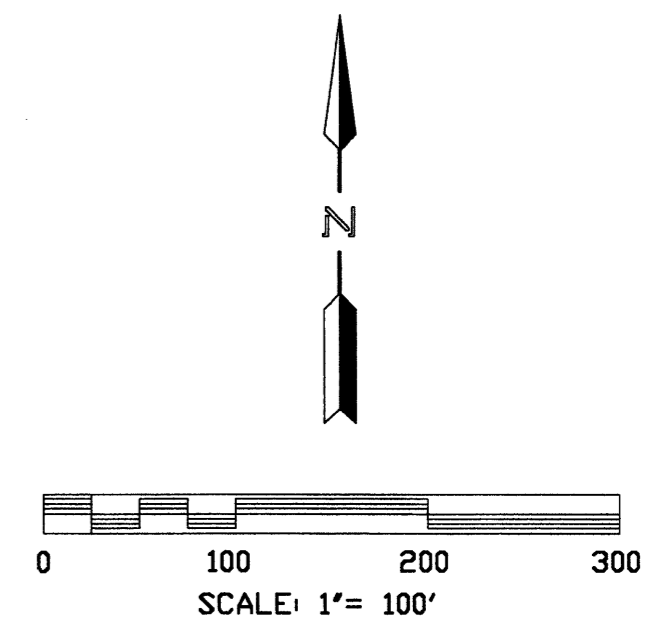


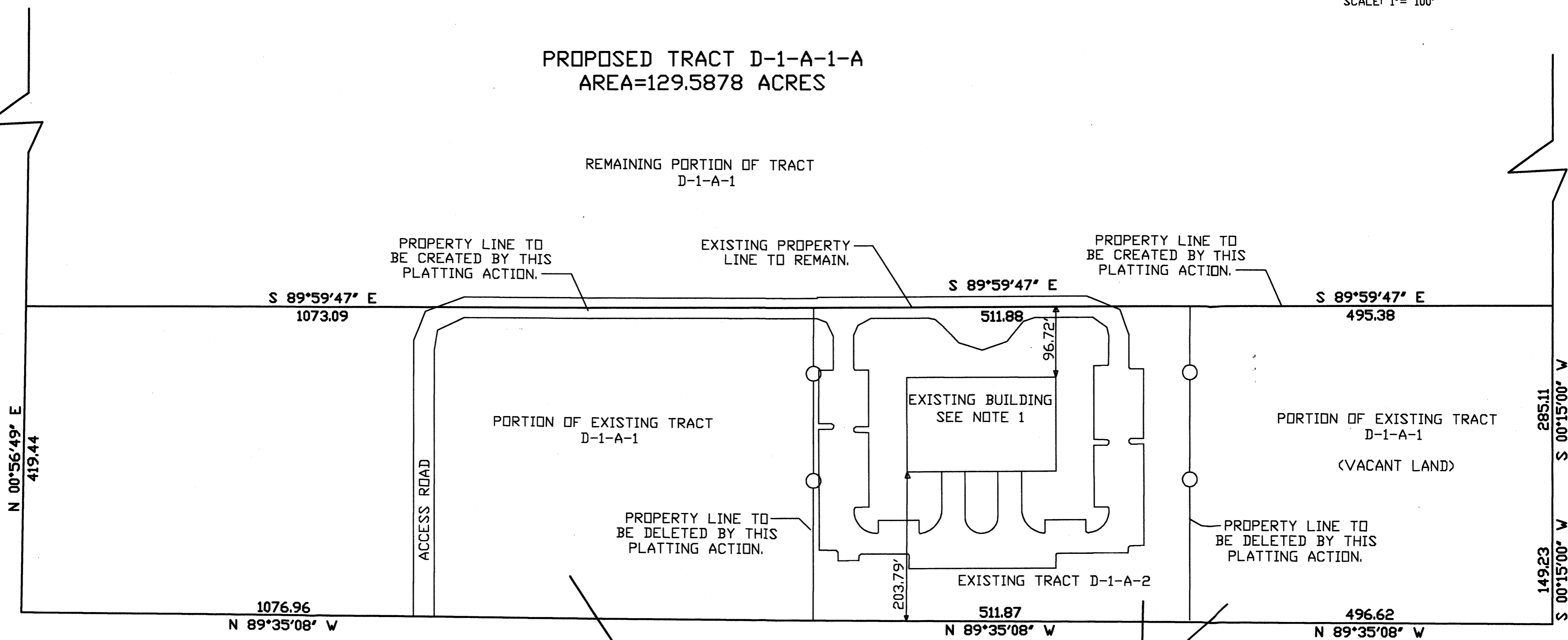
EXHIBIT OF EXISTING IMPROVEMENTS
 OF
 EXISTING TRACTS D-1-A-1 & D-1-A-2
 AEROSPACE TECHNOLOGY PARK
 DOUBLE EAGLE II AIRPORT
 OCTOBER, 2011

(VACANT LAND)



PROPOSED TRACT D-1-A-1-A
 AREA=129.5878 ACRES

REMAINING PORTION OF TRACT
 D-1-A-1



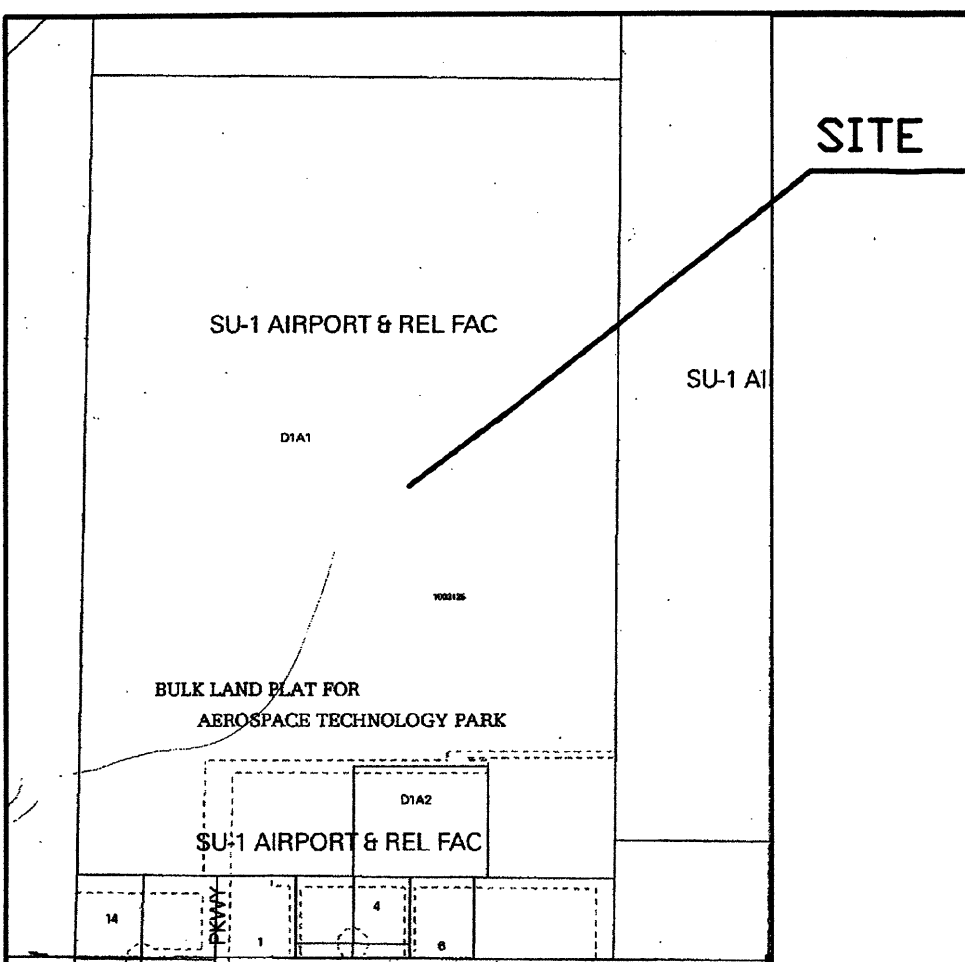
PROPOSED TRACT D-1-A-1-B
 AREA=20.4116 ACRES

NOTE 1: EXISTING BUILDING IS VACANT AND WAS THE
 CUSTOMER TRAINING CENTER FOR ECLIPSE AVIATION.

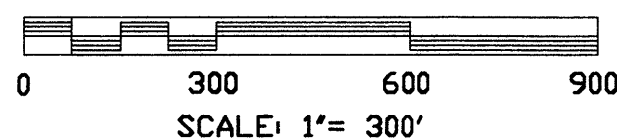
110109C.DWG

SR & ASSOC *Santiago Romero Jr.*
 and Associates, Inc.
 ENGINEERS SURVEYORS
 8708 BRANDYWINE RD. N.E.,
 ALBUQUERQUE, NEW MEXICO 87111
 (505)400-3845

SKETCH PLAT OF TRACTS D-1-A-1-A AND D-1-A-1-B
 OF
 BULK LAND PLAT
 FOR
 AEROSPACE TECHNOLOGY PARK
 WITHIN
 SECTION 36, TOWNSHIP 11 NORTH, RANGE 1 EAST
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2011



VICINITY MAP
 ZONE ATLAS MAP F-06
 N.T.S.



LEGEND

- FOUND NO. 5 REBAR W/ CAP STAMPED "PS 7924" OR AS NOTED.
- SET NO. 5 REBAR WITH CAP STAMPED "PS 7924" OR AS NOTED.

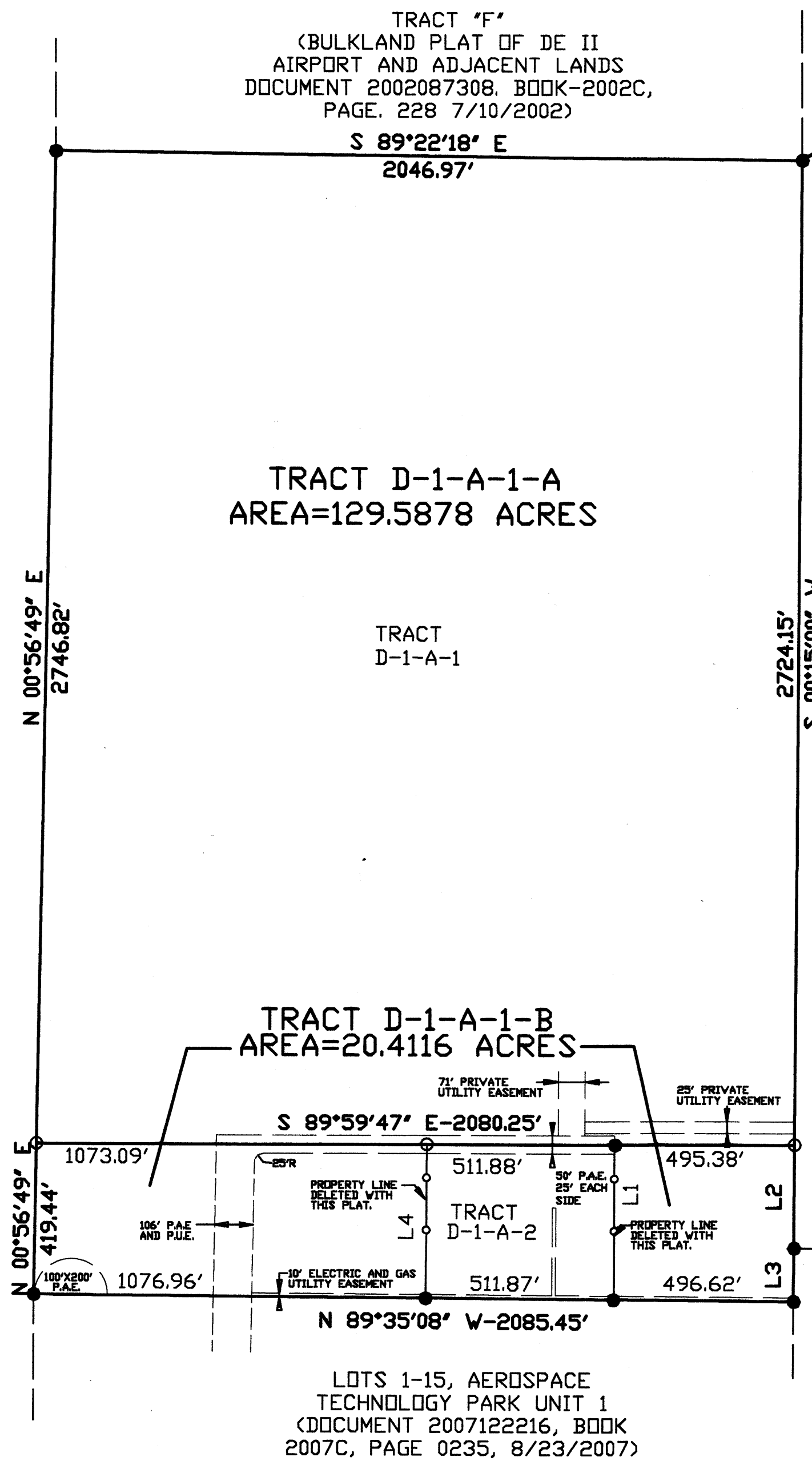
LINE TABLE

LINE	BEARING	DISTANCE
L1	S 00°24'52" W	430.79'
L2	S 00°15'00" W	285.11'
L3	S 00°15'00" W	149.23'
L4	N 00°24'52" E	427.12'

TRACT "B"
 (BULKLAND PLAT OF DE II
 AIRPORT AND ADJACENT LANDS
 DOCUMENT 2002087308, BOOK-2002C,
 PAGE. 228 7/10/2002)

TRACT "C"
 (BULKLAND PLAT OF DE II
 AIRPORT AND ADJACENT LANDS
 DOCUMENT 2002087308, BOOK-2002C,
 PAGE. 228 7/10/2002)

COA SURVEY CONTROL
 POINT "EAGLEAIR"
 N=1508539.050
 E=1480100.107
 NAD 83
 MAPPING ANGLE=-0°18'31.37"
 G/G FACTOR=0.999682094



TRACT D-1-A-1-A
 AREA=129.5878 ACRES

TRACT
 D-1-A-1

TRACT D-1-A-1-B
 AREA=20.4116 ACRES

71' PRIVATE UTILITY EASEMENT
 25' PRIVATE UTILITY EASEMENT

PROPERTY LINE DELETED WITH THIS PLAT.

PROPERTY LINE DELETED WITH THIS PLAT.

TRACT D-1-A-2

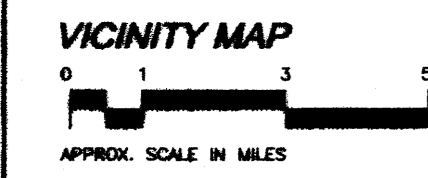
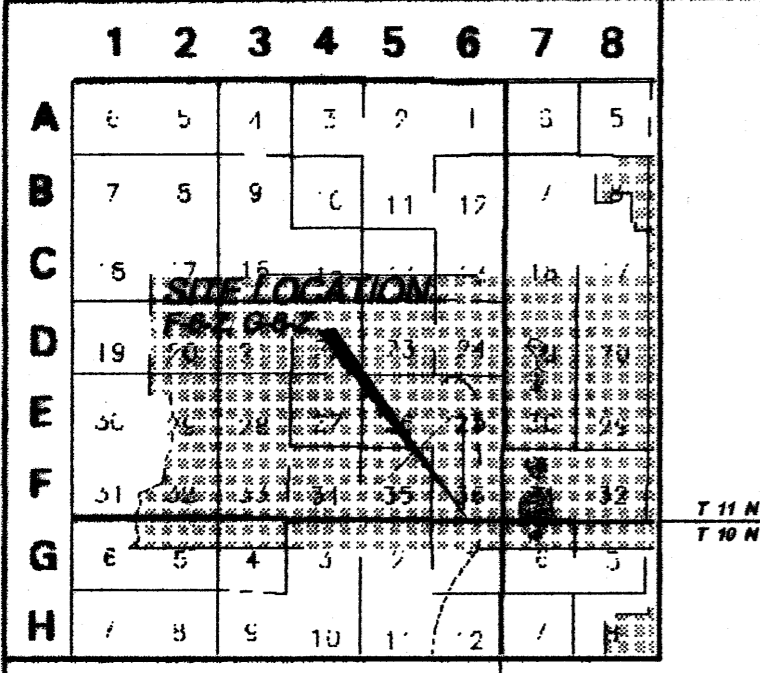
LOTS 1-15, AEROSPACE
 TECHNOLOGY PARK UNIT 1
 (DOCUMENT 2007122216, BOOK
 2007C, PAGE 0235, 8/23/2007)

TRACT "F"
 (BULKLAND PLAT OF DE II
 AIRPORT AND ADJACENT LANDS
 DOCUMENT 2002087308, BOOK-2002C,
 PAGE. 228 7/10/2002)

110109B.DWG

S&ASSOC Santiago Romero Jr.
 and Associates, Inc.
 ENGINEERS SURVEYORS
 8708 BRANDYWINE RD., N.E.
 ALBUQUERQUE, NEW MEXICO 87111
 (505)400-3845

PLAT OF TRACTS D-1-A AND S-1-A
OF
AMENDED BULK LAND PLAT
FOR
AEROSPACE TECHNOLOGY PARK
WITHIN
SECTION 36, TOWNSHIP 11 NORTH, RANGE 1 EAST
AND
SECTION 3, TOWNSHIP 10 NORTH, RANGE 1 EAST
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2007



KEYED NOTES

- ① THE STATE LAND OFFICE IS AN INTENDED BENEFICIARY OF THE PUBLIC ACCESS EASEMENT FOR ACCESS TO TRACT B
- ② 10' WIDE ELECTRIC AND GAS UTILITY EASEMENT
- ③ 106' WIDE PUBLIC ACCESS EASEMENT AND PUBLIC UTILITY EASEMENT GRANTED BY PLAT (DOC 2004178149 BK-2004C, PG 396, FILED 12/21/06)
- ④ TRACT D-1 (FILED 12/21/2004, VOL 2004C, FOLIO 396) IS SUBDIVIDED INTO TRACT D-1-A1 (144.9598AC) AND TRACT D-1-A2 (50406AC)

NOTE

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERCTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

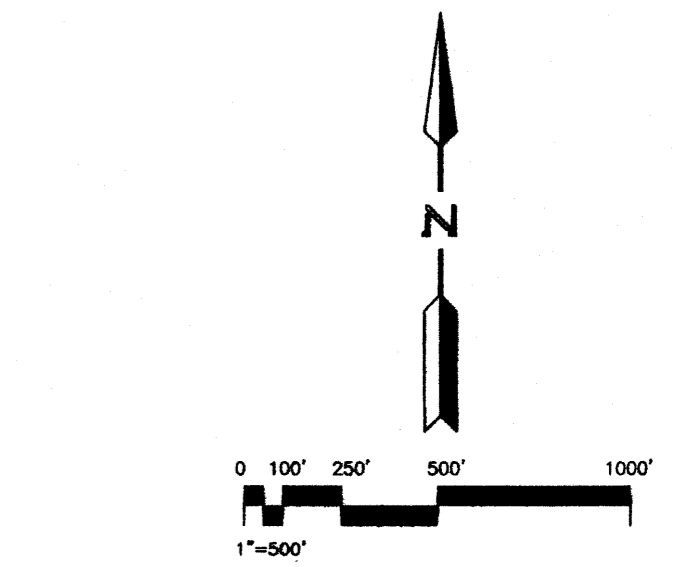
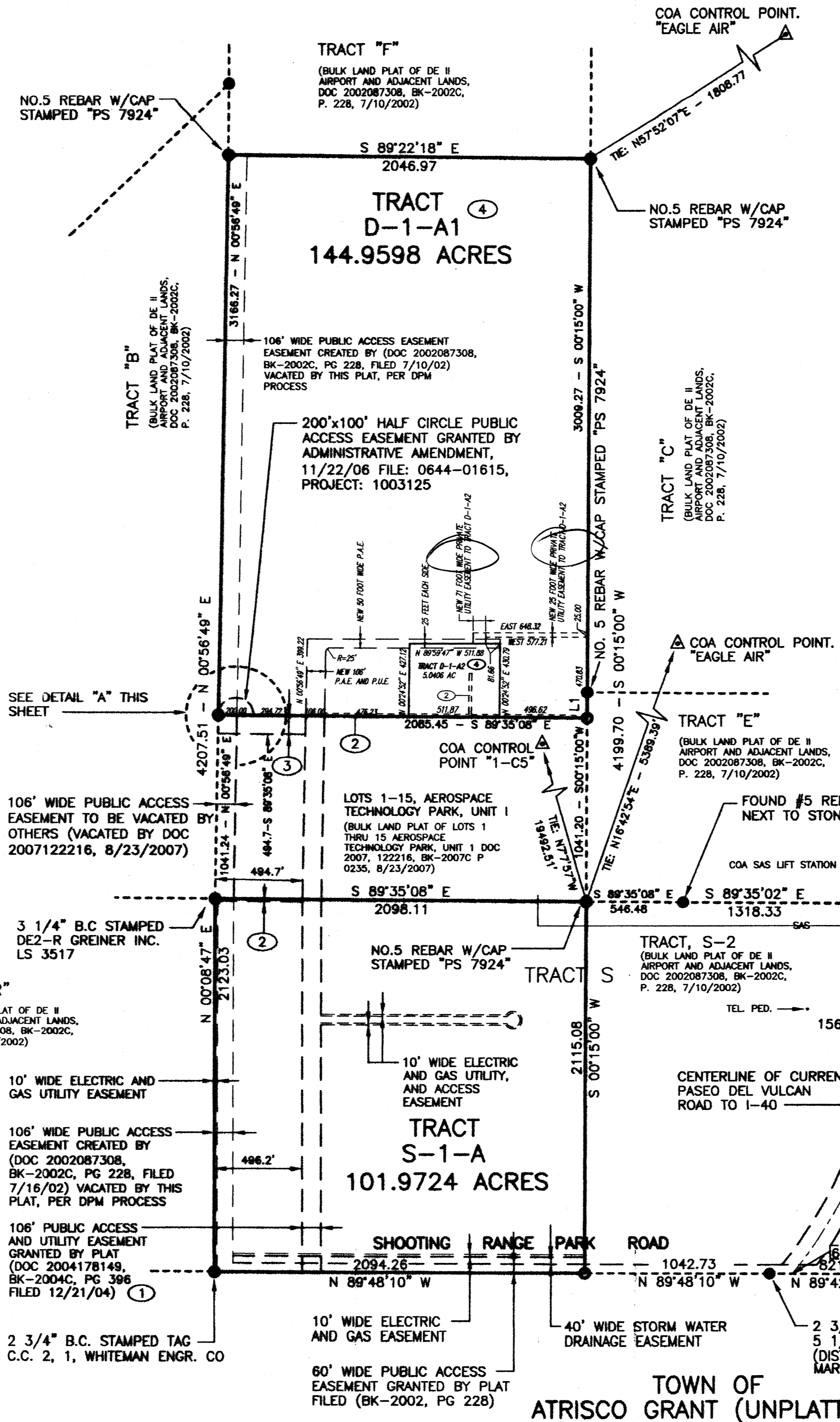
LEGEND

- SET NO.5 REBAR WITH CAP STAMPED PS 7924.
- FOUND PROPERTY CORNER.
- △ COA BRASS CAP

CONTROL MONUMENTS

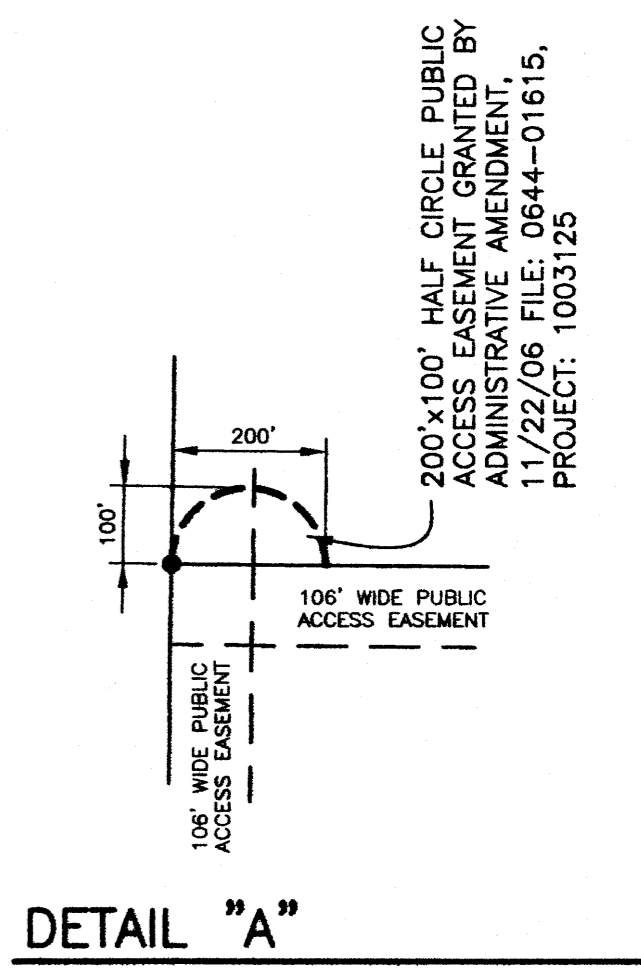
NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927, NGVD 1929)

DESIGNATION	DATA
EAGLE AIR	N 1508476.41 E 339854.29 ELEV. 5797.672 G-G 0.999652162 DELTA ALPHA -00°18'30"
1-C5	N 1522656.41 E 335883.95 ELEV. 5930.7 (TRIG) G-G 0.9996472 DELTA ALPHA -00°18'59"



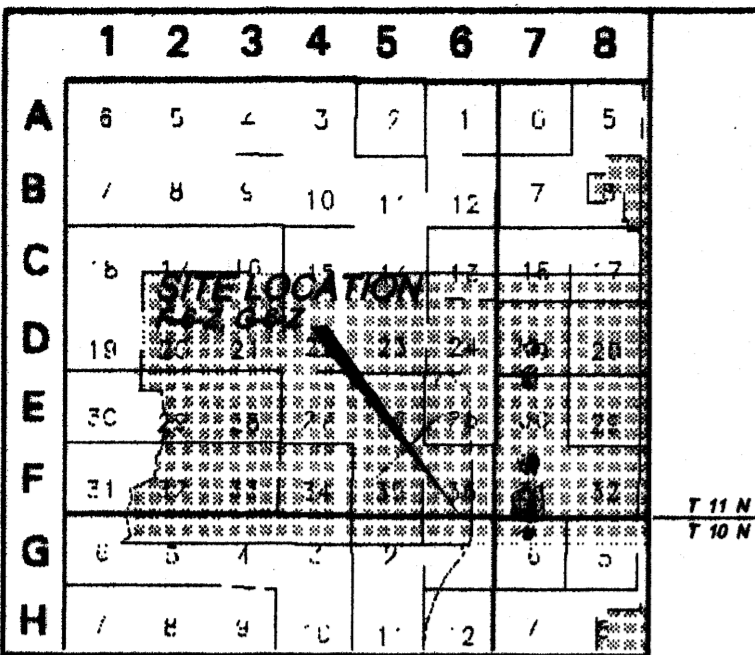
	BEARING	DIST.
L1	S 00°15'00\" W	149.23

	LENGTH	DELTA	RADIUS	CHORD	CH. BR.
C1	1598.62	39°44'14"	2305.00	1566.77	N 20°06'43\" E



DETAIL "A"

Doc 18, 2007 - 3:51pm
 EVALUATION\AA421-20-Eclipse-Aviation-Corporate-ATP\DWG\315\Plan\REVISED_040113.dwg



ZONE ATLAS MAPS
F-6-Z, G-6-Z

VICINITY MAP
NOT TO SCALE:

DISCLOSURE STATEMENT

PURPOSE OF PLAT

1. THE PURPOSE OF THIS AMENDED BULK LAND PLAT IS TO VACATE, PER DPM PROCESS, AN 106' PUBLIC ACCESS EASEMENT WITHIN TRACTS D-1 AND S-1 AS RECORDED ON BULK LAND PLAT FOR AEROSPACE TECHNOLOGY PARK (DOC 2004178149, BK-2004C, PG 396, FILED 12/21/2004).
2. THE PURPOSE OF THIS PLAT IS TO DIVIDE TRACT D-1-A INTO (2) TRACTS DESIGNATED AS TRACTS D-1-A1 AND D-1-A2 AND GRANT EASEMENTS AS SHOWN

DATA

1. NEW CASE NO: 04DRB-01505, 01506 BLV, P&F, BULK LAND VARIANCE NO. 1003125
2. GROSS SUBDIVISION ACREAGE 392.3607 ACRES
3. DATE OF SURVEY: 9/2004
4. TALOS LOG NO: 2007-25-4005

NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (NAD 27 CENTRAL ZONE, NGVD 29), CITY OF ALBUQUERQUE CONTROL SYSTEM MONUMENTS "EAGLE AIR".
2. DISTANCES ARE GROUND DISTANCES.
3. TRACTS 'S-1, S-2, D-1, & D-2' SHALL REMAIN ZONED SU-1 AIRPORT RELATED FACILITIES PER EPC APPROVAL 1001656/03EPC00915.
4. BASIS OF BOUNDARY IS FROM THE FOLLOWING REFERENCE DOCUMENTS:
 A. BULK LAND PLAT OF DOUBLE EAGLE II AND ADJACENT LANDS, FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK IN BOOK 2002C, PAGE 228.
 B. MAP OF T 10 N, R 1 E, N.M.P.M. PREPARED BY THE SURVEYOR GENERAL'S OFFICE, SANTA FE, N.M., NOV. 20, 1875 AND ON FILE WITH THE U.S. BUREAU OF LAND MANAGEMENT.
 C. BULK LAND PLAT OF DOUBLE EAGLE II AND ADJACENT LANDS (DOC 2002087308, BK-2002C, PG 228, FILED 7/10/2002).
5. PLAT SHOWS ALL EASEMENTS OF RECORD PROVIDED BY A DOCUMENT SEARCH BY ALBUQUERQUE TITLE CO. INC., INC., FILE NO. 188179TI ON NOVEMBER 1, 2000.
6. BLANKET DRAINAGE EASEMENTS ARE HEREBY GRANTED TO THE CITY OF ALBUQUERQUE ON TRACTS D-1, D-2, S-1 & S-2. FUTURE SUBDIVISION ACTIONS MAY FURTHER DEFINE THESE BLANKET DRAINAGE EASEMENTS. THESE BLANKET DRAINAGE EASEMENTS ARE FOR THE BENEFIT OF ALL TRACTS CREATED BY THIS PLAT AND ARE TO BE MAINTAINED BY EACH RESPECTIVE OWNER.
 JOINT USE OF PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
7. QWEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
8. CABLE TV FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
9. INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.
10. IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.
11. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
12. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS AND OTHER EQUIPMENT, FIXTURES STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
13. PUBLIC CROSS ACCESS EASEMENTS ARE HEREBY GRANTED BETWEEN TRACTS D-1, D-2, S-1 & S-2. FUTURE SUBDIVISIONS MAY FURTHER DEFINE THESE PUBLIC CROSS ACCESS EASEMENTS. THESE PUBLIC CROSS EASEMENTS ARE FOR THE BENEFIT OF ALL TRACTS CREATED BY THIS PLAT AND ARE TO BE MAINTAINED BY EACH RESPECTIVE OWNER.
14. ACCESS FOR TELECOMMUNICATIONS SERVICE PROVIDERS TO THE AEROSPACE TECHNOLOGY PARK IS AVAILABLE THROUGH EXISTING FIBER OPTIC INFRASTRUCTURE.

LEGAL DESCRIPTION

TRACTS D-1 & S-1 OF THE BULK LAND PLAT FOR AEROSPACE TECHNOLOGY PARK FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK IN BOOK 2004C, PAGE 396.

OWNERS FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS THEREOF AND SAID OWNERS DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE, EASEMENTS FOR PUBLIC STREET RIGHT-OF-WAY, ACCESS, DRAINAGE, AND UTILITIES AS INDICATED HEREIN, INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN, FURTHER, SAID OWNERS DO HEREBY GRANT OTHER PRIVATE EASEMENTS AS SHOWN AND INDICATED.

OWNER TRACT S-1, CITY OF ALBUQUERQUE A MUNICIPAL CORPORATION.

Bruce J. Perlman
 BRUCE J. PERLMAN, PH.D.
 CHIEF ADMINISTRATIVE OFFICER
 CITY OF ALBUQUERQUE

STATE OF NEW MEXICO) SS)
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON June 22, 2007 BY BRUCE J. PERLMAN AS CHIEF ADMINISTRATIVE OFFICER OF THE CITY OF ALBUQUERQUE, NEW MEXICO, A MUNICIPAL CORPORATION, ON BEHALF OF SAID CORPORATION.

Felicia Giron 6/22/07
 NOTARY PUBLIC DATE
 [MY COMMISSION EXPIRES: 1-27-2010];
 OFFICIAL SEAL
 Felicia Giron
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Commission Expires: 1-27-2010

OWNER TRACT D-1, ECLIPSE AVIATION, A DELAWARE CORPORATION.

Larry Jones 6/22/07
 LARRY JONES, FACILITIES MANAGER
 ECLIPSE AVIATION

STATE OF NEW MEXICO) SS)
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON June 22, 2007 BY LARRY JONES AS FACILITIES MANAGER FOR ECLIPSE AVIATION, ON BEHALF OF SAID CORPORATION.

Mary C. McCormack 6/22/07
 NOTARY PUBLIC DATE
 [MY COMMISSION EXPIRES: 10-3-2010];
 OFFICIAL SEAL
 MARY C. McCORMACK
 Notary Public
 State of New Mexico
 My Commission Expires: 10-3-2010

NOTICE OF SUBDIVISION PLAT CONDITION

"NOTICE OF SUBDIVISION PLAT CONDITIONS" AEROSPACE TECHNOLOGY PARK THE PLAT OF AEROSPACE TECHNOLOGY PARK, TRACTS D AND S OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS, HAS BEEN GRANTED A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS PURSUANT TO SECTION 14-14-6-1 OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY AND AMAFCA (WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY, FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND, EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

Santiago Romero Jr.
 & ASSOC
 Santiago Romero Jr.
 and Associates, Inc.
 ENGINEERS & SURVEYORS
 401 GARDNER BLVD., N.E. SUITE 204
 ALBUQUERQUE, NEW MEXICO 87107
 (505)884-8118

PLAT OF TRACTS D-1-A AND S-1-A
 OF
 AMENDED BULK LAND PLAT
 FOR
 AEROSPACE TECHNOLOGY PARK
 WITHIN
 SECTION 36, TOWNSHIP 11 NORTH, RANGE 1 EAST
 AND
 SECTION 3, TOWNSHIP 10 NORTH, RANGE 1 EAST
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE 2007

APPROVED AND ACCEPTED BY

PROJECT NUMBER: 1003125
 APPLICATION NUMBER: 07 DRB - 70128, 70192

UTILITY APPROVALS:

Quintela Pios 11/29/2007
 PNM ELECTRIC SERVICES DATE
Quintela Pios 11/29/2007
 PNM GAS SERVICES DATE
 QWEST TELECOMMUNICATIONS DATE
 COMCAST DATE
 NEW MEXICO UTILITIES DATE

CITY APPROVALS:

John B. Ford 7-9-07
 CITY SURVEYOR DATE
 REAL PROPERTY DIVISION (CONDITIONAL) DATE
Robert A. Dean 8/22/07
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
 ABCWUA DATE
Christina Sandoval 8/22/07
 PARKS AND RECREATION DEPARTMENT DATE
Bradley S. Bingham 8/22/07
 AMAFCA DATE
Bradley S. Bingham 8/22/07
 CITY ENGINEER DATE
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

CERTIFICATE OF SURVEY

I, SANTIAGO ROMERO JR., NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR NO. 7924, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY SUPERVISION FROM ACTUAL FIELD SURVEYS PERFORMED SEPTEMBER 2004 AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS IN THE COMPLIANCE WITH THE ALBUQUERQUE SUBDIVISION ORDINANCE.

Santiago Romero Jr. 6/26/2007
 SANTIAGO ROMERO JR., NO. 7924 DATE



AEROSPACE TECHNOLOGY PARK

TRACTS D-1-A1 AND D-1-A2

A DIVISION OF TRACT D-1-A

WITHIN SECTION 36,

T. 11 N., R. 1 E., N. M. P. M.

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

DECEMBER, 2007

AEROSPACE TECHNOLOGY PARK
BULK LAND PLAT
DOC. NO. 2002087308
BOOK 2002-C, PAGE 228
REC. 07-10-2002

TRACT F

FOUND MONUMENT "EAGLE AIR"
N.M. STATE PLANE COORDINATES
X=339,854.29 Y=1,508,476.41
CENTRAL ZONE NAD 1927
DELTA ALPHA = -00'18"30"
GRID TO GROUND = .9996522
ELEVATION = 5797.67 (NGVD29)

S 89°22'18" E

2046.97

N 57°32'07" E 1808.72
(T.E.)

3166.27

3158.50

AEROSPACE TECHNOLOGY PARK
BULK LAND PLAT
DOC. NO. 2002087308
BOOK 2002-C, PAGE 228
REC. 07-10-2002

TRACT C

TRACT D-1-A1
144.9598 AC

N 20°33'28" E 4480.78
(T.E.)

BASIS OF BEARINGS

S 00°15'00" W

TRACT B

AEROSPACE TECHNOLOGY PARK
BULK LAND PLAT
DOC. NO. 2002087308
BOOK 2002-C, PAGE 228
REC. 07-10-2002

N 00°56'49" E

P.A.E. (B)

-180°
R=100'

N 89°35'08" W

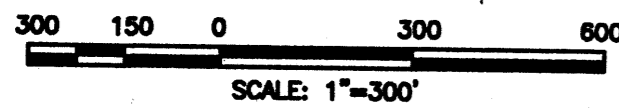
(A) 106 FOOT WIDE
P.A.E. AND P.U.E.

TRACT D-2

AEROSPACE TECHNOLOGY PARK
DOC. NO. _____
BOOK _____, PAGE _____
REC. _____

TRACT E

AEROSPACE TECHNOLOGY PARK
BULK LAND PLAT
DOC. NO. 2002087308
BOOK 2002-C, PAGE 228
REC. 07-10-2002



ABBREVIATIONS

AC - ACRES
P.A.E. - PUBLIC ACCESS EASEMENT
P.U.E. - PUBLIC UTILITY EASEMENT

EASEMENTS OF RECORD

- (A) 106 FOOT WIDE P.A.E. AND P.U.E. PER PLAT BOOK 2004C, PAGE 396
- (B) CORRECTED P.A.E. PER DOC. NO. 2006174363, BOOK A127, PAGE 3884, RECORDED 11-20-2006

BOUNDARY EVIDENCE: UNLESS OTHERWISE INDICATED:

ALL PROPERTY CORNERS SET WITH A NO. 5 REBAR AND YELLOW PLASTIC CAP STAMPED LS 9243

- (1) FOUND NO. 5 REBAR WITH CAP STAMPED PS 7924 AND TAGGED WITH WASHER STAMPED NMPS 11184

ATTACHED BRASS TAG STAMPED LS 9243 TO FOUND POINTS IN ITEMS 1

SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAN B. HOLMES, P.S. NO. 9243

12-10-07
DATE

HUITT-ZOLLARS

333 RIO RANCHO DR. N.E., STE. 101
RIO RANCHO, N.M., 87124
(505) 892-5141

SHEET 2 OF 2

AEROSPACE TECHNOLOGY PARK

TRACTS D-1-A1 AND D-1-A2

A DIVISION OF TRACT D-1-A

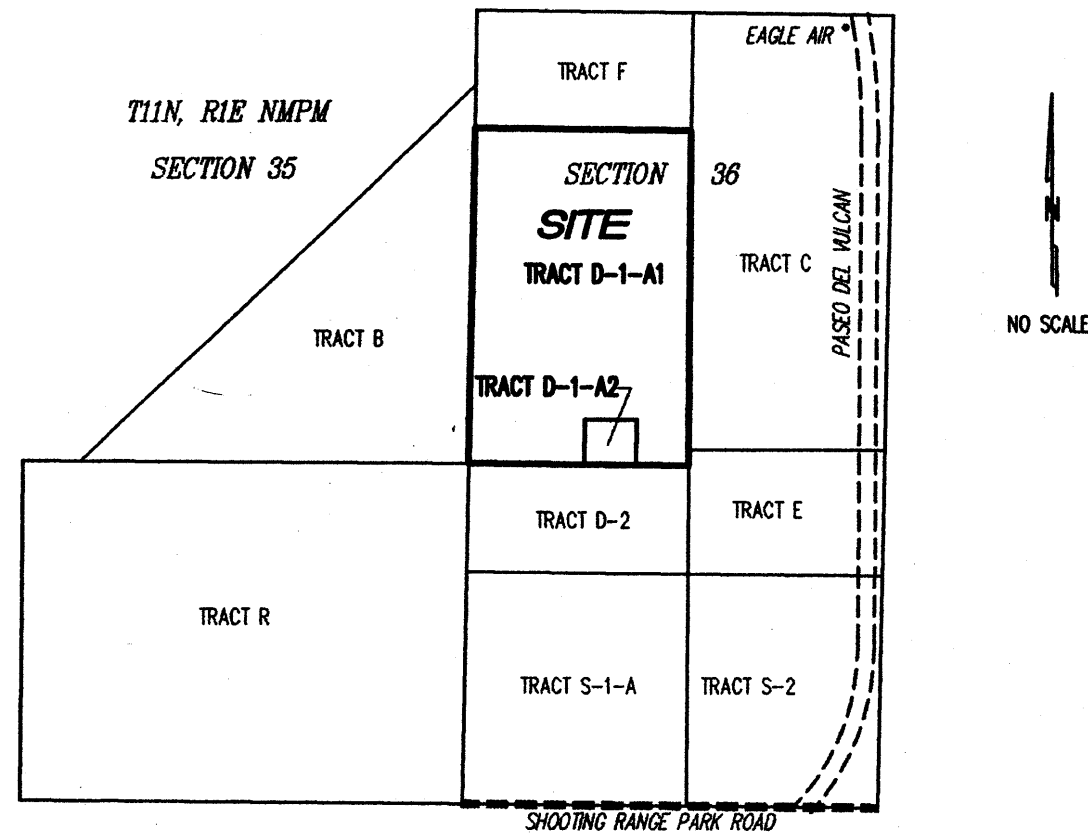
WITHIN SECTION 36,

T. 11 N., R. 1 E., N. M. P. M.

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

DECEMBER, 2007



VICINITY MAP
ZONE ATLAS F-6

PLAT DATA

DRB NO. _____ PLAT ACRES 150.0004
NO. OF TRACTS 2 TRACT ACRES 150.0004

ZONE DESIGNATION

TRACTS D-1-A1 AND D-1-A2 SU-1

DISCLOSURE STATEMENT

1. THE PURPOSE OF THIS PLAT IS TO DIVIDE TRACT D-1-A INTO (2) TRACTS DESIGNATED AS TRACTS D-1-A1 AND D-1-A2 AND GRANT EASEMENTS AS SHOWN.

NOTES

1. ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM 1927, CENTRAL ZONE, DELTA ALPHA IS -00°18'30". BASIS OF BEARINGS IS THE EAST BOUNDARY LINE BEING N.00°15'00"E. BASIS OF COORDINATES IS EAGLE AIR WITH COORDINATES AS SHOWN. DISTANCES ARE HORIZONTAL GROUND DISTANCES IN FEET.
2. ALL BEARINGS AND DISTANCES ARE RECORD.
3. BENCHMARK FOR THIS PLAT IS CONTROL POINT EAGLE AIR. ELEVATION = 5797.67 (NGVD29) LOCATED APPROXIMATELY 1530' EAST AND 960' NORTH OF THE NORTHEAST CORNER OF TRACT D-1-A ALONG THE WEST SIDE OF PASEO DEL VULCAN.
4. ALL PROPERTY CORNERS ARE SET WITH A 5/8" X 24" REBAR WITH RED OR YELLOW PLASTIC CAP STAMPED LS 9243 SET FLUSH WITH THE GROUND, UNLESS OTHERWISE NOTED.
5. CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE LOTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
6. S.P. TALOS LOG NO. 2007200260

EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE. TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS. WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON, PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

PNM AND QWEST COMMUNICATIONS DO NOT RELEASE ANY PREVIOUS EASEMENT RIGHT WHICH WAS GRANTED BY PRIOR PLATTING OR RECORD DOCUMENT UNLESS SPECIFICALLY NOTED HEREON.

DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACT D-1-A WITHIN SECTION 36 TOWNSHIP 11 NORTH, RANGE 1 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, RECORDED

ON _____ IN BOOK _____, PAGE _____, DOCUMENT NO. _____

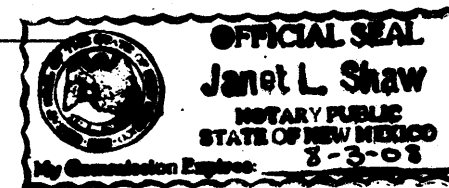
PARCEL CONTAINS 150.0004 ACRES, MORE OR LESS AND TRACTS D-1-A1 AND D-1-A2.

DEDICATION AND FREE CONSENT

THE PROPERTY SHOWN HEREON IS REPLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE: ALL PUBLIC ACCESS AND PUBLIC UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED. THOSE SIGNING WARRANT THAT THEY HOLD LEGAL TITLE TO PROPERTY BEING REPLATTED HEREON.

ECLIPSE AVIATION, A DELAWARE CORPORATION
OWNER TRACT D-1-A

Larry Jones
LARRY JONES, FACILITIES MANAGER



(STATE OF New Mexico) SS
(COUNTY OF Sandoval)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON December 11, 2007
BY LARRY JONES, FACILITIES MANAGER OF ECLIPSE AVIATION, A DELAWARE CORPORATION, AND SIGNED ON BEHALF OF SAID CORPORATION.

BY: *Janet L. Shaw*
NOTARY PUBLIC

MY COMMISSION EXPIRES: 9/3/08

NOTICE OF SUBDIVISION PLAT CONDITION

"NOTICE OF SUBDIVISION PLAT CONDITIONS" AEROSPACE TECHNOLOGY PARK
THE PLAT OF AEROSPACE TECHNOLOGY PARK, TRACTS D AND S OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS, HAS BEEN GRANTED A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS PURSUANT TO SECTION 14-14-6-1 OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY AND AMAFCA (WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY, FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND, EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

UPC # 100606109926730101

BERNALILLO COUNTY TREASURERS OFFICE:

BY: _____ DATE: _____

PROJECT NO. _____

APPLICATION NO. _____

PLAT APPROVALS

UTILITY APPROVALS

PNM ELECTRIC SERVICES _____ DATE _____

PNM GAS SERVICES _____ DATE _____

QWEST TELECOMMUNICATIONS _____ DATE _____

COMCAST _____ DATE _____

NEW MEXICO UTILITIES _____ DATE _____

CITY APPROVALS

CITY SURVEYOR _____ DATE _____

REAL PROPERTY DIVISION _____ DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

WATER UTILITY DEVELOPMENT _____ DATE _____

DEPARTMENT OF MUNICIPAL DEVELOPMENT _____ DATE _____

AMAFCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Dan B. Holmes
DAN B. HOLMES, P.S. NO. 9243

12-10-07
DATE



HUITT-ZOLLARS

333 RIO RANCHO DR. N.E., STE. 101
RIO RANCHO, N.M., 87124
(505) 892-5141

TRI-MOTOR, LLC
 2850 A. RUFINA ST.
 SANTA FE, NEW MEXICO 87507

APRIL, 2008

for the

DOUBLE EAGLE II CHARTER SCHOOL
 7401 Paseo Del Volcan N.W.
 Albuquerque, New Mexico 87121

INDEX OF DRAWINGS

SHEET	DESCRIPTION
G-001	TITLE SHEET AND INDEX TO DRAWINGS
C-101	TRAFFIC CIRCULATION LAYOUT (SITE PLAN) LANDSCAPE PLAN
C-102	GRADING & DRAINAGE PLAN
C-103	GRADING & DRAINAGE PLAN PROPOSED DRAINAGE BASINS ELEVATIONS
C-104	UTILITY PLAN

CIVIL ENGINEERS

Molzen-Corbin & Associates
 John A. Tellez P.E.
 John M. Provine P.E.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR THE CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS INSTRUMENT ARE OWNED BY AND THE PROPERTY OF MOLZEN-CORBIN & ASSOCIATES, AND WERE CREATED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. THESE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL NOT BE USED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF MOLZEN-CORBIN & ASSOCIATES.

CERTIFICATION:

I, JOHN A. TELLEZ, REGISTERED PROFESSIONAL ENGINEER NO. 16671 HEREBY CERTIFY THAT THE FOLLOWING PLANS AND DESIGNS WERE MADE UNDER MY SUPERVISION AND DIRECTION AND THAT SAME IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF

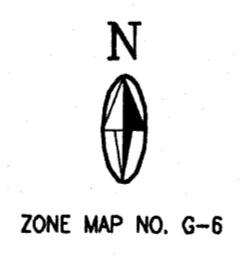
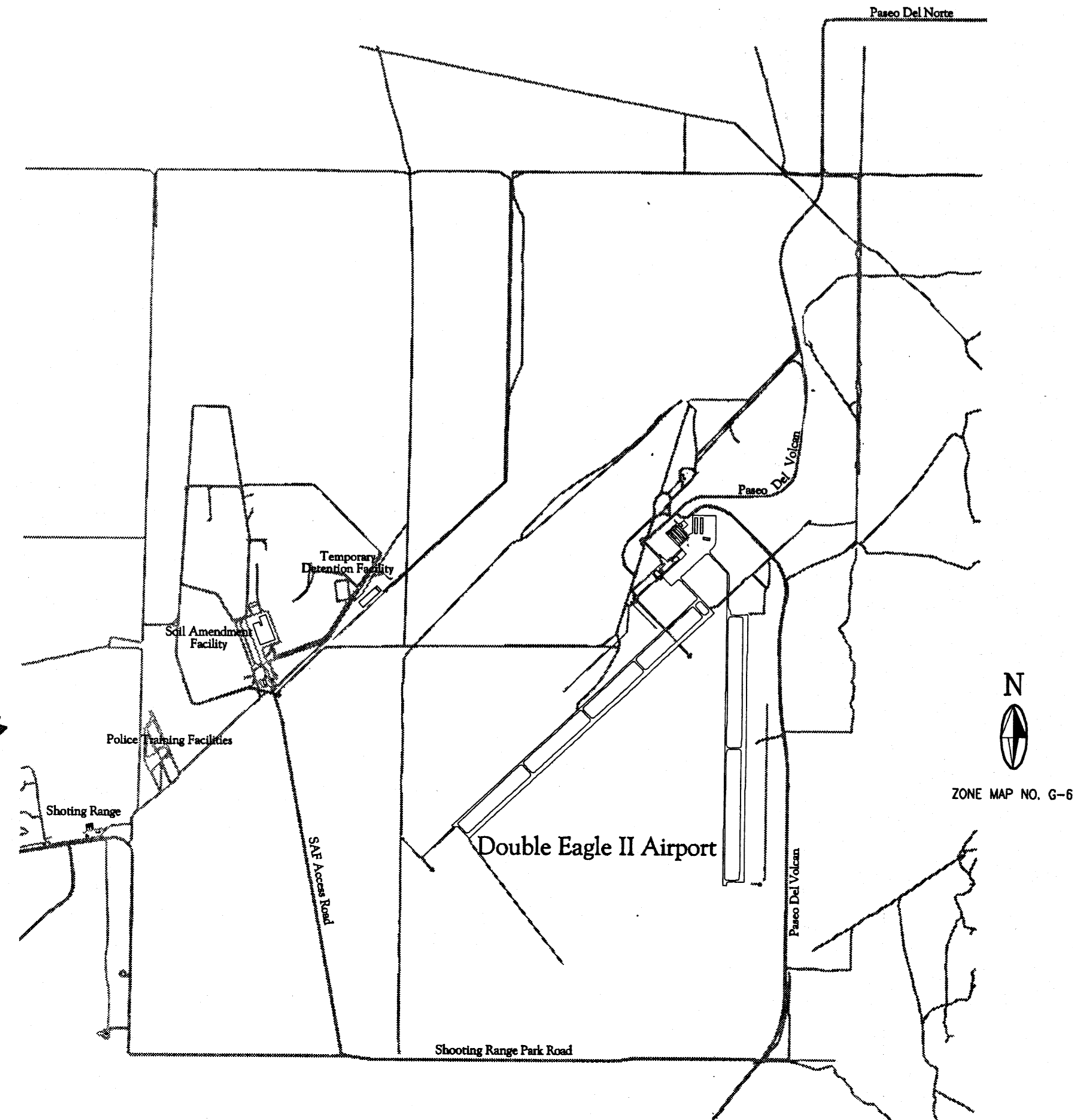
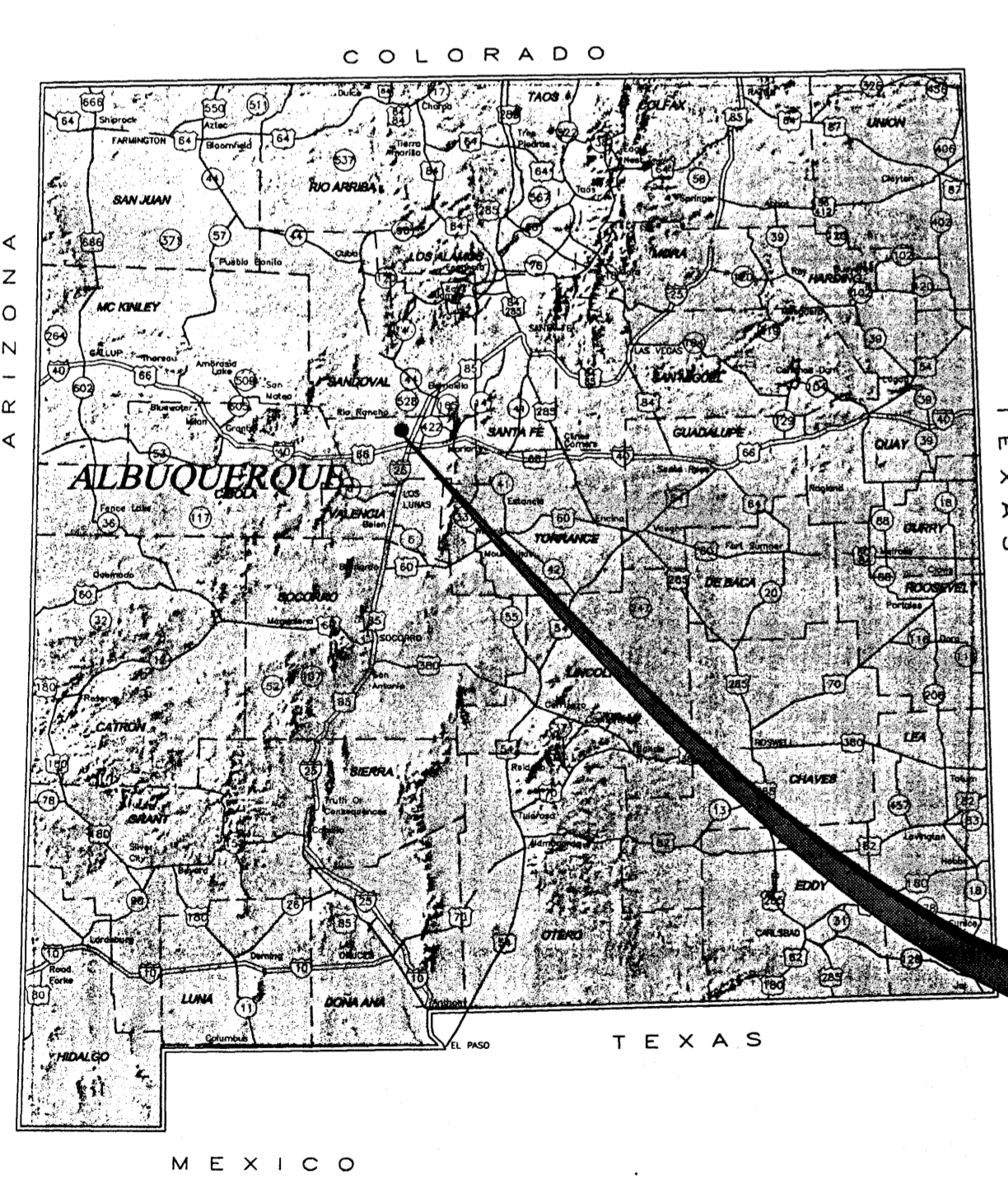
John A. Tellez 4/10/08
 N.M.P.E. NO. 16671



2701 MILES RD SE
 ALBUQUERQUE, NEW MEXICO 87106
 TEL: 505 242 5700
 FAX: 505 242 0673

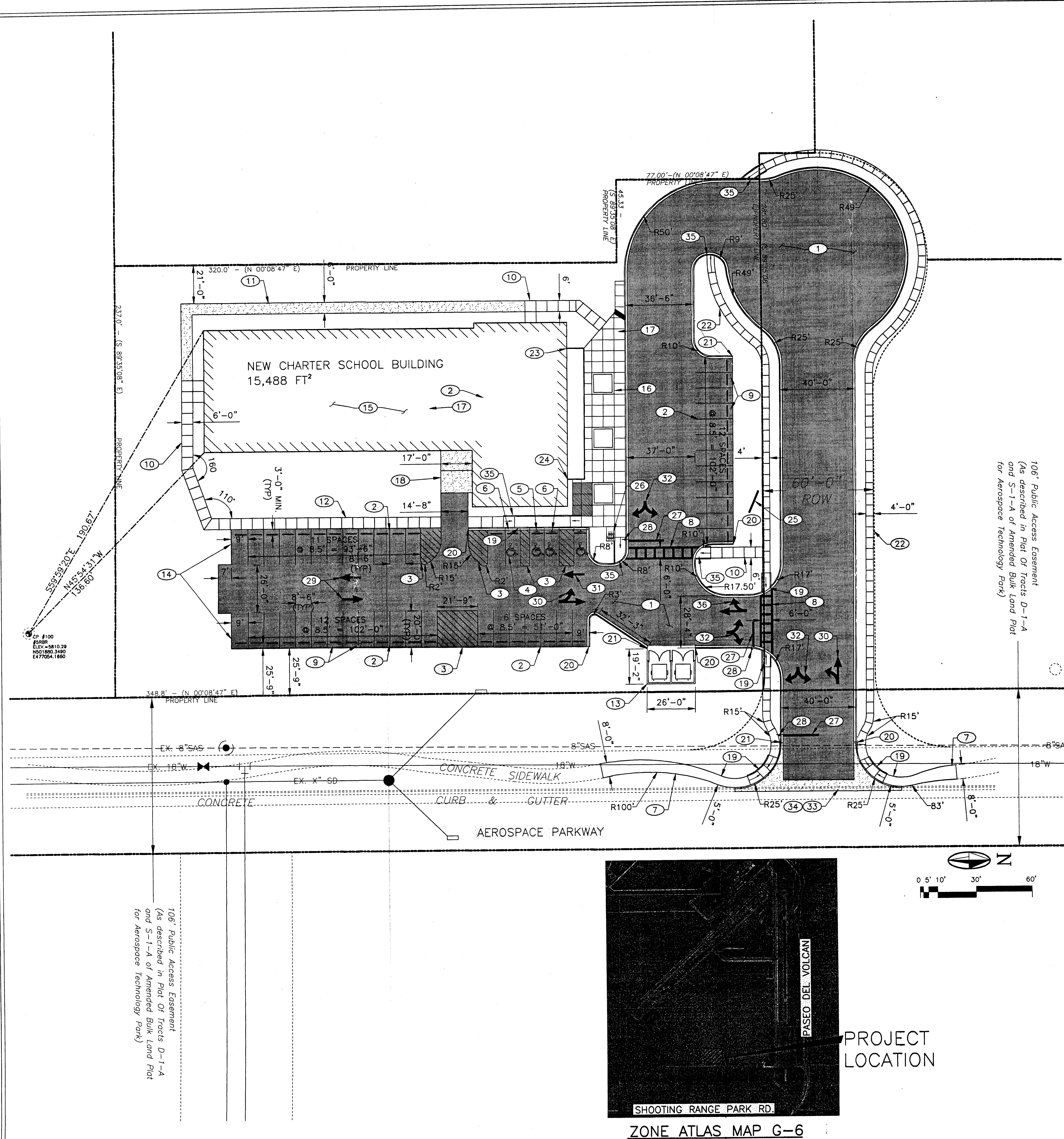
MOLZEN-CORBIN & Associates
 ENGINEERS/ARCHITECTS/PLANNERS

G-001



DESCRIPTION	REV DATE	REV NO	NUMERIC SCALE CONFIRMATION
			DRAWINGS ARE DEPICTED AT INTENDED NUMERIC SCALES IF THIS BAR EQUALS ONE INCH

NOTICE OF EXTENDED PAYMENT PROVISION: THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 45 DAYS AFTER SUBMISSION OF AN UNDISPUTED REQUEST FOR PAYMENT



- KEYED NOTES**
- 1 INSTALL 3" ASPHALT PAVEMENT
 - 2 INSTALL 4" WIDE WHITE PARKING STRIPE
 - 3 INSTALL 4" WIDE YELLOW PARKING STRIPE
 - 4 INSTALL 4" WIDE ADA BLUE PARKING SYMBOL (TYP 4)
 - 5 INSTALL ADA PARKING SIGN (TYP 2)
 - 6 INSTALL ADA PARKING WITH "VAN ACCESSIBLE" SIGN SEE DETAIL
 - 7 INSTALL 8'-0" CONCRETE SIDEWALK WITH TRANSITION FROM 8'-0 TO 5'-0" SIDEWALK
 - 8 INSTALL 12" WIDE WHITE CROSSWALK STRIPE
 - 9 INSTALL CONCRETE WHEEL STOP (TYP 31)
 - 10 INSTALL 6'-0" CONCRETE SIDEWALK
 - 11 INSTALL 6'-0" GRAVEL PATH
 - 12 INSTALL 6'-0" TURNDOWN SIDEWALK
 - 13 INSTALL TRASH REFUSE PER COA STANDARD
 - 14 INSTALL TREATED WOOD BORDER
 - 15 REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT
 - 16 INSTALL TREE WELLS (TYP 3)
 - 17 INSTALL PATTERNED CONCRETE PLAZA AREA
 - 18 INSTALL 6" CONCRETE DELIVERY PAD
 - 19 INSTALL CONCRETE ADA ACCESS RAMP WITH DETECTABLE SURFACE PER COA STD DWGS 2441 - CASE I
 - 20 BEGIN MEDIAN CURB & GUTTER INSTALLATION PER COA STD DWG 2415B
 - 21 END MEDIAN CURB & GUTTER
 - 22 INSTALL 4'-0" SIDEWALK
 - 23 BEGIN PLANTER WALL SEE ARCHITECTURAL DRAWINGS FOR DETAILS
 - 24 END PLANTER WALL
 - 25 INSTALL MONUMENT SIGN REFER TO ARCHITECTURAL SHEETS FOR DETAILS
 - 26 BIKE RACK TO BE INSTALLED BY OTHERS REFER TO ARCHITECTURAL DRAWINGS
 - 27 INSTALL 12" WIDE WHITE STOP BAR PAVEMENT MARKING
 - 28 INSTALL 1 - R1-1 STOP SIGN
 - 29 INSTALL TWO WAY TRAFFIC ARROW PAVEMENT MARKING
 - 30 INSTALL THRU TRAFFIC & LEFT TURN TRAFFIC ARROW PAVEMENT MARKING
 - 31 INSTALL ONE WAY TRAFFIC ARROW PAVEMENT MARKING
 - 32 INSTALL LEFT TURN & RIGHT TURN TRAFFIC ARROW PAVEMENT MARKING
 - 33 INSTALL PRIVATE ENTRANCE PER COA STD 2426
 - 34 INSTALL 6'-0" CONCRETE VALLEY GUTTER PER COA STD 2420
 - 35 INSTALL CONCRETE ADA ACCESS RAMP WITH DETECTABLE SURFACE PER COA STD DWGS 2441 - CASE II
 - 36 INSTALL THRU TRAFFIC & RIGHT TURN TRAFFIC ARROW PAVEMENT MARKING

LEGEND

NEW ASPHALT

NEW CONCRETE

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE SHOWN IN APPROXIMATE LOCATION ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

Molzen-Corbin & Associates
2701 Miles Road S.E.
Albuquerque, New Mexico 87106
voice (505) 242-6677
fax (505) 242-6673

J. TELLEZ
16671
LICENSED PROFESSIONAL ENGINEER

REV. NO.	REV. DATE	DESCRIPTION

PROJECT NUMBER: MCA # HERE
DESIGNED BY: J. TELLEZ
DRAWN BY: J. BEHREND
CHECKED BY: J. PROVINCE
PROJ. ENG: J. PROVINCE
PROJECT DATE: MILESTONE DATE

TRAFFIC CIRCULATION LAYOUT (SITE PLAN)

DOUBLE EAGLE II CHARTER SCHOOL
TRI-MOTOR, DE II AIRPORT (CITY OF ALBUQUERQUE)
ALBUQUERQUE (NEW MEXICO)

NOTICE OF EXTENDED PAYMENT PROVISION: THIS CONTRACTOR AGREES TO MAKE PAYMENT WITHIN 45 DAYS AFTER SUBMISSION OF AN UNDISPUTED REQUEST FOR PAYMENT.

C-101

SHEET

LANDSCAPE CALCULATIONS - AEROSPACE TECHNOLOGY PARK

TOTAL LOT AREA = 84,929 SF
 GROSS BUILDING AREA = 15,488 SF

STREET SCAPES
 A 10' EASEMENT HAS BEEN PROVIDED ALONG AEROSPACE PARKWAY. STREET TREES HAVE BEEN PROVIDED AT 25' O.C. ALONG AEROSPACE PARKWAY PER ITEM (C) OF THE ZONING DOCUMENT.

OFF-STREET PARKING: PARKING = 44 SPACES PLUS 4 ADA COMPLIANT PARKING SPACES = 48 PARKING SPACES TOTAL.
 BICYCLE RACK = ONE BIKE PER 20 CARS = A 3 STATION BICYCLE RACK.

SITE LANDSCAPING: TOTAL LANDSCAPED AREA = 84,929 SF LOT AREA - 15,488 SF BUILDING AREA = 69,441 X 15% = 10,417 SF OF LANDSCAPED AREA.

PLANTER #1 = 7,310 SF
 PLANTER #2 = 144 SF
 PLANTER #3 = 144 SF
 PLANTER #4 = 144 SF
 PLANTER #5 = 8,873 SF

TOTAL PLANTERS = 16,615 SF
 TOTAL REQUIRED LANDSCAPED AREA = 10,417 SF

ONE TREE PER 1500 SF OF LANDSCAPED AREA = 7 TREES, HOWEVER ALL PLANTER ARE ALONG THE R.O.W.S WHERE ONE TREE IS PLANTED AT 25' OR 30' O.C. DEPENDING ON WHICH R.O.W. THE LANDSCAPING IS ALONG.

A FULLY AUTOMATIC UNDERGROUND SPRINKLER SYSTEM SHALL BE PROVIDED. OVER SPRAY ONTO BUILDINGS, SIDEWALKS AND FENCES SHALL BE PROHIBITED.

PLANTING MATERIAL SEE PLANT LEGEND.

ALL PLANTING MATERIAL SHALL BE MAINTAINED IN A LIVING AND ATTRACTIVE CONDITION. A AREAS SHALL BE MAINTAINED FREE OF WEEDS.

PLANTING NOTES:

- EXISTING PLANT MATERIAL: THE PROPERTY CONSISTS OF NATIVE GRASSES W/ NO TREES. A PORTION OF THE SITE HAS BEEN DISTURBED DURING CONSTRUCTION OF AEROSPACE PARKWAY.
- INSTALLATION AND MAINTENANCE OF THE PLANTING MATERIAL AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE OWNER
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE'S WATER CONSERVATION, LANDSCAPE AND WATER WASTE ORDINANCE.
- THE USE OF HIGH WATER USE VEGETATION SHALL BE KEPT TO A MINIMUM. THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
- SEE PLANT LIST FOR MINIMUM PLANT SIZE
- PONDING AREAS, SEE GRADING AND DRAINAGE PLAN.
- SOIL AMENDMENTS SHALL BE BY RECOGNIZED MANUFACTURERS OF THE AMENDMENT PRODUCTS BEING USED.
- SOIL AMENDMENT AREAS:
 B.1. TREES = 80 SF.
 B.2. 5 GAL PLANTS = 30 SF
 B.3. 1 GAL PLANTS = 15 SF
- PASSIVE WATER HARVESTING: SHALL COMPRISE OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF SHALL BE UTILIZED WHERE FEASIBLE.
- ACTIVE WATER HARVESTING: ACTIVE WATER HARVESTING WILL BE PROVIDED IF CITY ORDINANCE REQUIRED ACTIVE WATER HARVESTING FOR THIS SITE. THE SYSTEM SHALL BE DESIGNED TO CITY STANDARDS.

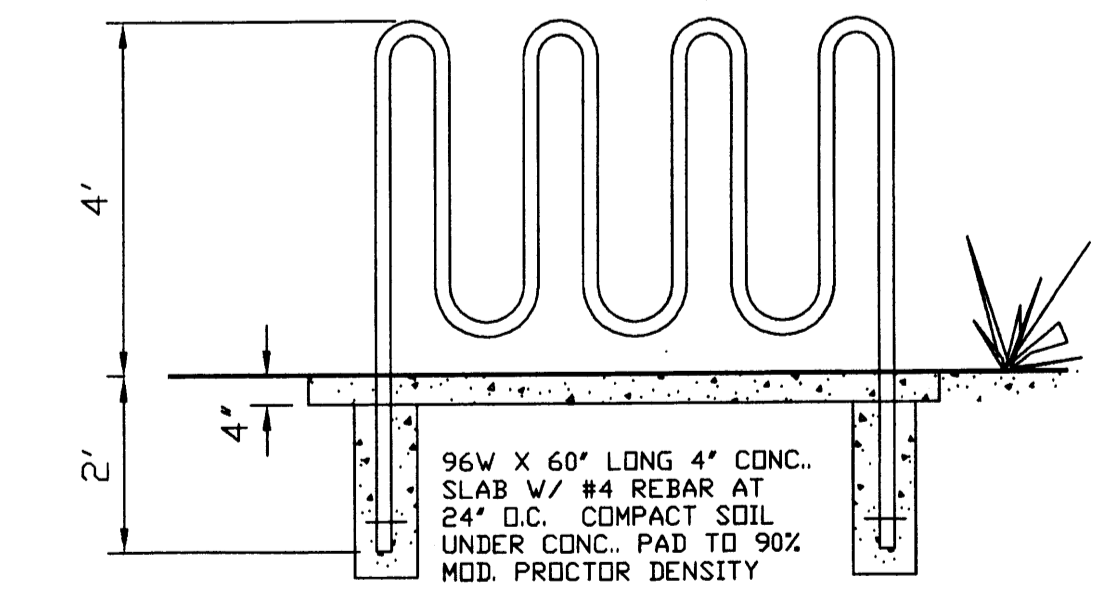
IRRIGATION NOTES:

- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A DETAILED IRRIGATION PLAN FOR REVIEW AND APPROVAL OF THE ARCHITECT TO PERMANENTLY IRRIGATE THE LANDSCAPING AS SHOWN ON THE PLANS AND IN THE SPECIFICATIONS. THE PLAN SHALL SHOW THE PROPOSED PIPING LAYOUT W/ ALL PIPE SIZES CLEARLY INDICATED. ALL EMITTERS PROPERLY LAYED OUT. ALL VALVES AND CONSTRUCTION DETAILS SHOWN. IRRIGATION SHALL BE PROVIDED TO ALL TREES, SHRUBS AND SHALL BE FULLY AUTOMATIC.
- IRRIGATION CONTROLLER: THE ENTIRE IRRIGATION SYSTEM SHALL BE CONTROLLED BY A FULLY AUTOMATIC IRRIGATION CONTROLLER. IRRIGATION TIMES SHALL BE VARIED ACCORDING TO SEASON, PLANT MATURITY, LOCATION AND PLANT PERFORMANCE.
- DRIP EMITTERS: SHALL BE USED FOR ALL PLANTING MATERIAL. SEE PLANTING LEGEND FOR EMITTER SIZE AND QUANTITY. EMITTERS SHALL BE PLACED UP-HILL FROM PLANT CENTERS.
- POINT OF CONNECTION: IRRIGATION WATER SHALL BE A 1" +/- TAP OFF THE MAIN LINE TO THE BUILDING.
- PIPING: SHALL BE IRRIGATION GRADE PIPE APPROVED FOR THE APPLICATION.

-----PLANTING LEGEND-----

SYMBOL	QUANTITY	INSTALLED SIZE	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	WATER REQUIREMENTS	EMITTERS REQUIRED
A	16	2" CAL	JAPANESE PAGODA TREE	SPIRERA JAPONICA	40 FT	40 FT	MEDIUM WATER USE	3-2GPH
B	11	2" CAL	RUSSIAN HAWTHORN	CRATAEGUS AMURICA	20 FT	20 FT	MEDIUM WATER USE	3-2GPH
C	3	1.5" CAL	HONEY LOCUST	GLABRISIA TRIACANTHOS	60 FT	60 FT	MEDIUM WATER USE	3-2GPH
E	AS SHOWN	NA	BLUE GRAMA GRASS	BOUTELOUJA GRACILIS	NA	NA	LDV+	TEMPORARY IRRIGATION SYSTEM

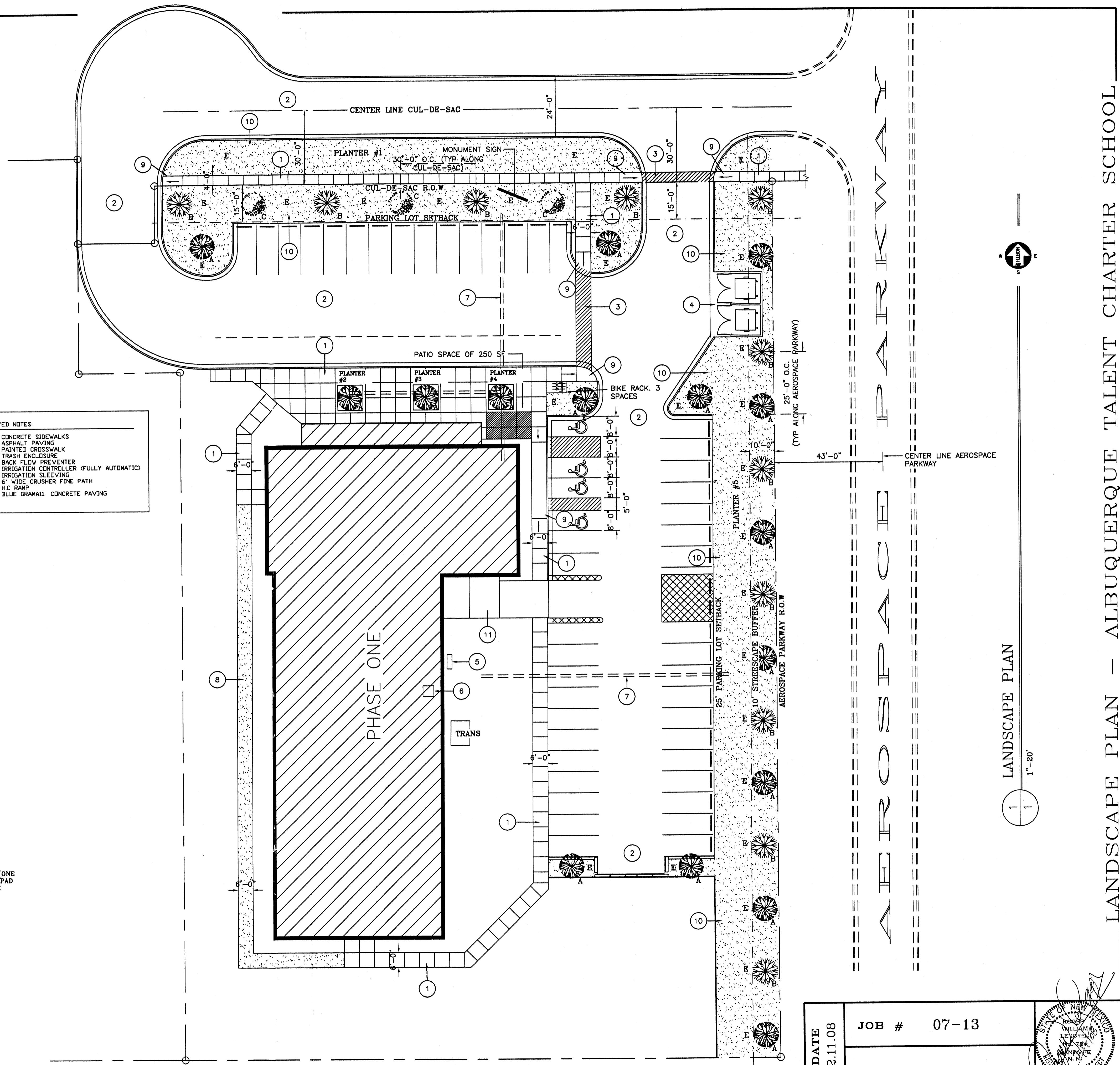
GRASS SHALL BE "BLUE GRAMA GRASS" SPREAD AT THE RATE OF 4 LBS / 1000 SF. PROVIDE TEMPORARY IRRIGATION SYSTEM UNTIL GRASS IS FULLY ESTABLISHED



NOTE: BIKE RACK SHALL BE "BIKE SECURITY RACKS CO, INC. MODEL BIKE-STANCHIONS(AE) (ONE 3 BIKE UNITS [BS-SB(AE)], PROVIDE 4" CONC. PAD W/ POSTS SET 24" BELOW GRADE IN CONCRETE

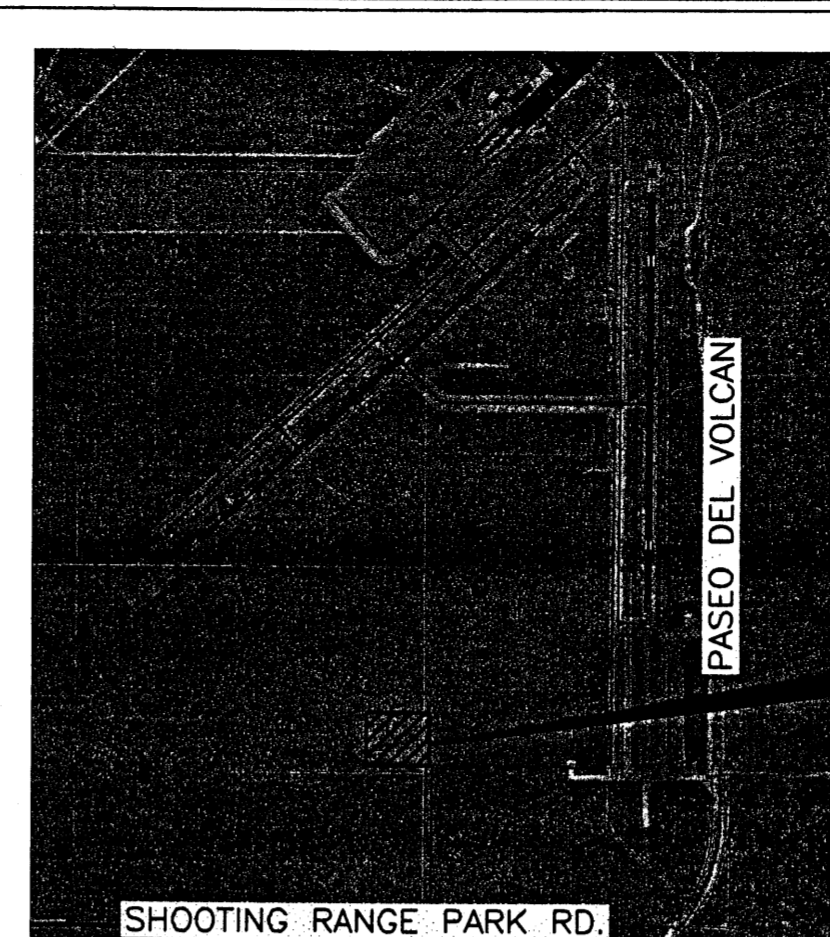
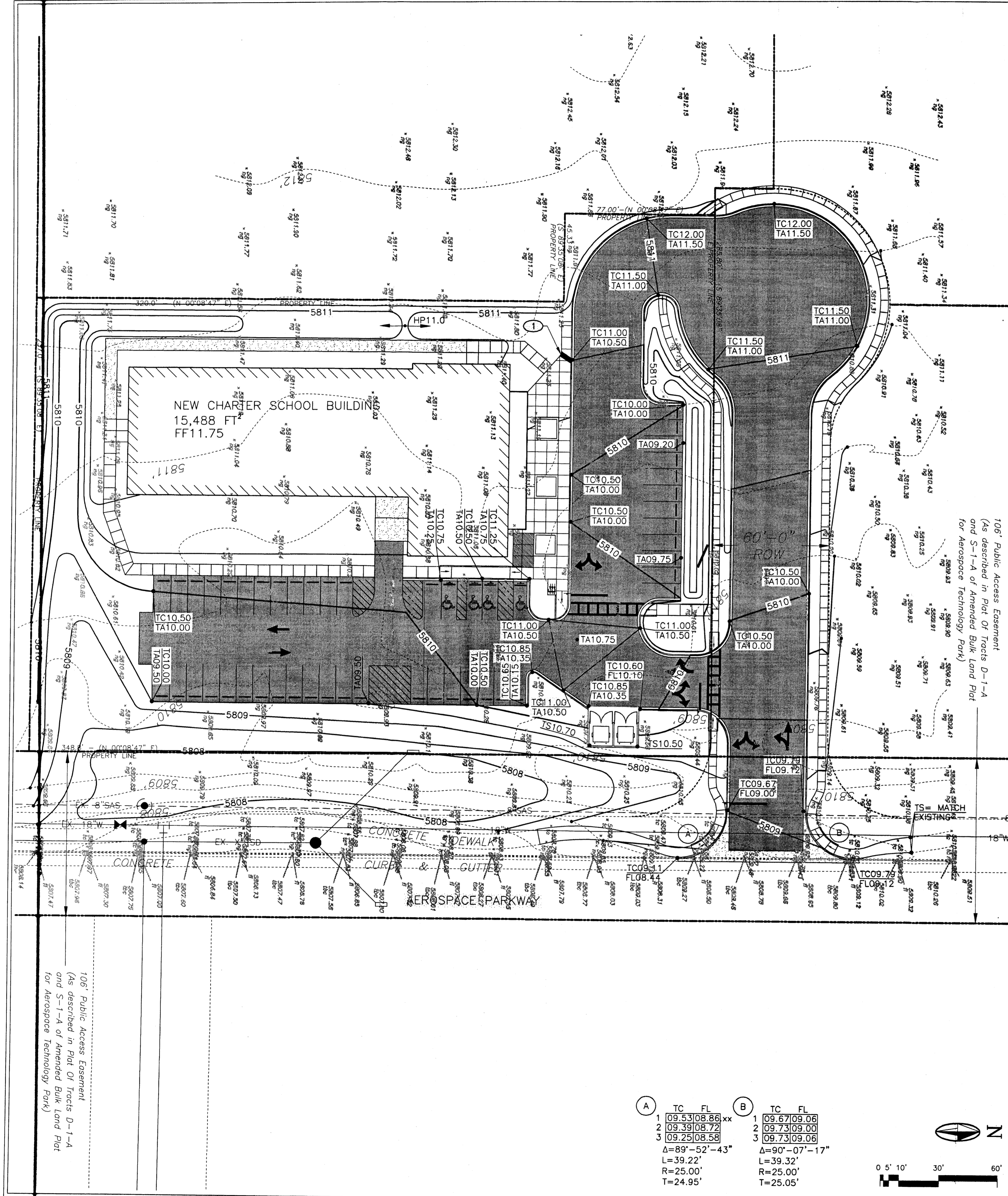
2 TYPICAL BIKE RACK DETAIL
 1 NO SCALE

- KEY'ED NOTES:
- CONCRETE SIDEWALKS
 - ASPHALT PAVING
 - PAINTED CROSSWALK
 - TRASH ENCLOSURE
 - BACK FLOW PREVENTER
 - IRRIGATION CONTROLLER (FULLY AUTOMATIC)
 - IRRIGATION SLEEVING
 - 6" WIDE CRUSHER FINE PATH
 - H/C RAMP
 - BLUE GRAMA. CONCRETE PAVING



LANDSCAPE PLAN
 1/1
 1"=20'

DATE 02.11.08	JOB # 07-13	
SHEET # 1 OF 1		



PROJECT LOCATION

ZONE ATLAS MAP G-6

GENERAL SHEET NOTES

1. ALL RADII ARE TAKEN TO FACE OF CURB UNLESS OTHERWISE NOTED

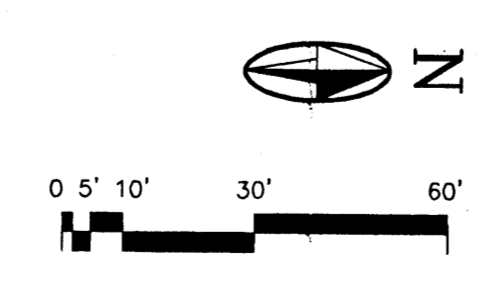
- KEYED NOTES**
1. INSTALL 1 - 24" SIDEWALK CULVERT PER COA
STD DWG 2236
INV (IN) = 10.60
INV (OUT) = 10.0

LEGEND

---5814.00---	EXISTING MAJOR CONTOUR
---5818.50---	EXISTING MINOR CONTOUR
—5815.00—	NEW MAJOR CONTOUR
—5818.00—	NEW MINOR CONTOUR
---18" W---	EXISTING WATER LINE
---8" SAS---	EXISTING SANITARY SEWER LINE
5810.43	EXISTING SPOT ELEVATION
[New Asphalt Symbol]	NEW ASPHALT
[New Concrete Symbol]	NEW CONCRETE
TC10.00 TA10.00	NEW SPOT ELEVATION
FF	FINISH FLOOR
TC	TOP OF CURB
TA	TOP OF ASPHALT
TS	TOP OF SLAB
INV	INVERT ELEVATION

(A)	TC	FL
1	09.53	08.86
2	09.59	08.72
3	09.25	08.58
$\Delta=83^{\circ}-52'-43"$		
$L=39.22'$		
$R=25.00'$		
$T=24.95'$		

(B)	TC	FL
1	09.67	09.06
2	09.73	09.00
3	09.73	09.06
$\Delta=90^{\circ}-07'-17"$		
$L=39.32'$		
$R=25.00'$		
$T=25.05'$		



CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE SHOWN IN APPROXIMATE LOCATION ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

106' Public Access Easement
(As described in Plat Of Tracts D-1-A and S-1-A of Amended Bulk Land Plat for Aerospace Technology Park)

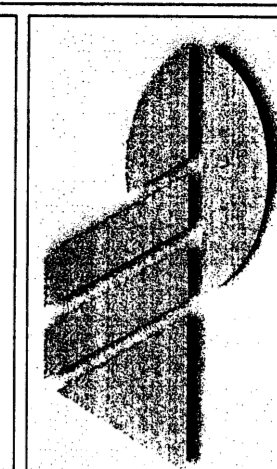
106' Public Access Easement
(As described in Plat Of Tracts D-1-A and S-1-A of Amended Bulk Land Plat for Aerospace Technology Park)

GRADING & DRAINAGE PLAN

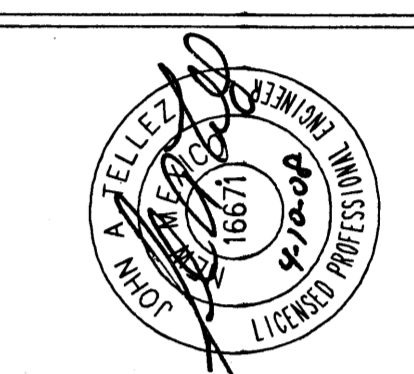
**DOUBLE EAGLE II CHARTER SCHOOL
TRI-MOTOR, DE II AIRPORT (CITY OF ALBUQUERQUE)
ALBUQUERQUE (NEW MEXICO)**

C-102

SHEET



Molzen-Corbin & Associates
2701 Miles Road S.E.
Albuquerque, New Mexico 87106
Phone: (505) 242-5006
Fax: (505) 242-0673



REV. NO.	REV. DATE	DESCRIPTION

PROJECT NUMBER: MCA # HERE
DESIGNED BY: J. TELLEZ
DRAWN BY: J. BEHREND
CHECKED BY: J. PROVINE
PROJECT DATE: MILESTONE DATE

Double Eagle II Charter School Drainage Analysis
Bernalillo County, New Mexico

INTRODUCTION

Purpose and Site Location

The site for the Double Eagle II Charter School encompasses approximately 7.30 acres of predominantly undeveloped land. The proposed site is located near the southwest corner of the Aerospace Parkway and Shooting Range Road intersection within Bernalillo County. Currently the site has no existing development. Flow patterns in areas remaining undeveloped will continue existing conditions east to Aerospace Parkway.

Drainage generated by the new development will be contained onsite within two retention/water harvesting ponds with a small portion allowed to enter Aerospace Parkway. The development of Aerospace Parkway included the construction of a berm located on the western boundary of the site designed to divert offsite flows south, ultimately protecting development within Aerospace Technology Park. Due to the western berm, offsite drainage considerations were not included in this study. Drainage considerations have been thoroughly analyzed and fully conform to Chapter 22, Drainage, Flood Control, and Erosion Control chapter of the City of Albuquerque Development Process Manual.

CRITERIA

Hydrologic criteria for this drainage report were taken from the City of Albuquerque DPM, Chapter 22. Due to the overall site being less than 40 acres, the simplified procedure meeting these criteria was followed. Flow calculations were based on the 100-year 6-hour design storm. The 100-year 10-day storm was used in the calculation of the pond volumes with precipitation values taken from Bernalillo County Precipitation Zone 1.

PAGE 1

Basin B (0.04 ac, $Q_{100-yr} = 0.18$ cfs) consists of a portion of the Charter School building draining directly west. Basin C (0.087 ac, $Q_{100-yr} = 0.38$ cfs) encompasses the landscape/sidewalk area located directly north of the Charter School building. Basin C1 (0.21 ac, $Q_{100-yr} = 0.91$ cfs) encompasses the parking area directly north of Basin C. A high point located on the western side of the building directs runoff from Basin B north into a swale located along the northwestern side of the building. This flow combines with runoff from Basins C and C1 (1.47 cfs), ultimately discharging to the northern retention/water harvesting pond. Basin E (0.12 ac, $Q_{100-yr} = 0.35$ cfs) consists of the area encompassing the northern retention/water harvesting pond area.

Basin D (0.49 ac, $Q_{100-yr} = 2.12$ cfs) consists of the northern entrance road. Runoff generated within this basin is conveyed east and enters Aerospace Parkway. Storm drain inlets within the roadway capture the flow and conveys it east within existing storm drain, ultimately discharging to Pond MHP2.

CONCLUSION

The overall drainage patterns for the Double Eagle II Charter School were designed to follow existing patterns as closely as possible. The runoff developed onsite will be retained within two retention/water harvesting ponds with a small portion allowed to enter Aerospace Parkway.

PAGE 3

The area of study was broken into ten (10) onsite basins.

The overall drainage scheme for developed conditions flows to the east, and follows existing patterns as closely as possible.

EXISTING CONDITIONS

The 7.30 acre site is primarily undeveloped. Existing drainage patterns flow to the east entering the existing Aerospace Parkway. Storm drain built with Aerospace Parkway captures surface runoff and conveys it east, ultimately discharging to Pond MHP2.

DEVELOPED CONDITIONS

The ultimate development scenario includes the new Charter School and the corresponding parking area.

As previously mentioned, the site has been divided into ten (10) onsite basins. A description of these basins and flow patterns is discussed below.

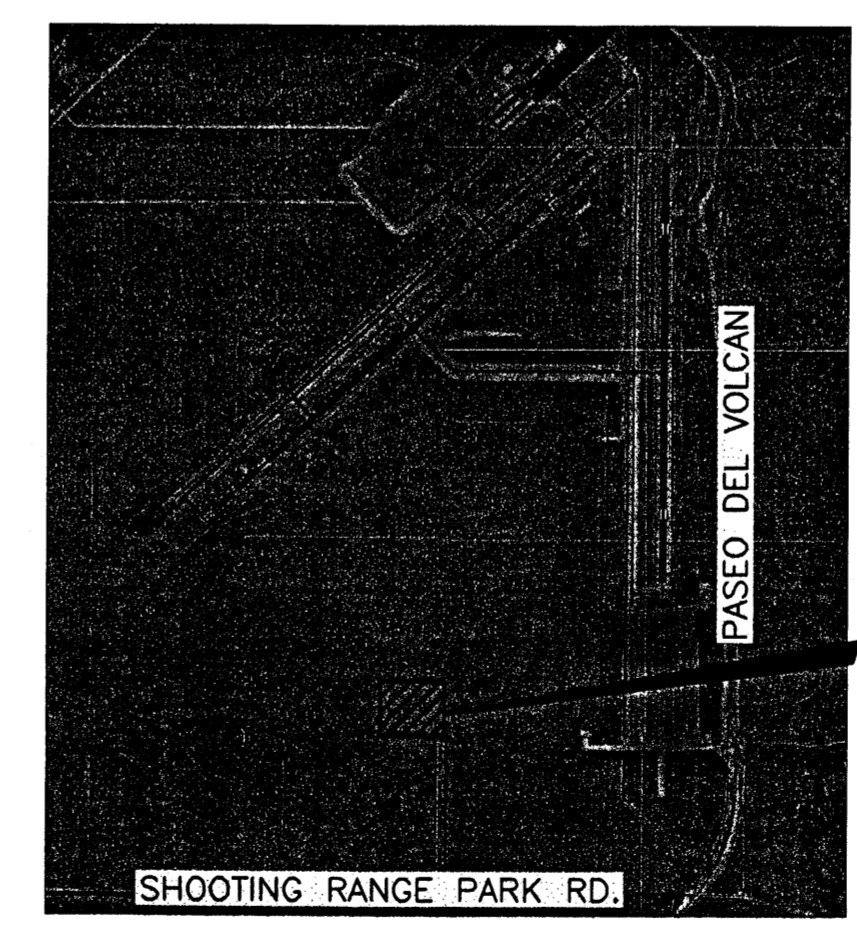
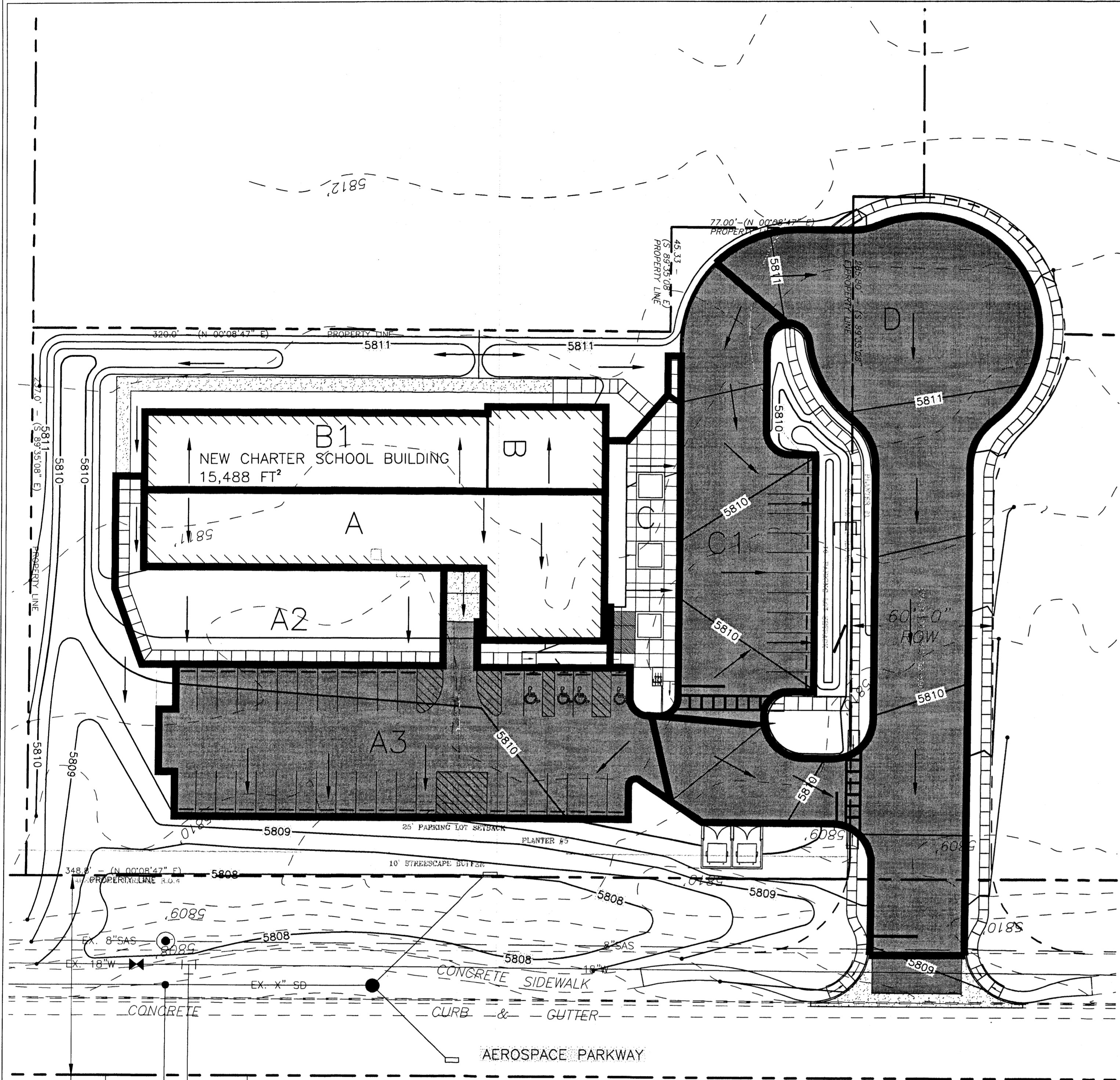
Basin A (0.19 ac, $Q_{100-yr} = 0.82$ cfs) consists of the portion of the Charter School building, draining directly east. Basins A1 (0.02 ac, $Q_{100-yr} = 0.06$ cfs) and A2 (0.14 ac, $Q_{100-yr} = 0.45$ cfs) encompass the landscape/sidewalk areas located directly east of the Charter School building. Basin A3 (0.32 ac, $Q_{100-yr} = 1.40$ cfs) encompasses the parking area directly east of Basins A1 and A2. Basin B1 (0.11 ac, $Q_{100-yr} = 0.49$ cfs) consists of a portion of the Charter School building draining directly west. A high point located on the western side of the building directs this runoff south into a swale located on the west and south of the building. The swale conveys the runoff from Basin B1 east and discharges directly to the eastern retention/water harvesting pond located east of Basin A3. Flows generated from Basins A, A1 and A2 combine within the parking lot, Basin A3. The combined runoff (2.73 cfs) is conveyed east, ultimately discharging to the eastern retention/water harvesting pond.

PAGE 2

Description	Existing Conditions				Flow (cfs)
	Area (ac)	A	B	C	
Basin A	0.19	0.00%	0.00%	100.00%	0.82
Basin B	0.04	0.00%	0.00%	100.00%	0.18
Basin C	0.087	0.00%	0.00%	100.00%	0.38
Basin D	0.49	0.00%	0.00%	100.00%	2.12
Basin E	0.12	0.00%	0.00%	100.00%	0.35
TOTAL	7.28	0.00%	0.00%	100.00%	20.87

Description	Proposed Conditions				Flow (cfs)
	Area (ac)	A	B	C	
A	0.186	0.00%	0.00%	100.00%	0.82
A1	0.017	0.00%	0.00%	50.00%	0.06
A2	0.141	0.00%	0.00%	78.67%	0.45
A3	0.321	0.00%	0.00%	100.00%	1.40
B	0.042	0.00%	0.00%	100.00%	0.18
B1	0.112	0.00%	0.00%	100.00%	0.49
C	0.087	0.00%	0.00%	100.00%	0.38
C1	0.209	0.00%	0.00%	100.00%	0.91
D	0.485	0.00%	0.00%	100.00%	2.12
E	0.123	0.00%	0.00%	100.00%	0.35
TOTAL	1.72	0.00%	0.00%	100.00%	7.16

NOTE: Section 22 of the Albuquerque DPM used to calculate total Q.



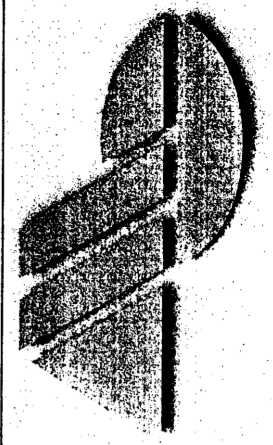
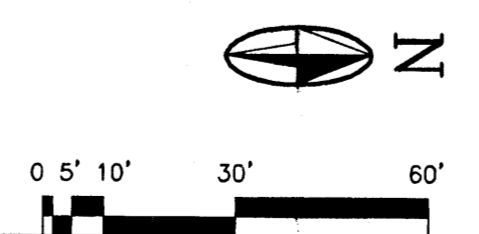
ZONE ATLAS MAP G-6

PROJECT LOCATION

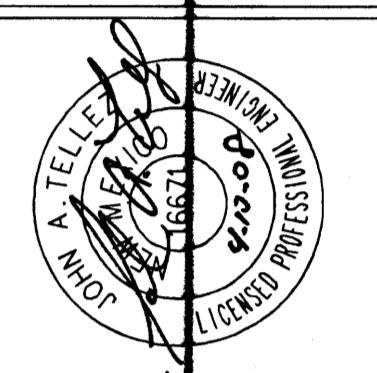
LEGEND

- 5820.00--- EXISTING MAJOR CONTOUR
- 5818.50--- EXISTING MINOR CONTOUR
- 5810.00— NEW MAJOR CONTOUR
- 5818.00— NEW MINOR CONTOUR
- B** BASIN DESIGNATOR
- █ PROPOSED BASIN
- DIRECTION OF FLOW
- █ NEW ASPHALT
- █ NEW CONCRETE

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE SHOWN IN APPROXIMATE LOCATION ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.



Molzen-Corbin & Associates
2701 Miles Road S.E.
Albuquerque, New Mexico 87106
voice (505) 242-5700
fax (505) 242-0673

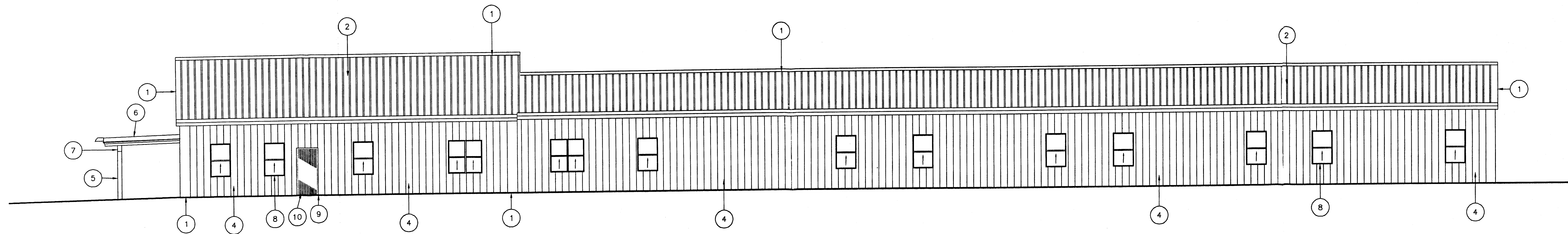


REV. NO.	REV. DATE	DESCRIPTION	PROJECT NUMBER	MCA #	HERE
			J. TELLEZ		
			J. BEHREND		
			J. PROVINE		
			J. PROVINE		

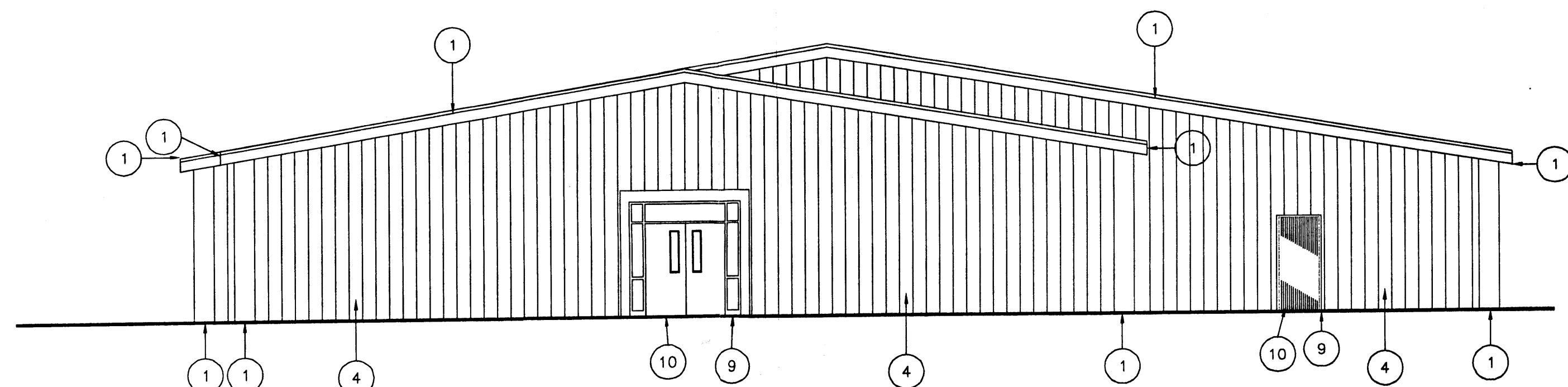
GRADING & DRAINAGE PLAN
 PROPOSED DRAINAGE BASINS
 DOUBLE EAGLE II CHARTER SCHOOL
 TRI-MOTOR, DE II AIRPORT (CITY OF ALBUQUERQUE)
 ALBUQUERQUE (NEW MEXICO)

C-103

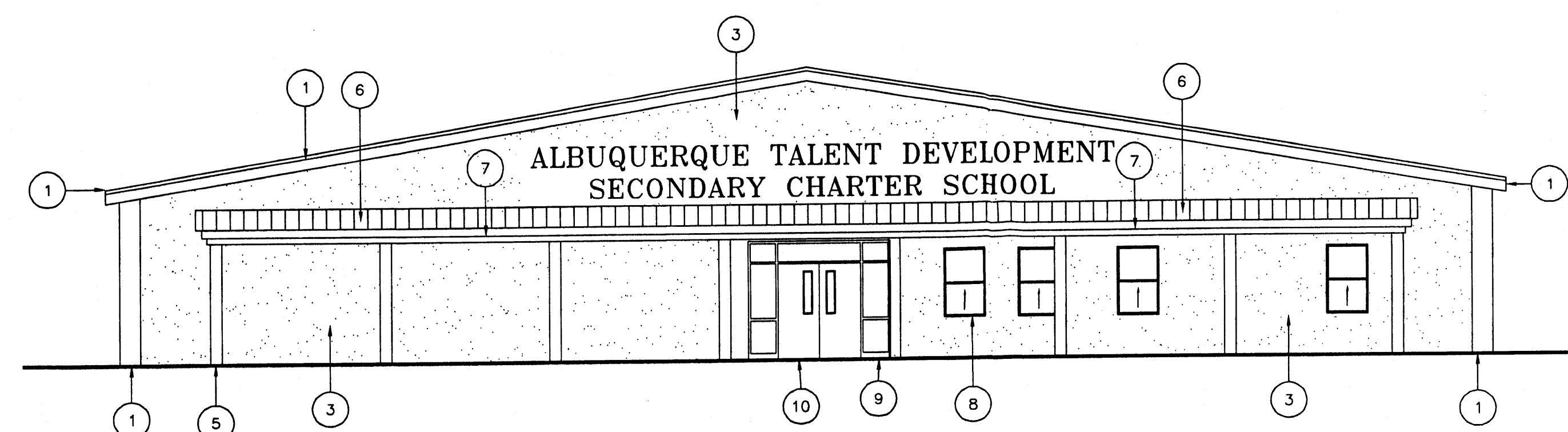
SHEET 5 OF 7



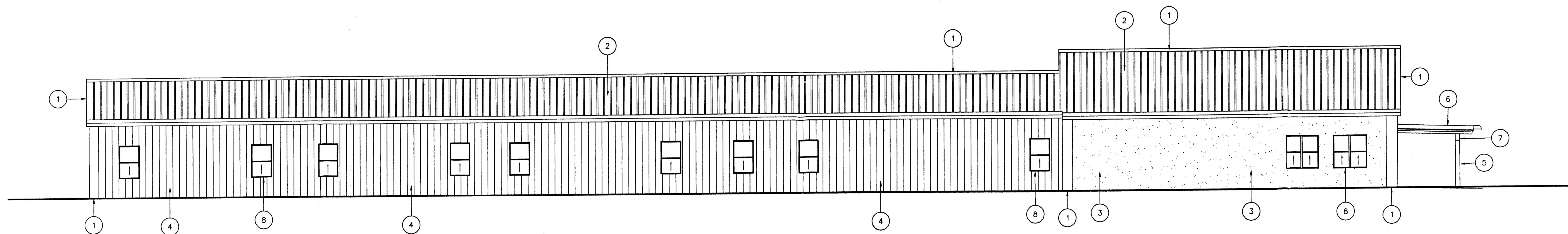
1 WEST ELEVATION
4 1/8"=1'-0"



3 SOUTH ELEVATION
4 1/8"=1'-0"



2 NORTH ELEVATION
4 1/8"=1'-0"



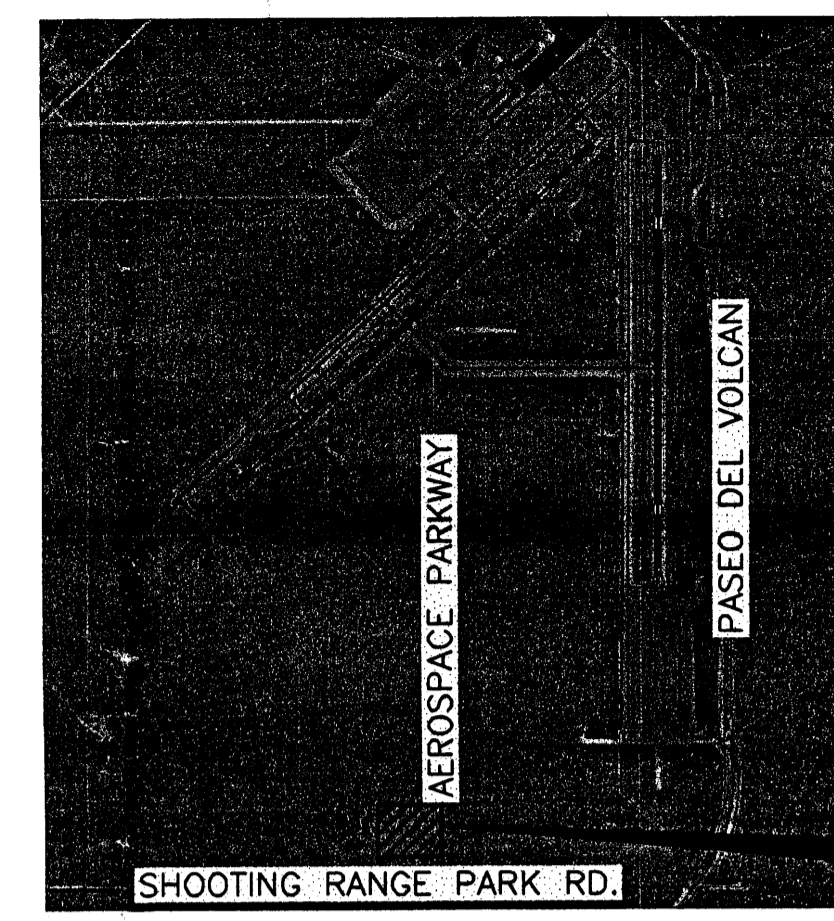
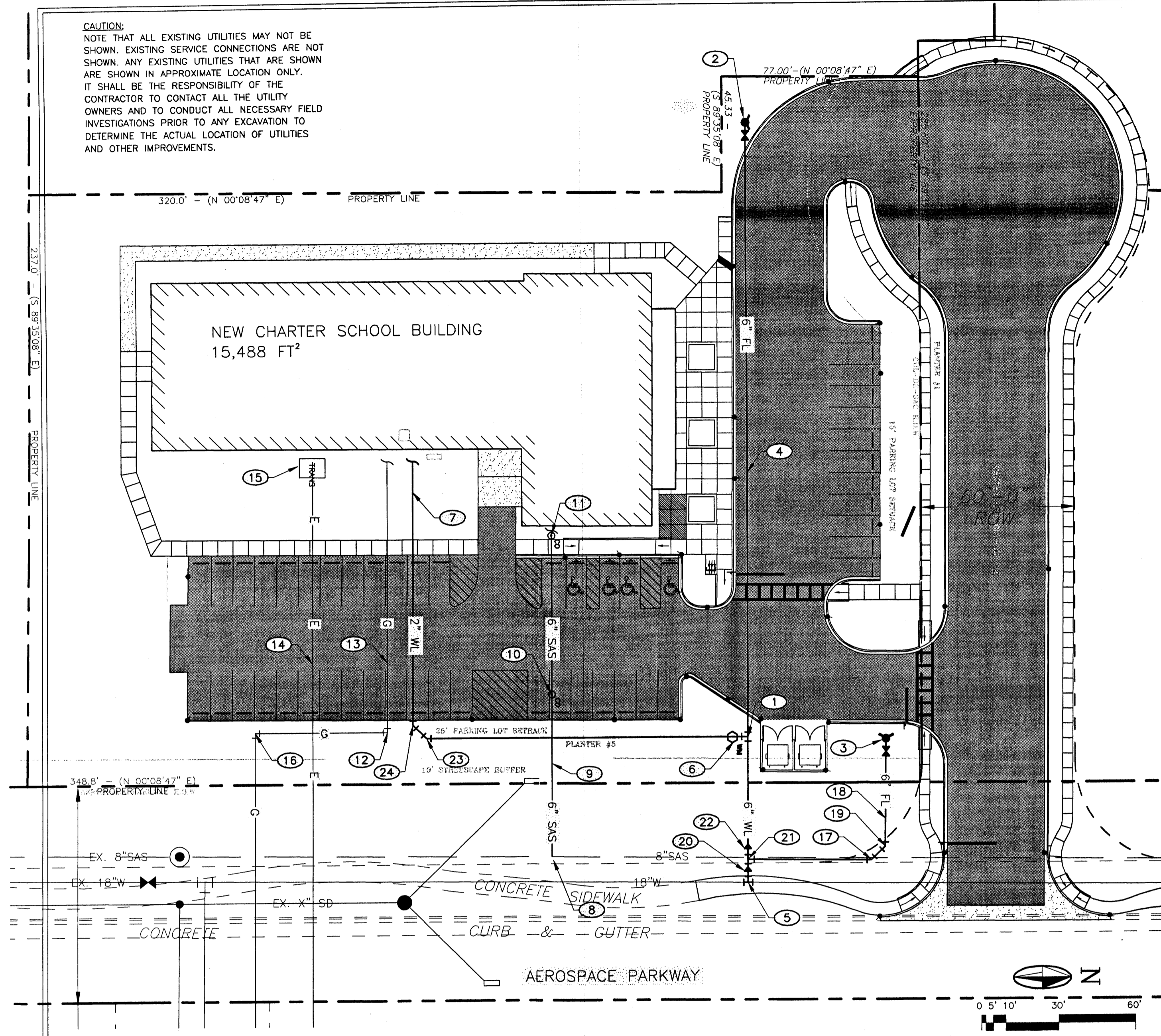
4 NORTH ELEVATION
4 1/8"=1'-0"

COLOR SCHEDULE		
1	METAL TRIM	COLONY GREEN**
2	METAL ROOF	COLONY GREEN**
3	STUCCO	STG/0100S-FUEBLD
4	METAL WALLS PANELING	SADDLE TAN*
5	STEEL COLUMNS	SW-6060 - MOROCCAN BROWN**
6	METAL ROOF & PORTAL	CRIMSON RED**
7	TUBE STEEL BEAM	SW-6060 - MOROCCAN BROWN**
8	ALL WINDOWS	MEDIUM BRONZE* COLOR
9	HOLLOW METAL DOOR FRAMES	MATCH COLOR OF WINDOW FRAME
10	HOLLOW METAL DOORS	SW-6958 / DYNAMIC BLUE**

* METALLIC METAL BUILDING COMPANY, SIGNATURE 200 COLORS
** SHERWIN-WILLIAMS PAINT CO. COLORS

<p>A NEW CHARTER SCHOOL CAMPUS DEVELOPED BY TRI/MOTOR LLC. 2007 SANTA FE NEW MEXICO</p>		DATE 11.19.07	JOB # 07-13
		SHEET # 4 OF	

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE SHOWN IN APPROXIMATE LOCATION ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

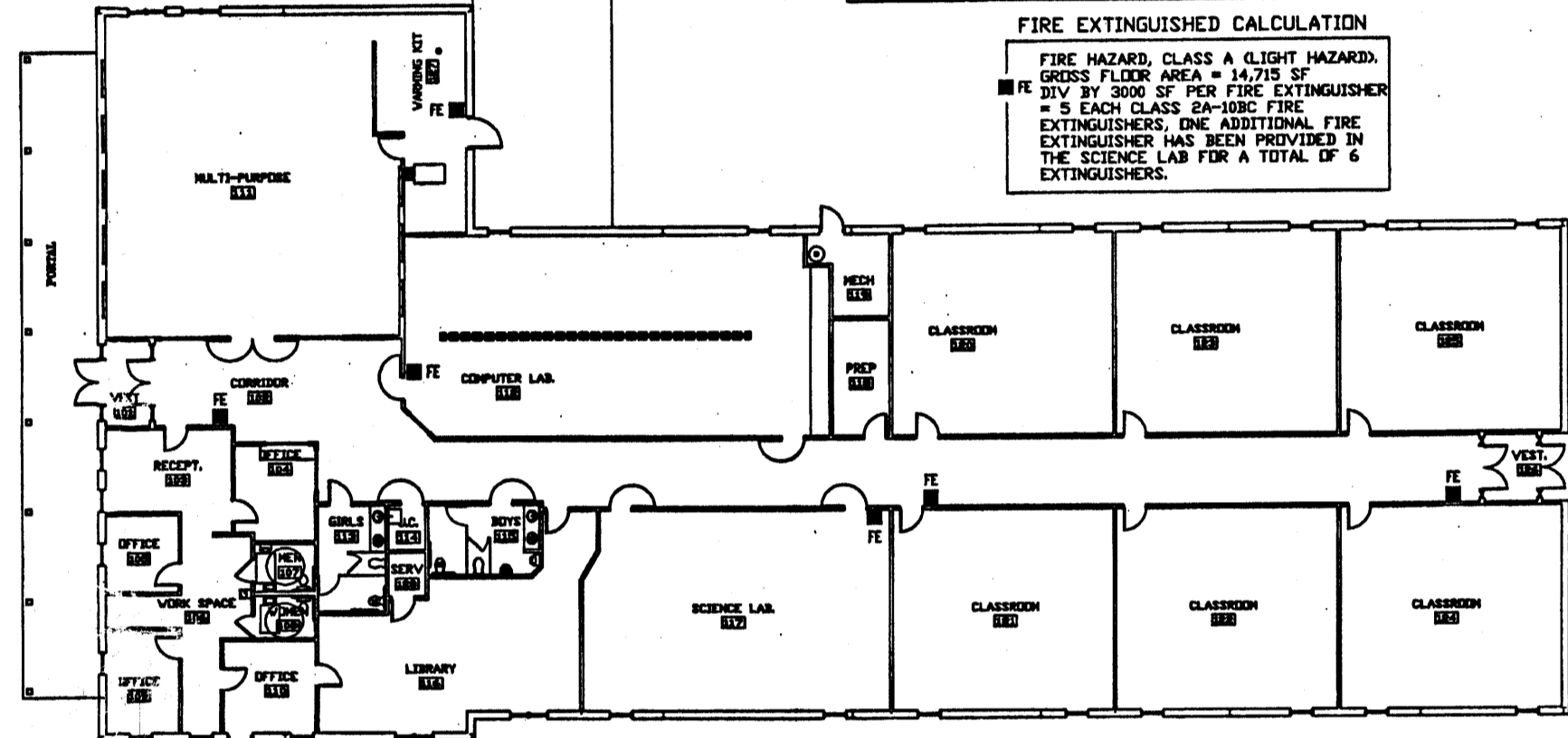


GENERAL SHEET NOTES

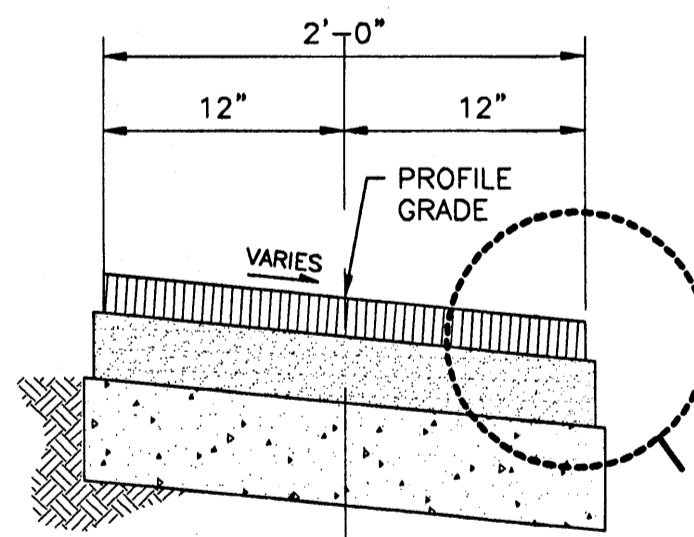
1. ALL NORTHING & EASTING COORDINATES ARE APPROXIMATE.

WARMING KITCHEN REQUIREMENTS: MEALS ARE BEING PURCHASED FROM "CANTEREN FOOD SERVICE" 4800 HAWKINS N.E. ALBUQUERQUE (OR SIMILAR FOOD SERVICE PROVIDER). MEALS ARE DELIVERED TO THE SCHOOL HOT IN CARAFE TYPE CONTAINERS. ALL PLATES, UTENSILS, ETC. ARE DISPOSABLE OR IF NON-DISPOSABLE ARE RETURNED TO THE FOOD SERVICE COMPANY FOR WASHING AT THEIR FACILITY.

FIRE EXTINGUISHER CALCULATION
FIRE HAZARD, CLASS A LIGHT HAZARD.
GROSS FLOOR AREA = 14,715 SF
= 1 DIV BY 300 SF FOR FIRE EXTINGUISHER
= 5 EACH CLASS A-100C FIRE EXTINGUISHERS. ONE ADDITIONAL FIRE EXTINGUISHER HAS BEEN PROVIDED IN THE SCIENCE LAB FOR A TOTAL OF 6 EXTINGUISHERS.



FIRE EXTINGUISHER LOCATION
NO SCALE



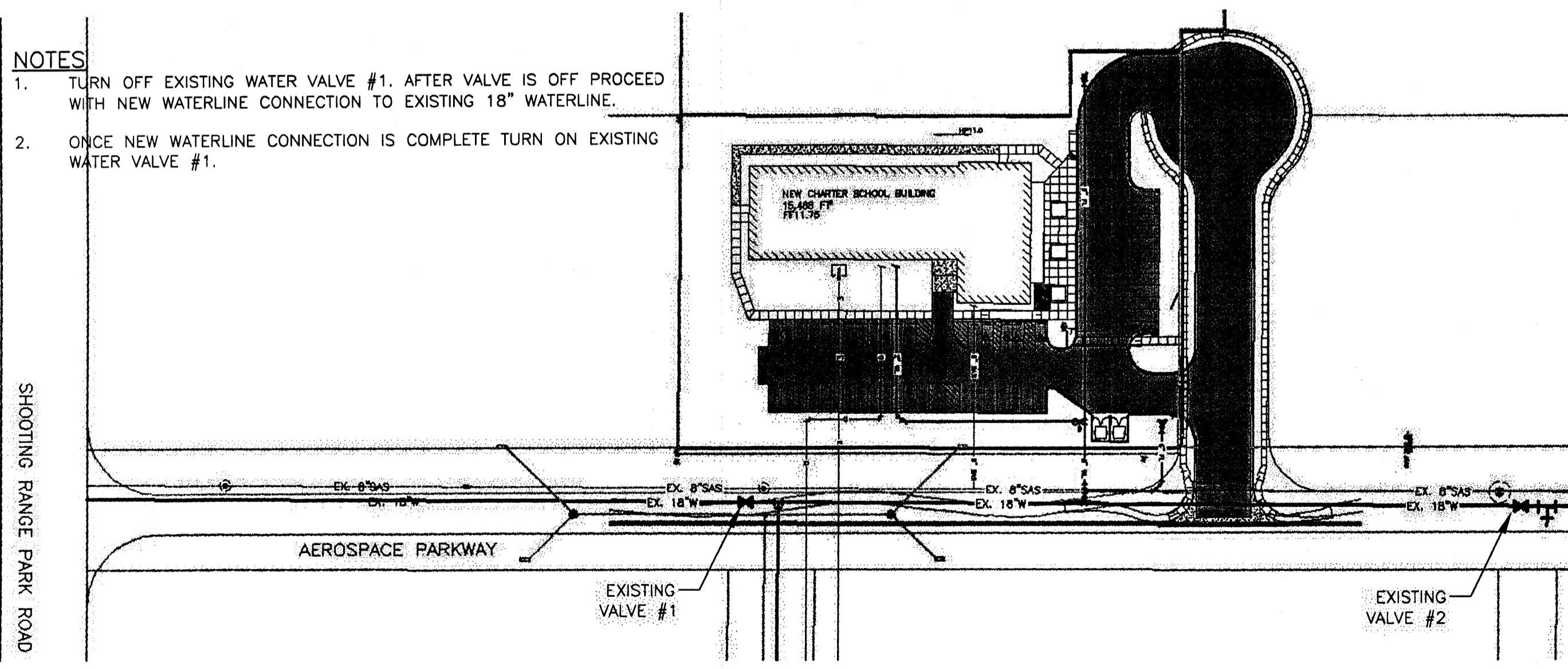
- 4" P-401 BITUMINOUS SURFACE COURSE (2-2" LIFTS, TACK COAT BETWEEN LIFTS)
- 7" P-209 CRUSHED AGGREGATE BASE COURSE (2-3-1/2" LIFTS) (100% COMPACTION ASTM D1557)
- 12" P-152 COMPACTED SUBGRADE (95% COMPACTION ASTM D1557)

ASPHALT SAWCUT, REMOVE & REPLACE DETAIL
NO SCALE

- KEYED NOTES**
1. INSTALL 1 - 2" SERVICE CONNECTION PER COS STD DWG 2363 N 502077.1721, E 477128.7208
 2. INSTALL FIRE HYDRANT ASSEMBLY PER COA STD DWG 2340 - FLANGE ELEV. = XX.XX N 502208.2811, E 476827.4057
 3. INSTALL FIRE HYDRANT ASSEMBLY PER COA STD DWG 2340 - FLANGE ELEV. = XX.XX N 502262.2989, E 477072.6615
 4. INSTALL ±243 LF ± 6" FIRE LINE
 5. INSTALL 1 - TEE WITH WET CONNECTION CONTRACTOR TO FIELD VERIFY EXISTING WL SIZE N 502208.2811, E 477129.6690
 6. INSTALL 2" WATER METER PER COA STD DWG 2363 N 502077.1721, E 477067.2015
 7. INSTALL 170 LF ± 2" WATER SERVICE LINE
 8. INSTALL NEW SAS SADDLE TAP CONNECTION TO EXISTING 8" SAS LINE - INV = XX.XX N 502131.5574, E 477119.1139
 9. INSTALL 130 LF ± 6" SANITARY SEWER LINE
 10. INSTALL 1 - SINGLE CLEANOUT SEE DETAIL SHEET C-501 N 502131.5574, E 477054.3829
 11. INSTALL 1 - SINGLE CLEANOUT SEE DETAIL SHEET C-501 N 502131.5574, E 476991.2536
 12. INSTALL 1 - 90° BEND N 502067.1721, E 477069.2883
 13. GAS LINE INSTALLATION BY OTHERS REFER TO MECHANICAL DRAWINGS FOR CONNECTION DETAILS
 14. UNDERGROUND ELECTRIC LINE INSTALL ATION BY OTHERS REFER TO MECHANICAL DRAWINGS FOR CONNECTION DETAILS
 15. INSTALL ELECTRICAL TRANSFORMER PAD SEE THIS SHEET FOR LOCATION
 16. INSTALL 1 - 90° BEND N 502015.5523, E 477069.2883
 17. INSTALL 1 - 6" 22.5° BEND N, E
 18. INSTALL ±100 LF ± 6" FIRE LINE
 19. INSTALL 1 - 6" 22.5° BEND N, E
 20. INSTALL 1 - 18 x 8 REDUCER N, E
 21. INSTALL 1 - 8 x 8 x 6 TEE N, E
 22. INSTALL 1 - 8 x 6 REDUCER N, E
 23. INSTALL 1 - 6" 22.5° BEND N, E
 24. INSTALL 1 - 6" 22.5° BEND N, E
 25. INSTALL ±240 LF ± 2" WATER LINE

NOTES

1. TURN OFF EXISTING WATER VALVE #1. AFTER VALVE IS OFF PROCEED WITH NEW WATERLINE CONNECTION TO EXISTING 18" WATERLINE.
2. ONCE NEW WATERLINE CONNECTION IS COMPLETE TURN ON EXISTING WATER VALVE #1.



WATER VALVE SHUT-OFF PLAN
NO SCALE

NOTE:
INSTALL MECHANICAL JOINT RESTRAINTS AT ALL BENDS AND JOINTS WHICH FALL WITHIN THE FOLLOWING LENGTHS OF EACH SIDE TO FITTINGS AS FOLLOWS:

FITTING TYPE	WATERLINE		PVC	
	6-INCH	8-INCH	18-INCH	
8 x 6 REDUCER	-	41'	-	-
18 x 18 x 8 REDUCER	-	-	157'	-
22.5° HORIZONTAL BEND	5'	-	-	-
TEE (RESTRAIN ALL SIDES OF TEE FITTING)	1'	1'	1'	1'
LENGTH ALONG RUN	21	21	21	21

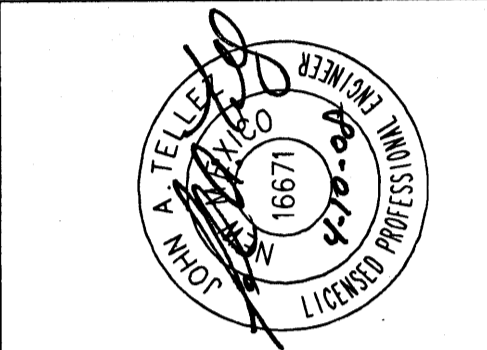
COMMENT:
ADD RESTRAINED LENGTHS FOR ALL HORIZONTAL BEND FITTING COMBINATIONS. FOR EXAMPLE, THE RESTRAINED LENGTH FOR A 8-INCH, 45°-BEND IN COMBO WITH A 11.25°- BEND ON PVC PIPE SHOULD BE 14 FEET.

PIPE RESTRAINT REQUIREMENTS

UTILITY PLAN

**DOUBLE EAGLE II CHARTER SCHOOL
TRI-MOTOR, DE II AIRPORT (CITY OF ALBUQUERQUE)
ALBUQUERQUE (NEW MEXICO)**

Molzen-Corbin & Associates
2701 Miles Road S.E.
Albuquerque, NM 87106
Phone: (505) 249-5700
Fax: (505) 249-4073



REV. NO.	REV. DATE	DESCRIPTION	PROJECT NUMBER	MCA #	HERE	DESIGNED BY	DRAWN BY	CHECKED BY	PROJ. ENG.	J. PROVINE	MILESTONE DATE
						J. TELLEZ	J. BEHREND	J. J. PROVINE	J. J. PROVINE		

C-104

SHEET

TRI-MOTOR, LLC
 2850 A. RUFINA ST.
 SANTA FE, NEW MEXICO 87507

APRIL, 2008

for the

DOUBLE EAGLE II CHARTER SCHOOL
 7401 Paseo Del Volcan N.W.
 Albuquerque, New Mexico 87121

INDEX OF DRAWINGS

SHEET	DESCRIPTION
G-001	TITLE SHEET AND INDEX TO DRAWINGS
C-101	TRAFFIC CIRCULATION LAYOUT (SITE PLAN) LANDSCAPE PLAN
C-102	GRADING & DRAINAGE PLAN
C-103	GRADING & DRAINAGE PLAN PROPOSED DRAINAGE BASINS ELEVATIONS
C-104	UTILITY PLAN SITE DETAILS

CIVIL ENGINEERS

Molzen-Corbin & Associates
 John A. Tellez P.E.
 John M. Provine P.E.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR THE CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS INSTRUMENT ARE OWNED BY AND THE PROPERTY OF MOLZEN-CORBIN & ASSOCIATES, AND WERE CREATED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. THESE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL NOT BE USED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF MOLZEN-CORBIN & ASSOCIATES.

CERTIFICATION:

I, JOHN A. TELLEZ, REGISTERED PROFESSIONAL ENGINEER NO. 16671 HEREBY CERTIFY THAT THE FOLLOWING PLANS AND DESIGNS WERE MADE UNDER MY SUPERVISION AND DIRECTION AND THAT SAME IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF

John A. Tellez 5/19/08
 N.M.P.E. NO. 16671

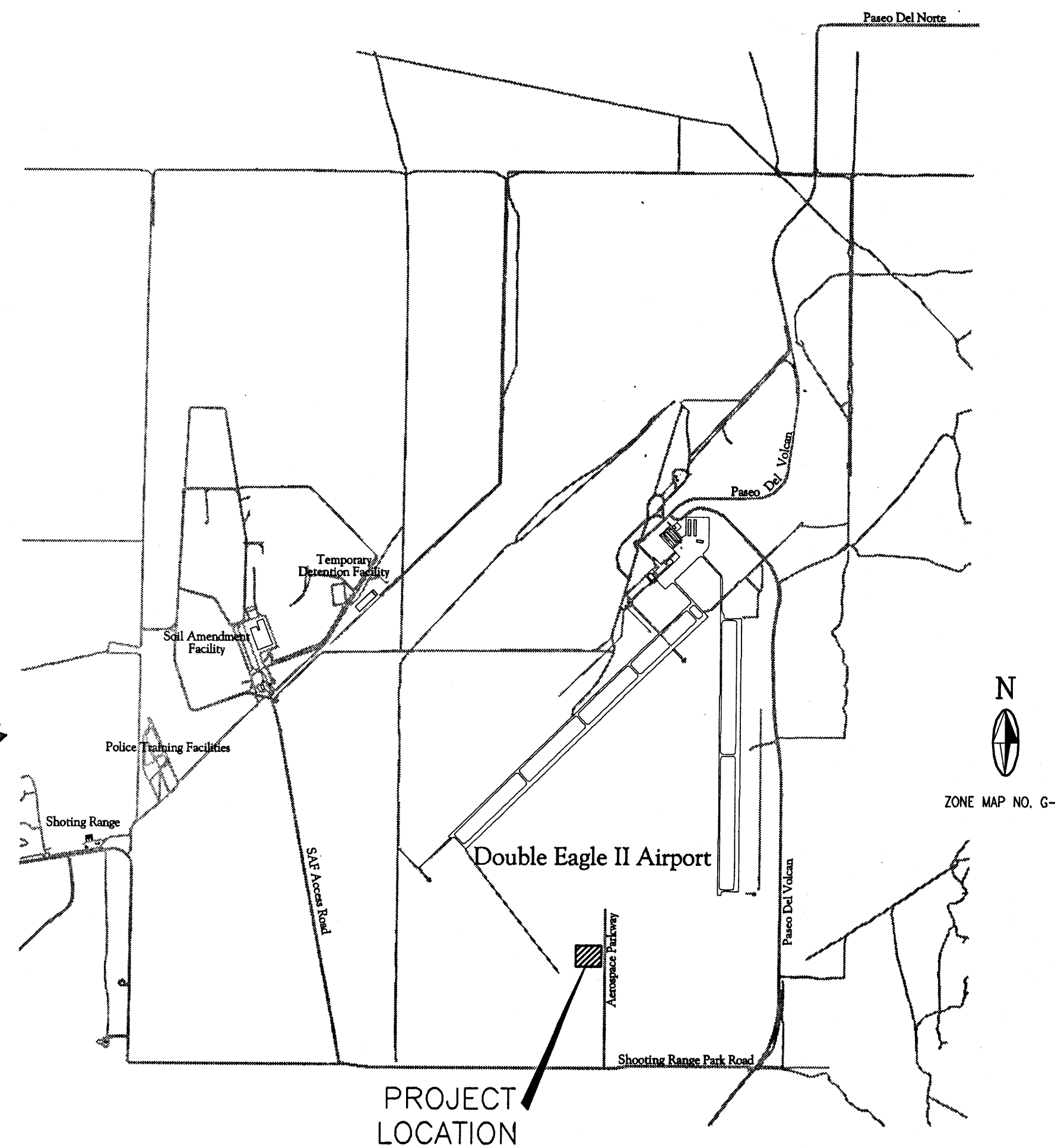
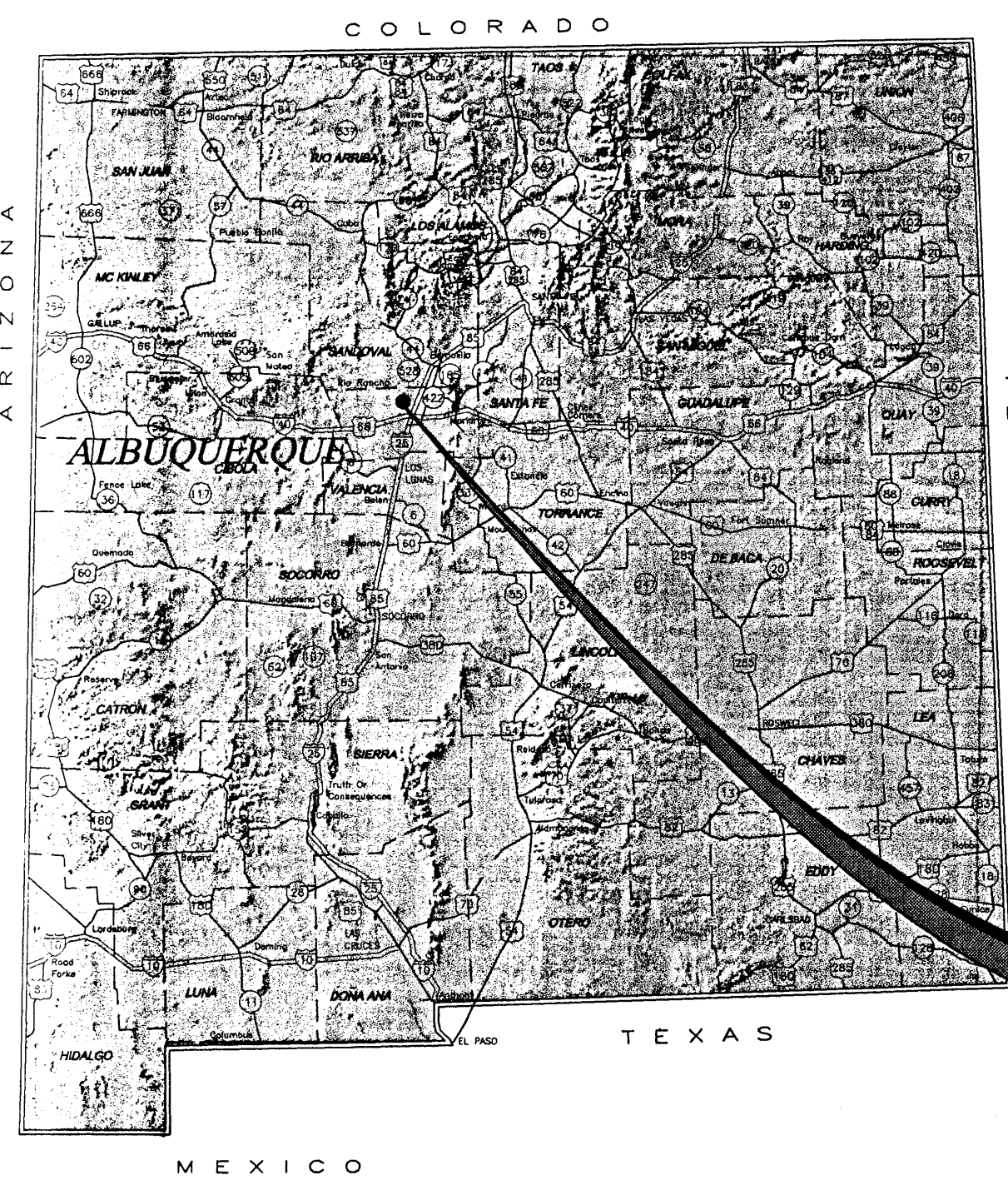


2701 MILES RD SE
 ALBUQUERQUE, NEW MEXICO 87106
 TEL: 505 242 5700
 FAX: 505 242 0873

MOLZEN-CORBIN & Associates
 ENGINEERS/ARCHITECTS/PLANNERS

G-001

DRB PROJECT NUMBER: 1003125



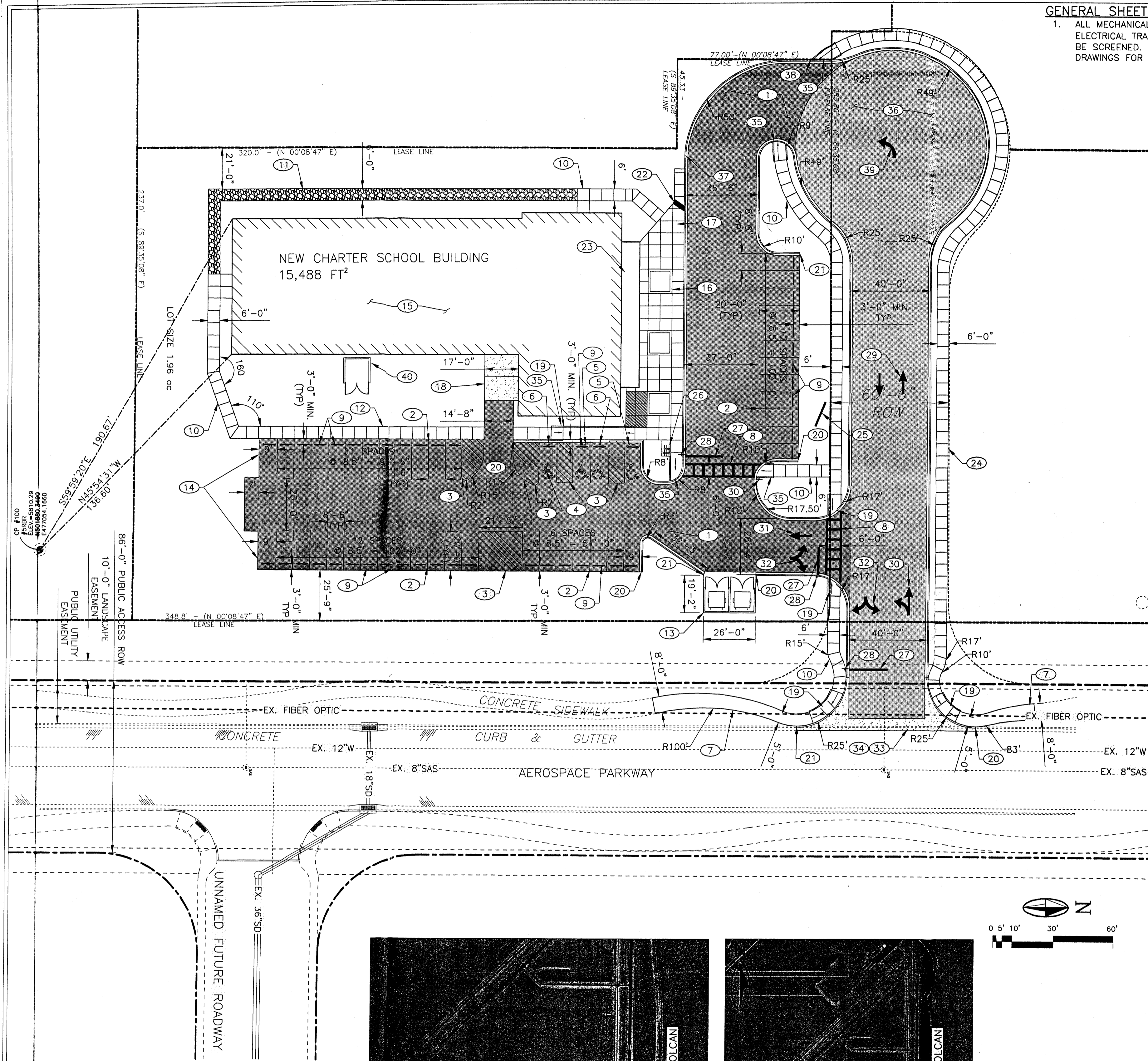
DESCRIPTION	REV DATE	REV NO	NUMERIC SCALE CONFIRMATION
			DRAWINGS ARE DEPICTED AT INTENDED NUMERIC SCALES IF THIS BAR EQUALS ONE INCH

PROJECT NUMBER: 1003125
 Application Number: 08DRB-70183

Is an Infrastructure List required? (X Yes) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
*Environmental Health, if necessary	



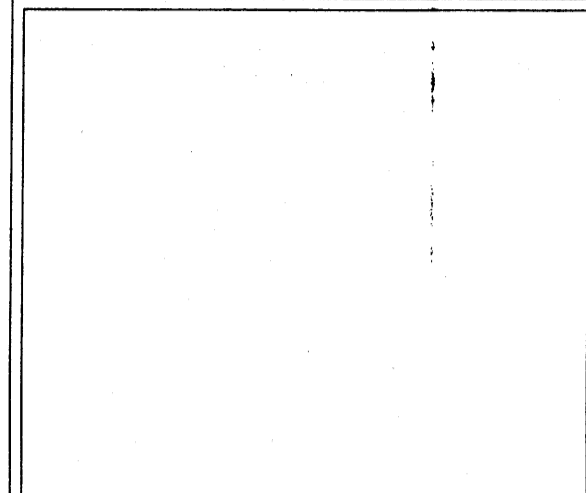
GENERAL SHEET NOTES

1. ALL MECHANICAL UNITS (DUMSPTERS, ELECTRICAL TRANSFORMERS ETC.) WILL BE SCREENED. REFER TO APPROPRIATE DRAWINGS FOR DETAILS.

KEYED NOTES

1. INSTALL 3" ASPHALT PAVEMENT
2. INSTALL 4" WIDE PAINTED WHITE PARKING STRIPE (TYP)
3. INSTALL 4" WIDE PAINTED YELLOW PARKING STRIPE (TYP)
4. INSTALL 4" WIDE PAINTED ADA BLUE PARKING SYMBOL (TYP 4)
5. INSTALL ADA PARKING SIGN (TYP 2)
6. INSTALL ADA PARKING WITH "VAN ACCESSIBLE" SIGN (TYP 2)
7. INSTALL 8'-0" CONCRETE SIDEWALK WITH TRANSITION FROM 8'-0 TO 6'-0" SIDEWALK
8. INSTALL 12" WIDE THERMO PLASTIC WHITE CROSSWALK STRIPE (TYP)
9. INSTALL CONCRETE WHEEL STOP (TYP 48)
10. INSTALL 6'-0" CONCRETE SIDEWALK
11. INSTALL 6'-0" GRAVEL PATH
12. INSTALL 6'-0" TURNDOWN SIDEWALK
13. INSTALL TRASH REFUSE PER COA STANDARD, REFUSE ENCLASURE TO MATCH BUILDING EXTERIOR
14. INSTALL TREATED WOOD BORDER
15. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT
16. INSTALL TREE WELLS (TYP 3)
17. INSTALL PATTERNED CONCRETE PLAZA AREA
18. INSTALL 6" CONCRETE DELIVERY PAD
19. INSTALL CONCRETE ADA ACCESS RAMP WITH DETECTABLE SURFACE PER COA STD DWGS 2441 - CASE I (5 LOCATIONS)
20. BEGIN MEDIAN CURB & GUTTER INSTALLATION PER COA STD DWG 2415B
21. END MEDIAN CURB & GUTTER
22. INSTALL 24" SIDEWALK CULVERT REFER TO GRADING & DRAINAGE SHEET
23. BUILDING PORTAL SEE ARCHITECTURAL DRAWINGS FOR DETAILS
24. 6'-0" SIDEWALK TO BE INSTALLED BY OTHERS
25. INSTALL MONUMENT SIGN PER COA SIGN ORDINANCE
26. INSTALL BIKE RACK REFER TO ARCHITECTURAL DRAWINGS FOR DETAIL
27. INSTALL 12" WIDE THERMO PLASTIC WHITE STOP BAR PAVEMENT MARKING
28. INSTALL 1 - R1-1 STOP SIGN (TYP 3)
29. INSTALL TWO WAY WIDE THERMO PLASTIC TRAFFIC ARROW PAVEMENT MARKING
30. INSTALL 1 - "DO NOT ENTER" & 1 - "ONE WAY" SIGN ON COMMON POLE
31. INSTALL ONE WAY WIDE THERMO PLASTIC TRAFFIC ARROW PAVEMENT MARKING
32. INSTALL LEFT TURN & RIGHT TURN WIDE THERMO PLASTIC TRAFFIC ARROW PAVEMENT MARKING (2 EACH)
33. INSTALL PRIVATE ENTRANCE PER COA STD 2426
34. INSTALL 6'-0" CONCRETE VALLEY GUTTER PER COA STD DWG 2420
35. INSTALL CONCRETE ADA ACCESS RAMP WITH DETECTABLE SURFACE PER COA STD DWGS 2441 - CASE II
36. CUL-DE-SAC TO BE BUILT BY OTHERS, NOT PART OF THIS CONTRACT
37. BEGIN RED FIRE LANE CURB PAINT WITH WHITE LETTERS "FIRE LANE"
38. END RED FIRE LANE CURB PAINT
39. INSTALL LEFT TURN THERMO PLASTIC TRAFFIC ARROW PAVEMENT MARKING
40. TRANSFORMER PAD SCREEN WALL

Molzen-Corbin & Associates
 2701 Miles Road S.E.
 Albuquerque, New Mexico 87106
 Phone: (505) 242-5700
 Fax: (505) 242-0673



REV. NO.	REV. DATE	DESCRIPTION

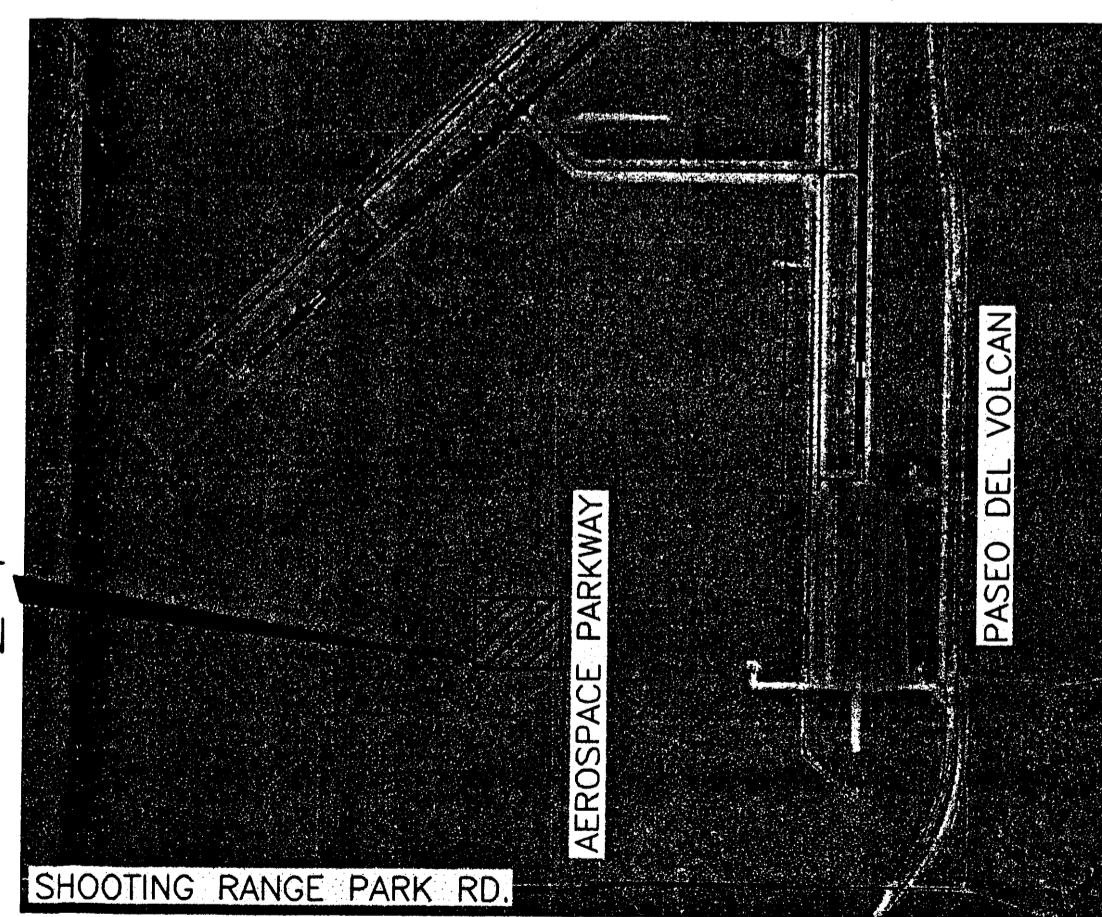
PROJECT NUMBER:	TRIOB1-12.D20
DESIGNED BY:	J. TELLEZ
DRAWN BY:	J. BEHREND
CHECKED BY:	J. PROVINE
PROJ. ENG.:	J. PROVINE
PROJECT DATE:	APRIL 2008

TRAFFIC CIRCULATION LAYOUT (SITE PLAN)

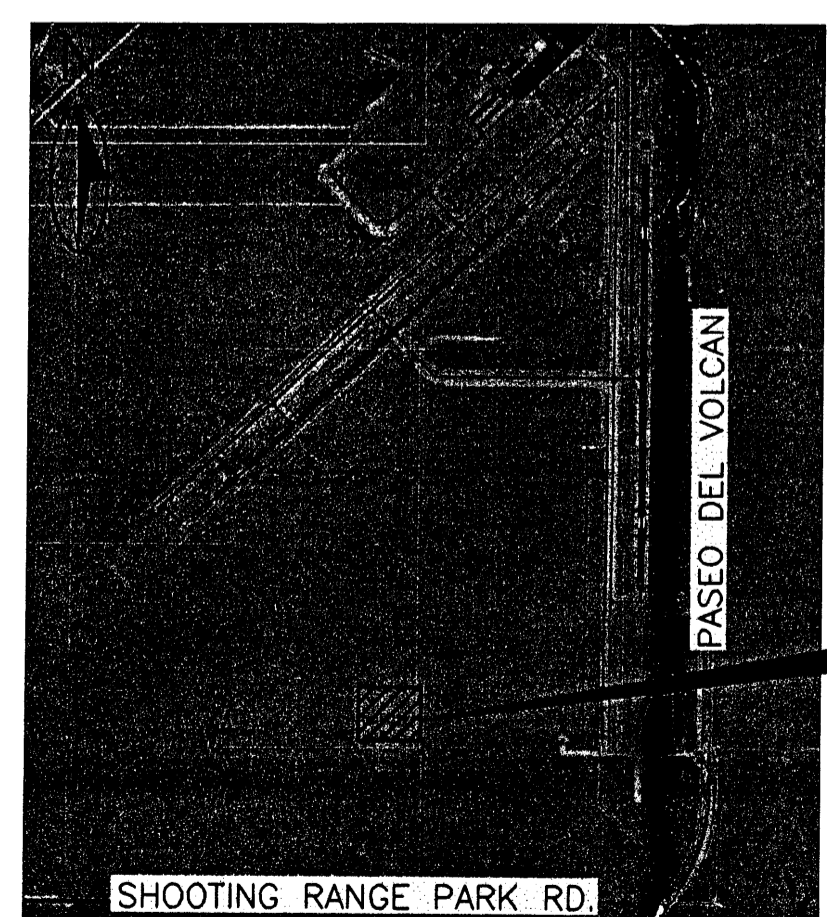
DOUBLE EAGLE II CHARTER SCHOOL
TRI-MOTOR, DE II AIRPORT (CITY OF ALBUQUERQUE)
ALBUQUERQUE (NEW MEXICO)

NOTICE OF EXTENDED PAYMENT PROVISION: THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 45 DAYS AFTER SUBMISSION OF AN UNDISPUTED REQUEST FOR PAYMENT.

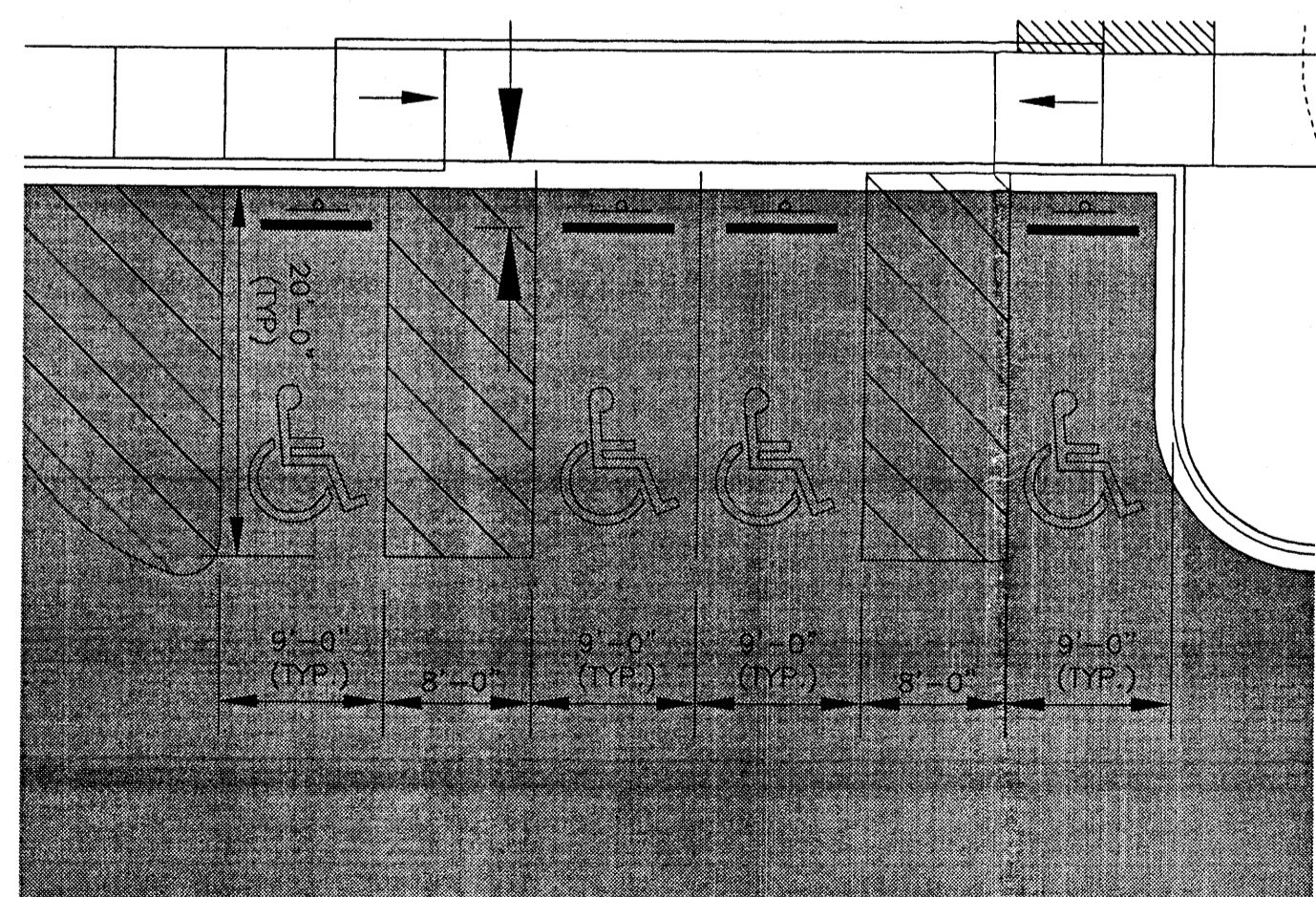
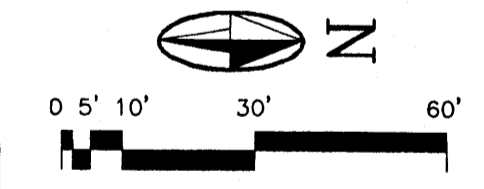
CAUTION:
 NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE SHOWN IN APPROXIMATE LOCATION ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.



SITE ACCESS MAP



ZONE ATLAS MAP G-6



ADA PARKING AREA DETAIL
 SCALE: 1"=10'

LEGEND

	NEW ASPHALT
	NEW CONCRETE
	NEW GRAVEL PATH

C-101

SHEET

DRB PROJECT NUMBER: 1003125

C:\R13\AA-CHARTER SCHOOL\STERLING\2.LCS1.LANDSCAPE\2.L.dwg, 5/16/2008 11:34:13 AM, Auto HP Designak 500 244HPCL2.dwg on BLK.pc3, 1:240

LANDSCAPE CALCULATIONS - AEROSPACE TECHNOLOGY PARK
 TOTAL LOT AREA = 84,929 SF
 GROSS BUILDING AREA = 15,488 SF
 TOTAL LANDSCAPED AREA = 84,929 - 15,488 = 69,441 X 15% = 10,417 SF
 STREET SCAPE
 A 10' EASEMENT HAS BEEN PROVIDED ALONG AEROSPACE PARKWAY, STREET TREES HAVE BEEN PROVIDED AT 25' O.C. ALONG AEROSPACE PARKWAY PER ITEM (C) OF THE ZONING ORDINANCE.
 OFF-STREET PARKING: PARKING = 48 SPACES PLUS 4 ADA COMPLIANT PARKING SPACES = 46 PARKING SPACES TOTAL
 ZONING CODE REQUIRES THE FOLLOWING:
 ONE PARKING SPACE FOR EACH 4 SEATS IN THE AUDITORIUM (WE DO NOT HAVE AN AUDITORIUM, WE ARE CONSIDERING THE MULTI-PURPOSE ROOM AS AN AUDITORIUM) THE MULTI-PURPOSE ROOM WILL ACCOMMODATE 100 STUDENTS DIV BY 4 = 25 PARKING SPACES.
 THERE ARE 8 CLASSROOMS TIMES 3 PARKING SPACES PER CLASSROOM = 24 PARKING SPACES.
 BICYCLE RACK = ONE BIKE PER 20 CARS = A 3 STATION BICYCLE RACK.
 SITE LANDSCAPING: TOTAL LANDSCAPED AREA = 84,929 SF LOT AREA - 15,488 SF BUILDING AREA = 69,441 X 15% = 10,417 SF OF LANDSCAPED AREA.
 PLANTER #1 = 5,240 SF
 PLANTER #2 = 144 SF
 PLANTER #3 = 144 SF
 PLANTER #4 = 144 SF
 PLANTER #5 = 8,790 SF
 TOTAL LANDSCAPED AREA = 14,466 SF
 TOTAL REQUIRED LANDSCAPED AREA = 10,417 SF

ONE TREE PER 1500 SF OF LANDSCAPED AREA = 7 TREES, HOWEVER ALL PLANTER ARE ALONG THE R.O.W.S WHERE ONE TREE IS PLANTED AT 25' OR 30' O.C. DEPENDING ON WHICH R.O.W. THE LANDSCAPING IS ALONG.
 A FULLY AUTOMATIC UNDERGROUND SPRINKLER SYSTEM SHALL BE PROVIDED. OVER SPRAY ONTO BUILDINGS, SIDEWALKS AND FENCES SHALL BE PROHIBITED.
 PLANTING MATERIAL SEE PLANT LEGEND.
 ALL PLANTING MATERIAL SHALL BE MAINTAINED IN A LIVING AND ATTRACTIVE CONDITION. A AREAS SHALL BE MAINTAINED FREE OF WEEDS.

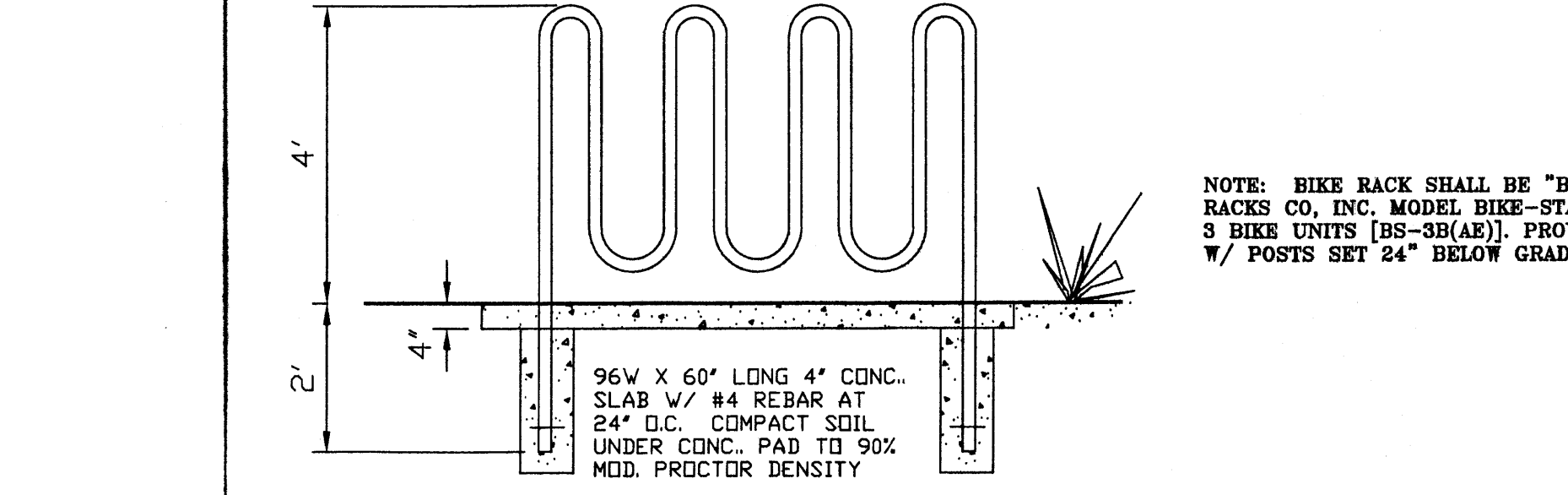
- PLANTING NOTES:**
- EXISTING PLANT MATERIAL: THE PROPERTY CONSISTS OF NATIVE GRASSES W/ NO TREES. A PORTION OF THE SITE HAS BEEN DISTURBED DURING CONSTRUCTION OF AEROSPACE PARKWAY.
 - INSTALLATION AND MAINTENANCE OF THE PLANTING MATERIAL AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE OWNER
 - THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE'S WATER CONSERVATION, LANDSCAPE AND WATER WASTE ORDINANCE.
 - THE USE OF HIGH WATER USE VEGETATION SHALL BE KEPT TO A MINIMUM. THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
 - SEE PLANT LIST FOR MINIMUM PLANT SIZE
 - PONDING AREAS: SEE GRADING AND DRAINAGE PLAN.
 - SOIL AMENDMENTS SHALL BE BY RECOGNIZED MANUFACTURERS OF THE AMENDMENT PRODUCTS BEING USED.
 - SOIL AMENDMENT AREAS:
 8.1. TREES = 80 SF
 8.2. 5 GAL PLANTS = 30 SF
 8.3. 1 GAL PLANTS = 15 SF
 - PASSIVE WATER HARVESTING SHALL COMPRISE OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF SHALL BE UTILIZED WHERE FEASIBLE.
 - ACTIVE WATER HARVESTING: ACTIVE WATER HARVESTING WILL BE PROVIDED IF CITY ORDINANCE REQUIRED ACTIVE WATER HARVESTING FOR THIS SITE. THE SYSTEM SHALL BE DESIGNED TO CITY STANDARDS.

- IRRIGATION NOTES:**
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A DETAILED IRRIGATION PLAN FOR REVIEW AND APPROVAL OF THE ARCHITECT TO PERMANENTLY IRRIGATE THE LANDSCAPING AS SHOWN ON THE PLANS AND IN THE SPECIFICATIONS. THE PLAN SHALL SHOW THE PROPOSED PIPING LAYOUT W/ ALL PIPE SIZES CLEARLY INDICATED, ALL EMITTERS PROPERLY LAYED OUT, ALL VALVES AND CONSTRUCTION DETAILS SHOWN. IRRIGATION SHALL BE PROVIDED TO ALL TREES, SHRUBS AND SHALL BE FULLY AUTOMATIC.
 - IRRIGATION CONTROLLER: THE ENTIRE IRRIGATION SYSTEM SHALL BE CONTROLLED BY A FULLY AUTOMATIC IRRIGATION CONTROLLER. IRRIGATION TIMES SHALL BE VARIED ACCORDING TO SEASON, PLANT MATURITY, LOCATION AND PLANT PERFORMANCE.
 - DRIP EMITTERS SHALL BE USED FOR ALL PLANTING MATERIAL. SEE PLANTING LEGEND FOR EMITTER SIZE AND QUANTITY. EMITTERS SHALL BE PLACED UP-HILL FROM PLANT CENTERS.
 - POINT OF CONNECTION IRRIGATION WATER SHALL BE A 1 1/2" TAP OFF THE MAIN LINE TO THE BUILDING.
 - PIPING SHALL BE IRRIGATION GRADE PIPE APPROVED FOR THE APPLICATION.

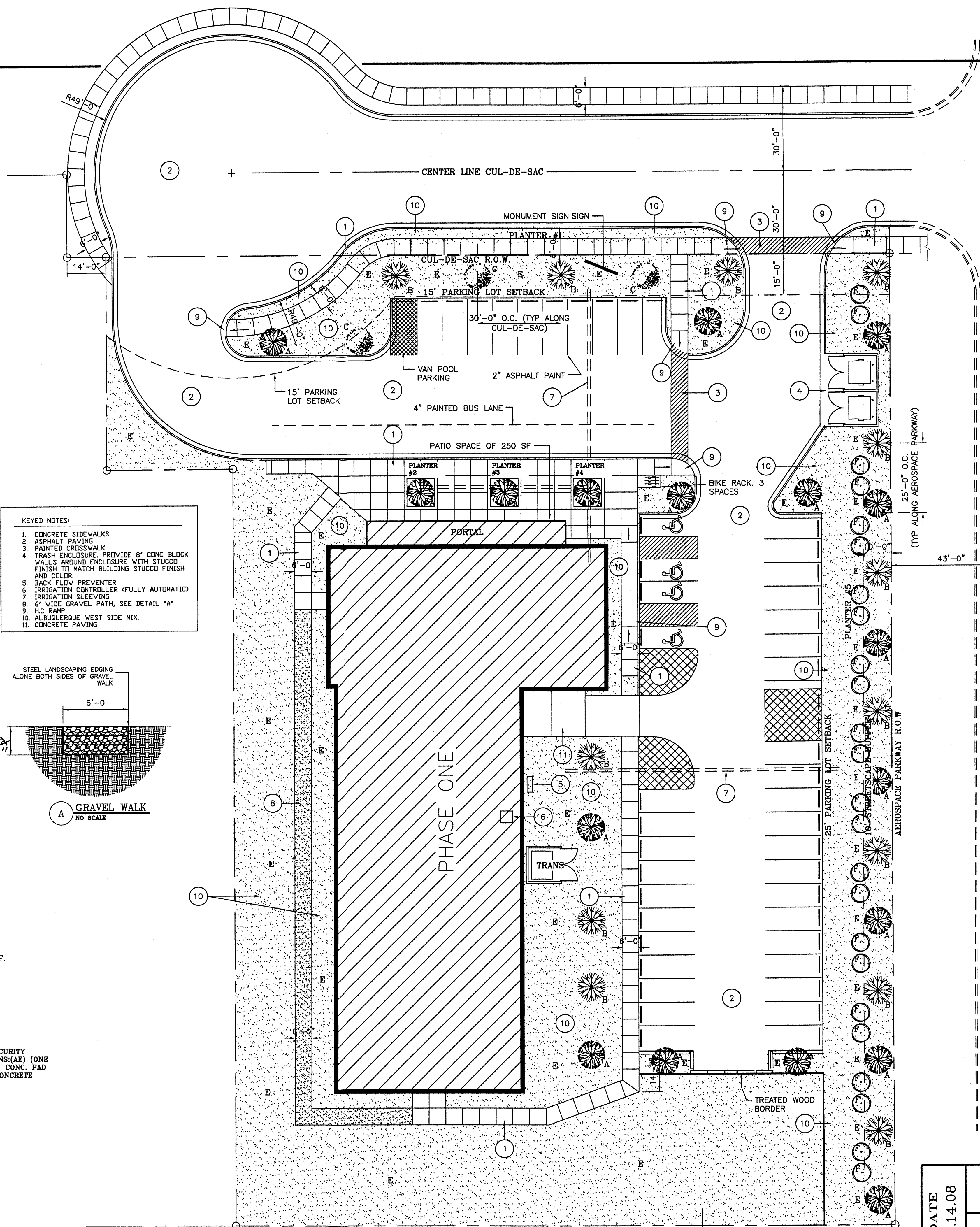
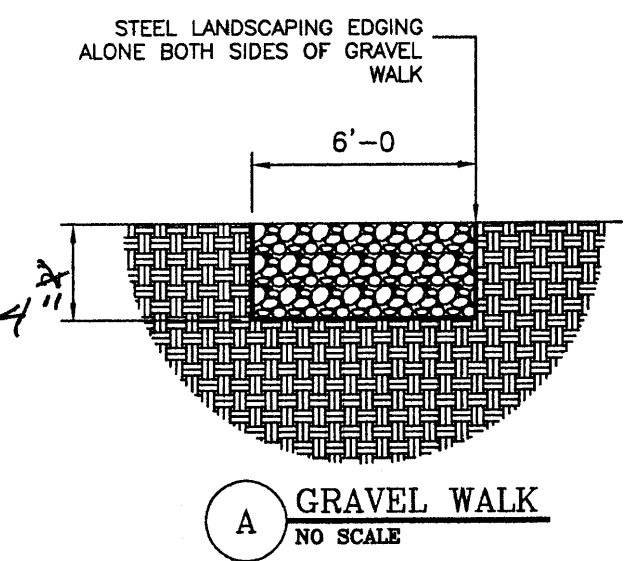
PLANTING LEGEND

SYMBOL	QUANTITY	INSTALLED SIZE	COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	WATER REQUIREMENTS	EMITTERS REQUIRED
A	18	2" CAL	JAPANESE PAGODA TREE	SEPIERIA JAPONICA	40 FT	40 FT	MEDIUM WATER USE	3-20PH
B	12	2" CAL	RUSSIAN HAWTHORN	CRATAEGUS AMURICA	20 FT	20 FT	MEDIUM WATER USE	3-20PH
C	3	1.5" CAL	HONEY LOCUST	GLEBISTIA TRIACANTHOS	60 FT	60 FT	MEDIUM WATER USE	3-20PH
E	AS SHOWN	NA	ALBUQUERQUE WEST SIDE MIX	NA	NA	NA	LDW+	TEMPORARY IRRIGATION SYSTEM
F	24	1 GAL	THREELEAF SUMAC	RHUS TRILOBATA	6 FT	6 FT	LDW	2 GPH

GRASS SHALL BE THE "ALBUQUERQUE WEST SIDE MIX" SPREAD AT THE RATE OF .30 LBS / 1000 SF. PROVIDE TEMPORARY IRRIGATION SYSTEM UNTIL GRASS IS FULLY ESTABLISHED. SEEDS SHALL BE INSTALLED NO DEEPER THEN 1/4" BELOW SOIL SURFACE. SOIL AMENDMENT IS NOT REQUIRED.



- KEYED NOTES:**
- CONCRETE SIDEWALKS
 - ASPHALT PAVING
 - PAINTED CROSSWALK
 - TRASH ENCLOSURE: PROVIDE 8" CONC BLOCK WALLS AROUND ENCLOSURE WITH STUCCO FINISH TO MATCH BUILDING STUCCO FINISH AND COLOR.
 - BACK FLOW PREVENTER
 - IRRIGATION CONTROLLER (FULLY AUTOMATIC)
 - IRRIGATION SLEEVING
 - 6" WIDE GRAVEL PATH, SEE DETAIL 'A'
 - HC RAMP
 - ALBUQUERQUE WEST SIDE MIX
 - CONCRETE PAVING



NOTE: PROVIDE INTEGRALLY COLORED CONCRETE. COLOR BY DAVIS COLOR, PEBBLE 641.

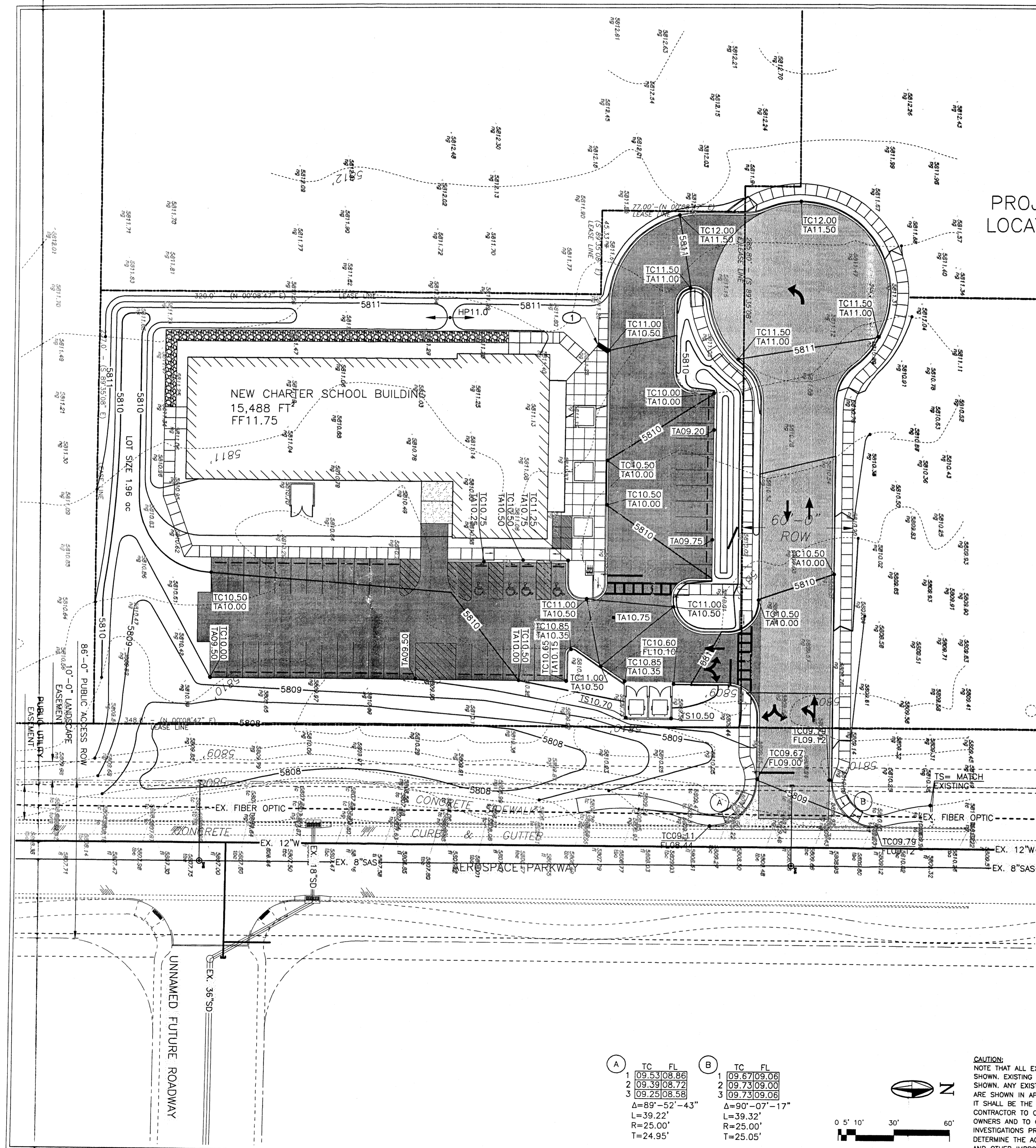
FIN GRADE

6" X 6" 10/10 WVF (TYP)

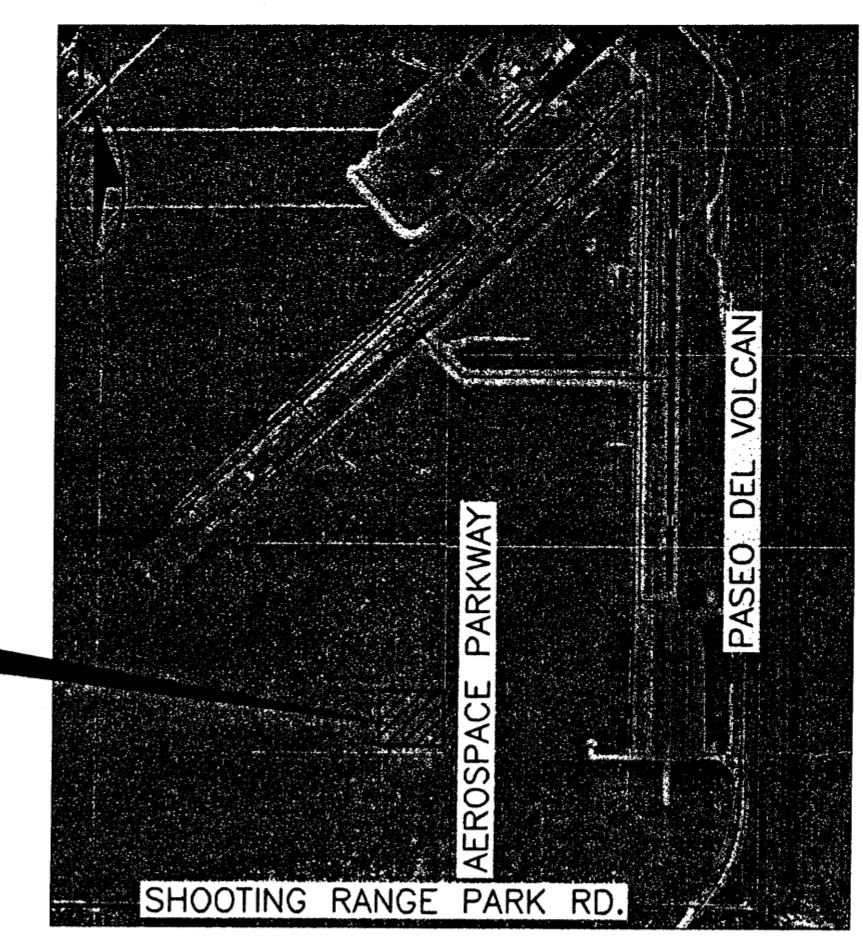
COMPACT SOIL TO 90% MOD PROCTOR DENSITY WITH A 3" TO 5" SLUMP

NOTE: PROVIDE KERF MARKS AT 1/2" EXP. JT AT 30" O.C.

3 DETAIL
 2.1 1/2"=1'-0"

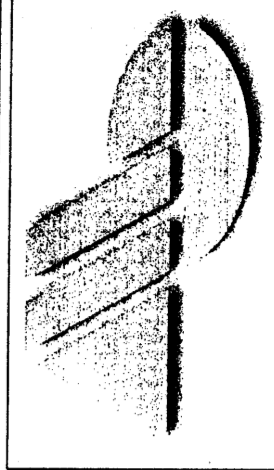


PROJECT LOCATION

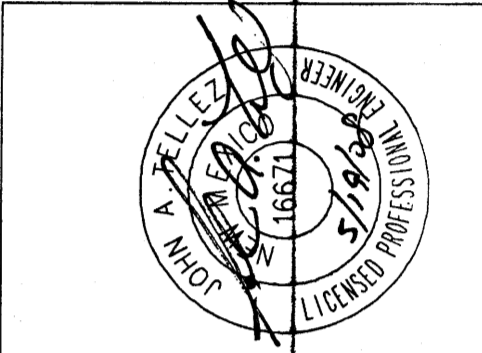


ZONE ATLAS MAP G-6

KEYED NOTES
 ① INSTALL 1 - 24" SIDEWALK CULVERT PER COA
 STD DWG 2236
 INV (IN) = 10.60
 INV (OUT) = 10.0



Molzen-Corbin & Associates
 2701 Miles Road, S.E.
 Albuquerque, New Mexico 87106
 voice (505) 242-5700
 fax (505) 242-0673



REV NO	REV DATE	DESCRIPTION
1		PROJECT NUMBER: TR081-12.D20
2		DESIGNED BY: J. TELLEZ
3		DRAWN BY: J. BEHREND
4		CHECKED BY: J. PROVINE
5		PROJ. ENG: J. PROVINE
6		PROJECT DATE: APRIL 2008

GRADING & DRAINAGE PLAN

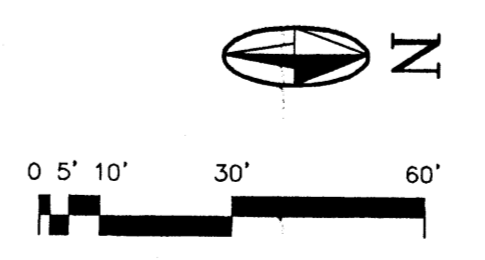
DOUBLE EAGLE II CHARTER SCHOOL
TRI-MOTOR, DE II AIRPORT (CITY OF ALBUQUERQUE)
ALBUQUERQUE (NEW MEXICO)

NOTICE: IF EXTENDED DRAINAGE PROVISION, THE CONTRACTOR SHALL SUBMIT A REQUEST FOR PAYMENT WITHIN 45 DAYS AFTER SUBMISSION OF AN UNDISPUTED REQUEST FOR PAYMENT.

LEGEND

--- 5819.00 ---	EXISTING MAJOR CONTOUR
--- 5818.50 ---	EXISTING MINOR CONTOUR
— 5815.00 —	NEW MAJOR CONTOUR
— 5818.00 —	NEW MINOR CONTOUR
--- 18" W ---	EXISTING WATER LINE
--- 8" SAS ---	EXISTING SANITARY SEWER LINE
5810.45	EXISTING SPOT ELEVATION
[New Asphalt Symbol]	NEW ASPHALT
[New Concrete Symbol]	NEW CONCRETE
TC10.00	NEW SPOT ELEVATION
TA10.00	FINISH FLOOR
FF	TOP OF CURB
TC	TOP OF ASPHALT
TA	TOP OF SLAB
INV	INVERT ELEVATION

(A)	TC	FL
1	09.53	08.86
2	09.39	08.72
3	09.23	08.58
Δ=89°-52'-43"		
L=39.22'		
R=25.00'		
T=24.95'		
(B)	TC	FL
1	09.67	09.06
2	09.73	09.00
3	09.73	09.06
Δ=90°-07'-17"		
L=39.32'		
R=25.00'		
T=25.05'		

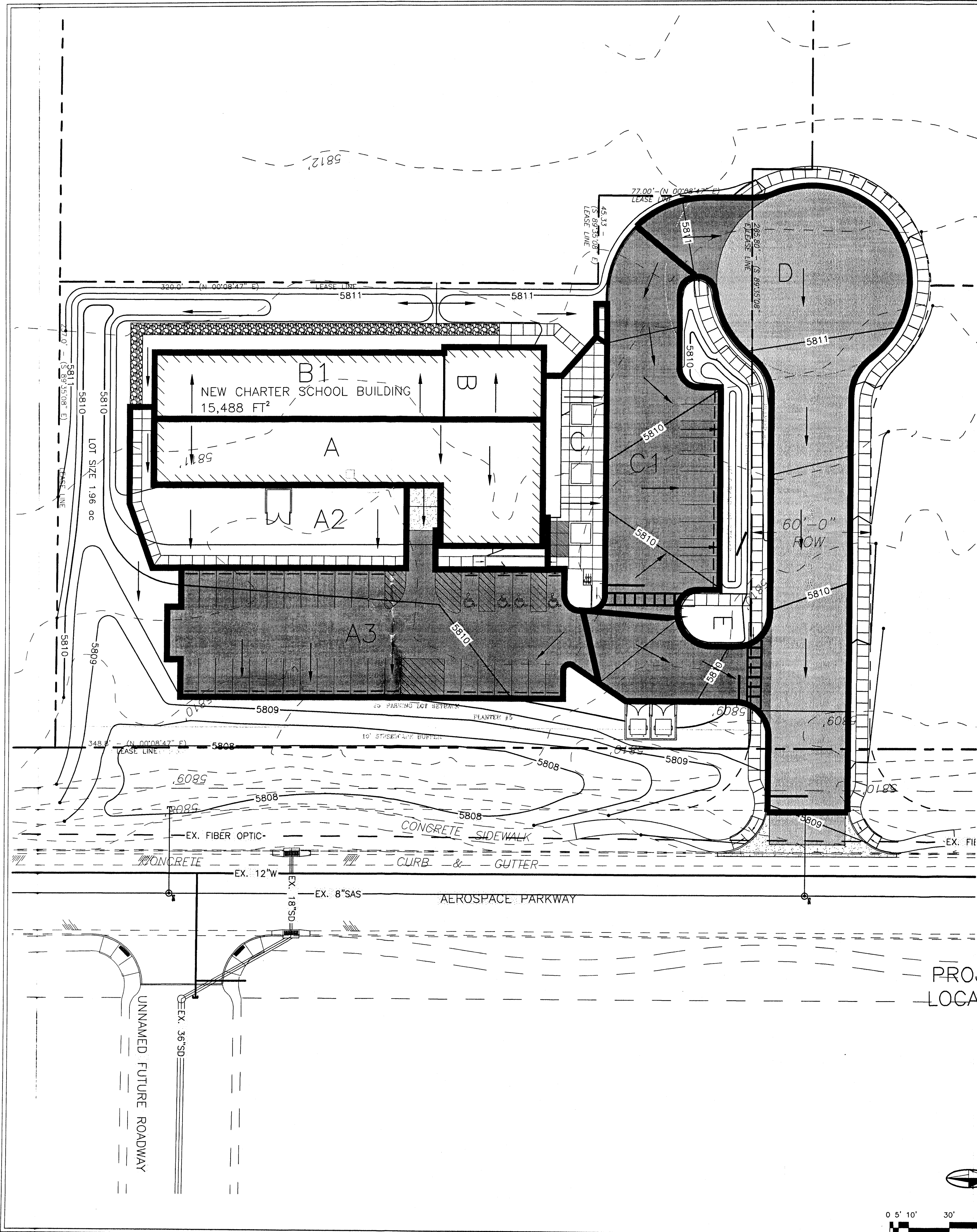


CAUTION:
 NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE SHOWN IN APPROXIMATE LOCATION ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

DRB PROJECT NUMBER: 1003125

C-102

SHEET



Double Eagle II Charter School Drainage Analysis
Bernalillo County, New Mexico

INTRODUCTION

Purpose and Site Location

The site for the Double Eagle II Charter School is within a 7.30 acre site, with the school occupying 1.72 acres of predominantly undeveloped land. The proposed site is located near the southwest corner of the Aerospace Parkway and Shooting Range Road intersection within Bernalillo County. Currently the site has no existing development. Flow patterns in areas remaining undeveloped will continue existing conditions east to Aerospace Parkway.

Drainage generated by the new development will be contained onsite within two retention/water harvesting ponds with a small portion allowed to enter Aerospace Parkway. The development of Aerospace Parkway included the construction of a berm located on the western boundary of the site designed to divert offsite flows south, ultimately protecting development within Aerospace Technology Park. Due to the western berm, offsite drainage considerations were not included in this study. Drainage considerations have been thoroughly analyzed and fully conform to Chapter 22, Drainage, Flood Control, and Erosion Control chapter of the City of Albuquerque Development Process Manual.

CRITERIA

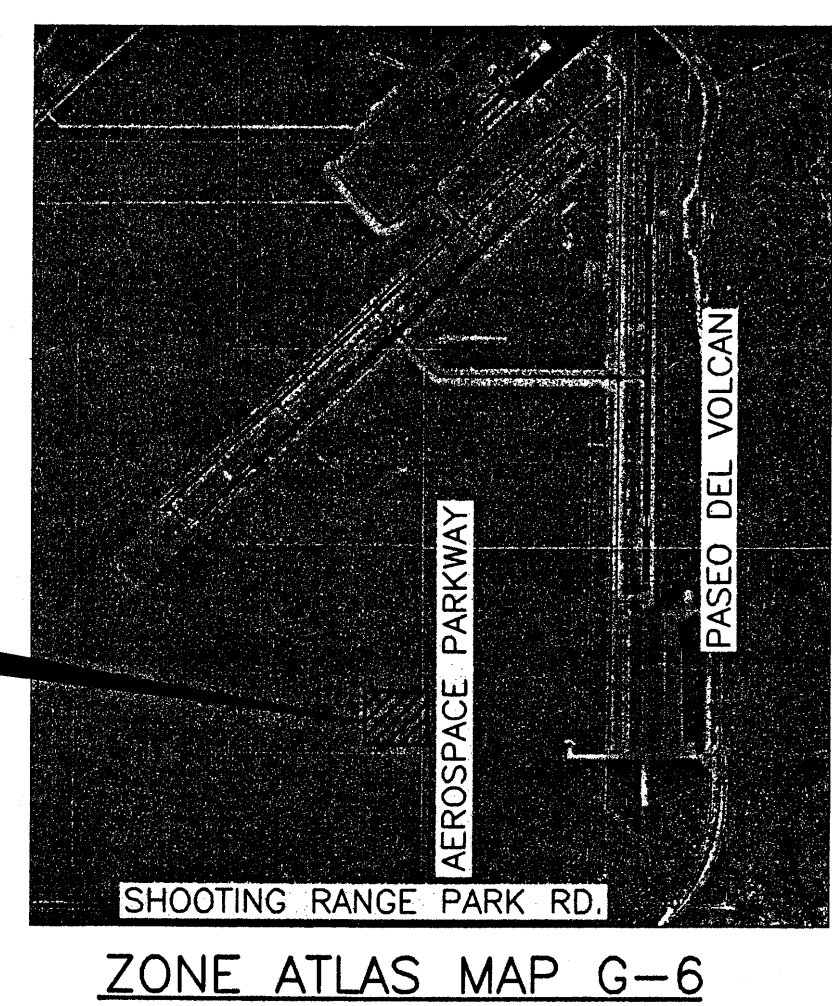
Hydrologic criteria for this drainage report were taken from the City of Albuquerque DPM, Chapter 22. Due to the overall site being less than 40 acres, the simplified procedure meeting these criteria was followed. Flow calculations were based on the 100-year 6-hour design storm. The 100-year 10-day storm was used in the calculation of the pond volumes with precipitation values taken from Bernalillo County Precipitation Zone 1. PAGE 1

Basin B (0.04 ac, $Q_{100-6hr} = 0.18$ cfs) consists of a portion of the Charter School building draining directly west. Basin C (0.087 ac, $Q_{100-6hr} = 0.38$ cfs) encompasses the landscape/sidewalk area located directly north of the Charter School building. Basin C1 (0.21 ac, $Q_{100-6hr} = 0.91$ cfs) encompasses the parking area directly north of Basin C. A high point located on the western side of the building directs runoff from Basin B north into a swale located along the northwestern side of the building. This flow combines with runoff from Basins C and C1 (1.47 cfs), ultimately discharging to the northern retention/water harvesting pond. Basin E (0.12 ac, $Q_{100-6hr} = 0.35$ cfs) consists of the area encompassing the northern retention/water harvesting pond area. PAGE 2

Basin D (0.49 ac, $Q_{100-6hr} = 2.12$ cfs) consists of the northern entrance road. Runoff generated within this basin is conveyed east and enters Aerospace Parkway. Storm drain inlets within the roadway captures the flow and conveys it east within existing storm drain, ultimately discharging to Pond MHP2. PAGE 3

CONCLUSION

The overall drainage patterns for the Double Eagle II Charter School were designed to follow existing patterns as closely as possible. The runoff developed onsite will be retained within two retention/water harvesting ponds with a small portion allowed to enter Aerospace Parkway. PAGE 3



CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE SHOWN IN APPROXIMATE LOCATION ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

The area of study was broken into ten (10) onsite basins.

The overall drainage scheme for developed conditions flows to the east, and follows existing patterns as closely as possible.

EXISTING CONDITIONS

The 7.30 acre site is primarily undeveloped. Existing drainage patterns flow to the east entering the existing Aerospace Parkway. Storm drain built with Aerospace Parkway captures surface runoff and conveys it east, ultimately discharging to Pond MHP2.

DEVELOPED CONDITIONS

The ultimate development scenario includes the new Charter School and the corresponding parking area.

As previously mentioned, the site has been divided into ten (10) onsite basins. A description of these basins and flow patterns is discussed below.

Basin A (0.19 ac, $Q_{100-6hr} = 0.82$ cfs) consists of the portion of the Charter School building, draining directly east. Basins A1 (0.02 ac, $Q_{100-6hr} = 0.06$ cfs) and A2 (0.14 ac, $Q_{100-6hr} = 0.45$ cfs) encompass the landscape/sidewalk areas located directly east of the Charter School building. Basin A3 (0.32 ac, $Q_{100-6hr} = 1.40$ cfs) encompasses the parking area directly east of Basins A1 and A2. Basin B1 (0.11 ac, $Q_{100-6hr} = 0.49$ cfs) consists of a portion of the Charter School building draining directly west. A high point located on the western side of the building directs this runoff south into a swale located on the west and south of the building. The swale conveys the runoff from Basin B1 east and discharges directly to the eastern retention/water harvesting pond located east of Basin A3. Flows generated from Basins A, A1 and A2 combine within the parking lot, Basin A3. The combined runoff (2.73 cfs) is conveyed east, ultimately discharging to the eastern retention/water harvesting pond. PAGE 2

Description		Existing Conditions				Flow (cfs)
Basin	Area (ac)	A	B	C	D	$Q_{100-6hr}$
Ex. Lot	7.28	0.00%	0.00%	100.00%	0.00%	20.97
TOTAL	7.28					20.97

Description		Proposed Conditions				Flow (cfs)
Basin ID	Area (ac)	A	B	C	D	$Q_{100-6hr}$
A	1.186	0.00%	0.00%	0.00%	100.00%	0.82
A1	0.017	0.00%	0.00%	50.00%	50.00%	0.06
A2	0.141	0.00%	0.00%	78.67%	21.33%	0.45
A3	0.321	0.00%	0.00%	0.00%	100.00%	1.40
B	0.042	0.00%	0.00%	0.00%	100.00%	0.18
B1	0.112	0.00%	0.00%	0.00%	100.00%	0.49
C	0.087	0.00%	0.00%	0.00%	100.00%	0.38
C1	0.209	0.00%	0.00%	0.00%	100.00%	0.91
D	0.485	0.00%	0.00%	0.00%	100.00%	2.12
E	0.123	0.00%	0.00%	100.00%	0.00%	0.35
TOTAL	1.72					7.16

NOTE: Section 22 of the Albuquerque DPM used to calculate total Q.

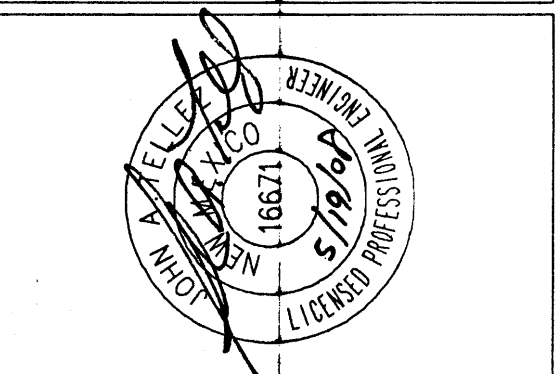
DRAINAGE REPORT

LEGEND

- 5820.00--- EXISTING MAJOR CONTOUR
- 5818.50--- EXISTING MINOR CONTOUR
- 5810.00— NEW MAJOR CONTOUR
- 5818.00— NEW MINOR CONTOUR
- B** BASIN DESIGNATOR
- PROPOSED BASIN
- DIRECTION OF FLOW
- NEW ASPHALT
- NEW CONCRETE

DRB PROJECT NUMBER: 1003125

Molzen-Corbin & Associates
2701 Miles Road S.E.
Albuquerque, NM 87110
voice (505) 249-5700
fax (505) 242-0673



REV. NO.	REV. DATE	DESCRIPTION

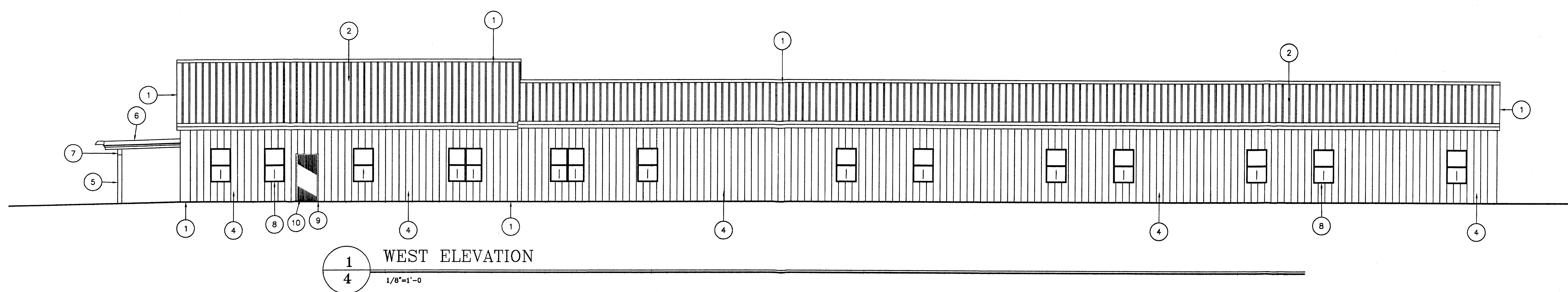
PROJECT NUMBER: TR1081-12.D20
DESIGNED BY: J. TELLEZ
DRAWN BY: J. BEHREND
CHECKED BY: J. PROVINE
PROJECT ENGINEER: J. PROVINE
PROJECT DATE: APRIL, 2008

GRADING & DRAINAGE PLAN
PROPOSED DRAINAGE BASINS
DOUBLE EAGLE II CHARTER SCHOOL
TRI-MOTOR, DE II AIRPORT (CITY OF ALBUQUERQUE)
ALBUQUERQUE (NEW MEXICO)

INSIDE OF EXISTING DRAINAGE BOUNDARY: THIS CONTRACTOR SHALL MAKE PAYMENT WITHIN 45 DAYS AFTER SUBMISSION OF AN UNDISPUTED REQUEST FOR PAYMENT.

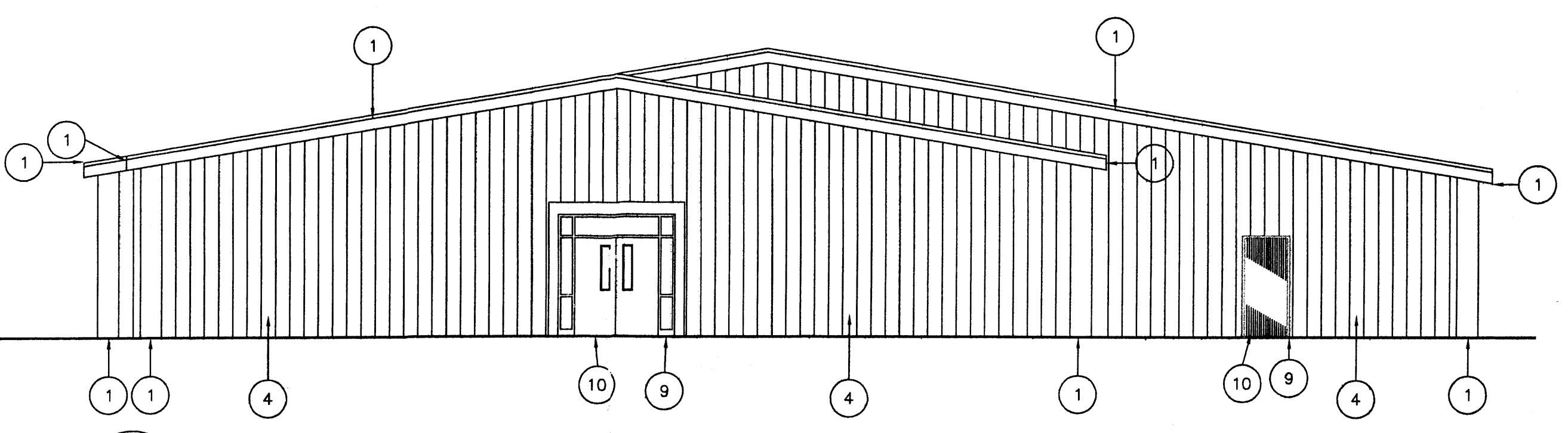
C-103

SHEET 5 OF 7

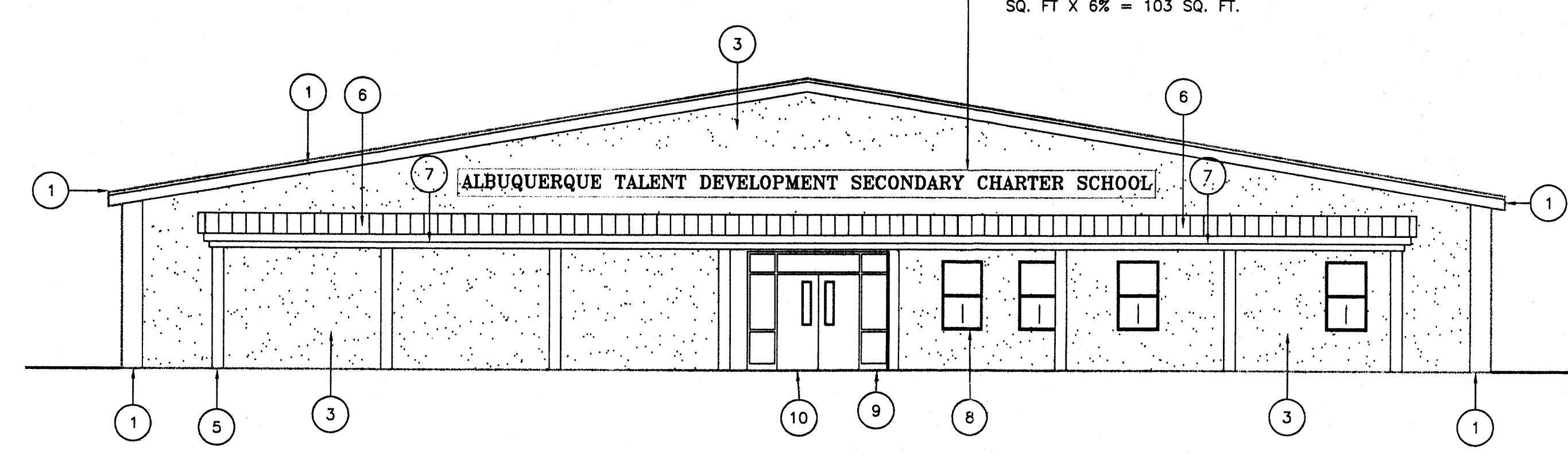


1
4 WEST ELEVATION
1/8"=1'-0"

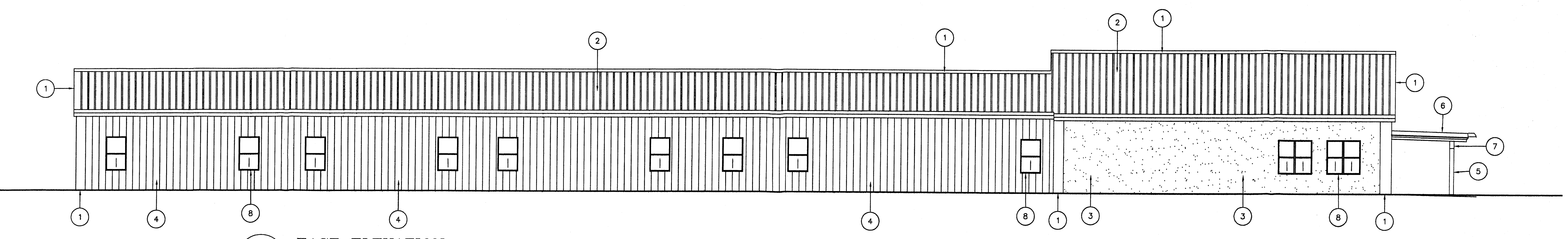
SIGN AREA = 103 SQ. FT. TOTAL AREA OF FACAD = 1717 SQ. FT X 6% = 103 SQ. FT.



3
4 SOUTH ELEVATION
1/8"=1'-0"



2
4 NORTH ELEVATION
1/8"=1'-0"

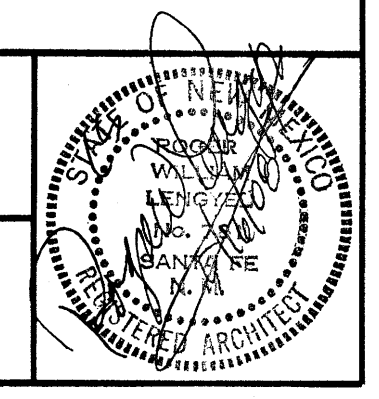


4
4 EAST ELEVATION
1/8"=1'-0"

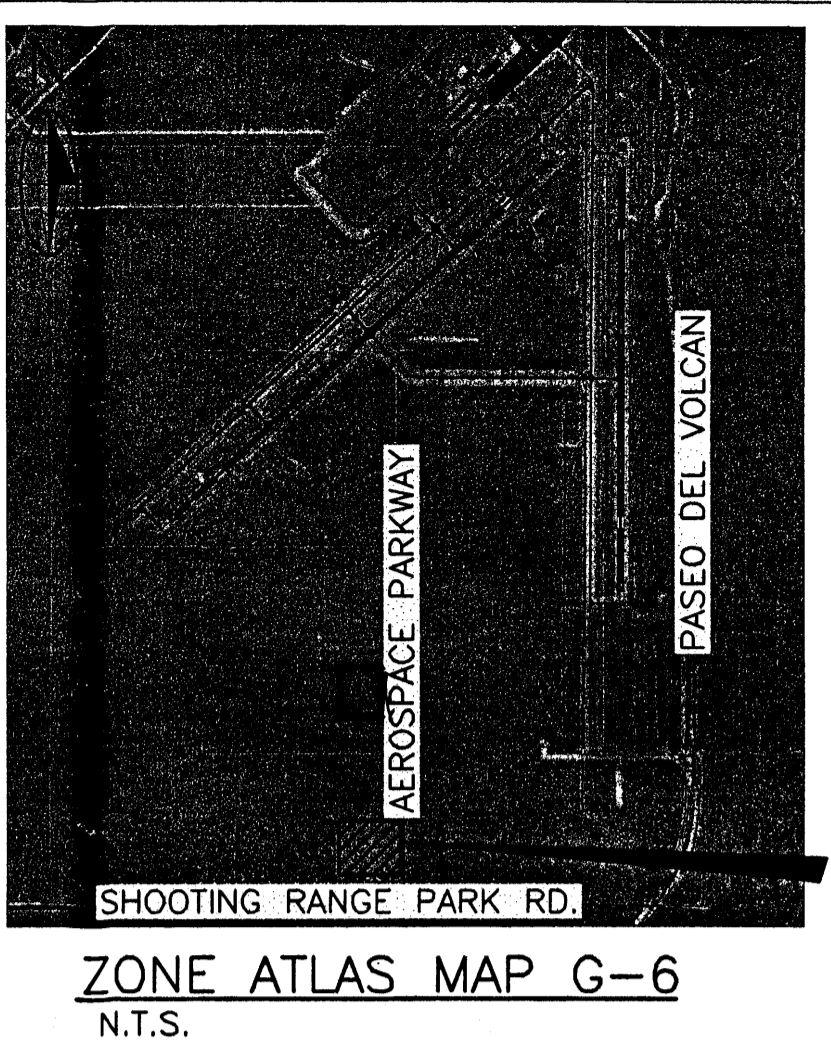
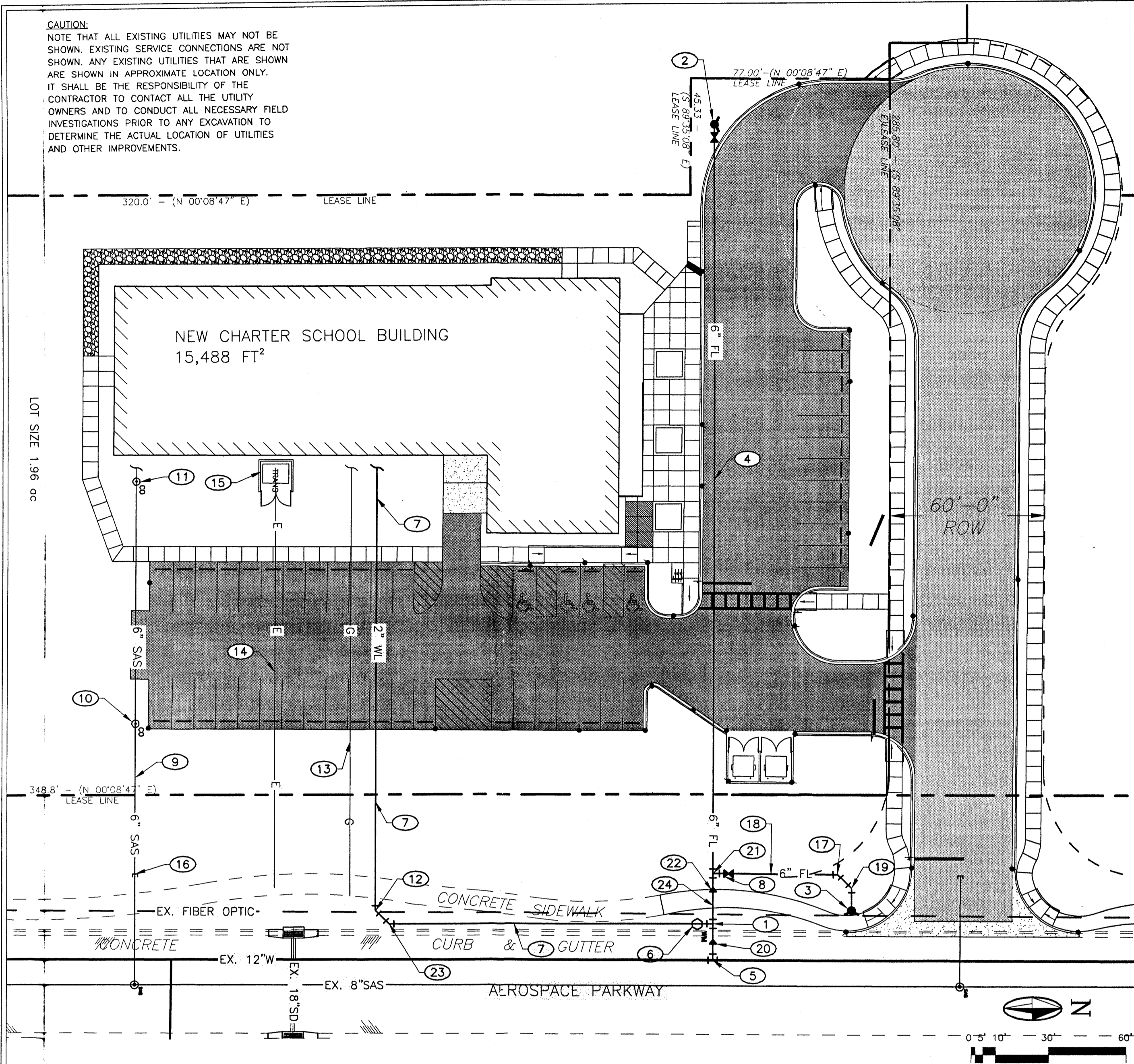
COLOR SCHEDULE		
1	METAL TRIM	COLONY GREEN**
2	METAL ROOF	COLONY GREEN**
3	STUCCO	STO/01005-PUEBLO
4	METAL WALLS PANELING	SADDLE TAN**
5	STEEL COLUMNS	SW-6060 - MOROCCAN BROWN**
6	METAL ROOF @ PORTAL	CRIMSON RED**
7	TUBE STEEL BEAM	SW-6060 - MOROCCAN BROWN**
8	ALL WINDOWS	MEDIUM BRONZE COLOR
9	HOLLOW METAL DOOR FRAMES	MATCH COLOR OF WINDOW FRAME
10	HOLLOW METAL DOORS	SW-6958 / DYNAMIC BLUE**

* METALLIC METAL BUILDING COMPANY, SIGNATURE 200 COLORS
 ** SHERWIN-WILLIAMS PAINT CO. COLORS

A NEW CHARTER SCHOOL CAMPUS DEVELOPED BY TRI/MOTOR LLC. 2008 SANTA FE NEW MEXICO		DATE 11.19.07	JOB # 07-13
		SHEET # 4 OF	



CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE SHOWN IN APPROXIMATE LOCATION ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

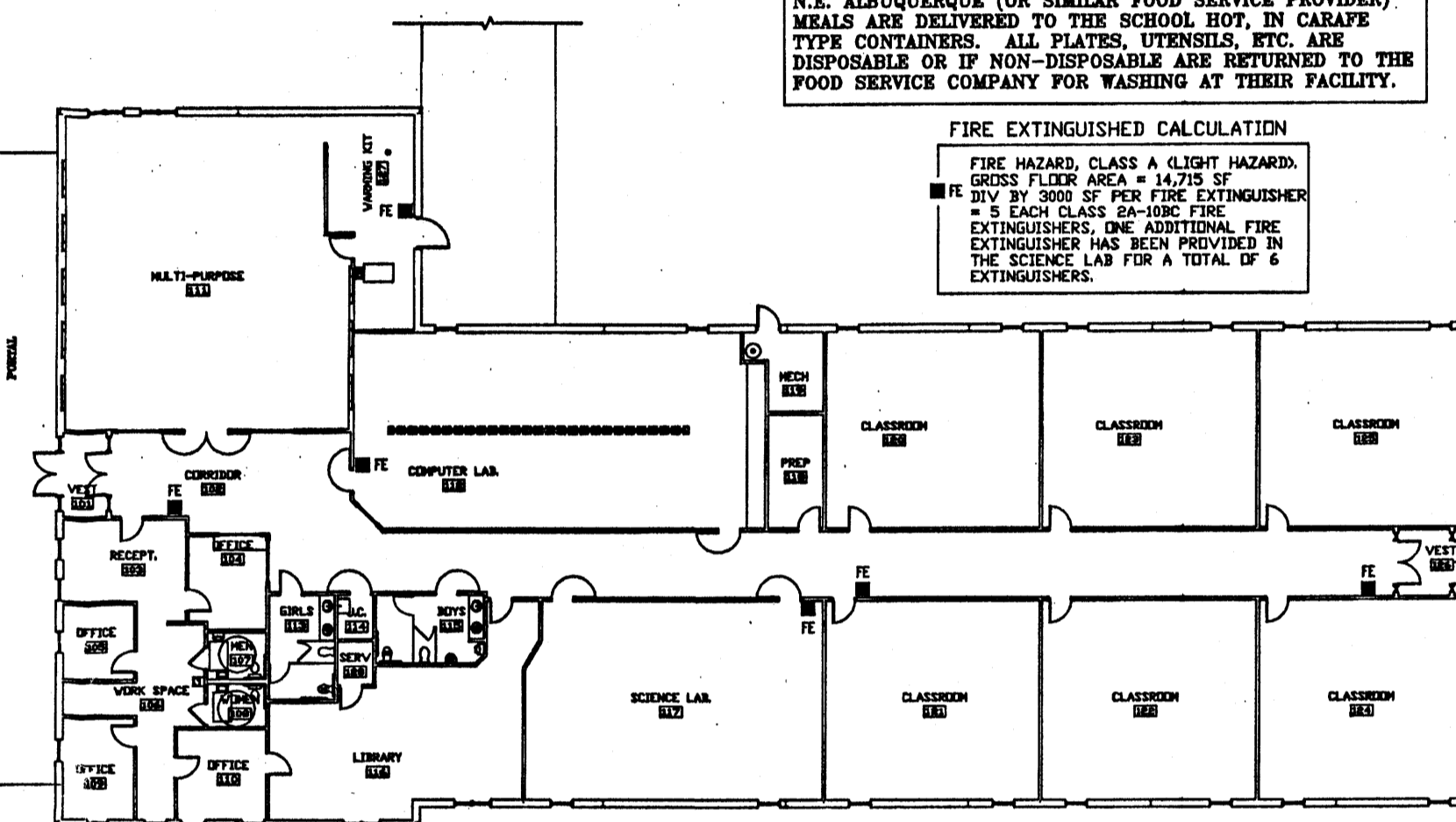


GENERAL SHEET NOTES

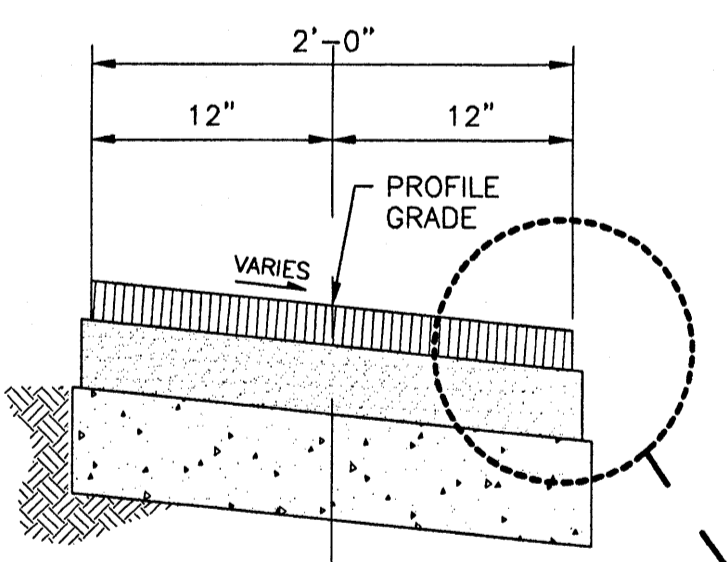
1. ALL NORTHING & EASTING COORDINATES ARE APPROXIMATE.

WARNING KITCHEN REQUIREMENTS: MEALS ARE BEING PURCHASED FROM "CANTEN FOOD SERVICE" 4805 HAWKINS N.E. ALBUQUERQUE (OR SIMILAR FOOD SERVICE PROVIDER). MEALS ARE DELIVERED TO THE SCHOOL BY IN GARAGE TYPE CONTAINERS. ALL PLATES, UTENSILS, ETC. ARE DISPOSABLE OR IF NON-DISPOSABLE ARE RETURNED TO THE FOOD SERVICE COMPANY FOR WASHING AT THEIR FACILITY.

FIRE EXTINGUISHER CALCULATION
FIRE HAZARD, CLASS A (LIGHT HAZARD).
GROSS FLOOR AREA = 14,775 SF
1 FT DIV BY 500 SF PER FIRE EXTINGUISHER
= 3 EACH CLASS A-100 FIRE EXTINGUISHERS, ONE ADDITIONAL FIRE EXTINGUISHER HAS BEEN PROVIDED BY THE SCIENCE LAB FOR A TOTAL OF 4 EXTINGUISHERS.



FIRE EXTINGUISHER LOCATION
NO SCALE



- 4" P-401 BITUMINOUS SURFACE COURSE (2-2" LIFTS, TACK COAT BETWEEN LIFTS)
- 7" P-209 CRUSHED AGGREGATE BASE COURSE (2-3-1/2" LIFTS) (100% COMPACTION ASTM D1557)
- 12" P-152 COMPACTED SUBGRADE (95% COMPACTION ASTM D1557)

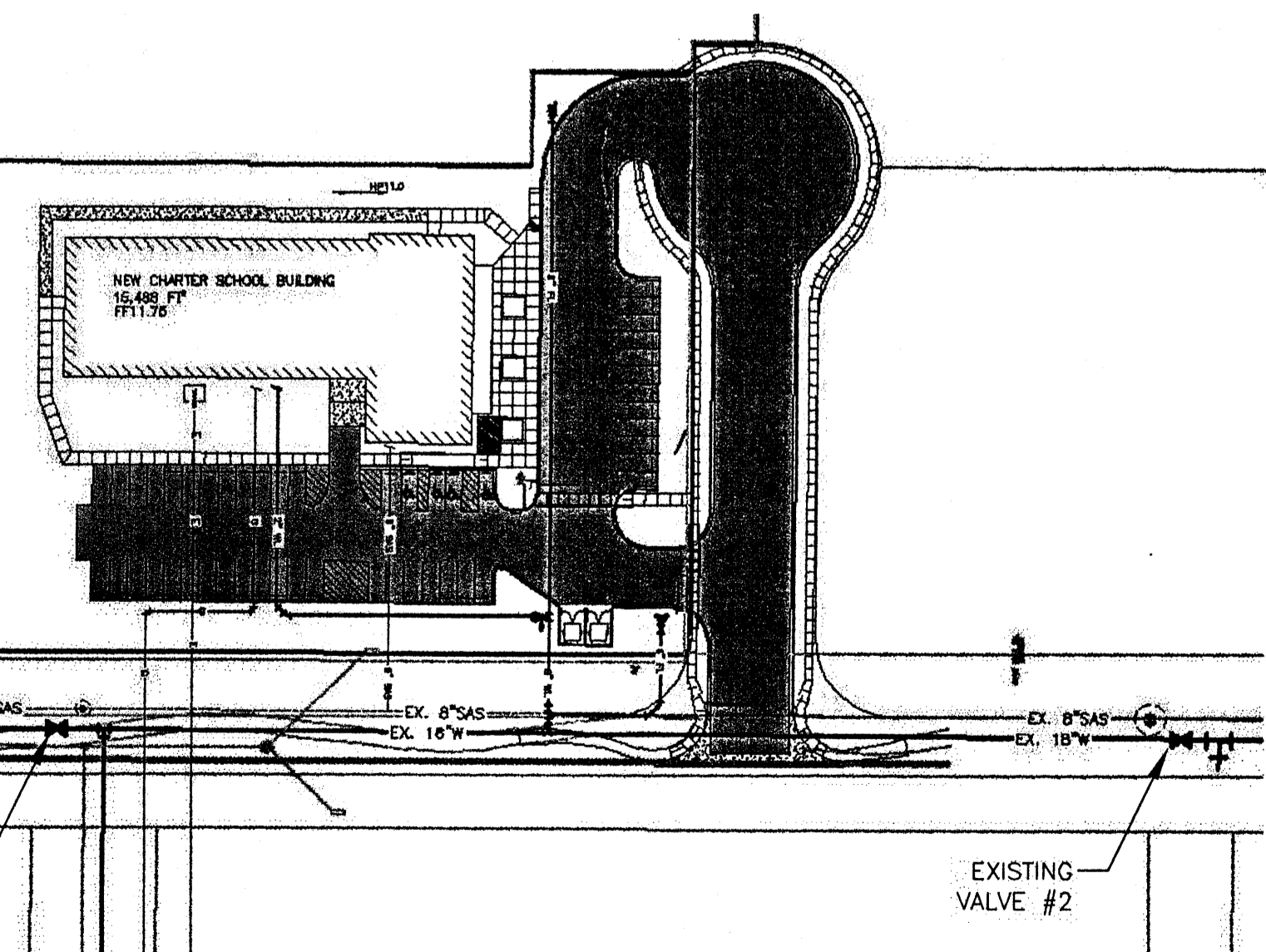
ASPHALT SAWCUT, REMOVE & REPLACE DETAIL
NO SCALE

KEYED NOTES

1. INSTALL 1 - 2" SERVICE CONNECTION PER COA STD DWG 2363 N, E
2. INSTALL FIRE HYDRANT ASSEMBLY PER COA STD DWG 2340 N 502208.2811, E 476827.4057
3. INSTALL FIRE HYDRANT ASSEMBLY PER COA STD DWG 2340 (1 EACH) N 502262.2989, E 477072.6615
4. INSTALL ±390 LF ± 6" FIRE LINE
5. INSTALL 1 - 12" x 12" x 12" TEE WITH WET CONNECTION CONTRACTOR TO FIELD VERIFY. EXISTING WL SIZE N, E
6. INSTALL 2" WATER METER PER COA STD DWG 2363 N, E
7. INSTALL ±304 LF 2" WATER SERVICE LINE
8. INSTALL NEW 6" GATE VALVE PER COA STD DWG 2367 N, E
9. INSTALL 160 LF ± 6" SANITARY SEWER LINE
10. INSTALL 1 - SINGLE CLEANOUT SEE DETAIL SHEET C-501 N, E
11. INSTALL 1 - SINGLE CLEANOUT SEE DETAIL SHEET C-501 N, E
12. INSTALL 1 - 2" 45° BEND N, E
13. GAS LINE INSTALLATION BY LICENSED UTILITY CONTRACTOR REFER TO MECHANICAL DRAWINGS FOR CONNECTION DETAILS
14. UNDERGROUND ELECTRIC LINE INSTALLATION BY LICENSED UTILITY CONTRACTOR REFER TO MECHANICAL DRAWINGS FOR CONNECTION DETAILS
15. INSTALL ELECTRICAL TRANSFORMER PAD
16. REMOVE EXISTING CAP & TIE NEW 6" SAS LINE TO EXISTING SAS STUB
17. INSTALL 1 - 6" 45° BEND N, E
18. INSTALL ±100 LF ± 6" FIRE LINE
19. INSTALL 1 - 6" 45° BEND N, E
20. INSTALL 1 - 12 x 8 REDUCER N, E
21. INSTALL 1 - 6 x 6 x 6 TEE N, E
22. INSTALL 1 - 8 x 6 REDUCER N, E
23. INSTALL 1 - 2" 45° BEND N, E
24. INSTALL ±21 LF 8" WL

NOTES

1. TURN OFF EXISTING WATER VALVE #1. AFTER VALVE IS OFF PROCEED WITH NEW WATERLINE CONNECTION TO EXISTING 12" WATERLINE.
2. ONCE NEW WATERLINE CONNECTION IS COMPLETE TURN ON EXISTING WATER VALVE #1.



WATER VALVE SHUT-OFF PLAN
NO SCALE

NOTE:
INSTALL MECHANICAL JOINT RESTRAINTS AT ALL BENDS AND JOINTS WHICH FALL WITHIN THE FOLLOWING LENGTHS OF EACH SIDE TO FITTINGS AS FOLLOWS:

FITTING TYPE	WATERLINE		
	6-INCH	8-INCH	12-INCH
8 x 6 REDUCER	-	41'	-
12 x 12 x 8 REDUCER	-	-	74'
22.5' HORIZONTAL BEND	5'	-	-
TEE (RESTRAIN ALL SIDES OF TEE FITTING)	1'	1'	1'
LENGTH ALONG RUN	21	21	21

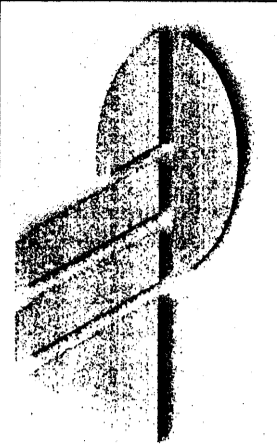
COMMENT:
ADD RESTRAINED LENGTHS FOR ALL HORIZONTAL BEND FITTING COMBINATIONS. FOR EXAMPLE, THE RESTRAINED LENGTH FOR A 8-INCH, 45°-BEND IN COMBO WITH A 11.25'- BEND ON PVC PIPE SHOULD BE 14 FEET.

PIPE RESTRAINT REQUIREMENTS

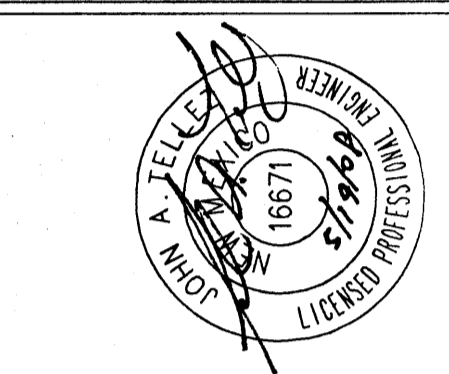
DRB PROJECT NUMBER: 1003125

UTILITY PLAN

**DOUBLE EAGLE II CHARTER SCHOOL
TRI-MOTOR, DE II AIRPORT (CITY OF ALBUQUERQUE)
ALBUQUERQUE (NEW MEXICO)**



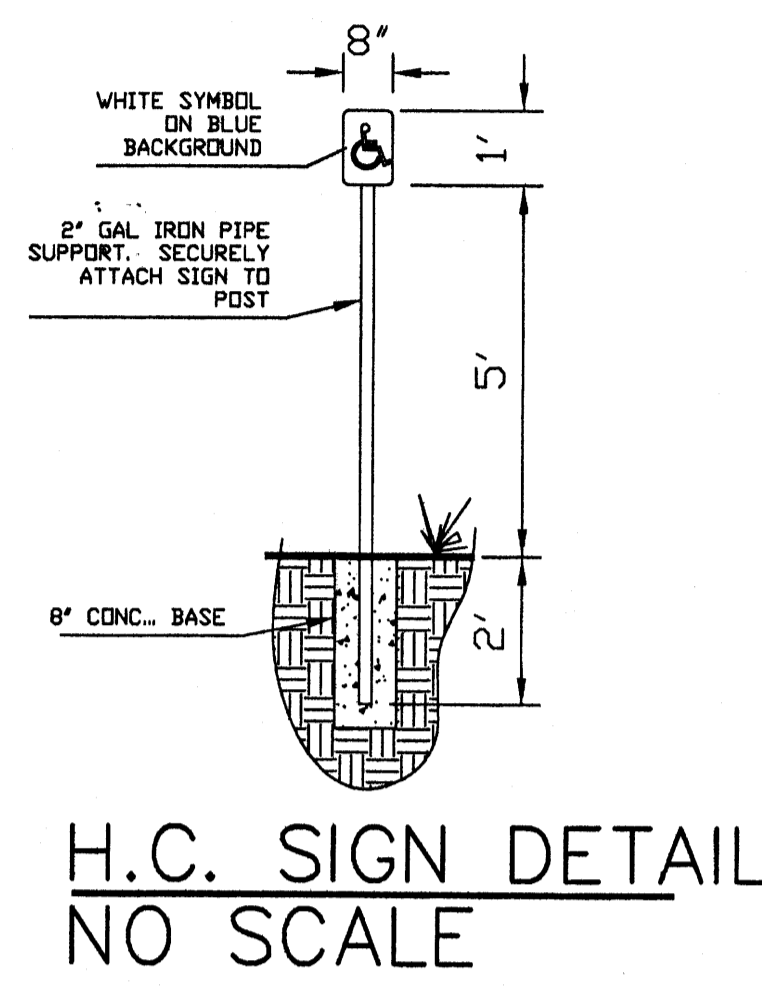
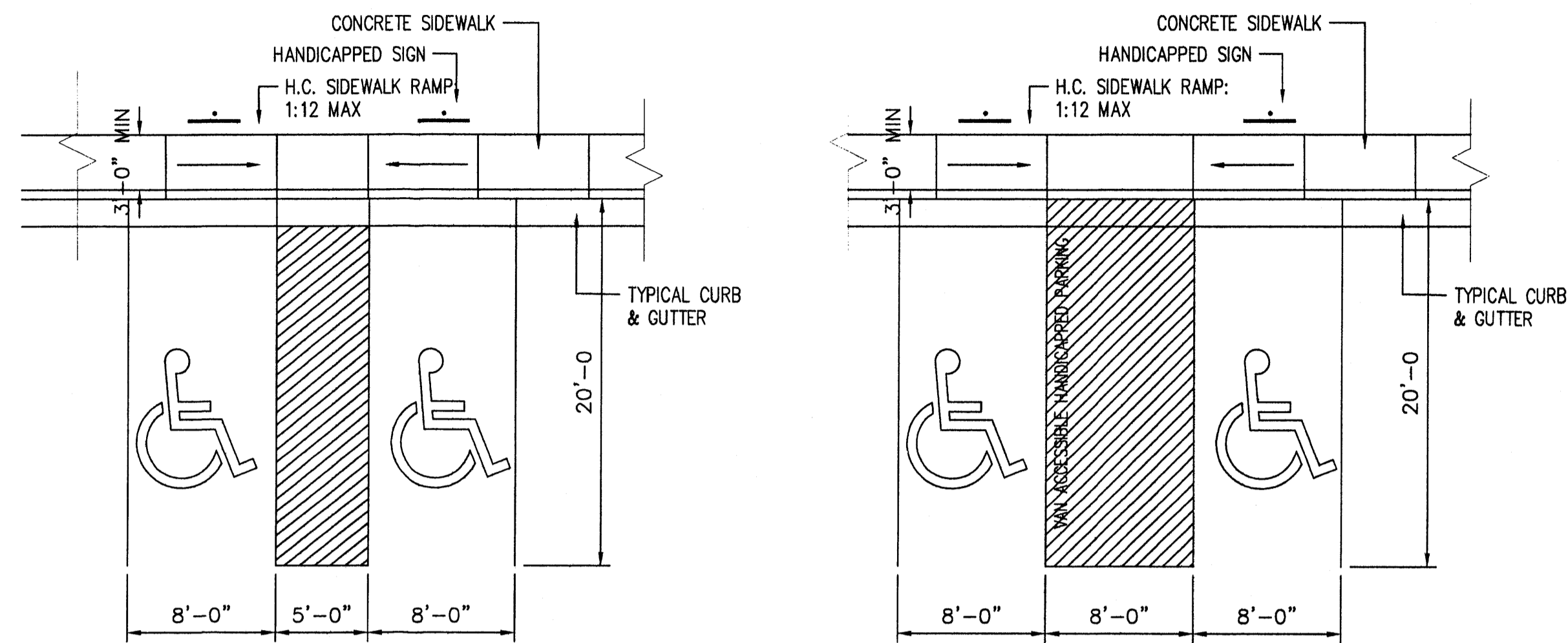
Molzen-Corbin & Associates
2701 Miles Road S.E.
Albuquerque, New Mexico 87106
Phone: (505) 242-5700
Fax: (505) 242-0673



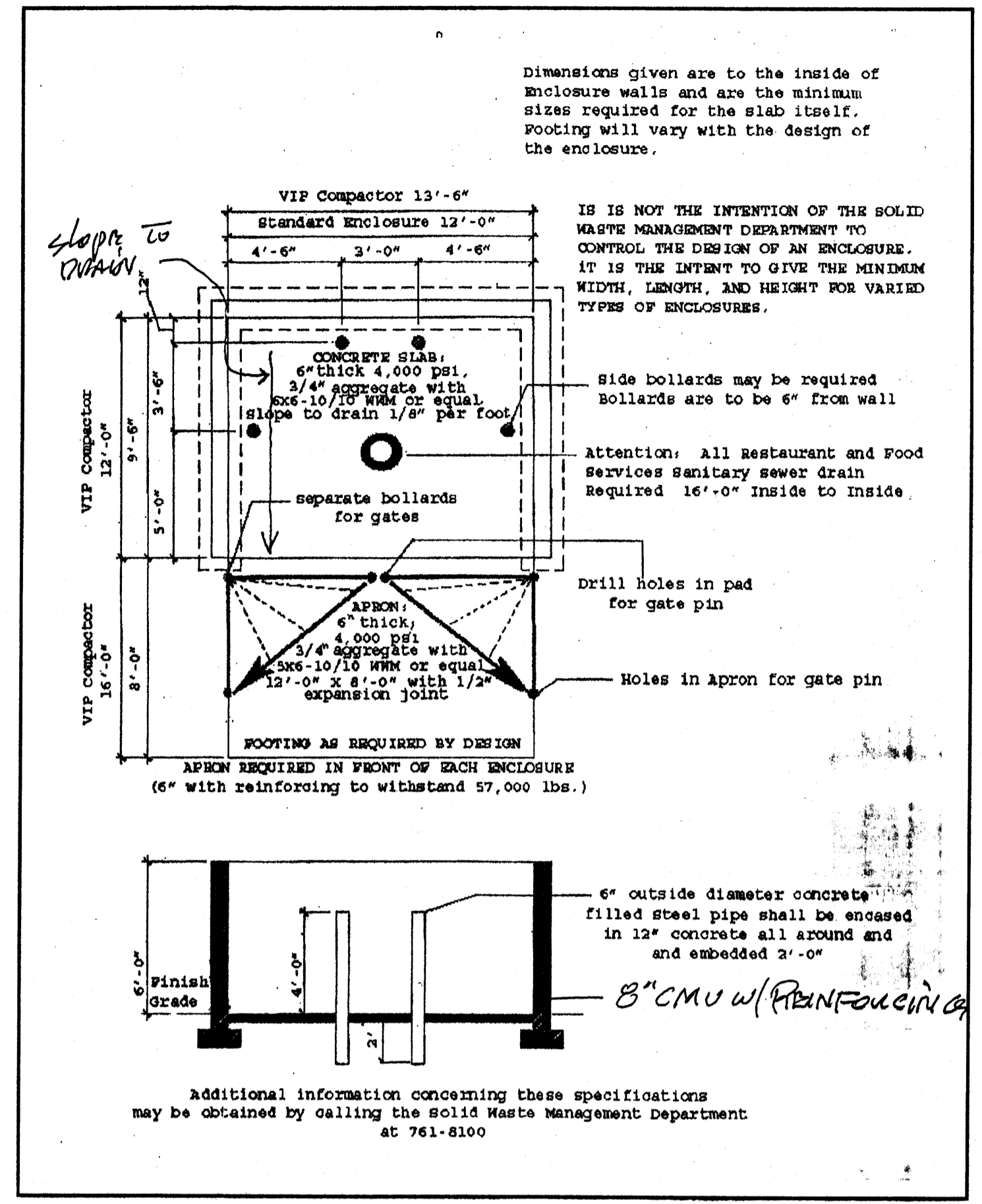
REV NO	REV DATE	DESCRIPTION
1		PROJECT NUMBER: TR1081-12.D20
2		DESIGNED BY: J. TELLEZ
3		DRAWN BY: J. BEHREND
4		CHECKED BY: J. PROVINE
5		PROJ ENG: J. PROVINE
6		PROJECT DATE: APRIL 2008

C-104

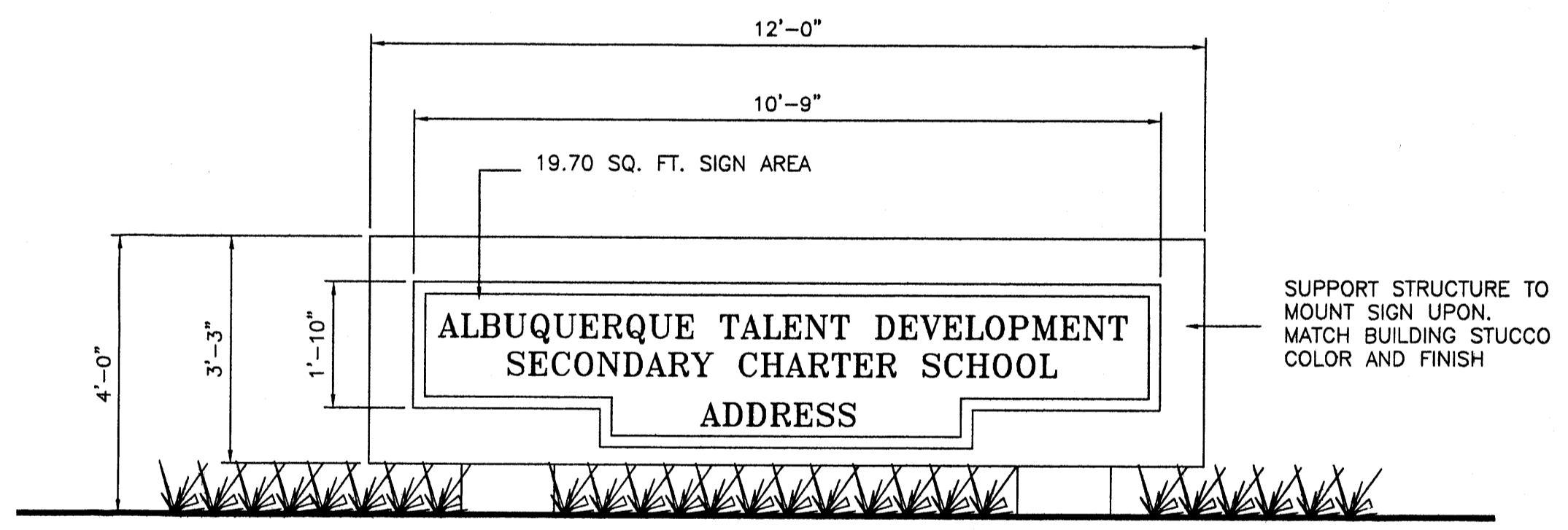
SHEET



2 H.C. PARKING
2 NO SCALE



1 DUMPSTER (double units required)
2 NO SCALE
NOTE: STUCCO DUMPSTER WALLS TO MATCH BUILDING COLOR AND FINISH

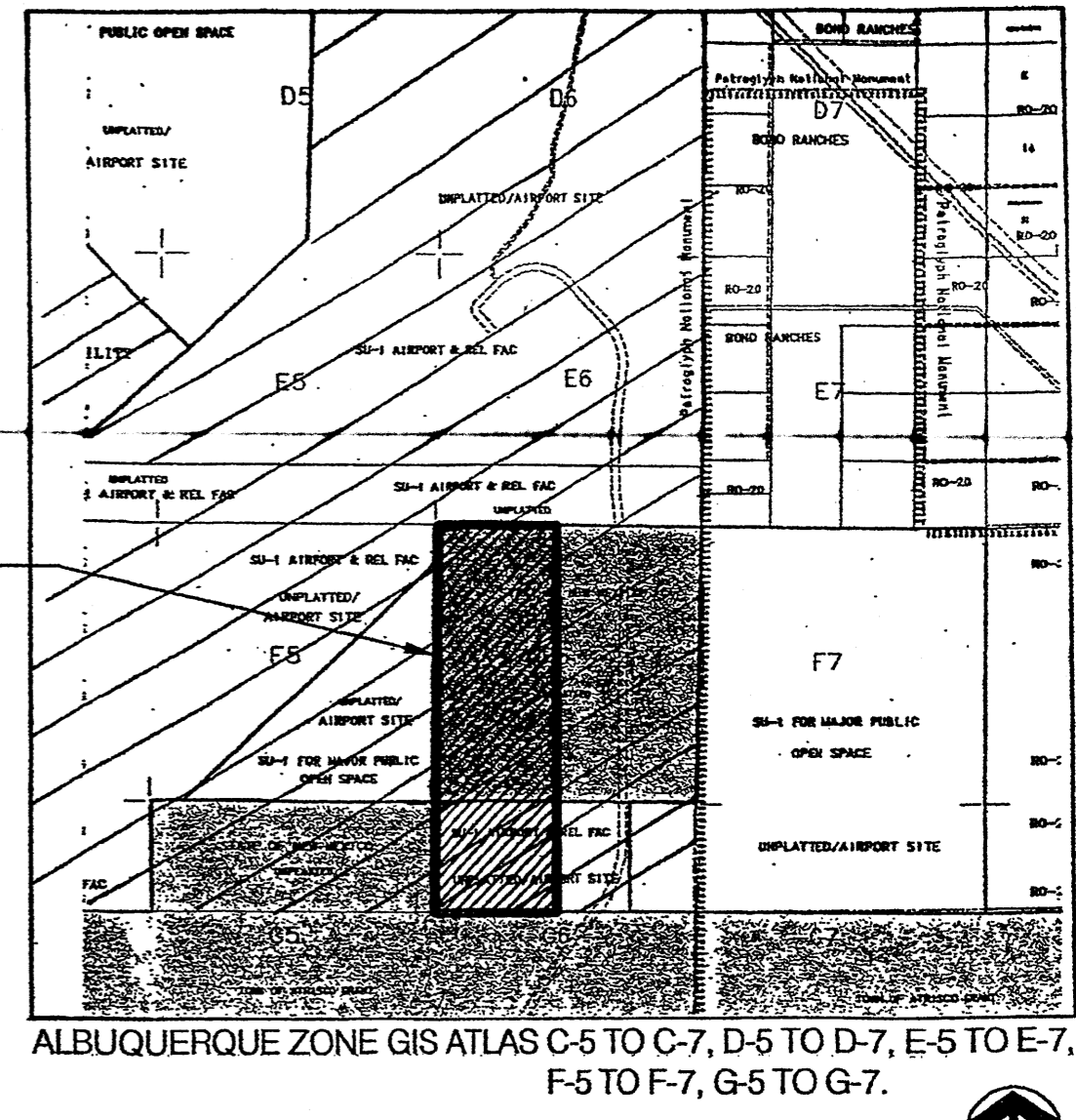
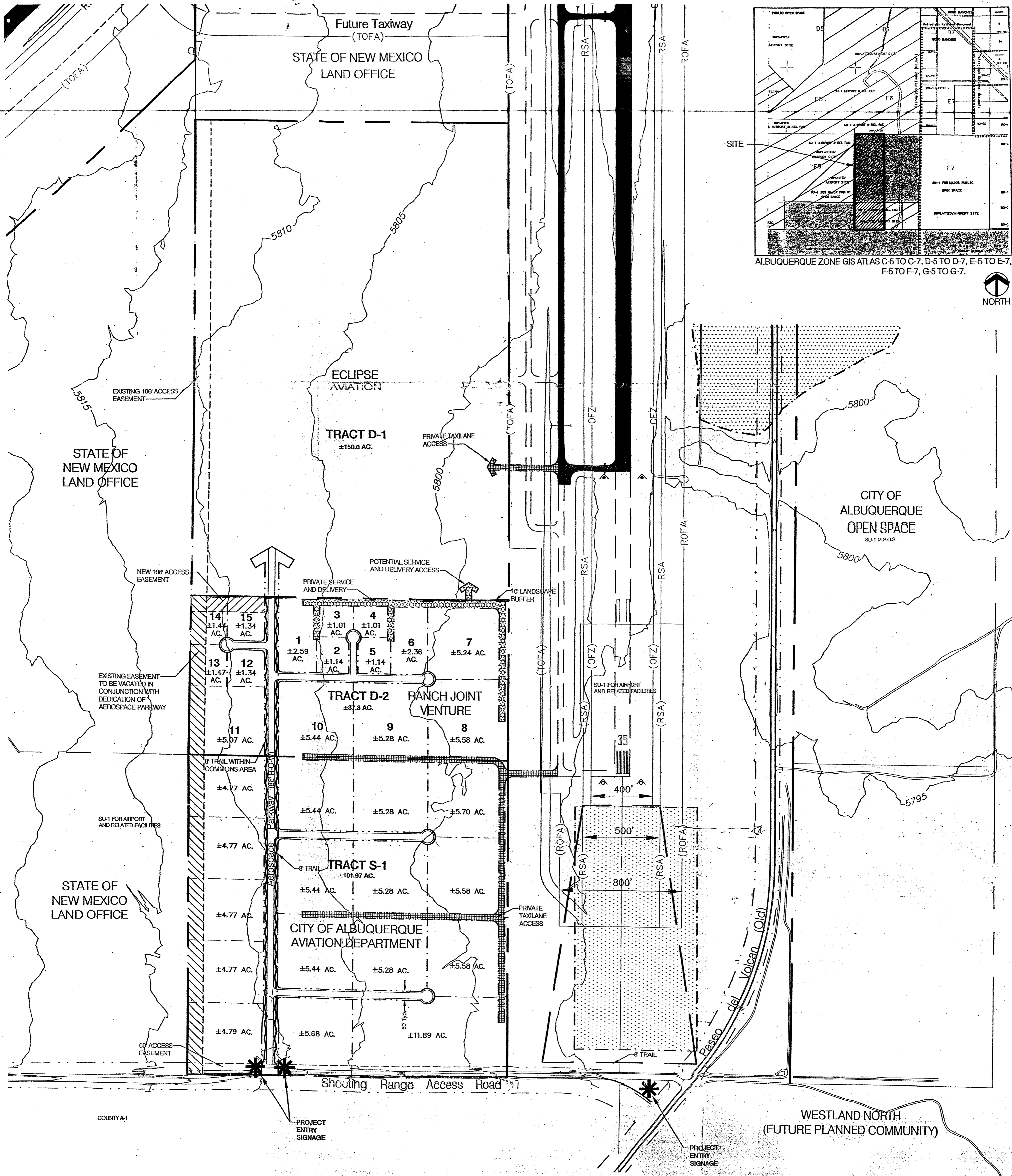


3 MONUMENT SIGN DETAIL
2 NO SCALE

A NEW CHARTER SCHOOL CAMPUS DEVELOPED BY TRI/MOTOR LLC. SANTA FE 2007 NEW MEXICO		DATE 02.14.08	JOB # 07-13	
		SHEET # 2 OF		

C:\13\13A-CHARTER SCHOOL\STERLING2\CS1\SITE\DET1.dwg, 5/16/2008 10:41:13 AM, Auto HP Designnet 500 24+HPGL2 Card on EMB_imag.pcl, 1:240

ALBUQUERQUE TALENT CHARTER SCHOOL — SITE DETAILS



PROJECT NUMBER: 1003125

Application Number: 03EPC-02054

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	12-8-04
Transportation Division	Date
<i>[Signature]</i>	12-8-04
Utilities Development	Date
<i>[Signature]</i>	12/8/04
Parks and Recreation Department	Date
<i>[Signature]</i>	12/8/04
City Engineer	Date
<i>[Signature]</i>	12/08/04
DRB Chairperson, Planning Department	Date

SITE PLAN FOR SUBDIVISION REQUIRED INFORMATION

Site: Approximately 300 acres, zoned SU-1 for Airport and Related Facilities

Proposed Use: Airport Related Industrial, Office, Retail, Warehousing, and Manufacturing (See Permissive Uses, Sheet 2) with the approval process as follows:

In accordance with the City Council Designation of Double Eagle II as a "Certified Site" and with the provision of the Design Standards included in this Site Plan for Subdivision, future Site Development Plans for Building Permit shall be delegated to Development Review Board (DRB) and shall not require a public hearing provided they are consistent with this Site Plan for Subdivision and Design Standards. **A TIS SHALL BE REQUIRED FOR FURTHER DEVELOPMENT.**

Pedestrian and Vehicular Ingress and Egress:

Access: The primary access to the Aerospace Technology Park (ATP) is from Paseo del Volcan (old), which is identified as a Minor Arterial on MRCOG's Roadway Functional Classification Map. Paseo del Volcan provides access south to Interstate 40 and north to Paseo del Norte. Access to the ATP is from Paseo del Volcan via the Shooting Range Access Road (the southern boundary of the ATP), and north via Aerospace Parkway.

Roadways: It is anticipated that Aerospace Parkway will be an 86-foot right-of-way (to be dedicated with future platting). It is further anticipated that access into specific development areas will be from a series of cul-de-sac streets with 60-foot rights-of-way. Specific right-of-way width for Aerospace Parkway and the cul-de-sacs shall be determined before final approval at the Development Review Board. The cul-de-sac streets also function as the primary utility corridors and will accommodate water, sewer, and storm drains.

Pedestrian Access: Access shall be accommodated through the development of 8-foot trails along the north side of Shooting Range Access Road and on both sides of Aerospace Parkway. An additional 10-foot of trail and landscape easement shall be provided in order to allow the trail to meander and maintain a minimum setback of 6-feet from the roadway. The cul-de-sac streets will be developed with City standard sidewalks on both sides.

Internal Circulation: In addition to the primary vehicular and pedestrian circulation system, the ATP is designed to accommodate a secondary circulation network for service and delivery directly from sites to Eclipse Aviation and a private taxiway network connecting to the Double Eagle II Airport Taxiway system. Both of these have been designed without conflict with the roadways.

Minimum Building Height

Maximum building height shall be pursuant to the City IP Zone and Federal Aviation Administration regulations.

Minimum Building Setback: 50-feet from Aerospace Parkway; 35-feet from secondary, cul-de-sac streets; 25-feet from the property line of adjoining properties; and 36-feet from the taxiway or service/delivery pavement.

Maximum Floor Area Ratio: .30

Landscape Plan: The landscape emphasis shall be on Aerospace Parkway and the public areas of the ATP (See Design Standards, Sheet 2 for more specific Standards).

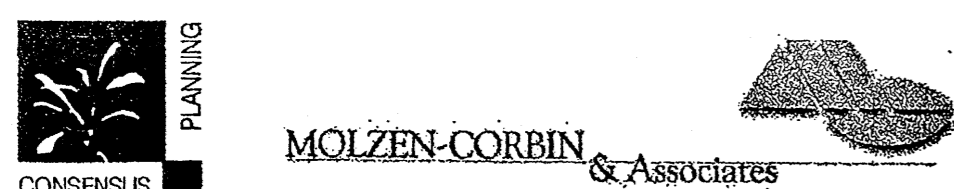
NOTE:
Lot Lines shown on this Site Plan for Subdivision are illustrative, and shall be defined in subsequent Platting and Site Plans for Building Permit.

Site Plan for Subdivision Aerospace Technology Park

Prepared for:
City of Albuquerque Aviation Department
Ranch Joint Venture, Ltd.
Eclipse Aviation

Prepared by:
Consensus Planning, Inc.
Molzen-Corbin & Associates

SCALE 1" = 300'



1. FRAMEWORK

In order to implement the City's Economic Development Goals, it is crucial that this project include an expedited approval process for specific development projects. In accordance with the City Council designation of Double Eagle II as a "Certified Site" and with the provision of the Design Standards included in this Site Plan for Subdivision, future Site Development Plans for Building Permit shall be delegated to the Development Review Board (DRB) and shall not require a public hearing provided they are consistent with this Site Plan for Subdivision and Design Standards.

The Eclipse Aviation property (northernmost 150 acres) is not governed by the following design standards. Eclipse Aviation shall prepare a separate Site Development Plan for Subdivision and Design Standards to be reviewed and approved by the Environmental Planning Commission (EPC) as part of Eclipse Aviation's internal master planning.

2. PERMISSIVE USES

A. SU-1 FOR AIRPORT AND RELATED USES

This zone provides suitable sites for a wide range of industrial and commercial uses, provided such uses are conducted in a compatible and harmonious manner within the Aerospace Technology Park at Double Eagle II Airport achieved through a Site Development Plan for Subdivision.

PERMISSIVE USES.

- 1) Air separation plant for nitrogen, oxygen and argon only.
- 2) Aircraft sales and service, aircraft storage, and aircraft manufacturing.*
- 3) Bottling plant.
- 4) Cold storage plant.
- 5) Golf driving range.
- 6) Laboratory experimental, testing, or medical, provided all activities are conducted within a completely enclosed building. Noxious fumes, odor, or dust shall not be emitted from the premises.
- 7) Machine Shop.
- 8) Manufacturing, assembling, treating, repairing, or rebuilding articles provided manufacturing is conducted within a completely enclosed building.
- 9) Metal processing and painting provided it is conducted within a completely enclosed building.
- 10) Office.
- 11) Office machine equipment sales and repairs.
- 12) One dwelling per premises for a watchman or caretaker on the same premises with commercial or industrial use.
- 13) Printing, publishing, lithographing, blueprinting, or photostating.
- 14) Public utility use or structure and fire stations.
- 15) Retail sales of the following goods, plus incidental retailing of related goods and incidental service or repair:
 - (a) Books, magazines, newspapers, except adult bookstore.
 - (b) Cosmetics, notions, gifts.
 - (c) Drugs, medical supplies.
 - (d) Flowers and plants.
 - (e) Food and drink, for consumption on premises.
 - (f) Gasoline, oil, liquefied petroleum gas.*
- 16) Sales & display rooms or buildings for wholesalers, distributors, warehouses, or manufacturers.
- 17) Services:
 - (a) Automobile repairing, but no bodywork; repairing shall be done within a completely enclosed building at least 20 feet from any residential zone.
 - (b) Banking, loaning money, including pawn. Drive-in facilities permitted on the condition the vehicle movement plan is approved by the City Traffic Engineer.
 - (c) Barber, beauty.
 - (d) Clinic.
 - (e) Day care center.
 - (f) Dry cleaning, laundry, clothes pressing.
 - (g) Health gymnasium.
 - (h) Hotel or motel, including incidental uses.
 - (i) Photography, except adult photo studio.
- 18) Signs on-premises as provided in § 14-16-3-5 of the City Comprehensive Zoning Code, and as regulated by the Design Standards included as part of the Site Plan for Subdivision.
- 19) Sheet metal working.
- 20) Swimming pool.
- 21) Warehouse.
- 22) Wholesaling.

* Uses that compete with the activities of the existing Fixed Base Operators (FBO's) at Double Eagle II Airport, as determined by the City of Albuquerque Aviation Department, shall not be permitted including: dispensing of aviation fuels and lubricants; ground services and support; tie-down, hangar and parking; aircraft maintenance; aircraft rental; flight training; and aircraft charter and air taxi, unless conducted as an ancillary use in conjunction with the primary business (i.e. Eclipse Aviation will most likely have fueling capabilities, aircraft maintenance, hangar space, and flight training in conjunction with their primary business of manufacturing and selling airplanes).

3. DESIGN STANDARDS

A. INTRODUCTION

These Design Standards are established to provide planners and designers with a design framework to accomplish the following:

- Create an attractive built environment that promotes opportunities for Industrial Airport activities.
- Define a common image for architectural and landscape design, while still providing a broad palette for unique innovation.

B. ARCHITECTURAL CONTROL COMMITTEE

An Architectural Control Committee (ACC) will be established by the ATP and, in conjunction with the City of Albuquerque Aviation Department, be responsible for the enforcement of the following design standards. Rules and procedures shall be created to govern the performance of the ACC separate from this document.

C. STREETScape

The development of a bold and dynamic entry and streetscape is essential to defining the image for the ATP that places it at the forefront of today's industrial airparks. The streetscape will provide a unifying element that ties together the vast and diverse development potential of the project.

- Easements shall be provided, in addition to the dedicated right-of-way, to provide flexibility for entry monumentation, landscaping, trail/sidewalk development, other pedestrian amenities, and opportunities for screening. Easements shall be as follows, and as identified on the Landscape Master Plan:
 - 10 feet minimum on the north side of Shooting Range Access Road.
 - 10 foot buffer area on north side of the Ranch Joint Venture property, adjacent to Eclipse Aviation.
 - 10 feet (defined on the Site Plan for Subdivision and Plat) on the east and west side of Aerospace Parkway for use as a recreational area.
 - 15 feet on each side of Cul-de-sacs A, B, C, and D.
 - 75 feet by 75 feet at the intersection of Paseo del Volcan (old) and Shooting Range Access Road and at the intersection of Shooting Range Access Road and Aerospace Parkway for development of the primary entry.
- Street trees shall be provided at an average spacing of 25 feet on-center along Shooting Range Access Road and Aerospace Parkway, and at an average spacing of 30 feet on-center on all other roads. Trees shall be provided in medians at an average spacing of 50 feet on-center (only includes landscapeable length of median).
- Living plant materials shall cover a minimum of 75 percent of the required landscape area.
- Low water use turf may be provided at a maximum of 40 percent of the landscape area.
- High water use turf is restricted to active recreational areas or park space within the ATP.
- Materials for the separation of turf and planting beds may be concrete, brick, or similar quality material. Steel edging is not allowed.

D. PARKING

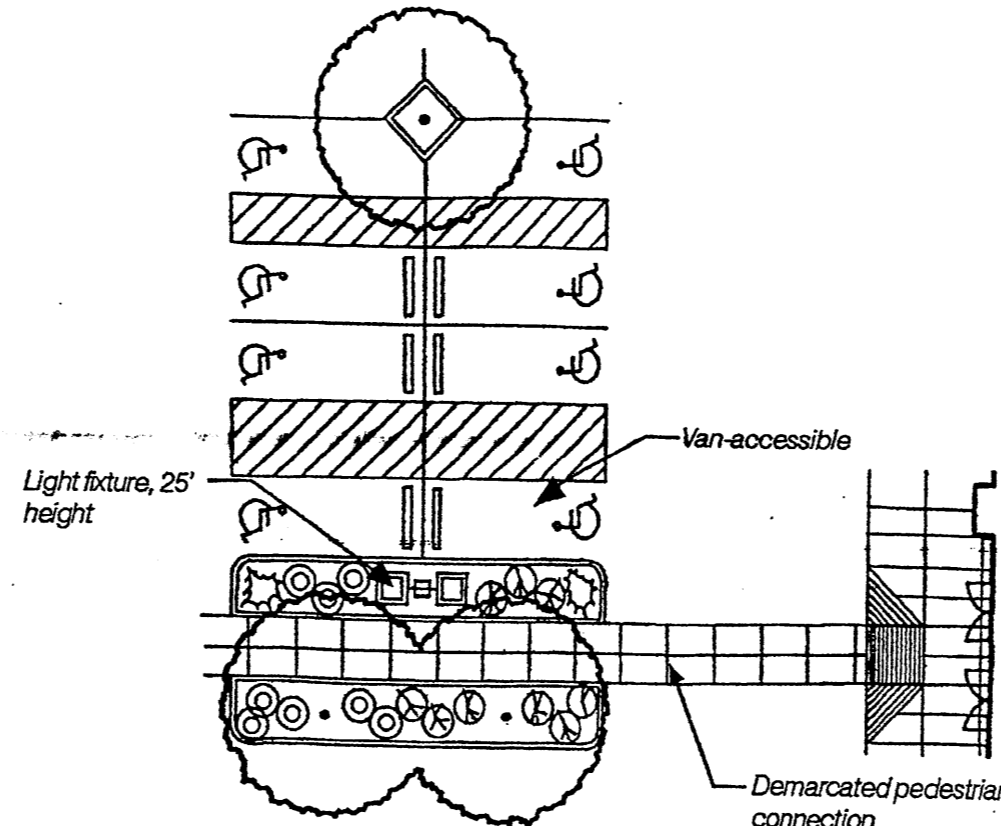
The intent of the standards for the development of parking areas is to: mitigate heat/glare through the provision of landscaping; minimize the visual impact of parking areas; and provide accessible, safe circulation within and adjacent to the parking areas.

- No on-street parking shall be permitted along Aerospace Parkway.
- Parking space standards shall be per the City of Albuquerque's Comprehensive Zoning Code.
- For office and retail use, a minimum of one parking space per 200 square feet of net leasable space on the ground floor; one parking space per 300 square feet of net leasable space in the basement areas; and on all floors above first floor is required. No maximum parking limit is established with this Plan.
- Large parking areas visible from the public street shall be broken into smaller parking areas of 100 or fewer spaces.
- Larger employee parking areas are permitted provided they are completely screened from the public street and separated from visitor parking (which should be located at the front of the building).

■ Parking areas may be enlarged and/or reduced in order to accommodate shift schedules as approved by the ACC.

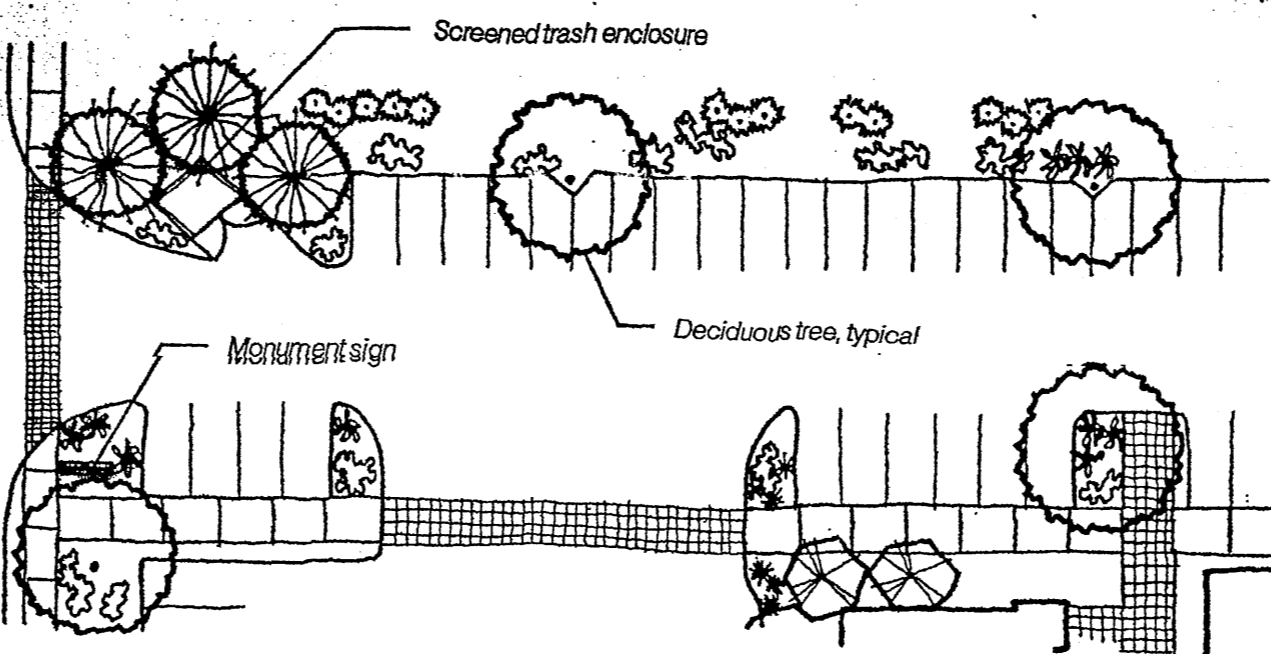
■ Clear pedestrian connections shall be provided through parking areas at a minimum width of 6 feet and shall be clearly demarcated with slightly raised and/or textured paving where they cross vehicular entrances and drive aisles. Shade trees shall be provided along pedestrian walks at approximately 25 feet on center.

■ ADA-compliant parking shall be located adjacent to main building entries.



■ Sidewalks and/or pedestrian paths that are perpendicular and at the front of parking spaces shall be protected from overlapping cars by permanently anchored tire stops, bollards, or raising the walkway to provide for a 6-foot wide, clear pedestrian area.

■ Landscaped islands shall be distributed throughout parking areas. Parking areas visible from the public street shall include at least one tree for every six parking spaces, and the maximum distance from any parking space to a tree shall be 50 feet. Trees located within 8 feet of the perimeter of the parking area may be counted toward this requirement, but may not be used to fulfill street tree requirements.



■ Parking areas not visible from the public street (employee parking) shall include at least one tree for every 10 parking spaces, with the maximum distance from any parking space to a street being 100 feet.

■ A minimum of 75 percent of parking lot trees shall be large canopied deciduous trees to provide shade during the summer months.

■ Parking shall be screened from adjacent public streets. Screening may include earth berms, perimeter or retaining walls, landscaping, or buildings.

■ Car / vanpool preferred parking shall be provided near building entrances and shall be clearly demarcated.

E. BICYCLE FACILITIES

Providing convenient bicycle facilities to encourage non-vehicular travel to the ATP will be integral to the Plan's goal of supporting alternative modes of transportation to the ATP.

■ Bicycle parking for employees shall be provided to promote alternative vehicle use. One bicycle rack space per 20 parking spaces is required, and shall be conveniently located near building entrances, but not within pedestrian pathways or landscape areas.

■ A covered and secured bicycle storage area that is a minimum of 200 square feet shall be provided for each building over 35,000 square feet. For sites with more than one building meeting this threshold, the required secured bicycle and storage areas may be combined in one central location.

■ A convenient shower facility available to bicyclists and other employees shall be provided for each building over 50,000 square feet. For sites with more than one building meeting this threshold, the required shower facility may be combined in one central location.

F. SITE LANDSCAPE

The landscape environment serves to enhance the visual dynamic of the development and aid in reinforcing the street edge and pedestrian environment. The primary focus for site landscape shall be the area fronting public streets and cul-de-sacs. Vegetation is discouraged along the aviation side of development, including apron areas and land adjacent to the taxiway.

The plant palette for the ATP will provide for year-round color and interest, and reflect the natural beauty of New Mexico. Landscape elements, such as street furniture, lighting, bollards, and graphic pylons shall be used to reinforce the street edge. A clear theme and image for the ATP will be established through the use of these materials, as well as consistent paving materials, plantings, signage, etc.

■ All landscape plans shall comply with the City's Water Conservation Ordinance and Pollen Ordinance.

■ Water harvesting techniques are encouraged.

■ A minimum of 15 percent of the developed site area (minus building square footage) shall be devoted to landscape materials.

■ Future development areas within a site shall be maintained in their natural condition. If these areas are disturbed, they shall be revegetated with native seed mix appropriate for this region.

■ Trees shall be provided at an average density of 1 tree per 1500 square feet of landscape area.

■ Live plant materials shall cover a minimum of 75 percent of all required landscaped areas.

■ Landscape headers shall be used to separate turf and planting beds. Headers may be concrete, brick, or other similar quality material.

■ Gravel mulch, cobble, and similar materials are acceptable as a top dressing for landscape areas, however, they are not to be considered a focal landscape element.

■ An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid overspraying onto walks, buildings, fences, etc.

■ All plant material shall be maintained by the Owner or Tenant in a living, attractive condition. All areas shall be maintained free of weeds.

■ Minimum plant material sizes at the time of installation shall be as follows:

- Canopy trees - 2" caliper B&B
- Evergreen trees - 8 foot minimum height
- Accent trees - 1 1/2" caliper B&B
- Shrubs and groundcovers - 1 gallon minimum

G. SITE PLANNING

The intent of the following guidelines is to create pedestrian-friendly environments for employees and visitors. A goal is to enhance the opportunities for interaction between Double Eagle II Airport and the ATP.

■ As individual parcels are created, cross access easements shall be provided between adjoining parcels.

■ An outdoor patio space (minimum 250 square feet) shall be provided for any buildings greater than or equal to 10,000 square feet. For sites with more than one building, shared patio areas are permitted.

■ Patios, plazas, courtyards, and other outdoor activity or seating areas shall be shaded (25 percent minimum, 50 percent maximum) from summer sunlight by tree canopies and/or shade structure that is architecturally integrated with the building.

■ A sidewalk with a minimum width of 8 feet shall be provided along the front of buildings that are less than or equal to 35,000 square feet. A sidewalk with a minimum width of 15

feet. These sidewalks shall be shaded with architecturally integrated awnings, portals, or canopies, or by trees planted at intervals of 25 feet in planters with a minimum interior dimension of 5' x 5'.

■ Pedestrian connections (minimum 6-foot clear path) shall be provided from each building to the internal circulation system and to adjacent roadways. Shade trees shall be provided along the pedestrian connection at an interval of 25 feet in planters that have a minimum interior dimension of 5' x 5'.

■ A continuous sidewalk with a minimum width of 6 feet shall be located around the perimeter of buildings that are greater than 4,000 square feet.

■ Paving of primary pedestrian connections and primary outdoor activity areas shall use patterned, stained or integrally colored concrete, and/or concrete inlaid with tile.

■ Asphaltic paving shall only be used in parking/service areas and bicycle trails. The design of all trails shall comply with the AASHTO 1999 Guide for the Development of Bicycle Facilities, and shall be coordinated with the City's designated Trails Planner.

■ Stabilized crusher fine surfaces may be considered for secondary pedestrian pathways or plazas.

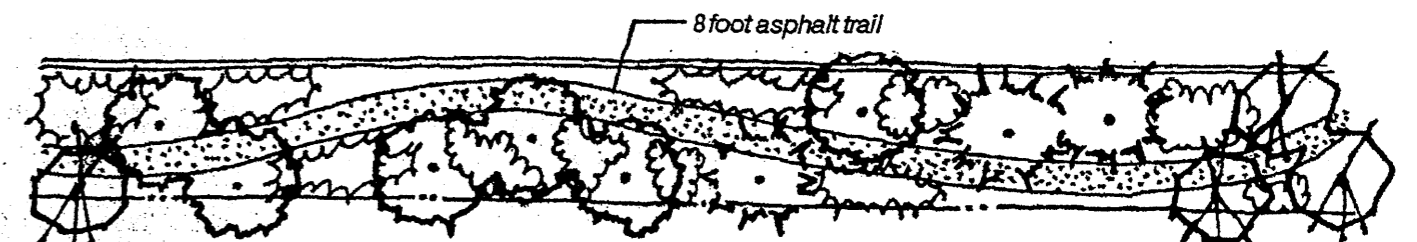
■ Perimeter walls, if provided, shall comply with the City's Design Manual for Subdivision Access and Perimeter Walls. Chain-link is allowed for airport security fencing purposes, as well as where out of public view. The use of razor or barbed wire, wood fencing, or plastic vinyl fencing is not permitted unless required by airport regulations.

H. COMMONS AREA

The Commons Area is intended to be attractive, lively, pedestrian-friendly, and a useful asset to the community. It not only provides a landscape buffer along Aerospace Parkway, but also provides for a continuous trail system to benefit the tenants of the ATP. The Commons Areas will be maintained by a tenants' association.

■ Parking lots between buildings and the Commons Area shall be screened with low screen walls.

■ Asphalt trails, 8 feet in width, shall be required through the Commons Area.



The Commons Area along Aerospace Parkway shall include an 8 foot meandering trail, with trees planted at an average spacing of 25 feet on-center.

■ The landscape plans for the Commons Area must comply with the City's Water Conservation Ordinance and Pollen Ordinance.

■ A minimum of 50 percent and a maximum of 75 percent of the site area shall be covered with low water use turf grasses for recreational activities.

■ Landscape headers shall be used to separate turf areas and planting beds. Headers shall be 6" x 6" concrete, or other similar quality material.

■ Gravel mulch, cobble, bark, and similar materials are acceptable as top dressing for landscape areas, however, they are not to be considered a focal landscape element.

■ An automatic underground irrigation system is required to support all landscaping. The system shall be designed to avoid overspray onto walks, buildings, fences, etc. Irrigation components shall be checked periodically to ensure maximum efficiency.

■ All plant material shall be maintained by the Tenants' Association in a living, attractive condition. All areas shall be maintained free of weeds.

I. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes and provide a safe and compatible environment for aircraft, service vehicles, and pedestrians throughout the ATP. Required within these setbacks will be pedestrian walkways, screening devices, and landscape improvements.

■ Buildings shall be located according to the following minimum setback dimensions:

- 50 feet from the right-of-way line of Aerospace Parkway
- 35 feet from the right-of-way line of Secondary Roads
- 25 feet from the property line of other adjacent properties
- 36 feet from taxiway pavement
- Not closer to the airfield than the Building Restriction Line as shown on the Airport Layout Plan, 2003
- Maintain clear line of site from air traffic control tower controller positions to airfield pavements on the airfield.

■ Parking areas shall be setback as follows:

- 25 feet from the right-of-way line of Aerospace Parkway
- 15 feet from the right-of-way line of Secondary Roads (cul-de-sacs)
- 10 feet from the property line of other adjacent properties

J. ARCHITECTURE

In general, all buildings shall comply with the current City of Albuquerque Zoning Code. However, in cases where the ATP requirements exceed the Zoning Code, the ATP standards will govern. The focus of these architectural standards and guidelines is on the front facade of building facing the public right-of-way.

Development Densities

Infrastructure for the ATP Park is currently master planned for an overall Floor Area Ratio (F.A.R.) of .30. Individual sites should be planned accordingly.

Building Heights

Building height limits will be enforced in accordance with the City of Albuquerque Zoning Code for the O-1 zone. The Federal Aviation Administration (FAA) limits building and signage heights to below Federal Aviation Regulation (FAR) Part 77, Objects Affecting Navigable Airspace, surfaces including a 7:1 (horizontal to vertical from a distance 250 ft from runway centerline) Transitional Surface and the Horizontal Surface located 150 ft above airport elevation. Additionally, FAA FAR Part 77 states that any structure penetrating the plane created by a 100:1 sloped surface beginning at the nearest point or the nearest runway must be airspaced by FAA in accordance with Part 77. Notification is required by completing and submitting SF 7460, Notice of Proposed Construction of Alteration, to the FAA for review and airspacing.

Building Entrances

■ The major public entry to each building should face the "fronting street" that is established by the business address.

■ The front facade of all buildings shall have architecturally integrated awnings, canopies, or portals along 50% of facade length to provide shade and shelter to pedestrians, and a sense of arrival. Alternatively, shade trees may be provided at intervals of 25 feet in planters with a minimum interior dimension of 5' x 5'. Special consideration shall be given to roof structures, including materials.

■ Entries shall be clearly defined and connect to pedestrian linkages.

■ Entryways shall be distinguished by lighting in order to enhance the perception of surface variety.

Service/Loading Areas

■ It is assumed that most, if not all, buildings in the ATP will have a service and/or a loading area. All service functions, with the exception of airplanes viewed from taxiways, shall be screened from public view. This includes but is not limited to: exterior refuse facilities, mechanical equipment, storage yards, and loading docks. Screens should be visually solid and be compatible with the overall building design, color, and primary materials.

Aerospace Technology Park

Prepared for:
City of Albuquerque Aviation Department
Ranch Joint Venture, Ltd.
Eclipse Aviation

Prepared by:
Consensus Planning, Inc.
Molzen-Corbin & Associates

Aviation Storage and Parking Areas

- Many ATP sites are located adjacent to the airport taxiway system or service corridors. Sites along taxiways and service corridors are assumed to support aviation related activities which may require the storage of aircraft on-site. All areas related to on-site aircraft storage should be screened from view on all sides. This includes but is not limited to; exterior storage facilities, aircraft maintenance areas, and aircraft loading areas. Screens should be visually solid and be compatible with the overall building design, color, and primary materials. Landscape materials may be used as visual screens.

Context

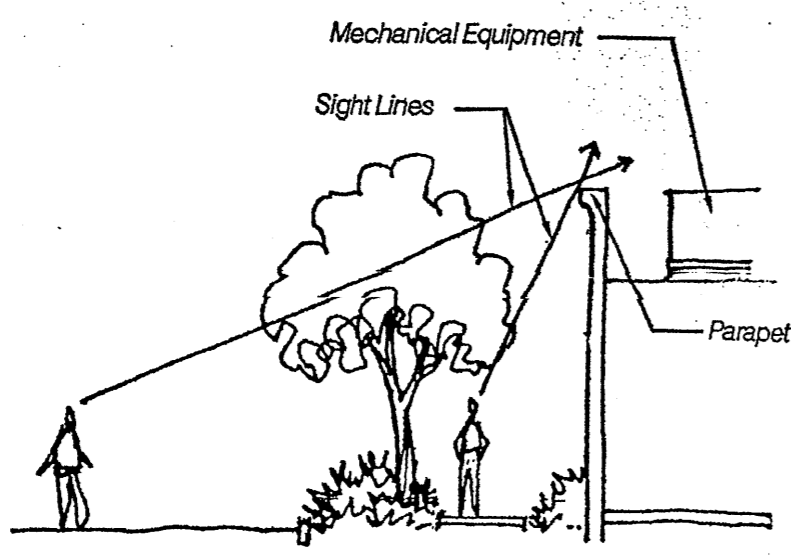
- New buildings should be designed to harmonize with adjacent buildings.

Building Articulation/Design

- Buildings should convey an image appropriate to a state-of-the-art industrial airport facility.
- Buildings should be sensitive to the local character of the region and the vernacular elements of buildings.
- Edge treatments shall "step down" to relate to the scale of pedestrians: reduce the scale of the building edge by stepping down to the street. It is encouraged that building masses be arranged in order to cast shadows on each other to emphasize the contrast of light and shaded surfaces at corners and edges.
- The front building facade shall employ variety in structural forms to create visual character and interest. With the exception of hangar doors, front facades should have varied front setbacks, with wall planes not running in one continuous direction for more than 100 feet without a change in architectural treatment (i.e., 3 foot minimum offset, fenestration, material change, etc.)
- Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, and soffits shall be carefully dimensioned and detailed to provide a human scale and visual interest.
- Extended architectural detailing on the ground floor in an elevation band from 0 to 10 feet, such as a change in color or texture, the architectural expression expansion joints as reveals, door and window articulation and architectural accents, is required.
- Special attention shall be given to the articulation of aircraft hanger facilities through use of color, materials, or building offsets. Metal structures are acceptable, however, they must visually tie to other building elements, such as the front office, storage areas, etc.

Equipment

- All roof top equipment and appurtenances shall be below the top of the parapet, or architecturally screened with a visually-solid surround that is compatible with the predominant building materials and color. Roof penetrations that are not architecturally screened with a visually-solid surround shall be painted to match roof color or general building color.
- All ground-mounted equipment shall be architecturally screened and enclosed, with the top of the equipment below the top of the screen. This includes, but is not limited to: water backflow preventers, gas meters, electric meters, exposed conduit, cabling, and wiring.



Portable Buildings

- All plans for portable buildings must be submitted to and approved by the ACC.
- All portable buildings, both temporary (buildings on site for less than 1 year) and permanent (buildings on site for more than 1 year) must be screened from the public street with opaque walls, fencing, and/or landscaping.
- Permanent portable buildings must be finished to match the primary materials of the overall building.

Materials and Colors

Buildings should convey solidity and durability and employ high quality materials. Materials and colors should pay homage to the vernacular architecture of the area. Acceptable materials include: stucco, concrete (sand blasted or finished surface), stone, split face block, burnished block, glass curtain wall, glass block, brick, exterior ceramic tile, painted metal, and EIFS. Architects shall use those materials traditionally used in the Albuquerque or New Mexico area.

- Acceptable colors include those taken from the native New Mexican landscape palette, such as: Sand, Terracotta and Sage Green. Colors shall be the inherent color of rather than from application of color (painted), except when used as an accent color.
- Prohibited building materials include the following:
 - Plastic or vinyl building panels, awnings, or canopies
 - exposed, untreated precision block or wood
 - highly reflective surfaces
 - materials with high maintenance requirements
- Special consideration shall be given to roof structures. The use of contrasting colors between roofs and walls is encouraged to help differentiate the planes of building masses.
- The use of accent colors and materials is encouraged to bring out detailing to better articulate or give scale to a building, including glazed tile, wood trim, tile roofing, paint, metal, etc.
- The entry monument theme shall be repeated throughout the ATP relative to color and materials for individual building monument signs.

Sustainability

- Green architectural design is encouraged. The ATP promotes the use of sustainable design principles, environmentally-responsible building concepts, and earth-friendly products.

Plan Arrangement Opportunities

- Open courtyard designs shall be employed in order to form transitions between parking areas and building facades. Building access and entries should be visible from the street through open passages (such as garden courts).

K. LIGHTING

A consistent theme for the lighting fixtures within the streetscape and common areas of the ATP will contribute significantly to the ATP's overall aesthetic character. Safety and security should be the primary design consideration, as well as the daytime appearance of the light fixtures.

- Lighting shall be fully shielded horizontal lamps so that no fugitive light may escape beyond the property line and no light source shall be visible from the site perimeter.
- Height standards for light fixtures are as follows:

- Streetlights shall not exceed 25 feet
- Parking area light fixtures shall not exceed 24 feet
- Lighting fixtures for walkways and entry plazas shall not exceed 16 feet

- Lighting shall not impinge upon airfield sight planes. Lighting shall not be directed at aircraft movement areas, runway approaches, or aviation towers.

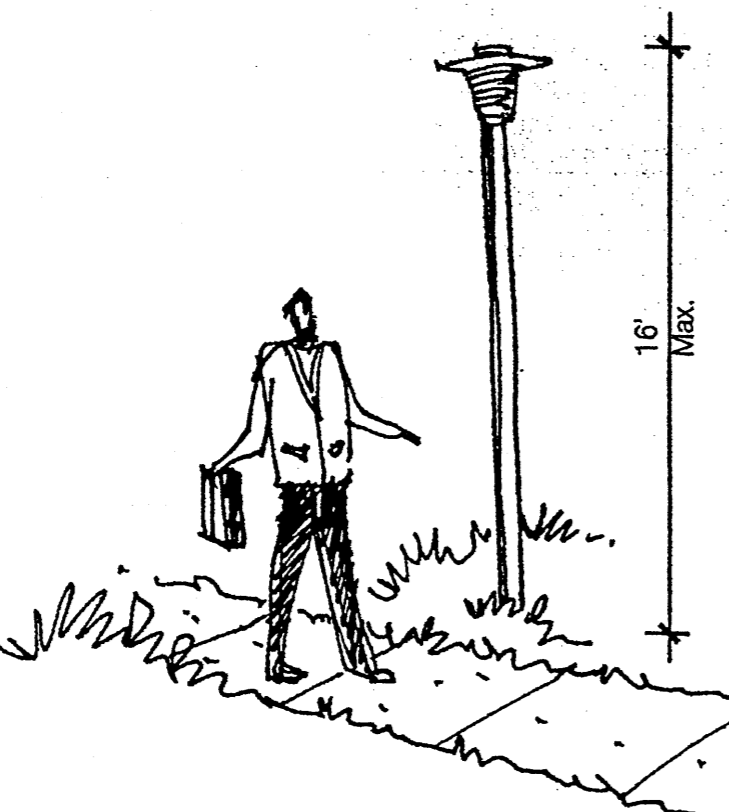
- Controlled, directional lighting should be used to highlight public spaces and walkways. The use of walkway level lighting, such as wall pocket or bollard lights, is encouraged to accent pedestrian areas.

- Fixture style and design should be compatible and consistent with the lighting design of other projects within the ATP.

- The pattern of light pooling from each fixture shall avoid glare or reflection on adjacent properties, buildings, or roadways.

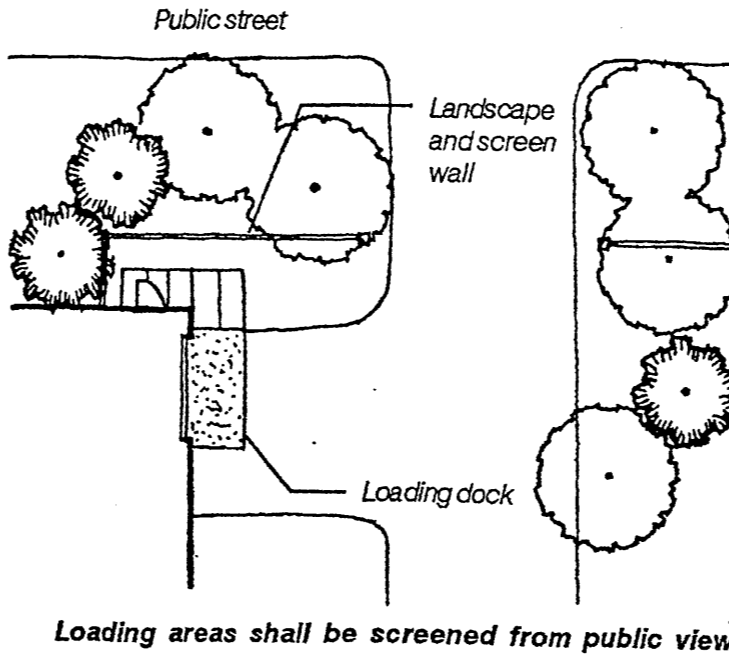
- Exterior lighting fixtures should relate stylistically to the architecture of the adjacent buildings.

- Uplighting fixtures to highlight trees, walls and architectural features shall be limited to 100 maximum wattage per fixture, and shall be designed to comply with the New Mexico Night Sky Protection Act.



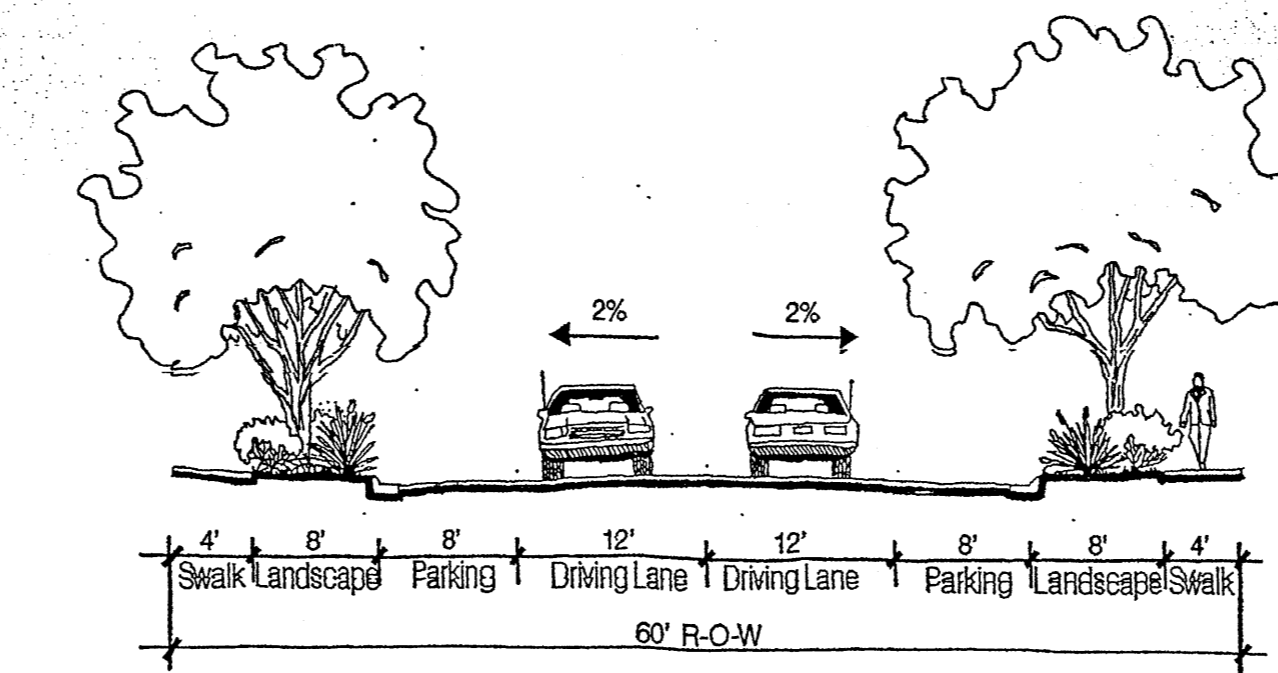
L. SCREENING/BUFFERING

- Mechanical equipment and refuse enclosures, whether on roof areas or at street level, shall be fully screened from pedestrians or motorists. Screening shall be compatible with materials and design of the building.
- Loading areas shall be screened from public view by walls, trellises, or landscaping. Passenger loading areas do not require screening.
- Aircraft areas shall be screened from the street with walls and/or plant material.
- The use of razor or barbed wire (except where required by Federal regulations), wood fencing, or plastic vinyl fencing is not permitted.
- Refuse enclosures shall be adjacent to the building and screened with walls of the same material as the building itself.
- Walls or landscaped berms 2 1/2 to 3 feet in height shall be provided to screen parking areas adjacent to public streets. Walls, if used, shall be designed to integrate with building materials and colors.

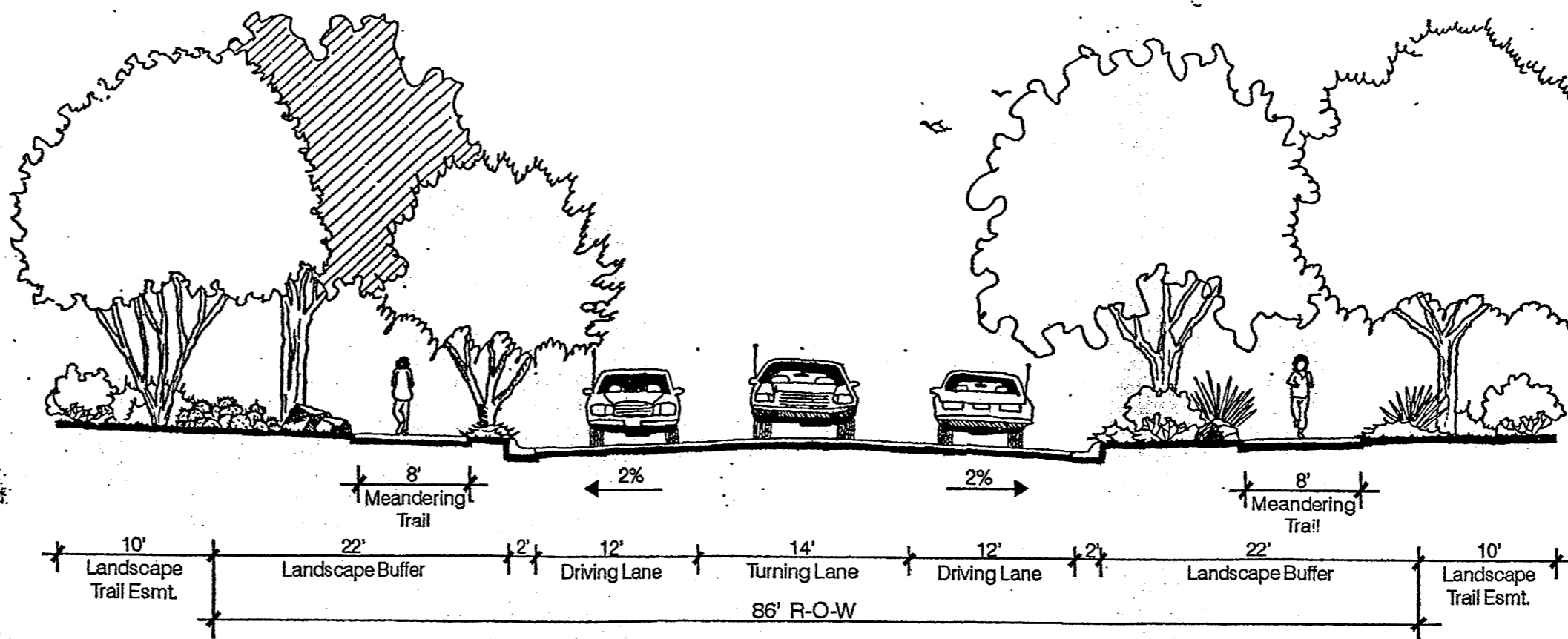


M. STREET DESIGN

It is anticipated that Aerospace Parkway will be an 86 foot roadway. It is further anticipated that access into specific development areas will be from a series of cul-de-sac streets with 60 foot rights-of-way. Specific right-of-way for Aerospace Parkway and the cul-de-sacs shall be determined before final approval at the Development Review Board. The cul-de-sac streets also function as the primary utility corridors and will accommodate water, sewer, and storm drains.



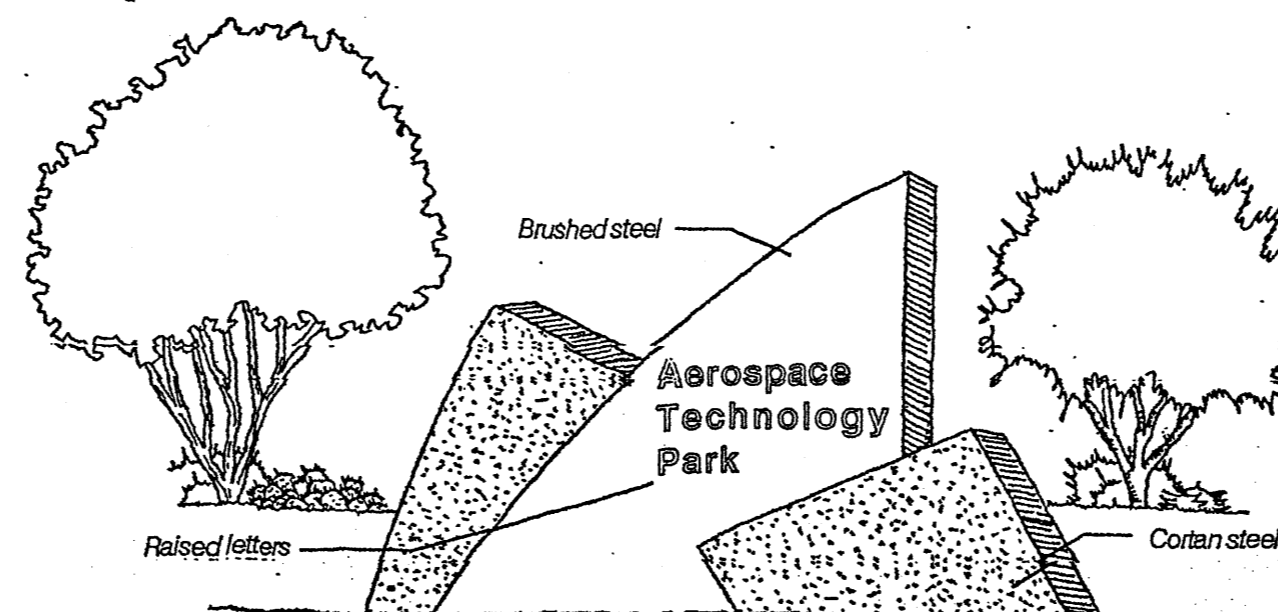
Cul-de-Sac Section



Aerospace Parkway Section

N. SIGNAGE

- The Master Developer shall provide entry monument signs (the only free-standing signs allowed) for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be within easements at locations described below, and shall be maintained by the Tenants' Association.
- A primary entry statement shall be located at Paseo del Volcan (old) and Shooting Range Access Road, and Shooting Range Access Road and Aerospace Parkway.
- Entry monument signs shall be a maximum of 20 feet in height and 200 square feet in sign face.



Project entry monument signs shall be located at the intersection of Aerospace Parkway and Shooting Range Access Road, and Paseo del Volcan (old) and Shooting Range Access Road.

- Individual sites are allowed one monument-style sign per street frontage. The sign shall not exceed 50 square feet in sign face, or 4 feet in height, and shall be architecturally integrated with the building color and materials. In addition, materials similar to those used at the primary project entries shall be used, although individual expression is allowed.
- Due to the size of the Eclipse Aviation campus, this site shall be permitted to have two entry signs not to exceed 20 feet in height and 300 SF of sign face.
- Directional signs may be provided, at the discretion of the Master Developer, to direct visitors to particular businesses. Directional signs shall not exceed 20 square feet in area, or 4 feet in height.
- All signage at the project entries shall be coordinated in order to have the same appearance (height, size, color, material, text height and style, etc.).
- No sign may overhang a right-of-way or property line.
- No sign shall intrude upon any architectural features, including windows, columns, moldings or any decorative features.
- Building-mounted signs shall consist of individual channelized letters. With the exception of logo images, no illuminated plastic panel signs are allowed.
- Building-mounted signs shall not exceed an area of 6 percent of the facade to which it is attached. Maximum letter size shall not exceed 5 feet in height, and maximum logo size shall not exceed 5' x 5'.
- Signs should identify only the name and business of the occupant or of those offering the premises for sale or lease.
- Prohibited signs include the following:
 - Banners, pennants, ribbons, streamers;
 - Strings of light bulbs and spinners (except during holiday season or special thematic event);
 - Brushy colored signs with moving or flashing lights;

O. TAXILANE/ AVIATION AREAS

Aircraft circulation throughout the ATP must be developed to minimize interaction with vehicular traffic. Taxiway guidelines are based on an average tailing speed of at least 20 mph and wingspan and wingtip clearance. Taxiway access must have a minimum right-of-way width of 150 feet with a minimum paved surface area 50 feet in width.

- Taxiway Shoulders must be either stabilized or paved to reduce possibility of blast erosion and engine ingestion problems.
- Minimum separation between centerline of taxiway to structure (parked aircraft, structure, etc.) is 0.70 times the wingspan of the most demanding airplane, plus 10 feet. Setback standards have been designed to accommodate all Type I and II aircraft.

Taxiway Design Standards

Airplane Design Group	Taxiway Width	Taxiway Object Free Area Width	Taxiway Shoulder Width	Wing Span (w) for Airplane Design Group
I	25 ft	79 ft	10 ft	w < 49 ft
II	35 ft	115 ft	10 ft	49 ft <= w < 79 ft
III	50 ft	162 ft	20 ft	79 ft <= w < 118 ft
IV	75 ft	225 ft	25 ft	118 ft <= w < 171 ft

P. PUBLIC ART

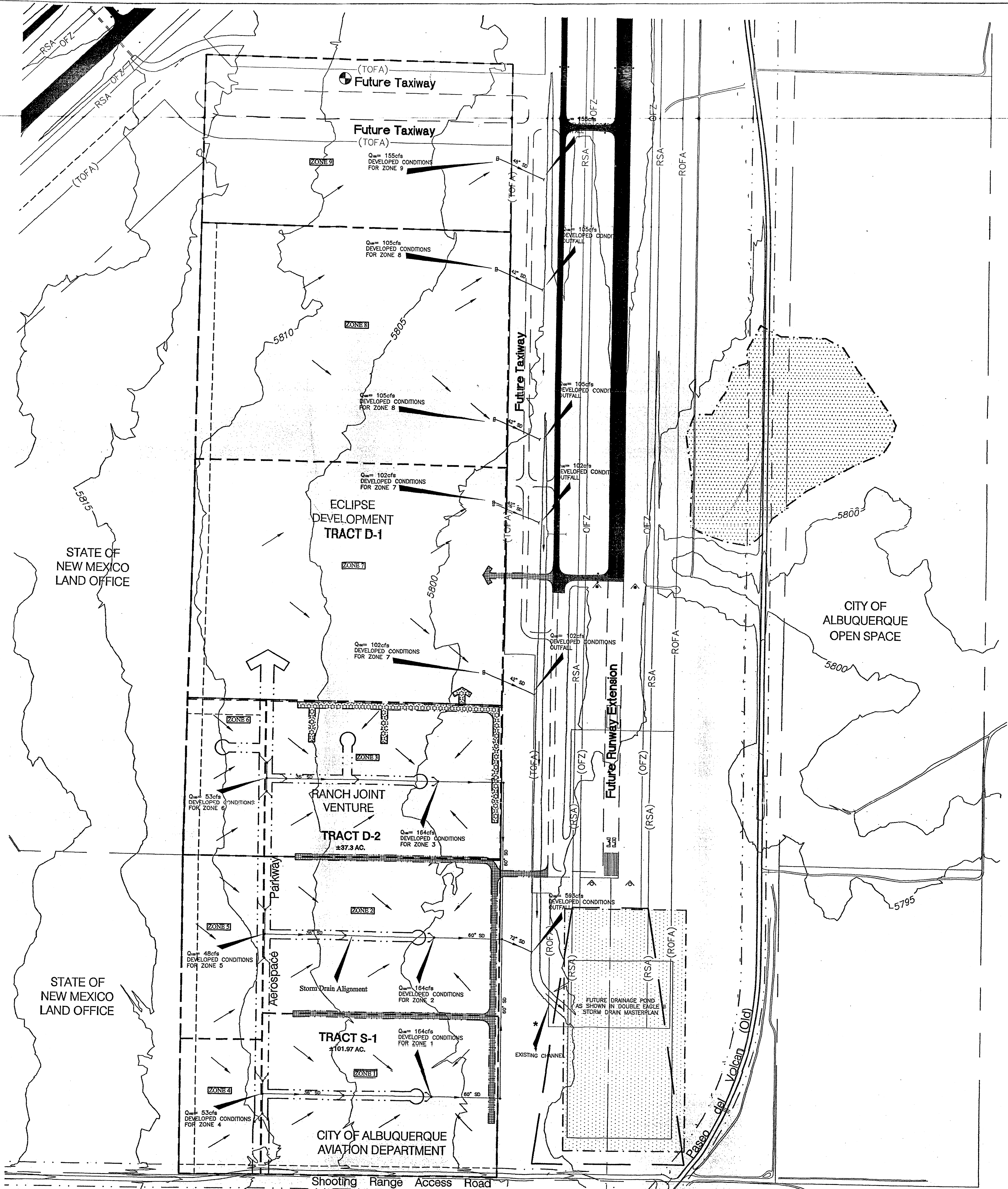
In order to create an exciting and pleasant pedestrian environment, developments are encouraged to integrate artwork into the design of all public spaces, both indoors and out. Consideration of integrating artwork into the design of bus shelters, outdoor furniture, information kiosks, yard walls, entry portals, plaza fountains, vertical element, etc. is encouraged, instead of standing artwork in isolation, away from such usable elements. Future developments are encouraged to make use of the City of Albuquerque's 1% for the Arts program, as well as to consider opportunities for private endowments or sponsorships to allow artistic enhancements throughout the Park.

Q. WIRELESS TELECOMMUNICATIONS FACILITIES

Unless specifically approved by the FAA and the City Aviation Department, wireless telecommunications facilities are not allowed within the ATP.

Aerospace Technology Park

Prepared for:
City of Albuquerque Aviation Department



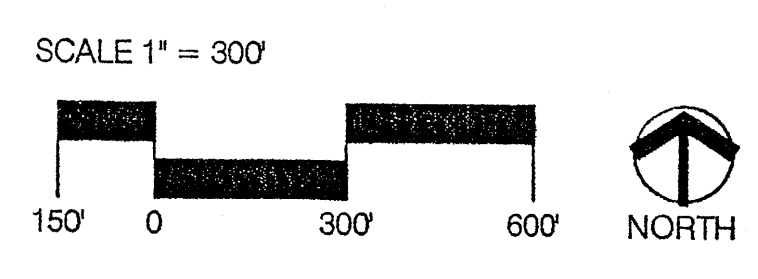
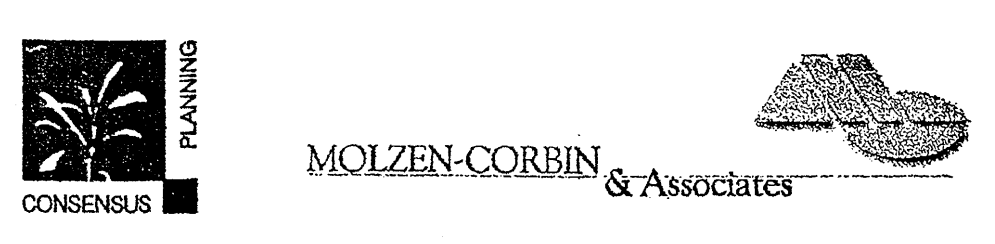
WESTLAND NORTH
(FUTURE PLANNED COMMUNITY)

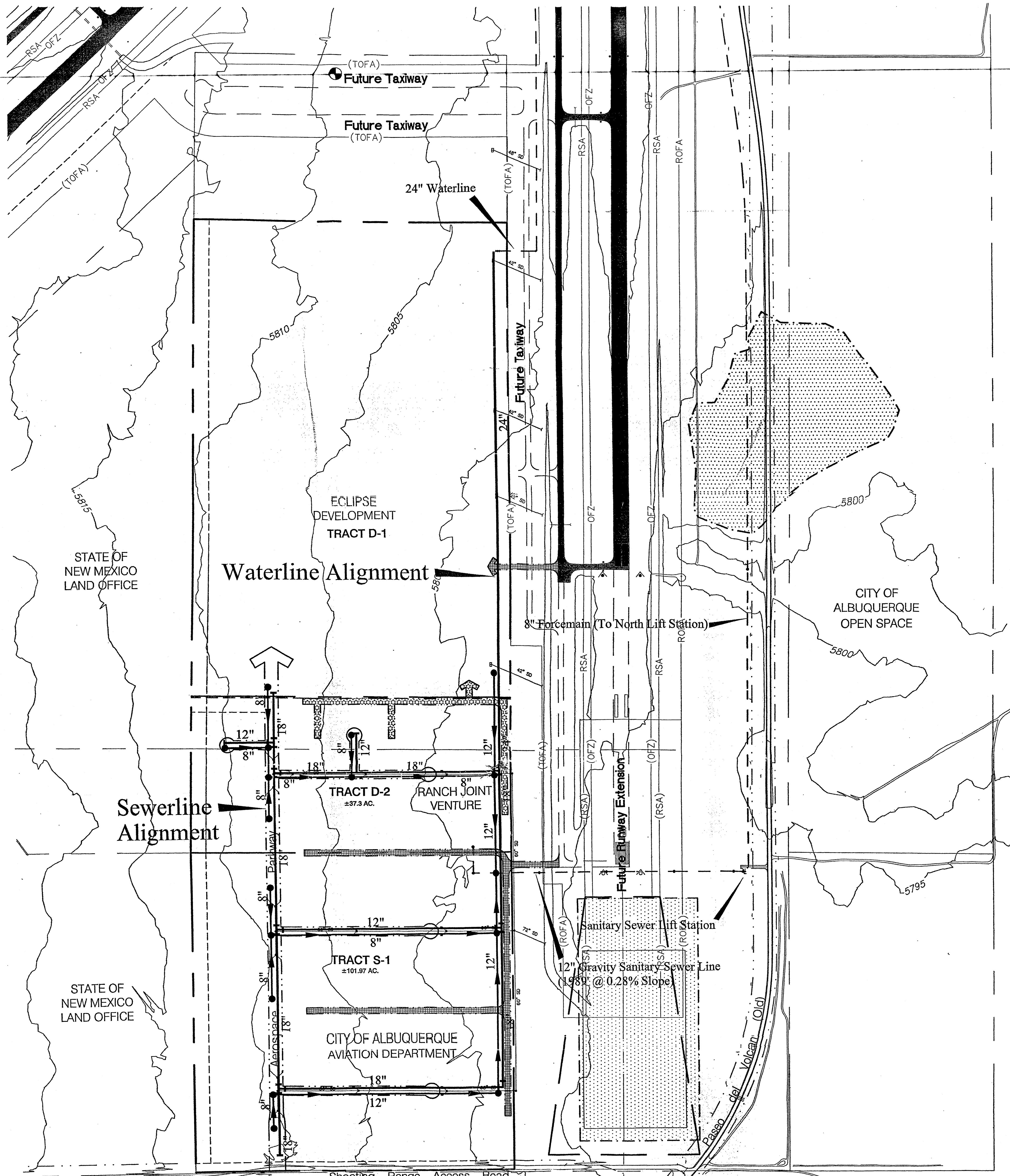
Preferred Storm Drain Alignment Aerospace Technology Park

Prepared for:
City of Albuquerque Aviation Department
Ranch Joint Venture, Ltd.
Eclipse Aviation

Prepared by:
Consensus Planning, Inc.
Molzen-Corbin & Associates

- PROPOSED STORM DRAIN
- - - ZONE BASIN BOUNDARIES
- FLOW DIRECTION
- EXISTING CONTOURS





WESTLAND NORTH
(FUTURE PLANNED COMMUNITY)

Preferred Utility Alignment Aerospace Technology Park

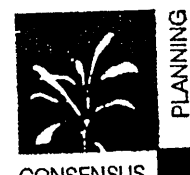
Prepared for:
City of Albuquerque Aviation Department
Ranch Joint Venture, Ltd.
Eclipse Aviation

Prepared by:
Consensus Planning, Inc.
Molzen-Corbin & Associates

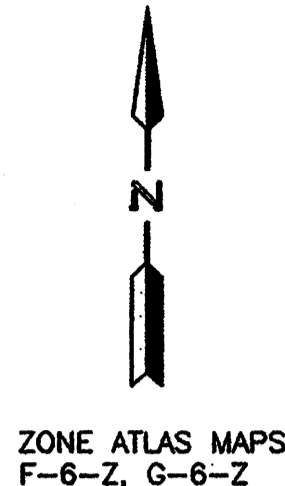
Legend

- 8" Proposed Sanitary Sewer Line
- 12" Proposed Waterline

SCALE 1" = 300'



1	2	3	4	5	6	7	8		
A	6	5	4	3	2	1	6	5	
B	7	8	9	10	11	12	7	6	
C	18	17	16	15	14	13	18	17	
D	19	[Shaded Area]						19	18
E	30							19	18
F	31							30	29
G	6	5	4	3	2	1	6	5	
H	7	8	9	10	11	12	7	6	



VICINITY MAP
NOT TO SCALE:

DISCLOSURE STATEMENT

PURPOSE OF PLAT

1. TO CREATE 4 TRACTS, FROM 2 EXISTING TRACTS AS SHOWN HEREON AND GRANT BLANKET DRAINAGE EASEMENTS, AND CROSS ACCESS EASEMENTS.

DATA

1. NEW CASE NO: 04DRB-01505, 01506 BLV, P&F, BULK LAND VARIANCE NO. 1003125
2. GROSS SUBDIVISION ACREAGE 392.3607 ACRES
3. DATE OF SURVEY: 9/2004
4. TALOS LOG NO: 2004-40-1945

NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (NAD 27 CENTRAL ZONE, NGVD 29), CITY OF ALBUQUERQUE CONTROL SYSTEM MONUMENTS "EAGLE AIR".
2. DISTANCES ARE GROUND DISTANCES.
3. TRACTS 'S-1, S-2, D-1, & D-2' ARE REMAIN ZONED SU-1 AIRPORT RELATED FACILITIES PER EPC APPROVAL 1001656/03EPC00915.
4. BASIS OF BOUNDARY IS FROM THE FOLLOWING REFERENCE DOCUMENTS:
A. BULK LAND PLAT OF DOUBLE EAGLE II AND ADJACENT LANDS, FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK IN BOOK 2002C, PAGE 228.
B. MAP OF T 10 N, R 1 E, N.M.P.M. PREPARED BY THE SURVEYOR GENERAL'S OFFICE, SANTA FE, N.M., NOV. 20, 1875 AND ON FILE WITH THE U.S. BUREAU OF LAND MANAGEMENT.
5. PLAT SHOWS ALL EASEMENTS OF RECORD PROVIDED BY A DOCUMENT SEARCH BY ALBUQUERQUE TITLE CO. INC., INC., FILE NO. 18817911 ON NOVEMBER 1, 2000.
6. BLANKET DRAINAGE EASEMENTS ARE HEREBY GRANTED TO THE CITY OF ALBUQUERQUE ON TRACTS D-1, D-2, S-1 & S-2. FUTURE SUBDIVISION ACTIONS MAY FURTHER DEFINE THESE BLANKET DRAINAGE EASEMENTS. THESE BLANKET DRAINAGE EASEMENTS ARE FOR THE BENEFIT OF ALL TRACTS CREATED BY THIS PLAT AND ARE TO BE MAINTAINED BY EACH RESPECTIVE OWNER.
- JOINT USE OF PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
7. QUEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
8. CABLE TV FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
9. INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANITOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.
10. IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.
11. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
12. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS AND OTHER EQUIPMENT, FIXTURES STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
13. PUBLIC CROSS ACCESS EASEMENTS ARE HEREBY GRANTED BETWEEN TRACTS D-1, D-2, S-1, & S-2. FUTURE SUBDIVISIONS MAY FURTHER DEFINE THESE PUBLIC CROSS ACCESS EASEMENTS. THESE PUBLIC CROSS ACCESS EASEMENTS ARE FOR THE BENEFIT OF ALL TRACTS CREATED BY THIS PLAT AND ARE TO BE MAINTAINED BY EACH RESPECTIVE OWNER.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
 PAID ON UPC # 1-001-020-200435-20144
 PROPERTY OWNER OF RECORD:
 Ranch Joint Venture LLC City of Albuquerque
 BERNALILLO COUNTY TREASURER'S OFFICE
 [Signature] 12/21/2004

LEGAL DESCRIPTION

TRACTS D&S OF THE BULK LANDS PLAT OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS FILED IN THE OFFICE OF BERNALILLO COUNTY CLERK IN BOOK 2002C, PAGE 228, AND DATED 07/10/2002

OWNERS FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND/OR PROPRIETORS THEREOF AND SAID OWNERS AND/OR PROPRIETORS DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE, EASEMENTS FOR PUBLIC STREET RIGHT-OF-WAY, ACCESS, DRAINAGE, AND UTILITIES AS INDICATED HEREIN, INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN, FURTHER, SAID OWNERS AND/OR PROPRIETORS DO HEREBY GRANT OTHER PRIVATE EASEMENTS AS SHOWN AND INDICATED.

OWNER TRACT S, CITY OF ALBUQUERQUE A MUNICIPAL CORPORATION.

[Signature]
 JAMES LEWIS
 CHIEF ADMINISTRATIVE OFFICER
 CITY OF ALBUQUERQUE

STATE OF NEW MEXICO) SS)
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON Oct 23, 2004 BY JAMES LEWIS AS CHIEF ADMINISTRATIVE OFFICER OF THE CITY OF ALBUQUERQUE, NEW MEXICO, A MUNICIPAL CORPORATION, ON BEHALF OF SAID CORPORATION.

[Signature]
 NOTARY PUBLIC
 [MY COMMISSION EXPIRES: 11/5/2006]
 OFFICIAL SEAL
 Renie Carmona
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Commission Expires 11/5/2006

OWNER TRACT D, RANCH JOINT VENTURE, L.L.P., A NEW MEXICO LIMITED LIABILITY PARTNERSHIP

BY: B-R RANCH MANAGEMENT II PARTNERS, L.P., A TEXAS LIMITED PARTNERSHIP, MANAGING PARTNER ITS GENERAL PARTNER

BY: TEXWEST, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER

BY: [Signature]
 WILLIAM L ROGERS, PRESIDENT

[Signature]
 NOTARY PUBLIC
 [MY COMMISSION EXPIRES: 1/30/08]
 GAYLEE COOK
 Notary Public, State of Texas
 My Commission Expires
 January 30, 2008

NOTICE OF SUBDIVISION PLAT CONDITION

"NOTICE OF SUBDIVISION PLAT CONDITIONS" AEROSPACE TECHNOLOGY PARK THE PLAT OF AEROSPACE TECHNOLOGY PARK, TRACTS D AND S OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS, HAS BEEN GRANTED A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS PURSUANT TO SECTION 14-14-8-1 OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY AND AMAFCA (WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY, FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND, EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

SRR & ASSOC
 Santiago Romero Jr.
 and Associates, Inc.
 ENGINEERS SURVEYORS
 4004 GARDNER BLVD. N.E. SUITE 204
 ALBUQUERQUE, NEW MEXICO 87107
 (505)884-5119

**BULK LAND PLAT
 FOR
 AEROSPACE TECHNOLOGY PARK
 TRACTS D AND S OF DOUBLE EAGLE II
 AIRPORT AND ADJACENT LANDS**

WITHIN
 SECTION 36, TOWNSHIP 11 NORTH, RANGE 1 EAST
 AND
 SECTION 3, TOWNSHIP 10 NORTH, RANGE 1 EAST
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2004

PRELIMINARY PLAT
 APPROVED AND ACCEPTED BY DRB

[Signature]
 PLANNING DIRECTOR CITY OF ALBUQUERQUE
 DATE 12/08/04

[Signature]
 TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT
 DATE 12-8-04

[Signature]
 PARKS AND RECREATION DEPARTMENT
 DATE 12/8/04

[Signature]
 PUBLIC SERVICE COMPANY
 DATE 12-21-04

[Signature]
 QUEST COMMUNICATIONS, INC.
 DATE 12-21-04

[Signature]
 GAS COMPANY
 DATE 12-21-04

[Signature]
 CITY SURVEYOR, ENGINEERING DIVISION
 DATE 11-9-04

N/A Sam
 CITY REAL PROPERTY
 DATE 12/08/04

[Signature]
 UTILITY DEVELOPMENT DEPARTMENT
 DATE 12-8-04

[Signature]
 ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY
 DATE 12/8/04

[Signature]
 CITY ENGINEER, ENGINEERING DIVISION
 DATE 12/8/04



CERTIFICATE OF SURVEY

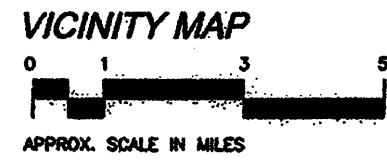
I, SANTIAGO ROMERO JR., NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR NO. 7924, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY SUPERVISION FROM ACTUAL FIELD SURVEYS PERFORMED SEPTEMBER 2004 AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS IN THE COMPLIANCE WITH THE ALBUQUERQUE SUBDIVISION ORDINANCE.

[Signature]
 SANTIAGO ROMERO JR. P.S. NO. 7924
 DATE Oct. 6, 2004

**BULK LAND PLAT
FOR
AEROSPACE TECHNOLOGY PARK
TRACTS D AND S OF DOUBLE EAGLE II
AIRPORT AND ADJACENT LANDS**

WITHIN
SECTION 36, TOWNSHIP 11 NORTH, RANGE 1 EAST
AND
SECTION 3, TOWNSHIP 10 NORTH, RANGE 1 EAST
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER 2004

1	2	3	4	5	6	7	8	
A	6	5	4	3	2	1	6	5
3	7	8	9	10	11	12	7	6
18	17	16	15	14	13	12	11	10
19	18	17	16	15	14	13	12	11
30	29	28	27	26	25	24	23	22
31	30	29	28	27	26	25	24	23
H	6	5	4	3	2	1	6	5
7	8	9	10	11	12	7	6	5



	BEARING	DIST.
L1	S 00°15'00" W	149.23

	LENGTH	DELTA	RADIUS	CHORD	CH. BR.
C1	1598.62	39°44'14"	2305.00	1586.77	N 20°06'43" E

LEGAL DESCRIPTION

TRACTS D&S OF THE BULK LANDS PLAT OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS FILED IN THE OFFICE OF BERNALILLO COUNTY CLERK IN BOOK 2002C, PAGE 228, AND DATED 07/10/2002.

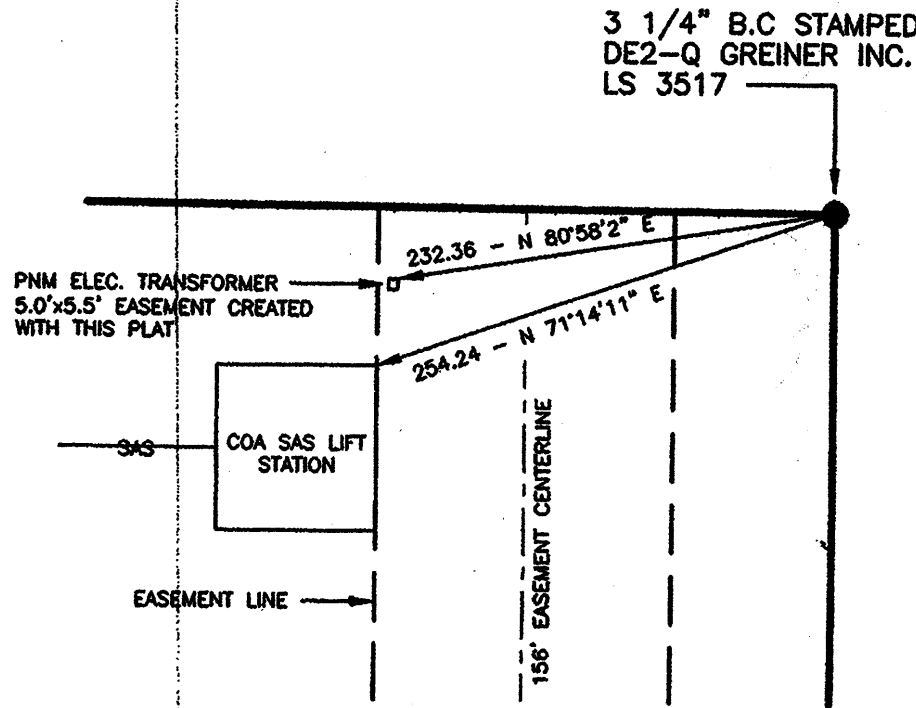
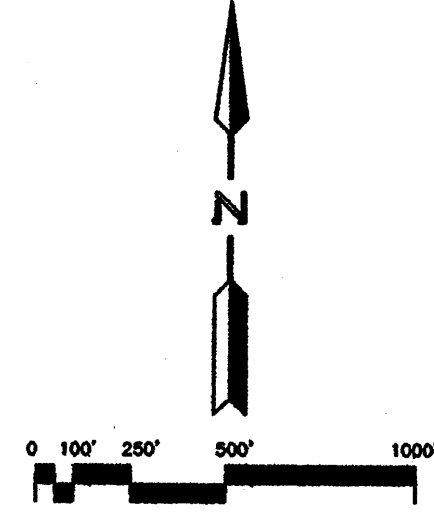
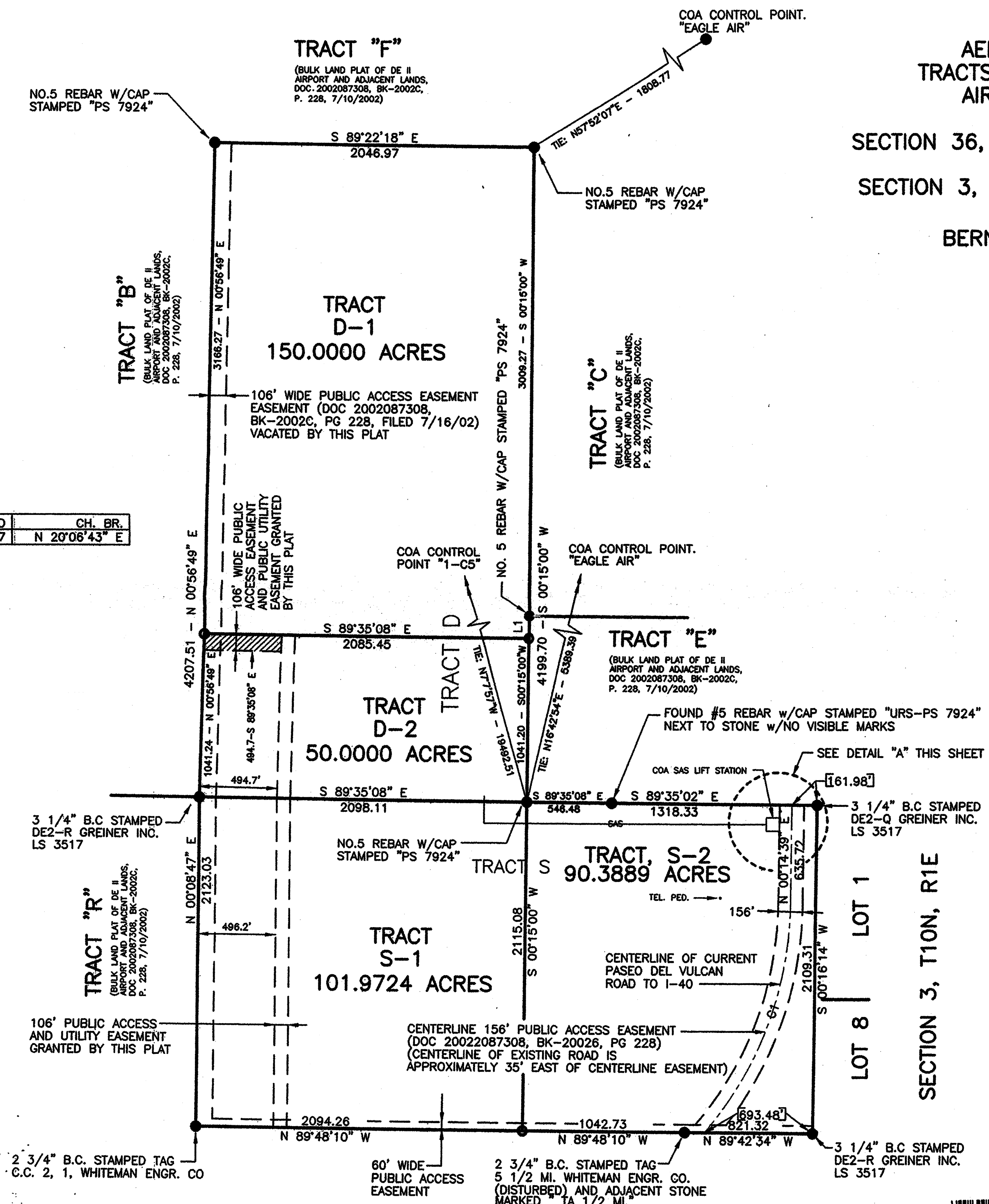
LEGEND

- SET NO.5 REBAR WITH CAP STAMPED PS 7924.
- FOUND PROPERTY CORNER.

CONTROL MONUMENTS

NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927, NGVD 1929)

DESIGNATION	DATA
EAGLE AIR	N 1508476.41 E 339854.29 ELEV. 5797.672 G-G 0.999652162 DELTA ALPHA -00°18'30"
1-CS	N 1522656.41 E 335883.95 ELEV. 5930.7 (TRIG) G-G 0.9996472 DELTA ALPHA -00°18'59"



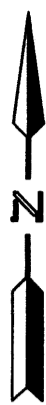
DETAIL "A"

TOWN OF
ATRISCO GRANT (UNPLATTED)

2004178149
6181693
Page: 2 of 2
12/21/2004 01:15P
BK-2004C Pg-386

Mary Herrera Bern. Co. PLRT R 12.00 BK-2004C Pg-386

1	2	3	4	5	6	7	8
6	5	4	3	2	1	6	5
7	8	9	10	11	12	7	8
18	17	16	15	14	13	18	17
19	20	21	22	23	24	19	20
30	29	28	27	26	25	30	29
31	32	33	34	35	36	31	32
6	5	4	3	2	1	6	5
7	8	9	10	11	12	7	8



ZONE ATLAS MAPS
F-6-Z, G-6-Z

VICINITY MAP
NOT TO SCALE:

DISCLOSURE STATEMENT

PURPOSE OF PLAT

1. TO CREATE 4 TRACTS, FROM 2 EXISTING TRACTS AS SHOWN HEREON AND GRANT BLANKET DRAINAGE EASEMENTS.

DATA

1. NEW CASE NO: XXXXXXX, BULK LAND VARIANCE NO.
2. GROSS SUBDIVISION ACREAGE 392.3607 ACRES
3. DATE OF SURVEY: 9/2004
4. TALOS LOG NO: 2004-40-1945

NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (NAD 27 CENTRAL ZONE, NGVD 29), CITY OF ALBUQUERQUE CONTROL SYSTEM MONUMENTS "EAGLE AIR".
 2. DISTANCES ARE GROUND DISTANCES.
 3. TRACTS 'S-1, S-2, D-1, & D-2' ARE REMAIN ZONED SU-1 AIRPORT RELATED FACILITIES PER EPC APPROVAL 1001656/03EPC00915.
 4. BASIS OF BOUNDARY IS FROM THE FOLLOWING REFERENCE DOCUMENTS:
 - A. BULK LAND PLAT OF DOUBLE EAGLE II AND ADJACENT LANDS, FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK IN BOOK 2002C, PAGE 228.
 - B. MAP OF T 10 N, R 1 E, N.M.P.M. PREPARED BY THE SURVEYOR GENERAL'S OFFICE, SANTA FE, N.M., NOV. 20, 1875 AND ON FILE WITH THE U.S. BUREAU OF LAND MANAGEMENT.
 5. PLAT SHOWS ALL EASEMENTS OF RECORD PROVIDED BY A DOCUMENT SEARCH BY ALBUQUERQUE TITLE CO. INC., INC., FILE NO. 1881797I ON NOVEMBER 1, 2000.
 6. BLANKET DRAINAGE EASEMENTS ARE HEREBY GRANTED TO THE CITY OF ALBUQUERQUE ON TRACTS D-1, D-2, S-1 & S-2. FUTURE SUBDIVISION ACTIONS MAY FURTHER DEFINE THESE BLANKET DRAINAGE EASEMENTS. THESE BLANKET DRAINAGE EASEMENTS ARE FOR THE BENEFIT OF ALL TRACTS CREATED BY THIS PLAT AND ARE TO BE MAINTAINED BY EACH RESPECTIVE OWNER.
- JOINT USE OF PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
7. QWEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 8. CABLE TV FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
 9. INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.
 10. IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.
 11. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 12. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS AND OTHER EQUIPMENT, FIXTURES STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.

**BULK LAND PLAT
FOR
AEROSPACE TECHNOLOGY PARK
TRACTS D AND S OF DOUBLE EAGLE II
AIRPORT AND ADJACENT LANDS**

**WITHIN
SECTION 36, TOWNSHIP 11 NORTH, RANGE 1 EAST
AND
SECTION 3, TOWNSHIP 10 NORTH, RANGE 1 EAST
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

OCTOBER 2004

PRELIMINARY PLAT

APPROVED BY DRB

APPROVED AND ACCEPTED BY

ON 10/29/04

OWNERS FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND/OR PROPRIETORS THEREOF AND SAID OWNERS AND/OR PROPRIETORS DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE, EASEMENTS FOR PUBLIC STREET RIGHT-OF-WAY, ACCESS, DRAINAGE, AND UTILITIES AS INDICATED HEREIN, INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN, FURTHER, SAID OWNERS AND/OR PROPRIETORS DO HEREBY GRANT OTHER PRIVATE EASEMENTS AS SHOWN AND INDICATED.

OWNER TRACT S, CITY OF ALBUQUERQUE A MUNICIPAL CORPORATION.

JAMES LEWIS
CHIEF ADMINISTRATIVE OFFICER
CITY OF ALBUQUERQUE

STATE OF NEW MEXICO) SS)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____ BY JAMES LEWIS AS CHIEF ADMINISTRATIVE OFFICER OF THE CITY OF ALBUQUERQUE, NEW MEXICO, A MUNICIPAL CORPORATION, ON BEHALF OF SAID CORPORATION.

NOTARY PUBLIC _____ DATE _____
[MY COMMISSION EXPIRES: _____];

OWNER TRACT D, RANCH JOINT VENTURE, L.L.P., A NEW MEXICO LIMITED LIABILITY PARTNERSHIP

BY: B-R RANCH MANAGEMENT II PARTNERS, L.P., A TEXAS LIMITED PARTNERSHIP,
MANAGING PARTNER ITS GENERAL PARTNER

BY: TEXWEST, LLC, A DELAWARE LIMITED LIABILITY COMPANY,
ITS GENERAL PARTNER

BY: _____
WILLIAM L ROGERS, PRESIDENT

NOTARY PUBLIC _____ DATE _____
[MY COMMISSION EXPIRES: _____];

NOTICE OF SUBDIVISION PLAT CONDITION

- A. FOR DESIGN VARIANCE: THE PROCEDURE FOR A SUBDIVISION FOR WHICH A DESIGN VARIANCE IS REQUESTED IS THE SAME AS FOR STANDARD SUBDIVISION (SEE PAGE 2-6). HOWEVER, A DESIGN VARIANCE REQUEST SHOULD BE SHOWN ON THE SUBDIVISION APPLICATION FORM.
- B. FOR A VARIANCE TO SUBDIVISION IMPROVEMENTS GUARANTEE: THE ONLY BASIS UPON WHICH THE DRB MAY WAIVE THE REQUIRED SUBDIVISION IMPROVEMENTS GUARANTEE IS FOR SUBDIVISIONS INTENDED TO FACILITATE BULK LAND TRANSFERS. THE REVIEW AND APPROVAL PROCEDURE FOR SUCH SUBDIVISIONS INVOLVES THE SAME STEPS AS FOR STANDARD SUBDIVISIONS. HOWEVER, THERE ARE SEVERAL SIGNIFICANT MODIFICATIONS IN THE MATERIALS TO BE SUBMITTED FOR REVIEW. THESE MODIFICATIONS ARE SHOWN BELOW UNDER "PROCEDURES FOR BULK LAND TRANSFERS ONLY". IF A VARIANCE IN SUBDIVISION IMPROVEMENTS GUARANTEES IS DESIRED, THE REQUEST SHOULD BE SHOWN ON THE SUBDIVISION APPLICATION FORM.
- C. FOR ANY VARIANCE REQUEST: THE VARIANCE REQUEST WILL BE ACTED UPON BY THE DRB SIMULTANEOUSLY AS IT REVIEWS THE SUBDIVISION REQUEST. A PRE-APPLICATION DISCUSSION SHOULD TAKE PLACE PRIOR TO ENTERING PHASE I.

PLANNING DIRECTOR , CITY OF ALBUQUERQUE _____ DATE _____

TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

PUBLIC SERVICE COMPANY _____ DATE _____

QWEST COMMUNICATIONS, INC. _____ DATE _____

GAS COMPANY _____ DATE _____

CITY SURVEYOR, ENGINEERING DIVISION _____ DATE _____

CITY REAL PROPERTY _____ DATE _____

UTILITY DEVELOPMENT DEPARTMENT _____ DATE _____

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY _____ DATE _____

CITY ENGINEER, ENGINEERING DIVISION _____ DATE _____

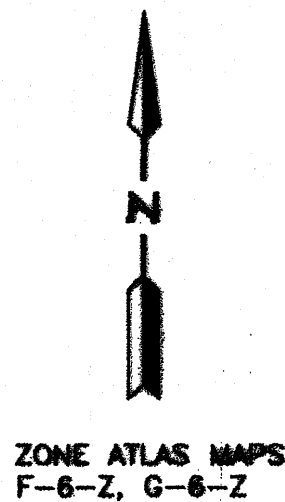
CERTIFICATE OF SURVEY

I, SANTIAGO ROMERO JR., NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR NO. 7924, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY SUPERVISION FROM ACTUAL FIELD SURVEYS PERFORMED SEPTEMBER 2004 AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS IN THE COMPLIANCE WITH THE ALBUQUERQUE SUBDIVISION ORDINANCE.

Santiago Romero Jr. 9/29/2004
SANTIAGO ROMERO JR. P.S. NO. 7924 _____ DATE _____



	1	2	3	4	5	6	7	8
A	6	5	4	3	2	1	6	5
B	7	8	9	10	11	12	7	6
C	18	SITE LOCATION F-6-Z, G-6-Z			17	18	17	
D	19	20	21	22	23	24		
E	30	29	28	27				
F	31	32	33	34	35			
G	6	5	4	3	2	1	6	5
H	7	8	9	10	11	12	7	6



VICINITY MAP
NOT TO SCALE:

DISCLOSURE STATEMENT

- PURPOSE OF PLAT
1. TO CREATE 4 TRACTS, FROM 2 EXISTING TRACTS AS SHOWN HEREON AND GRANT BLANKET DRAINAGE EASEMENTS AND CROSS ACCESS EASEMENTS.

DATA

- NEW CASE NO: 04DRB-01505, 01506 BLV, P&F, BULK LAND VARIANCE NO. 1683125
- GROSS SUBDIVISION ACREAGE 392.3607 ACRES
- DATE OF SURVEY: 9/2004
- TALOS LOG NO: 2004-40-1945

NOTES

- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (NAD 27 CENTRAL ZONE, NAD 20), CITY OF ALBUQUERQUE CONTROL SYSTEM MONUMENTS "EAGLE AIR".
- DISTANCES ARE GROUND DISTANCES.
- TRACTS 'S-1, S-2, D-1, & D-2' ARE REMAIN ZONED SU-1 AIRPORT RELATED FACILITIES PER EPC APPROVAL 1001656/03EPC00915.
- BASIS OF BOUNDARY IS FROM THE FOLLOWING REFERENCE DOCUMENTS:
A. BULK LAND PLAT OF DOUBLE EAGLE II AND ADJACENT LANDS FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK IN BOOK 2002C, PAGE 228.
B. MAP OF T 10 N, R 1 E, N.M.P.M. PREPARED BY THE SURVEYOR GENERAL'S OFFICE, SANTA FE, N.M., NOV. 20, 1875 AND ON FILE WITH THE U.S. BUREAU OF LAND MANAGEMENT.
- PLAT SHOWS ALL EASEMENTS OF RECORD PROVIDED BY A DOCUMENT SEARCH BY ALBUQUERQUE TITLE CO. INC., INC., FILE NO. 18817911 ON NOVEMBER 1, 2000.
- BLANKET DRAINAGE EASEMENTS ARE HEREBY GRANTED TO THE CITY OF ALBUQUERQUE ON TRACTS D-1, D-2, S-1 & S-2. FUTURE SUBDIVISION ACTIONS MAY FURTHER DEFINE THESE BLANKET DRAINAGE EASEMENTS. THESE BLANKET DRAINAGE EASEMENTS ARE FOR THE BENEFIT OF ALL TRACTS CREATED BY THIS PLAT AND ARE TO BE MAINTAINED BY EACH RESPECTIVE OWNER.
JOINT USE OF PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- QUEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- CABLE TV FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
- INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN: NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.
- IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS AND OTHER EQUIPMENT, FUTURES STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PUBLIC CROSS ACCESS EASEMENTS ARE HEREBY GRANTED BETWEEN TRACTS D-1, D-2, S-1, & S-2. FUTURE SUBDIVISIONS MAY FURTHER DEFINE THESE PUBLIC CROSS ACCESS EASEMENTS. THESE PUBLIC CROSS ACCESS EASEMENTS ARE FOR THE BENEFIT OF ALL TRACTS CREATED BY THIS PLAT AND ARE TO BE MAINTAINED BY EACH RESPECTIVE OWNER.

THIS IS TO CERTIFY THAT THE SAID ARE CURRENT AND
PAID ON UPC # 1000-2004-30144
PROPERTY OWNER OF RECORD

Ranch Joint Venture, City of Albuquerque
Bernalillo County Treasurer's Office
Catherine K... 12/21/2004

LEGAL DESCRIPTION

TRACTS D&S OF THE BULK LANDS PLAT OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS FILED IN THE OFFICE OF BERNALILLO COUNTY CLERK IN BOOK 2002C, PAGE 228, AND DATED 07/10/2002

OWNERS FREE CONSENT AND DEDICATION

THE SUBMISSION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND/OR PROPRIETORS THEREOF AND SAID OWNERS AND/OR PROPRIETORS DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE, EASEMENTS FOR PUBLIC STREET RIGHT-OF-WAY, ACCESS, DRAINAGE, AND UTILITIES AS INDICATED HEREIN, INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN, FURTHER, SAID OWNERS AND/OR PROPRIETORS DO HEREBY GRANT OTHER PRIVATE EASEMENTS AS SHOWN AND INDICATED.

OWNER TRACT S, CITY OF ALBUQUERQUE A MUNICIPAL CORPORATION.

James Lewis
CHIEF ADMINISTRATIVE OFFICER
CITY OF ALBUQUERQUE

STATE OF NEW MEXICO SS)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON Oct 23, 2004 BY JAMES LEWIS AS CHIEF ADMINISTRATIVE OFFICER OF THE CITY OF ALBUQUERQUE, NEW MEXICO, A MUNICIPAL CORPORATION, ON BEHALF OF SAID CORPORATION.

Rene Carrone
NOTARY PUBLIC
[MY COMMISSION EXPIRES: 11/5/2006]

OWNER TRACT D, RANCH JOINT VENTURE, L.L.P., A NEW MEXICO LIMITED LIABILITY PARTNERSHIP

BY: B-R RANCH MANAGEMENT II PARTNERS, L.P., A TEXAS LIMITED PARTNERSHIP,
MANAGING PARTNER ITS GENERAL PARTNER

BY: TOWNEST, LLC, A DELAWARE LIMITED LIABILITY COMPANY,
ITS GENERAL PARTNER

W.L. Rogers
WILLIAM L. ROGERS, PRESIDENT

Gayle Cook
NOTARY PUBLIC
[MY COMMISSION EXPIRES: 1/30/05]



NOTICE OF SUBDIVISION PLAT CONDITION

"NOTICE OF SUBDIVISION PLAT CONDITIONS" AEROSPACE TECHNOLOGY PARK THE PLAT OF AEROSPACE TECHNOLOGY PARK, TRACTS D AND S OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS, HAS BEEN GRANTED A WAIVER OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS PURSUANT TO SECTION 14-14-6-1 OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONSIDERED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRASSING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY AND AMAFCA (WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY, FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND, EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

Santiago Romero Jr. & ASSOC
Santiago Romero Jr. and Associates, Inc.
10000 1st Street, N.E. Suite 200
Albuquerque, New Mexico 87112
505-263-8110

**BULK LAND PLAT
FOR
AEROSPACE TECHNOLOGY PARK
TRACTS D AND S OF DOUBLE EAGLE II
AIRPORT AND ADJACENT LANDS
WITHIN
SECTION 36, TOWNSHIP 11 NORTH, RANGE 1 EAST
AND
SECTION 3, TOWNSHIP 10 NORTH, RANGE 1 EAST
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER 2004**

Pray 1003125
APPROVED AND ACCEPTED BY

James Matson
PLANNING DIRECTOR, CITY OF ALBUQUERQUE
12/08/04
DATE

John S...
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT
12-8-04
DATE

Christina Sandoral
PARKS AND RECREATION DEPARTMENT
12/8/04
DATE

Lead 9. Hunt
PUBLIC SERVICE COMPANY
12-21-04
DATE

Dave R. Muller
QUEST COMMUNICATIONS, INC.
12-21-04
DATE

Lead 9. Hunt
GAS COMPANY
12-21-04
DATE

M.B. Hunt
CITY SURVEYOR, ENGINEERING DIVISION
11-9-04
DATE

N/A Sam
CITY REAL PROPERTY
12/08/04
DATE

Rogel...
UTILITY DEVELOPMENT DEPARTMENT
12-8-04
DATE

Bradley S. Bingham
ALBUQUERQUE METROPOLITAN APPROVE-LOOD CONTROL AUTHORITY
12/8/04
DATE

Bradley S. Bingham
CITY ENGINEER, ENGINEERING DIVISION
12/8/04
DATE

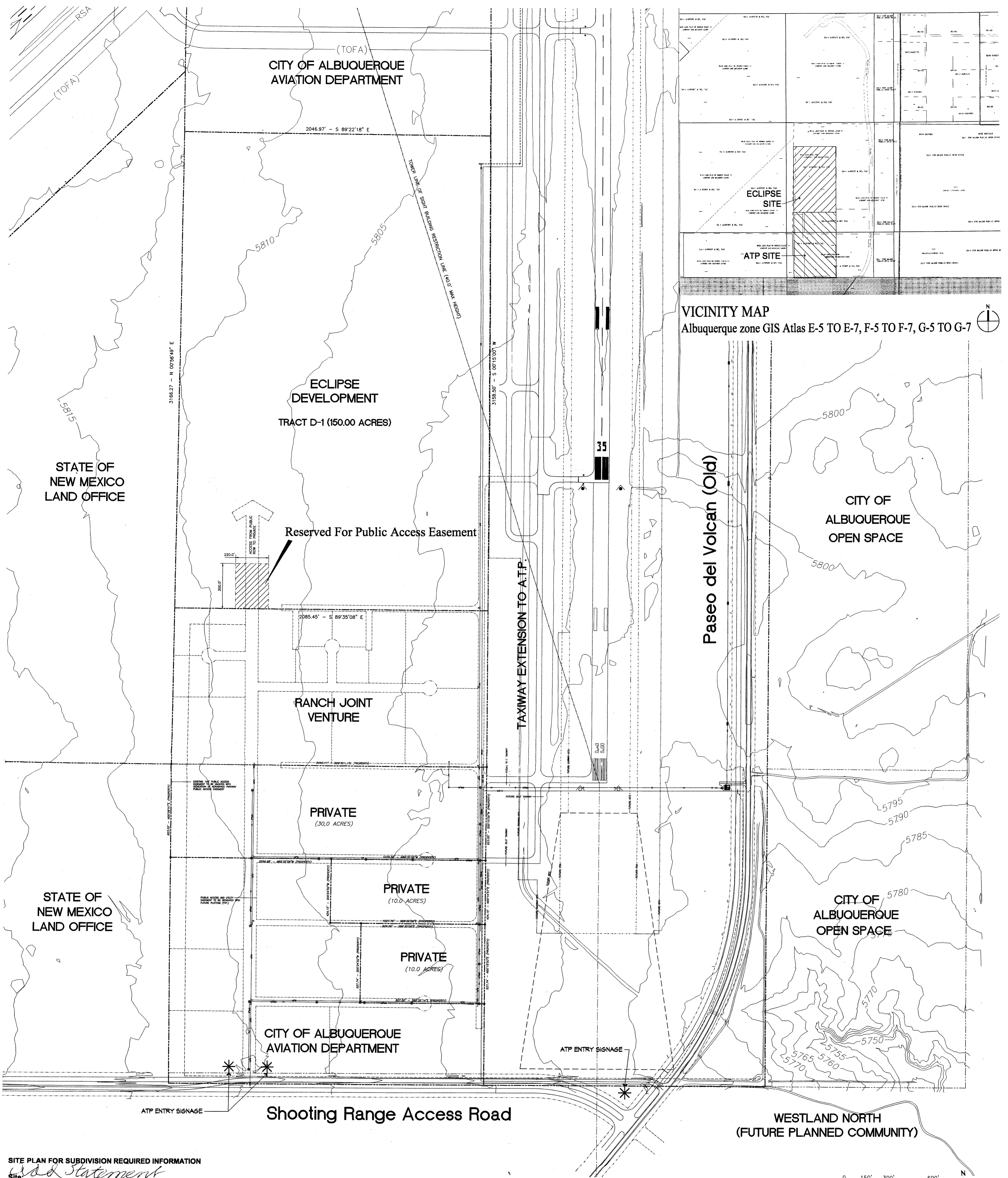


CERTIFICATE OF SURVEY

I, SANTIAGO ROMERO JR., NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR NO. 7924, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY SUPERVISION FROM ACTUAL FIELD SURVEYS PERFORMED SEPTEMBER 2004 AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS IN THE COMPLIANCE WITH THE ALBUQUERQUE SUBDIVISION ORDINANCE.

Santiago Romero Jr. U.S. NO. 7924
Oct. 6, 2004
DATE





SITE PLAN FOR SUBDIVISION REQUIRED INFORMATION

Statement
 Site: Approximately 150 acres, zoned SU-1 for Airport and Related Facilities.

Proposed Use: Airport Related Industrial, Office, Retail, Warehousing, and Manufacturing (See Permissive Uses) with the approval process as follows:

In accordance with the City Council Designation of Double Eagle II as a "Certified Site" and with the provision of the Design Standards included in this Site Plan for Subdivision, future Site Development Plans for Building Permit shall be delegated to Building and Safety division and shall not require a public hearing provided they are consistent with this Site Plan for Subdivision and Design Standards.

Pedestrian and Vehicular Ingress and Egress:

Access: The primary access to the Eclipse Aviation Campus (EAC) is from Aerospace Parkway located in the Aerospace Technology Park (ATP) property. Access to Aerospace Parkway, via the Shooting Range Access Road (the southern boundary of the ATP), is from Paseo del Volcan (old), which is identified as a Minor Arterial on MRCOG's roadway Functional Classification Map. Paseo del Volcan provides access south to Interstate 40 and north to Paseo del Norte.

Roadways: Aerospace Parkway is an 86-foot right-of-way with a 42-foot public street. Access into the Eclipse Aviation Campus development areas shall be from Aerospace Parkway. This entry functions as the primary utility corridor and will accommodate water, sewer, and storm drains. The northern terminus of Aerospace Parkway shall serve as the entrance to the internal private roadways of Eclipse Aviation's Campus. Where gated access is provided, provisions for security and public turn-around space will be provided.

Pedestrian Access: Direct pedestrian access to the Eclipse Aviation Campus will be provided from the northern terminus of Aerospace Parkway, where pedestrian facilities are located on both sides of the road.

Internal Circulation: In addition to the primary vehicular and pedestrian circulation system, the Eclipse Aviation Campus is designed to accommodate access to a secondary circulation network of private roadways for service and deliveries from sites within the ATP. A private taxiway network connects to the Double Eagle II Airport Taxiway system. This circulation system design is without conflict with any roadway.

Maximum Building Height: Maximum building height shall be pursuant to the City of Albuquerque Industrial Park (IP) Zone and Federal Aviation Administration regulations.

Minimum Building Setback: 50-feet from Aerospace Parkway; 25-feet from the property line of adjoining properties; and 36-feet from the taxiway or service/delivery pavement.

Maximum Floor Area Ratio: .30.

Landscape Plan:

The landscape design will reinforce the identity of the Eclipse Aviation Campus. The landscape plan will place special emphasis on the main entry to the property, public building entrances and circulation areas, and private recreation and gathering spaces (see Design Standards for more specific information related to site and landscape design).

PROJECT NUMBER: _____

Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commissions (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

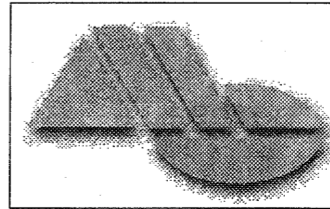
Is an infrastructure List required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

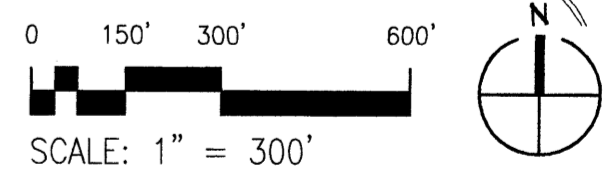
Traffic Engineering, Transportation Division	Date _____
Water Utility Department	Date _____
Parks and Recreation Department	Date _____
City Engineer	Date _____
*Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
DRB Chairperson, Planning Department	Date _____

*Environmental Health, if necessary

2701 MILES RD SE
 ALBUQUERQUE, NM 87106
 TEL: 505.242-6700
 FAX: 505.242-0673



MOLZEN-CORBIN & Associates
 ENGINEERS/ARCHITECTS/PLANNERS

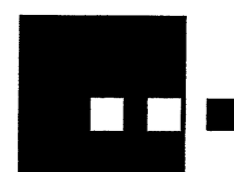


**Site Plan for Subdivision
 Eclipse Aviation
 Campus**

Prepared for:
 Eclipse Aviation Campus

SPS
**PRELIMINARY PLAN
 APPROVED BY DRB
 ON 4/5/06**

Prepared by:
 Dekker/Perich/Sabatini
 Corbin & Associates



Dekker/Perich/Sabatini
 architecture • interiors • planning • engineering

1. FRAMEWORK

In order to implement the City's Economic Development Goals, it is crucial that this project include an expedited approval process for specific development projects. In accordance with the City Council designation of Double Eagle II as a "Certified Site" and with the provision of the Design Standards included in this Site Plan for Subdivision, future Site Development Plans for Building Permit shall be delegated to Administrative Review and shall not require a public hearing provided they are consistent with this Site Plan for Subdivision and Design Standards.

2. PERMISSIVE USES

A. SU-1 FOR AIRPORT AND RELATED USES

This zone provides suitable sites for a wide range of industrial and commercial uses, provided such uses are conducted in a compatible and harmonious manner within the Aerospace Technology Park at Double Eagle II Airport achieved through a Site Development Plan for Subdivision

PERMISSIVE USES.

- 1) Air separation plant for nitrogen, oxygen and argon only.
- 2) Aircraft sales and service, aircraft storage, and aircraft manufacturing*.
- 3) Bottling plant.
- 4) Cold storage plant.
- 5) Golf driving range.
- 6) Laboratory experimental, testing, or medical, provided all activities are conducted within a completely enclosed building. Noxious fumes, odor, or dust shall not be emitted from the premises.
- 7) Machine Shop.
- 8) Manufacturing, assembling, treating, repairing, or rebuilding articles.
- 9) Metal processing and painting provided it is conducted within a completely enclosed building.
- 10) Office.
- 11) Office machine equipment sales and repairs.
- 12) One dwelling per premises for a watchman or caretaker on the same premises with commercial or industrial use.
- 13) Printing, publishing, lithographing, blueprinting, or photostating.
- 14) Public utility use or structure and fire stations.
- 15) Restaurant.
- 15) Retail sales of the following goods, plus incidental retailing of related goods and incidental service or repair:
 - a) Books, magazines, newspapers, except adult bookstore.
 - b) Cosmetics, notions, gifts.
 - c) Drugs, medical supplies.
 - d) Flowers and plants.
 - e) Food and drink, for consumption on premises.
 - f) Gasoline, oil, liquefied petroleum gas*.
- 16) Sales & display rooms or buildings for wholesalers, distributors, warehouses, or manufacturers agents, including accessory stock, storage & warehouse space.
- 17) Services:
 - a) Automobile repairing, but no bodywork; repairing shall be done within a completely enclosed building at least 20 feet from any residential zone.
 - b) Banking, loaning money, including pawn. Drive-in facilities permitted on the condition the vehicle movement plan is approved by the City Traffic Engineer.
 - c) Barber, beauty.
 - d) Car wash.
 - e) Clinic.
 - f) Day care center.
 - g) Dry cleaning, laundry, clothes pressing.
 - h) Florist
 - i) Health gymnasium.
 - j) Hotel or motel, including incidental uses.
 - k) Photography, except adult photo studio.
 - 18) School, commercial trade/training facility
 - 19) Signs on-premises as provided in § 14-16-3-5 of the City Comprehensive Zoning Code, and as regulated by the Design Standards included as part of the Site Plan for Subdivision.
 - 20) Sheet metalworking.
 - 21) Storage Structure or yard for equipment, material or activity incidental to a specific construction project, provided it is temporary.
 - 22) Swimming pool.
 - 23) Wireless Telecommunications as provided in § Part 3 14-16-3-17 City Comprehensive Zoning Code.
 - 24) Tool and Dye making.
 - 25) Transfer or storage of household goods, including storage locker
 - 26) Welding.
 - 27) Wrought iron fabrication.
 - 28) Warehouse, self-storage.
 - 29) Wind Farm energy-generating facility.
 - 30) Wholesaling.

*Uses that compete with the activities of the existing Fixed Base Operators (FBO's) at Double Eagle II Airport, shall not be permitted to be accessible to the general public. these uses may include: dispensing of aviation fuels and lubricants; ground services and support; tiedown, hangar and parking; aircraft maintenance; aircraft rental; flight training; and aircraft charter and air taxi. These uses will be permitted on the Eclipse Aviation campus as services ancillary to their primary business (i.e. Eclipse Aviation will most likely have fueling capabilities, aircraft maintenance, hanger space, and flight training which will be provided to Eclipse customers, in conjunction with their primary business of manufacturing and selling airplanes).

3. DESIGN STANDARDS

A. INTRODUCTION

These Design Standards are established to provide planners and designers with a design framework to accomplish the following:

- Create an attractive built environment that promotes the unique corporate identity of Eclipse Aviation and supports opportunities for Industrial Airpark activities.
- Define a common image for architectural and landscape design, while still providing a broad palette for unique innovation.
- Enable efficient development of quality temporary** and permanent campus facilities necessary for the successful operation of Eclipse Aviation.

** Temporary facilities are buildings and site facilities (including parking lots) that are meant to be used for a period not-to-exceed five (5) years, and that are not subject to Eclipse Aviation Design Guidelines. After five (5) years, temporary buildings and facilities must be removed or improved to meet Eclipse Aviation Campus Design Guidelines.

B. PARKING

The intent of the standards for the development of parking areas is to: mitigate heat/glare through the provision of landscaping; minimize the visual impact of parking areas; and provide accessible, safe circulation within and adjacent to the parking areas.

- Parking space dimensions shall be per the City of Albuquerque's Comprehensive Zoning Code and Development Process Manual.
- Parking space quantity standards will be appropriate to proposed use.
- Large parking areas shall be subdivided with landscaping and pedestrian circulation corridors.
- Parking areas may be enlarged and/or reduced in order to accommodate shift schedules.
- Clear pedestrian connections shall be provided through parking areas.
- ADA-compliant parking shall be located adjacent to main building entries.
- Alternate paving materials are permitted for both vehicular and pedestrian zones.
- Landscape areas shall be distributed throughout parking areas and shall be designed to reinforce the overall landscape design concept for the EAC.
- City area requirements for parking lot landscaping shall apply.
- Parking shall be screened from contiguous public streets. Screening may include earth berms, perimeter or retaining walls, landscaping, or buildings.
- Car/vanpool preferred parking shall be provided near building entrances and shall be clearly demarcated.
- Temporary parking areas are not subject to EAC design guidelines and shall be allowed for a period of 5 years. After year 5, temporary facilities must be removed or improved to meet EAC guidelines.
- All temporary parking areas must be designated to avoid parking in natural or native areas. These areas will require clearing of vegetation, perimeter demarcation and surface dust control.

C. BICYCLE FACILITIES

The intent of these Design Guidelines is to support alternative modes of transportation on and around the Eclipse Aviation Campus.

- Bicycle parking for employees shall be provided to promote alternative vehicle use. Due to the EAC's remote location, one bicycle rack space per 50 parking spaces is required, and shall be conveniently located near buildings.
- Covered and secured bicycle storage for 10 percent of the required bicycle parking shall be provided.
- A convenient shower facility available to bicyclists and other employees shall be provided.

D. SITE AND LANDSCAPE

The landscape environment serves to enhance the visual dynamic of the development and aid in reinforcing the identity of Eclipse Aviation. The primary focus for site landscape shall be the main entry to the property, public entrances to buildings and public circulation areas, and private recreation and gathering spaces. Vegetation is discouraged along the aviation side of development, including apron areas and land adjacent to the taxilane.

The plant palette for the Eclipse Aviation Campus will provide for year-round color and interest, and reflect the natural beauty of New Mexico. The landscape design and complementary site elements, which may include paving, street furniture, lighting, bollards, and environmental graphics, shall be used to reinforce the EAC identity. A clear theme and image for the EAC will be established through the use of these materials.

- All landscape plans shall comply with the City's Water Conservation Landscaping and Water Waste Ordinance and Pollen Ordinance.
- Water harvesting techniques are encouraged.
- A minimum of 15 percent of the developed site area (minus building square footage) shall be devoted to landscape materials.
- Future development areas within a site shall be maintained in their natural condition. If these areas are disturbed, they shall be re-vegetated with native seed mix appropriate for this region.
- Tree planting and/or the use of high albedo paving shall be utilized to reduce heat absorption in developed areas of the site.
- Live plant materials shall cover a minimum of 75 percent of the total required landscaped area.
- Gravel mulch, cobble, and similar materials are acceptable as a top dressing for landscape areas, however, they are not to be considered a focal landscape element.
- An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying onto walks, buildings, fences, etc.
- All plant material shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds.
- Plant material sizes at the time of installation shall be determined based on availability and species. Large material sizes shall be encouraged in highly visible locations, when available, and where species are known to have good success rates in this region when transplanted in larger sizes.

E. SITE PLANNING

The intent of the following guidelines is to create a pedestrian-friendly, functional environment for employees and visitors.

- All temporary buildings in public areas and visible from public areas shall be similar to permanent buildings in relation to color, material, site planning and design.
- Organization of the Eclipse Aviation Campus will be based on appropriate adjacencies and principles of campus design.
- EAC facilities shall be connected by a hierarchical network of vehicular and pedestrian circulation corridors.
- EAC facilities shall be oriented on circulation corridors, open spaces or the runway.
- Perimeter walls, if provided, shall comply with the intent of the City's Design Manual for Subdivision Access and Perimeter Walls. Chain-link is allowed for airport security fencing purposes as well as where out of public view. The use of razor or barbed wire, wood fencing, or plastic vinyl fencing is not permitted unless required by airport regulations.
- Alternate paving materials are permitted for both vehicular and pedestrian zones.
- Accessible routes shall be provided between buildings, and between buildings and accessible parking.

F. SETBACKS

The use of building and parking area setbacks is required to provide vspace for the creation of visually attractive streetscapes and provide a safe and compatible environment for aircraft, service vehicles, and pedestrians throughout the EAC. Required within these setbacks will be pedestrian walkways, screening devices, and landscape improvements.

- Buildings shall be located according to the following minimum setback dimensions:
 - 50 feet from the right-of-way line at terminus of Aerospace Parkway
 - 25 feet from the property line of other adjacent properties
 - 36 feet from existing taxi lane pavement
 - Not closer to the airfield than the Building Restriction Line as shown on the Airport Layout Plan, 2003
 - Maintain clear line of site from air traffic control tower controller positions to airfield pavements on the airfield

- Parking areas shall be setback as follows:
 - 25 feet from the right-of-way line of Aerospace Parkway
 - 10 feet from the property line of other adjacent properties

G. ARCHITECTURE

In general, all buildings shall comply with the current City of Albuquerque Zoning Code. However, in cases where the EAC requirements exceed the Zoning Code, the EAC standards will govern. The focus of these architectural standards and guidelines is for the permanent campus facilities.

Development Densities

ATP Park is currently master-planned for an overall Floor Area Ratio (F.A.R.) of .30. EAC shall not exceed an overall (F.A.R.) of .30.

Building Heights

- Building height limits will be enforced in accordance with the City of Albuquerque Zoning Code for the Industrial Park (I-P) Zone and Federal Aviation Administration regulations.
- The Federal Aviation Administration (FAA) limits building and signage heights to below Federal Aviation Regulation (FAR) Part 77, Objects Affecting Navigable Airspace, surfaces including a 7:1 (horizontal to vertical from a distance 250 ft. from runway centerline) Transitional Surface and the Horizontal Surface located 150 ft. above airport elevation. Additionally, FAA FAR Part 77 states that any structure penetrating the plane created by a 100:1 sloped surface beginning at the nearest point or the nearest runway must be airspaced by FAA in accordance with Part 77. Notification is required by completing and submitting SF 7460, Notice of Proposed Construction of Alteration, to the FAA for review and airspacing.

Building Entrances

- The major entry to each building should face the primary circulation corridors that defined by a campus environment.
- Entries shall be clearly defined and connect to pedestrian linkages.

Service/Loading Areas

It is assumed that most, if not all, buildings in the EAC will have a service and/or a loading area. All service functions, with the exception of airplanes viewed from taxilanes, shall be screened from public view. This includes but is not limited to; exterior refuse facilities, mechanical equipment, storage yards, and loading docks. Screens should be compatible with the overall building design of Eclipse Aviation Campus.

Aviation Storage and Parking Areas

- The EAC facilities located adjacent to the airpark taxilane system or service corridors are assumed to support aviation related activities, which may require the outside storage of aircraft on-site.

Context

- New permanent buildings should be designed to harmonize with other Eclipse Aviation Campus buildings.

Building Design

- Buildings should convey an image appropriate to a state-of-the-art corporate industrial aviation-manufacturing environment, and celebrate the industrial scale and creative nature of aviation related activities.

- Building design integrated with site planning will create pedestrian friendly areas on campus and encourage a unique relationship for the pedestrian to the industrial scale.

- Special attention shall be given to the articulation of aircraft hanger facilities through use of color, materials, or building offsets. Metal structures are acceptable, however, they must visually tie to other building elements, such as the front office, storage areas, etc.

Equipment

- All roof top equipment and appurtenances shall be integrated into architectural design of the facility.
- All ground-mounted equipment shall be architecturally screened and enclosed with the top of the equipment below the top of the screen. This includes, but is not limited to: water backflow preventers, gas meters, electric meters, exposed conduit, cabling, and wiring.

Portable/Temporary Buildings.

- Generally temporary buildings will have restricted access from public pedestrian traffic circulation and will be designed for employee pedestrian circulation.
- All portable buildings, both temporary and permanent must be screened from the public street entry (Aerospace Parkway) to EAC property.
- Permanent portable and temporary buildings must be compatible with Architecture of campus buildings and with materials and colors of EAC guidelines.
- Temporary buildings are not subject to EAC guidelines and shall be allowed for a period of 5 year. After year 5, temporary facilities must be removed or improved to meet EAC guidelines.

Materials and Colors

Building materials and colors shall reflect the location, character and identity of EAC. Acceptable materials include stucco, concrete (sand blasted or finished surface) stone, masonry, glass curtain wall, glass block, brick, exterior ceramic, metal and EIFS.

- The use of accent colors and materials is encouraged to bring out detailing to better articulate or give scale to a building.

Sustainability

- Green architectural design is encouraged. The EAC promotes the use of sustainable design principles, environmentally-responsible building concepts, and earth-friendly products. EAC supports the use of solar photovoltaic, wind turbines, and other alternative energy production facilities on site.

Plan Arrangement Opportunities

- Open courtyard designs may be employed to form transitions between parking areas and buildings.

H. LIGHTING

A consistent lighting theme for common areas of the EAC will contribute significantly to the EAC's overall aesthetic character. Safety and security are primary design considerations.

- All light fixtures including streetlights, parking area, walkways and entry shall not exceed a maximum height of 30 feet.
- Lighting shall be fully shielded so that no fugitive light may escape beyond the property line.
- Lighting shall not impinge upon airfield sight planes. Lighting shall not be directed at Double Eagle II aircraft movement areas, runway approaches, or aviation towers.
- Controlled, directional lighting should be used to highlight public spaces and walkways.
- The pattern of light pooling from each fixture shall avoid glare or reflection on adjacent properties, buildings, or roadways.
- Exterior lighting fixtures should relate stylistically to the architecture theme of the EAC.
- All fixtures and design shall comply with the New Mexico Night Sky Protection Act and City of Albuquerque Zoning Code, §14-16-3-9 Area Lighting Regulations.

I. SCREENING/BUFFERING

- Refuse enclosures shall be fully screened from pedestrians or motorists. Screening shall be compatible with materials and design of the campus.
- Walls or landscaped berms 2½ to 3 feet in height may be provided to screen parking areas adjacent to the EAC property entry. Walls, if used, shall be designed to integrate with materials and design of campus.

J. STREET DESIGN

Aerospace Parkway serves as the entry to EAC, the public street terminates at the entrance to EAC property.

K. SIGNAGE

- EAC developer shall provide entry monument signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be located on the EAC property.
- Entry monument signs shall be a maximum of 20 feet in height and 300 square feet in sign face.
- Directional signs may be provided, at the discretion of the EAC Developer throughout the EAC to direct visitors and delivery services.
- The Eclipse Aviation Campus, this site shall be permitted to have two entry signs not to exceed 20 feet in height and 300 SF of sign face.

L. TAXILANE/AVIATION AREAS

Aircraft circulation throughout the EAC shall be developed to minimize interaction with vehicular traffic. Taxilane guidelines are based on an average tailing speed of at least 20 mph and wingspan and wingtip clearance. Taxilane access must have a minimum right-of-way width of 150 feet with a minimum paved surface area 50 feet in width.

- Taxilane Shoulders must be either stabilized or paved to reduce possibility of blast erosion and engine ingestion problems.
- Minimum separation between centerline of taxilane to structure (parked aircraft, structure, etc.) is 0.70 times the wingspan of the most demanding airplane, plus 10 feet. Setback standards have been designed to accommodate all Type I and II aircraft.

Taxilane Design Standards

Airplane Design Group	Taxilane Width	Taxilane Object Free Area	Width	Wing Span (w)
125 ft.	79 ft.	10 ft.	w < 49 ft.	1135 ft.
115 ft.	10 ft.	115 ft.	115 ft.	115 ft.
149 ft.	<= w	79 ft.	1150 ft.	162 ft.
120 ft.	79 ft.	<= w	118 ft.	1175 ft.
225 ft.	25 ft.	118 ft.	<= w	171 ft.

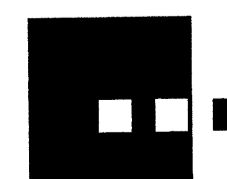
M. WIRELESS TELECOMMUNICATIONS FACILITIES

Wireless telecommunications facilities are allowed within the EAC, with approval by the FAA and the City Aviation Department.

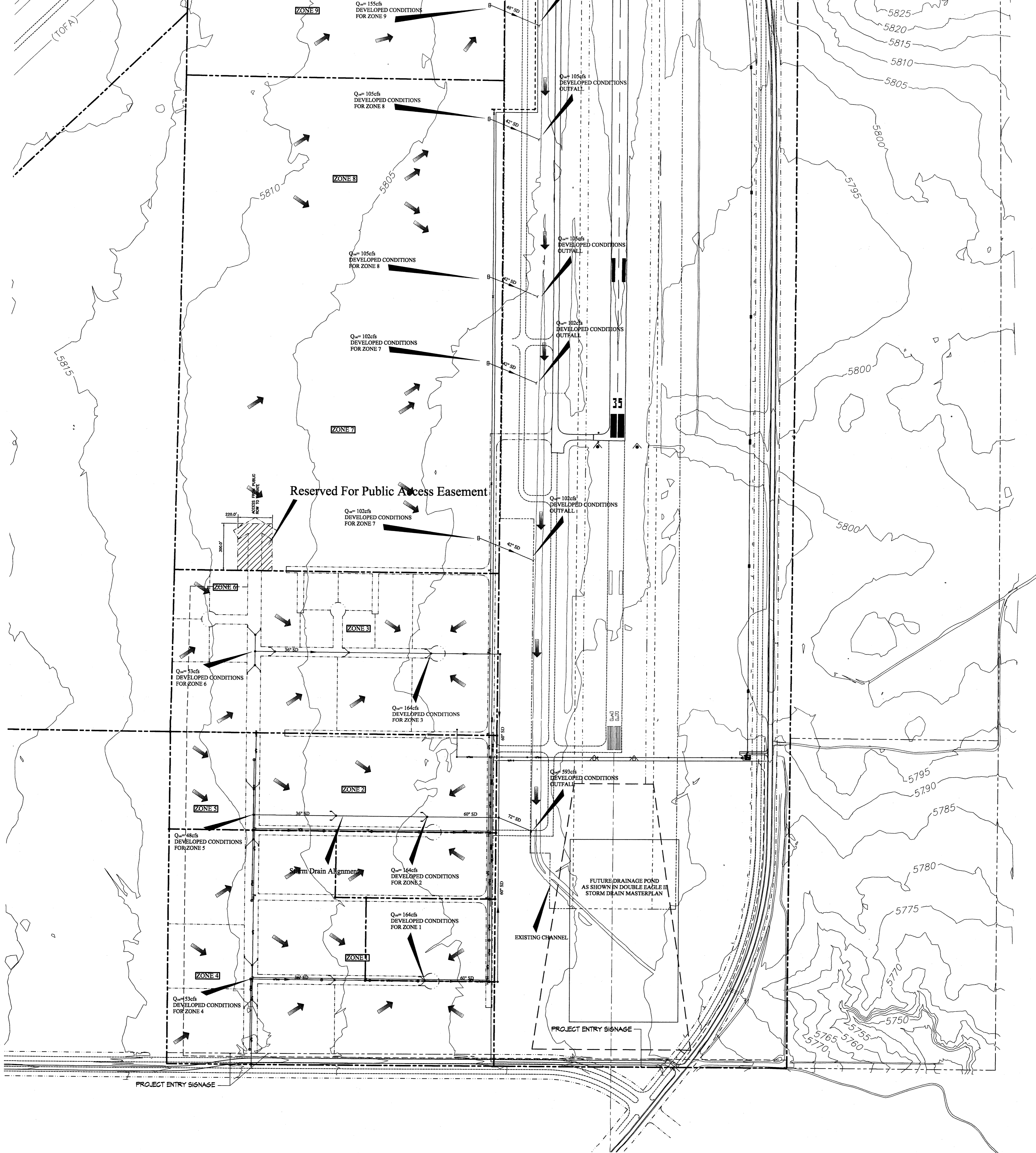
Eclipse Aviation Campus

Prepared for:
Eclipse Aviation Campus

Prepared by:
Dekker/Perich/Sabatini
Molzen-Corbin & Associates

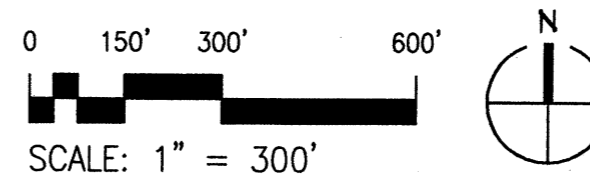


Dekker/Perich/Sabatini
architecture • interiors • planning • engineering



LEGEND

- PROPOSED STORM DRAIN
- - - ZONE BASIN BOUNDARIES
- FLOW DIRECTION
- EXISTING CONTOURS

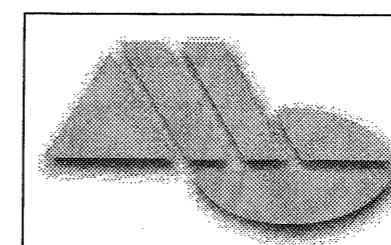


Grading and Drainage Eclipse Aviation Campus

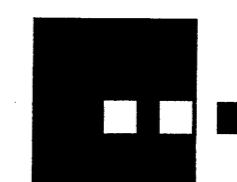
Prepared for:
Eclipse Aviation Campus

Prepared by:
Dekker/Perich/Sabatini
Molzen-Corbin & Associates

2701 MILES RD SE
ALBUQUERQUE, NM 87106
TEL: 505.242-5700
FAX: 505.242-0673

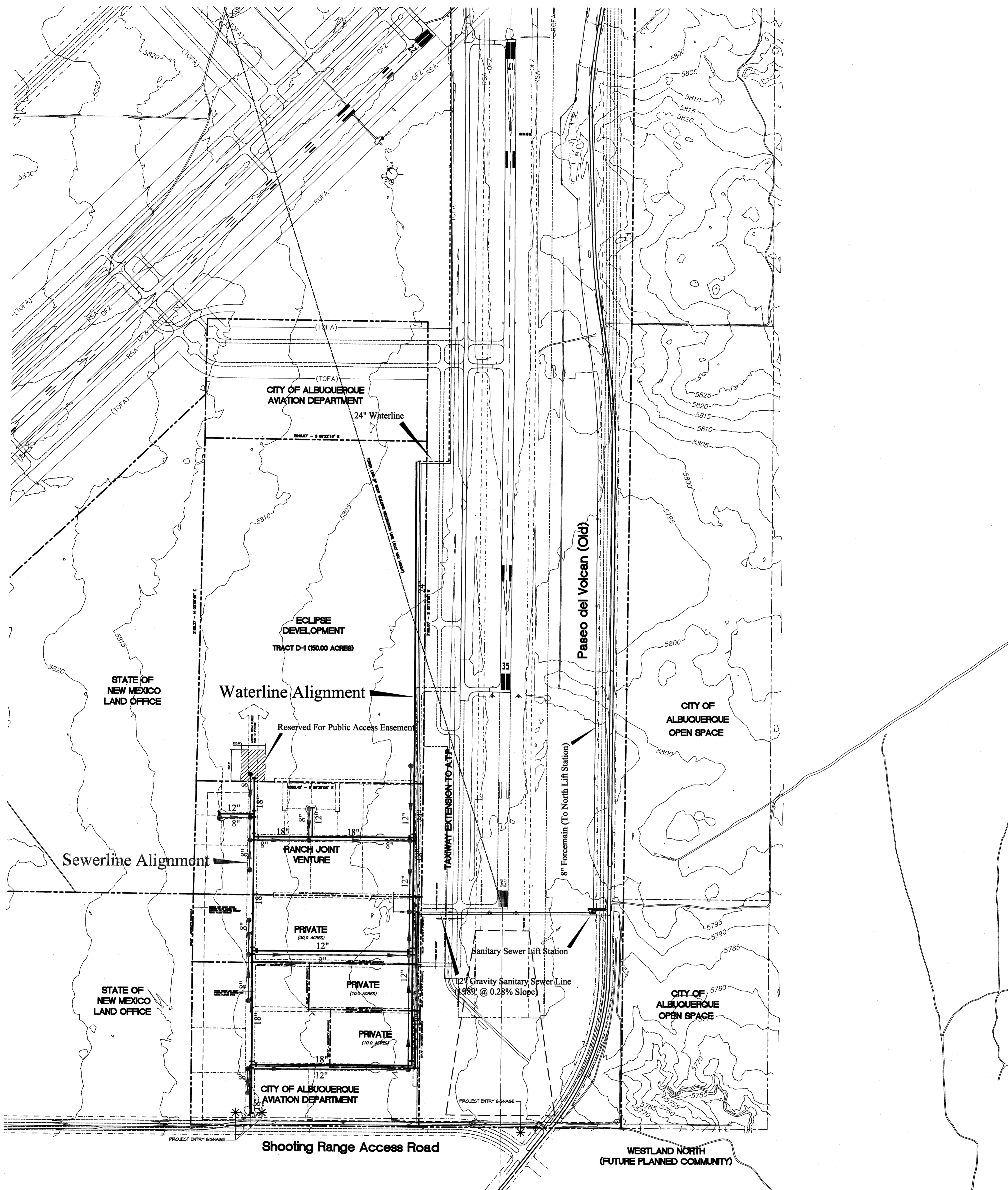


MOLZEN-CORBIN
& Associates
ENGINEERS/ARCHITECTS/PLANNERS

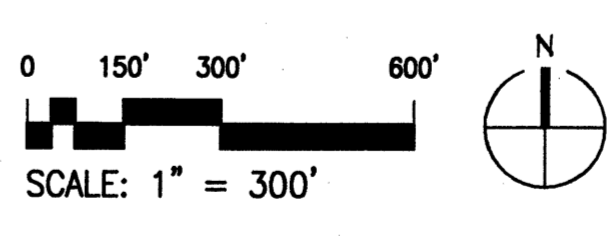


Dekker/Perich/Sabatini
architecture • interiors • planning • engineering

Sheet 3 of 4
March 28, 2006



Legend
 8" Proposed Sanitary Sewer Line
 12" Proposed Waterline



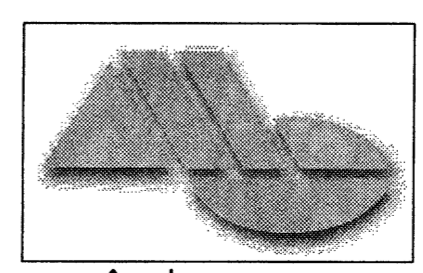
Conceptual Utility Plan Alignment

Eclipse Aviation Campus

Prepared for:
Eclipse Aviation Campus

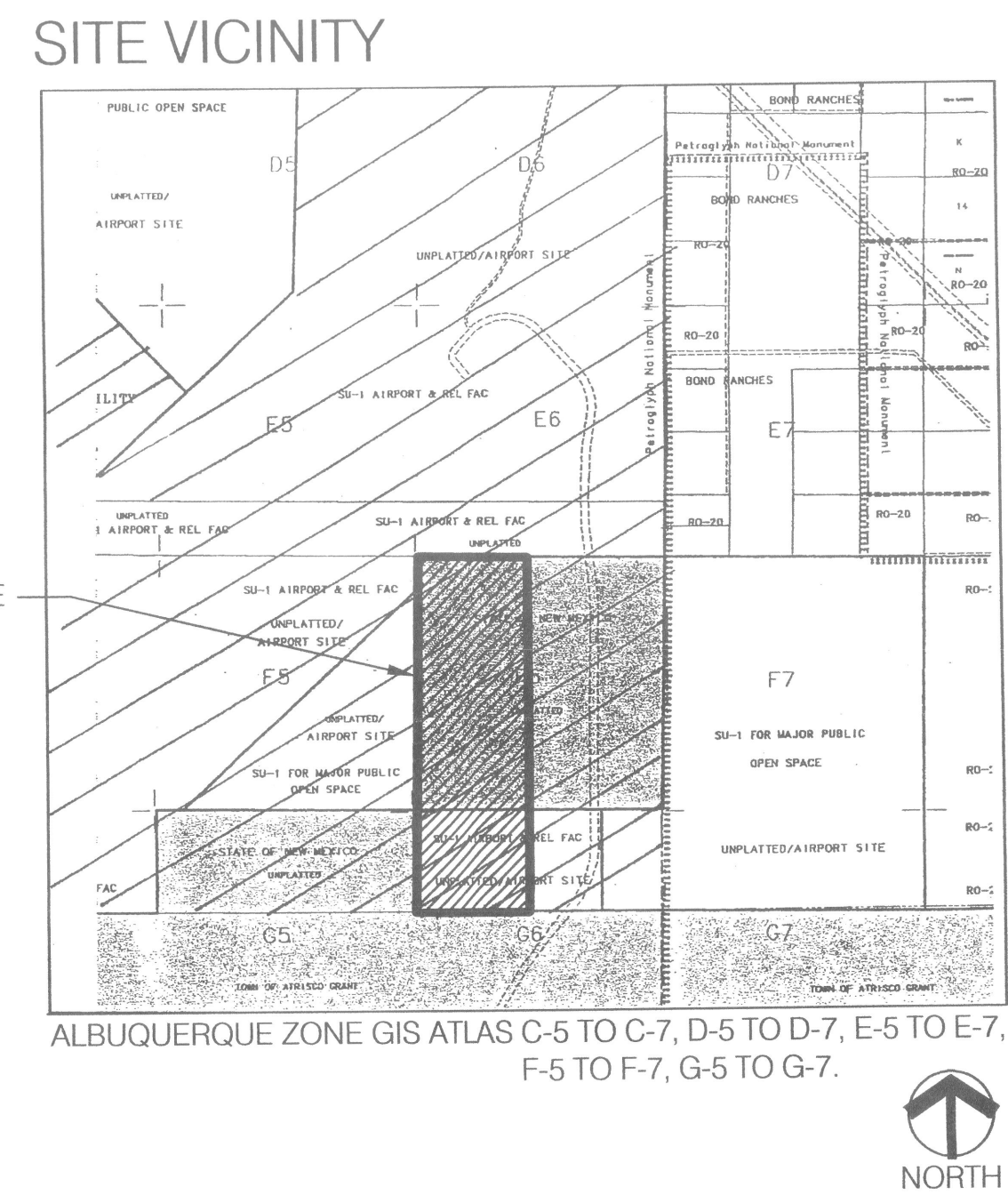
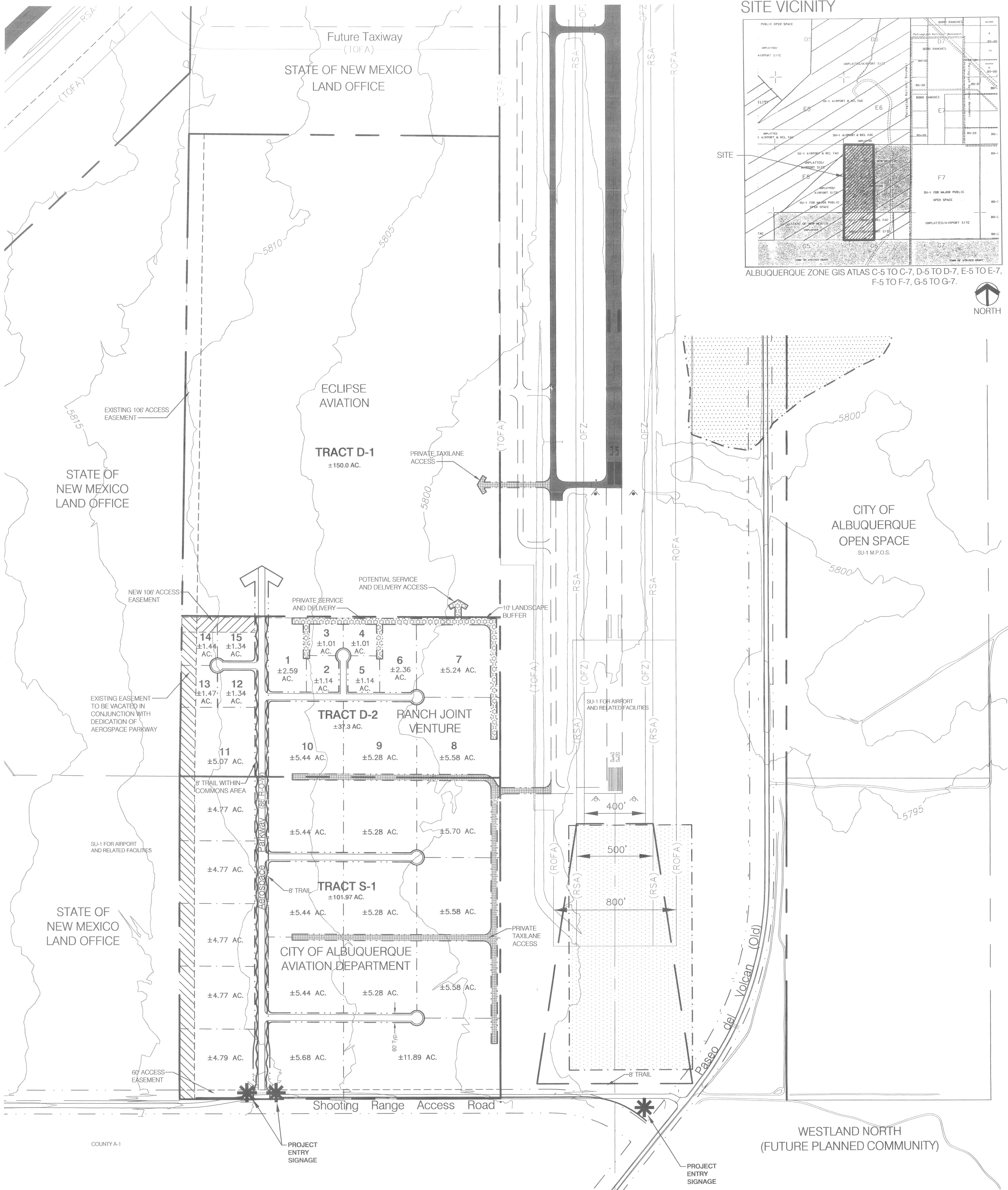
Prepared by:
Dekker/Perich/Sabatini
Molzen-Corbin & Associates

2701 MILES RD SE
 ALBUQUERQUE, NM 87106
 TEL: 505.242-5700
 FAX: 505.242-0673



MOLZEN-CORBIN & Associates
 ENGINEERS/ARCHITECTS/PLANNERS

Sheet 4 of 4
 March 28, 2006
Dekker/Perich/Sabatini
 architecture • interiors • planning • engineering



SITE PLAN FOR SUBDIVISION REQUIRED INFORMATION

Site: Approximately 300 acres, zoned SU-1 for Airport and Related Facilities

Proposed Use: Airport Related Industrial, Office, Retail, Warehousing, and Manufacturing (See Permissive Uses, Sheet 2) with the approval process as follows:

In accordance with the City Council Designation of Double Eagle II as a "Certified Site" and with the provision of the Design Standards included in this Site Plan for Subdivision, future Site Development Plans for Building Permit shall be delegated to Development Review Board (DRB) and shall not require a public hearing provided they are consistent with this Site Plan for Subdivision and Design Standards.

Pedestrian and Vehicular Ingress and Egress:

Access: The primary access to the Aerospace Technology Park (ATP) is from Paseo del Volcan (old), which is identified as a Minor Arterial on MRCOG's Roadway Functional Classification Map. Paseo del Volcan provides access south to Interstate 40 and north to Paseo del Norte. Access to the ATP is from Paseo del Volcan via the Shooting Range Access Road (the southern boundary of the ATP), and north via Aerospace Parkway.

Roadways: It is anticipated that Aerospace Parkway will be an 86-foot right-of-way (to be dedicated with future platting). It is further anticipated that access into specific development areas will be from a series of cul-de-sac streets with 60-foot rights-of-way. Specific right-of-way width for Aerospace Parkway and the cul-de-sacs shall be determined before final approval at the Development Review Board. The cul-de-sac streets also function as the primary utility corridors and will accommodate water, sewer, and storm drains.

Pedestrian Access: Access shall be accommodated through the development of 8-foot trails along the north side of Shooting Range Access Road and on both sides of Aerospace Parkway. An additional 10-foot of trail and landscape easement shall be provided in order to allow the trail to meander and maintain a minimum setback of 6-feet from the roadway. The cul-de-sac streets will be developed with City standard sidewalks on both sides.

Internal Circulation: In addition to the primary vehicular and pedestrian circulation system, the ATP is designed to accommodate a secondary circulation network for service and delivery directly from sites to Eclipse Aviation and a private taxiway network connecting to the Double Eagle II Airport Taxiway system. Both of these have been designed without conflict with the roadways.

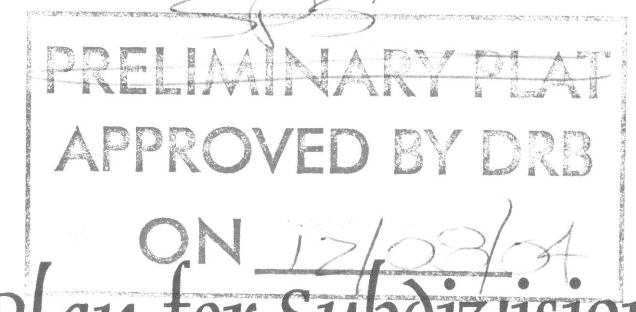
Minimum Building Height: Maximum building height shall be pursuant to the City IP Zone and Federal Aviation Administration regulations.

Minimum Building Setback: 50-feet from Aerospace Parkway; 35-feet from secondary, cul-de-sac streets; 25-feet from the property line of adjoining properties; and 36-feet from the taxiway or service/delivery pavement.

Maximum Floor Area Ratio: .30

Landscape Plan: The landscape emphasis shall be on Aerospace Parkway and the public areas of the ATP (See Design Standards, Sheet 2 for more specific Standards).

NOTE: Lot Lines shown on this Site Plan for Subdivision are illustrative, and shall be defined in subsequent Platting and Site Plans for Building Permit.



Site Plan for Subdivision
**Aerospace
Technology Park**

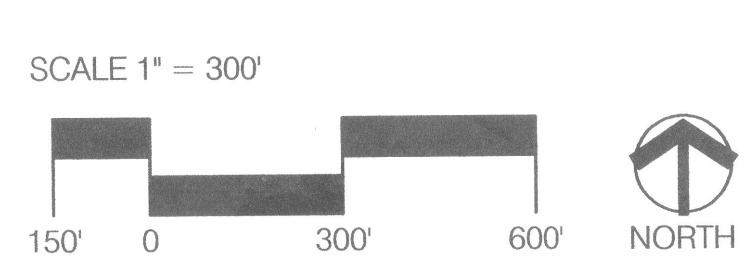
Prepared for:
**City of Albuquerque Aviation Department
Ranch Joint Venture, Ltd.
Eclipse Aviation**

Prepared by:
**Consensus Planning, Inc.
Molzen-Corbin & Associates**

PROJECT NUMBER: 1003125
Application Number: 03EPC-02054
Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date



1. FRAMEWORK

In order to implement the City's Economic Development Goals, it is crucial that this project include an expedited approval process for specific development projects. In accordance with the City Council designation of Double Eagle II as a "Certified Site" and with the provision of the Design Standards included in this Site Plan for Subdivision, future Site Development Plans for Building Permit shall be delegated to the Development Review Board (DRB) and shall not require a public hearing provided they are consistent with this Site Plan for Subdivision and Design Standards.

The Eclipse Aviation property (northernmost 150 acres) is not governed by the following design standards. Eclipse Aviation shall prepare a separate Site Development Plan for Subdivision and Design Standards to be reviewed and approved by the Environmental Planning Commission (EPC) as part of Eclipse Aviation's internal master planning.

2. PERMISSIVE USES

A. SU-1 FOR AIRPORT AND RELATED USES

This zone provides suitable sites for a wide range of industrial and commercial uses, provided such uses are conducted in a compatible and harmonious manner within the Aerospace Technology Park at Double Eagle II Airport achieved through a Site Development Plan for Subdivision.

PERMISSIVE USES.

- 1) Air separation plant for nitrogen, oxygen and argon only.
- 2) Aircraft sales and service, aircraft storage, and aircraft manufacturing.*
- 3) Bottling plant.
- 4) Cold storage plant.
- 5) Golf driving range.
- 6) Laboratory experimental, testing, or medical, provided all activities are conducted within a completely enclosed building. Noxious fumes, odor, or dust shall not be emitted from the premises.
- 7) Machine Shop.
- 8) Manufacturing, assembling, treating, repairing, or rebuilding articles provided manufacturing is conducted within a completely enclosed building.
- 9) Metal processing and painting provided it is conducted within a completely enclosed building.
- 10) Office.
- 11) Office machine equipment sales and repairs.
- 12) One dwelling per premises for a watchman or caretaker on the same premises with commercial or industrial use.
- 13) Printing, publishing, lithographing, blueprinting, or photostating.
- 14) Public utility use or structure and fire stations.
- 15) Retail sales of the following goods, plus incidental retailing of related goods and incidental service or repair:
 - (a) Books, magazines, newspapers, except adult bookstore.
 - (b) Cosmetics, notions, gifts.
 - (c) Drugs, medical supplies.
 - (d) Flowers and plants.
 - (e) Food and drink, for consumption on premises.
 - (f) Gasoline, oil, liquefied petroleum gas.*
- 16) Sales & display rooms or buildings for wholesalers, distributors, warehouses, or manufacturers.
- 17) Services:
 - (a) Automobile repairing, but no bodywork; repairing shall be done within a completely enclosed building at least 20 feet from any residential zone.
 - (b) Banking, loaning money, including pawn. Drive-in facilities permitted on the condition the vehicle movement plan is approved by the City Traffic Engineer.
 - (c) Barber, beauty.
 - (d) Clinic.
 - (e) Day care center.
 - (f) Dry cleaning, laundry, clothes pressing.
 - (g) Health gymnasium.
 - (h) Hotel or motel, including incidental uses.
 - (i) Photography, except adult photo studio.
- 18) Signs on-premises as provided in § 14-16-3-5 of the City Comprehensive Zoning Code, and as regulated by the Design Standards included as part of the Site Plan for Subdivision.
- 19) Sheet metal working.
- 20) Swimming pool.
- 21) Warehouse.
- 22) Wholesaling.

* Uses that compete with the activities of the existing Fixed Base Operators (FBO's) at Double Eagle II Airport, as determined by the City of Albuquerque Aviation Department, shall not be permitted including: dispensing of aviation fuels and lubricants; ground services and support; tiedown, hangar and parking; aircraft maintenance; aircraft rental; flight training; and aircraft charter and air taxi, unless conducted as an ancillary use in conjunction with the primary business (i.e. Eclipse Aviation will most likely have fueling capabilities, aircraft maintenance, hangar space, and flight training in conjunction with their primary business of manufacturing and selling airplanes).

3. DESIGN STANDARDS

A. INTRODUCTION

These Design Standards are established to provide planners and designers with a design framework to accomplish the following:

- Create an attractive built environment that promotes opportunities for Industrial Airpark activities.
- Define a common image for architectural and landscape design, while still providing a broad palette for unique innovation.

B. ARCHITECTURAL CONTROL COMMITTEE

An Architectural Control Committee (ACC) will be established by the ATP and, in conjunction with the City of Albuquerque Aviation Department, be responsible for the enforcement of the following design standards. Rules and procedures shall be created to govern the performance of the ACC separate from this document.

C. STREETSCAPE

The development of a bold and dynamic entry and streetscape is essential to defining the image for the ATP that places it at the forefront of today's industrial airparks. The streetscape will provide a unifying element that ties together the vast and diverse development potential of the project.

- Easements shall be provided, in addition to the dedicated right-of-way, to provide flexibility for entry monumentation, landscaping, trail/sidewalk development, other pedestrian amenities, and opportunities for screening. Easements shall be as follows, and as identified on the Landscape Master Plan:
 - 10 feet minimum on the north side of Shooting Range Access Road.
 - 10 foot buffer area on north side of the Ranch Joint Venture property, adjacent to Eclipse Aviation.
 - 10 feet (defined on the Site Plan for Subdivision and Plat) on the east and west side of Aerospace Parkway for use as a recreational area.
 - 15 feet on each side of Cul-de-sacs A, B, C, and D.
 - 75 feet by 75 feet at the intersection of Paseo del Volcan (old) and Shooting Range Access Road and at the intersection of Shooting Range Access Road and Aerospace Parkway for development of the primary entry.
- Street trees shall be provided at an average spacing of 25 feet on-center along Shooting Range Access Road and Aerospace Parkway, and at an average spacing of 30 feet on-center on all other roads. Trees shall be provided in medians at an average spacing of 50 feet on-center (only includes landscapable length of median).
- Living plant materials shall cover a minimum of 75 percent of the required landscape area.
- Low water use turf may be provided at a maximum of 40 percent of the landscape area.
- High water use turf is restricted to active recreational areas or park space within the ATP.
- Materials for the separation of turf and planting beds may be concrete, brick, or similar quality material. Steel edging is not allowed.

D. PARKING

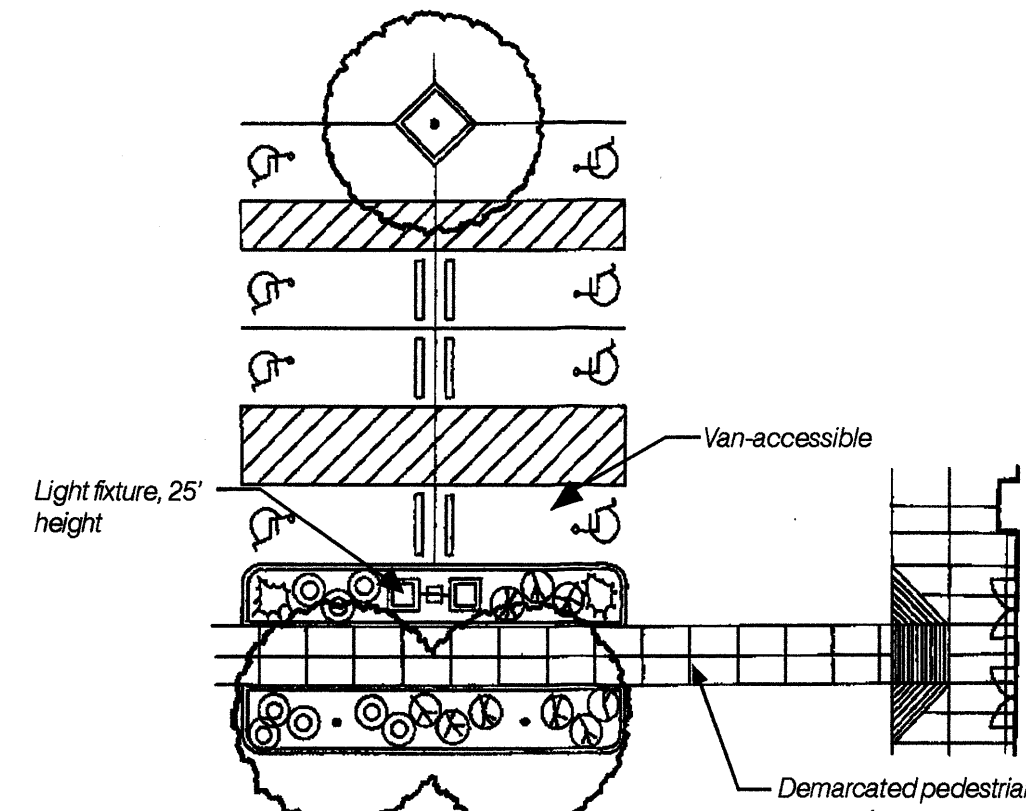
The intent of the standards for the development of parking areas is to: mitigate heat/glare through the provision of landscaping; minimize the visual impact of parking areas; and provide accessible, safe circulation within and adjacent to the parking areas.

- No on-street parking shall be permitted along Aerospace Parkway.
- Parking space standards shall be per the City of Albuquerque's Comprehensive Zoning Code.
- For office and retail use, a minimum of one parking space per 200 square feet of net leasable space on the ground floor; one parking space per 300 square feet of net leasable space in the basement areas; and on all floors above first floor is required. No maximum parking limit is established with this Plan.
- Large parking areas visible from the public street shall be broken into smaller parking areas of 100 or fewer spaces.
- Larger employee parking areas are permitted provided they are completely screened from the public street and separated from visitor parking (which should be located at the front of the building).

- Parking areas may be enlarged and/or reduced in order to accommodate shift schedules as approved by the ACC.

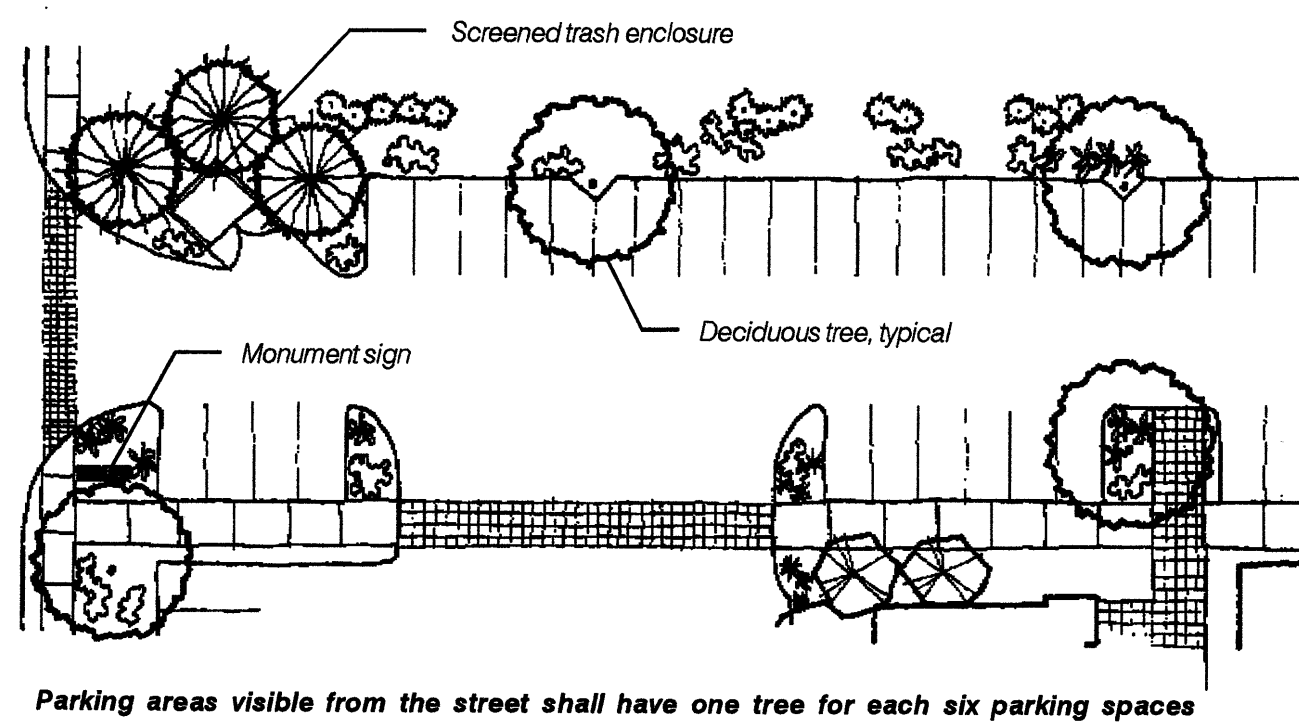
- Clear pedestrian connections shall be provided through parking areas at a minimum width of 6 feet and shall be clearly demarcated with slightly raised and/or textured paving where they cross vehicular entrances and drive aisles. Shade trees shall be provided along pedestrian walks at approximately 25 feet on center.

- ADA-compliant parking shall be located adjacent to main building entries.



- Sidewalks and/or pedestrian paths that are perpendicular and at the front of parking spaces shall be protected from overlapping cars by permanently anchored tire stops, bollards, or raising the walkway to provide for a 6-foot wide, clear pedestrian area.

- Landscaped islands shall be distributed throughout parking areas. Parking areas visible from the public street shall include at least one tree for every six parking spaces, and the maximum distance from any parking space to a tree shall be 50 feet. Trees located within 8 feet of the perimeter of the parking area may be counted toward this requirement, but may not be used to fulfill street tree requirements.



- Parking areas not visible from the public street (employee parking) shall include at least one tree for every 10 parking spaces, with the maximum distance from any parking space to a street being 100 feet.

- A minimum of 75 percent of parking lot trees shall be large canopied deciduous trees to provide shade during the summer months.

- Parking shall be screened from adjacent public streets. Screening may include earth berms, perimeter or retaining walls, landscaping, or buildings.

- Car / vanpool preferred parking shall be provided near building entrances and shall be clearly demarcated.

E. BICYCLE FACILITIES

Providing convenient bicycle facilities to encourage non-vehicular travel to the ATP will be integral to the Plan's goal of supporting alternative modes of transportation to the ATP.

- Bicycle parking for employees shall be provided to promote alternative vehicle use. One bicycle rack space per 20 parking spaces is required, and shall be conveniently located near building entrances, but not within pedestrian pathways or landscape areas.

- A covered and secured bicycle storage area that is a minimum of 200 square feet shall be provided for each building over 35,000 square feet. For sites with more than one building meeting this threshold, the required secured bicycle and storage areas may be combined in one central location.

- A convenient shower facility available to bicyclists and other employees shall be provided for each building over 50,000 square feet. For sites with more than one building meeting this threshold, the required shower facility may be combined in one central location.

F. SITE LANDSCAPE

The landscape environment serves to enhance the visual dynamic of the development and aid in reinforcing the street edge and pedestrian environment. The primary focus for site landscape shall be the area fronting public streets and cul-de-sacs. Vegetation is discouraged along the aviation side of development, including apron areas and land adjacent to the taxiway.

The plant palette for the ATP will provide for year-round color and interest, and reflect the natural beauty of New Mexico. Landscape elements, such as street furniture, lighting, bollards, and graphic pylons shall be used to reinforce the street edge. A clear theme and image for the ATP will be established through the use of these materials, as well as consistent paving materials, plantings, signage, etc.

- All landscape plans shall comply with the City's Water Conservation Ordinance and Pollen Ordinance.

- Water harvesting techniques are encouraged.

- A minimum of 15 percent of the developed site area (minus building square footage) shall be devoted to landscape materials.

- Future development areas within a site shall be maintained in their natural condition. If these areas are disturbed, they shall be revegetated with native seed mix appropriate for this region.

- Trees shall be provided at an average density of 1 tree per 1500 square feet of landscape area.

- Live plant materials shall cover a minimum of 75 percent of all required landscaped areas.

- Landscape headers shall be used to separate turf and planting beds. Headers may be concrete, brick, or other similar quality material.

- Gravel mulch, cobble, and similar materials are acceptable as a top dressing for landscape areas, however, they are not to be considered a focal landscape element.

- An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid overspraying onto walks, buildings, fences, etc.

- All plant material shall be maintained by the Owner or Tenant in a living, attractive condition. All areas shall be maintained free of weeds.

- Minimum plant material sizes at the time of installation shall be as follows:

- Canopy trees - 2" caliper B&B
- Evergreen trees - 8 foot minimum height
- Accent trees - 1 1/2" caliper B&B
- Shrubs and groundcovers - 1 gallon minimum

G. SITE PLANNING

The intent of the following guidelines is to create pedestrian-friendly environments for employees and visitors. A goal is to enhance the opportunities for interaction between Double Eagle II Airport and the ATP.

- As individual parcels are created, cross access easements shall be provided between adjoining parcels.

- An outdoor patio space (minimum 250 square feet) shall be provided for any buildings greater than or equal to 10,000 square feet. For sites with more than one building, shared patio areas are permitted.

- Patios, plazas, courtyards, and other outdoor activity or seating areas shall be shaded (25 percent minimum, 50 percent maximum) from summer sunlight by tree canopies and/or shade structure that is architecturally integrated with the building.

- A sidewalk with a minimum width of 8 feet shall be provided along the front of buildings that are less than or equal to 35,000 square feet. A sidewalk with a minimum width of 15 feet shall be provided along the front of buildings that are greater than 35,000 square

feet. These sidewalks shall be shaded with architecturally integrated awnings, portals, or canopies, or by trees planted at intervals of 25 feet in planters with a minimum interior dimension of 5' x 5'.

- Pedestrian connections (minimum 6-foot clear path) shall be provided from each building to the internal circulation system and to adjacent roadways. Shade trees shall be provided along the pedestrian connection at an interval of 25 feet in planters that have a minimum interior dimension of 5' x 5'.

- A continuous sidewalk with a minimum width of 6 feet shall be located around the perimeter of buildings that are greater than 4,000 square feet.

- Paving of primary pedestrian connections and primary outdoor activity areas shall use patterned, stained or integrally colored concrete, and/or concrete inlaid with tile.

- Asphaltic paving shall only be used in parking/service areas and bicycle trails. The design of all trails shall comply with the AASHTO 1999 Guide for the Development of Bicycle Facilities, and shall be coordinated with the City's designated Trails Planner.

- Stabilized crusher fine surfaces may be considered for secondary pedestrian pathways or plazas.

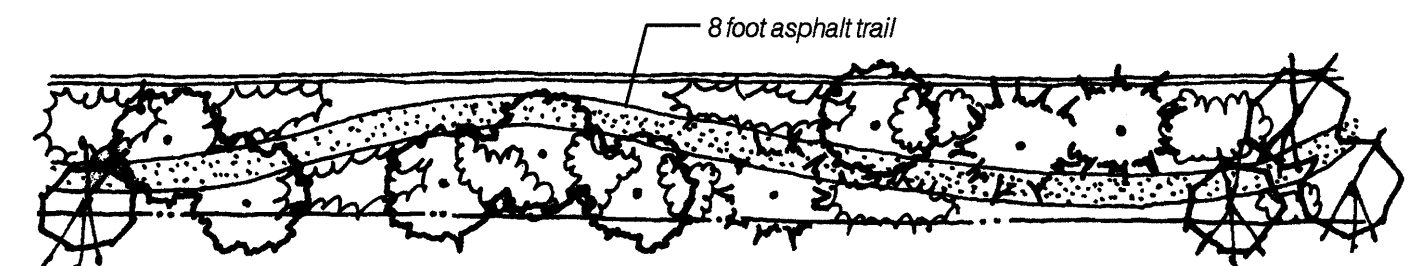
- Perimeter walls, if provided, shall comply with the City's Design Manual for Subdivision Access and Perimeter Walls. Chain-link is allowed for airport security fencing purposes, as well as where out of public view. The use of razor or barbed wire, wood fencing, or plastic vinyl fencing is not permitted unless required by airport regulations.

H. COMMONS AREA

The Commons Area is intended to be attractive, lively, pedestrian-friendly, and a useful asset to the community. It not only provides a landscape buffer along Aerospace Parkway, but also provides for a continuous trail system to benefit the tenants of the ATP. The Commons Areas will be maintained by a tenants' association.

- Parking lots between buildings and the Commons Area shall be screened with low screen walls.

- Asphalt trails, 8 feet in width, shall be required through the Commons Area.



- The landscape plans for the Commons Area must comply with the City's Water Conservation Ordinance and Pollen Ordinance.

- A minimum of 50 percent and a maximum of 75 percent of the site area shall be covered with low water use turf grasses for recreational activities.

- Landscape headers shall be used to separate turf areas and planting beds. Headers shall be 6" x 6" concrete, or other similar quality material.

- Gravel mulch, cobble, bark, and similar materials are acceptable as top dressing for landscape areas, however, they are not to be considered a focal landscape element.

- An automatic underground irrigation system is required to support all landscaping. The system shall be designed to avoid overspray onto walks, buildings, fences, etc. Irrigation components shall be checked periodically to ensure maximum efficiency.

- All plant material shall be maintained by the Tenants' Association in a living, attractive condition. All areas shall be maintained free of weeds.

I. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes and provide a safe and compatible environment for aircraft, service vehicles, and pedestrians throughout the ATP. Required within these setbacks will be pedestrian walkways, screening devices, and landscape improvements.

- Buildings shall be located according to the following minimum setback dimensions:

- 50 feet from the right-of-way line of Aerospace Parkway
- 35 feet from the right-of-way line of Secondary Roads
- 25 feet from the property line of other adjacent properties
- 36 feet from taxiway pavement
- Not closer to the airfield than the Building Restriction Line as shown on the Airport Layout Plan, 2003
- Maintain clear line of site from air traffic control tower controller positions to airfield pavements on the airfield.

- Parking areas shall be setback as follows:

- 25 feet from the right-of-way line of Aerospace Parkway
- 15 feet from the right-of-way line of Secondary Roads (cul-de-sacs)
- 10 feet from the property line of other adjacent properties

J. ARCHITECTURE

In general, all buildings shall comply with the current City of Albuquerque Zoning Code. However, in cases where the ATP requirements exceed the Zoning Code, the ATP standards will govern. The focus of these architectural standards and guidelines is on the front facade of building facing the public right-of-way.

Development Densities

Infrastructure for the ATP Park is currently master planned for an overall Floor Area Ratio (F.A.R.) of .30. Individual sites should be planned accordingly.

Building Heights

Building height limits will be enforced in accordance with the City of Albuquerque Zoning Code for the O-1 zone. The Federal Aviation Administration (FAA) limits building and signage heights to below Federal Aviation Regulation (FAR) Part 77, Objects Affecting Navigable Airspace, surfaces including a 7:1 (horizontal to vertical) from a distance 250 ft from runway centerline) Transitional Surface and the Horizontal Surface located 150 ft above airport elevation. Additionally, FAA FAR Part 77 states that any structure penetrating the plane created by a 100:1 sloped surface beginning at the nearest point or the nearest runway must be airspaced by FAA in accordance with Part 77. Notification is required by completing and submitting SF 7460, Notice of Proposed Construction of Alteration, to the FAA for review and airspacing.

Building Entrances

- The major public entry to each building should face the "fronting street" that is established by the business address.

- The front facade of all buildings shall have architecturally integrated awnings, canopies, or portals along 50% of facade length to provide shade and shelter to pedestrians, and a sense of arrival. Alternatively, shade trees may be provided at intervals of 25 feet in planters with a minimum interior dimension of 5' x 5'. Special consideration shall be given to roof structures, including materials.

- Entries shall be clearly defined and connect to pedestrian linkages.

- Entryways shall be distinguished by lighting in order to enhance the perception of surface variety.

Service/Loading Areas

- It is assumed that most, if not all, buildings in the ATP will have a service and/or a loading area. All service functions, with the exception of airplanes viewed from taxiways, shall be screened from public view. This includes but is not limited to: exterior refuse facilities, mechanical equipment, storage yards, and loading docks. Screens should be visually solid and be compatible with the overall building design, color, and primary materials.

Aviation Storage and Parking Areas

Aerospace Technology Park

Prepared for:
City of Albuquerque Aviation Department
Ranch Joint Venture, Ltd.
Eclipse Aviation

Prepared by:
Consensus Planning, Inc.
Moizen-Corbin & Associates

- Many ATP sites are located adjacent to the airport taxiway system or service corridors. Sites along taxiways and service corridors are assumed to support aviation related activities which may require the storage of aircraft on-site. All areas related to on-site aircraft should be screened from view on all sides. This includes but is not limited to, exterior storage facilities, aircraft maintenance areas, and aircraft loading areas. Screens should be visually solid and be compatible with the overall building design, color, and primary materials. Landscape materials may be used as visual screens.

Context

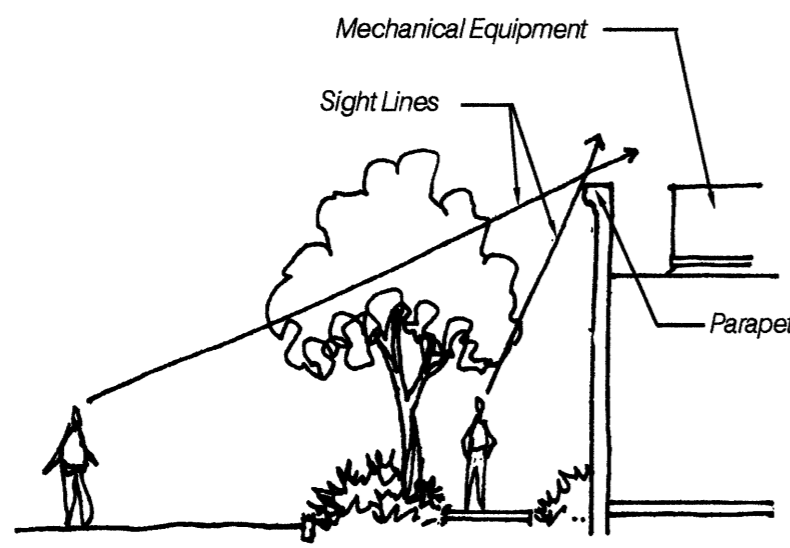
- New buildings should be designed to harmonize with adjacent buildings.

Building Articulation/Design

- Buildings should convey an image appropriate to a state-of-the-art industrial airport facility.
- Buildings should be sensitive to the local character of the region and the vernacular elements of buildings.
- Edge treatments shall "step down" to relate to the scale of pedestrians: reduce the scale of the building edge by stepping down to the street. It is encouraged that building masses be arranged in order to cast shadows on each other to emphasize the contrast of light and shaded surfaces at corners and edges.
- The front building facade shall employ variety in structural forms to create visual character and interest. With the exception of hangar doors, front facades should have varied front setbacks, with wall planes not running in one continuous direction for more than 100 feet without a change in architectural treatment (i.e., 3 foot minimum offset, fenestration, material change, etc.)
- Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, and soffits shall be carefully dimensioned and detailed to provide a human scale and visual interest.
- Extended architectural detailing on the ground floor in an elevational band from 0 to 10 feet, such as a change in color or texture, the architectural expression expansion joints as reveals, door and window articulation and architectural accents, is required.
- Special attention shall be given to the articulation of aircraft hanger facilities through use of color, materials, or building offsets. Metal structures are acceptable, however, they must visually tie to other building elements, such as the front office, storage areas, etc.

Equipment

- All roof top equipment and appurtenances shall be below the top of the parapet, or architecturally screened with a visually-solid surround that is compatible with the predominant building materials and color. Roof penetrations that are not architecturally screened with a visually-solid surround shall be painted to match roof color or general building color.
- All ground-mounted equipment shall be architecturally screened and enclosed, with the top of the equipment below the top of the screen. This includes, but is not limited to: water backflow preventers, gas meters, electric meters, exposed conduit, cabling, and wiring.



Portable Buildings

- All plans for portable buildings must be submitted to and approved by the ACC.
- All portable buildings, both temporary (buildings on site for less than 1 year) and permanent (buildings on site for more than 1 year) must be screened from the public street with opaque walls, fencing, and/or landscaping.
- Permanent portable buildings must be finished to match the primary materials of the overall building.

Materials and Colors

Buildings should convey solidity and durability and employ high quality materials. Materials and colors should pay homage to the vernacular architecture of the area. Acceptable materials include: stucco, concrete (sand blasted or finished surface), stone, split face block, burnished block, glass curtain wall, glass block, brick, exterior ceramic tile, painted metal, and EIFS. Architects shall use those materials traditionally used in the Albuquerque or New Mexico area.

- Acceptable colors include those taken from the native New Mexican landscape palette, such as: Sand, Terracotta and Sage Green. Colors shall be the inherent color of rather than from application of color (painted), except when used as an accent color.
- Prohibited building materials include the following:
 - Plastic or vinyl building panels, awnings, or canopies
 - exposed, untreated precision block or wood
 - highly reflective surfaces
 - materials with high maintenance requirements
- Special consideration shall be given to roof structures. The use of contrasting colors between roofs and walls is encouraged to help differentiate the planes of building masses.
- The use of accent colors and materials is encouraged to bring out detailing to better articulate or give scale to a building, including glazed tile, wood trim, tile roofing, paint, metal, etc.
- The entry monument theme shall be repeated throughout the ATP relative to color and materials for individual building monument signs.

Sustainability

- Green architectural design is encouraged. The ATP promotes the use of sustainable design principles, environmentally-responsible building concepts, and earth-friendly products.

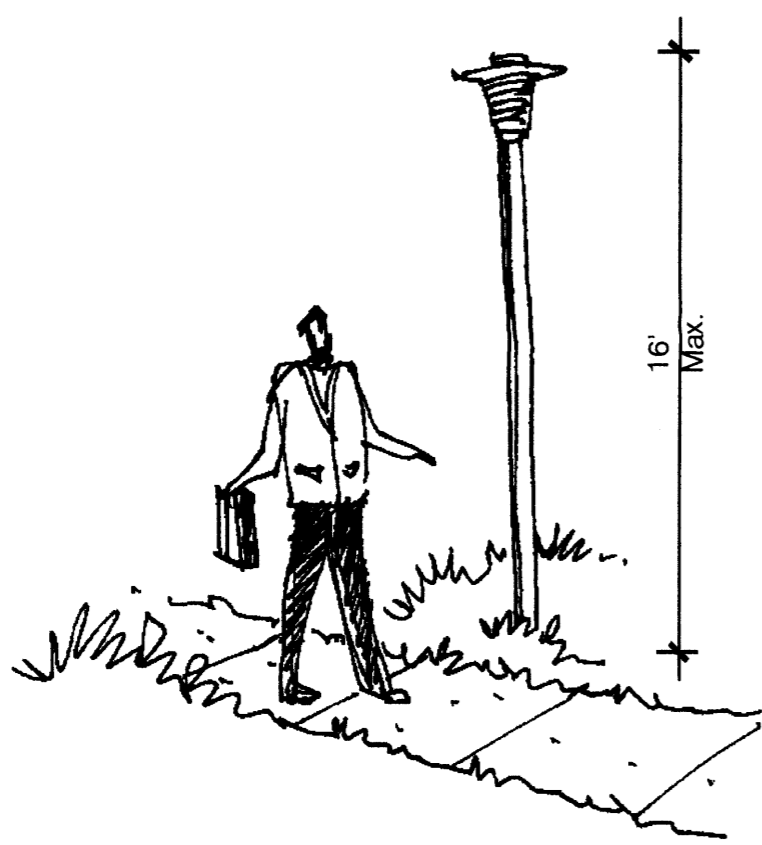
Plan Arrangement Opportunities

- Open courtyard designs shall be employed in order to form transitions between parking areas and building facades. Building access and entries should be visible from the street through open passages (such as garden courts).

K. LIGHTING

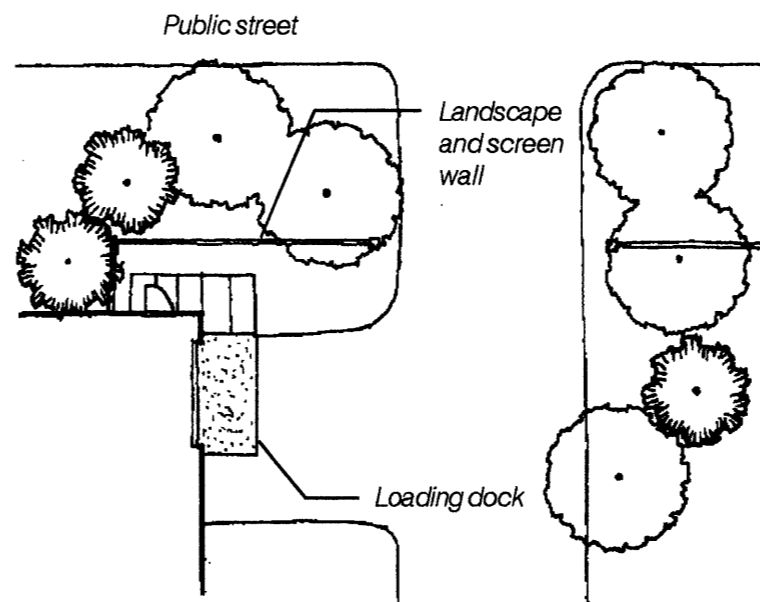
A consistent theme for the lighting fixtures within the streetscape and common areas of the ATP will contribute significantly to the ATP's overall aesthetic character. Safety and security should be the primary design consideration, as well as the daytime appearance of the light fixtures.

- Lighting shall be fully shielded horizontal lamps so that no fugitive light may escape beyond the property line and no light source shall be visible from the site perimeter.
- Height standards for light fixtures are as follows:
 - Streetlights shall not exceed 25 feet
 - Parking area light fixtures shall not exceed 24 feet
 - Lighting fixtures for walkways and entry plazas shall not exceed 16 feet
- Lighting shall not impinge upon airfield sight planes. Lighting shall not be directed at aircraft movement areas, runway approaches, or aviation towers.
- Controlled, directional lighting should be used to highlight public spaces and walkways. The use of walkway level lighting, such as wall pocket or bollard lights, is encouraged to accent pedestrian areas.
- Fixture style and design should be compatible and consistent with the lighting design of other projects within the ATP.
- The pattern of light pooling from each fixture shall avoid glare or reflection on adjacent properties, buildings, or roadways.
- Exterior lighting fixtures should relate stylistically to the architecture of the adjacent buildings.
- Uplighting fixtures to highlight trees, walls and architectural features shall be limited to 100 maximum wattage per fixture, and shall be designed to comply with the New Mexico Night Sky Protection Act.



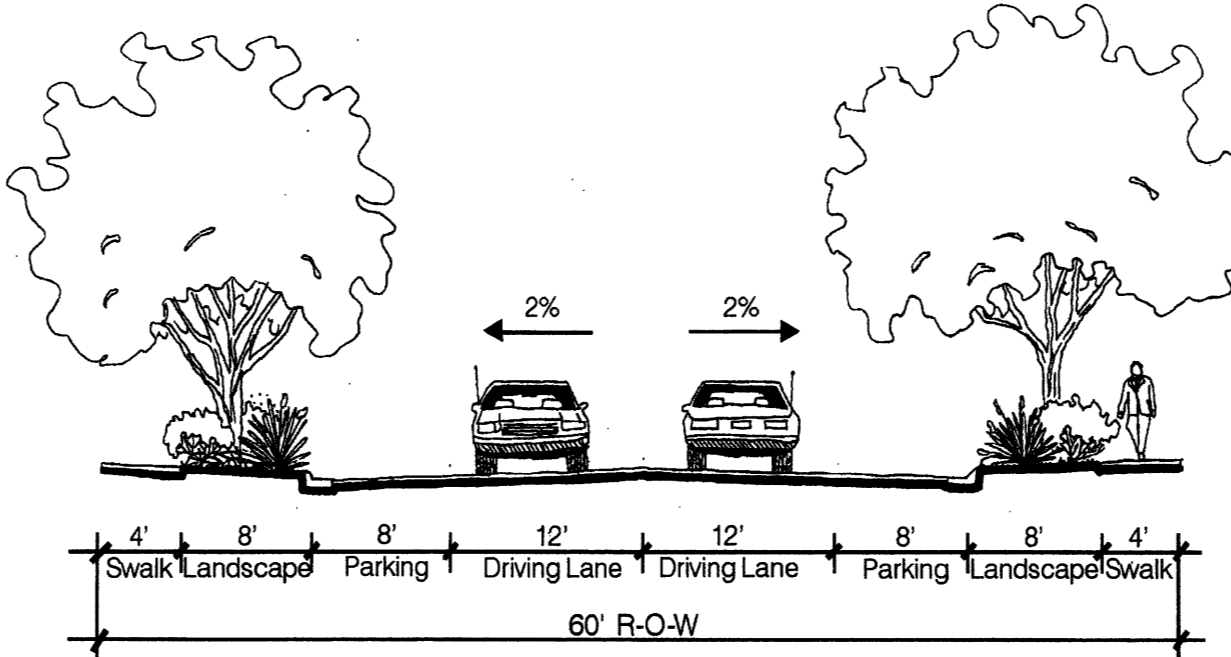
L. SCREENING/BUFFERING

- Mechanical equipment and refuse enclosures, whether on roof areas or at street level, shall be fully screened from pedestrians or motorists. Screening shall be compatible with materials and design of the building.
- Loading areas shall be screened from public view by walls, trellises, or landscaping. Passenger loading areas do not require screening.
- Aircraft areas shall be screened from the street with walls and/or plant material.
- The use of razor or barbed wire (except where required by Federal regulations), wood fencing, or plastic vinyl fencing is not permitted.
- Refuse enclosures shall be adjacent to the building and screened with walls of the same material as the building itself.
- Walls or landscaped berms 2 1/2 to 3 feet in height shall be provided to screen parking areas adjacent to public streets. Walls, if used, shall be designed to integrate with building materials and colors.

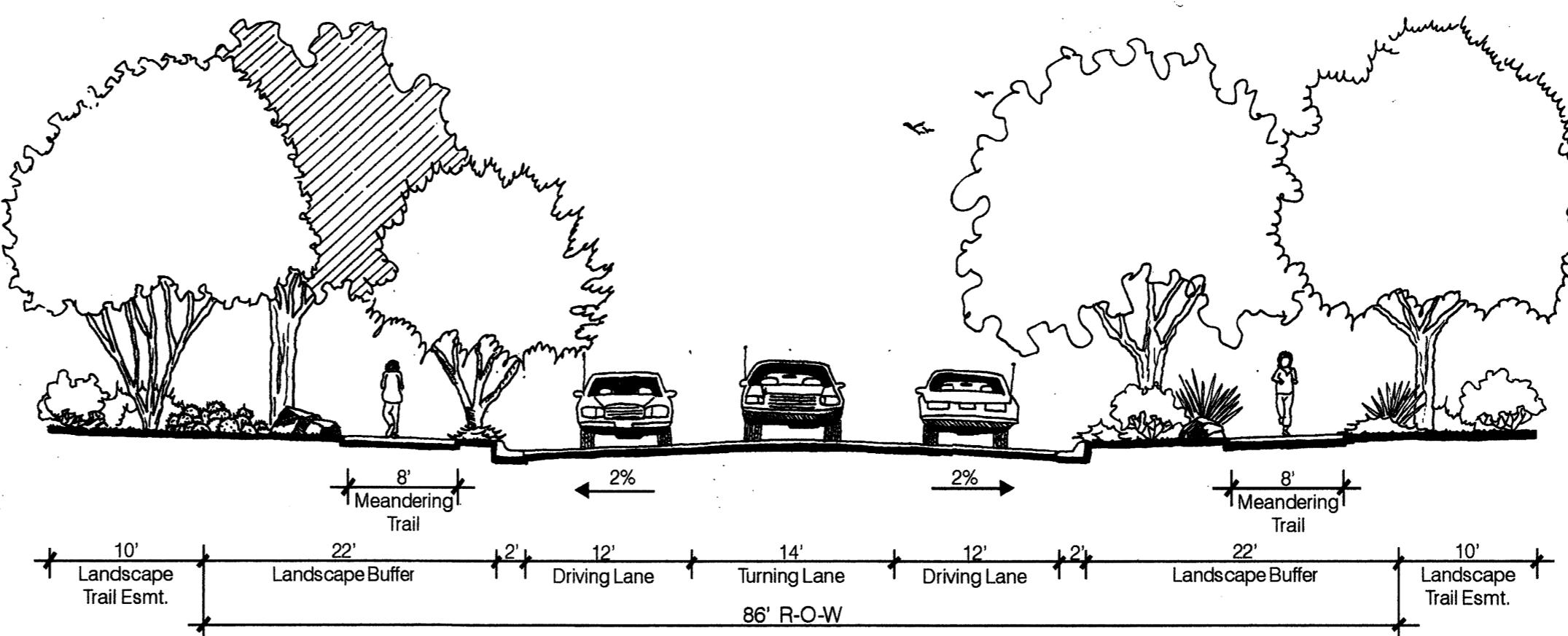


M. STREET DESIGN

It is anticipated that Aerospace Parkway will be an 86 foot roadway. It is further anticipated that access into specific development areas will be from a series of cul-de-sac streets with 60 foot rights-of-way. Specific right-of-way for Aerospace Parkway and the cul-de-sacs shall be determined before final approval at the Development Review Board. The cul-de-sac streets also function as the primary utility corridors and will accommodate water, sewer, and storm drains.



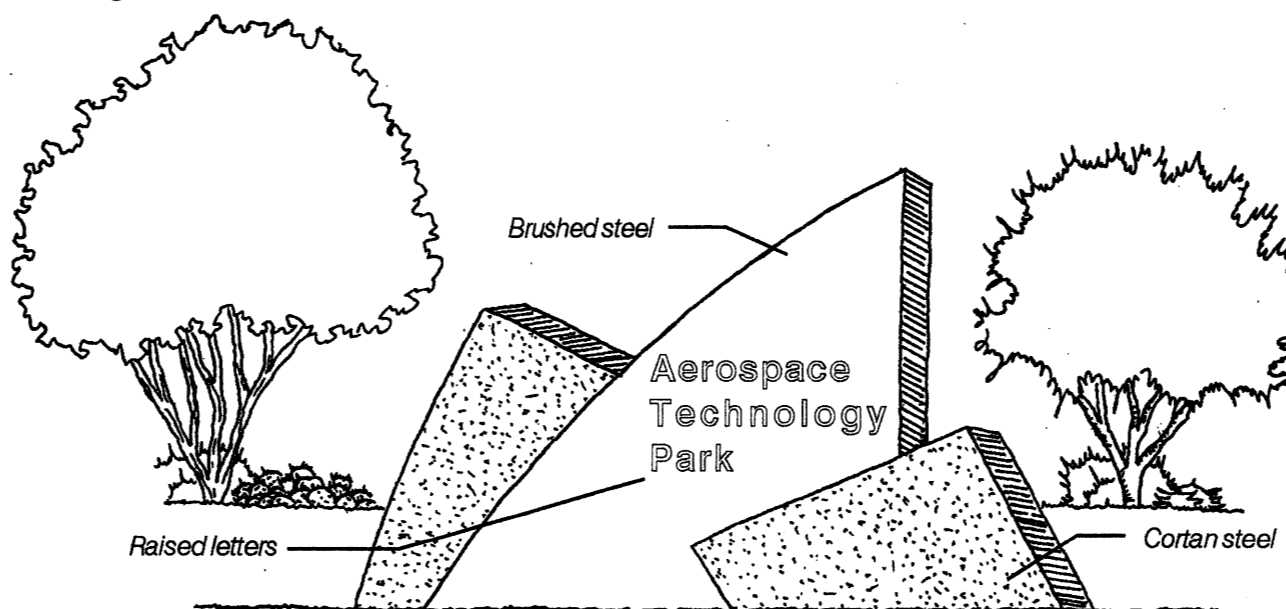
Cul-de-Sac Section



Aerospace Parkway Section

N. SIGNAGE

- The Master Developer shall provide entry monument signs (the only free-standing signs allowed) for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be within easements at locations described below, and shall be maintained by the Tenants' Association.
- A primary entry statement shall be located at Paseo del Volcan (old) and Shooting Range Access Road, and Shooting Range Access Road and Aerospace Parkway.
- Entry monument signs shall be a maximum of 20 feet in height and 200 square feet in sign face.



Project entry monument signs shall be located at the intersection of Aerospace Parkway and Shooting Range Access Road, and Paseo del Volcan (old) and Shooting Range Access Road.

- Individual sites are allowed one monument-style sign per street frontage. The sign shall not exceed 50 square feet in sign face, or 4 feet in height, and shall be architecturally integrated with the building color and materials. In addition, materials similar to those used at the primary project entries shall be used, although individual expression is allowed.
- Due to the size of the Eclipse Aviation campus, this site shall be permitted to have two entry signs not to exceed 20 feet in height and 300 SF of sign face.
- Directional signs may be provided, at the discretion of the Master Developer, to direct visitors to particular businesses. Directional signs shall not exceed 20 square feet in area, or 4 feet in height.
- All signage at the project entries shall be coordinated in order to have the same appearance (height, size, color, material, text height and style, etc.).
- No sign may overhang a right-of-way or property line.
- No sign shall intrude upon any architectural features, including windows, columns, moldings or any decorative features.
- Building-mounted signs shall consist of individual channelized letters. With the exception of logo images, no illuminated plastic panel signs are allowed.
- Building-mounted signs shall not exceed an area of 6 percent of the facade to which it is attached. Maximum letter size shall not exceed 5 feet in height, and maximum logo size shall not exceed 5' x 5'.
- Signs should identify only the name and business of the occupant or of those offering the premises for sale or lease.
- Prohibited signs include the following:
 - Banners, pennants, ribbons, streamers;
 - Strings of light bulbs and spinners (except during holiday season or special thematic event);
 - Brashly colored signs with moving or flashing lights;
 - Signs which are animated in any manner;
 - Portable signs; and
 - Off-premise signs referring to a business or merchant not doing business on the premise where the sign is displayed.

O. TAXILANE/ AVIATION AREAS

Aircraft circulation throughout the ATP must be developed to minimize interaction with vehicular traffic. Taxilane guidelines are based on an average tailing speed of at least 20 mph and wingspan and wingtip clearance. Taxilane access must have a minimum right-of-way width of 150 feet with a minimum paved surface area 50 feet in width.

- Taxilane Shoulders must be either stabilized or paved to reduce possibility of blast erosion and engine ingestion problems.
- Minimum separation between centerline of taxilane to structure (parked aircraft, structure, etc.) is 0.70 times the wingspan of the most demanding airplane, plus 10 feet. Setback standards have been designed to accommodate all Type I and II aircraft.

Taxilane Design Standards

Airplane Design Group	Taxilane Width	Taxilane Object Free Area Width	Taxilane Shoulder Width	Wing Span (w) for Airplane Design Group
I	25 ft	79 ft	10 ft	w < 49 ft
II	35 ft	115 ft	10 ft	49 ft <= w < 79 ft
III	50 ft	162 ft	20 ft	79 ft <= w < 118 ft
IV	75 ft	225 ft	25 ft	118 ft <= w < 171 ft

P. PUBLIC ART

In order to create an exciting and pleasant pedestrian environment, developments are encouraged to integrate artwork into the design of all public spaces, both indoors and out. Consideration of integrating artwork into the design of bus shelters, outdoor furniture, information kiosks, yard walls, entry portals, plaza fountains, vertical element, etc. is encouraged, instead of standing artwork in isolation, away from such usable elements. Future developments are encouraged to make use of the City of Albuquerque's "1% for the Arts" program, as well as to consider opportunities for private endowments or sponsorships to allow artistic enhancements throughout the Park.

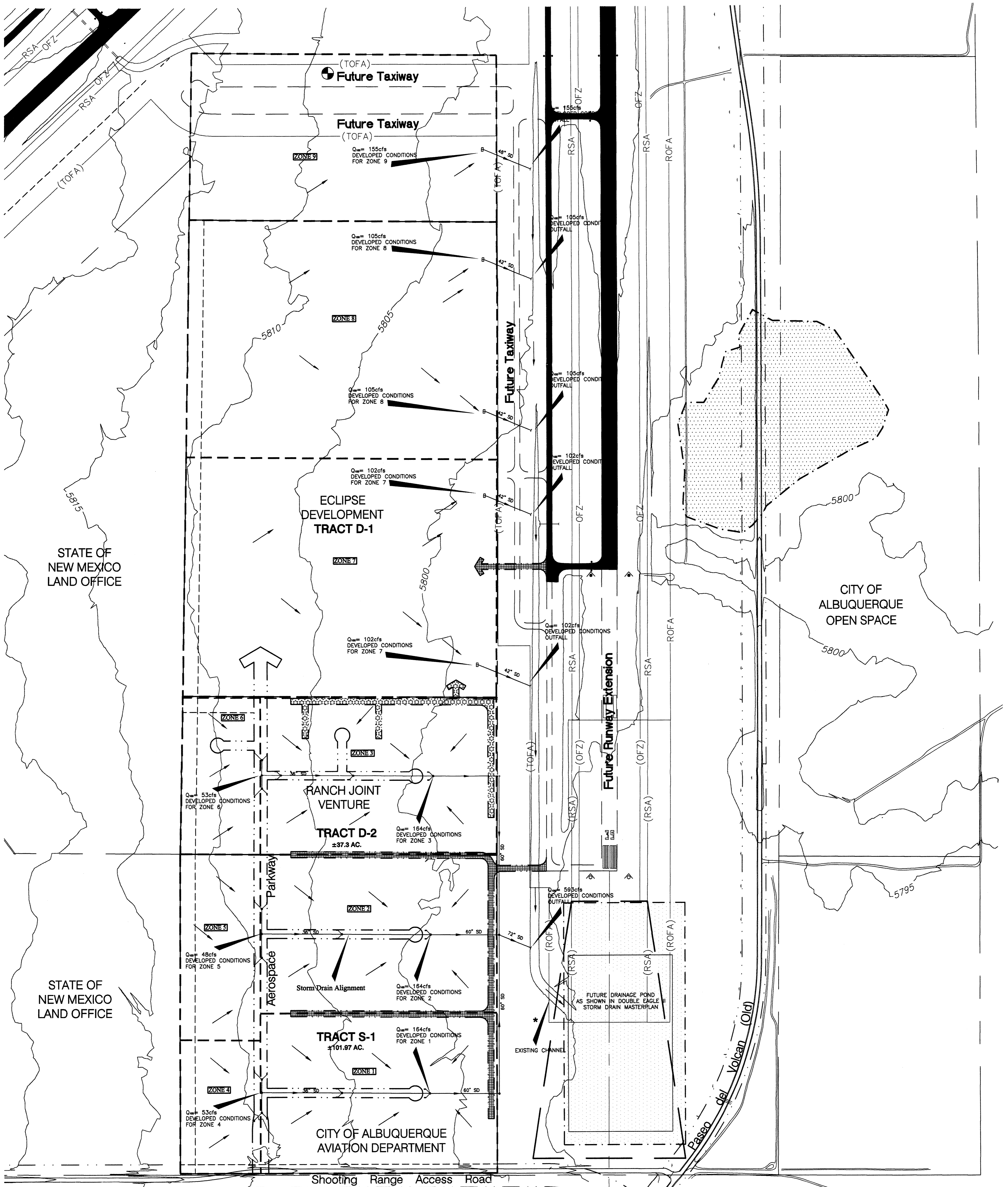
Q. WIRELESS TELECOMMUNICATIONS FACILITIES

Unless specifically approved by the FAA and the City Aviation Department, wireless telecommunications facilities are not allowed within the ATP.

Aerospace Technology Park

Prepared for:
City of Albuquerque Aviation Department
Ranch Joint Venture, Ltd.
Eclipse Aviation

Prepared by:
Consensus Planning, Inc.
Moizen-Corbin & Associates



WESTLAND NORTH
(FUTURE PLANNED COMMUNITY)

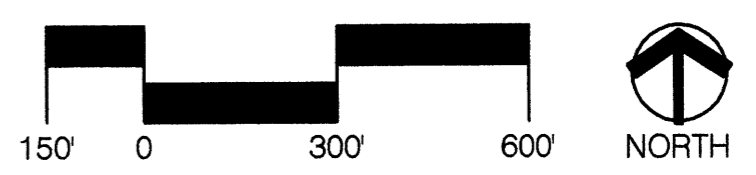
Preferred Storm Drain Alignment Aerospace Technology Park

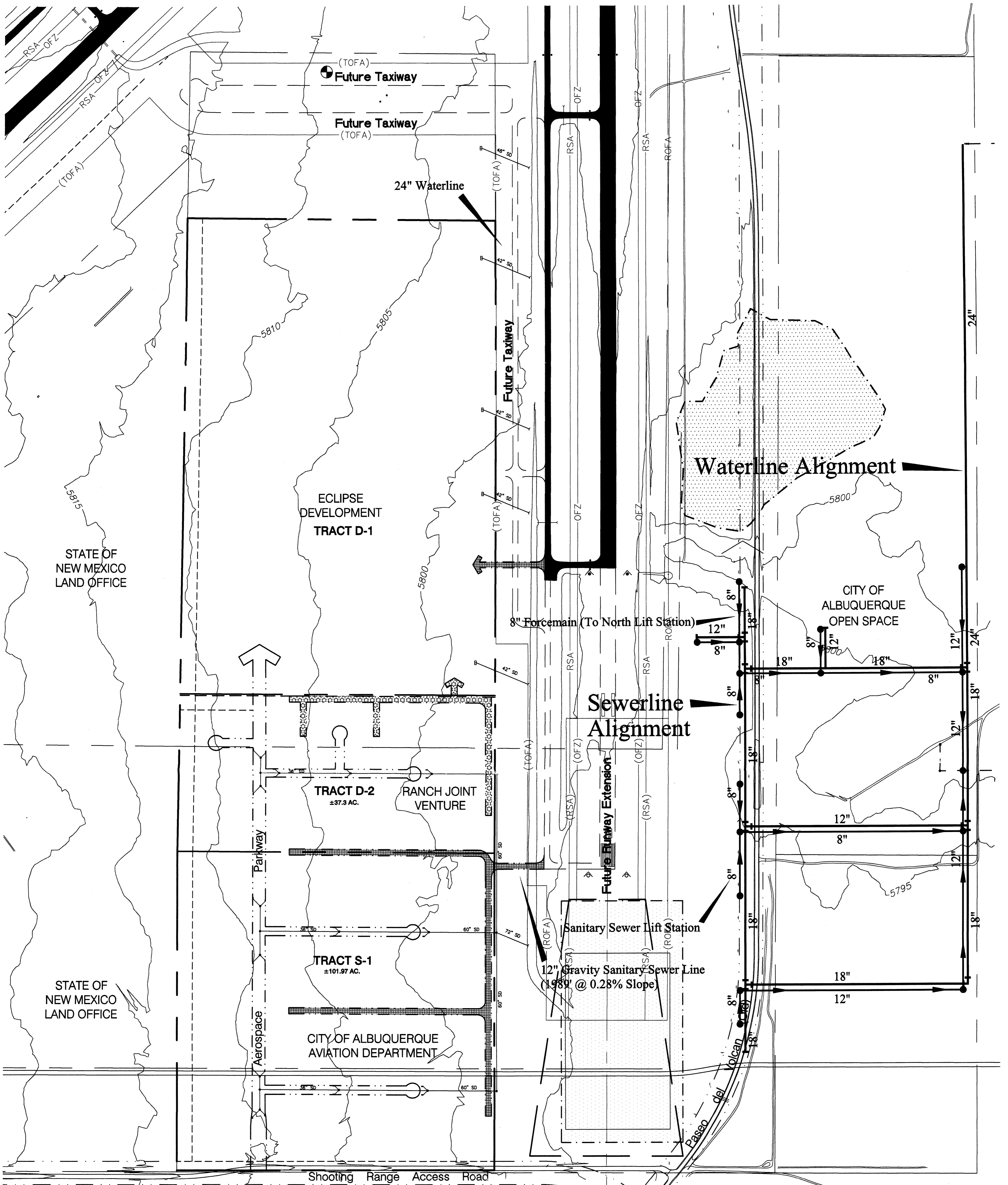
Prepared for:
City of Albuquerque Aviation Department
Ranch Joint Venture, Ltd.
Eclipse Aviation

Prepared by:
Consensus Planning, Inc.
Molzen-Corbin & Associates

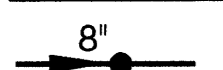
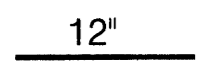
- PROPOSED STORM DRAIN
- - - ZONE BASIN BOUNDARIES
- FLOW DIRECTION
- ~ EXISTING CONTOURS

SCALE 1" = 300'





Legend

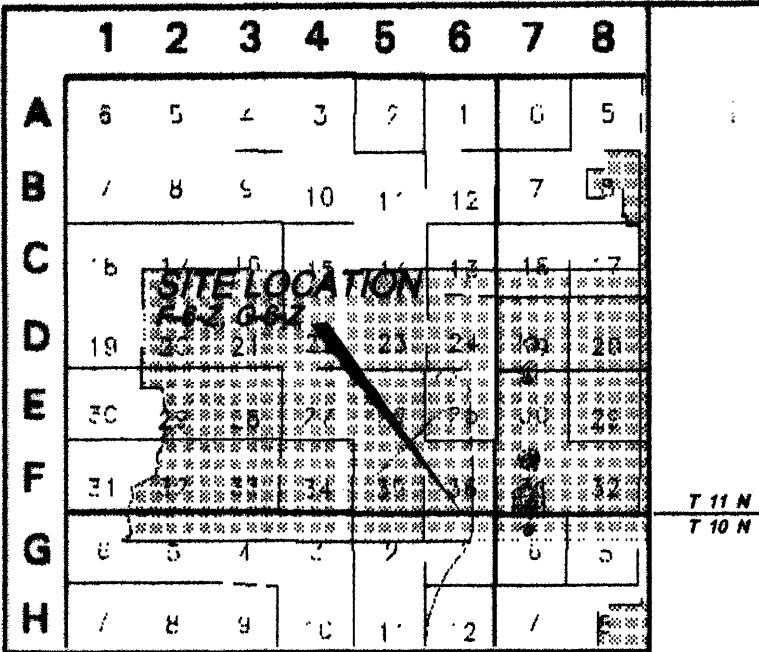
-  Proposed Sanitary Sewer Line
-  Proposed Waterline

Preferred Utility Alignment
**Aerospace
 Technology Park**

Prepared for:
 City of Albuquerque Aviation Department
 Ranch Joint Venture, Ltd.
 Eclipse Aviation

Prepared by:
 Consensus Planning, Inc.
 Molzen-Corbin & Associates

PLAT OF TRACTS D-1-A AND S-1-A
OF
AMENDED BULK LAND PLAT
FOR
AEROSPACE TECHNOLOGY PARK
WITHIN
SECTION 36, TOWNSHIP 11 NORTH, RANGE 1 EAST
AND
SECTION 3, TOWNSHIP 10 NORTH, RANGE 1 EAST
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2007



ZONE ATLAS MAPS
F-6-Z, G-6-Z

VICINITY MAP
NOT TO SCALE:

DISCLOSURE STATEMENT
PURPOSE OF PLAT

1. THE PURPOSE OF THIS AMENDED BULK LAND PLAT IS TO VACATE, PER DPM PROCESS, AN 106' PUBLIC ACCESS EASEMENT WITHIN TRACTS D-1 AND S-1 AS RECORDED ON BULK LAND PLAT FOR AEROSPACE TECHNOLOGY PARK (DOC 2004178149, BK-2004C, PG 396, FILED 12/21/2004).

DATA

1. NEW CASE NO: 04DRB-01505, 01506 BLV, P&F, BULK LAND VARIANCE NO. 1003125
2. GROSS SUBDIVISION ACREAGE 392.3607 ACRES
3. DATE OF SURVEY: 9/2004
4. TALOS LOG NO: 2007-25-4005

NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (NAD 27 CENTRAL ZONE, NGVD 29), CITY OF ALBUQUERQUE CONTROL SYSTEM MONUMENTS "EAGLE AIR".
2. DISTANCES ARE GROUND DISTANCES.
3. TRACTS 'S-1, S-2, D-1, & D-2' SHALL REMAIN ZONED SU-1 AIRPORT RELATED FACILITIES PER EPC APPROVAL 1001856/03EPC00915.
4. BASIS OF BOUNDARY IS FROM THE FOLLOWING REFERENCE DOCUMENTS:
A. BULK LAND PLAT OF DOUBLE EAGLE II AND ADJACENT LANDS, FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK IN BOOK 2002C, PAGE 228.
B. MAP OF T 10 N, R 1 E, N.M.P.M. PREPARED BY THE SURVEYOR GENERAL'S OFFICE, SANTA FE, N.M., NOV. 20, 1875 AND ON FILE WITH THE U.S. BUREAU OF LAND MANAGEMENT.
C. BULK LAND PLAT OF DOUBLE EAGLE II AND ADJACENT LANDS (DOC 2002087308, BK-2002C, PG 228, FILED 7/10/2002).
5. PLAT SHOWS ALL EASEMENTS OF RECORD PROVIDED BY A DOCUMENT SEARCH BY ALBUQUERQUE TITLE CO. INC., INC., FILE NO. 1881791 ON NOVEMBER 1, 2000.
6. BLANKET DRAINAGE EASEMENTS ARE HEREBY GRANTED TO THE CITY OF ALBUQUERQUE ON TRACTS D-1, D-2, S-1 & S-2. FUTURE SUBDIVISION ACTIONS MAY FURTHER DEFINE THESE BLANKET DRAINAGE EASEMENTS. THESE BLANKET DRAINAGE EASEMENTS ARE FOR THE BENEFIT OF ALL TRACTS CREATED BY THIS PLAT AND ARE TO BE MAINTAINED BY EACH RESPECTIVE OWNER.
JOINT USE OF PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
7. QWEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
8. CABLE TV FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
9. INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANITOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.
10. IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.
11. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
12. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS AND OTHER EQUIPMENT, FIXTURES STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
13. PUBLIC CROSS ACCESS EASEMENTS ARE HEREBY GRANTED BETWEEN TRACTS D-1, D-2, S-1 & S-2. FUTURE SUBDIVISIONS MAY FURTHER DEFINE THESE PUBLIC CROSS ACCESS EASEMENTS. THESE PUBLIC CROSS EASEMENTS ARE FOR THE BENEFIT OF ALL TRACTS CREATED BY THIS PLAT AND ARE TO BE MAINTAINED BY EACH RESPECTIVE OWNER.

LEGAL DESCRIPTION

TRACTS D-1 & S-1 OF THE BULK LAND PLAT FOR AEROSPACE TECHNOLOGY PARK FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK IN BOOK 2004C, PAGE 396.

OWNERS FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS THEREOF AND SAID OWNERS DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE, EASEMENTS FOR PUBLIC STREET RIGHT-OF-WAY, ACCESS, DRAINAGE, AND UTILITIES AS INDICATED HEREIN, INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN, FURTHER, SAID OWNERS DO HEREBY GRANT OTHER PRIVATE EASEMENTS AS SHOWN AND INDICATED.

OWNER TRACT S-1, CITY OF ALBUQUERQUE A MUNICIPAL CORPORATION.

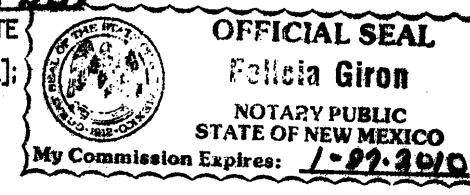
BRUCE J. PERLMAN, PH.D.
CHIEF ADMINISTRATIVE OFFICER
CITY OF ALBUQUERQUE

STATE OF NEW MEXICO) SS)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON June 27, 2007 BY BRUCE J. PERLMAN AS CHIEF ADMINISTRATIVE OFFICER OF THE CITY OF ALBUQUERQUE, NEW MEXICO, A MUNICIPAL CORPORATION, ON BEHALF OF SAID CORPORATION.

Felicia Giron 6/27/07
NOTARY PUBLIC DATE

[MY COMMISSION EXPIRES: 1-27-2010]



OWNER TRACT D-1, ECLIPSE AVIATION, A DELAWARE CORPORATION.

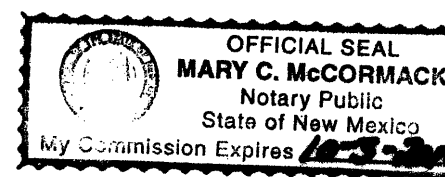
Larry Jones
LARRY JONES, FACILITIES MANAGER
ECLIPSE AVIATION

STATE OF NEW MEXICO) SS)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON June 27, 2007 BY LARRY JONES AS FACILITIES MANAGER FOR ECLIPSE AVIATION, ON BEHALF OF SAID CORPORATION.

Mary C. McCormack 6/27/07
NOTARY PUBLIC DATE

[MY COMMISSION EXPIRES: 10-3-2010]



NOTICE OF SUBDIVISION PLAT CONDITION

"NOTICE OF SUBDIVISION PLAT CONDITIONS" AEROSPACE TECHNOLOGY PARK THE PLAT OF AEROSPACE TECHNOLOGY PARK, TRACTS D AND S OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS, HAS BEEN GRANTED A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS PURSUANT TO SECTION 14-14-6-1 OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY AND AMAFCA (WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY, FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND, EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

SJR & ASSOC Santiago Romero Jr.
and Associates, Inc.
ENGINEERS SURVEYORS
4005 GARLAND BLVD, N.E. SUITE 204
ALBUQUERQUE, NEW MEXICO 87107
(505) 884-5119



APPROVED AND ACCEPTED BY

PROJECT NUMBER: 1003125

APPLICATION NUMBER: 07 DRB - 70128

UTILITY APPROVALS: **BULK LAND PRELIMINARY PLAT APPROVED BY DRB**
PNM ELECTRIC SERVICES DATE 8/22/07
PNM GAS SERVICES DATE
QWEST TELECOMMUNICATIONS DATE
COMCAST DATE
NEW MEXICO UTILITIES DATE

CITY APPROVALS:

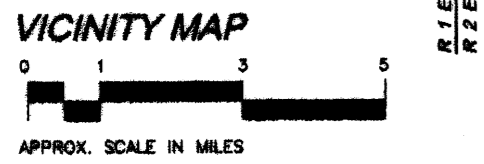
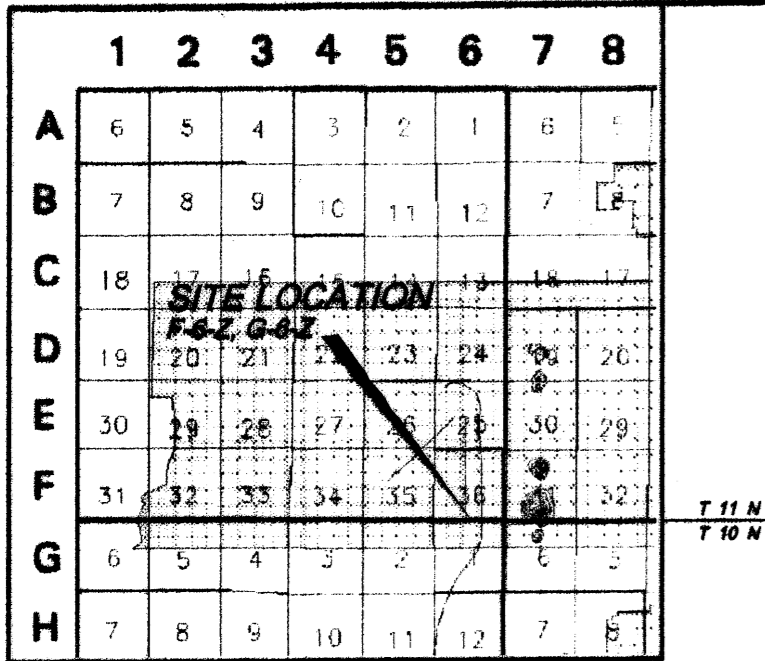
Santiago Romero Jr. 7-9-07
CITY SURVEYOR DATE
REAL PROPERTY DIVISION (CONDITIONAL) DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
ABCWUA DATE
PARKS AND RECREATION DEPARTMENT DATE
AMAFCA DATE
CITY ENGINEER DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

CERTIFICATE OF SURVEY

I, SANTIAGO ROMERO JR., NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR NO. 7924, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY SUPERVISION FROM ACTUAL FIELD SURVEYS PERFORMED SEPTEMBER 2004 AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS IN COMPLIANCE WITH THE ALBUQUERQUE SUBDIVISION ORDINANCE.

Santiago Romero Jr. 6/26/2007
SANTIAGO ROMERO JR., No. 7924 DATE

PLAT OF TRACTS D-1-A AND S-1-A
OF
AMENDED BULK LAND PLAT
FOR
AEROSPACE TECHNOLOGY PARK
WITHIN
SECTION 36, TOWNSHIP 11 NORTH, RANGE 1 EAST
AND
SECTION 3, TOWNSHIP 10 NORTH, RANGE 1 EAST
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2007



	BEARING	DIST.
L1	S 00°15'00" W	149.23

	LENGTH	DELTA	RADIUS	CHORD	CH. BR.
C1	1598.62	39°44'14"	2305.00	1566.77	N 20°06'43" E

NOTE

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

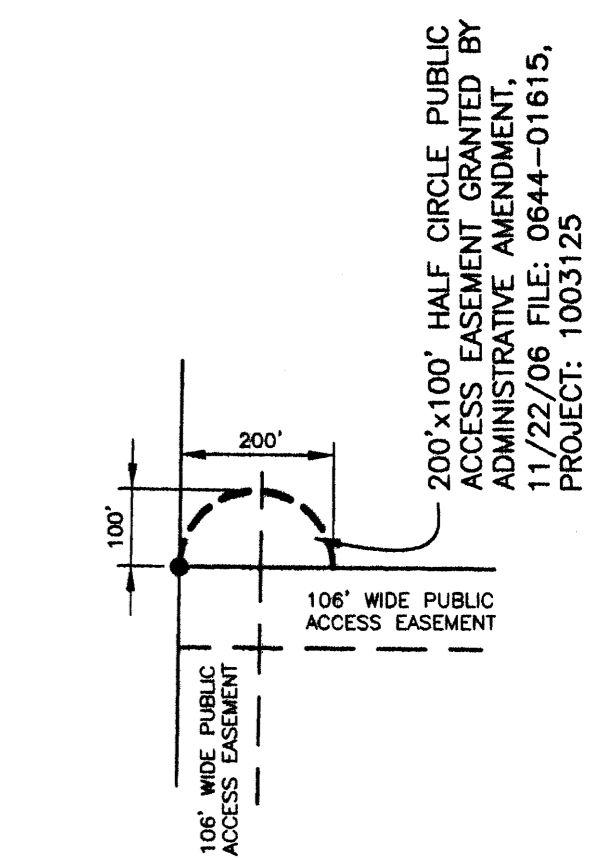
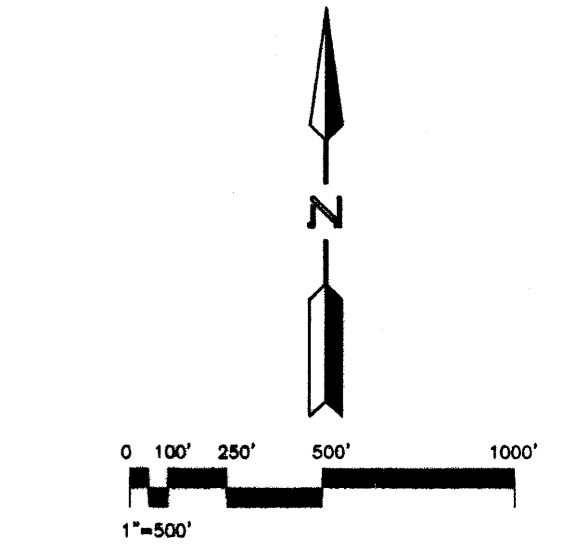
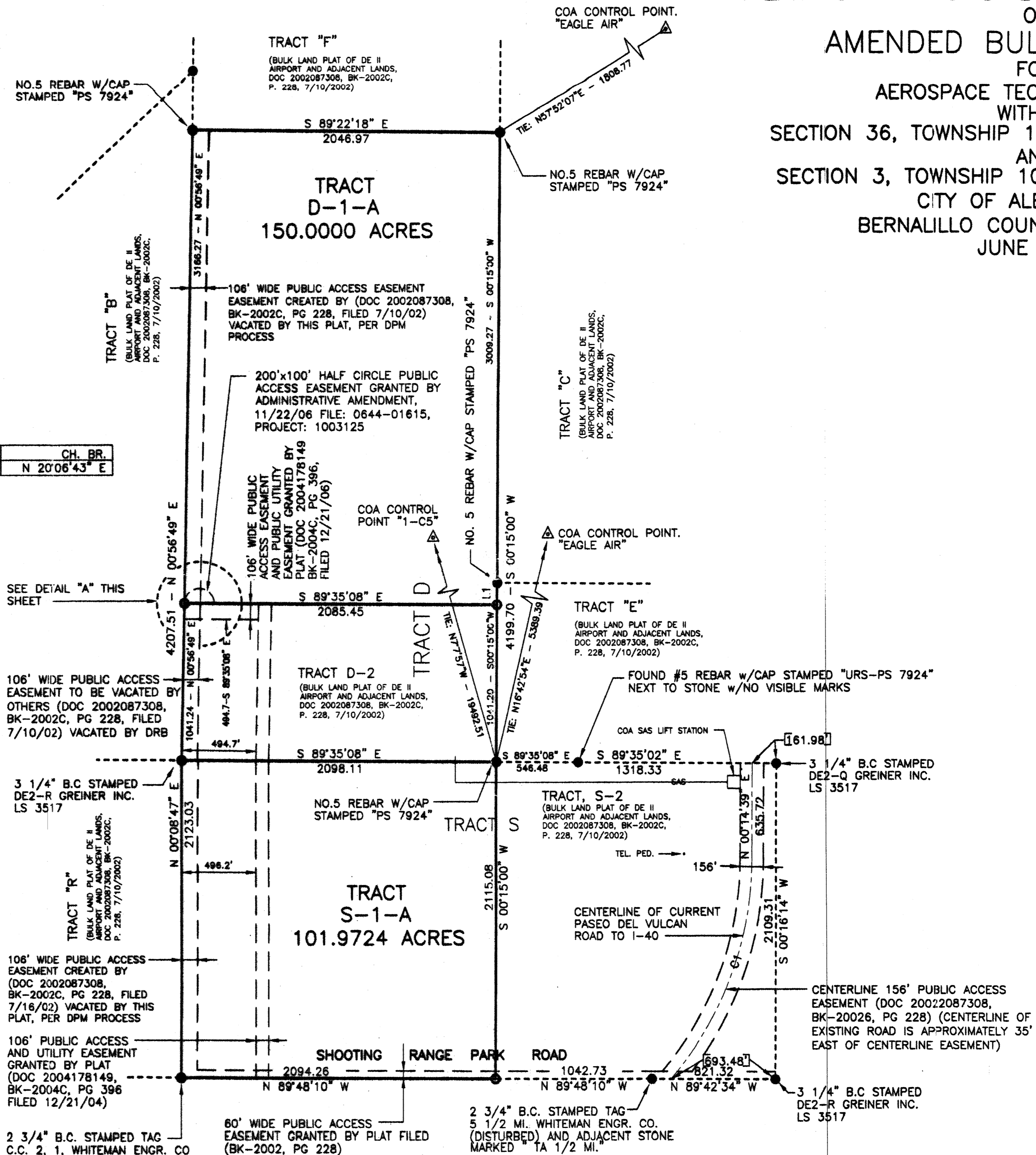
LEGEND

- SET NO.5 REBAR WITH CAP STAMPED PS 7924.
- FOUND PROPERTY CORNER.
- ▲ COA BRASS CAP

CONTROL MONUMENTS

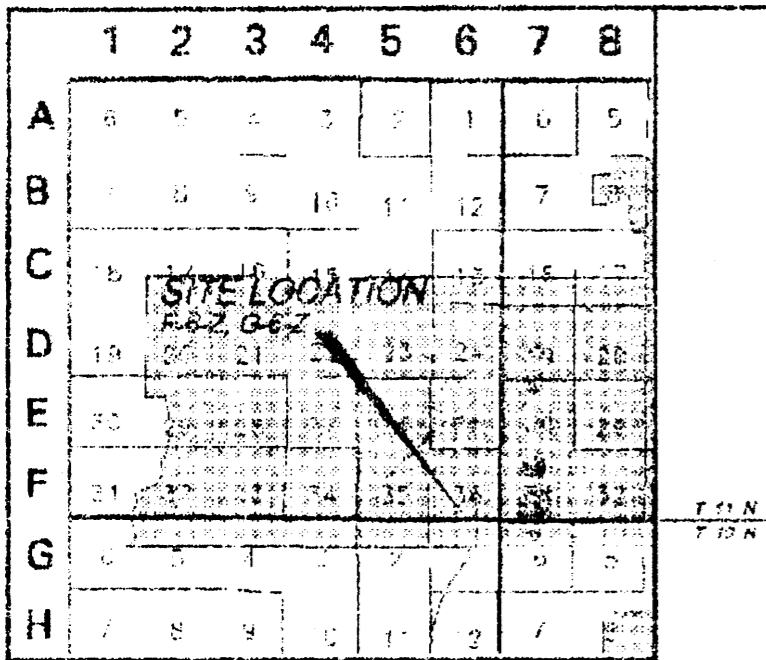
NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927, NGVD 1929)

DESIGNATION	DATA
EAGLE AIR	N 1508476.41 E 339854.29 ELEV. 5797.672 G-G 0.999652162 DELTA ALPHA -00°18'30"
1-C5	N 1522656.41 E 335883.95 ELEV. 5930.7 (TRIG) G-G 0.9996472 DELTA ALPHA -00°18'59"



DETAIL "A"

TOWN OF
ATRISCO GRANT (UNPLATTED)



VICINITY MAP
NOT TO SCALE

ZONE ATLAS MAPS
7-6-Z, 8-6-Z

PLAT OF TRACTS D-1-A-1, D-1-A-2, AND S-1-A
OF
AMENDED BULK LAND PLAT
FOR
AEROSPACE TECHNOLOGY PARK
WITHIN
SECTION 36, TOWNSHIP 11 NORTH, RANGE 1 EAST
AND
SECTION 3, TOWNSHIP 10 NORTH, RANGE 1 EAST
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2007

LEGAL DESCRIPTION

TRACTS D-1 & S-1 OF THE BULK LAND PLAT FOR AEROSPACE TECHNOLOGY PARK FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK IN BOOK 2004C, PAGE 396

OWNERS FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS THEREOF AND SAID OWNERS DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE, EASEMENTS FOR PUBLIC STREET RIGHT-OF-WAY, ACCESS, DRAINAGE, AND UTILITIES AS INDICATED HEREIN, INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN, FURTHER, SAID OWNERS DO HEREBY GRANT OTHER PRIVATE EASEMENTS AS SHOWN AND INDICATED.

OWNER TRACT S-1, CITY OF ALBUQUERQUE A MUNICIPAL CORPORATION.

Bruce J. Perlman
BRUCE J. PERLMAN, PhD.
CHIEF ADMINISTRATIVE OFFICER
CITY OF ALBUQUERQUE

STATE OF NEW MEXICO, SS)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON June 29, 2007 BY BRUCE J. PERLMAN AS CHIEF ADMINISTRATIVE OFFICER OF THE CITY OF ALBUQUERQUE, NEW MEXICO, A MUNICIPAL CORPORATION, ON BEHALF OF SAID CORPORATION.

Delicia Dixon 6/29/07
NOTARY PUBLIC DATE
[MY COMMISSION EXPIRES: 1-27-2010]
OFFICIAL SEAL
Delicia Dixon
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires: 1-27-2010

OWNER TRACT D-1, ECLIPSE AVIATION, A DELAWARE CORPORATION.

Larry Jones 6/29/07
LARRY JONES, FACILITIES MANAGER
ECLIPSE AVIATION

STATE OF NEW MEXICO, SS)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON June 27, 2007 BY LARRY JONES AS FACILITIES MANAGER FOR ECLIPSE AVIATION, ON BEHALF OF SAID CORPORATION.

Mary C. McCann 6/29/07
NOTARY PUBLIC DATE
[MY COMMISSION EXPIRES: 10-3-2010]

NOTICE OF SUBDIVISION PLAT CONDITION

"NOTICE OF SUBDIVISION PLAT CONDITIONS" AEROSPACE TECHNOLOGY PARK THE PLAT OF AEROSPACE TECHNOLOGY PARK, TRACTS D AND S OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS, HAS BEEN GRANTED A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS PURSUANT TO SECTION 14-14-5-1 OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPOON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY AND AMAFCA (WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES OR FINA. APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY, FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND, EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CALLED UPON TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

CR Santiago Romero Jr.
and Associates, Inc.
ENGINEERS SURVEYORS
4004 GARIBAY BLVD. N.E., SUITE 204
ALBUQUERQUE, NEW MEXICO 87117
(505)884-5119



APPROVED AND ACCEPTED BY

PROJECT NUMBER: 1003125

APPLICATION NUMBER: 07-285-70128, 70192

UTILITY APPROVALS:

[Signature] 6/29/2007
PNM ELECTRIC SERVICES DATE
[Signature] 6/29/2007
PNM GAS SERVICES DATE
WEST TELECOMMUNICATIONS DATE
COMCAST DATE
NEW MEXICO UTILITIES DATE

CITY APPROVALS:

[Signature] 7-9-07
CITY SURVEYOR DATE
REAL PROPERTY DIVISION (CONDITIONAL) DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
AMAFCA DATE
Christina Sandoval 6/22/07
PARKS AND RECREATION DEPARTMENT DATE
Bradley B. Bingham 6/22/07
AMAFCA DATE
Bradley B. Bingham 6/22/07
CITY ENGINEER DATE
5-13-08
DRP CHAIRPERSON, PLANNING DEPARTMENT DATE

CERTIFICATE OF SURVEY

SANTIAGO ROMERO JR., NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR NO. 7924, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY SUPERVISION FROM ACTUAL FIELD SURVEYS PERFORMED SEPTEMBER 2004, AND IS TO THE BEST OF MY KNOWLEDGE AND BELIEF CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS IN COMPLIANCE WITH THE ALBUQUERQUE SUBDIVISION ORDINANCE.

[Signature] 6/26/2007
SANTIAGO ROMERO JR. NO. 7924 DATE

DISCLOSURE STATEMENT

PURPOSE OF PLAT

1. THE PURPOSE OF THIS AMENDED BULK LAND PLAT IS TO VACATE, PER DFM PROCESS, AN 106' PUBLIC ACCESS EASEMENT WITHIN TRACTS D-1 AND S-1 AS RECORDED ON BULK LAND PLAT FOR AEROSPACE TECHNOLOGY PARK (DOC 2004178149, BK-2004C, PG 396, FILED 12/21/2004).
2. THE PURPOSE OF THIS PLAT IS TO DIVIDE TRACT D-1-A INTO (2) TRACTS DESIGNATED AS TRACTS D-1-A1 AND D-1-A2 AND GRANT EASEMENTS AS SHOWN.

DATA

1. NEW CASE NO: 04DRB-01505, 01506 BLV. P&F, BULK LAND VARIANCE NO. 1003125
2. GROSS SUBDIVISION ACREAGE 392.3607 ACRES
3. DATE OF SURVEY: 9/2004
4. TALOS LOG NO: 2007-25-4005

NOTES

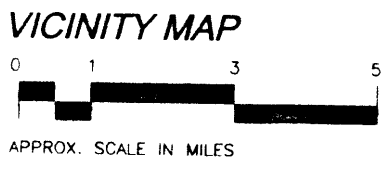
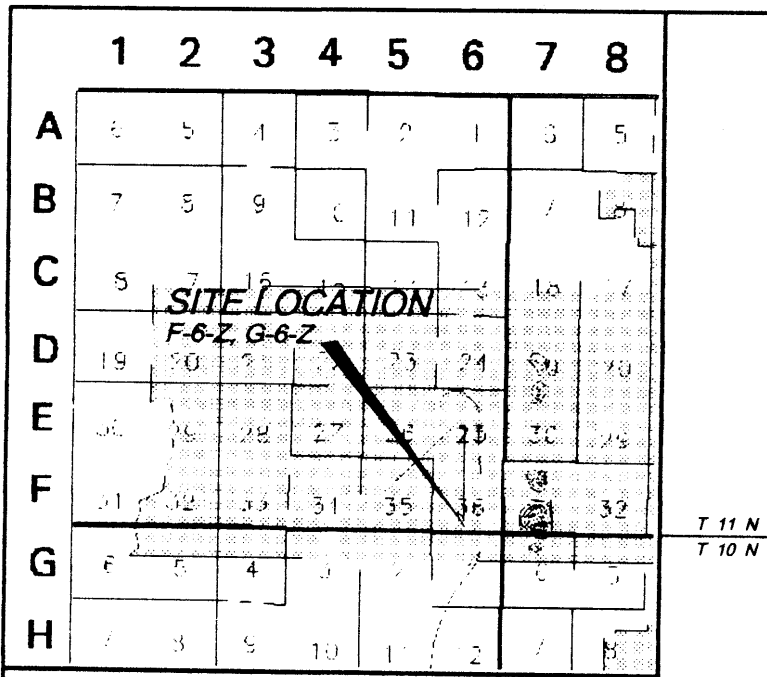
1. BEARINGS ARE NEW MEXICO STATE PLANE GPD BEARINGS (NAD 27 CENTRAL ZONE, NAD 29), CITY OF ALBUQUERQUE CONTROL SYSTEM MONUMENTS "EAGLE AIR"
2. DISTANCES ARE GROUND DISTANCES.
3. TRACTS 'S-1, S-2, D-1, & D-2' SHALL REMAIN ZONED SU-1 AIRPORT RELATED FACILITIES PER EPC APPROVAL 1001566/03EPC00915.
4. BASIS OF BOUNDARY IS FROM THE FOLLOWING REFERENCE DOCUMENTS:
A. BULK LAND PLAT OF DOUBLE EAGLE II AND ADJACENT LANDS, FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK IN BOOK 2002C, PAGE 228.
B. MAP OF T. 10 N, R. 1 E, N.M.P.M. PREPARED BY THE SURVEYOR GENERAL'S OFFICE, SANTA FE, N.M., NOV. 20, 1875 AND ON FILE WITH THE U.S. BUREAU OF LAND MANAGEMENT.
C. BULK LAND PLAT OF DOUBLE EAGLE II AND ADJACENT LANDS (DOC 2002087308, BK-2002C, PG 228, FILED 7/10/2002).
5. PLAT SHOWS ALL EASEMENTS OF RECORD PROVIDED BY A DOCUMENT SEARCH BY ALBUQUERQUE TITLE CO. INC., INC., FILE NO. 18817971 ON NOVEMBER 1, 2000.
6. BLANKET DRAINAGE EASEMENTS ARE HEREBY GRANTED TO THE CITY OF ALBUQUERQUE ON TRACTS D-1, D-2, S-1 & S-2. FUTURE SUBDIVISION ACTIONS MAY FURTHER DEFINE THESE BLANKET DRAINAGE EASEMENTS. THESE BLANKET DRAINAGE EASEMENTS ARE FOR THE BENEFIT OF ALL TRACTS CREATED BY THIS PLAT AND ARE TO BE MAINTAINED BY EACH RESPECTIVE OWNER.
- JOINT USE OF PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
7. QWEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES
8. CABLE TV FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
9. INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJACENT LANDS OF GRANTEE FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREIN.
10. IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.
11. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
12. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS AND OTHER EQUIPMENT, FIXTURES STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
13. PUBLIC CROSS ACCESS EASEMENTS ARE HEREBY GRANTED BETWEEN TRACTS D-1, D-2, S-1 & S-2. FUTURE SUBDIVISIONS MAY FURTHER DEFINE THESE PUBLIC CROSS ACCESS EASEMENTS. THESE PUBLIC CROSS EASEMENTS ARE FOR THE BENEFIT OF ALL TRACTS CREATED BY THIS PLAT AND ARE TO BE MAINTAINED BY EACH RESPECTIVE OWNER.
14. ACCESS FOR TELECOMMUNICATIONS SERVICE PROVIDERS TO THE AEROSPACE TECHNOLOGY PARK IS AVAILABLE THROUGH EXISTING FIBER OPTIC INFRASTRUCTURE.

DOCH 2008054238
05/13/2008 03:19 PM Page: 1 of 2
PLAT R \$12.00 B 2008C P 0103 M Toulouse, Bernalillo County

PLAT OF TRACTS D-1-A-1, D-1-A-2 AND S-1-A
OF
AMENDED BULK LAND PLAT
FOR
AEROSPACE TECHNOLOGY PARK
WITHIN
SECTION 36, TOWNSHIP 11 NORTH, RANGE 1 EAST
AND
SECTION 3, TOWNSHIP 10 NORTH, RANGE 1 EAST
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2007

	BEARING	DIST.
L1	S 00°15'00" W	149.23

CURVE	LENGTH	DELTA	RADIUS	CHORD	CH. BR.
C1	1598.62	39°44'14"	2305.00	1566.77	N 20°06'43" E
C2	209.440	300°00'00"	40.00	40.00	S 0°11'50" W
C3	249.809	286°15'37"	50.00	60.00	S 0°11'50" W



KEYED NOTES

- ① THE STATE LAND OFFICE IS AN INTENDED BENEFICIARY OF THE PUBLIC ACCESS EASEMENT FOR ACCESS TO TRACT B
- ② 10' WIDE ELECTRIC AND GAS UTILITY EASEMENT GRANTED BY THIS PLAT
- ③ 106' WIDE PUBLIC ACCESS EASEMENT AND PUBLIC UTILITY EASEMENT GRANTED BY PLAT (DOC 2004178149 BK-2004C, PG 396, FILED 12/21/06)
- ④ TRACT D-1 (FILED 12/21/2004, VOL 2004C, FOLIO 396) IS SUBDIVIDED INTO TRACT D-1-A1 (144.9598AC) AND TRACT D-1-A2 (50406AC)

NOTE

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERCTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

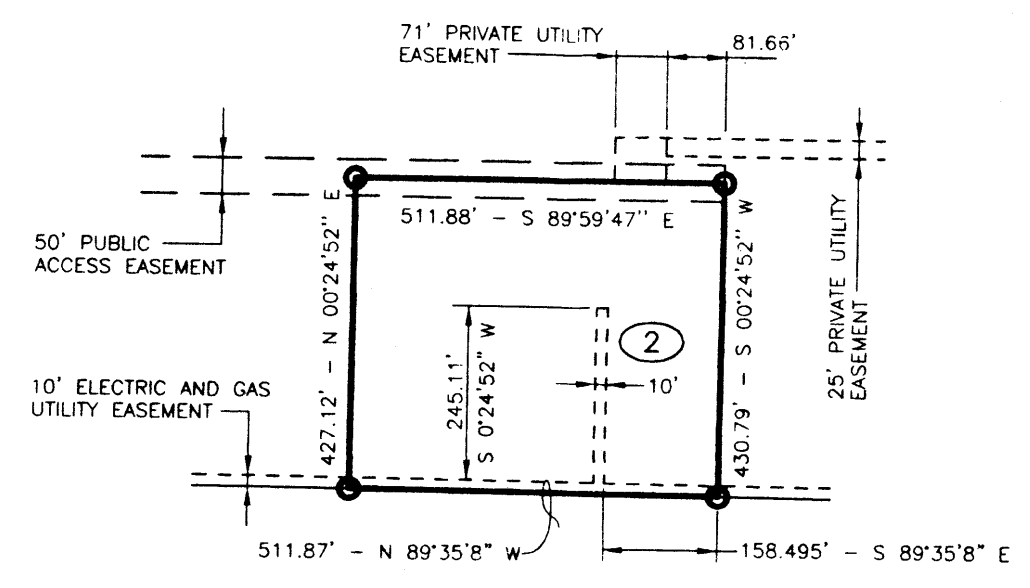
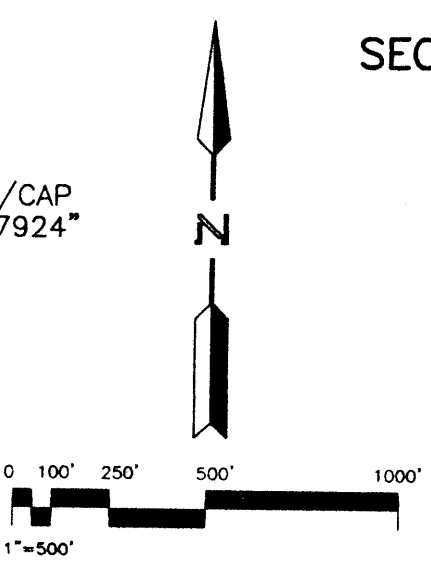
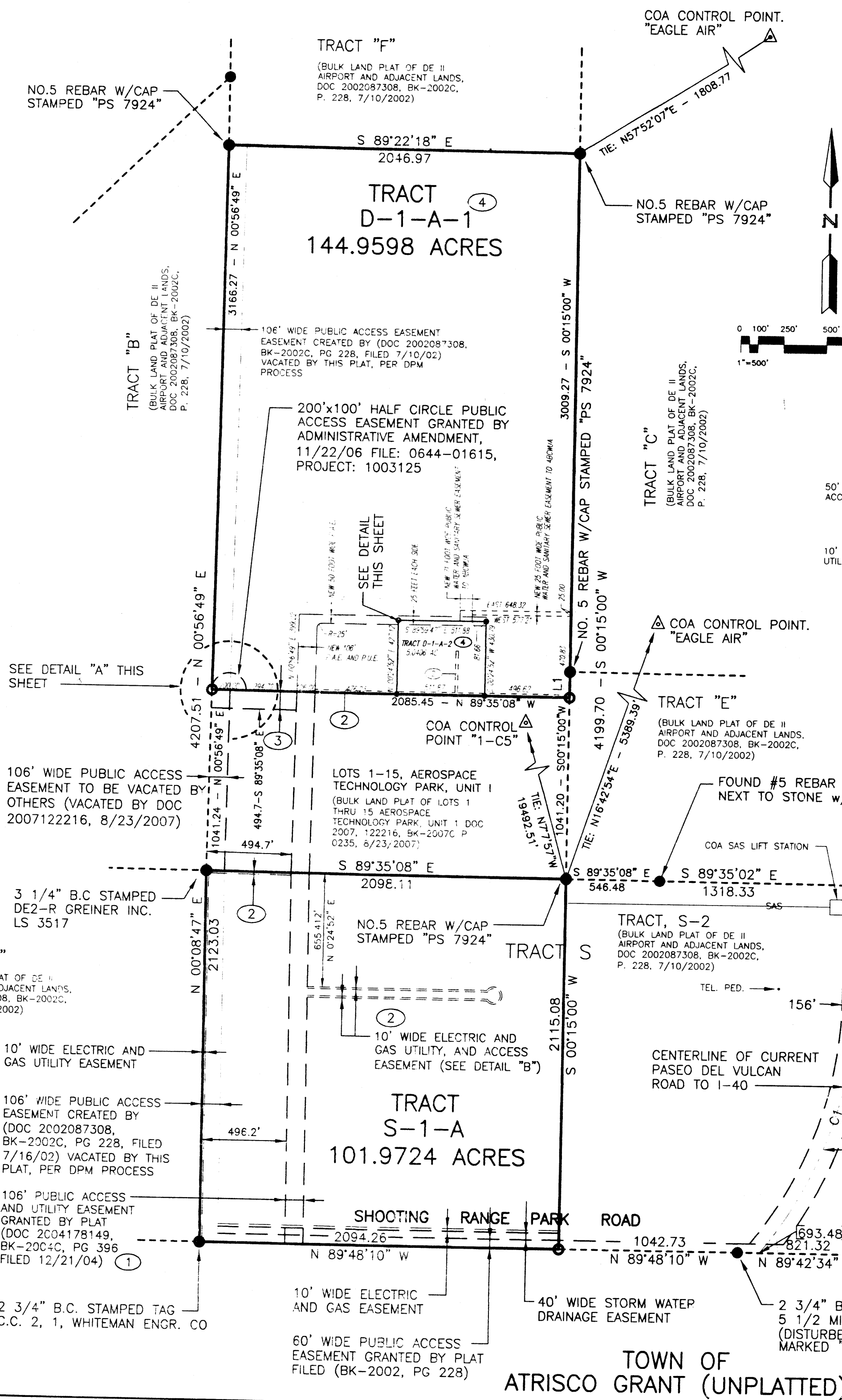
LEGEND

- SET NO.5 REBAR WITH CAP STAMPED PS 7924, OR PK WITH WASHER STAMPED 7924
- ⊙ FOUND PROPERTY CORNER.
- △ COA BRASS CAP

CONTROL MONUMENTS

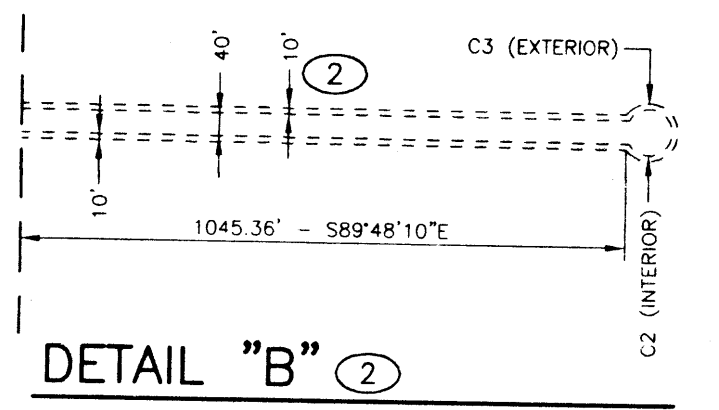
NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927, NGVD 1929)

DESIGNATION	DATA
EAGLE AIR	N 1508476.41 E 339854.29 ELEV. 5797.672 G-G 0.999652162 DELTA ALPHA -00°18'30"
1-C5	N 1522656.41 E 335883.95 ELEV. 5930.7 (TRIG) G-G 0.9996472 DELTA ALPHA -00°18'59"

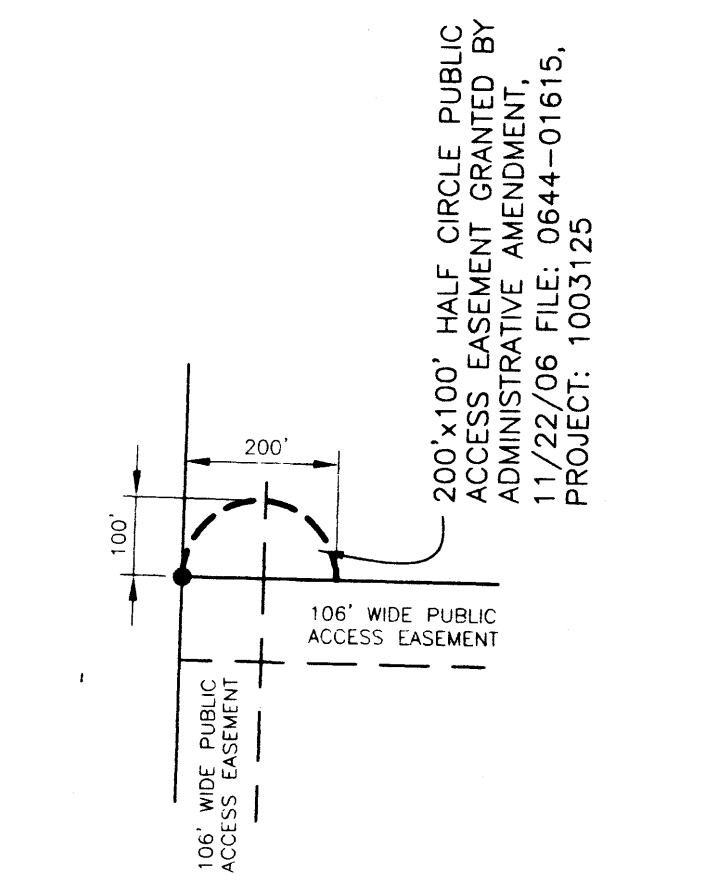


DETAIL - TRACT D-1-A-2
SCALE: NONE

DOC# 2008054238
05/13/2008 03:19 PM Page: 2 of 2
PLAT # 512 00 B 2008C P 9103 Toulouse, Bernalillo County



DETAIL "B" ②



DETAIL "A"

1	2	3	4	5	6	7	8	
A	6	5	4	3	2	1	6	5
B	7	8	9	10	11	12	7	6
C	18	17	16	15	14	13	18	17
D	19	20	21	22	23	24	19	18
E	30	29	28	27	26	25	30	29
F	31	32	33	34	35	36	31	30
G	6	5	4	3	2	1	6	5
H	7	8	9	10	11	12	7	6

VICINITY MAP
NOT TO SCALE:

DISCLOSURE STATEMENT

PURPOSE OF PLAT

- TO CREATE 4 TRACTS, FROM 2 EXISTING TRACTS AS SHOWN HEREON AND GRANT BLANKET DRAINAGE EASEMENTS, AND CROSS ACCESS EASEMENTS.

DATA

- NEW CASE NO: 04DRB-01505, 01508 BLV, P&F, BULK LAND VARIANCE NO. 1003125
- GROSS SUBDIVISION ACREAGE 392.3607 ACRES
- DATE OF SURVEY: 9/2004
- TALOS LOG NO: 2004-40-1945

NOTES

- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (NAD 27 CENTRAL ZONE, NAD 29), CITY OF ALBUQUERQUE CONTROL SYSTEM MONUMENTS "EAGLE AIR".
- DISTANCES ARE GROUND DISTANCES.
- TRACTS "S-1, S-2, D-1, & D-2" ARE REMAIN ZONED SU-1 AIRPORT RELATED FACILITIES PER EPC APPROVAL 1001658/03EPC00915.
- BASIS OF BOUNDARY IS FROM THE FOLLOWING REFERENCE DOCUMENTS:
A. BULK LAND PLAT OF DOUBLE EAGLE II AND ADJACENT LANDS, FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK IN BOOK 2002C, PAGE 228.
B. MAP OF T 10 N, R 1 E, N.M.P.M. PREPARED BY THE SURVEYOR GENERAL'S OFFICE, SANTA FE, N.M., NOV. 20, 1875 AND ON FILE WITH THE U.S. BUREAU OF LAND MANAGEMENT.
- PLAT SHOWS ALL EASEMENTS OF RECORD PROVIDED BY A DOCUMENT SEARCH BY ALBUQUERQUE TITLE CO. INC., INC., FILE NO. 18817971 ON NOVEMBER 11, 2004.
- BLANKET DRAINAGE EASEMENTS ARE HEREBY GRANTED TO THE CITY OF ALBUQUERQUE ON TRACTS D-1, D-2, S-1 & S-2. FUTURE SUBDIVISION ACTIONS MAY FURTHER DEFINE THESE BLANKET DRAINAGE EASEMENTS. THESE BLANKET DRAINAGE EASEMENTS ARE FOR THE BENEFIT OF ALL TRACTS CREATED BY THIS PLAT AND ARE TO BE MAINTAINED BY EACH RESPECTIVE OWNER.
- JOINT USE OF PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
7. QWEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
8. CABLE TV FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
- INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJACENT LANDS OF GRANTEE FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.
- IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS AND OTHER EQUIPMENT, FIXTURES STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PUBLIC CROSS ACCESS EASEMENTS ARE HEREBY GRANTED BETWEEN TRACTS D-1, D-2, S-1, & S-2. FUTURE SUBDIVISIONS MAY FURTHER DEFINE THESE PUBLIC CROSS ACCESS EASEMENTS. THESE PUBLIC CROSS ACCESS EASEMENTS ARE FOR THE BENEFIT OF ALL TRACTS CREATED BY THIS PLAT AND ARE TO BE MAINTAINED BY EACH RESPECTIVE OWNER.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON UPC # 1001-010-205435-30144
PROPERTY OWNER OF RECORD
Ranch Joint Venture, LLC City of Albuquerque
BERNALILLO COUNTY TREASURER'S OFFICE
Arthur K... 12/21/2004

LEGAL DESCRIPTION

TRACTS D&S OF THE BULK LANDS PLAT OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS FILED IN THE OFFICE OF BERNALILLO COUNTY CLERK IN BOOK 2002C, PAGE 228, AND DATED 07/10/2002

OWNERS FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND/OR PROPRIETORS THEREOF AND SAID OWNERS AND/OR PROPRIETORS DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE, EASEMENTS FOR PUBLIC STREET RIGHT-OF-WAY, ADDRESS, EGRESS, AND UTILITIES AS INDICATED HEREIN, INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN, FURTHER, SAID OWNERS AND/OR PROPRIETORS DO HEREBY GRANT OTHER PRIVATE EASEMENTS AS SHOWN AND INDICATED.

OWNER TRACT S, CITY OF ALBUQUERQUE A MUNICIPAL CORPORATION.

James Lewis
JAMES LEWIS
CHIEF ADMINISTRATIVE OFFICER
CITY OF ALBUQUERQUE

STATE OF NEW MEXICO SS)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON Oct 22, 2004 BY JAMES LEWIS AS CHIEF ADMINISTRATIVE OFFICER OF THE CITY OF ALBUQUERQUE, NEW MEXICO, A MUNICIPAL CORPORATION, ON BEHALF OF SAID CORPORATION.

Rene Carrasco 10/22/04
RENE CARRASCO
NOTARY PUBLIC
MY COMMISSION EXPIRES: 11/5/2006

OWNER TRACT D, RANCH JOINT VENTURE, L.P., A NEW MEXICO LIMITED LIABILITY PARTNERSHIP

BY: B-R RANCH MANAGEMENT II PARTNERS, L.P., A TEXAS LIMITED PARTNERSHIP, MANAGING PARTNER RS GENERAL PARTNER

BY: TENWEST, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER

William L. Rogers
WILLIAM L. ROGERS, PRESIDENT

Gayle Cook 10/22/04
GAYLE COOK
NOTARY PUBLIC
MY COMMISSION EXPIRES: 1/20/05



NOTICE OF SUBDIVISION PLAT CONDITION

"NOTICE OF SUBDIVISION PLAT CONDITIONS" AEROSPACE TECHNOLOGY PARK THE PLAT OF AEROSPACE TECHNOLOGY PARK, TRACTS D AND S OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS, HAS BEEN GRANTED A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS PURSUANT TO SECTION 14-14-9-1 OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPGRADE INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY AND AMAFCA (WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY, FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND, EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.



BULK LAND PLAT FOR AEROSPACE TECHNOLOGY PARK TRACTS D AND S OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS

SECTION 36, TOWNSHIP 11 NORTH, RANGE 1 EAST AND SECTION 3, TOWNSHIP 10 NORTH, RANGE 1 EAST CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO OCTOBER 2004

APPROVED AND ACCEPTED BY

Brian Matson 12/08/04
BRIAN MATSON
PLANNING DIRECTOR, CITY OF ALBUQUERQUE

John A. ... 12-8-04
JOHN A. ...
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT

Christina ... 12/8/04
CHRISTINA ...
PARKS AND RECREATION DEPARTMENT

Lead 99. Mark 12-21-04
LEAD 99. MARK
PUBLIC SERVICE COMPANY

Dave R. Muller 12-21-04
DAVE R. MULLER
QWEST COMMUNICATIONS, INC.

Lead 99. Mark 12-21-04
LEAD 99. MARK
GAS COMPANY

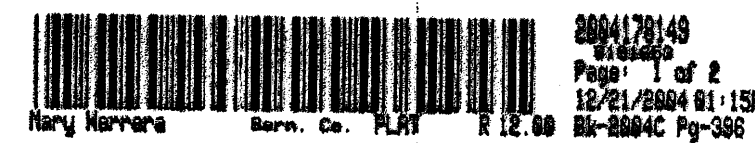
M.B. Jant 11-9-04
M.B. JANT
CITY SURVEYOR, ENGINEERING DIVISION

NIA Sam 12/08/04
NIA SAM
CITY REAL PROPERTY

Roger ... 12-8-04
ROGER ...
UTILITY DEVELOPMENT DEPARTMENT

Bradley S. Bingham 12/8/04
BRADLEY S. BINGHAM
ALBUQUERQUE METROPOLITAN ABOVE-FLOOD CONTROL AUTHORITY

Bradley S. Bingham 12/8/04
BRADLEY S. BINGHAM
CITY ENGINEER, ENGINEERING DIVISION



CERTIFICATE OF SURVEY

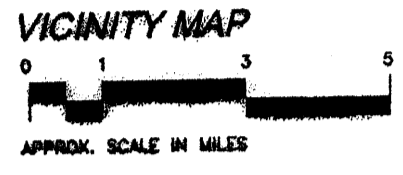
I, SANTIAGO ROMERO JR., NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR NO. 7924, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY SUPERVISION FROM ACTUAL FIELD SURVEYS PERFORMED SEPTEMBER 2004 AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS IN THE COMPLIANCE WITH THE ALBUQUERQUE SUBDIVISION ORDINANCE.

Santiago Romero Jr. Oct. 6, 2004
SANTIAGO ROMERO JR., P.S. NO. 7924 DATE



BULK LAND PLAT
 FOR
AEROSPACE TECHNOLOGY PARK
TRACTS D AND S OF DOUBLE EAGLE II
AIRPORT AND ADJACENT LANDS
 WITHIN
 SECTION 36, TOWNSHIP 11 NORTH, RANGE 1 EAST
 AND
 SECTION 3, TOWNSHIP 10 NORTH, RANGE 1 EAST
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2004

1	2	3	4	5	6	7	8	
A	6	5	4	3	2	1	6	5
B	7	8	9	10	11	12	7	6
C	18	17	16	15	14	13	18	17
D	19	18	17	16	15	14	19	18
E	30	29	28	27	26	25	30	29
F	31	30	29	28	27	26	31	30
G	6	5	4	3	2	1	6	5
H	7	8	9	10	11	12	7	6



BEARING	DIST.
L1	S 00°15'00" W 149.23

LENGTH	DELTA	RADIUS	CHORD	CH. BR.	
C1	1598.62	39°44'14"	2305.00	1566.77	N 20°06'43" E

LEGAL DESCRIPTION

TRACTS D&S OF THE BULK LANDS PLAT OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS FILED IN THE OFFICE OF BERNALILLO COUNTY CLERK IN BOOK 2002C, PAGE 228, AND DATED 07/10/2002.

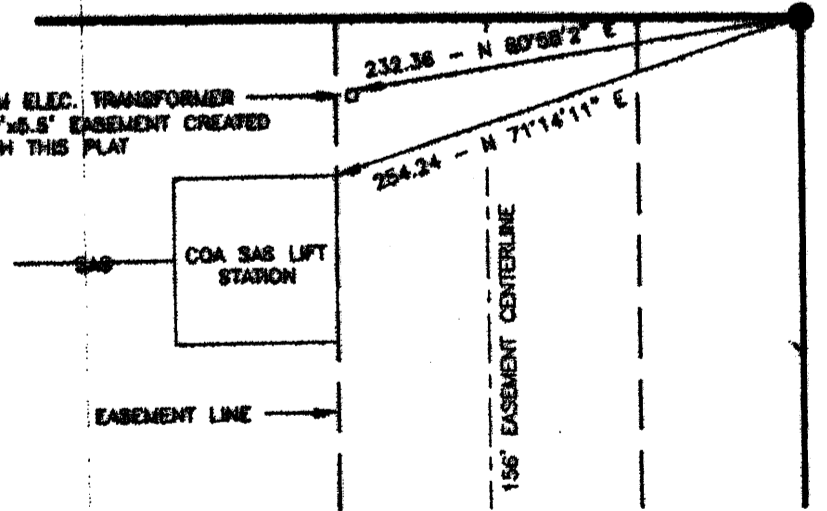
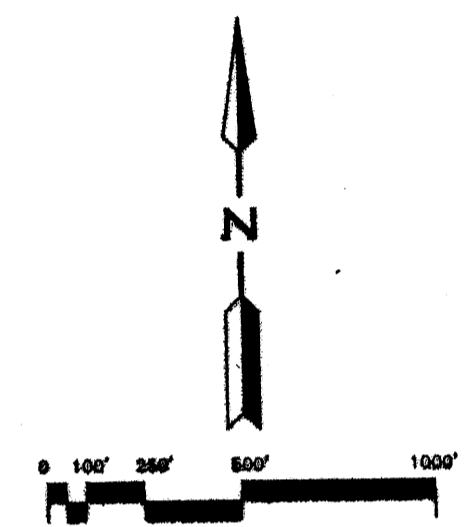
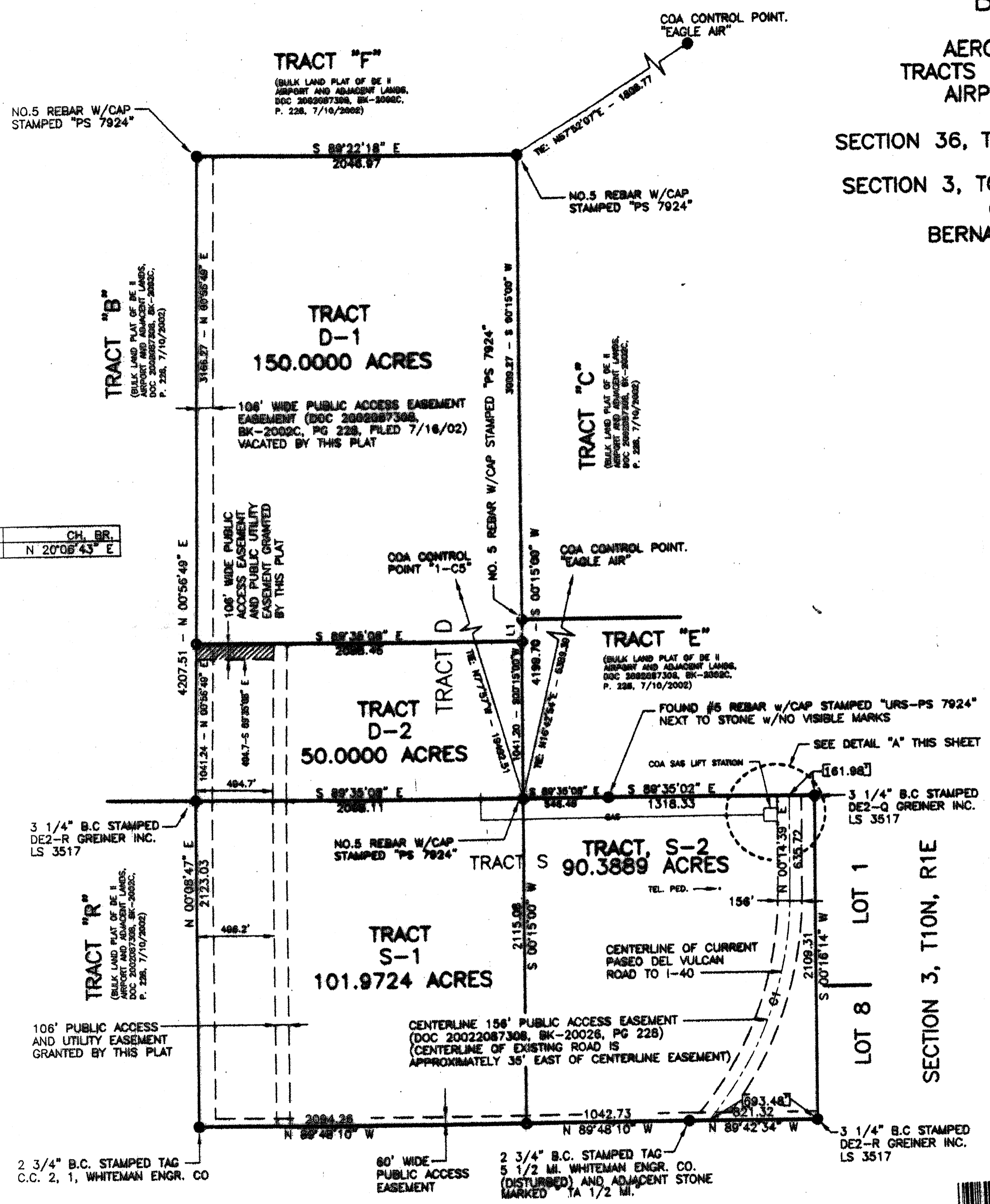
LEGEND

- SET NO.5 REBAR WITH CAP STAMPED PS 7924.
- FOUND PROPERTY CORNER.

CONTROL MONUMENTS

NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927, NGVD 1929)

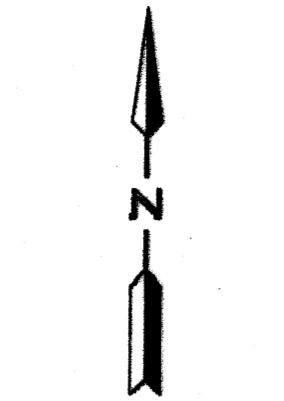
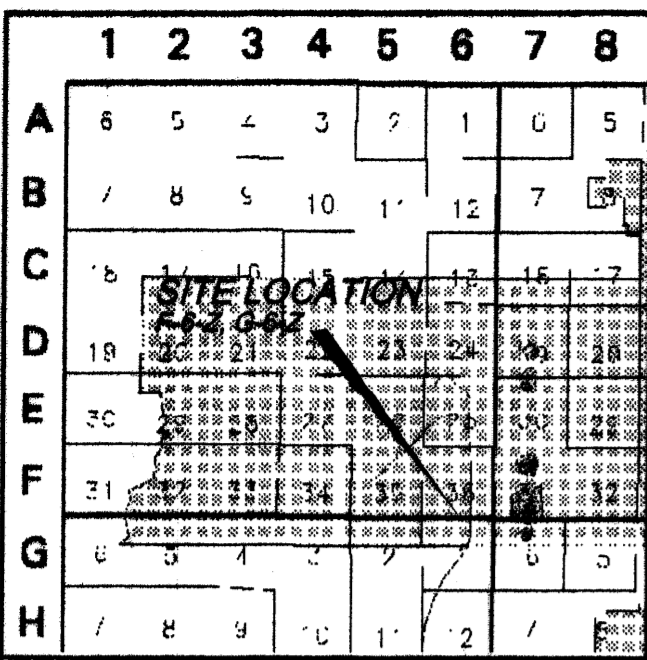
DESIGNATION	DATA
EAGLE AIR	N 1508476.41 E 339854.29 ELEV. 5797.672 G-G 0.999652162 DELTA ALPHA -00°18'30"
1-C5	N 1522656.41 E 335883.95 ELEV. 5930.7 (TRIG) G-G 0.9996472 DELTA ALPHA -00°18'59"



DETAIL "A"

TOWN OF
ATRISCO GRANT (UNPLATTED)

2004178148
 Page: 2 of 2
 12/21/2004 04:15P
 Bk-2004C Pg-206



ZONE ATLAS MAPS
F-6-Z, G-6-Z

VICINITY MAP
NOT TO SCALE:

DISCLOSURE STATEMENT

PURPOSE OF PLAT

1. THE PURPOSE OF THIS AMENDED BULK LAND PLAT IS TO VACATE, PER DPM PROCESS, AN 108' PUBLIC ACCESS EASEMENT WITHIN TRACTS D-1 AND S-1 AS RECORDED ON BULK LAND PLAT FOR AEROSPACE TECHNOLOGY PARK (DOC 2004178149, BK-2004C, PG 398, FILED 12/21/2004).

DATA

1. NEW CASE NO: 04DRB-01505, 01506 BLV, P&F, BULK LAND VARIANCE NO. 1003125
2. GROSS SUBDIVISION ACREAGE 392.3607 ACRES
3. DATE OF SURVEY: 9/2004
4. TALOS LOG NO: 2007-25-4005

NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (NAD 27 CENTRAL ZONE, NGVD 29), CITY OF ALBUQUERQUE CONTROL SYSTEM MONUMENTS "EAGLE AIR".
2. DISTANCES ARE GROUND DISTANCES.
3. TRACTS 'S-1, S-2, D-1, & D-2' SHALL REMAIN ZONED SU-1 AIRPORT RELATED FACILITIES PER EPC APPROVAL 1001656/03EPC00915.
4. BASIS OF BOUNDARY IS FROM THE FOLLOWING REFERENCE DOCUMENTS:
 - A. BULK LAND PLAT OF DOUBLE EAGLE II AND ADJACENT LANDS, FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK IN BOOK 2002C, PAGE 228.
 - B. MAP OF T 10 N, R 1 E, N.M.P.M. PREPARED BY THE SURVEYOR GENERAL'S OFFICE, SANTA FE, N.M., NOV. 20, 1875 AND ON FILE WITH THE U.S. BUREAU OF LAND MANAGEMENT.
 - C. BULK LAND PLAT OF DOUBLE EAGLE II AND ADJACENT LANDS (DOC 2002087308, BK-2002C, PG 228, FILED 7/10/2002).
5. PLAT SHOWS ALL EASEMENTS OF RECORD PROVIDED BY A DOCUMENT SEARCH BY ALBUQUERQUE TITLE CO. INC., INC., FILE NO. 188179T1 ON NOVEMBER 1, 2000.
6. BLANKET DRAINAGE EASEMENTS ARE HEREBY GRANTED TO THE CITY OF ALBUQUERQUE ON TRACTS D-1, D-2, S-1 & S-2. FUTURE SUBDIVISION ACTIONS MAY FURTHER DEFINE THESE BLANKET DRAINAGE EASEMENTS. THESE BLANKET DRAINAGE EASEMENTS ARE FOR THE BENEFIT OF ALL TRACTS CREATED BY THIS PLAT AND ARE TO BE MAINTAINED BY EACH RESPECTIVE OWNER.

JOINT USE OF PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
7. QWEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
8. CABLE TV FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
9. INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.
10. IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.
11. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
12. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS AND OTHER EQUIPMENT, FIXTURES STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
13. PUBLIC CROSS ACCESS EASEMENTS ARE HEREBY GRANTED BETWEEN TRACTS D-1, D-2, S-1 & S-2. FUTURE SUBDIVISIONS MAY FURTHER DEFINE THESE PUBLIC CROSS ACCESS EASEMENTS. THESE PUBLIC CROSS EASEMENTS ARE FOR THE BENEFIT OF ALL TRACTS CREATED BY THIS PLAT AND ARE TO BE MAINTAINED BY EACH RESPECTIVE OWNER.
14. ACCESS FOR TELECOMMUNICATIONS SERVICE PROVIDERS TO THE AEROSPACE TECHNOLOGY PARK IS AVAILABLE THROUGH EXISTING FIBER OPTIC INFRASTRUCTURE.

LEGAL DESCRIPTION

TRACTS D-1 & S-1 OF THE BULK LAND PLAT FOR AEROSPACE TECHNOLOGY PARK FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK IN BOOK 2004C, PAGE 398.

OWNERS FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS THEREOF AND SAID OWNERS DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE, EASEMENTS FOR PUBLIC STREET RIGHT-OF-WAY, ACCESS, DRAINAGE, AND UTILITIES AS INDICATED HEREIN, INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN, FURTHER, SAID OWNERS DO HEREBY GRANT OTHER PRIVATE EASEMENTS AS SHOWN AND INDICATED.

OWNER TRACT S-1, CITY OF ALBUQUERQUE A MUNICIPAL CORPORATION.

Bruce J. Perlman
BRUCE J. PERLMAN, PH.D.
CHIEF ADMINISTRATIVE OFFICER
CITY OF ALBUQUERQUE

STATE OF NEW MEXICO) ss
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON June 27, 2007 BY BRUCE J. PERLMAN AS CHIEF ADMINISTRATIVE OFFICER OF THE CITY OF ALBUQUERQUE, NEW MEXICO, A MUNICIPAL CORPORATION, ON BEHALF OF SAID CORPORATION.

Felicia Giron 6/27/07
NOTARY PUBLIC DATE
[MY COMMISSION EXPIRES: 1-27-2010];
OFFICIAL SEAL
Felicia Giron
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires: 1-27-2010

OWNER TRACT D-1, ECLIPSE AVIATION, A DELAWARE CORPORATION.

Larry Jones
LARRY JONES, FACILITIES MANAGER
ECLIPSE AVIATION

STATE OF NEW MEXICO) ss
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON June 27, 2007 BY LARRY JONES AS FACILITIES MANAGER FOR ECLIPSE AVIATION, ON BEHALF OF SAID CORPORATION.

Mary C. McCormack 6/27/07
NOTARY PUBLIC DATE
[MY COMMISSION EXPIRES: 10-3-2010];
OFFICIAL SEAL
MARY C. MCCORMACK
Notary Public
State of New Mexico
My Commission Expires: 10-3-2010

NOTICE OF SUBDIVISION PLAT CONDITION

"NOTICE OF SUBDIVISION PLAT CONDITIONS" AEROSPACE TECHNOLOGY PARK. THE PLAT OF AEROSPACE TECHNOLOGY PARK, TRACTS D AND S OF DOUBLE EAGLE II AIRPORT AND ADJACENT LANDS, HAS BEEN GRANTED A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS PURSUANT TO SECTION 14-14-6-1 OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY AND AMAFCA (WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY, FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS; AND, EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

SJR & ASSOC Santiago Romero Jr. and Associates, Inc.
ENGINEERS SURVEYORS
4004 CARROLL BLVD. N.E. SUITE C-4
ALBUQUERQUE, NEW MEXICO 87107
(505)884-8118

PLAT OF TRACTS D-1-A AND S-1-A
OF
AMENDED BULK LAND PLAT
FOR
AEROSPACE TECHNOLOGY PARK
WITHIN
SECTION 36, TOWNSHIP 11 NORTH, RANGE 1 EAST
AND
SECTION 3, TOWNSHIP 10 NORTH, RANGE 1 EAST
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2007

APPROVED AND ACCEPTED BY

PROJECT NUMBER: 1003125
APPLICATION NUMBER: 07 DRB - 70128, 70192

UTILITY APPROVALS:

Quintela P 11/29/2007
PNM ELECTRIC SERVICES DATE
Quintela P 11/29/2007
PNM GAS SERVICES DATE
QWEST TELECOMMUNICATIONS DATE
COMCAST DATE
NEW MEXICO UTILITIES DATE

CITY APPROVALS:

John B. Fair 7-9-07
CITY SURVEYOR DATE
n/a
REAL PROPERTY DIVISION (CONDITIONAL) DATE
8-22-07
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
Roger A. Green 8/22/07
ABCWUA DATE
Christina Sandoval 8/22/07
PARKS AND RECREATION DEPARTMENT DATE
Bradley B. Bingham 8/22/07
AMAFCA DATE
Bradley B. Bingham 8/22/07
CITY ENGINEER DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

CERTIFICATE OF SURVEY

I, SANTIAGO ROMERO JR., NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR NO. 7924, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY SUPERVISION FROM ACTUAL FIELD SURVEYS PERFORMED SEPTEMBER 2004 AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS IN COMPLIANCE WITH THE ALBUQUERQUE SUBDIVISION ORDINANCE.

Santiago Romero Jr. 6/26/2007
SANTIAGO ROMERO JR., CS. NO. 7924 DATE



