



Completed 6/30/04

BJ

DRB CASE ACTION LOG

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00509 (SBP)

Project # 1003127

Project Name: EAGLE RANCH SUBDIVISION

Agent: Wallace Bingham

Phone No.: 797-4699

Project Number

1003127

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/5/04 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

- _____
- _____
- _____

UTILITIES: _____

- _____
- _____

CITY ENGINEER / AMAFCA: _____

- _____
- _____

PARKS / CIP: _____

- _____
- _____

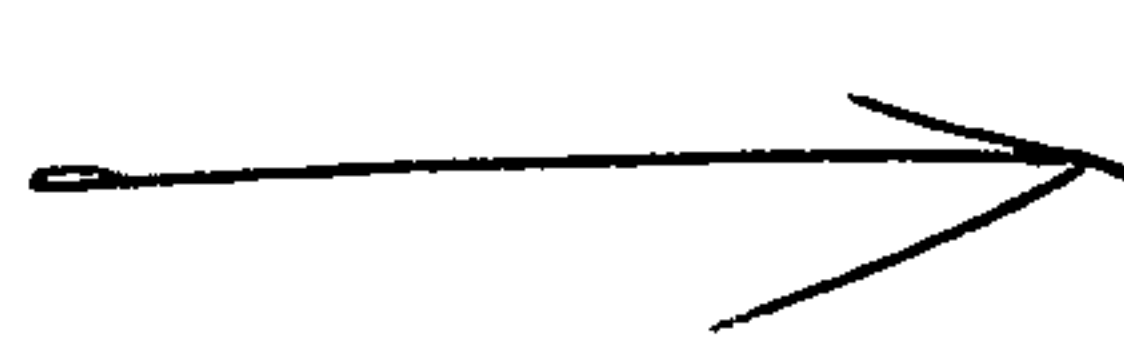
PLANNING (Last to sign): _____

- _____
- _____

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**





OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

May 5, 2004

3. Project # 1003127
04DRB-00509 Major-SiteDev Plan Bld Permit

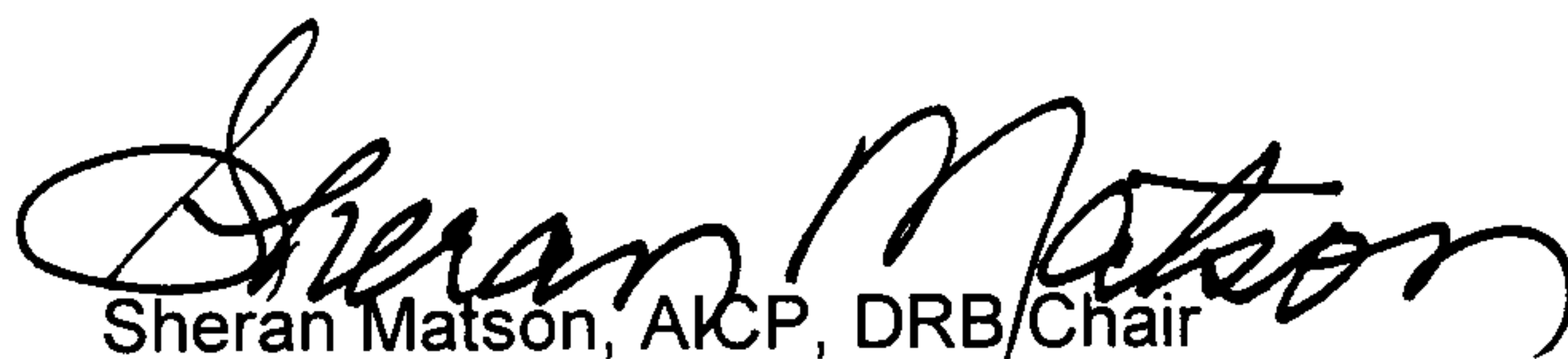
WALLACE L BINGHAM agent(s) for GILBERT ENTERPRISES request(s) this action(s) for all or a portion of Lot(s) 3A4, **EAGLE RANCH SUBDIVISION**, zoned SU-1, located on GOLF COURSE RD NW, between IRVING BLVD NW and the CALABACILLAS ARROYO containing approximately 2 acre(s). [REF: DRB-94-480] [*Deferred from 4/28/04*] (B-12)

At the May 5, 2004, Development Review Board meeting, the site plan for building permit was approved and signed off by the Board:

If you wish to appeal this decision, you must do so by May 20, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Sheran Matson, AICP, DRB/Chair

cc: Gilbert Enterprises, 135 Los Cansados Road NE, 87114
Wallace Bingham, 6344 Belcher NE, 87109
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 1254
CONNECTION TEL 97974699
SUBADDRESS
CONNECTION ID
ST. TIME 04/23 16:21
USAGE T 01'04
PGS. 3
RESULT OK

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
FAX FORM**

TO: Wallace Brigham FAX # 7974699

PAGES (INCLUDING COVER SHEET) 3 4/23/04

FROM: **Sheran Matson, DRB Chair** FAX # 924-3864 PHONE # 924-3880

#1003127

COMMENTS:

Planning's comments. To
be heard on 4/23/04, revisions
must be turned in by
next Monday at noon.
We may defer for
10:00 a.m. on 4/23/04.

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
FAX FORM

TO: Wallace Bringham FAX # 7974699

PAGES (INCLUDING COVER SHEET) 3 4/23/04

FROM: Sheran Matson, DRB Chair FAX # 924-3864 PHONE # 924-3880

#1003127

COMMENTS:

Planning's comments. To
be heard on 4/28/04, revision
must be turned in by
next Monday at noon.
We may defer for
week otherwise.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
April 28, 2004
Comments**

ITEM # 1

PROJECT # 1003127

APPLICATION # 04-00509

Re: Vista Square/SPBP

? Project # & App # need on site plan sheet

✓ The Notice of Decision supplied by the agent only indicates that the EPC voted to accept the withdrawal of the site plan for building permit at the request of the agent. It did not say the site plan was delegated to DRB. Planning found the Site Plan for Subdivision approved in 1996. ON that plan is the wording delegating the plan to DRB.

✓ The Site Plan for Building Permit signature block is missing a short paragraph pertaining to whether an infrastructure list is required for this plan or not. Even if there is no infrastructure required, the paragraph is required.

✓ Under Design Criteria on the site plan sheet, the zoning is listed as SU1. It is actually SU1 for C1. Please correct.

✓ The property line on the site plan & landscaping sheets should be bold so that is obvious. There are several lines, etc in the vicinity of the property lines making it hard to distinguish where the property line actually is.

Landscape Plan.

- ✓ The junipers should be removed from the landscaping plan as they are a high allergen plant. Rosemary is one possible substitute.
- ✓ The water usage (H,M,L) should be indicated for each plant.
- ✓ There are specific statements to be added to this sheet regarding #11 & 12 of the SPBP Checklist.

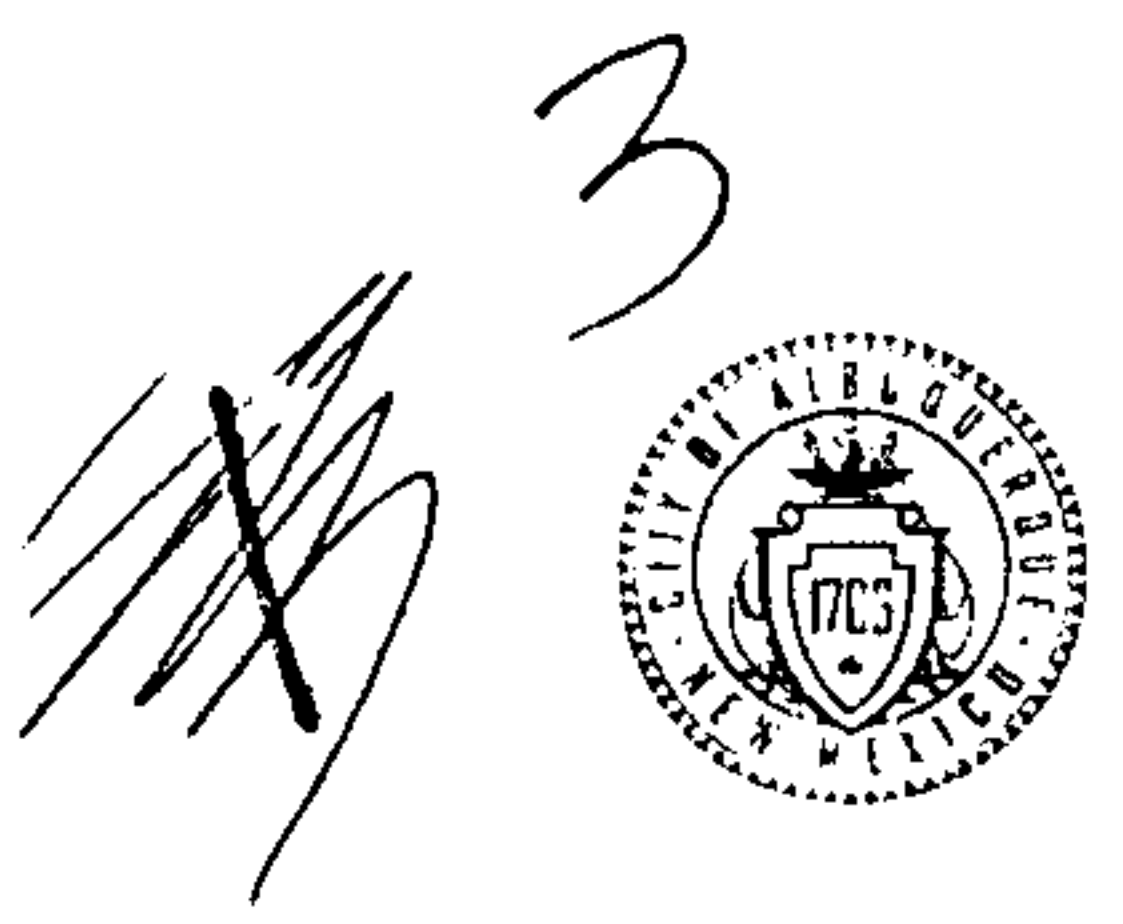
Building Elevations Sheet

- o This sheet indicates a retaining wall with the words "Vista Square" on it. What is the minimum & maximum height of this wall? It is likely a perimeter wall design submittal is required to receive approval to build the wall during the wall moratorium. The Front Counter has the submittal requirements & Planning has the proposed Zone Code amendments to be met to receive a wall permit during the moratorium.
- ✓ The width dimension on the directory sign is missing on the elevation drawing.

The site plan for subdivision approved in 1996 has language related to mechanical equipment screening which should be placed on the SPBP sheet: "All mechanical equipment will be screened from view of the adjacent parking area and public right of way. In addition, if it is determined that the mechanical unit can be observed from the residential area east of this project, screening is required".

✓ The SPS also states that one 50 foot monument sign for future pad sites will be permitted. The directory sign should meet this requirement.

Sheran Matson, AICP DRB Chair
924-3880 fax 924-3864 smatson@cabq.gov



DRB CASE ACTION LOG

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **04DRB-00509 (SBP)**
Project Name: **EAGLE RANCH SUBDIVISION**
Agent: Wallace Bingham

Project # **1003127**
Phone No.: 797-4699

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/5/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

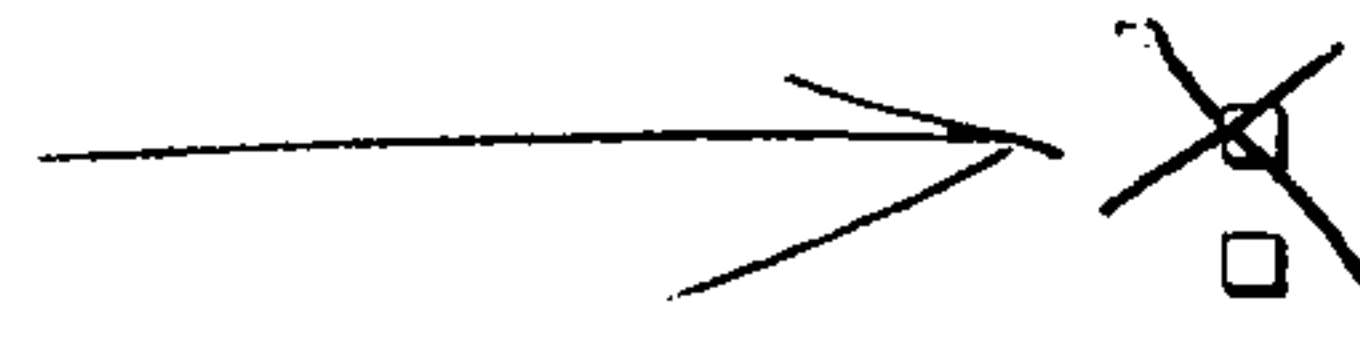
CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
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- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1003127





City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1299 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003127

AGENDA ITEM NO: 3

SUBJECT:

- | | | |
|-------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION: All signed RD.

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: May 5, 2004

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003127 AGENDA#: 3 DATE: MAY 5, 2004

1. Name: Wallace Bingham Bingham Eyr Address: _____ Zip: _____

2. Name: Bell Burke Address: Architect Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003127 AGENDA#: 1 DATE: 4.28.04

1. Name: William Bejhan Address: agent Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1299 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003127

AGENDA ITEM NO: 1

SUBJECT:

- | | | |
|-------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

*Defer
TO MAY 5, 2004*

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ; COMMENTS PROVIDED ___; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: April 28, 2004



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 28, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned:

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1003127**
04DRB-00509 Major-SiteDev Plan Bld
Permit

WALLACE L BINGHAM agent(s) for GILBERT ENTERPRISES request(s) this action(s) for all or a portion of Lot(s) 3A4, **EAGLE RANCH SUBDIVISION**, zoned SU-1, located on GOLF COURSE RD NW, between IRVING BLVD NW and the CALABACILLAS ARROYO containing approximately 2 acre(s). [REF: ~~DRB-94-480~~] [~~Deferred from 4/28/04~~] (B-12) **DEFERRED AT THE AGENT'S REQUEST TO 5/5/04.**

2. **Project # 1002224**
04DRB-00506 Major-Vacation of Pub
Right-of-Way

ISAACSON & ARFMAN PA agent(s) for CITY OF ALBUQUERQUE, OPEN SPACE DIVISION request(s) this action(s) for all or a portion of Tract(s) 6-B-1 and 8-A-1-A-2-A, M.R.G.C.D. MAP 31, **LOS POBLANOS RANCH**, zoned SU-1 Major Public Open Space, located on ADOBE RD NW, between ANDERSON FIELDS TRACTS NW NORTH OF MONTANO RD NW containing approximately 1 acre(s). [REF: 03DRB-01172, 03EPC-00695, 04DRB-00335, 02EPC-01482, 02DRB-01425] (F-13) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH THE CONDITION OF FINAL PLAT APPROVAL: ACCESS TO EXISTING WATERLINE AND SEWER LINE METERS MUST BE MAINTAINED. THE REPLAT MUST MEET THE REQUIREMENTS TO THE SATISFACTION OF UTILITIES DEVELOPMENT AND CUSTOMER SERVICE DIVISIONS.**

04DRB-00335 Major-Vacation of Pub
Right-of-Way

ISAACSON & ARFMAN, P.A. agent(s) for CITY OF ALBUQUERQUE, OPEN SPACE DIVISION request(s) this action(s) for all or a portion of Tract(s) 8-A1-2-B-1, M.R.G.C.D. MAP 31, **LOS POBLANOS RANCH**, zoned CITY OF ALBUQUERQUE, OPEN SPACE, located on CITY OPEN SPACE, between ADOBE ROAD NW and MONTANO ROAD NW containing approximately 7 acre(s). [REF: 1002634, 03DRB-01172, 03EPC-00695, 02EPC-01482, 02DRB-01425] [*Deferred from 4/7/04*] (F-13) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH THE CONDITION OF FINAL PLAT APPROVAL: THE FINAL PLAT WILL AGAIN GRANT THE NEW ALIGNMENT OF ADOBE ROAD. INFRASTRUCTURE WILL BE REQUIRED WITH THAT PLATTING ACTION.**

3. **Project # 1003186**
04DRB-00508 Major-Preliminary Plat
Approval

RIO GRANDE ENGINEERING agent(s) for STV INVESTMENTS request(s) this action(s) for all or a portion of Tract(s) 442, Unit(s) 3, **LAND OF ATRISCO GRANT**, zoned RD (9DU/AC), located on 97th ST SW, between SAN YGNACIO BLVD SW and TOWER BLVD SW containing approximately 6 acre(s). [REF: 04DRB-00035 & 04DRB-00256] (L-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/28/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/9/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION OF FINAL PLAT: LOTS 43 AND 44 SHALL BE A TRACT WITH PUBLIC DRAINAGE EASEMENTS UNTIL THE PROPERTY TO THE WEST DEVELOPS.**

4. **Project # 1003369**
04DRB-00510 Major-Preliminary Plat
Approval
04DRB-00511 Major-Vacation of Pub
Right-of-Way
04DRB-00513 Minor-Temp Defer
SDWK
04DRB-00519 Minor-Vacation of
Private Easements

BOB KEERAN agent(s) for LLAVE CONSTRUCTION INC request(s) these action(s) for all or a portion of Unit(s) 3, Lot(s) 6 & 7, Tract(s) 3, Block(s) 16, NORTH ALBUQUERQUE ACRES, **VINTNER COURT SUBDIVISION**, zoned DETENTION POND, located on VINTNER NE, between VENTURA NE and CORONA NE containing approximately 2 acre(s). *[Deferred from 4/28/04]* (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 5/12/04.**

04DRB-00514 Major-Drainage Plan to
Determine the Cost Allocation for
Storm Drainage Improvements

5. **Project # 1002051**
03DRB-02009 Major-Vacation of Public Easements
03DRB-02008 Major-Preliminary Plat
03DRB-02011 Minor-Temp Defer SDWK
03DRB-02010 Minor-Vacation of Private Easements

TIERRA WEST LLC agent(s) for GELTMORE LAND LTD CO request(s) these action(s) for all or a portion of Tract(s) A, **CHAMISA RIDGE UNIT 2**, zoned R-LT, located on PARADISE BLVD NW, between BIG SAGE DR NW and CONEFLOWER DR NW containing approximately 18 acre(s). [REF: 02DRB-00963] [Deferred from 1/14/04 & 1/28/04 & 2/4/04 & 2/25/04 & 3/17/04 & 4/7/04, 4/28/04] (B-10) **DEFERRED AT THE AGENT'S REQUEST TO 5/19/04.**

6. **Project # 1003232**
04DRB-00254 Major-Vacation of Pub Right-of-Way
04DRB-00255 Major-Vacation of Public Easements
04DRB-00253 Minor-Prelim&Final Plat Approval

COMMUNITY SCIENCES CORP. agent(s) for ENTRADA DEVELOPMENT LTD. CO. request(s) these action(s) for all or a portion of Lot(s) 8-P2, **CAMPBELL FARM SUBDIVISION AND Tract(s) A, LANDS OF ANDREWS**, zoned RA-2 residential and agricultural zone, located on CAMPBELL LANE NW, between CAMPBELL RD NW and MATTHEW RD NW containing approximately 2 acre(s). [REF: DRB-98-195, 04DRB-00139] [Deferred from 3/24/04, 4/7/04 & 4/28/04] (G-13) **DEFERRED AT THE AGENT'S REQUEST TO 5/12/04.**

7. **Project # 1003231**
04DRB-00261 Major-Preliminary Plat Approval
04DRB-00263 Minor-Temp Defer SDWK

WILSON & COMPANY INC agent(s) for LONGFORD @ ARROWWOOD LLC request(s) these action(s) for all or a portion of Tract(s) 29A & 30A1, **LANDS OF SALAZAR/QUATRO/SJ HANNETT, (to be known as LONGFORD @ ARROWWOOD SUBDIVISION)** zoned R-LT residential zone, located on 98TH ST SW, between RIO BRAVO SW and BLAKE SW containing approximately 59 acre(s). [REF: 02DRB-01621, 01622, 04DRB-00137] [Deferred from 3/24/04, 4/7/04 & 4/28/04] (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 5/19/04.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

8. **Project # 1000184**
04DRB-00603 Minor-SiteDev Plan
BldPermit/EPC
- BRISCOE ARCHITECTS, P.C. agent(s) for RICHARD CHAVES request(s) this action(s) for all or a portion of Tract(s) A2, **BANNER SQUARE ADDITION**, zoned SU-2/SU-1/P.U.D, located on ARNO ST NE, between CENTRAL NE and TIJERAS NE containing approximately 1 acre(s). **[Mary Piscitelli, EPC Case Planner] [Deferred from 4/28/04] (K-14) DEFERRED AT THE AGENT'S REQUEST TO 5/5/04.**
9. **Project # 1003365**
04DRB-00551 Minor-SiteDev Plan
BldPermit
- CLAUDIO VIGIL ARCHITECTS agent(s) for JAYNES CORPORATION request(s) this action(s) for all or a portion of Lot(s) 3A2B, Block(s) 1, **SUNPORT PARK**, zoned IP industrial park zone, located on FLIGHTWAY AVE SE, between UNIVERSITY BLVD SE and TRANSPORT ST SE containing approximately 3 acre(s). [REF: DRB-97-257, Z-85-98-1] (M-15) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FIRE FLOW CALCULATION SHEET REQUIRED. DECIDE IF ONLY ONE HYDRANT IS NEEDED, IF THEY NEED ADDITIONAL HYDRANT WILL IT BE PUBLIC OR PRIVATE?**

10. **Project # 1000522**
04DRB-00574 Minor-SiteDev Plan
Subdivision

JIMMIE W. DAVIS request(s) this action(s) for all or a portion of Lot(s) 14 and a portion of Lot(s) 15 , **ZAPF ADDITION #10** and a portion of Tract(s) 68A2C, **MRGCD MAP 32**, zoned SU-1/RC located on MONTANO RD NW, between GUADALUPE TRAIL NW and HARWOOD LATERAL containing approximately 2 acre(s). [REF: 00-8, ZA-98-473, 03EPC-01911, 03EPC-01912] [**Debbie Stover, EPC Case Planner**] (F-14) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO REMOVE REFERENCES TO LANDSCAPING BUSINESS.**

11. **Project # 1003398**
04DRB-00609 Minor-SiteDev Plan
BldPermit
04DRB-00611 Minor-Prelim&Final Plat
Approval

CRAWFORD-SLACLE BUSINESS PARK LLC agent(s) request(s) these action(s) for all or a portion of Lot(s) 15 & 16, **JOURNAL CENTER, PHASE 2, UNIT 1**, zoned IP industrial park zone, located on MASTHEAD ST NE, between WASHINGTON ST NE and TIBURON ST NE containing approximately 2 acre(s). [REF: Z-79-80, DRB-95-268, 1000633] (D-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO ADDRESS COMMENTS IN FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO CITY ENGINEER TO CORRECT STORM DRAIN EASEMENT CALLOUT, ADD ACCESS EASEMENT AND TO PLANNING FOR AGIS DXF FILE.**

12. **Project # 1002123**
04DRB-00532 Minor-SiteDev Plan
Subd/EPC
04DRB-00533 Minor-SiteDev Plan
BldPermit/EPC
04DRB-00538 Minor-Prelim&Final Plat
Approval

QUIKDRAW ENGINEERING LLC agent(s) for PAM & PHIL SHEETS request(s) the above action(s) for all or a portion of Tract(s) 22-A-1 and 22-A-2, **DEL'S HIDE-AWAY-PARK**, zoned C-2 & SU-1 FOR RT, located on SAN CLEMENTE & 4TH STREET NW, between GRIEGOS NW and CANDELARIA NW containing approximately 4 acre(s). [REF: 03EPC-01087, 03EPC-01088, 02EPC-01149] [Russell Brito, EPC Case Planner] [Deferred from 4/14/04] (G-14) **SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.** WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/28/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 2/24/04 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA . PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.

13. **Project # 1003383**
04DRB-00569 Minor-SiteDev Plan
BldPermit

MULLEN HELLER ARCHITECTURE PC agent(s) for AVALON INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 3-C, **LANDS OF LOS ANGELES INVESTORS**, zoned SU-2, M1, located on PASEO DEL NORTE FRONTAGE RD NE, between JEFFERSON NE and INTERSTATE 25 containing approximately 2 acre(s). [Deferred from 4/21/04] (C-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

14. **Project # 1000262**
04DRB-00610 Minor-Final Plat
Approval
- BOHANNAN HUSTON, INC. agent(s) for LONGFORD HOMES OF NEW MEXICO request(s) this action(s) for all or a portion of Tract(s) B-1, COSTCO DEVELOPMENT, **LONGFORD VILLAGE EAST**, zoned SU-1, PRD, located on ELIZABETH ST SW, between SOUTHERN BLVD SW and EUBANK BLVD SW containing approximately 14 acre(s). (L-21) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND PLANNING FOR AGIS DXF FILE.**
15. **Project # 1002730**
04DRB-00586 Minor-Prelim&Final Plat
Approval
- JEFF MORTENSEN & ASSOCIATES, INC. agent(s) for JESUS CHRIST OF LATTER-DAY-SAINTS, REAL ESTATE request(s) this action(s) for all or a portion of Lot(s) 13A, Block(s) 6, **NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on CORONA AVE NE, between VENTURA ST NE and MENDOCINO DR NE containing approximately 4 acre(s). [REF: 03DRB-00963, 03DRB-00965] (C-20) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR REAL PROPERTY SIGNATURE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1003080**
04DRB-00591 Minor-Sketch Plat or Plan
- MARK GOODWIN & ASSOCIATES, PA agent(s) for BROWN & ASSOCIATES, INC. request(s) this action(s) for all or a portion of Lot(s) A, **BERNARDO TRAILS, UNIT 4**, zoned RT, located on the northeast corner of VISTA DEL NORTE DR NW and LAS LOMITAS DR NW containing approximately 6 acre(s). (D-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
17. **Project # 1003393**
04DRB-00601 Minor-Sketch Plat or Plan
- EQUITY REALTY agent(s) for VINCE J. AIELLO request(s) this action(s) for all or a portion of Lot(s) 12, 13, 14, 15 and 16, Block(s) 8, **ENCHANTED MESA**, zoned C-1 neighborhood commercial zone, located on CHELWOOD PARK BLVD NE, between MENAUL BLVD NE and CANDELARIA RD NE containing approximately 1 acre(s). (H-22) **INDEFINITELY DEFERRED ON A NO SHOW.**
18. Approval of the Development Review Board Minutes for April 14, 2004. **DEVELOPMENT REVIEW BOARD MINUTES FOR APRIL 14, 2004 WERE APPROVED.**

ADJOURNED: 11:25 A.M.



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

April 28, 2004

Project # 1003127
04DRB-00509 Major-SiteDev Plan Bld Permit

WALLACE L BINGHAM agent(s) for GILBERT ENTERPRISES request(s) the above action(s) for all or a portion of Lot(s) 3A4, **EAGLE RANCH SUBDIVISION**, zoned SU-1, located on GOLF COURSE RD NW, between IRVING BLVD NW and the CALABACILLAS ARROYO containing approximately 2 acre(s). [REF: DRB-94-480] (B-12)

AMAFCA	No adverse comments.
COG	No adverse comment. For information, Golf Course Road is identified on the Long Range Roadway System map as a minor arterial, with this portion requiring a minimum right-of-way width of 106 feet. The Long Range Bikeway System map provides for a bicycle trail along Golf Course Road.
Transit	No comments received.
Zoning Enforcement	
Neighborhood Coord.	Letter sent to Paradise Hills (R) Neighborhood Assn.
APS	No comments received.
Police Department	No comments received.
Fire Department	
	Exact fire hydrant requirements will be figured when plans are submitted for approval. All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.
PNM Gas	Approves.
PNM Electric	Approves.
Comcast	No comments received
QWEST	No comments received

Environmental Health Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D. No comments received.

Open Space Division No adverse comments.

City Engineer No adverse comments.

Transportation Development

Kea Ave. is a right-in/right-out onto Golf Course. ADA ramps onto sidewalk at building should be located within sidewalk and not within striped out area. Where is signature block? Are all street and sidewalk improvements in place? Drive location at corner is not optimal. Sight distance calculations along with sketches are needed for approval. Are ADA ramps required at drive? Radius @ NE corner of interior needs to be 15' minimum. Are all aisle widths 24'? Small car space is 8.0' wide.

Parks & Recreation No objection.

Utilities Development

Need City Fire Marshall approval of fire hydrant locations.

Planning Department

WAITING FOR EPC NOTICE OF DECISION DELEGATING TO DRB & SITE PLAN FOR BUILDING PERMIT CHECKLIST COMPLETED. NOTIFIED AGENT 4/16/04.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc:Gilvert Enterprises, 10035 Los Cansados Rd NW, 87114

Wallace Bingham, 6344 Belcher NE, 87109



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, April 28, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1002224

04DRB-00506 Major-Vacation of Pub
Right-of-Way

ISAACSON & ARFMAN PA agent(s) for CITY OF ALBUQUERQUE, OPEN SPACE DIVISION request(s) the above action(s) for all or a portion of Tract(s) 6-B-1 and 8-A-1-A-2-A, M.R.G.C.D. MAP 31, **LOS POBLANOS RANCH**, zoned SU-1 Major Public Open Space, located on ADOBE RD NW, between ANDERSON FIELDS TRACTS NW NORTH OF MONTANO RD NW containing approximately 1 acre(s). [REF: 03DRB-01172, 03EPC-00695, 04DRB-00335, 02EPC-01482, 02DRB-01425] (F-13)

Project # 1003127

04DRB-00509 Major-SiteDev Plan Bld
Permit

WALLACE L BINGHAM agent(s) for GILBERT ENTERPRISES request(s) the above action(s) for all or a portion of Lot(s) 3A4, **EAGLE RANCH SUBDIVISION**, zoned SU-1, located on GOLF COURSE RD NW, between IRVING BLVD NW and the CALABACILLAS ARROYO containing approximately 2 acre(s). [REF: DRB-94-480] (B-12)

Project # 1003186

04DRB-00508 Major-Preliminary Plat
Approval

RIO GRANDE ENGINEERING agent(s) for STV INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 442, Unit(s) 3, **LAND OF ATRISCO GRANT**, zoned RD (9DU/AC), located on 97th ST SW, between SAN YGNACIO BLVD SW and TOWER BLVD SW containing approximately 6 acre(s). [REF: 04DRB-00035 & 04DRB-00256] (L-9)

SEE PAGE 2 . . .



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1003369

04DRB-00510 Major-Preliminary Plat
Approval

04DRB-00511 Major-Vacation of Pub
Right-of-Way

04DRB-00513 Minor-Temp Defer SDWK

04DRB-00519 Minor-Vacation of Private
Easements

BOB KEERAN agent(s) for LLAVE CONSTRUCTION
INC request(s) the above action(s) for all or a portion of
Unit(s) 3, Lot(s) 6 & 7, Tract(s) 3, Block(s) 16, NORTH
ALBUQUERQUE ACRES, VINTNER COURT
SUBDIVISION, zoned DETENTION POND, located on
VINTNER NE, between VENTURA NE and CORONA
NE containing approximately 2 acre(s). (C-20)

04DRB-00514 Major-Drainage Plan to
Determine the Cost Allocation for Storm
Drainage Improvements

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, APRIL 12, 2004.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, April 28, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1002224
04DRB-00506 Major-Vacation of Pub
Right-of-Way

ISAACSON & ARFMAN PA agent(s) for CITY OF ALBUQUERQUE, OPEN SPACE DIVISION request(s) the above action(s) for all or a portion of Tract(s) 6-B-1 and 8-A-1-A-2-A, M.R.G.C.D. MAP 31, **LOS POBLANOS RANCH**, zoned SU-1 Major Public Open Space, located on ADOBE RD NW, between ANDERSON FIELDS TRACTS NW NORTH OF MONTANO RD NW containing approximately 1 acre(s). [REF: 03DRB-01172, 03EPC-00695, 04DRB-00335, 02EPC-01482, 02DRB-01425] (F-13)

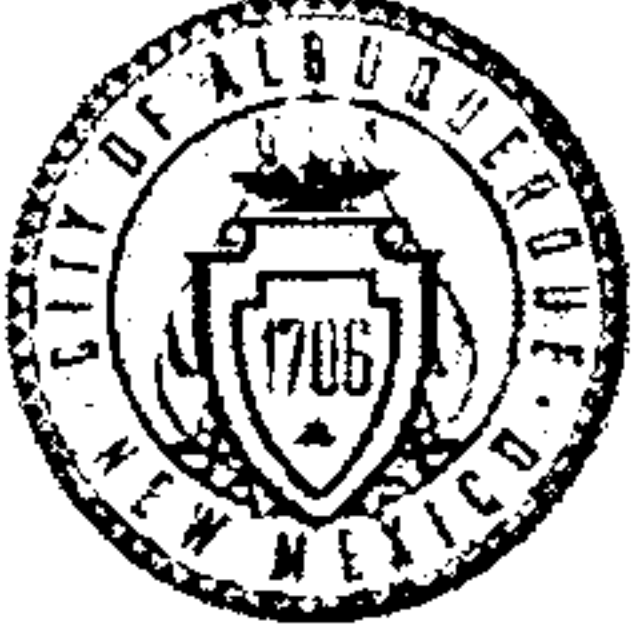
Project # 1003127
04DRB-00509 Major-SiteDev Plan Bld
Permit

WALLACE L BINGHAM agent(s) for GILBERT ENTERPRISES request(s) the above action(s) for all or a portion of Lot(s) 3A4, **EAGLE RANCH SUBDIVISION**, zoned SU-1, located on GOLF COURSE RD NW, between IRVING BLVD NW and the CALABACILLAS ARROYO containing approximately 2 acre(s). [REF: DRB-94-480] (B-12)

Project # 1003186
04DRB-00508 Major-Preliminary Plat
Approval

RIO GRANDE ENGINEERING agent(s) for STV INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 442, Unit(s) 3, **LAND OF ATRISCO GRANT**, zoned RD (9DU/AC), located on 97th ST SW, between SAN YGNACIO BLVD SW and TOWER BLVD SW containing approximately 6 acre(s). [REF: 04DRB-00035 & 04DRB-00256] (L-9)

SEE PAGE 2 . . .



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

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ALBUQUERQUE ACRES, VINTNER COURT
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Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, APRIL 12, 2004.

CITY OF ALBUQUERQUE



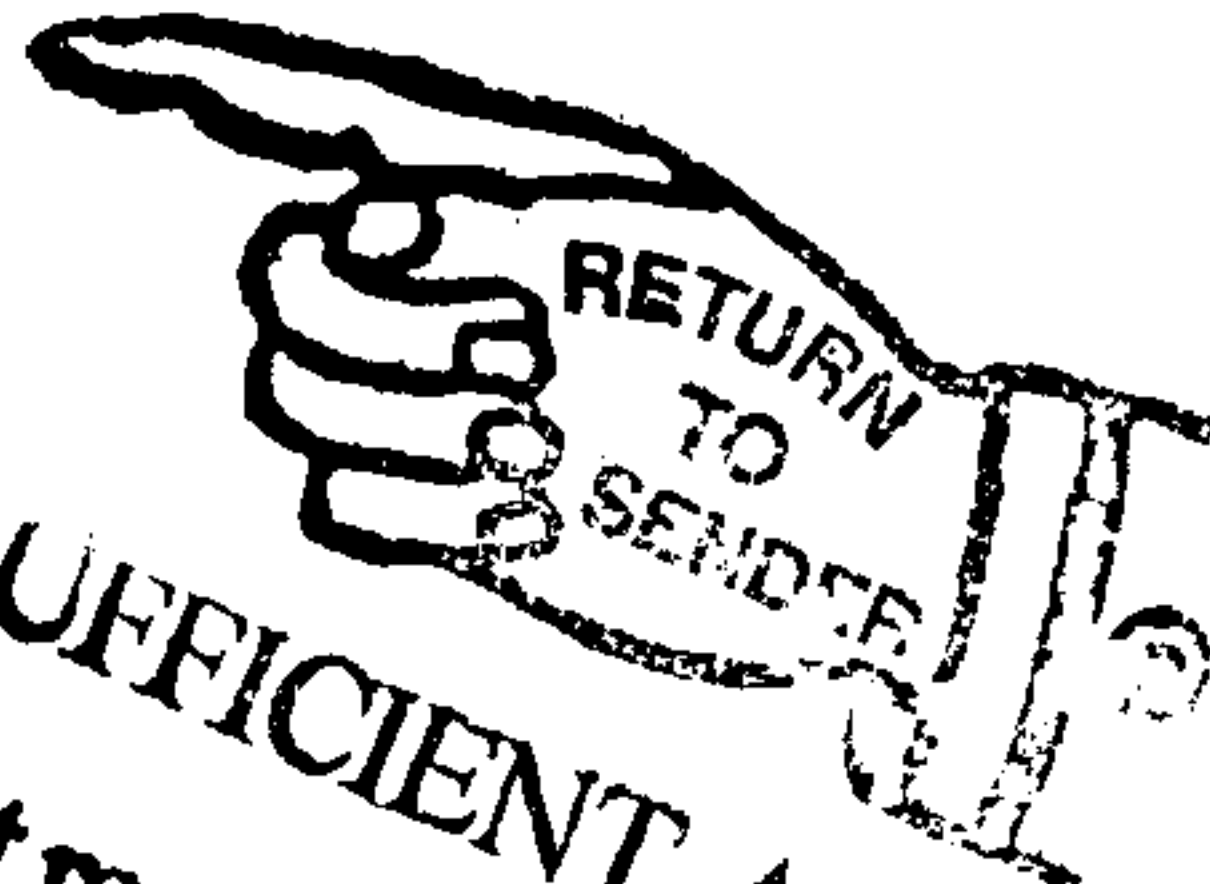
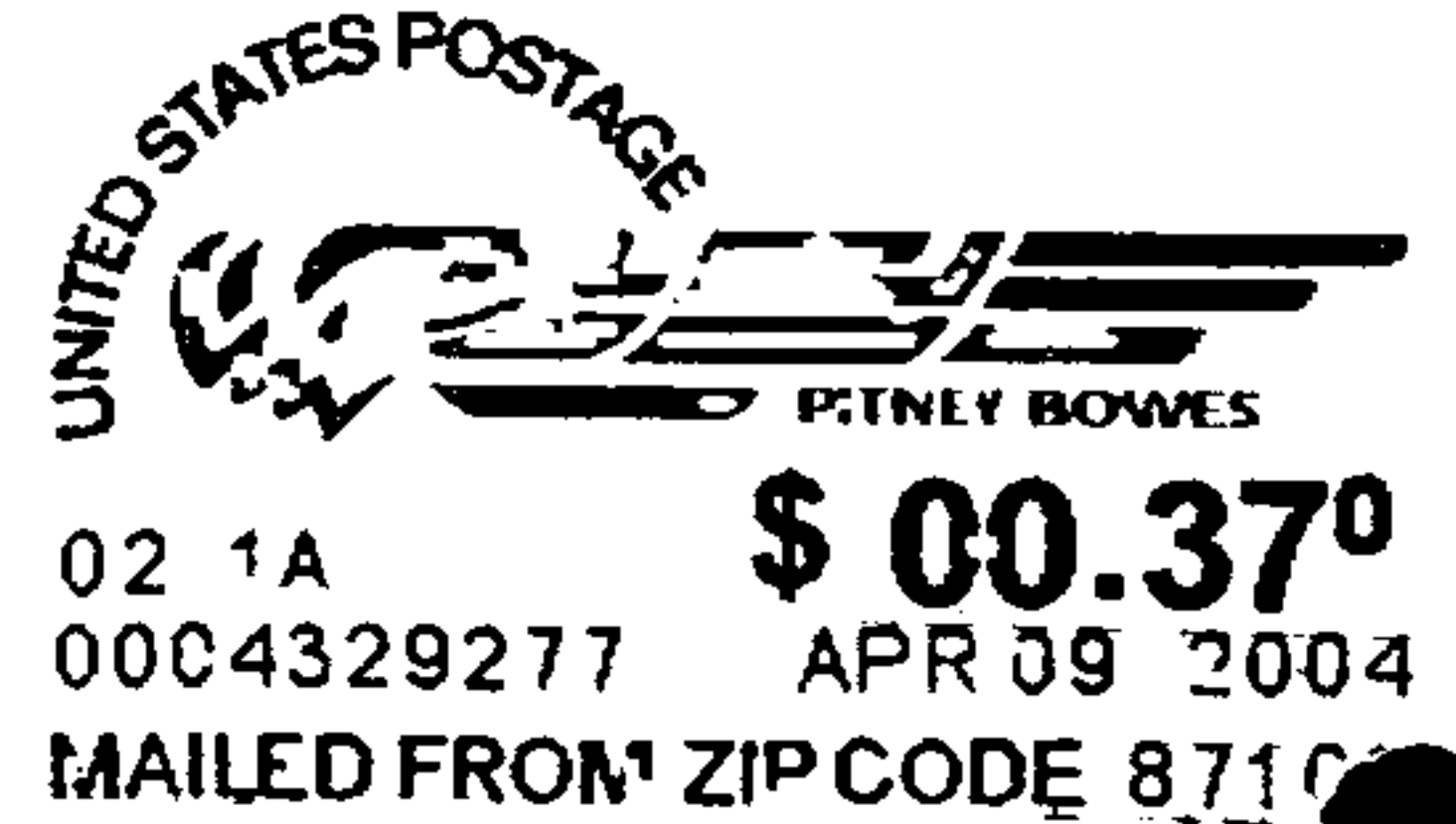
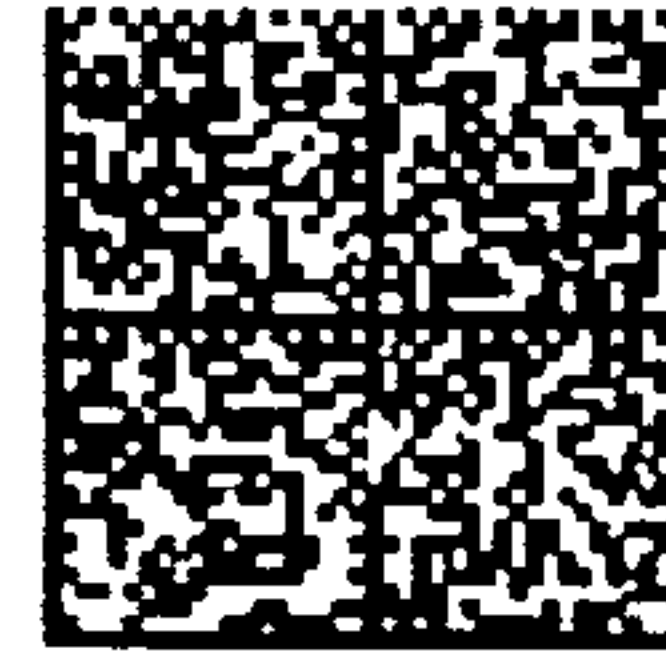
Planning Department

P.O. Box 1293

Albuquerque, NM 87103

101206545143010829

N M BAPTIST FOUNDATION INC
GENERAL DELIVERY
ALBUQUERQUE NM 87191



RETURN
TO
SENDER

INSUFFICIENT ADDRESS

Do not re-mail in this envelope

87191+9999



**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: APRIL 28, 2004
Zone Atlas Page: B-12-Z
Notification Radius: 100 Ft.

Project# 10003127
App# 04DRB-00509

Cross Reference and Location: N/A

Applicant: GILBERT ENTERPRISES
Address: 10035 LOS CANSADOS RD NW
ALBUQUERQUE NM 87114

Agent: WALLACE L. BINGHAM
Address: 6344 BELCHER NE
ALBUQUERQUE NM 87109

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: APRIL 9, 2004

Signature: KYLE TSETHLIKAI



<mainframe@coa1mp
3.cabq.gov>
04/08/04 02:45 PM

To:
cc:
Subject:

1 R E C O R D S W I T H L A B E L S PAGE
1
01012065 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101206540147111501 LEGAL: TR 3 A4 P LAT OF TRS 3-A-1, 3-A-2, 3-A-3 & 3-A-4
EAG LAND USE:
PROPERTY ADDR: 00000 N/A
OWNER NAME: GILBERT RAYMOND H III & BARBAR
OWNER ADDR: 10035 LOS CANSADOS RD NW
ALBUQUERQUE NM 87114
0101206539544011401 LEGAL: TR 3 A3 P LAT OF TRS 3-A-1, 3-A-2, 3-A-3 & 3-A-4
EAG LAND USE:
PROPERTY ADDR: 00000 IRVING
OWNER NAME: AMERICAN STORES PROPERTIES INC
OWNER ADDR: 00000
BOISE ID 83726
0101206545143010829 LEGAL: TR 3 A1 P LAT OF TRS 3-A-1, 3-A-2, 3-A-3 & 3-A-4
EAG LAND USE:
PROPERTY ADDR: 00000 N/A
OWNER NAME: N M BAPTIST FOUNDATION INC
OWNER ADDR: 00000
ALBUQUERQUE NM 87191
0101206547047510830 LEGAL: TRAC T "A A1" REPLAT OF TR 2, 3 & AA EAGLE RANCH
NOW LAND USE:
PROPERTY ADDR: 00000 N/A
OWNER NAME: SANDIA PROPERTIES LTD CO
OWNER ADDR: 00010 TRAMWAY LP NE
ALBUQUERQUE NM 87122
0101206532338610510 LEGAL: TR T 1A1 OF TRS T-1A-1 & T-1A-2 TOWN OF ALAMEDA
GRA LAND USE:
PROPERTY ADDR: 00000 IRVING
OWNER NAME: ARROYO VILLAS LTD PTNS
OWNER ADDR: 09200 KEYSTONE CROSSING
INDIANAPOLISIN 46240
0101206533743610511 LEGAL: TR T 1A2 OF TRS T-1A-1 & T-1A-2 TOWN OF ALAMEDA
GRA LAND USE:
PROPERTY ADDR: 00000 IRVING
OWNER NAME: STAR TRUST INCORPORATED
OWNER ADDR: 04415 SHERRE DR NE
ALBUQUERQUE NM 87111
0101206532342410512 LEGAL: TR 2 6A2B PLAT OF PARADISE NORTH TRS 26A-2A,
26A-2B LAND USE:
PROPERTY ADDR: 00000 N/A
OWNER NAME: PARADISE RESERVE LIMITED CO
OWNER ADDR: 07620 JEFFERSON ST NE
ALBUQUERQUE NM 87109
0101206537639510213 LEGAL: 010 PARA DISE HILLS INVESTMENT PROPERTIES UNIT
NO 2 LAND USE:
PROPERTY ADDR: 00000 GOLF COURSE
OWNER NAME: AMIGO PETROLEUM CO
OWNER ADDR: 00000
ALBUQUERQUE NM 87119
0101206535342412213 LEGAL: LT 4 1A-P 1 BLK 3 PLAT FOR PARADISE GREENS-UNIT 2

BL LAND USE:

PROPERTY ADDR: 00000 LOVELAND
OWNER NAME: TEMPLIN ROBERT M & JULIE E
OWNER ADDR: 10208 LOVELAND DR NW

ALBUQUERQUE NM 87114
0101206535243412212 LEGAL: LT 4 2-P1 BLK 3 VACATION & REPLAT FOR PARADISE
GREE LAND USE:

PROPERTY ADDR: 00000 LOVELAND
OWNER NAME: SCOGIN ROBERT CLEGG & KAREN L
OWNER ADDR: 10212 LOVELAND RD NW

ALBUQUERQUE NM 87114
0101206534643912257 LEGAL: PUBL IC P EDESTRAIN ACCESS & DRAINAGE R/W & NMUI
SAN LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103
1 R E C O R D S W I T H L A B E L S PAGE
2

0101206534044112211 LEGAL: LT 4 3-P1 BLK 3 VACATION & REPLAT FOR PARADISE
GREE LAND USE:

PROPERTY ADDR: 00000 SANDPOINT
OWNER NAME: OTERO LORENZO F & LILLIAN J
OWNER ADDR: 04701 SANDPOINT RD NW

ALBUQUERQUE NM 87114
0101206541141911402 LEGAL: TR 3 A2 P LAT OF TRS 3-A-1, 3-A-2, 3-A-3 & 3-A-4
EAG LAND USE:

PROPERTY ADDR: 00000 IRVING
OWNER NAME: AMERICAN STORES PROPERTIES INC
OWNER ADDR: 00000

BOISE ID 83726
0101206621511730325 LEGAL: TRAC T 25 A1B VACATION AMENDED PLAT & REPL OF
PARADI LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103
0101206632807040162 LEGAL: TRAC T 24 C VACATION & REPLAT OF PARADISE NORTH
CONT LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: PARADISE RESERVE LIMITED CO
OWNER ADDR: 07620 JEFFERSON NE

ALBUQUERQUE NM 87109

QUIT



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: April 2, 2004

TO CONTACT NAME: Bill Burke
COMPANY/AGENCY: Bill Burke Thru
ADDRESS/ZIP: 9617 La Playa, NE 87111
PHONE/FAX #: 292-6506 / 294-7272

Thank you for your inquiry of 4-2-04 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Tract 3 #4, Eagle Ranch Area

zone map page(s) B-127

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

Dorado Hills

Neighborhood Association
Contacts: Harry Weaver
6001 United Ct, NW
ALBU, NM 87114
(H) 298-8640
(W) 846-1571

Neighborhood Association
Contacts: Tom Anderson
10013 Plunkett Dr NW
Albuquerque, NM 87114
(W) 897-2593

See reverse side for additional Neighborhood Association Information: YES { } NO [X]

Please note that according to O-92 you are required to notify each of these contact persons by CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE the Planning Department will accept your application filing. IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Robert M Howell
OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.

7946 295T 0000 DTTE 6002

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.37	UNIT ID: 0111
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.42	03/30/04

Sent To
TOM ANDERSON
 Street, Apt. No.,
 or PO Box No. **10013 Plunkett DR. NW**
 City, State, ZIP+4
Albuquerque NM 87114

PS Form 3800, June 2002 See Reverse for Instructions

649 295T 0000 DTTE 6002

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.37	UNIT ID: 0111
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.42	03/30/04

Sent To
LARRY WEAVER
 Street, Apt. No.,
 or PO Box No. **6001 UNITAS CT. NW**
 City, State, ZIP+4
Albuquerque NM 87114

PS Form 3800, June 2002 See Reverse for Instructions



**** WELCOME TO ****
 STEVE SCHIFF STATION
 ALBUQUERQUE, NM 87111-4851
 03/30/04 11:29AM

Store USPS Trans 82
 Wkstn sys5003 Cashier KKTVNO
 Cashier's Name STEVE
 Stock Unit Id WINSTEVE
 PO Phone Number 800-ASK-USPS
 USPS # 3401500111

1. First Class 4.42
 Destination: 87114
 Weight: 0.50oz
 Postage Type: PVI
 Total Cost: 4.42
 Base Rate: 0.37
 SERVICES
 Certified Mail 2.30
 70033110000015676439
 Return Receipt 1.75
 2. First Class 4.42
 Destination: 87114
 Weight: 0.50oz
 Postage Type: PVI
 Total Cost: 4.42
 Base Rate: 0.37
 SERVICES
 Certified Mail 2.30
 70033110000015679461
 Return Receipt 1.75
 Subtotal 8.84
 Total 8.84

Personal/ Business Check 8.84

Number of Items Sold: 2

Thank You
 Please come again!

Project# 1003127

GILBERT ENTERPRISES
10035 LOS CANSADOS RD NW
ALBUQUERQUE NM 87114

TOM ANDERSON
Paradise Hill Neigh. Assoc.
10013 PLUNKETT DR. NW
ALBUQUERQUE NM 87114

101206545143010829

N M BAPTIST FOUNDATION INC
GENERAL DELIVERY
ALBUQUERQUE NM 87191

101206533743610511

STAR TRUST INCORPORATED
4415 SHERRE DR NE
ALBUQUERQUE NM 87111

101206535342412213

TEMPLIN ROBERT M & JULIE E
10208 LOVELAND DR NW
ALBUQUERQUE NM 87114

Project# 1003127

WALLACE L. BINGHAM
6344 BELCHER NE
ALBUQUERQUE NM 87109

101206540147111501

GILBERT RAYMOND H III & BARBA
10035 LOS CANSADOS RD NW
ALBUQUERQUE NM 87114

101206547047510830

SANDIA PROPERTIES LTD CO
10 TRAMWAY LP NE
ALBUQUERQUE NM 87122

101206532342410512

PARADISE RESERVE LIMITED CO
7620 JEFFERSON ST NE
ALBUQUERQUE NM 87109

101206535243412212

SCOGIN ROBERT CLEGG & KAREN L
10212 LOVELAND RD NW
ALBUQUERQUE NM 87114

LARRY WEAVER
Paradise Hills Neigh. Assoc.
6001 UNITAS CT. NW
ALBUQUERQUE NM 87114

101206539544011401

AMERICAN STORES PROPERTIES IN
PO BOX 27447
SALT LAKE CITY UT 84127

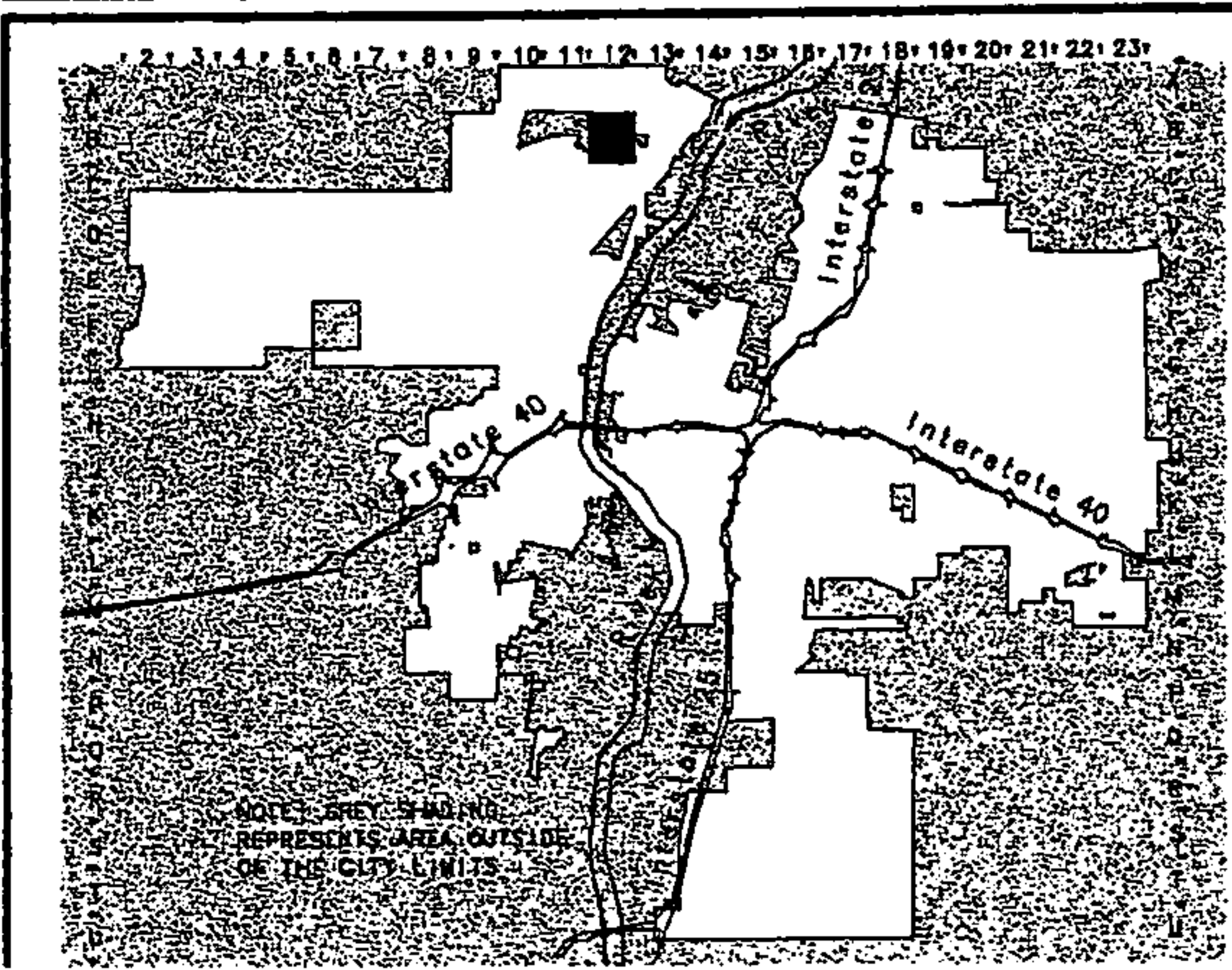
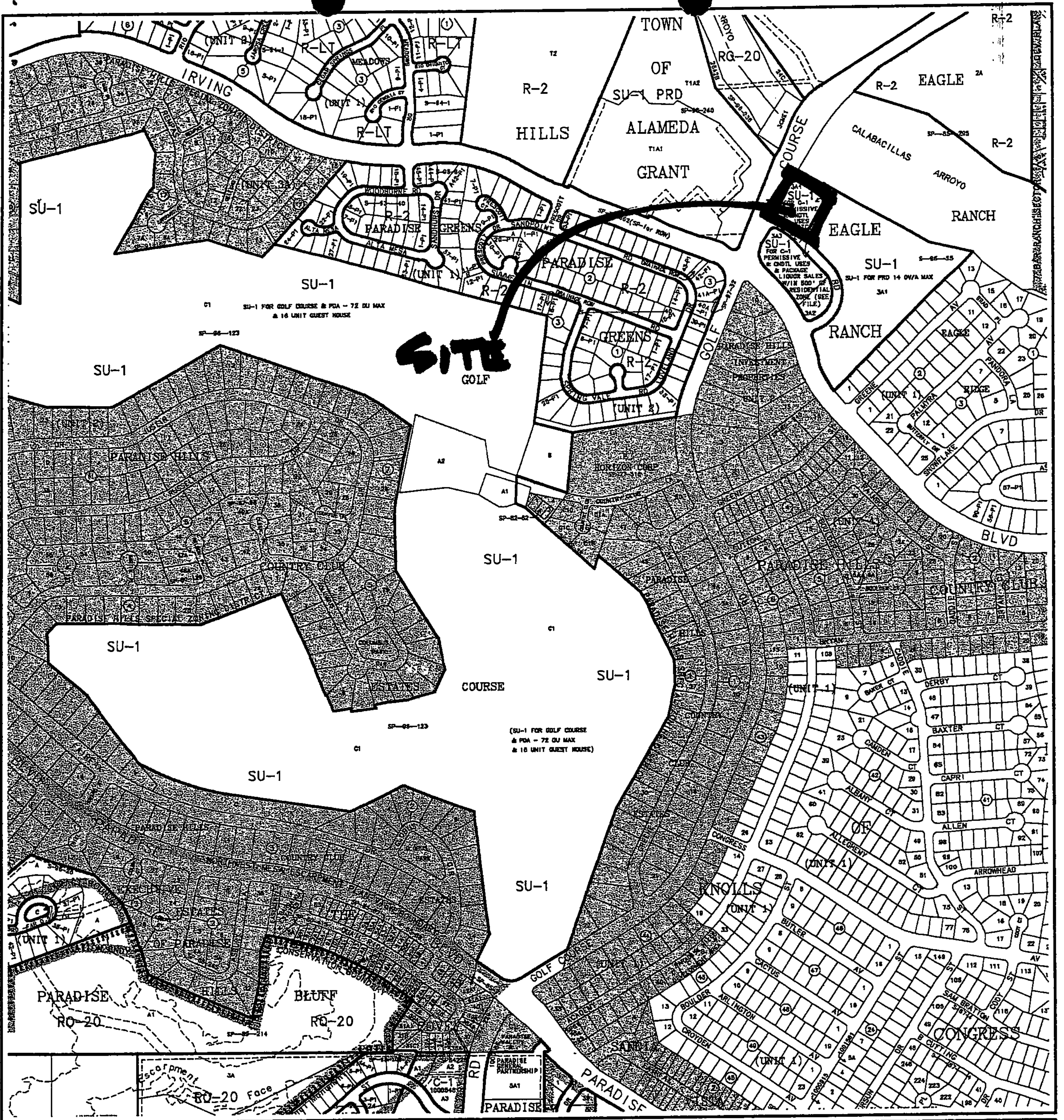
101206532338610510

ARROYO VILLAS LTD PTNS
9200 KEYSTONE CROSSING
INDIANAPOLIS IN 46240

101206537639510213

AMIGO PETROLEUM CO
C/O BERRIDGE DISTRIBUTING INC
PO BOX 4396
SANTA FE NM 87502
101206534044112211

OTERO LORENZO F & LILLIAN J
4701 SANDPOINT RD NW
ALBUQUERQUE NM 87114



CITY OF
Albuquerque
 Geographic Information System
PLANNING DEPARTMENT
 © Copyright 2003



Zone Atlas Page
B-12-Z
 Map Amended through January 21, 2003

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

- Supplemental form **S**
- SUBDIVISION**
- Major Subdivision action
 - Minor Subdivision action
 - Vacation
 - Variance (Non-Zoning)
- SITE DEVELOPMENT PLAN**
- ... for Subdivision Purposes
 - ... for Building Permit
 - IP Master Development Plan
 - Cert. of Appropriateness (LUCC)
- Supplemental form **V**
- Supplemental form **P**
- Supplemental form **L**

ZONING & PLANNING

- Supplemental form **Z**
- Annexation
 - County Submittal
 - EPC Submittal
 - Zone Map Amendment (Establish or Change Zoning)
 - Sector Plan (Phase I, II, III)
 - Amendment to Sector, Area, Facility or Comprehensive Plan
 - Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of...

- Supplemental form **A**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Gilbert Enterprises PHONE: 897 2452

ADDRESS: 10035 Los Cansados RD NM FAX: _____

CITY: Albuquerque STATE NM ZIP 87114 E-MAIL: _____

Proprietary interest in site: Owner List all owners: NA

AGENT (if any): Wallace L. Bingham PHONE: 797 4699

ADDRESS: 6344 Belcher NE FAX: 797 4699

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: wlbingham@comcast.net

DESCRIPTION OF REQUEST: SDP⁴ Building Permit Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 3A4 Block: _____ Unit: _____

Subdiv. / Addn. Eagle Ranch

Current Zoning: SU-1 Proposed zoning: SU-1

Zone Atlas page(s): B-12 No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 1.015 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? no

UPC No. 101 206 540_147 111 501 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: Golf Course Rd. NW

Between: Irving BLVD and The Calabacillas Arroyo

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): DRB 94 480

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Wallace L. Bingham DATE 4-2-04

(Print) Wallace L. Bingham Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>04400 04DRB - 00509</u>	<u>SDP for BP</u>		\$ <u>0</u>
<input type="checkbox"/> All fees have been collected				\$ _____
<input type="checkbox"/> All case #s are assigned				\$ _____
<input type="checkbox"/> AGIS copy has been sent				\$ _____
<input type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>April 28, 2004</u>			Total \$ <u>0</u>

Macinta Hill 4/2/04
Planner signature / date

Project # 1003127

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision and/or Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - NA* Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24** copies for DRB public hearings
 - ~~Solid Waste Management Department signature on Site Plan~~
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - OK on file* Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - ~~Completed Site Plan for Subdivision and/or Building Permit Checklist~~
 - ~~Completed Site Plan for Building Permit Checklist~~
 - NA* 6 copies of the Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
 - ~~Blue-line copy of Site Plan with Fire Marshal's stamp~~
 - Paid* Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24** copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form with required signatures
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Wallace L Bingham
Applicant name (print)

Wallace L Bingham #12104
Applicant signature / date



Form revised May 2003

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
04023 - - 00509
 _____ - _____
 _____ - _____

Melita Hill #12604
Planner signature / date

Project # 1003127



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: April 2, 2004

TO CONTACT NAME: Bill Burke
COMPANY/AGENCY: Dad Burke Hnd
ADDRESS/ZIP: 9617 La Playa, NE 87111
PHONE/FAX #: 292 6500 / 244-7272

Thank you for your inquiry of 4-2-04 (date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Tract 3A4, Eagle Ranch Addn

zone map page(s) B-127

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Dorado Hills
Neighborhood Association
Contacts: Larry Leaver
6001 Uinta Ct, NW
ALBU, NM 87114
(H) 298-8640
(W) 846-1511

Neighborhood Association
Contacts: Tom Anderson
10013 Plunkett Dr NW
Albuquerque, NM 87114
(W) 897-2593

See reverse side for additional Neighborhood Association Information: **YES { } NO**

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,
Robert M Howell
OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

.....
Attention: Both contacts per neighborhood association need to be notified.
.....



Bill Burk, third, Architect

construction inspection
architecture • interiors • graphics

March 28, 2004

#03-18

Larry Weaver
Paradise Hills Civic Assoc.
6001 Unitas Ct, NW
Albuquerque, NM 87114

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

Tom Anderson
Paradise Hills Civic Assoc.
10013 Plunkett Dr NW
Albuquerque, NM 87114

RE: 10200 Golf Course Rd NW
Tract 3A4, Eagle Ranch Addition
Albuquerque, NM

Gentlemen:

On behalf of Gilbert Enterprises, LLC, I have filed an Application for Site Development Plan Approval for Building Permit for the above referenced property. This application is for a DRB Hearing, as the Planning Department advised us that it is a DRB not an EPC matter.

The existing zoning is SU-1 for Permissive and Conditional Uses and Package Liquor Sales within 500 ft of Residential. The proposed project is a 10,000 sq. ft. Retail / Office Building, so no amendment is required. The project is unchanged from that described in our previous letter.

The DRB Hearing is scheduled for ~~May 5~~ ^{April 28}, 2004.

If you have any questions or concerns, please give me a call.

Very truly yours,

BILL BURK, THIRD, ARCHITECT

William E Burk, III
Architect

WEBIII/cbb

Encl.

CC Gilbert Enterprises LLC ✓
City of Albuquerque

9617 La Playa NE
Albuquerque, NM 87111-3411
Phone (505) 292-6566
FAX (505) 294-7232

DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Community and Neighborhood Coordination (OCNC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – 924-3913 – will need the following information **BEFORE** neighborhood association information will be released to the applicant / developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at 924-3914. **Your request is for the following: Cell Tower [] Private Development City Project [] -OR- Other [] _____**

(specify)

CONTACT NAME: Wallace Bingham

COMPANY NAME: Bingham Engr.

ADDRESS: 6344 Belcher Ave. NE

ZIP CODE: 87109

PHONE: () 797 4699 CELL: () _____

FAX: () ''

NEIGHBORHOOD ASSOCIATION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS _____

Lot 3A4, Eagle Ranch Subdiv.
(LEGAL DESCRIPTION)

LOCATED ON Golf Course Rd
(STREET NAME OR OTHER IDENTIFYING LANDMARK)

BETWEEN Irving & Calabacillos Arroyo AND
(STREET NAME OR OTHER IDENTIFYING LANDMARK)

(STREET NAME OR OTHER IDENTIFYING LANDMARK)

THE SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE(S) (_____).

**PLEASE HATCH OUT ZONE MAP WHERE PROPERTY IS LOCATED
(ZONE MAP MUST BE PROVIDED WITH REQUEST)**



Bill Burk, third, Architect
construction inspection
architecture • interiors • graphics

March 28, 2004

#03-18

Larry Weaver
Paradise Hills Civic Assoc.
6001 Unitas Ct, NW
Albuquerque, NM 87114

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

Tom Anderson
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10013 Plunkett Dr NW
Albuquerque, NM 87114

RE: 10200 Golf Course Rd NW
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Very truly yours,

BILL BURK, THIRD, ARCHITECT

William E Burk, III
Architect

WEBIII/cbb

Encl.

CC Gilbert Enterprises LLC
City of Albuquerque

9617 La Playa NE
Albuquerque, NM 87111-3411
Phone (505) 292-6566
FAX (505) 294-7232



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: April 2, 2004

TO CONTACT NAME: Bill Burk
COMPANY/AGENCY: Dad Burk Thrd
ADDRESS/ZIP: 9617 La Playa, NE 87111
PHONE/FAX #: 292-6506 / 294-7272

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Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Tract 3A4, Eagle Ranch Addn

zone map page(s) B-127

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Danwick Hills

Neighborhood Association
Contacts: Harry Weaver
6001 United Ct, NW
ALBQ, NM 87114
(H) 298-8640
(W) 846-1511

Neighborhood Association
Contacts: Tom Anderson
10017 Plunkett Dr NW
Albuquerque, NM 87114
(W) 897-2573

See reverse side for additional Neighborhood Association Information: YES { } NO

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Robert M Howell
OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

.....
Attention: Both contacts per neighborhood association need to be notified.
.....

7466 295T 0000 0TTE E002

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com
OFFICIAL USE

Postage	\$ 0.37	UNIT ID: 0111 Postmark Here Clerk: KKTVNO 03/30/04
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.42	

Sent To
TOM ANDERSON
Street, Apt. No., or PO Box No. **10013 Plunkett Dr. NW**
City, State, ZIP+4
Albuquerque NM 87114

PS Form 3800, June 2002 See Reverse for Instructions

6E49 295T 0000 0TTE E002

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com
OFFICIAL USE

Postage	\$ 0.37	UNIT ID: 0111 Postmark Here Clerk: KKTVNO 03/30/04
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.42	

Sent To
LARRY WEAVER
Street, Apt. No., or PO Box No. **6001 UNITAS CT. NW**
City, State, ZIP+4
Albuquerque NM 87114

PS Form 3800, June 2002 See Reverse for Instructions



***** WELCOME TO *****
STEVE SCHIFF STATION
ALBUQUERQUE, NM 87111-4851
03/30/04 11:29AM

Store	USPS	Trans	82
Wkstn	sys5003	Cashier	KKTVNO
Cashier's Name	STEVE		
Stock Unit Id	WINSTEVE		
PO Phone Number	800-ASK-USPS		
USPS #	3401500111		

1. First Class 4.42
 Destination: 87114
 Weight: 0.50oz
 Postage Type: PVI
 Total Cost: 4.42
 Base Rate: 0.37
 SERVICES
 Certified Mail 2.30
 70033110000015676439
 Return Receipt 1.75

2. First Class 4.42
 Destination: 87114
 Weight: 0.50oz
 Postage Type: PVI
 Total Cost: 4.42
 Base Rate: 0.37
 SERVICES
 Certified Mail 2.30
 70033110000015679461
 Return Receipt 1.75

Subtotal 8.84
 Total 8.84

Personal/ Business Check 8.84

Number of Items Sold: 2

Thank You
Please come again!

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 3/1/2004

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Walter L Bingham
 Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. ~~The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below.~~ Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 4/20 1. Date of drawing and/or last revision
- 20 2. Scale: 1.0 acre or less 1" = 10'
 1.0 - 5.0 acres 1" = 20'
 Over 5 acres 1" = 50'
 Over 20 acres 1" = 100' *[Other scales as approved by staff]*
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Existing structures on the site and within 20 feet of the site boundaries
7. Property lines (clearly identify)
8. Existing and proposed easements (identify each)

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 3/1/2004

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- N/A G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- N/A I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 46 provided: 46
 Handicapped spaces required: 3 provided: 4
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 3
 provided: 3
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 3/1/2004

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private).

5. Phasing

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system *drip*
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement) *Maintenance by owner*
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 3/1/2004

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: February 20, 2004

OFFICIAL NOTIFICATION OF DECISION


FILE: **Project # 1003127**
03EPC-02056 EPC Site Development Plan-Building
Permit

Gilbert Enterprises LLC
10035 Los Cansados Rd. NW
Albuq. NM 87114

LEGAL DESCRIPTION: for all or a portion of
Tract 3A4, **Eagle Ranch**, zoned SU-1 for C-1
~~Permissive & Conditional Uses & Package Liquors~~
Sales, located on GOLF COURSE ROAD NW,
between AVOCET RD. NW and KEA AVE. NW,
containing approximately 1 acres. (B-12) Carmen
Marrone, Staff Planner

On February 19, 2004 the Environmental Planning Commission voted to accept withdrawal of Project
#1003127/03EPC-02056 EPC Site Development Plan-Building Permit at the request of the agent.

Sincerely,

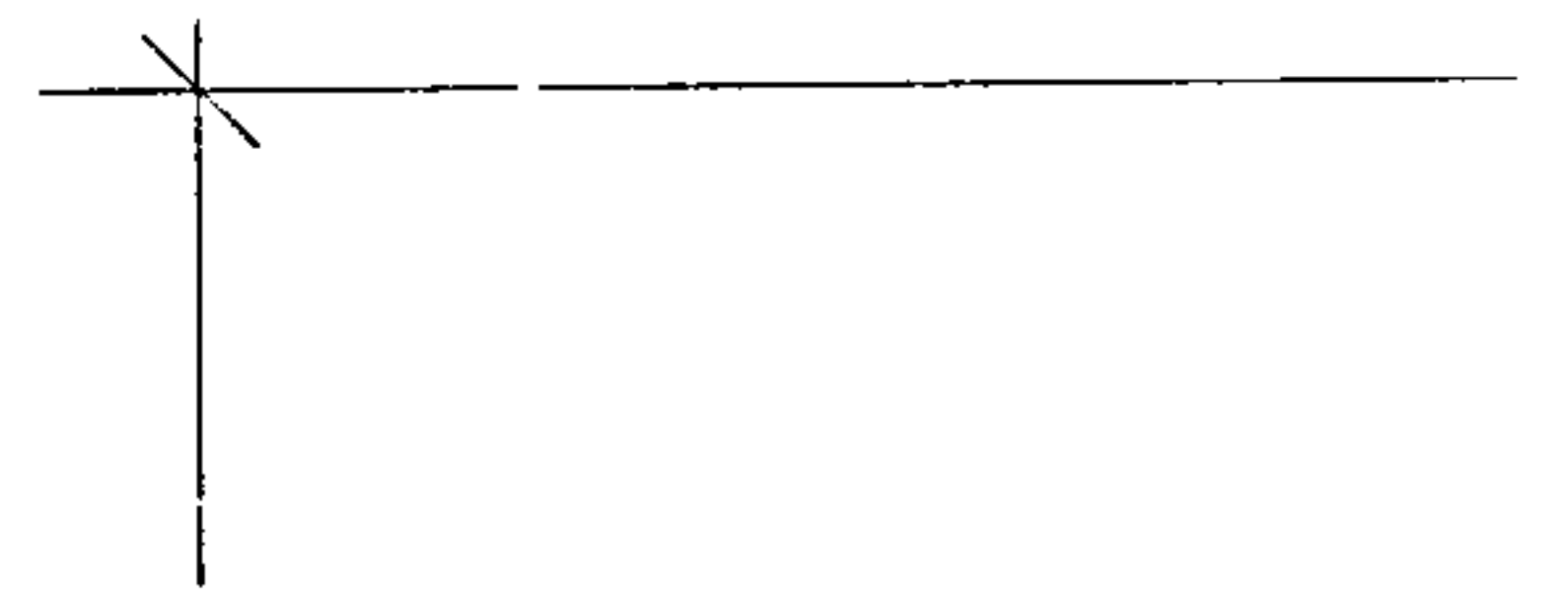

for Victor J. Chavez
Planning Director

VJC/CM/ac

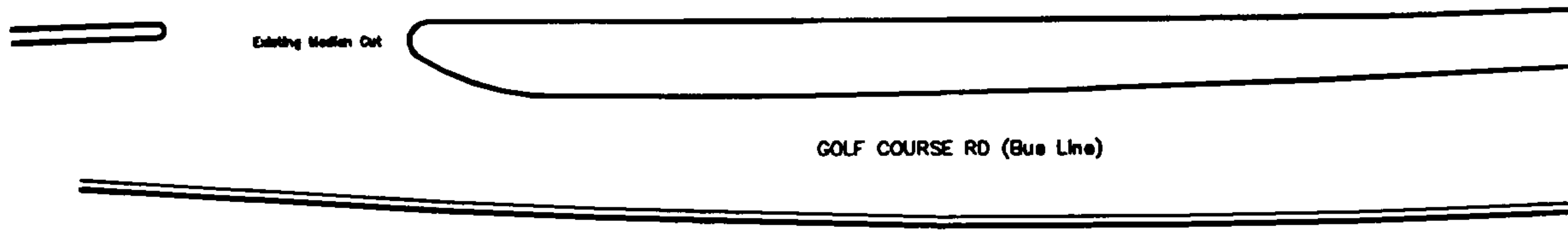
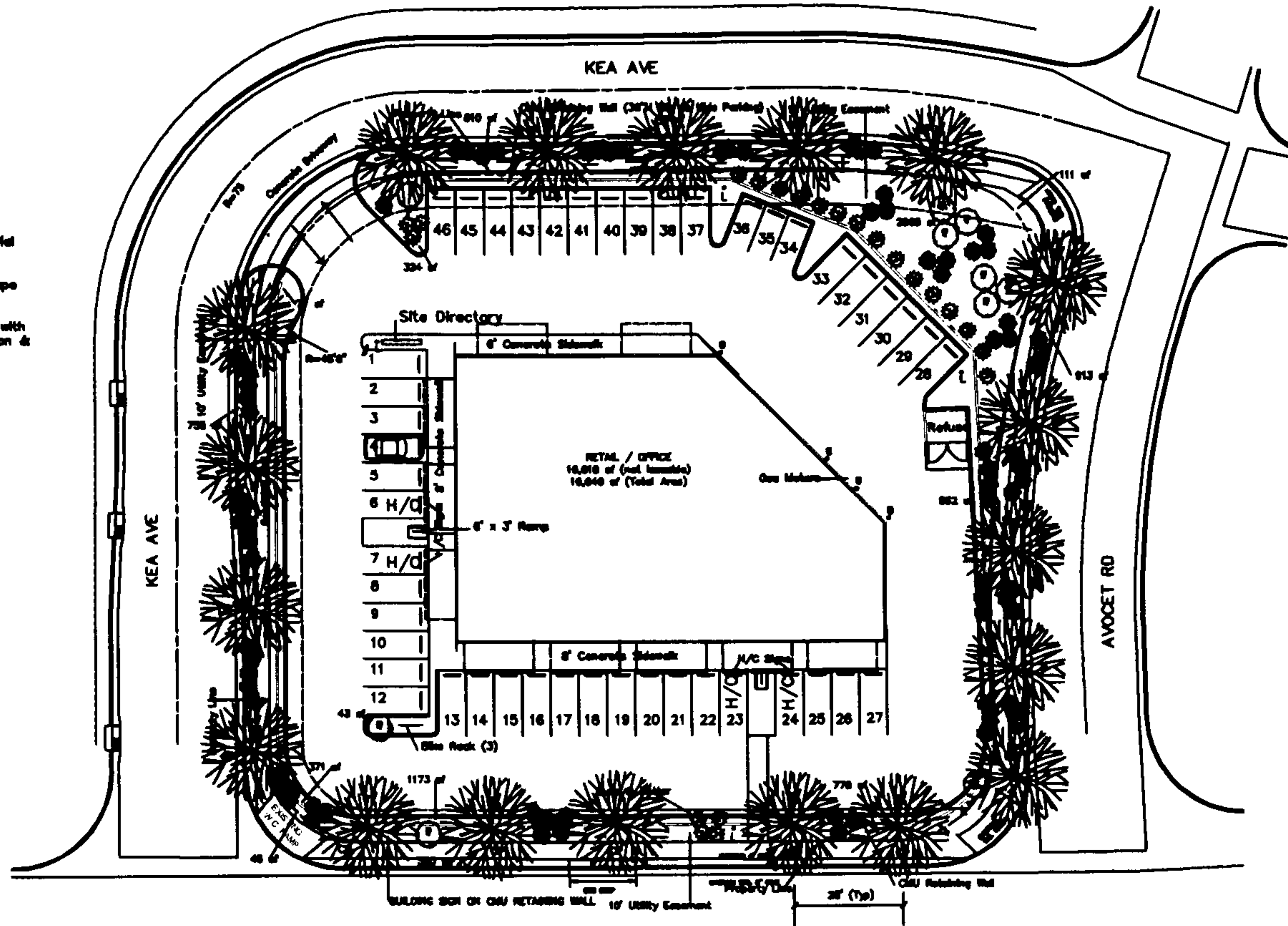
cc: Bill Burk, Third, Architect, 9617 La Playa NE, Albuq. NM 87111
Larry Weaver, Paradise Hills Civic, 6001 Unitas Ct. NW, Albuq. NM 87114
Tom Anderson, Paradise Hills Civic, 10013 Plunkett Dr. NW, Albuq. NM 87114

PROJECT OBJECTIVE

This project will construct a one story building to be used for commercial and/or offices. The building will be of similar line, color and texture as the adjacent commercial buildings with parking on site. Landscaping will remove the existing weeds adorned with plastic bags and place ornamental trees, shrubs and ground cover to decorate, partially screen and shade the site. Retaining walls shall be segmented concrete block with curving corners and tapered ends, of a color to augment the project scheme. Tinted glass windows will add to the overall shereotype of the project.



Non-Vegetative Ground Cover shall be aggregate material 3/4" gravel (Santa Fe Green) over Landscape Fabric.
 It is intended that vegetation will cover 75% of landscape area at maturity.
 Planting, Irrigation design and installation shall comply with the intent of the City of Albuquerque Water Conservation & Landscaping Ordinance.
 Landscaping shall be maintained by Owner.
 Irrigation is by automatic drip system.

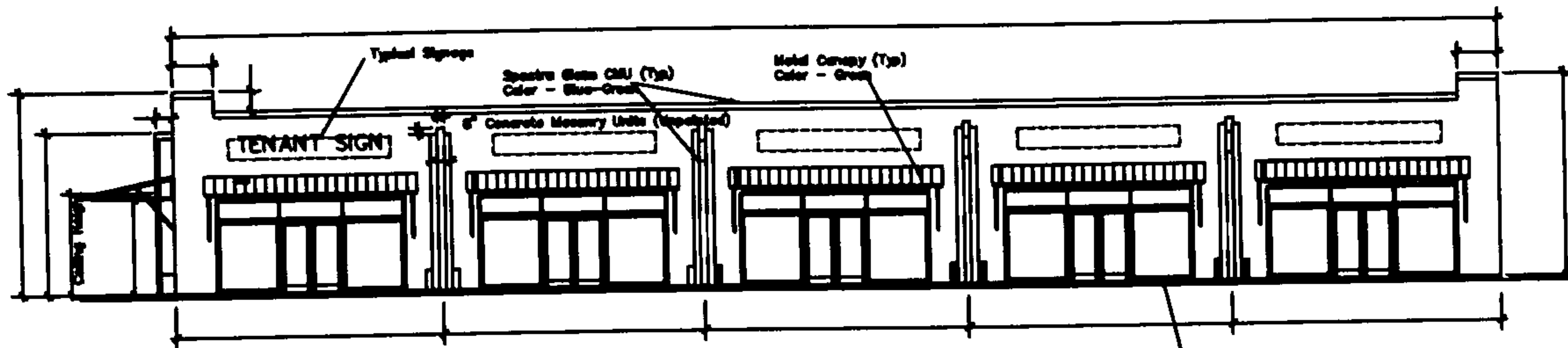


LANDSCAPING PLAN
 "VISTA SQUARE"
 10200 Golf Course Rd NW, Albuquerque, NM

BILL BURK, THIRD, ARCHITECT

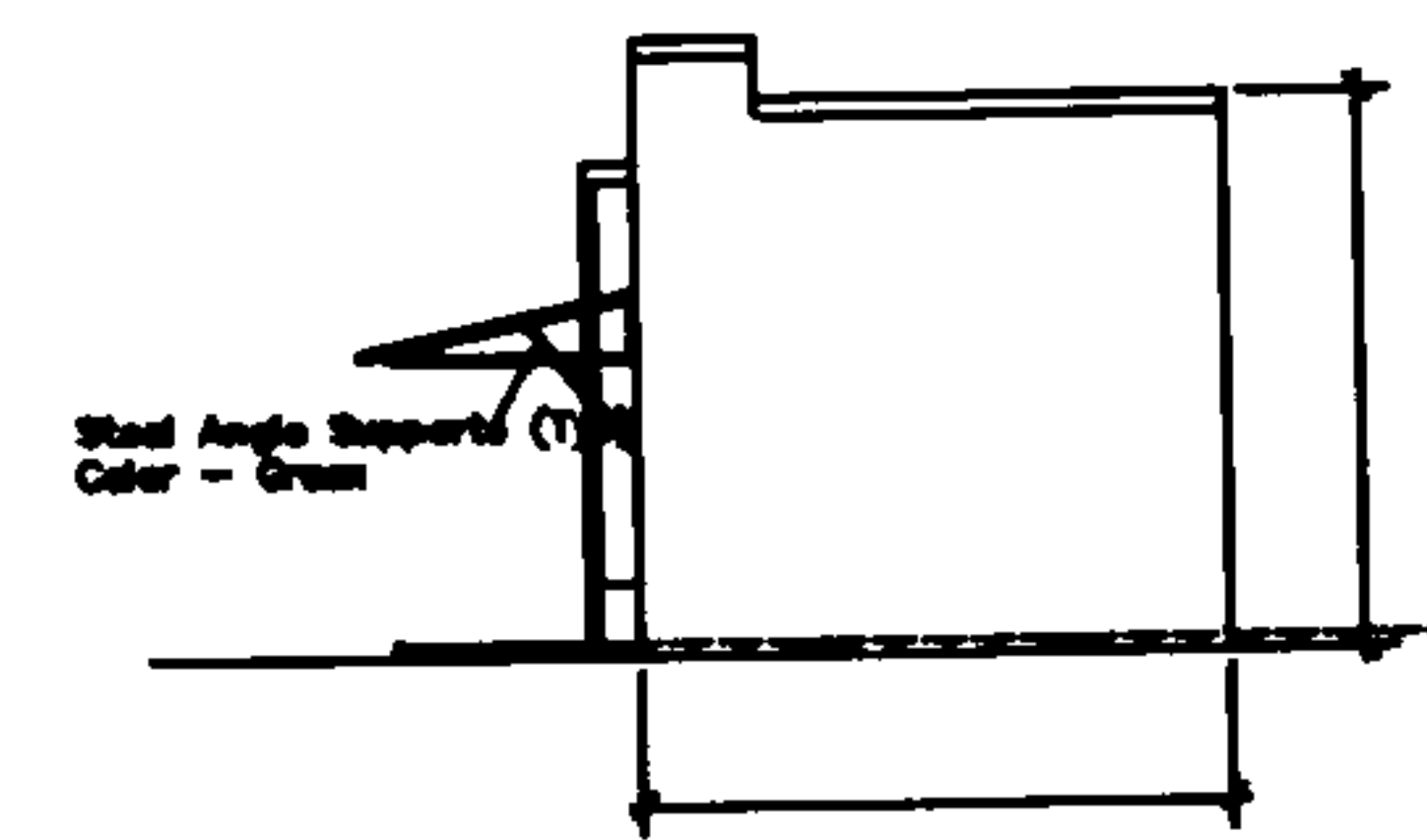
#03-18

12/31/03



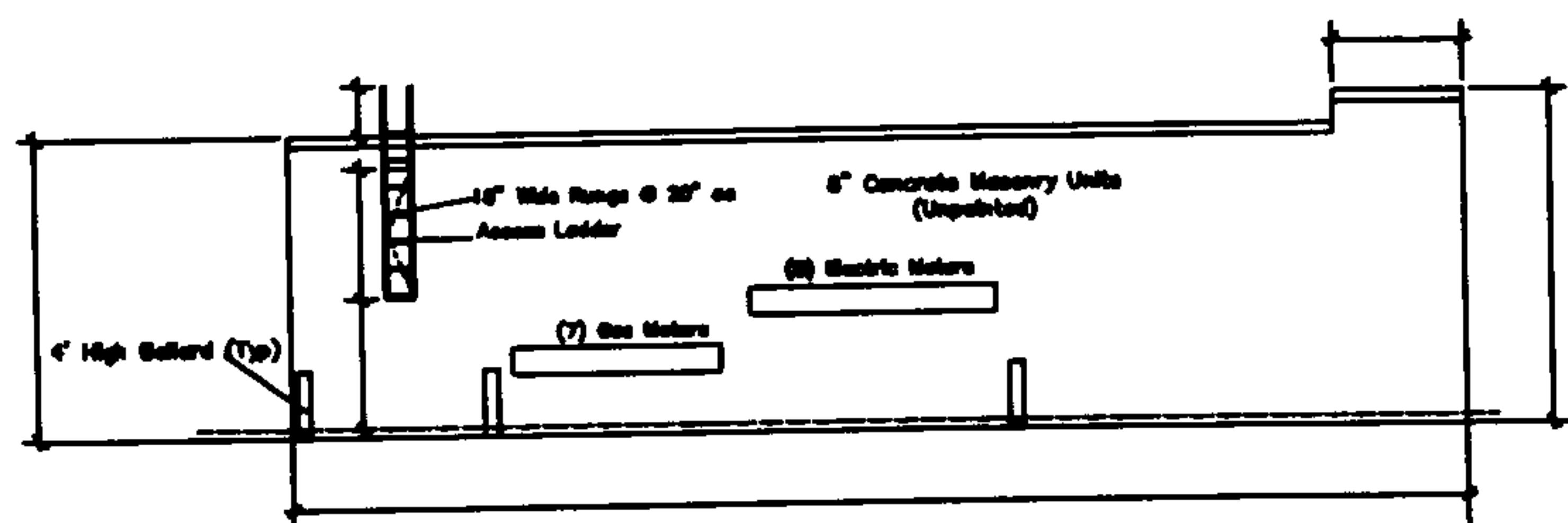
GOLF COURSE RD ELEVATION

1/8" = 1'-0"

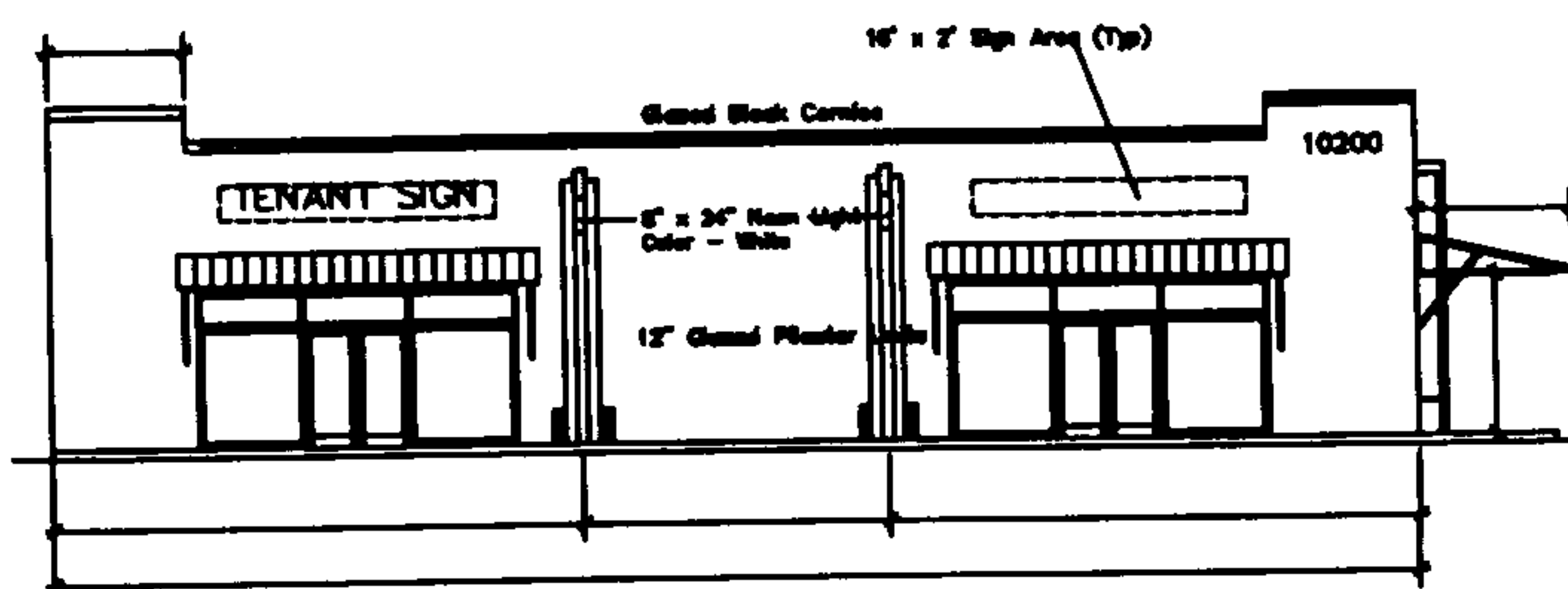


AVOCET RD ELEVATION

1/8" = 1'-0"

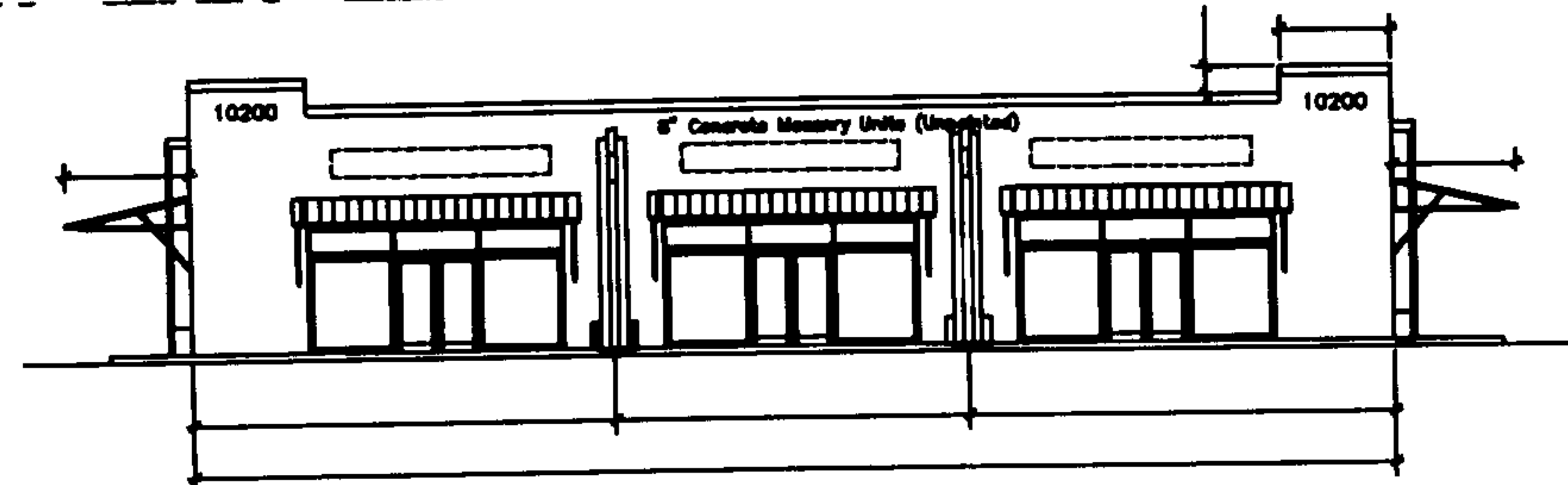


SOUTHEAST ELEVATION



EAST/SIDEWALK

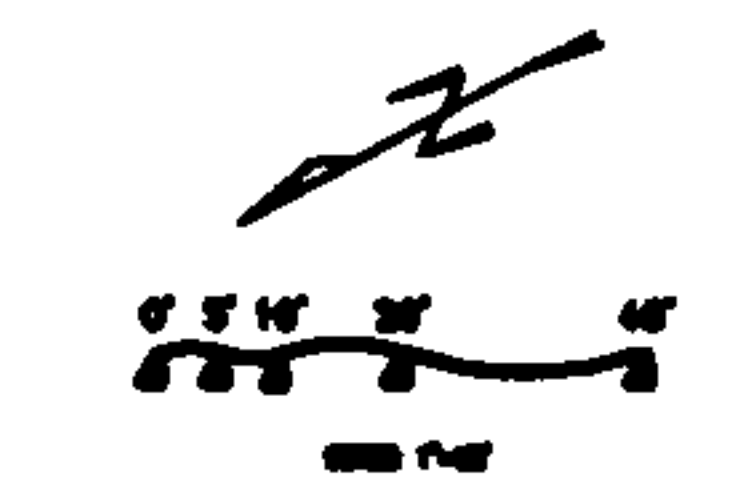
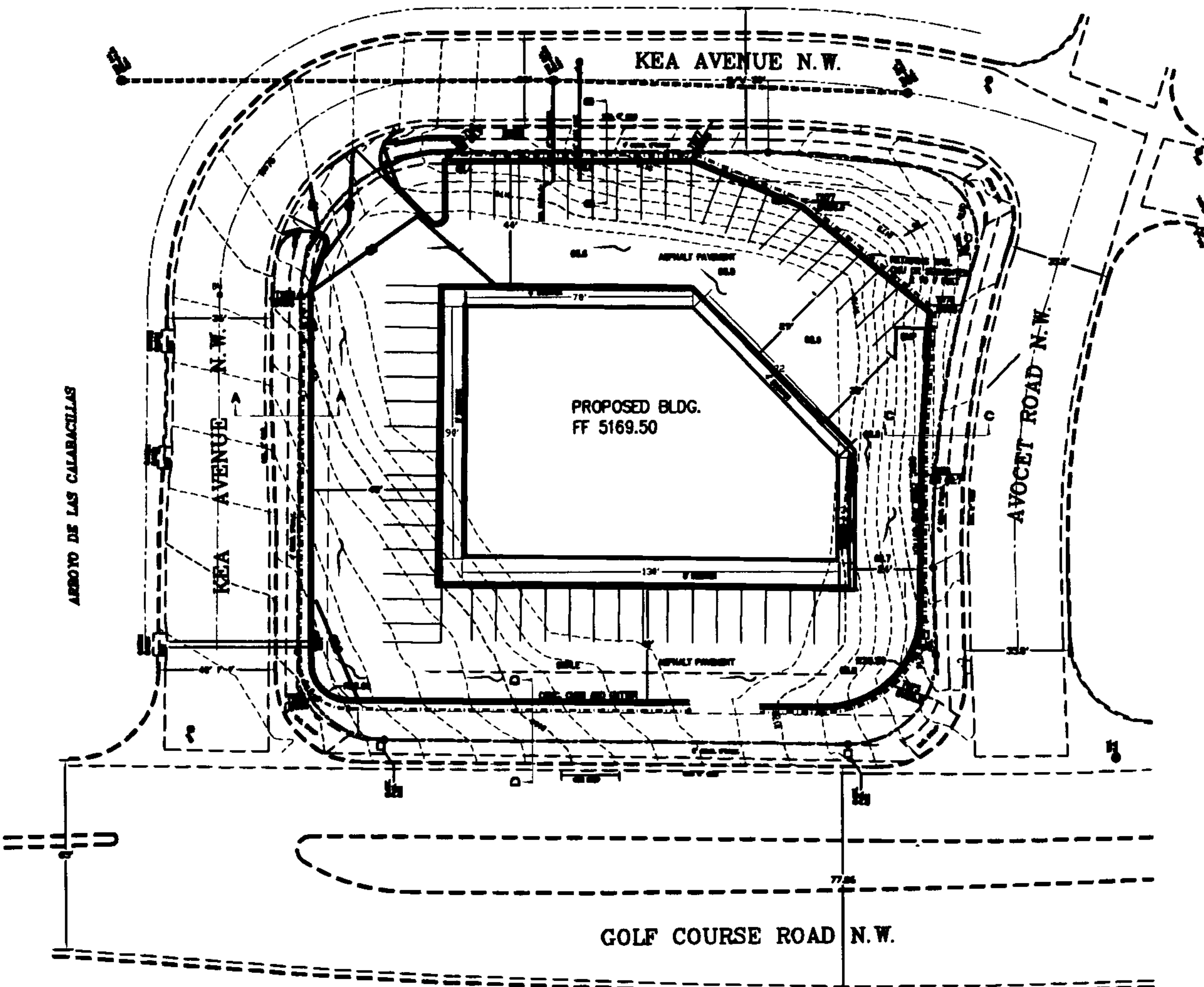
1/8" = 1'-0"



NORTH ELEVATION

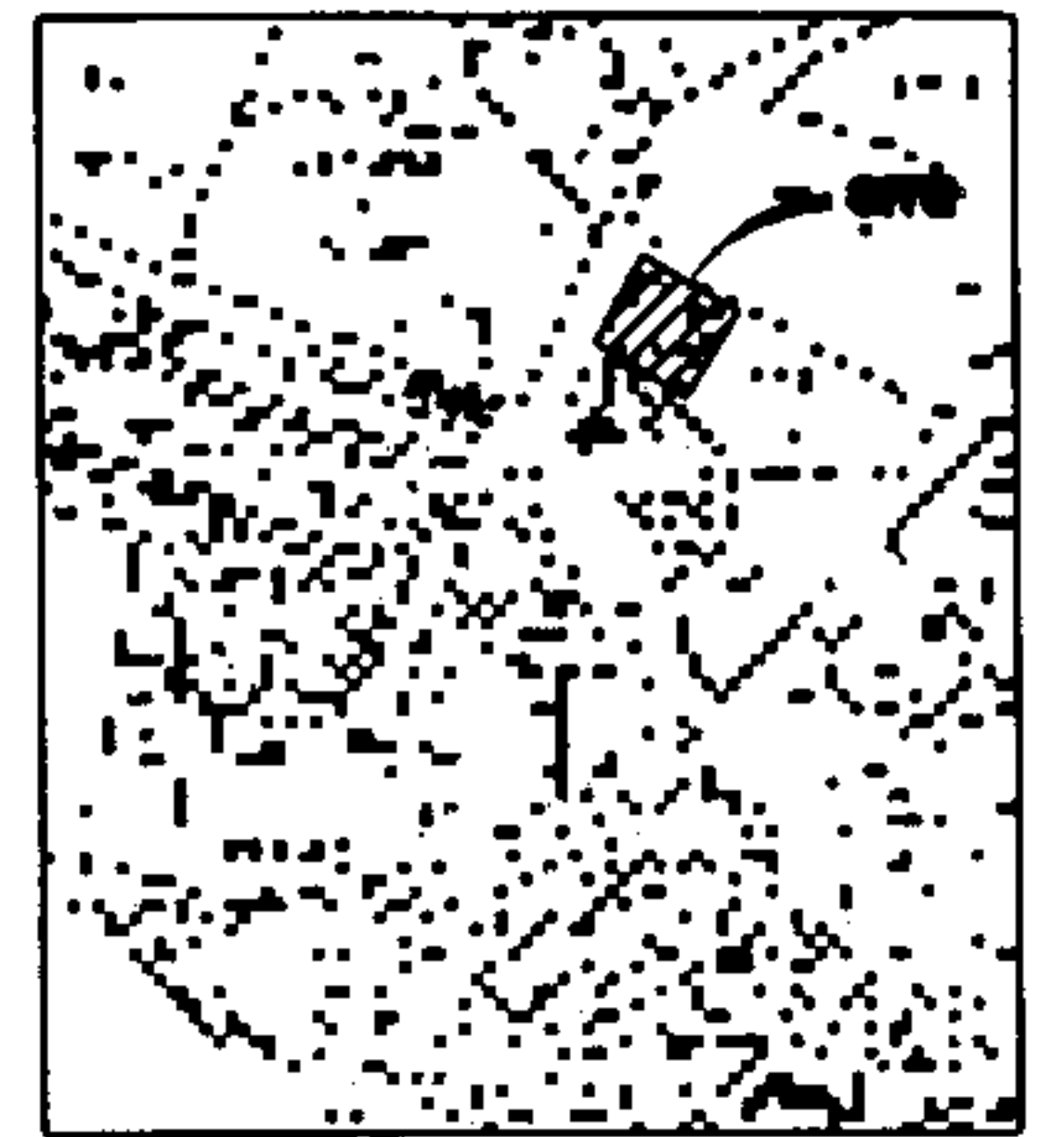
1/8" = 1'-0"

PRELIMINARY ELEVATIONS
 "VISTA SQUARE"
 10200 Golf Course Rd NW, Albuquerque, NM
 BILL BURK, THIRD, ARCHITECT
 #03-18 12/31/03



ONE FOOT CONTOUR INTERVAL
ADD 5100 FEET TO SPOT ELEV'S.

GENERAL
AREA LHM 10.
ZONE 1
SEWER SPECIAL 1000-04
EXISTING CONDITIONS: THE LOT GRADING TO THE STREET ON THE NORTH SIDE AND GRADINGS IN THE SWAMP GRASS THAT GRASS TO THE CALABACILLAS AVENUE. EXISTING LAND TREATMENT ZONE C
PROPOSED CONDITIONS: THE SWAMP GRASS EXTENSION THAT REACHED INTO THE PROPERTY WILL BE CONNECTED TO A STORM SILET TO WHICH THE GRASSY WILL BE SPECIES. PROPOSED LAND TREATMENT ZONE B, ZONE D
EXISTING @ 1:100000 = 1:50000
PROPOSED @ 1:100000 = 1:50000 + 1:50000 = 1:50000



VICINITY MAP ZONE B-12

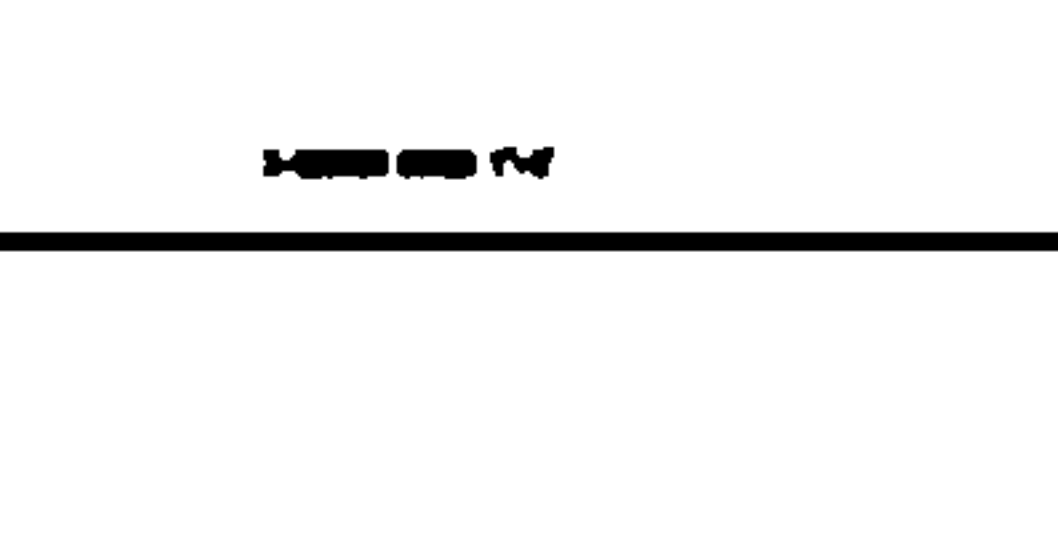
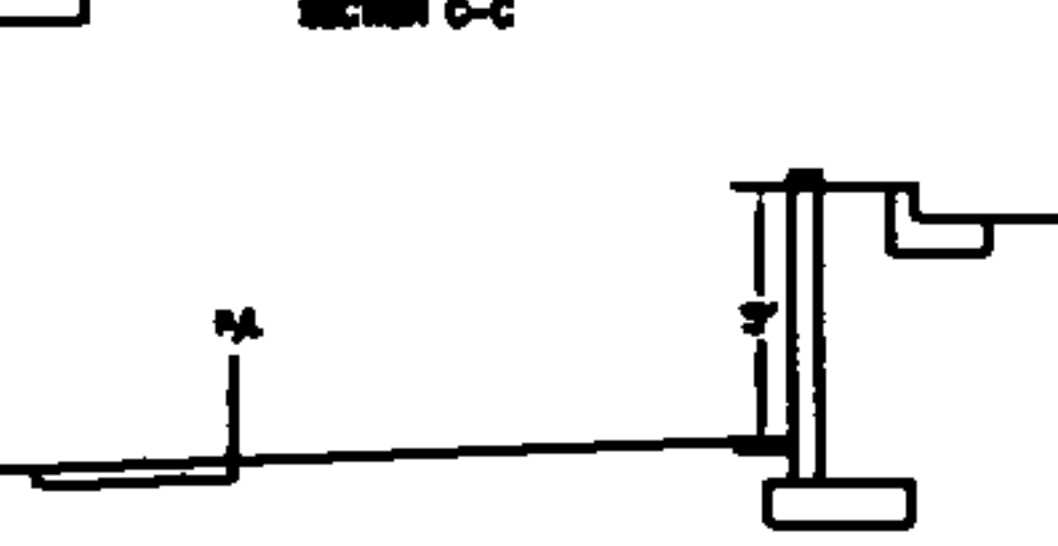
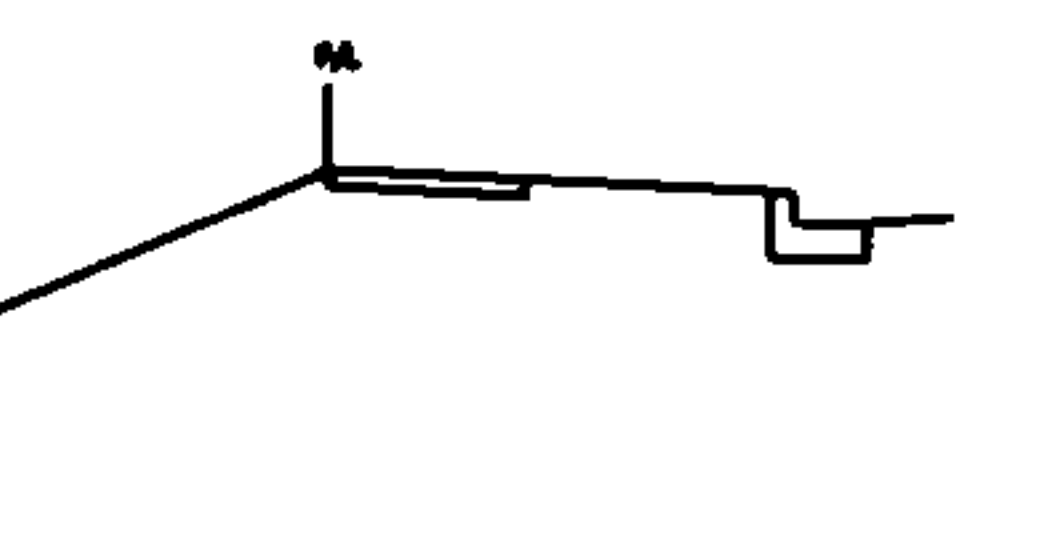
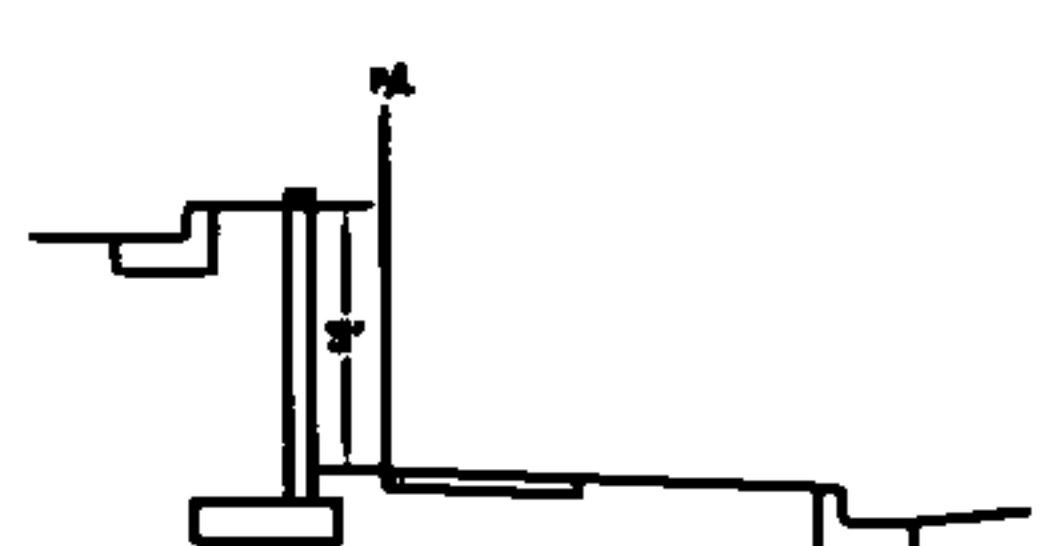
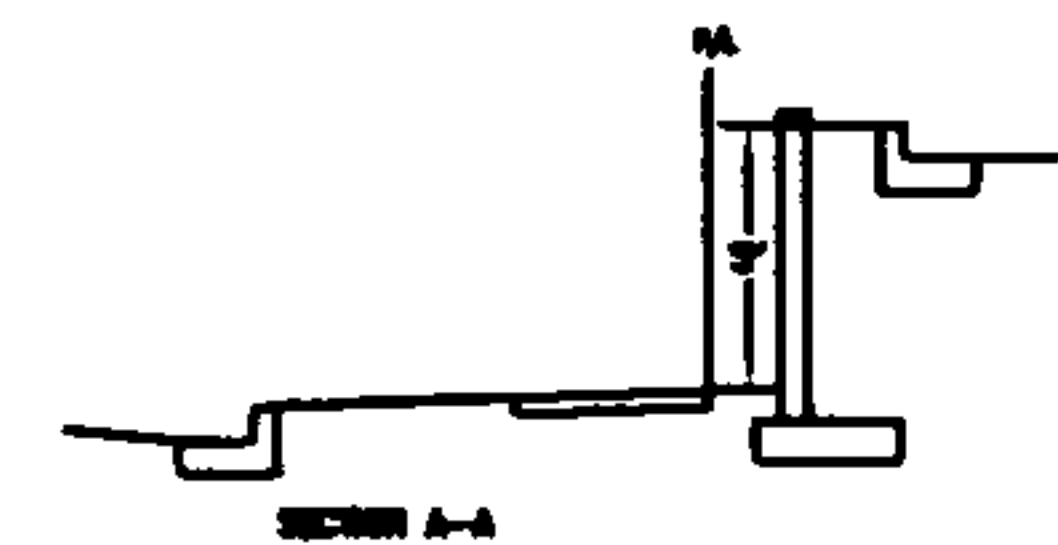
LEGAL DESCRIPTION
TRACT 2-2-4 OF GOLF COURSE
PLAN 1000-04/05 AS 100-04-05

A.C.S. BENCHMARK REFERENCED
ELEV. 75.00-0.00, 100' A BENCH AND
TOP OF THE SIDE OF SELF GRASS
AND GRASSY ROAD (AL. 100-04-05)

PROJECT BENCHMARK
AL. 100' GROUND BENCHMARK
AT P.C. ELEV. = 100.00

THE FOLLOWING STATEMENT IS PROVIDED FOR
INFORMATION ONLY BY THE U.S. BUREAU OF
RECONSTRUCTION FOR GRADING & DRAINAGE
THIS IS NOT A WARRANTY STATEMENT. ANY
PROPERTY DAMAGE AND OTHER LOSS OR
INJURY TO PERSONS OR PROPERTY IS THE
SOLE RESPONSIBILITY OF THE USER.

- LEGEND**
- VI 88.43 PROPOSED TOP OF CURB ELEVATION
 - 55.50 PROPOSED SPOT ELEVATION
 - 88.43 EXISTING SPOT ELEVATION (GRID & TO)
 - TEMPORARY PAVEN
 - PROPOSED CURB & GUTTER
 - EXISTING CURB AND GUTTER
 - EXISTING CONTOUR 1' / 500' ELEVATION
 - PROPOSED CONTOUR 1' / 500' ELEVATION
 - FLOW ARROW
 - STORM DRAIN WITH MANHOLE & INLETS
 - PROPOSED STORM DRAIN
 - PROPOSED STORM SEWER CATCH BASIN
 - PROPOSED INLET BLOCK
 - BASIN BOUNDARY
 - LOT BOUNDARY
 - PHASE LINE
 - RETAINING WALL



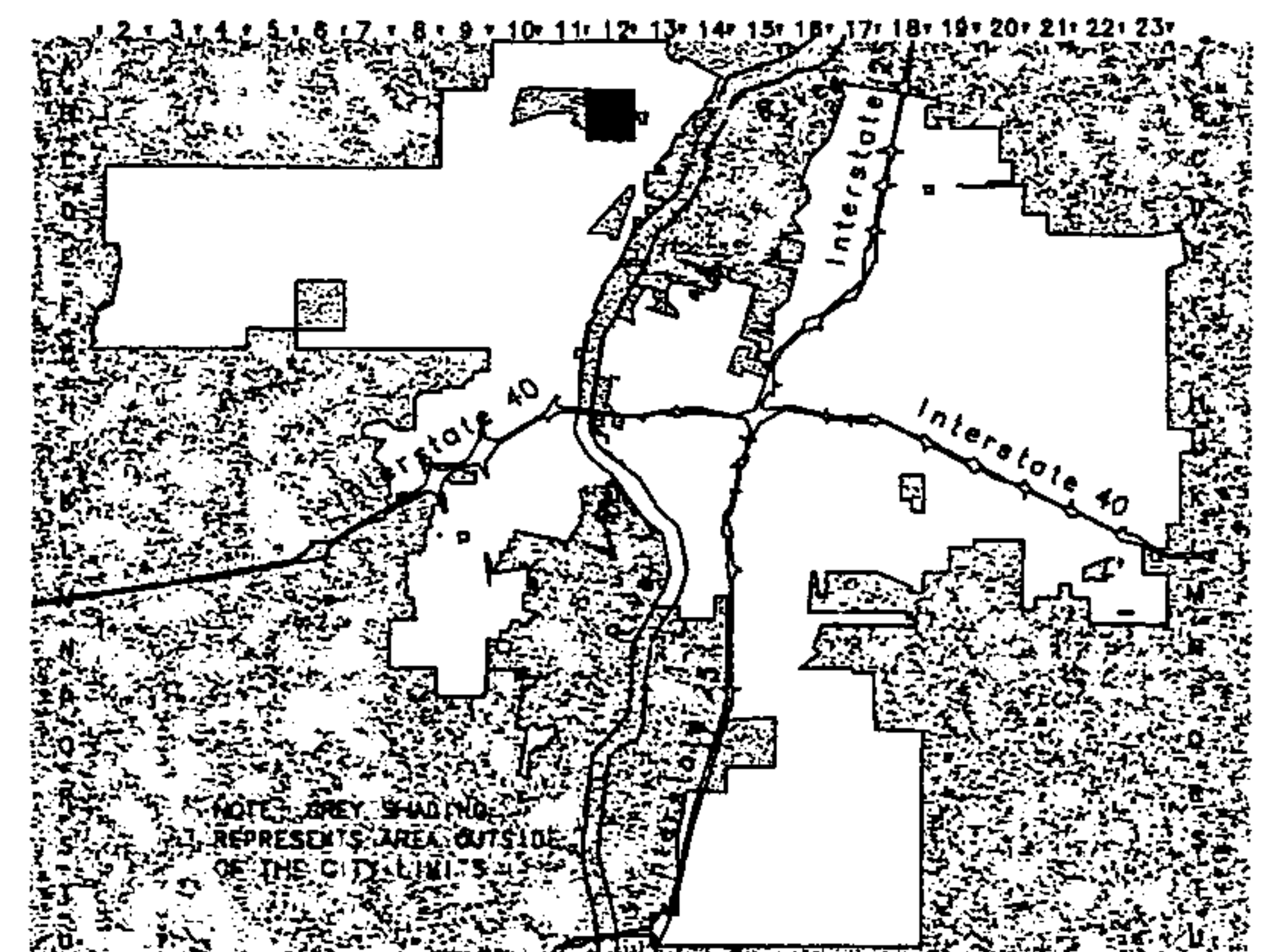
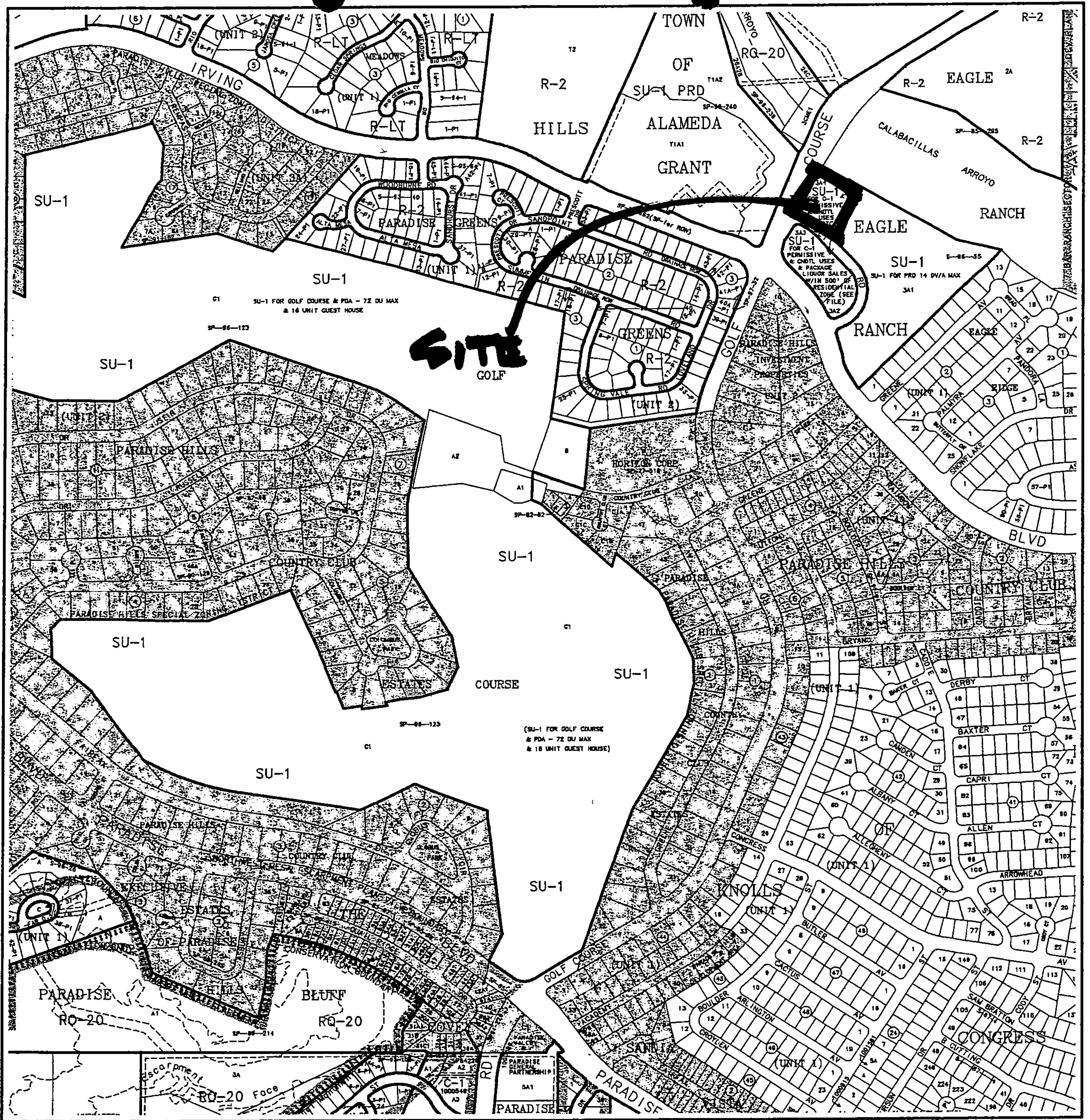
DATE: 10/10/00
BY: [Signature]
CHECKED: [Signature]
SCALE: AS SHOWN

VISTA SQUARE

GRADING AND DRAINAGE PLAN

BINGHAM ENGINEERING
ALBUQUERQUE, NEW MEXICO
505 787 4000

1 of 1



CITY OF
Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

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GRAPHIC SCALE IN FEET



Zone Atlas Page

B-12-Z

Map Amended through January 21, 2003

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

VOID

Review 1/21 1:30 4A 19th signs

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: GILBERT ENTERPRISES LLC PHONE: 897-2452
 ADDRESS: 10035 LOS CANSADOS RD NW FAX: _____
 CITY: Albuquerque STATE NM ZIP 87114 E-MAIL: _____
 Proprietary interest in site: OWNER
 AGENT (if any): BILL BURK, THIRD, ARCHITECT PHONE: 292-6566
 ADDRESS: 9617 LA PLAYA NE FAX: 294-7232
 CITY: Albuquerque STATE NM ZIP 87111 E-MAIL: Bburkiii@Earthlink.com

DESCRIPTION OF REQUEST: SITE DEVELOPMENT PLAN APPROVAL for B.P. com

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 3A4 Block: - Unit: -
 Subdiv. / Addn. EAGLE RANCH
 Current Zoning: SU-1 Proposed zoning: SU-1
 Zone Atlas page(s): B-12 Z No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 1.015 Density if applicable: dwellings per gross acre: - dwellings per net acre: -
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. _____ MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 10200 GOLF COURSE RD. NW
 Between: AVOCET RD. and KEA AVE.

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.):
DRB - 94-480

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 9-30-03

SIGNATURE William E. Burk III ARCHITECT DATE 10-4-03
 (Print) WILLIAM E. BURK III Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>03EPC</u>	<u>SPBI</u>	<u>RD</u>	<u>\$ 385</u>
<input type="checkbox"/> All fees have been collected				\$
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input type="checkbox"/> Case history #s are listed		<u>Adv Fee</u>		<u>\$ 75</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				Total
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>FEB 19, 2004</u>			<u>\$ 460</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				

Planner signature / date [Signature] 12/4/03 Project # 1003127

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.50 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crosshairs or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from April 13th To April 28th

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

William B. Simpson
(Applicant or Agent)

4/2/04
(Date)

I issued 2 signs for this application, 4/2/04 (Date), Marquita Hill (Staff Member)

DRB PROJECT NUMBER: 1003127

GENERAL ARCHITECTURAL DESIGN REQUIREMENTS

GENERAL ARCHITECTURE CHARACTER FOR PHASE II - PAD 1 & 3 STRUCTURES IS TO FOLLOW THE GENERAL DESIGN CONCEPT DEPICTED FOR THIS PHASE I - WALGREENS STORE. STRUCTURES WILL BE CEMENTITIOUS FINISH. STRUCTURES ARE TO BE PREDOMINANTLY FLAT-ROOFED. HOWEVER, PARTIAL BUILDING AREAS SUCH AS PORTALS OR SMALL EXTENSIONS OF BUILDING FUNCTIONS ADJACENT TO THE MAJOR BUILDING MASS MAY HAVE SLOPED MISSION TILE ROOFS. BUILDING HEIGHTS ARE LIMITED TO 28' FOOT PARAPET HEIGHTS FOR THE MAIN BUILDING WALL. THE APPROVAL OF THE SITE PLANS FOR BUILDING PERMIT FOR PADS 1 & 3 WILL BE DELEGATED TO THE CITY OF ALBUQUERQUE PLANNING STAFF.

MECHANICAL EQUIPMENT SCREENING

ALL MECHANICAL EQUIPMENT WILL BE SCREENED FROM VIEW OF THE ADJACENT PARKING AREA AND PUBLIC RIGHT-OF-WAY. IN ADDITION IF IT IS DETERMINED THAT THE MECHANICAL UNIT CAN BE OBSERVED FROM THE HOUSING RESIDENTIAL AREA EAST OF THIS PROJECT SCREENING IS REQUIRED.

COLOR PALLET SEE KEYED NOTE

COLOR #1 (BASIC) LIGHT TAN (BENJAMIN MOORE #1123)

COLOR #2 (DADO BAND) MEDIUM TAN (BENJAMIN MOORE #951)

COLOR #3 ANODIZED BRONZE

COLOR #4 (TILE COLOR) MONIER ROOF TILE "MISSION" "S" STYLE
PINTO #18970 COLOR BEND

BUILDING SIGNAGE

EXCEPT AS NOTED UNDER AWINGS ALL SIGNAGE WILL BE INDIVIDUAL TYPE LETTERING NO TO EXCEED 10 PERCENT OF THE WALL AREA OF EACH BUILDING ELEVATION. NO SIGN SHALL BE ON A BUILDING WALL FACING TOWARD THE ADJACENT RESIDENTIAL AREA. LETTERS ARE TO BE INTERNALLY ILLUMINATED EXPOSED NEON IF USED MUST NOT BE VISIBLE FROM RESIDENTIAL AREAS. ONE 50 SF. MONUMENT SIGN FOR FUTURE PAD SITES WILL BE PERMITTED.

LANDSCAPING

LANDSCAPING OF PHASE II WILL BE FROM THE SAME LANDSCAPE PALLET AND CONCEPT AS PROVIDED ON THE MASTER LANDSCAPING PLAN.

NOISE CONTROL

PAD STRUCTURES THAT ARE ADJACENT TO THE RESIDENTIAL AREAS ARE SPECIFICALLY REQUIRED TO PROVIDE INFORMATION REGARDING MITIGATION OF NOISE GENERATING EQUIPMENT ASSOCIATED WITH OPERATION OF THE FACILITY.

AWNINGS

AWNINGS ARE PERMITTED ABOVE WINDOW AREAS. AWINGS WITH PAINTED OR EMBOSSED CORPORATE LOGOS OR SIGNAGE ARE PERMITTED PROVIDED THE AREA WHEN ADDED TO ALL OTHER WALL SIGNAGE DOES NOT EXCEED 10 PERCENT OF THE AREA OF BUILDING WALL. ILLUMINATION OF AWINGS MUST BE FROM PENDANT MOUNTED FIXTURES LOCATED ABOVE THE AWNING. ACCENT COLORS ON AWNING ARE TO BE COMPATIBLE WITH THE GENERAL COLOR PALETTE AND SAMPLES OF THE PROPOSED AWNING COLORS ARE TO PROVIDED WITH EACH SUBMITTAL.

ROOF SURFACE

THE FLAT ROOF SURFACING IS TO BE GRAVEL AND TILE ROOFING IS TO BE "PINTO" BY MONIER.

GLAZING

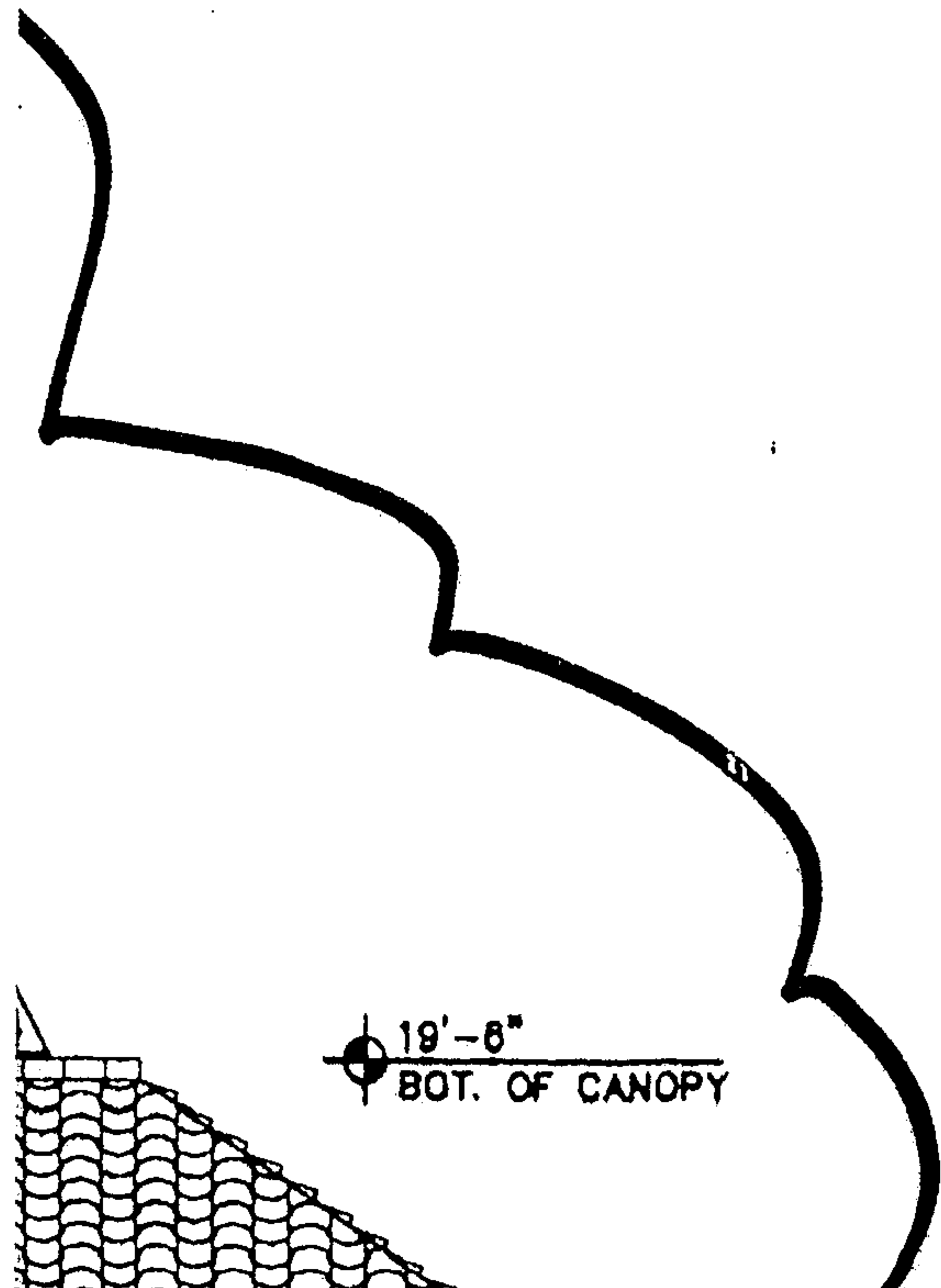
REFLECTIVE GLAZING IS PROHIBITED. BRONZE AND CLEAR TINTED GLASS IS PERMITTED.

SERVICE AREAS

SERVICE AREAS SUCH AS REFUSE LOCATIONS AND COMPACTORS ARE TO BE TOTALLY SCREENED FROM THE ADJACENT RESIDENTIAL AREA, PUBLIC RIGHTS OF WAY AND FREE-STANDING DUMPSITE LOCATIONS ARE TO BE GATED. SCREENING MATERIAL TO MATCH BUILDING WALL COLOR AND MATERIAL.

LIGHTING

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREA. EXPOSED, I.E. UNSHIELD LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS MUST BE SHIELDED SHOE BOX TYPE FIXTURES.


19'-6"
BOT. OF CANOPY

Native Seed Area

22,988 sf

Cobble Pond

2,213 sf

Pod site 3 landscaping

5,780 sf

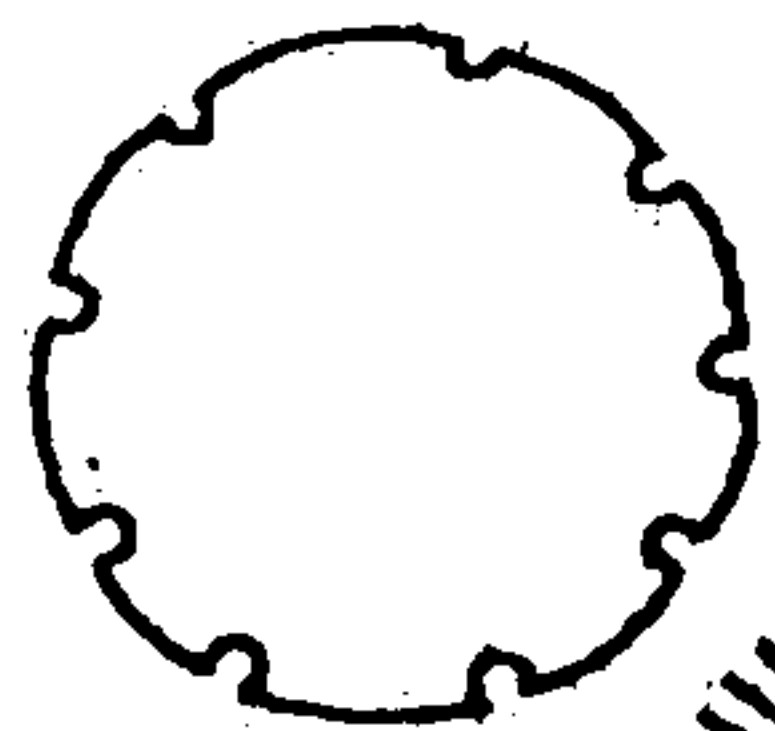
Pod site 1 landscaping

3,020 sf

NATIVE SEED MIX

'Paloma' Indian Rice Grass	5.0 lbs
'Viva' Galleta Grass	1.0
'Niner' Side Oats Grama	3.0
'Hatchita' Blue Grama	1.0
Sand Dropseed	1.0
Fourwing saltbush	0.5
Chamisa	0.5
	<hr/>
	12.0 lbs.
	PL5/AC.

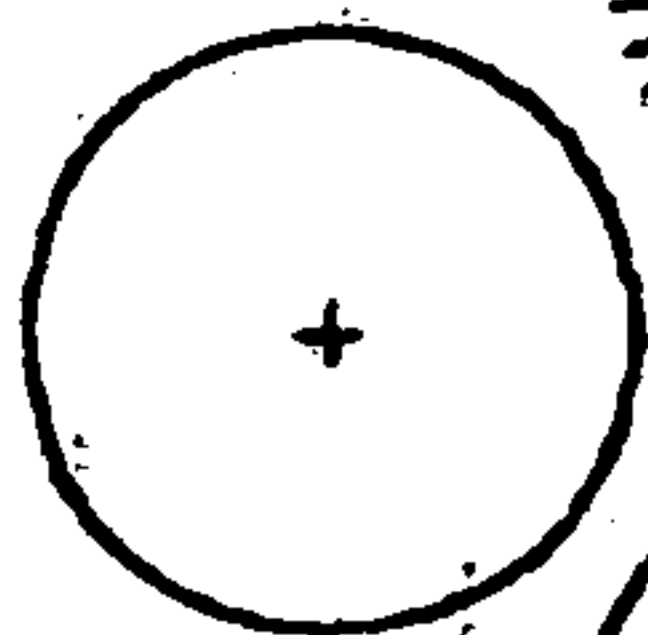
Landscape Legend



(10) 3' cal Cottonwood-High



(4) 15 gal Austrian Pine-High



(38) 2 1/2' cal Ash Tree-High



(6) 15 gal Bradford Pear-High



(19) 5 gal Photinia-Med.



(31) 5 gal Russian Sage-Med.



(26) 5 gal Buffalo Juniper-Med.



(42) 1 gal Chamisa-Low



(13) 5 gal Raphiolepis-Med.

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