ <u>0</u>

[Signature] 7/13/07
 Planner signature / date

Project # 1003125

Form revised 4/07

FORM V: SUBDIVISION VARIANCES & VACATIO

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
 ___ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- VACATION OF PUBLIC EASEMENT (DRB27)**
 VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)
 The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
 (Not required for City owned public right-of-way.)
 Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 Zone Atlas map with the entire property(ies) clearly outlined
 Letter briefly describing, explaining, and justifying the request
 Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 Sign Posting Agreement
 Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
 SIDEWALK WAIVER (DRB21)
 ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the variance or waiver
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the variance
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)
 ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the deferral or extension
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- VACATION OF PRIVATE EASEMENT (DRB26)**
 VACATION OF RECORDED PLAT (DRB29)
 ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 ___ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions

 Jerald M. Provine
 Applicant name (print)

 JJP 7/12/07
 Applicant signature / date



- Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed
- Application case numbers
 07 DRB- _____ - 70128
 _____ - _____
 _____ - _____

Form revised 4/07

 Auden S. S. 7/13/07
 Planner signature / date
 Project # 1003125

R e c	UPC CODE	OWNER	OWNER ADDRESS	OWN ER CITY	OW NE R S T A T E	OW NE R Z I P C O D E	PR OP ER TY CL AS S	TA X DI ST RI CT	LEGAL
1	10060 60277 44410 145	CITY OF ALBUQUE RQUE	PO BOX 129 3	ALB UQU ERQ UE	N M	871 03 129 3	V	A1 A	TR S- 2 BULK LAND PLAT FOR AEROSPACE TECHNOL OGY PARK TRACTS D & S OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS CONT 90.3889 AC
2	10060 60080 44620 144	CITY OF ALBUQUE RQUE	PO BOX 129 3	ALB UQU ERQ UE	N M	871 03 129 3	V	A1 A	TR S- 1 BULK LAND PLAT FOR AEROSPACE TECHNOL OGY PARK TRACTS D & S OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS CONT 101.972 4 AC
3	10060 61096 05530 102	RANCH JOINT VEN TURE LLP	18818 TEL LER AVENU E SUITE 2 00	IRVI NE	C A	926 12	V	A1 A	TR D- 2 BULK LAND PLAT FOR AEROSPACE TECHNOL OGY PARK TRACTS D & S OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS CONT 50 0000 AC
4	10060 61099 26730 101	ECLIPSE AVIATION CORP	2503 CLAR K CARR LP SE	ALB UQU ERQ UE	N M	871 06	V	A1 A	TR D- 1 BULK LAND PLAT FOR AEROSPACE TECHNOL OGY PARK TRACTS D & S OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS CONT 150.000 AC
5	10060 61260 08540 101	STATE OF NEW ME XICO COMMISSION ER OF PUBLIC LAN DS	PO BOX 114 8	SAN TAF E	N M	875 04 114 8	V	A1 A	TR E BULK LAND PLAT OF DOUBLE EAGLE II AIR PORT AND ADJACENT LANDS CONT 51.0468 AC
6	10050 61495 21540 125	STATE OF NEW ME XICO COMMISSION ER OF PUBLIC LAN DS	PO BOX 114 8	SAN TAF E	N M	875 04 114 8	V	A1 A	TR B BULK LAND PLAT OF DOUBLE EAGLE II AIR PORT AND ADJACENT LANDS CONT 251.0468 A C
7	10050 60270 18540 144	WESTLAND DEVEL OPMENT CO INC	401 COOR S BLVD NW	ALB UQU ERQ UE	N M	871 21	V	X1 A	TR OF LAND WITHIN TOWN OF ATRISCO GRANT SEC 2 T10N R1E CONT 375.52 AC +-
8	10060 60278 18540 144	WESTLAND DEVEL OPMENT CO INC	401 COOR S BLVD NW	ALB UQU ERQ UE	N M	871 21	V	X1 A	TR OF LAND WITHIN TOWN OF ATRISCO GRANT SEC 1 T10N R1E CONT 383.45 AC +-
9	10050 60275 42510 144	CITY OF ALBUQUE RQUE	PO BOX 129 3	ALB UQU ERQ UE	N M	871 03 129 3	V	A1 A	TR R BULK LAND PLAT OF DOUBLE EAGLE II AIR PORT AND ADJACENT LANDS CONT 259.0448 A C

Or Current Resident
CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE, NM 87103 1293

Or Current Resident
CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE, NM 87103 1293

Or Current Resident
CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE, NM 87103 1293

Or Current Resident
ECLIPSE AVIATION CORP
2503 CLARK CARR LP SE
ALBUQUERQUE, NM 87106

Or Current Resident
RANCH JOINT VENTURE LLP
18818 TELLER AVENUE SUITE 200
IRVINE, CA 92612

Or Current Resident
STATE OF NEW MEXICO
COMMISSIONER OF PUBLIC LANDS
PO BOX 1148
SANTA FE, NM 87504 1148

Or Current Resident
STATE OF NEW MEXICO
COMMISSIONER OF PUBLIC LANDS
PO BOX 1148
SANTA FE, NM 87504 1148

Or Current Resident
WESTLAND DEVELOPMENT CO INC
401 COORS BLVD NW
ALBUQUERQUE, NM 87121

Or Current Resident
WESTLAND DEVELOPMENT CO INC
401 COORS BLVD NW
ALBUQUERQUE, NM 87121

Project# 1003125
MOLZEN CORBIN & ASSOC.
2701 MILES RD SE
ALBUQUERQUE, NM87106

Project# 1003125
AVIATION AND ECLIPSE AVIATION
2503 CLARK CARR LOOP SE
ALBUQUERQUE, NM 8710



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: June 26, 2007

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on June 26, 2007
(date)

TO CONTACT NAME: Mike Provine / Debi Dodge
COMPANY/AGENCY: Molzen-Corbin & Associates
ADDRESS/ZIP: 2701 Mills Rd SE 87106
PHONE/FAX #: 242-5700 / 242-0473

Contacted the Office of Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at Double Eagle II Airport and Aerospace Technology Park at Double Eagle II Airport
zone map page(s) F-4-6.

Our records indicate that as of 6-26-07, there were **no Recognized**
(date)

Neighborhood Associations in this area.

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Malina S. Carmona
OFFICE OF NEIGHBORHOOD COORDINATION

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

The street address of the subject property.

The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.

A physical description of the location, referenced to streets and existing land uses.

A complete description of the actions requested of the EPC:

- If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
- If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
- If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
- The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in **each** application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.


Thank you for your cooperation on this matter

.....
(below this line for ONC use only)

Date of Inquiry: 10-26-07

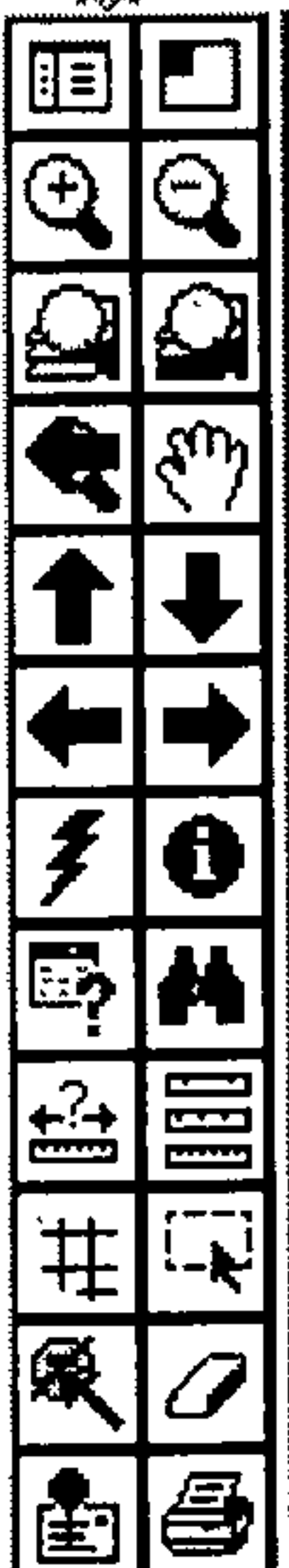
Time Entered: 11am

ONC Rep. Initials: pe



CITY OF ALBUQUERQUE
www.cabq.gov

ALBUQUERQUE GIS DATA WEBSITE



D1

D2

S1

B

R

LAYERS

- STREETS
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRESS
- ZONING
- OWNERSHIP
- 2FT CONTOUR
- ADDRESS POINTS
- LANDUSE
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
 - MUNICIPAL LIMITS
 - ZONE GRID
 - NEIGHBORHOODS
 - METRO DEV AREA
 - DASZ
 - DESIGN OVERLAY
 - POLICE BEATS
 - COUNCIL
 - PARKS
 - PETROGLYPH MNT
 - BOSQUE SECTORS
 - OPENSOURCE
 - COMP PLAN
 - AREA PLANS
 - SECTOR PLANS
 - SENATE DISTRICT
 - REP. DISTRICTS
 - PLANNING AREAS
 - HISTORIC ZONES
 - CORRIDORS
 - ZIPCODES
 - POVERTY POCKET
- SITES
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
 - 2006 AIR PHOTO
 - 2004 AIR PHOTO
 - 2002 AIR PHOTO
 - 1999 AIR PHOTO

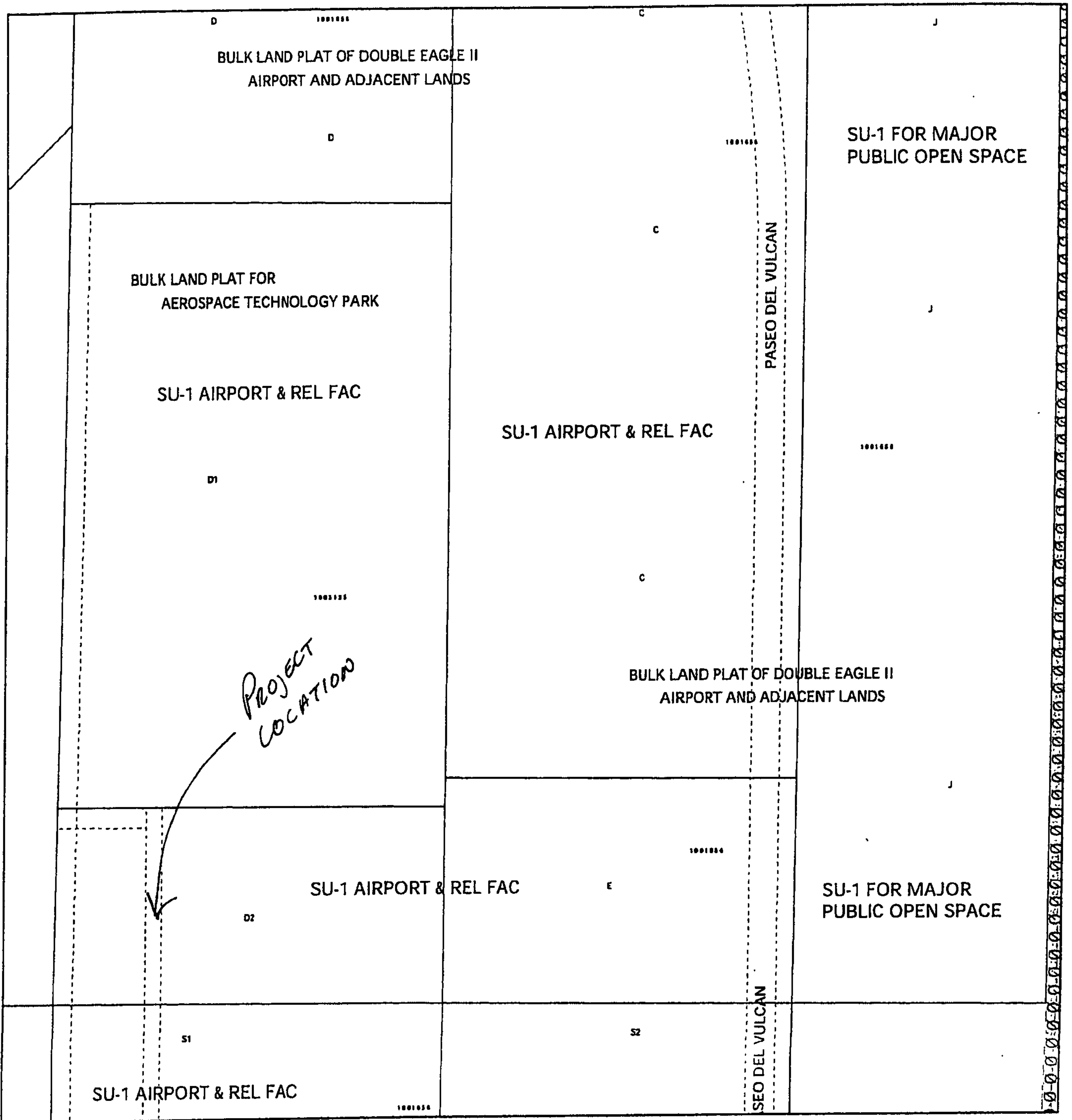
Refresh Map

Auto Refresh

OWNERSHIP		
Rec	UPC CODE	OWNER
1	100606027744410145	CITY OF ALBUQUERQUE
2	100606008044620144	CITY OF ALBUQUERQUE

Buffer
SEARCH
REFRESH
HELP
INDEX PAGE

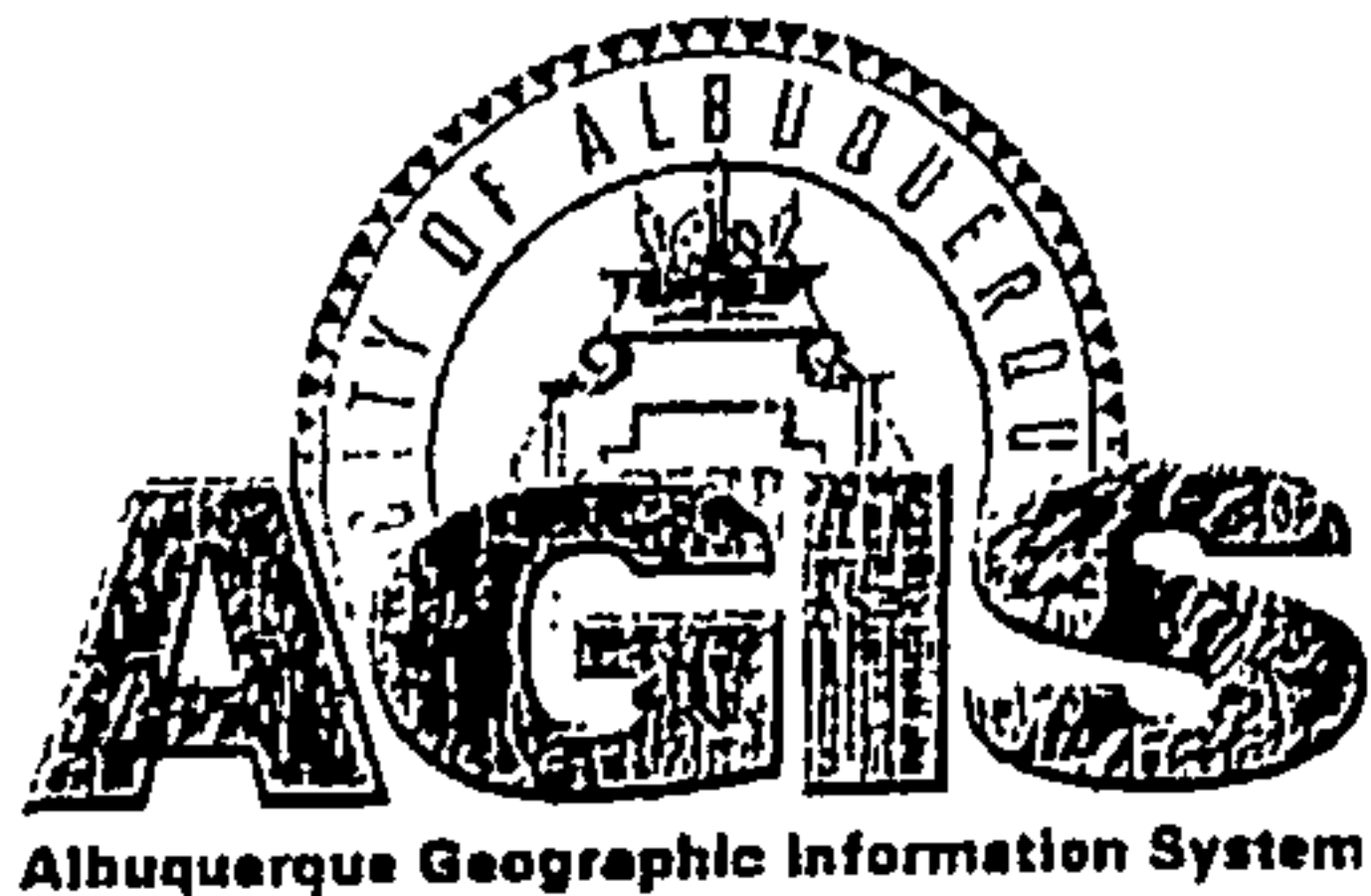
[CONTACT](#)



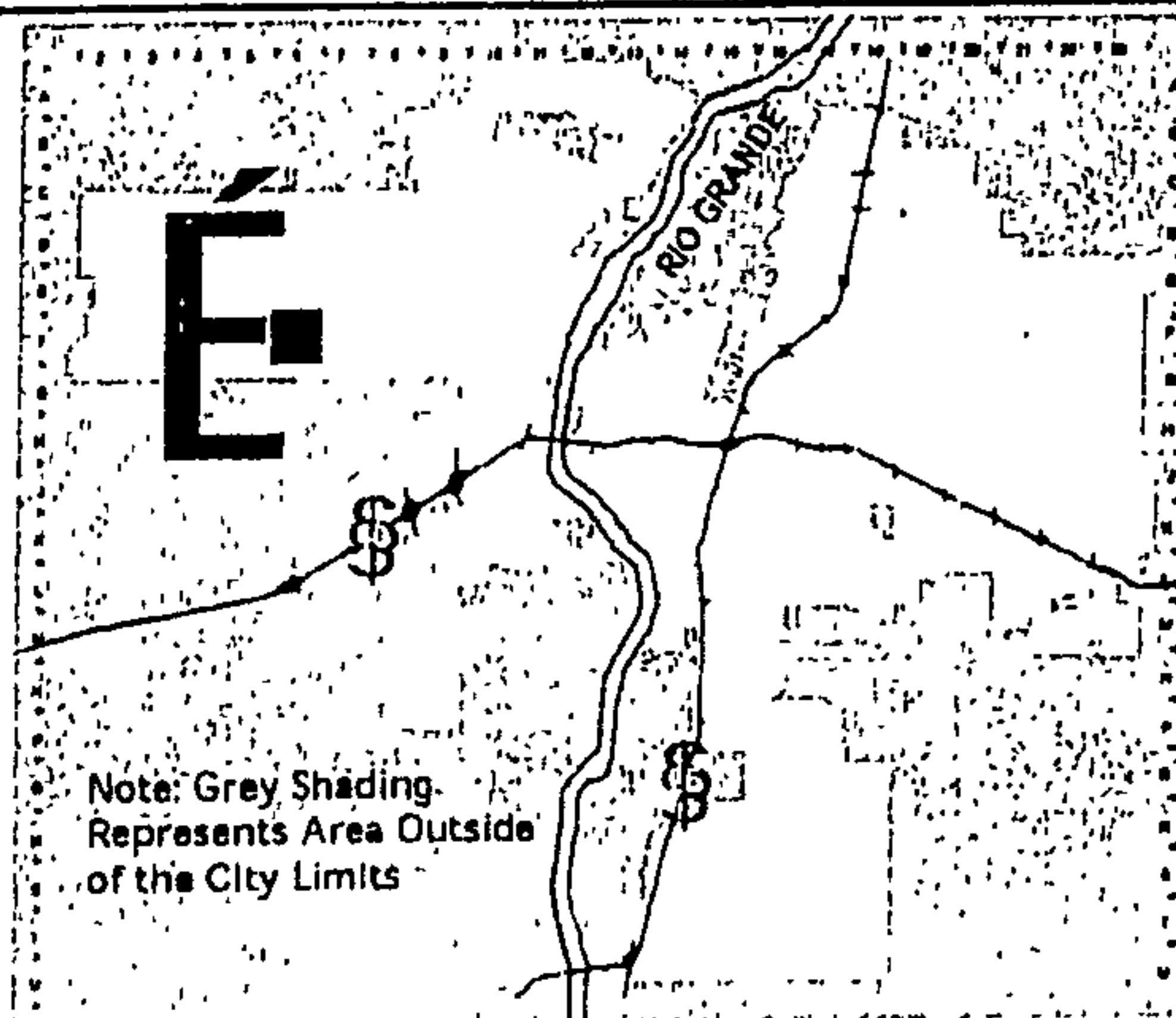
For more current information and more details visit: <http://www.cabq.gov/gis>

Zone Atlas Page:

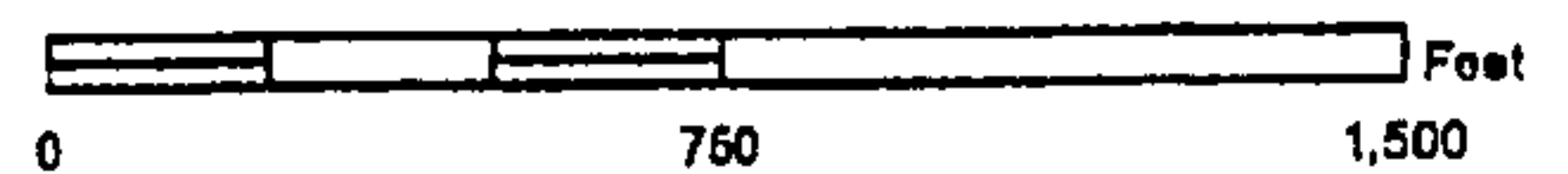
F-6-Z



Map amended through: Apr 22, 2005



- Selected Symbols**
- Outside City Limits
 - Sector Plans
 - Design Overlay Zones
 - City Historic Zone
 - KKKH-1 Buffer Zone
 - Petroglyph Mon.
 - Escarpment
 - 2 Mile Airport Zone
 - Airport Noise Contours
 - Wall Overlay Zone



SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from

July 24, 2007 To August 8, 2007

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Debi Dodge
(Applicant or Agent)

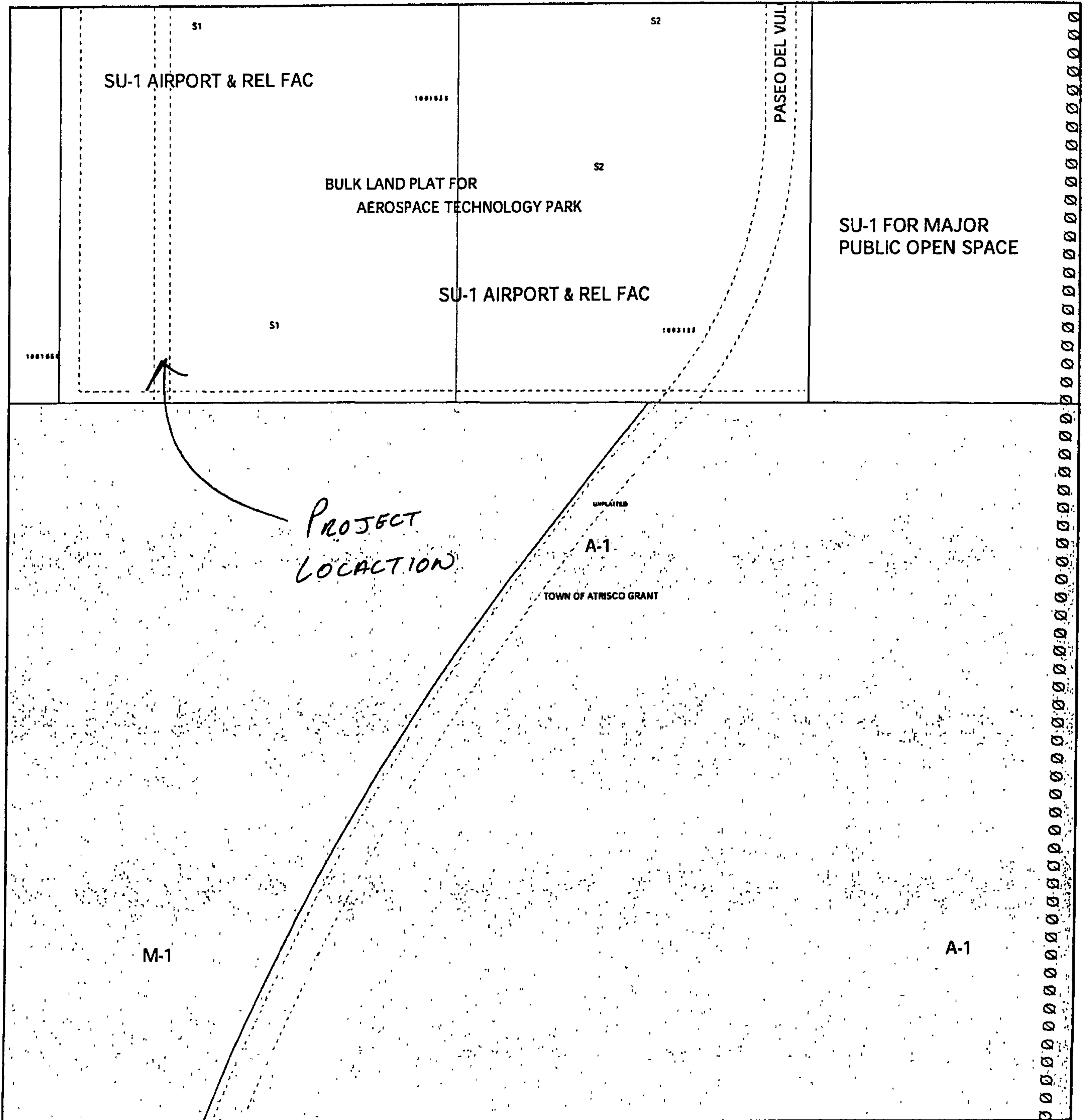
7-13-07
(Date)

issued 2 signs for this application,

July 13, 2007
(Date)

Andrew Smith
(Staff Member)

DRB PROJECT NUMBER: 1003125



For more current information and more details visit: <http://www.cabq.gov/gis>

City of Albuquerque
AGIS
Albuquerque Geographic Information System

Note: Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:
G-6-Z

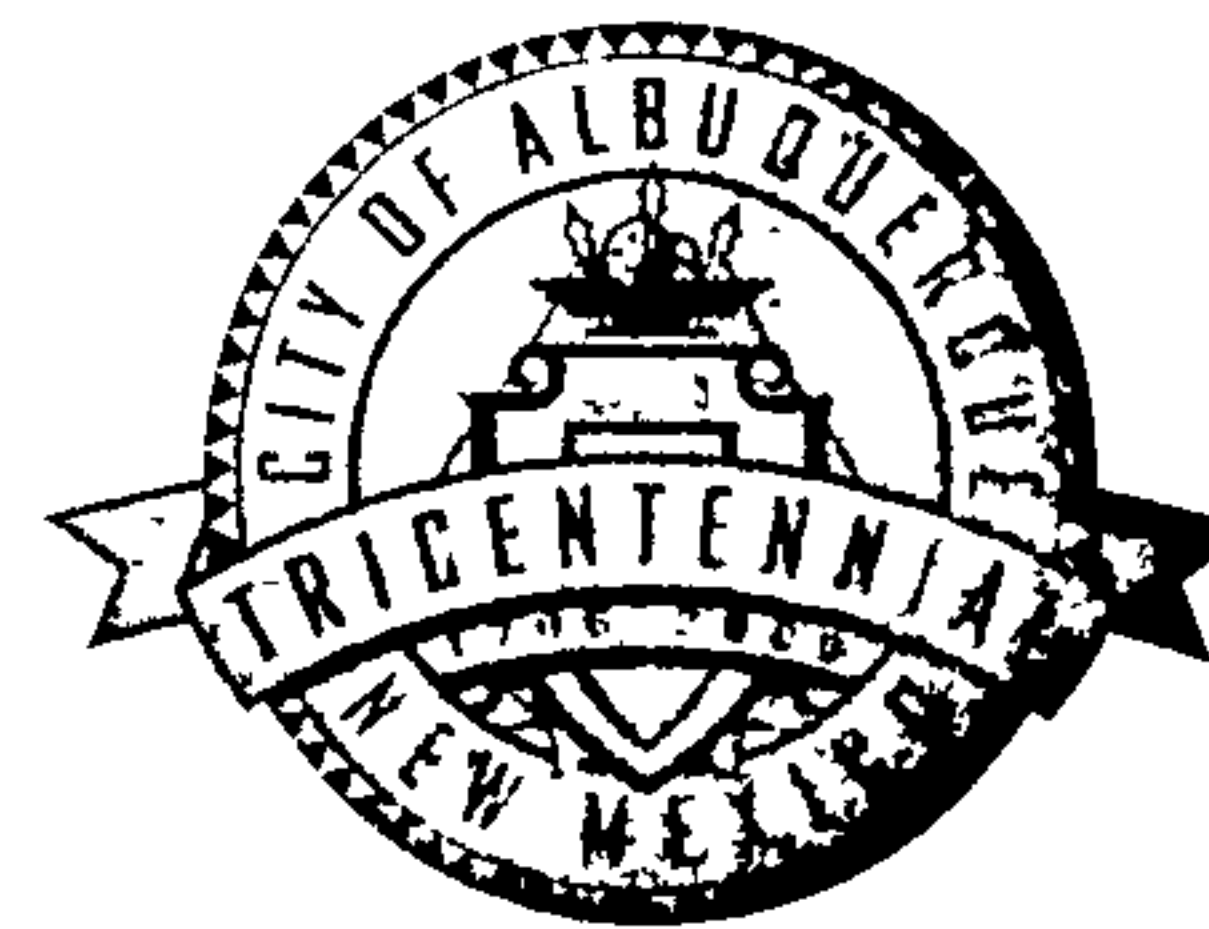
Selected Symbols

Outside City Limits	Ø Ø	Petroglyph Mon.
Sector Plans	▽▽	Escarpment
Design Overlay Zones	—	2 Mile Airport Zone
City Historic Zone	—	Airport Noise Contours
KKK	H-1 Buffer Zone	Wall Overlay Zone

0 750 1,500 Feet

Map amended through: Apr 22, 2005

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003125

AGENDA ITEM NO: 1

SUBJECT:

Vacation of Public Easement

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No objection to Vacation request.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: AUGUST 8, 2007
505-924-3986

0

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1003125 AGENDA# 1 DATE: 08/08/07

1. Name: Tim Aluffa Address: 1009 Braker St S.F. Zip: 87112
2. Name: Jay Schuöler Address: State Land Office
310 Old Santa Fe Trail
Santa Fe, NM 87501 Zip: 87501
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 8, 2007

Project# 1003125
07DRB-70128 VACATION OF PUBLIC EASEMENT

MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE - ECLIPSE AVIATION request(s) the above action(s) for all or a portion of Tract(s) D-1 & S-1, **LANDS OF DOUBLE EAGLE II AEROSPACE TECHNOLOGY PARK**, zoned SU-1 AIRPORT & RELATED FACILITIES, located on DOUBLE EAGLE II AIRPORT SE BETWEEN PASEO DEL VOLCAN SE AND SHOOTING RANGE containing approximately 251 acre(s). (F/G-6)

AMAFCA

No adverse comments.

COG

Albuquerque and Bernalillo County have submitted projects 406.0 and 406.1, widening-rehabilitation and bicycle trails along the Paseo del Volcan right-of-way. Coordination with DMD and County Public Works staff is recommended to insure proposal conformity with these planned projects.

Transit

No comments received.

Zoning Enforcement

No adverse comments.

Neighborhood Coordination

No Association(s)

APS

Lands of Double Eagle II Aerospace Technology Park, (Tracts D-1 and S-1, Lands of Double Eagle II Aerospace Technology Park), located on Double Eagle II Airport NW between Paseo Del Volcan NW and Shooting Range Park Rd NW, is requesting a vacation of public easements. The above request will have no adverse impacts on the APS district.

Police Department

No crime prevention or CPTED comments at this time.

Fire Department

No adverse comments.

PNM Electric & Gas

Vacation of Public Easement: Not Approved...
PNM Reserves its gas and electric easement.

Comcast

No comments received.

QWEST

No comments received.

Environmental Health

No comments received.

M.R.G.C.D.

No comments received.

Open Space Division

No adverse comments.

City Engineer The Hydrology section has no objection to the vacation request.

Transportation Development

Assuming the vacation request is for the 106' western access easement, then transportation has no objection since the eastern access easement is in place.

Parks & Recreation

No objection.

ABCWUA

No objection to Vacation request.

Planning Department

No objection to the vacation request. Defer to Transportation. There was a new plat in the packet to complete the vacation. However, the replat was not requested on the application.

Impact Fee Administrator

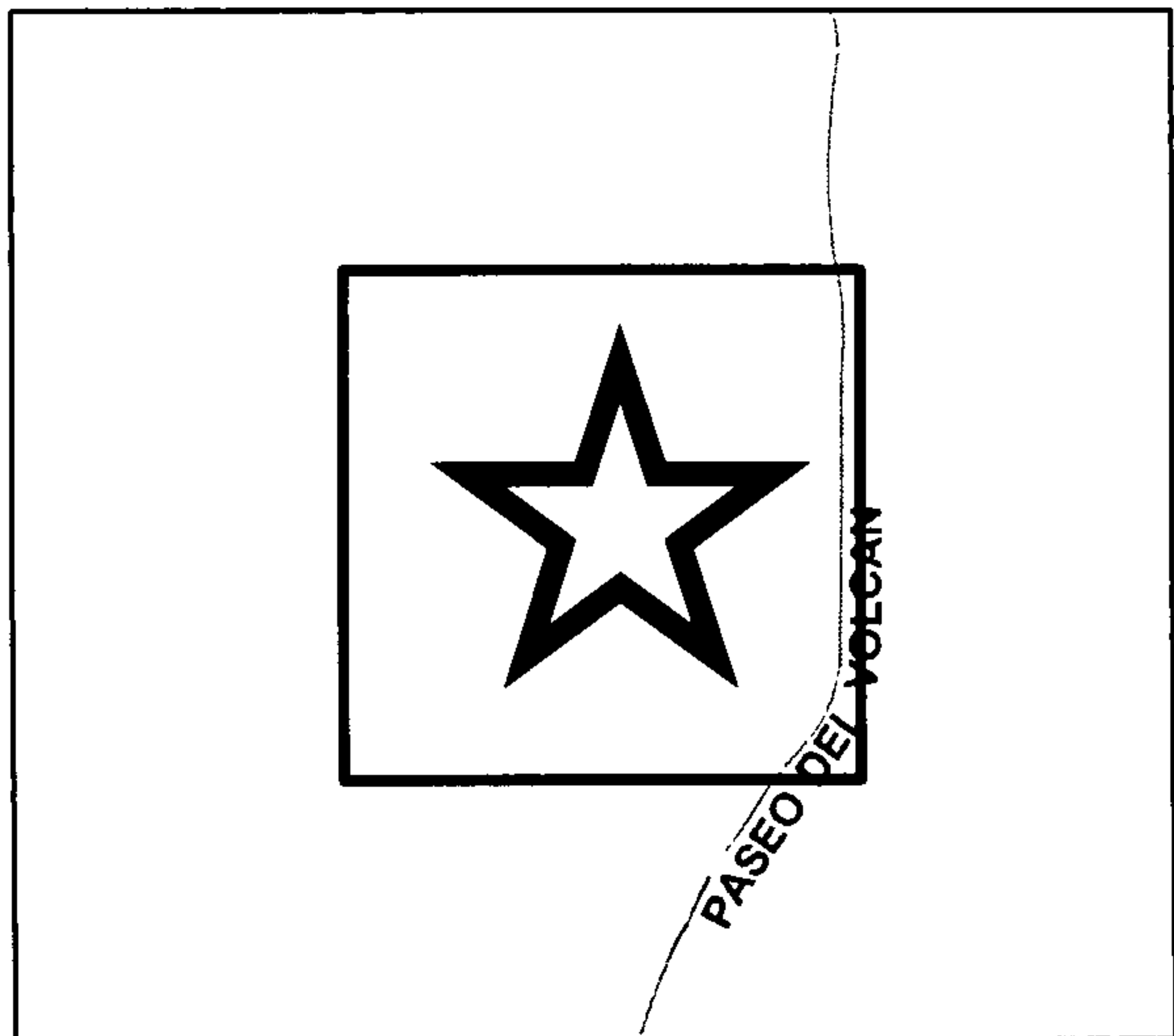
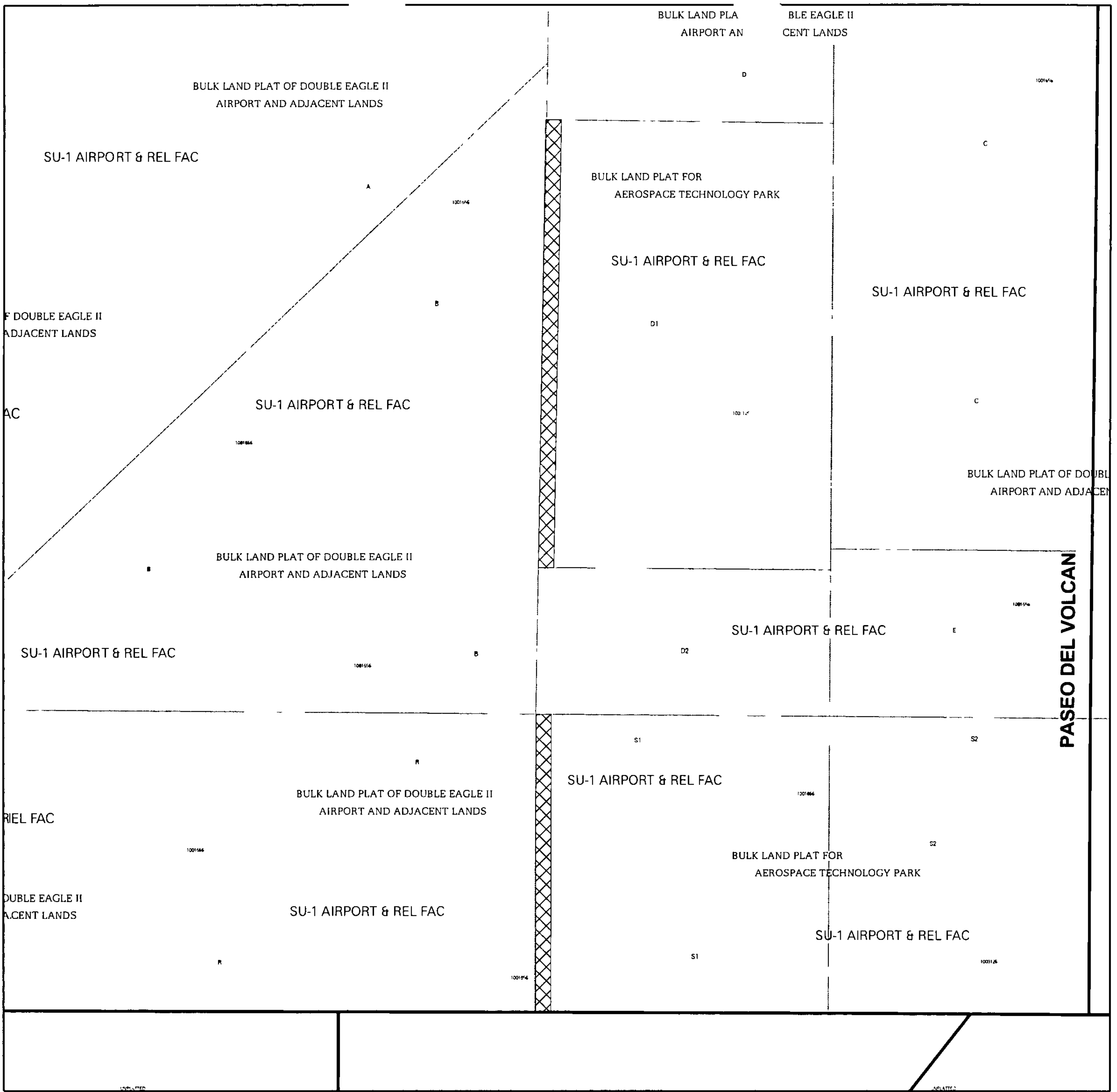
No comment on proposed vacation of public easement.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: Molzen-Corbin & Associates, 2701 Miles Rd SE, 87106

City of Albuquerque, P.O. Box 9948, 87119

Aviation and Eclipse Aviation, 2503 Clark Carr Loop SE, 87106



ZONING MAP

Note: Grey shading indicates County.



1 inch equals 1,000 feet

Project Number:

1003125

Hearing Date:

8/8/2007

Zone Map Page:

F-6 & G-6

Additional Case Numbers:

07DRB-70128

CITY OF ALBUQUERQUE



Martin J. Chávez
Mayor

Nicholas S. Bakas
Director of Aviation

May 14, 2008

Mr. Matthew Conrad
Chief Zoning Enforcement Officer
City of Albuquerque Planning Department
P.O. Box 1293
Albuquerque, NM 87103

P.O. Box 9948

RE: **Double Eagle II Airport Development/Double Eagle II Airport Master Plan**

Mr. Conrad:

Albuquerque

New Mexico

87119-1048

www.cabq.gov

This letter serves as the Aviation Department's request for concurrence on review procedure for airside development at the Double Eagle II that is consistent with the Airport Layout Plan (ALP) included in the Double Eagle II Airport (DEII) Master Plan approved by the City in December, 2002. The ALP is the Site Plan for Subdivision, per se, for DEII. Airside development has been defined as development within the airport perimeter fence (both at DEII and at the Sunport). The Aviation Department has certain federal grant assurances and Federal Aviation Administration regulations that control airside development. Development on the airside must be related to aviation and airport use as stipulated in these federal requirements.

The DEII property is zoned SU-1 for Airport and related uses. It has been brought to our attention that unless delegation is made to the Development Review Board (DRB) for review of site development plans for building permit, all proposed development, landside and airside, must receive approval from the Environmental Planning Commission or City Council, whether or not the development is consistent with the SU-1 Airport zoning and the federal requirements. We do not believe that is consistent with past development efforts by the Aviation Department and Planning Department at DEII for airside development that is shown in the airport master plan. Additionally, development at the Aerospace Technology Park at DEII that is consistent with the EPC approved Site Plan for Subdivision is delegated to DRB for site development plans for building permit review and approval without public hearing (Site Plan for Subdivision - Aerospace Technology Park, EPC 03EPC-0254). We believe that delegation provisions made for the Aerospace Technology Park should also be provided for adjacent airside development within the airport.

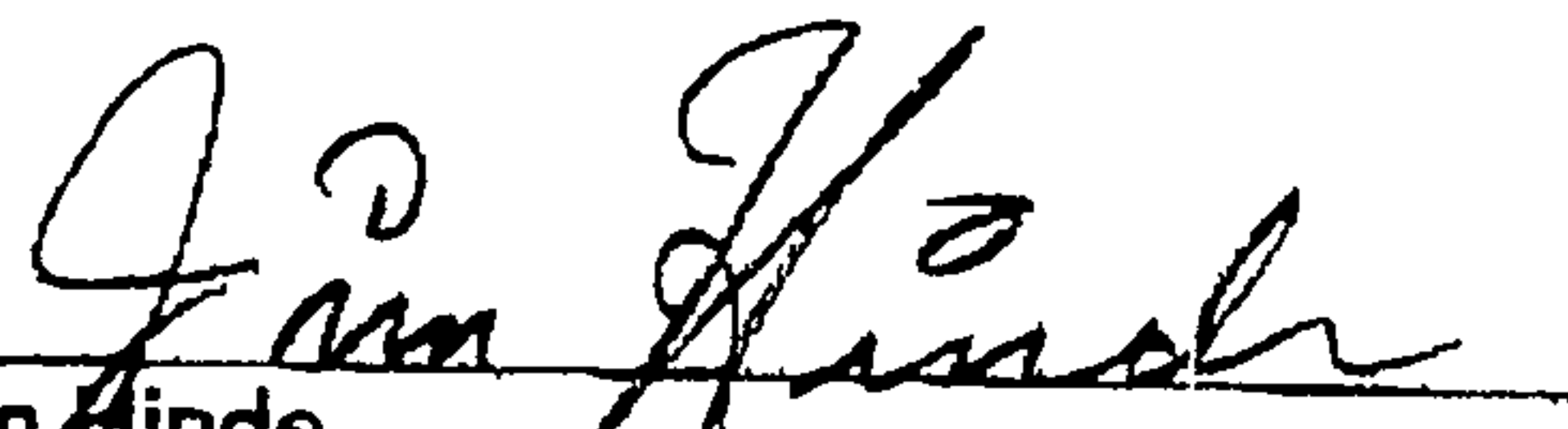


We request concurrence from you that airside site development plans for building permit at DEII be delegated to DRB for review and a public hearing for the development not be required if the development is consistent with the Site Plan for Development (the ALP) included in the DEII Master Plan. If you find this request appropriate and concur with the request, please indicate so by signing both copies of this letter in the signature block below and return one original to me at the Aviation Department.

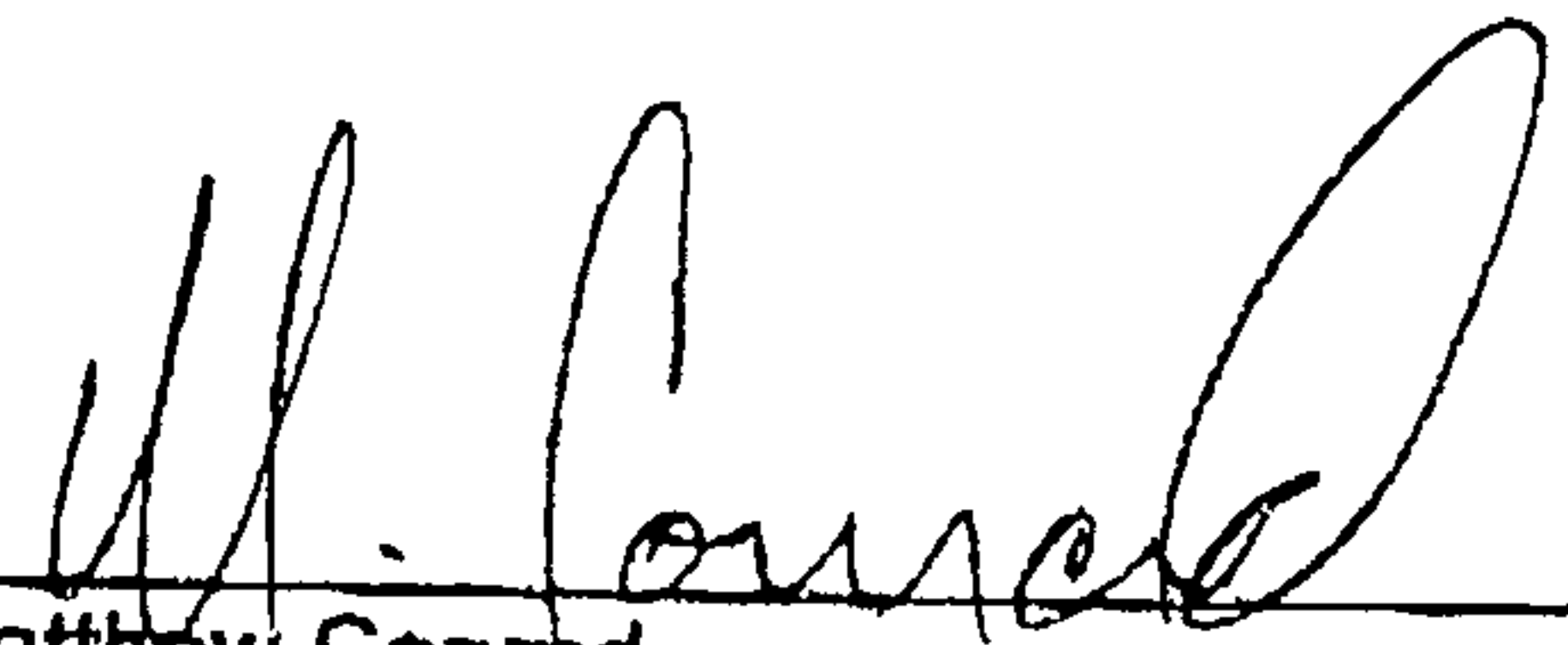
We appreciate your assistance in this matter. If you have any questions, please contact me at (505) 328-8414 or jhinde@cabq.gov.

Respectfully,

Concur:



Jim Hinde
Planning Manager



Matthew Conrad
Chief Zoning
Enforcement Officer

5/21/08
Date





Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): MOLLEN-CORBIN ASSOC. PHONE: 242-5700
 ADDRESS: 2701 MILES RD SE A FAX: 242-0673
 CITY: ALBUQUERQUE STATE NM ZIP 87104 E-MAIL: MPROVINE@MOLLEN-CORBIN.COM
 APPLICANT: CITY OF ALBUQUERQUE / AVIATION AND ECLIPSE AVIATION PHONE: 244-7805
 ADDRESS: PO BOX 7148 / 2503 CLARK CARR LOOP SE FAX: 244-7793
 CITY: ALBUQUERQUE STATE NM ZIP 87119 E-MAIL: L.JONES@ECLIPSEAVIATION.COM
 Proprietary interest in site: OWNERS List all owners: CCA/AVIATION; ECLIPSE AVIATION

DESCRIPTION OF REQUEST: VACATE PUBLIC ACCESS EASEMENT ON TRACTS D-1 & S-1

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT D-1 & S-1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: LANDS OF DOUBLE EAGLE II AIRPORT AEROSPACE TECHNOLOGY PARK
 Existing Zoning: SU-1 AIRPORT RELATED Proposed zoning: N/A MRGCD Map No _____
 Zone Atlas page(s): F-6-6 UPC Code: 10006111022530101 ; 10006020543520144

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 04DRB-01630
03EPC-02054

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No 150.000 TRACT D-1
 No. of existing lots: 2 No. of proposed lots: 2 Total area of site (acres): 101.912 TRACTS S-1
 LOCATION OF PROPERTY BY STREETS: On or Near: DOUBLE EAGLE II AIRPORT NW
 Between: BASEO DEL VOLCAN NW and SHOOTING RANGE PARK RD NW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 7/12/07
 (Print) JOHN M. PROVINE, P.E. Applicant: Agent:

FOR OFFICIAL USE ONLY

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07DRB - 70128</u>	<u>VPE</u>	<u>✓</u>	<u>\$ 0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>August 8, 2007</u>				Total <u>\$ 0</u>

[Signature] 7/13/07 Planner signature / date Project # 1003125

Form revised 4/07

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE (DRB04)

(PUBLIC HEARING CASE)

24 copies

- Application for Minor Plat on FORM S-3, including those submittal requirements.
- Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

VACATION OF PUBLIC EASEMENT (DRB27)

VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

SIDEWALK VARIANCE (DRB20)

SIDEWALK WAIVER (DRB21)

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the variance or waiver
- List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)

- Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the variance
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the deferral or extension
- List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT (DRB26)

VACATION OF RECORDED PLAT (DRB29)

- The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
- Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
- Letter of authorization from the grantors and the beneficiaries (private easement only)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

 Applicant name (print)

 Applicant signature / date



Form revised 4/07

 Planner signature / date
 Project # 1003125

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 07 DRB- _____ - 70128

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

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3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from July 24, 2007 To August 8, 2007

5. REMOVAL

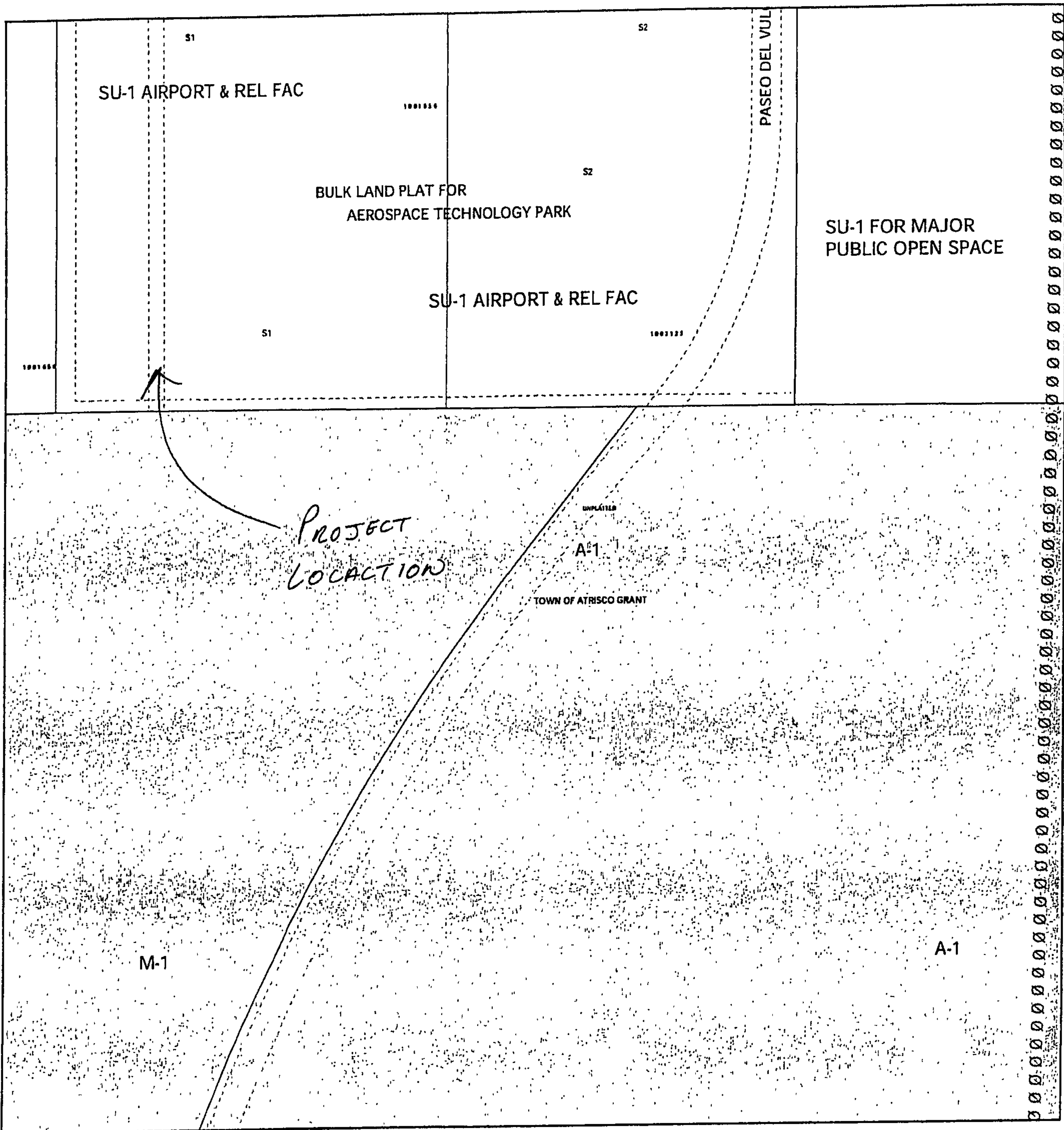
- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

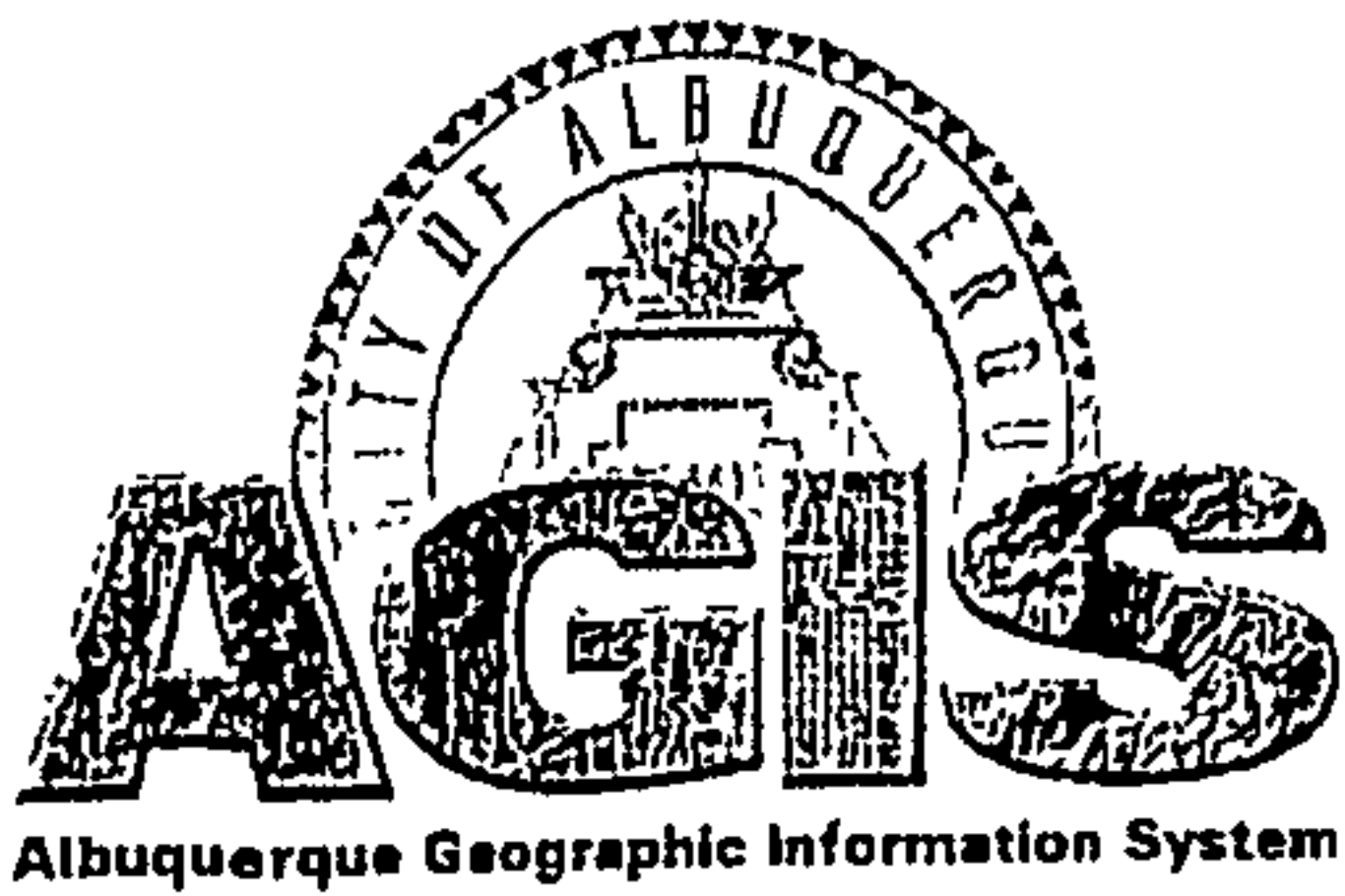
Debra Dodge 7-13-07
(Applicant or Agent) (Date)

I issued 2 signs for this application, July 13, 2007 Andrew Smith
(Date) (Staff Member)

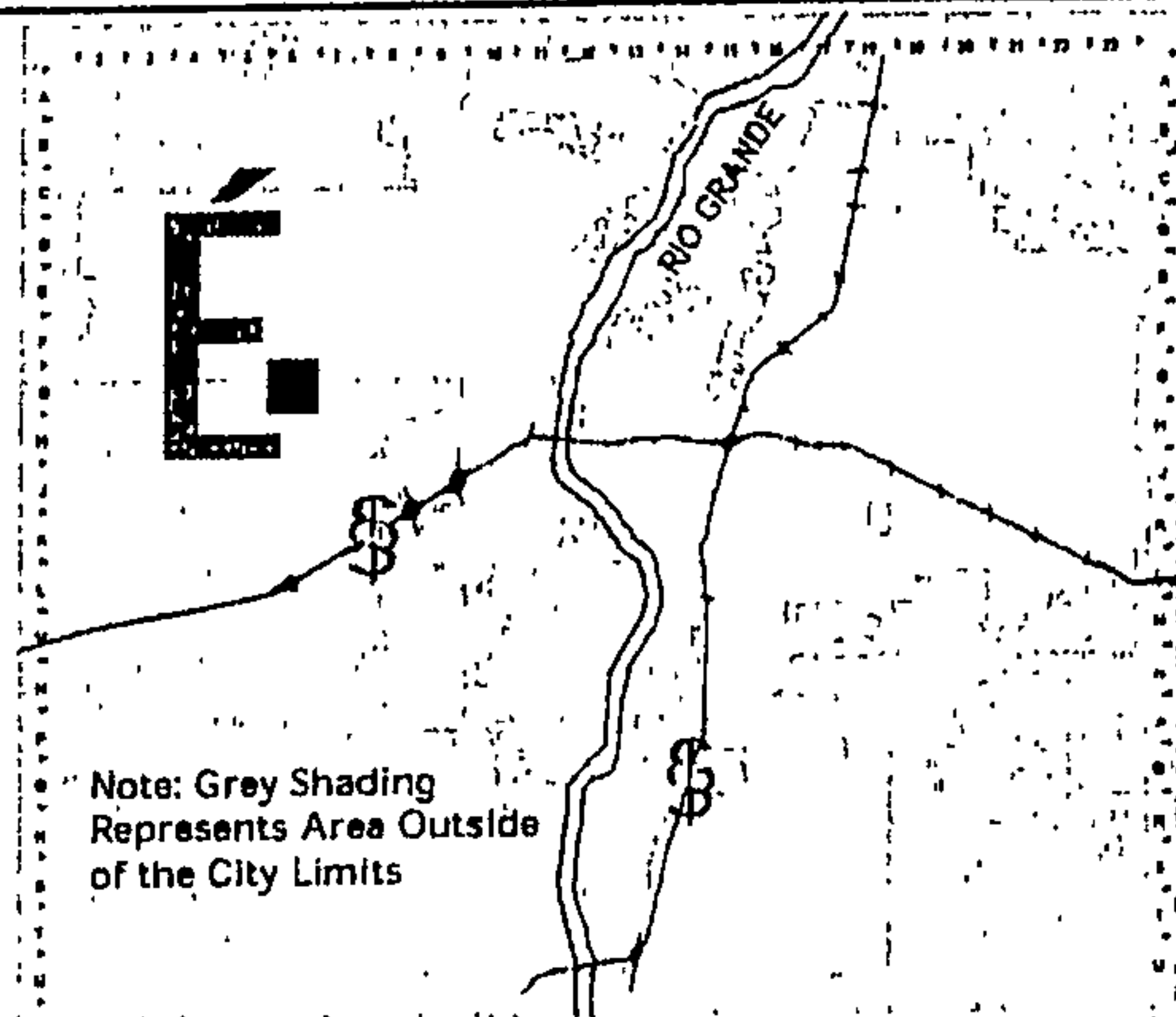
DRB PROJECT NUMBER: 1003125



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: Apr 22, 2005

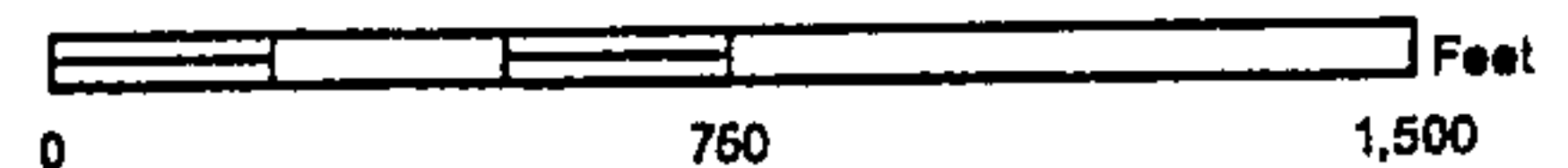


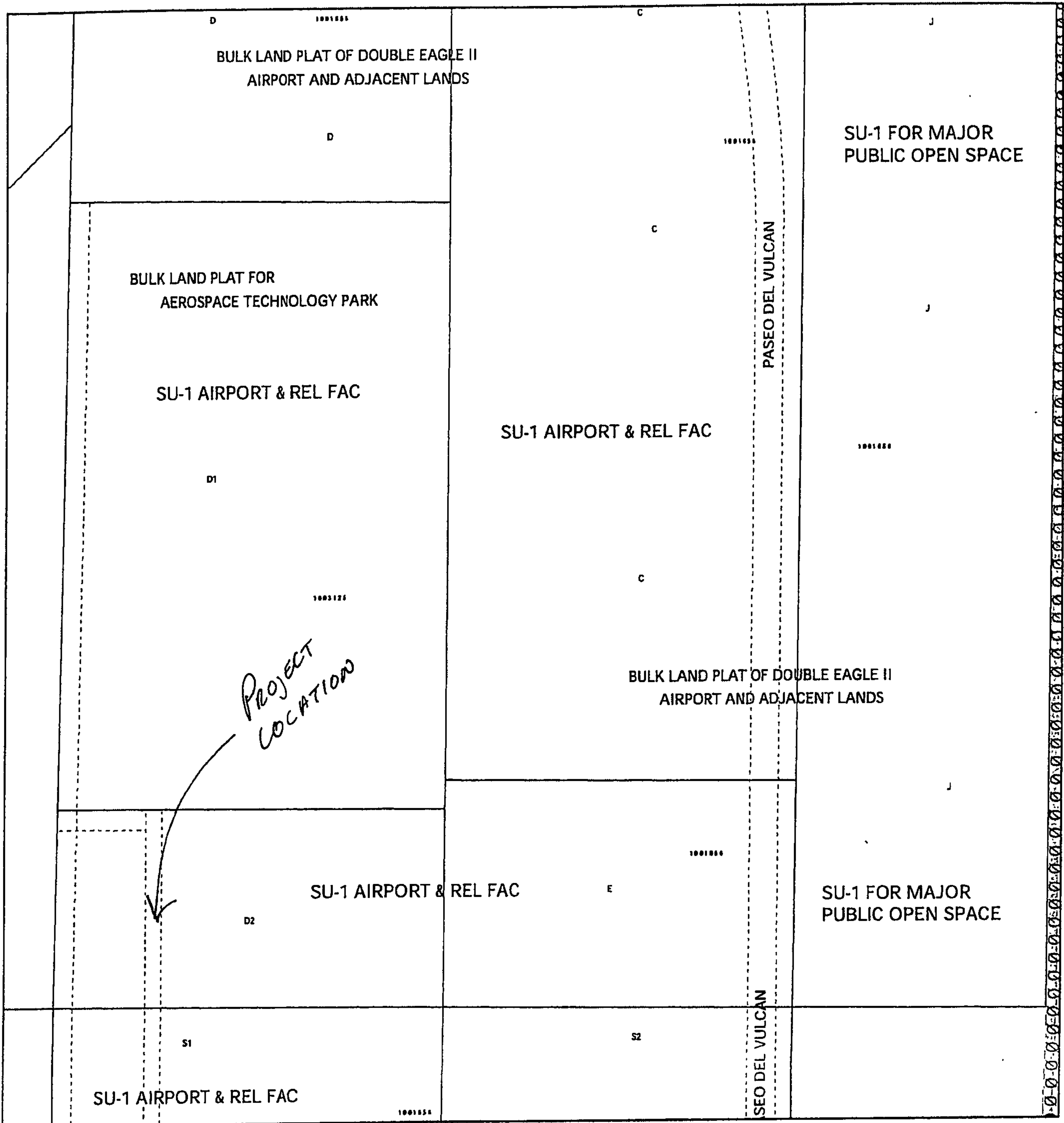
Zone Atlas Page:

G-6-Z

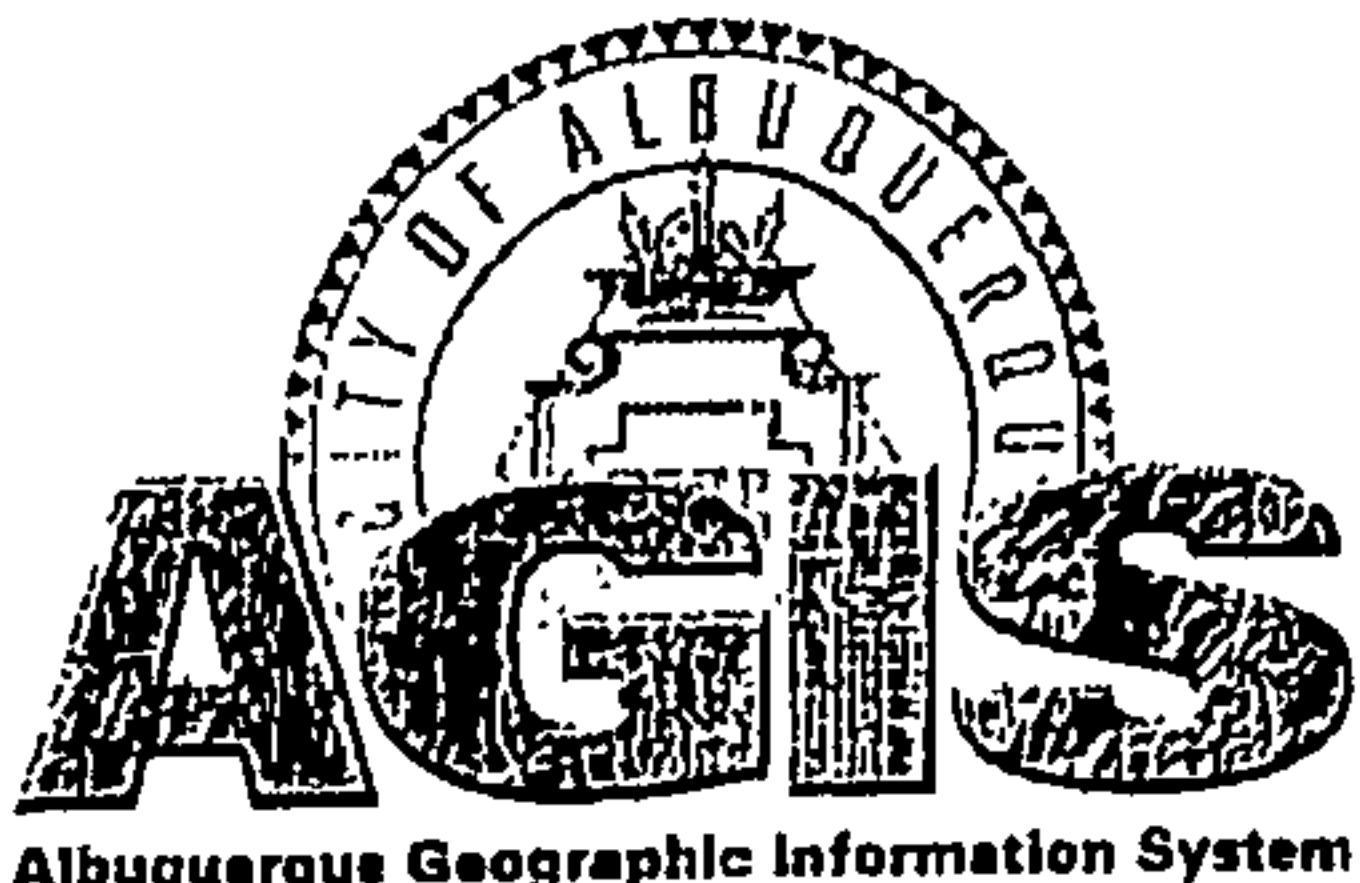
Selected Symbols

- Outside City Limits
- Sector Plans
- Design Overlay Zones
- City Historic Zone
- KKKH-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

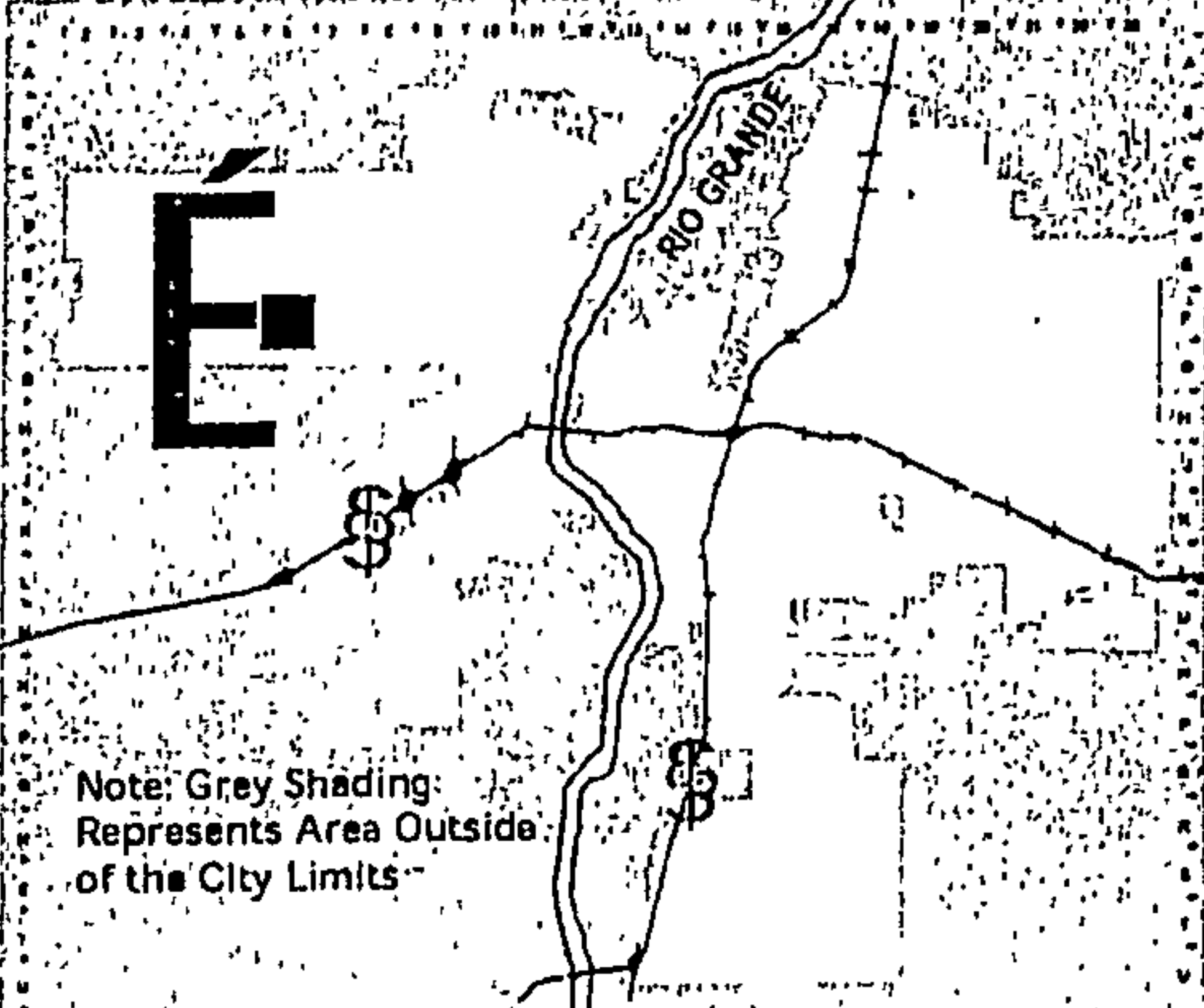




For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: Apr 22, 2005

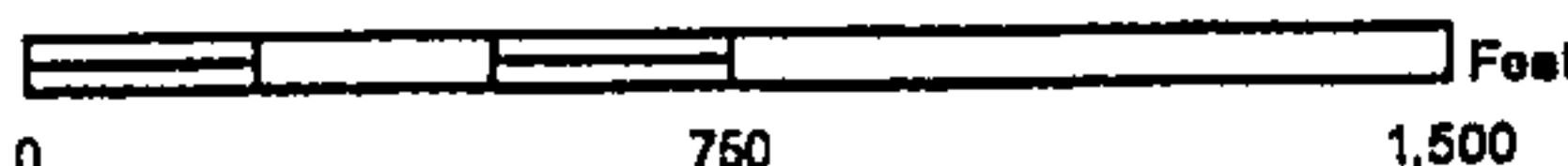


Note: Grey Shading Represents Area Outside of the City Limits

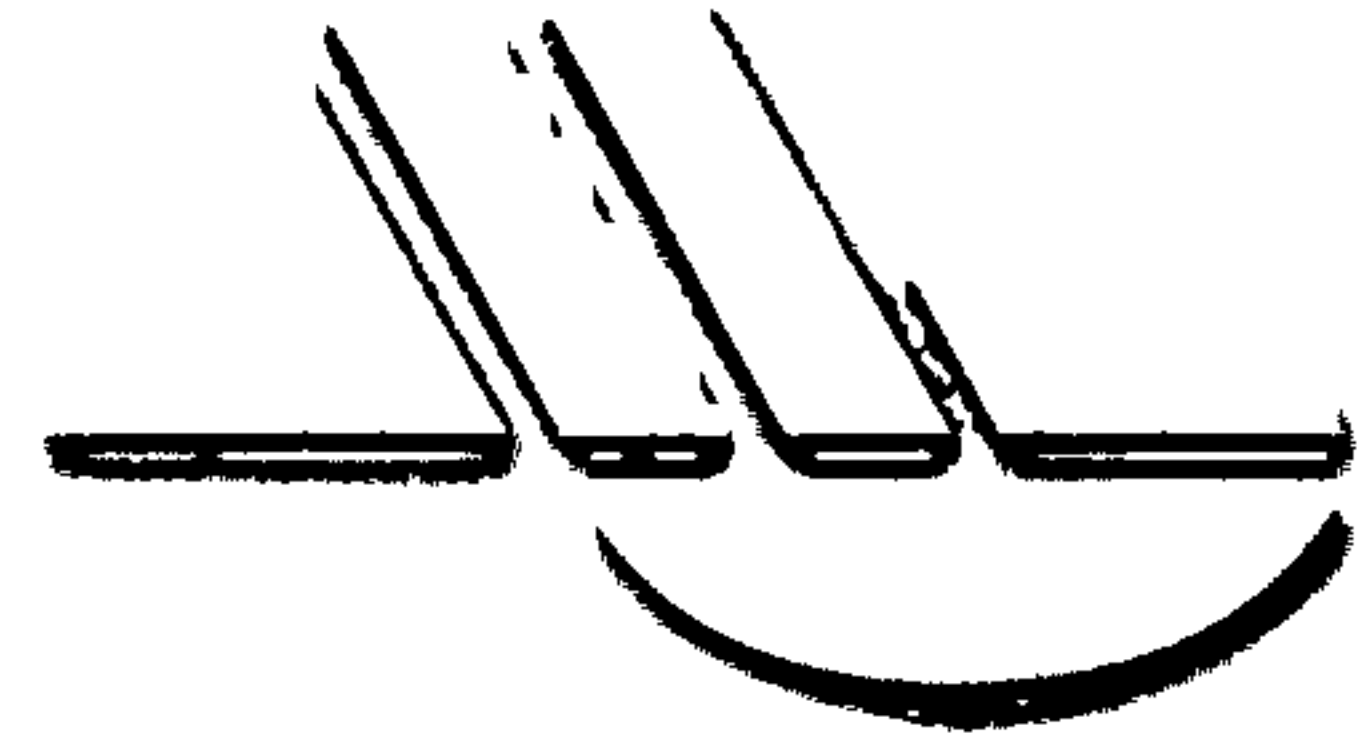
Zone Atlas Page:
F-6-Z

Selected Symbols

Outside City Limits	Petroglyph Mon.
Sector Plans	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zone	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone



2701 MILES RD SE
ALBUQUERQUE, NM 87106
TEL: 505.242.5700
FAX: 505.242.0673



MOLZEN-CORBIN & Associates

ENGINEERS/ARCHITECTS/PLANNERS

July 12, 2007

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

RE: Aerospace Technology Park at Double Eagle II Airport

SMP11F-11.D20

Dear Madam Chair:

The purpose of this letter is to explain our request for approval of an easement vacation by an amended bulk land plat for the lands of Double Eagle II Airport and the Aerospace Technology Park (ATP) on Tracts S-1 and D-1 on behalf of the City of Albuquerque Aviation Department and Eclipse Aviation, Inc. The site is located on the City's west side, adjacent to the Double Eagle II Airport. The Environmental Planning Commission approved a Site Plan for the Subdivision for the ATP on January 15, 2004 (Project 1003125; 03EPC-02054). A bulk land plat was approved by DRB (Project 04DRB-01639).

- The ATP site covers approximately 300 acres from north to south: 150 acres is owned by Eclipse Aviation (Tract D-1); 50 acres is owned by COBA Investments (Tract D-2) and 101.97 acres owned by the City of Albuquerque Aviation Department (Tract S-1). The entire property is zoned SU-1 for Airport and Related Use.

The easement to be vacated under this action will not affect the access to the tracts in the Aerospace Technology Park or the adjoining tracts to the west owned by the State Land Office. Access within the ATP has been provided by the 106 ft public access and utility easement, Aerospace Parkway, as shown on the plat. Access to the State Land Office property, Tract B specifically, is provided by a 106 ft wide public access and utility easement across Tract D-2 from Aerospace Parkway. Tract R, the other adjoining tract to the easement that will be vacated by this action and also owned by the State Land Office, has access from Shooting Range Park Road adjoining the south property line of that tract.

The public access and utility easement that traverses Tract D-2 will be vacated under a separate action.

The easement vacation action was improperly included in the bulk land plat action of October 2004 (Project 10003125, 04DRB-01505/06). The public advertisement period was not provided. This action includes the vacation certification and the public advertisement period will be provided. We appreciate the Board's review of this submittal and the assistance that has been extended to this project by the staff. Please do not hesitate to contact me at 242-5700 with any questions, or if you need any additional information prior to the hearing.

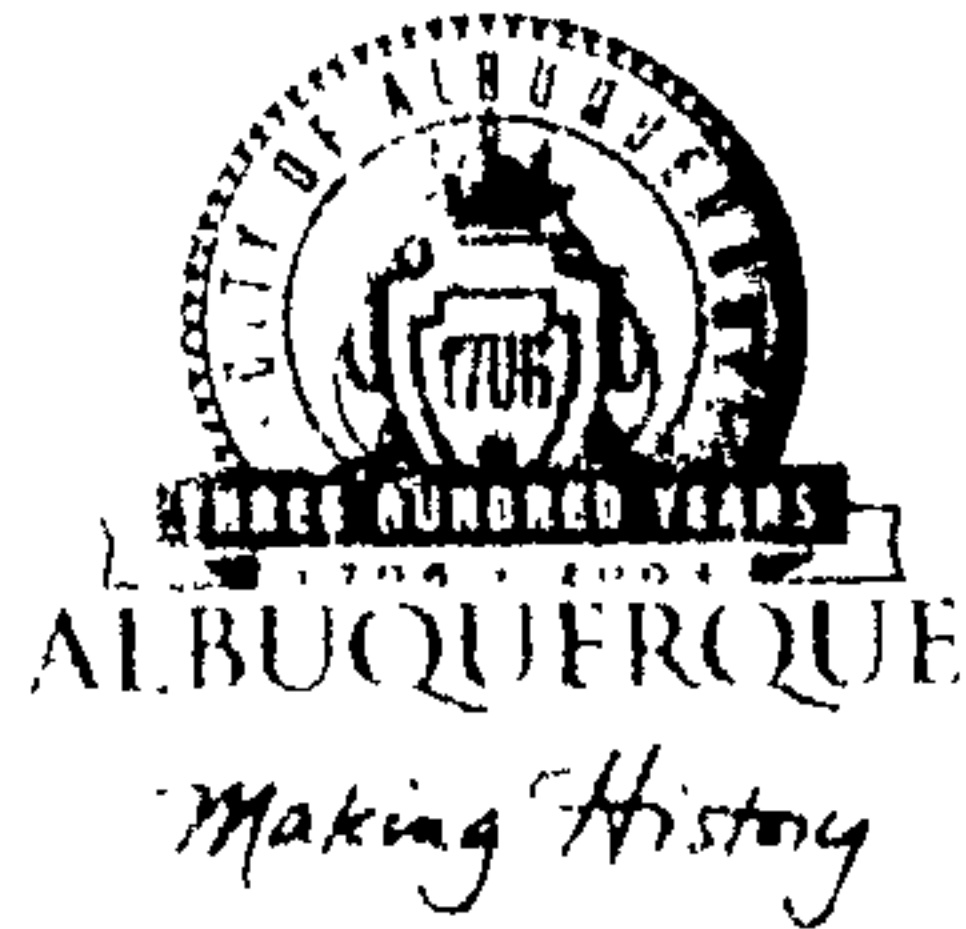
Sincerely,

MOLZEN-CORBIN & ASSOCIATES

Mike Provine, P.E.

MP:jgo

cc: Mr. Jim Hinde, City of Albuquerque Aviation Department
Mr. Larry Jones, Eclipse Aviation, Inc.



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: June 26, 2007

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on June 26, 2007
(date)

TO CONTACT NAME: Mike Provine / Debi Dodge
COMPANY/AGENCY: Molzen-Corbin & Associates
ADDRESS/ZIP: 2701 Mills Rd SE 87106
PHONE/FAX #: 242-5700 / 242-0473

Contacted the Office of Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at Double Eagle II Airport and Aerospace Technology Park at Double Eagle II Airport
zone map page(s) F-4-6.

Our records indicate that as of 6-26-07, there were **no Recognized**
(date)

Neighborhood Associations in this area.

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Malina S. Carmona
OFFICE OF NEIGHBORHOOD COORDINATION

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EDRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

The street address of the subject property.

The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.

A physical description of the location, referenced to streets and existing land uses.

A complete description of the actions requested of the EPC:

- a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone")
- b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
- c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
- d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in **each** application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: 10-26-07 Time Entered: 11am ONC Rep. Initials: De

DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Community and Neighborhood Coordination (OCNC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax - 924-3913 - will need the following information BEFORE neighborhood association information will be released to the applicant/developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at 924-3914.

CONTACT NAME: Mike Provine/Debi Dodge
COMPANY NAME: Molzen-Corbin & Associates
ADDRESS: 2701 Miles Rd SE Albuquerque
ZIP: 87106
PHONE: 242-5700
FAX: 242-0673

NEIGHBORHOOD ASSOCIATION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS Double Eagle II Airport And Aerospace Technology Park at Double Eagle II Airport

LEGAL DESCRIPTION

LOCATED ON

Shooting Range Park Access Road

STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN

Paseo del Volcan

STREET NAME OR OTHER IDENTIFYING LANDMARK

AND

Soils Amendment Facility Road

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGES (F6, G6)

(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from July 24, 2007 To August 8, 2007

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Debi Dodge
(Applicant or Agent)

7-13-07
(Date)

I issued 2 signs for this application,

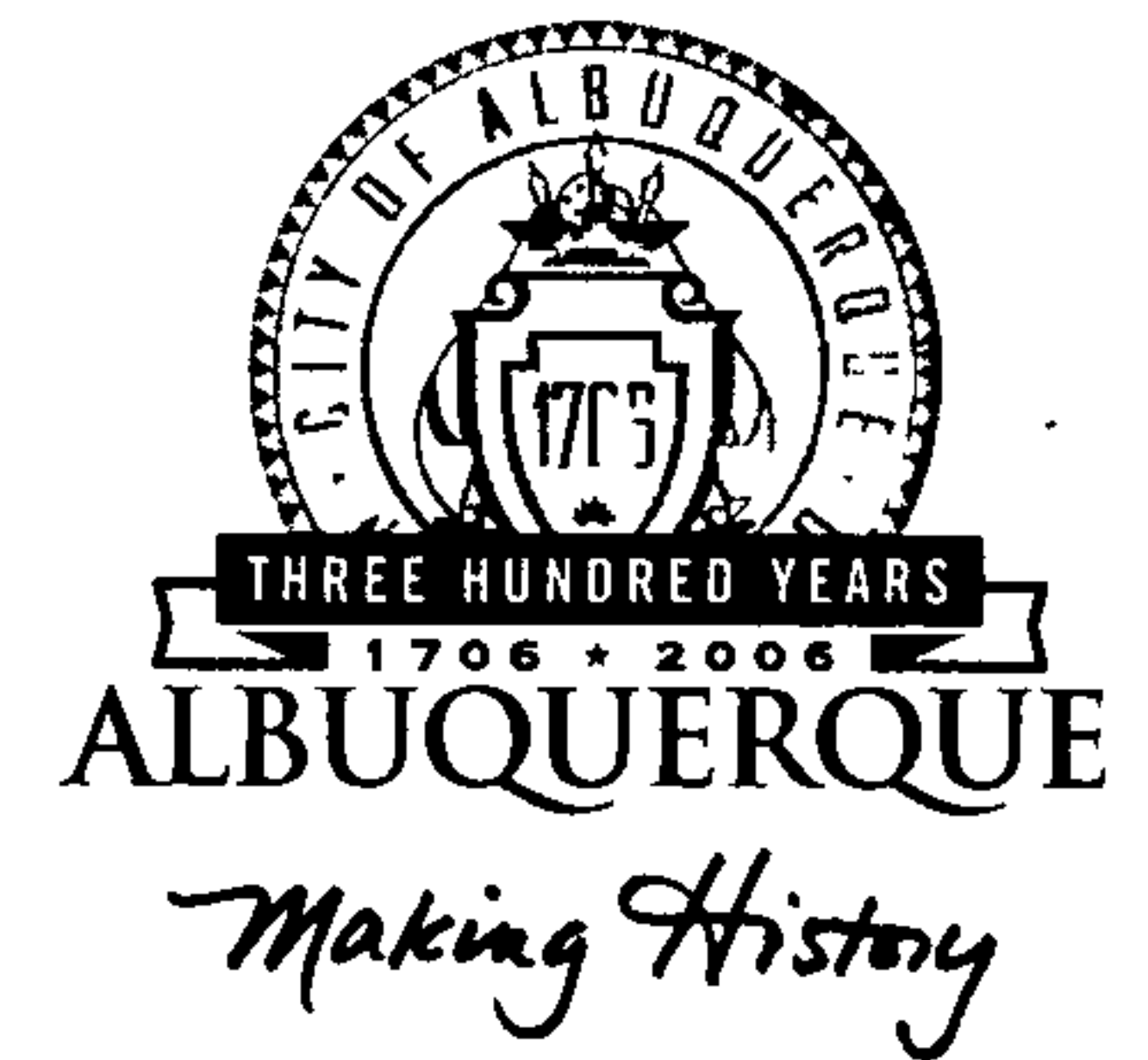
July 13, 2007
(Date)

Andrew J. [Signature]
(Staff Member)

DRB PROJECT NUMBER: 1003125

CITY OF ALBUQUERQUE

Martin J. Chavez
Mayor



John D. "Mike" Rice
Director of Aviation

February 15, 2007

Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87103

P O Box 9948
RE: **Bulk Land Plat and Vacation of Easement Request for Aerospace
Technology Park, Tracts D-1 and S, Lands of Double Eagle II Airport**

Dear Chairwoman Matson:

Albuquerque

The purpose of this letter is to authorize Molzen-Corbin & Associates to act as our agent for the bulk land plat and easement vacation request concerning the Lands of Double Eagle II Airport and Aerospace Technology Park. The City of Albuquerque Aviation Department is the owner of Tract S included in this bulk land plat and easement vacation request. The submittal will be made on or about February 16, 2007.

New Mexico

87119-1048

Please contact Molzen-Corbin & Associates with any questions or concerns.

Respectfully,

www.cabq.gov

Jim Hinde
Acting Director
Aviation Department





ECLIPSE
AVIATION

June 28, 2007

Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87103

RE: Bulk Land Plat and Vacation of Easement Request for Aerospace Technology
Park, Tracts D-1 and S, Lands of Double Eagle II Airport

Dear Chairwoman Matson:

The purpose of this letter is to authorize Molzen-Corbin & Associates to act as our agent for the bulk land plat and easement vacation request concerning the Lands of Double Eagle II Airport and Aerospace Technology Park. Eclipse Aviation is the owner of Tract D-1 included in this bulk land plat and easement vacation request. The submittal will be made on or about June 29, 2007.

Please contact Molzen-Corbin & Associates with any questions or concerns.

Sincerely,

Larry Jones
Facilities Director
Eclipse Aviation, Inc.

RECEIVED
JUN 28 2007
MOLZEL-CORBETT & ASSOCIATES

1

RECEIVED
JUN 28 2007
MOLZEL-CORBETT & ASSOCIATES

ORIGINAL

2

INFRASTRUCTURE LIST

(Rev 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

SITE PLAN FOR SUBDIVISION FOR ECLIPSE AVIATION CAMPUS
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT D-1, AEROSPACE TECHNOLOGY PARK, LINES OF DE II AIRPORT
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		42" x 640ft	STORM DRAIN PIPE	ECLIPSE AVIATION CAMPUS		DE II AIRPORT			
		DBL'D" 4ea	DROP INLETS	ECLIPSE AVIATION CAMPUS		DE II AIRPORT			
		24" x 2974'	WATERLINE	ECLIPSE AVIATION CAMPUS		CONNECT TO ATP AND DE II AIRPORT			
		24" 3ea	BE VALVES (ISOLATION)	ECLIPSE AVIATION CAMPUS					
		12" x 1200'	SANITARY SEWER	ECLIPSE AVIATION CAMPUS		CONNECT TO ATP AND EXISTING SYSTEM @ DE II			
		8" x 1000'	SANITARY SEWER	ECLIPSE AVIATION CAMPUS		CONNECT TO ATP AND EXISTING SYSTEM @ DE II			
		42' WIDE x 1500'	ACCESS ROAD 36' ROAD W/ CURB & GUTTER	ATP	SHOOTING RANGE PARK RD	ECLIPSE CAMPUS			
		8' WIDE x 1500'	TRAIL/SIDEWALK w/ 8' ROAD (BOTH SIDES OF ROAD)	ATP	SHOOTING RANGE PARK RD	ECLIPSE CAMPUS			

ORIGINAL

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="checkbox"/>	<input type="checkbox"/>	22' x 25' DES X 1500'	LANDSCAPE BUFFER AEROSPACE PARKWAY	ATD	SHOOTING RANGE PARK RD	ECLIPSE CAMPUS			
<input type="checkbox"/>	<input type="checkbox"/>	3800' x 12'	ADD LANE - SHOOTING RANGE PARK RD	SHOOTING RANGE PARK RD	Paseo del Volcan	AEROSPACE PARKWAY			
<input type="checkbox"/>	<input type="checkbox"/>	1	INTERSECTION IMPROVEMENTS	SHOOTING RANGE PARK RD	Paseo del Volcan				
<input type="checkbox"/>	<input type="checkbox"/>	12'	WIDEN NB PASO DEL VOLCAN TO NEW DRIVE LEFT TURN LANE AT SHOOTING RANGE ROAD		PDX				
<input type="checkbox"/>	<input type="checkbox"/>	2-12'	NB DRIVE UTILITY TO WBS SHOOTING RANGE RD		PDX				
<input type="checkbox"/>	<input type="checkbox"/>	1-12'	TRANSITION IN NB PDX NORTH OF INTERSECTION PDX & SRR		PDX				
<input type="checkbox"/>	<input type="checkbox"/>	12'	SB RIGHT TURN LANE TO WB SRR FROM PDX						
<input type="checkbox"/>	<input type="checkbox"/>	12'	WB RT LANE TO AEROSPACE PARKWAY		SRR				
<input type="checkbox"/>	<input type="checkbox"/>	2700'	WIDEN 2-4 LINES FROM PDX TO AEROSPACE PARKWAY		SRR				
<input type="checkbox"/>	<input type="checkbox"/>	12'	TRANSITION 4-LINE TO 2-LINE WEST OF AEROSPACE PARKWAY		SRR				
<input type="checkbox"/>	<input type="checkbox"/>	12'-4	DRIVE LINES			AEROSPACE PARKWAY			
<input type="checkbox"/>	<input type="checkbox"/>	14'	CENTER TURN						
<input type="checkbox"/>	<input type="checkbox"/>	1	CUL-DE-SAC			END OF AEROSPACE PARKWAY			

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Approval of Creditable Items:		Approval of Creditable Items:	
Impact Fee Administrator Signature	Date	City User Dept. Signature	Date

NOTES

✓ If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
---------------	---

JIM HINDE
NAME (print)

COA-AVIATION DEPT.
FIRM

Jim Hinde
SIGNATURE - date

[Signature] 4/5/06
DRB CHAIR - date

[Signature] 4-5-06
TRANSPORTATION DEVELOPMENT - date

[Signature] 4/5/06
UTILITY DEVELOPMENT - date

Bradley J. Bynon 4/5/06
CITY ENGINEER - date

Christina Sandoval 4/5/06
PARKS & RECREATION - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
___ Major Subdivision action		___ Annexation	
___ Minor Subdivision action		___ County Submittal	
___ Vacation	V	___ EPC Submittal	
___ Variance (Non-Zoning)		___ Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	___ Sector Plan (Phase I, II, III)	
<u>X</u> ...for Subdivision Purposes		___ Amendment to Sector, Area, Facility or Comprehensive Plan	
___ ...for Building Permit		___ Text Amendment (Zoning Code/Sub Regs)	
___ IP Master Development Plan			
___ Cert. of Appropriateness (LUCC)	L		
STORM DRAINAGE		APPEAL / PROTEST of...	A
___ Storm Drainage Cost Allocation Plan	D	___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Eclipse Aviation PHONE: 505-724-1247
 ADDRESS: 2503 Clark Carr Loop SE FAX: 505-241-8723
 CITY: Albuquerque STATE: NM ZIP: 87106 E-MAIL: larry.jones@eclipseaviation.com
 Proprietary interest in site: Owner List all owners: _____
 AGENT (if any): Dekker/Perich/Sabatini PHONE: 505-761-9700
 ADDRESS: 6801 Jefferson NE Suite 100 FAX: 505-761-4222
 CITY: Albuquerque STATE: NM ZIP: 87109 E-MAIL: doryw@dpsabq.com

DESCRIPTION OF REQUEST: Request is for DRB Final Sign-off on EPC Site Plan for Subdivision for Eclipse Aviation Campus

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. X No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No: D-1 Block: _____ Unit: _____
 Subdiv. / Addn: Double Eagle II Airport
 Current Zoning: SU-1 for Airport Related Facilities Proposed zoning: SAME
 Zone Atlas page(s): F-6-Z No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 150 Density if applicable: N/A dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? X Yes. No ____, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No.: 100606109926730101 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: Double Eagle II Airport off Aerospace Parkway NW
 Between: Paseo del Volcan NW and Shooting Range Access Rd. NW

CASE HISTORY: Stephanie Shumsky Epc Case Planner
 List any current or prior case number that may be relevant to your application (Proj., App, DRB-, AX, Z, V, S, etc.):
DRB Project # 1003125, 03EPC-02054, 04DRB-01505, 04DRB-01506

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 3/22/05

SIGNATURE Dory Wegrzyn DATE 3/28/06
 (Print): Dory Wegrzyn

Dekker/Perich/Sabatini Applicant ___ Agent X

FOR OFFICIAL USE ONLY

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB - 00401</u>	<u>SPS</u>	<u>7(3)</u>	<u>\$ -0-</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>4-5-06</u>	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 20.00</u>

Ki Sis 3/28/06
 Planner signature / date

Project # 1003125

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

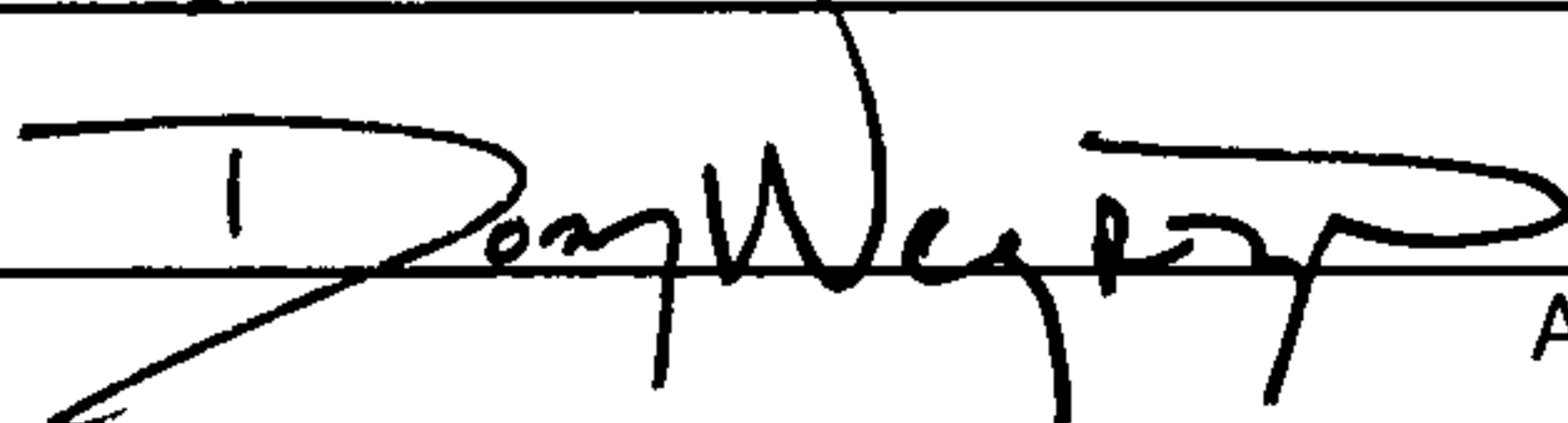
D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
- Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.


DORY WEGRZYN
 Applicant name (print)

 Applicant signature / date
 03/28/06



Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 06DRB - 00401

 3/28/06
 Planner signature / date
Project # 1003125



City of Albuquerque

Aviation Department

Phone: (505) 244-7700 FAX: (505) 842-4278

Martin J. Chavez, Mayor

Interoffice Memorandum

To: Sheran Matson, AICP, Chair, Development Review Board

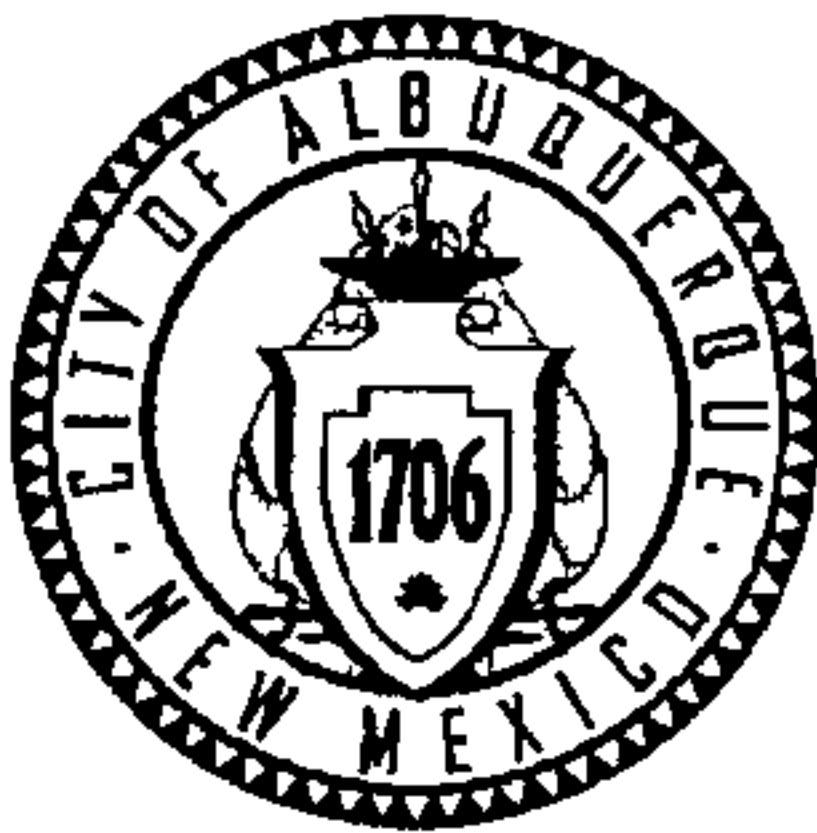
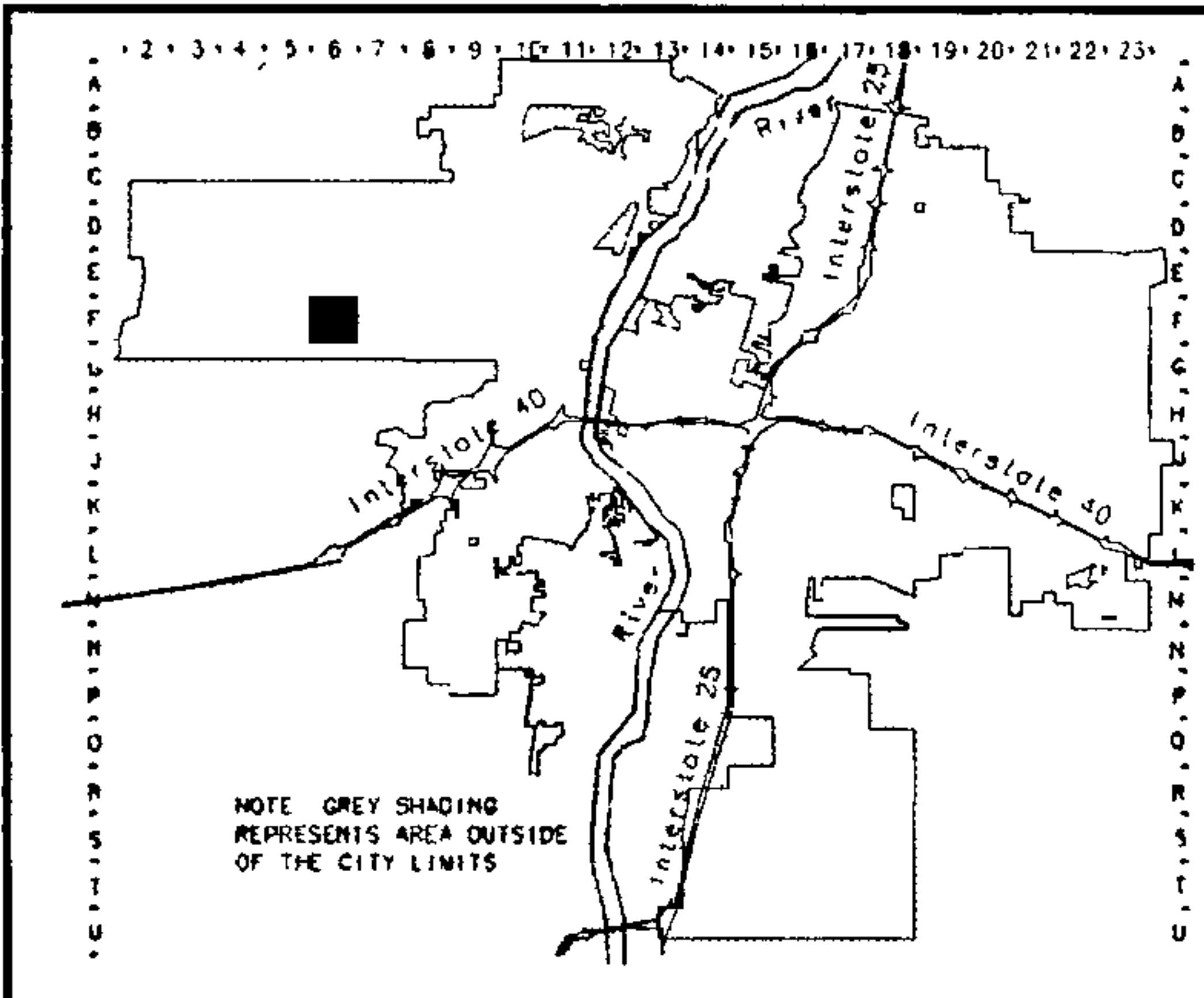
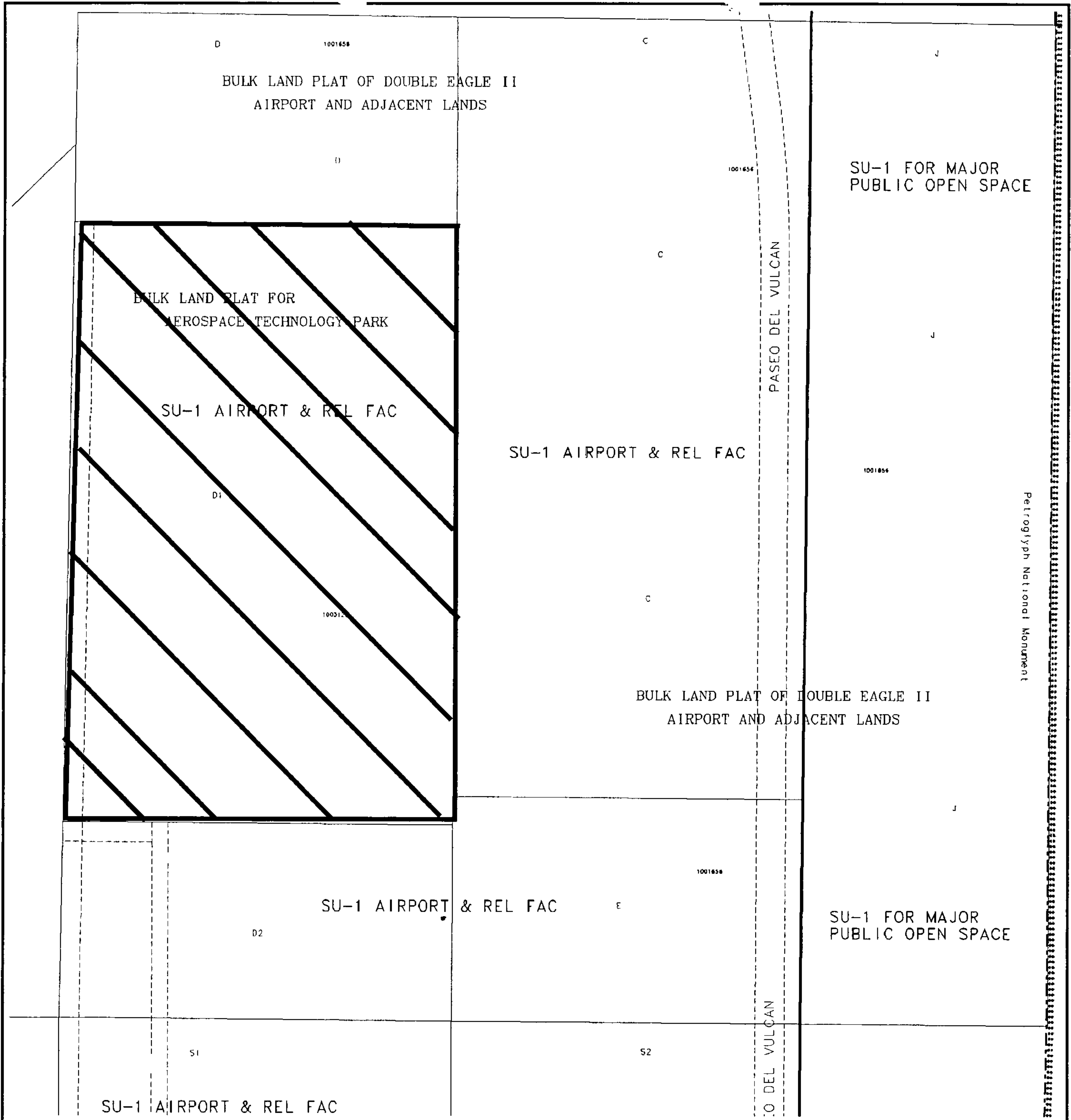
From: Jim Hinde, Planning Manager

Subject: Eclipse Aviation Site Development Plan for Subdivision at the Aerospace Technology Park at Double Eagle II Airport

It is our understanding that the final submittal for the referenced plan will soon go before the Development Review Board for approval. As a condition of approval by the Environmental Planning Commission for this case, it was indicated that an Air Quality Impact Analysis (AQIA) would have to be performed by the Aviation Department. This is to advise you that the AQIA is under way as part of the Environmental Assessment being performed at Double Eagle II Airport for runway and roadway work, and is anticipated to be completed no later than September of this year.

In light of the fact that this work is the responsibility of the Aviation Department we respectfully request that the approval of the Eclipse site development plan not be withheld pending completion of the AQIA.

Drb030306

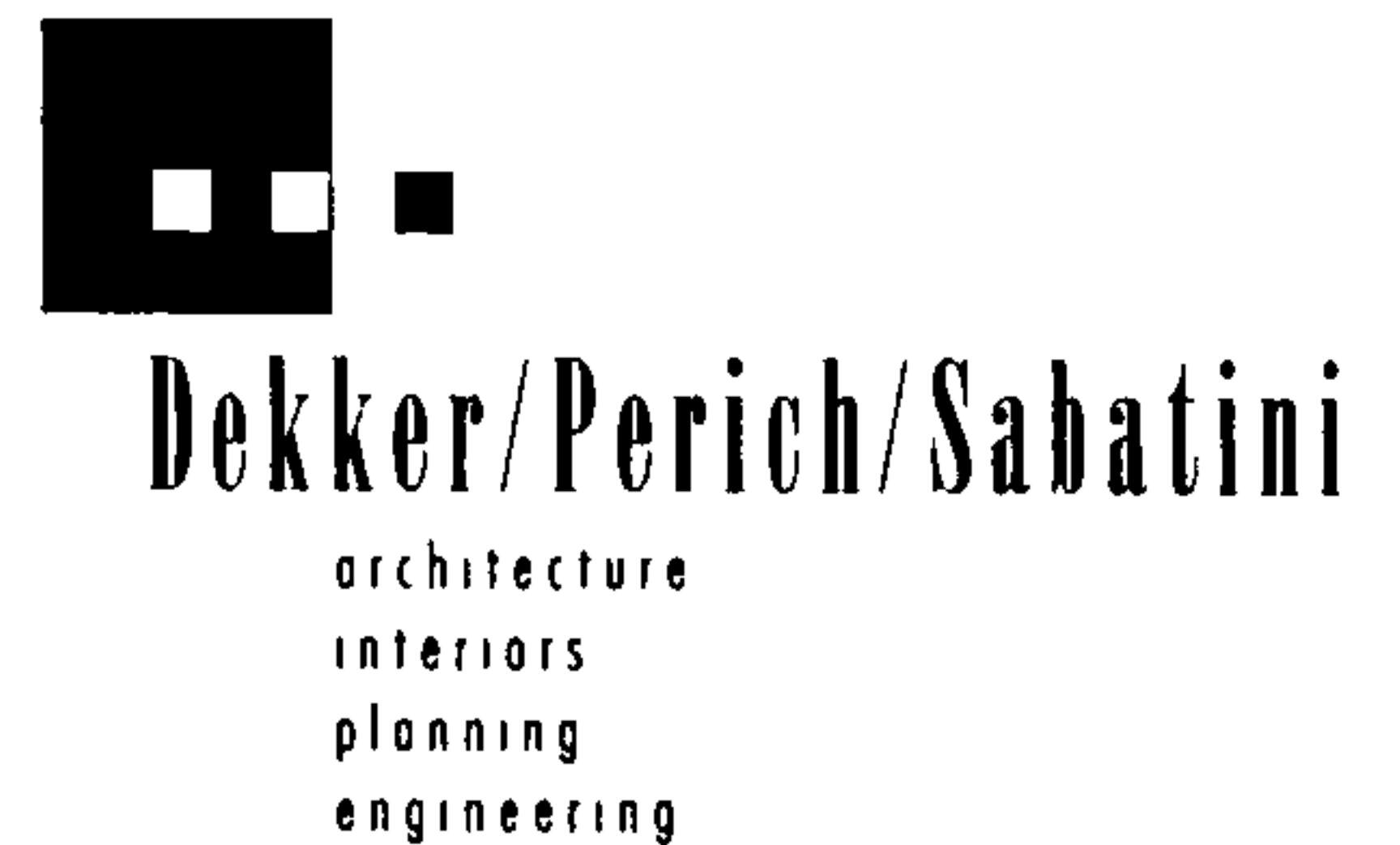


Abuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT
 © Copyright 2004



Zone Atlas Page
F-6-Z
 Map Amended through February 01, 2005

March 28, 2006



Sheran Matson
Chair, Design Review Board
City of Albuquerque
Plaza del Sol
600 2nd St. NW
Albuquerque, NM 87103

Re: FILE: Project # 1003125* EPC# 05EPC-00566 EPC Site Development Plan for Subdivision - Notice of Decision dated May 20, 2005.

DRB final sign off for EPC approved Site Development Plan for Subdivision – Eclipse Aviation containing approximately 150 acres.

Dear Madame Chair:

The purpose of this letter is to explain how the Site Plan for Subdivision for Eclipse Aviation Campus have been revised or addressed to meet the conditions required by Environmental Planning Commission.

The EPC voted to approve the proposed site plan for subdivision with design standards for Eclipse Aviation on the 150 acre tract within the Double Eagle II Master Plan area (Project 1001656/02EPC-00989) and adjacent to the future Aerospace Technology Park (Project 1003125/03EPC02054).

- On May 19th, the EPC recommended approval of the request for zone map amendment and a site development plan for subdivision.
- On May 20th, in the Notice of Decision, the EPC delegated final approved of the zoning and subdivisions requests to the Design Review Board (DRB).

In response to the EPC conditions, the applicant is submitting a revised set of plans that meet the listed conditions. Revisions to the plans have been identified on the plans with clouded area.

1. **CONDITION:** The EPC delegate's final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

RESPONSE: This letter shall accompany the modifications to the Site Development Plan for DRB final sign-off specifying how each EPC condition was met.

2. **CONDITION:** ~~An Air Quality Impact Assessment is required and shall be provided prior to final sign-off by the DRB.~~ AQIA requirements will become the responsibility of the Aviation Department as part of the upcoming EA at Double Eagle II Airport and the AQIA must be complete no later than December 2006.

RESPONSE: The completion of the AQIA is the responsibility of the COA. Applicant has been informed by the COA Aviation Department that the anticipated completion of the AQIA is no later than September 2006. A memo from the COA Aviation Department has been provided to DRB regarding this matter. Consideration is requested to allow the memo to secure this completion requirement.



3. The Transportation Development (City Engineer/Planning Department) Conditions:

- a. **CONDITION:** All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.

RESPONSE: Will comply.

- b. **CONDITION:** The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include, but are not limited to, sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426), and wheelchair ramps (std. dwg. 2441).

RESPONSE: In an agreement with the COA, the COA is responsible for providing infrastructure and improvements to the site. Developer will be responsible for all on site improvements. All improvements to transportation facilities will comply with City Standards. A signed infrastructure list is attached.

See Copy of section “D “ of lease agreement between COA and Eclipse Aviation.

- c. **CONDITION:** Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site (i.e. street improvements recommend in the Traffic Impact Study (TIS))

RESPONSE: In an agreement with the COA, the COA is responsible for meeting all mitigation measures as outlined in TIS to the site. Please see attached Agreement. A signed infrastructure list is attached.

See Copy of section “D “ of lease agreement between COA and Eclipse Aviation.

- d. **CONDITION:** Provide more detail of public to private connection between Aerospace Technology Park and Eclipse Aviation Campus Via Aerospace Parkway.

RESPONSE: The revised site plan shows a public access easement granted by Eclipse Aviation on the Eclipse Aviation Campus property to properly support a turn around that will meet City Standards. The easement is located inside the Eclipse Aviation property at the end of the Public R.O.W of Aerospace Parkway. Please see revision to the Site Development Plan.

- e. **CONDITION:** Site plan shall comply and be designed per COA DPM Standards.

4. All Temporary buildings shall comply with the design standards set forth for permanent buildings in relation to Material and color, site planning and building Design Standards, with the exception that tensile and /or fabric structures will be permitted. All temporary parking areas shall comply with the design standards set forth for parking with the exception that landscaping will not be required.

RESPONSE: The image for Eclipse Aviation Campus and is critical to the overall vision for the campus. The campus image will reflect the quality and mission of the company. The EAC guidelines are intended to provide flexibility that allows for both temporary and permanent structures. The permanent campus buildings will reflect all EAC guidelines. The EAC guidelines only includes references to Temporary buildings to provide guidance that will allow this manufacturing part of this industry to meet the demands of a ever-changing market without impeding manufacturing requirements or stopping



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

production. Temporary buildings or portables are intended for those market circumstances that require additional space for temporary situations that are not accessible to the public. For example if the number of manufactured planes are too great to fit within the available covered storage areas then the references to temporary buildings in the Design Guideline would permit a temporary structure for the excess planes awaiting pending sales. However, if this storage is required beyond the five years a permanent covered storage facility that meets EAC guidelines would be constructed. It is neither the intent of Eclipse Aviation to construct a series of temporary buildings nor affect the quality image or functionality of the campus.

The following revisions to the EAC guidelines address the EPC conditionals for approval and meet Eclipse Aviation goals.

A meeting with Staff Planner Stephanie Shumsky occurred on 3/10/06 to review the EAC guidelines and to provide guidance on the revisions to meet the EPC conditions. The following revisions were made to the EAC Guidelines to meet the conditions of EPC:

E. Site Planning

INSERTED BULLET

- All temporary buildings in public areas and visible from public areas shall be similar to permanent buildings in relation to color, material, site planning, and design.

G. Architecture

Portable/ Temporary Buildings.

INSERTED BULLET as follows

- Generally Temporary Buildings will have restricted access from public pedestrian traffic circulation and will be designed for employee pedestrian circulation.

CHANGED BULLET

- Permanent Portable add " and Temporary" buildings must be compatible with Architecture of campus buildings. ADD "and with materials and colors of EAC guidelines."

If you have any questions, or need further clarification, please contact me at 338-5718.

Very truly yours,

Dory Wegrzyn
Senior Planner

Dekker/Perich/Sabatini Ltd.



mark A

RECEIVED

MAY 25 2005

Dekker/Perich/Sabatini

City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: May 20, 2005

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003125***
05EPC-00566 EPC Site Development Plan-
Subdivision

Eclipse Aviation
2503 Clark Carr Loop SE
Albuq. NM 87106

LEGAL DESCRIPTION: for all or a portion of Tract D-1, **Double Eagle II Airport**, zoned SU-1 for Airport Related Facilities, located on DOUBLE EAGLE II AIRPORT, between PASEO DEL VOLCAN and SHOOTING RANGE ACCESS RD., containing approximately 150 acre(s). (F-6) Stephanie Shumsky, Staff Planner

On May 19, 2005 the Environmental Planning Commission voted to approve Project 1003125/ of 05EPC-00566, a site development plan for subdivision and design standards, for Tract D-1 of the Bulk Land Plat for Aerospace Technology Park, Double Eagle II Airport, based on the preceding Findings and subject to the following Conditions:

FINDINGS:

1. ~~This is a request for site development plan for subdivision with design standards for Eclipse Aviation on a 150-acre tract located within the Double Eagle II Master Plan area and adjacent to the future Aerospace Technology Park. The subject site is legally known as Tract D-1 of the Bulk Land Plat for Aerospace Technology Park, Double Eagle II Airport.~~
2. Eclipse Aviation is an airplane manufacturer with design and prototype development capabilities. Many Eclipse Aviation suppliers will be located in the Aerospace Technology Park, just south of the subject site.
3. The proposed design standards comply with associated sections of the Zoning Code and in general are more restrictive than Zoning Code requirements.
4. An Air Quality Impact Analysis is required and will be provided as part of the overall Environmental Impact Assessment.

5. A Traffic Impact Study is required and has been reviewed for this proposal.
6. Several *Comprehensive Plan* policies are furthered by this request:
 - a. The Activity Center goal and policy a are furthered because the development of Eclipse Aviation will occur in an area already designated as a Special Activity Center. The concentration of employment opportunities in this area is appropriate for a designated Activity Center. Policy a is furthered because of the unique nature of the Eclipse Aviation manufacturing facility.
 - b. The Environmental Protection and Heritage Conservation, Air Quality goal and policies a and i are furthered by this request because an Air Quality Impact Assessment will be completed as part of a larger Environmental Impact Assessment of the entire Eclipse Aviation site and surrounding sites. Policy a is furthered by the City's enforcement of air quality standards and the use of this information in decision making will further Policy i.
 - c. The Community Resource Management, Energy Management goal and policies a, b, and c will be furthered because Eclipse Aviation is proposing the future use of wind, solar and other alternative energy resources.
 - d. The Economic Development goal and policies a, b and g are furthered because Eclipse Aviation will rely on local and out-of-town suppliers and will provide diversified economic development with a variety of service, manufacturing, and high-tech employment opportunities. Eclipse Aviation is located in a Special Activity Center and concentrations of employment are encouraged in activity centers (policy g).
7. Several *West Side Strategic Plan* goals, objectives, and policies are furthered by this request:
 - a. Goal 12 of the *West Side Strategic Plan* will be furthered by this request because Eclipse Aviation is committed to and will provide long-term sustainable development on the West Side.
 - b. Objective 1 and 8 are furthered because Eclipse Aviation will promote and provide large-scale employment and training opportunities on the west side, thereby minimizing the need for cross-metro trips (for west side residents).
 - ~~c. Policy 1.6 is furthered because Eclipse Aviation will facilitate the realization of large-scale employment opportunities on the west side.~~
 - d. Policy 1.8 is furthered because the proposed design standards provide specific design criteria for all facilities within the Eclipse Aviation campus.
 - e. Policy 3.85 is furthered because the creation of base or export jobs and regionally based jobs on the West Side will be facilitated by Eclipse Aviation aircraft development and manufacturing operations.
8. The Double Eagle II Master Plan is furthered because the proposed site plan for subdivision and design standards for Eclipse Aviation comply with the Double Eagle II Master Plan (Project 1001656/02EPC-00989). In addition, the design standards for Eclipse Aviation compliment the standards approved for the Aerospace Technology Park to the south (Project 1003125/03EPC-02054).

9. Design standards are part of this submittal and future Site Development Plans for Building Permit are delegated to Building Permit and do not require a public hearing or review by the DRB, provided they are consistent with this Site Plan for Subdivision and Design Standards.
10. There is no known opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. An Air Quality Impact Assessment is required and shall be provided prior to final sign off by the DRB. AQIA requirements will become the responsibility of the Aviation Department as part of the upcoming EA at Double Eagle II Airport and the AQIA must be complete no later than December 2006.
3. The Transportation Development (City Engineer/Planning Department) has included the following conditions of approval:
 - All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site (i.e. street improvements recommended in the Traffic Impact Study (TIS)).
 - Provide more detail of public to private connection between Aerospace Technology Park and Eclipse Aviation Campus via Aerospace Parkway.
 - Site plan shall comply and be designed per DPM Standards.

**OFFICIAL NOTICE OF DECISION
MAY 19, 2005
PROJECT #1003125
PAGE 4 OF 4**


4. All temporary buildings shall comply with the design standards set forth for permanent buildings in relation to Material and color, site planning and building Design Standards, with the exception that tensile and/or fabric structures will be permitted. All temporary parking areas shall comply with the design standards set forth for parking with the exception that landscaping will not be required.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JUNE 3, 2005 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

For Richard Dineen
Planning Director

RD/SS/ac

cc: Dekker/Perich/Sabatini, 6801 Jefferson NE, Suite 100, Albuquerque, NM 87109

EXHIBIT D
BUSINESS INCENTIVES

EXHIBIT D

BUSINESS INCENTIVES

The following business incentives will be provided to Tenant at no charge:

1. Double Eagle II.

- a. Land. City will cause 150 acres of land described more fully on the attached Exhibit A (the "Land") to be conveyed to Tenant no later than December 31, 2001. City will indemnify Tenant for liability or loss from any environmental condition existing on the Land at the time it is occupied by Tenant. Land will be subject to a two-year right of first refusal in favor of the party conveying the Land to Tenant that applies to proposed transfers of the Land to any party not affiliated with Tenant and not a supplier to Tenant or Tenant's customers.
- b. Infrastructure. City will cause the following off-site infrastructure to be developed and ready to provide service to Tenant by the dates indicated. The capacity of the infrastructure will in all cases be sufficient to serve the needs of Tenant's project as projected as of the date hereof and City and Tenant will work together in good faith to meet that goal. City and Tenant will also work together in good faith, and City will use every reasonable effort, to assure that the infrastructure will be located so as to most effectively serve the entire Double Eagle II development and to provide proximate access to Tenant's improvements.
 - i. Water and Sanitary Sewer. City will cause these utilities (water to be potable) to be provided through city owned and operated facilities to the boundary of the Land no later than January 1, 2003, or any other date mutually agreed upon by the parties.
 - ii. Electricity. City will cause electric power lines with capacity to support the project to be extended to the boundary of the Land no later than January 1, 2003, or any other date mutually agreed upon by the parties.
 - iii. Natural Gas. City will cause natural gas pipelines with capacity of at least 400,000 therms per year to be extended to the boundary of the Land no later than January 1, 2003, or any other date mutually agreed upon by the parties.
 - iv. Telephone. City will cause telephone service with capacity sufficient to support a PBX for an aircraft design, manufacturing and sales business employing 2,000 people to be extended to the boundary of the Land no later than January 1, 2003, or any other date mutually agreed upon by the parties.

- v. **Other Communications.** City will cause fiber optic cabling for data communications sufficient for an aircraft design, manufacturing and sales business employing 2,000 people to be extended to the boundary of the Land no later than January 1, 2003, or any other date mutually agreed upon by the parties.
 - vi. **Drainage.** City will cause drainage to be provided for the Land, with all applicable permits, sufficient to support an aircraft design, manufacturing and sales business employing 2,000 people.
 - vii. **Transportation.** City will cause appropriate roads to be constructed to provide access to and to serve the Land and Double Eagle II.
- c. **Taxiways and Ramp.** No later than January 1, 2004, or any other date mutually agreed upon by the parties, City will cause a ramp of an area sufficient to support Tenant's production and sale of up to 1,500 aircraft per year to be constructed immediately adjacent to the hangars to be constructed on the Land, with taxiways of not less than 50 feet in width constructed to provide access from the ramp to the Double Eagle II runways.
- d. **Control Tower.** City will cause a control tower to be constructed, certified for operation and placed into continuous operation at the Double Eagle II airport no later than December 31, 2003, or any other date mutually agreed upon by the parties.
- e. **Security.** No later than January 1, 2004, or any other date mutually agreed upon by the parties, City will cause a full-time Aviation Department police officer to be permanently based at the Double Eagle II airport and to be assigned the duty of patrolling such airport.
- f. **Foreign Trade Zone.** City will cause a foreign trade zone (or, at Tenant's request, subzone) application encompassing the Land to be prepared and filed by January 1, 2001, or any other date mutually agreed upon by the parties, will use its best efforts to obtain approval of such application, and if approved, will maintain such foreign trade zone or subzone thereafter.
- g. **Double Eagle II Airport Advisory Committee.** Tenant will be a member of the Double Eagle II Airport Advisory Committee (or similarly named committee) and thereby will be able to participate in the creation of the master plan for the airport and the surrounding area.
2. **Industrial Revenue Bonds.** Promptly (but in no case more than five months) after Tenant's request, City will cause to be issued at Tenant's expense such amount of industrial revenue bonds as Tenant may request with a term of no less than 20 years, which bonds will be used to finance, as directed by Tenant, the construction of improvements to the Land and the purchase of machinery and equipment for use in Tenant's business.

3. In-Plant Training. City will use its best efforts to cause the New Mexico Economic Development Department to approve any application by Tenant for funding of training of Tenant's employees pursuant to the New Mexico Industrial Development Training Program.
4. Fast Tracking/Red Team. City will fast track all of Tenant's permitting requirements, and will maintain a Red Team to expedite the permits required for Tenant's project.
5. Statutory Incentives. The following legislation will not be amended in any way that adversely affects Tenant:
 - a. Industrial Revenue Bond Exemptions. Ad valorem property tax exemption on land, building and equipment and abatement of gross receipts and compensating use tax on purchases of tangible personal property and equipment.
 - b. Double Weighting of Sales Factor. Election to double weight the sales factor in apportioning income to New Mexico.
 - c. Gross Receipts Tax Exemption. Exemption for aircraft manufactured and sold in New Mexico.
 - d. Manufacturing Investment Tax Credit. Credit for five percent of the value of qualified equipment and other property used in manufacturing.
 - e. Child Care Tax Credit. Credit for 30 percent of the costs incurred in operating child care facility used primarily by the dependent children of employees.
 - f. Tuition Assistance. In-state tuition for members of families relocating to New Mexico and eligibility for lottery scholarships for students who move to New Mexico before their senior year of high school.

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME ECLIPSE AVIATION
AGENT DEKKER / PERICH / SABATINI
ADDRESS _____
PROJECT & APP # 1003125 / 06 DRB - 00401
PROJECT NAME DOUBLE EAGLE AIRPORT

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 20.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

3/28/2006 8:41AM LOC: ANNX
RECEIPT# 00059697 WSH 007 TRANS# 0002
Account 441032 Fund 0110
Activity 3424000 TRSKAL
Trans Amt \$20.00
J24 Misc

\$20.00
CK \$20.00
CHANGE \$0.00

Thank You



SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

Supplemental form

S

V

P

L

Supplemental form

ZONING & PLANNING

Z

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment

APPEAL / PROTEST of...

A

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: City of Albuquerque Aviation Dept./Ranch Joint Venture

ADDRESS: P.O. Box 994/3613 Rio Rancho Road, St H

CITY: Albuquerque

STATE NM

ZIP 87114

PHONE: 244,7805:792-3713

FAX: 842-7334: 792-3735

E-MAIL: jblack@wwrealty.com

Proprietary interest in site: owner

AGENT (if any): Consensus Planning

ADDRESS: 924 Park Ave. SW

PHONE: (505) 764-9801

FAX: (505) 842-5495

E-MAIL: cp@consensusplanning.com

CITY: Albuquerque

STATE NM

ZIP 87102

DESCRIPTION OF REQUEST: Final sign-off of EPC approved Site Plan for Subdivision

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts D, F and S (portion)

Block:

Unit:

Subdiv. / Addn. Lands of Double Eagle II Airport

TTRK: Aerospace Technology Park

Current Zoning: SU-1 for Airport Related Uses

Proposed zoning: n/a

Zone Atlas page(s): F 5-6

No. of **existing** lots: 2

No. of **proposed** lots: 3

Total area of site (acres): +/-300

Density if applicable: dwellings per gross acre: N/A

dwellings per net acre: N/A

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.)

Within 1000FT of a landfill?

UPC No. see attached 1000611022530101

MRGCD Map No.

LOCATION OF PROPERTY BY STREETS: On or Near: Double Eagle II Airport

Between: Paseo del Volcan

and Shooting Range Access Rd.

CASE HISTORY:

Chris Hyer EPC Case Planner

List **any** current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 1003125; 03EPC-02054 04DRB-01505, 04DRB-01506

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review:

SIGNATURE

[Handwritten Signature]

DATE 10/19/04

(Print) James K. Strozier, AICP

Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 10/03

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

04DRB - 01630

Action

SPS
CMF

S.F.

P(3)

Fees

\$ 0

\$ 2000

\$

\$

\$

\$

Total

\$ 2000

Hearing date 10-27-04

Project # 1003125

[Handwritten Signature]
Planner signature / date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Blue-line copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - N/A* Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - N/A* Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development) - *In set*
 - N/A* Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozier
Applicant name (print)

[Signature] 10/19/04
Applicant signature / date

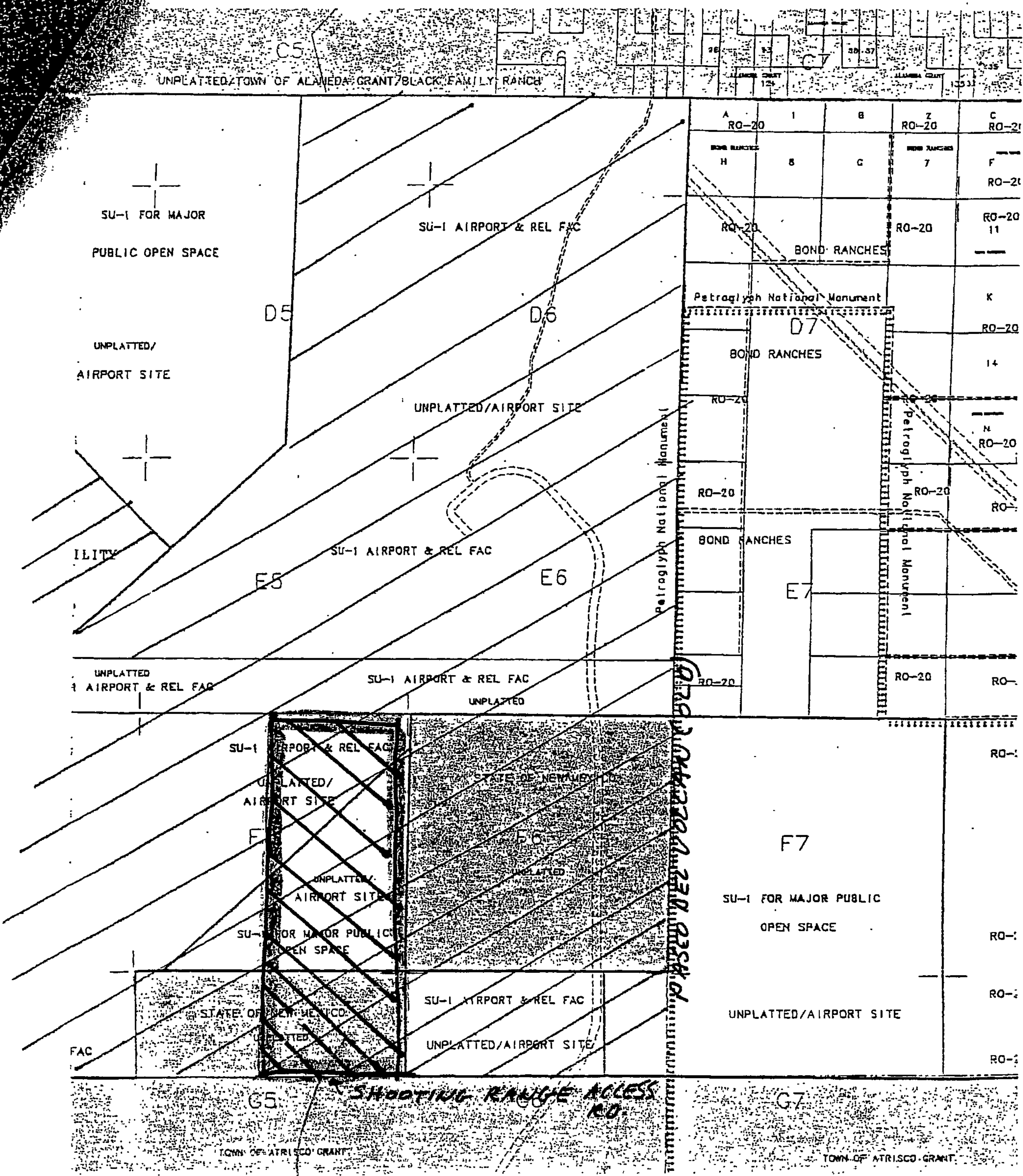


Form revised September 2001

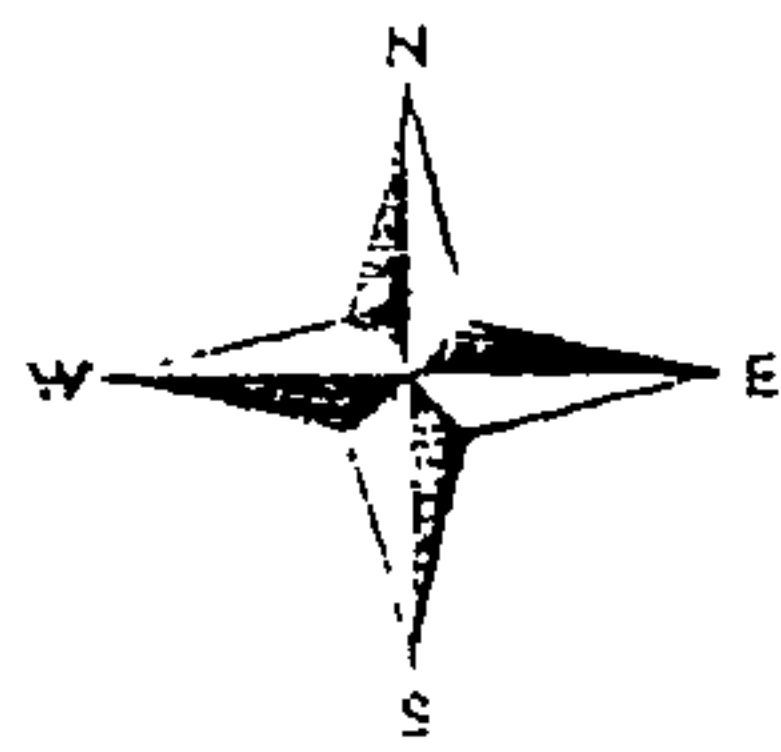
<input type="checkbox"/> Checklists complete	Application case numbers
<input type="checkbox"/> Fees collected	04DRB-01630
<input type="checkbox"/> Case #s assigned	-
<input type="checkbox"/> Related #s listed	-

[Signature] 10-19-04
Planner signature / date

Project # 1003125



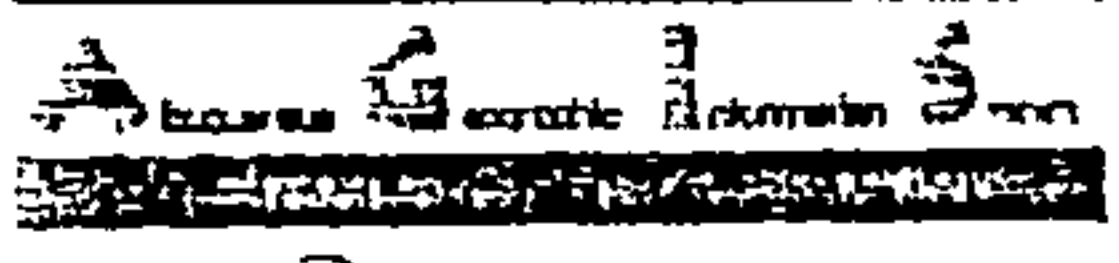
± 300 Acres



CITY OF Albuquerque



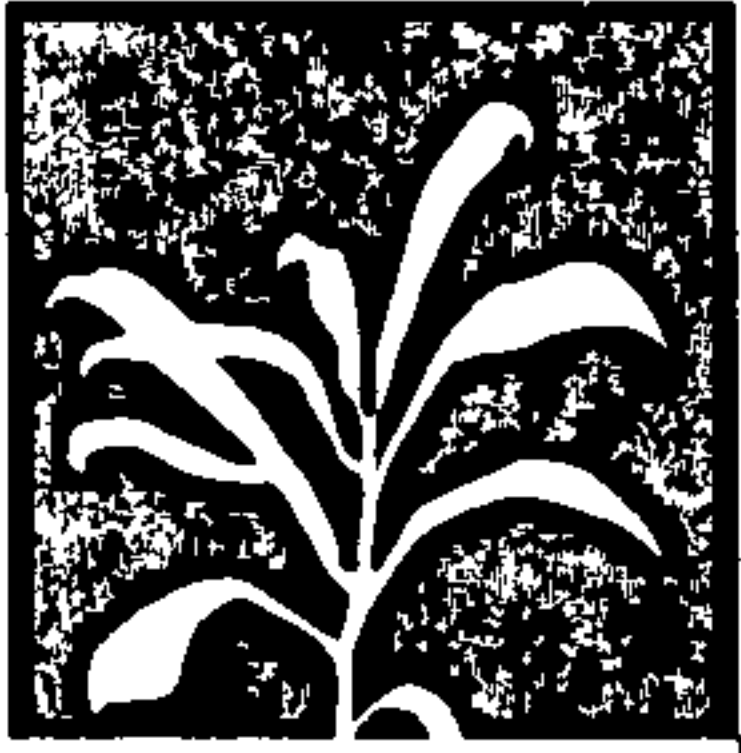
Scale 1" = 2000'



© Copyright 2001

Zone Atlas Pages

- C-5-Z TO C-7-Z
- D-5-Z TO D-7-Z
- E-5-Z TO E-7-Z
- F-5-Z TO F-7-Z
- G-5-Z TO G-7-Z



PLANNING

CONSENSUS

October 15, 2004

Landscape Architecture
Urban Design
Planning Services

Ms. Sheran Matson, Chair.
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

924 Park Avenue SW
Albuquerque, NM 87102

Re: Project #1003125; Aerospace Technology Park

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

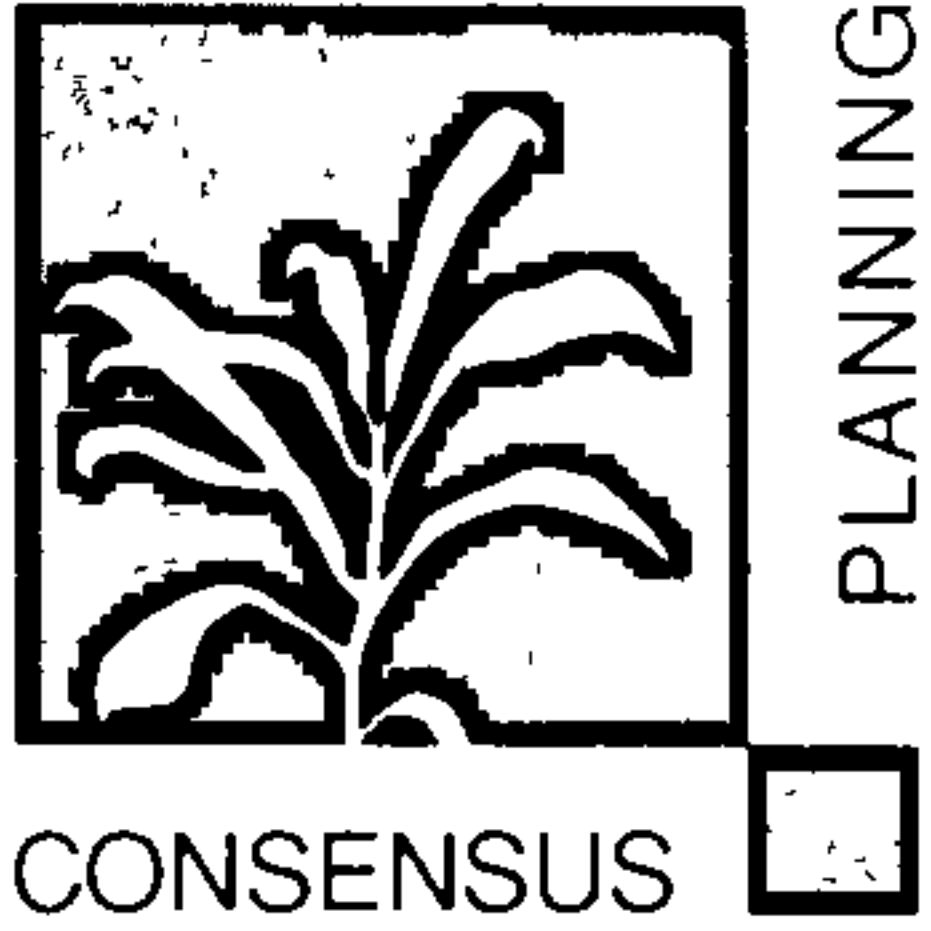
Dear Madame Chair:

The purpose of this letter is to explain how the Site Plan for Subdivision for Aerospace Technology Park (ATP) has been revised to reflect the Environmental Planning Commission's Conditions of Approval. The conditions have been addressed as follows:

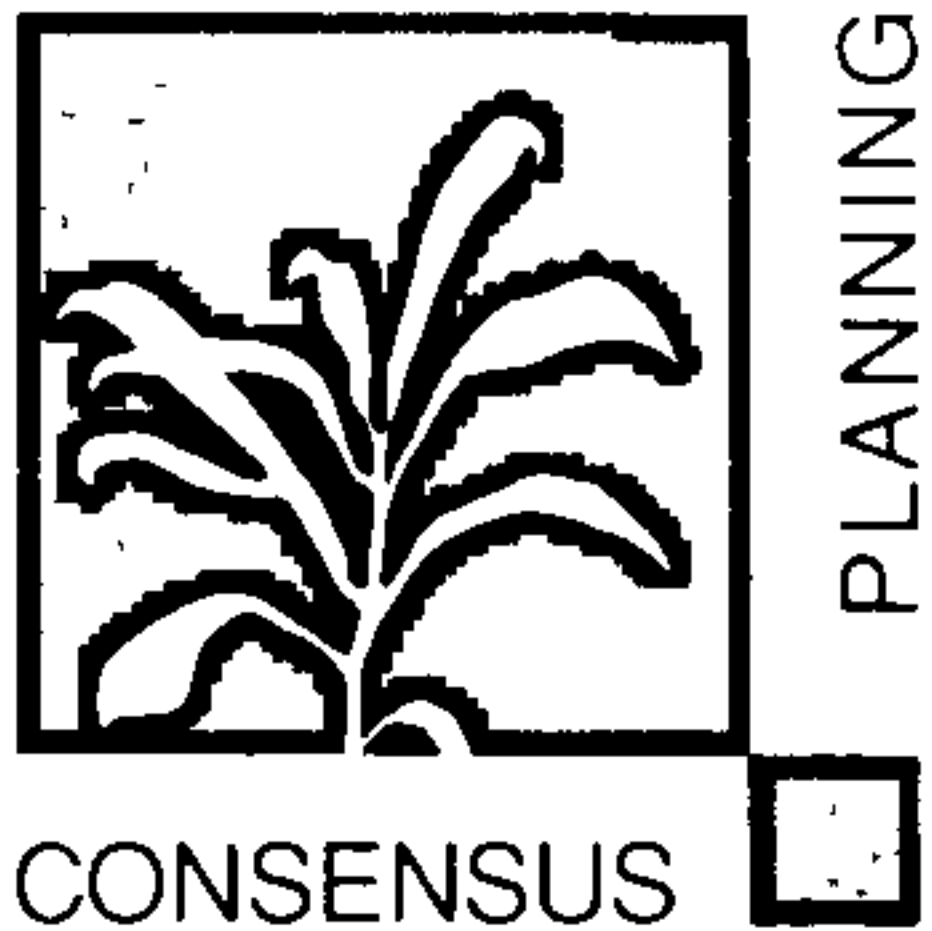
1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
The Site Plan has been revised to meet all EPC conditions and this letter satisfies the condition.
2. The following recommended conditions by the City Engineer:
 - a. All the requirements of previous actions taken by EPC and DRB must be completed and/or provided for.
We agree.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for [subdivision]. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
The accompanying plat requests a Bulk Land Variance in order to defer the required improvements to the time of actual development. The property is zoned SU-1 and will require future Site Plans that have been delegated to the DRB for the City and the Ranch Joint Venture portion of the property.

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strotter, AICP
Christopher J. Green, ASLA



- c. Traffic Impact Study is required and must be submitted prior to any DRB action or prior to EPC Site Development Plan for Building Permit action, whichever is made first.
The TIS will be submitted by Molzen-Corbin on October 20, 2004.
 - d. At a minimum, access to site shall meet DPM requirements but may be modified by the Traffic Engineer depending on the results of the TIS.
We agree. It is anticipated that 86 feet of right-of-way will be required for access to the Aerospace Technology Park with 106 feet at intersection to accommodate required turn lanes.
 - e. Requirements for street right-of-way, geometry, connections and signalization shall be determined by the Traffic Engineer based on the TIS and DPM.
We agree. (See above.)
 - f. All access points to be designed per DPM standards.
Access points have been designed per DPM standards and in accordance with the Traffic Study.
 - g. Provide cross access agreement between tracts.
This has been provided for on the Bulk Land Plat submitted to the DRB.
 - h. Site shall comply and be designed per DPM standards.
We agree.
 - i. The note on sheet 1 of the Site Development Plan regarding the delegation of future site development plans for building permits shall read Development Review Board (DRB) rather than "Administrative Review".
This note has been revised on both Sheet 1 and Sheet 2.
 - j. Platting should be a concurrent DRB action.
The Bulk Land Plat was prepared and submitted (04 DRB-01505 and 04DRB-01506), and will be heard concurrently with the Site Plans at DRB.
3. Under roadway access the text will be changed as follows:
It is anticipated that Aerospace Parkway will be an 86-foot right-of-way. It is further anticipated that access into specific development areas will be from a series of cul-de-sac streets with 60-foot rights-of-way. Specific right-of-way width for Aerospace Parkway and the cul-de-sacs shall be determined before final approval at the Development Review Board. The cu-de-sac streets also function as the primary utility corridors and will accommodate water, sewer, and storm drains.

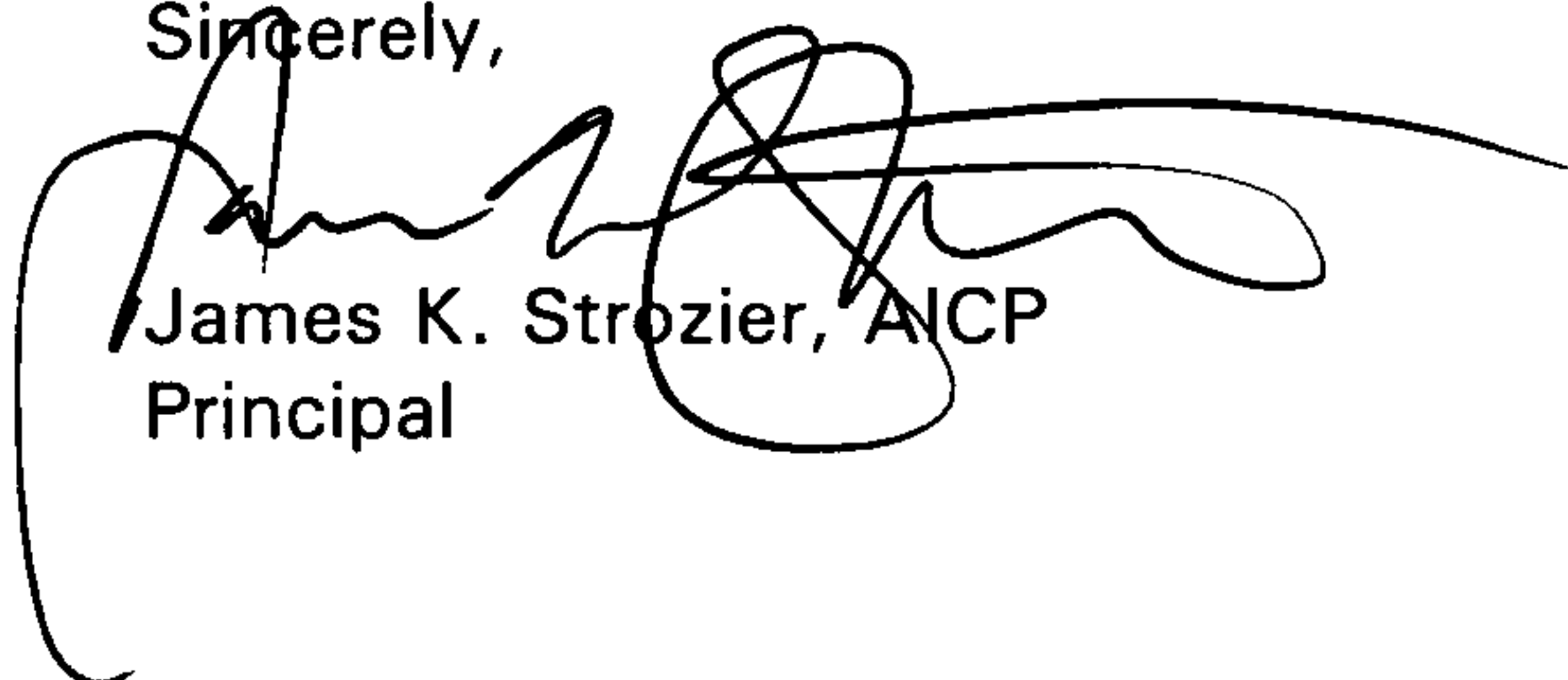


Sheets 1 and 2 (M, Street Design) have been revised to reflect this language.

4. The design guidelines and street sections on sheet [3], letter M shall be changed accordingly to match the site plan prior to final approval at the Development Review Board. *Language in Section M. Street Design has been revised accordingly.*
5. The Eclipse Aviation property (northeasternmost 150 acres) is not governed by the following design standards. Eclipse Aviation shall prepare a Site Development Plan for Subdivision and Design Standards to be reviewed and approved by the Environmental Planning Commission as part of their internal master planning. Eclipse Aviation design standards shall be accompanied by the Aerospace Technology Park design standards to ensure compatibility. *A note has been added to Sheet 2, Paragraph 2, reflecting this language.*

Please do not hesitate to call me if you have any questions or desire any additional information.

Sincerely,



James K. Strozier, AICP
Principal



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: January 16, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003125***
03EPC-02054 EPC Site Development Plan-
Subdivision

Ranch Joint Venture
3613 Rio Rancho Rd. Ste H
Albuq. NM 87114

LEGAL DESCRIPTION: for all or a portion of Tracts D and a portion of S, **Lands of Double Eagle II Airport**, zoned SU-1 for Airport Related Uses, located on DOUBLE EAGLE II AIRPORT, west of PASEO DEL VOLCAN and NORTH OF SHOOTING RANGE, ACCESS Road, containing approximately 300 acre(s). (F-5) Chris Hyer, Staff Planner.

On January 15, 2004 the Environmental Planning Commission voted to approve Project 1003125/ 03EPC 02054, a request for site development plan for subdivision, for a 300 site legally described as Tracts D and a portion of S (Section 1), Bulk Land Plat of Double Eagle II Airport and Adjacent Lands, Book 2002C, Page 228, zoned SU-1 for airport and related facilities, located at the Double Eagle II Airport, the north side of the Shooting Range Access Road, to the west of old Paseo del Volcan between the existing runways, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for Site Development Plan for Subdivision for 300-acres of lands at the *Double Eagle II Airport*, Tract D and a portion of Section I of tract S as shown on the Bulk Land Plat of Double Eagle II Airport and Adjacent Lands, Book 2002C, Page 228. Tract D is owned by the applicant, Ranch Joint Ventures, and is 200 acres. Tract S, Section I is owned by the City's Aviation Department and is 192.36 acres. Only 100-acres of Tract S is a part of this request. The Lands are located west of Runway 17-35, adjacent to that runway's taxiway network, south of the inner angle formed by the two current runways at *Double Eagle II Airport* and north of Shooting Range Access Road.
2. The request is in compliance with the *Comprehensive Plan's* Goal of promoting Economic Development. (Goal B.2, D.6, Policies a, b & g)

3. This request does not contradict the *Comprehensive Plan* Reserve Area Goal by not incorporating a residential component. Consequently, the reference to the planned communities is not applicable to the airport -- the goal is specific to future planned communities, not the existing airport. The request proposes improvements to an existing facility that predated the "Reserve Area" designation.
4. This request supports the *West Side Strategic Plan's* concept of establishing an employment center at the *Double Eagle II Airport*. (Policies 1.6, 3.76, 3.85, 6.27)
5. Design Guidelines are a part of this submittal and any future Site Development Plans for Building Permit are requested to be delegated to the DRB and not require a public hearing provided they are consistent with this Site Plan for Subdivision and Design Guidelines.
6. The Aerospace Technology Park will be the home of Eclipse Aviation, a start-up airplane manufacturer, on the northern half of the site. The southern half of the site will be created into 30 separate lots, 1 to 10 acres in size, for businesses who desire to locate at the airport..
7. All but 5 of the lots within the Aerospace Technology Park will be accessible by car or truck, or airplane via private taxiways that connect the airport to the various businesses in the Tech-Park.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The following recommended conditions by the City Engineer:
 - a. requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for.
 - c. Traffic Impact Study is required and must be submitted prior to any DRB action or prior to EPC Site Development Plan for Building Permit action, which ever is made first.
 - d. At a minimum, access to site shall meet DPM requirements but may be modified by the Traffic Engineer depending on the results of the TIS.
 - e. Requirements for street right-of-way, geometry, connections and signalization shall be determined by the Traffic Engineer based on the TIS and DPM.

- f. All access points to be designed per DPM standards.
 - g. Provide cross access agreement between tracts.
 - h. Site shall comply and be designed per DPM Standards.
 - i. The note on sheet 1 of the Site Development Plan regarding the delegation of future site development plans for building permits, shall read Development Review Board (DRB) rather than "Administrative Review".
 - j. Platting should be a concurrent DRB action.
3. Under roadway access the text will be changed as follows:
It is anticipated that Aerospace Parkway will be an 86-foot right of way. It is further anticipated that access into specific development areas will be from a series of cul-de-sac streets with 60-foot rights-of-way. Specific right-of-way width for Aerospace Parkway and the cul-de-sacs shall be determined before final approval at the Development Review Board. The cul-de-sac streets also function as the primary utility corridors and will accommodate water, sewer, and storm drains.
4. The design guidelines and street sections on sheet, letter M shall be changed accordingly to match the Site Plan prior to final approval at the Development Review Board.
5. The Eclipse Aviation property (northeastern most 150 acres) is not governed by the following design standards. Eclipse Aviation shall prepare a separate Site Development Plan for Subdivision and Design Standards to be reviewed and approved by the Environmental Planning Commission as part of their internal master planning." Eclipse Aviation design standards shall be accompanied by the Aerospace Technology Park design standards to ensure compatibility.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JANUARY 30, 2004 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
JANUARY 15, 2004
PROJECT #1003125
PAGE 4 OF 4

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,


for Victor J. Chavez
Planning Director

VJC/CH/ac

cc: Consensus Planning, 924 Park Ave. SW, Albuquerque, NM 87102

1. Ranch Joint Venture

UPC: 10006111022530101

Tract D, Bulk Land Plat of Double Eagle II Airport and Adjacent Lands

2. City of Albuquerque

UPC: 100606111049520101

Tract F, Bulk Land Plat of Double Eagle II Airport and Adjacent Lands

3. City of Albuquerque

UPC: 100606020543520144

Portion of Tract S, Bulk Land of Double Eagle II Airport and Adjacent Lands

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME CA Aviation Dept / Ranch Joint Venture
AGENT Consensus Planning
ADDRESS 924 Park Ave SW
PROJECT & APP # 1003125/04DRB01630
PROJECT NAME Lands of Double Eagle

\$ 20.00 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 20.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City of Albuquerque
Treasury Division

10/19/2004 9:04AM LCC: AM
RECEIPT# 00070458 WS# 008 TR# 003
Account 441032 Fund 010
Activity 3424000 TCK#
Trans Amt \$20.00
124 Misc \$20.00
CK \$20.00
CHARGE \$0.00



SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

Supplemental form

S

V

P

L

Supplemental form

ZONING

- Annexation & Zone Establishment
- Sector Plan
- Zone Change
- Text Amendment

APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal

Z

A

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: City of Albuquerque Aviation Dept and Ranch Joint Venture PHONE: 244-7805, 792-3713
 ADDRESS: P.O. Box 9948; 3613 Rio Rancho Rd, St H FAX: 842-7334; 792-3735
 CITY: Albuquerque, Albuquerque STATE NM ZIP 87119; 8711 E-MAIL: jhinde@cabq.gov;
jblack@wwrealty.co
 Proprietary interest in site: COA owner of Tract S; RJV owner Tract D
 AGENT (if any): Molzen-Corbin & Assoc PHONE: 242-5700
 ADDRESS: 2701 Miles Rd, SE FAX: 242-0673
 CITY: Albuquerque STATE NM ZIP 87106 E-MAIL: mprovine@molzencorbin.com

DESCRIPTION OF REQUEST: Bulk Land Subdivision; Bulk Land Variance, Prelim & Final Plat
 Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. See attached (Tract D and S) Block: _____ Unit: _____
 Subdiv. / Addn. Lands of Double Eagle II Airport
 Current Zoning: SU-1 Airport and Related Uses Proposed zoning: n/a
 Zone Atlas page(s): F/G-6 No. of existing lots: 2 No. of proposed lots: 4
 Total area of site (acres): 300+- Density if applicable: dwellings per gross acre: 0 dwellings per net acre: 0
 Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? No
 UPC No. See attached MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Double Eagle II Airport
 Between: Near Paseo del Volcan (old) and North of Shooting Range Park Rd

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): Proj 1001656, 0114-0187 (Ax), 0110-01875(ZMA), 1003125 03EPC-02054 (SPS)

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Mike Provine DATE 10/1/04
 (Print) MIKE PROVINE Applicant Agent

FOR OFFICIAL USE ONLY

Form revised September 2001

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>04DRB-01505</u>	<u>BLU</u>	<u>✓</u>	\$ <u>0</u>
<input type="checkbox"/> All fees have been collected	<u>04DRB-01506</u>	<u>PEF</u>	<u>SC3</u>	\$ <u>0</u>
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>10-27-04</u>			Total \$ <u>0</u>

[Signature]
 Planner signature / date

Project # 1003125

Handwritten notes:
 10/5
 10/1/04
 [Signature]

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the vacation
 - Letter of authorization from the grantors and the beneficiaries
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

MIKE PROVINI
MLP Applicant name (print)
10/1/04 Applicant signature / date



Form revised 4/03 and October 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04 DRB - 01505

[Signature] 10-1-04
 Planner signature / date
Project # 1003125

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT **YOUR ATTENDANCE IS REQUIRED.**

- ___ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT **Your attendance is required.**

- ___ Preliminary Plat reduced to 8.5" x 11"
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Copy of previous D.R.B. approved infrastructure list
 - ___ Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
 - ___ Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL **Your attendance is required.**

- ___ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Design elevations & cross sections of perimeter walls **3 copies**
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- ___ Property owner's and City Surveyor's signatures on the Mylar drawing
- ___ SIA financial guaranty verification
- ___ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- ___ Any original and/or related file numbers are listed on the cover application
- ___ **DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL **Your attendance is required.**

- ___ Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- NA* Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- NA* Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Pending Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) **Your attendance is required.**

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - ___ Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - ___ Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Mike Preville
Applicant name (print)
Mike Preville 10/1/04
Applicant signature / date



Form revised 3/03, 8/03, 11/03 & 8/04

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04DRB - 01506

[Signature]
Planner signature / date

Project # 1003125

2701 MILLENBURY SE
ALBUQUERQUE, NM 87106
TEL: 505.242.5700
FAX: 505.242.0673



MOLZEN-CORBIN & Associates

ENGINEERS/ARCHITECTS/PLANNERS

September 30, 2004

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

RE: Aerospace Technology Park at Double Eagle II Airport

ABQ21-20.D20

Dear Madam Chair:

The purpose of this letter is to explain our request for approval of a Bulk Land Plat/Variance for the lands of Double Eagle II Airport and the Aerospace Technology Park (ATP) on behalf of the City of Albuquerque Aviation Department and Ranch Joint Venture. The site is located on the City's west side, adjacent to the Double Eagle II Airport. The Environmental Planning Commission approved a Site Plan for Subdivision for the ATP on January 15, 2004 (Project 1003125; 03EPC-02054).

The ATP site covers approximately 300 acres which includes from north to south: 150 acres to be provided to Eclipse Aviation; 50 acres to be retained by Ranch Joint Venture and 100 acres owned by the City of Albuquerque Aviation Department. The entire property is zoned SU-1 for Airport-Related Use. This subdivision is necessary to divide the Ranch Joint Venture and the Aviation Department properties into four tracts as follows:

- Tract D, currently owned by Ranch Joint Venture, will be subdivided into Tract D-1 and Tract D-2. Tract D-1, 150 acres, is for Eclipse Aviation and Tract D-2, 50 acres, will remain within the ATP.
- Tract S is currently owned by the City of Albuquerque Aviation Department and will be subdivided into two tracts. Tract S-1 will be within the ATP, and Tract S-2 will remain within the boundaries of Double Eagle II Airport and will not be available for development under Federal Aviation Administration guidelines.

A Bulk Land Variance is also requested in this action in order to waive the infrastructure list and subdivision improvements agreement at this time. The entire property is zoned SU-1, therefore, all tracts will have to go through the approval process when specific development is proposed for the individual tracts.

A Traffic Impact Study is currently being completed for the ATP development by our office. The study will be submitted at least one week prior to the DRB hearing concerning the

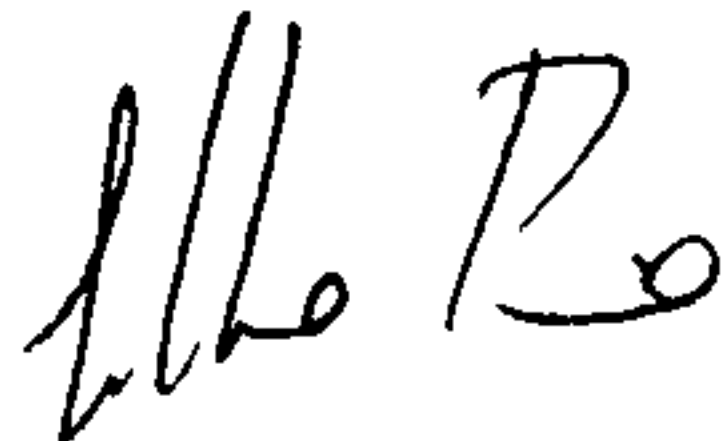
Ms. Sheran Matson, AICP, Chair
September 30, 2004
Page 2

subdivision as required EPC's condition of approval. Subsequently, we will be requesting a vacation of the western access easement once the right-of-way requirements have been determined for the ATP in conjunction with the Traffic Impact Study.

We appreciate the Board's review of this submittal and the assistance that has been extended to this project by the staff. Please do not hesitate to contact me at 242-5700 with any questions or if you need any additional information prior to the hearing

Sincerely,

MOLZEN-CORBIN & ASSOCIATES



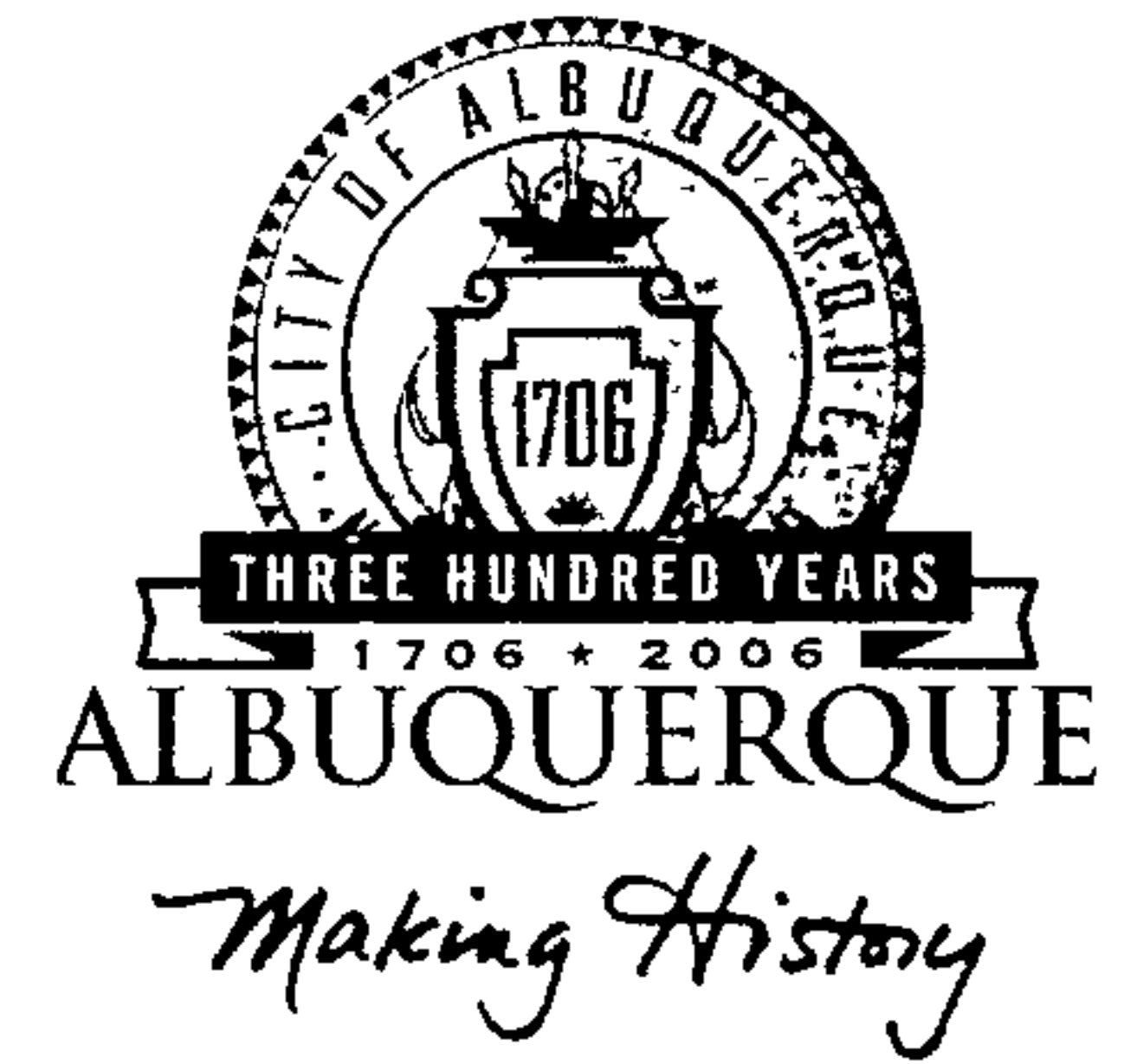
Mike Provine, P.E.

MP:jgo

cc: Mr. Jim Hinde, City of Albuquerque Aviation Department
Mr. John Black, Ranch Joint Venture
Ms. Jackie Fishman, Consensus Planning, Inc.

*Have updated word:ing for Plat-conditions-will
-Make-revisions*

CITY OF ALBUQUERQUE



Martin J. Chavez
Mayor

John D. "Mike" Rice
Director of Aviation

September 30, 2004

Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87103

RE: Subdivision of Lands of Double Eagle II Airport and
Aerospace Technology Park

P O Box 9948

Dear Chairwoman Matson:

Albuquerque

The purpose of this letter is to authorize Molzen-Corbin & Associates to act as our agent for the subdivision of the lands of Double Eagle II Airport and Aerospace Technology Park. The City of Albuquerque Aviation Department is the owner of a portion of the properties included in this subdivision request. The submittal will be made on October 1, 2004.

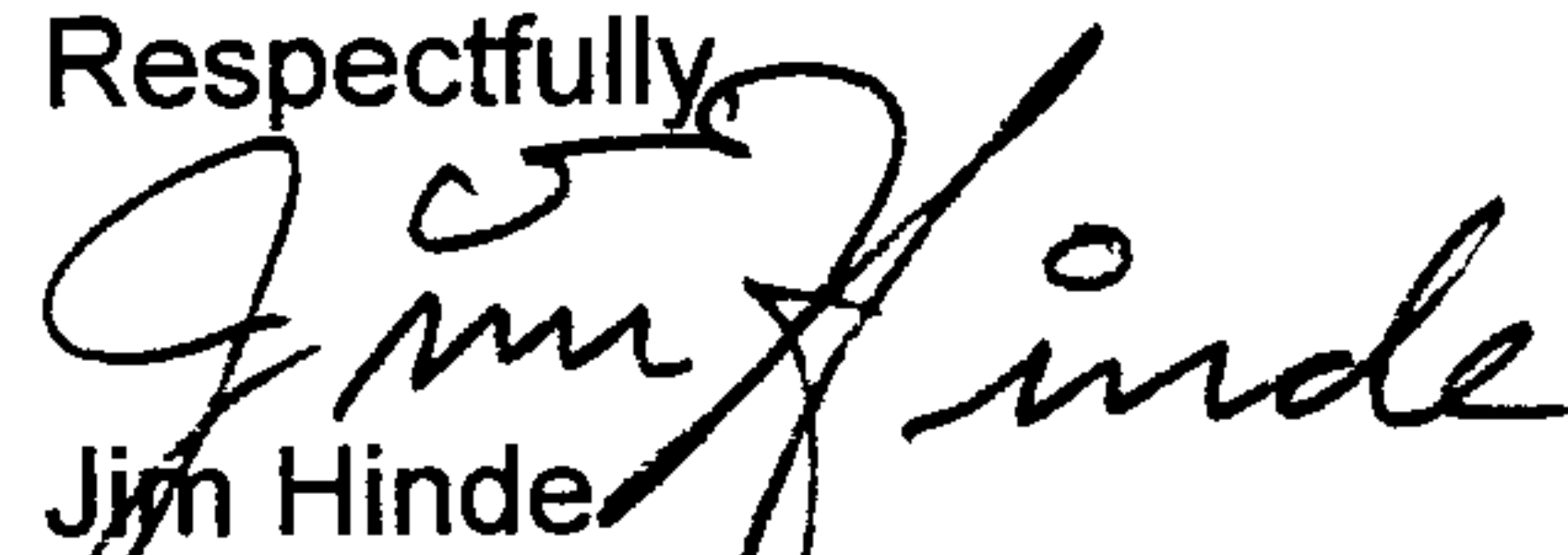
New Mexico

Please contact Molzen-Corbin & Associates with any questions or concerns.

87119-1048

Respectfully,

www.cabq.gov


Jim Hinde
Planning Manager

Atp093004



September 30, 2004

Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87103

RE: Subdivision of Lands of Double Eagle II Airport and
Aerospace Technology Park

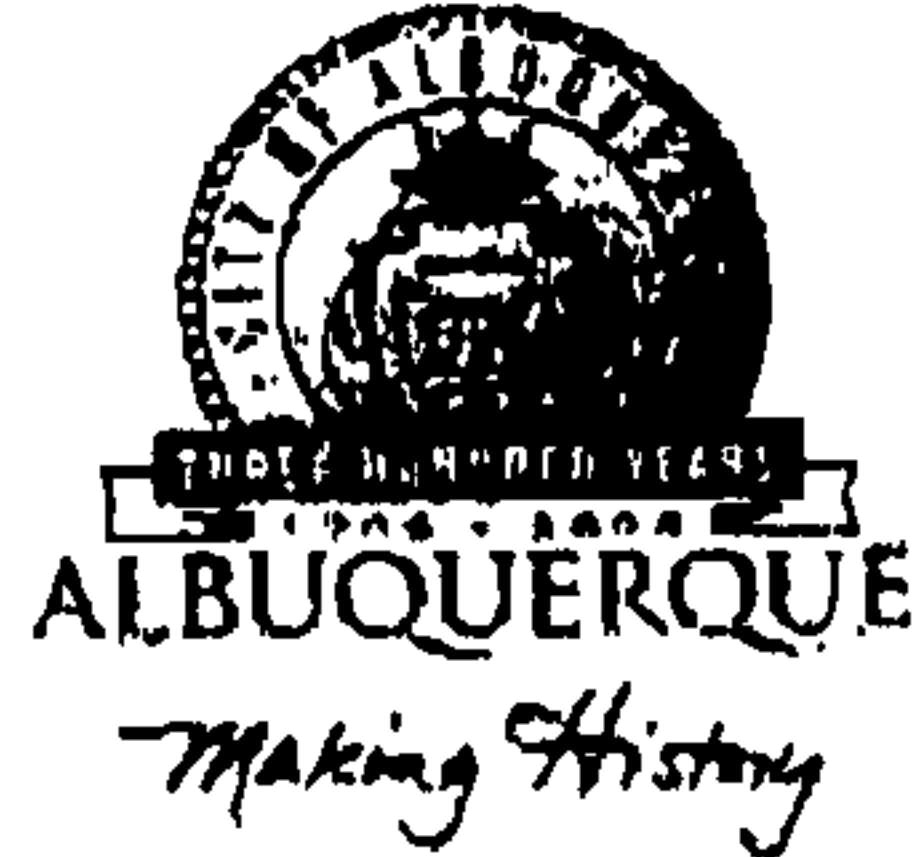
Dear Chairwoman Matson:

The purpose of this letter is to authorize Molzen-Corbin & Associates to act as our agent for the subdivision of the lands of Double Eagle II Airport and Aerospace Technology Park. Ranch Joint Venture is the owner of a portion of the properties included in this subdivision request. The submittal will be made on October 1, 2004.

Please contact Molzen-Corbin & Associates with any questions or concerns.

Sincerely,


John Black
Ranch Joint Venture



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information -- outdated information may result in a deferral of your case.

Date: September 29, 2004

Planning Department
 Plaza Del Sol Building
 600 Second St. NW
 Second Floor (924-3860)

This letter will serve to notify you that on 9/29/04
 (date)

TO CONTACT NAME: Mike Province / Debi Dody
 COMPANY/AGENCY: Molzen-Corbin - Assoc
 ADDRESS/ZIP: 2701 Miles Rd. SE 87106
 PHONE/FAX #: 242-5700 ext 242-0673

Contacted the Office of Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at Double Eagle II Airport and Aerospace Technology Park at Double Eagle II Airport
 zone map page(s) _____.

Our records indicate that as of 9/29/04, there were **no Recognized**
 (date)

Neighborhood Associations in this area.

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

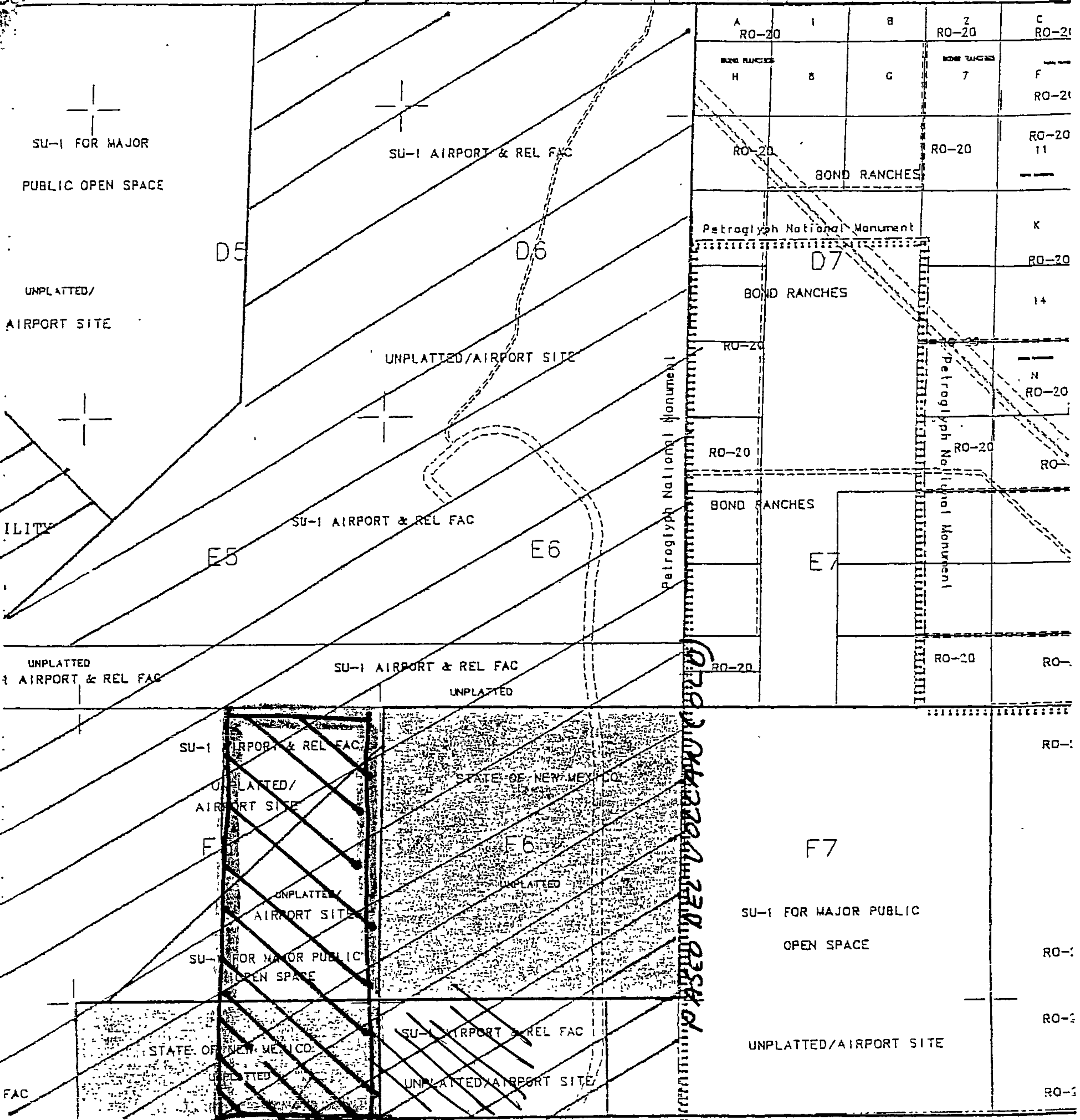
Sincerely,

Justin V. Kousj
 OFFICE OF NEIGHBORHOOD COORDINATION

UNPLATTED TOWN OF ALAMEDA GRANT/BLACK FAMILY RANCH

ALAMEDA COUNTY 125

ALAMEDA COUNTY 125



SHOOTING RANGE ACCESS RD

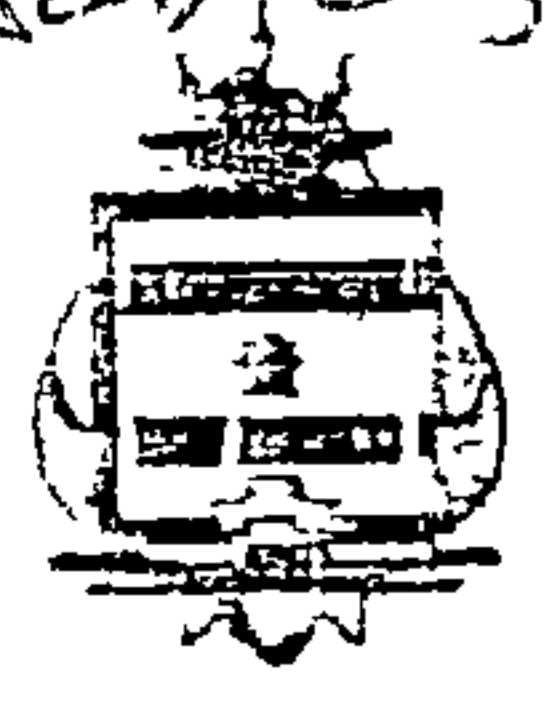
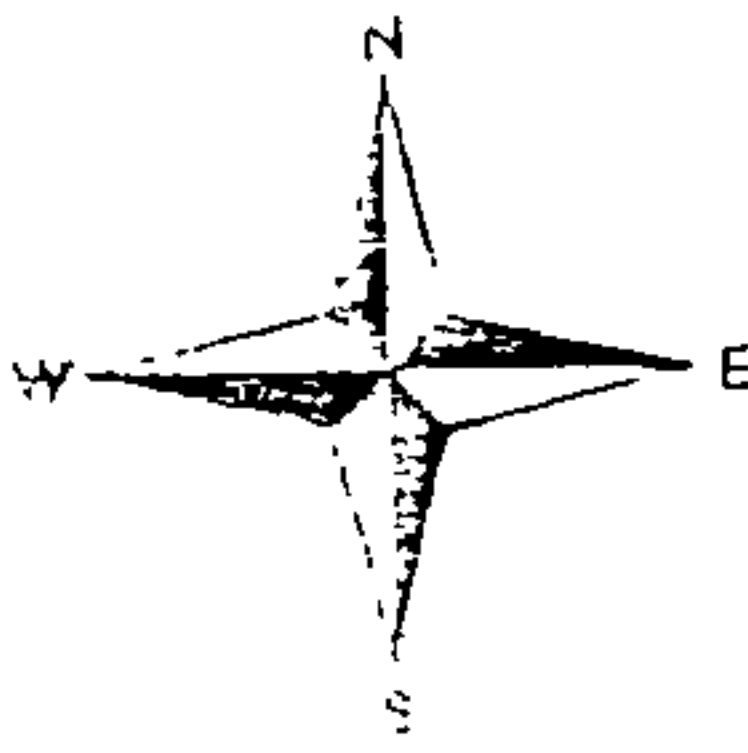
G5

G7

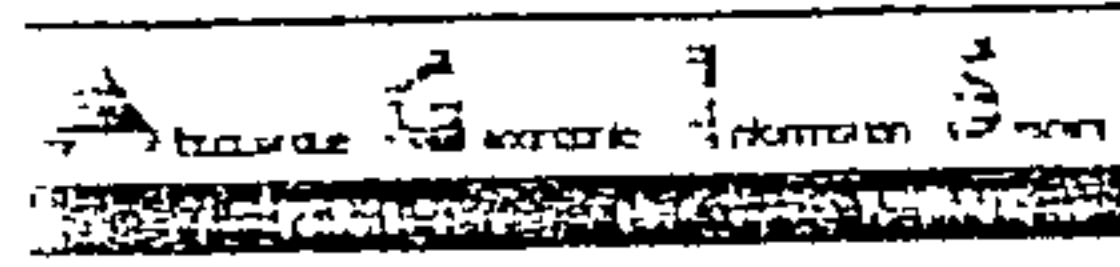
TOWN OF ATRISCO GRANT

TOWN OF ATRISCO GRANT

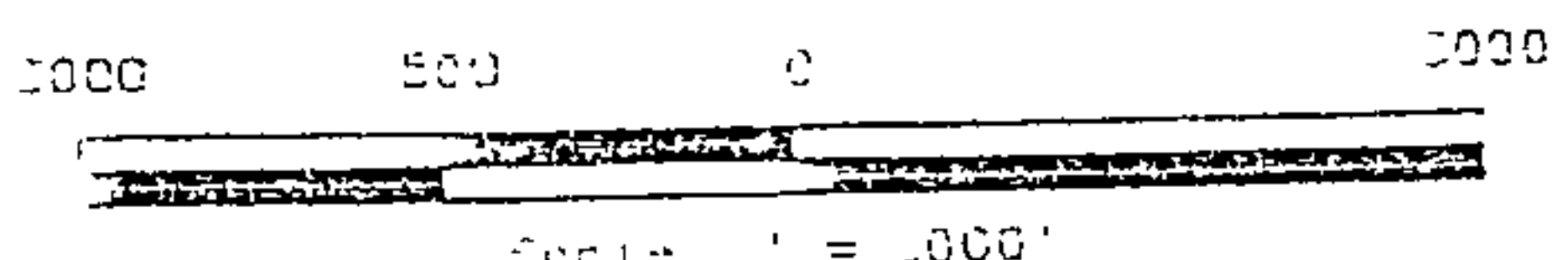
±300 Acres: 100 COA 200 R JV



CITY OF ALBUQUERQUE

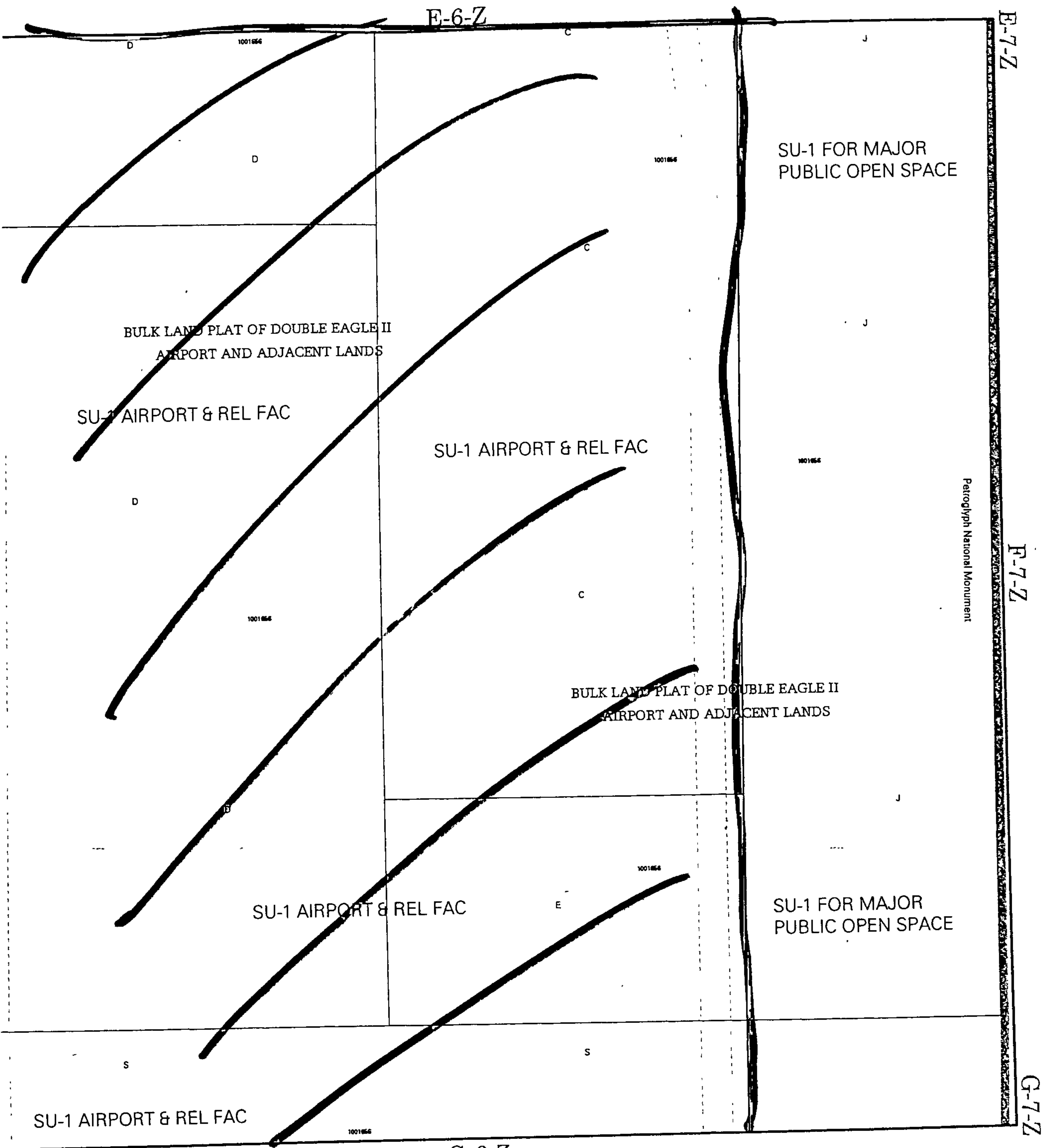


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Zone Atlas Pages

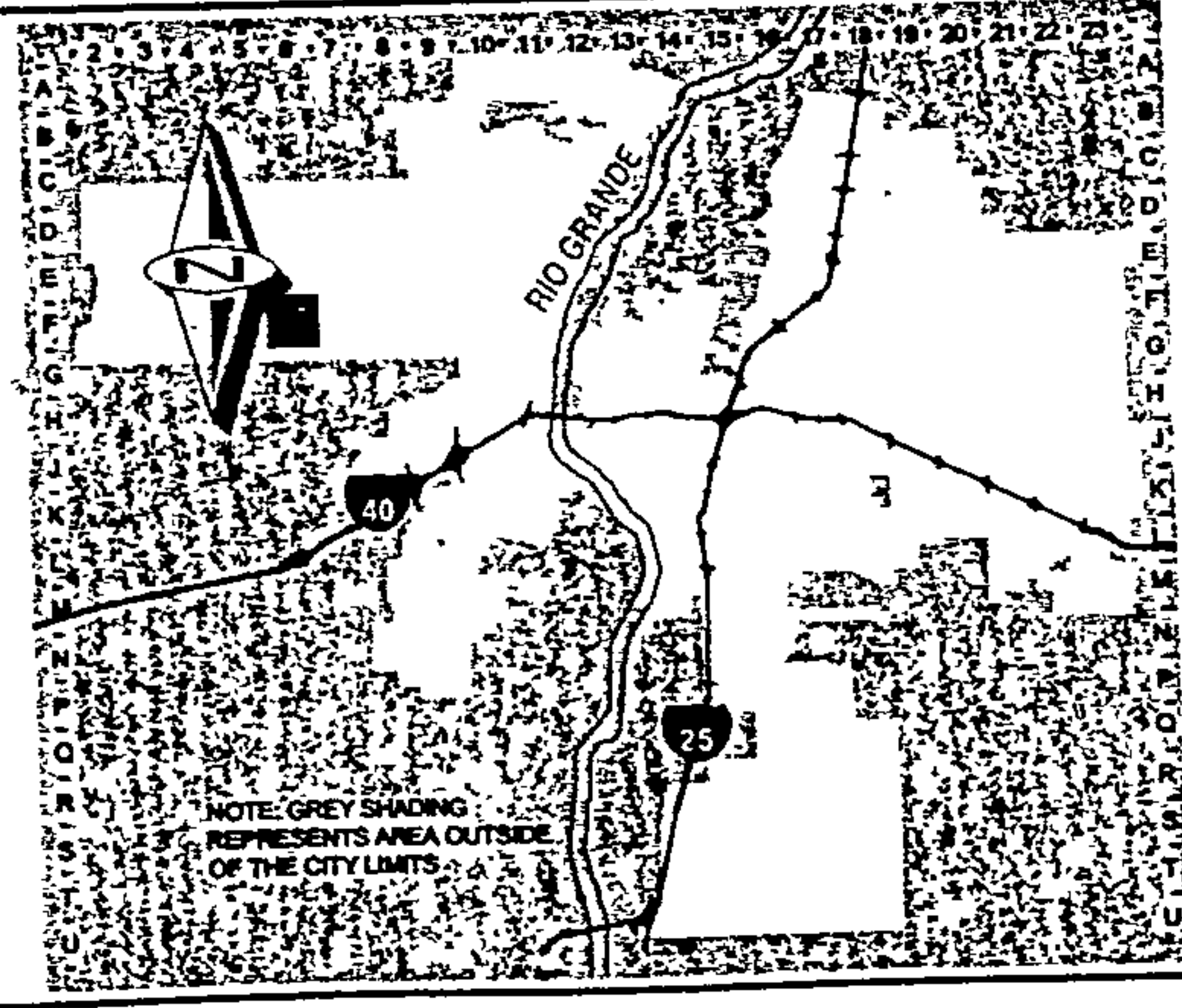
- C-5-2 TO C-7-2
- D-5-2 TO D-7-2
- E-5-2 TO E-7-2
- F-5-2 TO F-7-2
- G-5-2 TO G-7-2



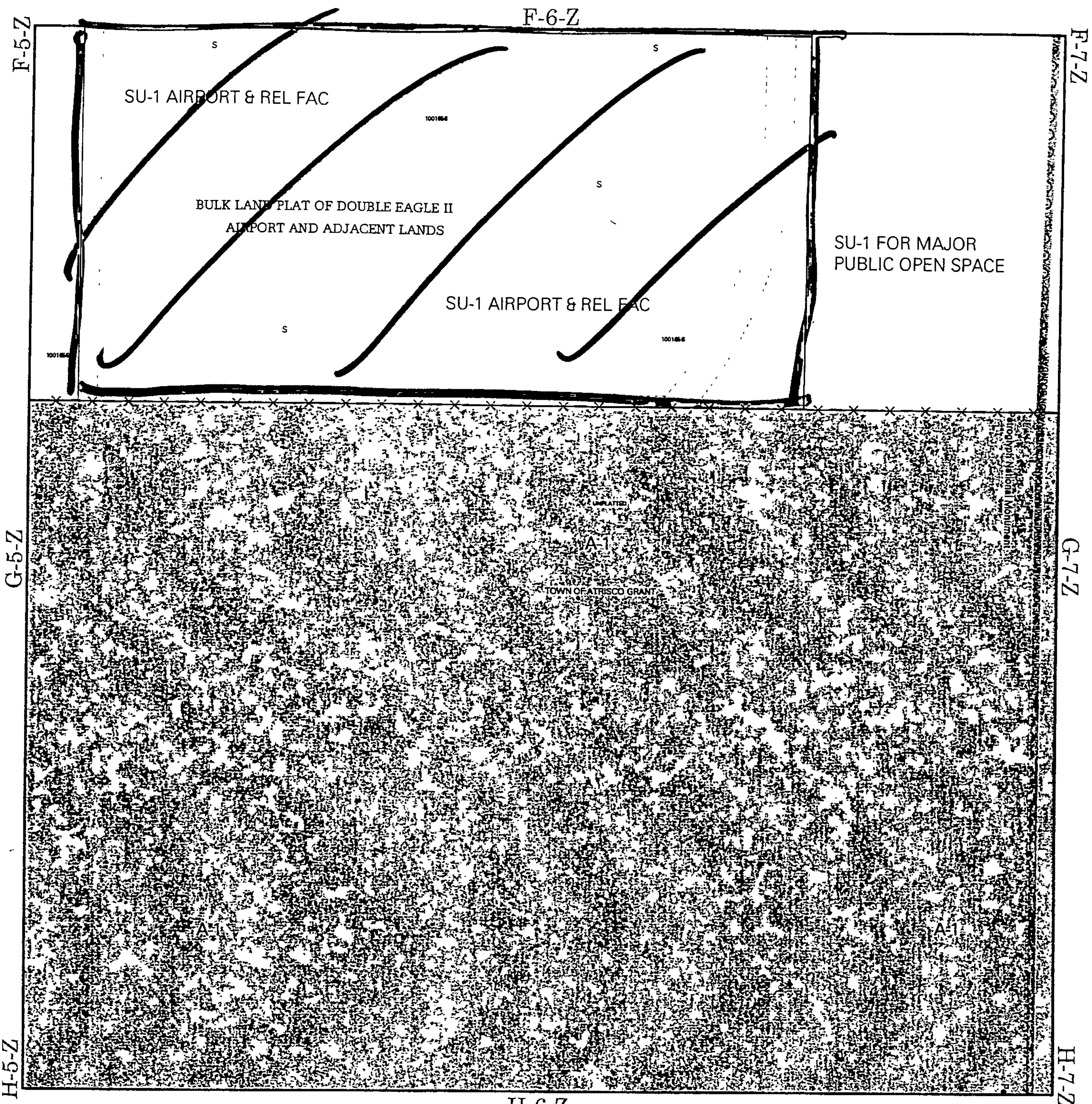
Zone Atlas Page: **F-6-Z**
 amended through: **Aug 06, 2004**
 Selected Symbols

Incorporated Areas	✕	Grant Boundaries
Sector Plan Boundaries	⌒	Petroglyph
Parcel Boundaries	—	H-1 Buffer Zone
Easement Lines	~	Arroyos
Freeway Lanes	—	LDN Noise Level
Jurisdictional Boundaries	+	Airport Clearance Zone
Westgate Wall	••	Design Overlay Zones
Escarpment		

750 1,500 Feet



CITY OF ALBUQUERQUE
 THREE HUNDRED YEARS
 1706 - 2006
ALBUQUERQUE
Haciendo Historia
Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT
 © Copyright 2004

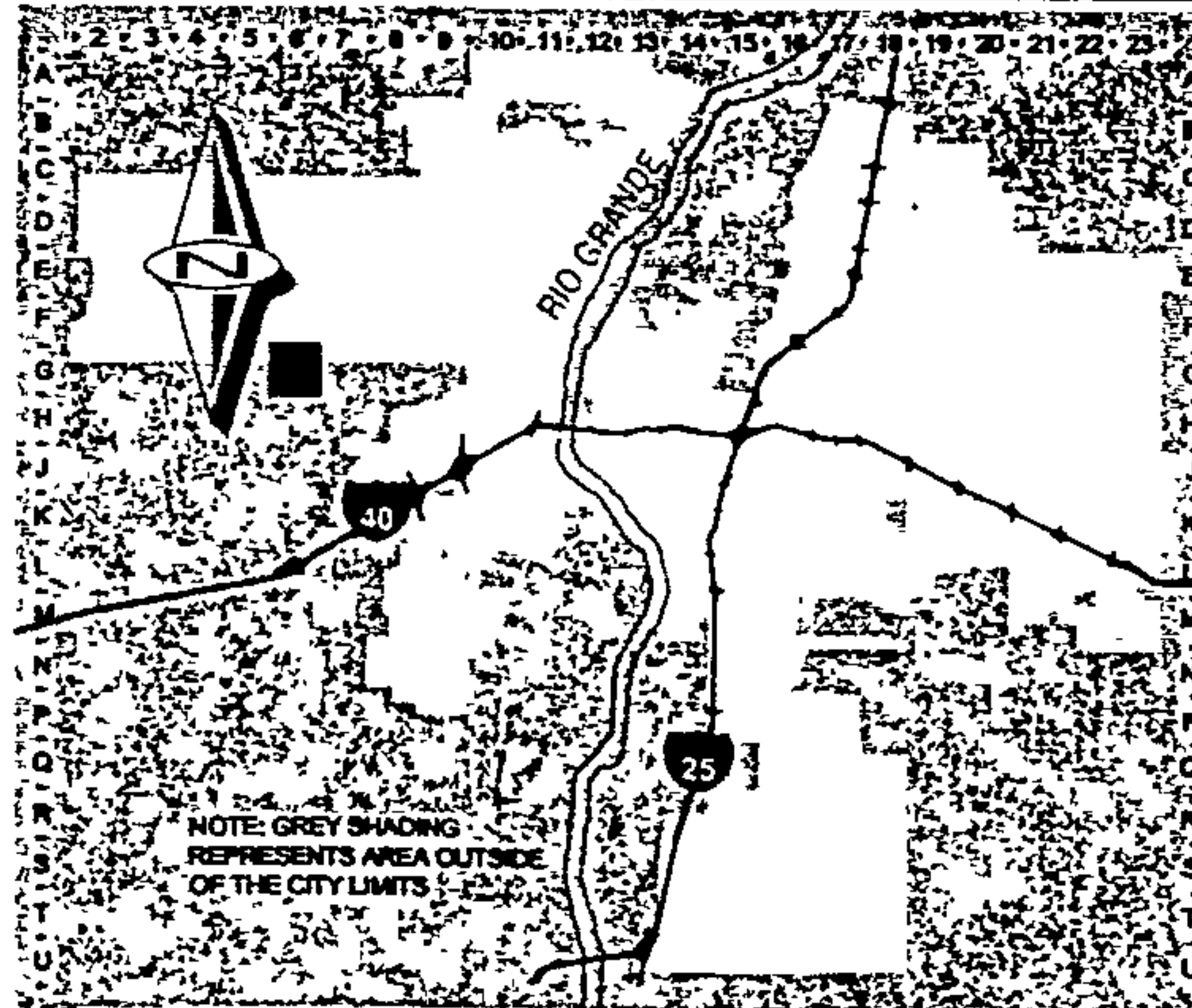
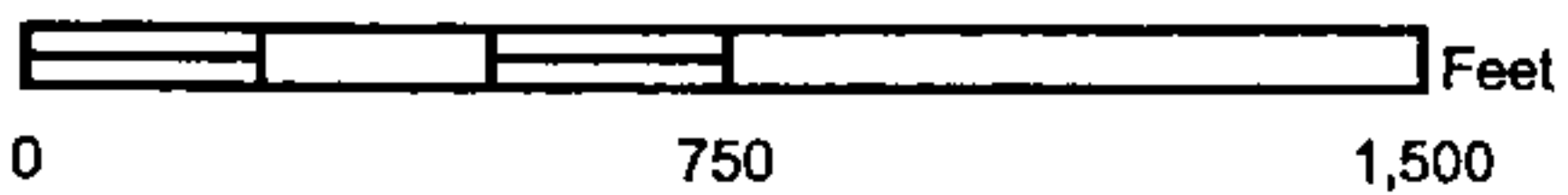


Zone Atlas Page: **G-6-Z**

Map amended through: **Aug 06, 2004**

Selected Symbols

- | | | | |
|--|---------------------------|--|------------------------|
| | Unincorporated Areas | | Grant Boundaries |
| | Sector Plan Boundaries | | Petroglyph |
| | Parcel Boundaries | | H-1 Buffer Zone |
| | Easement Lines | | Arroyos |
| | Freeway Lanes | | LDN Noise Level |
| | Jurisdictional Boundaries | | Airport Clearance Zone |
| | Westgate Wall | | Design Overlay Zones |
| | Escarpment | | |



ALBUQUERQUE
Haciendo Historia
A G I S
 Albuquerque Geographic Information System
PLANNING DEPARTMENT
 © Copyright 2004

1. Ranch Joint Venture
UPC: 10006111022530101
Tract D, Bulk Land Plat of Double Eagle II Airport and Adjacent Lands

2. City of Albuquerque Aviation Department
UPC: 100606020543520144
Tract S, Bulk Land of Double Eagle II Airport and Adjacent Lands

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.50 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 10-12-04 To 10-27-04

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] (Applicant or Agent) 10/1/04 (Date)

I issued 2 signs for this application, 10-1-04 (Date) [Signature] (Staff Member)

DRB PROJECT NUMBER: 100 3125

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

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1. LOCATION

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- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

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- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 11-23-04 To 12-8-04

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] (Applicant or Agent) 11/10/04 (Date)

I issued 2 signs for this application, 11/10/04 (Date), [Signature] (Staff Member)

DRB PROJECT NUMBER: 1003125