

DESIGN DATA

OFF-STREET PARKING
 10,010 sf (net feasible) / 200 = 50.05 = 51.0
 Less 10% (Bus Line) -5.1 = 46
 Parking Spaces Furnished 46

Handicapped Spaces Required 3
 Handicapped Spaces Furnished 4
 Bicycle Parking Required 3
 Bicycle Parking Furnished 3

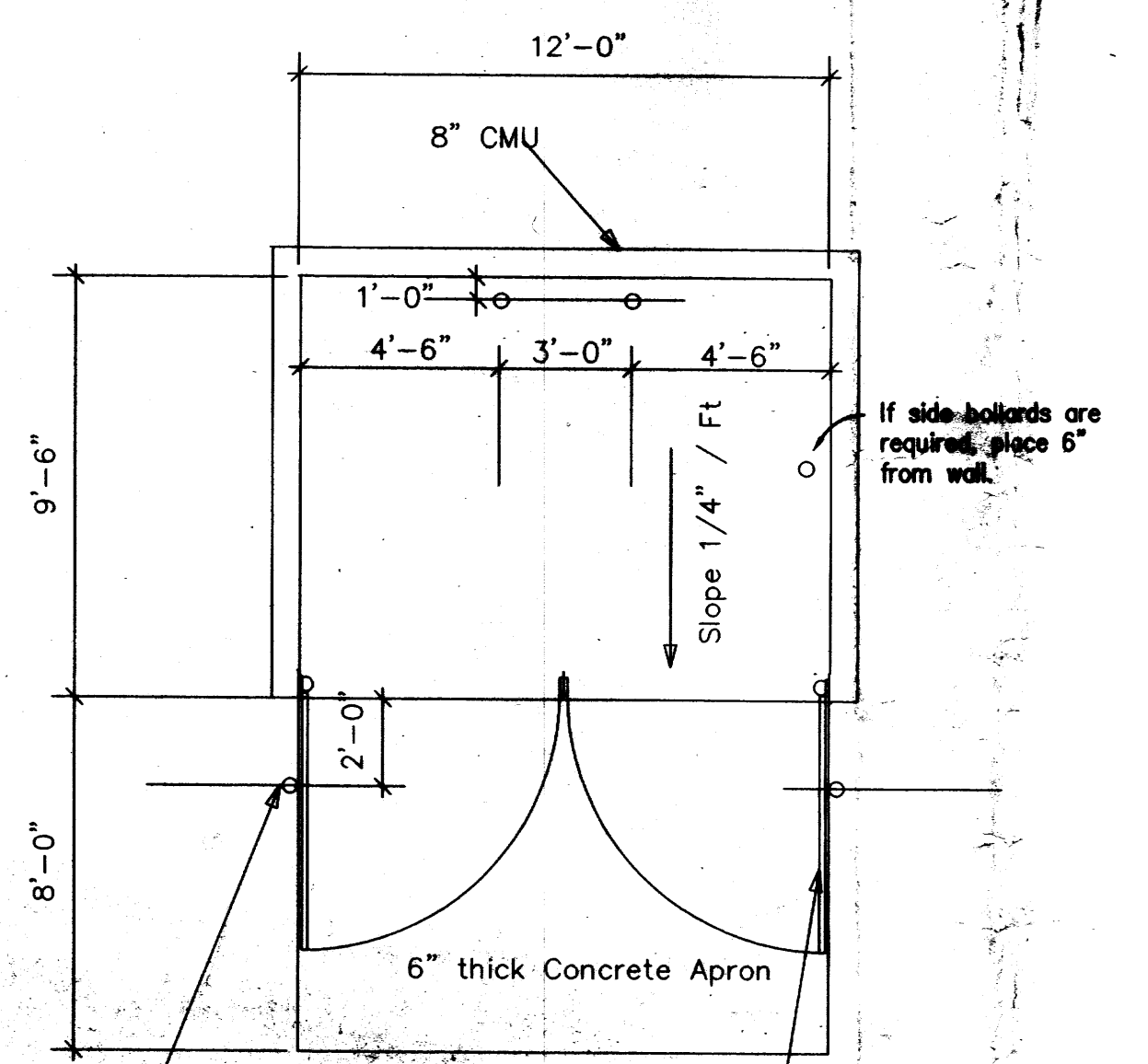
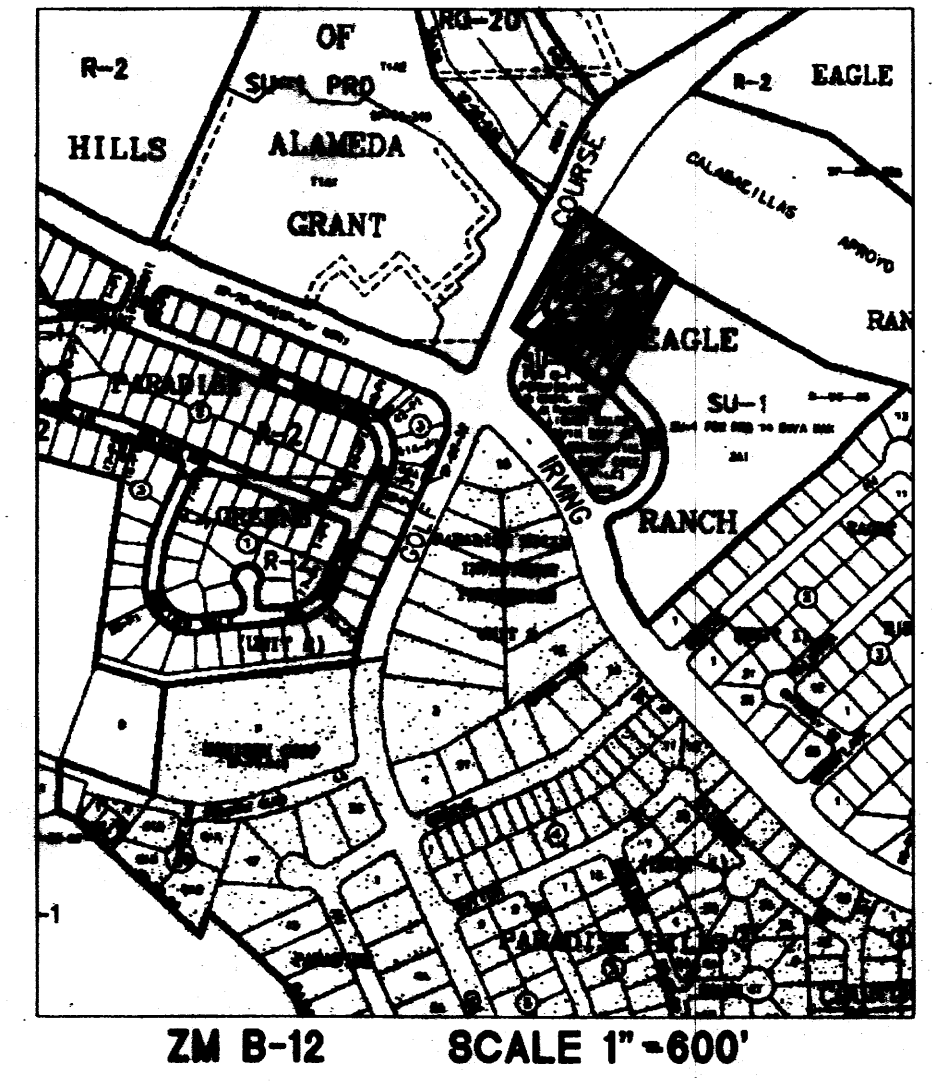
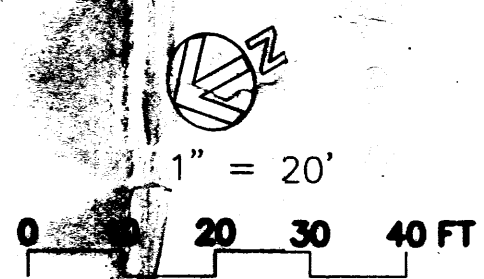
SITE LIGHTING
 Luminaire on 20' Pole (Metal Halide Downlight w/ 45° Cut-Off)
 BOLLARD (See Elevations Sheet)
 6" Bollard

DESIGN CRITERIA
 Map Ref - B-12
 Zoning - SU-1 for C-1
 Site Area - 1.015 Acres
 Occupancy - B

PROJECT 100 B127

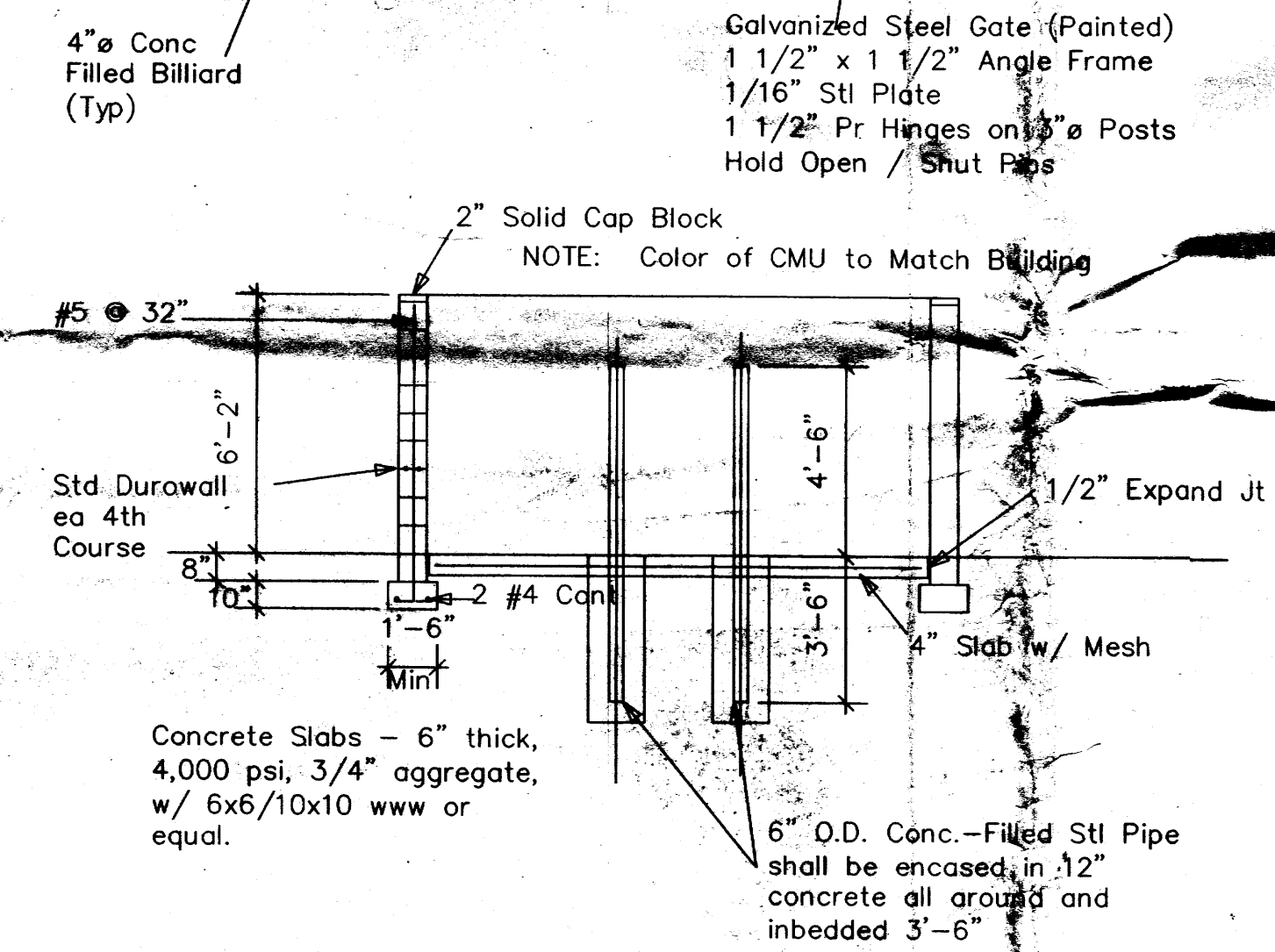
PROJECT OBJECTIVE

This project will construct a one story building to be used for commercial and/or offices. The building will be of similar line, color and texture as the adjacent commercial buildings with parking on site. Landscaping will remove the existing natural vegetation and place drought resistant trees, shrubs and ground cover to decorate, partially screen and shade the site. Retaining walls shall be of segmented concrete block with curving corners and tapered ends, and of a color to match the project scheme. Tinted glass windows will add to the overall shereffe of the project.



SYMBOL LEGEND

PROPERTY LINE	---
PROPOSED FEATURE	---
EXISTING FEATURE	---
CENTERLINE	---



DRB PROJECT #1003127 APP#04-00509

Infrastructure list required? () Yes () No. If yes, then DRC approved plans and a Work Order is required for any construction within the Public Right of Way or for construction of public improvements.

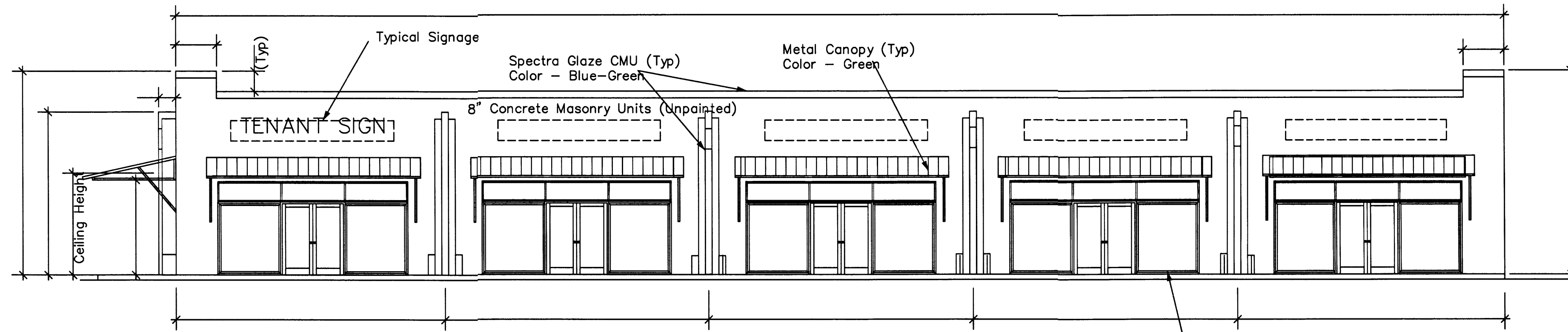
DRB SITE DEVELOPMENT PLAN APPROVAL

<i>Phil De...</i> Engineers, Transportation division	5-5-04 Date
<i>Ron A. ...</i> Utilities Development	5-5-04 Date
<i>U. ...</i> Parks and Recreation Department	5/5/04 Date
<i>... ..</i> Engineer	5-5-04 Date
Environmental Health Department (conditional)	Date
<i>Michael Helton</i> Solid Waste Management	5-3-04 Date
<i>Sheron Motern</i> DRB Chairperson, Planning Department	5/5/04 Date

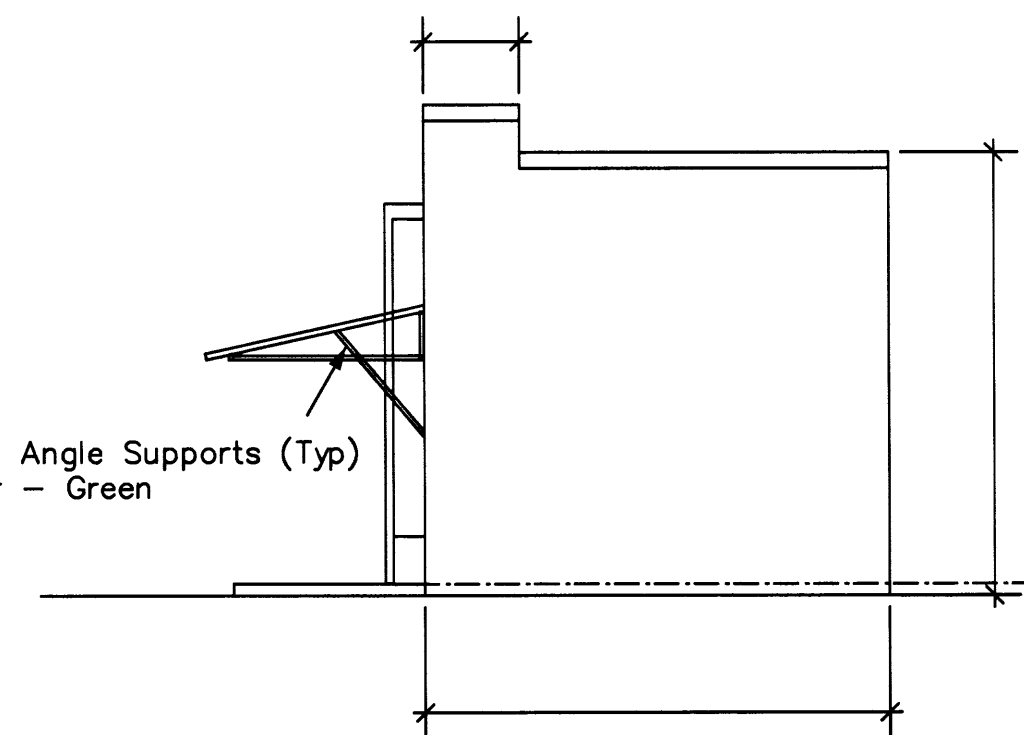
NO FLOOD ENCROACHING OFFICE
 883-8011
 APPROVED
 5-4-04
 S. K. O. 04

REVISIONS	DESCRIPTION	
	DATE	
	03-18	
	March 2, 2004	
	DRB 1003127	

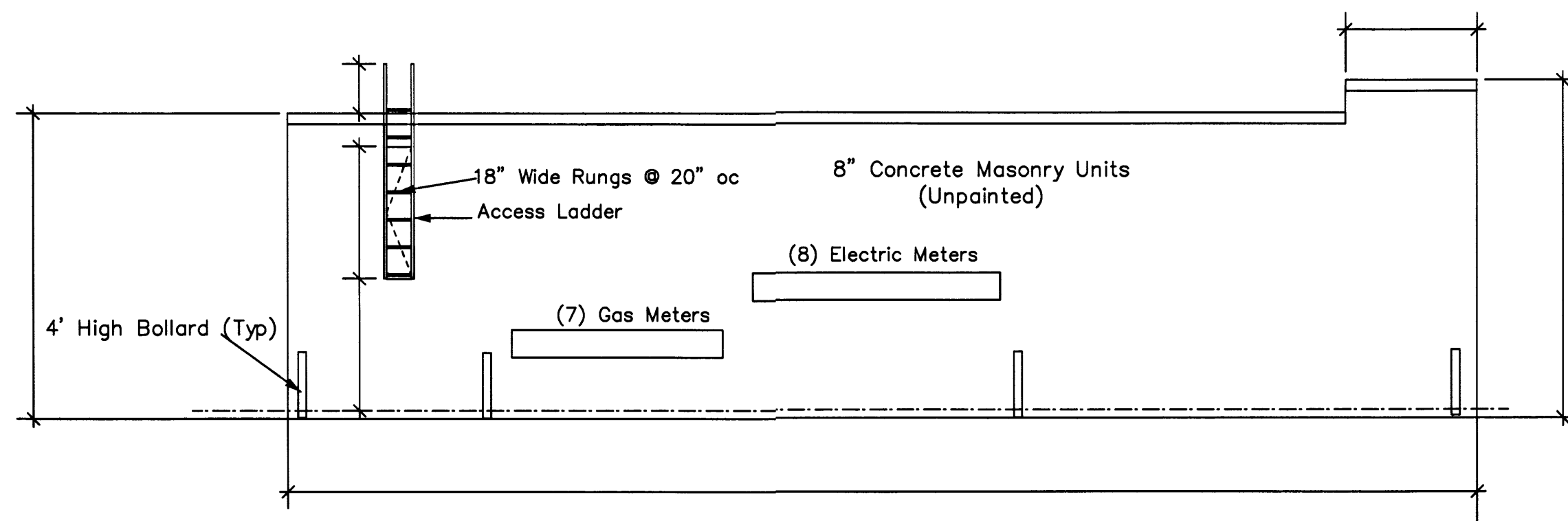
SITE PLAN FOR BUILDING PERMIT and TRAFFIC CONTROL LAYOUT



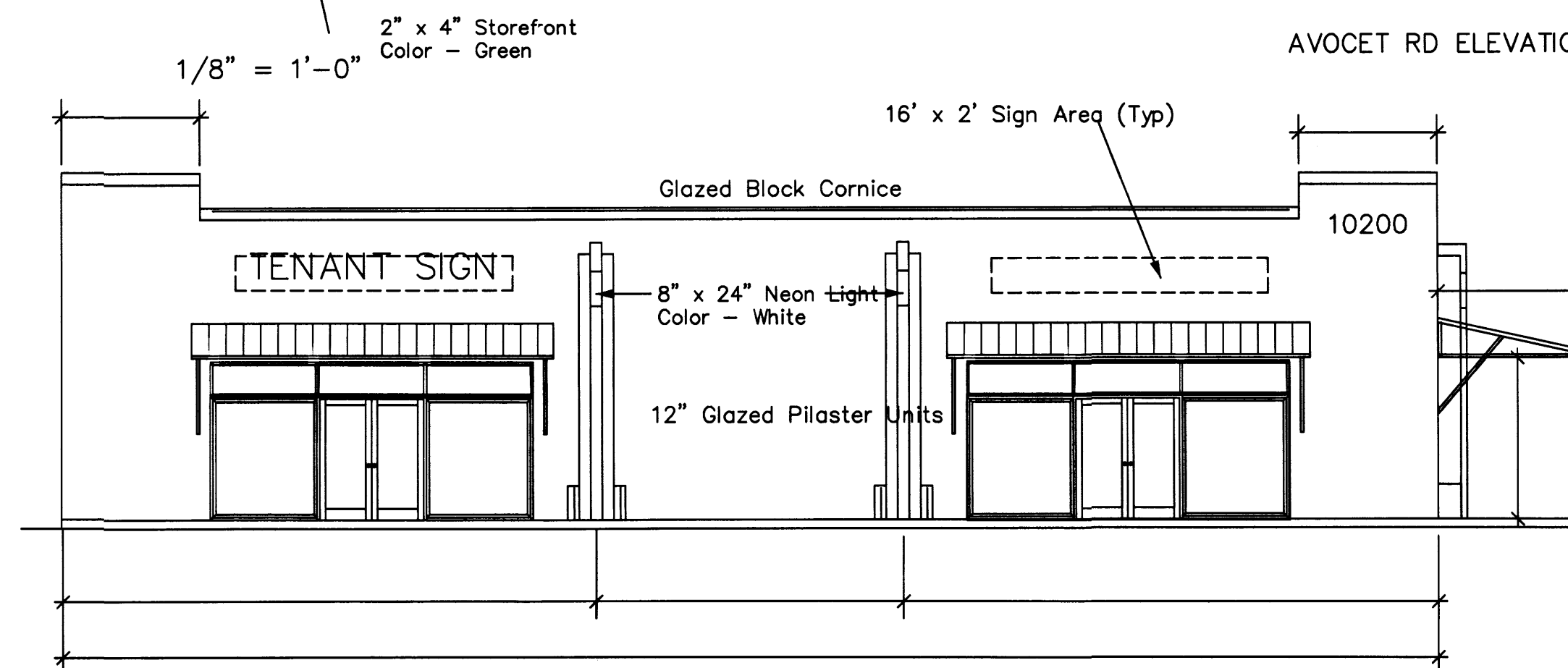
GOLF COURSE RD ELEVATION



AVOCET RD ELEVATION

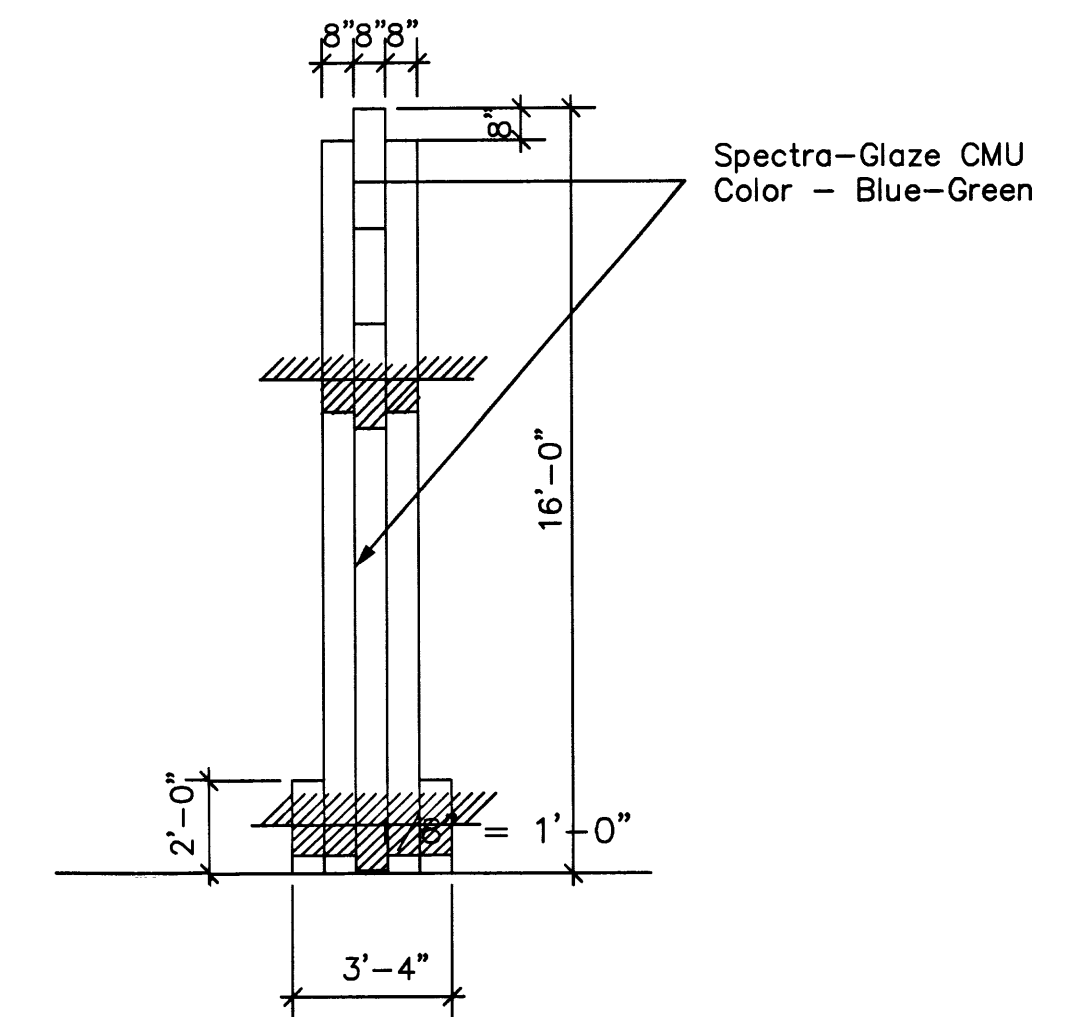


SOUTHEAST ELEVATION



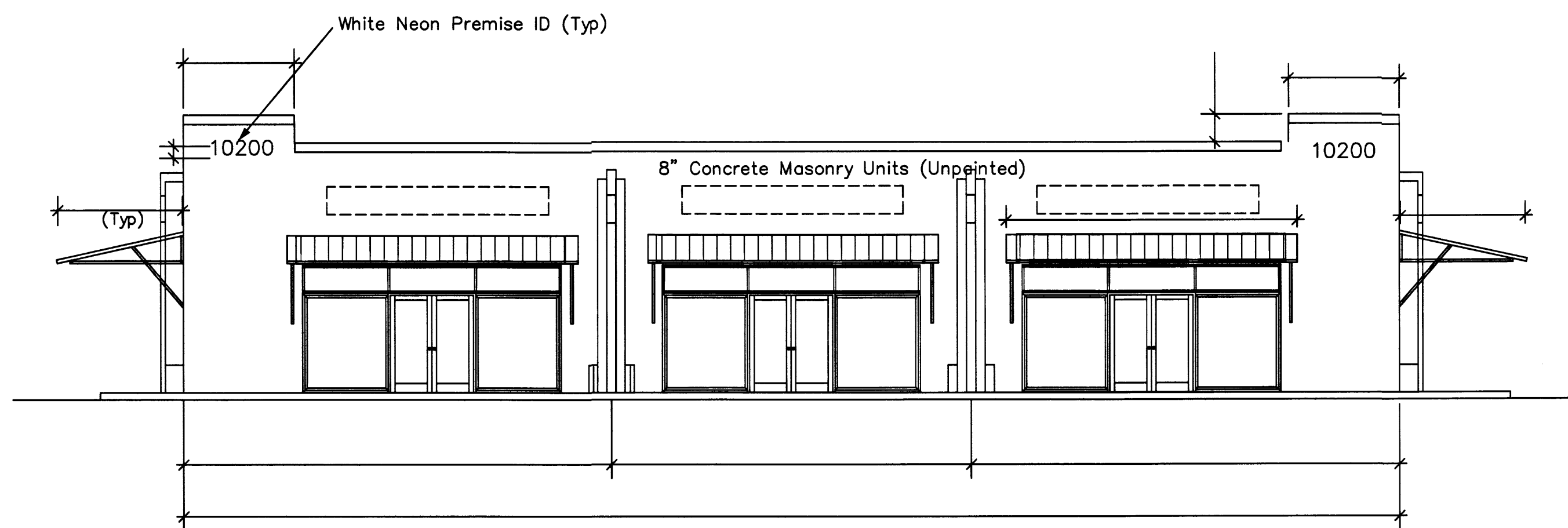
EAST ELEVATION

1/8" = 1'-0"

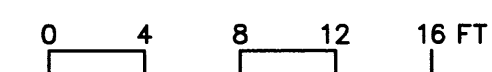


TYPICAL PILASTER DETAIL

1/4" = 1'-0"

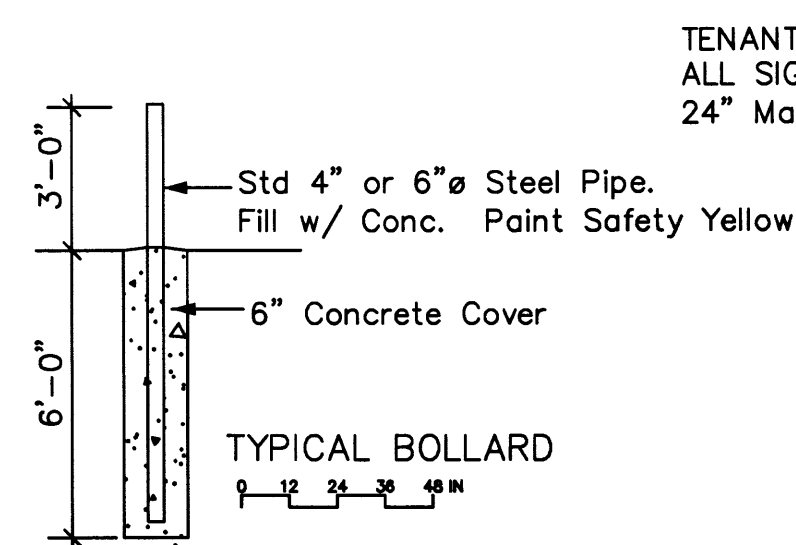


NORTH ELEVATION



CONSTRUCTION TYPE = II-N (NON-COMBUSTIBLE)

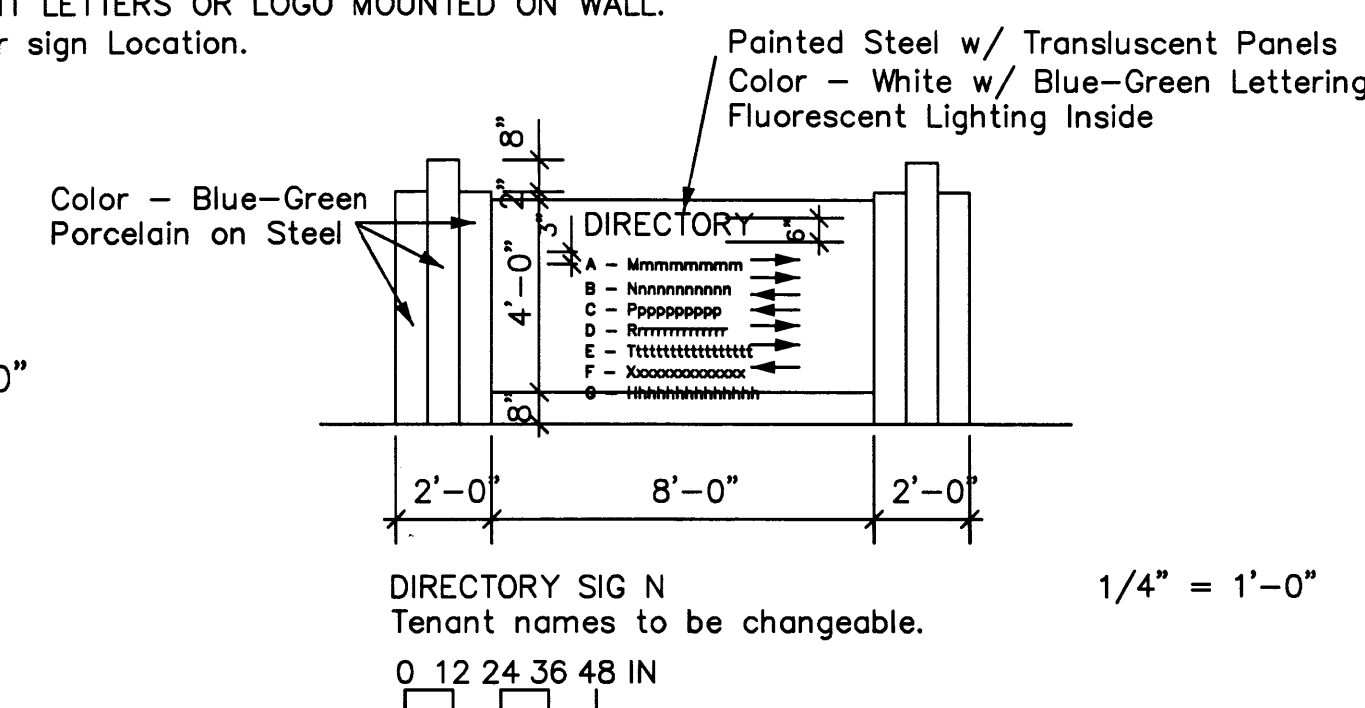
1/8" = 1'-0"



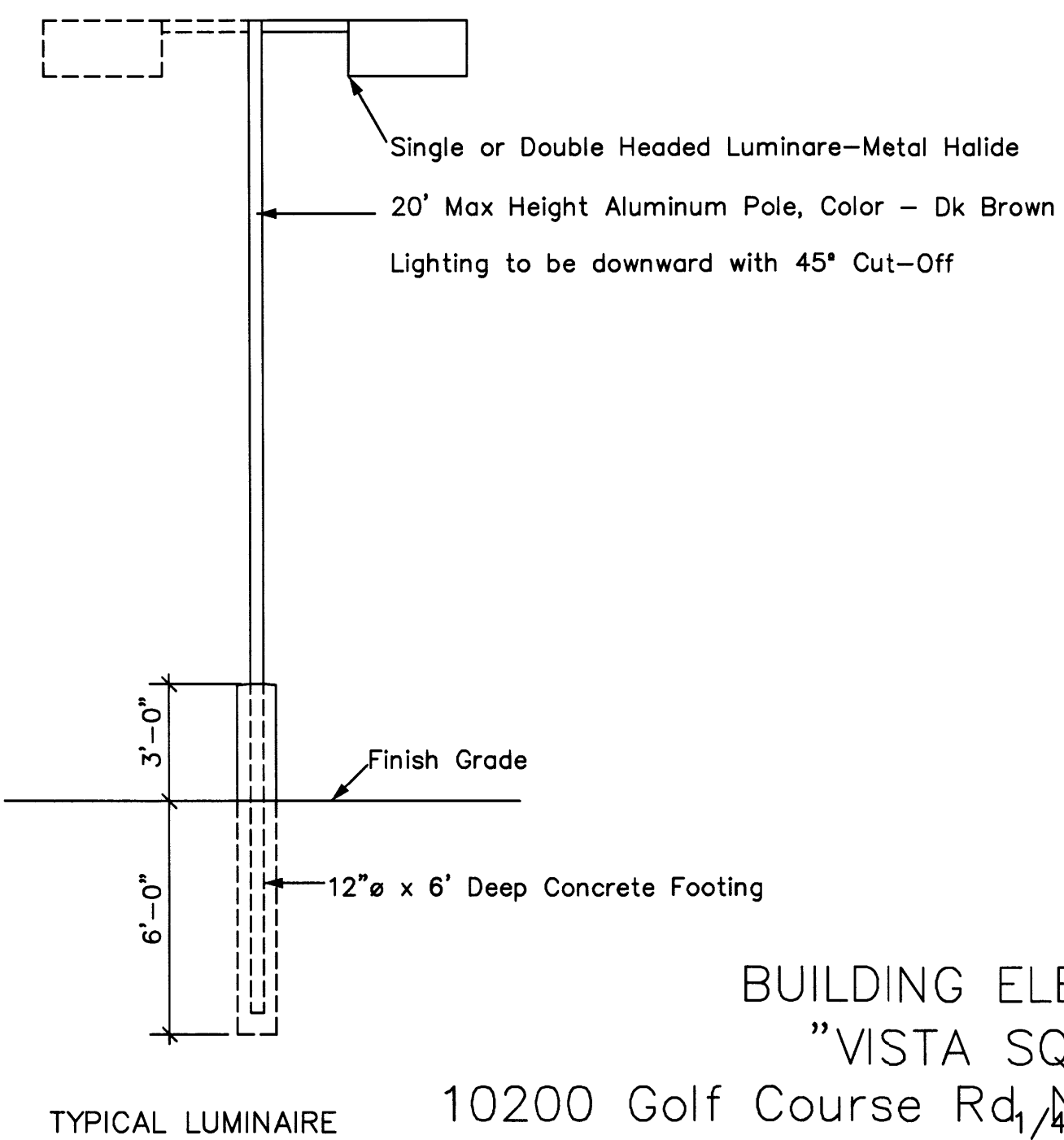
TYPICAL BOLLARD

1/4" = 1'-0"

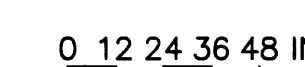
TENANT SIGNAGE NOTE:
ALL SIGNAGE TO BE INTERNALLY LIT LETTERS OR LOGO MOUNTED ON WALL.
24" Max Height, 16" Max Width per sign Location.



1/4" = 1'-0"



TYPICAL LUMINAIRE



BUILDING ELEVATIONS
"VISTA SQUARE"
10200 Golf Course Rd, NW, Albuquerque, NM
BILL BURK, THIRD, ARCHITECT
#03-18
5/1/04

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WATER USE	REMARKS
CP	Pistache Chineses	Chinese Pistache	2" Cal. or 10-12'	19	Low	Ball
P	Pinus Edulis	Pinon	2" or 6"	10	Low	Ball
CM	Chrysethamnus Naseosus	Chamisa	1 Gal.	22	Low	
B	Juniperus Horizontalis "Blue Matt"	Blue Mat Juniper	1 Gal.	45	Low	

LANDSCAPE AREA CALCULATIONS

AREA	WITHIN PROP or ROW	SQ. FT.	AREA CALCULATION
A	PROP	524	44,215 TOTAL LOT AREA
B	PROP	2606	-10,010 BUILDING AREA
C	PROP	562	30,987 NET AREA
D	PROP	1175	4,648 LANDSCAPING AREA REQ.
E	PROP	77	8,158 LANDSCAPING PROVIDED
	SUBTOTAL	4944	
	ROW	810	
	ROW	111	
	ROW	913	
	ROW	580	
	ROW	45	
	ROW	755	
	SUBTOTAL	3214	
	TOTAL	8158	

LANDSCAPE NOTES:

- 1 Landscape maintenance shall be the responsibility of the Property Owner.
- 2 It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.
- 3 Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape Principales will be followed in design and installation.
- 4 Plant beds shall achieve 75% live ground cover at maturity.
- 5 SFB Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

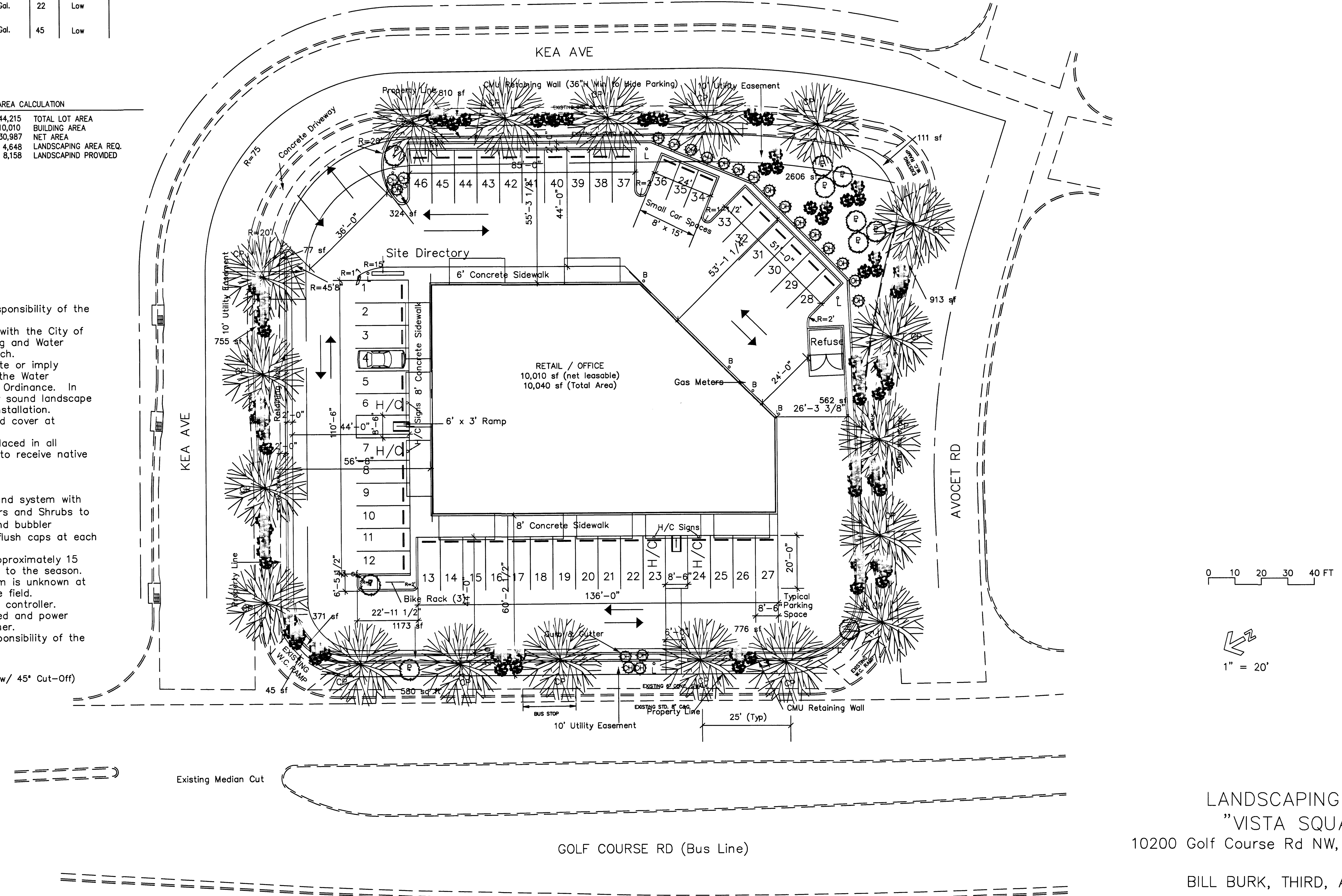
- 1 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH. Drip emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and bubbler systems to be tied to 1/2" polypipe with flush caps at each end.
- 2 Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
- 3 Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
- 4 Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by other.
- 5 Irrigation maintenance shall be the responsibility of the Property Owner.

SITE LIGHTING

☉ Luminaire on 20' Pole (Metal Halide Downlight w/ 45° Cut-Off)

BOLLARD (See Elevations Sheet)

⊙ 6" ♂ Bollard

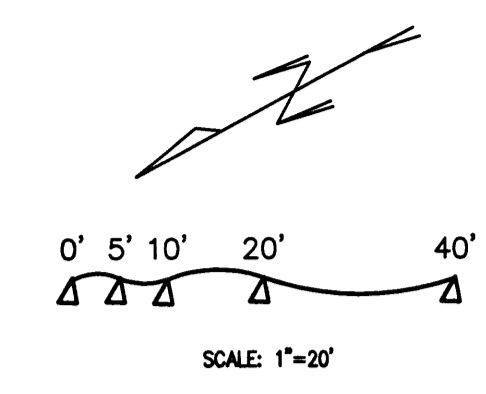
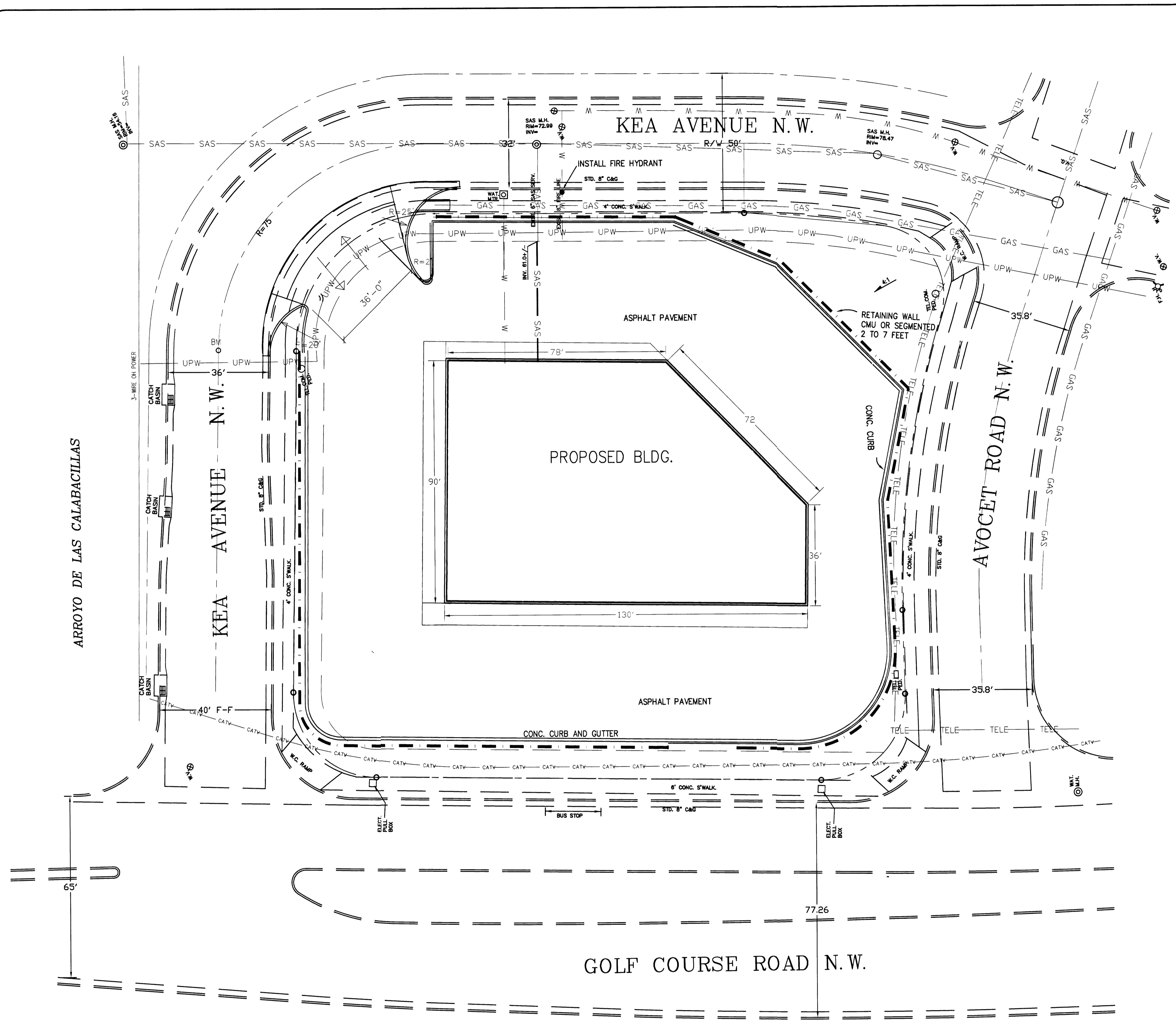


LANDSCAPING PLAN
 "VISTA SQUARE"
 10200 Golf Course Rd NW, Albuquerque, NM

BILL BURK, THIRD, ARCHITECT

#03-18

5/2/04



NOTE:
LOCATION OF UTILITY LINES ARE APPROXIMATE BASED
ON MAPS PRODUCED BY THE UTILITY.

VICINITY MAP ZONE B-12
SCALE: 1"=500'

LEGAL DESCRIPTION:
TRACT 3-A-4 OF EAGLE RANCH,
PLAT RCD'D. 10/11/96 AS 96C-428.

A.C.S. BENCHMARK REFERENCE:
STA. 'BLACK-2, 1977' A BRASS CAP
WEST OF THE INTX. OF GOLF COURSE
AND ELLISON ROADS N.W. ELEV.=5213.93

LEGEND

- TC 98.43 PROPOSED TOP OF CURB ELEVATION
- x 69.93 PROPOSED SPOT ELEVATION
- 09.0 EXISTING SPOT ELEVATION (GRND & TC)
- [Pattern] TEMPORARY PAVING
- [Line] PROPOSED CURB & GUTTER
- [Line] EXISTING CURB AND GUTTER
- - 60 - - EXISTING CONTOUR W/ INDEX ELEVATION
- - 71 - - PROPOSED CONTOUR W/ INDEX ELEVATION
- [Arrow] FLOW ARROW
- [Symbol] STORM DRAIN WITH MANHOLE & INLETS
- 30" SD PROPOSED STORM DRAIN
- [Symbol] PROPOSED STORM SEWER CATCH BASIN
- [Line] PROPOSED WATER BLOCK
- [Line] BASIN BOUNDARY
- [Line] SUB BASIN BOUNDARY
- [Line] PHASE LINE
- [Line] RETAINING WALL
- SAS SEWER LINE
- W WATER LINE

VISTA SQUARE

CONCEPTUAL UTILITY PLAN

Date: DEC '03

BINGHAM ENGINEERING
ALBUQUERQUE, NEW MEXICO
505 797 4699

1 of 2