

14



Completed 4/8/04  
PDA

# DRB CASE ACTION LOG

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>04DRB-00475 (SBP)</u>	Project # <u>1003168</u>
Project Name <u>PALISADES ADDITION</u>	
Agent: <u>Isaac Benton &amp; Associates</u>	Phone No.: <u>243.3499</u>

Your request for (SDP for SUB), (SDP for BP) (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/7/04 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

- TRANSPORTATION: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- UTILITIES: Used Fire Flow Calculation sheet from Fire Marshall.
- \_\_\_\_\_
- \_\_\_\_\_
- CITY ENGINEER / AMAFCA: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- PARKS / CIP: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- PLANNING (Last to sign): \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1003168



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

April 7, 2004

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

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**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:10 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1002224**  
04DRB-00335 Major-Vacation of Pub  
Right-of-Way  
ISAACSON & ARFMAN, P.A. agent(s) for CITY OF ALBUQUERQUE, OPEN SPACE DIVISION request(s) the above action(s) for all or a portion of Tract(s) 8-A1-2-B-1, M.R.G.C.D. MAP 31, **LOS POBLANOS RANCH**, zoned CITY OF ALBUQUERQUE, OPEN SPACE, located on CITY OPEN SPACE, between ADOBE ROAD NW and MONTANO ROAD NW containing approximately 7 acre(s). [REF: 1002634, 03DRB-01172, 03EPC-00695, 02EPC-01482, 02DRB-01425] [Deferred from 4/7/04] (F-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/28/04.**

2. **Project # 1003167**  
04DRB-00336 Major-Bulk Land Variance  
04DRB-00337 Minor-Prelim&Final Plat  
Approval

JEFF MORTENSEN & ASSOCIATES, INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) 18-22, **TOWN OF ATRISCO GRANT, UNIT 2**, zoned R-D/R-1, located on 86<sup>TH</sup> ST SW, between TOWER RD SW and EUCARIZ AVE SW containing approximately 25 acre(s). [REF:03DRB-02189] (L-9) **THE BULK LAND VARIANCE WAS APPROVED. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SAD 222 READJUSTMENT AND PLANNING FOR AGIS DXF FILE.**
  
3. **Project # 1003273**  
04DRB-00338 Major-Vacation of Public  
Easements

TIERRA WEST LLC agent(s) for ARC INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 5A - 13A, **VISTA**, zoned C-2 community commercial zone, located on CENTRAL AVE SW, between 94<sup>TH</sup> ST SW and 98<sup>TH</sup> ST SW containing approximately 2 acre(s). [REF: Z-85-93, Z-88-3, V-85-44, 04DRB-00279] (K-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
  
4. **Project # 1003293**  
04DRB-00333 Major-Vacation of  
Public Easements

JEFF HENRY agent(s) for JEFFERSON ONE, LLC request(s) the above action(s) for all or a portion of Lot(s) F-7, **ATRISCO BUSINESS PARK, UNIT 3**, zoned SU-1 special use zone, **PLANNED INDUSTRIAL PARK**, located on COORS BLVD NW, between LOS VOLCANOS NW and BLUEWATER NW containing approximately 3 acre(s). (J-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

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5. **Project # 1002051**  
 03DRB-02009 Major-Vacation of Public Easements  
 03DRB-02008 Major-Preliminary Plat  
 03DRB-02011 Minor-Temp Defer SDWK  
 03DRB-02010 Minor-Vacation of Private Easements
- TIERRA WEST LLC agent(s) for GELTMORE LAND LTD CO request(s) the above action(s) for all or a portion of Tract(s) A, **CHAMISA RIDGE UNIT 1**, zoned R-LT, located on PARADISE BLVD NW, between BIG SAGE DR NW and CONEFLOWER DR NW containing approximately 18 acre(s). [REF: 02DRB-00963] *[Deferred from 1/14/04 & 1/28/04 & 2/4/04 & 2/25/04 & 3/17/04 & 4/7/04]* (B-10) **DEFERRED AT THE AGENT'S REQUEST TO 4/28/04.**
6. **Project # 1003232**  
 04DRB-00254 Major-Vacation of Pub Right-of-Way  
 04DRB-00255 Major-Vacation of Public Easements  
 04DRB-00253 Minor-Prelim&Final Plat Approval
- COMMUNITY SCIENCES CORP. agent(s) for ENTRADA DEVELOPMENT LTD. CO. request(s) the above action(s) for all or a portion of Lot(s) 8-P2, **CAMPBELL FARM SUBDIVISION AND Tract(s) A, LANDS OF ANDREWS**, zoned RA-2 residential and agricultural zone, located on CAMPBELL LANE NW, between CAMPBELL RD NW and MATTHEW RD NW containing approximately 2 acre(s). [REF: DRB-98-195, 04DRB-00139] *[Deferred from 3/24/04 & 4/7/04]* (G-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/28/04.**
7. **Project # 1003231**  
 04DRB-00261 Major-Preliminary Plat Approval  
 04DRB-00263 Minor-Temp Defer SDWK
- WILSON & COMPANY INC agent(s) for LONGFORD @ ARROWWOOD LLC request(s) the above action(s) for all or a portion of Tract(s) 29A & 30A1, **LANDS OF SALAZAR/QUATRO/SJ HANNETT, (to be known as LONGFORD @ ARROWWOOD SUBDIVISION)** zoned R-LT residential zone, located on 98<sup>TH</sup> ST SW, between RIO BRAVO SW and BLAKE SW containing approximately 59 acre(s). [REF: 02DRB-01621, 01622, 04DRB-00137] *[Deferred from 3/24/04 & 4/7/04]* (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/28/04.**



8. **Project # 1002856**  
04DRB-00230 Major-Preliminary Plat  
Approval  
04DRB-00231 Minor-Sidewalk Variance

MARK GOODWIN & ASSOCIATES, PA agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Lot(s) 1-5, **THE MEADOWS @ ANDERSON HILLS**, zoned RLT, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and 98<sup>TH</sup> SW containing approximately 49 acre(s). [REF:Z-99-58, 03DRB-00234, 03DRB-01891, 01892, 01893, 01894, 03DRB-01974] *[Deferred from 3/17/04 & 3/31/04]* (P-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/7/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/8/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT APPROVAL FROM UTILITIES DEVELOPMENT, THE OFFSITE 2W WATERLINE MUST BE OPERATIONAL AND PLANNING MUST RECEIVE PHOTOS OF ALREADY BUILT WALLS WITH PROJECT NUMBER, LOCATION AND NAME OF SUBDIVISION LISTED. THE SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

9. **Project # 1002857**  
04DRB-00232 Major-Preliminary Plat  
Approval  
04DRB-00233 Minor-Sidewalk Variance

MARK GOODWIN & ASSOCIATES, PA agent(s) for ANDERSON HILLS, LLC request(s) the above action(s) for all or a portion of Tract(s) A & B, **HIGHLANDS @ ANDERSON HILLS, UNITS 2 & 3**, zoned RLT, located on 98<sup>TH</sup> ST SW, between DENNIS CHAVEZ BLVD SW and 98<sup>TH</sup> SW containing approximately 62 acre(s).[REF:Z-99-58, 03DRB-01200, 01201, 01202, 01203, 01204,01205] *[Deferred from 3/17/04 & 3/31/04]* (P-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/7/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/22/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT APPROVAL FROM UTILITIES DEVELOPMENT, THE OFFSITE 2W WATERLINE MUST BE OPERATIONAL AND PLANNING MUST RECEIVE PHOTOS OF ALREADY BUILT WALLS WITH PROJECT NUMBER, LOCATION AND NAME OF SUBDIVISION LISTED. THE SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

10. **Project # 1002858**  
04DRB-00234 Major-Preliminary Plat  
Approval  
04DRB-00235 Minor-Sidewalk Variance

MARK GOODWIN & ASSOCIATES, PA agent(s) for ANDERSON HILLS, LLC request(s) the above action(s) for all or a portion of Tract(s) G, H AND I, **MESA @ ANDERSON HILLS**, zoned SU-1/C-1 & R-2, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and GRACE VIGIL RD SW containing approximately 36 acre(s). [REF: Z-99-58, 03DRB-01206, 01207, 01208, 01209] *[Deferred from 3/17/04 & 3/31/04]* (P-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/7/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/22/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT APPROVAL FROM UTILITIES DEVELOPMENT, THE OFFSITE 1W WATERLINE IN UNSER MUST BE OPERATIONAL AND PLANNING MUST RECEIVE PHOTOS OF ALREADY BUILT WALLS WITH PROJECT NUMBER, LOCATION AND NAME OF SUBDIVISION LISTED. THE SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

11. **Project # 1000766**  
04DRB-00306 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, PA agent(s) for PULTE HOMES OF NEW MEXICO INC request(s) the above action(s) for all or a portion of Tract(s) 3A, **TOWN OF ATRISCO GRANT, UNIT 2**, zoned RD (9DU/AC), located on TOWER SW, between UNSER SW and 75<sup>TH</sup> ST SW containing approximately 20 acre(s). [REF:DRB-97-202] *[Deferred from 3/31/04]* (L-10) **A TWO-YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED.**

12. **Project # 1003279**  
04DRB-00294 Major-Vacation of Public  
Easements

MARK GOODWIN & ASSOCIATES PA agent(s) for D. R. HORTON CUSTOM HOMES request(s) the above action(s) for all or a portion of Lot(s) 13-P1, Block(s) 7, **VISTA SANDIA, UNIT 2**, zoned RD, located on EUCARIZ AVE SW, between 82<sup>ND</sup> ST SW and UNSER BLVD SW containing approximately 1 acre(s). *[Deferred from 3/31/04]* (L-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

13. **Project # 1002423**  
04DRB-00302 Major-Vacation of Public Easements

BOHANNAN HUSTON, INC agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) E-1, ALBUQUERQUE SOUTH, UNIT 3, (to be known as **EL RANCHO GRANDE, UNIT 10**, zoned R-2, located on VALLEY VIEW SW, between CARTAGENA AVE SW and DE ANZA DR SW containing approximately 20 acre(s). [REF: 03DRB-00749] [*Deferred from 3/31/04*] (N-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

14. **Project # 1003168** — — — —  
04DRB-00475 Minor-SiteDev Plan  
BldPermit/EPC

ISAAC BENTON & ASSOCIATES AIA agent(s) for AL SOTO request(s) the above action(s) for all or a portion of Block(s) 4, Tract(s) 29, **PALISADES ADDITION**, zoned R-1, located on LOMA ALTA CT NW, between PALISADES DR NW and ATRISCO DR NW containing approximately 2 acre(s). [REF: 03EPC-02191] [*Elvira Lopez, EPC Case Planner*] (J-11) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FIRE FLOW CALCULATION SHEET FROM THE FIRE MARSHAL.**

15. **Project # 1003358**  
04DRB-00478 Minor-SiteDev Plan  
BldPermit

KEN HOVEY agent(s) for COMMERCIAL ENTERPRISES INC request(s) the above action(s) for all or a portion of Tract(s) 49, **CLIFFORD INDUSTRIAL PARK**, zoned SU-2 / M-1, located on WASHINGTON PL NE and ANAHEIM NE and containing approximately 3 acre(s). (C-17) **INDEFINITELY DEFERRED ON A NO SHOW.**

16. **Project # 1003296**  
04DRB-00341 Minor-SiteDev Plan  
BldPermit

DAVID PACHECO, agent(s) for VERNON DORRIS, request(s) the above action(s) for all or a portion of Tract(s) 11, **ALAMEDA BUSINESS PARK**, zoned SU-2, IP-EP, located on ALAMEDA BLVD NE between EDITH NE and JEFFERSON NE containing approximately 1 acre(s). [REF: DRB-98-223, V-99-9, 10001321, 1003114] [Deferred from 3/24/04] (C-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

17. **Project # 1003299**  
04DRB-00346 Minor-SiteDev Plan  
BldPermit

STERLING CAPITAL DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 16A, Block(s) 18, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 special neighborhood zone, M-1, located on SAN PEDRO DR NE, between PASEO DEL NORTE NE and HOLLY AVE. NE containing approximately 2 acre(s). [REF: DRB-96-67] [Deferred from 3/24/04] (C-18) **THE INFRASTRUCTURE LIST DATED 4/7/04 WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR LANDFILL LANGUAGE ON SITE PLAN, MARCIA PINCUS SIGNATURE ON SITE PLAN, VERIFICATION THAT PLANNING COMMENTS HAVE BEEN ADDRESSED AND A VARIANCE PER NORTH I-25 LANDSCAPE SETBACK REQUIREMENT.**

18. **Project # 1002201**  
04DRB-00395 Minor-SiteDev Plan  
BldPermit/EPC

TIERRA WEST LLC agent(s) for LARRY H. MILLER GROUP request(s) the above action(s) for all or a portion of Tract(s) A & B, **AMERICAN TOYOTA**, zoned SU-2, SU-1 AUTO SALES SERV REP, located on ALAMEDA BLVD NE, between PAN AMERICAN FREEWAY NE and SAN PEDRO DR NE containing approximately 5 acre(s). [REF: Z-86-8, 03DRB-01382, 03EPC-02047, Project #1002848] [**Debbie Stover, EPC Case Planner**] [Deferred from 3/31/04] (C-18) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**



**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

19. **Project # 1000542**  
04DRB-00468 Minor-Ext of SIA for Temp  
Defer SDWK
- BOHANNAN HUSTON, INC. agent(s) for HIGH DESERT INVESTMENT CORP. request(s) the above action(s) for all or a portion of Lot(s) 42, 43, 46, 47, 48, 50, 51, 55, 56, 57, 58, 60, 61, 62, 63 and 64, **CANYONS @ HIGH DESERT**, zoned SU-2 special neighborhood zone, located on CANYON BLUFF TR NE, between JUNIPER CANYON TR NE and CANYON EDGE TR NE [REF: 02DRB-01289] (F-23) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**
20. **Project # 1003328**  
04DRB-00422 Minor-Ext of SIA for Temp  
Defer SDWK
- CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) 2A-1C-1A, **SOLTERRA AT HIGH DESERT, UNIT 1**, zoned SU-2/HD-RT, located on CORTADERIA ST NE, between IMPERATA ST NE and SPAIN RD NE containing approximately 9 acre(s). [REF: DRB-95-457] (E-23) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

21. **Project # 1001557**  
04DRB-00443 Minor-Final Plat  
Approval  
04DRB-00541 Minor-Final Plat

MARK GOODWIN & ASSOCIATES, PA agent(s) for ASI ES, INC request(s) the above action(s) for all of a portion of Tract(s) A-1, **PUNO DE TIERRA ESTATES, UNIT 3 AND UNIT 4**, zoned R-LT, located on COORS BLVD SW, between ARENAL RD SW and EDUARDO RD SW containing approximately 13 acre(s). [REF: DRB-97-498] (M-10) **FINAL PLAT FOR UNIT 3 WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND TO ELIMINATE PUBLIC TRAIL RIGHT-OF-WAY IN UNIT 3 AND PLANNING FOR PHOTOS OF BUILT WALLS TO BE ID'D, AND A NEW AGIS DXF FILE FOR UNIT 3.**

**THE FINAL PLAT FOR UNIT 4 WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PHOTOS OF BUILT WALLS TO BE ID'D.**

**A CONDITION OF FINAL PLAT FOR UNITS 3 & 4 IS THAT THE PLATS BE RECORDED AT THE SAME TIME.**

22. **Project # 1002339**  
04DRB-00449 Minor-Vacation of  
Private Easements  
04DRB-00450 Minor-Prelim&Final Plat  
Approval

HOLLY ARROYO & RICHARD TARANGO request(s) the above action(s) for all or a portion of Tract(s) 10-A-2, **ALVARADO GARDENS UNIT 2**, zoned RA-2, M7, located on CAMPBELL RD NW, between RIO GRANDE BLVD NW and TRELIS DR NW containing approximately 1 acre(s). [REF:02DRB-01711, 02DRB-01958, 03DRB-00571, 03DRB-00769, 03DRB-01035] (G-12) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR THE BENEFICIARY OF EASEMENT SIGNATURE ON THE PLAT.**

23. **Project # 1002981**  
03DRB-02132 Minor-Prelim&Final Plat  
Approval

SURV-TEK, INC. agent(s) for 1224 BELLAMAH, LLC request(s) the above action(s) for all or a portion of Lot(s) B-1-A-3-A, **DUKE CITY LUMBER COMPANY ADDITION**, zoned S/M-1, located on BELLAMAH AVE. NW, between 12TH ST. and SAWMILL ROAD NW containing approximately 12 acre(s). [REF: 03ZHE 01596, DRB-95-360] [*Was indefinitely deferred on 1/21/04*] (J-13). **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/7/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12/16/03 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

24. **Project # 1002531**  
03DRB-01460 Minor- Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for WAYNE A. MCFADDEN request(s) the above action(s) for all or a portion of Lot(s) 33 & 34, ALVARADO GARDENS, (to be known as **CIELO SU TIERRA SUBDIVISION**) zoned RA-2 residential and agricultural zone, located on GRANDE BLVD NW, between WILMA RD NW and VILLA DORO WAY NW containing approximately 3 acre(s). [REF: 03DRB-00604 SK, ZA-97-249] [*Final plat was indefinitely deferred for the SIA*] (G-13) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND TRANSPORTATION DEVELOPMENT, THE WALL NEEDS TO BE MOVED TO NOT IMPEDED ACCESS.**

25. **Project # 1003229**  
04DRB-00397 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for TOBY & DOROTHY DEVARGAS request(s) the above action(s) for all or a portion of Lot(s) 25, Block(s) NA, Tract(s) NA, **LINDA VISTA ADDITION**, zoned R-1 residential zone, located on HENDRIX AVE NW, between 4<sup>th</sup> ST NW and SANCHEZ AVE NW containing approximately 1 acre(s). [Project # changed from Project #1003322 now void] [*Deferred from 3/31/04*] (F-14) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

26. **Project # 1002743**  
04DRB-00399 Minor-Final Plat Approval

BORDENAVE DESIGNS agent(s) for HARVEST HOMES, LLC request(s) the above action(s) for all or a portion of Tract(s) H, **LA LUZ DEL OESTE, UNIT 4**, zoned SU-1 special use zone, PRD, located on COORS BLVD NW, between WESTERN TRAILS NW and DELLYNE AVE NW containing approximately 2 acre(s). [REF: 03DRB-00989, 03DRB-01544, Z-77-28] [Deferred from 3/31/04] (F-11) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

27. **Project # 1003355**  
04DRB-00466 Minor-Sketch Plat or Plan

WAYJOHN SURVEYING, INC. agent(s) for JOSEPH GREVEY request(s) the above action(s) for all or a portion of Lot(s) 162, 163, 164 & 165, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned C-1 (SC) & C-2, located on COORS BLVD NW, between GLENRIO RD NW and FORTUNA RD NW containing approximately 14 acre(s). (J-10/J-11) **INDEFINITELY DEFERRED ON A NO SHOW. LATER CAME IN AND REQUEST DEFERRAL TO 4/14/04.**

28. Approval of the Development Review Board Minutes for March 24, 2004. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR MARCH 24, 2004 WERE APPROVED.**

ADJOURNED: 11:10 A.M.



#14



ALBUQUERQUE

# City of Albuquerque

## Development Review Division

Martin Chavez, Mayor

### Interoffice Memorandum

April 5, 2004

**To:** Sharan Matson, Development Review Board Chair

**From:** Elvira Lopez, Staff Planner *E.L.*

**Subject:** Project# 1003168, 04DRB 00475

On February 19, 2004 the Environmental Planning Commission granted approval of a zone map amendment for Lot 29, Palisades Addition, Block 4, from R-1 to SU-1 for Bed and Breakfast. In addition, the EPC granted approval of a Site Plan for Building Permit with this request. I have reviewed the latest DRB submittal for Site Plan for Building Permit and find that the applicant has met all of the conditions imposed by the EPC.

Please note that for Condition #3, the applicant is not providing additional plants for landscape "H". This is because the previously planned overflow parking area has been deleted from the site plan thereby making the provision of additional landscaping for planting bed "H" unnecessary.

If you have any questions regarding this case, please call me at 924-3910.



**City of Albuquerque**  
**CITY OF ALBUQUERQUE**  
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103  
**PUBLIC WORKS DEPARTMENT**  
**DEVELOPMENT SERVICE**  
**HYDROLOGY DEVELOPMENT SECTION**

ALBUQUERQUE

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1003168**

**AGENDA ITEM NO: 14**

**SUBJECT:**

- |                         |                              |                              |
|-------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd      | (10) Sector Dev Plan         |
| (02) Bulk Land Variance | <b>(06)</b> Site Plan for BP | (11) Grading Plan            |
| (03) Sidewalk Variance  | (07) Vacation                | (12) SIA Extension           |
| (03a) Sidewalk Deferral | (08) Final Plat              | (13) Master Development Plan |
| (04) Preliminary Plat   | (09) Infrastructure List     | (14) Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

No adverse comments.

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** (FP) TO: **(UD)** (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
 City Engineer/AMAFCA Designee

**DATE:** April 7, 2004



<p><b>SUBDIVISION</b></p> <p><input type="checkbox"/> Major Subdivision action</p> <p><input type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p><b>SITE DEVELOPMENT PLAN</b></p> <p><input type="checkbox"/> ...for Subdivision Purposes</p> <p><input checked="" type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC)</p>	<p>Supplemental form</p> <p><b>S</b></p> <p><b>V</b></p> <p><b>P</b></p> <p><b>L</b></p>	<p>Supplemental form</p> <p><b>ZONING</b></p> <p><input type="checkbox"/> Annexation &amp; Zone Establishment</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Zone Change</p> <p><input type="checkbox"/> Text Amendment</p> <p><b>APPEAL / PROTEST of...</b></p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal</p>	<p><b>Z</b></p> <p><b>A</b></p>
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PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: <u>Al Soto</u>	PHONE: <u>440-7671</u>
ADDRESS: <u>732 Loma Alta Ct. NW</u>	FAX: _____
CITY: <u>Albuquerque</u> STATE <u>NM</u> ZIP <u>87105</u>	E-MAIL: _____
Proprietary interest in site: <u>Owner</u>	
AGENT (if any): <u>Isaac Benton &amp; Associates AIA</u>	PHONE: <u>243-3499</u>
ADDRESS: <u>624 Tijeras Ave. NW</u>	FAX: <u>243-3583</u>
CITY: <u>Albuquerque</u> STATE <u>NM</u> ZIP <u>87102</u>	E-MAIL: <u>iba@swcp.com</u>

**DESCRIPTION OF REQUEST:** DRB final sign off for EPC Approved S.D.P. for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 29 Block: 4 Unit: \_\_\_\_\_

Subdiv. / Addn. Palisades Addition

Current Zoning: R-1 Proposed zoning: SU-1

Zone Atlas page(s): J-11-Z No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 1.993 Density if applicable: dwellings per gross acre: 5 dwellings per net acre: 5

Within city limits?  Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? no

UPC No. 101105837525641324 MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: Loma Alta Ct. Palisades Dr. and Atrisco Dr.

**CASE HISTORY:** Elvira Lopez EPC Case Planner

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): 03EPC-02191, 1003168

Check-off if project was previously reviewed by Sketch Plan/Plan , or Pre-application Review Team . Date of review: Dec. 9, 03

SIGNATURE \_\_\_\_\_ DATE 3/30/04

(Print) Isaac Benton, AIA  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>04DRB - 00475</u>	<u>SBP</u>	<u>CMF</u>	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>April 7, 2004</u>			Total <u>\$ 20.00</u>

Isaac Duran 3-30-04  
Planner signature / date

**Project #** 1003168



**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

FORM P(3)

**SKETCH PLAN REVIEW AND COMMENT**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

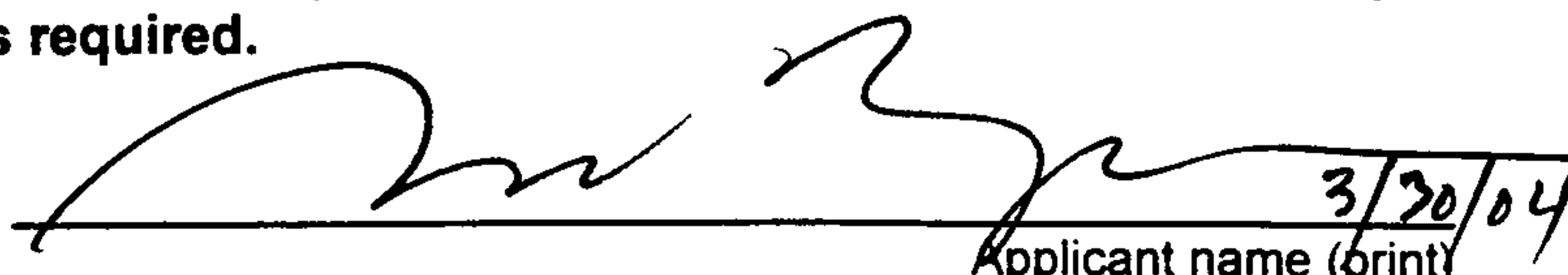
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

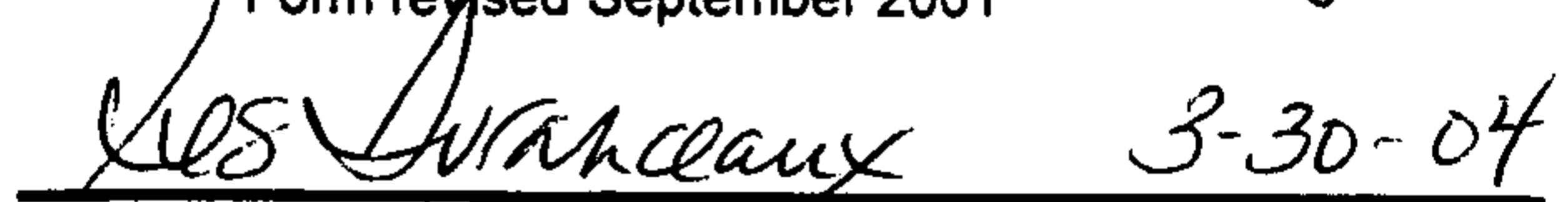
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

  
 Applicant name (print) ISAAC BENTU  
 Applicant signature / date 3/20/04



Form revised September 2001

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
CDRB - 00475

  
 Planner signature / date 3-30-04  
**Project #** 1003168



March 25, 2004

Ms. Elvira Lopez, Staff Planner  
City of Albuquerque Planning Department  
Development & Building Services Division  
Plaza Del Sol Building  
600 2nd Street NW  
Albuquerque, NM 87103

Re: Project # 1003168  
DRB sign off of EPC-approved  
Site Development Plan for Building Permit, 03EPC-02191  
Soto Bed & Breakfast  
Lot 29, Block 4, Palisades Addition (732 Loma Alta Ct. NW)

Dear Ms. Lopez and DRB members:

Enclosed please find our revised Site Development Plan drawings incorporating the modifications required as Conditions of the Environmental Planning Commission (EPC) decision of February 19, 2004. This is for approval of a Site Development Plan for Building Permit. The following modifications have been made, in order of the EPC conditions:

1. No unauthorized changes to the site plan have been made. A DRB signature block has been added to the first sheet.
2. Driveway aisle widths have been identified, the width of the disabled parking space has been changed to 8.5 feet, and parking calculations have been added. Parking exceeds code minimums.
3. On the Landscape Plan, landscape bed 'G' has been modified, adding trees and vines along the fence line to provide additional screening for the neighboring residence. The previously planned overflow parking area has been deleted (it exceeded zoning requirements), therefore no additional screening is required in landscape bed 'H'.
4. Notes and a conceptual utility plan have been added designating the provision of one new public fire hydrant west of the property, and hard-wired smoke detection in the existing buildings converted for bed and breakfast use. These enhancements have been added after detailed consultation with the Fire Marshall.

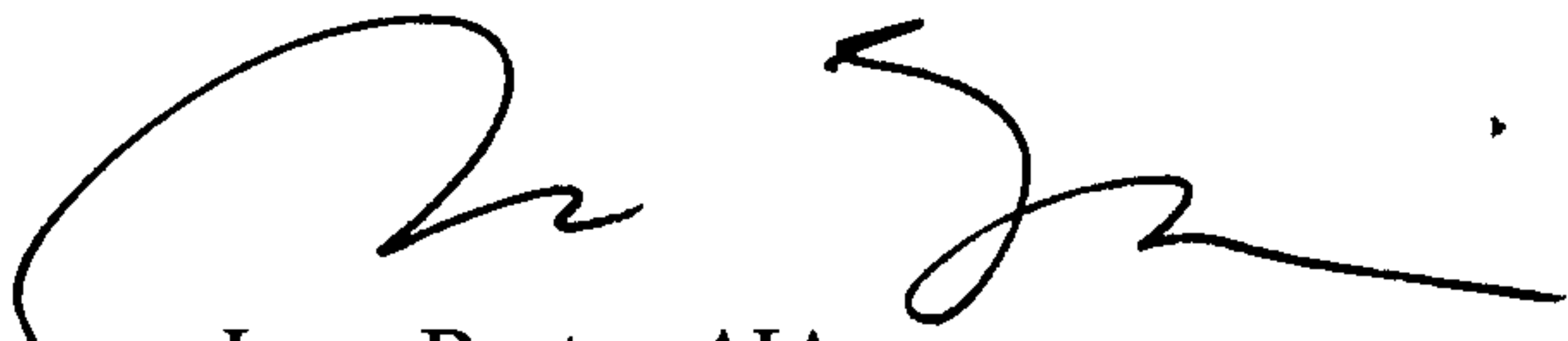
5. Color of structures and yard walls was changed to "tan". The 12" x12" sign is noted and shown to be mounted on the existing front fence. A refuse container location was added, west of the garage casita.

6. The right-of-way serving the site, Loma Alta Ct. NW, is a modern street with existing asphalt pavement, curb and gutter, and sidewalks constructed per DPM standards. No additional improvements are proposed.

7. A note has been added to the first sheet (note #13) repeating verbatim the EPC's limitations of site plan approval to the existing development and future garage conversion.

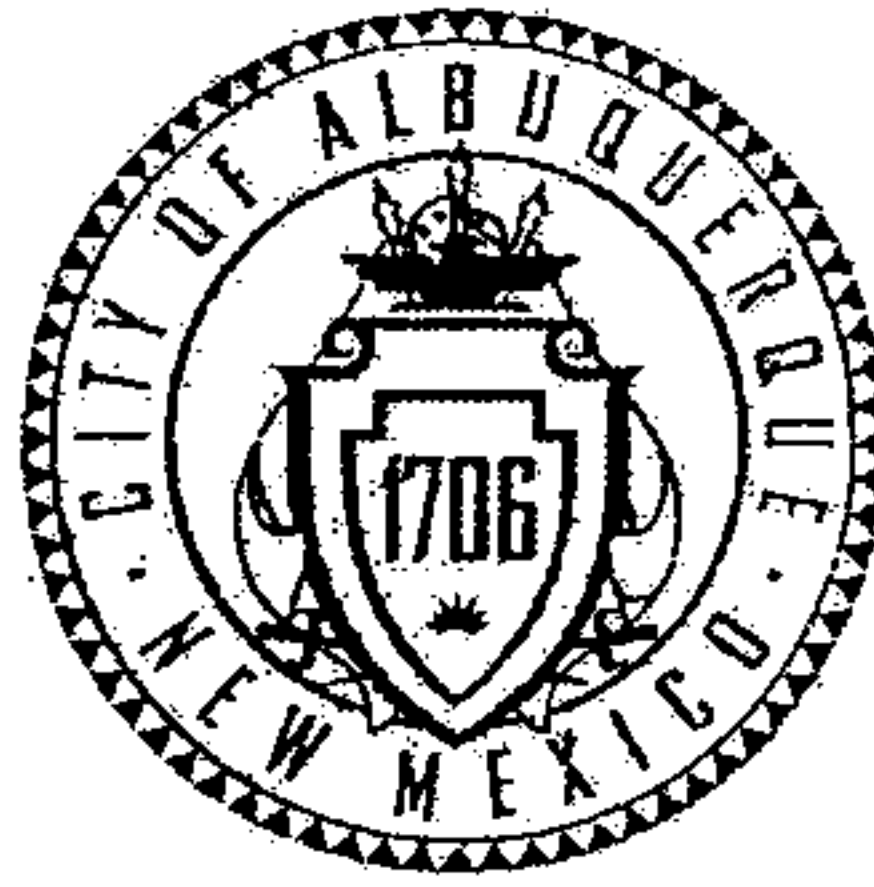
Please do not hesitate to contact me should you have any questions regarding this application.

Sincerely,

A handwritten signature in black ink, appearing to read 'Isaac Benton', with a stylized flourish at the end.

Isaac Benton AIA  
Agent for the Owner

cc: Al Soto



City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: February 20, 2004

**OFFICIAL NOTIFICATION OF DECISION**

FILE: **Project # 1003168\***  
03EPC-02190 Zone Map Amendment  
03EPC-02191 EPC Site Development Plan-Building  
Permit

Al Soto  
732 Loma Alta Ct. NW  
Albuq. NM 87105

LEGAL DESCRIPTION: for all or a portion of Lot 29, **Palisades Addition**, a zone map amendment from R-1 to SU-1 for Bed & Breakfast, located on LOMA ALTA CT. NW, between PALISADES DRIVE NW and ATRISCO DRIVE NW, containing approximately 2 acres. (J-11) Elvira Lopez, Staff Planner

On February 19, 2004 the Environmental Planning Commission voted to approve Project 1003168/ 03EPC 02190, a request for Zone Map Amendment, for Lot 29 Palisades Addition, Block 4, from R-1 to SU-1 for Bed and Breakfast, based on the following Findings:

**FINDINGS :**

1. This is a request for a zone map amendment for an approximately two-acre site located on Loma Alta Court NW between Palisades Drive NW and Atrisco Drive NW. The current zoning is R-1 Residential and the applicant requests SU-1 for Bed and Breakfast. This request is accompanied by a site development plan for building permit.

2. The subject site is located in the Established Urban Area of the *Comprehensive Plan* and this request furthers the applicable plans and policies. First, elements of the site plan submittal respect existing neighborhood values, natural environmental conditions, scenic resources, and resources of social, cultural, and recreational concern (Established Urban Area Policies 5d, 5g, and 5m and Developed Landscape Policies 8a and 8e). Second, this request for a zone map amendment will help to preserve an important historic and cultural resource by creating an incentive to renovate and maintain the site (Historic Resources, Policy 5a). The applicant has demonstrated a commitment to preserving the cultural and historic character of the site for all proposed additions and renovations. Third, this request encourages economic development because a bed and breakfast can attract tourism that could benefit the community at large (Economic Development Policies 6b and 6d). In summary, the site's topographical location, unusually large size, access to extraordinary views, and significant historic and cultural value indicate that the requested zoning is more advantageous to the community as articulated in the *Comprehensive Plan*.
  3. The subject property is located in the West Central Community of the West Side Strategic Plan (WSSP) and sits on a bluff overlooking the City, mountains and Bosque. The design and configuration of the site plan indicates that existing and proposed structures furthers Policy 3.32 of the plan that seeks to protect views to the east from the bluffs above the river in the residential area north of West Central Avenue.
  4. This request furthers R-106, the City's policy for bed and breakfast establishments in residential areas. Of potential concern was a provision of R-106 that does not allow the use of a bed and breakfast on a site if 80% of the property abuts a residential neighborhood. However, this request meets the intent of R-106 because, sitting on a plateau, the site is about 30 feet higher than the homes to the north, east and south, as noted in the justification letter. Only two residences located to the west abut the subject property and sit at the same elevation. With some modifications and additional information, the applicant conforms to all the provisions of R-106.
  5. This request for a zone map amendment furthers the provisions of Resolution 270-1980. As indicated in the previous findings, the request is not in significant conflict with adopted elements of the *Comprehensive Plan*, West Side Strategic Plan and R-106 (R- 270-1980, Section 1.C). In the justification letter, the applicant demonstrates that the current zoning is inappropriate because a different use category is more advantageous to the community, as articulated applicable plans and policies (Resolution 270-1980, Section 2.D (3)). While the economic benefits are a consideration in this request, these are not the main reason for the request (Resolution 270-1980, Section 1.G). The site's unique topographical location, unusually large size, extraordinary views and historic and cultural structures demonstrate that the requested zoning is more appropriate.
  6. There is no known neighborhood opposition with this request.
-



On February 19, 2004 the Environmental Planning Commission voted to approve Project 1003168/ 03EPC 02191, a request for Site Development Plan for Building Permit, for Lot 29 Palisades Addition, Block 4, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for approval of a site development plan for building permit for an approximately two-acre site located on Loma Alta Court NW between Palisades Drive NW and Atrisco Drive NW. The current zoning is R-1 Residential and the applicant requests SU-1 for Bed and Breakfast.
2. The subject site is located in the Established Urban Area of the *Comprehensive Plan* and this request furthers the applicable plans and policies. First, elements of the site plan submittal respect existing neighborhood values, natural environmental conditions, scenic resources, and resources of social, cultural, and recreational concern (Established Urban Area Policies 5d, 5g, and 5m and Developed Landscape Policies 8a and 8e). Second, this request for a zone map amendment will help to preserve an important historic and cultural resource by creating an incentive to renovate and maintain the site (Historic Resources, Policy 5a). The applicant has demonstrated a commitment to preserving the cultural and historic character of the site for all proposed additions and renovations. Third, this request encourages economic development because a bed and breakfast can attract tourism that could benefit the community at large (Economic Development Policies 6b and 6d). In effect, the site's topographical location, unusually large size, access to extraordinary views, and significant historic and cultural value indicate that the submittal furthers the applicable policies of *Comprehensive Plan*.
3. The subject property is located in the West Central Community of the West Side Strategic Plan (WSSP) and sits on a bluff overlooking the City, mountains and Bosque. The design and configuration of the site plan indicates that existing and proposed structures furthers Policy 3.32 of the plan that seeks to protect views to the east from the bluffs located above the river and in the residential area north of West Central Avenue.
4. This request furthers R-106, the City's policy for bed and breakfast establishments in residential areas. Of potential concern was a provision of R-106 that does not allow the use of a bed and breakfast on a site if 80% of the property abuts a residential neighborhood. However, this request meets the intent of R-106 because, sitting on a plateau, the site is about 30 feet higher than the homes to the north, east and south, as noted in the justification letter. Only two residences, located to the west, abut the subject property and sit at the same elevation. In addition to satisfying all other provisions of R-106, the applicant has indicated that there will be no private parties on site for a fee, no use of a motor vehicle or camper for guests, and no employed staff for the establishment other than the permanent residents.

5. Modifications and additional information regarding proposed landscaping, architecture and signage, utilities, and parking and circulation are needed to bring the request into full compliance with the City policies and development standards.
6. There is no known neighborhood opposition with this request.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Regarding parking and circulation, the applicant shall identify the width of drive aisles created by the landscaping beds in the gravel drive area. Also, the width of the disabled parking space should be 8.5 ft. instead of the 8 ft. shown on the plan since an additional delineated access aisle of at least 3.5 feet is provided on one side of that parking space (Zoning Code, Section 14-16-3-1). Finally, parking calculations shall be included on the site plan.
3. Regarding landscaping, the applicant shall modify the planting bed identified as L.S.G. on the plan, located south and immediately adjacent to the cul-de-sac, by planting more trees so that they follow the lot line, heading south, up to the point where it begins to slope down. In addition, the applicant shall place a vine on the chain link fence separating the subject site from the adjacent lot. Both of these modifications would create a more effective screen. Also, a landscape buffer located north of the overflow parking area and identified as L.S. H. shall include additional trees in order to more effectively screen vehicles.
4. Concerning utilities, the applicant shall obtain guidance by the Fire Marshall for acceptable fire protection, which may include fire hydrants, residential sprinklers, or any other strategy acceptable to the Fire Marshall. An acceptable fire protection strategy shall be noted on the site plan prior to sign-off by the DRB.



5. Regarding architecture and signage, the height of a future two-story addition shall not exceed the height of the main building (24 ft.) as stated by the applicant and the West Side Strategic Plan. This will ensure that views to the east are protected. Also, as noted on the site plan, "All future renovations and additions will be consistent in style, color materials and detailing with the existing structures". Colors for all structures, including buildings and walls should be clearly indicated on the site plan using standard names, such as tan. Signage on the premises shall be limited to on-premise, wall-mounted, non-illuminated, maximum size of 1 square foot, and be no higher than 6 feet. Details and location for signage shall be included on the site plan. Finally, the applicant shall identify the location of a refuse container on the site.
6. The applicant shall abide by the following conditions from the Public Works Department and City Engineer:
  - A) The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - B) Site plan shall comply and be designed per DPM Standards.
7. Approval of this site plan is only for existing development and conversion of the garage into a casita with a portal. Future additions to the building shall be reviewed as an amendment to the site development plan by the EPC. Remodeling and minor cosmetic modifications does not require EPC approval.

**IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MARCH 5, 2004 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.**

**Appeal to the City Council:** Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION  
FEBRUARY 19, 2004  
PROJECT #1003168  
PAGE 6 OF 6

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

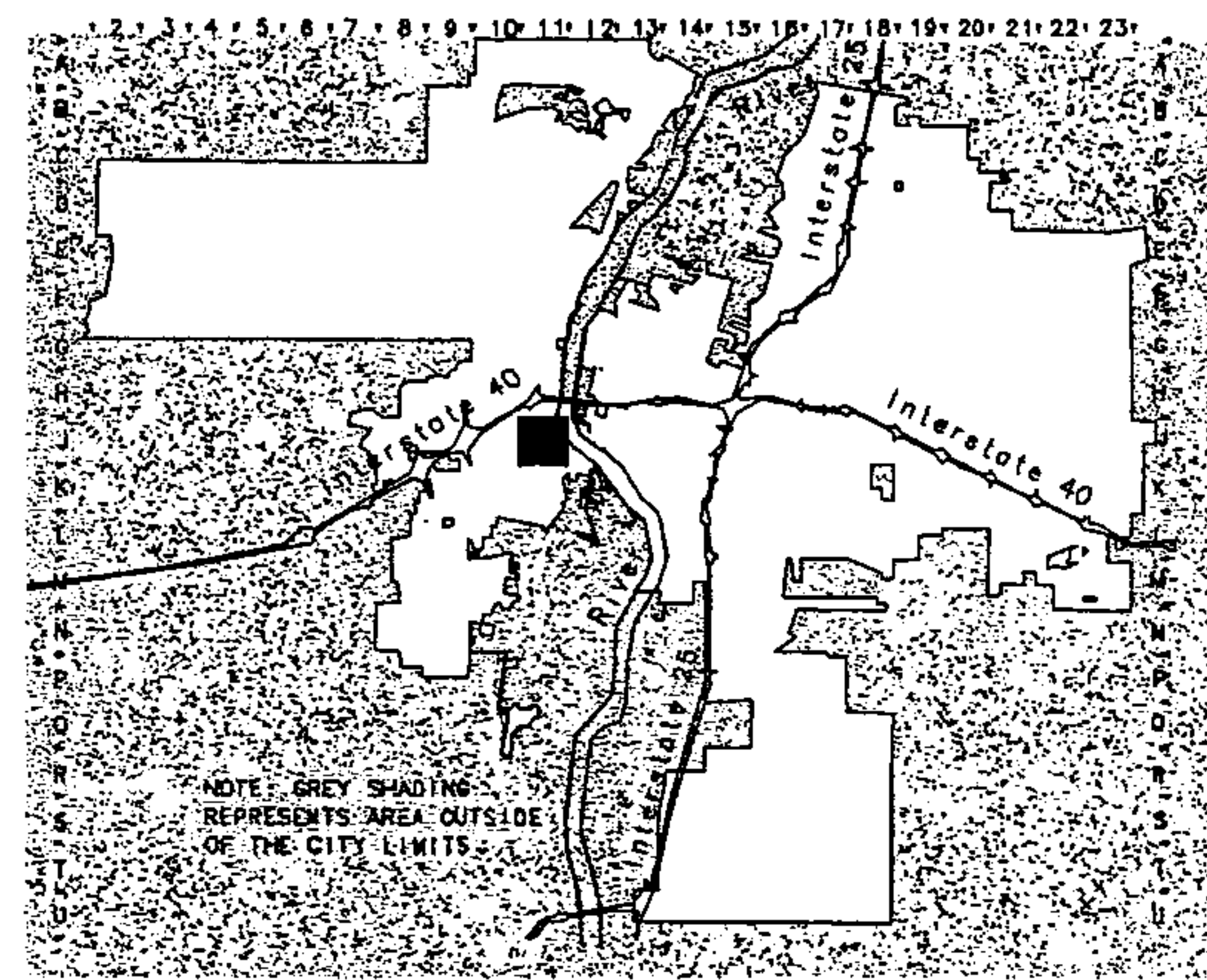
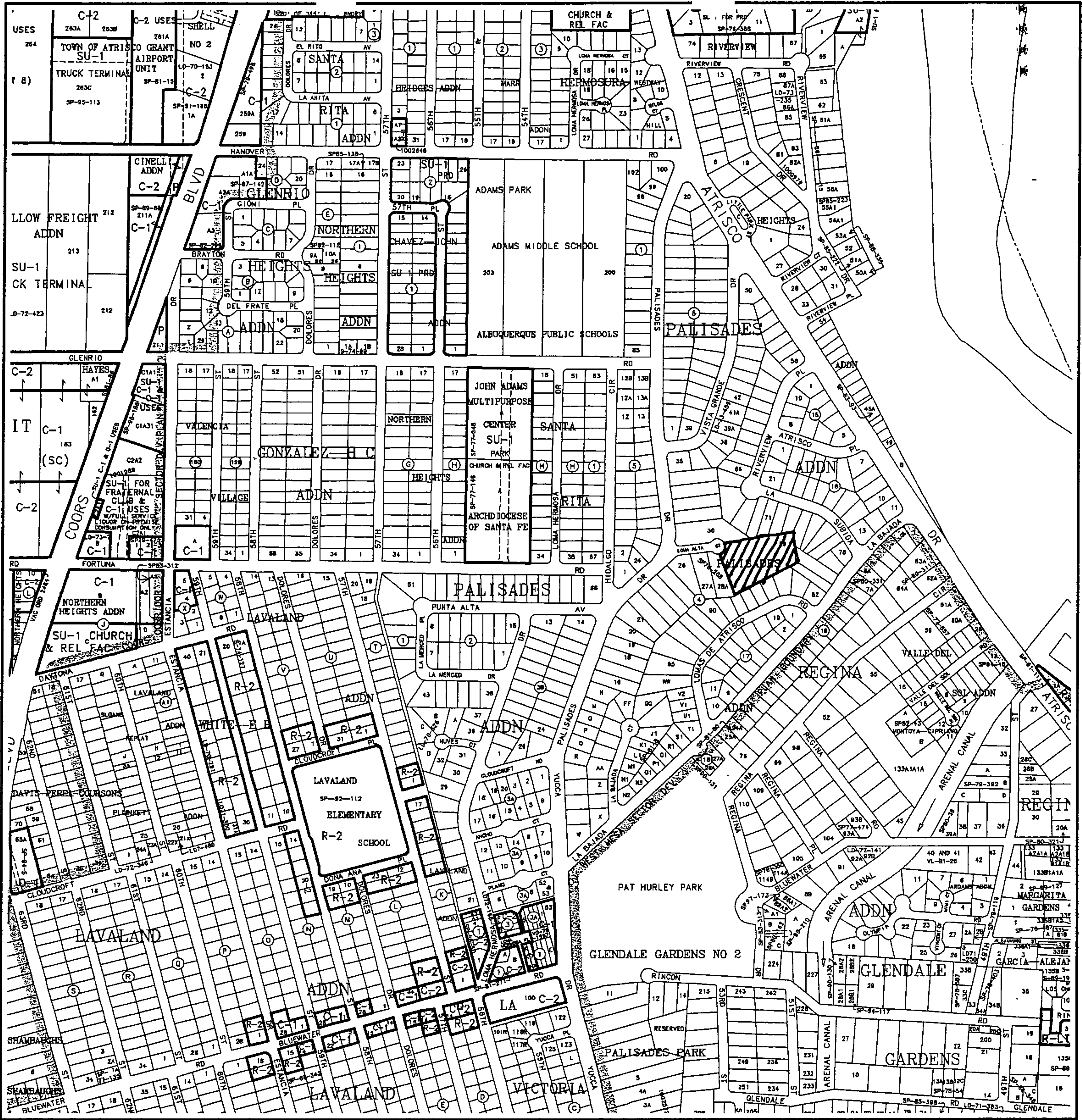
Sincerely,

  
for Victor J. Chavez  
Planning Director

VJC/EL/ac

cc: Isaac Benton & Assoc. AIA, 624 Tijeras Ave. NW, Albuquerque, NM 87102  
Louis Tafoya, 6411 Avalon Rd. NW, Albuquerque, NM 87105





CITY OF  
Albuquerque Geographic Information System  
PLANNING DEPARTMENT  
© Copyright 2003



**Zone Atlas Page**

**J-11-Z**

Map Amended through July 10, 2003



ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME Al Soto  
AGENT Isaac Benton & ASSO.  
ADDRESS 624 Tijeras Ave NW 87102  
PROJECT & APP # 1003168 DHDRB - 00475  
PROJECT NAME PALISADES ADDITION

\$ 20.00 469099/4916000 Conflict Management Fee  
\$ \_\_\_\_\_ 441006/4983000 DRB Actions  
\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
\$ \_\_\_\_\_ 441018/4971000 Public Notification  
\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study  
\$ 20.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

ALBERT C. OR RURIKO SOTO 12-87 2224  
732 LOMA ALTA CT. N.W.  
ALBUQUERQUE, NM 87105 Date 3/30/04 95-32/1070-NM 1102

Pay to the order of City of Albuquerque \$ 20.00  
Twenty Dollars & Zero Cents Dollars

Bank of America Bank of America Advantage™  
ACH/R/T 107000327 \*\*\*MICROFICHE\*\*\*  
City of Albuquerque  
For DRB-fee Treasury Division NP

Counterreceipt 1070000327 000118869080 03/30/04 10:51AM LOC: ANN

RECEIPT# 00023220 WS# 007 TRANS# 0007  
Account 469099 Fund 0110  
Activity 4916000 TRSLJS  
Trans Amt \$20.00  
J24 Misc \$20.00  
CK \$20.00  
CHANGE \$0.00