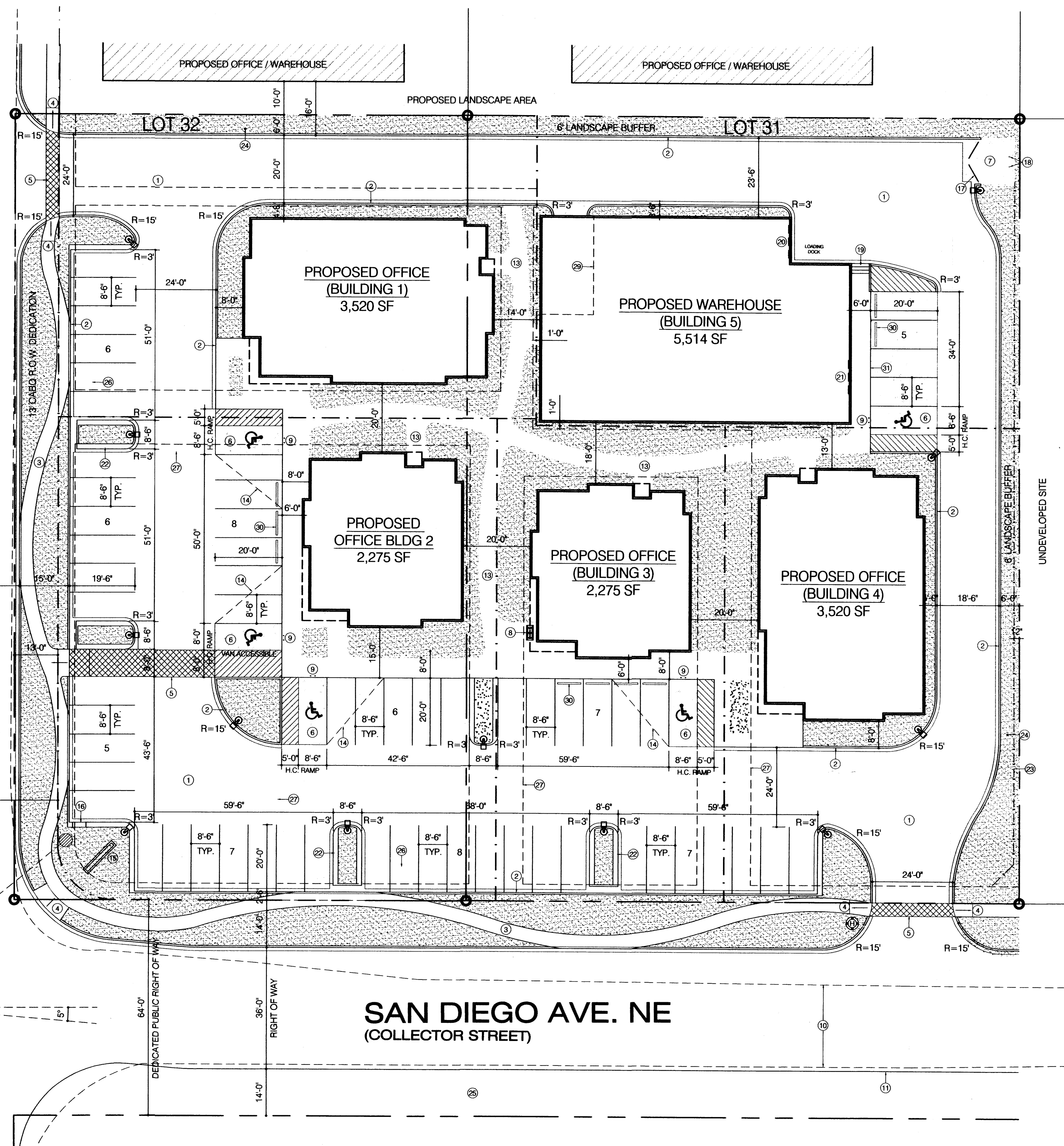


SAN MATEO DR. NE
(COLLECTOR STREET)



SAN DIEGO AVE. NE
(COLLECTOR STREET)

- GENERAL NOTES**
- (C1-1) ALL STANDARD PARKING SPACES SHALL BE 8'-6" W X 20'-0" D
 - (C1-2) ALL HANDICAP PARKING SPACES SHALL BE 8'-0" W X 20'-0" D WITH ADJACENT SW STRIPED ACCESS AISLE (1 VAN ACCESSIBLE SPACE PER PROPERTY SHALL HAVE AN 8' WIDE ACCESS AISLE). ALL SPACES SHALL HAVE POLE SIGN AND HANDICAP SYMBOL. PAVEMENT MARKINGS.
 - (C1-3) ALL PARKING SPACES, HANDICAP SYMBOLS AND CROSS HATCHED ACCESS AISLES SHALL BE MARKED ON PAVEMENT WITH WHITE ALKYD STIPING PAINT, TYP.
 - (C1-5) ALL ASPHALT AREAS ARE CROSS ACCESS / PARKING EASEMENTS
 - (C1-6) ALL CONCRETE WALKS ARE CROSS ACCESS UTILITY EASEMENTS
- KEYED NOTES**
- (1) ASPHALT PAVED SURFACE - SEE DETAIL 1/AS-102
 - (2) CONCRETE CURB & GUTTER - SEE DETAILS 2/AS-102 - SEE GRADING PLAN FOR SPECIFIC CURB TYPE LOCATIONS
 - (3) CONCRETE SIDEWALK - SEE DETAIL 3/AS-102 - TYPICAL SIDEWALK WIDTH SHALL BE 4'-0" UNLESS NOTED OTHERWISE
 - (4) SIDEWALK RAMP - SEE DETAIL 4/AS-102
 - (5) CONCRETE PEDESTRIAN CROSSWALK - SEE DETAIL 6/AS-102
 - (6) HANDICAP ACCESS RAMP - SEE DETAIL 8/AS-102
 - (7) CAST IN PLACE 7" TALL CONCRETE DUMPSTER ENCLOSURE W/ GATES - SEE DETAIL 9 & 10/AS-102
 - (8) PRECAST CONCRETE BIKE RACK - SEE DETAIL 7/AS-102
 - (9) HANDICAP PARKING SPACE SIGN - ONE SIGN PER HANDICAP PARKING SPACE, TYP. - SEE DETAIL 5/AS-102
 - (10) EXISTING PAVING SECTION @ SAN DIEGO
 - (11) NEW (FUTURE) EDGE OF ASPHALT @ SOUTH SIDE SAN DIEGO RIGHT-OF-WAY
 - (12) 5% EQUALS ALLOWABLE ALIGNMENT VARIATION FROM CENTERLINE
 - (13) INTERIOR SIDEWALK TO BE COLORED CONCRETE W/ ROCK SALT FINISH
 - (14) ASPHALT TAPER FROM HANDICAPPED STALL TO STANDARD STALL
 - (15) COLORED CONCRETE MONUMENT SIGN WITH INDIVIDUALLY RAISED LETTERS - SEE DETAIL 8 & 12/AS-102
 - (16) STORM DRAIN - SEE GRADING & DRAINAGE PLAN
 - (17) DUMPSTER ENCLOSURE - SEE DETAIL 13/AS-102
 - (18) BOLLARDS - 5"Ø CONCRETE FILLED STEEL PIPE
 - (19) CONCRETE STAIRS
 - (20) 30" A.F.F. OVERHEAD DOCK DOOR
 - (21) OVERHEAD DOOR @ GRADE
 - (22) 12" CONCRETE STRIP ADJACENT TO PARKING STALL
 - (23) 6" TALL WROUGHT IRON FENCE, BLACK MATTE PAINT
 - (24) ONE-WAY TRAFFIC SIGN
 - (25) POTENTIAL FUTURE CABO BIKE LANE
 - (26) 6" GENERAL UTILITY EASEMENT - SEE REPLAT
 - (27) WATERSEWER LINE EASEMENT - SEE REPLAT
 - (28) EXISTING STORM WATER INLET & 42" DRAIN PIPE - SEE GRADING & DRAINAGE PLAN
 - (29) 30" GRADE CHANGE @ WAREHOUSE
 - (30) CONCRETE PARKING BUMPER
 - (31) ROLL CURB FOR OVERHEAD DOOR ACCESS

LEGAL DESCRIPTION:
LOTS NUMBERED THIRTY-ONE (31) AND THIRTY-TWO (32), IN BLOCK NUMBERED FIVE (5), TRACT 'A', UNIT 'B', NORTH ALBUQUERQUE ACRES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN VOLUME D, FOLIO 130.

LEGAL NOTES:
LOT 31: CITY OF ALBUQUERQUE UPC NO. 101806502711730702
LOT 32: CITY OF ALBUQUERQUE UPC NO. 101806501117230701

SITE TOTALS

BUILDING 1
USE: OFFICE/RETAIL
SITE AREA: 12,040 SF
GROSS BUILDING AREA: 3,520 SF (29%)
NET LEASABLE AREA: 3,300 SF
PARKING SPACES REQUIRED: 3,300 / 200 = 17
PARKING SPACES PROVIDED: 17 + 1 HC SPACE = 18

BUILDING 2
USE: OFFICE/RETAIL
SITE AREA: 18,841 SF
GROSS BUILDING AREA: 2,275 SF (12%)
NET LEASABLE AREA: 2,100 SF
PARKING SPACES REQUIRED: 2,100 / 200 = 11
PARKING SPACES PROVIDED: 11 + 1 HC SPACE = 12

BUILDING 3
USE: OFFICE/RETAIL
SITE AREA: 9,739 SF
GROSS BUILDING AREA: 2,275 SF (23%)
NET LEASABLE AREA: 2,100 SF
PARKING SPACES REQUIRED: 2,100 / 200 = 11
PARKING SPACES PROVIDED: 11 + 1 HC SPACE = 12

BUILDING 4
USE: OFFICE/RETAIL
SITE AREA: 12,559 SF
GROSS BUILDING AREA: 3,520 SF (28%)
NET LEASABLE AREA: 3,300 SF
PARKING SPACES REQUIRED: 3,300 / 200 = 17
PARKING SPACES PROVIDED: 17 + 1 HC SPACE = 18

BUILDING 5
USE: WAREHOUSE
SITE AREA: 13,322 SF
GROSS BUILDING AREA: 5,040 SF (38%)
NET LEASABLE AREA: 4,790 SF
PARKING SPACES REQUIRED: 4,790 / 2,000 = 3
PARKING SPACES PROVIDED: 4 + 1 HC SPACE = 5

LEGEND

- NEW 14' TALL POLE LIGHT W/ 250 WATT METAL HALIDE LAMPING (FULL CUT-OFF, SHOE BOX TYPE), MOUNTED ON CONCRETE BASE
- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT - SEE SITE UTILITY PLAN
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE

THE SUBJECT PROPERTY IS LOCATED (NEAR, ON) A (FORMER, EXISTING) LANDFILL DUE TO THE SUBJECT PROPERTY BEING (ON, NEAR) A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS PROVIDED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS" SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

Michael Nelson Feb. 9, 2009
ENVIRONMENTAL HEALTH DEPARTMENT

SITE PLAN
SCALE: 1"=20'
GRAPHIC SCALE

DRB ADMINISTRATIVE
SITE PLAN AMENDMENT
PROJECT NO. 1003173
APPLICATION NO. 04-00005
Deletion of spandrel glass
Add window trellises
Add entry trellis
Shawn Nelson 2/2/09
PLANNING DIRECTOR

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
FLC 1-22-09
SIGNATURE & DATE

PROJECT NUMBER: 1003173
APPLICATION NUMBER: 04-00005

IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES () NO IF YES, THEN SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

John S. ... 1-23-04 DATE
ENGINEERING TRANSPORTATION DIVISION

Roger A. Khan 1-28-04 DATE
UTILITIES DEPARTMENT

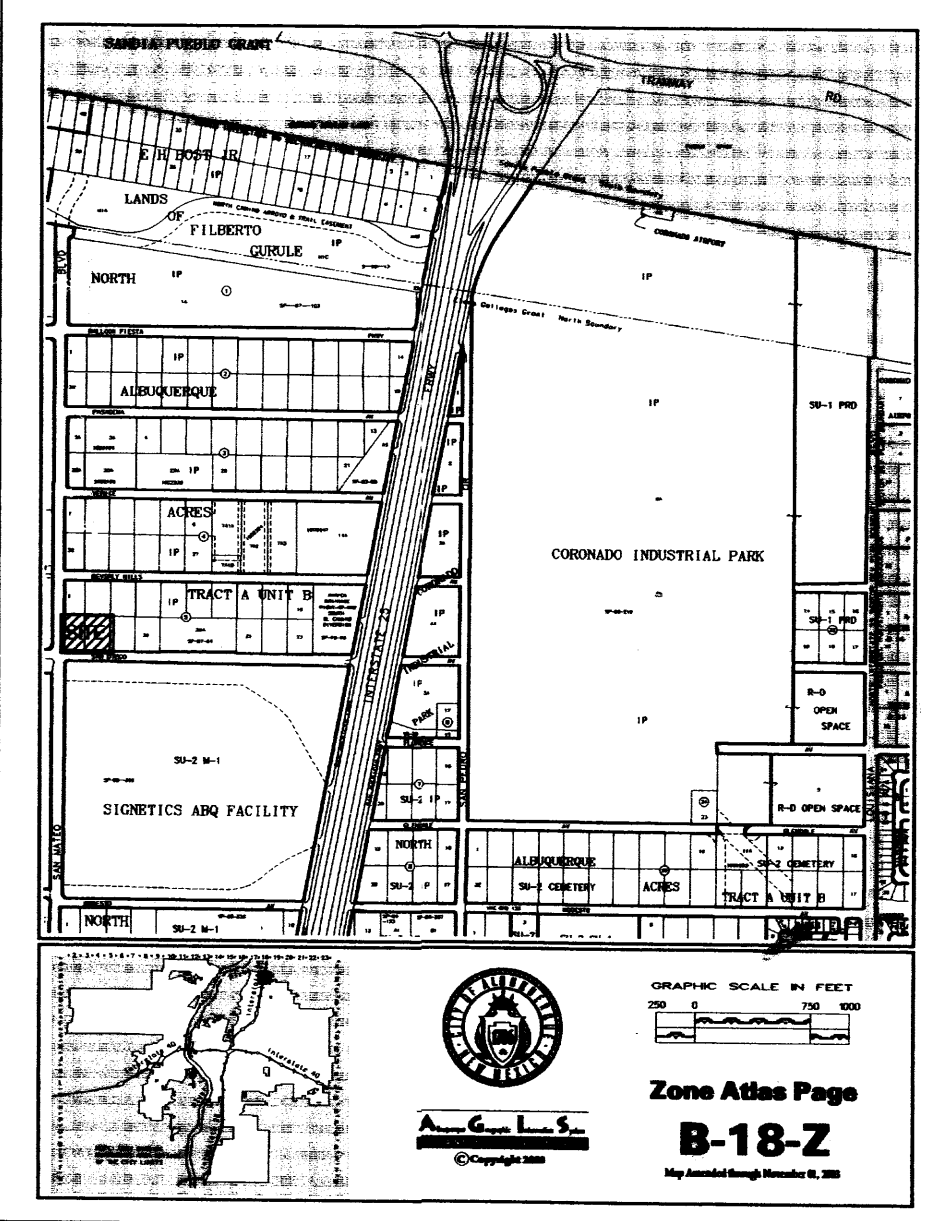
Christina Sandora 1-23-04 DATE
PARKS & RECREATION DEPARTMENT

CITY ENGINEER DATE
N/A

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE
Michael Nelson 1-23-04 DATE
SOLID WASTE MANAGEMENT

Shawn Nelson 2/9/09 DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT

*Environmental Health, if necessary



INSITEWORKS

ADDRESS: 57 ROCK POINT PLACE NE
ALBUQUERQUE, NM 87122
TELEPHONE: (505) 858-0100
FAX: (505) 858-1000
WEBSITE: www.insiteworks.com
KS email: kshigh@insiteworks.com

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**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**

verano PLAZA

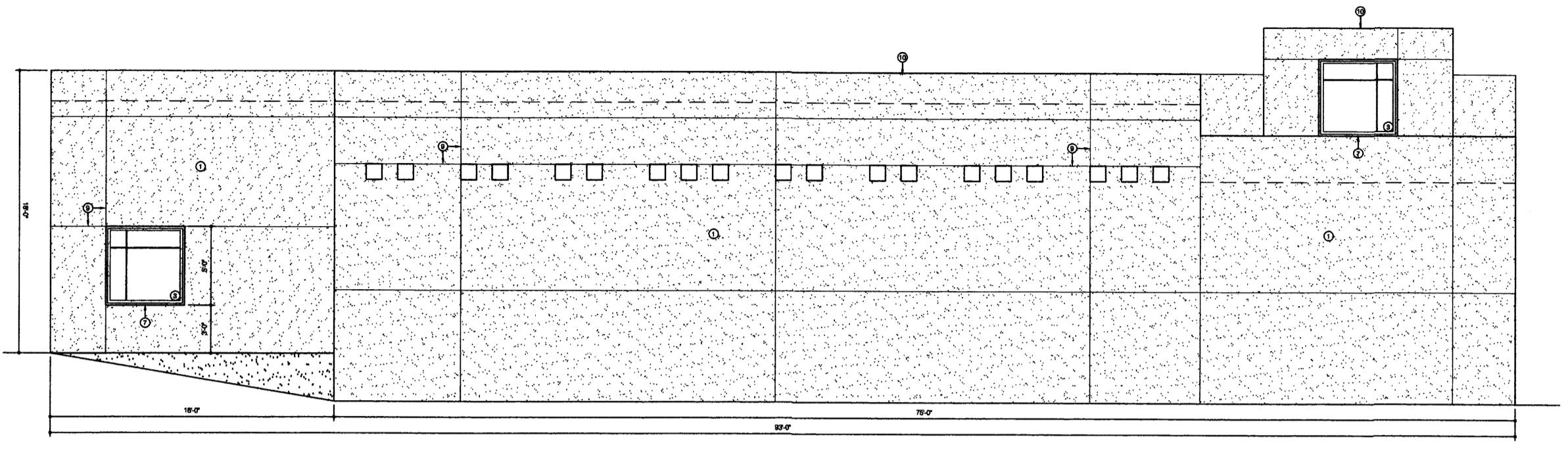
DATE ISSUED: 1/22/04
EDITION: DRB SUBMITTAL / BUILDING PERMIT
PROJECT ID: VERANO PLAZA
CONSULTANT: INSITEWORKS

SHEET INDEX
AS-101 ARCHITECTURAL SITE PLAN
AS-102 SITE PLAN DETAILS
L-101 LANDSCAPE PLAN
C-1-0 GRADING & DRAINAGE PLAN
C-2-0 UTILITIES SITE PLAN
A-201 BUILDING ELEVATIONS
REPLAT DRAFT REPLAT

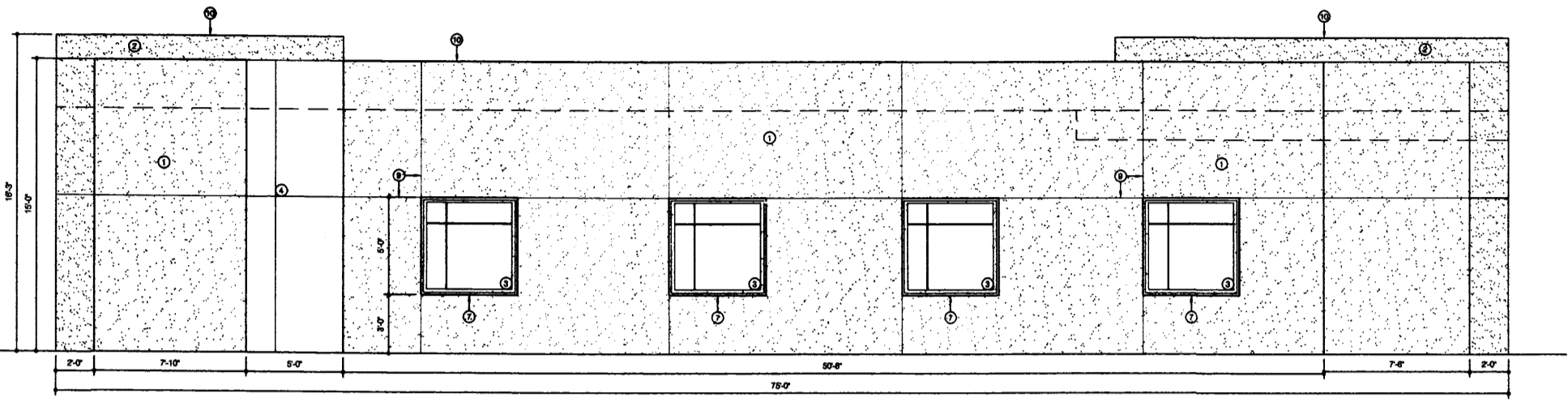
AS-101

PROJECT # 1003173

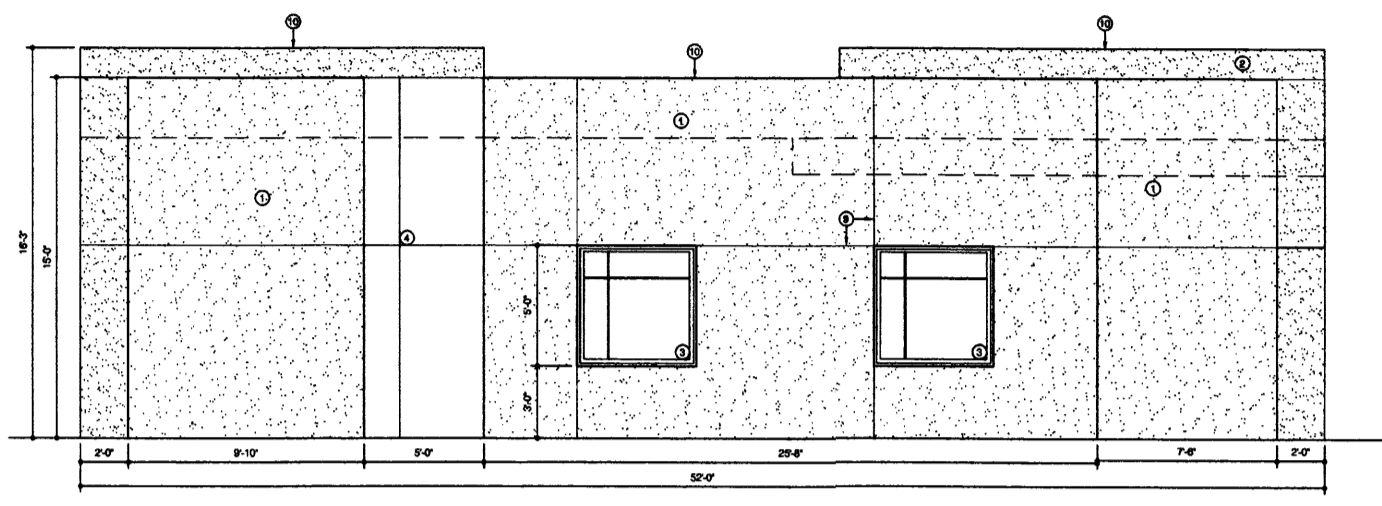
- KEYED NOTES**
- [1] STUCCO COLOR #1 - DESERT BRONZ (BENJAMIN MOORE HC-16)
 - [2] STUCCO COLOR #2 - LIGHT TERRA COTTA (BENJAMIN MOORE 2161-30)
 - [3] COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, TYPICAL, UNLESS NOTED OTHERWISE.
 - [4] ALUMINUM CLAD WOOD FRAME WINDOW.
 - [5] BUTT JOINTED STOREFRONT GLAZING SYSTEM.
 - [6] ALUMINUM STOREFRONT SYSTEM DOOR AND WINDOWS.
 - [7] SOLID CORE WOOD DOOR WITH HOLLOW METAL FRAME.
 - [8] PRECAST CONCRETE SILL, TYPICAL.
 - [9] RUSTED PATINA PLATE STEEL SIGN WITH LASER CUT LETTERS. 1'-6" HIGH X 8'-0" LONG (1/2 SQ. FT. OF AREA).
 - [10] 3/4" STUCCO REVEALS.
 - [11] DECORATIVE CORNICE.



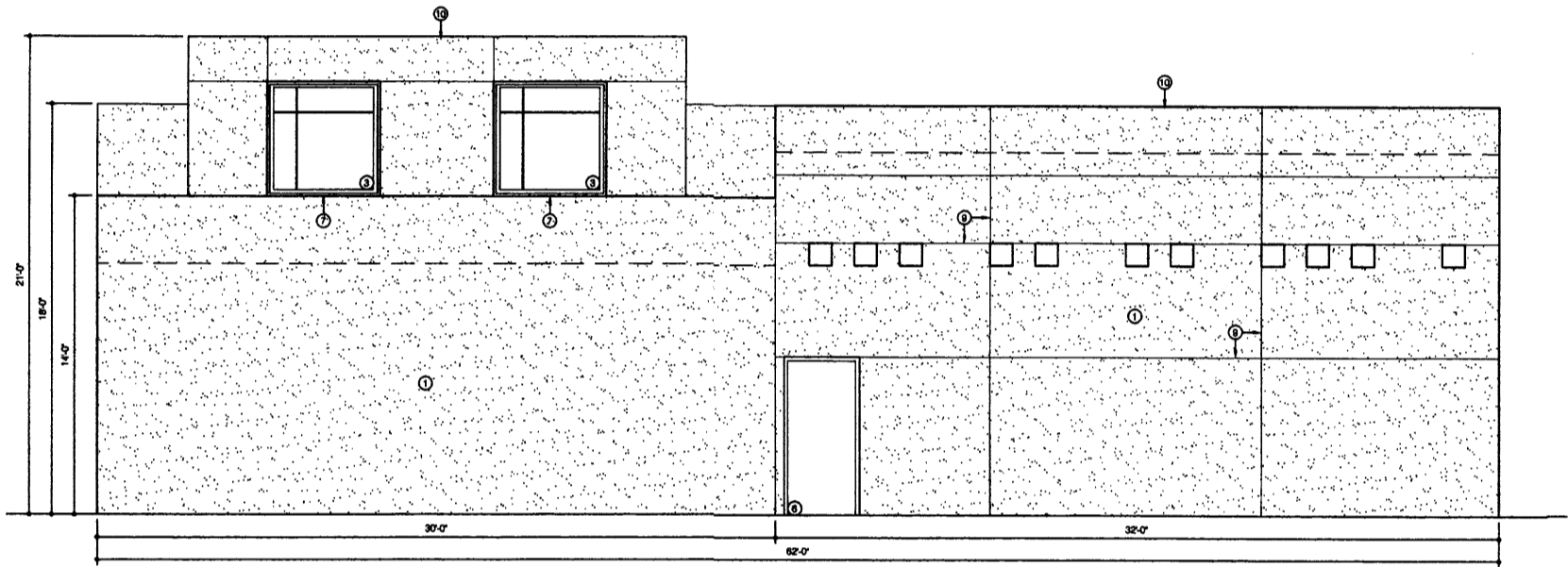
NORTH BUILDING 5
SCALE: 1/8"=1'-0"



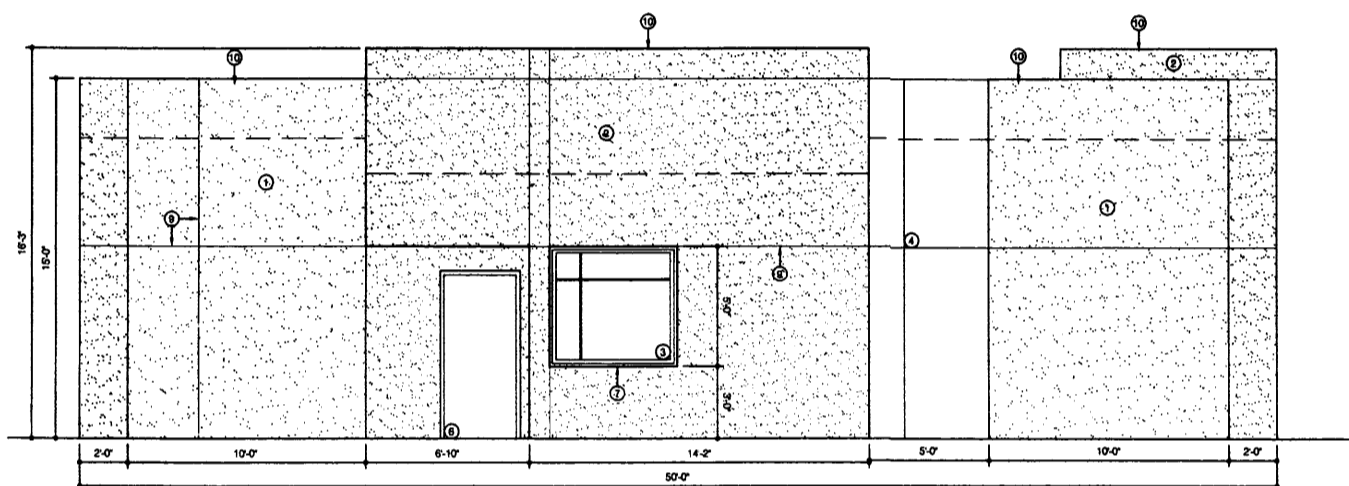
EAST BUILDING 4 / SOUTH BUILDING 1
SCALE: 1/8"=1'-0"



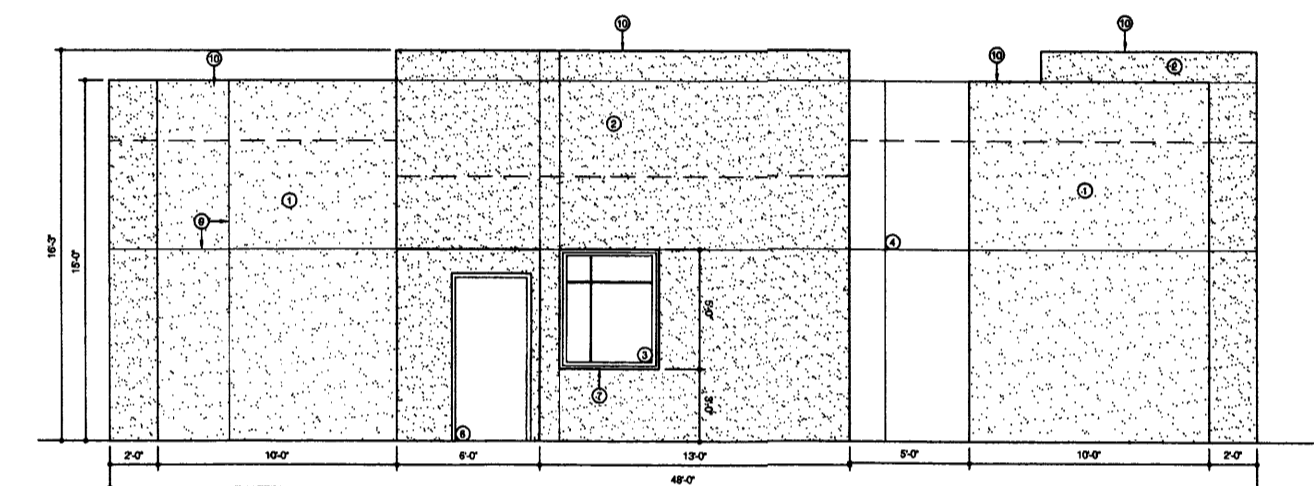
EAST BUILDINGS 2 & 3
SCALE: 1/8"=1'-0"



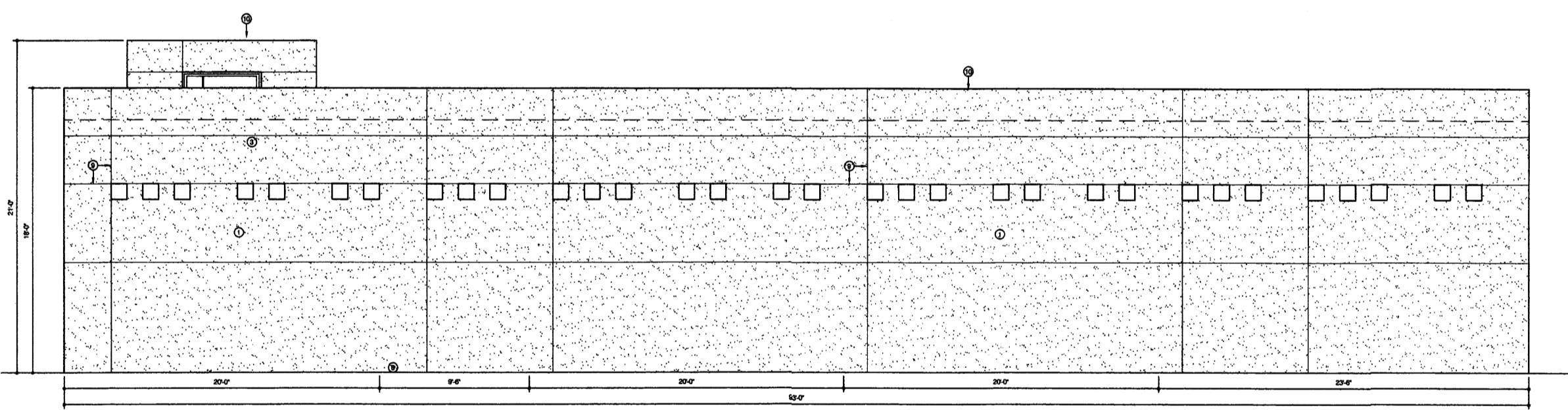
WEST BUILDING 5
SCALE: 1/8"=1'-0"



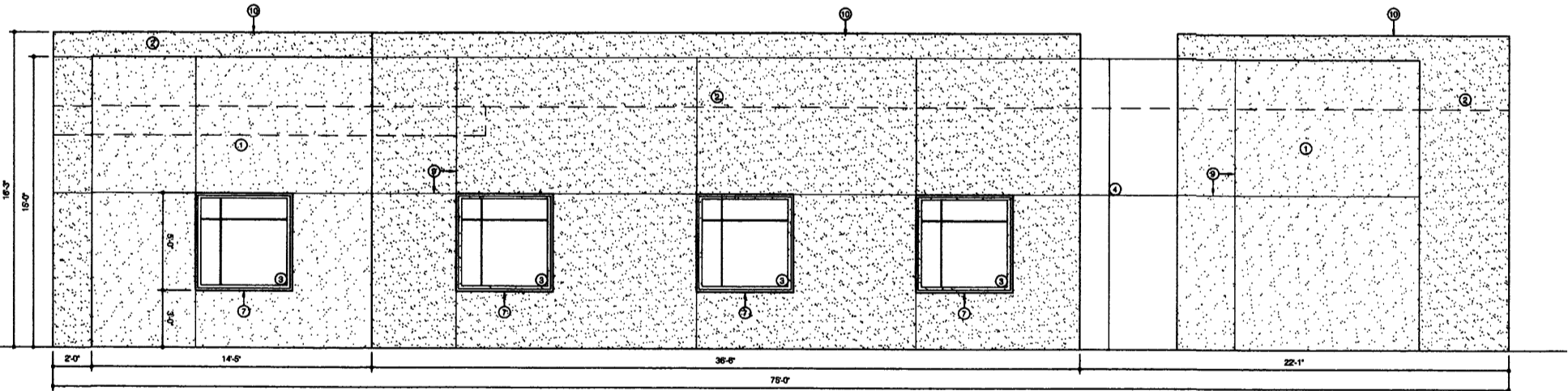
NORTH BUILDING 4 / EAST BUILDING 1
SCALE: 1/8"=1'-0"



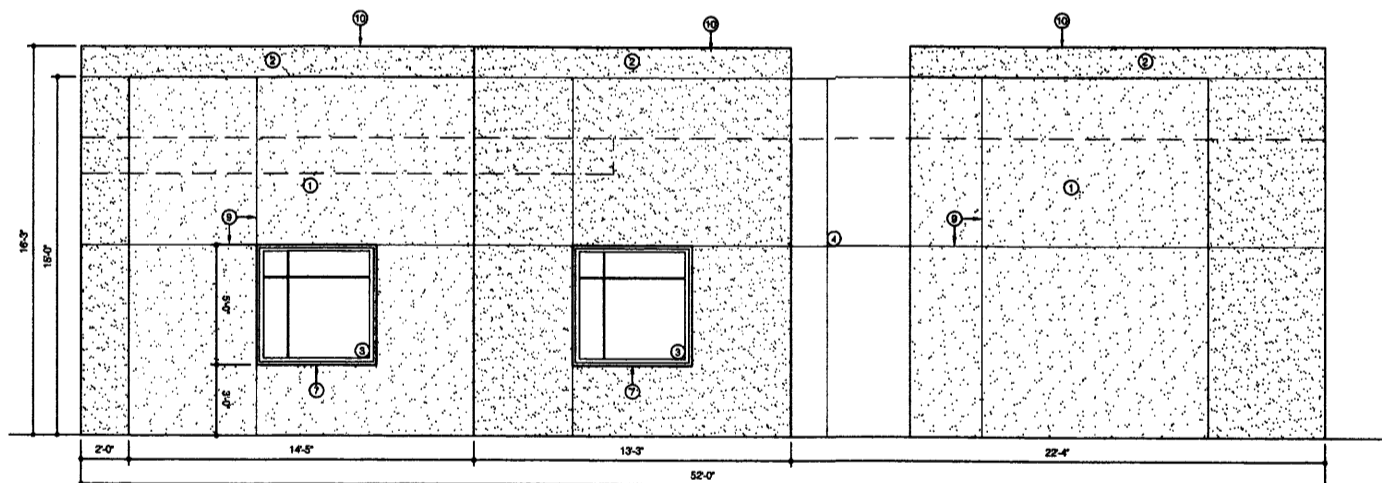
NORTH BUILDINGS 2 & 3
SCALE: 1/8"=1'-0"



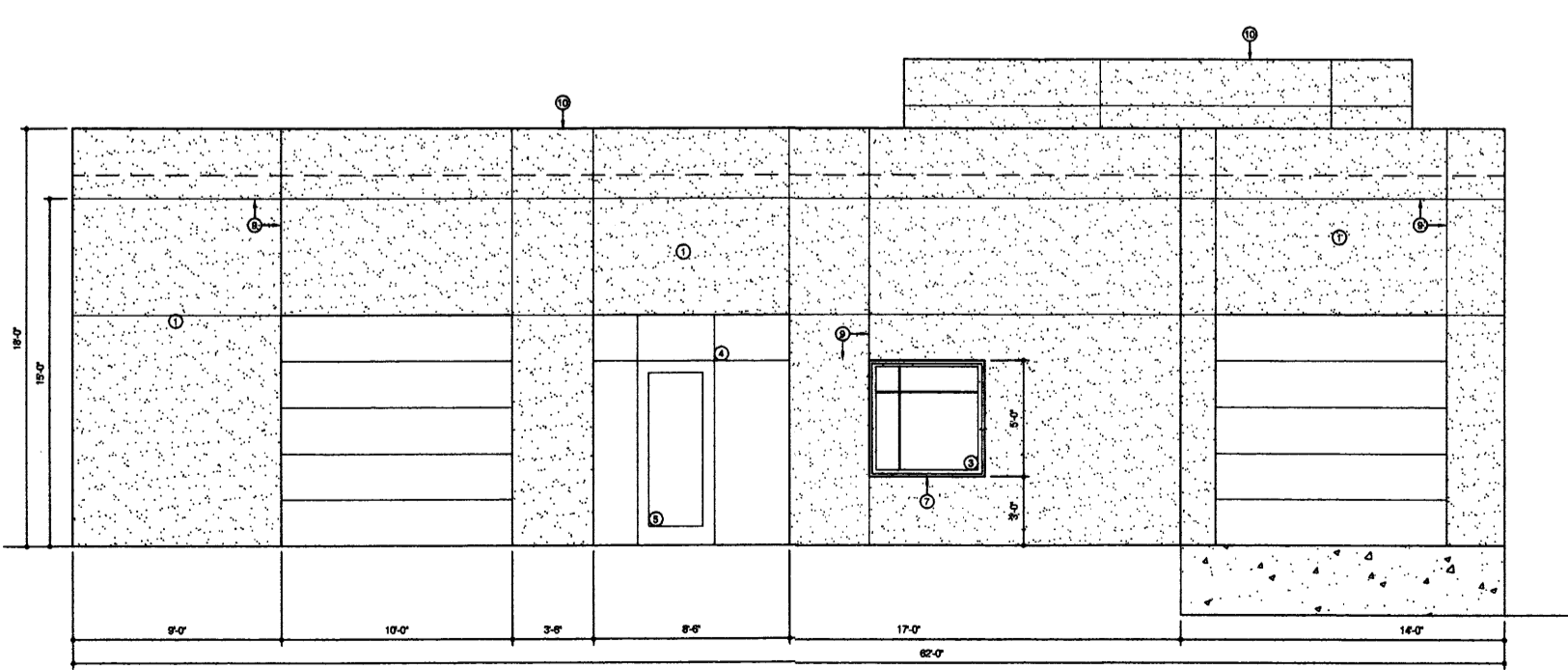
SOUTH BUILDING 5
SCALE: 1/8"=1'-0"



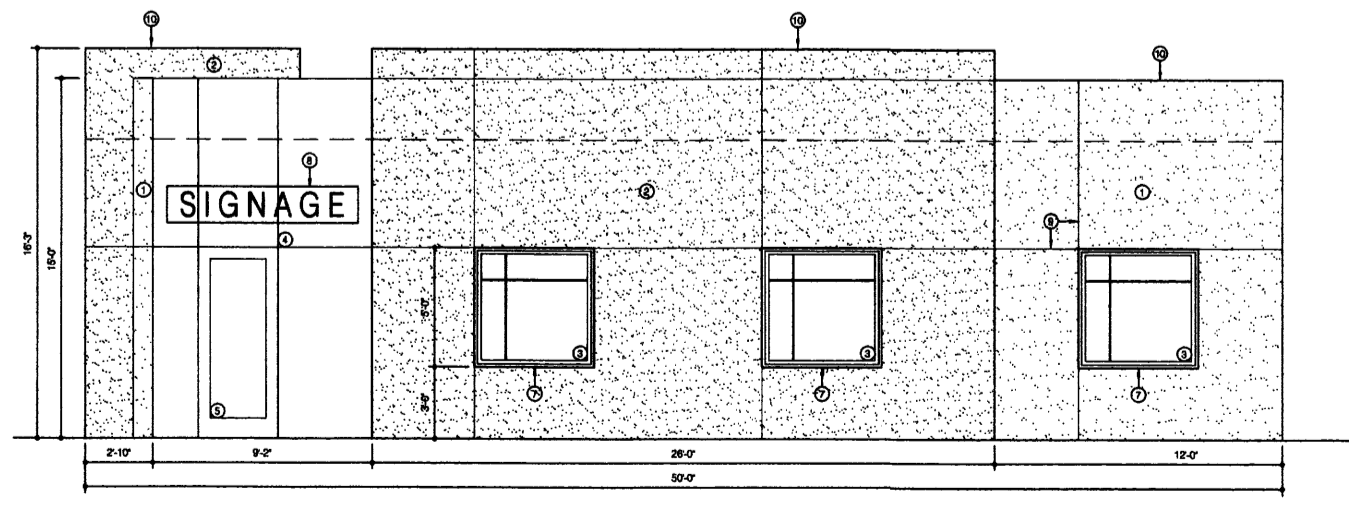
WEST BUILDING 4 / NORTH BUILDING 1
SCALE: 1/8"=1'-0"



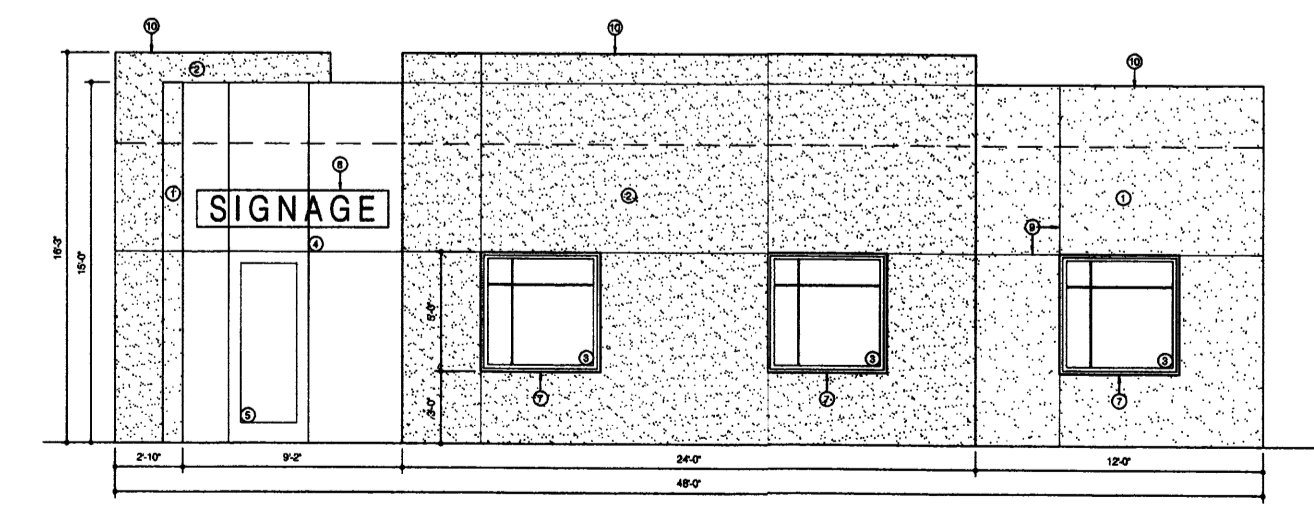
WEST BUILDINGS 2 & 3
SCALE: 1/8"=1'-0"



EAST BUILDING 5
SCALE: 1/8"=1'-0"



SOUTH BUILDING 4 / WEST BUILDING 1
SCALE: 1/8"=1'-0"



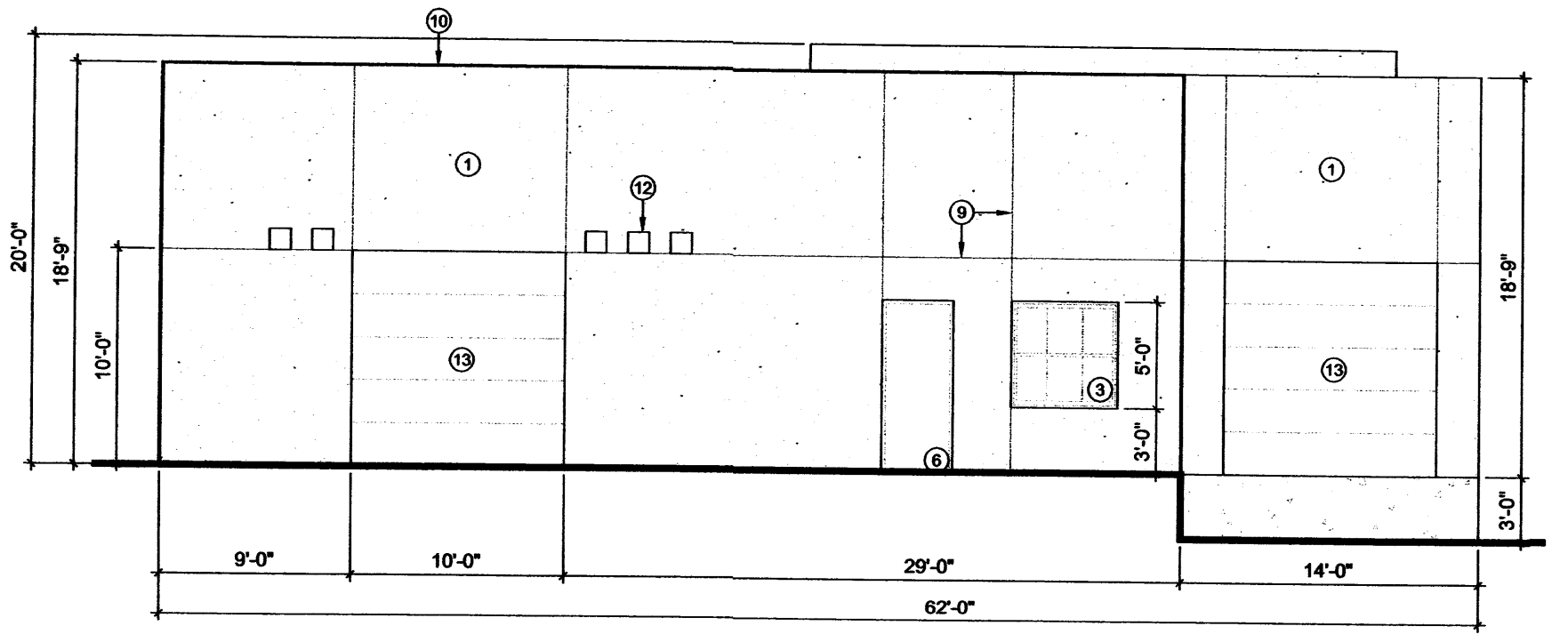
SOUTH BUILDINGS 2 & 3
SCALE: 1/8"=1'-0"

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

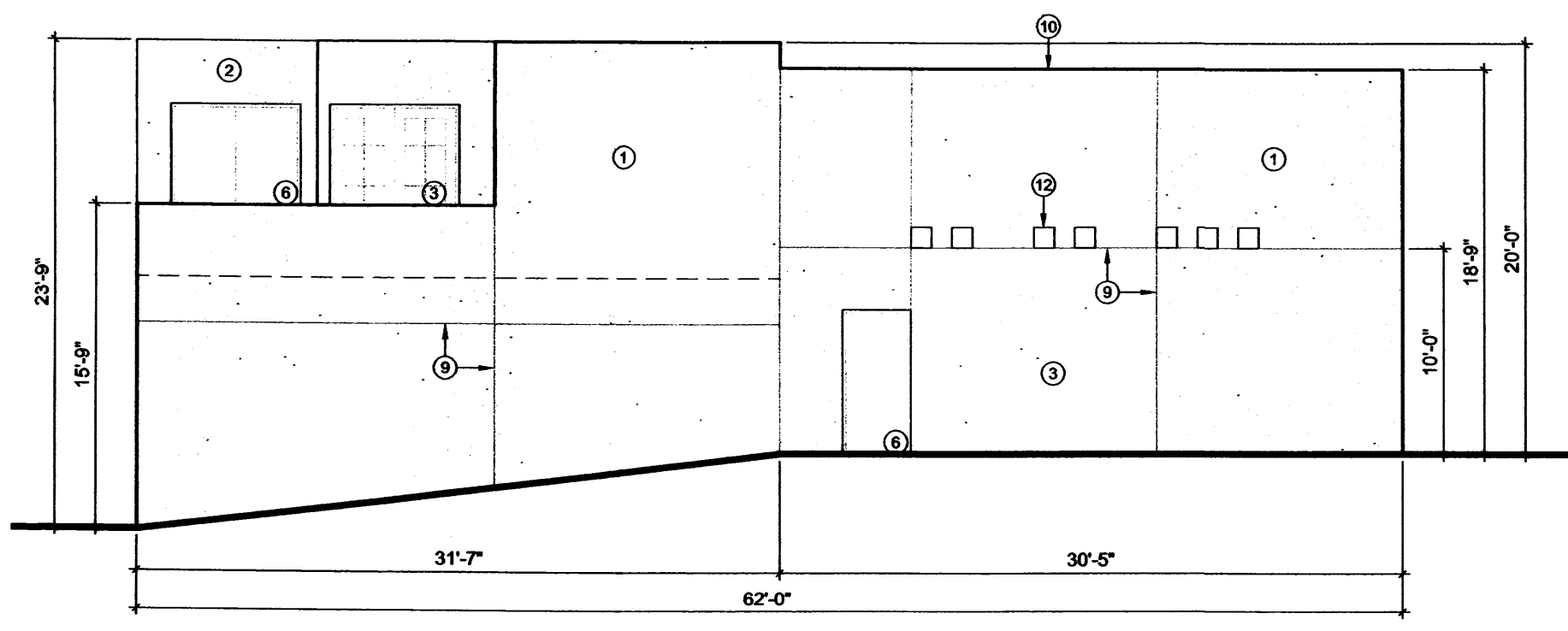
ADDRESS: 57 ROCK POINT PLACE NE
ALBUQUERQUE, NM 87122
TELEPHONE: (505) 858-0100
FAX: (505) 858-1000
WEBSITE: www.insiteworks.com
KS email: kslg@aol.com

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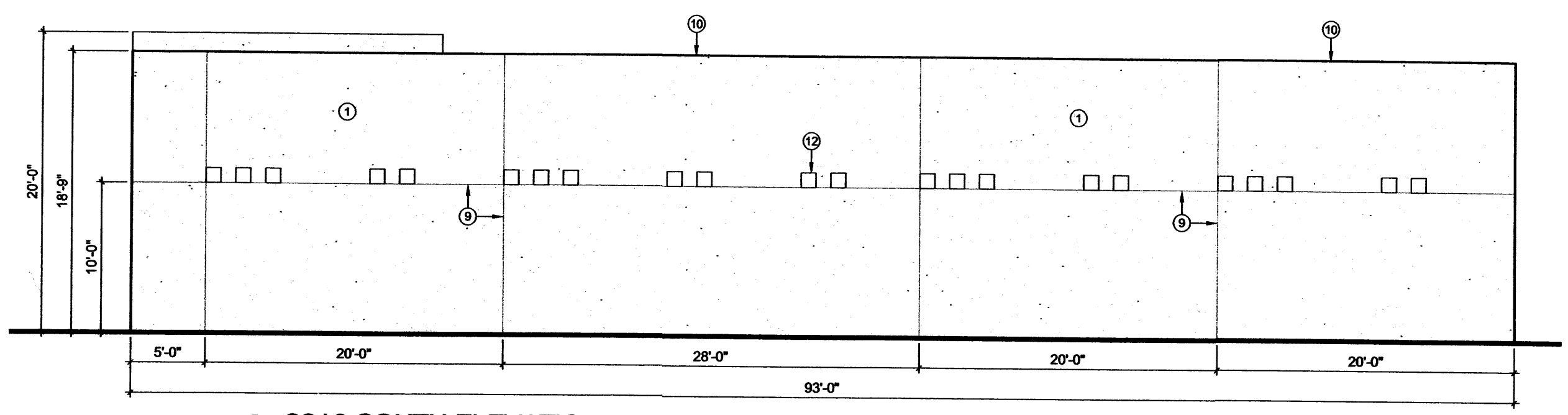
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 - (3) COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, TYPICAL, UNLESS NOTED OTHERWISE.
 - [3] ALUMINUM CLAD WOOD FRAME WINDOW.
 - [4] PAINTED STEEL ENTRY TRELLIS.
 - [5] WOOD FRAME DOOR AND SIDELIGHT.
 - [6] SOLID CORE WOOD DOOR WITH HOLLOW METAL FRAME.
 - [7] FORMED STUCCO WINDOW SILL.
 - [8] RUSTED PATINA PLATE STEEL SIGN WITH LASER CUT LETTERS. 1'-6" HIGH X 8'-0" LONG (12 SQ. FT. OF AREA).
 - [9] 3/4" STUCCO REVEALS.
 - [10] DECORATIVE CORNICHE.
 - [11] PAINTED STEEL WINDOW TRELLIS.
 - [12] GLASS BLOCK.
 - [13] 10'-0" X 10'-0" SECTIONAL OVERHEAD DOOR.



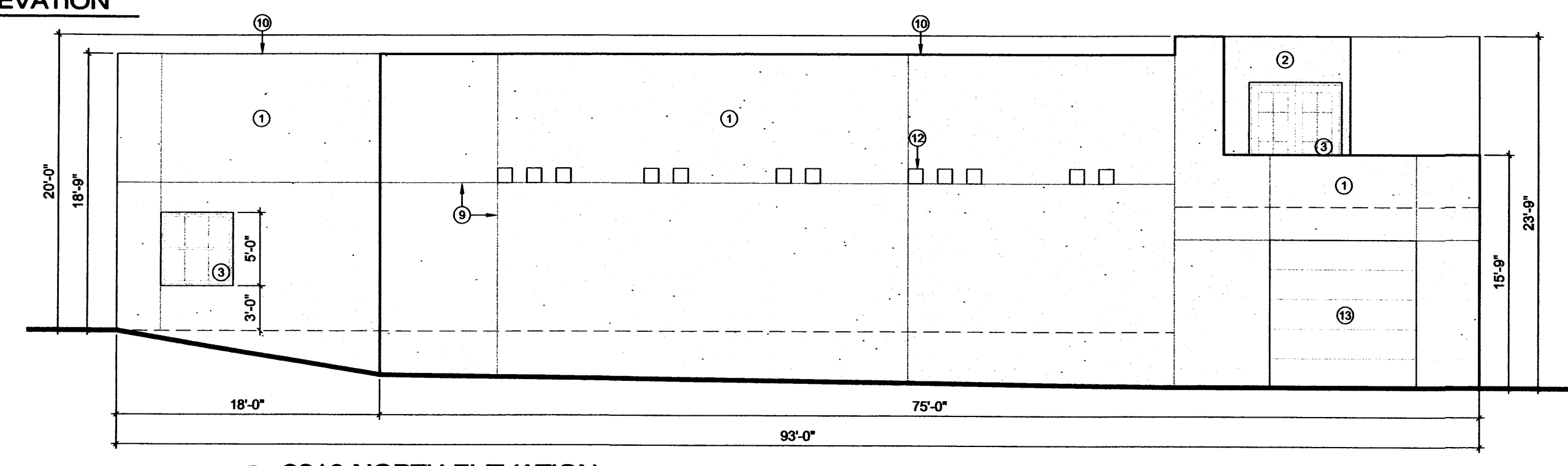
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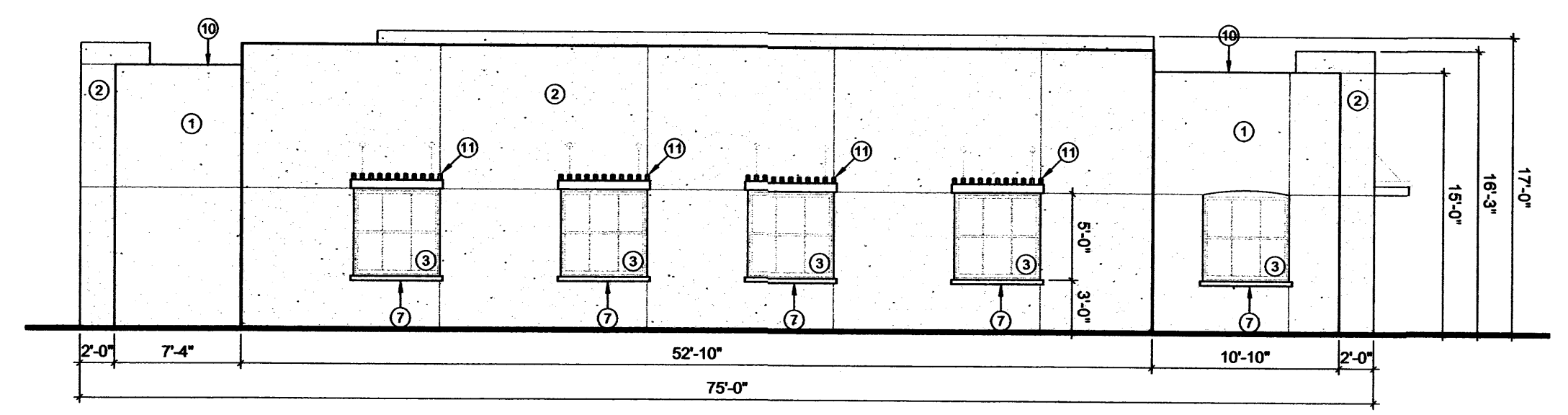
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SCALE: 1/8" = 1'-0"



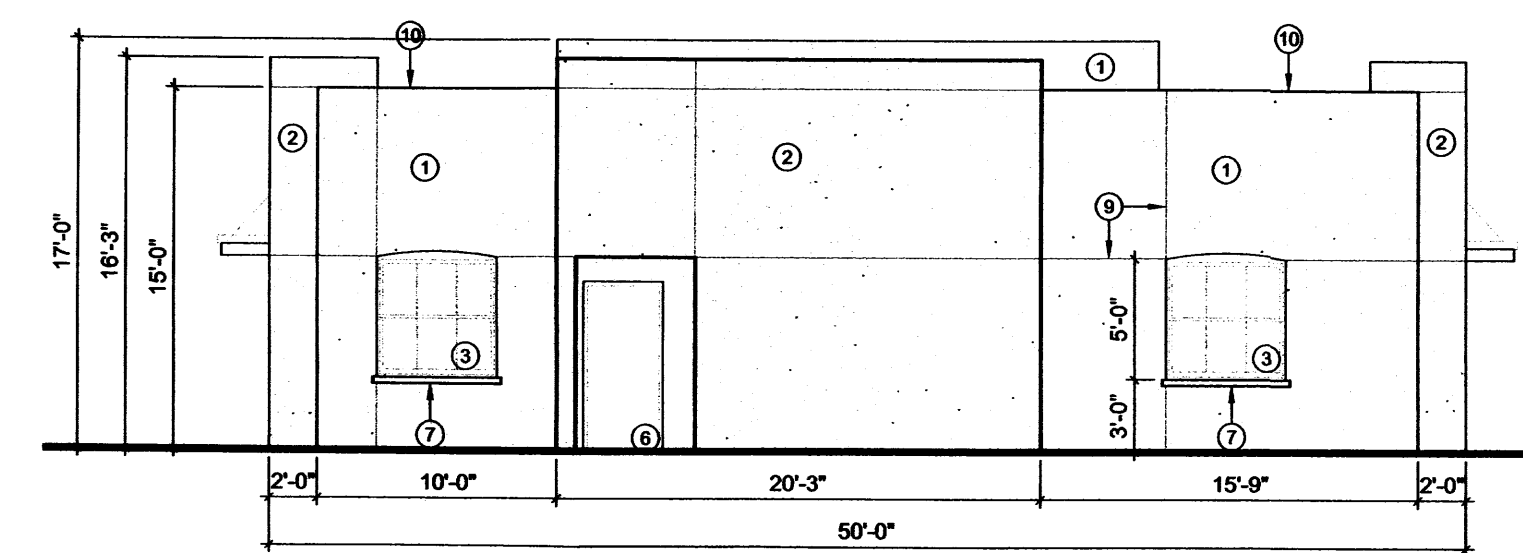
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SCALE: 1/8" = 1'-0"



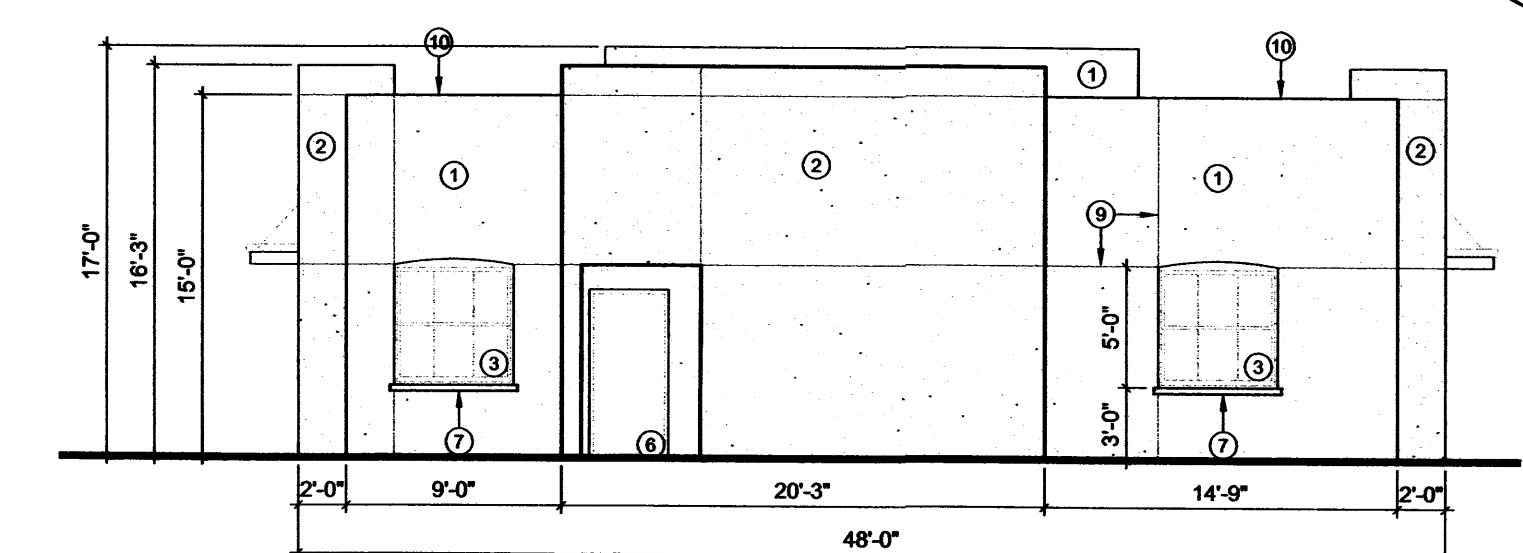
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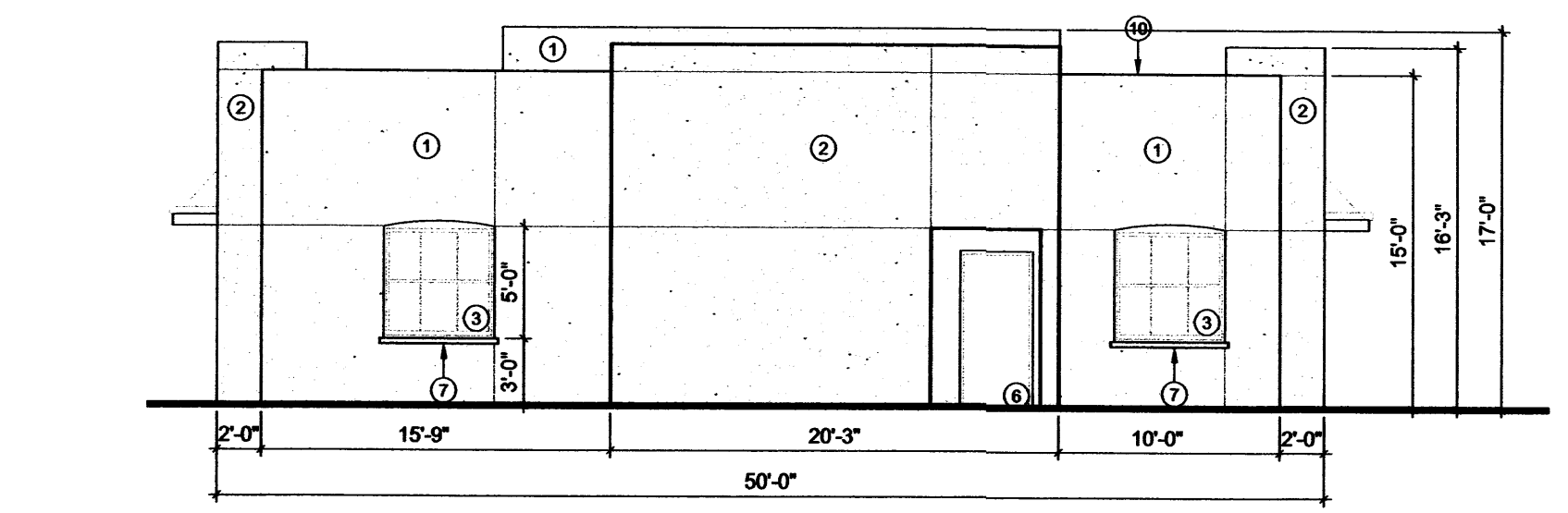
12 9202 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



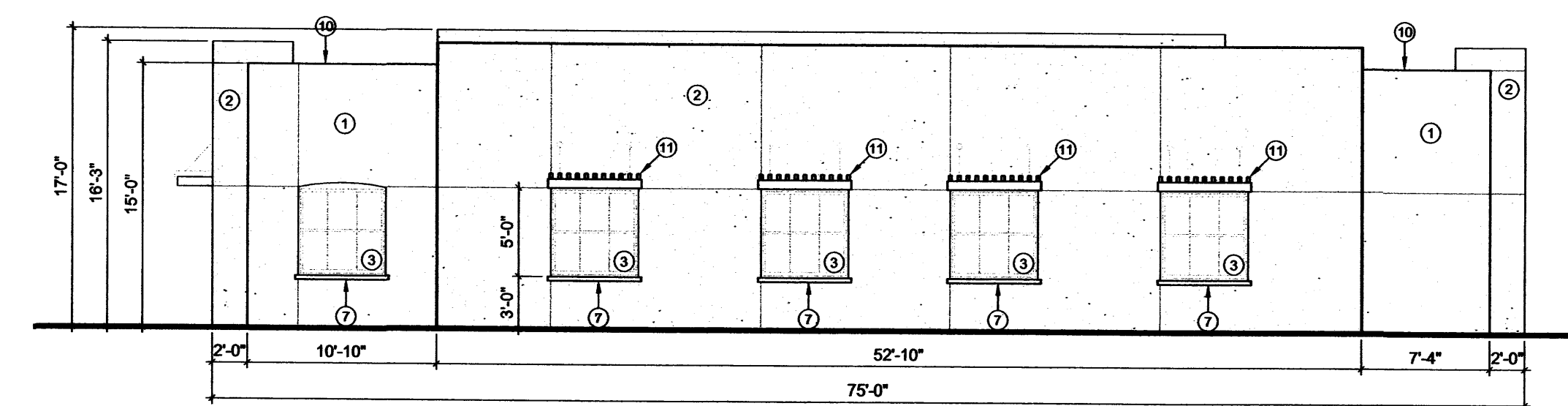
8 9208 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



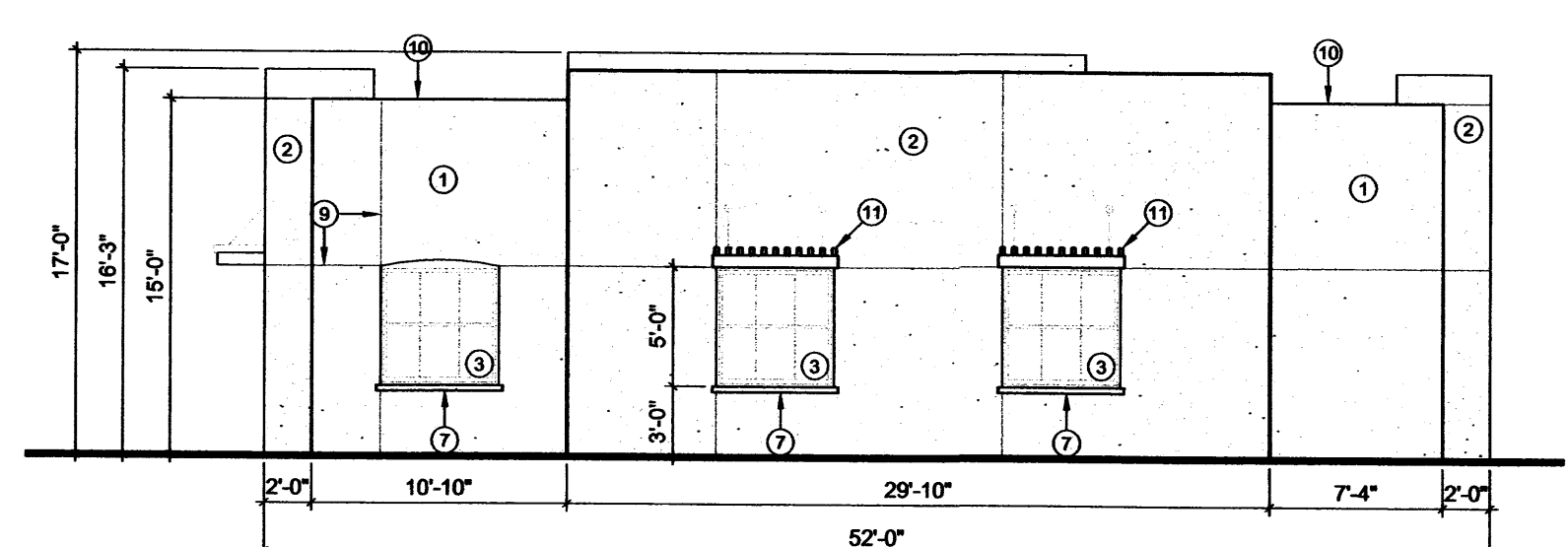
4 9200 & 9204 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



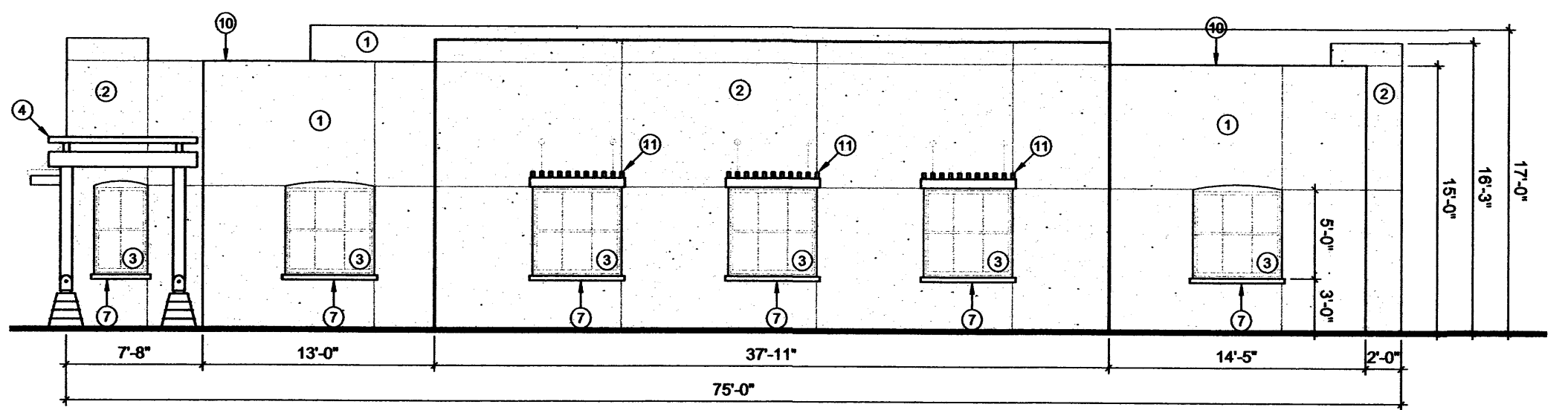
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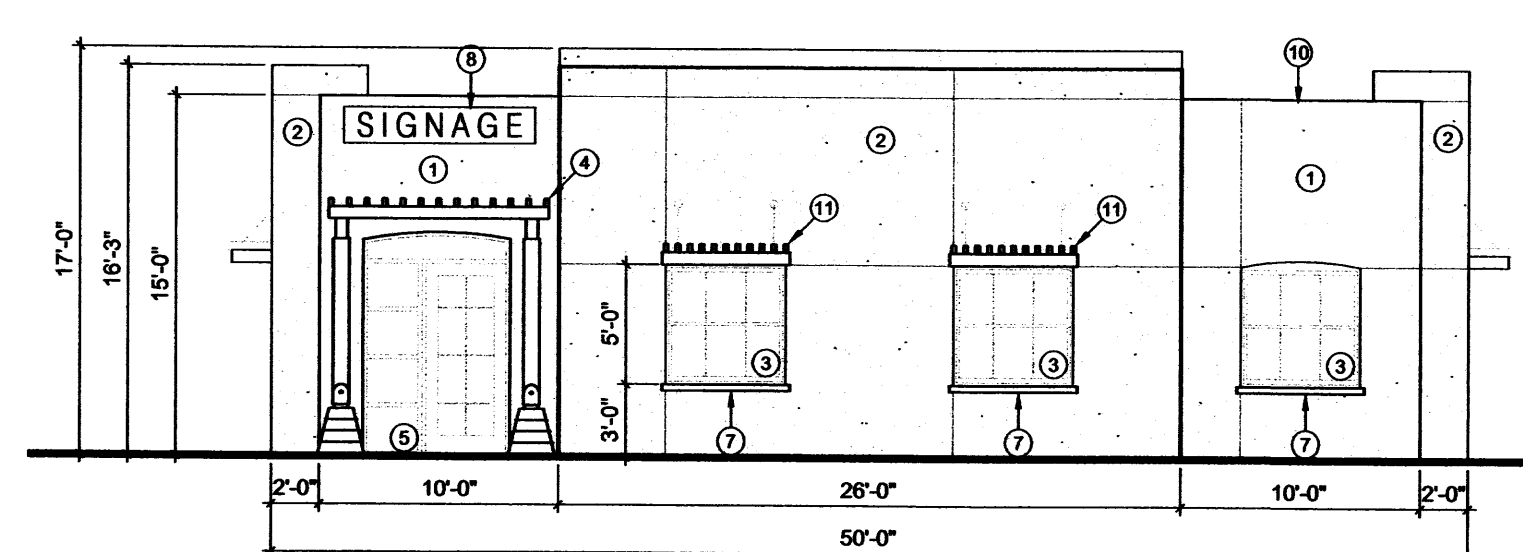
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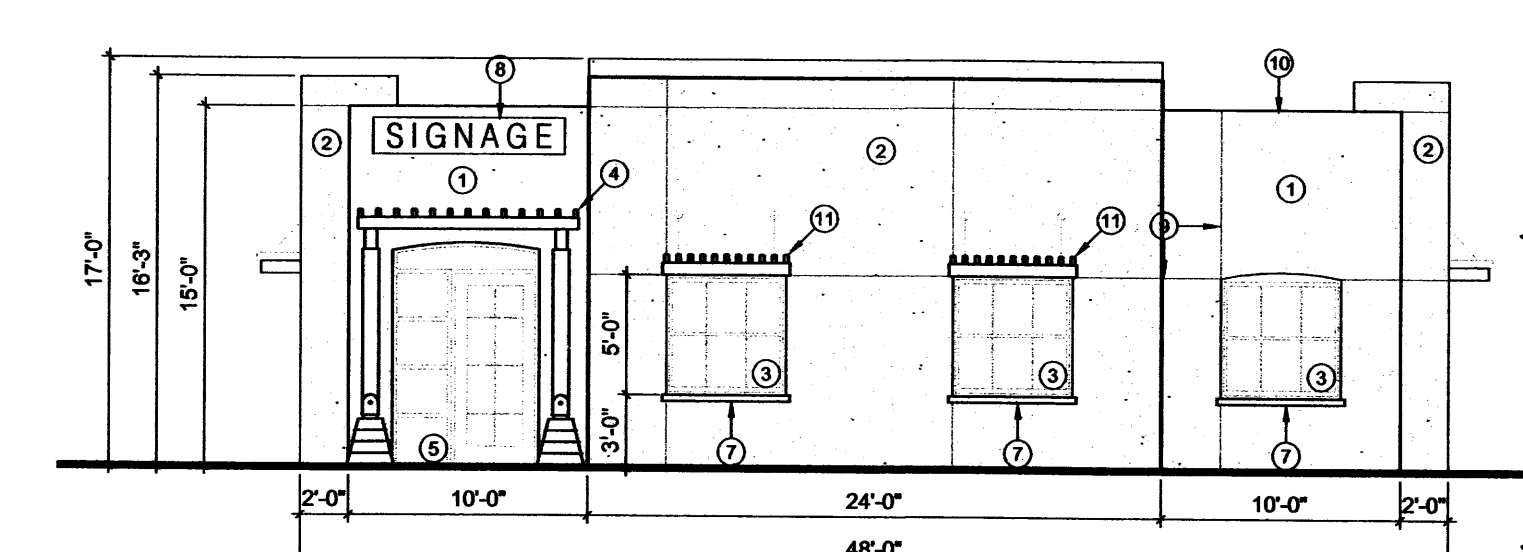
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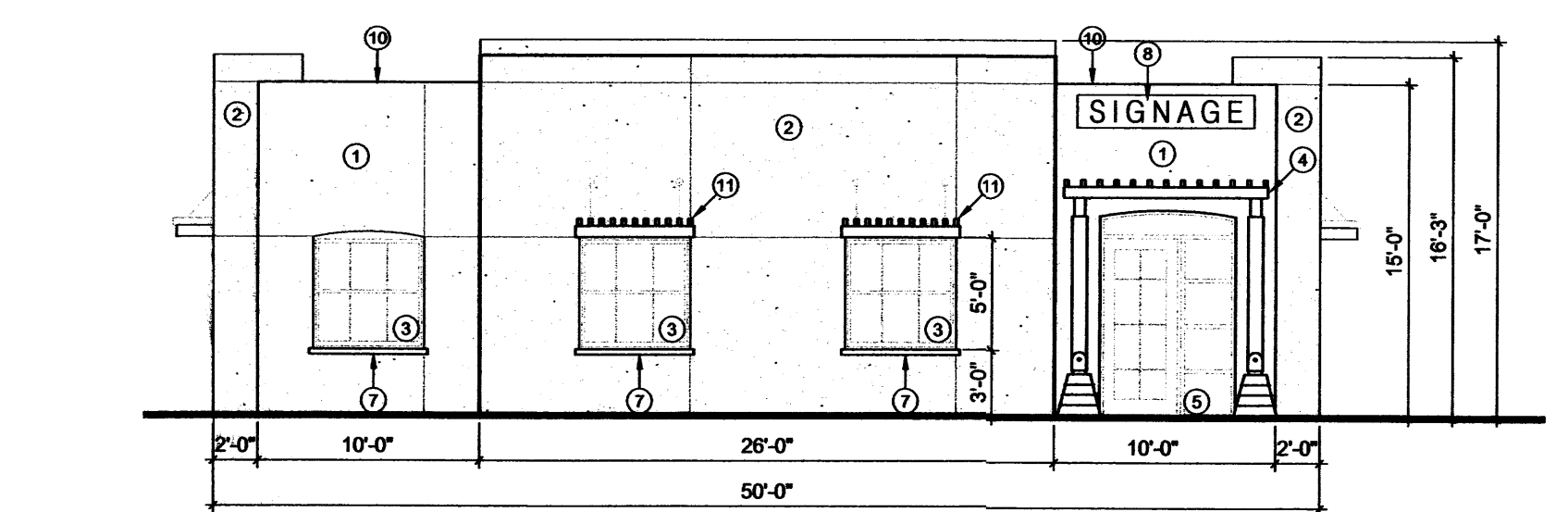
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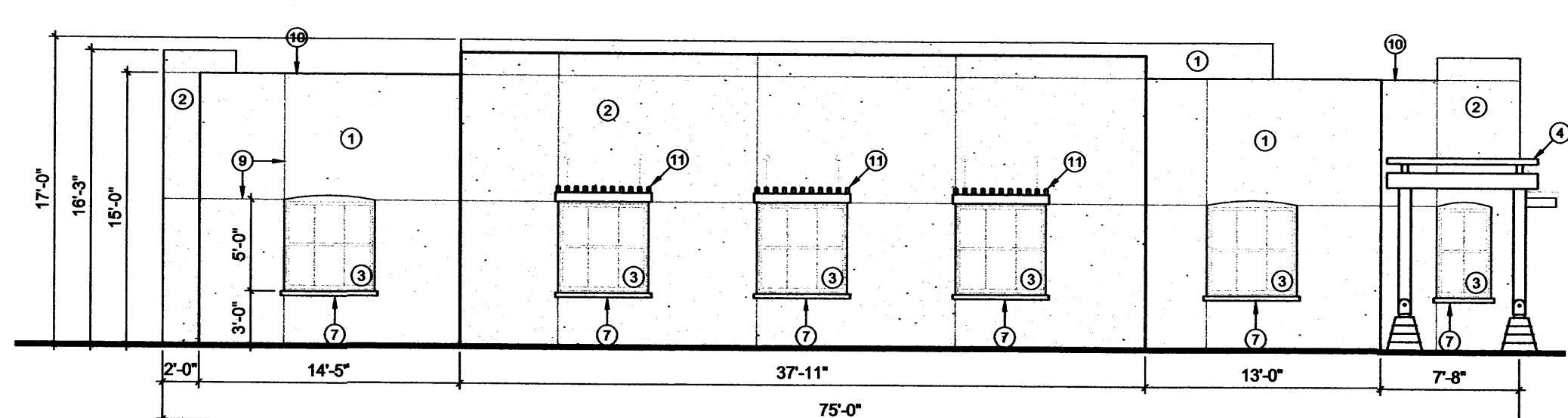
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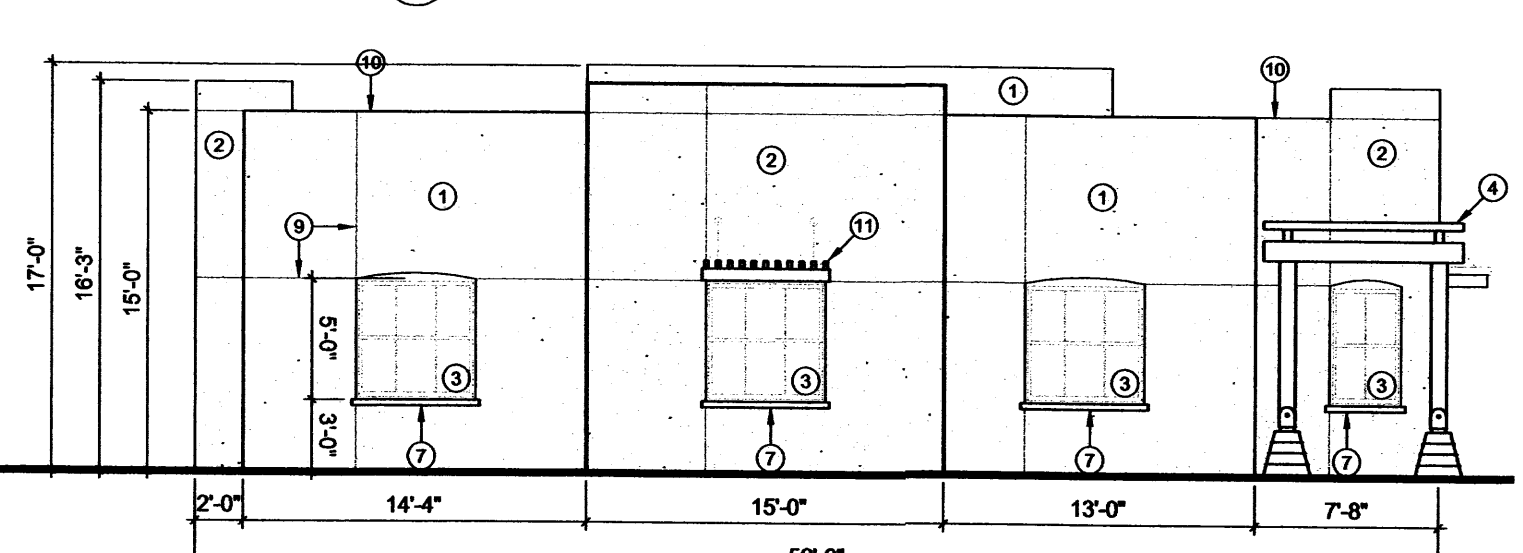
2 9200 & 9204 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



9 9202 WEST ELEVATION
SCALE: 1/8" = 1'-0"



5 9208 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 9200 & 9204 WEST ELEVATION
SCALE: 1/8" = 1'-0"

**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**



DATE ISSUED: 3/23/04
EDITION: 003 SUBMITTAL/ BUILDING PERMIT
PROJECT ID: VERANO PLAZA
CONSULTANT: INSITEWORKS

- SHEET INDEX**
- AS-101 ARCHITECTURAL SITE PLAN
 - AS-102 SITE PLAN DETAILS
 - L-101 LANDSCAPE PLAN
 - C-1.0 GRADING & DRAINAGE PLAN
 - C-2.0 UTILITIES SITE PLAN
 - A-201 BUILDING ELEVATIONS
 - REPLAT DRAFT REPLAT