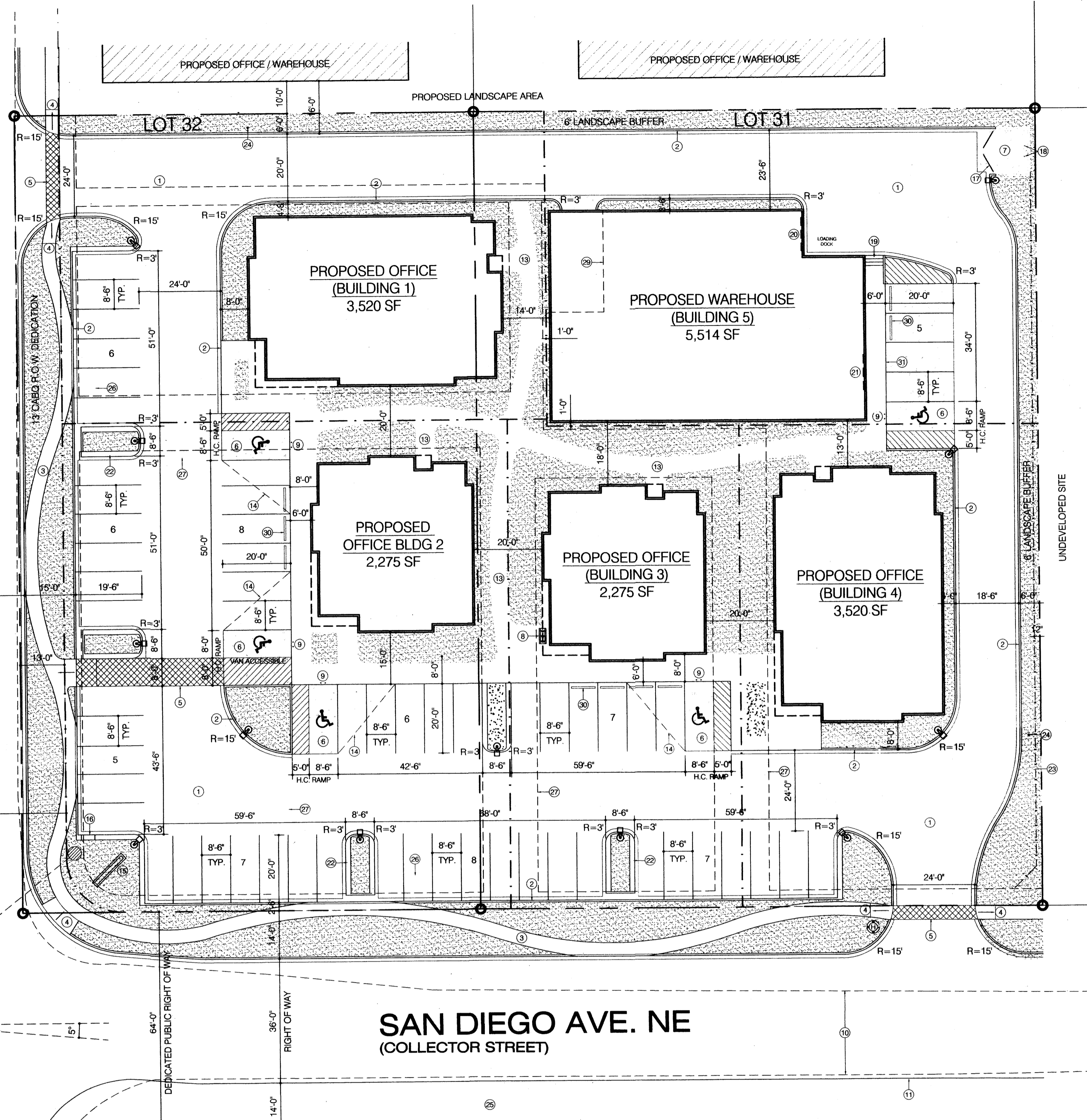


SAN MATEO DR. NE
(COLLECTOR STREET)



DEDICATED PUBLIC RIGHT OF WAY

DEDICATED PUBLIC RIGHT OF WAY

SAN DIEGO AVE. NE
(COLLECTOR STREET)

SITE PLAN
SCALE: 1"=20'

- GENERAL NOTES**
- (C1.1) ALL STANDARD PARKING SPACES SHALL BE 8'-6" W X 20'-0"
 - (C1.2) ALL HANDICAP PARKING SPACES SHALL BE 8'-0" W X 20'-0" WITH ADJACENT SW STRIPED ACCESSIBLE (1 VAN ACCESSIBLE SPACE PER PROPERTY SHALL HAVE AN 8' WIDE ACCESSIBLE). ALL SPACES SHALL HAVE POLE SIGN AND HANDICAP SYMBOL PAVEMENT MARKINGS.
 - (C1.3) ALL PARKING SPACES, HANDICAP SYMBOLS AND CROSS HATCHED ACCESSIBLES SHALL BE MARKED ON PAVEMENT WITH WHITE ALKYD STRIPING PAINT, TYP.
 - (C1.5) ALL ASPHALT AREAS ARE CROSS ACCESS / PARKING EASEMENTS
 - (C1.6) ALL CONCRETE WALKS ARE CROSS ACCESS UTILITY EASEMENTS
- KEYED NOTES**
- (1) ASPHALT PAVED SURFACE - SEE DETAIL 1/AS-102
 - (2) CONCRETE CURB & GUTTER - SEE DETAILS 2/AS-102 - SEE GRADING PLAN FOR SPECIFIC CURB TYPE LOCATIONS
 - (3) CONCRETE SIDEWALK - SEE DETAIL 3/AS-102 - TYPICAL SIDEWALK WIDTH SHALL BE 4'-0" UNLESS NOTED OTHERWISE.
 - (4) SIDEWALK RAMP - SEE DETAIL 4/AS-102
 - (5) CONCRETE PEDESTRIAN CROSSWALK - SEE DETAIL 6/AS-102
 - (6) HANDICAP ACCESS RAMP - SEE DETAIL 8/AS-102
 - (7) CAST IN PLACE 7" TALL CONCRETE DUMPSTER ENCLOSURE W/ GATES - SEE DETAIL 9 & 10/AS-102
 - (8) PRECAST CONCRETE BIKE RACK - SEE DETAIL 7/AS-102
 - (9) HANDICAP PARKING SPACE SIGN - ONE SIGN PER HANDICAP PARKING SPACE, TYP. - SEE DETAIL 5/AS-102
 - (10) EXISTING PAVING SECTION @ SAN DIEGO
 - (11) NEW (FUTURE) EDGE OF ASPHALT @ SOUTH SIDE SAN DIEGO RIGHT-OF-WAY
 - (12) 5% EQUALS ALLOWABLE ALIGNMENT VARIATION FROM CENTERLINE
 - (13) INTERIOR SIDEWALK TO BE COLORED CONCRETE W/ ROCK SALT FINISH
 - (14) ASPHALT TAPER FROM HANDICAPPED STALL TO STANDARD STALL
 - (15) COLORED CONCRETE MONUMENT SIGN WITH INDIVIDUALLY PRAISED LETTERS - SEE DETAIL 8 & 12/AS-102
 - (16) STORM DRAIN - SEE GRADING & DRAINAGE PLAN
 - (17) DUMPSTER ENCLOSURE - SEE DETAIL 13/AS-102
 - (18) BOLLARDS - 6" CONCRETE FILLED STEEL PIPE
 - (19) CONCRETE STAIRS
 - (20) 30" A.F.F. OVERHEAD DOCK DOOR
 - (21) OVERHEAD DOOR @ GRADE
 - (22) 12" CONCRETE STRIP ADJACENT TO PARKING STALL
 - (23) 6" TALL WROUGHT IRON FENCE, BLACK MATTE PAINT
 - (24) ONE-WAY TRAFFIC SIGN
 - (25) POTENTIAL FUTURE CABO BIKE LANE
 - (26) 6" GENERAL UTILITY EASEMENT - SEE REPEAT
 - (27) WATERSSEWER LINE EASEMENT - SEE REPEAT
 - (28) EXISTING STORM WATER INLET & 42" DRAIN PIPE - SEE GRADING & DRAINAGE PLAN
 - (29) 30" GRADE CHANGE @ WAREHOUSE
 - (30) CONCRETE PARKING BUMPER
 - (31) ROLL CURB FOR OVERHEAD DOOR ACCESS

- LEGEND**
- NEW 14' TALL POLE LIGHT W/ 250 WATT METAL HALIDE LAMPING (FULL CUT-OFF, SHOE BOX TYPE), MOUNTED ON CONCRETE BASE
 - EXISTING FIRE HYDRANT
 - NEW FIRE HYDRANT - SEE SITE UTILITY PLAN
 - EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE

THE SUBJECT PROPERTY IS LOCATED (NEAR, ON) A (FORMER, EXISTING) LANDFILL DUE TO THE SUBJECT PROPERTY BEING (ON, NEAR) A FORMER LANDFILL. CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS SIGNATURED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS" SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

Michael Helton Feb. 9, 2009
ENVIRONMENTAL HEALTH DEPARTMENT

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
FM 1.23.04
SIGNATURE & DATE

LEGAL DESCRIPTION:
LOTS NUMBERED THIRTY-ONE (31) AND THIRTY-TWO (32), IN BLOCK NUMBERED FIVE (5), TRACT 'A', UNIT 'B', NORTH ALBUQUERQUE ACRES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN VOLUME D, FOLIO 130.

LEGAL NOTES:
LOT 31: CITY OF ALBUQUERQUE UPC NO. 101806502711730702
LOT 32: CITY OF ALBUQUERQUE UPC NO. 101806501117230701

SITE TOTALS
SITE AREA: 67,040 SF (1.54 ACRES)
LANDSCAPE AREA: 15,725 SF (23%)
(R.O.W. LANDSCAPING: 4,088 SF)
BUILDING AREA: 16,630 SF (25%)
PARKING SPACES REQUIRED: 55 + 3 HC SPACES + 1 VAN SPACE = 59
PARKING SPACES PROVIDED: 59 + 4 HC SPACES + 1 VAN SPACE = 64
BIKE RACK SPACES REQUIRED: 1 / 20 PARKING SPACES = 3
BIKE RACK SPACES PROVIDED: 3

BUILDING 1
USE: OFFICE/RETAIL
SITE AREA: 12,040 SF
GROSS BUILDING AREA: 3,520 SF (29%)
NET LEASABLE AREA: 3,300 SF
PARKING SPACES REQUIRED: 3,300 / 200 = 17
PARKING SPACES PROVIDED: 17 + 1 HC SPACE = 18

BUILDING 2
USE: OFFICE/RETAIL
SITE AREA: 18,841 SF
GROSS BUILDING AREA: 2,275 SF (12%)
NET LEASABLE AREA: 2,100 SF
PARKING SPACES REQUIRED: 2,100 / 200 = 11
PARKING SPACES PROVIDED: 11 + 1 HC SPACE = 12

BUILDING 3
USE: OFFICE/RETAIL
SITE AREA: 9,732 SF
GROSS BUILDING AREA: 2,275 SF (23%)
NET LEASABLE AREA: 2,100 SF
PARKING SPACES REQUIRED: 2,100 / 200 = 11
PARKING SPACES PROVIDED: 11 + 1 HC SPACE = 12

BUILDING 4
USE: OFFICE/RETAIL
SITE AREA: 12,559 SF
GROSS BUILDING AREA: 3,520 SF (28%)
NET LEASABLE AREA: 3,300 SF
PARKING SPACES REQUIRED: 3,300 / 200 = 17
PARKING SPACES PROVIDED: 17 + 1 HC SPACE = 18

BUILDING 5
USE: WAREHOUSE
SITE AREA: 13,322 SF
GROSS BUILDING AREA: 5,040 SF (38%)
NET LEASABLE AREA: 4,790 SF
PARKING SPACES REQUIRED: 4,790 / 2,000 = 3
PARKING SPACES PROVIDED: 4 + 1 HC SPACE = 5

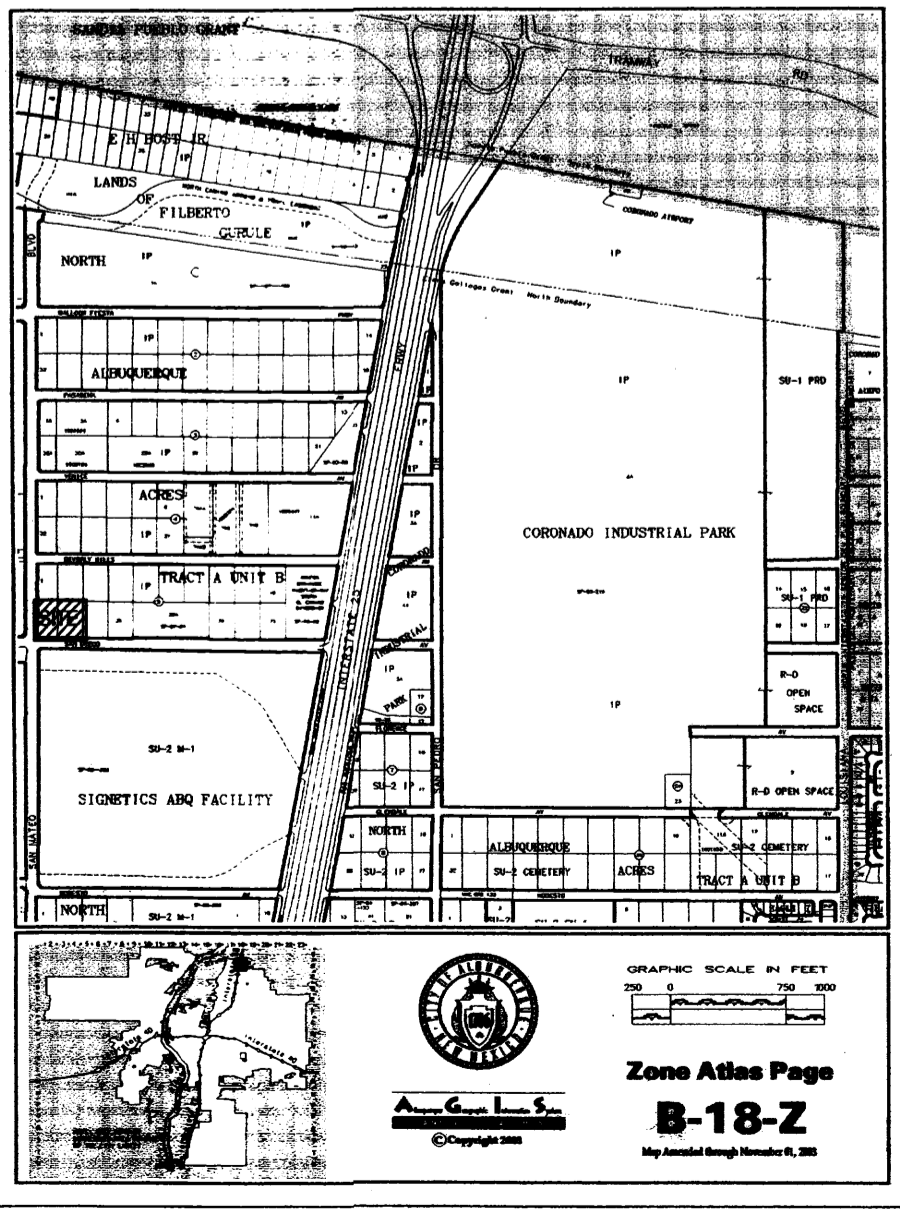
PROJECT NUMBER: 100-3173
APPLICATION NUMBER: 04-00005

IS AN INFRASTRUCTURE LIST REQUIRED? [X] YES [] NO. IF YES, THEN SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Michael Helton</i>	1-23-04	DATE
<i>Roger A. Hagan</i>	1-28-04	DATE
<i>Christina Santol</i>	1/23/04	DATE
<i>Bradley B. Bijn</i>	4/27/04	DATE
N/A		
<i>Michael Helton</i>	1-23-04	DATE
<i>Sharon Watson</i>	2/9/04	DATE

*Environmental Health, if necessary



INSITE WORKS

ADDRESS: 57 ROCK POINT PLACE NE
ALBUQUERQUE, NM 87122
TELEPHONE: (505) 858-0100
FAX: (505) 858-1000
WEBSITE: www.insiteworks.com
KS email: kslight@insiteworks.com

THIS DRAWING IS THE PROPERTY OF INSITEWORKS AND SHALL NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESSED WRITTEN CONSENT.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

PROJECT 1003173

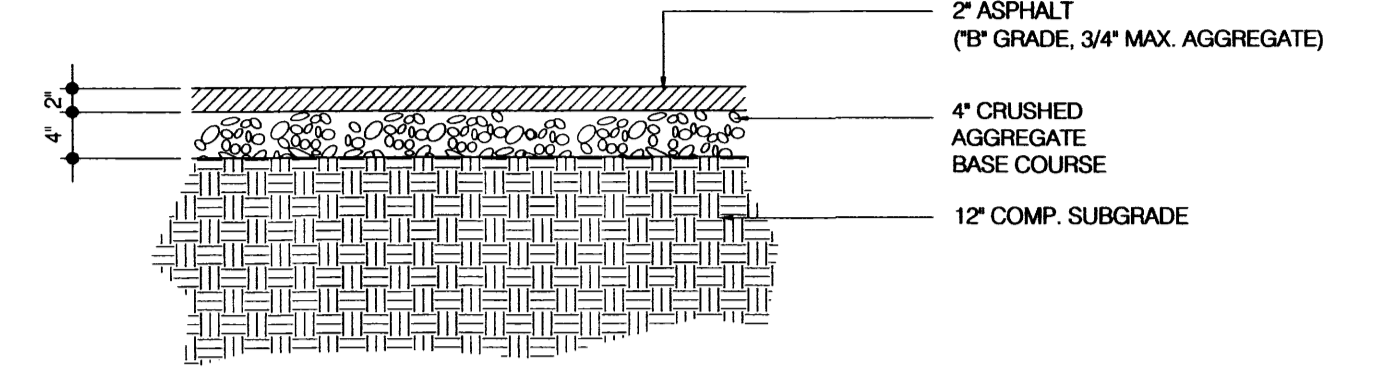
verano PLAZA

DATE ISSUED: 1/22/04
EDITION: DRB SUBMITTAL / BUILDING PERMIT
PROJECT ID: VERANO PLAZA
CONSULTANT: INSITEWORKS

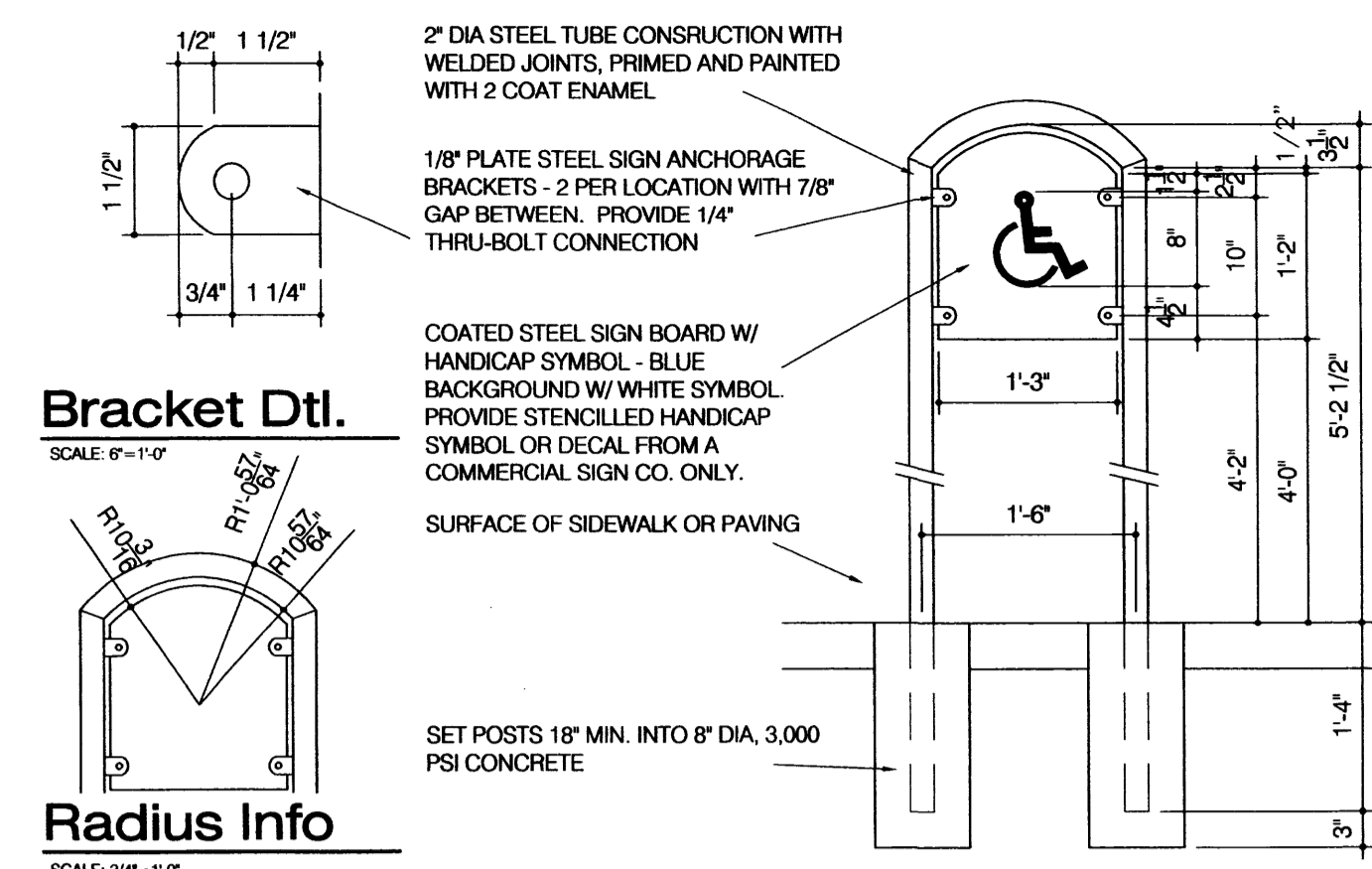
SHEET INDEX

- AS-101 ARCHITECTURAL SITE PLAN
- AS-102 SITE PLAN DETAILS
- L-101 LANDSCAPE PLAN
- C-1.0 GRADING & DRAINAGE PLAN
- C-2.0 UTILITIES SITE PLAN
- A-201 BUILDING ELEVATIONS
- REPEAT DRAFT REPEAT

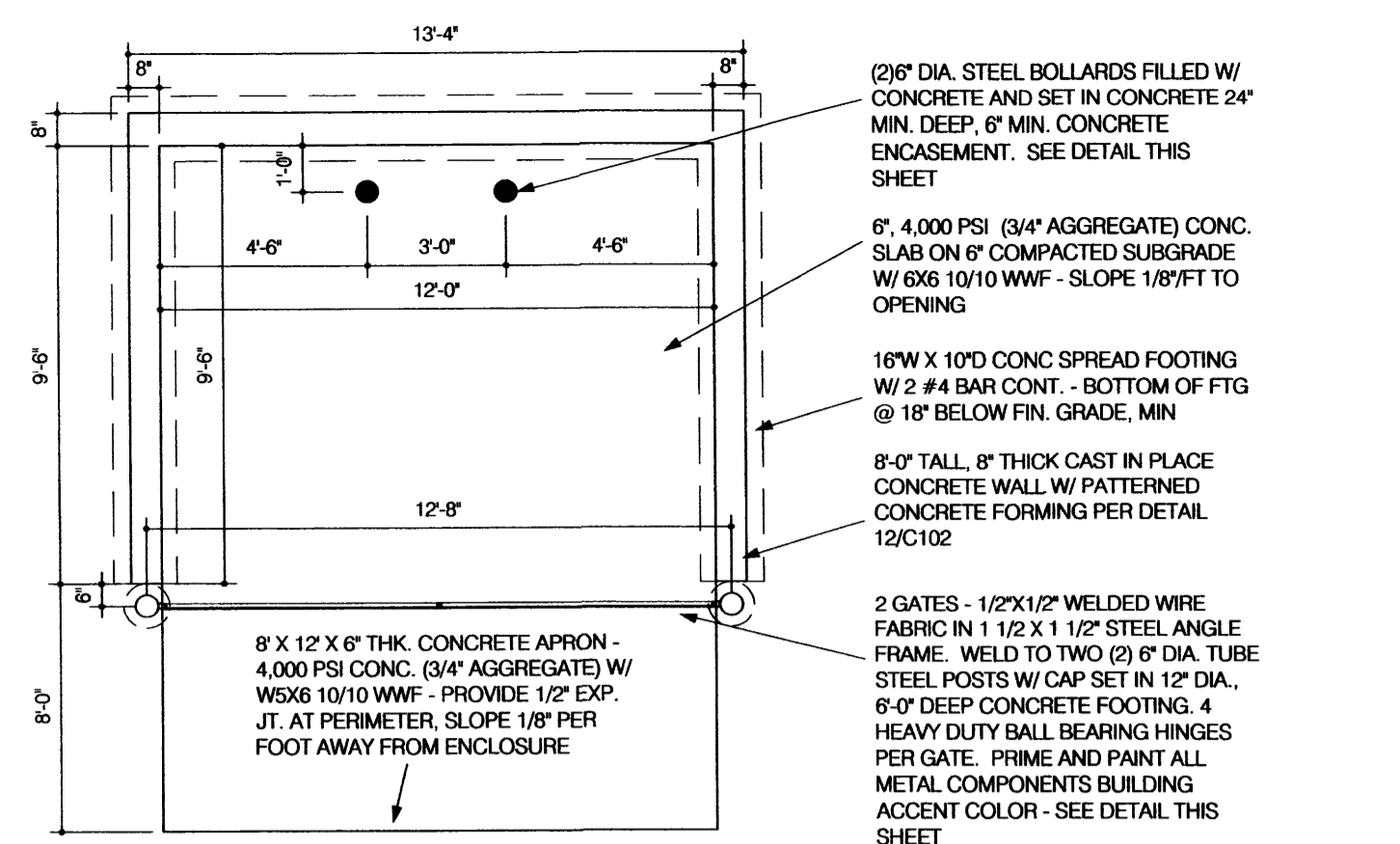
AS-101



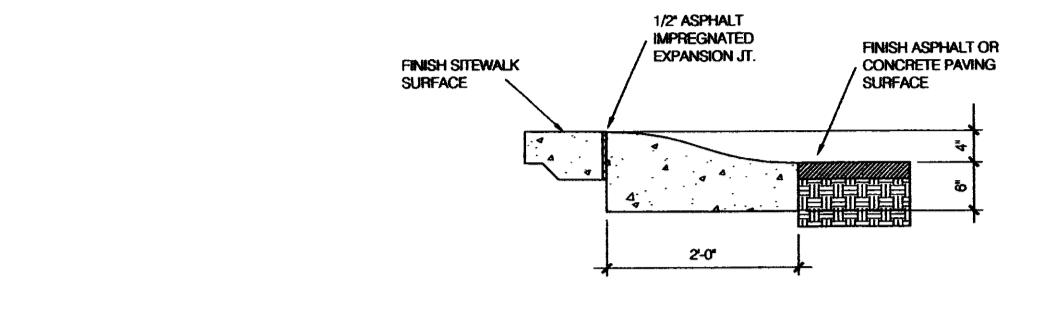
1 ASPHALT PAVING - MEDIUM
SCALE: 3/4"=1'-0"



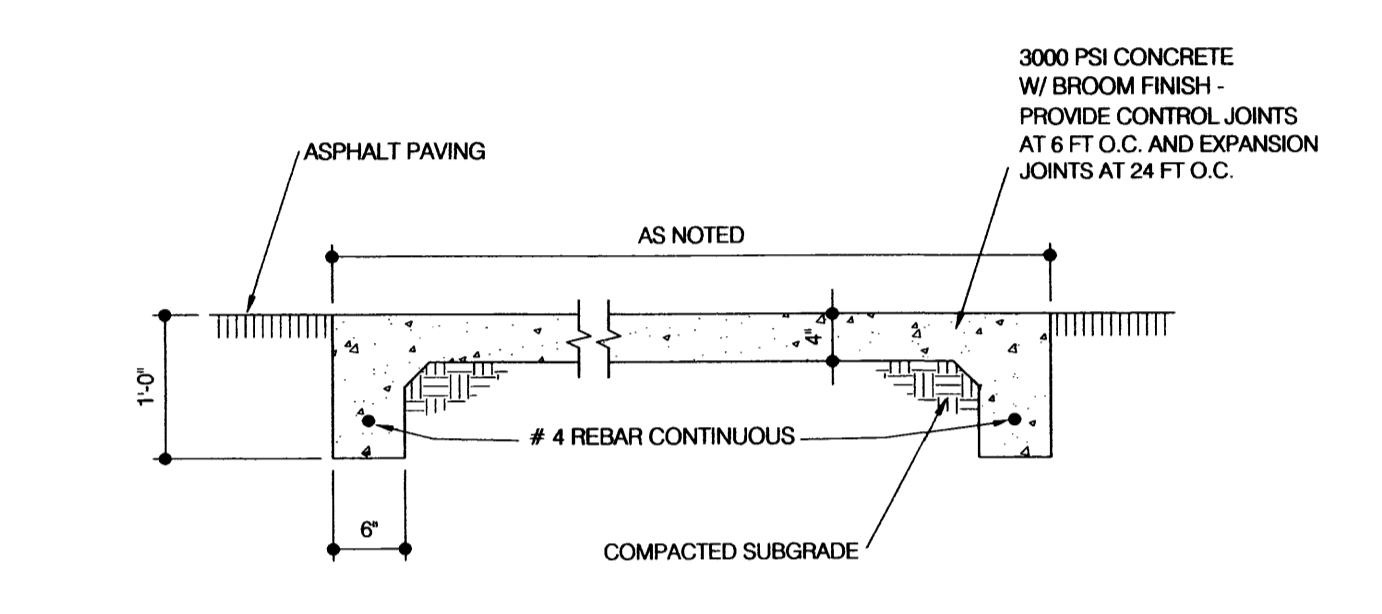
5 HANDICAP PARKING SIGN DETAIL
SCALE: 3/4"=1'-0"



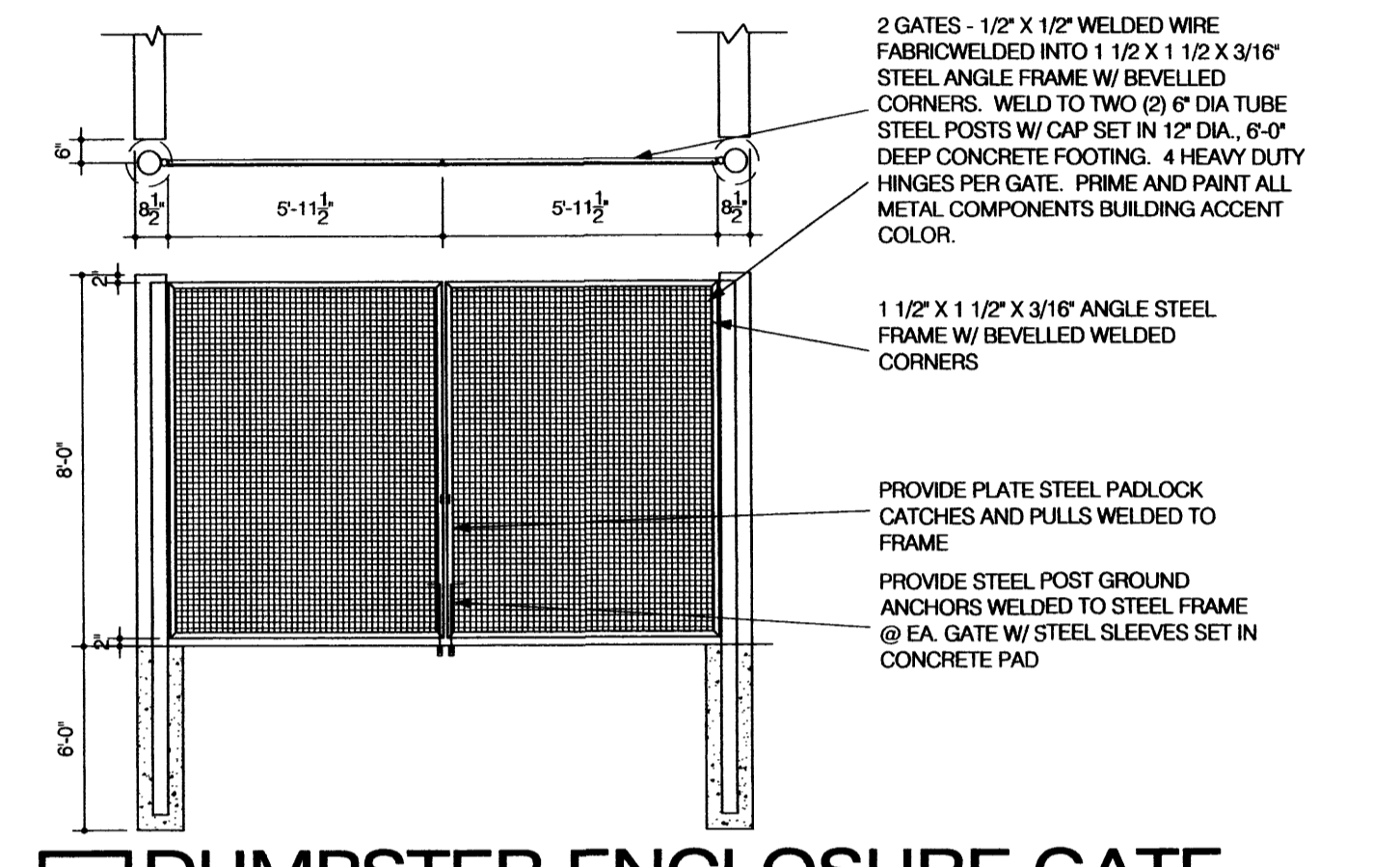
9 DUMPSTER ENCLOSURE-CONC
SCALE: 1/4"=1'-0"



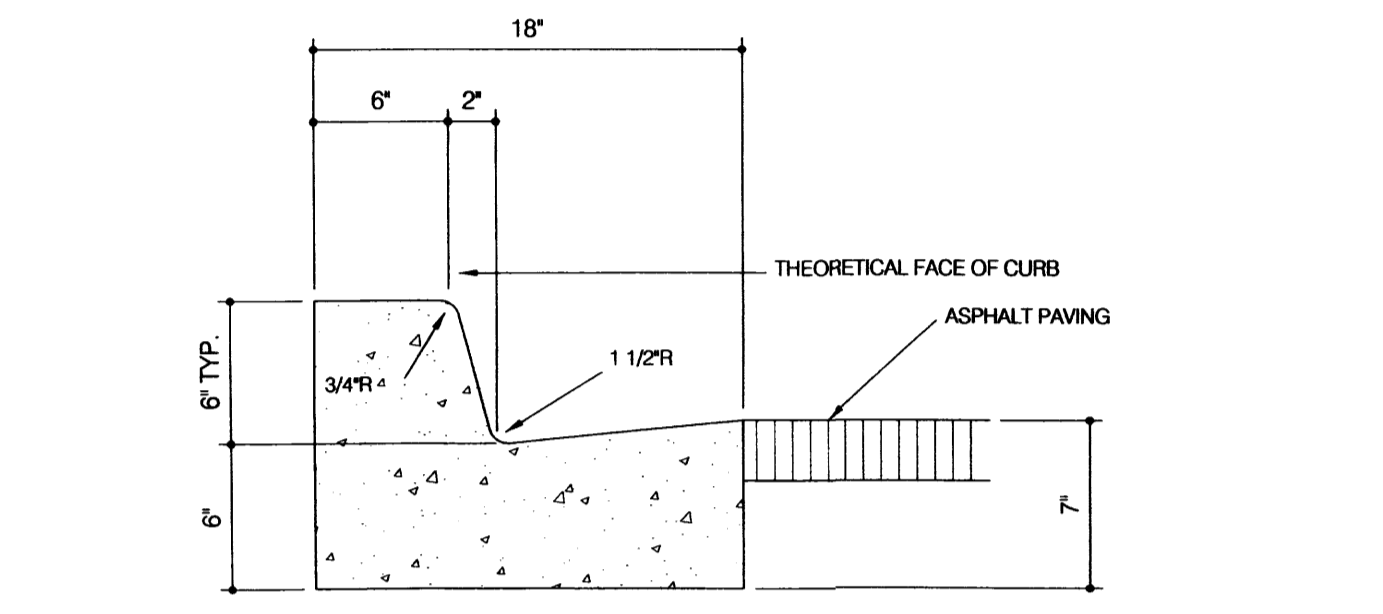
13 ROLL CURB DETAIL
SCALE: 1/2"=1'-0"



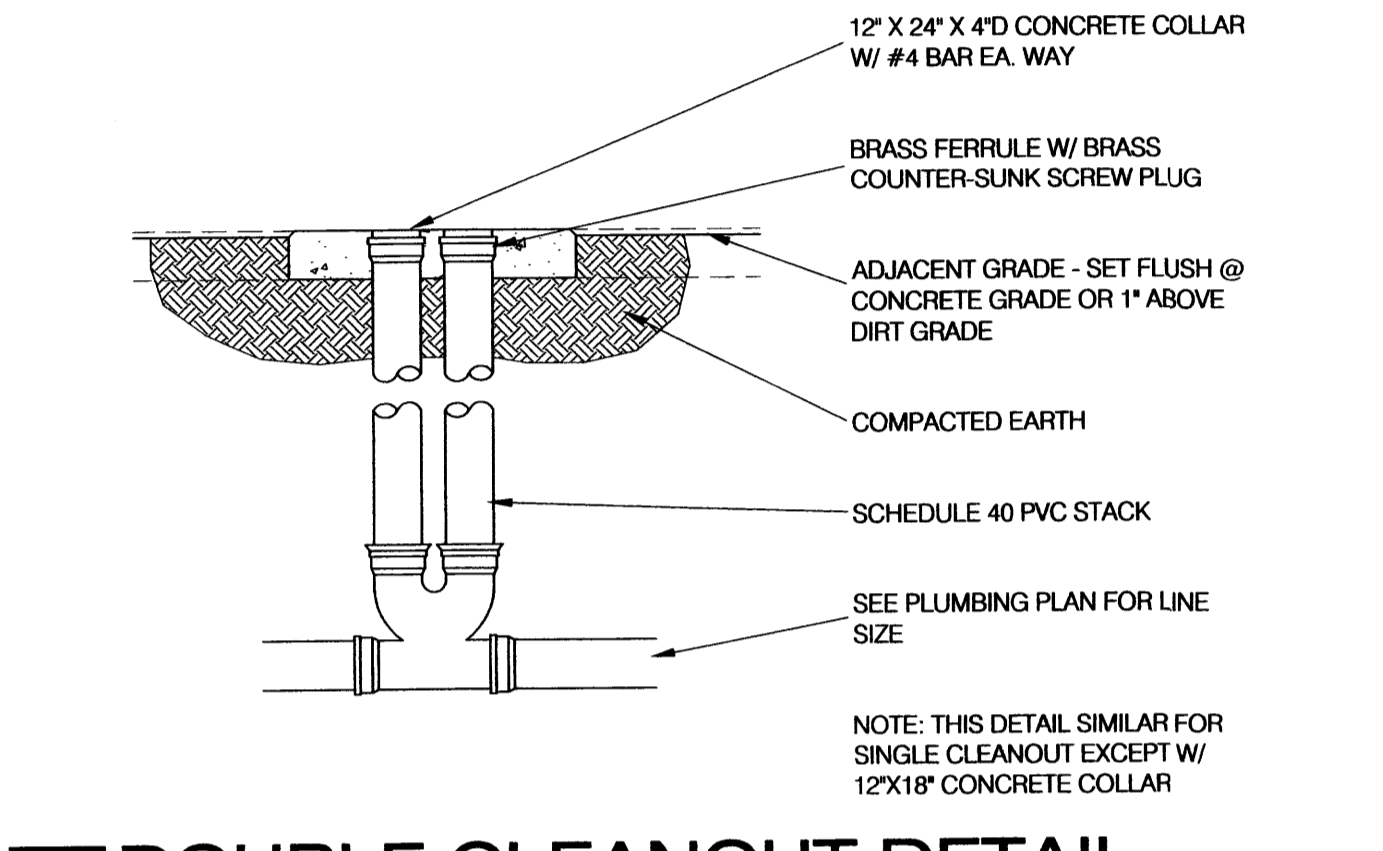
6 CROSSWALK SECTION
SCALE: 3/4"=1'-0"



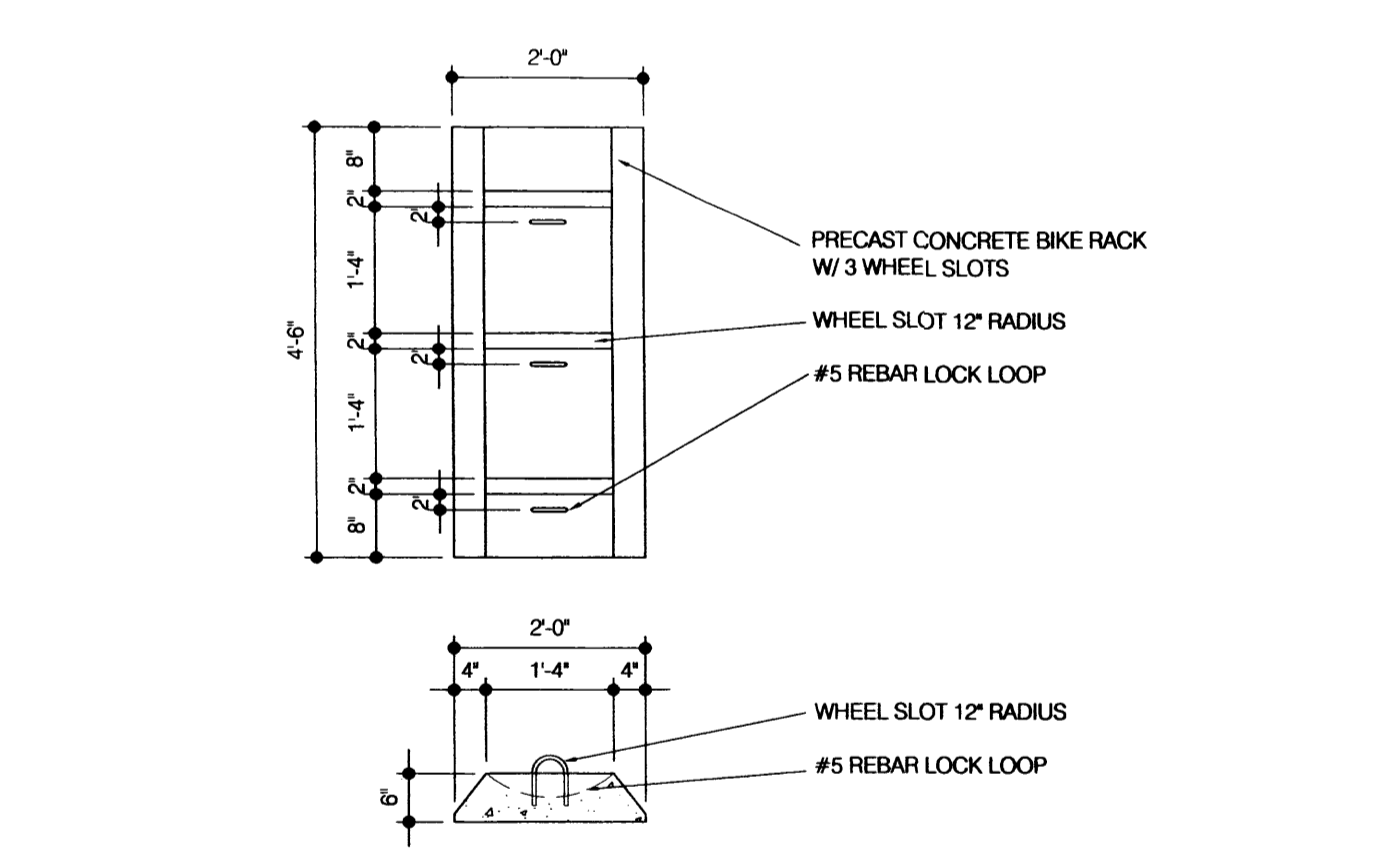
10 DUMPSTER ENCLOSURE GATE
SCALE: 1/4"=1'-0"



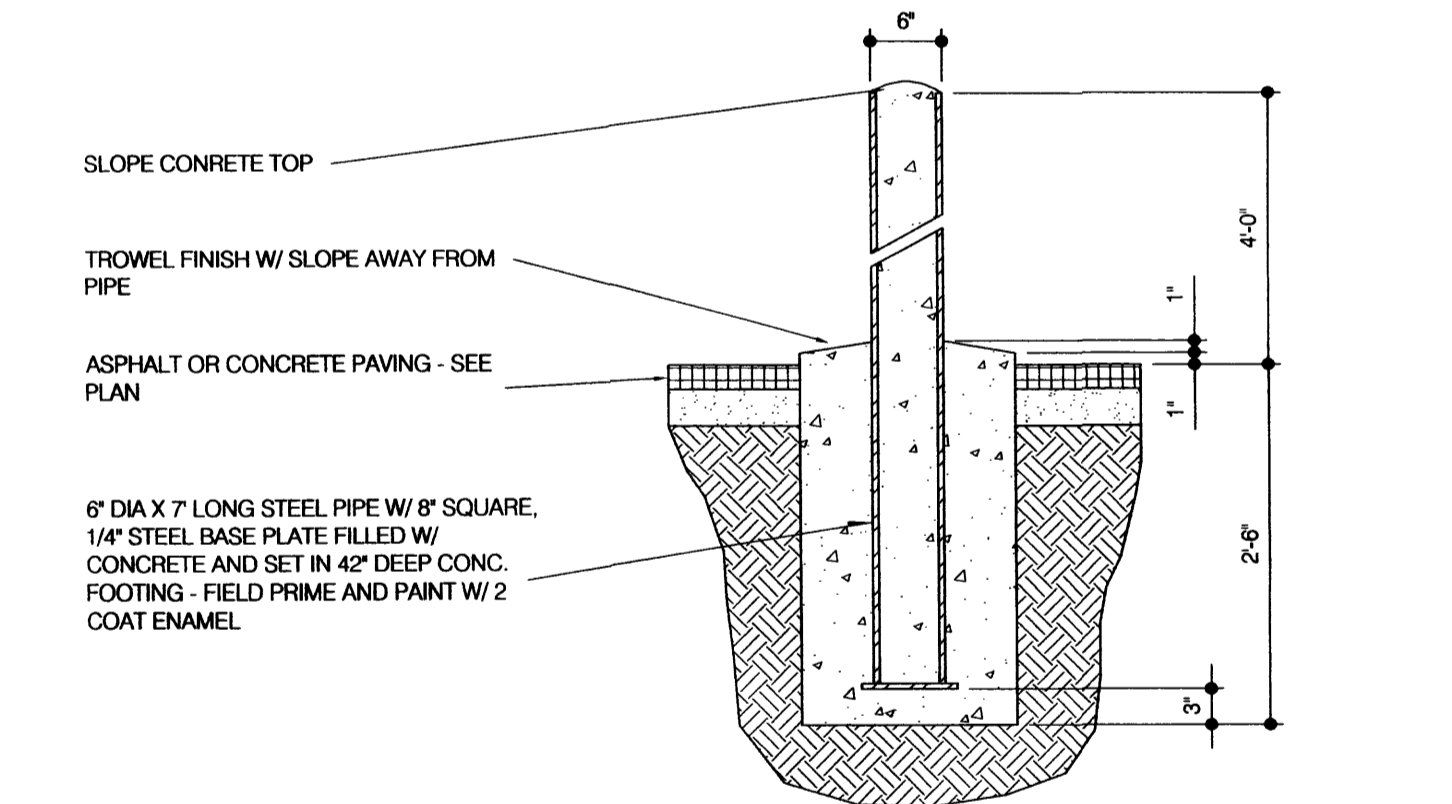
2 CURB & GUTTER SECTION
SCALE: 1 1/2"=1'-0"



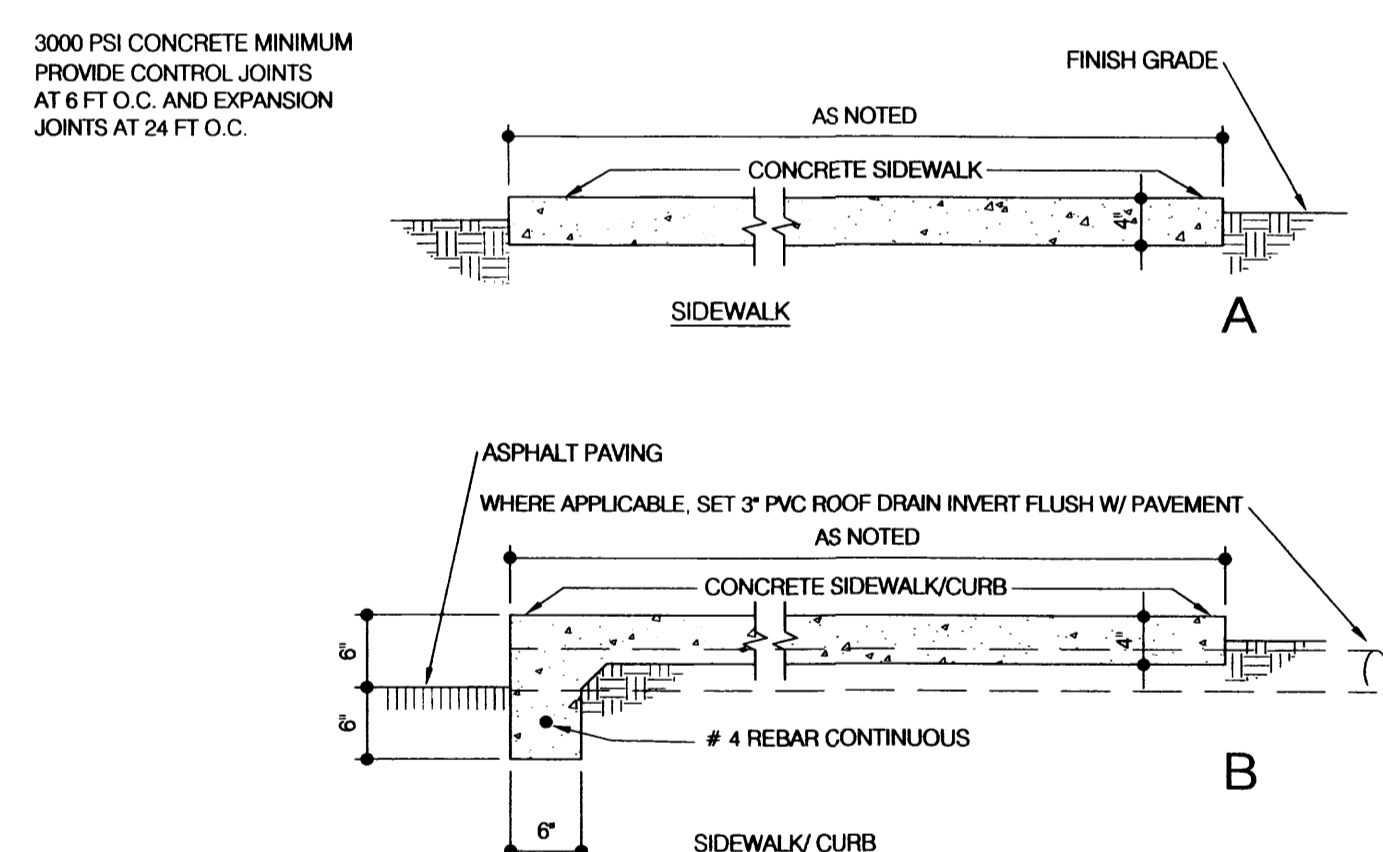
14 DOUBLE CLEANOUT DETAIL
SCALE: 3/4"=1'-0"



7 BIKE RACK DETAIL - 3 STALL CONC
SCALE: 1/2"=1'-0"

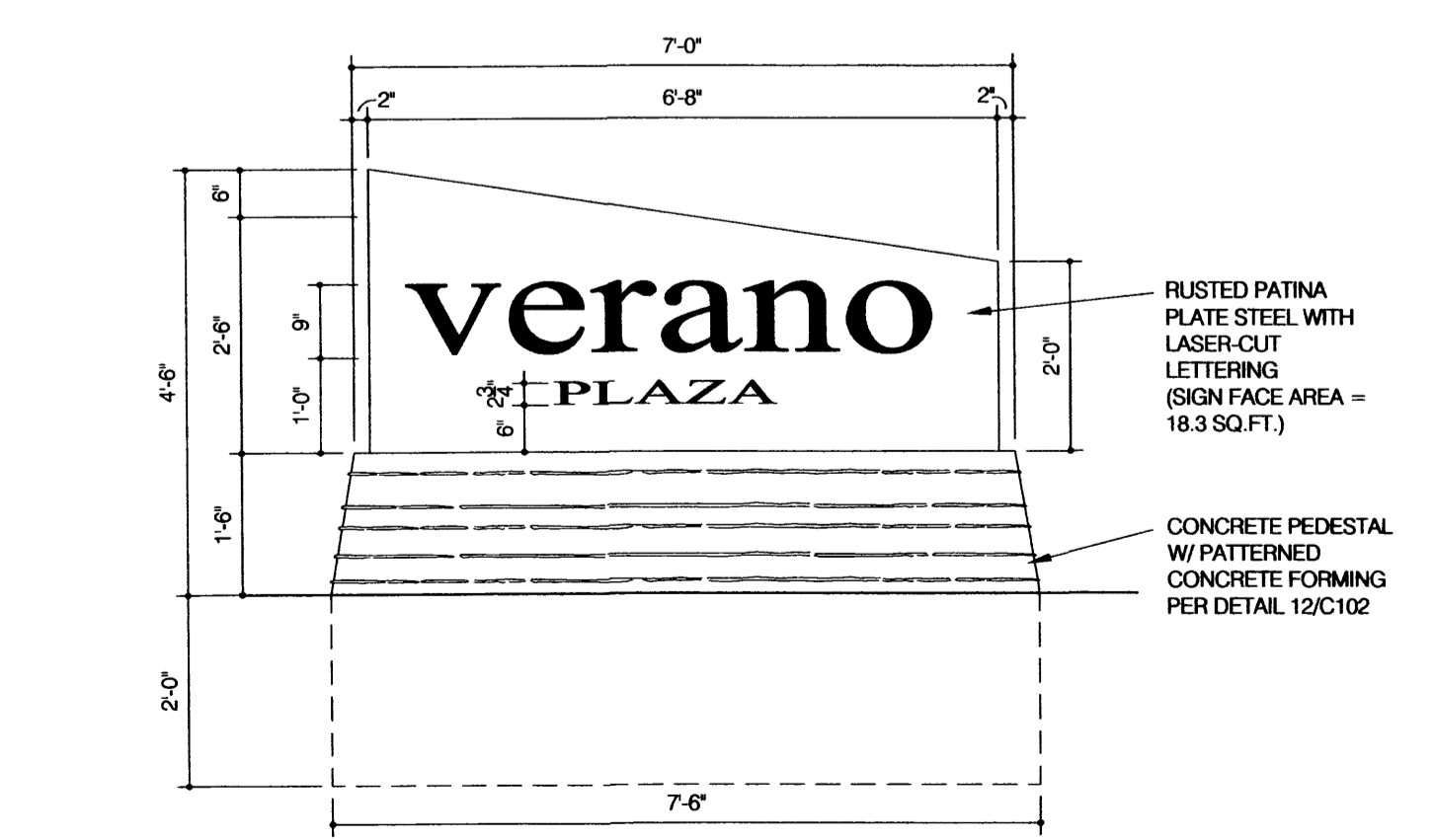


11 BOLLARD DETAIL
SCALE: 3/4"=1'-0"

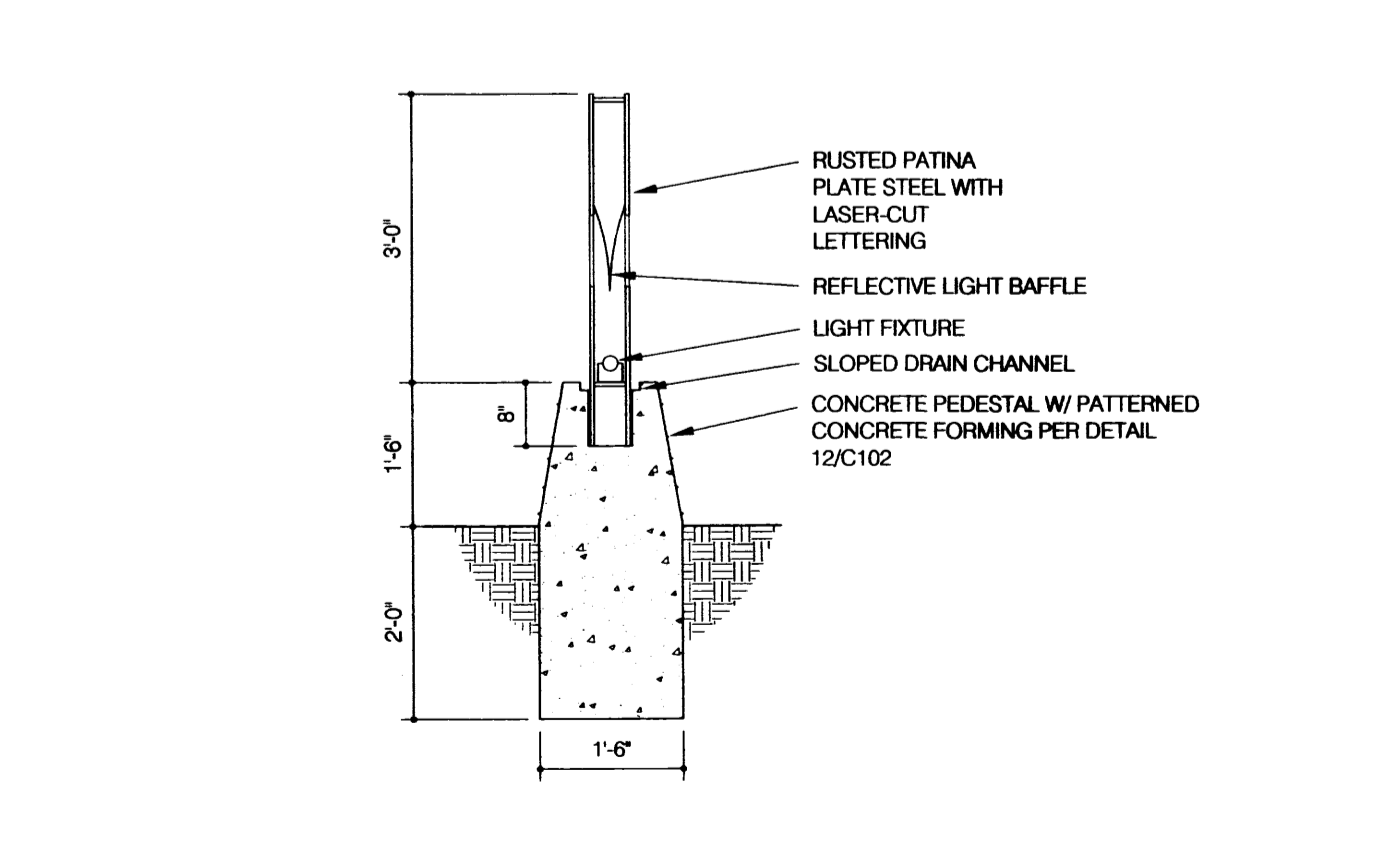


3 SIDEWALK SECTION
SCALE: 3/4"=1'-0"

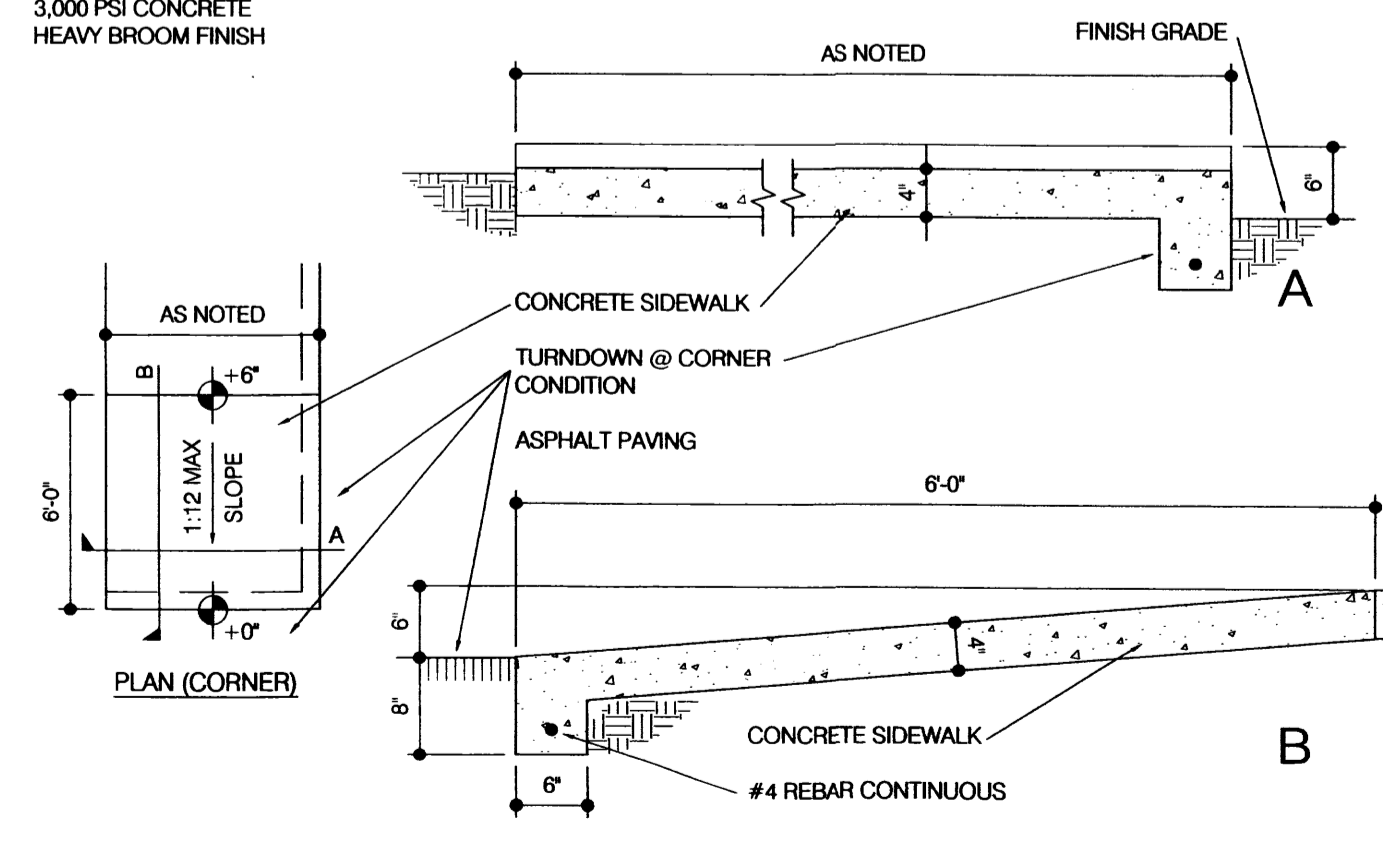
15



12 MONUMENT SIGN ELEVATION
SCALE: 1/2"=1'-0"

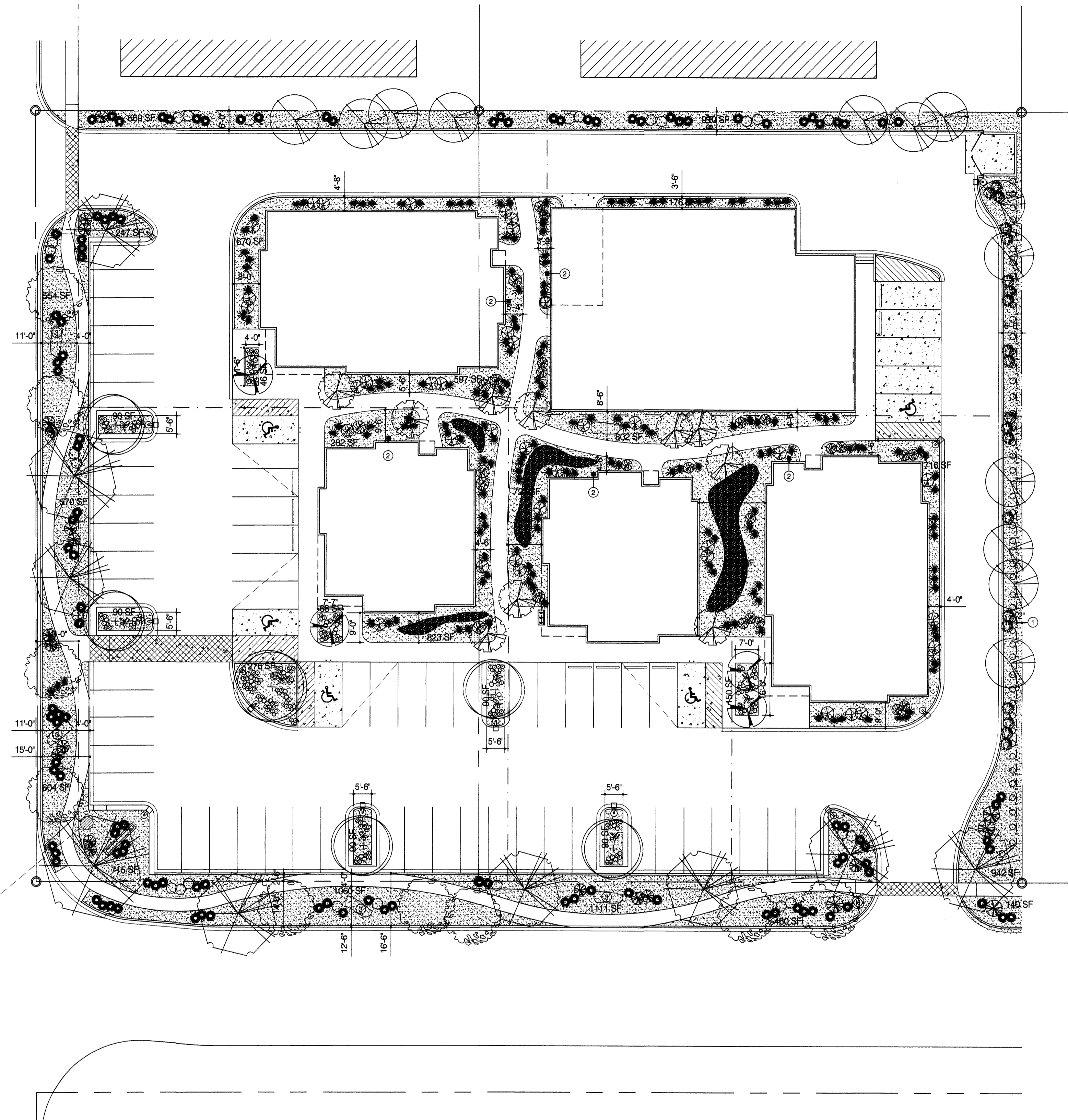


8 MONUMENT SIGN SECTION
SCALE: 1/2"=1'-0"



4 SIDEWALK RAMP SECTION
SCALE: 3/4"=1'-0"

16



TREE SCHEDULE

	BIGTOOTH MAPLE (<i>ACER GRANDIDENTATUM</i>) SIZE: 18" ROOT CONTROL BAG, REMARKS: 30' AT MATURITY, FALL COLOR RED W/ YELLOW WATER USAGE: LOW		REDBUD (<i>CERCIS OCCIDENTALIS</i>) SIZE: 2" CALIPER REMARKS: MULTI-TRUNK WATER USAGE: LOW		DESERT WILLOW (MIMBRE) (<i>CHILOPSIS LINEARIS</i>) SIZE: 2" CALIPER REMARKS: p.53 bm WATER USAGE: LOW
	PONDEROSA PINE (<i>PINACEAE PINUS PONDEROSA</i>) SIZE: 2" CALIPER REMARKS: WATER USAGE: LOW		RAYFORD ASH (<i>QUERCUS GRAVESII</i>) SIZE: 18" ROOT CONTROL BAG REMARKS: 35-40' AT MATURITY, FALL COLOR CRIMSON, LONG LASTING WATER USAGE: LOW		TEXAS RED OAK (<i>QUERCUS BUCKLEYI</i>) SIZE: 2" CALIPER REMARKS: WATER USAGE: LOW

SHRUB SCHEDULE

	SILVER BEARDGRASS (<i>ANDROPOGON SACCHAROIDES</i>) SIZE: 1 GAL REMARKS: hcg p. 63 WATER USAGE: LOW		REGAL MIST (<i>MULLENBERGIA CAPILLARIS</i>) SIZE: 1 GAL REMARKS: WATER USAGE: LOW		SILVER SAGE (<i>ARTEMISIA X 'POWIS CASTLE'</i>) SIZE: 1 GAL REMARKS: hcg p. 10 WATER USAGE: LOW
	CREeping ROSEMARY (<i>ROSMARINUS OFFICINALIS 'PROSTRATUS'</i>) SIZE: 1 GAL REMARKS: WATER USAGE: LOW		KOREAN HYSSOP (<i>AGASTACHE RUGOSUM</i>) SIZE: 1 GAL REMARKS: WATER USAGE: LOW		SUNRAY (<i>COREOPSIS GRANDIFLORA</i>) SIZE: 1 GAL REMARKS: hcg p. 10 WATER USAGE: LOW
	LAVENDER (<i>LAVENDULA ANGUSTIFOLIA 'MUNSTEAD'</i>) SIZE: 1 GAL REMARKS: WATER USAGE: LOW		BLUE CATMINT (<i>NEPETA X FASSENII</i>) SIZE: 1 GAL REMARKS: hcg p. 10 WATER USAGE: LOW		MAY NIGHT MEADOW SAGE (<i>SALVIA NEMEROSA</i>) SIZE: 1 GAL REMARKS: hcg p. 10 WATER USAGE: LOW
	ENGLISH IVY (<i>HEDERA HELIX L.</i>) SIZE: 1 GAL REMARKS: WATER USAGE: LOW		CHERRY SAGE (<i>SALVIA GREGGII</i>) SIZE: 1 GAL REMARKS: hcg p. 15 WATER USAGE: LOW		

GROUNDCOVER/EDGING SCHEDULE

	SANTA ANA TAN GRAVEL SIZE: 3/4" OR 1/4" AS INDICATED REMARKS: ALL PLANTER BED AREAS AT PERIMETER SHALL BE THIS MATERIAL		CRUSHER FINES - SANTA ANA TAN SIZE: 1/4" OR SMALLER REMARKS: ALL PLANTER BED AREAS AT INTERIOR OF SITE SHALL BE THIS MATERIAL		RIVER ROCK - SANTA ANA TAN SIZE: 1" DIA REMARKS: ALL PLANTER BEDS AS SPECIFIED SHALL BE THIS MATERIAL
--	---	--	---	--	---

SITE TOTALS

SITE AREA: 67,040 SF (1.54 ACRES)
 LANDSCAPE AREA: 15,725 SF (23%)
 (R.O.W. LANDSCAPING: 4,088 SF)
 BUILDING AREA: 16,630 SF (25%)

GENERAL LANDSCAPE NOTES

- [C2.0] MAINTENANCE OF ALL LANDSCAPING ON PROPERTY AND IN CABQ RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- [C2.1] ALL LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION LANDSCAPING & WATER WASTE ORDINANCE.
- [C2.2] ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM - SCHEDULE 40 PIPING, TYP.
- [C2.3] THIS LANDSCAPE PLAN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE. SPECIFICALLY 75% OF ALL PLANTING BEDS SHALL BE COVERED BY LIVE VEGETATIVE COVER WHICH INCLUDES SHRUBS AND OR LIVE GROUNDCOVERS.
- [C2.4] ALL TREES SHALL BE A MINIMUM OF 2" CALIPER, AS REQUIRED BY THE CABQ ZONING CODE.
- [C2.5] OWNER SHALL MAINTAIN UNDEVELOPED AREAS OF THE SITE FREE OF WEEDS AS REQUIRED BY CITY OF ABQ ORDINANCES. DISTURBED AREAS WILL BE RESEEDED AS REQUIRED.
- [C2.6] NO HIGH WATER USE TURF SHALL BE USED.
- [C2.7] NUMBERS ADJACENT TO EACH PLANTER INDICATED THE SQUARE FOOT AREA OF EACH.
- [C2.8] IRRIGATION TIMECLOCKS ARE LOCATED WITHIN EACH BUILDING.

KEYED LANDSCAPE NOTES

- [1] 6" TALL WROUGHT IRON FENCE
- [2] MASTER VALVE & VACUUM BREAKER ASSEMBLY
- [3] DECORATIVE LANDSCAPE BOULDER

LANDSCAPE SITE PLAN
 SCALE: 1"=20'
 GRAPHIC SCALE
 0 5 10 15 20
 (IN FEET)
 0' 5' 10'

ADDRESS: 87 ROCK POINT PLACE NE
 ALBUQUERQUE, NM 87122
 TELEPHONE: (505) 858-9100
 FAX: (505) 858-1900
 WEBSITE: www.insiteworks.com
 KS email: kslight@insiteworks.com

THIS DRAWING IS THE PROPERTY OF INSITEWORKS AND SHALL NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESSED WRITTEN CONSENT

**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**



DATE ISSUED: 1/22/04
 EDITION: DRB SUBMITTAL/ BUILDING PERMIT
 PROJECT ID: VERANO PLAZA
 CONSULTANT: INSITEWORKS

SHEET INDEX
 AS-101 ARCHITECTURAL SITE PLAN
 AS-102 SITE PLAN DETAILS
 L-101 LANDSCAPE PLAN
 C-1.0 GRADING & DRAINAGE PLAN
 C-2.0 UTILITIES SITE PLAN
 A-201 BUILDING ELEVATIONS
 REPEAT DRAFT REPEAT

LOCAL BENCH MARK
BOHANNON HUSTON & ASSOCIATES NO. 3
ELEV. 5152.26 (AS SHOWN ON PLAN)

LEGAL DESCRIPTION
LOTS 31 & 32, BLOCK 5, NORTH
ALBUQUERQUE ACRES, TRACT A, UNIT B

LEGEND

- ◆ TC65.94 PROPOSED SPOT ELEVATION
- 5210- EXISTING CONTOUR
- DIRECTION OF FLOW
- ~ WATER BLOCK
- - - TRACT BOUNDARY/R.O.W.
- - - NEW BUILDING
- - - EXISTING PAVEMENT EDGE
- - - NEW PAVEMENT EDGE

PROJECT BENCH MARK
NMSHC MONUMENT "1-12-11"
ELEV. 5206.94 (NAD27)

SURVEY INFORMATION
SURVEY PERFORMED BY PRECISION SURVEYING,
OCTOBER, 2003

ABBREVIATIONS

- FF FINISHED FLOOR (CONC.)
- FG FINISHED GROUND
- FL FLOW LINE
- TA TOP OF ASPHALT
- TC TOP OF CURB OR CONCRETE
- 4"R 4" ROLL CURB
- 6"C 6" CURB FACE
- 0"C 0" CURB FACE (I.E., FLUSH W/PVMT)
- TR-C TRANSITION CURB FACE HEIGHT
- RD ROOF DRAIN (SEE ARCH. FOR SIZE)

KEYED CONSTRUCTION NOTES

- ① INSTALL PRIVATE ENTRANCE PER COA STD DWG 2426, WITH CONCRETE VALLEY GUTTER AND FILLETS, AND WITH HANDICAP RAMPS.
- ② INSTALL 6' WIDE SIDEWALK IN R.O.W. PER COA STD DWG 2430.
- ③ INSTALL 4' WIDE CHANNEL, 6" DEEP.
- ④ REMOVE EXISTING "BUBBLE" INLET (TG50.32, INV40.72) AND STORM DRAIN PIPE, BACK TO NEW MANHOLE.
- ⑤ INSTALL 6" DIA. MANHOLE PER COA STD DWG 2101.
- ⑥ INSTALL DBL GRATE TYPE "C" STORM INLET PER COA STD DWG 2205, TG50.70, INV46.70.
- ⑦ INSTALL 12" RCP(III) OR HDPE, WITH MIN. SLOPE=3.5%.
- ⑧ INSTALL DBL GRATE "A" INLET PER COA STD DWG 2201, TG 53.30, INV 49.30.
- ⑨ INSTALL 18" RCP(III) WITH MIN. SLOPE=1%.
- ⑩ INSTALL DBL C STORM INLET PER COA STD DWG 2205, TG52.46, INV48.48.
- ⑪ INSTALL 24" RCP(III) WITH MIN. SLOPE=1%.
- ⑫ INSTALL CURB AND GUTTER, SIDEWALK, PAVING, AND DRAINAGE INFRASTRUCTURE IN RIGHT-OF-WAY PER APPROVED CITY OF ALBUQUERQUE WORK ORDER DWGS.
- ⑬ SEE ARCHITECTURAL SITE PLAN AND DETAILS FOR LOCATIONS AND DETAILS OF ON-SITE PAVEMENT, CURB, AND SIDEWALK.

LOCATION MAP B-17/18

EROSION CONTROL/ENVIRONMENTAL

PROTECTION/STORM WATER POLLUTION PREVENTION PLAN

1. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.
2. THE CONTRACTOR SHALL COMPLY WITH THE STORM WATER POLLUTION PREVENTION PLAN PREPARED BY THE OWNER, AND SHALL SUBMIT AN NOI PER GOVERNMENT REQUIREMENTS PRIOR TO BEGINNING CONSTRUCTION.
3. THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
4. THE CONTRACTOR SHALL WET THE SOIL AS NEEDED TO KEEP IT FROM BLOWING. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.

GRUBBINGS AND VEGETATIVE DEBRIS MAY BE BURIED ON-SITE IN AREAS THAT ARE NOT GOING TO BE UNDER BUILDINGS OR PAVEMENT.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-505-822-1558 OR 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

WORK WITHIN C.O.A. RIGHT-OF-WAY

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.

ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, AS CURRENTLY UPDATED.

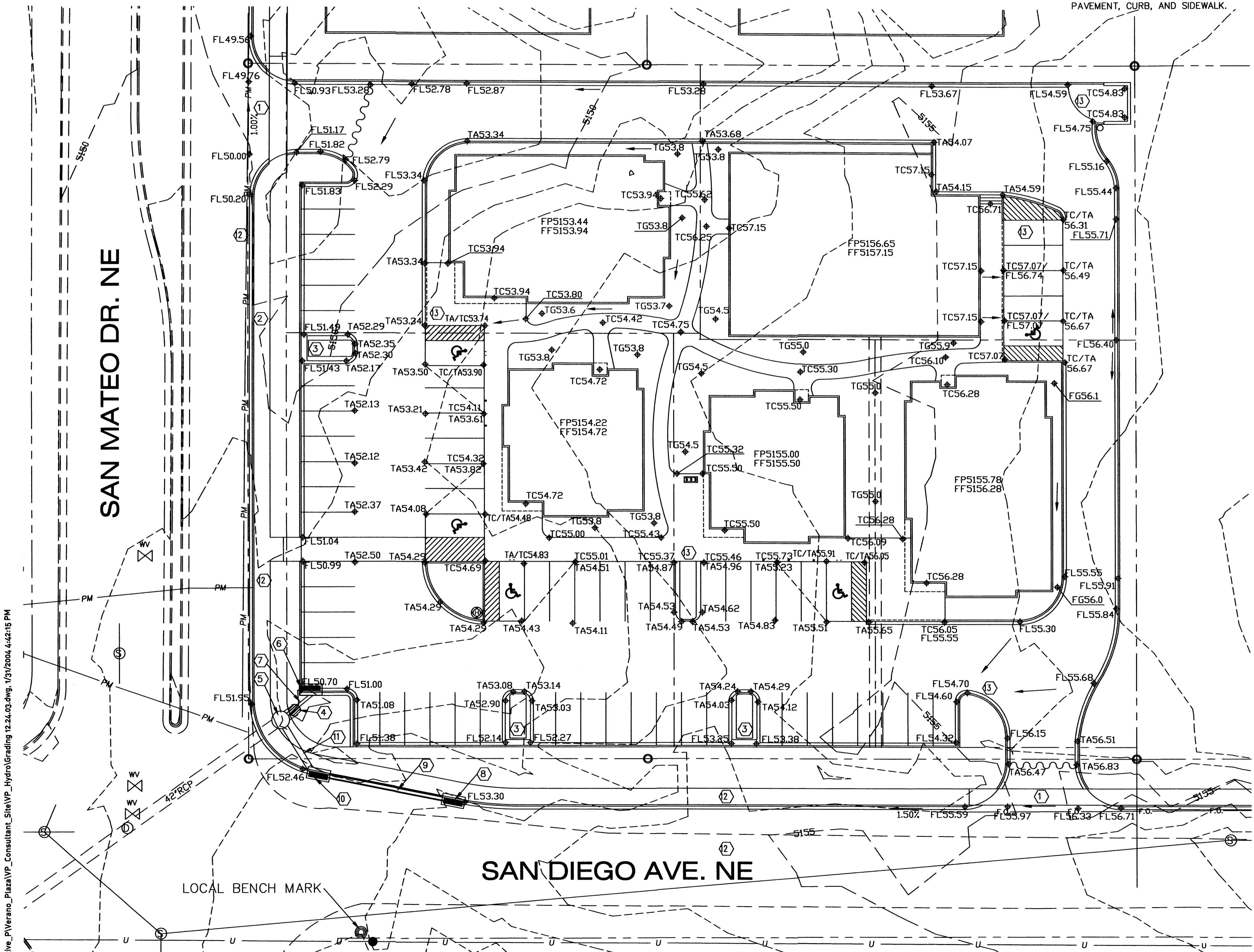
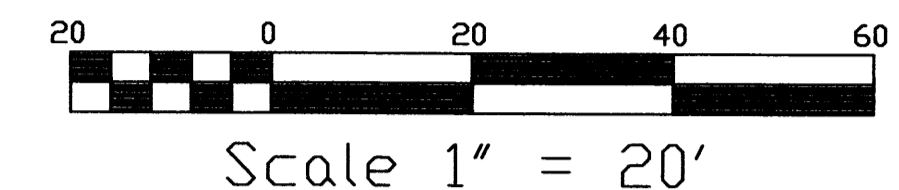
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (260-1990) FOR LOCATION OF EXISTING UTILITIES.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (765-2551) PRIOR TO OCCUPYING RIGHT-OF-WAY. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.

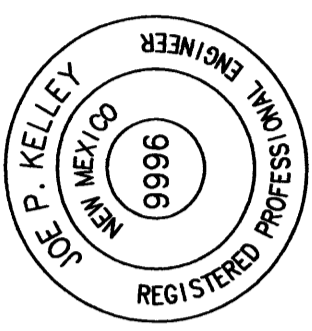
MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.



JC Engineering, LLC
1924 Rooncke Dr. NE, Rio Rancho, NM 87144-5632
(505)283-9032 Fax (505)867-9304 www.jcengineering.com

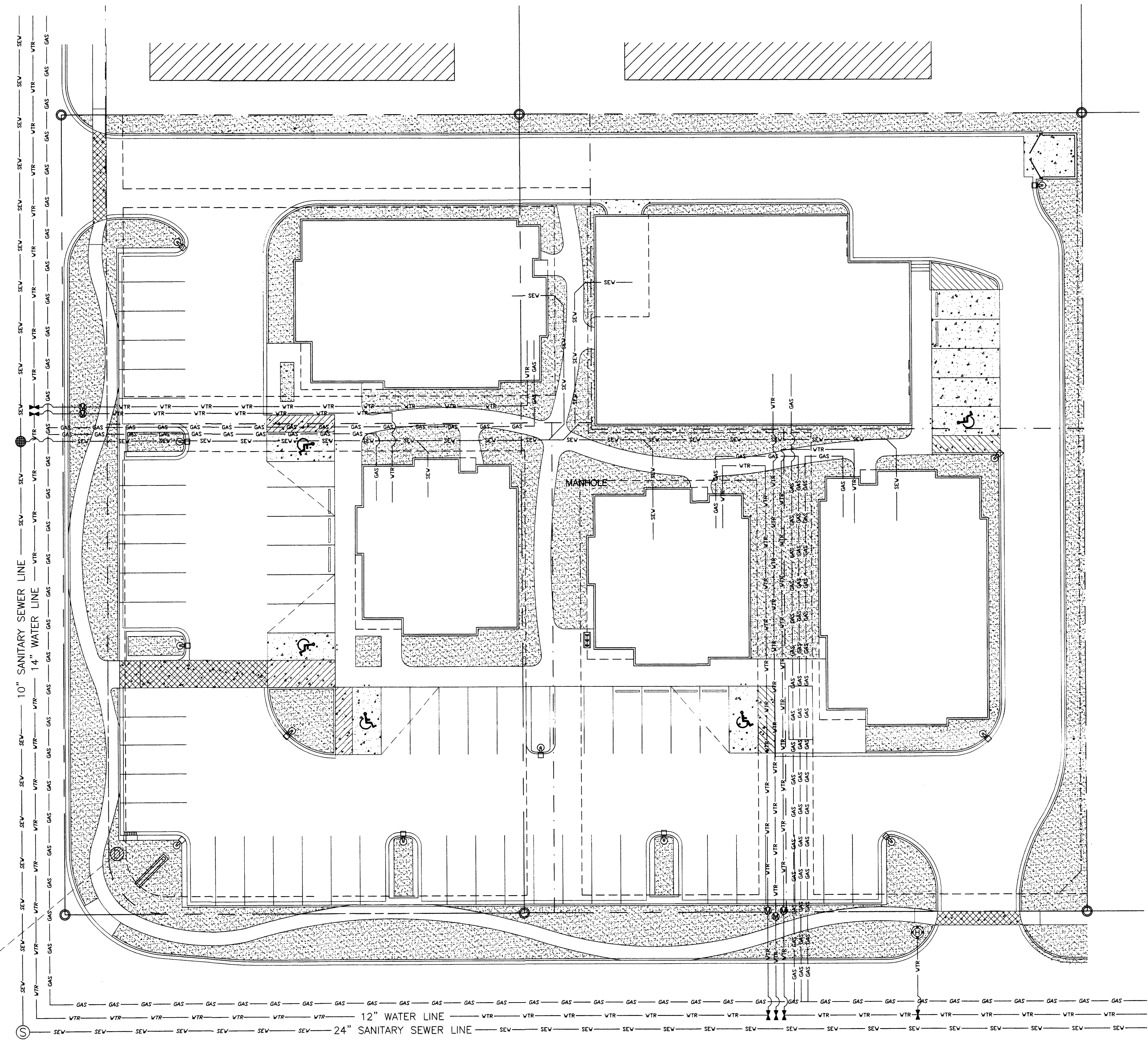


REVISIONS	NO.	DATE	BY	DESCRIPTION

APPROVALS	SIGNATURE	DEPT.	DATE

PROJECT: VERANO PLAZA
CLIENT: INSITEWORKS
SHEET TITLE: GRADING PLAN
SHEET NO.: C1.0

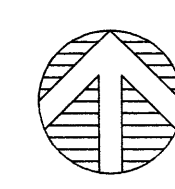
M:\Active_P\Verano_PlazaVP_Dwg_Spec\VP_0-DRB\VP_DRB.dwg, 1/31/2004, 3:02:31 PM



GENERAL NOTES

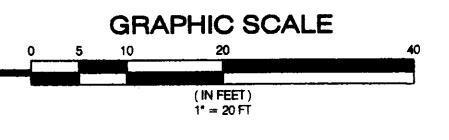
- [1] PROPOSED FIRE HYDRANT IS A PRIVATE HYDRANT, REQUIRING IT TO BE OWNER MAINTAINED. INSTALL (2) SHUT-OFF VALVES, ONE ON EACH SIDE OF THE RIGHT-OF-WAY.
- [2] EACH BUILDING WILL PROVIDE ITS OWN WATER METER.
- [3] ALL UTILITIES ARE OFFSITE. ANY UTILITY LINES SHOWN ONSITE WILL BE PROPOSED CONDITIONS.

- VTR — 1-1/2" WATERLINE
- SEV — 4" SANITARY SEWER (UNLESS NOTED OTHERWISE)
- ⊙ EXISTING SANITARY SEWER MANHOLE
- GAS — GAS LINE
- - - EXISTING STORM SEWER LINE
- ⊙ EXISTING STORM SEWER MANHOLE
- ⊙ EXISTING STORM SEWER INLET
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ PROPOSED GATE VALVE
- ⊙ PROPOSED 1" WATER METER
- ⊙ PROPOSED SANITARY SEWER MANHOLE



UTILITIES SITE PLAN

SCALE: 1"=20'



INSITE WORKS

ADDRESS 57 ROCK POINT PLACE NE
ALBUQUERQUE, NM 87122
TELEPHONE (505) 858-8100
FAX (505) 858-1900
WEBSITE www.insiteworks.com
KS email kslight@insiteworks.com

THIS DRAWING IS THE PROPERTY OF INSITEWORKS AND SHALL NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESSED WRITTEN CONSENT

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT



DATE ISSUED 1/22/04
EDITION DRB SUBMITTAL/ BUILDING PERMIT
PROJECT ID VERANO PLAZA
CONSULTANT INSITEWORKS

SHEET INDEX
AS-101 ARCHITECTURAL SITE PLAN
AS-102 SITE PLAN DETAILS
L-101 LANDSCAPE PLAN
C-1.0 GRADING & DRAINAGE PLAN
C-2.0 UTILITIES SITE PLAN
A-201 BUILDING ELEVATIONS
REPLAT DRAFT REPLAT

C 2.0

M:\Active_P\Verano_Plaza\VP_Dwg_Spec\VP_o-DRE\VP_Dwg_Spec\VP_o-DRE.dwg, 1/21/2004, 3:02:53 PM

KEYED NOTES

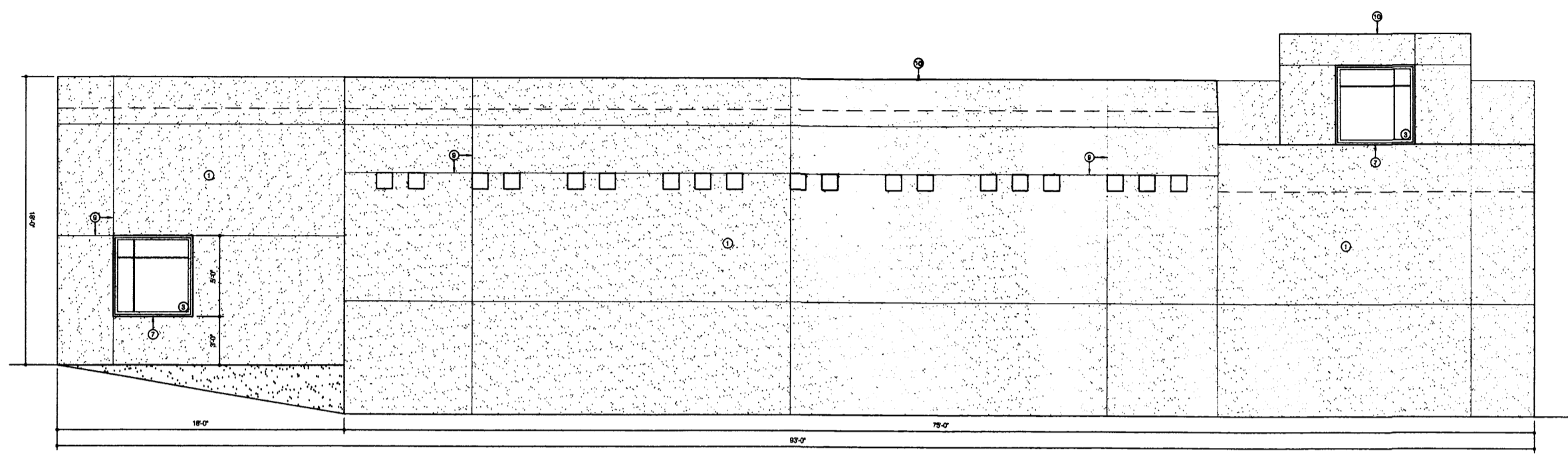
- [1] STUCCO COLOR #1 - DESERT BRONZ (BENJAMIN MOORE HC-16)
- [2] STUCCO COLOR #2 - LIGHT TERRA COTTA (BENJAMIN MOORE 2161-30)
- [3] COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, TYPICAL, UNLESS NOTED OTHERWISE.
- [4] ALUMINUM CLAD WOOD FRAME WINDOW
- [5] BUTT JOINTED STOREFRONT GLAZING SYSTEM
- [6] ALUMINUM STOREFRONT SYSTEM DOOR AND WINDOWS
- [7] SOLID CORE WOOD DOOR WITH HOLLOW METAL FRAME
- [8] PRECAST CONCRETE SILL, TYPICAL
- [9] RUSTED PATINA PLATE STEEL SIGN WITH LASER CUT LETTERS, 1'-6" HIGH X 8'-0" LONG (12 SQ. FT. OF AREA)
- [10] 3/4" STUCCO REVEALS
- [11] DECORATIVE CORNICE



ADDRESS	57 ROCK POINT PLACE NE
ALBUQUERQUE, NM	87122
TELEPHONE	(805) 858-0100
FAX	(805) 858-1000
WEBSITE	www.insiteworks.com
KS email	ksight@insiteworks.com

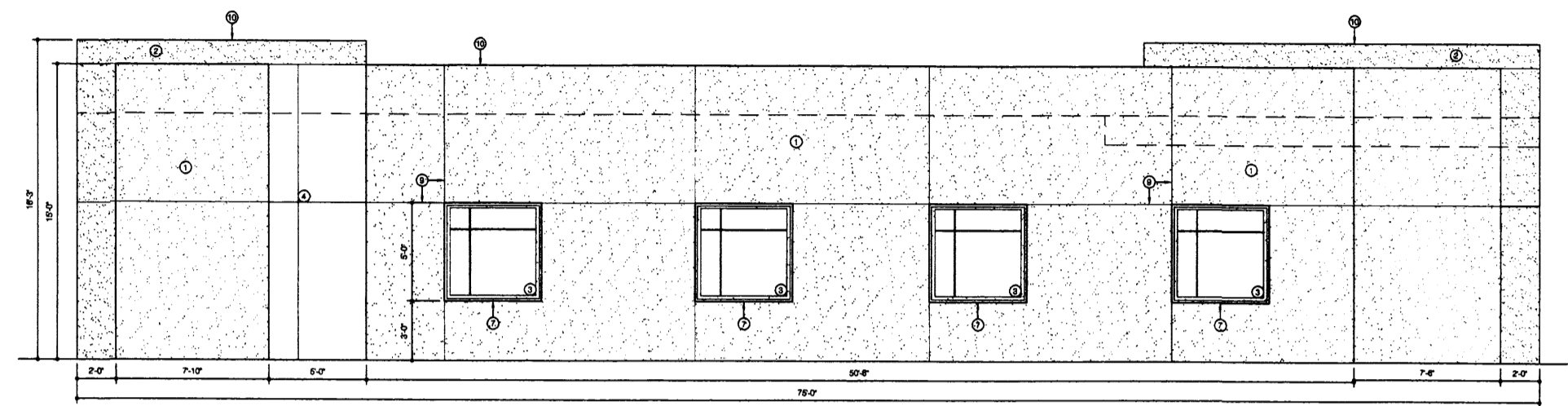
THIS DRAWING IS THE PROPERTY OF INSITEWORKS AND SHALL NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESSED WRITTEN CONSENT

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT



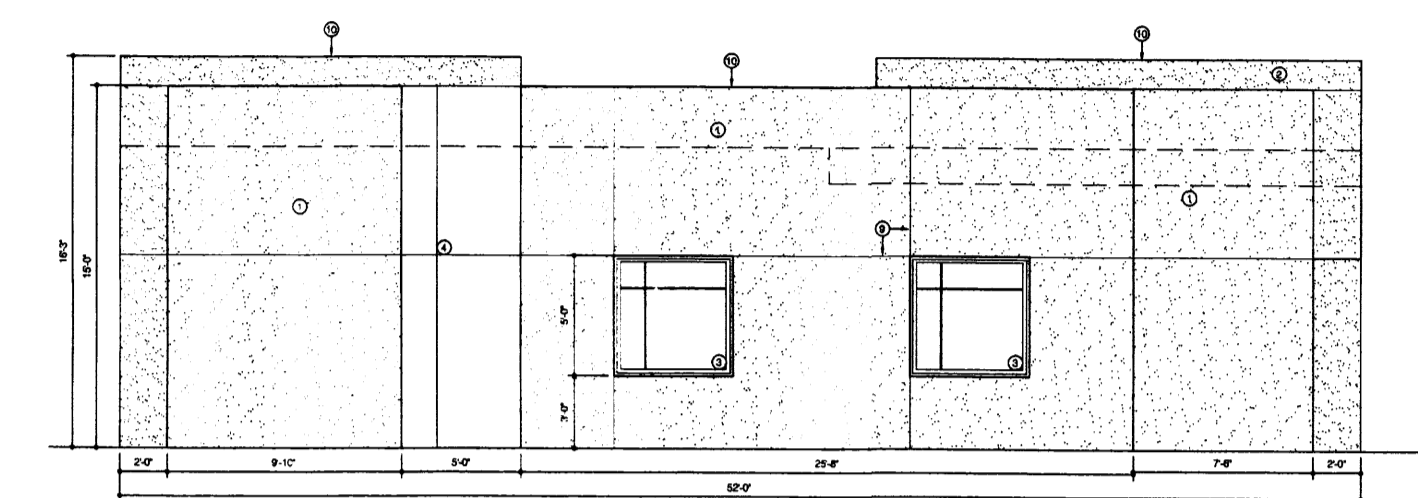
NORTH BUILDING 5

SCALE: 1/8"=1'-0"



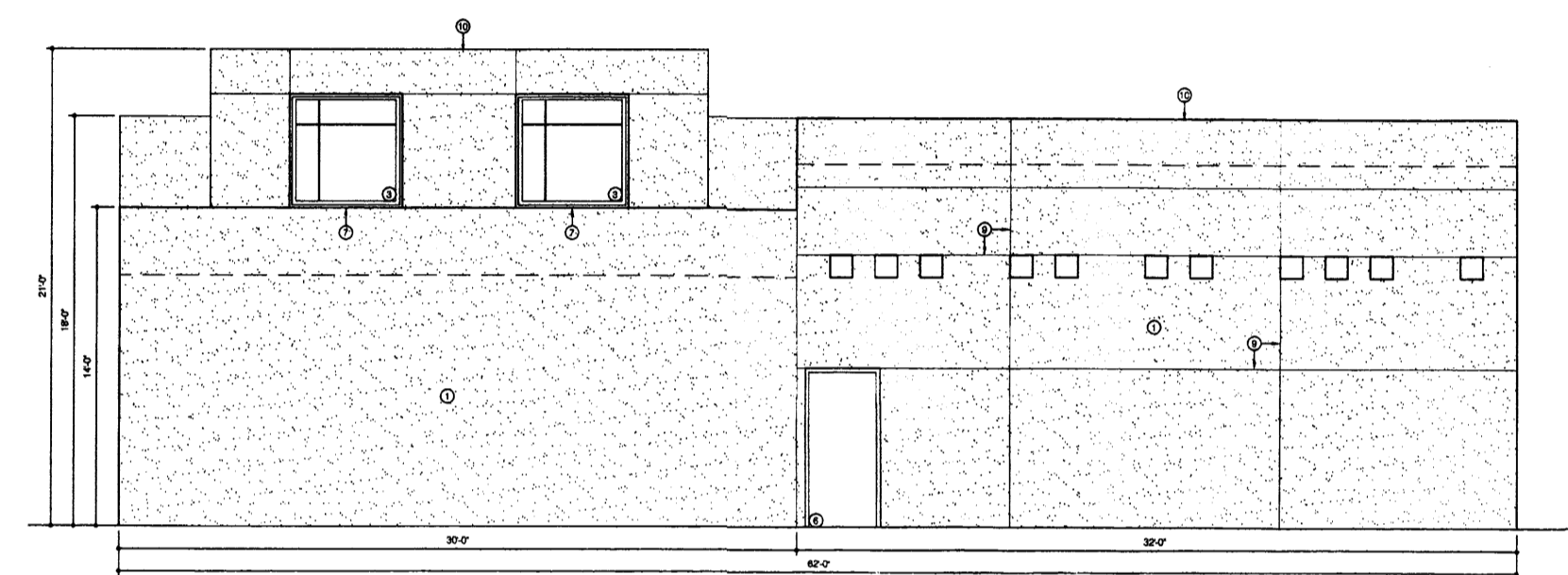
EAST BUILDING 4 / SOUTH BUILDING 1

SCALE: 1/8"=1'-0"



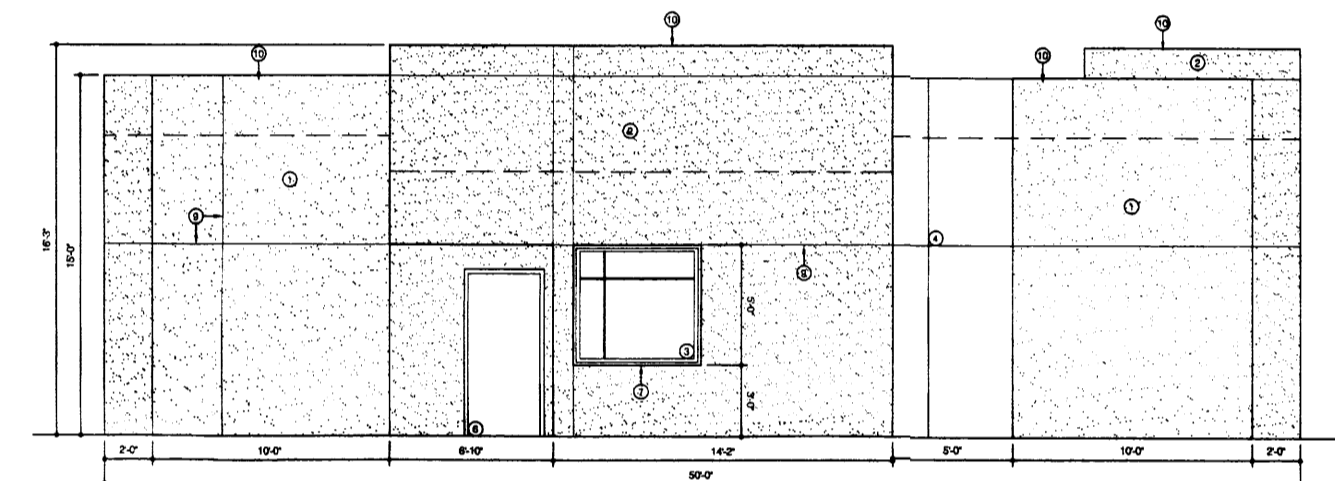
EAST BUILDINGS 2 & 3

SCALE: 1/8"=1'-0"



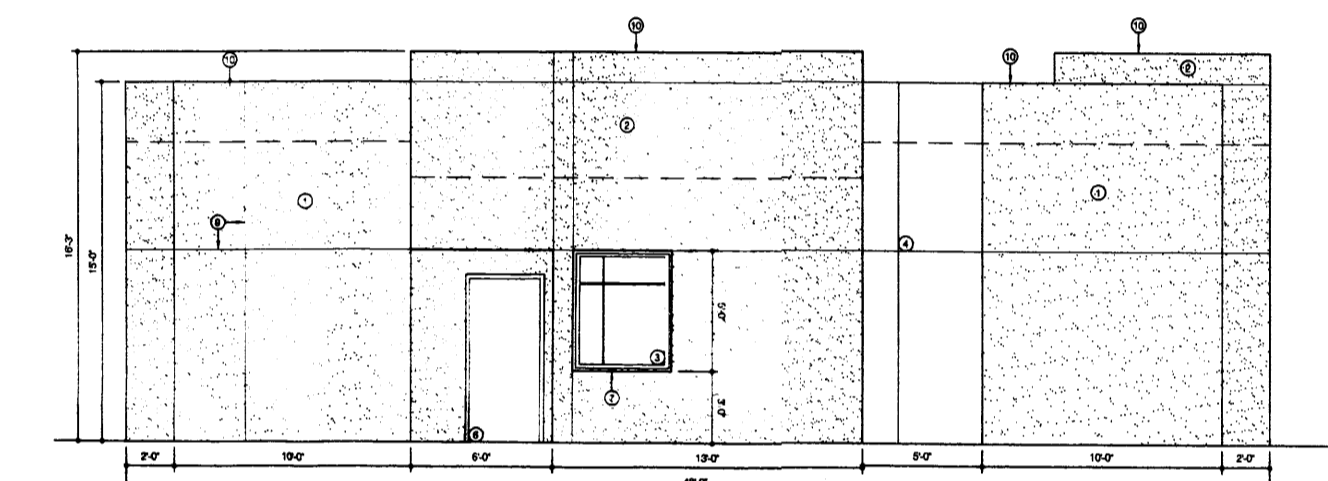
WEST BUILDING 5

SCALE: 1/8"=1'-0"



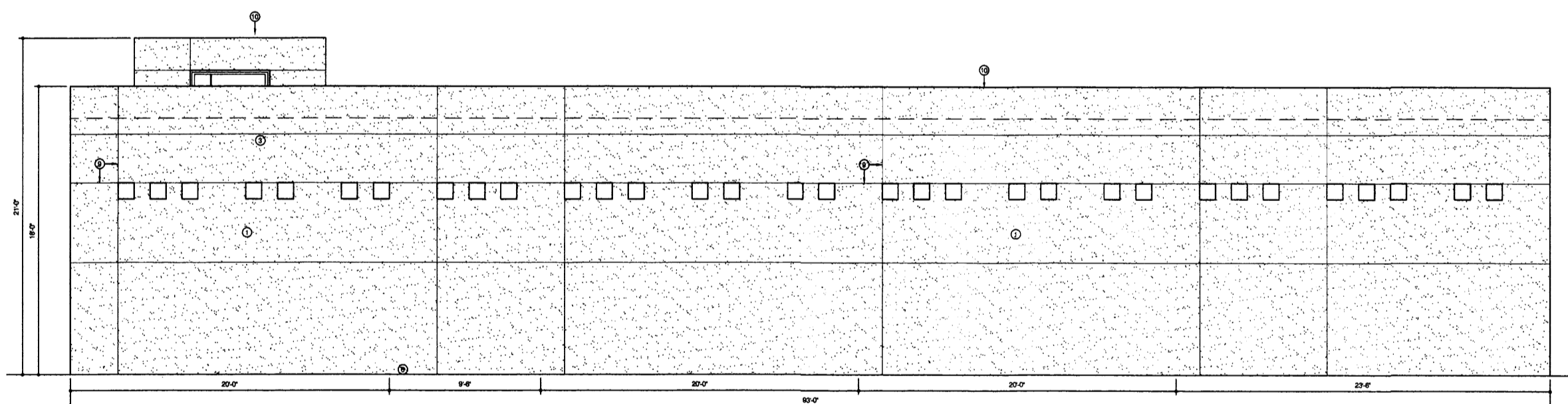
NORTH BUILDING 4 / EAST BUILDING 1

SCALE: 1/8"=1'-0"



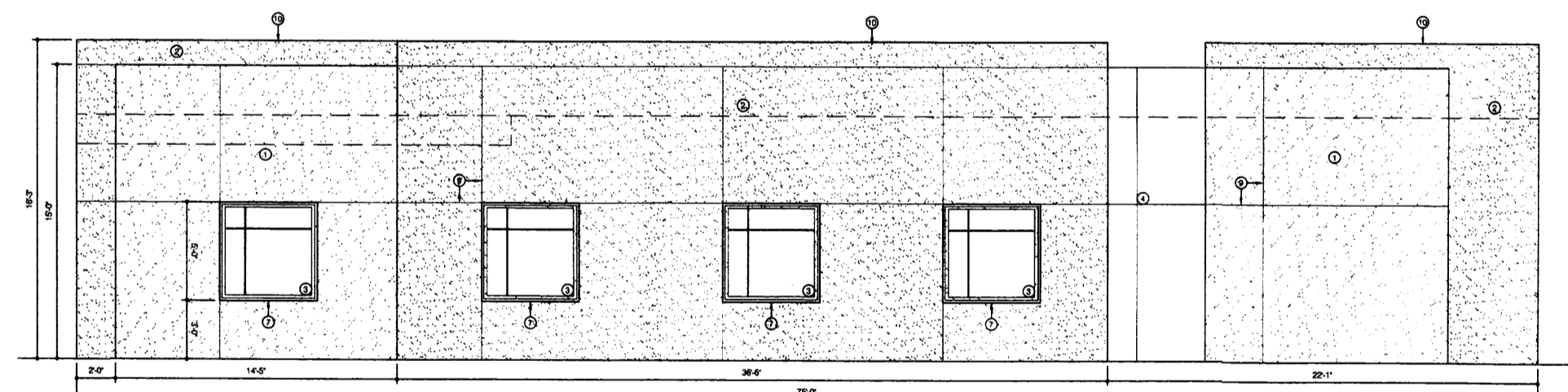
NORTH BUILDINGS 2 & 3

SCALE: 1/8"=1'-0"



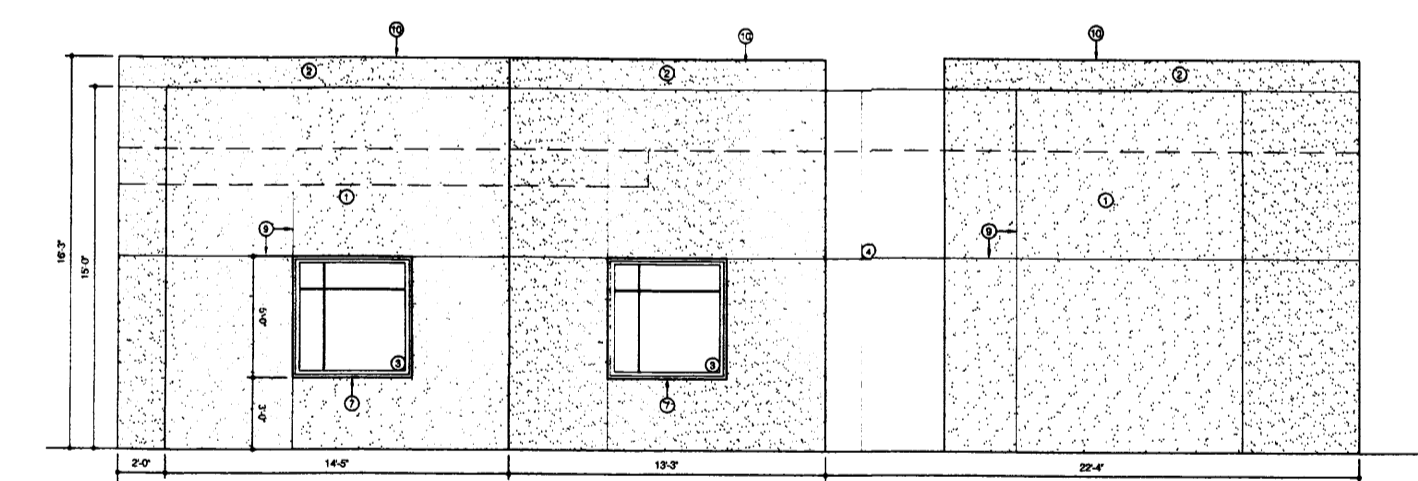
SOUTH BUILDING 5

SCALE: 1/8"=1'-0"



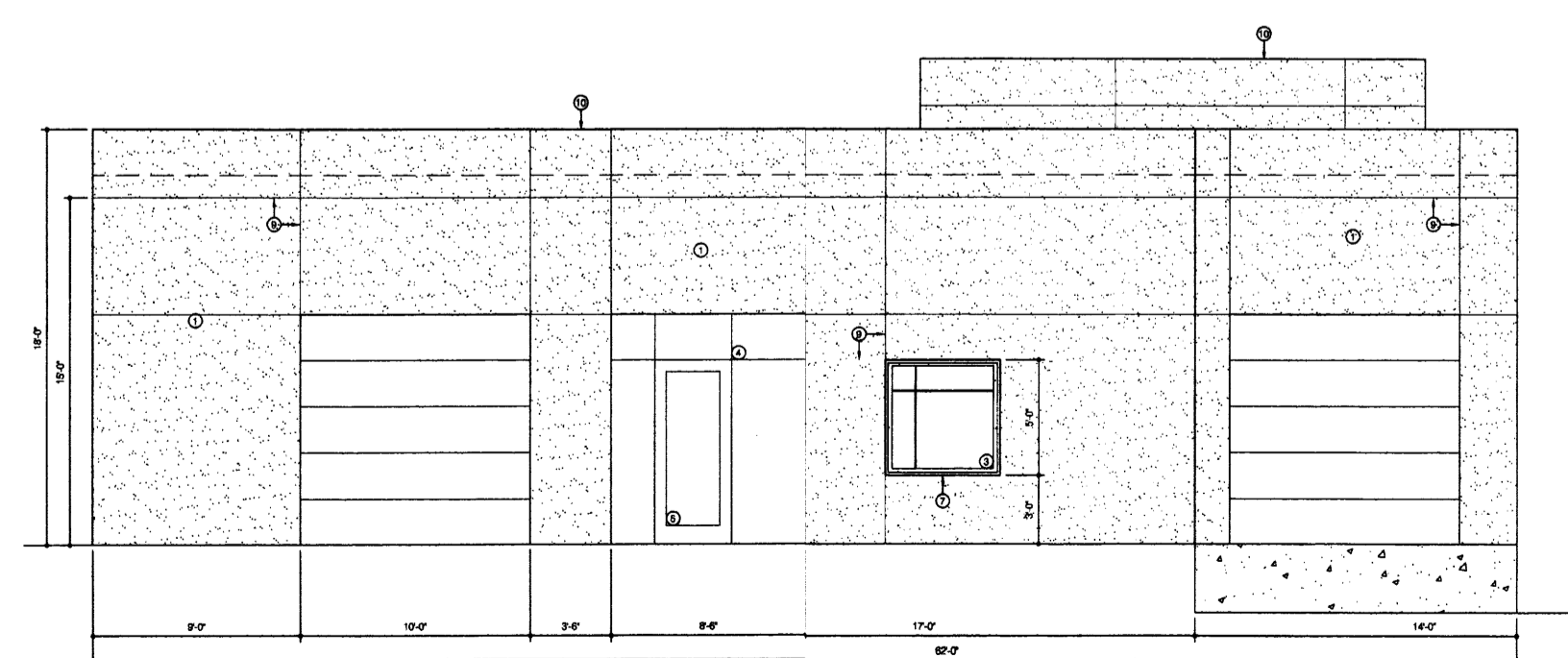
WEST BUILDING 4 / NORTH BUILDING 1

SCALE: 1/8"=1'-0"



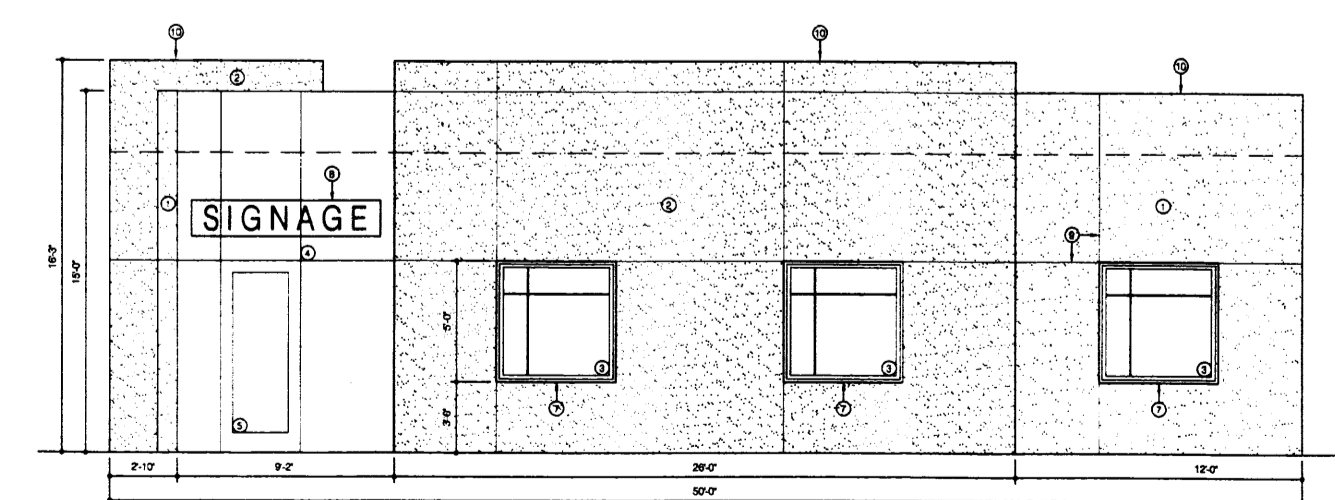
WEST BUILDINGS 2 & 3

SCALE: 1/8"=1'-0"



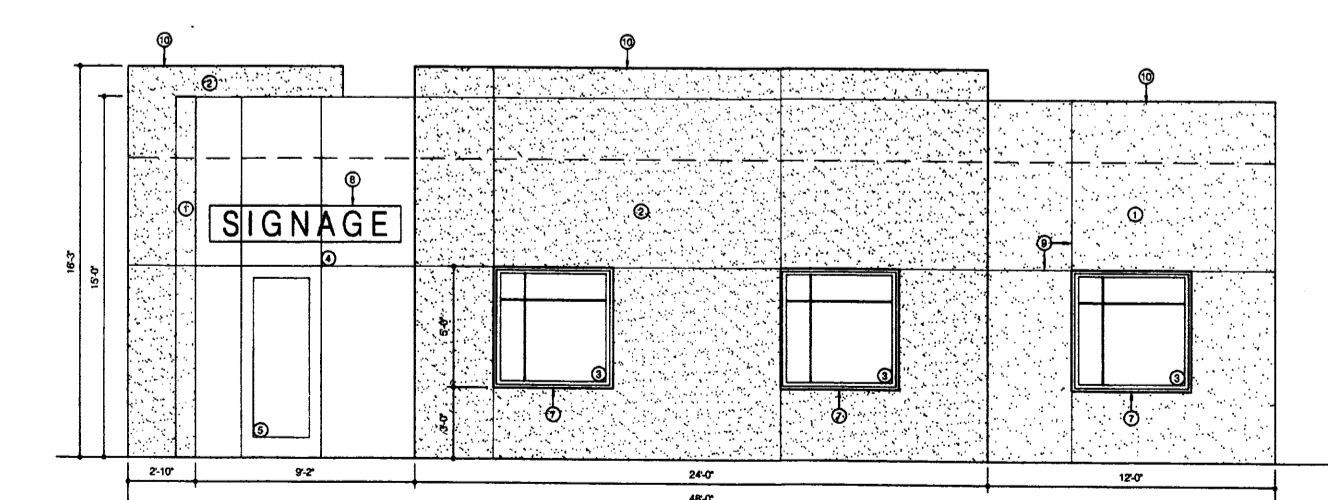
EAST BUILDING 5

SCALE: 1/8"=1'-0"



SOUTH BUILDING 4 / WEST BUILDING 1

SCALE: 1/8"=1'-0"



SOUTH BUILDINGS 2 & 3

SCALE: 1/8"=1'-0"



DATE ISSUED	1/22/04
EDITION	DRB SUBMITTAL / BUILDING PERMIT
PROJECT ID	VERANO PLAZA
CONSULTANT	INSITEWORKS

SHEET INDEX	
AS-101	ARCHITECTURAL SITE PLAN
AS-102	SITE PLAN DETAILS
L-101	LANDSCAPE PLAN
C-1.0	GRADING & DRAINAGE PLAN
C-2.0	UTILITIES SITE PLAN
A-201	BUILDING ELEVATIONS
REPLAT	DRAFT REPLAT

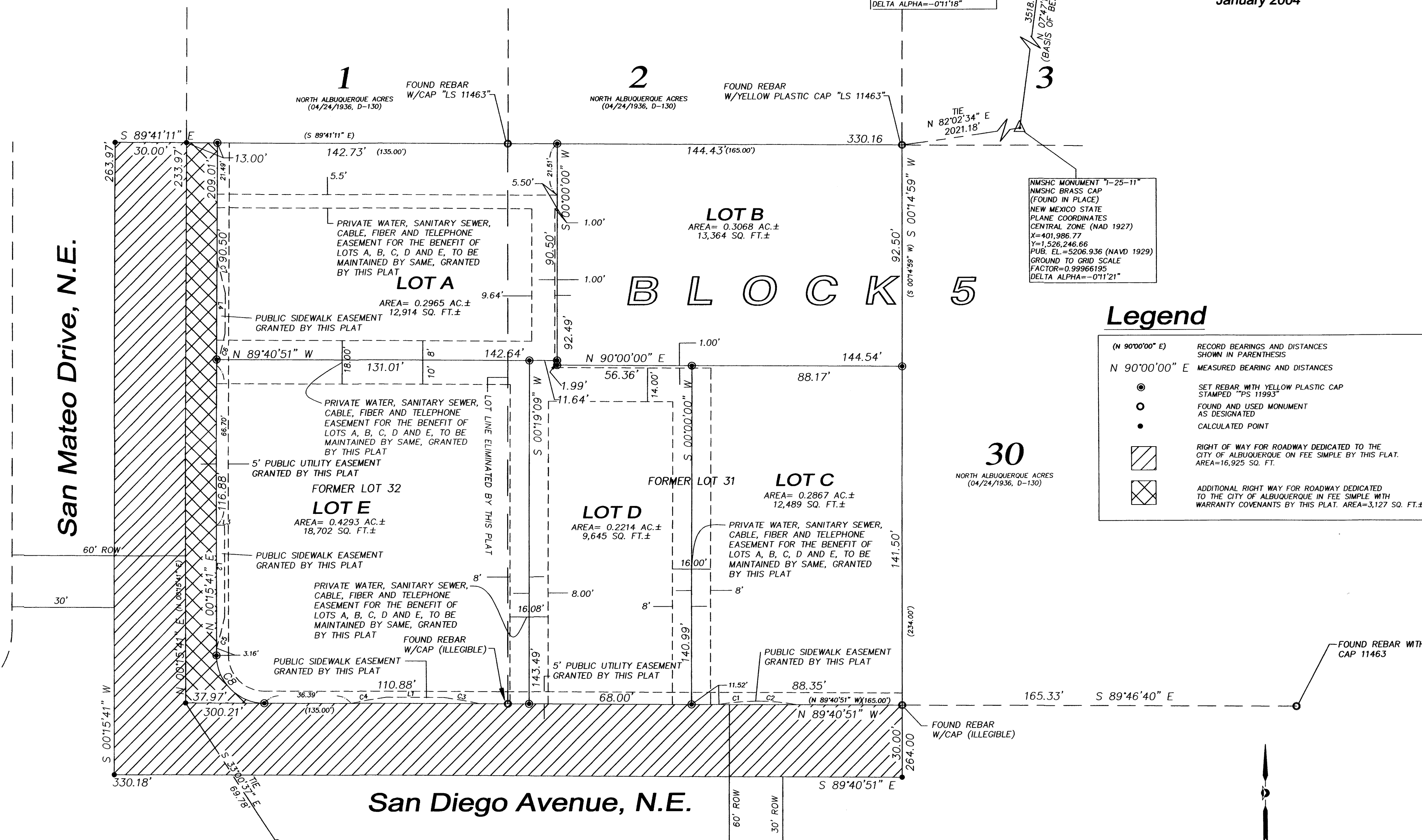
Plat of
Lots A, B, C, D and E
Verano Plaza
Albuquerque, Bernalillo County, New Mexico
January 2004

NOTE: A PRIVATE INGRESS/EGRESS AND PARKING EASEMENT ACROSS ALL INTERIOR PAVED AREAS FOR THE BENEFIT OF LOTS A, B, C, D, AND E, TO BE MAINTAINED BY SAME, GRANTED BY THIS PLAT.

NMNSHC MONUMENT "7-25-10"
NMNSHC BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE
PLANE COORDINATES
CENTRAL ZONE (NAD 1927)
X=402,463.48
Y=1,529,732.90
PUB. EL.=5203.883 (NAVD 1929)
FACTOR=0.9996199
DELTA ALPHA=-01'18"

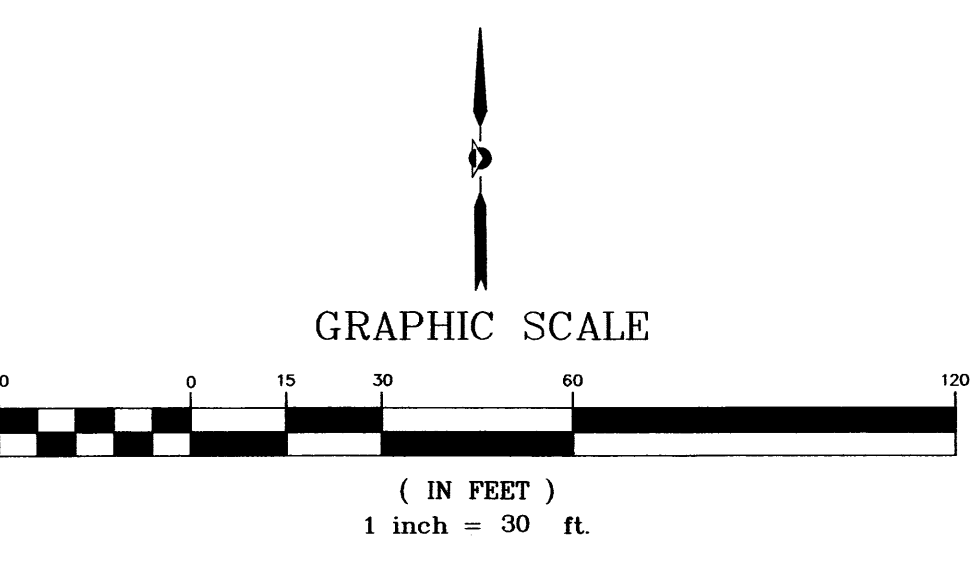
351.8.68'
02°47'11"
(BASIS OF BEARINGS)

NMNSHC MONUMENT "7-25-11"
NMNSHC BRASS CAP
(FOUND IN PLACE)
NEW MEXICO STATE
PLANE COORDINATES
CENTRAL ZONE (NAD 1927)
X=401,986.77
Y=1,526,246.86
PUB. EL.=5206.936 (NAVD 1929)
FACTOR=0.99965195
DELTA ALPHA=-01'21"



Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993"
- FOUND AND USED MONUMENT AS DESIGNATED
- CALCULATED POINT
- ▨ RIGHT OF WAY FOR ROADWAY DEDICATED TO THE CITY OF ALBUQUERQUE ON FEE SIMPLE BY THIS PLAT. AREA=16,925 SQ. FT.
- ▩ ADDITIONAL RIGHT WAY FOR ROADWAY DEDICATED TO THE CITY OF ALBUQUERQUE ON FEE SIMPLE WITH WARRANTY COVENANTS BY THIS PLAT. AREA=3,127 SQ. FT.



Line Table

LINE	LENGTH	BEARING
L1	24.09'	S 89°40'51" E
L2	38.63'	N 00°19'09" E
L3	3.44'	N 89°40'51" W
L4	16.86'	S 00°19'09" W

Curve Table

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	DISTANCE
C1	93.72'	16.32'	09°58'37"	8.18'	S 85°19'51" W	16.30'
C2	93.72'	16.32'	09°58'37"	8.18'	N 84°41'32" W	16.30'
C3	187.67'	15.08'	04°36'14"	7.54'	N 80°08'07" W	15.08'
C4	198.81'	14.97'	04°18'52"	7.49'	S 80°42'13" W	14.97'
C5	200.42'	13.18'	03°46'01"	6.59'	N 157°31'1" E	13.17'
C6	109.43'	13.81'	07°13'57"	6.92'	N 15°02'08" E	13.80'
C7	228.81'	14.12'	03°32'10"	7.06'	N 141°44'5" W	14.12'
C8	20.00'	31.40'	89°56'32"	19.98'	S 44°42'35" E	28.27'

**Replat prepared by Precision Survey
(provided in this set for reference only)**

**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**



DATE ISSUED	1/22/04
EDITION	DRS SUBMITTAL/ BUILDING PERMIT
PROJECT ID	VERANO PLAZA
CONSULTANT	INSITEWORKS

SHEET INDEX

AS-101	ARCHITECTURAL SITE PLAN
AS-102	SITE PLAN DETAILS
L-101	LANDSCAPE PLAN
C-1.0	GRADING & DRAINAGE PLAN
C-2.0	UTILITIES SITE PLAN
A-201	BUILDING ELEVATIONS
REPLAT	DRAFT REPLAT

Replat