

VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27) and rotated to grid at the Albuquerque Survey Control Monument "SANDBERN".
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page A-10.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus \odot . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- Total number of existing Tracts: 2
- Total number of Lots created: 24
- Total number of Tracts created: 3
- Total number of Parcels created 1
- Total mileage of full width streets created: 0.11 mile.
- Gross Subdivision acreage: 7.1403 acres.
- Current Zoning is "R-LT"
- Minimum Lot Size shall be: 4,500 square feet
- Minimum Lot width shall be 45'
- U.C.L.S. Log Number: 2005090438

SHEET INDEX

- SHEET 1 OF 3 - Approvals, General Notes, Etc...
- SHEET 2 OF 3 - Legal Description, Free Consent and dedication Curve and Line Tables, Lot and Tract Areas
- SHEET 3 OF 3 - Unit Nine Subdivision Plat

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FLAT OF
SEVILLE SUBDIVISION UNIT NINE
(BEING A REPLAT OF TRACT 1-D, SEVILLE SUBDIVISION AND AN UNPLATTED PARCEL)

WITHIN
THE TOWN OF ALAMEDA GRANT
PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2005

PROJECT NUMBER: 1003172

Application Number: 05DRB-01053

PLAT APPROVAL

Utility Approvals:

| | |
|------------------------|---------|
| <u>Lead G. Marks</u> | 6-28-05 |
| PNM Electric Services | Date |
| <u>Lead G. Marks</u> | 6-28-05 |
| PNM Gas Services | Date |
| <u>Markell G. Giff</u> | 6-30-05 |
| QWest Corporation | Date |
| <u>John Barber</u> | 6-28-05 |
| Comcast | Date |
| <u>[Signature]</u> | 6-28-05 |
| New Mexico Utilities | Date |

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:

| | |
|---|---------|
| <u>[Signature]</u> | 6-20-05 |
| City Surveyor | Date |
| <u>N/A</u> | 6/30/05 |
| Real Property Division | Date |
| <u>N/A</u> | 6/30/05 |
| Environmental Health Department | Date |
| <u>[Signature]</u> | 6-29-05 |
| Traffic Engineering/Transportation Division | Date |
| <u>Roger A. Green</u> | 6/29/05 |
| Utilities Development | Date |
| <u>Christine Sandomal</u> | 6/29/05 |
| Parks and Recreation Department | Date |
| <u>Lynn M. Major</u> | 6-29-05 |
| AMAFCA | Date |
| <u>Bradley L. Bish</u> | 6/29/05 |
| City Engineer | Date |
| <u>[Signature]</u> | 6/30/05 |
| DRB Chairperson, Planning Department | Date |

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

101006629803240204
Clearbrook Base Inc
Rosa Alderete 6-30-05
Bernalillo County Treasurer

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Communications for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

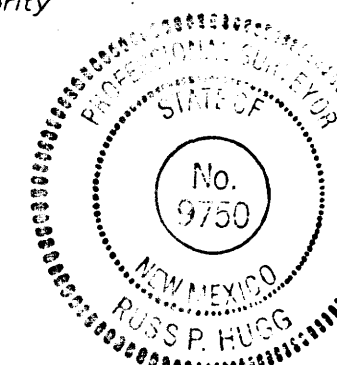
DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PURPOSE OF PLAT

The Purpose of this replat is to:

- Create the 24 residential lots; 1 Parcel and 3 Tracts as shown hereon.
- Dedicate the additional new public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants
- Create Tract 1-D-1 for dedication to the City of Albuquerque Open Space Division of Parks and Recreation in fee simple with warranty covenants for "Open Space" by this plat.
- Create Tracts 1-D-2 and 1-D-3 for dedication in fee simple with warranty covenants to the Albuquerque Metropolitan Arroyo Flood Control Authority (A.M.A.F.C.A.) for "Drainage right of way" by this plat.
- Create Parcel A to legally plat A.M.A.F.C.A. quitclaim parcel as requested by A.M.A.F.C.A.
- Grant the new public utility easements as shown hereon.



Russ P. Hugg
NMPS No. 9750
February 21, 2005

SURV+TEK, INC.
Consulting Surveyors

9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Alameda Grant in Projected Section 3, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico comprising all of Tract 1-D, Seville as the same is shown and designated on the Second Correction Bulk Land Plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on April 8, 2002 in Plat Book 2002C, page 109 and that certain unplatted parcel of land comprising an existing Twenty five (25') Public Drainage Easement as the same is described in that certain Quitclaim Deed to A.M.A.F.C.A. filed in the office of the County Clerk of Bernalillo County, New Mexico on August 4, 1994 in Book 94-23, page 2050 and as the same is shown and designated on the plat of Rio Vista Unit 2 filed in the office of the County Clerk of Bernalillo County, New Mexico on May 3, 1979 in Volume D9, folio 116 more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Coordinate System, Central Zone (NAD 27) grid bearings and ground distances as follows:

BEGINNING at the Northwest corner of said Tract 1-D, Seville (a 5/8" rebar and cap stamped "L.S. 9750" found in place) said point also being a point on the Northeastly right of way line of Kayenta Boulevard N.W. and the Southeast corner of Tract C, Paradise Heights as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on December 20, 2000 in Plat Book 2000C, page 310 whence the Albuquerque Control Survey Monument "1-A10" bears N 12° 04' 21" W, 4699.95 feet distant; Thence Southeastly along a line common to said Tract 1-D and Tract C for the following two (2) courses:

S 89° 49' 06" E , 619.42 feet to a point (a 5/8" rebar and cap stamped "L.S. 4078" found in place); Thence,

S 53° 03' 31" E , 342.74 feet to the Northeast corner of said Tract 1-D (a 5/8" rebar and cap stamped "L.S. 4078" found in place); Thence,

N 83° 10' 58" E , 25.06 feet to the Northwest corner of Lot 1, Block 33 of said Rio Vista Unit 2 (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence,

S 02° 45' 04" E , 240.00 feet to the Southwest corner of said Lot 1, Block 33, Rio Vista Unit 2 (a 5/8" rebar and cap stamped "L.S. 9750" found in place) said point also being a point on the Northerly right of way line of Irving Boulevard N.W.; Thence Southwestly and Northwestly along said Northerly right of way line of Irving Boulevard N.W. for the following seven (7) courses:

S 87° 14' 56" W , 25.00 feet to a point; Thence,

N 02° 45' 08" W , 3.42 feet to a point; Thence,

S 87° 10' 22" W , 126.37 feet to a point of curvature (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence,

Southwesterly , 169.74 feet on the arc of a curve to the left (said curve having a radius of 1149.00 feet, a central angle of 08° 27' 51" and a chord which bears S 82° 56' 27" W, 169.58 feet) to a point of reverse curvature (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence,

Southwesterly , 222.71 feet on the arc of a curve to the right (said curve having a radius of 1051.00 feet, a central angle of 12° 08' 29" and a chord which bears S 84° 46' 46" W, 222.30 feet) to a point of tangency (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence,

N 89° 09' 00" W , 101.05 feet to a point (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence,

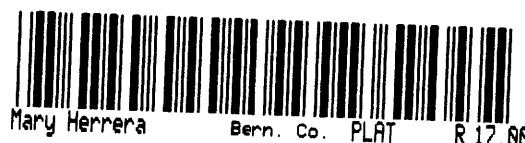
N 44° 09' 00" W , 33.94 feet to a point on the Easterly right of way line of said Kayenta Boulevard N.W. (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence Northeasterly and Northwestly along said Easterly right of way line of Kayenta Boulevard N.W. for the following three (3) courses:

N 00° 50' 53" E , 2.00 feet to a point of curvature (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence,

Northwesterly , 427.94 feet on the arc of a curve to the left (said curve having a radius of 493.00 feet, a central angle of 49° 44' 05" and a chord which bears N 24° 01' 02" W, 414.63 feet) to a point of tangency (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence,

N 48° 53' 05" W , 126.52 feet to the Northwest corner and point of beginning of the parcel herein described.

Said parcel contains 7.1403 acres, more or less.



PLAT OF SEVILLE SUBDIVISION UNIT NINE

(BEING A REPLAT OF TRACT 1-D, SEVILLE SUBDIVISION AND AN UNPLATTED PARCEL)

WITHIN

**THE TOWN OF ALAMEDA GRANT
PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

FEBRUARY, 2005

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, SEVILLE SUBDIVISION UNIT NINE (BEING A REPLAT OF TRACT 1-D, SEVILLE AND AN UNPLATTED PARCEL) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate the additional and new street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby agree convey Tract 1-D-1 as shown to the City of Albuquerque Open Space Division of Parks and Recreation in fee simple with warranty covenants and Tracts 1-D-2 and 1-D-3 as shown hereon to Albuquerque Arroyo Flood Control Authority (A.M.A.F.C.A.) in fee simple. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER OF TRACT 1-D

CLEARBROOK INVESTMENTS, INC.
a New Mexico Corporation

By Cynthia A King Cynthia King
Scott Henry, President Vice President, Finance

OWNER UNPLATTED (QUITCLAIM PARCEL)

Albuquerque Metropolitan Arroyo Flood Control Authority

By John Kelly 6-20-05
John P. Kelly, AMAFC, Executive Engineer

LINE TABLE

| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L1 | 33.94' | N44°09'00"W |
| L2 | 2.00' | N00°50'53"E |
| L3 | 25.06' | N83°10'58"E |
| L4 | 25.00' | S87°14'56"W |
| L5 | 3.42' | N02°45'08"W |
| L6 | 30.62' | N34°34'03"E |
| L7 | 28.10' | N67°25'27"E |
| L8 | 10.60' | N67°25'28"E |
| L9 | 14.85' | S87°57'22"E |
| L10 | 7.07' | S77°00'49"E |
| L11 | 47.21' | S67°39'21"E |
| L12 | 64.10' | S73°55'54"E |
| L13 | 50.01' | S66°53'15"E |
| L14 | 46.92' | S76°19'22"E |
| L15 | 14.83' | S67°39'21"E |
| L16 | 32.38' | S67°39'21"E |
| L17 | 16.55' | S74°02'50"E |
| L18 | 47.55' | S73°53'29"E |
| L19 | 38.70' | S67°25'27"W |

CURVE TABLE

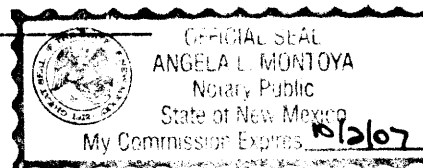
| CURVE | LENGTH | RADIUS | TANGENT | CHORD | CHORD BEARING | DELTA |
|-------|---------|----------|---------|---------|---------------|------------|
| C1 | 169.74' | 1149.00' | 85.02' | 169.58' | S82°56'27"W | 8°27'51" |
| C2 | 222.71' | 1051.00' | 111.78' | 222.30' | S84°46'46"W | 12°08'29" |
| C3 | 427.94' | 493.00' | 228.50' | 414.63' | N24°01'02"W | 49°44'05" |
| C4 | 116.13' | 75.00' | 73.34' | 104.87' | N47°06'31"W | 88°42'55" |
| C5 | 218.13' | 1272.00' | 109.33' | 217.86' | S83°37'16"W | 9°49'31" |
| C6 | 184.13' | 928.00' | 92.37' | 183.83' | N84°23'34"E | 11°22'06" |
| C7 | 17.03' | 16.00' | 9.42' | 16.23' | N27°44'00"E | 60°58'08" |
| C8 | 80.52' | 52.00' | 50.85' | 72.71' | N47°06'31"W | 88°42'55" |
| C9 | 214.18' | 1249.00' | 107.35' | 213.92' | S83°37'16"W | 9°49'31" |
| C10 | 137.77' | 951.00' | 69.01' | 137.65' | S82°51'32"E | 8°18'02" |
| C11 | 19.72' | 25.00' | 10.40' | 19.21' | S64°24'44"W | 45°11'38" |
| C12 | 214.71' | 45.00' | 42.42' | 61.74' | S01°29'48"E | 273°22'32" |
| C13 | 21.09' | 25.00' | 11.22' | 20.47' | S68°58'53"E | 48°20'42" |
| C14 | 128.53' | 905.00' | 64.37' | 128.42' | N82°46'38"E | 8°08'15" |
| C15 | 222.07' | 1295.00' | 111.31' | 221.80' | S83°37'16"W | 9°49'31" |
| C16 | 151.74' | 98.00' | 95.83' | 137.03' | N47°06'31"W | 88°42'55" |
| C17 | 1.64' | 1249.00' | 0.82' | 1.64' | S88°29'52"W | 0°04'32" |
| C18 | 45.42' | 1249.00' | 22.71' | 45.42' | S87°25'00"W | 2°05'00" |
| C19 | 16.44' | 1149.00' | 8.22' | 16.44' | S86°45'46"W | 0°49'11" |
| C20 | 43.31' | 1149.00' | 21.66' | 43.30' | S85°16'24"W | 2°09'34" |
| C21 | 46.99' | 1249.00' | 23.50' | 46.99' | S85°17'49"W | 2°09'21" |
| C22 | 48.70' | 1249.00' | 24.35' | 48.69' | S83°06'08"W | 2°14'02" |
| C23 | 41.41' | 1149.00' | 20.71' | 41.41' | S83°09'40"W | 2°03'54" |
| C24 | 43.79' | 1149.00' | 21.90' | 43.79' | S81°02'12"W | 2°11'02" |
| C25 | 46.51' | 1249.00' | 23.26' | 46.50' | S80°55'02"W | 2°08'00" |
| C26 | 24.92' | 1249.00' | 12.46' | 24.92' | S79°16'49"W | 1°08'36" |
| C27 | 19.57' | 951.00' | 9.79' | 19.57' | N79°17'53"E | 1°10'45" |
| C28 | 24.79' | 1149.00' | 12.40' | 24.79' | S79°19'37"W | 1°14'10" |
| C29 | 22.40' | 1051.00' | 11.20' | 22.40' | N79°19'08"E | 1°13'16" |
| C30 | 46.72' | 1051.00' | 23.37' | 46.72' | N81°12'14"E | 2°32'50" |
| C31 | 44.22' | 951.00' | 22.11' | 44.21' | N81°13'11"E | 2°39'50" |
| C32 | 42.05' | 951.00' | 21.03' | 42.05' | N83°49'06"E | 2°32'00" |
| C33 | 49.54' | 1051.00' | 24.77' | 49.53' | N83°49'38"E | 2°42'02" |
| C34 | 40.48' | 1051.00' | 20.24' | 40.48' | N86°16'51"E | 2°12'25" |
| C35 | 31.93' | 951.00' | 15.97' | 31.93' | N86°02'49"E | 1°55'26" |
| C36 | 0.66' | 45.00' | 0.33' | 0.66' | N42°14'03"E | 0°50'16" |
| C37 | 37.82' | 45.00' | 20.11' | 36.72' | N66°43'59"E | 48°09'36" |
| C38 | 63.57' | 1051.00' | 31.80' | 63.56' | N89°07'02"E | 3°27'56" |
| C39 | 29.66' | 45.00' | 15.39' | 29.13' | S70°18'06"E | 3°74'14" |
| C40 | 28.01' | 45.00' | 14.48' | 27.56' | S33°34'55"E | 35°40'07" |
| C41 | 40.64' | 493.00' | 20.33' | 40.63' | N01°30'41"W | 4°43'23" |
| C42 | 101.75' | 493.00' | 51.05' | 101.57' | N09°47'08"W | 11°49'30" |
| C43 | 28.17' | 45.00' | 14.56' | 27.71' | S02°11'13"W | 35°52'09" |
| C44 | 52.96' | 45.00' | 30.03' | 49.96' | S53°50'13"W | 67°25'50" |
| C45 | 85.66' | 493.00' | 42.94' | 85.55' | N20°40'32"W | 9°57'19" |
| C46 | 199.89' | 493.00' | 101.34' | 198.53' | N37°16'08"W | 23°13'53" |
| C47 | 37.42' | 45.00' | 19.87' | 36.35' | N68°37'42"W | 47°38'20" |
| C48 | 85.51' | 98.00' | 45.69' | 82.83' | N27°44'54"W | 49°59'41" |
| C49 | 5.19' | 905.00' | 2.59' | 5.19' | N86°40'56"E | 0°19'43" |
| C50 | 62.15' | 805.00' | 31.09' | 62.13' | N88°38'18"E | 4°25'24" |
| C51 | 45.04' | 905.00' | 22.52' | 45.03' | N85°05'31"E | 2°51'05" |
| C52 | 45.18' | 905.00' | 22.59' | 45.17' | N82°14'10"E | 2°51'37" |
| C53 | 33.13' | 905.00' | 16.57' | 33.13' | N79°45'26"E | 2°05'51" |
| C54 | 12.28' | 1295.00' | 6.14' | 12.28' | S78°58'49"W | 0°32'36" |
| C55 | 45.34' | 1295.00' | 22.67' | 45.34' | S80°15'18"W | 2°00'22" |
| C56 | 45.17' | 1295.00' | 22.59' | 45.17' | S82°15'27"W | 1°59'55" |
| C57 | 45.06' | 1295.00' | 22.53' | 45.06' | S84°15'13"W | 1°59'38" |
| C58 | 45.01' | 1295.00' | 22.51' | 45.01' | S86°14'46"W | 1°59'29" |
| C59 | 29.20' | 1295.00' | 14.60' | 29.20' | S87°53'16"W | 1°17'31" |
| C60 | 15.91' | 98.00' | 7.97' | 15.89' | N86°49'00"W | 9°17'56" |
| C61 | 50.32' | 98.00' | 25.73' | 49.77' | N67°27'23"W | 29°25'17" |

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 3/7/05
day of March, 2005, by Scott Henry, Cynthia King

Angela L. Montoya My commission expires _____
Notary Public

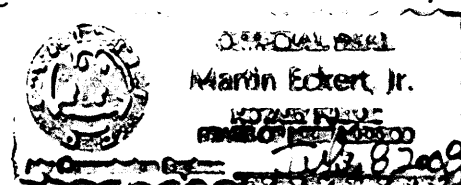


ACKNOWLEDGEMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 20th
day of June, 2005, by John P. Kelly

Martin Eckert, Jr. My commission expires July 8, 2008
Notary Public



LOT AREAS

| | |
|--------|------------|
| Lot 1 | 0.1055 Ac. |
| Lot 2 | 0.1034 Ac. |
| Lot 3 | 0.1036 Ac. |
| Lot 4 | 0.1034 Ac. |
| Lot 5 | 0.1037 Ac. |
| Lot 6 | 0.1052 Ac. |
| Lot 7 | 0.1044 Ac. |
| Lot 8 | 0.1051 Ac. |
| Lot 9 | 0.1040 Ac. |
| Lot 10 | 0.1041 Ac. |
| Lot 11 | 0.1037 Ac. |
| Lot 12 | 0.1461 Ac. |

LOT AREAS

| | |
|--------|------------|
| Lot 13 | 0.1515 Ac. |
| Lot 14 | 0.3306 Ac. |
| Lot 15 | 0.1357 Ac. |
| Lot 16 | 0.2132 Ac. |
| Lot 17 | 0.2232 Ac. |
| Lot 18 | 0.2006 Ac. |
| Lot 19 | 0.1772 Ac. |
| Lot 20 | 0.1532 Ac. |
| Lot 21 | 0.1318 Ac. |
| Lot 22 | 0.1298 Ac. |
| Lot 23 | 0.1429 Ac. |
| Lot 24 | 0.1505 Ac. |

PARCEL/TRACT AREAS

| | |
|-------------|------------|
| PARCEL A | 0.1372 Ac. |
| TRACT 1-D-1 | 2.4784 Ac. |
| TRACT 1-D-2 | 0.2722 Ac. |
| TRACT 1-D-3 | 0.1202 Ac. |



Albuquerque Control Survey Monument "1-A10"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y = 1,534,660.24
 X = 358,933.85
 Elevation = 5415.16 (SLD 1929)
 Ground to grid factor = 0.9996638

2005094459
 829597
 Page: 3 of 3
 06/30/2005 03:49P
 Bk-2085C Pg-234
 Mary Herrera Bern. Co. PLAT R 17.00

PLAT OF
SEVILLE SUBDIVISION UNIT NINE
 (BEING A REPLAT OF TRACT 1-D, SEVILLE SUBDIVISION AND AN UNPLATTED PARCEL)

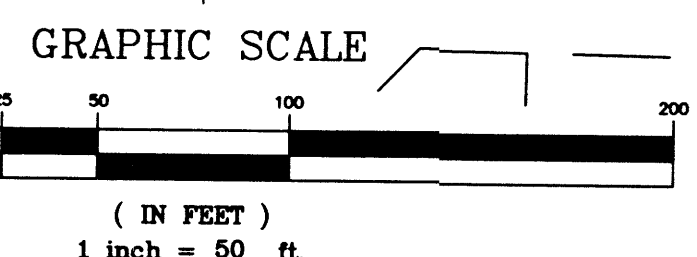
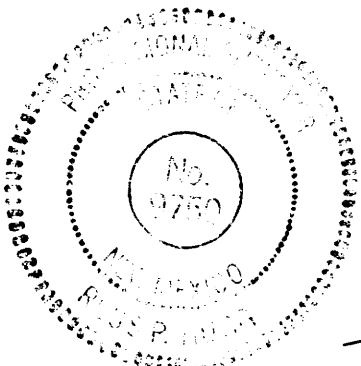
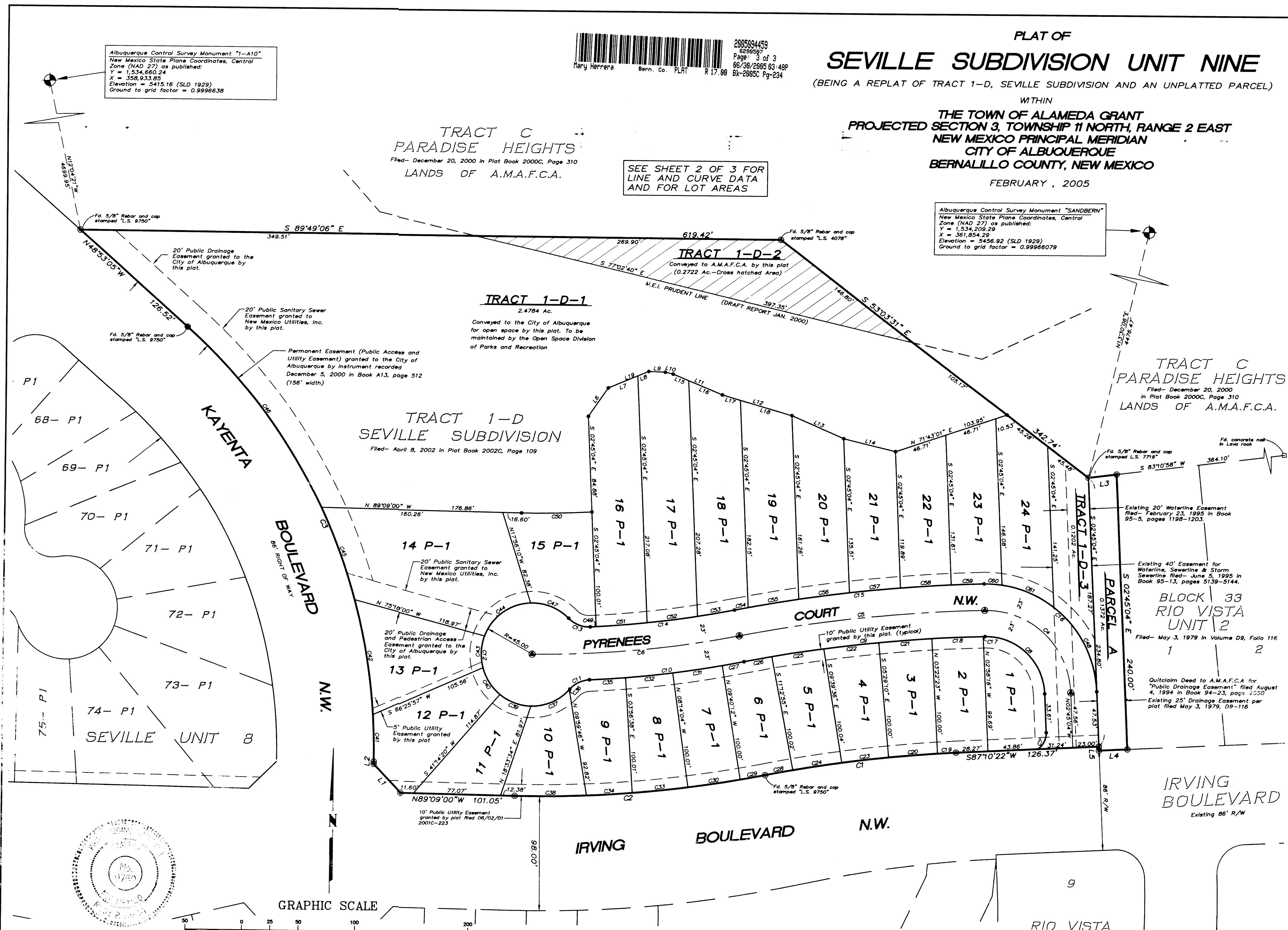
WITHIN
 THE TOWN OF ALAMEDA GRANT
 PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

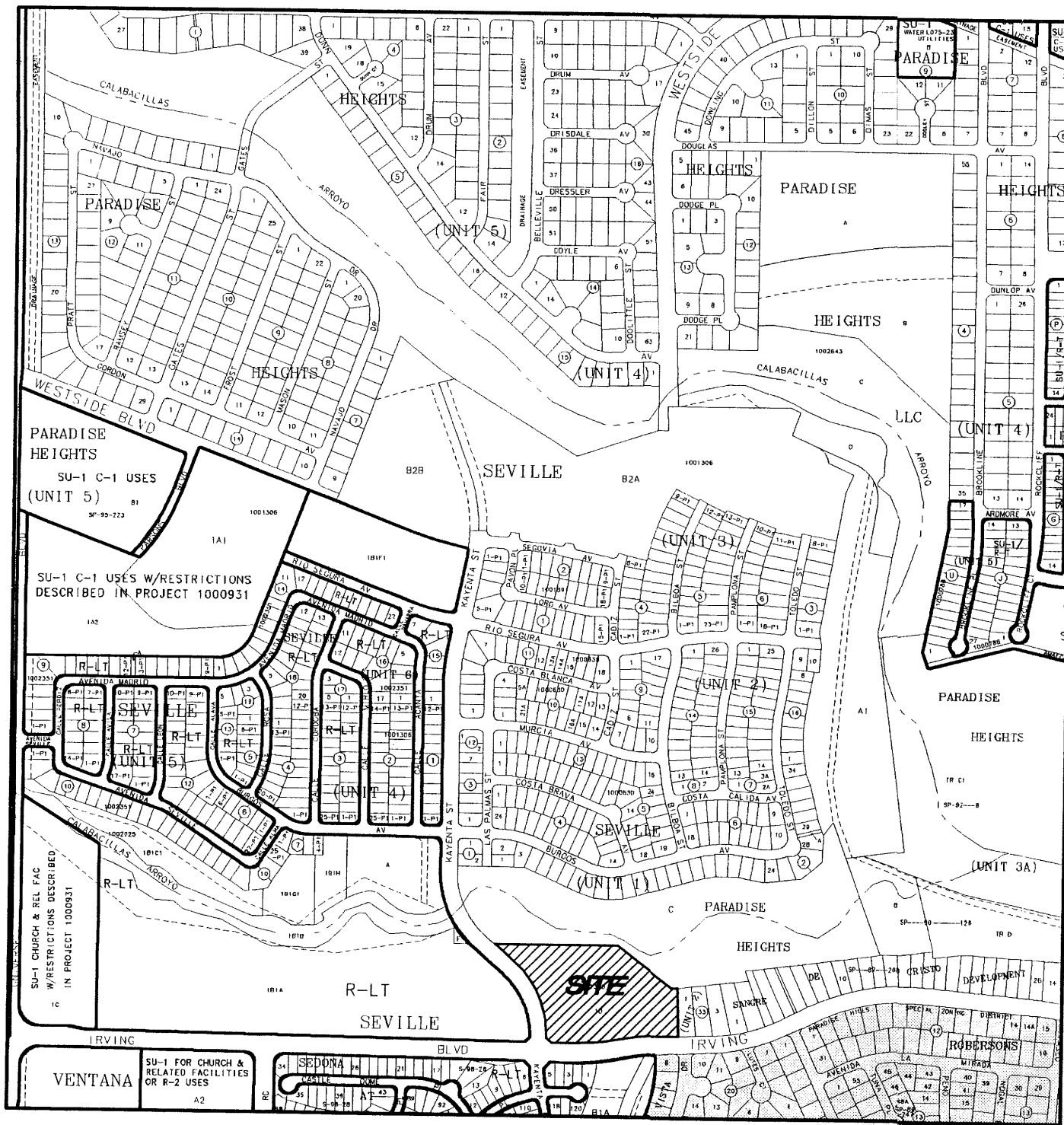
FEBRUARY, 2005

TRACT C
 PARADISE HEIGHTS
 Filed- December 20, 2000 in Plat Book 2000C, Page 310
 LANDS OF A.M.A.F.C.A.

SEE SHEET 2 OF 3 FOR
 LINE AND CURVE DATA
 AND FOR LOT AREAS

Albuquerque Control Survey Monument "SANDBERN"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y = 1,534,209.29
 X = 361,854.29
 Elevation = 5456.92 (SLD 1929)
 Ground to grid factor = 0.99966079





VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27) and rotated to grid at the Albuquerque Survey Control Monument "SANDBERN".
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page A-10.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus \odot . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument— Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- Total number of existing Tracts: 2
- Total number of Lots created: 24
- Total number of Tracts created: 3
- Total number of Parcels created: 1
- Total mileage of full width streets created: 0.11 mile.
- Gross Subdivision acreage: 7.1403 acres.
- Current Zoning is "R-LT"
- Minimum Lot Size shall be: 4,500 square feet
- Minimum Lot width shall be 45'
- U.C.L.S. Log Number: 2005090438

SHEET INDEX

- SHEET 1 OF 3 - Approvals, General Notes, Etc...
- SHEET 2 OF 3 - Legal Description, Free Consent and dedication Curve and Line Tables, Lot and Tract Areas
- SHEET 3 OF 3 - Unit Nine Subdivision Plat

040011

PLAT OF
SEVILLE SUBDIVISION UNIT NINE
(BEING A REPLAT OF TRACT 1-D, SEVILLE SUBDIVISION AND AN UNPLATTED PARCEL)

WITHIN

THE TOWN OF ALAMEDA GRANT
PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2005

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Communications for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PURPOSE OF PLAT

The Purpose of this replat is to:

- Create the 24 residential lots; 1 Parcel and 3 Tracts as shown hereon.
- Dedicate the additional new public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants
- Create Tract 1-D-1 for dedication to the City of Albuquerque Open Space Division of Parks and Recreation in fee simple with warranty covenants for "Open Space" by this plat.
- Create Tracts 1-D-2 and 1-D-3 for dedication in fee simple with warranty covenants to the Albuquerque Metropolitan Arroyo Flood Control Authority (A.M.A.F.C.A.) for "Drainage right of way" by this plat.
- Create Parcel A to legally plat A.M.A.F.C.A. quitclaim parcel as requested by A.M.A.F.C.A.
- Grant the new public utility easements as shown hereon.

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

| | | | |
|-----------------------|-------|-------|------|
| PNM Electric Services | _____ | _____ | Date |
| PNM Gas Services | _____ | _____ | Date |
| QWest Corporation | _____ | _____ | Date |
| Comcast | _____ | _____ | Date |
| New Mexico Utilities | _____ | _____ | Date |

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:

| | | | |
|--|-------|---------|------|
| City Surveyor | | 6-20-05 | Date |
| Real Property Division | _____ | _____ | Date |
| Environmental Health Department | _____ | _____ | Date |
| Traffic Engineering, Transportation Division | _____ | _____ | Date |
| Utilities Development | _____ | _____ | Date |
| Parks and Recreation Department | _____ | _____ | Date |
| AMAFCA | _____ | _____ | Date |
| City Engineer | _____ | _____ | Date |
| DRB Chairperson, Planning Department | _____ | _____ | Date |

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
February 21, 2005

SHEET 1 OF 3

SURV TEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Alameda Grant in Projected Section 3, Township 11, North, Range 2 east, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico comprising all of Tract 1-D, Seville as the same is shown and designated on the Second Correction Bulk Land Plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on April 8, 2002 in Plat Book 2002C, page 109 and that certain unplatted parcel of land comprising an existing Twenty five (25') Public Drainage Easement as the same is described in that certain Quitclaim Deed to A.M.A.F.C.A. filed in the office of the County Clerk of Bernalillo County, New Mexico on August 4, 1994 in Book 94-23, page 2050 and as the same is shown and designated on the plat of Rio Vista Unit 2 filed in the office of the County Clerk of Bernalillo County, New Mexico on May 3, 1979 in Volume D9, folio 116 more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Coordinate System, Central Zone (NAD 27) grid bearings and ground distances as follows:

BEGINNING at the Northwest corner of said Tract 1-D, Seville (a 5/8" rebar and cap stamped "L.S. 9750" found in place) said point also being a point on the Northeastly right of way line of Kayenta Boulevard N.W. and the Southeast corner of Tract C, Paradise Heights as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on December 20, 2000 in Plat Book 2000C, page 310 whence the Albuquerque Central Survey Monument "1-A10" bears N 12° 04' 21" W, 4699.95 feet distant; Thence Southeastly along a line common to said Tract 1-D and Tract C for the following two (2) courses:

S 89° 49' 06" E , 619.42 feet to a point (a 5/8" rebar and cap stamped "L.S. 4078" found in place); Thence,

S 53° 03' 31" E , 342.74 feet to the Northeast corner of said Tract 1-D (a 5/8" rebar and cap stamped "L.S. 4078" found in place); Thence,

N 83° 10' 58" E , 25.06 feet to the Northwest corner of Lot 1, Block 33 of said Rio Vista Unit 2 (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence,

S 02° 45' 04" E , 240.00 feet to the Southwest corner of said Lot 1, Block 33, Rio Vista Unit 2 (a 5/8" rebar and cap stamped "L.S. 9750" found in place) said point also being a point on the Northerly right of way line of Irving Boulevard N.W.; Thence Southwesterly and Northwesterly along said Northerly right of way line of Irving Boulevard N.W. for the following seven (7) courses:

S 87° 14' 56" W , 25.00 feet to a point; Thence,

N 02° 45' 08" W , 3.42 feet to a point; Thence,

S 87° 10' 22" W , 126.37 feet to a point of curvature (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence,

Southwesterly , 169.74 feet on the arc of a curve to the left (said curve having a radius of 1149.00 feet, a central angle of 08° 27' 51" and a chord which bears S 82° 56' 27" W, 169.58 feet) to a point of reverse curvature (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence,

Southwesterly , 222.71 feet on the arc of a curve to the right (said curve having a radius of 1051.00 feet, a central angle of 12° 08' 29" and a chord which bears S 84° 46' 46" W, 222.30 feet) to a point of tangency (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence,

N 89° 09' 00" W , 101.05 feet to a point (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence,

N 44° 09' 00" W , 33.94 feet to a point on the Easterly right of way line of said Kayenta Boulevard N.W. (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence Northeasterly and Northwesterly along said Easterly right of way line of Kayenta Boulevard N.W. for the following three (3) courses:

N 00° 50' 53" E , 2.00 feet to a point of curvature (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence,

Northwesterly , 427.94 feet on the arc of a curve to the left (said curve having a radius of 493.00 feet, a central angle of 49° 44' 05" and a chord which bears N 24° 01' 02" W, 414.63 feet) to a point of tangency (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence,

N 48° 53' 05" W , 126.52 feet to the Northwest corner and point of beginning of the parcel herein described.

Said parcel contains 7.1403 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, SEVILLE SUBDIVISION UNIT NINE (BEING A REPLAT OF TRACT 1-D, SEVILLE AND AN UNPLATTED PARCEL) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate the additional and new street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby agree convey Tract 1-D-1 as shown to the City of Albuquerque Open Space Division of Parks and Recreation in fee simple with warranty covenants and Tracts 1-D-2 and 1-D-3 as shown hereon to Albuquerque Arroyo Flood Control Authority (A.M.A.F.C.A.) in fee simple. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER OF TRACT 1-D

CLEARBROOK INVESTMENTS, INC.
a New Mexico Corporation

By Cynthia A. King Cynthia King
Scott Henry, President Vice President, Finance

OWNER UNPLATTED (QUITCLAIM) PARCEL

Albuquerque Metropolitan Arroyo Flood Control Authority

By John P. Kelly 6-20-05
John P. Kelly, AMAFCA Executive Engineer

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 3/7/05
day of March, 2005, by Scott Henry Cynthia King

Angela L. Montoya My commission expires
Notary Public

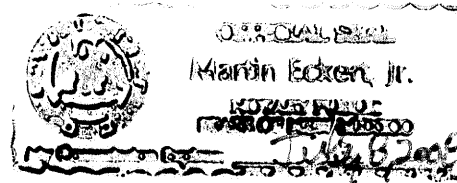


ACKNOWLEDGEMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 20th
day of June, 2005, by John P. Kelly.

Martin Eckert, Jr. My commission expires July 8, 2008
Notary Public



LINE TABLE

| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L1 | 33.94' | N44°09'00"W |
| L2 | 2.00' | N00°50'53"E |
| L3 | 25.06' | N83°10'58"E |
| L4 | 25.00' | S87°14'56"W |
| L5 | 3.42' | N02°45'08"W |
| L6 | 30.62' | N34°34'03"E |
| L7 | 28.10' | N67°25'27"E |
| L8 | 10.60' | N67°25'28"E |
| L9 | 14.85' | S87°57'22"E |
| L10 | 7.07' | S77°00'49"E |
| L11 | 47.21' | S67°39'21"E |
| L12 | 64.10' | S73°55'54"E |
| L13 | 50.01' | S66°53'15"E |
| L14 | 46.92' | S76°19'22"E |
| L15 | 14.83' | S67°39'21"E |
| L16 | 32.38' | S67°39'21"E |
| L17 | 16.55' | S74°02'50"E |
| L18 | 47.55' | S73°53'29"E |
| L19 | 38.70' | S67°25'27"W |

PLAT OF SEVILLE SUBDIVISION UNIT NINE

(BEING A REPLAT OF TRACT 1-D, SEVILLE SUBDIVISION AND AN UNPLATTED PARCEL)

WITHIN

THE TOWN OF ALAMEDA GRANT
PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2005

CURVE TABLE

| CURVE | LENGTH | RADIUS | TANGENT | CHORD | CHORD BEARING | DELTA |
|-------|---------|----------|---------|---------|---------------|------------|
| C1 | 169.74' | 1149.00' | 85.02' | 169.58' | S82°56'27"W | 8°27'51" |
| C2 | 222.71' | 1051.00' | 111.78' | 222.30' | S84°46'46"W | 12°08'29" |
| C3 | 427.94' | 493.00' | 228.50' | 414.63' | N24°01'02"W | 49°44'05" |
| C4 | 116.13' | 75.00' | 73.34' | 104.87' | N47°06'31"W | 88°42'55" |
| C5 | 218.13' | 1272.00' | 109.33' | 217.86' | S83°37'16"W | 9°49'31" |
| C6 | 184.13' | 928.00' | 92.37' | 183.83' | N84°23'34"E | 11°22'06" |
| C7 | 17.03' | 16.00' | 9.42' | 16.23' | N27°44'00"E | 60°58'08" |
| C8 | 80.52' | 52.00' | 50.85' | 72.71' | N47°06'31"W | 88°42'55" |
| C9 | 214.18' | 1249.00' | 107.35' | 213.92' | S83°37'16"W | 9°49'31" |
| C10 | 137.77' | 951.00' | 69.01' | 137.65' | N82°51'32"E | 8°18'02" |
| C11 | 19.72' | 25.00' | 10.40' | 19.21' | S64°24'44"W | 45°11'36" |
| C12 | 214.71' | 45.00' | 42.42' | 61.74' | S01°29'48"E | 273°22'32" |
| C13 | 21.09' | 25.00' | 11.22' | 20.47' | S68°58'53"E | 48°20'42" |
| C14 | 128.53' | 905.00' | 64.37' | 128.42' | N82°46'38"E | 8°08'15" |
| C15 | 222.07' | 1295.00' | 111.31' | 221.80' | S83°37'16"W | 9°49'31" |
| C16 | 151.74' | 98.00' | 95.83' | 137.03' | N47°06'31"W | 88°42'55" |
| C17 | 1.64' | 1249.00' | 0.82' | 1.64' | S88°29'52"W | 0°04'32" |
| C18 | 45.42' | 1249.00' | 22.71' | 45.42' | S87°25'00"W | 2°05'00" |
| C19 | 16.44' | 1149.00' | 8.22' | 16.44' | S86°45'46"W | 0°49'11" |
| C20 | 43.31' | 1149.00' | 21.66' | 43.30' | S85°16'24"W | 2°09'34" |
| C21 | 46.99' | 1249.00' | 23.50' | 46.99' | S85°17'49"W | 2°09'21" |
| C22 | 48.70' | 1249.00' | 24.35' | 48.69' | S83°06'08"W | 2°14'02" |
| C23 | 41.41' | 1149.00' | 20.71' | 41.41' | S83°09'40"W | 2°03'54" |
| C24 | 43.79' | 1149.00' | 21.90' | 43.79' | S81°02'12"W | 2°11'02" |
| C25 | 46.51' | 1249.00' | 23.26' | 46.50' | S80°55'07"W | 2°08'00" |
| C26 | 24.92' | 1249.00' | 12.46' | 24.92' | S79°16'49"W | 1°08'36" |
| C27 | 19.57' | 951.00' | 9.79' | 19.57' | N79°17'53"E | 1°10'45" |
| C28 | 24.79' | 1149.00' | 12.40' | 24.79' | S79°19'37"W | 1°14'10" |
| C29 | 22.40' | 1051.00' | 11.20' | 22.40' | N79°19'08"E | 1°13'16" |
| C30 | 46.72' | 1051.00' | 23.37' | 46.72' | N81°12'12"E | 2°32'50" |
| C31 | 44.22' | 951.00' | 22.11' | 44.21' | N81°13'11"E | 2°39'50" |
| C32 | 42.05' | 951.00' | 21.03' | 42.05' | N83°49'06"E | 2°32'00" |
| C33 | 49.54' | 1051.00' | 24.77' | 49.53' | N83°49'38"E | 2°42'02" |
| C34 | 40.48' | 1051.00' | 20.24' | 40.48' | N86°16'51"E | 2°12'25" |
| C35 | 31.93' | 951.00' | 15.97' | 31.93' | N86°02'49"E | 1°55'26" |
| C36 | 0.66' | 45.00' | 0.33' | 0.66' | N42°14'03"E | 0°50'16" |
| C37 | 37.82' | 45.00' | 20.11' | 36.72' | N66°43'59"E | 48°09'36" |
| C38 | 63.57' | 1051.00' | 31.80' | 63.56' | N89°07'02"E | 3°27'56" |
| C39 | 29.66' | 45.00' | 15.39' | 29.13' | S70°18'06"E | 37°46'14" |
| C40 | 28.01' | 45.00' | 14.48' | 27.56' | S33°34'55"E | 35°40'07" |
| C41 | 40.64' | 493.00' | 20.33' | 40.63' | N01°30'41"W | 4°43'23" |
| C42 | 101.75' | 493.00' | 51.05' | 101.57' | N09°47'08"W | 11°49'30" |
| C43 | 28.17' | 45.00' | 14.56' | 27.71' | S02°11'13"W | 35°52'09" |
| C44 | 52.96' | 45.00' | 30.03' | 49.96' | S53°50'13"W | 67°25'50" |
| C45 | 85.66' | 493.00' | 42.94' | 85.55' | N20°40'32"W | 9°57'19" |
| C46 | 199.89' | 493.00' | 101.34' | 198.53' | N37°16'08"W | 23°13'53" |
| C47 | 37.42' | 45.00' | 19.87' | 36.35' | N68°37'42"W | 47°38'20" |
| C48 | 85.51' | 98.00' | 45.69' | 82.83' | N27°44'54"W | 49°59'41" |
| C49 | 5.19' | 905.00' | 2.59' | 5.19' | N86°40'56"E | 0°19'43" |
| C50 | 62.15' | 805.00' | 31.09' | 62.13' | N88°38'18"E | 4°25'24" |
| C51 | 45.04' | 905.00' | 22.52' | 45.03' | N85°05'31"E | 2°51'05" |
| C52 | 45.18' | 905.00' | 22.59' | 45.17' | N82°14'10"E | 2°51'37" |
| C53 | 33.13' | 905.00' | 16.57' | 33.13' | N79°45'26"E | 2°05'51" |
| C54 | 12.28' | 1295.00' | 6.14' | 12.28' | S78°58'49"W | 0°32'36" |
| C55 | 45.34' | 1295.00' | 22.67' | 45.34' | S80°15'18"W | 2°00'22" |
| C56 | 45.17' | 1295.00' | 22.59' | 45.17' | S82°15'22"W | 1°59'55" |
| C57 | 45.06' | 1295.00' | 22.53' | 45.06' | S84°15'13"W | 1°59'38" |
| C58 | 45.01' | 1295.00' | 22.51' | 45.01' | S86°14'46"W | 1°59'29" |
| C59 | 29.20' | 1295.00' | 14.60' | 29.20' | S87°53'16"W | 1°17'31" |
| C60 | 15.91' | 98.00' | 7.97' | 15.89' | N86°49'00"W | 9°17'56" |
| C61 | 50.32' | 98.00' | 25.73' | 49.77' | N67°27'23"W | 29°25'17" |

LOT AREAS

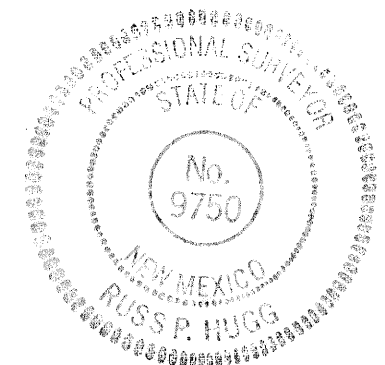
| | |
|--------|------------|
| Lot 1 | 0.1055 Ac. |
| Lot 2 | 0.1034 Ac. |
| Lot 3 | 0.1036 Ac. |
| Lot 4 | 0.1034 Ac. |
| Lot 5 | 0.1037 Ac. |
| Lot 6 | 0.1052 Ac. |
| Lot 7 | 0.1044 Ac. |
| Lot 8 | 0.1051 Ac. |
| Lot 9 | 0.1040 Ac. |
| Lot 10 | 0.1041 Ac. |
| Lot 11 | 0.1037 Ac. |
| Lot 12 | 0.1461 Ac. |

LOT AREAS

| | |
|--------|------------|
| Lot 13 | 0.1515 Ac. |
| Lot 14 | 0.3306 Ac. |
| Lot 15 | 0.1357 Ac. |
| Lot 16 | 0.2132 Ac. |
| Lot 17 | 0.2232 Ac. |
| Lot 18 | 0.2006 Ac. |
| Lot 19 | 0.1772 Ac. |
| Lot 20 | 0.1532 Ac. |
| Lot 21 | 0.1318 Ac. |
| Lot 22 | 0.1298 Ac. |
| Lot 23 | 0.1429 Ac. |
| Lot 24 | 0.1505 Ac. |

PARCEL/TRACT AREAS

| | |
|-------------|------------|
| PARCEL A | 0.1372 Ac. |
| TRACT 1-D-1 | 2.4784 Ac. |
| TRACT 1-D-2 | 0.2722 Ac. |
| TRACT 1-D-3 | 0.1202 Ac. |



PLAT OF SEVILLE SUBDIVISION UNIT NINE

(BEING A REPLAT OF TRACT 1-D, SEVILLE SUBDIVISION AND AN UNPLATTED PARCEL)

WITHIN
 THE TOWN OF ALAMEDA GRANT
 PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

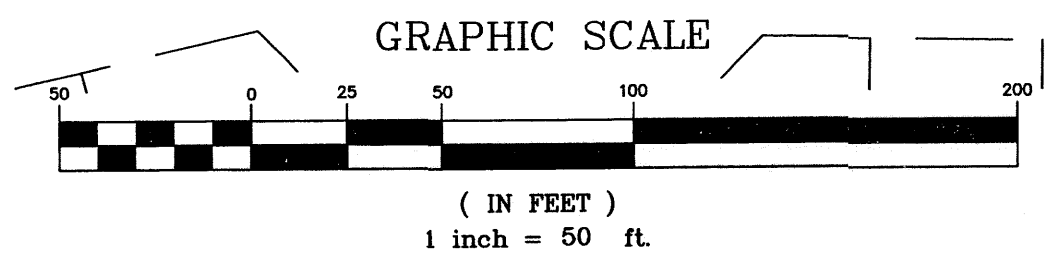
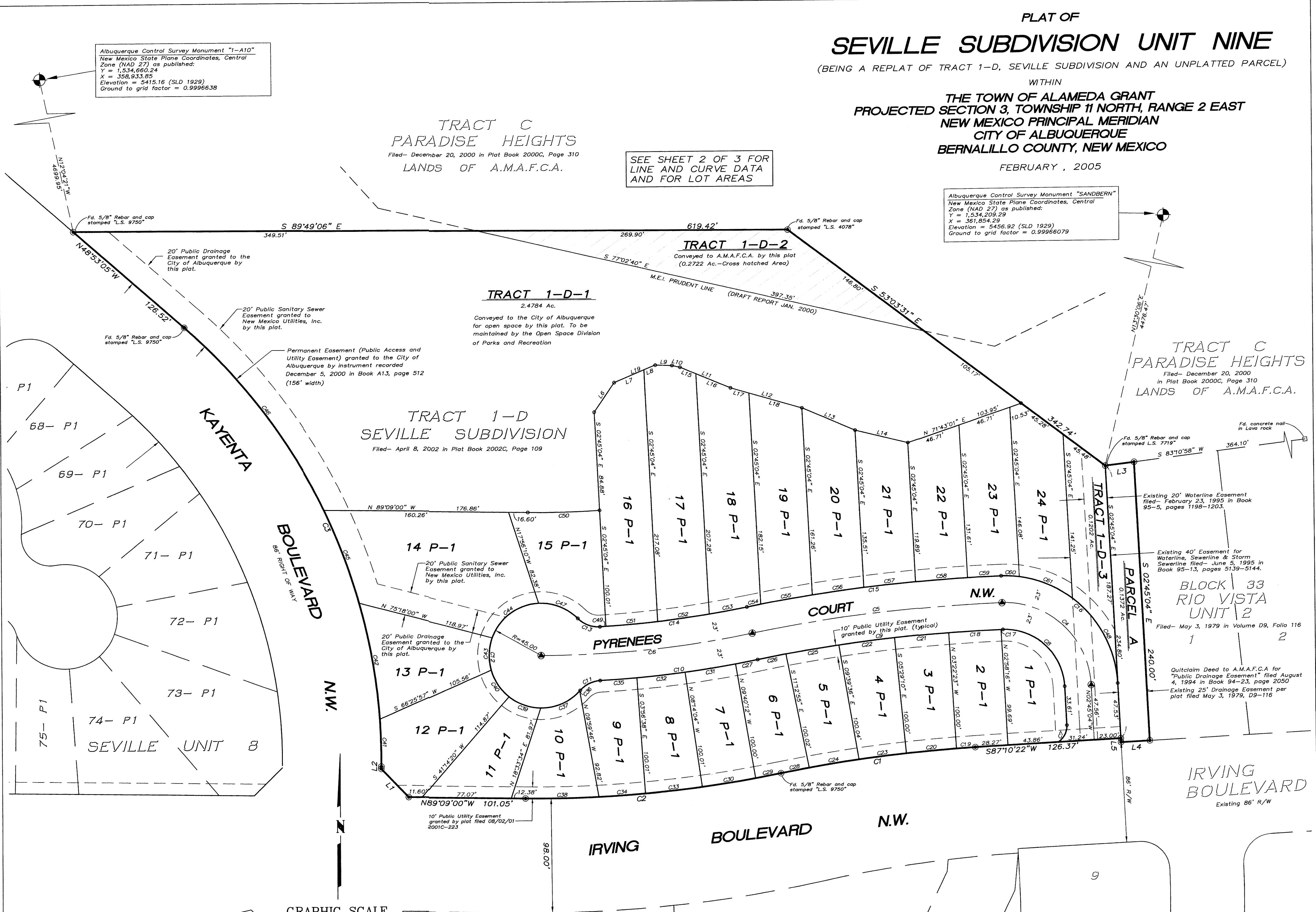
FEBRUARY, 2005

Albuquerque Control Survey Monument "1-A10"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y = 1,534,660.24
 X = 358,933.05
 Elevation = 5415.16 (SLD 1929)
 Ground to grid factor = 0.9996638

Albuquerque Control Survey Monument "SANDBERN"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y = 1,534,209.29
 X = 361,854.29
 Elevation = 5456.92 (SLD 1929)
 Ground to grid factor = 0.99966079

TRACT C
 PARADISE HEIGHTS
 Filed- December 20, 2000 in Plat Book 2000C, Page 310
 LANDS OF A.M.A.F.C.A.

SEE SHEET 2 OF 3 FOR
 LINE AND CURVE DATA
 AND FOR LOT AREAS



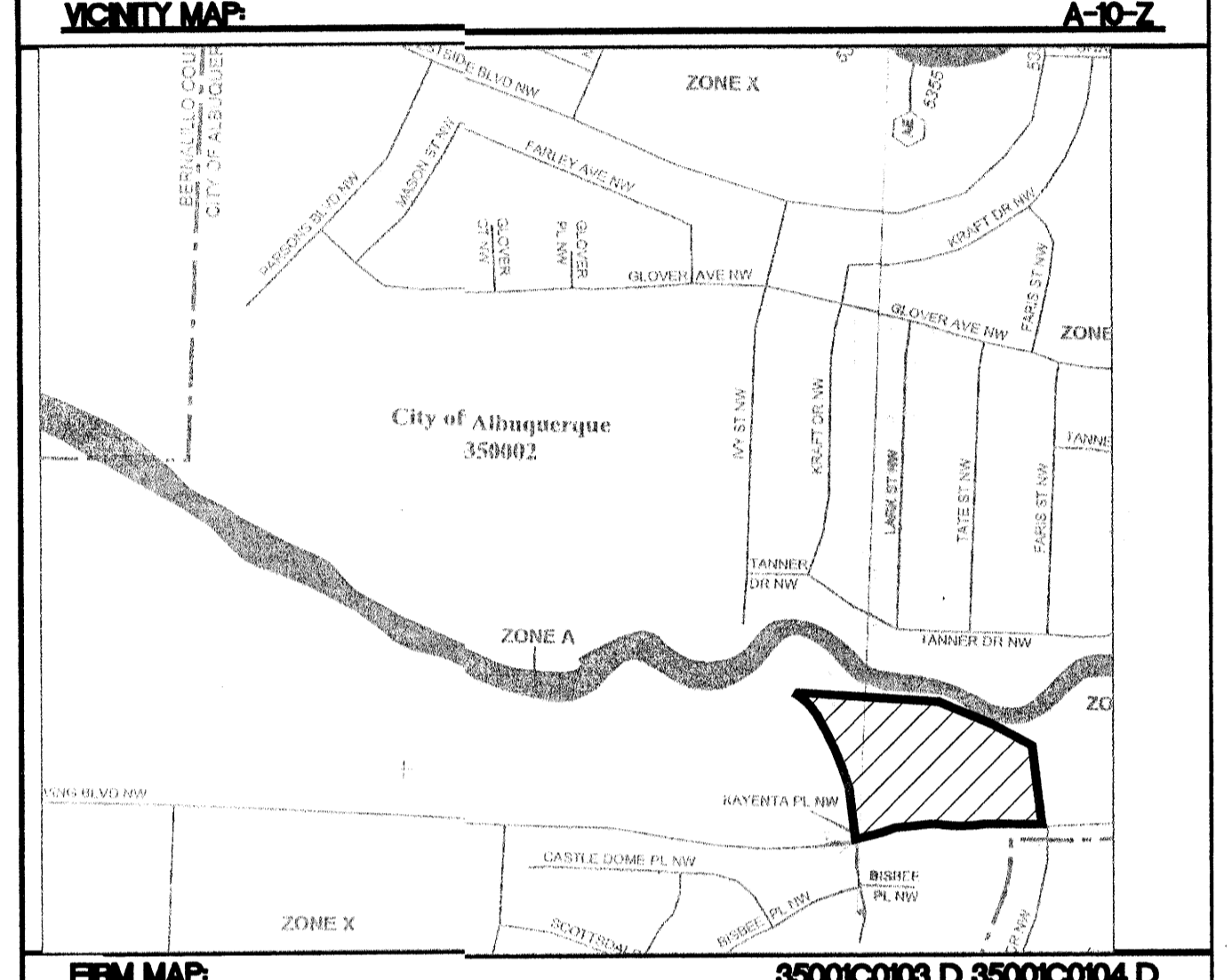
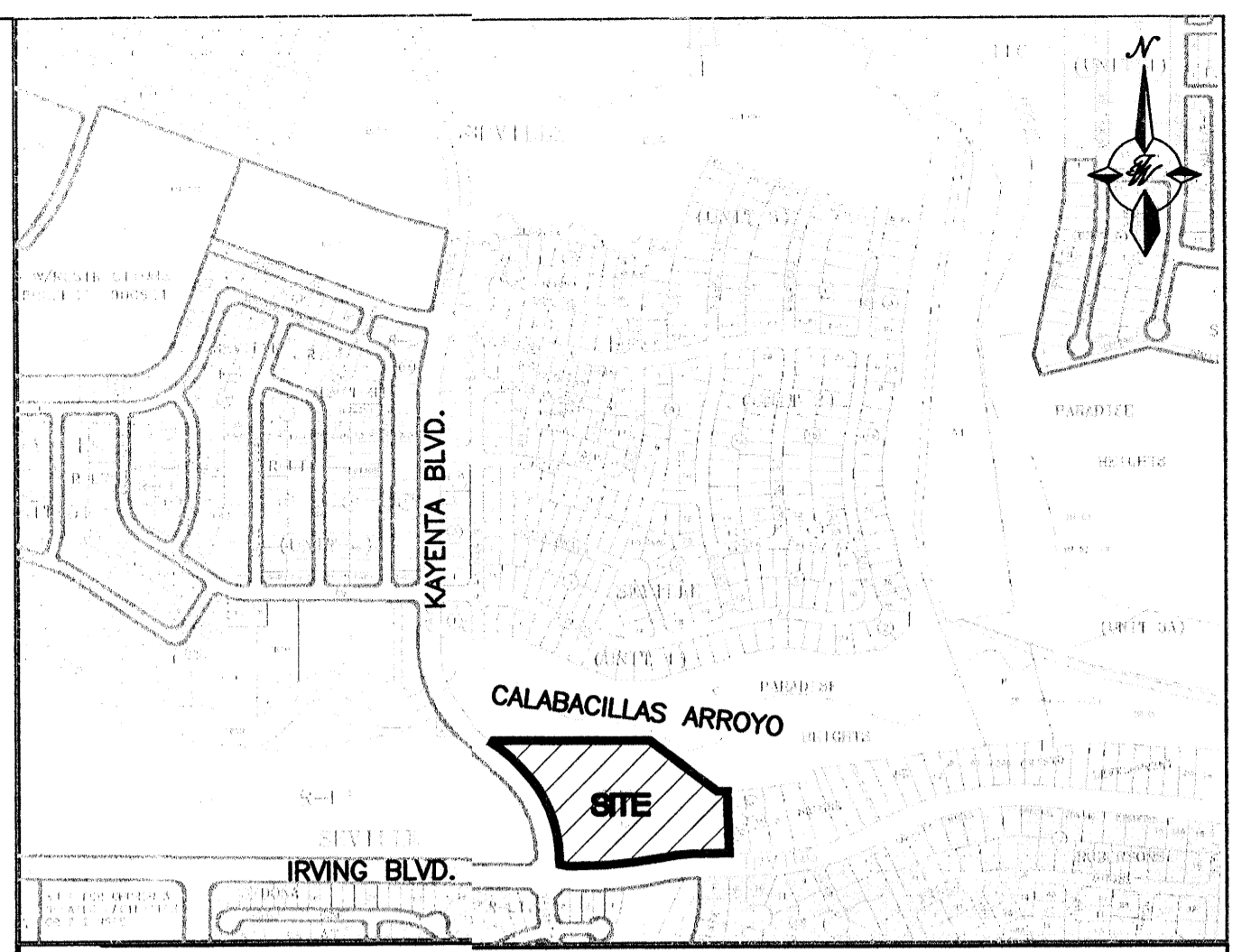
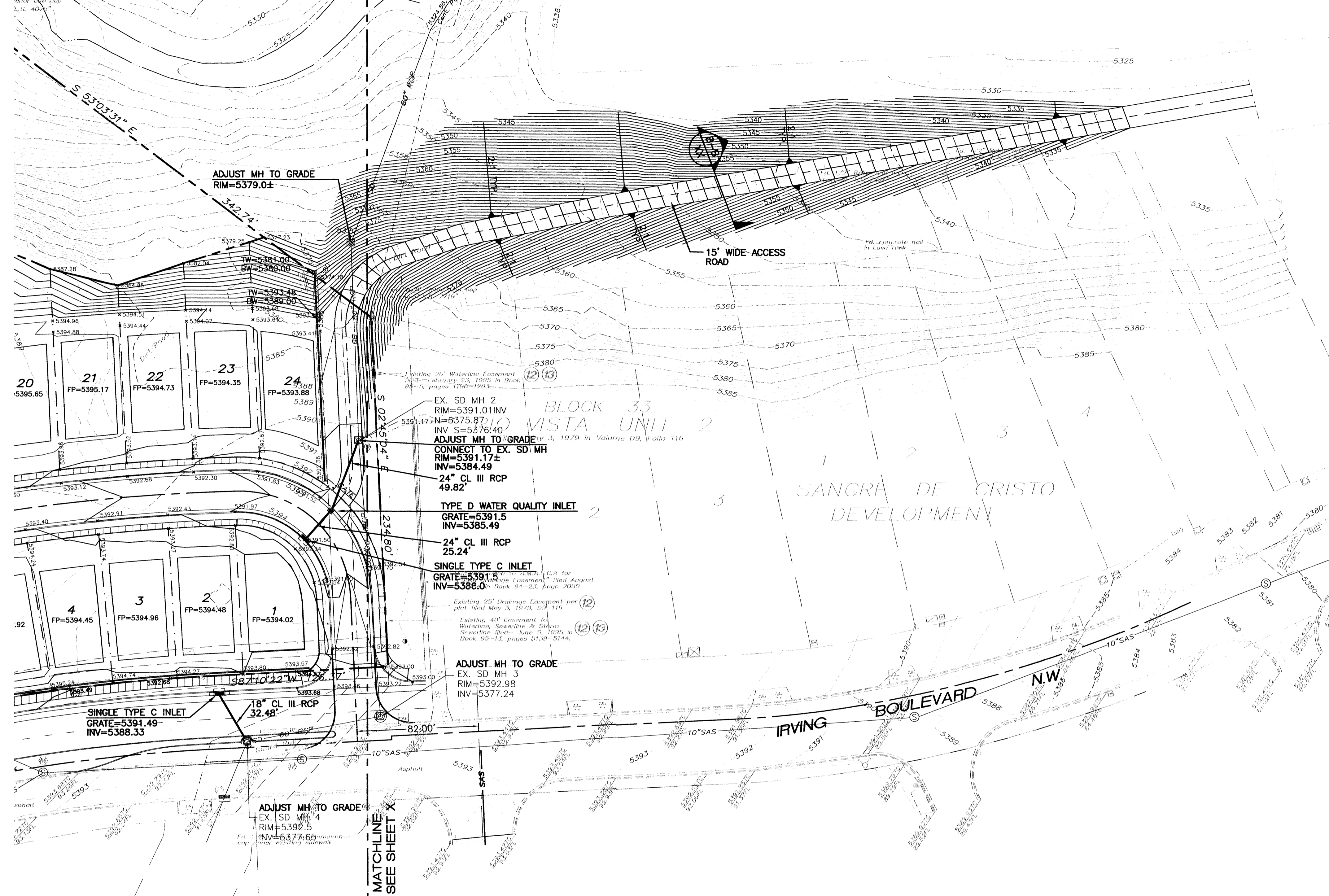
040011P

SHEET 3 OF 3

SURV TEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366
 Fax: 505-897-3377

IRVING
PARADISI HEIGHTS
LANDS OF AMAFCA

Albuquerque Control Survey Monument "SANIBERN"
New Mexico State Plane Coordinates, Central
Zone (NAD 27) as published:
Y=1,534,209.29
X=361,854.29
Elevation=5456.92' (SLD 1929)
Ground to Geoid factor=0.99966079



LEGAL DESCRIPTION:
TRACT 1D, SEVILLE SUBDIVISION AND AN UNPLATTED PARCEL

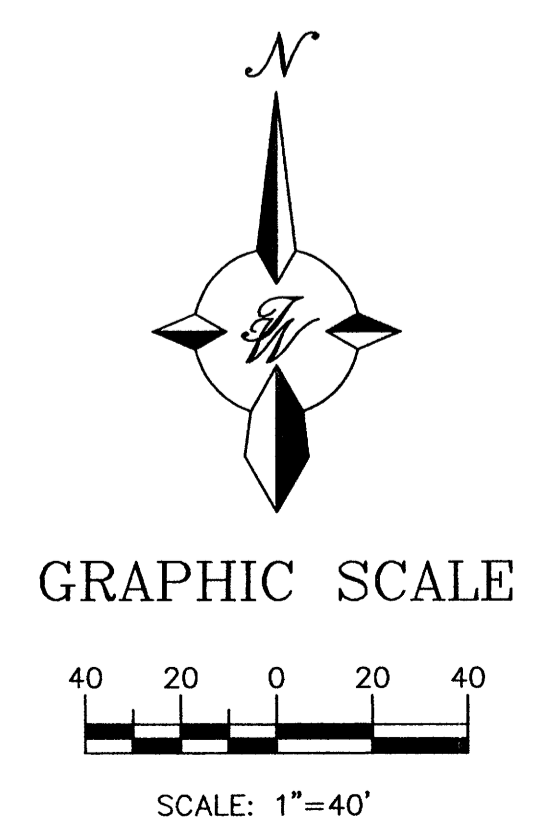
NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

| | |
|--|---|
| | EXISTING STORM SEWER MANHOLE |
| | EXISTING STORM SEWER LINE |
| | PROPOSED STORM SEWER MANHOLE |
| | PROPOSED STORM SEWER LINE |
| | EXISTING CURB & GUTTER |
| | EXISTING CONTOUR (MAJOR) |
| | EXISTING CONTOUR (MINOR) |
| | BOUNDARY LINE |
| | AMAFCA PRUDENT LINE |
| | EASEMENT |
| | PROPOSED RETAINING WALL (RW) |
| | PROPOSED SCREEN WALL |
| | PROPOSED TEMPORARY ASPHALT CURB |
| | PROPOSED MOUNTABLE CURB & GUTTER |
| | PROPOSED STANDARD CURB & GUTTER |
| | PROPOSED 3:1 SLOPE TIE AREA |
| | PROPOSED 1.5:1 SLOPE TIE AREA W/SLOPE TREATMENT |
| | AREA TO BE CUT DOWN TO GENERATE EXCESS DIRT |

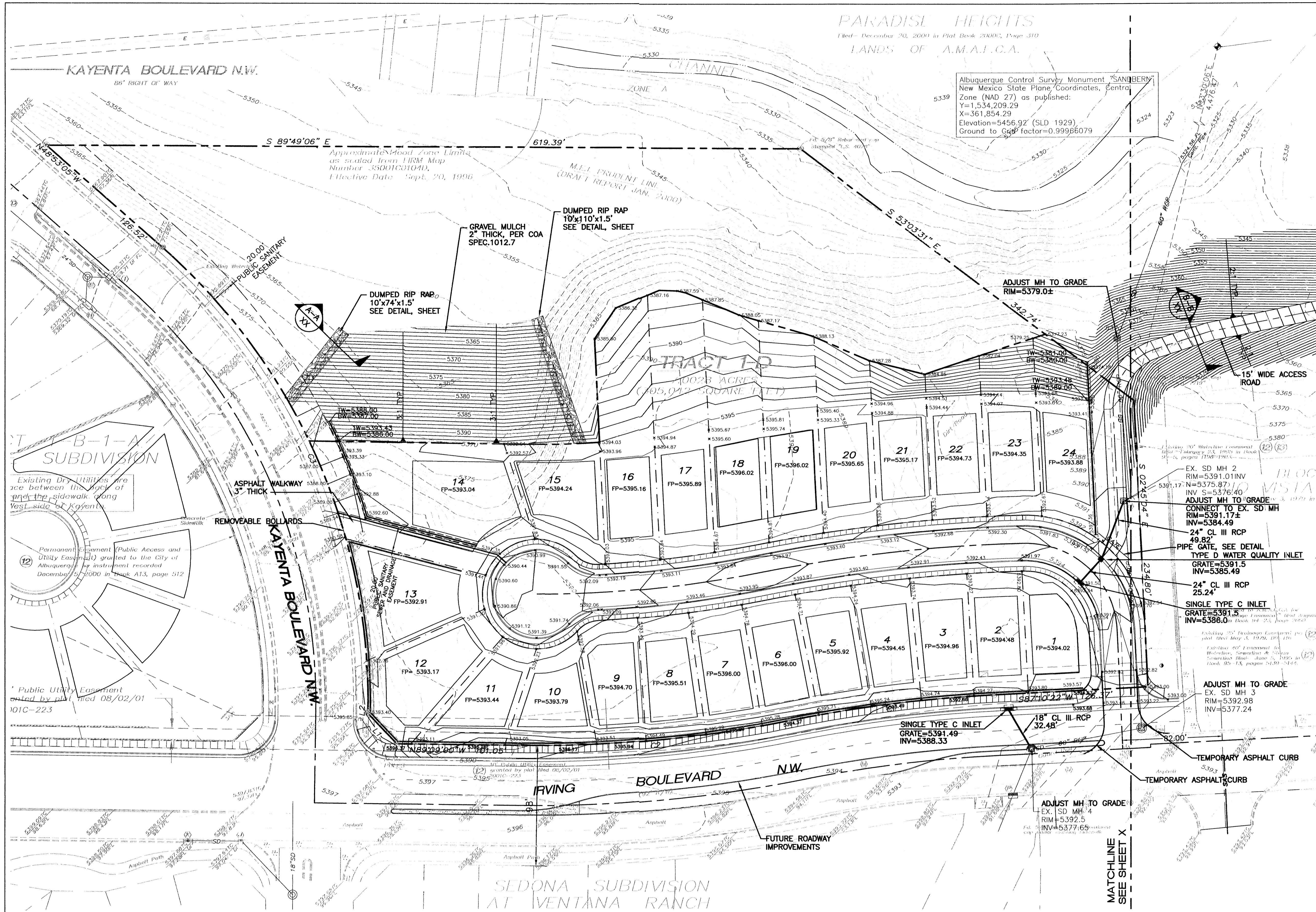
- AMAFCA STANDARD NOTES:**
1. AMAFCA FIELD ENGINEER SHALL BE NOTIFIED 48-HOURS PRIOR TO ANY WORK WITHIN THE AMAFCA RIGHT OF WAY. TEL 884-2215 JERRY LOVATO.
 2. NO WORK WILL BE PERFORMED IN THE AMAFCA RIGHT OF WAY BETWEEN MAY 15 AND OCTOBER 15 WITHOUT WRITTEN PERMISSION FROM AMAFCA.
 3. ALL SUBGRADE, BACKFILL AND EMBANKMENT SHALL BE COMPACTED 95% (MODIFIED PROCTOR) WITHIN THE AMAFCA RIGHT OF WAY. TESTING REPORTS SHALL BE PROVIDED TO AMAFCA FIELD ENGINEER.
 4. AMAFCA FIELD ENGINEER WILL BE NOTIFIED 48-HOURS PRIOR TO FINAL INSPECTION OF ANY FACILITIES WITHIN THE AMAFCA RIGHT OF WAY.
 5. ALL DISTURBED GROUND AREAS SHALL BE REVEGETATED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SECTION 1012 NATIVE GRASS SEEDING, AS CURRENTLY UPDATED.

- EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
 4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.



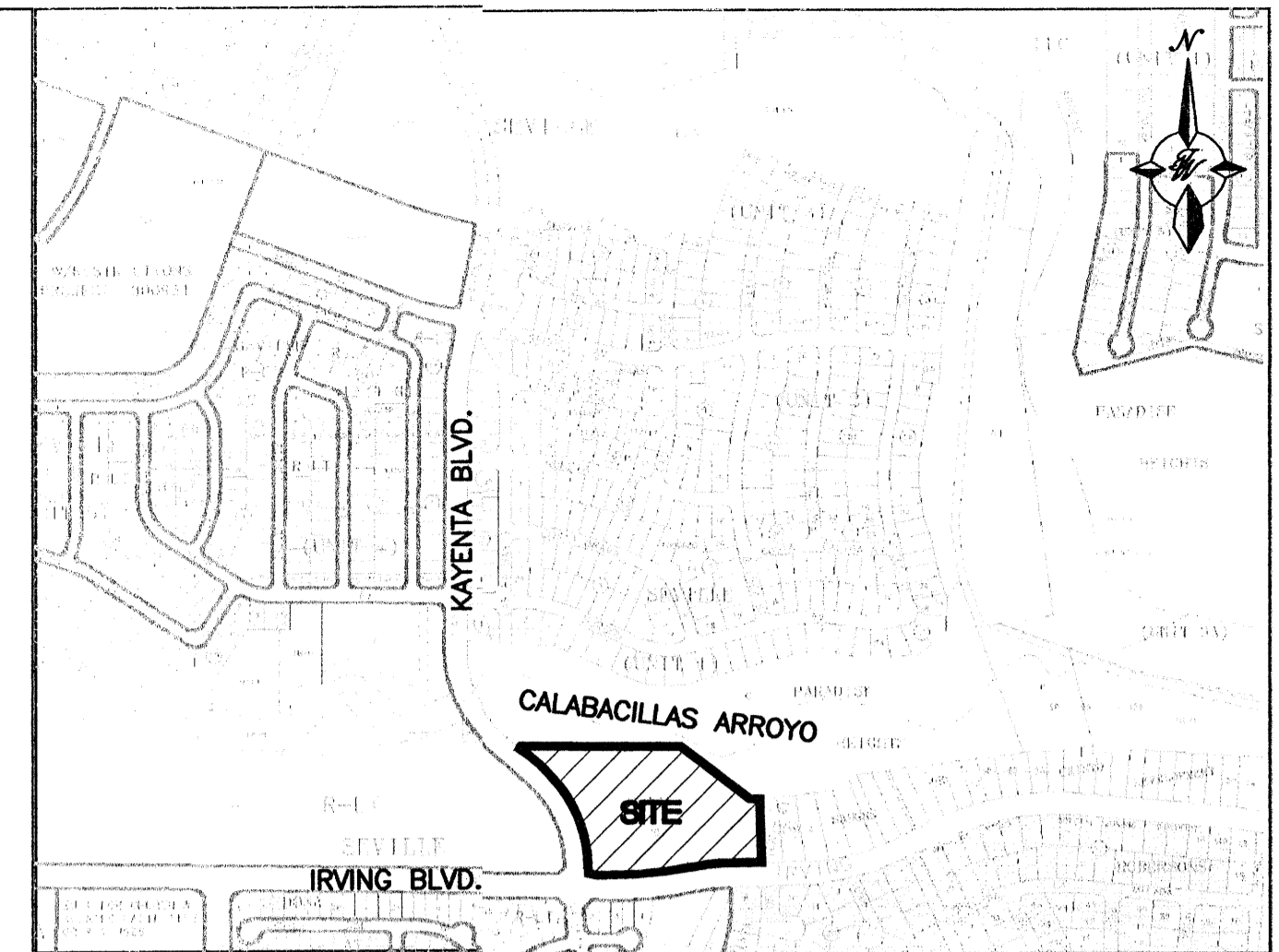
ROUGH GRADING APPROVAL

| | | |
|----------------------------------|---|-----------------------|
| ENGINEER'S SEAL | SEVILLE UNIT 9 | DRAWN BY PMT |
| | | DATE 04-23-04 |
| | GRADING AND DRAINAGE PLAN - B | 2429GRB_06-15-04 |
| | TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100 | SHEET # 4 of X |
| RONALD R. BOHANNAN P.E. #7868 | | JOB # 240029 |

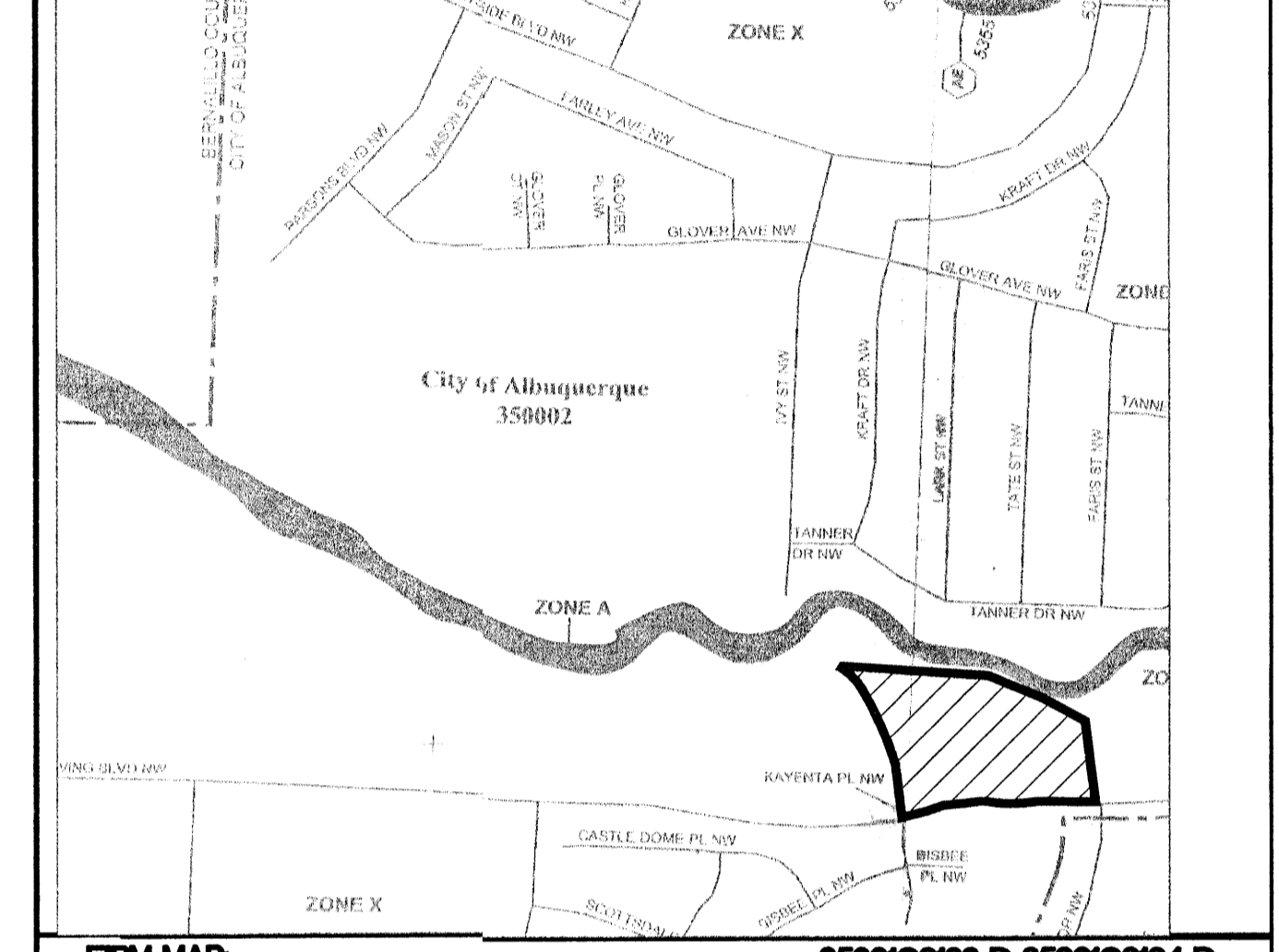


PARADISE HEIGHTS
 Filed - December 30, 2009 in Plat Book 20000, Page 310
 LANDS OF A.M.A.F.C.A.

Albuquerque Control Survey Monument "SAN BERN"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y=1,534,209.29
 X=361,854.29
 Elevation=5456.92' (SLD 1929)
 Ground to CGP factor=0.99966079



VICINITY MAP A-10-Z



FFM MAP 35001C0103 D 35001C0104 D

LEGAL DESCRIPTION:
 TRACT 10, SEVILLE SUBDIVISION AND AN UNPLATTED PARCEL

NOTES:
 1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

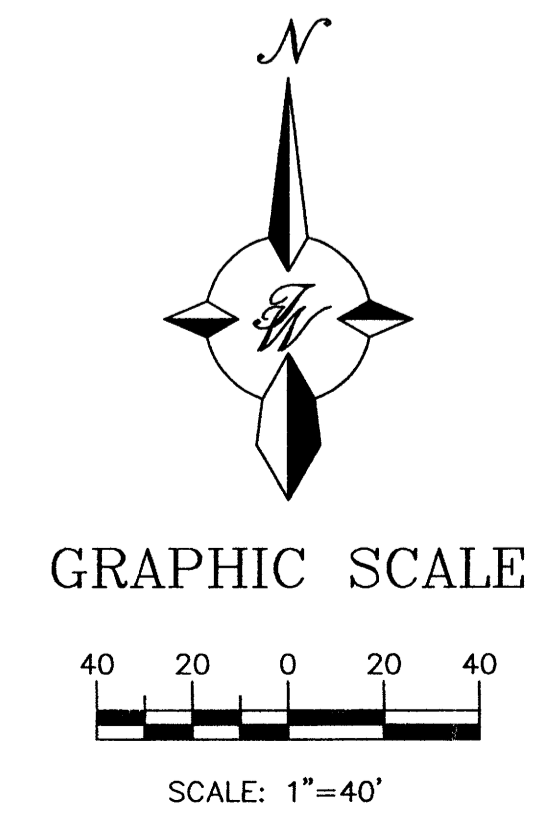
| | |
|--|--|
| | EXISTING STORM SEWER MANHOLE |
| | EXISTING STORM SEWER LINE |
| | PROPOSED STORM SEWER MANHOLE |
| | EXISTING STORM SEWER LINE |
| | EXISTING CURB & GUTTER |
| | EXISTING CONTOUR (MAJOR) |
| | EXISTING CONTOUR (MINOR) |
| | BOUNDARY LINE |
| | AMAFCA PRUDENT LINE |
| | EASEMENT |
| | PROPOSED RETAINING WALL (RW) |
| | PROPOSED SCREEN WALL |
| | PROPOSED TEMPORARY ASPHALT CURB |
| | PROPOSED MOUNTABLE CURB & GUTTER |
| | PROPOSED STANDARD CURB & GUTTER |
| | PROPOSED 3:1 SLOPE TIE AREA - GRAVEL MULCH |
| | PROPOSED 2:1 SLOPE TIE AREA |

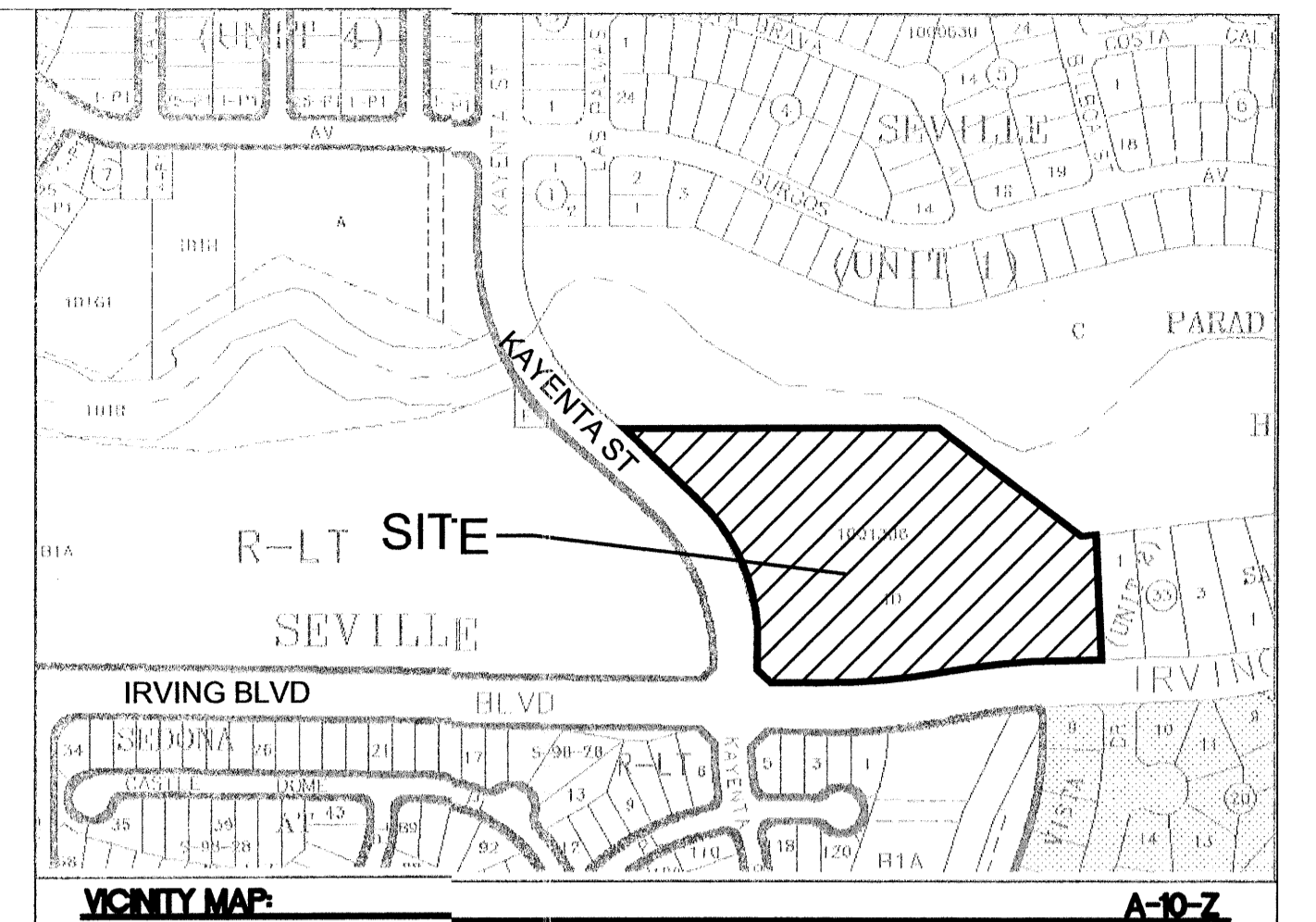
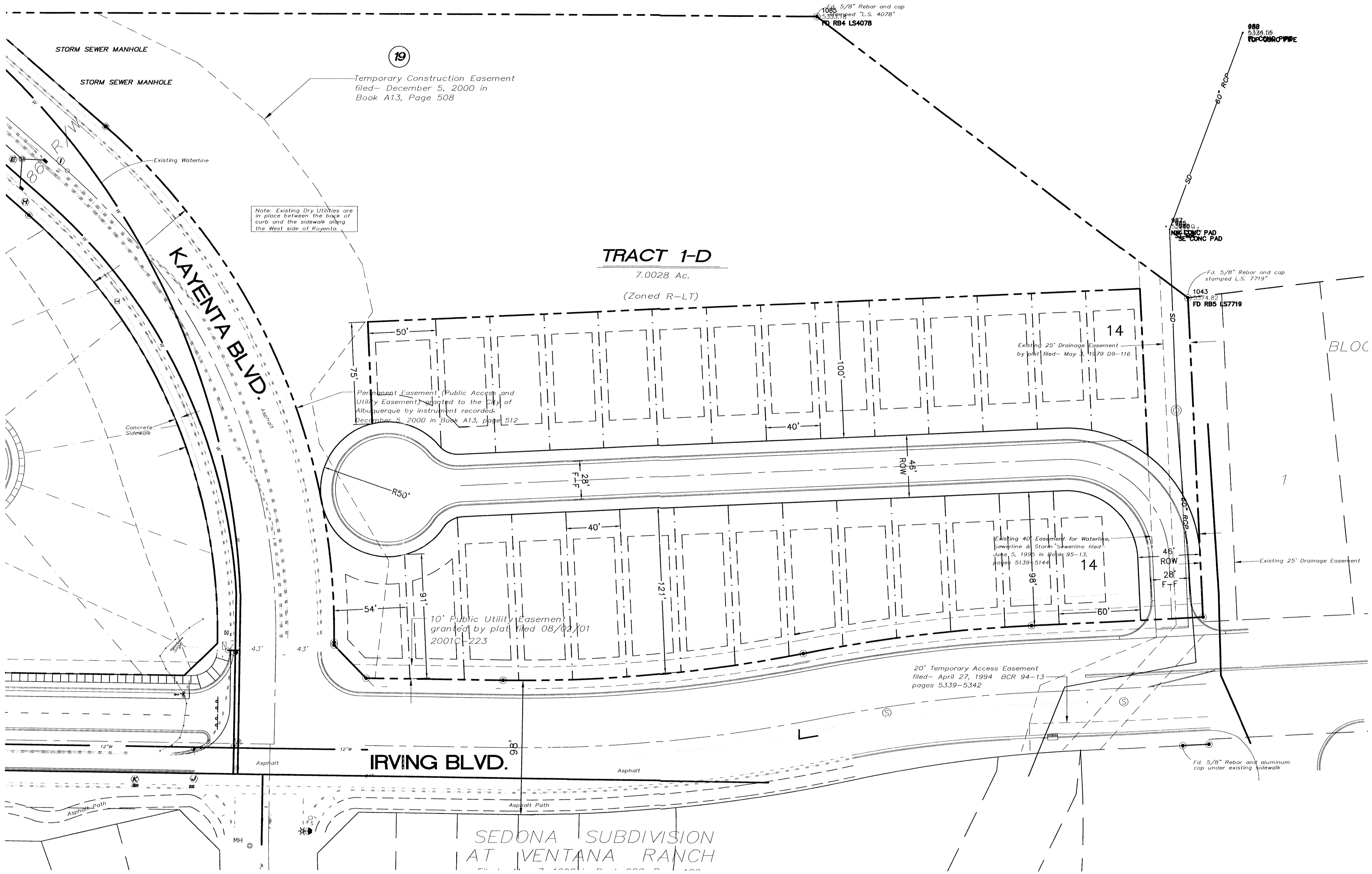
ROUGH GRADING APPROVAL

| | | |
|---|---|---|
| ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868 | SEVILLE UNIT 9 GRADING AND DRAINAGE PLAN - A | DRAWN BY: PMT DATE: 04-23-04 2429GRB_06-15-04 |
| | TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100 | SHEET # 3 of X JOB # 240029 |

- AMAFCA STANDARD NOTES:**
- AMAFCA FIELD ENGINEER SHALL BE NOTIFIED 48-HOURS PRIOR TO ANY WORK WITHIN THE AMAFCA RIGHT OF WAY. TEL 884-2215 JERRY LOVATO.
 - NO WORK WILL BE PERFORMED IN THE AMAFCA RIGHT OF WAY BETWEEN MAY 15 AND OCTOBER 15 WITHOUT WRITTEN PERMISSION FROM AMAFCA.
 - ALL SUBGRADE, BACKFILL AND EMBANKMENT SHALL BE COMPACTED 95% (MODIFIED PROCTOR) WITHIN THE AMAFCA RIGHT OF WAY. TESTING REPORTS SHALL BE PROVIDED TO AMAFCA FIELD ENGINEER.
 - AMAFCA FIELD ENGINEER WILL BE NOTIFIED 48-HOURS PRIOR TO FINAL INSPECTION OF ANY FACILITIES WITHIN THE AMAFCA RIGHT OF WAY.
 - ALL DISTURBED GROUND AREAS SHALL BE REVEGETATED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SECTION 1012 NATIVE GRASS SEEDING, AS CURRENTLY UPDATED.

- EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
 - REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE





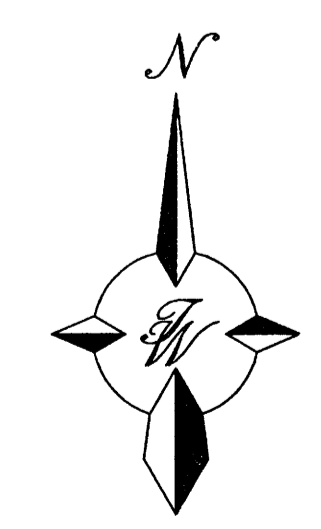
VICINITY MAP: A-10-Z

LEGAL DESCRIPTION:
TRACT 1D, SEVILLE

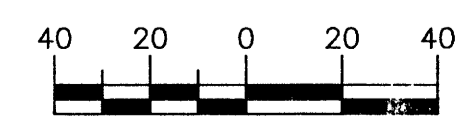
NOTES:
1. ---

| LEGEND | DESCRIPTION |
|--------|------------------------|
| | EXISTING CURB & GUTTER |
| | PROPOSED CURB & GUTTER |
| | BOUNDARY LINE |
| | EXISTING BOUNDARY LINE |
| | EXISTING CONTOUR |
| | EXISTING INDEX CONTOUR |
| | RIGHT-OF-WAY |
| | LOT LINES |

| SITE DATA | |
|-----------------|-----------------------|
| PROPOSED USAGE: | SINGLE FAMILY HOUSING |
| TRACT AREA: | 7 AC |
| NUMBER OF LOTS: | 28 |
| DENSITY: | - |
| ZONING: | R-1 |



GRAPHIC SCALE



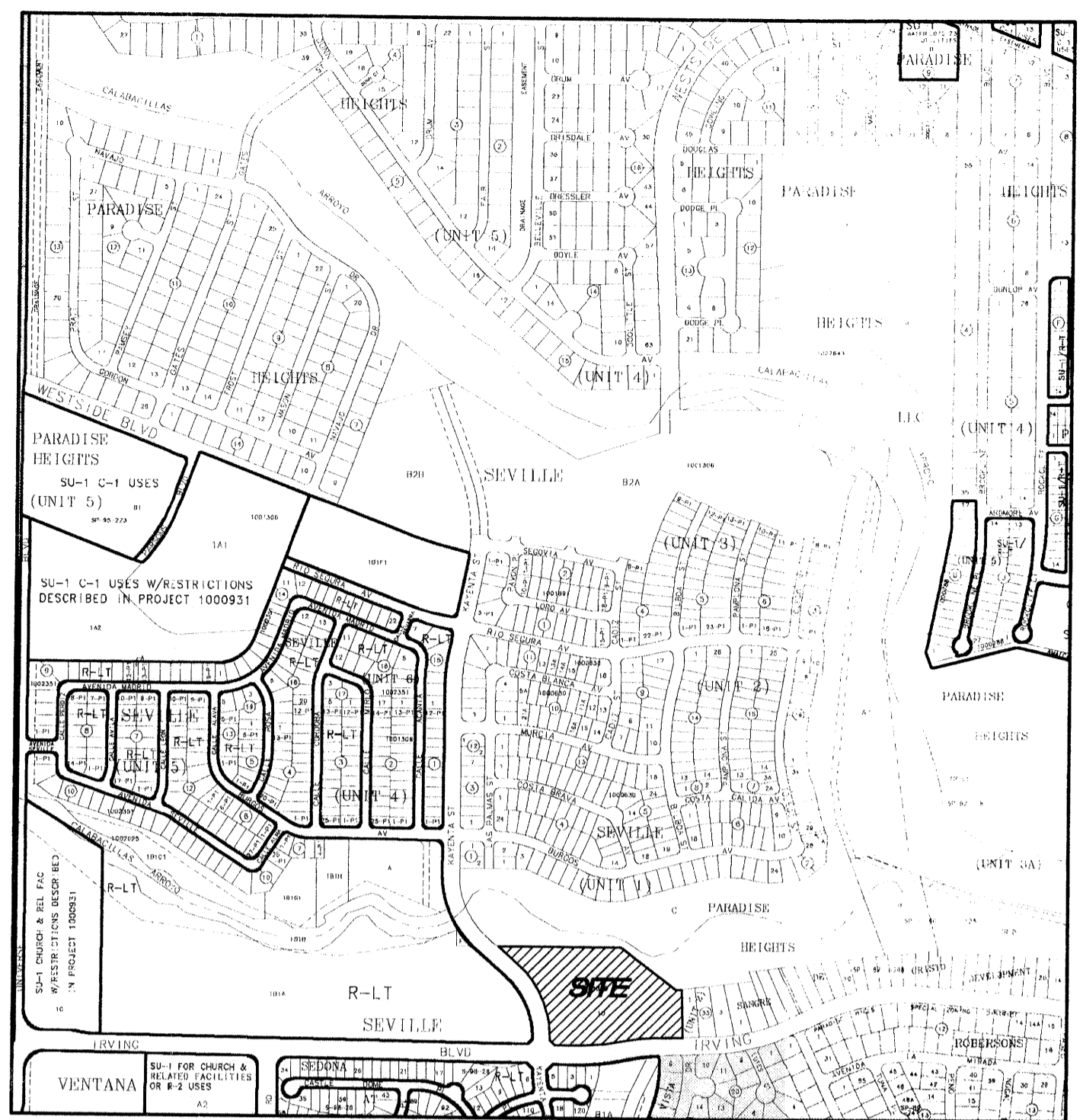
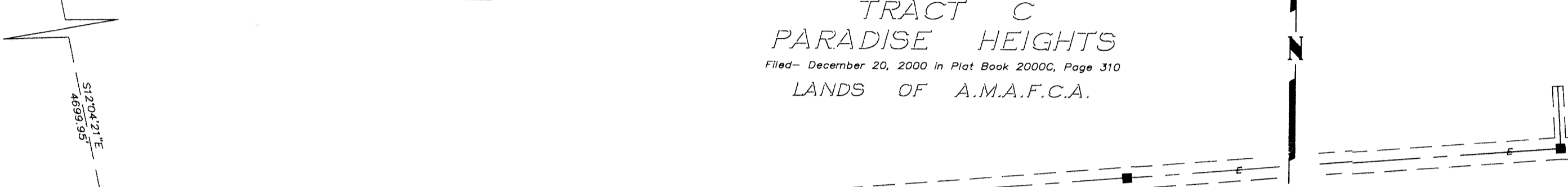
SCALE: 1"=40'

| | | |
|----------------------------------|--|---------------------------------|
| ENGINEER'S SEAL | SEVILLE SUBDIVISION UNIT 9 | DRAWN BY: B/JF |
| | SKETCH PLAT | DATE: 04-6-04 |
| RONALD R. BOHANNAN P.E. #7868 | TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100 | Layout-Unit 9_3-24-04 |
| | | SHEET # - JOB # 240029 |

| CURVE | LENGTH | RADIUS | TANGENT | CHORD | CHORD BEARING | DELTA |
|-------|---------|----------|---------|---------|---------------|-----------|
| C1 | 169.74' | 1149.00' | 85.02' | 169.58' | S82°56'27"W | 8°27'51" |
| C2 | 222.71' | 1051.00' | 111.78' | 222.30' | S84°46'46"W | 12°08'29" |
| C3 | 427.94' | 493.00' | 228.50' | 414.63' | N24°01'02"W | 49°44'05" |

| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L1 | 33.94' | S44°09'00"E |
| L2 | 2.00' | N00°51'00"E |
| L3 | 25.06' | S83°10'58"W |
| L4 | 25.00' | N87°14'56"E |
| L5 | 3.42' | N02°45'04"W |

Albuquerque Central Survey Monument "1-A10"
New Mexico State Plane Coordinates, Central
Zone (NAD 27) as published:
Y = 1,534,660.24
X = 358,833.65
Elevation = 5415.16 (SLD 1929)
Ground to grid factor = 0.9996638



PRELIMINARY PLAT

SEVILLE SUBDIVISION UNIT NINE

(BEING A REPLAT OF TRACT 1-D, SEVILLE SUBDIVISION AND AN UNPLATTED PARCEL)

THE TOWN OF ALAMEDA GRANT
PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

APPROVED BY DRB
ON 1/12/05

DECEMBER, 2004

LEGAL DESCRIPTION

Tract "1-D" of the Second Correction Plat Bulk Land Plat of Tracts 1-A, 1-B, 1-C and 1-D, SEVILLE, an Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 8, 2002, in Plat Book 2002C, folio 109.

TOGETHER WITH:

That certain unplatted parcel of land being and comprising an existing Twenty five (25) foot Public Drainage Easement as the same is described in that certain Quitclaim Deed to A.M.A.F.C.A. filed in the office of the County Clerk of Bernalillo County, New Mexico on August 4, 1994 in Book 94-23, Page 2050 and as shown and designated on the plat of Rio Vista Unit 2 filed in the office of the County Clerk of Bernalillo County, New Mexico on May 3, 1979 in Volume 09, folio 116.

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27) and rotated to grid at the Albuquerque Survey Control Monument "SANDBERN".
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page A-10.
- All street centerline monumentation shall be installed at all centerline P.C.'s, P.T.'s, angle points and street intersections and shown thus \odot . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument—Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- Total number of existing Tracts: 2
- Total number of Lots created: 24
- Total number of Tracts created: 2
- Total number of Parcels created: 1
- Total mileage of full width streets created: 0.11 mile.
- Gross Subdivision acreage: 7.1 acres.
- Current Zoning is "R-LT"
- Minimum Lot Size shall be: 4,500 square feet
- Minimum Lot width shall be 45'

DISCLOSURE STATEMENT

- The Purpose of this replat is to:
- Create the 24 residential lots; 1 Parcel and 3 Tracts as shown hereon.
 - Dedicate the additional new public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants
 - Convey Tract 1-D-1 to the City of Albuquerque in fee simple with warranty covenants for "Open Space".
 - Convey Tracts 1-D-2 and 1-D-3 in fee simple with warranty covenants to the Albuquerque Metropolitan Arroyo Flood Control Authority (A.M.A.F.C.A.) for "Drainage right of way".
 - Create Parcel A to legally plat A.M.A.F.C.A. quitclaim parcel as requested by A.M.A.F.C.A.
 - Grant the new public utility and access easements as shown hereon.

APPROVALS

OWNER OF TRACT 1-D
CLEARBROOK INVESTMENTS, INC.
A New Mexico Corporation
By Scott Henry, President

OWNER UNPLATTED (QUITCLAIM) PARCEL - PROPOSED PARCEL A
Albuquerque Metropolitan Arroyo Flood Control Authority
By John P. Kelly 12-7-04
John P. Kelly, AMAFCA Executive Engineer
Note: Signing of Preliminary Plat as owner, in no way acts as approval of any grading and drainage plan.

CITY SURVEYOR
APPROVED FOR STREET NAMES AND CENTERLINE MONUMENTATION
Glen Halkin
Glen Halkin

SURVOTEK, INC.
Consulting Surveyors
6643 Paradise Blvd., N.W., Albuquerque, New Mexico 87114
Phone: 505-897-3368
Fax: 505-897-3377