



Completed 5/11/04
SP
BA..

DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00005

Project # 1003173

Project Name: NORTH ALBUQUERQUE ACRES

EPC Application No.:

Agent: INSITWORKS

Phone No.: 975-0500

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 1/28/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

Project Number

1003173

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____
 SIA

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- Copy of final plat AND a DXF File for AGIS is required.**
- Copy of recorded plat for Planning.**



DRB CASE ACTION LOG
REVISED 3/20/2003

Completed 4/07/04
(P&F) RFR

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00060 (P&F)	Project # 1003173
Project Name: VERANO PLAZA	EPC Application No.:
Agent: Precision Surveys	Phone No.: 856-5700

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 1/28/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

Project Number 1003173

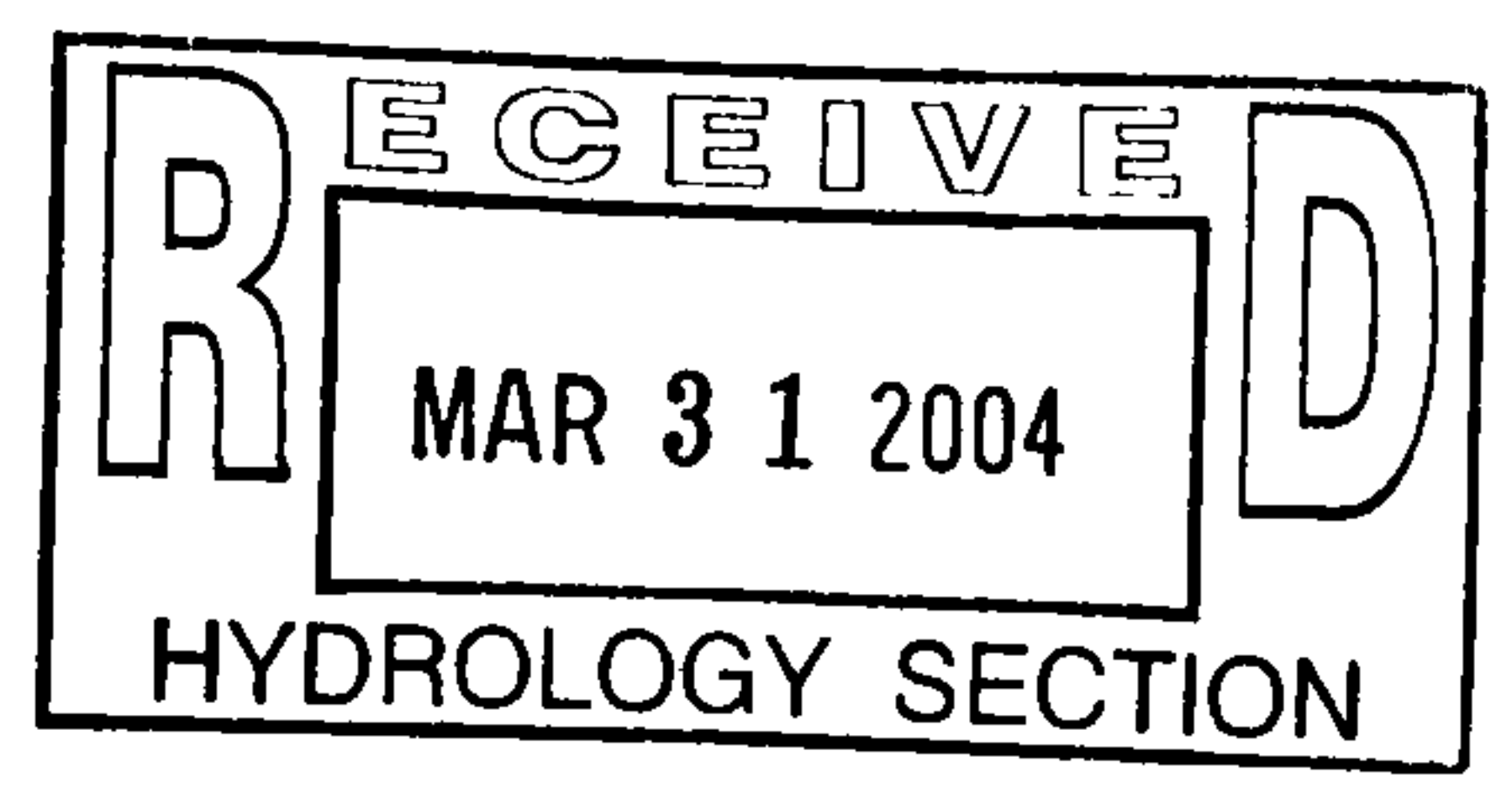
TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____
 25' radius ✓ (DELAY WG 3-11-04)
 drainage easement ✓ BLB

PARKS / CIP: _____

PLANNING (Last to sign): off file
 Planning must record this plat. Please submit the following items:
 -The original plat and a mylar copy for the County Clerk.
 -Tax certificate from the County Treasurer.
 -Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 -Tax printout from the County Assessor.
 Include 3 copies of the approved site plan along with the originals.
 County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 Property Management's signature must be obtained prior to Planning Department's signature.
 Copy of final plat AND a DXF File for AGIS is required.
 Copy of recorded plat for Planning.



AGIS ELECTRONIC PLAT APPROVAL FORM

DRB Project Case # 1003173

Subdivision Name Verano Plaza, Lots A, B, C, D, E

Surveyor Larry Medrano

Company/Agent Precision Surveys

Contact Person Debbie Phone # 856-5700 email _____

DXF Received Date: 4/5/04

Hard-Copy Date: 4/5/04

Coordinate system: NMSP Grid (NAD 83) NMSP Grid (NAD 27) Ground rotated to NMSP Grid Other

Patricia M. Gyst

4/06/04

Approved

Date

*The dxf file cannot be accepted at this time for the following reason(s):

AGIS Use Only Copied cov <u>3173</u> to agiscov.	Date: <u>4/06/04</u>	Contact person Notified on: <u>4/06/04</u>
---	----------------------	---



Brad puts
copy of this
in Work Order
file on 4th floor
3/11/04

1003173

Intera Incorporated
One Park Square
6501 Americas Parkway NE
Suite 820
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: February 5, 2004
TO: Sheran Matson, Planning Department
FROM: Jim Joseph, P.E.
SUBJECT: Lots 31 and 32 in North Albuquerque Acres, Tract A, Unit B, Block 5 (Current DRB Project No.1003173 [1/28/04 Agenda]).

INTERA Incorporated (INTERA), in its role as the Albuquerque Environmental Health Department (AEHD) landfill gas contractor, has reviewed the landfill gas assessment report (Assessment) and subsequent revisions prepared by Engineering Solutions & Designs, Inc. and provided by INSITE WORKS for the above referenced development proposed on the northeast corner of San Mateo Drive and San Diego Avenue. INTERA, in conjunction with the opinions of Ms. Pincus of the AEHD, has reached the following determination regarding the Assessment and the provided revisions:

The recommendations made by Engineering Solutions & Designs, Inc. in their report dated February 2, 2004 and acceptance of these recommendations by, Mr. Knight Seavey, President of INSITE WORKS, as stated in his letter dated February 2, 2004 in which Mr. Seavey agrees to:

- 1) Implement the recommendations of Engineering Solutions & Designs, Inc., and
- 2) Acknowledges that implementation of Engineering Solutions & Designs, Inc.'s recommendations are a condition of approval for the building permit for the proposed construction;

satisfy AEHD's concern that associated potential risk, both present and future, from landfill gases has been addressed.

It should be noted on the **infrastructure list** that any landfill materials encountered in the City Right-Of-Way during the installation of utility connections and any other City infrastructure **MUST BE REMOVED IN THEIR ENTIRETY.**

Because the above issues have been addressed, **AEHD will sign the Site Plan for Building Permit;** however, AEHD has not seen the design plans for the proposed development and therefore must see these plans **PRIOR** to the plan set being accepted by Building Permit and Plan Check Section. AEHD suggests that the above-referenced letter of documentation be attached to the plat/site plan/permit.



cc: Marcia A. Pincus, Environmental Health Department
Kevin Curran, Legal Department
Charles Kolberg, Legal Department
Tom Burlison, Planning Department
Knight Seavy, INSITE WORKS



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

January 28, 2004 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order : 9:00 A.M. Adjourned: 11:25 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002371**
03DRB-02150 Major-Bulk Land Variance
TIERRA WEST LLC agent(s) for HOFFMANTOWN CHURCH WEST request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 1A, 1B and 1C, **ALBAN HILLS SUBDIVISION, UNIT 1 and Tract A, BOSQUE MEADOWS**, zoned SU-1 for R-2 with church related uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN containing approximately 17 acre(s). *[Deferred from 1/28/04]* (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 2/4/04.**

2. **Project # 1002051**
03DRB-02009 Major-Vacation of Public Easements
03DRB-02008 Major-Preliminary Plat
03DRB-02011 Minor-Temp Defer SDWK
03DRB-02010 Minor-Vacation of Private Easements

TIERRA WEST LLC agent(s) for GELTMORE LAND LTD CO request(s) the above action(s) for all or a portion of Tract(s) A, **CHAMISA RIDGE UNIT 1**, zoned R-LT, located on PARADISE BLVD NW, between BIG SAGE DRIVE NW and CONEFLOWER DR NW containing approximately 18 acre(s). [REF: 02DRB-00963] [*Deferred from 1/14/04 & 1/28/04*] (B-10) **DEFERRED AT THE AGENT'S REQUEST TO 2/4/04.**

3. **Project # 1002668**
03DRB-01889 Major-Vacation of Public Easements
03DRB-01888 Major-Preliminary Plat Approval
03DRB-01890 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for VISTA MAGNIFICA LLC request(s) the above action(s) for all or a portion of Block(s) 5, Tract(s) C E & F, AND Block(s) 2, **VISTA MAGNIFICA** and Lot(s) B, Block(s) 8, **PALISADES ADDITION**, zoned R-LT, located on ATRISCO DR NW, between I-40 NW and CLIFFSIDE DR NW containing approximately 7 acre(s). [REF: 03EPC-01089, 03DRB-00811] [*Deferred from 1-7-04, 1-21-04 & 1/28/04*] (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 2/4/04.**

4. **Project # 1003027**
03DRB-02159 Major-Preliminary Plat
Approval
03DRB-02161 Minor-Site Plan for
Subdivision
03DRB-02173 Minor-Temp Defer
SDWK
03DRB-02172 Minor-Subd.Design Var.
04DRB-00090 Minor – Sidewalk
Variance for Waiver

WAYJOHN SURVEYING, INC agent(s) for INTERFIRST PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 3,4,5, Tract(s) 2, **NORTH ALBUQUERQUE ACRES**, zoned RD 7 DU/AC, located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 3 acre(s). [REF: 1003027, 03DRB-01721] [Deferred from 1/21/04] (C-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/28/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/20/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: REMOVE THE PNM EASEMENT WITHIN THE DEDICATED PUBLIC RIGHT-OF-WAY. THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FROM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. Project # 1003173
04DRB-00005 Minor-Site Dev Plan
BldPermit

INSITEWORKS request(s) the above action(s) for all or a portion of Lot(s) 31-32, Block(s) 5, **NORTH ALBUQUERQUE ACRES**, zoned IP, located on SAN DIEGO AVE NE, between SAN MATEO NE and I-25 NE containing approximately 2 acre(s). [Deferred from 1/14/04] (B-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/28/04 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA.**

- 04DRB-00060 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS agent(s) for INSITEWORKS request(s) the above action(s) for all or a portion of Lot(s) 31 & 32, Block(s) 5, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, (to be known as **VERANO PLAZA**) zoned IP industrial park zone, located on SAN DIEGO AVE NE, between SAN MATEO BLVD. NE and BEVERLY HILLS AVE. NE containing approximately 2 acre(s). [REF: 04DRB-00005] (B-18) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR 25-FOOT RADIUS AND DRAINAGE EASEMENT AND PLANNING FOR ACIS DXF FILE.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project # 1001697**
04DRB-00046 Minor-Ext of SIA for Temp
Defer SDWK

TOBY GARCIA request(s) the above action(s) for all or a portion of Lot(s) C-46, **TOWN OF ATRISCO GRANT, UNIT 4**, zoned SU-2 IP, located on CENTRAL AVE NW, between UNSER BLVD NW and 90TH ST NW containing approximately 5 acre(s). [REF: DRB-97-465, SV-97-71, ZA-95-59] (K-10) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

7. **Project # 1001786**
04DRB-00069 Minor-Ext of SIA for Temp
Defer SDWK

WILLIAM T. CANIGLIA agent(s) for THE GARDENS INC. request(s) the above action(s) for all or a portion of Lot(s) 4, 7, 30, 24, 25, 33, 35 and 6, Unit 1, **THE GARDENS ON THE RIO GRANDE**, zoned RA-1, located on MOUNTAIN RD NW, between LAGUNA SECA NW and MOUNTAIN RD NW containing approximately 18 acre(s). (J-12) **WITHDRAWN AT THE AGENT'S REQUEST.**

8. **Project # 1003085**
04DRB-00053 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for GEORGE CARRUTHERS request(s) the above action(s) for all or a portion of Lot(s) B, **LANDS OF CARRUTHERS**, zoned SU-2, located on OLD TOWN ROAD NW, between 19th ST NW and MARBLE AVE NW containing approximately 1 acre(s). [REF: 03DRB-01863] (J-13) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

9. **Project # 1000875**
04DRB-00043 Major-Final Plat Approval

COMMUNITY SCIENCES CORP. agent(s) for KB HOME request(s) the above action(s) for PARCEL F-1-A AND E 1-A, **FINELAND DEVELOPMENT BULK LAND PLAT**, (to be known as **CRESTVIEW SUBDIVISION**) zoned SU-1 FOR R-2 AND SU-1 FOR C-1, located on MCMAHON BLVD NW, between UNSER BLVD NW and BANDELIER DR NW containing approximately 14 acre(s). [REF:Z-98-31, 1000875, 03EPC-0053,03EPC-0054, 03DRB-01747](A-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER TO COMPLETE VACATION ACTION ON PLAT AND DISCLOSURE STATEMENT AND TRANSPORTATION DEVELOPMENT FOR A SKETCH OF SIGHT DISTANCE ONTO MCMAHON – USE AASHTO GUIDELINES.**

10. **Project # 1001347**
04DRB-00057 Major-Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) D1A, Unit 3, ALBUQUERQUE SOUTH, (to be known as **EL RANCHO GRANDE UNIT 8A**) zoned R-LT residential zone, located on DE ANZA DR SW, between DEL REY RD SW and SNOW VISTA DIVERSION CHANNEL containing approximately 14 acre(s). [REF: 03DRB01133, 03DRB-01134] (M-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA'S SIGNATURE.**

11. **Project # 1003182**
04DRB-00023 Minor-Prelim&Final Plat Approval

WILKS CO. agent(s) for PRAXAIR INC., request(s) the above action(s) for all or a portion of Tract(s) 2, **LANDS OF THE B. N. & S. F. RAILWAY CO.**, zoned M-2 manufacturing zone, located on 2ND ST SW, between TRUMBULL BLVD. SW and WOODWARD RD. SW containing approximately 4 acre(s). [REF: DRB-97-275] (Deferred from 1/21/04) (M-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR 6-FOOT RIGHT-OF-WAY DEDICATION FOR BIKE LANES AND TO PLANNING FOR AGIS DXF FILE.**

12. **Project # 1000147**
04DRB-00065 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for C & W LAND DEVELOPMENT ENTERPRISES, INC. request(s) the above action(s) for all or a portion of **WHISPERING POINT SUBDIVISION, UNIT 3**, Tract(s) A-1, Whispering Point, Unit 2, zoned RD (9/du ac) located on UNSER BLVD SW, between EUCARIZ AVE SW and SUNSET GARDENS RD SW containing approximately 11 acre(s). (L-10) **INDEFINITELY DEFERRED TO APPLY FOR VACATION.**

- 04DRB-00066 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for C & W LAND DEVELOPMENT ENTERPRISES, INC. request(s) the above action(s) for all or a portion of, **WHISPERING POINTE SUBDIVISION, UNIT 4**, Whispering Point, Unit 3, zoned RD 9 du/ac, located on UNSER BLVD SW, between EUCARIZ AVE SW and SUNSET GARDENS RD SW containing approximately 5 acre(s). (L-10) **INDEFINITELY DEFERRED TO BE HEARD CONCURRENTLY WITH UNIT 3.**

13. **Project # 1000408**
04DRB-00064 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for C & W LAND DEVELOPMENT ENTERPRISES, INC., request(s) the above action(s) for all or a portion of Tract(s) 490 & 491, **TOWN OF ATRISCO GRANT, UNIT 7, SAGE POINTE SUBDIVISION**, zoned R-D residential and related uses zone, developing area, 14 DU/AC, located on SAGE RD SW, between 86TH ST SW and 82ND ST SW containing approximately 10 acre(s). [REF: 00DRB-00438, 01DRB-00353, 02DRB-01854 & 55, 03DRB-01971] (M-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR PARK DEDICATION AND DETACHED OPEN SPACE CASH-IN-LIEU AND TO PLANNING FOR PERIMETER WALL DESIGN.**

14. **Project # 1002873**
04DRB-00068 Minor- Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for ALBUQUERQUE FACILITIES, LLC request(s) the above action(s) for all or a portion of Tract(s) 5A & 7A, **CAVAN SUNPORT CENTER**, zoned SU-1 special use zone, FOR O-1, C-2, & IP USES, located on INTERNATIONAL AVE SE, between YALE BLVD SE and GIRARD BLVD SE containing approximately 5 acre(s). [REF: 03EPC-01324, 03DRB-01975] (L-16) **FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project # 1001334**
04DRB-00063 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for C & W LAND DEVELOPMENT ENTERPRISES, INC. request(s) the above action(s) for all or a portion of Tract(s) 465 and a part of Tract 466, Town of Atrisco Grant, **WESTBROOKE HEIGHTS SUBDIVISION, UNIT 7**, zoned RD (9 du/ac) located on SAGE RD SW, between UNSER BLVD SW and 82ND ST SW containing approximately 10 acre(s). (L-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PERIMETER WALL DESIGN.**

16. **Project # 1003057**
04DRB-00056 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for GRAYLAND INC request(s) the above action(s) for all or a portion of Tract(s) A-2, **CLIFFORD WEST BUSINESS PARK, UNIT 3**, zoned SU-1/IP, located on UNSER BLVD NW, between LOS VOLCANOS RD NW and SAUL BELL RD NW containing approximately 13 acre(s). [REF: Z-97-11, DRB-97-138,S-98-54, AA-98-54] (K-9 & K-10) **FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES: APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project # 1002711**
04DRB-00067 Minor-Sketch Plat or Plan

MARK GOODWIN & ASSOCIATES agent(s) for STV INVESTMENTS LLC request(s) the above action(s) for all or a portion of Lot(s) 7-12 and 21-26, Tract A, Unit B, Block(s) 27, NORTH ALBUQUERQUE ACRES, (to be known as **OAKLAND ESTATES**) zoned RD, located on EAGLE ROCK AVE NE, between SAN PEDRO NE and LOUISIANA BLVD NE containing approximately 11 acre(s). [REF: Z-87-42-1] (C-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1003187**
04DRB-00037 Minor-Sketch Plat or Plan

ABQ ENGINEERING agent(s) for PINO HOMES – AMERI-CONTRACTORS request(s) the above action(s) for all or a portion of Lot(s) 5-E, **UNIVERSITY OF NM**, zoned R-1, located on GOLF COURSE RD NW, between GOLF COURSE RD NW and PASEO DEL NORTE NW containing approximately 2 acre(s). (C-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. Other Matters: **PROJECT #1002714 – TIERRA WEST LLC FOR ZANGARA DODGE – RESIGNING OF SITE PLAN FOR BUILDING PERMIT. THE ORIGINAL SUBMITTED 1/21/04 WAS NOT THE CORRECT SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS RESIGNED BY ALL BOARD MEMBERS WITH THE EXCEPTION OF CITY ENGINEER.**

ADJOURNED: 11:25 A.M.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
January 28, 2004
Comments**

ITEM # 5

PROJECT # 1003173

APPLICATION # 04-00005& 00060

RE: Verano Plaza/Prelim & Final plat

The plat appears to match the site plan for building permit.

AGIS dxf approval is required before Planning signs the final plat. Applicant may record the plat. Be sure to provide a recorded copy for Planning's file.



Sheran Matson AICP DRB Chair
924-03880 Fax 924-3864 smatson@cabq.gov

5



DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03DRB-02161 (SPS)
Project Name: North Albuquerque Acres
Agent: Wayjohn Surveying

Project # 1003027
EPC Application No.: _____
Phone No.: 255-2052

Project Number 1003027

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 1/28/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

- PLANNING (Last to sign): _____
 - Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - Include 3 copies of the approved site plan along with the originals.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - Copy of final plat AND a DXF File for AGIS is required.**
 - Copy of recorded plat for Planning.**

#5



DRB CASE ACTION LOG

REVISED 3/20/2003

(PJF)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00060 (P&F)

Project # 1003173

Project Name: VERANO PLAZA

EPC Application No.:

Agent: Precision Surveys

Phone No.: 856-5700

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 1/28/01 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____
 25' radius
 drainage easement

PARKS / CIP: _____

PLANNING (Last to sign): off file

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.

Include 3 copies of the approved site plan along with the originals.
 County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

Copy of final plat AND a DXF File for AGIS is required.
 Copy of recorded plat for Planning.

Project Number 1003173

Handwritten initials 'KS' in the top left corner.



Handwritten initials 'SP' in the top right corner.

DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00005

Project # 1003173

Project Name: NORTH ALBUQUERQUE ACRES

EPC Application No.:

Agent: INSITWORKS

Phone No.: 975-0500

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 1/28/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____

- UTILITIES: _____
- _____
- _____
- _____
- _____

- CITY ENGINEER / AMAFCA: _____
- SIA
- _____
- _____
- _____

- PARKS / CIP: _____
- _____
- _____
- _____
- _____

- PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- Copy of final plat AND a DXF File for AGIS is required.**
- Copy of recorded plat for Planning.**

Project Number

1003173



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003173

AGENDA ITEM NO: 5

SUBJECT:

- | | | |
|------------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report is required for Preliminary Plat approval.
 An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.
 Need cross-lot drainage easements on plat.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** **(FP)** TO: (UD) **(CE)** (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: January 28, 2004

dx F



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

January 14, 2004
MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE: 1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000060**
03DRB-02115 Major-Two Year SIA

MODRALL SPERLING agent(s) for SANDIA FOUNDATION request(s) the above action(s) for all or a portion of Tract(s) C & D1B, GATEWAY SUBDIVISION, zoned SU-2 / C-3, located on LOMAS NE, between WOODWARD NE and I-25 (J-15)
THE TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.

2. **Project # 1000922**
03DRB-01953 Major-Preliminary Plat Approval
03-DRB-01954 Minor-Temp Defer SDWK

WILSON & COMPANY agent(s) for LEGACY SUSTAINABLE DEVELOPMENT request(s) the above action(s) for, LA CUENTISTA SUBDIVISION, zoned, R-1, located on KIMMICK DRIVE NW, between URRACA STREET NW and CAMINO DE PAZ containing approximately 50 acre(s). [REF: 1000922, DRB-97-98, V-97-116, 02DRB-01783, 03DRB-01725] (C-10)
WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1-14-04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12-29-03 THE PRELIMINARY PLAT WAS APPROVED. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. CONDITIONS OF FINAL PLAT: (1) FINALIZATION OF STREET MAINTENANCE CONTRIBUTION AND OFF SITE TRANSPORTATION MITIGATION. (2) KIMMICK EASEMENTS TO BE FINALIZED AND RECORDED PRIOR TO FINAL PLAT. (3) ORIENTATION OF LOTS 1 AND 2, BLOCK 7, TO BE CORRECTED PER TRAFFIC DISTRIBUTION MAP.

3. **Project # 1001396**
03DRB-02116 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for VISTA DEL NORTE DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of Lot(s) 1A-3A, ALTA TIERRA DEL NORTE, UNIT 1, zoned R-1 residential zone, located on CALLE MONTANA NE, between VISTA DEL NORTE DRIVE NE and CALLE FUERTE NE containing approximately 1 acre(s). [REF: 02DRB-00682, 02DRB-01871, 01DRB-01645, 03DRB-00428, 03DRB-00525] (D-16)
THE TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.

4. Item 4 was moved to 9B.

5. **Project # 1001901**
03DRB-02097 Major-Vacation of Public Easements
03DRB-02098 Minor-Vacation of Private Easements
03DRB-02174 Minor-Prelim&Final Plat Approval

ABQ ENGINEERING agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 1, 2 & 3 VACATION PUBLIC EASEMENTS, VERANDA STREET PROPERTIES, zoned R-LT residential zone, located on VERANDA ST NW, between CANDELARIA NW and DURANES LATERAL containing approximately 1 acre(s). [REF: 02DRB-00618, 02DRB-00696, 03DRB-01700, V-97-72] (G-12)
THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1-14-04 AND THE GRADING PLAN ENGINEER STAMP DATED 12-24-03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.

6. **Project # 1002051**
03DRB-02008 Major-Preliminary Plat
03DRB-02009 Major-Vacation of
Public Easements
03DRB-02011 Minor-Temp Defer
SDWK
03DRB-02010 Minor-Vacation of
Private Easements

TIERRA WEST LLC agent(s) for GELTMORE LAND LTD CO request(s) the above action(s) for all or a portion of Tract(s) A, CHAMISA RIDGE UNIT 1, zoned R-LT, located on PARADISE BLVD NW, between BIG SAGE DRIVE NW and CONEFLOWER DRIVE NW containing approximately 18 acre(s). [REF: 02DRB-00963] (B-10)
DEFERRED AT THE AGENT'S REQUEST TO 1-28-04.

7. **Project # 1003141**
03DRB-02112 Major-Vacation of
Public Right-of-Way

MARK GOODWIN & ASSOCIATES agent(s) for ON TIME PARK & FLY request(s) the above action(s) from Yale (west) to Buena Vista, VACATION OF MILES ROAD, zoned, located on MILES ROAD SE, between BUENA VISTA ROAD SE AND YALE. [REF: DRB-99-171, V-99-59, Z-93-8, V-93-4, V-88-96](M-15)
THE VACATION OF PUBLIC RIGHT-OF-WAY WAS DENIED. THE OWNER OF A PORTION OF THE FRONT FOOTAGE OF LAND ABUTTING THE PROPOSED VACATION OBJECTED TO THE VACATION. THEREFORE, THERE WAS CONVINCING EVIDENCE THAT A SUBSTANTIAL PROPERTY RIGHT WOULD BE ABRIDGED AGAINST THE WILL OF THE OWNER OF THAT RIGHT ACCORDING TO THE SUBDIVISION ORDINANCE.

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED,
THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

8. **(Project # 1003173)**
04DRB-00005 Minor-Site Dev Plan
BldPermit
- INSITEWORKS request(s) the above action(s) for all or a portion of Lot(s) 31-32, Block(s) 5, NORTH ALBUQUERQUE ACRES, zoned IP, located on SAN DIEGO AVE NE, between SAN MATEO NE and I-25 NE containing approximately 2 acre(s). (B-18)
(DEFERRED AT THE AGENT'S REQUEST TO 1-28-04.)

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. Project # 1001796
03DRB-02078 Minor-Prelim&Final Plat
Approval
- SAMUEL C DE BACA request(s) the above action(s) for all or a portion of Lot(s) 1, STOUT SUBDIVISION, zoned SU-1 for O-1 Permissive Uses, located on COORS BLVD NW, between EAGLE RANCE ROAD NW and PASEO DEL NORTE NW containing approximately 18 acre(s). [REF: 03DRB-00916, Z-98-17, Z-84-122, S-98-25] (C-13)
DEFERRED AT THE AGENT'S REQUEST TO 1-21-04.
- 9B. Project # 1002335
04DRB-00006 Minor-Final Plat
Approval
- ADIL RIZVI agent for ESMAIL HAIDARI request(s) the above action(s) for all or a portion of Lot(s) 17-18, Block(s) 5, Tract(s) A NAA, TR 2 UNIT 3, TREVISO, NORTH ALBUQUERQUE ACRES, zoned R-D 7 DU/A, located on WILSHIRE AVE NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 3 acre(s). [REF: 1002335, 03DRB-02023, 02DRB-01698, 02DRB-01699, 02DRB-01703, 02DRB-01704] (C-19)
THE FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.

10. **Project # 1002384**
04DRB-00003 Minor-Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for DR HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 1, COORS VILLAGE, zoned SU-3, located on WESTERN TRAIL NW, between ATRISCO BLVD NW and MILNE ROAD NW containing approximately 17 acre(s). [REF: 1002384, 02DRB-01879] (F-11)

THE FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.

11. **Project # 1002992**
03DRB-02138 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC. agent(s) for WEST EIGHT LTD. request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 5, ORIGINAL TOWNSITE OF WESTLAND, zoned C-2 community commercial zone, located on 86th ST SW, between BRIDGE BLVD SW and CENTRAL AVE SW containing approximately 2 acre(s). [REF: 03DRB-01623] (K-09)

WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1-14-04 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.

12. **Project # 1002231 (1001087)**
04DRB-00004 Minor-Prelim&Final Plat
Approval

HALE & SUN CONSTRUCTION INC request(s) the above action(s) for all or a portion of Lot(s) 3-4, MAJOR ACRES SUBDIVISION, zoned SU-2, R-T, located on 12th ST NW, between CANDELARIA ROAD NW and MATTHEW AVE NW containing approximately 1 acre(s). [REF: 1002231, 022HE-01435, 01DRB-002688, 01DRB-01891] (G-14)

DEFERRED AT THE AGENT'S REQUEST TO 1-21-04.

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

13. **Project # 1003167**
03DRB-02189 Minor-Sketch Plat or
Plan

JEFF MORTENSEN & ASSOCIATES, INC. agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) 18-22, TOWN OF ATRISCO GRANT, UNIT 2, zoned R-D residential and related uses zone, developing area, R-1, located on 86th Street SW, between TOWER ROAD SW and EUCARIZ AVE SE containing approximately 25 acre(s). [REF: AX-93-12, Z-93-125, DRB-97-202] (L-09)

THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.

14. **Project # 1003166**
03DRB-02183 Minor-Sketch Plat or
Plan

Casey D. Chapman agent(s) for SANITARY SERVICE COMPANY, INC request(s) the above action(s) for all or a portion of Tract(s) K & R, TIMOTEO CHAVEZ ADDITION, zoned C-3 heavy commercial zone, located on CUTLER AVE NE, between WASHINGTON STREET NE and MORNINGSIDE DRIVE NE containing approximately 3 acre(s). [REF: S-891, DRB-97-92, Z-508] (H-17)

THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.

15. Other matters:

Adjourned: 11:10 A.M.

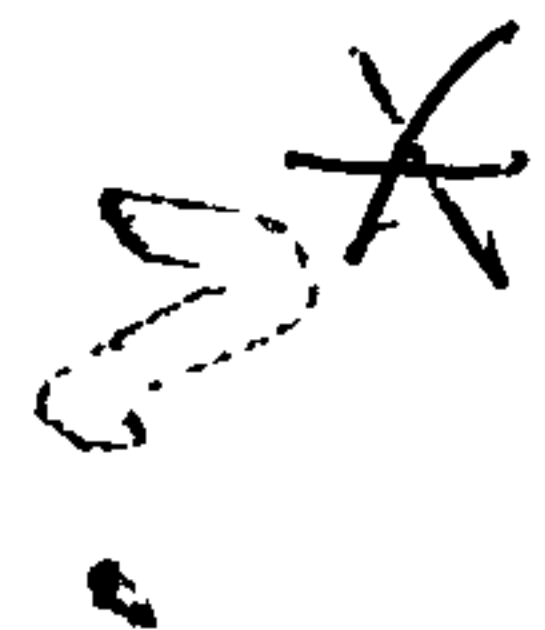
**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
January 14, 2004
Comments**


ITEM # 8


PROJECT # 1003173


APPLICATION # 04-00005

RE: Lots 31-32, Block 5, North Albuquerque Acres/SDPBP





 Marcia Pincus, Environmental Health staff responsible for overseeing proposed development within 1000 feet of a landfill (which this property is), has sent me an e-mail saying that she cannot sign off on this site plan for building permit until questions she has are answered and a final landfill gas assessment report is approved by her. Planning cannot sign until Marcia signs. You may contact her at 768-2618.

 When you submit the site plan for DRB signatures, please use the correct signature block. I assume this site plan did not go to EPC for their approval previously as there was not an EPC Notice of Decision included in the application. The Front Counter at the One Stop Shop can provide you with the correct signature block for DRB approved site plans.

 The existing & proposed property lines should be more clearly identified on the site plan & landscape plan sheets...slightly thicker, bold lines should suffice.

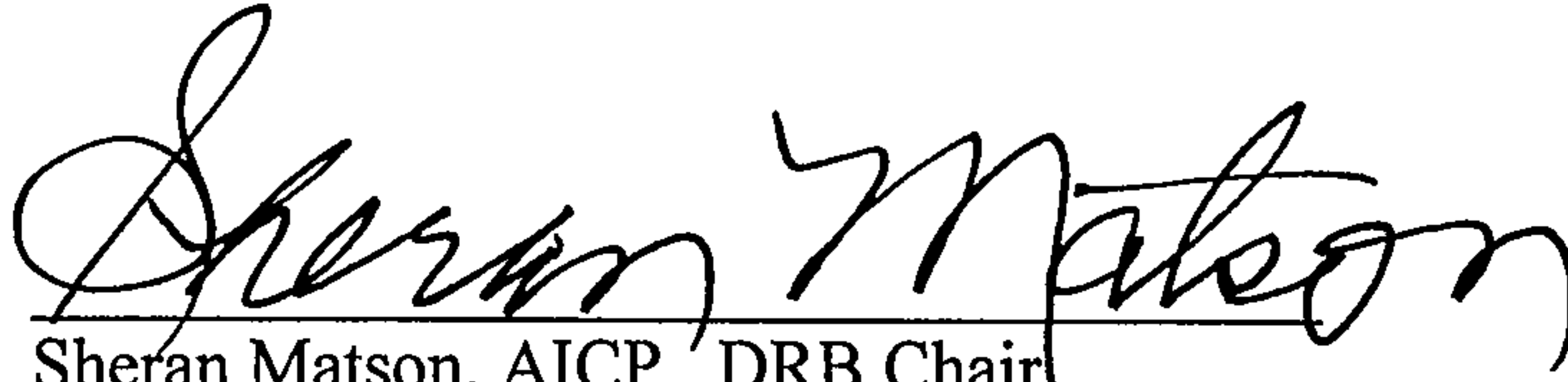
 The infrastructure list is on an old form. Please re-do on the current form. In addition, because there is landscaping in the public right of way, a streetscape maintenance agreement must also be executed per DRC & listed on the infrastructure list at the end in the Notes as well as the water meter to water the landscaping in the right of way.

On the Landscaping Plan:

-  ▪ The 6' wrought iron fence appears to be numbered "2" even though the legend says "1".
-  ▪ The dimensions of the landscaped areas are required. A minimum of 10' is required along San Mateo & San Diego.
-  ▪ Each plant used should have H,M,L indicating water usage as part of its description.
-  ▪ Page 53 of the North I-25 Sector Plan under Special Screening Standards (b) requires that loading docks be setback from property lines to reduce the visual impact. It would be advisable to include some trees & other plants along the northeast corner of the property to shield the adjacent property from the loading area. Only shrubs appear there now.

The bar scale is missing from the building elevations sheet.

Wilfred Gallegos will address the transportation design standards on pages 55 & 56 of the North I25 Sector Plan.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
January 14, 2004
Comments**

ITEM # 8

PROJECT # 1003173

APPLICATION # 04-00005

RE: Lots 31-32, Block 5, North Albuquerque Acres/SDPBP

*Marcia Pincus
Environmental Health
staff responsible for
overseeing proposed
development within
1000 feet of a landfill
(which this property is),
has sent me an e-mail
saying that she cannot
sign off on this site plan
for building permit until
questions she has are
answered and a final
landfill gas assessment
report is approved by her.
Planning cannot sign
until Marcia signs. You
may contact her at
768-2618.*

*When you submit the site
plan for DRB signatures,
please use the correct
signature block. I assume
this site plan did not go
to EPC for their approval
previously as there was
not an EPC Notice of
Decision included in the
application. The Front
Counter at the One Stop
Shop can provide you with
the correct signature block
for DRB approved site
plans.*

*The existing & proposed
property lines should be
more clearly identified on
the site plan & landscape
plan sheets...slightly
thicker, bold lines should
suffice.*

*The infrastructure list is
on an old form. Please
re-do on the current form.
In addition, because there
is landscaping in the
public right of way, a
streetscape maintenance
agreement must also be
executed per DRC & listed
on the infrastructure list at
the end in the Notes as
well as the water meter to
water the landscaping in
the right of way.*

On the Landscaping Plan:

- The 6' wrought iron fence appears to be numbered "2" even though the legend says "1".
- The dimensions of the landscaped areas are required. A minimum of 10' is required along San Mateo & San Diego.
- Each plant used should have H,M,L indicating water usage as part of its description.
- Page 53 of the North I-25 Sector Plan under Special Screening Standards (b) requires that loading docks be setback from property lines to reduce the visual impact. It would be advisable to include some trees & other plants along the northeast corner of the property to shield the adjacent property from the loading area. Only shrubs appear there now.

*Marcia Pincus
Environmental Health
staff responsible for
overseeing proposed
development within
1000 feet of a landfill
(which this property is),
has sent me an e-mail
saying that she cannot
sign off on this site plan
for building permit until
questions she has are
answered and a final
landfill gas assessment
report is approved by her.
Planning cannot sign
until Marcia signs. You
may contact her at
768-2618.*

The bar scale is missing from the building elevations sheet.

Wilfred Gallegos will address the transportation design standards on pages 55 & 56 of the North I25 Sector Plan.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 0637
CONNECTION TEL 98581098
SUBADDRESS
CONNECTION ID
ST. TIME 01/12 13:57
USAGE T 01'42
PGS. 4
RESULT OK



DEVELOPMENT REVIEW BOARD FAX FORM

TO: Knight Slava

FAX NUMBER: 858-1098 # PAGES 3

SENT BY: Sheran Matson, DRB Chair DATE: 1/12/04

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 1003173 APPLICATION NO: 04-000 5

*Knight -
My comments on the site
plan. I included the new
signature block
Sheran*



**DEVELOPMENT REVIEW BOARD
FAX FORM**

TO: Knight Slava

FAX NUMBER: 858-1098 # PAGES 3

SENT BY: Sheran Matson, DRB Chair DATE: 1/12/04

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 1003173 APPLICATION NO: 04-0005

*Knight -
My comments on the site
plan. I included the new
signature block. Sheran*

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

_____ Traffic Engineering, Transportation Division	_____ Date
_____ Utilities Development	_____ Date
_____ Parks and Recreation Department	_____ Date
_____ City Engineer	_____ Date
_____ * Environmental Health Department (conditional)	_____ Date
_____ Solid Waste Management	_____ Date
_____ DRB Chairperson, Planning Department	_____ Date

*Environmental Health, if necessary



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003173

AGENDA ITEM NO: 8

SUBJECT:

- | | | |
|-------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report is required for Preliminary Plat approval.
An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

RESOLUTION:

1-28-04

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: January 14, 2004



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB- 1003173

Item No. 8

Zone Atlas B-18

DATE ON AGENDA 1-14-04

INFRASTRUCTURE REQUIRED (X) YES () NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- (X) SITE PLAN FOR BUILDING PERMIT

No.	Comment
①	PUBLIC SIDEWALK BASEMENTS ARE REQUIRED FOR MEANDERING SIDEWALK OUTSIDE OF R-O-W
②	VARIANCE REQUIRED FOR MEANDERING SIDEWALK
③	13' IS TO BE DEDICATED AS PUBLIC R-O-W NOT BASEMENT
④	HVEL STOPS REQUIRED FOR STALLS @ THE CORNER
⑤	NEED TO DIMENSION WIDTH OF STALLS
⑥	HOW DOES ADA (NOTE ⑥) HAND WORK WITH VAN STALL?
⑦	INFRASTRUCTURE NEEDS 24' PVAT ON SIDE MATED UNLESS GROUND INVESTIGATION REVEALS PERMANENT SECTION - LIMITS SHOULD BE NORTH PROPERTY LINE & EAST R.

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

- ⑧ ADD TEMP. PAVEMENT TRANSITIONS TO INFRA. LIST.



City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1003173
Application Number: 04DRB-00005

DRB Date: 1/14/04

Item Number: 8

Subdivision:

Lots 31-32, Block 5, NAA

Zoning: IP

Zone Page: B-18


New Lots (or units) : 0

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

Trail may be required on San Diego.

Signed: 

Christina Sandoval, (DMD)

Phone: 768-3808

ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/

NOTES

- 1 _____
- 2 _____
- 3 _____

AGENT/OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Joe P. Kelley, P.E.
NAME (print)

Sharon Nelson 1/28/04 DRB CHAIR-date
Christina Sandoval 1/28/04 PARKS & GENERAL SERVICES-date

JC Engineering, LLC
FIRM

Scott Say 1-28-04 TRANSPORTATION DEVELOPMENT-date
 _____ AMAFCA-date

Joe Kelley 1/14/04
SIGNATURE-date *JK* 1/28/04

Roger A. Allen 1/28/04 UTILITY DEVELOPMENT-date
 _____ -date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION:

Brad D. Bolen 1/28/04 CITY ENGINEER-date
 _____ -date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
A	4/1/04	<i>Scott Say</i>	<i>JC Engineering</i>	<i>Joe Kelley</i>

Current DRC Project Number: _____

Figure 12

Date Submitted: 1/28/04
 Date Site Plan Approved: 1/28/04
 Date Preliminary Plat Approved: 1/28/04
 Date Preliminary Plat Expires: 1/28/05
 DRB Project No.: 1003173
 DRB Application No.: 04-00005

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (DRB) REQUIRED INFRASTRUCTURE LIST

Verano Plaza

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN for B.P.

Lots 31A, 32A, Blk 5, North Albq Acres, Tr. A, Unit B

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		8"	Std C & G	San Mateo east side	San Diego	north property line	/	/	/
		4'	Meandering Sidewalk	San Mateo east side	San Diego	north property line	/	/	/
		24' pvmnt on east side unless geotech rept. indicates that exist. pvmnt adequate		San Mateo east side	San Diego	north property line	/	/	/
		8"	Std C & G	San Diego north side	San Mateo	east property line	/	/	/
		4'	Meandering Sidewalk	San Diego north side	San Mateo	east property line	/	/	/
		24' pvmnt on north side		San Diego north side	San Mateo	east property line	/	/	/
		JK Drainage Improvements per Dmg Rpt. 18" & 24" STORM DRAIN		San Diego north side	San Mateo	east property line 100' EAST OF SAN MATEO	/	/	/
		Environmental mitigation as necessary for landfill within 1000'					/	/	/
		Width varies	Temp. pavement width transition	San Diego north side	east prop. line	50' east of east PL	/	/	/
		JK FIRE HYDRANT		SAN DIEGO NORTH SIDE		250' EAST OF SAN MATEO	/	/	/
							/	/	/

ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/

NOTES

- 1 _____
- 2 _____
- 3 _____

AGENT/OWNER

Joe P. Kelley, P.E.
NAME (print)

JC Engineering, LLC
FIRM

Joe Kelley 1/14/04
SIGNATURE-date *JPK 1/28/04*

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION:

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Sharon Nelson 1/28/04 DRB CHAIR-date
Christina Sandoval 1/28/04 PARKS & GENERAL SERVICES-date

Scott Self 1-28-04
TRANSPORTATION DEVELOPMENT-date

Lois A. Allen 1/28/04
UTILITY DEVELOPMENT-date

Brad D. Bolen 1/28/04
CITY ENGINEER-date

AMAFCA-date

_____-date

_____-date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



Marcia A. Pincus
01/27/04 03:56 PM

To: "Knight Seavey, AIA" <knight@insiteworks.com>@PUBCABQ
cc: jjoseph@intera.com, Sheran A. Matson/PLN/CABQ@COA
Subject: Re: Verano Plaza Environmental Report

There are a number of issues that need to be resolved concerning items in the report. EHD cannot provide approval of the assessment report at this time. INTERA is finalizing a letter which describes the items still outstanding. We should have it over to you by tomorrow.

Also, since the report requires that remediation measures be constructed, therefore, EHD and/or INTERA will have to see the building plans that go to BUILDING PERMIT section PRIOR to submission of the plans to Building Permit section. Until I see the plans I cannot sign off on the Site Development Plan for Building Permit.

Marcia Pincus
EHD
768-2618



"Knight Seavey, AIA"
<knight@insiteworks.com>
01/27/2004 12:53 PM

To: "Marcia Pincus" <mpincus@cabq.gov>
cc:
Subject: Verano Plaza Environmental Report

Hi Marcia –

We are getting ready for tomorrow's DRB hearing on Verano Plaza. Have you heard back from the consultant or have you anything we can take in to show that we have completed this item?

Thanks. I'm available all day.

Knight Seavey, AIA
InsiteWorks | Architecture | Site Design | Development
505.975.0500



"James P. Joseph"
<jjoseph@intera.com>
01/27/04 03:56 PM

To: <smatson@cabq.gov>
cc: <MPincus@cabq.gov>
Subject: FW: DRB Project # 1003173

Ms. Matson,

Please be advised that the AHED has received a landfill gas assessment report (assessment) from INSITEWORKS for the project referenced above. The project is scheduled as a DRB agenda item for January 28, 2004 (04DRB-00005 Minor-Site Dev Plan BldPermit). The assessment was provided because the proposed development is within a landfill buffer zone. INTERA, in its role as the AEHD landfill gas contractor, has completed a review of the assessment and has forwarded our observations to Ms. Pincus at the AEHD. Based on INTERA's observations, the AEHD has determined that there are outstanding issues with regards to the *Interim Guidelines* that need to be resolved before the AEHD can approve the assessment.

Jim Joseph

INTERA Inc.

One Park Square

6501 Americas Parkway NE

Suite 820

Albuquerque, NM 87110

505.246.1600 x209

This email may contain confidential information or material protected by the attorney-client privilege. If you are not the intended recipient, please inform the sender by calling the above telephone number.



<p>SUBDIVISION</p> <p><input type="checkbox"/> Major Subdivision action</p> <p><input checked="" type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p><input type="checkbox"/> ...for Subdivision Purposes</p> <p><input type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC)</p>	<p>Supplemental form</p> <p>S</p> <p>V</p> <p>P</p> <p>L</p>	<p>Supplemental form</p> <p>ZONING & PLANNING</p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> County Submittal</p> <p><input type="checkbox"/> EPC Submittal</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment</p> <p>APPEAL / PROTEST of...</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>	<p>Z</p> <p>A</p>
---	--	---	---------------------------------

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>KNIGHT SEAVEY, INSITWORKS</u>	PHONE: <u>975-0500</u>
ADDRESS: <u>53 ROCK POINT PLACE NE</u>	FAX: <u>858-1098</u>
CITY: <u>ALBUQUERQUE</u> STATE <u>NM</u> ZIP <u>87122</u>	E-MAIL: <u>knight@insiteworks.com</u>
Proprietary interest in site: <u>OWNER</u>	
AGENT (if any): <u>PRECISION SURVEYS, INC</u>	PHONE: <u>856-5700</u>
ADDRESS: <u>8414-D JEFFERSON ST NE</u>	FAX: <u>856-7900</u>
CITY: <u>ALBUQUERQUE</u> STATE <u>NM</u> ZIP <u>87113</u>	E-MAIL: <u>presurv@presurv.com</u>

DESCRIPTION OF REQUEST: TO REPLAT THE EXISTING TWO LOTS INTO FIVE NEW LOTS, GRANT EASEMENTS AND DEDICATE RIGHT OF WAY.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 31 AND 32 Block: 5 Unit: B

Subdiv. / Addn. TRACT A UNIT B, NORTH ALBUQUERQUE ACRES

Current Zoning: IP Proposed zoning: SAME

Zone Atlas page(s): B-18 No. of existing lots: 2 No. of proposed lots: 5

Total area of site (acres): 2.011 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? YES

UPC No. 101806501117230701, 101806502717130702 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: SAN DIEGO AVE NE
Between: SAN MATEO BLVD NE and BEVERLY HILLS AVE NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB 1003173

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Deborah Serna DATE 1/20/2004

(Print) DEBORAH SERNA Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 10/0

<p><input checked="" type="checkbox"/> INTERNAL ROUTING</p> <p><input checked="" type="checkbox"/> All checklists are complete</p> <p><input checked="" type="checkbox"/> All fees have been collected</p> <p><input checked="" type="checkbox"/> All case #s are assigned</p> <p><input checked="" type="checkbox"/> AGIS copy has been sent</p> <p><input checked="" type="checkbox"/> Case history #s are listed</p> <p><input checked="" type="checkbox"/> Site is within 1000ft of a landfill</p> <p><input type="checkbox"/> F.H.D.P. density bonus</p> <p><input type="checkbox"/> F.H.D.P. fee rebate</p>	<p>Application case numbers</p> <p><u>04DRB - - - - - 00060</u></p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Hearing date <u>JAN, 28th, '04</u></p>	<p>Action</p> <p><u>P&P</u></p> <p>_____</p> <p><u>CMP Fee</u></p> <p>_____</p>	<p>S.F.</p> <p><u>8(3)</u></p> <p>_____</p> <p>_____</p>	<p>Fees</p> <p><u>\$ 495⁰⁰</u></p> <p>\$ _____</p> <p>\$ <u>20⁰⁰</u></p> <p>\$ _____</p> <p>\$ _____</p> <p>Total</p> <p><u>\$ 515⁰⁰</u></p>
---	--	---	--	---

B. Serna 1/20/04 Project # 1003173

Planner signature / date

FORM S(3): SUBDIVISION D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

not applicable of app

Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DEBORAH SERNA
 Applicant name (print)
Deborah Serna
 Applicant signature / date

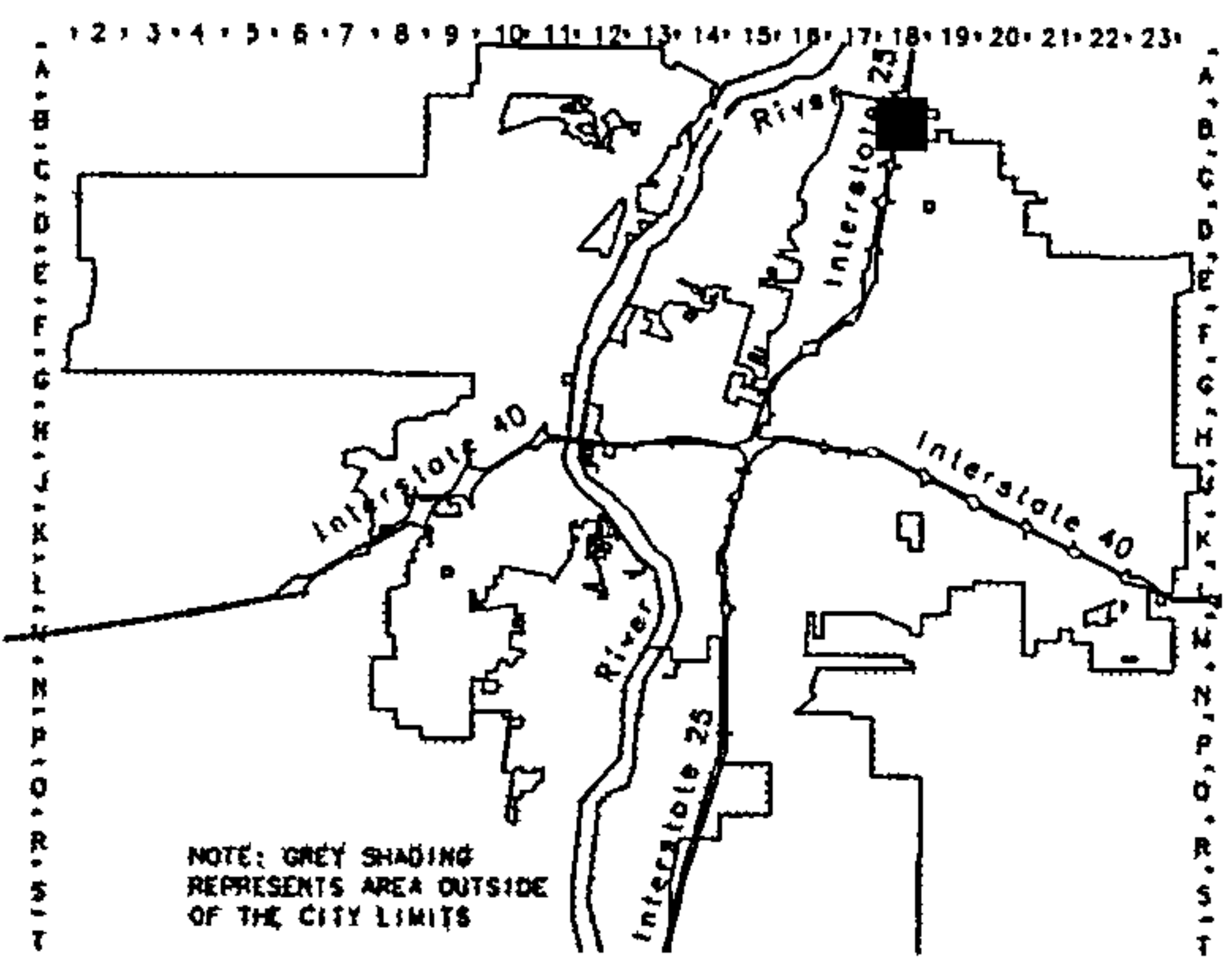
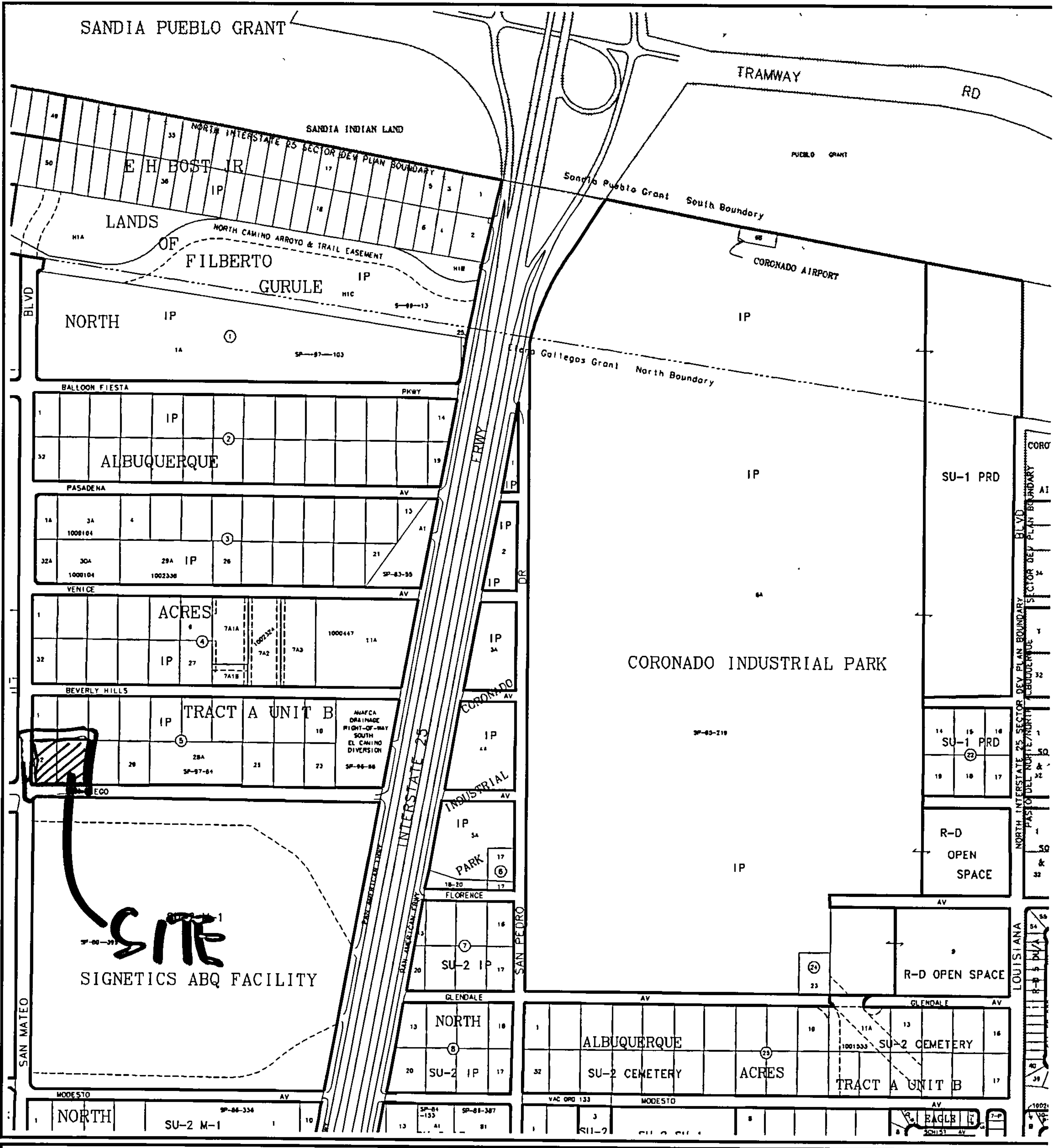


Form revised 10/03

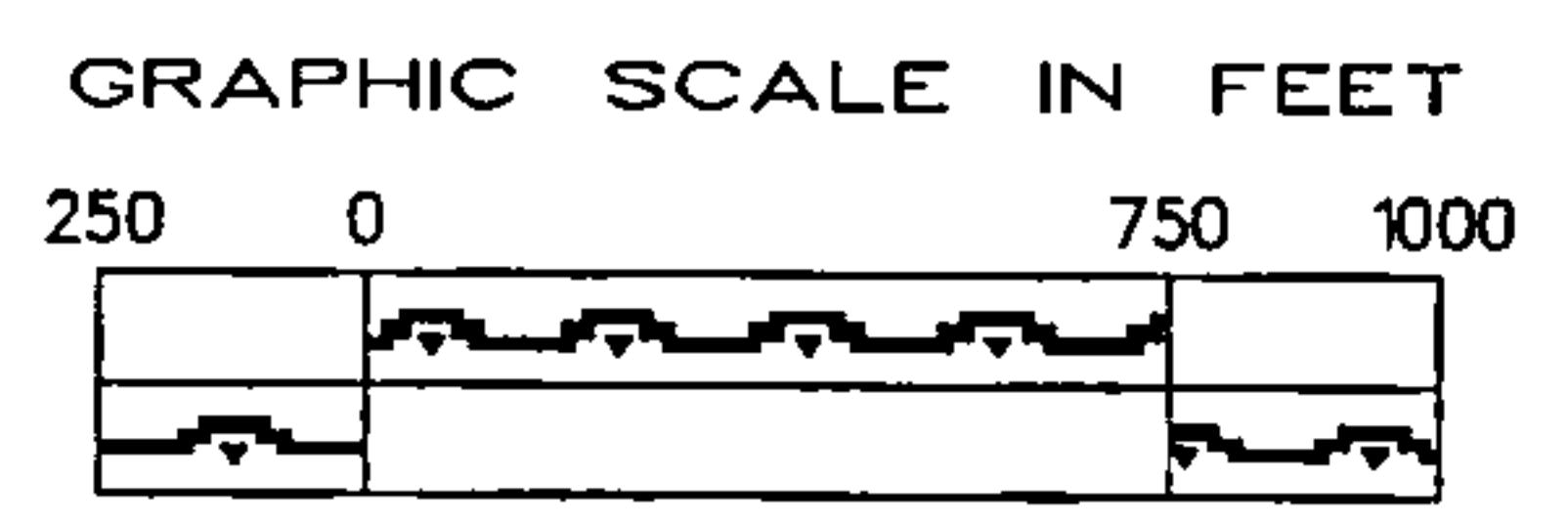
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
042814 - 00060
 - -
 - -

Robert 1/20/04
 Planner signature / date
Project # 1003173



CITY OF
Albuquerque
A buquerque G eographic I nformation S ystem
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page

B-18-Z

Map Amended through July 31 2003



PRECISION SURVEYS, INC.

January 19, 2004

Ms. Sheran Matson, AICP
Chair, Development Review Board
Planning/Development Services Division
600 2nd Street, NW
Albuquerque, NM 87102

**RE: REQUEST FOR PRELIMINARY/FINAL PLAT APPROVAL, GRANT EASEMENTS
AND DEDICATE RIGHT OF WAY, FOR VERANO PLAZA FORMERLY NORTH
ALBUQUERQUE ACRES, TRACT A UNIT B, LOTS 31 & 32**

Dear Ms. Matson,

On behalf of our client, Knight Seavey, dba Insiteworks, we are submitting an application for minor subdivision preliminary/final plat approval. The purpose is to replat existing 2 lots tract into five new lots, grant easements and dedicate right of way.

If you have any questions or need additional information, please do not hesitate to contact our office at 856-5700.



Sincerely,



Deborah Serna

Deborah Serna

8414 - D JEFFERSON ST NE

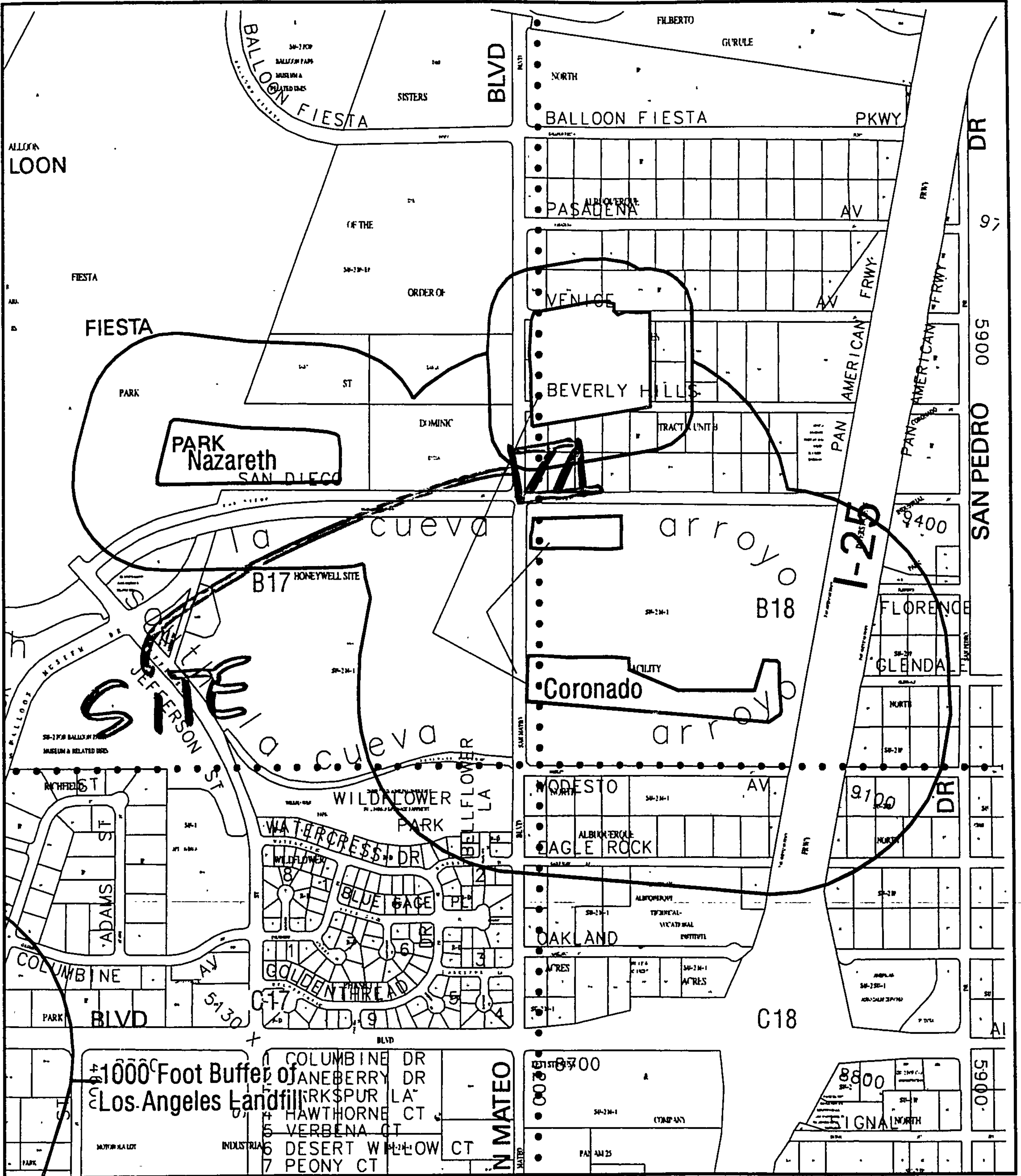
ALBUQUERQUE, NEW MEXICO 87113

email presurv@presurv.com

PHONE 505 856 5700

FAX 505 856 7900

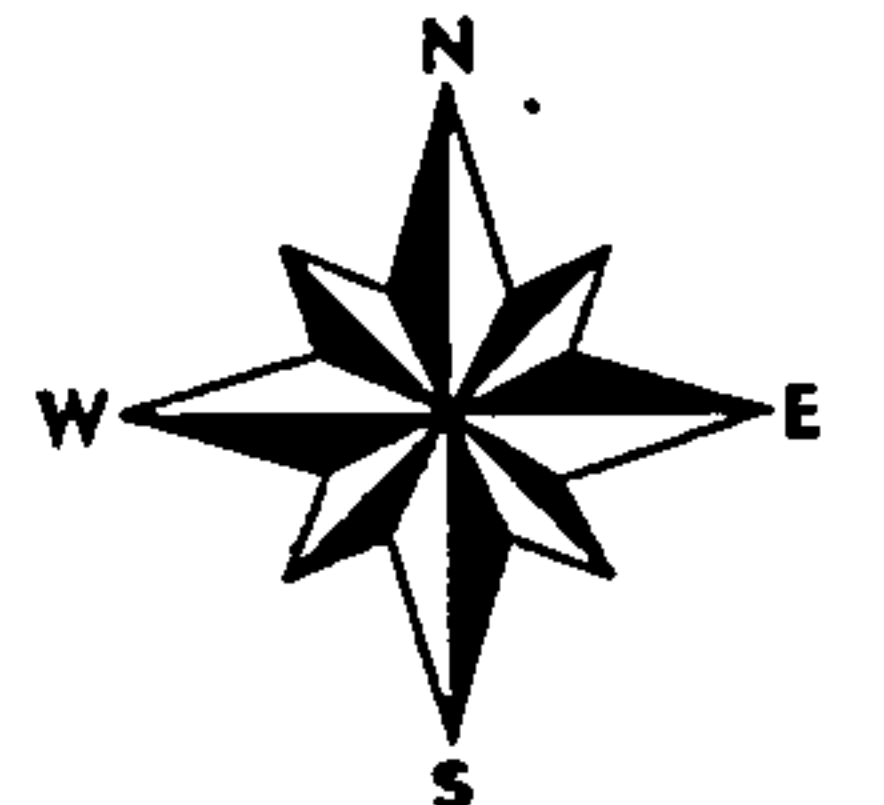
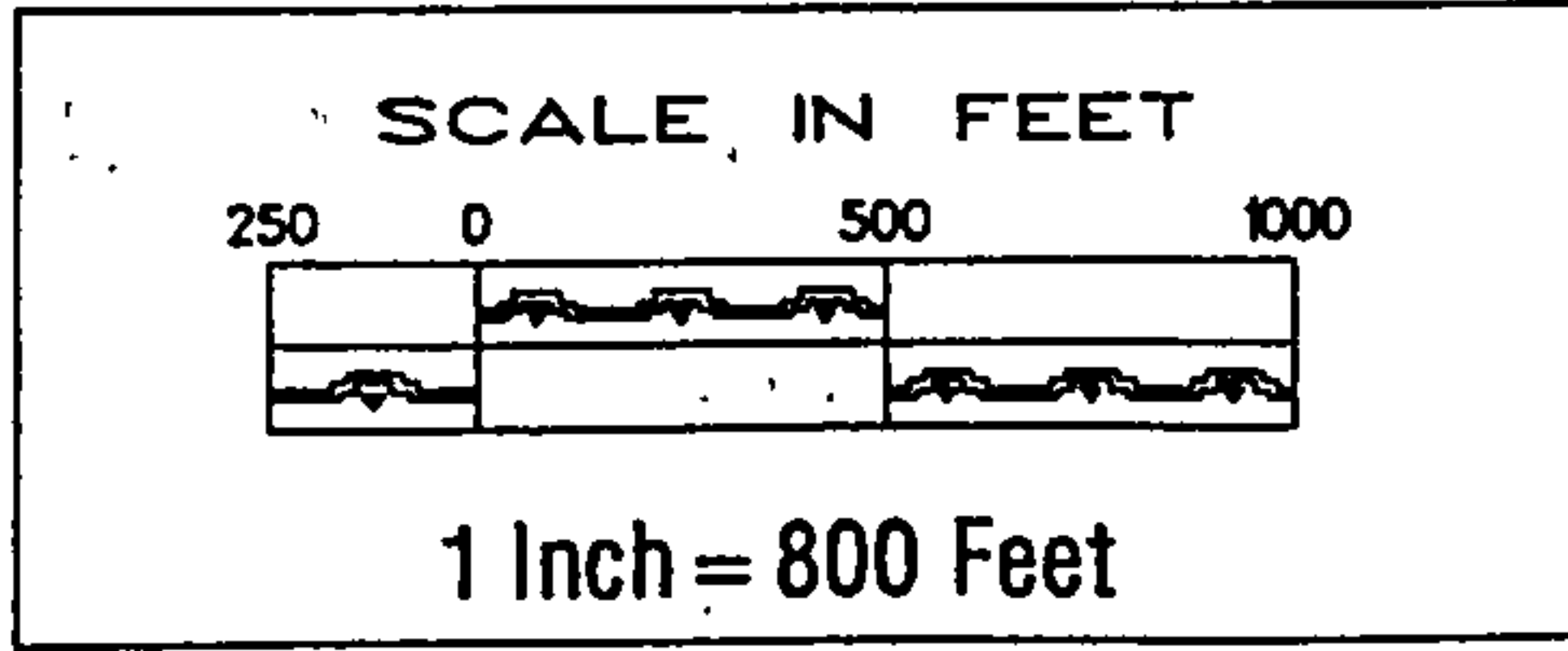
www.presurv.com



Coronado and Nazareth Landfills

February 2003

- Zone Atlas Pages
- - - - - Municipal Limits
- ▭ Landfill





Marcia A. Pincus
01/12/04 01:38 PM

To: Sheran A. Matson/PLN/CABQ@COA
CC:
Subject: Fw: Case Number 1003173

----- Forwarded by Marcia A. Pincus/EHD/CABQ on 01/12/2004 01:38 PM -----



Marcia A. Pincus
01/12/2004 01:37 PM

To: Marcia A. Pincus/EHD/CABQ@COA
CC:
Subject: Re: Case Number 1003173

Hi Sheran: I spoke to the PE with LFG expertise who did the original draft of a report, and he says he never finalized the report at Mr. Seavey's request, so that report needs to be finalized and submitted to EHD for approval before we will sign off on the Site Plan.

thanks and have a great day!



Marcia A. Pincus
01/12/2004 09:45 AM

To: Sharon Matson
CC:
Subject: Case Number 1003173

Sharon: My file on this project is incomplete. A FINAL landfill gas assessment report was not filed with this office, nor were answers (EHD letter dated August 16, 2000) to additional questions I had concerning this site and the report. I will not be able to sign off on the Site Plan for Building Permit. Please have applicant contact me.

Thanks, Marcy



Marcia A. Pincus

01/12/04 09:45 AM

To: Sheran A. Matson/PLN/CABQ@COA

CC:

Subject: Case Number 1003173

Sharon: My file on this project is incomplete. A FINAL landfill gas assessment report was not filed with this office, nor were answers (EHD letter dated August 16, 2000) to additional questions I had concerning this site and the report. I will not be able to sign off on the Site Plan for Building Permit. Please have applicant contact me.

Thanks, Marcy

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 1/5/04
Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 82" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Existing structures on the site and within 20 feet of the site boundaries
7. Property lines (clearly identify)
8. Existing and proposed easements (identify each)

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: AT. provided: _____
Handicapped spaces required: _____ provided: _____
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: AT.
provided: _____
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/7/2003

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

<p style="text-align: center;">Supplemental form</p> <p>SUBDIVISION S</p> <p>___ Major Subdivision action</p> <p>___ Minor Subdivision action</p> <p>___ Vacation V</p> <p>___ Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN P</p> <p>___ ...for Subdivision Purposes</p> <p><input checked="" type="checkbox"/> ...for Building Permit</p> <p>___ IP Master Development Plan</p> <p>___ Cert. of Appropriateness (LUCC) L</p>	<p style="text-align: center;">Supplemental form</p> <p>ZONING & PLANNING Z</p> <p>___ Annexation</p> <p>___ County Submittal</p> <p>___ EPC Submittal</p> <p>___ Zone Map Amendment (Establish or Change Zoning)</p> <p>___ Sector Plan (Phase I, II, III)</p> <p>___ Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p>___ Text Amendment (Zoning Code/Sub Regs)</p> <p>APPEAL / PROTEST of... A</p> <p>___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
---	--

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: KNIGHT SEAVEY (INSITEWORKS) PHONE: 505.975.0500

ADDRESS: 57 ROCK POINT PLACE NE FAX: 505.858.1098

CITY: ALB. STATE NM ZIP 87122 E-MAIL: knight@insiteworks.com

Proprietary interest in site: OWNER

AGENT (if any): SAME PHONE: "

ADDRESS: " FAX: "

CITY: " STATE " ZIP " E-MAIL: "

DESCRIPTION OF REQUEST: SITE PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 31 & 32 Block: 5 Unit:

Subdiv. / Addn. NORTH ALBUQUERQUE ACRES

Current Zoning: IP Proposed zoning:

Zone Atlas page(s): B-18 No. of existing lots: 2 No. of proposed lots: 5

Total area of site (acres): 1.53 Density if applicable: dwellings per gross acre: dwellings per net acre:

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? YES

UPC No. 101806501117230701 - 101806502717130702 MRGCD Map No.

LOCATION OF PROPERTY BY STREETS: On or Near: SAN MATEO / SAN DIEGO

Between: and

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.):

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre application Review Team . Date of review:

SIGNATURE Devin Cannady DATE 1/6/03

(Print) DEVIN CANNADY Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03

<input type="checkbox"/> INTERNAL ROUTING <input type="checkbox"/> All checklists are complete <input type="checkbox"/> All fees have been collected <input type="checkbox"/> All case #s are assigned <input type="checkbox"/> AGIS copy has been sent <input type="checkbox"/> Case history #s are listed <input checked="" type="checkbox"/> Site is within 1000ft of a landfill <input type="checkbox"/> F.H.D.P. density bonus <input type="checkbox"/> F.H.D.P. fee rebate	<p>Application case numbers</p> <p><u>04DRB</u> - <u>00005</u></p> <p>___ - ___</p> <p>___ - ___</p> <p>___ - ___</p> <p>___ - ___</p> <p>___ - ___</p>	<p>Action</p> <p><u>SPBP</u></p> <p><u>CMS</u></p> <p>___</p> <p>___</p> <p>___</p>	<p>S.F.</p> <p><u>P(3)</u></p> <p>___</p> <p>___</p> <p>___</p>	<p>Fees</p> <p>\$ <u>385</u></p> <p>\$ <u>20</u></p> <p>\$</p> <p>\$</p> <p>\$</p> <p>Total</p> <p>\$ <u>405</u></p>
--	---	---	---	--

Hearing date 1/14/04

Al Buller 1/6/04
Planner signature / date

Project # 1003173

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - NA Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan *ON ORIGINAL*
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - NA Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development) *ON ORIG*
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KNILHE SEAVEL

Applicant name (print)

K. 10/5

Applicant signature / date



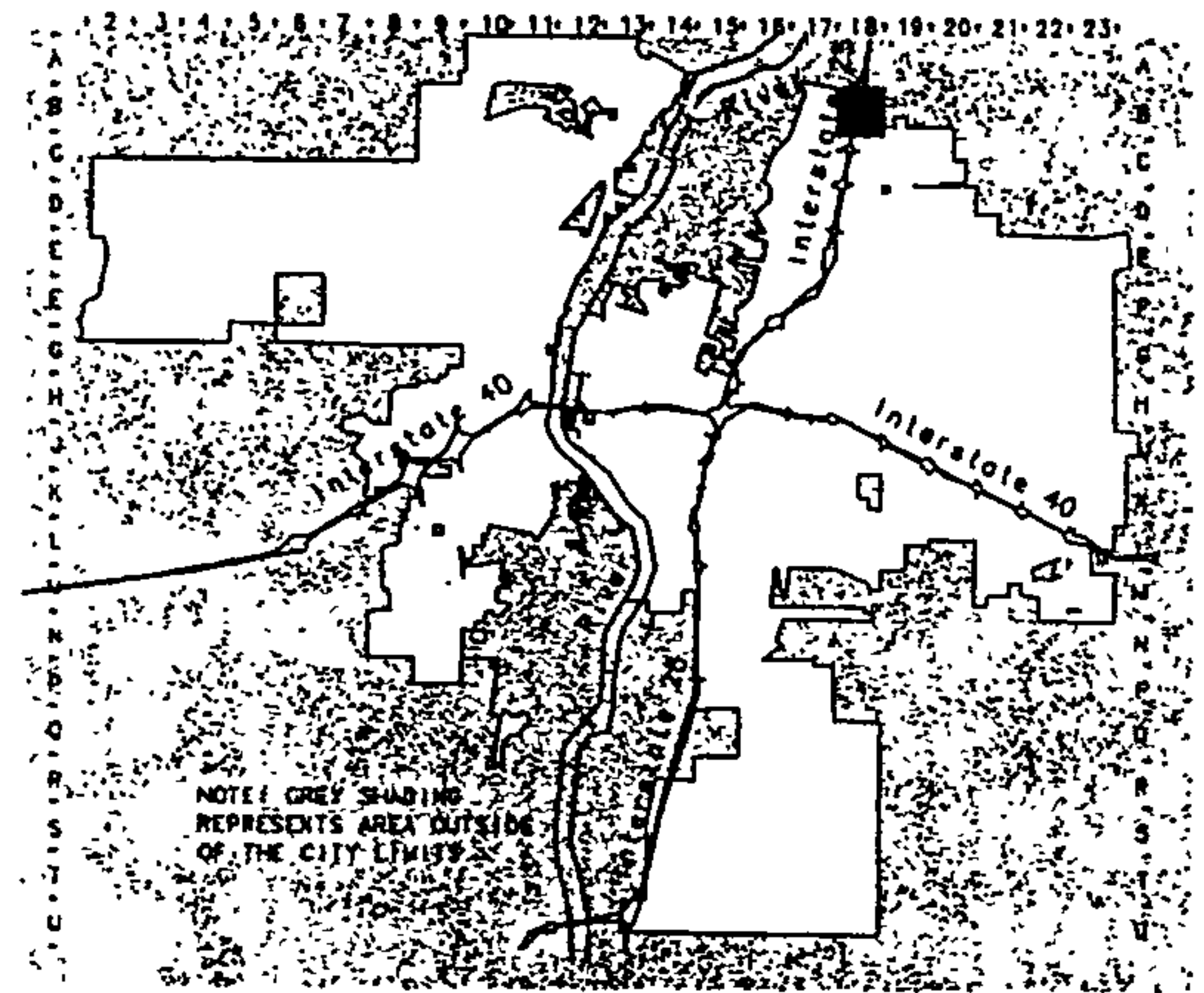
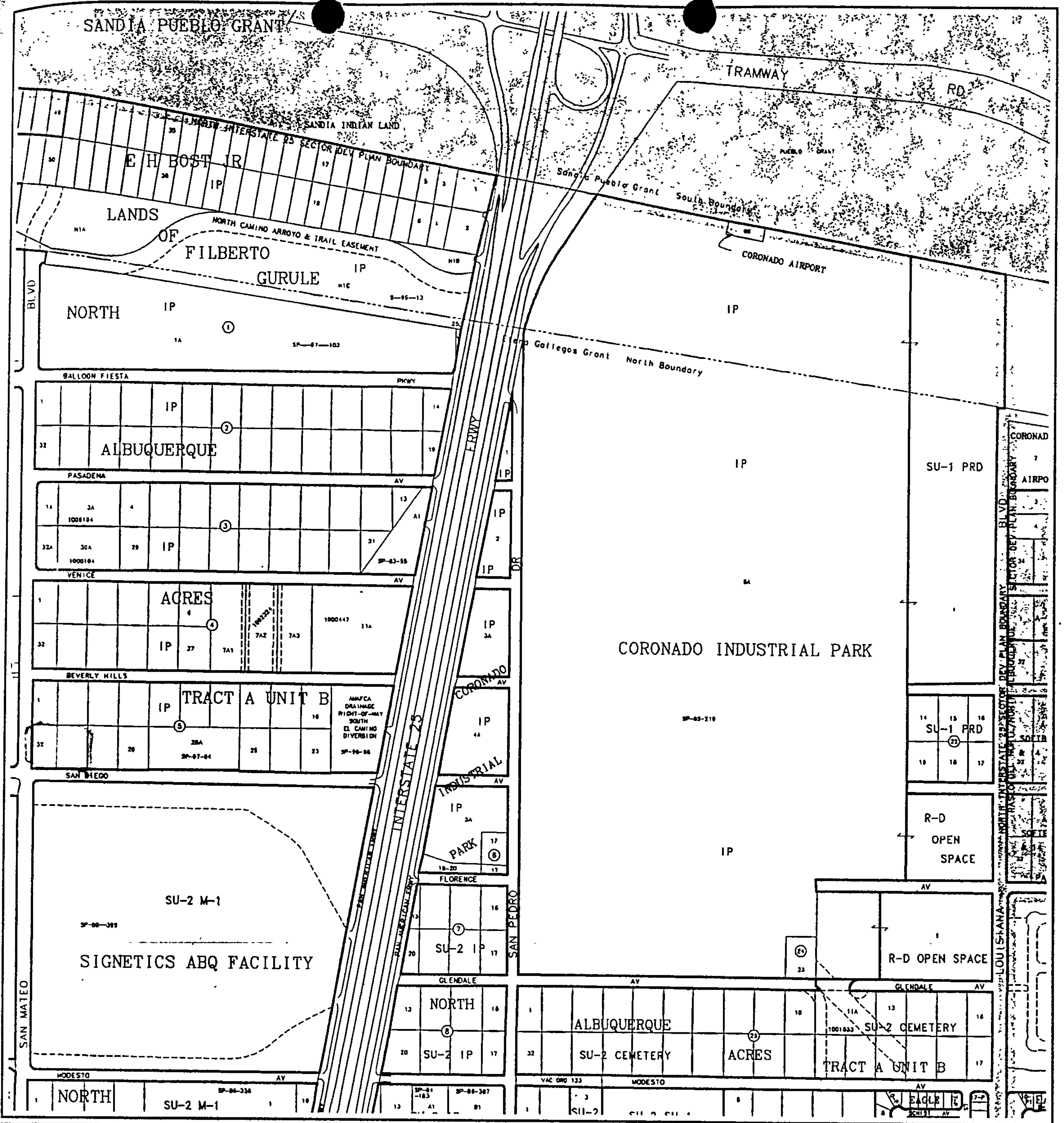
Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

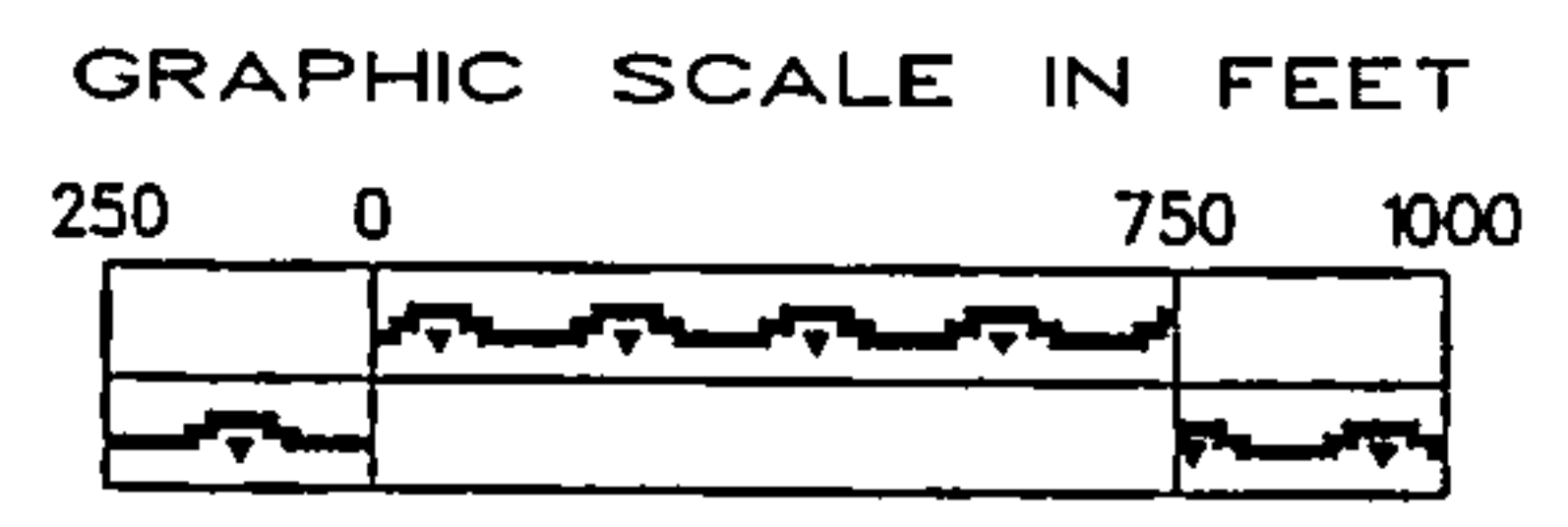
Application case numbers
04DRB - -00005

[Signature] *1/16/04*
 Planner signature / date

Project # 1003173



CITY OF
Albuquerque
Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page

B-18-Z

Map Amended through January 21, 2003

Knight Seavey, AIA

57 Rock Point Place NE | Albuquerque, NM 87122 | 505 975.0500 | knight@insiteworks.com

date		5-Jan-04
project		Verano Plaza
regarding		Verano Plaza DRB Site Plan for Building Permit Submittal
distribution		City of Albuquerque DRB members

Introduction

Handwritten note:
At 1000
Drinking

We are requesting City of Albuquerque DRB review of the attached project. The multi-building office and warehouse project will be situated at the NE corner of San Mateo and San Diego Northeast. This area has seen a significant amount of recent development. While much of the area is zoned IP it is fair to say that there is a strong demand for both office and warehouse users. Historically landfill sites existed in this part of town, however not on this site. Most of the landfill has been removed at this time and there is no trace of methane gas in our environmental studies.

Much of the development in the area is of high quality construction. Buildings with stucco, split face block, and glass wall systems have supplanted metal buildings with minimal façade detail.

Planning Concept

A campus concept of 5 buildings has been arranged with each office building having a good exposure to the intersection and street yards. The site plan is governed by the North I-25 Sector Plan. Parking is evenly dispersed at the frontage and calculates to a net 6/1000 ratio. The buildings are interconnected with landscaped yards and sidewalks and share fiber/telecom linkages as well. The warehouse is situated at the back of the property and has dock facilities completely screened from the street.

Individually platted lots provide an opportunity to own a small building in fee simple. (2250-3500 SF offices sizes) This is presented in a design controlled environment with consistent signage and project ID. Maintenance agreements will control quality and timing of property maintenance.



Project logo and signage basis

Building Construction

Verano Plaza will present a high quality building palette to the street. Rastra block, a highly insulated masonry unit will be the primary wall material and will be finished with stucco. Accent trim at window sills and parapets will be of cultured stone. Aluminum color clad wood windows and aluminum kynar painted window/door systems will be employed.

Landscaping

The landscape percentage is well beyond the CABQ requirement and is xeric in nature. Native plantings are employed to a high degree and all materials in the palette are waterwise. There will be over 500 1 gal. plants and nearly 50 trees.

We have indicated a meandering 4' sidewalk. It should be noted that the required 10' landscape buffer has been maintained or exceeded at both frontages, and in some instances must be added on both sides of the sidewalk due to the nature of a meandering alignment. This was addressed in pre-submittal meetings with both Planning and Traffic Depts. 6' sideyard landscape buffers are provided as well.

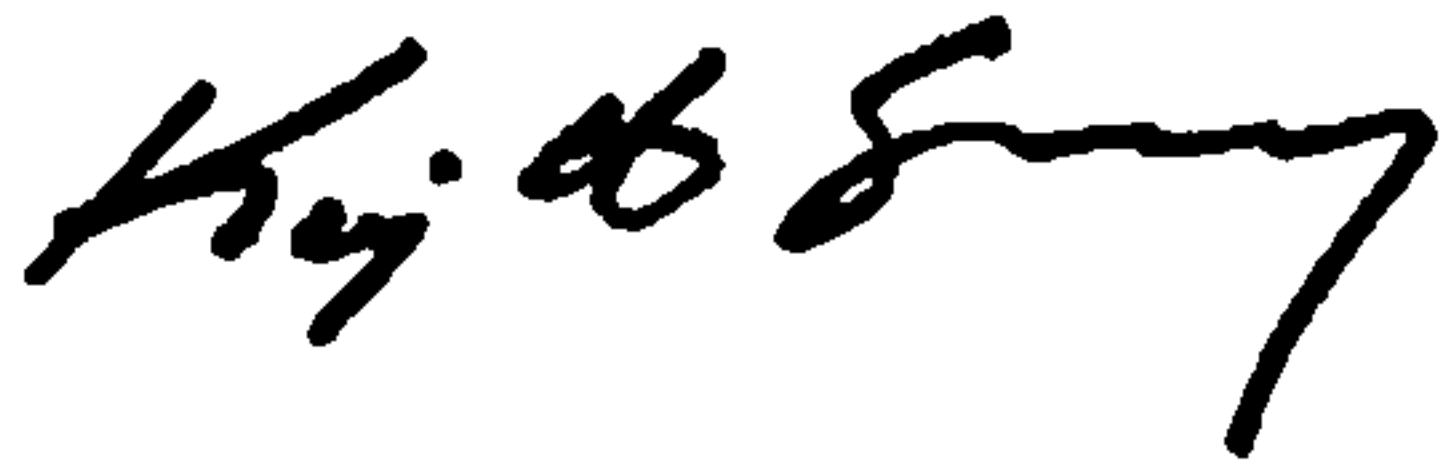
Adjacent ROW

A 13' dedication is required at San Mateo. We will ultimately have a 36' paving section at San Diego. Additional ROW is not required as there will never be development on the south side of the street. The paving section has been shifted slightly south, allowing a generous landscape on the north and a future bike path on the south.

Summary

We feel that this project is appropriate for the area, is a positive addition to the local tax base, and supports the City infill policy. Thank you for your consideration of this request.

Sincerely,



Knight Seavey, AIA
Owner, Architect, and Developer

the overall intent of the Balloon Fiesta Park Master Development Plan must be demonstrated.

C: Land Use Development Standards:

Development standards are intended to encourage an attractive mixed-use industrial park setting which enhances the northern entrance to the city and diminishes conflicts between non-residential and residential development. The following objectives are essential to the attainment of these features:

- * to reduce adverse visual and noise conflicts between non-residential and residential development through the use of screening and landscaping standards.
- * to encourage an identifiable character by ensuring visual continuity within the plan area through the use of screening and landscaping standards.
- *to reduce adverse visual and sound effects of traffic, and hazardous traffic conditions for motorists, pedestrians and bicyclists through the use of screening, landscaping, subdivision and site design standards.
- *to ensure appropriate bicycle and pedestrian access to open space and/or park and recreation areas through the use of landscaping, subdivision and site design standards.

The following standards are the responsibility of all private property owners in the plan area and shall apply to a11 new development in any SU-2, SU-1 or IP zone. The standards will be emphasized in the review of required site plans and/or landscaping plans.

Approval of landscaping plans including setbacks) shall be by the Planning Director, subject to appeal except where a site development plan for the property is to be approved by the Planning Commission, that body shall approve the landscaping plan.

DMS
RELEASED

1. Special Screening Standards

- a. All refuse collection areas and outdoor storage areas shall be visually screened from the public right-of-way and from all adjacent lines. Screening shall consist of opaque materials; solid walls or property fencing shall be at least six feet high and be constructed of materials which blend with the architectural style of buildings on the site. A hedge-like screen consisting of evergreen trees or shrubs, at least six feet high and permanently maintained to produce a dense visual barrier, is also appropriate.
- b. All loading areas used for the loading and unloading of commercial vehicles shall be setback from the public right-of-way line and from all property lines to reduce the visual impact of large commercial vehicles and loading areas.

our
plan
best
special
loading



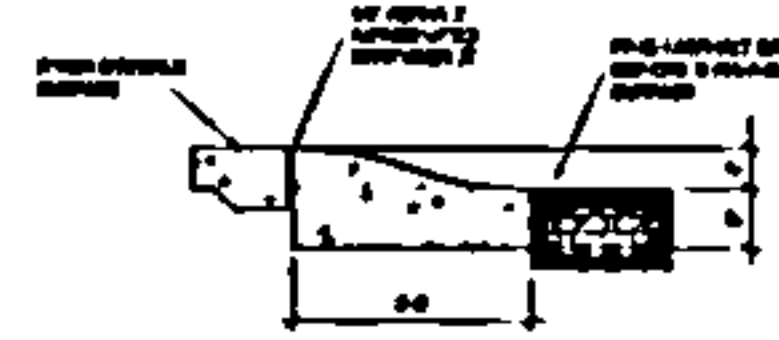
verano

PLAZA

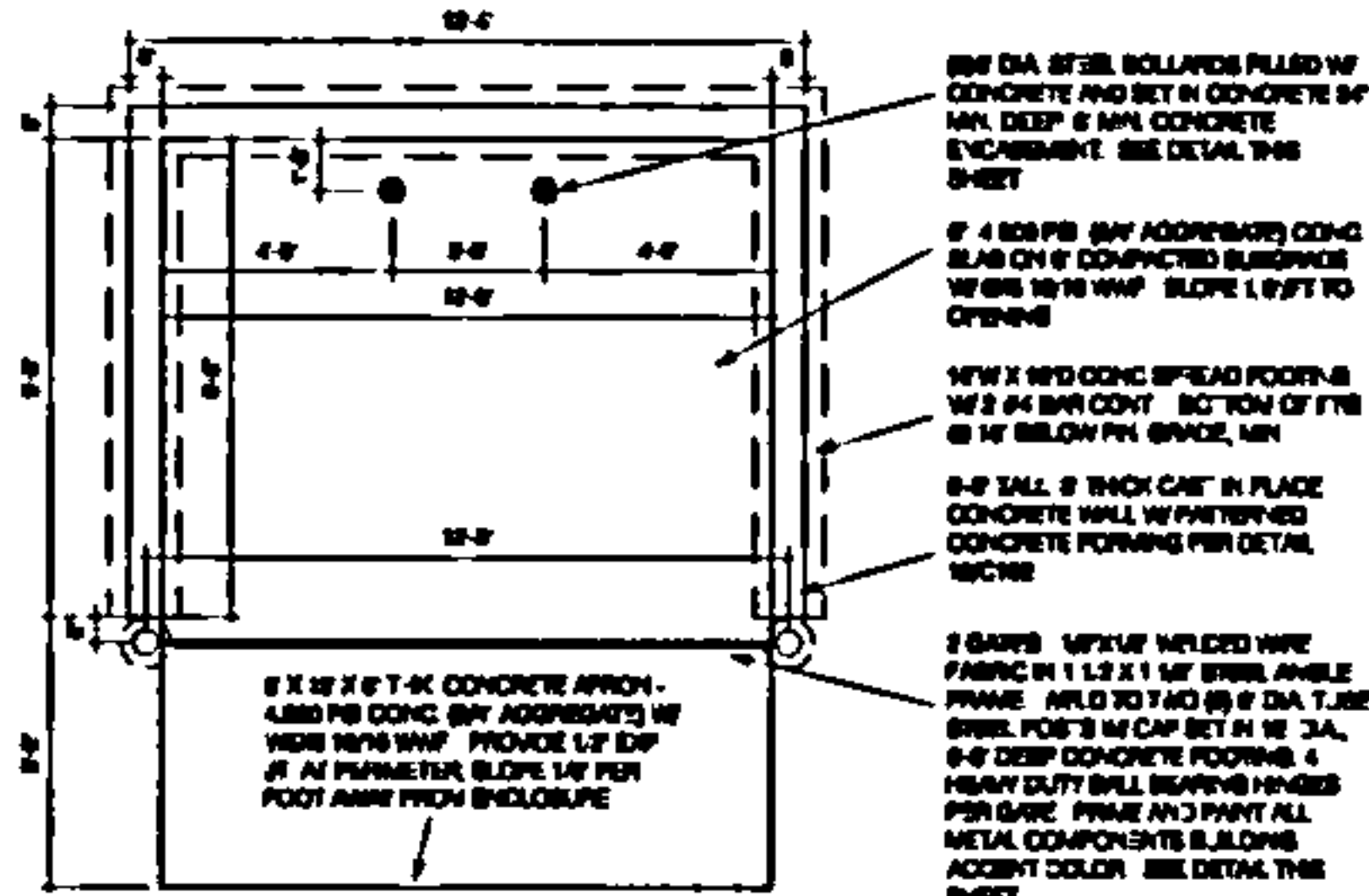
 SITE DESIGN

Knight Seavey, AIA	knight@insiteworks.com
505.975.0500	57 Rock Point Place NE
888.781.0154	Albuquerque, NM 87122
insiteworks.com	

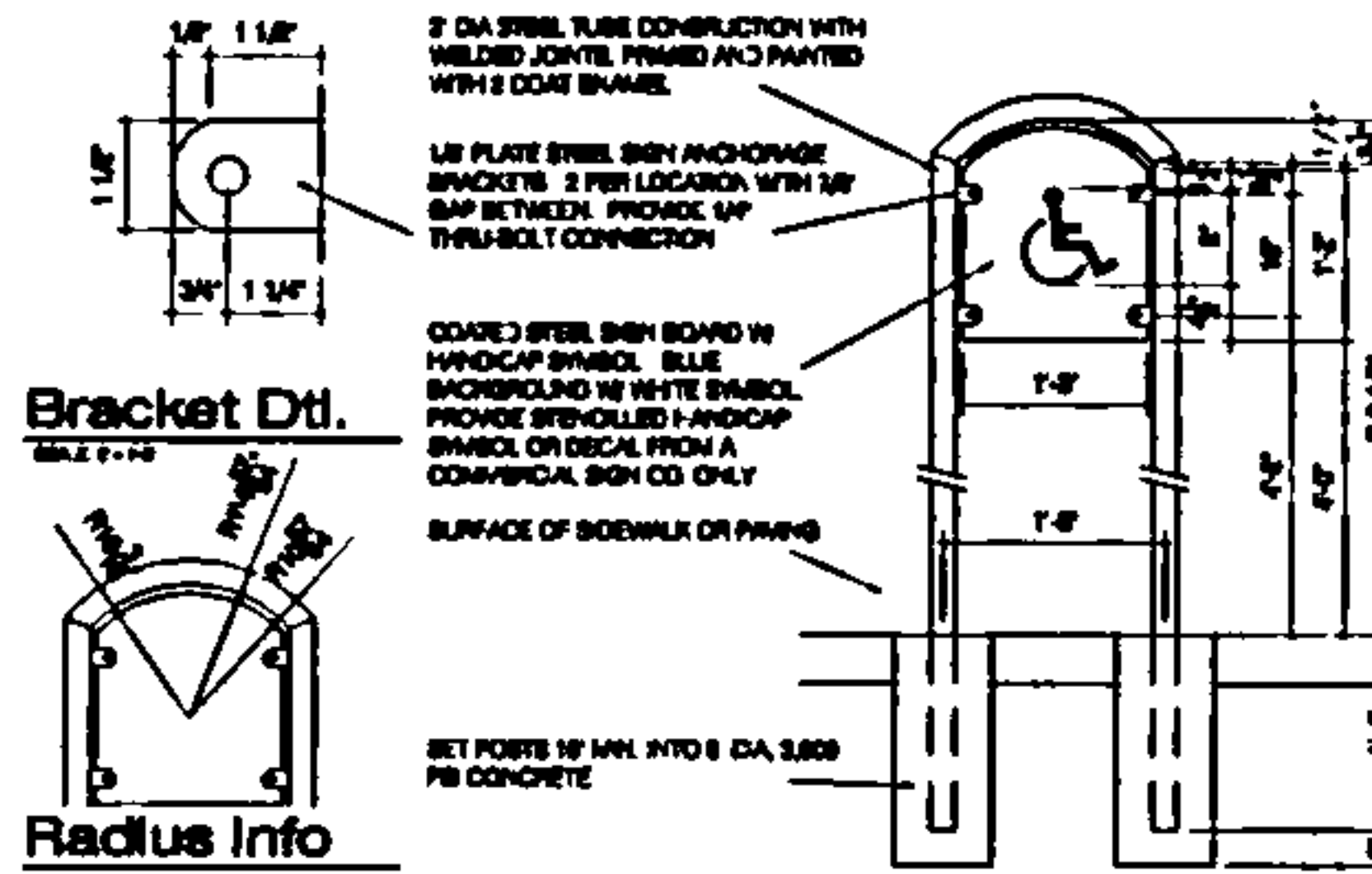




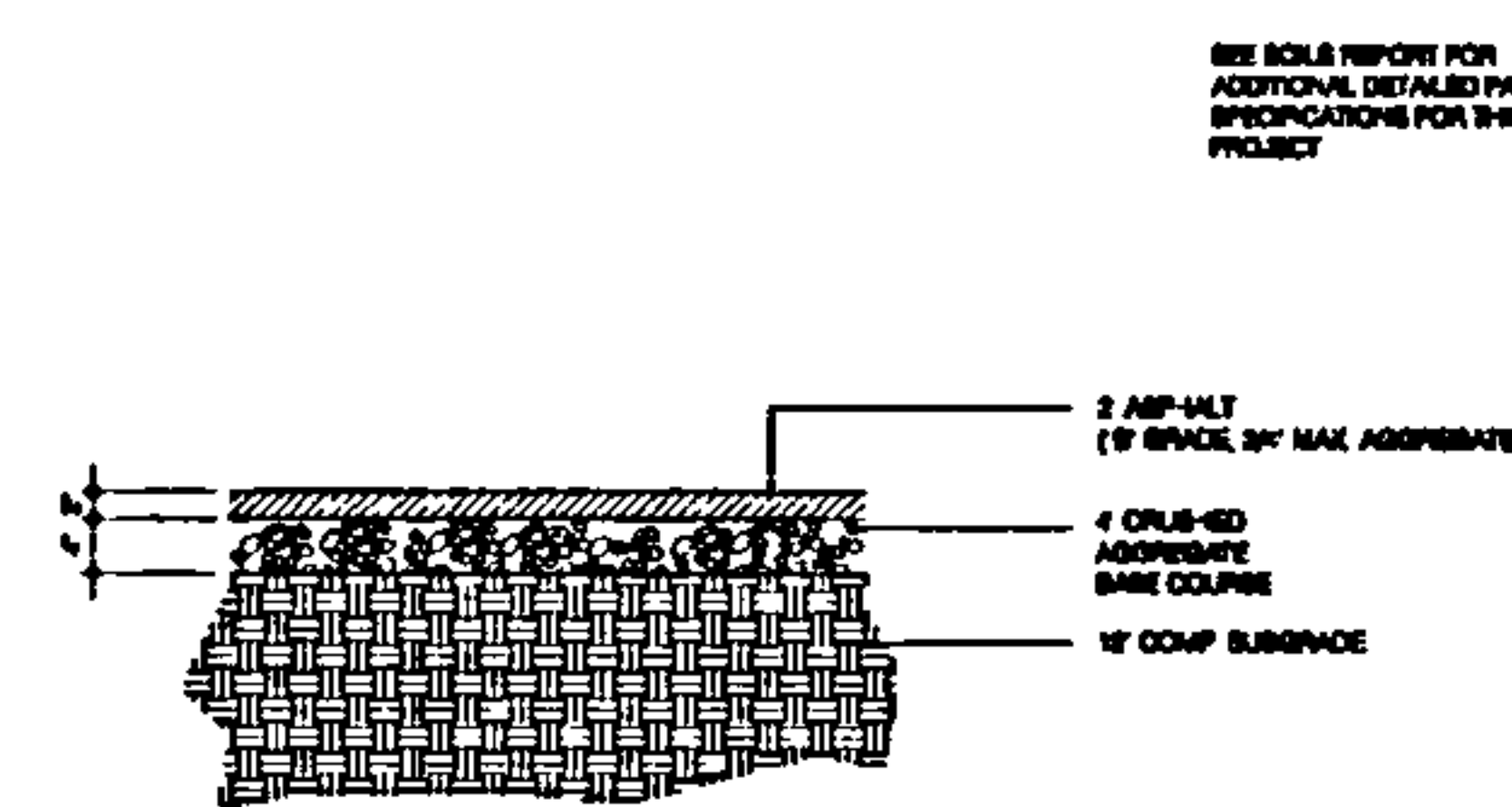
13 ROLL CURB DETAIL
SCALE: 1/2"=1'-0"



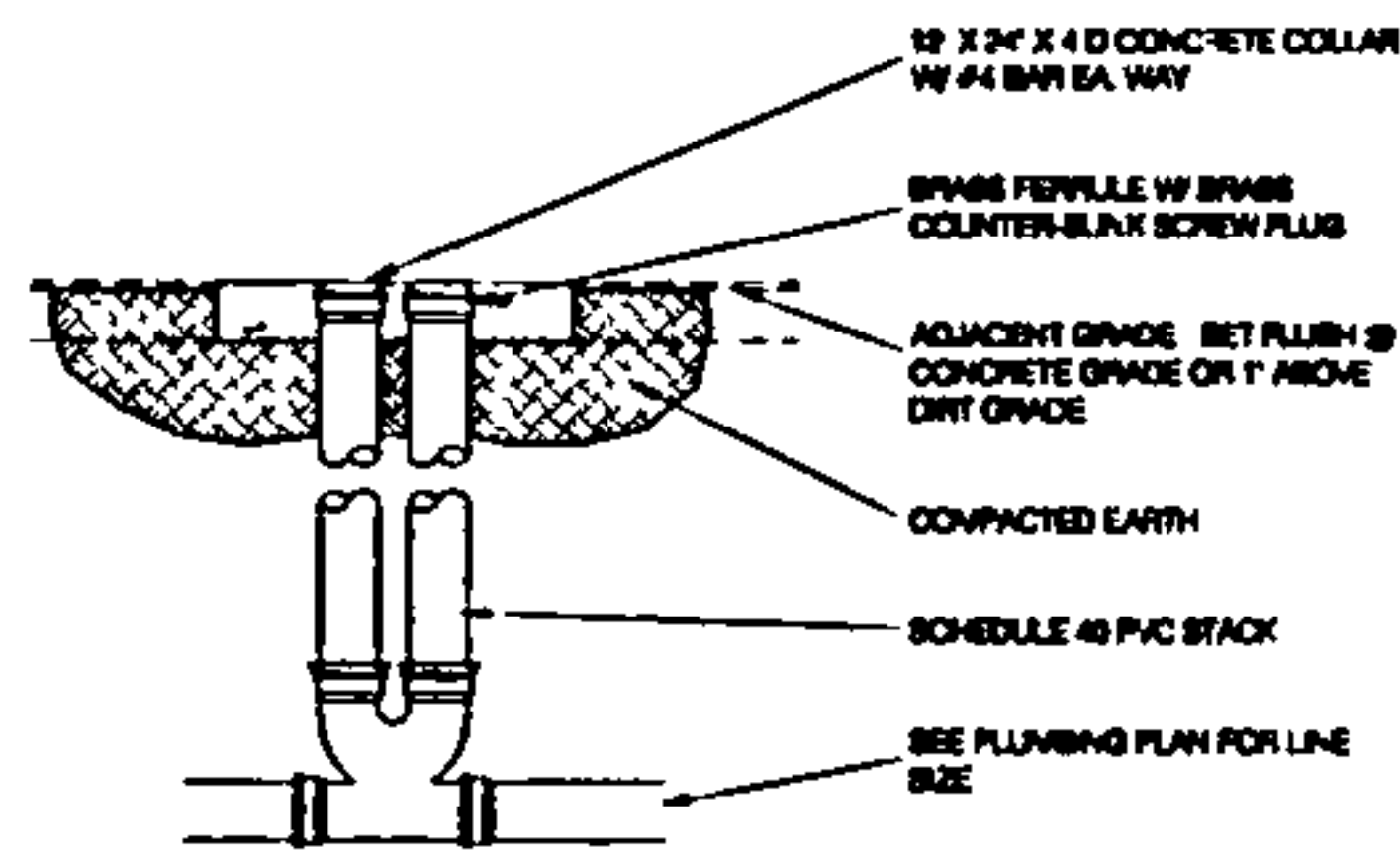
9 DUMPSTER ENCLOSURE - CONC
SCALE: 1/4"=1'-0"



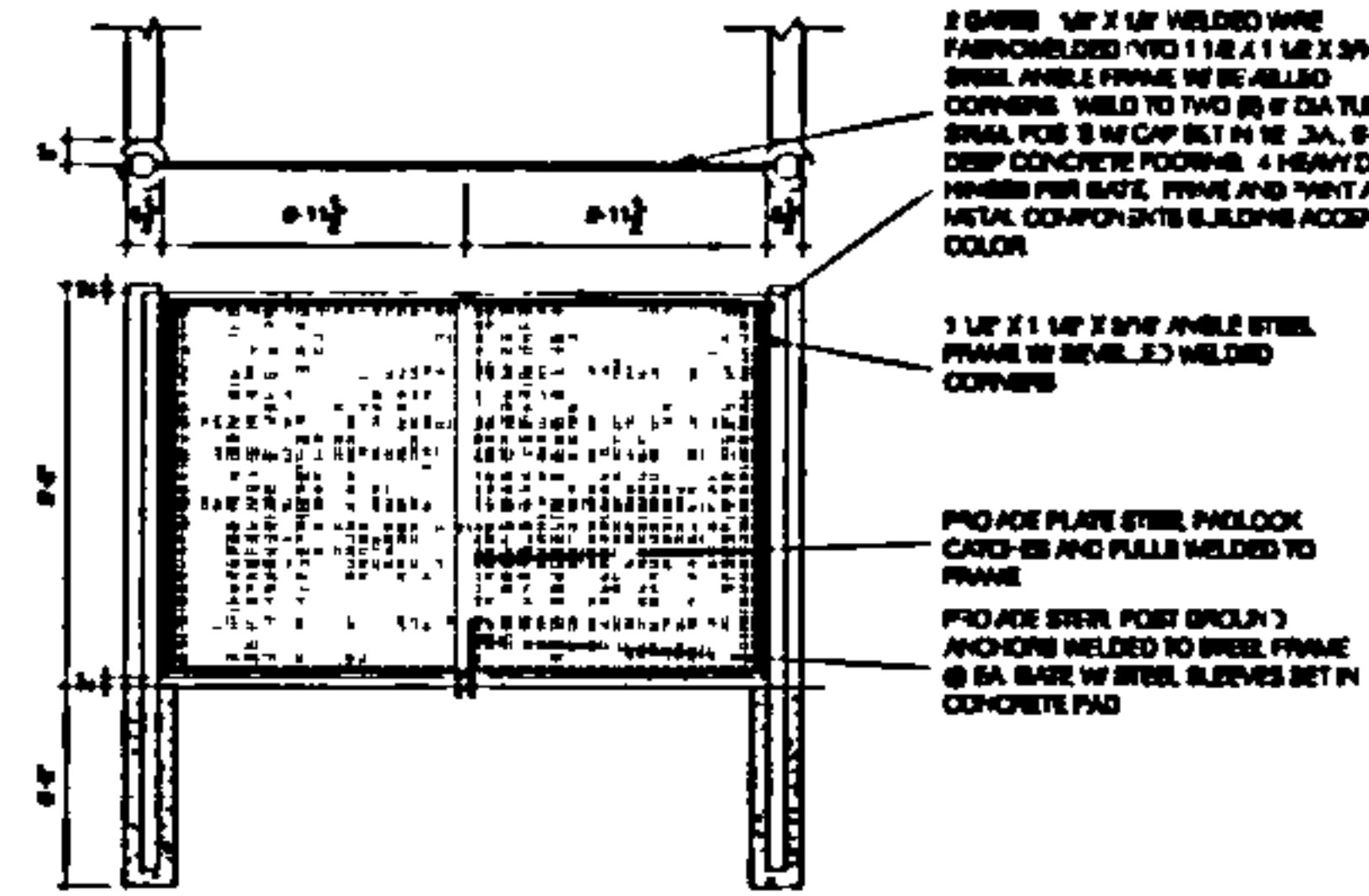
5 HANDICAP PARKING SIGN DETAIL
SCALE: 3/4"=1'-0"



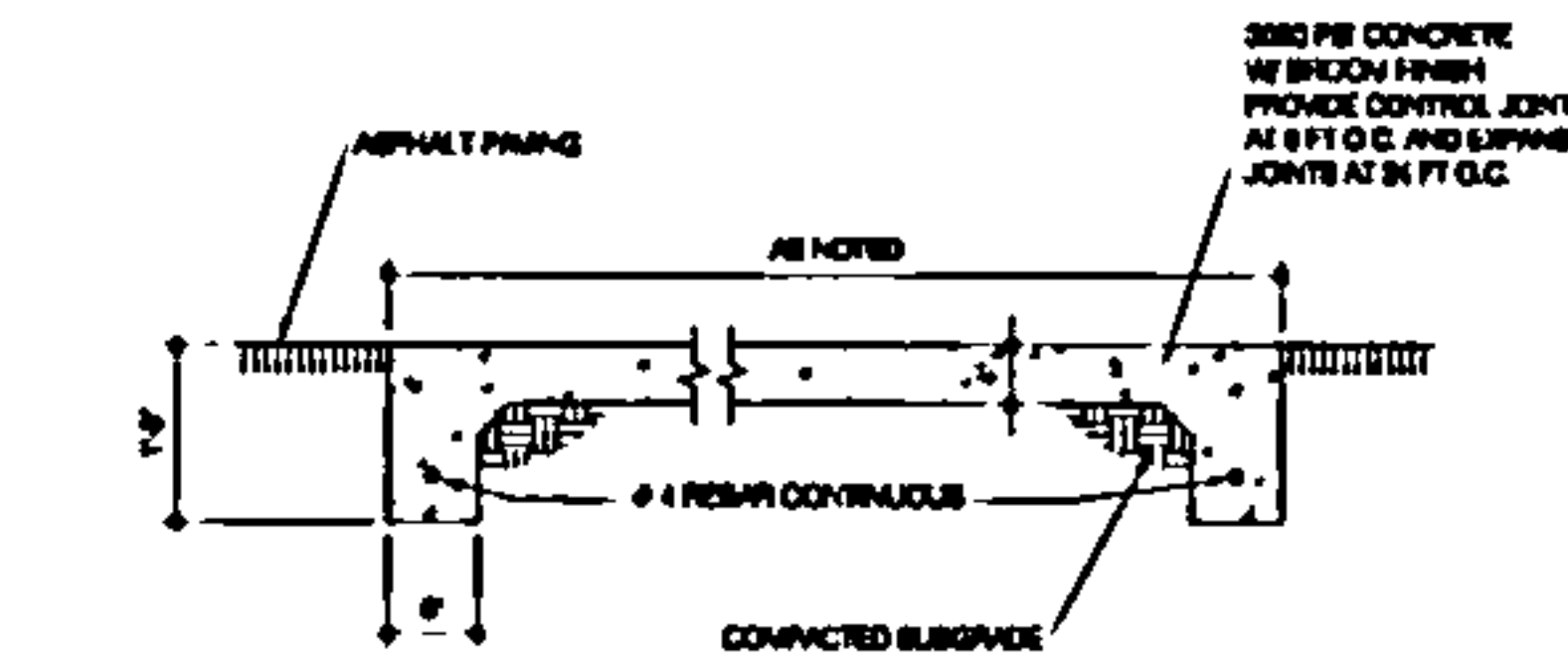
1 ASPHALT PAVING - MEDIUM
SCALE: 3/4"=1'-0"



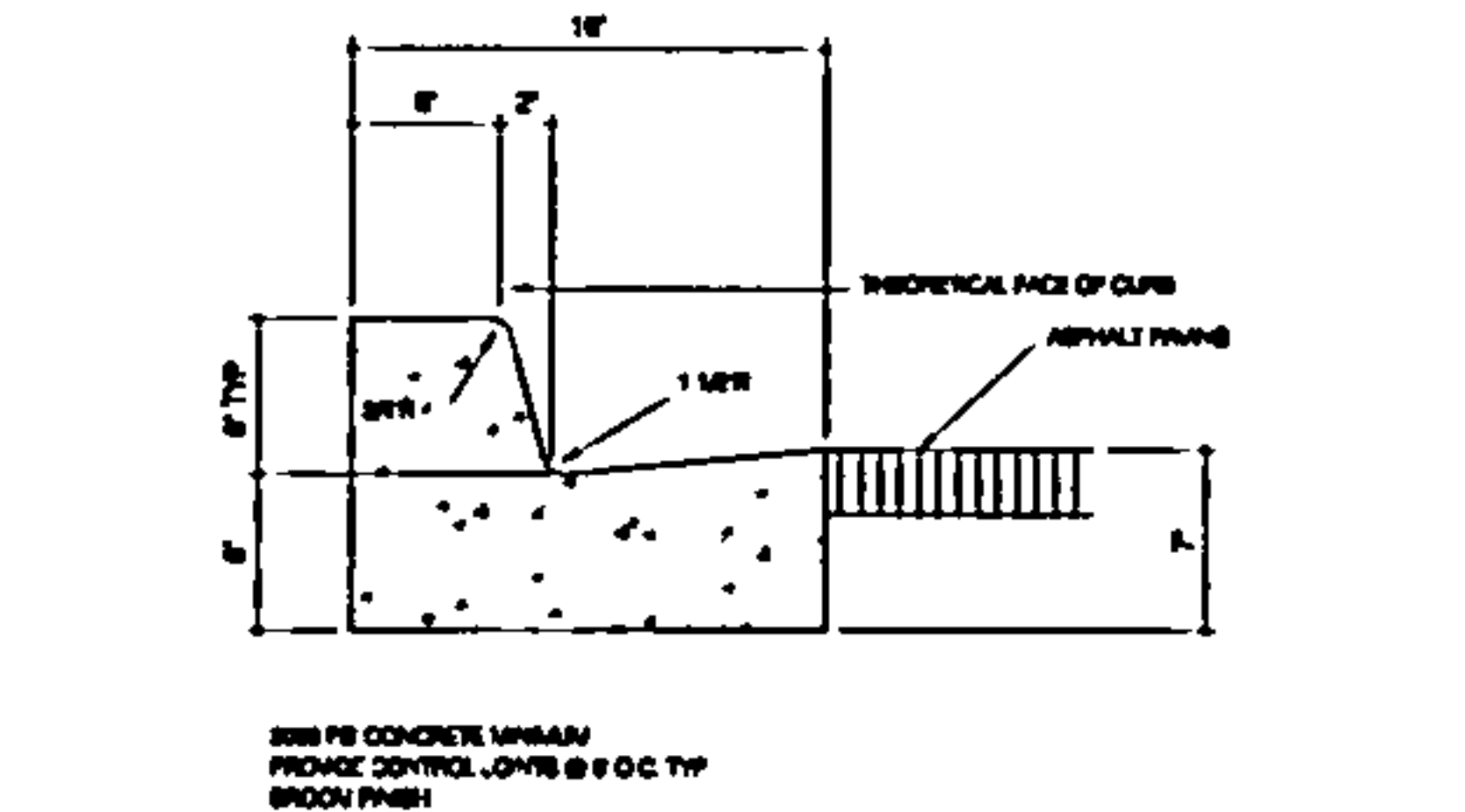
14 DOUBLE CLEANOUT DETAIL
SCALE: 3/4"=1'-0"



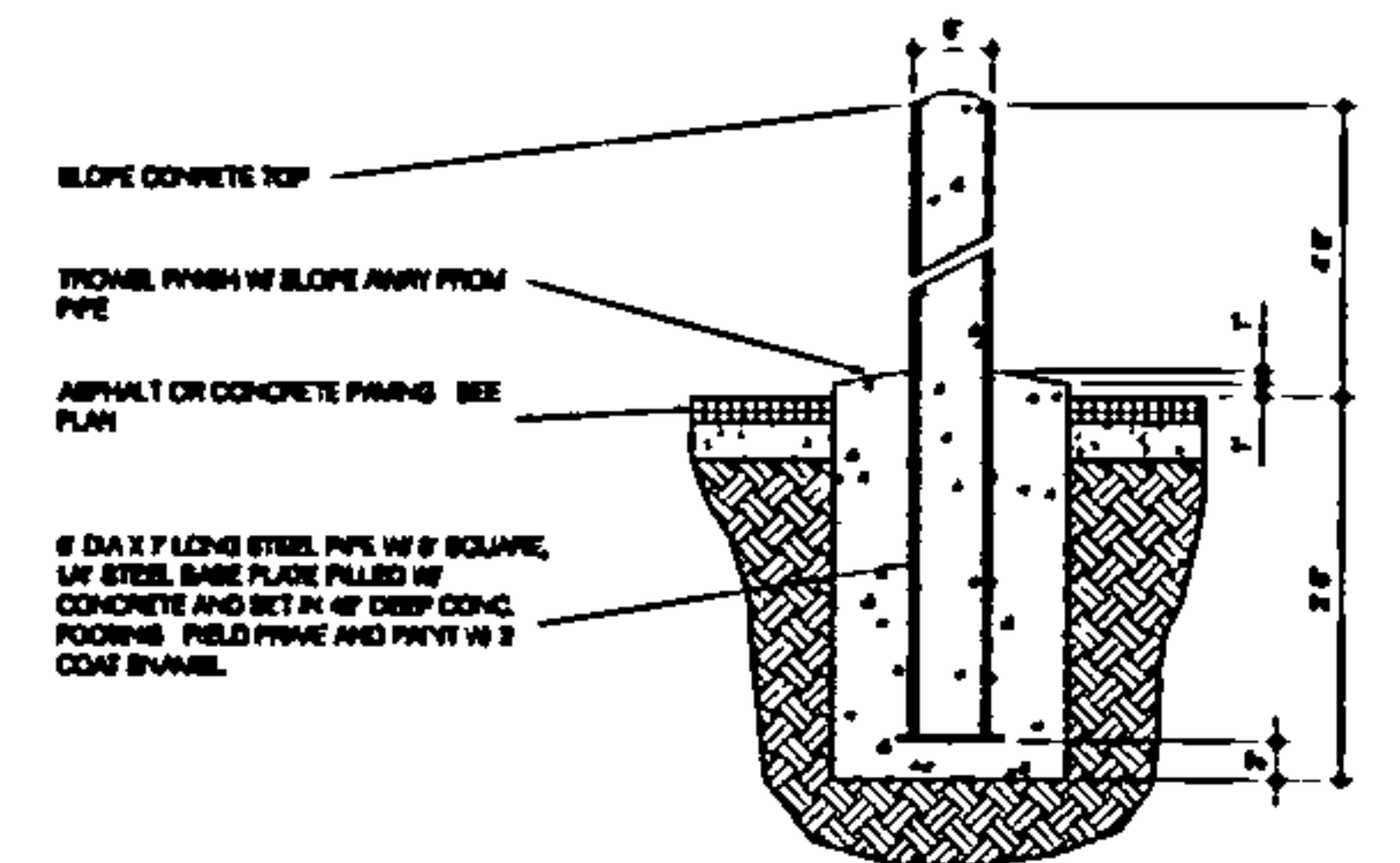
10 DUMPSTER ENCLOSURE GATE
SCALE: 1/4"=1'-0"



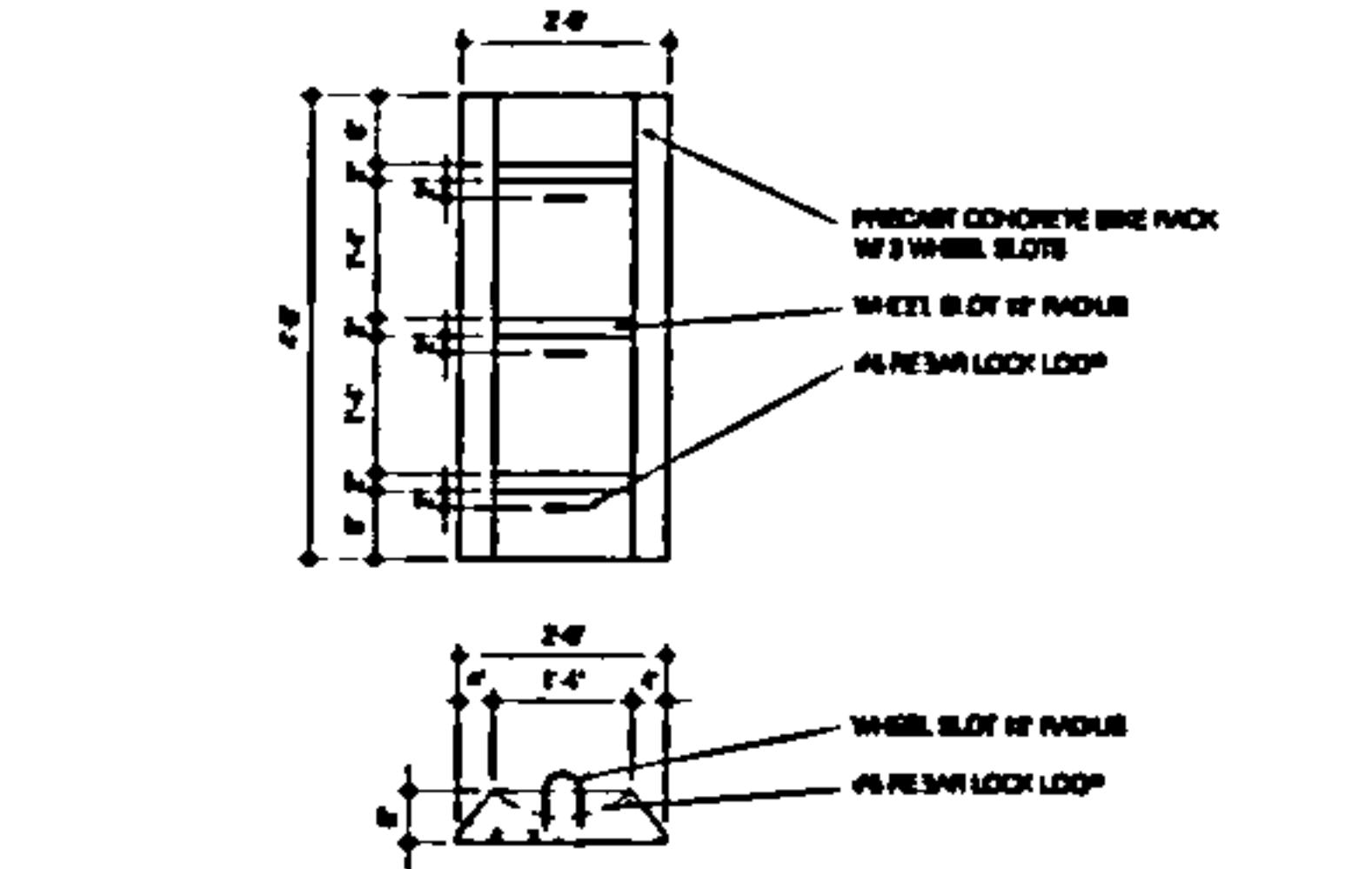
6 CROSSWALK SECTION
SCALE: 3/4"=1'-0"



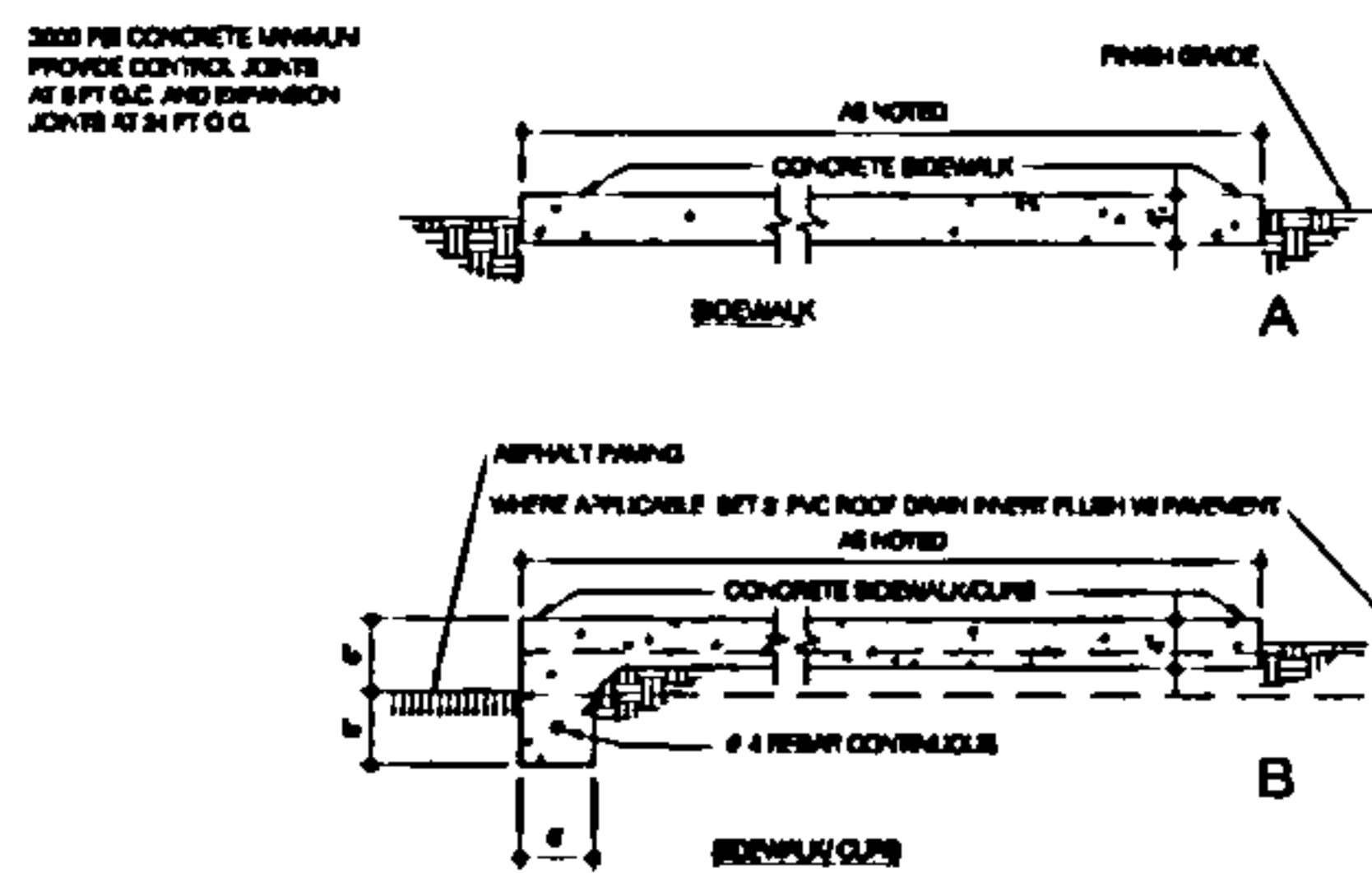
2 CURB & GUTTER SECTION
SCALE: 1 1/2"=1'-0"



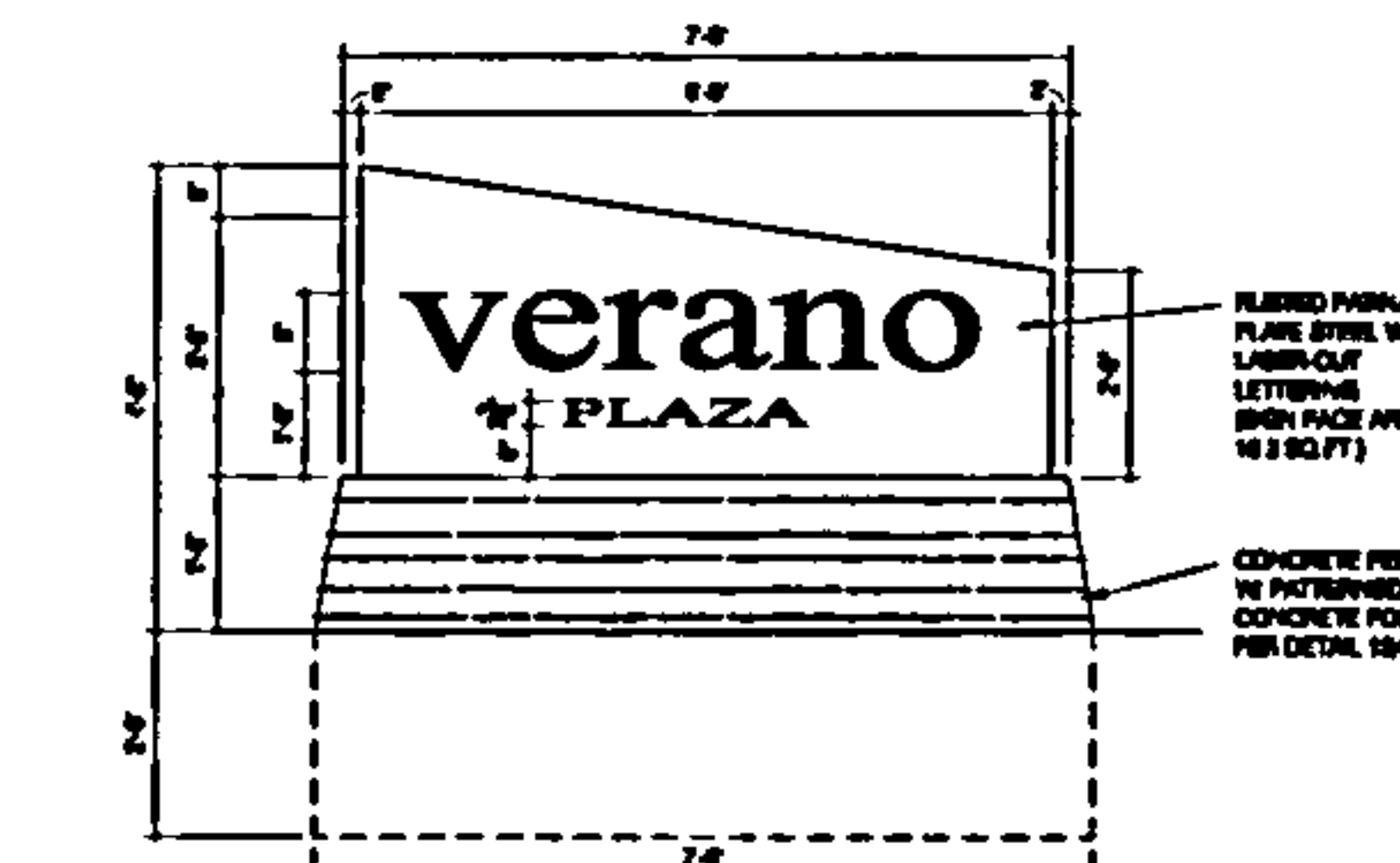
11 BOLLARD DETAIL
SCALE: 3/4"=1'-0"



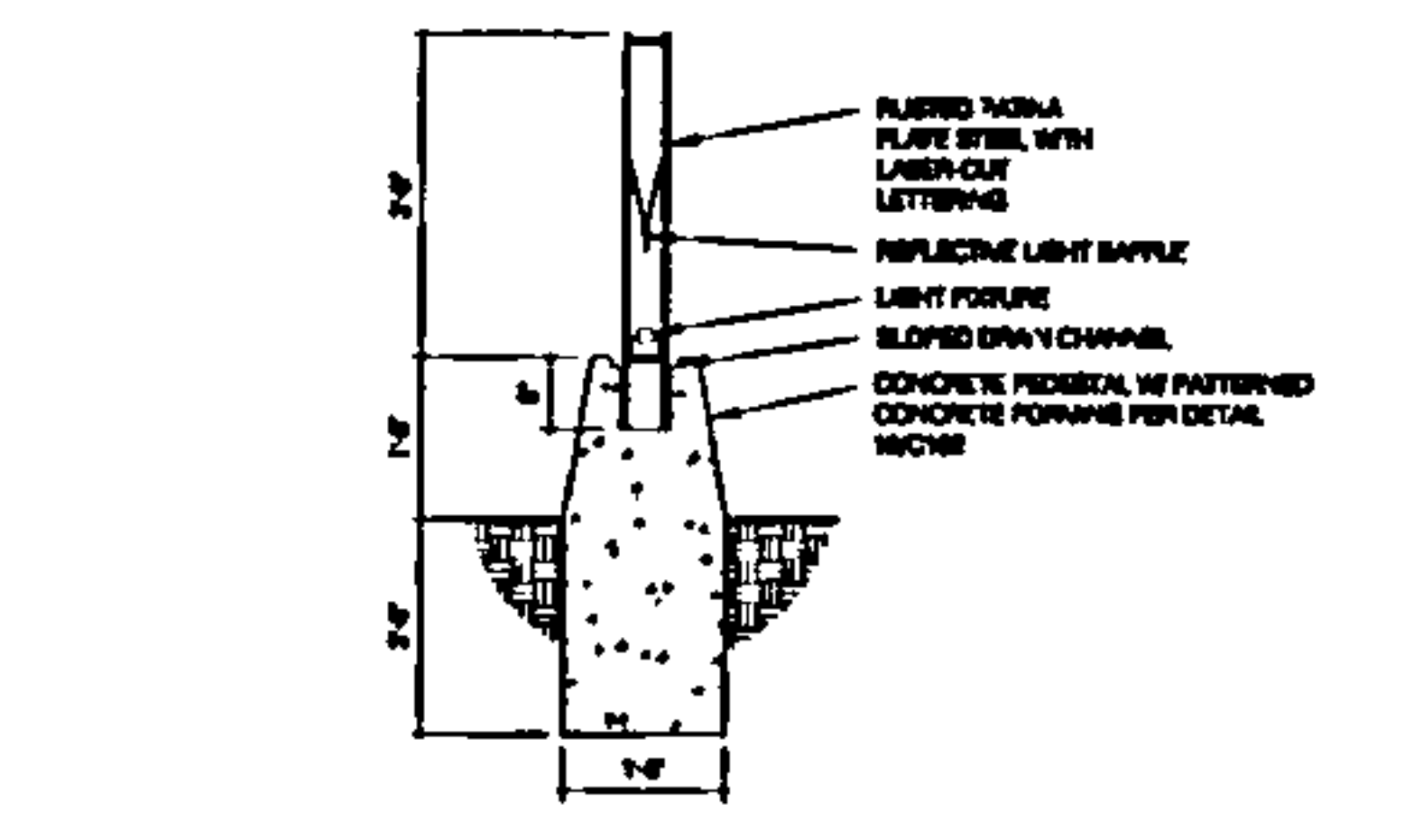
7 BIKE RACK DETAIL - 3 STALL CONC
SCALE: 1/2"=1'-0"



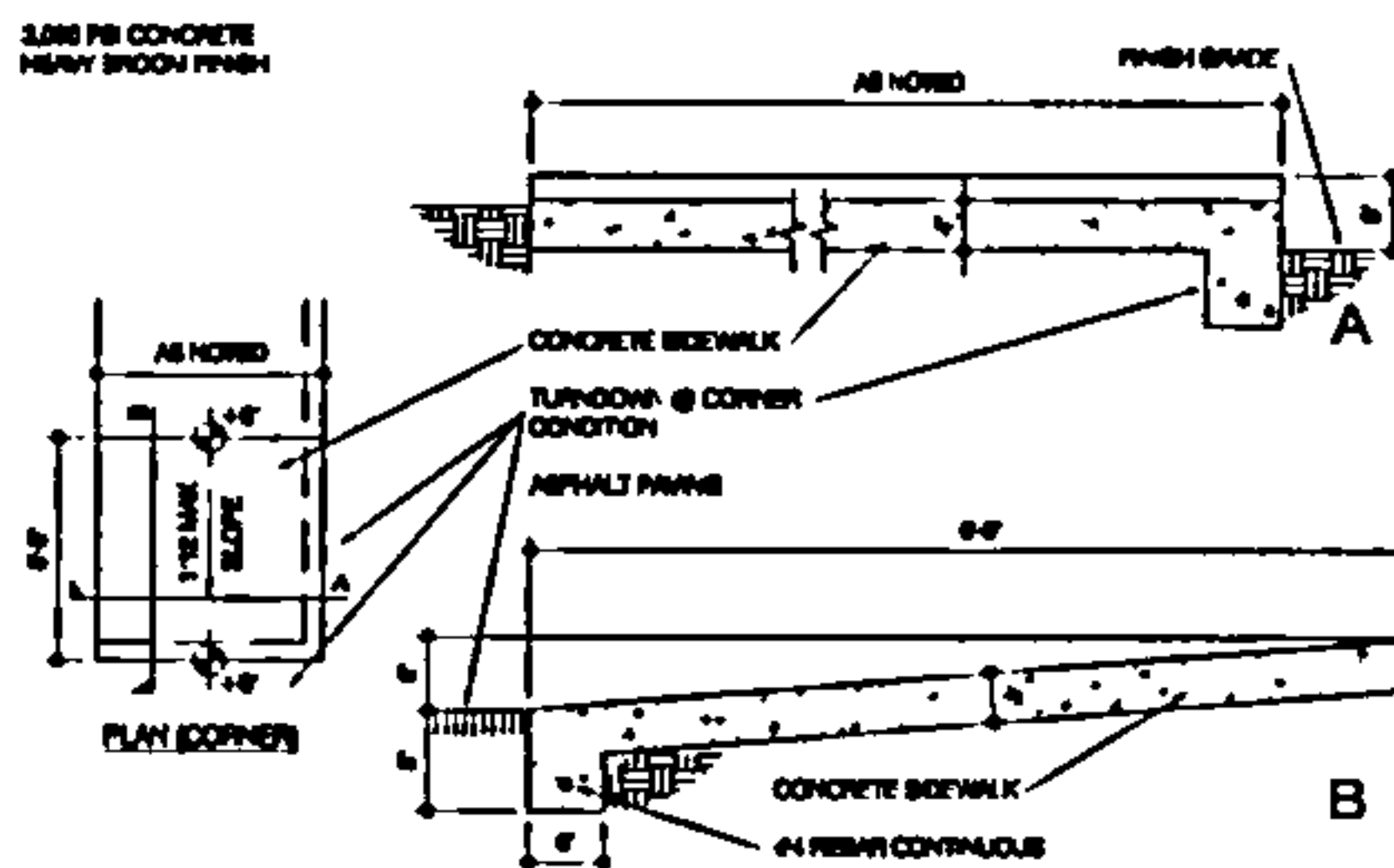
3 SIDEWALK SECTION
SCALE: 3/4"=1'-0"



12 MONUMENT SIGN ELEVATION
SCALE: 1/2"=1'-0"



8 MONUMENT SIGN SECTION
SCALE: 1/2"=1'-0"



4 SIDEWALK RAMP SECTION
SCALE: 3/4"=1'-0"

INSITE WORKS

REVISION	BY	DATE	DESCRIPTION

THIS DRAWING IS THE PROPERTY OF INSITEWORKS AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM INSITEWORKS.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

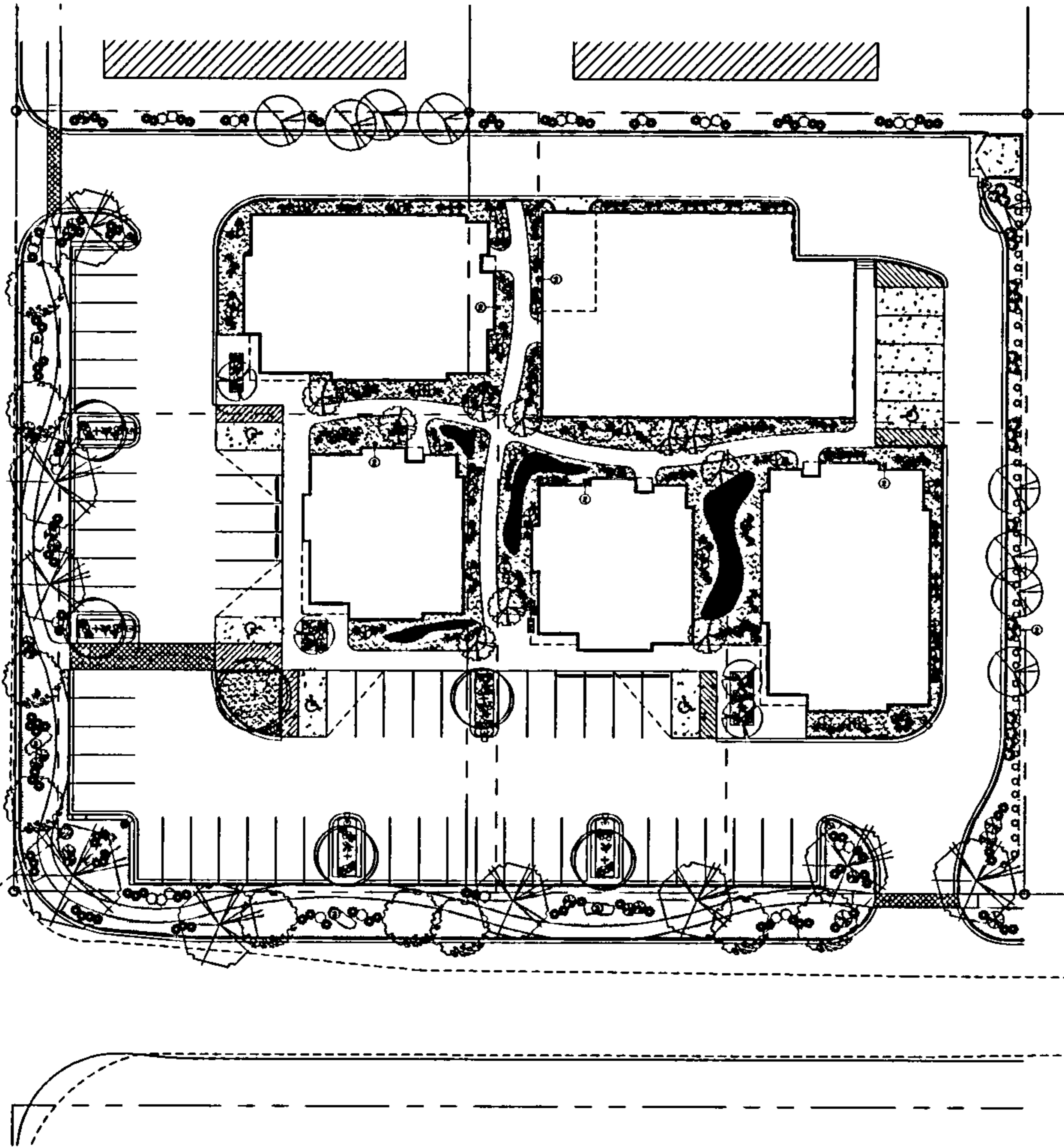
verano PLAZA

DATE	BY	DESCRIPTION

SHEET NO.	TITLE
AS-101	ARCHITECTURAL SITE PLAN
AS-102	SITE PLAN DETAILS
L-101	LANDSCAPE PLAN
C-101	GRADING & DRAINAGE PLAN
C-102	UTILITIES SITE PLAN
A-301	BUILDING ELEVATIONS
REPLAY	DRAFT REPEAT

AS-102

C:\Users\jmorales\Desktop\Projects\AS-102\AS-102.dwg, 12/15/2023 10:00 AM



LANDSCAPE SITE PLAN
 SCALE 1"=20'
 GRAPHIC SCALE

TREE SCHEDULE

	SMOOTH BARK ACER GRANDIDORSALIS SIZE: 16" FOOT CONTROL BAG REMARKS: 30' AT MATURITY FALL COLOR: RED W/ YELLOW		WHITE OAK QUERCUS ALBA SIZE: 2" CALIPER REMARKS: MULTI-TRUNK		WEIMAN YEW (EMERALD) SIZE: 2" CALIPER REMARKS: p. 81 1/2"
	PERSEA SPICE PLUM PANDORUS SIZE: 2" CALIPER REMARKS:		POWDERY BIRCH (CLERICE BARK) SIZE: 16" FOOT CONTROL BAG REMARKS: 30-40' AT MATURITY FALL COLOR: CRIMSON LONG LANSING		REDWOOD TREE (CLERICE BARK) SIZE: 2" CALIPER REMARKS:

SHRUB SCHEDULE

	ALBANY HYDRANGEA (HYDRANGEA SPICATA) SIZE: 1 GAL REMARKS: Tag p. 48		SMALL TREE (ALBANY HYDRANGEA) SIZE: 1 GAL REMARKS:		SMALL TREE (HYDRANGEA SPICATA) SIZE: 1 GAL REMARKS: Tag p. 10
	HYDRANGEA (HYDRANGEA SPICATA) SIZE: 1 GAL REMARKS:		HYDRANGEA (HYDRANGEA SPICATA) SIZE: 1 GAL REMARKS:		HYDRANGEA (HYDRANGEA SPICATA) SIZE: 1 GAL REMARKS: Tag p. 10
	HYDRANGEA (HYDRANGEA SPICATA) SIZE: 1 GAL REMARKS:		HYDRANGEA (HYDRANGEA SPICATA) SIZE: 1 GAL REMARKS: Tag p. 10		HYDRANGEA (HYDRANGEA SPICATA) SIZE: 1 GAL REMARKS: Tag p. 10
	HYDRANGEA (HYDRANGEA SPICATA) SIZE: 1 GAL REMARKS:		HYDRANGEA (HYDRANGEA SPICATA) SIZE: 1 GAL REMARKS: Tag p. 10		HYDRANGEA (HYDRANGEA SPICATA) SIZE: 1 GAL REMARKS: Tag p. 10

GROUND COVER/EDGING SCHEDULE

	GRASS (TYPICAL) SIZE: 3" x 6" x 1" AS SHOWN REMARKS: ALL PLANTING BED AREAS AT PERIMETER SHALL BE THIS MATERIAL.		GRASS (TYPICAL) SIZE: 3" x 6" x 1" AS SHOWN REMARKS: ALL PLANTING BED AREAS AT PERIMETER OF SITE SHALL BE THIS MATERIAL.		GRASS (TYPICAL) SIZE: 3" x 6" x 1" AS SHOWN REMARKS: ALL PLANTING BEDS AS SPECIFIED SHALL BE THIS MATERIAL.
--	---	--	---	--	--

SITE TOTALS
 SITE AREA: 87,245 SF (1.99 ACRES)
 LANDSCAPE AREA: 16,785 SF (38%)
 (P.L.O.W.) LANDSCAPING: 4,889 SF
 BUILDING AREA: 16,889 SF (39%)

- GENERAL LANDSCAPE NOTES**
- IC2 01 MAINTENANCE OF ALL LANDSCAPING ON PROPERTY AND IN CARET FRONT OF WAY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 - IC2 02 ALL LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION LANDSCAPING & WATER WISE ORDINANCE.
 - IC2 03 ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM - SCHEDULE 40 PIPING, TYP.
 - IC2 04 THIS LANDSCAPE PLAN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE. SPECIFICALLY 10% OF ALL PLANTING BEDS SHALL BE COVERED BY LIVE VEGETATIVE COVER WHICH INCLUDES B-PILLS AND OR LIVE GROUNDCOVERS.
 - IC2 05 ALL TREES SHALL BE A MINIMUM OF 2" CALIPER AS REQUIRED BY THE CITY ZONING CODE.
 - IC2 06 OWNER SHALL MAINTAIN UNDEVELOPED AREAS OF THE SITE FREE OF WEEDS AS REQUIRED BY CITY OF ABO ORDINANCES. DISRUPTED AREAS WILL BE RESEED AS REQUIRED.
 - IC2 07 NO HIGH WATER USE TURF SHALL BE USED.
 - IC2 08 MANHOLES ADJACENT TO EACH PLAYER ROCKED THE SQUARE FOOT AREA OF EACH.
 - IC2 09 IRRIGATION TRIMLOCKS ARE LOCATED WITHIN EACH BUILDING.

- KEYED LANDSCAPE NOTES**
- (1) 8" TALL WROUGHT IRON FENCE
 - (2) MASTER VALVE & WASHDOWN BREAKER ASSEMBLY
 - (3) DECORATIVE LANDSCAPE BOLLARD

INSITE WORKS

PROJECT:	BY DATE:
ADDRESS:	DATE:
CITY:	DATE:
STATE:	DATE:
ZIP:	DATE:
PHONE:	DATE:
FAX:	DATE:
EMAIL:	DATE:
WEBSITE:	DATE:

THIS DRAWING IS THE PROPERTY OF INSITEWORKS AND SHALL BE IN THE POSSESSION OF THE USER. NO REPRODUCTION OR ALTERATION IS PERMITTED WITHOUT WRITTEN CONSENT.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

verano PLAZA

DATE:	ISSUE:
BY:	DATE:
PROJECT:	DATE:
REVISION:	DATE:

SHEET INDEX

AS-101	ARCHITECTURAL SITE PLAN
AS-102	SITE PLAN DETAILS
L-101	LANDSCAPE PLAN
C-101	GRADING & DRAINAGE PLAN
C-201	UTILITIES SITE PLAN
A-101	BUILDING ELEVATIONS
REPLAT	DRAFT REPEAT

LOCAL BENCH MARK
 BOHANNON HUSTON & ASSOCIATES NO. 3
 ELEV 5152.26 (AS SHOWN ON PLAN)

PROJECT BENCH MARK
 NMSHC MONUMENT 7-12-11"
 ELEV 5206.94 (NAD27)

KEYED CONSTRUCTION NOTES

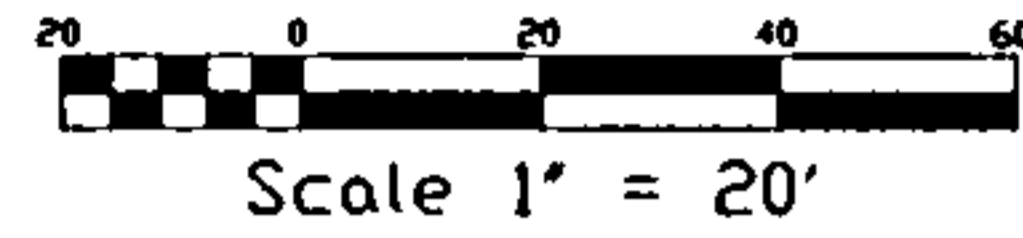
- ① INSTALL PRIVATE ENTRANCE PER COA STD DWG 2426, WITH CONCRETE VALLEY CUTTER AND FLEETS, AND WITH HANDICAP RAMPS.
- ② INSTALL 6" WIDE SIDEWALK IN R.O.W PER COA STD DWG 2430.
- ③ INSTALL 4" WIDE CHANNEL, 6" DEEP.
- ④ REMOVE EXISTING "BUBBLE" INLET (FG50.32, INV40.72) AND STORM DRAIN PIPE, BACK TO NEW MANHOLE.
- ⑤ INSTALL 6" DIA. MANHOLE PER COA STD DWG 2101.
- ⑥ INSTALL DBL GRATE TYPE "C" STORM INLET PER COA STD DWG 2205, FG50.70, INV46.70.
- ⑦ INSTALL 12" RCP(M) OR HOPE, WITH MIN SLOPE=3.5%.
- ⑧ INSTALL DBL GRATE "A" INLET PER COA STD DWG 2201, TG 53.30, INV 49.30.
- ⑨ INSTALL 18" RCP(M) WITH MIN SLOPE=1%.
- ⑩ INSTALL DBL C STORM INLET PER COA STD DWG 2205, TOS2 46, INV48.48.
- ⑪ INSTALL 24" RCP(M) WITH MIN SLOPE=1%.
- ⑫ INSTALL CURB AND GUTTER, SIDEWALK, PAVING, AND DRAINAGE INFRASTRUCTURE IN RIGHT-OF-WAY PER APPROVED CITY OF ALBUQUERQUE WORK ORDER DWCS.
- ⑬ SEE ARCHITECTURAL SITE PLAN AND DETAILS FOR LOCATIONS AND DETAILS OF ON-SITE PAVEMENT, CURB, AND SIDEWALK.

LEGAL DESCRIPTION
 LOTS 31 & 32, BLOCK 5, NORTH
 ALBUQUERQUE ACRES, TRACT A, UNIT B

SURVEY INFORMATION
 SURVEY PERFORMED BY PRECISION SURVEYING,
 OCTOBER, 2003

- LEGEND**
- ◆ TOS.94 PROPOSED SPOT ELEVATION
 - 5210 EXISTING CONTOUR
 - DIRECTION OF FLOW
 - ~ WATER BLOCK
 - - - TRACT BOUNDARY/R.O.W
 - NEW BUILDING
 - - - EXISTING PAVEMENT EDGE
 - NEW PAVEMENT EDGE

- ABBREVIATIONS**
- FF FINISHED FLOOR (CONC.)
 - FG FINISHED GROUND
 - FL FLOW LINE
 - TA TOP OF ASPHALT
 - TC TOP OF CURB OR CONCRETE
 - 4"R 4" ROLL CURB
 - 6"C 6" CURB FACE
 - 0"C 0" CURB FACE (I.E., FLUSH W/PVMT)
 - TR-C TRANSITION CURB FACE HEIGHT
 - RD ROOF DRAIN (SEE ARCH. FOR SIZE)



LOCATION MAP B-17/18

JC-Engineering, LLC
 1924, Roonoke Dr. NE, Rio Rancho, NM 87144-5532
 9032 For (505)887-8304 www.jcengineering.com



EROSION CONTROL/ENVIRONMENTAL PROTECTION/STORM WATER POLLUTION PREVENTION PLAN

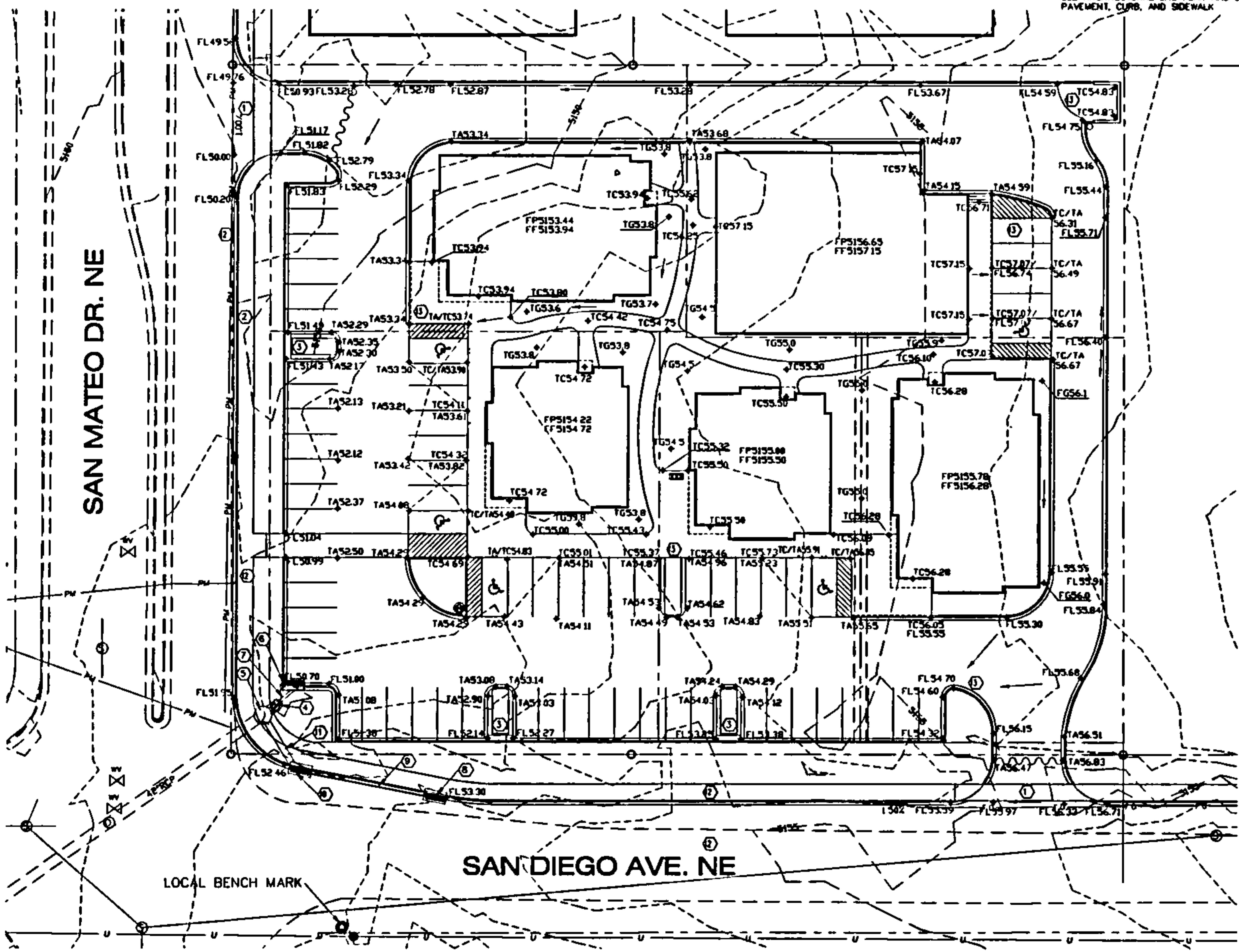
- 1 THE CONTRACTOR SHALL CONFORM TO ALL CITY COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.
- 2 THE CONTRACTOR SHALL COMPLY WITH THE STORM WATER POLLUTION PREVENTION PLAN PREPARED BY THE OWNER, AND SHALL SUBMIT AN NOI PER GOVERNMENT REQUIREMENTS PRIOR TO BEGINNING CONSTRUCTION.
- 3 THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
- 4 THE CONTRACTOR SHALL WATER THE SOIL AS NEEDED TO KEEP IT FROM BLOWING WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
- 5 ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.
- 6 GRUBBINGS AND VEGETATIVE DEBRIS MAY BE BURIED ON-SITE IN AREAS THAT ARE NOT GOING TO BE UNDER BUILDINGS OR PAVEMENT.
- 7 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-800-822-1558 OR 1-800-219-6157.
- 8 THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
- 9 THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

WORK WITHIN C.O.A. RIGHT-OF-WAY

- 1 AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- 2 ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, AS CURRENTLY UPDATED.
- 3 TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (280-1990) FOR LOCATION OF EXISTING UTILITIES.
- 4 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5 THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADE PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (765-2551) PRIOR TO OCCUPYING RIGHT-OF-WAY. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.
- 6 MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☑ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☑ BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- ☑ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☑ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☑ IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ☑ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.



REVISIONS	NO.	DATE	BY	DESCRIPTION

APPROVALS
 SIGNATURE DATE

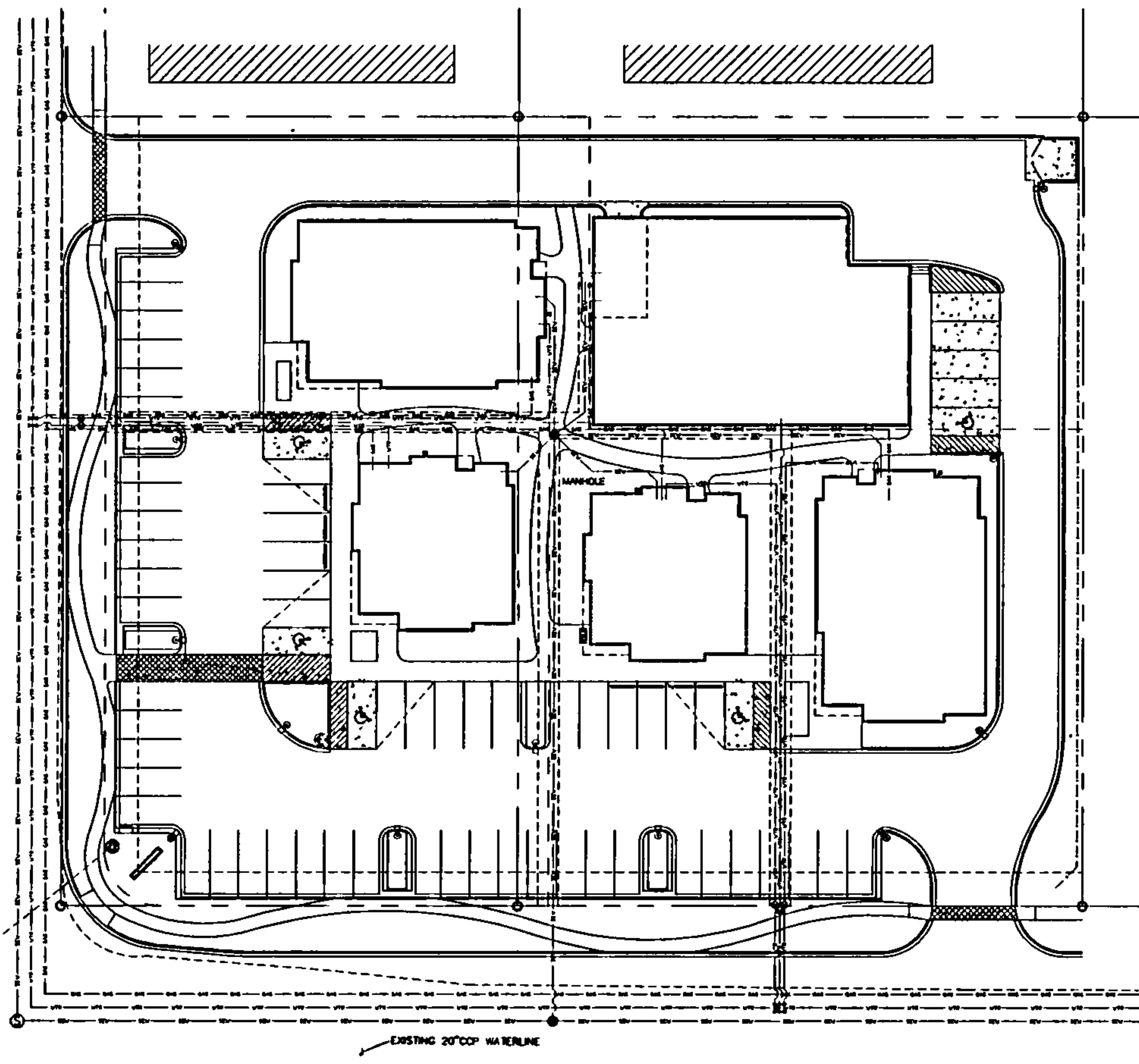
PROJECT: VERANO PLAZA
 CLIENT: INSITEWORKS

SHEET TITLE: GRADING PLAN

SHEET NO: C1.0

ADDRESS	17 BERRYFIELD PLACE SE
CITY	ALPHARETTA, GA 30201
PHONE	(404) 487-4400
FAX	(404) 487-1000
WEBSITE	www.insiteworks.com
EMAIL	info@insiteworks.com

THIS DRAWING IS THE PROPERTY OF INSITEWORKS AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION FROM INSITEWORKS.



GENERAL NOTES

(1) PROPOSED FIRE HYDRANT IS A PRIVATE HYDRANT REQUIRING IT TO BE OWNER MAINTAINED INSTALL (2) SHUT-OFF VALVE, ONE ON EACH SIDE OF THE RIGHT-OF-WAY

(3) EACH BUILDING WILL PROVIDE ITS OWN WATER METER

(4) ALL UTILITIES ARE OPPOSITE. ANY UTILITY LINES SHOWN ON SITE WILL BE PROPOSED CONDITIONS.

- W — WATERLINE
- S — SANITARY SEWER
- ⊙ — EXISTING SANITARY SEWER MANHOLE
- G — GAS LINE
- S — EXISTING STORM SEWER LINE
- ⊙ — EXISTING STORM SEWER MANHOLE
- ⊙ — EXISTING STORM SEWER INLET
- ⊙ — PROPOSED FIRE HYDRANT
- ⊙ — PROPOSED GAS VALVE
- ⊙ — PROPOSED WATER METER
- ⊙ — PROPOSED SANITARY SEWER MANHOLE

UTILITIES SITE PLAN
 SCALE: 1"=20'
 GRAPHIC SCALE

**SITE DEVELOPMENT PLAN
 FOR BUILDING PERMIT**



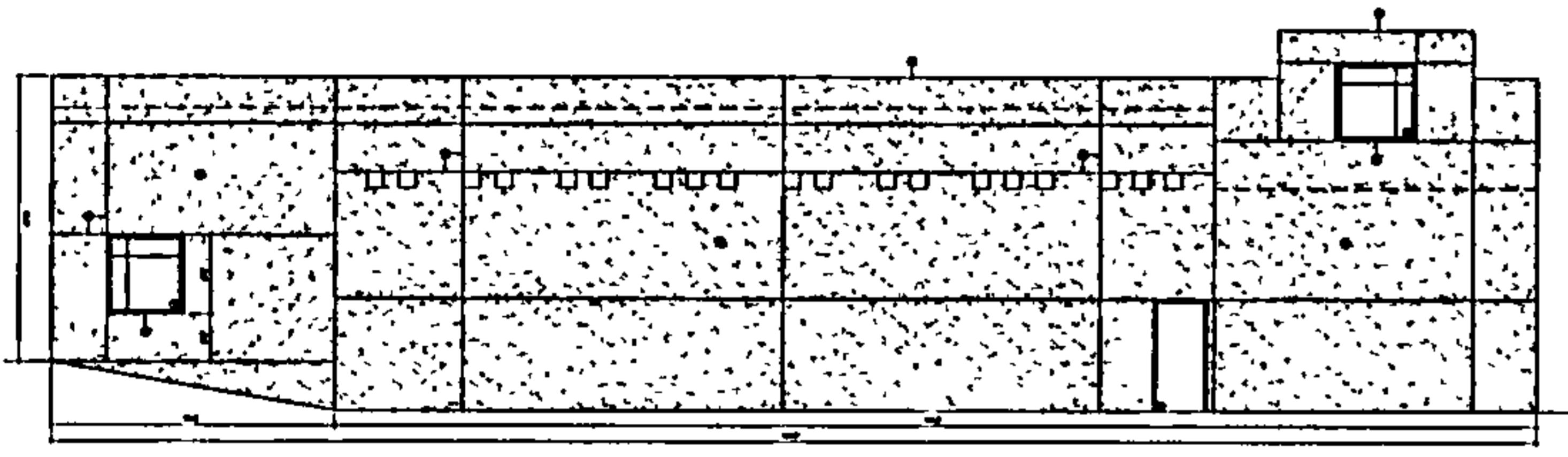
DATE ISSUED	1/2011
DESIGN	INSITEWORKS/ARCHITECTURE
PROJECT #	VERANO PLAZA
PREPARED BY	INSITEWORKS

SHEET INDEX

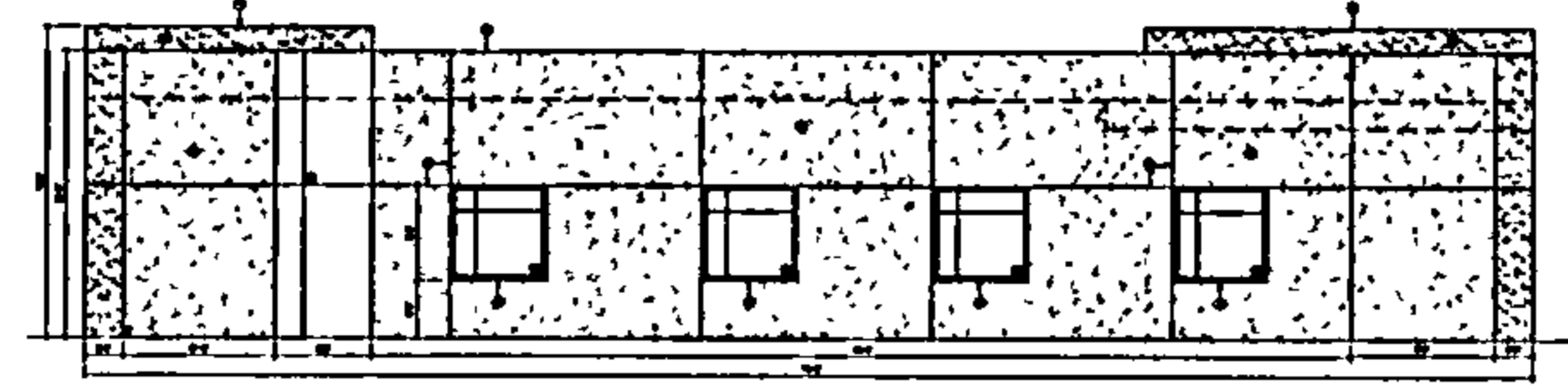
AS-101	ARCHITECTURAL SITE PLAN
AS-102	SITE PLAN DETAILS
L-101	LANDSCAPE PLAN
C-1.0	GRADING & DRAINAGE PLAN
C-2.0	UTILITIES SITE PLAN
A-201	BUILDING ELEVATIONS
REPLAN	DRAFT REPLAN

ELEVATIONS

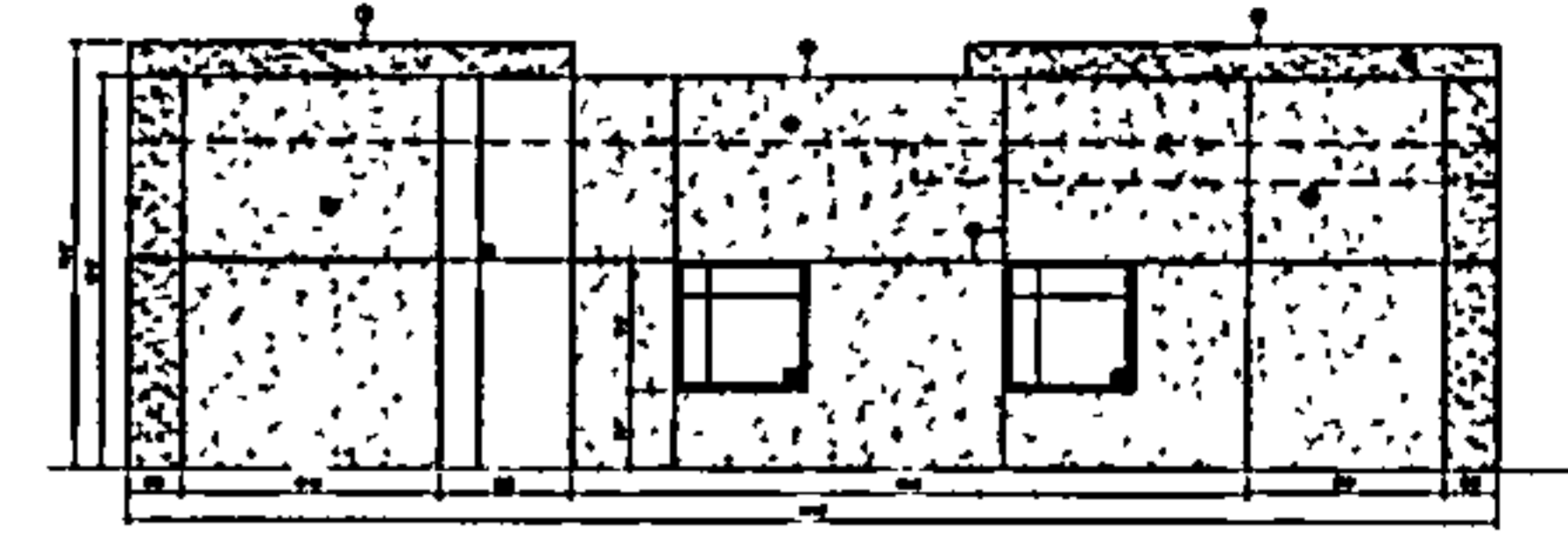
- NOTES:**
- 1) BRUCCO-COLOR #1 - 1/2" X 1/2" BRUCCO-COLOR #1
 - 2) BRUCCO-COLOR #2 - 1/2" X 1/2" BRUCCO-COLOR #2
 - 3) BRUCCO-COLOR #3 - 1/2" X 1/2" BRUCCO-COLOR #3
 - 4) BRUCCO-COLOR #4 - 1/2" X 1/2" BRUCCO-COLOR #4
 - 5) BRUCCO-COLOR #5 - 1/2" X 1/2" BRUCCO-COLOR #5
 - 6) BRUCCO-COLOR #6 - 1/2" X 1/2" BRUCCO-COLOR #6
 - 7) BRUCCO-COLOR #7 - 1/2" X 1/2" BRUCCO-COLOR #7
 - 8) BRUCCO-COLOR #8 - 1/2" X 1/2" BRUCCO-COLOR #8
 - 9) BRUCCO-COLOR #9 - 1/2" X 1/2" BRUCCO-COLOR #9
 - 10) BRUCCO-COLOR #10 - 1/2" X 1/2" BRUCCO-COLOR #10
 - 11) BRUCCO-COLOR #11 - 1/2" X 1/2" BRUCCO-COLOR #11
 - 12) BRUCCO-COLOR #12 - 1/2" X 1/2" BRUCCO-COLOR #12
 - 13) BRUCCO-COLOR #13 - 1/2" X 1/2" BRUCCO-COLOR #13
 - 14) BRUCCO-COLOR #14 - 1/2" X 1/2" BRUCCO-COLOR #14
 - 15) BRUCCO-COLOR #15 - 1/2" X 1/2" BRUCCO-COLOR #15
 - 16) BRUCCO-COLOR #16 - 1/2" X 1/2" BRUCCO-COLOR #16
 - 17) BRUCCO-COLOR #17 - 1/2" X 1/2" BRUCCO-COLOR #17
 - 18) BRUCCO-COLOR #18 - 1/2" X 1/2" BRUCCO-COLOR #18
 - 19) BRUCCO-COLOR #19 - 1/2" X 1/2" BRUCCO-COLOR #19
 - 20) BRUCCO-COLOR #20 - 1/2" X 1/2" BRUCCO-COLOR #20



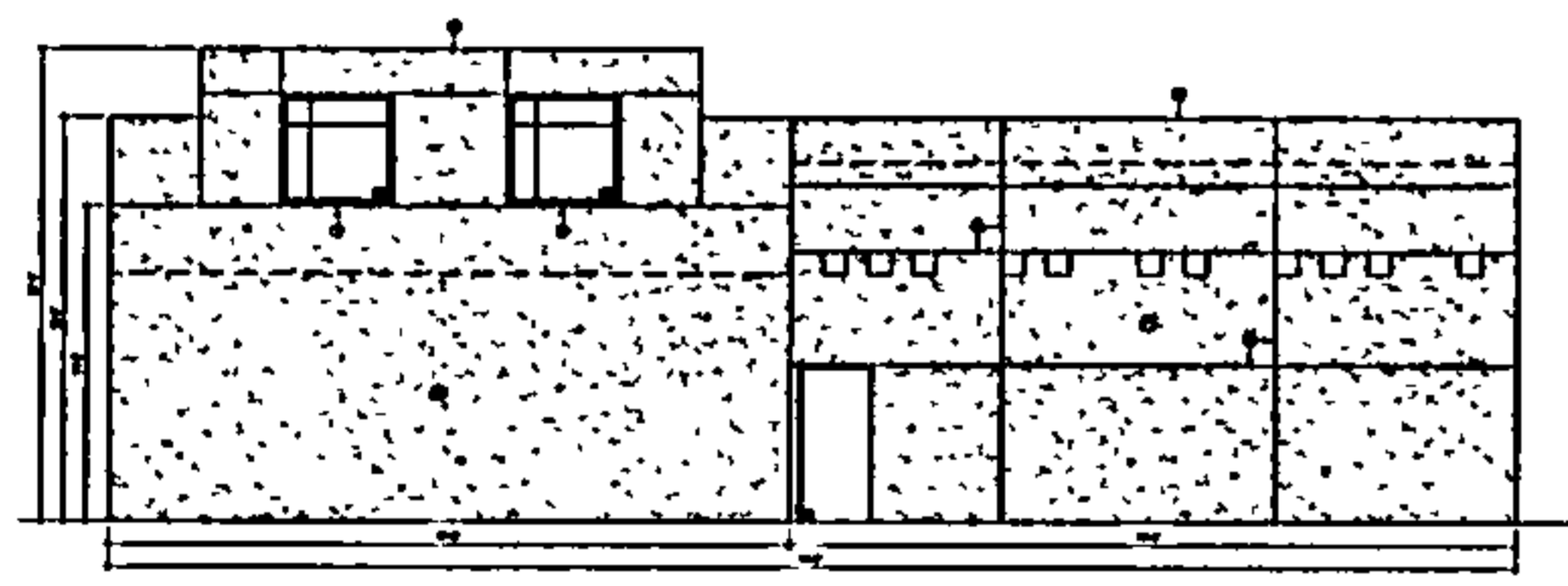
NORTH BUILDING 5
SCALE 1/8"=1'-0"



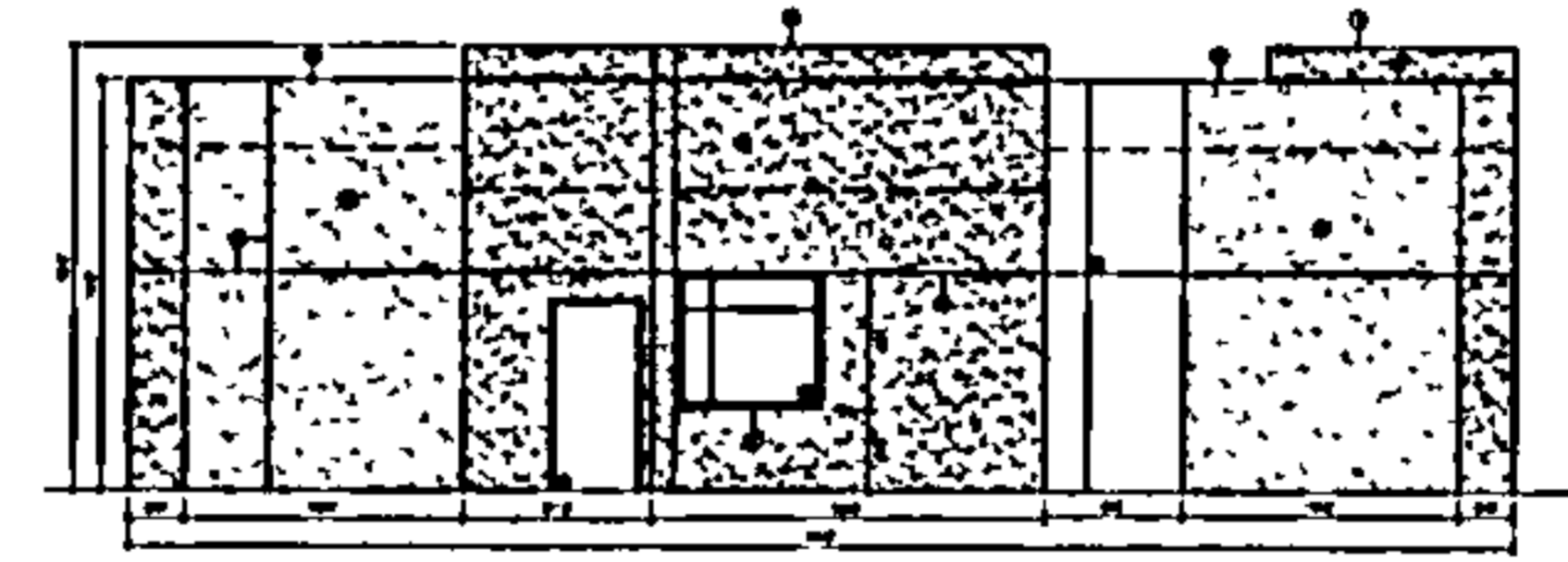
EAST BUILDING 4 / SOUTH BUILDING 1
SCALE 1/8"=1'-0"



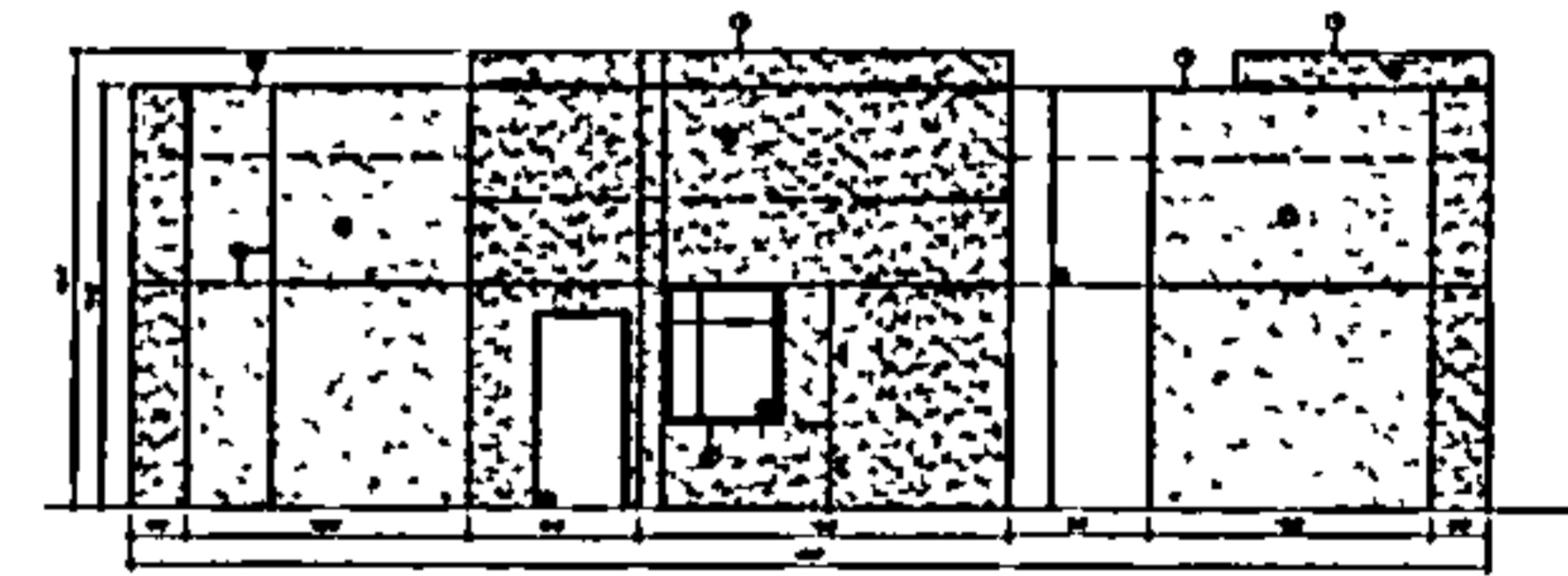
EAST BUILDINGS 2 & 3
SCALE 1/8"=1'-0"



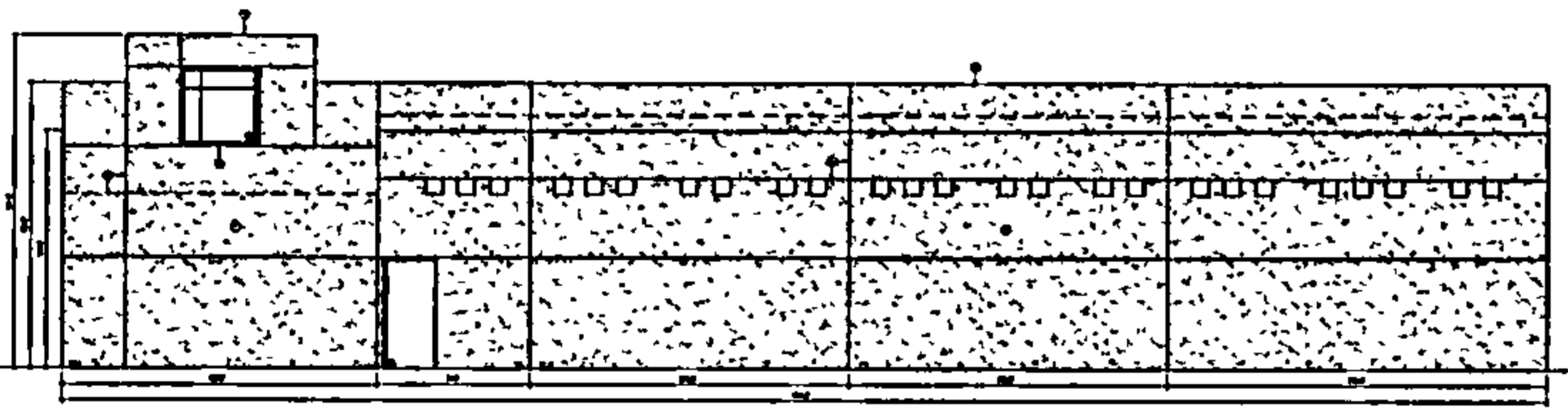
WEST BUILDING 5
SCALE 1/8"=1'-0"



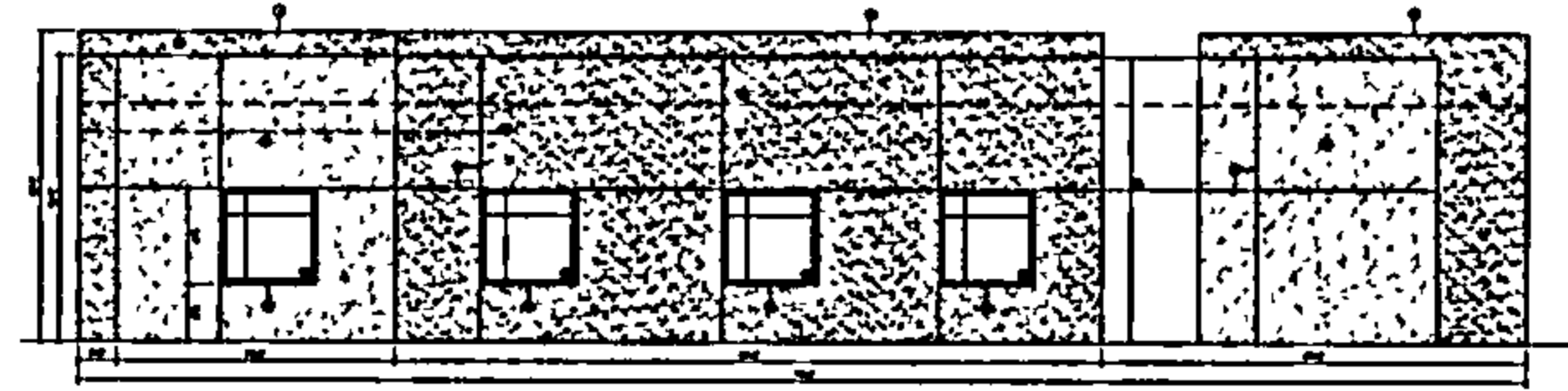
NORTH BUILDING 4 / EAST BUILDING 1
SCALE 1/8"=1'-0"



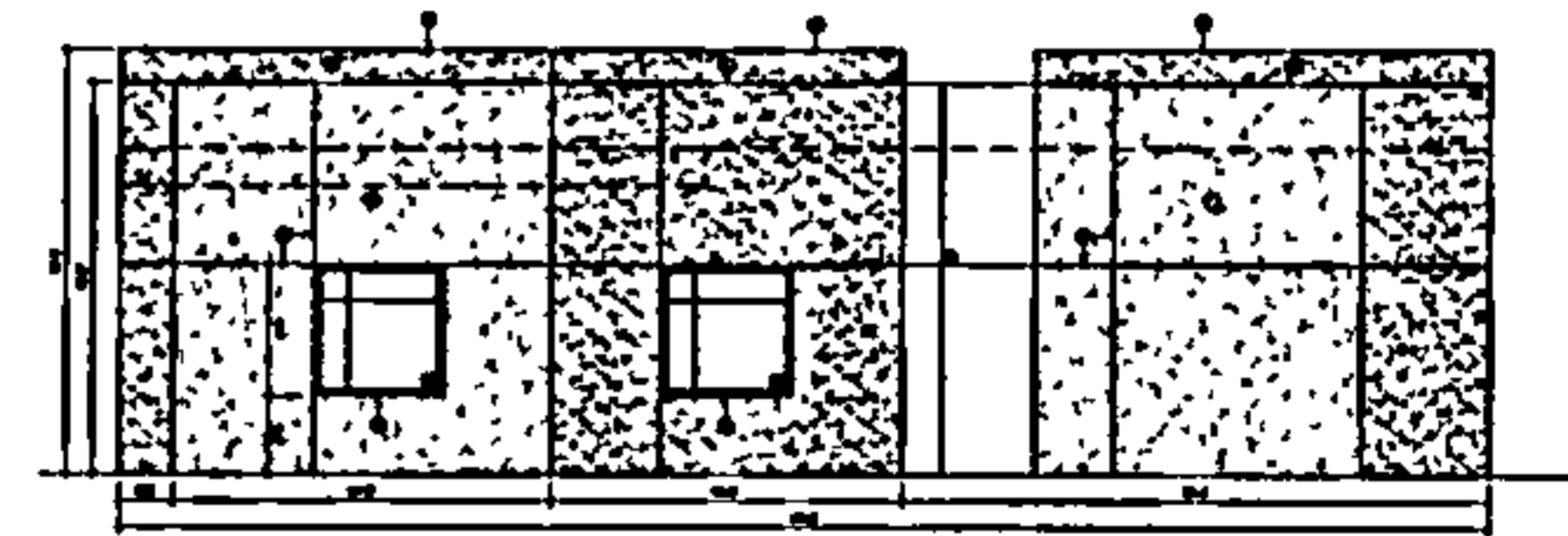
NORTH BUILDINGS 2 & 3
SCALE 1/8"=1'-0"



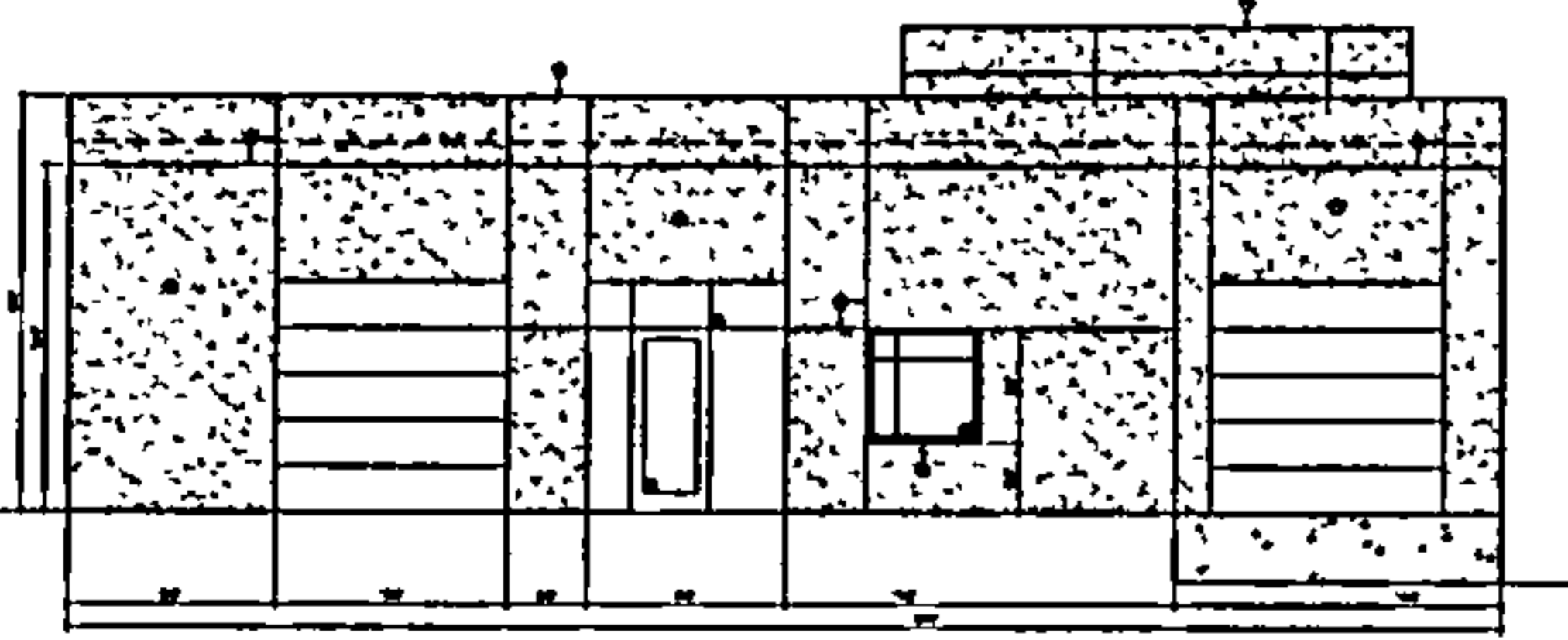
SOUTH BUILDING 5
SCALE 1/8"=1'-0"



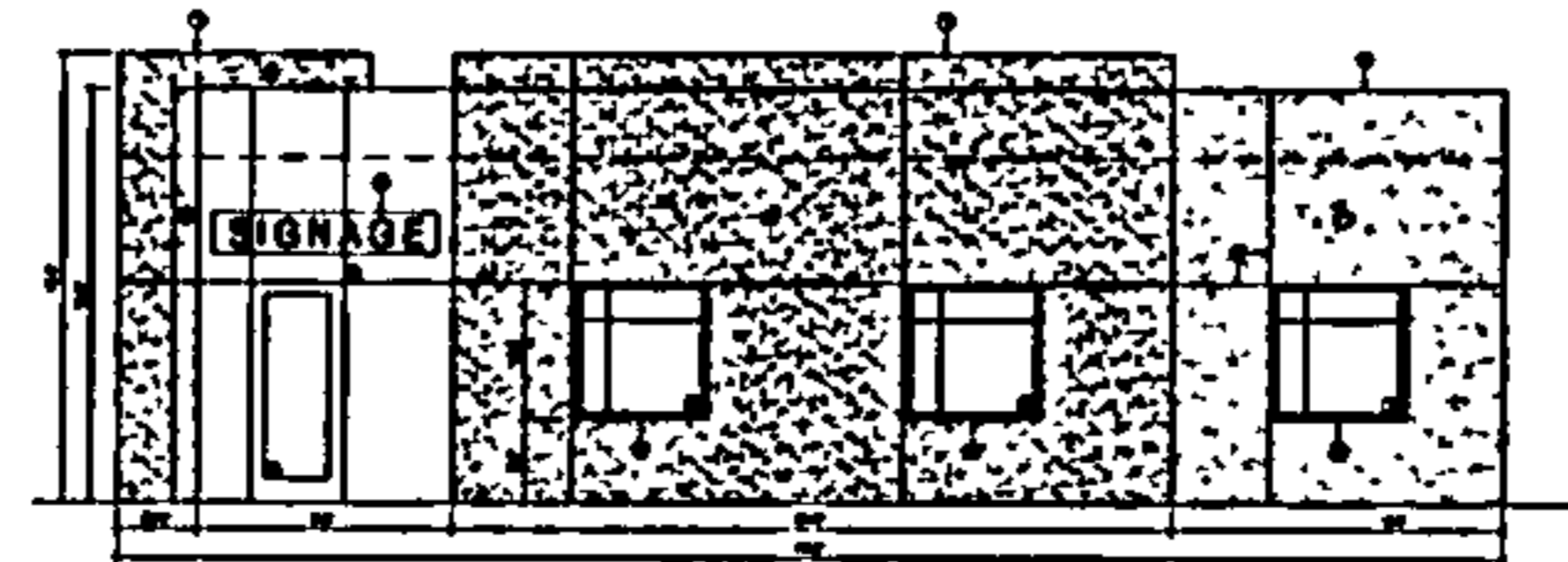
WEST BUILDING 4 / NORTH BUILDING 1
SCALE 1/8"=1'-0"



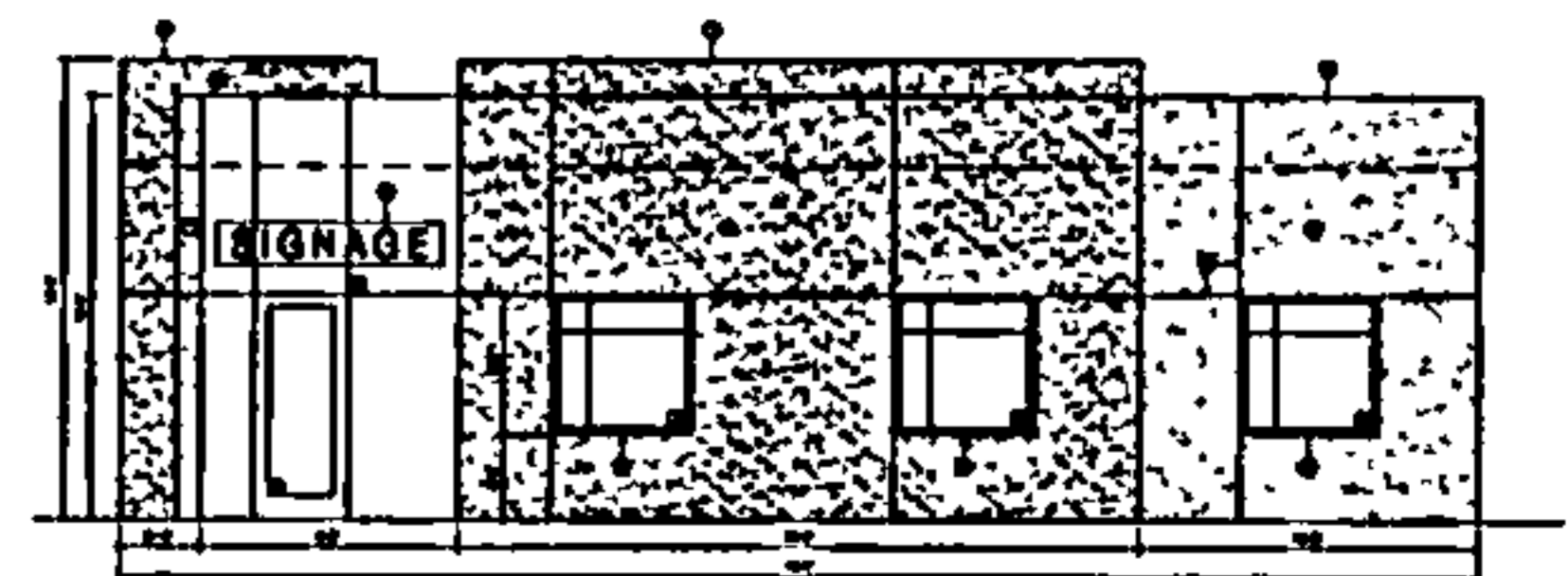
WEST BUILDINGS 2 & 3
SCALE 1/8"=1'-0"



EAST BUILDING 5
SCALE 1/8"=1'-0"



SOUTH BUILDING 4 / WEST BUILDING 1
SCALE 1/8"=1'-0"



SOUTH BUILDINGS 2 & 3
SCALE 1/8"=1'-0"

DATE	BY
DESCRIPTION	BY
PROJECT	NO.
SCALE	DATE
BY	DATE

THIS DRAWING IS THE PROPERTY OF INSITE WORKS AND SHALL BE KEPT IN CONFIDENCE AND NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION.

SITE DEVELOPMENT PLAN
 FOR BUILDING PERMIT



verano
PLAZA

DATE	BY
DESCRIPTION	BY
PROJECT	NO.
SCALE	DATE
BY	DATE

- SHEET BOOK:**
- AS-101 ARCHITECTURAL SITE PLAN
 - AS-102 SITE PLAN DETAILS
 - L-101 LANDSCAPE PLAN
 - C-101 GRADING & DRAINAGE PLAN
 - C-201 UTILITIES SITE PLAN
 - A-201 BUILDING ELEVATIONS
 - REPLAT DRAFT REPLAT

B. Case No. _____
 D.R.C. Project No. _____
 Date Submitted _____
 Prelim. Plat Approved _____
 Prelim. Plat Expires _____

Figure 12
 EXHIBIT "A"
 To Subdivision Improvements Agreement
 DEVELOPMENT REVIEW BOARD (DRB) REQUIRED INFRASTRUCTURE LISTING

for Lots 31A, 32A, Blk 5, North Albq Acres, Tr. A, Unit B – Verano Plaza

Following is a summary of Public/Private Infrastructure required to be constructed or financially guaranteed to be constructed for the above development. This summary is not necessarily a complete listing. During the design process, if the City determines that appurtenant items have not been included in the summary, those items will be included in the listing and related financial guarantee, if the items normally are the Subdivider responsibility. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility are the responsibility of the Subdivider and will be included in the financial guarantee provided to the City.

<u>Size</u>	<u>Type of Improvement</u>	<u>Location</u>	<u>From</u>	<u>To</u>
8"	Std C & G	San Mateo east side	San Diego	234' north
6'	Sidewalk	San Mateo east side	San Diego	234' north
pvmt between	ex. pvmt & new curb	San Mateo east side	San Diego	234' north
8"	Std C & G	San Diego north side	San Mateo	300' west
4'	Sidewalk	San Diego north side	San Mateo	300' west
24' pvmt on	north side	San Diego north side	San Mateo	300' west
<u>Environmental mitigation as necessary for landfill within 1000'</u>				

Prepared by: Joe Kelley
 Print Name: Joe P. Kelley, P.E.
 Firm: JC Engineering, LLC

***** Development Review Board Member Approvals *****

_____ Transportation Dev.	_____ Date	_____ Utility Dev.	_____ Date	_____ Cult. and Rec.	_____ Date
_____ City Engineer/AMAFCA	_____ Date	_____ DRB Chair	_____ Date		

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME Knigh Seavey
 AGENT Insite works
 ADDRESS 57 Rockpoint Place NE
 PROJECT & APP # 100 3173 - 04DRB-00005
 PROJECT NAME North Albug Acres

\$ 20 469099/4916000 Conflict Management Fee
 \$ 385 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 405 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

01/06/2004 11:16AM LOC ANN
 X
 RECEIPT# 00018105 WS# 007 TRANS# 0021
 Account 441006 Fund 0110
 Activity 4983000 TRSLJS
 Trans Amt \$405.00
 J24 Misc \$385.00
 CK \$405.00
 CHANGE \$0.00

DUPLICATE
 City Of Albuquerque
 Treasury Division

DUPLICATE
 City Of Albuquerque
 Treasury Division

01/06/2004 11:16AM LOC: ANN
 X
 RECEIPT# 00018104 WS# 007 TRANS# 0021
 Account 469099 Fund 0110
 Activity 4916000 TRSLJS
 Trans Amt \$405.00
 J24 Misc \$20.00

Thank You

1003173

FIRE HYDRANT AND INSTANTANEOUS FIRE FLOW REQUIREMENTS

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W, 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

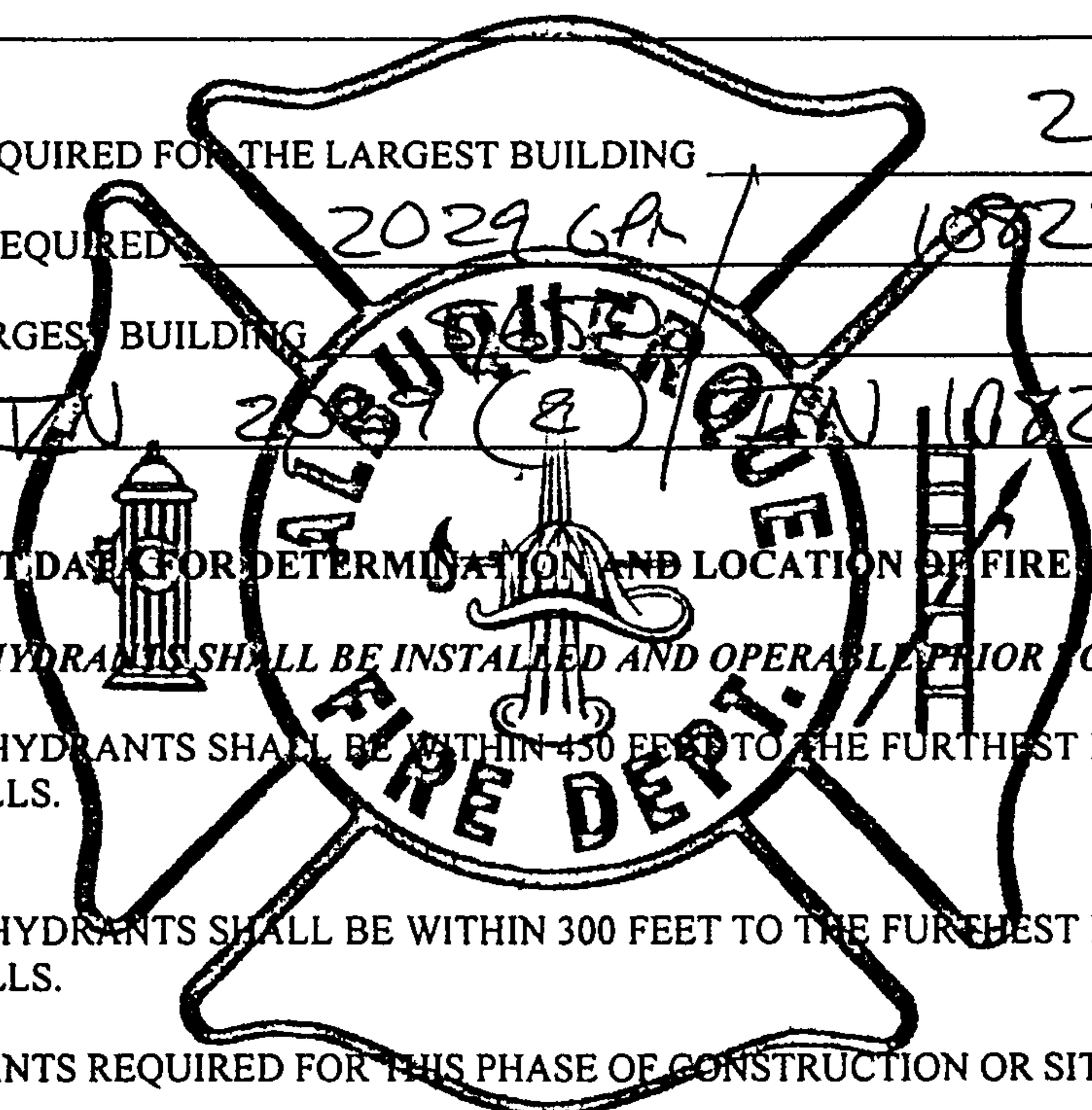
ZONE MAP NUMBER B-18

REFERRAL # _____

SITE ADDRESS _____

LEGAL DESCRIPTION: SUBJECT TRACT LOTS 31 & 32 IN BLOCK 5
NORTH ABQ ACRES

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING	<u>2</u>	<u>1</u>
INSTANTANEOUS FLOW REQUIRED	<u>2029 GPM</u>	<u>1082 GPM</u>
SQUARE FOOTAGE - LARGEST BUILDING		
TYPE CONSTRUCTION	<u>TU</u>	<u>1082 GPM</u>



PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 2

DATE: 12/2/03

FIRE DEPARTMENT INSPECTOR: [Signature]

RECEIVED BY: [Signature] TELEPHONE: 505-858-0100

- NOTES:
1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS.
 2. DETERMINATION OF THE WATER SYSTEM CAPASITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
 3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPOSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL YELLOW - FILE

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME KNIGHT SEAVEY INSTTEWORKS
 AGENT PRECISION SURVEYS, INC.
 ADDRESS 8414. 10 JEFFERSON ST. NE 87113
1003173
 PROJECT & APP # 04DRB-00060
 PROJECT NAME

\$ 20⁰⁰ 469099/4916000 Conflict Management Fee
 \$ 495⁰⁰ 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 515⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

FIRST STATE BANK
 Taos, Santa Fe, Albuquerque
 and Surrounding Communities
 Ph. 505-241-7500
 95-145/1070

PRECISION SURVEYS, INC.
 PHONE 505-856-5700 FAX 505-856-7900
 8414-D JEFFERSON ST. N.E.
 ALBUQUERQUE, N.M. 87113

City of Albuquerque
 Planning Department

PAY TO THE ORDER OF City Planning
Five Hundred Fifteen and no/100
 REC'D BY TRSEJA
 Account 441006 Fund: 0110
 Activity 4983000
 Tran Amt \$515.00
 J24 Disc \$495.00
 CR \$20.00
 CHARGE

01/20/2004 10:29AM LOC: ANN
 RECEIPT# 00017687 WSH 001 TRANC# 001
 Account 469099
 Activity: 491600
 Trans Amt \$515.00
 J24 Disc \$20.00

DUPLICATE

City of Albuquerque

Development & Building Services

01/20/2004 10:29AM LOC: ANN

RECEIPT# 00017687 WSH 001 TRANC# 001

Account 469099

Activity: 491600

Trans Amt \$515.00

J24 Disc \$20.00

Thank You

Verano Plaza

20
 1.20
 \$ 515

00104814711