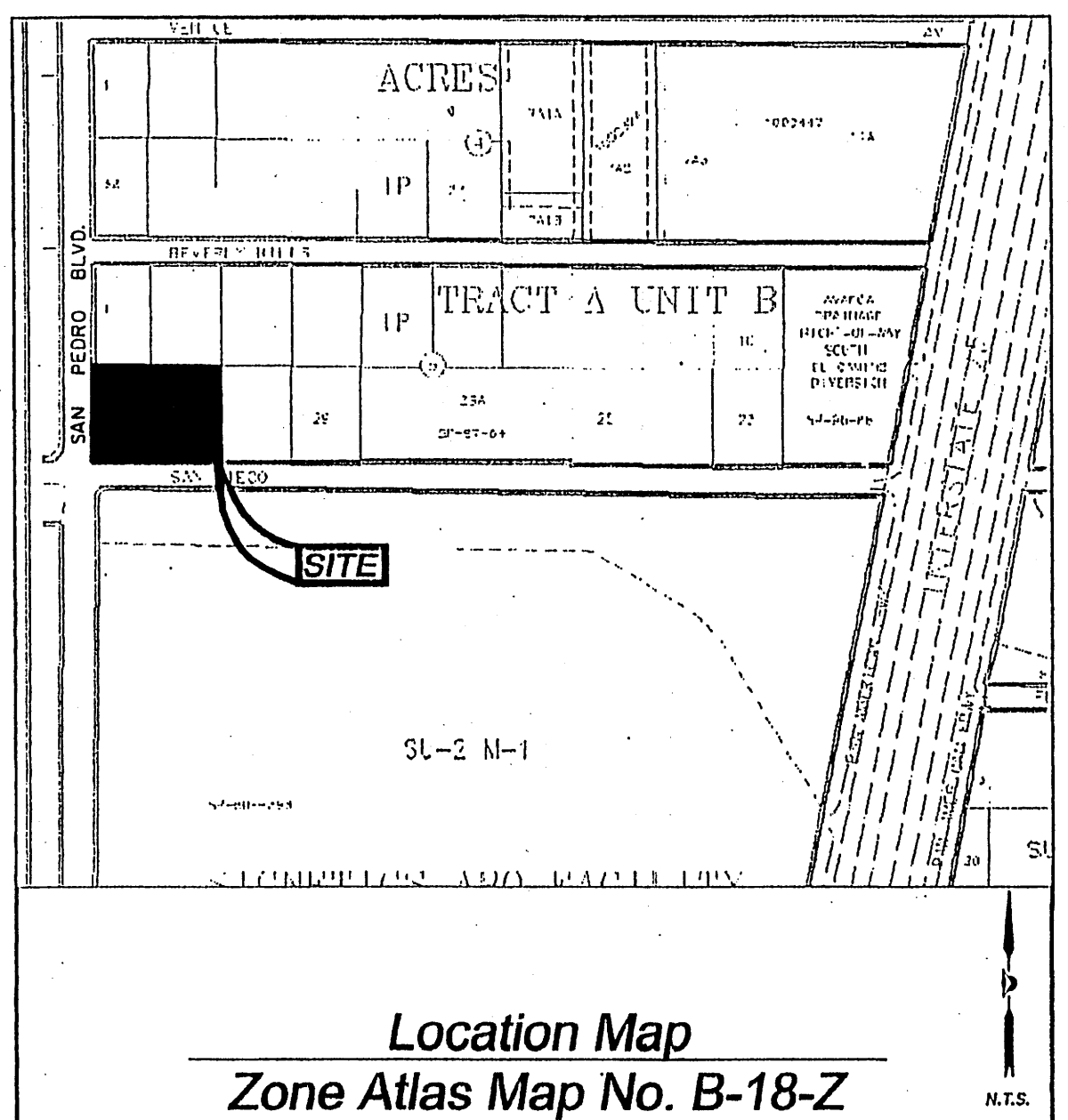
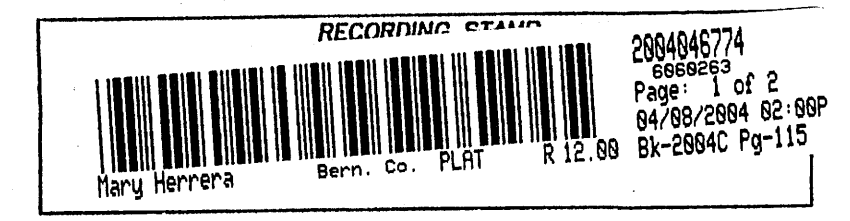


Atlas

Plat of
Lots A, B, C, D and E
Verano Plaza
Albuquerque, Bernalillo County, New Mexico
January 2004



Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION TWELVE, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO COMPRISING OF LOTS 31 AND 32, BLOCK 5, NORTH ALBUQUERQUE ACRES, TRACT "A", UNIT B, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO ON APRIL 24, 1936, IN BOOK D, PAGE 130, TOGETHER WITH THE EAST HALF OF SAN MATEO DRIVE, N.E., AND THE NORTH HALF OF SAN DIEGO AVENUE, N.E., ADJACENT TO SAID LOTS BEING MORE PARTICULARLY DESCRIBED USING NEW MEXICO STATE PLANE GRID BEARINGS (NM CENTRAL ZONE-NAD 1927) AND GROUND DISTANCES (U.S. SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF DESCRIBED TRACT, SAID POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "LS 11463", FROM WHENCE A TIE TO THE N.M.S.H.C. MONUMENT "1-25-11" BEARS N 82°02'34" E, A DISTANCE OF 2021.18 FEET, SAID MONUMENT HAVING NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE, NORTH AMERICAN DATUM OF 1927) OF X=401,986.77, Y=1,526,246.66, (U.S. SURVEY FOOT), A GROUND TO GRID SCALE FACTOR OF 0.99966195, AND A DELTA ALPHA ANGLE OF -0°11'21";

THENCE, FROM SAID POINT OF BEGINNING, S 00°14'59" W A DISTANCE OF 264.00 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT; LYING ON THE CENTERLINE OF SAN DIEGO AVENUE, NE

THENCE N 89°40'51" W, ALONG SAID CENTERLINE A DISTANCE OF 330.18 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT; LYING ON THE CENTERLINE OF SAN MATEO DRIVE, NE

THENCE N 00°15'41" E, ALONG SAID CENTERLINE A DISTANCE OF 263.97 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT;

THENCE LEAVING SAID CENTERLINE S 89°41'11" E, A DISTANCE OF 330.16 FEET TO THE POINT OF BEGINNING, CONTAINING 2.0011 ACRES (87,166 SQUARE FEET) MORE OR LESS, NOW COMPRISING OF LOTS A, B, C, D, AND E, VERANO PLAZA.

Project No. 1003173

Application No. 04 DRB-00005 ⁶⁰

Utility Approvals

Leonard D. Marks	2-10-04
PNM ELECTRIC SERVICES	DATE
Leonard D. Marks	2-10-04
PNM GAS SERVICES	DATE
Dave D. Emulke	2-10-04
QWEST TELECOMMUNICATIONS	DATE
Rita Embrey	3/11/04
COMCAST	DATE

City Approvals

City Surveyor	1-20-04
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
Roger L. Green	1-28-04
UTILITY DEVELOPMENT	DATE
Christina Dandora	1/28/04
PARKS AND RECREATION DEPARTMENT	DATE
Bradley B. Bjork	3/1/04
AMAFCA	DATE
Bradley B. Bjork	4/1/04
CITY ENGINEER	DATE
Sharon Matson	4/7/04
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
March 19, 2004	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 2.0011 ACRES±
ZONE ATLAS INDEX NO: B-18-Z
NO. OF TRACTS CREATED: 0
NO. OF LOTS CREATED: 5
MILES OF FULL-WIDTH STREETS CREATED: 0 MILES
DATE OF SURVEY: JUNE 2002, FIELD VERIFIED NOVEMBER 2003.

Notes:

- MISC. DATA: ZONING IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 12, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO LOTS INTO FIVE NEW LOTS, AND GRANT EASEMENTS AND DEDICATE RIGHT OF WAY.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 200403252B.

Easements

- THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Disclosure Statement

THE SUBJECT PROPERTY IS LOCATED (NEAR, ON) A (FORMER, EXISTING) LANDFILL DUE TO THE SUBJECT PROPERTY BEING (ON, NEAR) A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

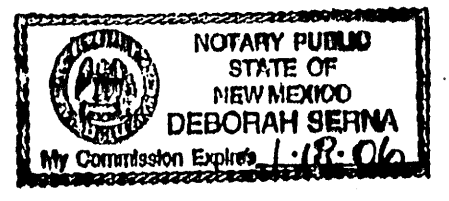
SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE THE EAST HALF OF SAN MATEO DRIVE, NE AND THE NORTH HALF OF SAN DIEGO AVENUE, NE, ADJACENT TO SUBJECT PROPERTY, TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL ADDITIONAL STREET AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

Knight Seavey 1/15/04
KNIGHT SEAVEY
SEAVEY FAMILY LIMITED PARTNERSHIP
A NEW MEXICO LIMITED PARTNERSHIP

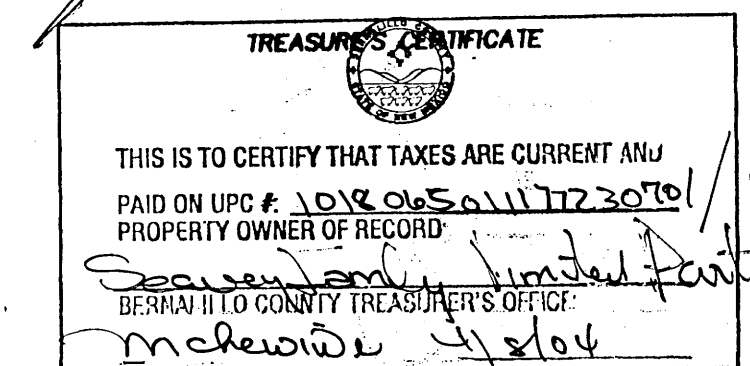
Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15th DAY OF January, 2004 BY KNIGHT SEAVEY, SEAVEY FAMILY LIMITED PARTNERSHIP, A NEW MEXICO LIMITED PARTNERSHIP

BY Deborah Serna MY COMMISSION EXPIRES: June 18, 2006
NOTARY PUBLIC



Surveyor's Certificate

L. LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 1/15/04
LARRY W. MEDRANO
N.M.P.S. NO. 11993



PRECISION SURVEYS, INC.

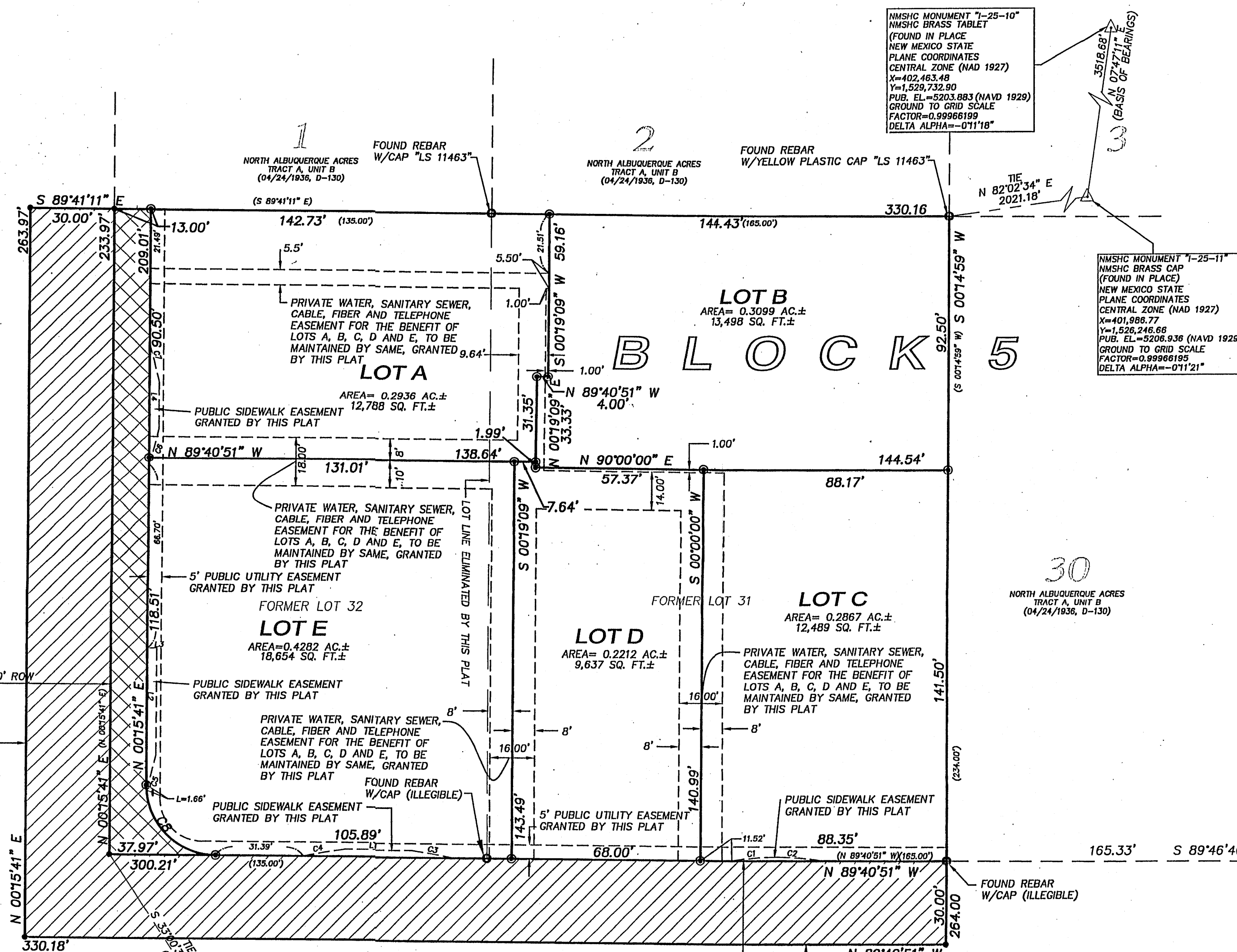
6414-D JEFFERSON ST., N.E. PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

NOTE: A PRIVATE INGRESS/EGRESS, DRAINAGE AND PARKING EASEMENT ACROSS ALL INTERIOR PAVED AREAS FOR THE BENEFIT OF LOTS A, B, C, D, AND E, TO BE MAINTAINED BY SAME, GRANTED BY THIS PLAT. MAINTENANCE RESPONSIBILITY FURTHER DEFINED BY DOCUMENT RECORDED / / 2004, BOOK PAGE

2684946774
6669263
Page: 2 of 2
64/88/2864 82:86P
Bk-2864C Pg-115

Plat of
Lots A, B, C, D and E
Verano Plaza
Albuquerque, Bernalillo County, New Mexico
January 2004

San Mateo Drive, N.E.



NMSHC MONUMENT "1-25-10"
NMSHC BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE
PLANE COORDINATES
CENTRAL ZONE (NAD 1927)
X=402,463.48
Y=1,529,732.90
PUB. EL.=5203.883 (NAVD 1929)
GROUND TO GRID SCALE
FACTOR=0.99966199
DELTA ALPHA=-0°11'18"

NMSHC MONUMENT "1-25-11"
NMSHC BRASS CAP
(FOUND IN PLACE)
NEW MEXICO STATE
PLANE COORDINATES
CENTRAL ZONE (NAD 1927)
X=401,886.77
Y=1,526,246.66
PUB. EL.=5208.936 (NAVD 1929)
GROUND TO GRID SCALE
FACTOR=0.99966199
DELTA ALPHA=-0°11'21"

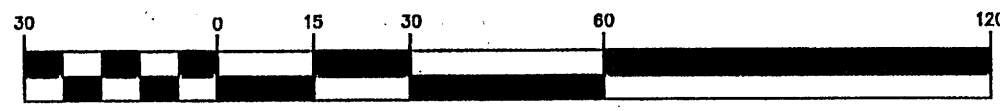
Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993"
- FOUND AND USED MONUMENT AS DESIGNATED
- CALCULATED POINT
- [Hatched Box] RIGHT OF WAY FOR ROADWAY DEDICATED TO THE CITY OF ALBUQUERQUE ON FEE SIMPLE BY THIS PLAT. AREA=16,925 SQ. FT.
- [Cross-hatched Box] ADDITIONAL RIGHT WAY FOR ROADWAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS BY THIS PLAT. AREA=3,127 SQ. FT.

FOUND ACS BENCHMARK
"6-917"
PUB. ELEV.= 5150.66

FOUND MONUMENT
"BOHANNON HUSTON
& ASSOCIATES NO. 3

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

Line Table

LINE	LENGTH	BEARING
L1	24.09'	S 89°40'51" E
L2	38.63'	N 00°19'09" E
L3	3.44'	N 89°40'51" W
L4	16.86'	S 00°19'09" W

Curve Table

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	DISTANCE
C1	93.72'	16.32'	09°58'37"	8.18'	S 85°19'51" W	16.30'
C2	93.72'	16.32'	09°58'37"	8.18'	N 84°41'32" W	16.30'
C3	187.67'	15.08'	04°36'14"	7.54'	N 80°08'07" W	15.08'
C4	198.81'	14.97'	04°18'52"	7.49'	S 80°42'13" W	14.97'
C5	200.42'	13.18'	03°46'01"	6.59'	N 15°13'13" E	13.17'
C6	109.43'	13.81'	07°13'57"	6.92'	N 15°02'08" E	13.80'
C7	228.81'	14.12'	03°32'10"	7.06'	N 14°14'45" W	14.12'
C8	25.00'	39.24'	89°56'32"	24.97'	S 44°42'35" E	35.34'

PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Lots A, B, C, D and E Verano Plaza

Albuquerque, Bernalillo County, New Mexico
January 2004

RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION TWELVE, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO COMPRISING OF LOTS 31 AND 32, BLOCK 5, NORTH ALBUQUERQUE ACRES, TRACT "A", UNIT B, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO ON APRIL 24, 1936, IN BOOK D, PAGE 130. TOGETHER WITH THE EAST HALF OF SAN MATEO DRIVE, N.E., AND THE NORTH HALF OF SAN DIEGO AVENUE, N.E., ADJACENT TO SAID LOTS BEING MORE PARTICULARLY DESCRIBED USING NEW MEXICO STATE PLANE GRID BEARINGS (NM CENTRAL ZONE-NAD 1927) AND GROUND DISTANCES (U.S. SURVEY FOOT) AS FOLLOWS:

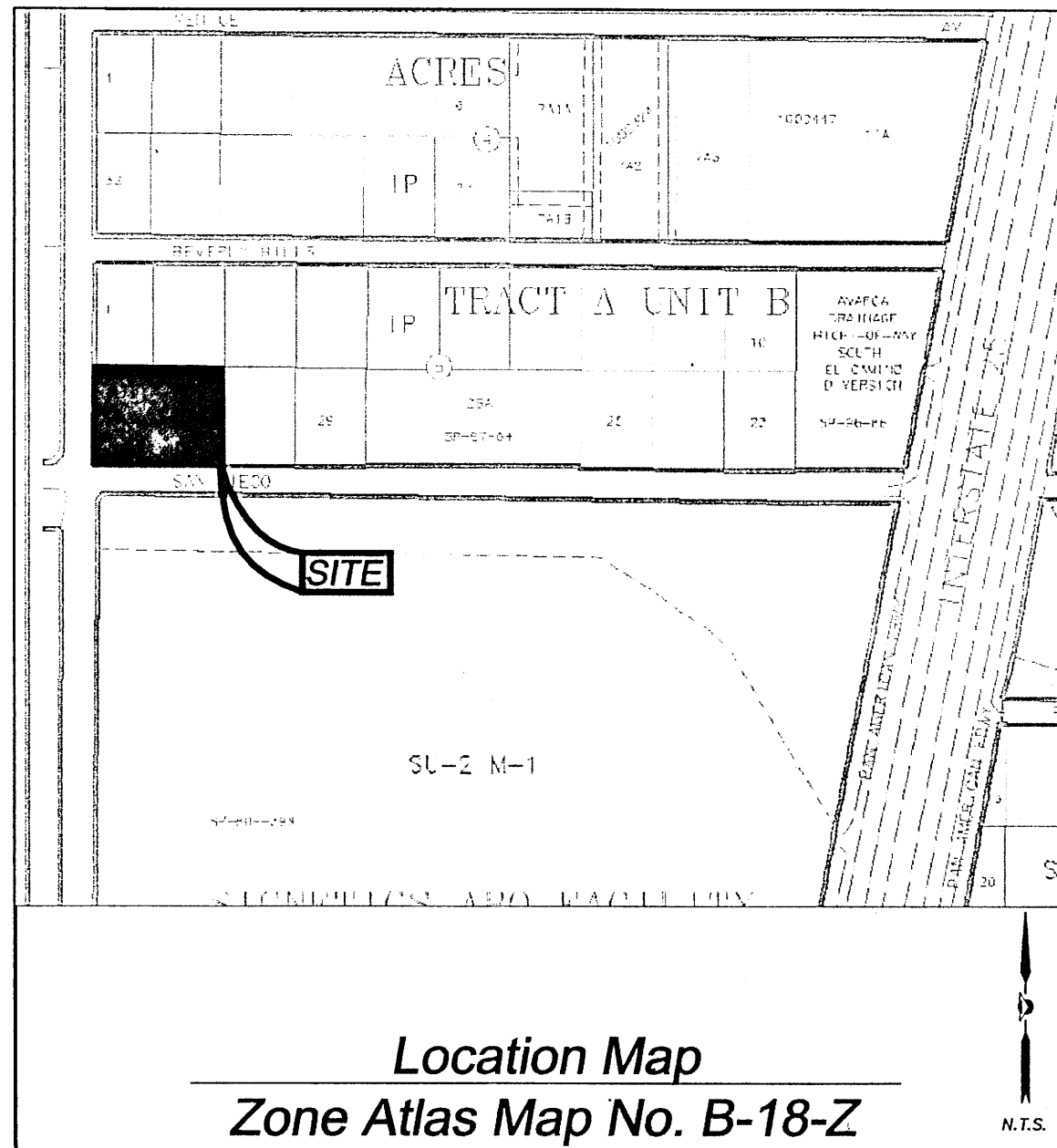
BEGINNING AT THE NORTHEAST CORNER OF DESCRIBED TRACT, SAID POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP STAMPED "LS 11463", FROM WHENCE A TIE TO THE N.M.S.H.C. MONUMENT "1-25-11" BEARS N 82°02'34" E, A DISTANCE OF 2021.18 FEET, SAID MONUMENT HAVING NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE, NORTH AMERICAN DATUM OF 1927) OF X=401,986.77, Y=1,526,246.66, (U.S. SURVEY FOOT). A GROUND TO GRID SCALE FACTOR OF 0.99966195, AND A DELTA ALPHA ANGLE OF -0°11'21";

THENCE, FROM SAID POINT OF BEGINNING, S 00°14'59" W A DISTANCE OF 264.00 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT; LYING ON THE CENTERLINE OF SAN DIEGO AVENUE, NE

THENCE N 89°40'51" W, ALONG SAID CENTERLINE A DISTANCE OF 330.18 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT; LYING ON THE CENTERLINE OF SAN MATEO DRIVE, NE

THENCE N 00°15'41" E, ALONG SAID CENTERLINE A DISTANCE OF 263.97 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT;

THENCE LEAVING SAID CENTERLINE S 89°41'11" E, A DISTANCE OF 330.16 FEET TO THE POINT OF BEGINNING, CONTAINING 2.0011 ACRES (87,166 SQUARE FEET) MORE OR LESS. NOW COMPRISING OF LOTS A, B, C, D, AND E, VERANO PLAZA.



Location Map
Zone Atlas Map No. B-18-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 2.0011 ACRES±
ZONE ATLAS INDEX NO: B-18-Z
NO. OF TRACTS CREATED: 0
NO. OF LOTS CREATED: 5
MILES OF FULL-WIDTH STREETS CREATED: 0 MILES
DATE OF SURVEY: JUNE 2002, FIELD VERIFIED NOVEMBER 2003.

Notes:

- MISC. DATA: ZONING IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 12, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO LOTS INTO FIVE NEW LOTS, AND GRANT EASEMENTS AND DEDICATE RIGHT OF WAY.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2004032528

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE THE EAST HALF OF SAN MATEO DRIVE, NE AND THE NORTH HALF OF SAN DIEGO AVENUE, NE, ADJACENT TO SUBJECT PROPERTY, TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL ADDITIONAL STREET AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

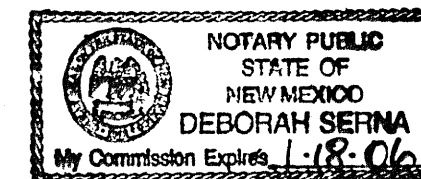
Hito Seavey 1/15/04
KNIGHT SEAVEY
SEAVEY FAMILY LIMITED PARTNERSHIP
A NEW MEXICO LIMITED PARTNERSHIP
DATE

Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15th DAY OF January, 2004 BY KNIGHT SEAVEY, SEAVEY FAMILY LIMITED PARTNERSHIP, A NEW MEXICO LIMITED PARTNERSHIP

BY Deborah Serna MY COMMISSION EXPIRES: June 18, 2006
NOTARY PUBLIC



Project No. _____

Application No. _____

Utility Approvals

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
<u>Signature on Mylar</u> CITY SURVEYOR	DATE
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 1/15/04
LARRY W. MEDRANO
N.M.P.S. NO. 11993
DATE



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Plat of
Lots A, B, C, D and E
Verano Plaza
 Albuquerque, Bernalillo County, New Mexico
 January 2004

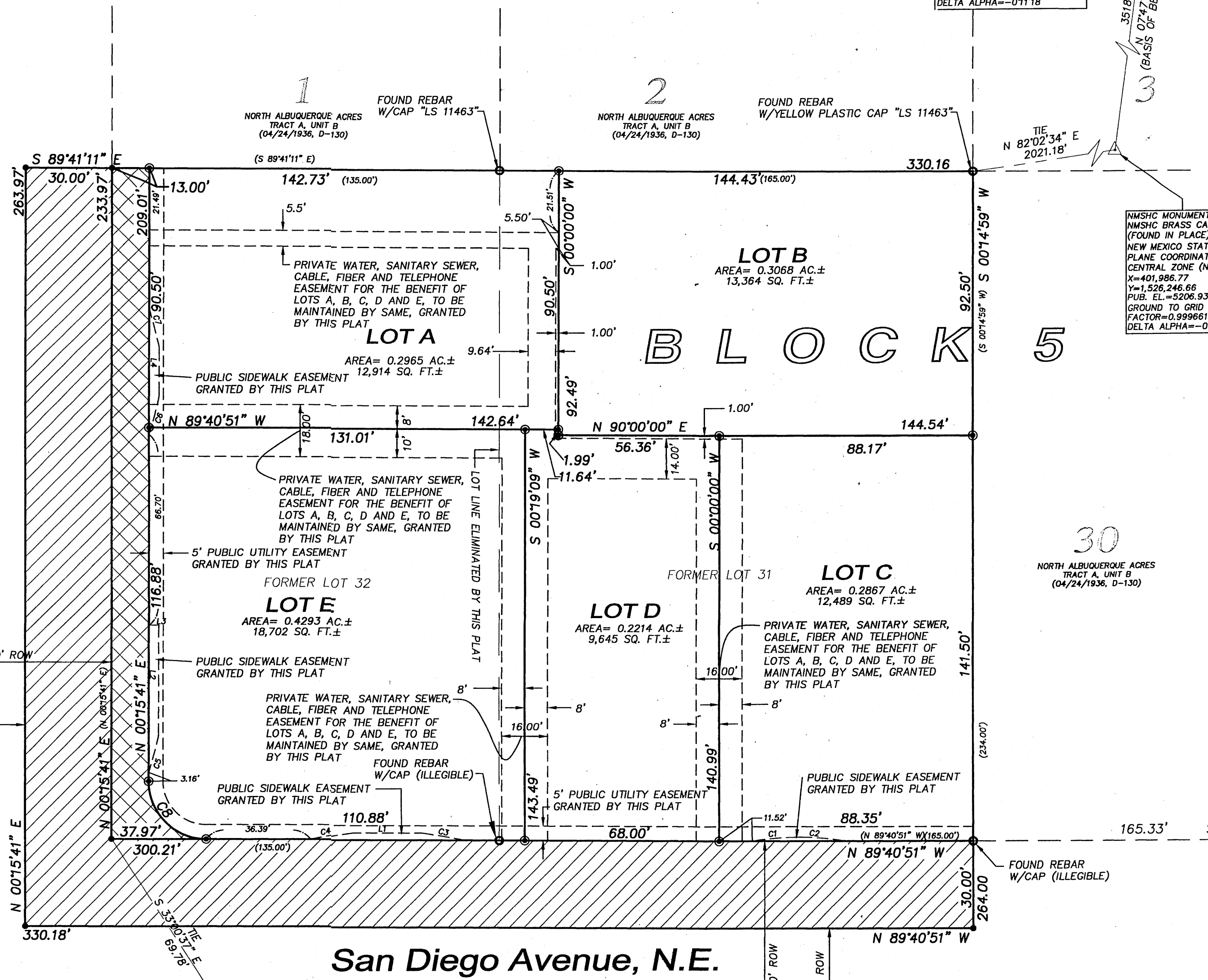
NOTE: A PRIVATE INGRESS/EGRESS AND PARKING EASEMENT ACROSS ALL INTERIOR PAVED AREAS FOR THE BENEFIT OF LOTS A, B, C, D, AND E, TO BE MAINTAINED BY SAME, GRANTED BY THIS PLAT.

NMESH MONUMENT "1-25-10"
 NMESH BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE
 PLANE COORDINATES
 CENTRAL ZONE (NAD 1927)
 X=402,463.48
 Y=1,529,732.90
 PUB. EL.=5203.883 (NAVD 1929)
 GROUND TO GRID SCALE
 FACTOR=0.99968199
 DELTA ALPHA=-011'18"

3518.68'
 N 07°47'11" E
 (BASIS OF BEARINGS)

NMESH MONUMENT "1-25-11"
 NMESH BRASS CAP
 (FOUND IN PLACE)
 NEW MEXICO STATE
 PLANE COORDINATES
 CENTRAL ZONE (NAD 1927)
 X=401,986.77
 Y=1,526,246.66
 PUB. EL.=5206.936 (NAVD 1929)
 GROUND TO GRID SCALE
 FACTOR=0.99968195
 DELTA ALPHA=-011'21"

San Mateo Drive, N.E.



Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- SET REBAR WITH YELLOW PLASTIC CAP STAMPED "PS 11993"
- FOUND AND USED MONUMENT AS DESIGNATED
- CALCULATED POINT
- ▨ RIGHT OF WAY FOR ROADWAY DEDICATED TO THE CITY OF ALBUQUERQUE ON FEE SIMPLE BY THIS PLAT. AREA=16,925 SQ. FT.
- ▩ ADDITIONAL RIGHT WAY FOR ROADWAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE, WITH WARRANTY COVENANTS BY THIS PLAT. AREA=3,127 SQ. FT.±

FOUND ACS BENCHMARK
 "6-B17"
 PUB. ELEV.= 5150.66

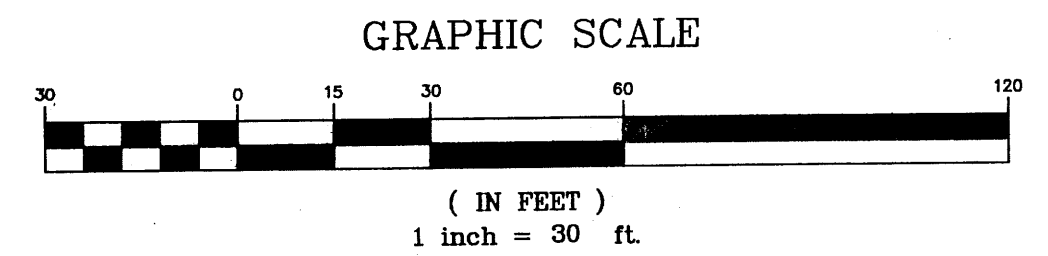
FOUND MONUMENT
 "BOHANNON HUSTON
 & ASSOCIATES NO. 3

Line Table

LINE	LENGTH	BEARING
L1	24.09'	S 89°40'51" E
L2	38.63'	N 00°19'09" E
L3	3.44'	N 89°40'51" W
L4	16.86'	S 00°19'09" W

Curve Table

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	DISTANCE
C1	93.72'	16.32'	09°58'37"	8.18'	S 85°19'51" W	16.30'
C2	93.72'	16.32'	09°58'37"	8.18'	N 84°41'32" W	16.30'
C3	187.67'	15.08'	04°36'14"	7.54'	N 80°08'07" W	15.08'
C4	198.81'	14.97'	04°18'52"	7.49'	S 80°42'13" W	14.97'
C5	200.42'	13.18'	03°46'01"	6.59'	N 15°13'13" E	13.17'
C6	109.43'	13.81'	07°13'57"	6.92'	N 15°02'08" E	13.80'
C7	228.81'	14.12'	03°32'10"	7.06'	N 14°14'45" W	14.12'
C8	20.00'	31.40'	89°56'32"	19.98'	S 44°42'35" E	28.27'



PRECISION SURVEYS, INC.
 8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

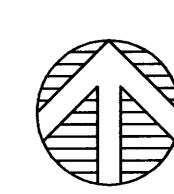
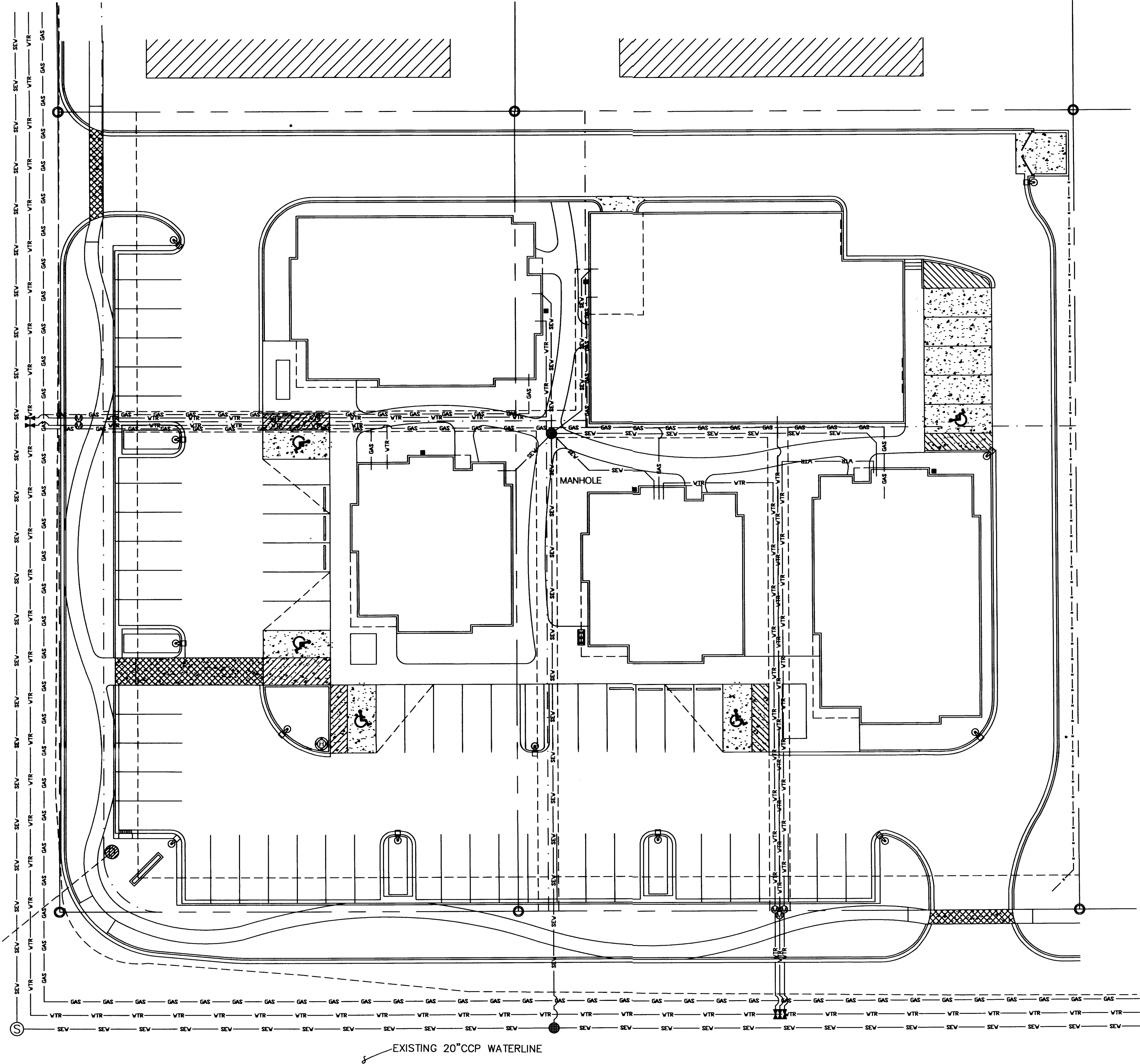
**SITE DEVELOPMENT PLAN
 FOR BUILDING PERMIT**

PLANNING
 COPY
 UTILITIES

GENERAL NOTES

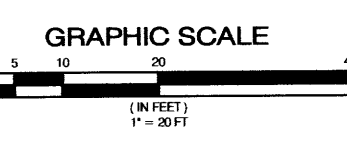
- [1] PROPOSED FIRE HYDRANT IS A PRIVATE HYDRANT, REQUIRING IT TO BE OWNER MAINTAINED. INSTALL (2) SHUT-OFF VALVES, ONE ON EACH SIDE OF THE RIGHT-OF-WAY.
- [2] EACH BUILDING WILL PROVIDE ITS OWN WATER METER.
- [3] ALL UTILITIES ARE OFFSITE. ANY UTILITY LINES SHOWN ONSITE WILL BE PROPOSED CONDITIONS.

- VTR — WATERLINE
- SEV — SANITARY SEWER
- ⊙ EXISTING SANITARY SEWER MANHOLE
- GAS — GAS LINE
- — — EXISTING STORM SEWER LINE
- ⊕ EXISTING STORM SEWER MANHOLE
- ⊕ EXISTING STORM SEWER INLET
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ PROPOSED GATE VALVE
- ⊕ PROPOSED WATER METER
- PROPOSED SANITARY SEWER MANHOLE



UTILITIES SITE PLAN

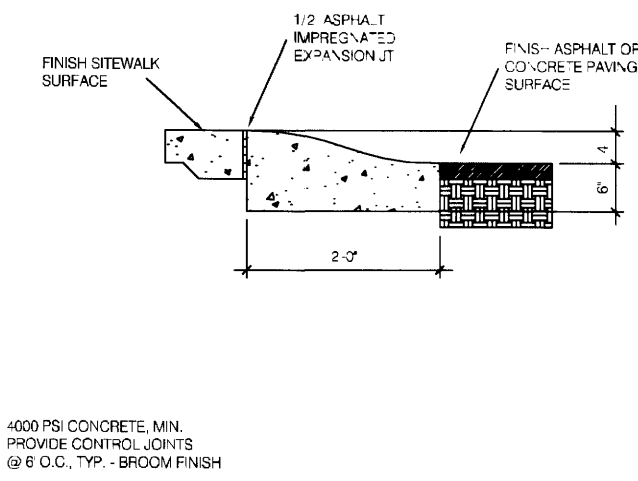
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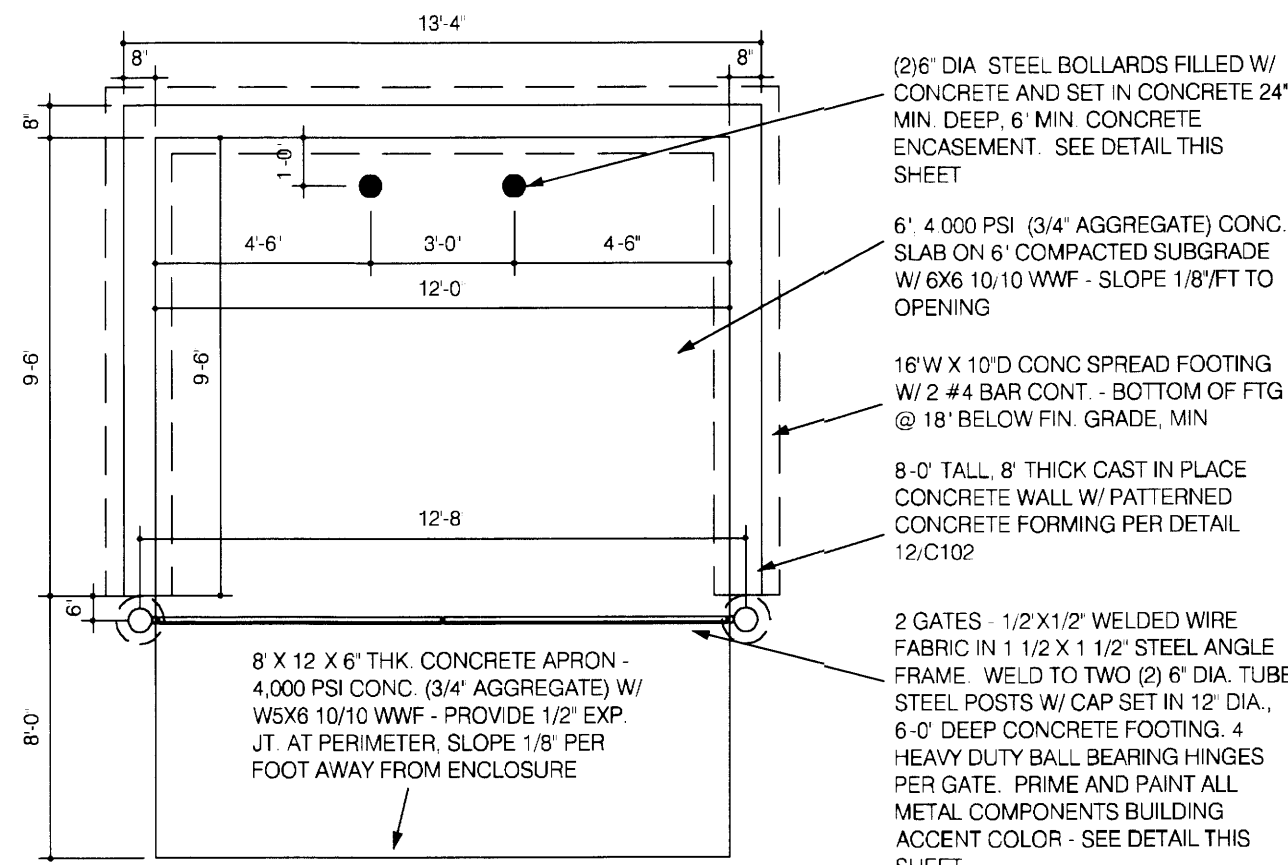
DATE ISSUED	1/6/04
EDITION	DRB SUBMITTAL/ BUILDING PERMIT
PROJECT ID	VERANO PLAZA
CONSULTANT	INSITEWORKS

SHEET INDEX

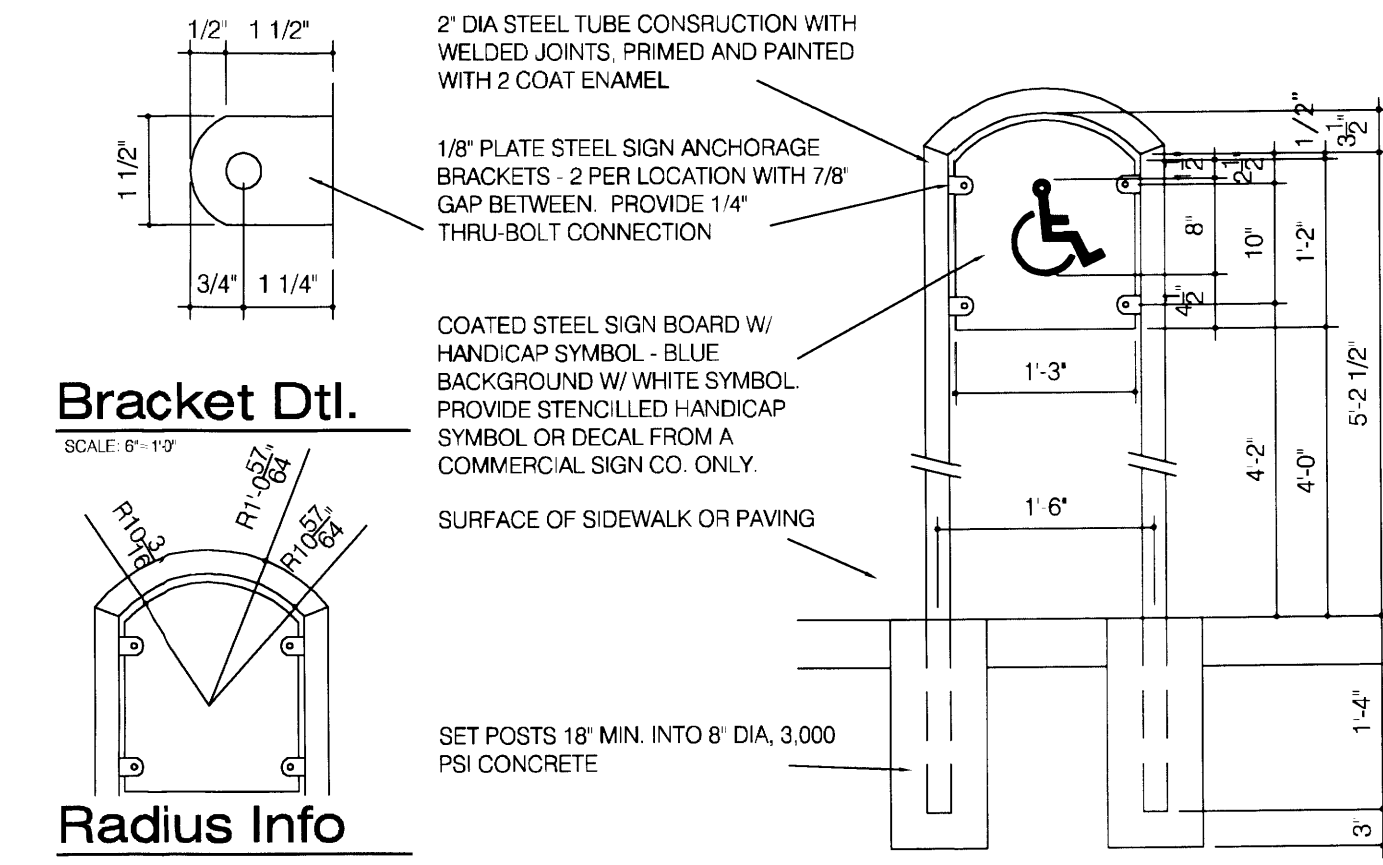
AS-101	ARCHITECTURAL SITE PLAN
AS-102	SITE PLAN DETAILS
L-101	LANDSCAPE PLAN
C-1.0	GRADING & DRAINAGE PLAN
C-2.0	UTILITIES SITE PLAN
A-201	BUILDING ELEVATIONS
REPLAT	DRAFT REPLAT



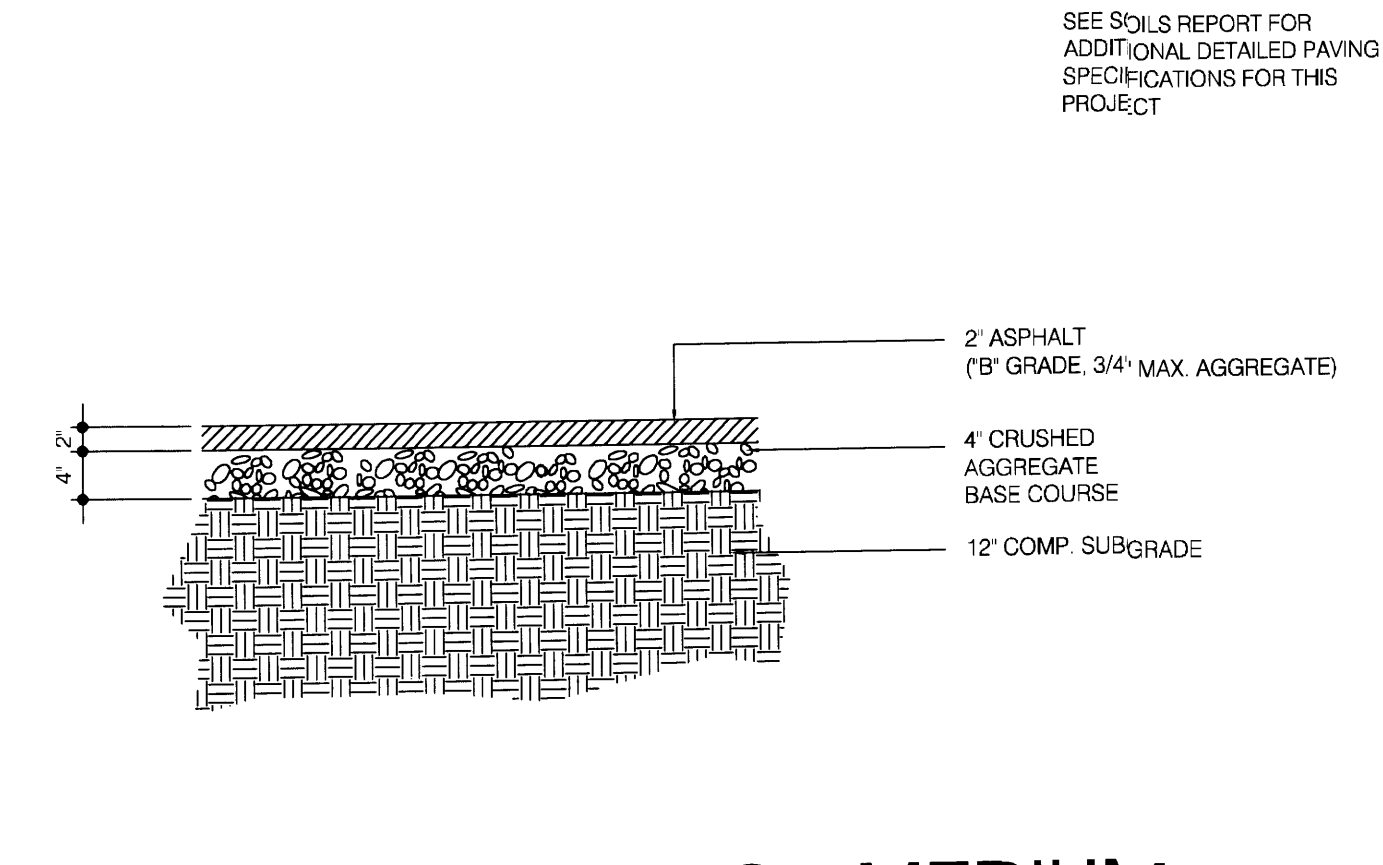
13 ROLL CURB DETAIL
SCALE: 1/2"=1'-0"



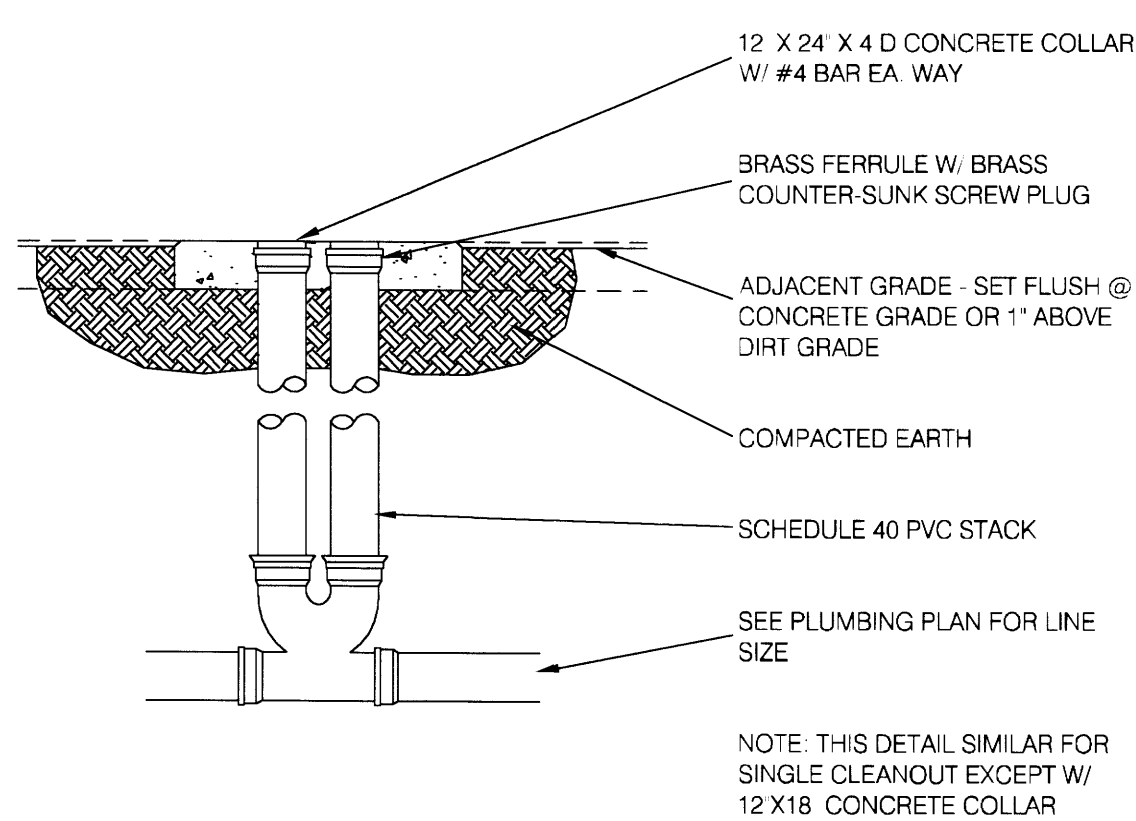
9 DUMPSTER ENCLOSURE-CONC
SCALE: 1/4"=1'-0"



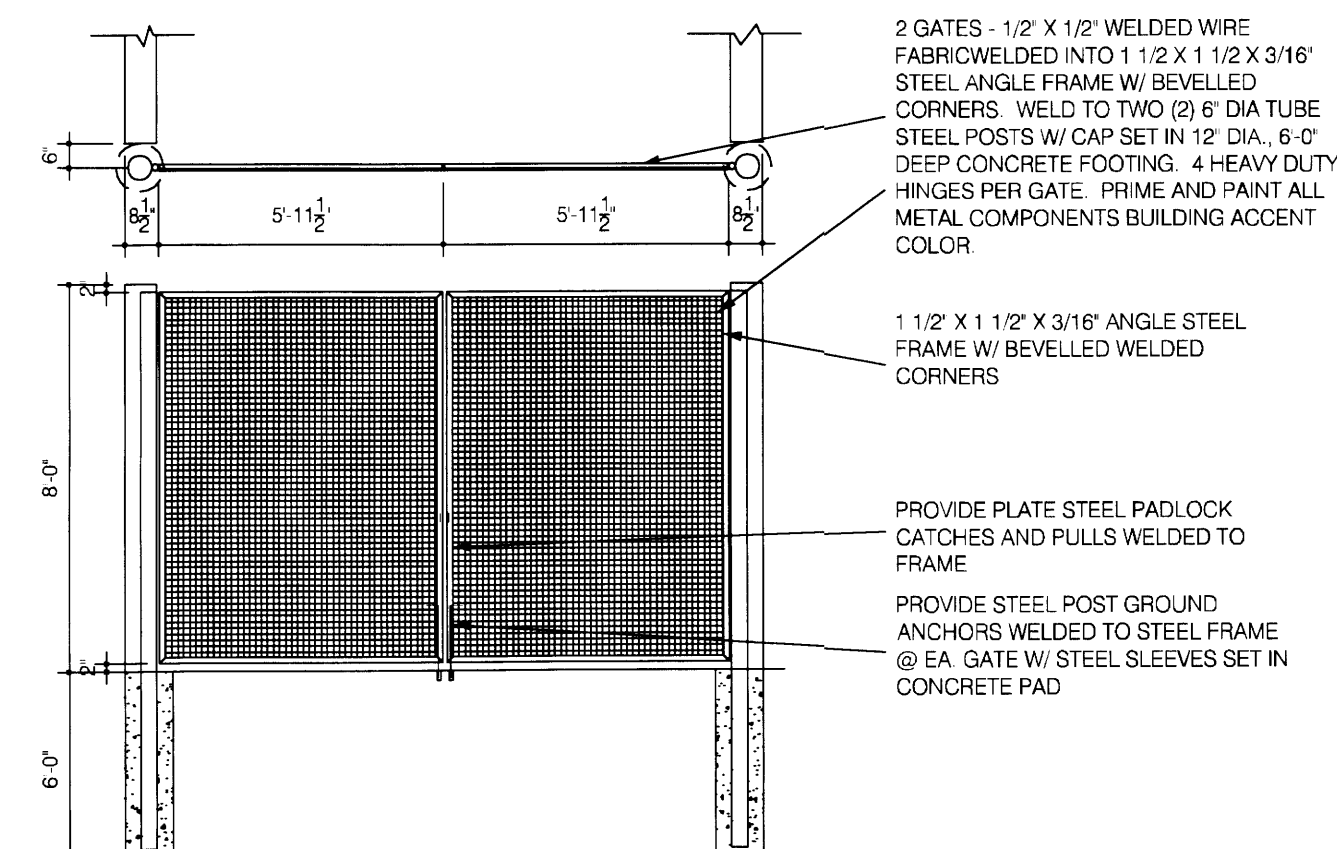
5 HANDICAP PARKING SIGN DETAIL
SCALE: 3/4"=1'-0"



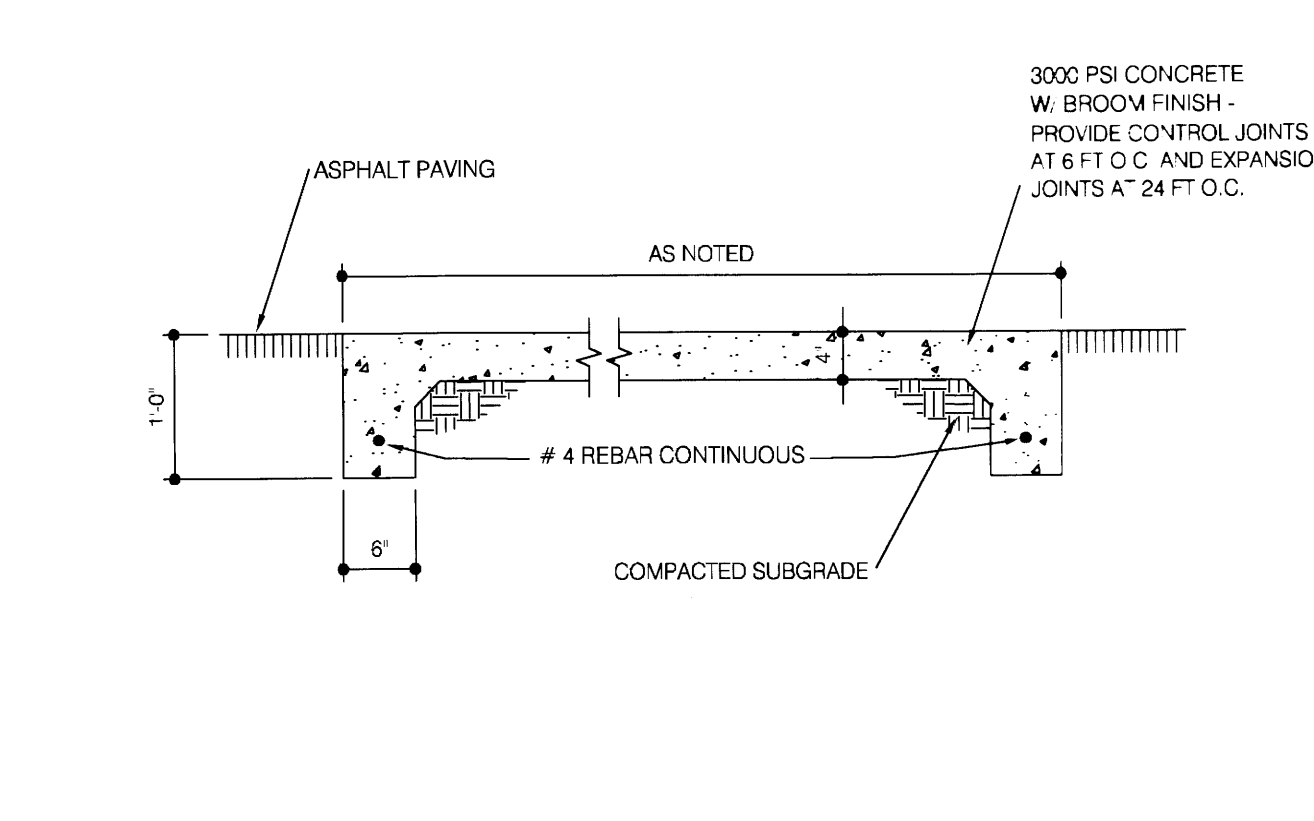
1 ASPHALT PAVING - MEDIUM
SCALE: 3/4"=1'-0"



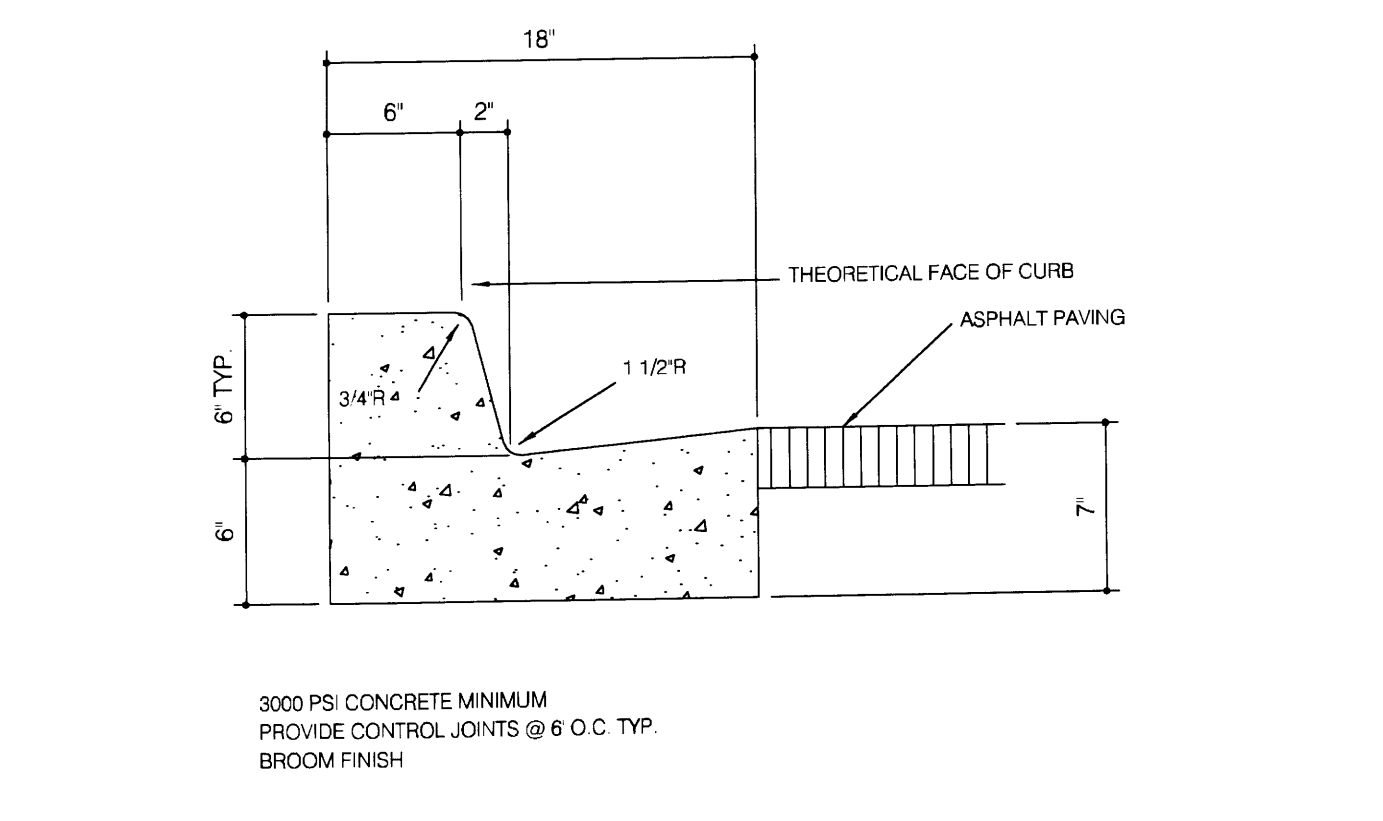
14 DOUBLE CLEANOUT DETAIL
SCALE: 3/4"=1'-0"



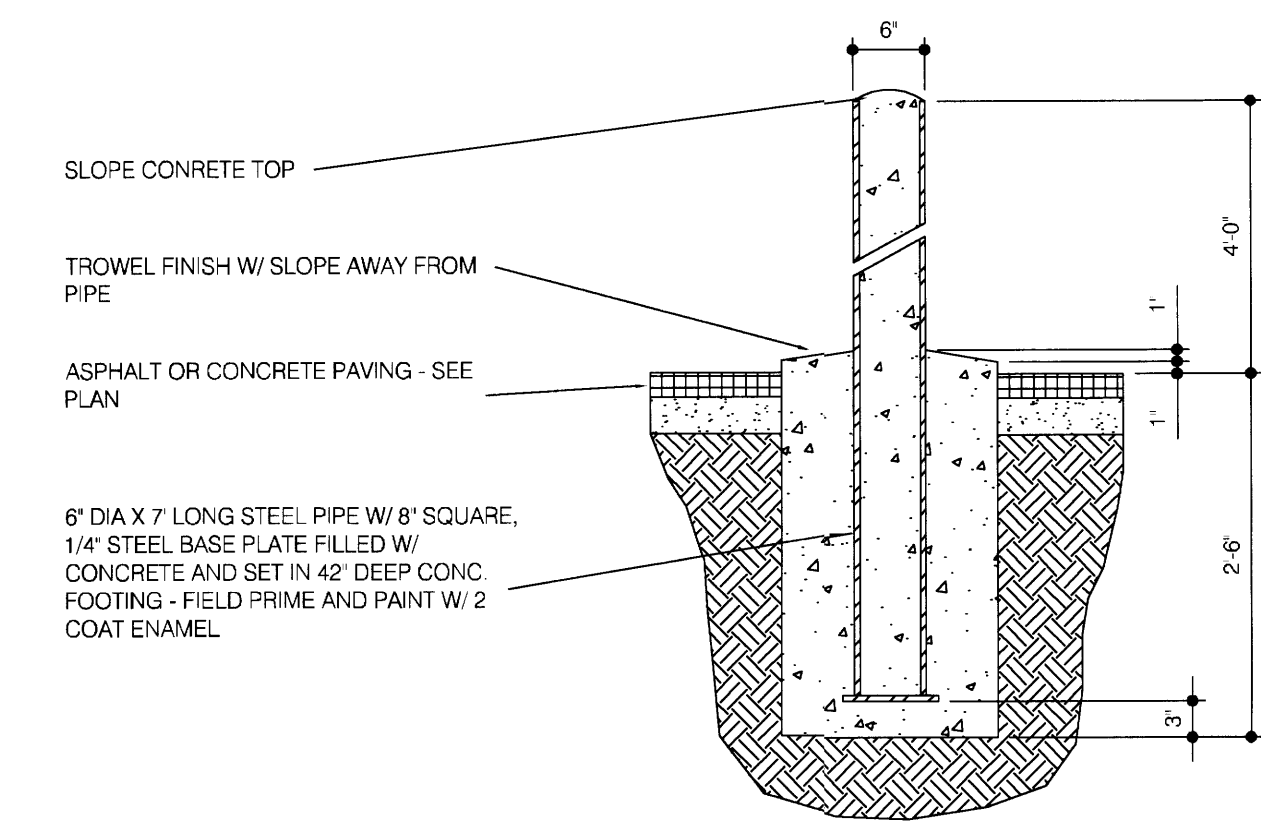
10 DUMPSTER ENCLOSURE GATE
SCALE: 1/4"=1'-0"



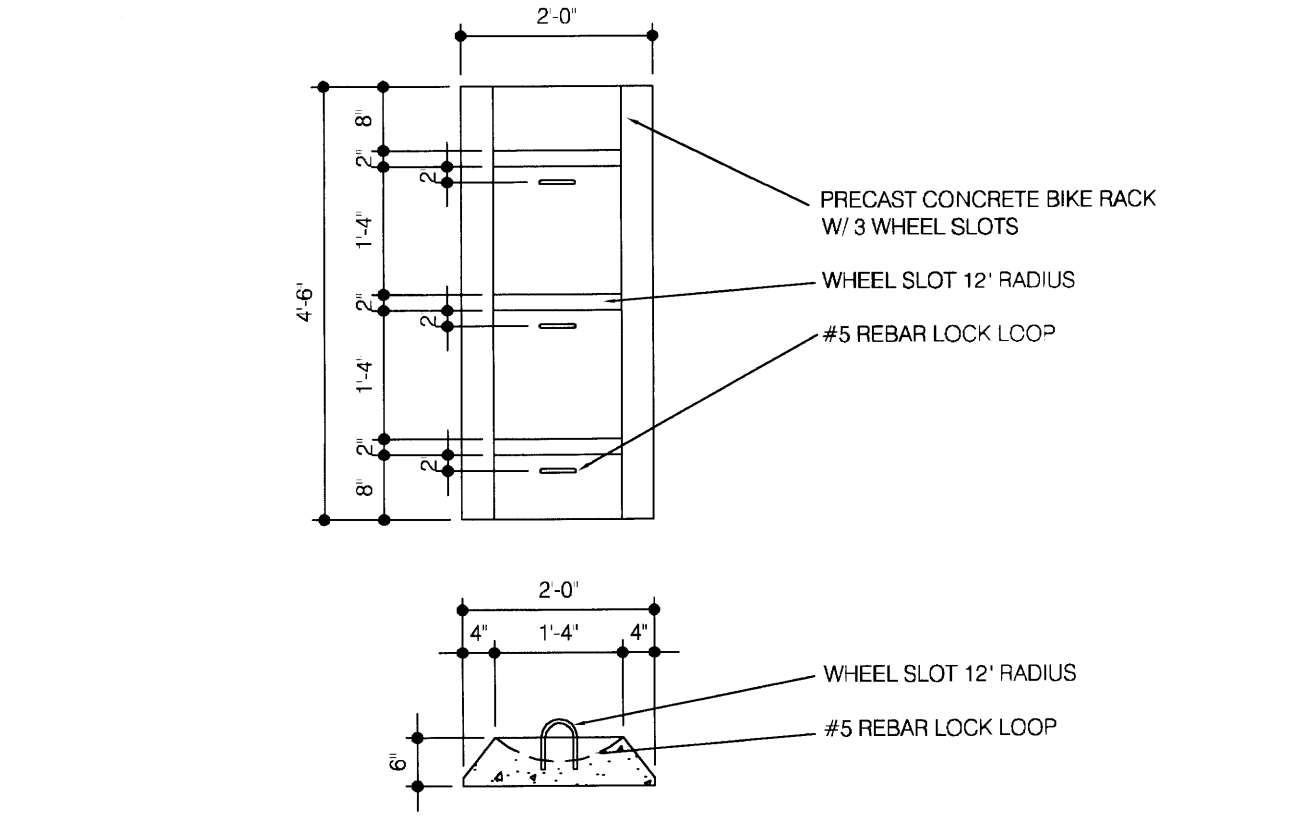
6 CROSSWALK SECTION
SCALE: 3/4"=1'-0"



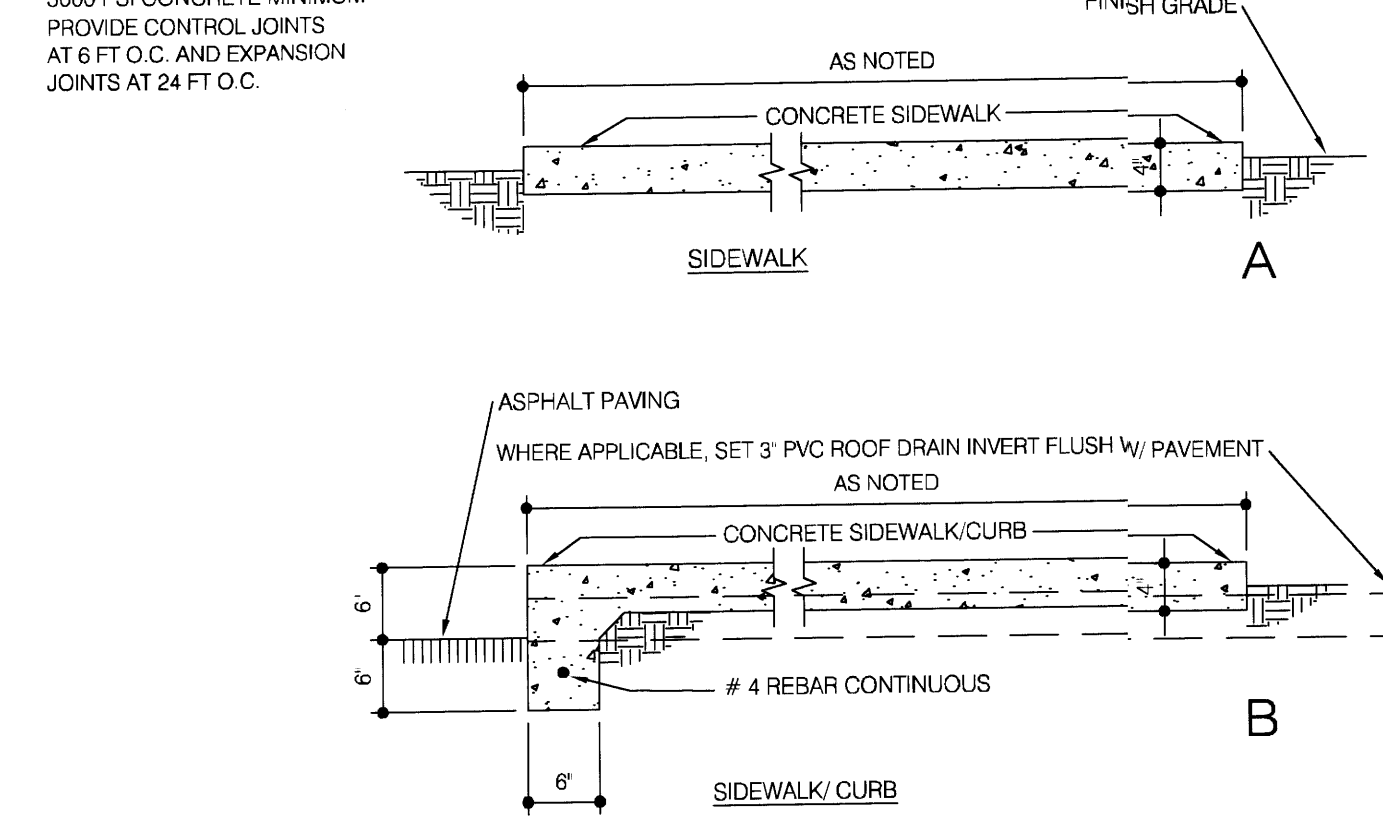
2 CURB & GUTTER SECTION
SCALE: 1 1/2"=1'-0"



11 BOLLARD DETAIL
SCALE: 3/4"=1'-0"

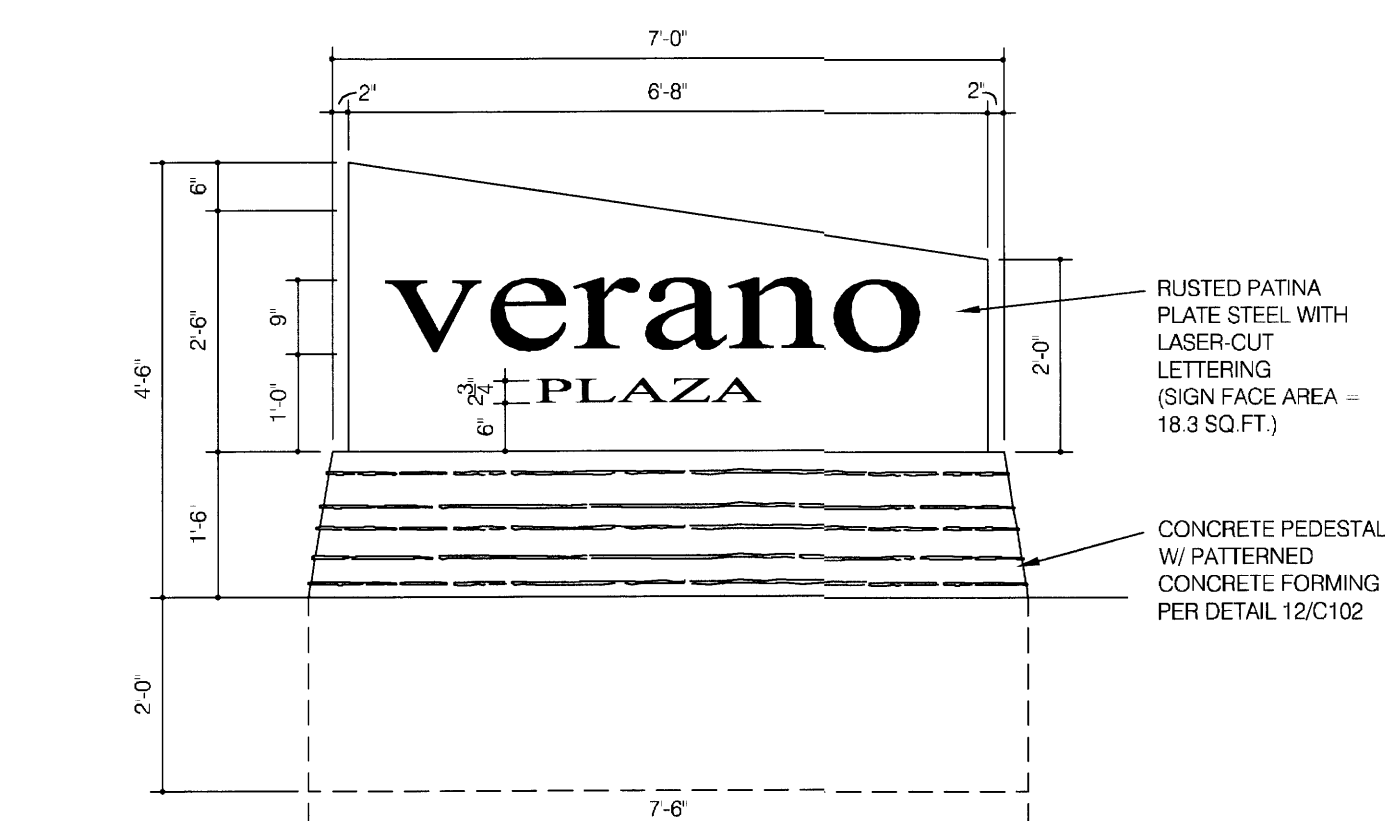


7 BIKE RACK DETAIL - 3 STALL CONC
SCALE: 1/2"=1'-0"

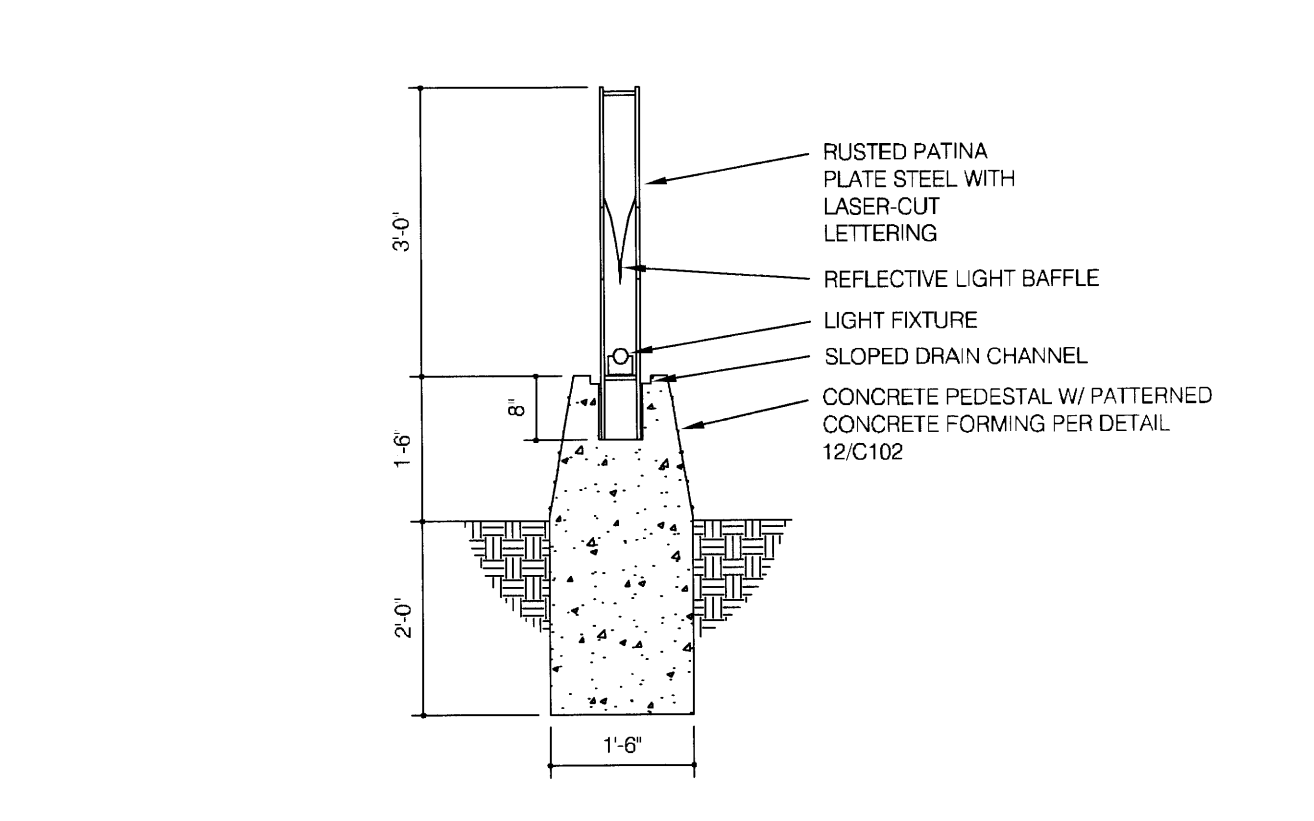


3 SIDEWALK SECTION
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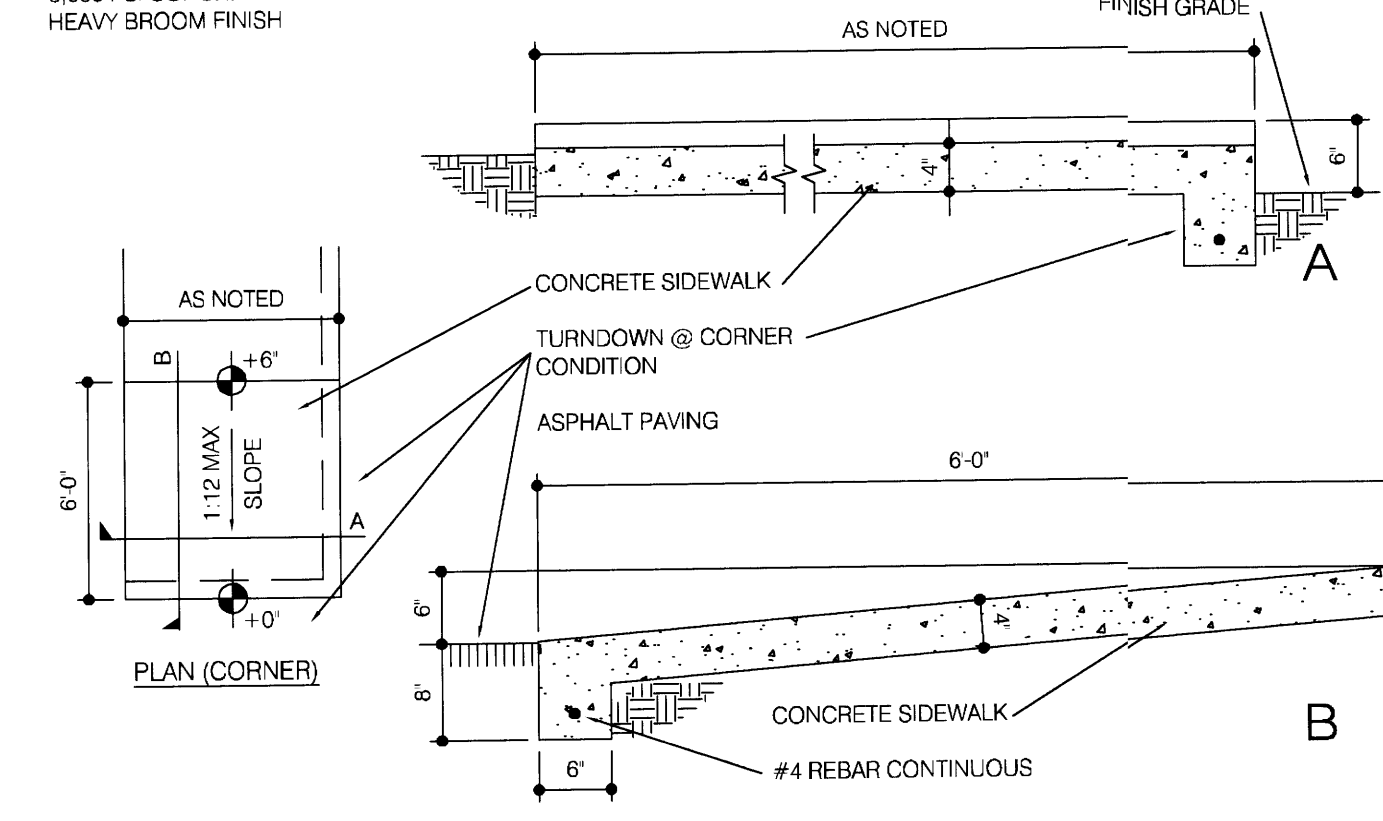
15



12 MONUMENT SIGN ELEVATION
SCALE: 1/2"=1'-0"



8 MONUMENT SIGN SECTION
SCALE: 1/2"=1'-0"



4 SIDEWALK RAMP SECTION
SCALE: 3/4"=1'-0"

16

INSITE WORKS

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FAX: (505) 855-1098
WEBSITE: www.insiteworks.com
KS email: knight@insiteworks.com

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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

verano PLAZA

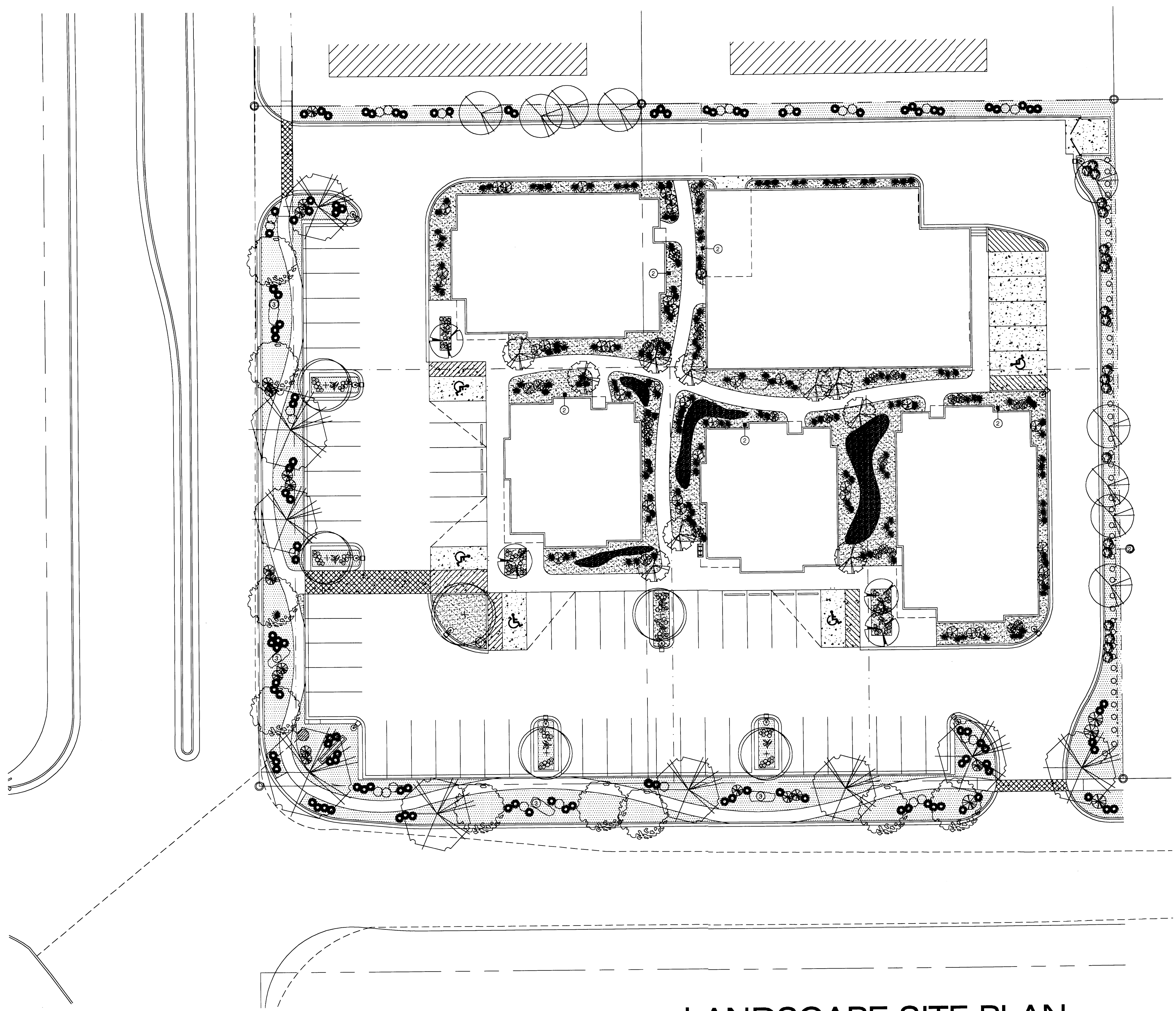
DATE ISSUED: 1/1/04
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C-2.0 UTILITIES SITE PLAN
A-201 BUILDING ELEVATIONS
REPLAT DRAFT REPLAT

AS-102

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LANDSCAPE SITE PLAN

SCALE: 1"=20'

GRAPHIC SCALE

TREE SCHEDULE

	BIGTOOTH MAPLE (ACER GRANDIDENTATUM) SIZE: 18" ROOT CONTROL BAG REMARKS: 30' AT MATURITY, FALL COLOR RED W/ YELLOW		REDBUD (CECIS OCCIDENTALIS) SIZE: 2" CALIPER REMARKS: MULTI-TRUNK		DESERT WILLOW (MIMBRE) (CHILOPSIS LINEARIS) SIZE: 2" CALIPER REMARKS: p. 53 b/n
	PONDEROSA PINE (PINACEAE PINUS PONDEROSA) SIZE: 2" CALIPER REMARKS:		RAYFORD ASH (QUERCUS GRAVESII) SIZE: 18" ROOT CONTROL BAG REMARKS: 35-40' AT MATURITY, FALL COLOR CRIMSON, LONG LASTING		TEXAS RED OAK (QUERCUS BUCKLEYII) SIZE: 2" CALIPER REMARKS:

SHRUB SCHEDULE

	SILVER BEARGRASS (AI-DROPOGON SACCHAROIDES) SIZE: 1 GAL REMARKS: hcg p. 63		REGAL MIST (MULLENBERGIA CAPILLARIS) SIZE: 1 GAL REMARKS:		SILVER SAGE (ARTEMISIA X FOWIS CASTLE) SIZE: 1 GAL REMARKS: hcg p. 10
	CREeping ROSEMARY (ROSMARINUS OFFICINALIS PROSTRATUS) SIZE: 1 GAL REMARKS:		KOREAN HYSSOP (MADASTACHE RUGOSUM) SIZE: 1 GAL REMARKS:		SUNRAY (COREOPSIS GRANDIFLORA) SIZE: 1 GAL REMARKS: hcg p. 15
	LAVENDER (LAVENDULA ANGSTIFOLIA MUNSTEAD) SIZE: 1 GAL REMARKS:		BLUE CATMINT (NEPETA FASSENII) SIZE: 1 GAL REMARKS: hcg p. 10		MAY NIGHT MEADOW SAGE (SALVIA NEMEROSA) SIZE: 1 GAL REMARKS: hcg p. 10
	ENGLISH IVY (HEDERA HELIX L.) SIZE: 1 GAL REMARKS:		CHERRY SAGE (SALVIA GREGGII) SIZE: 1 GAL REMARKS: hcg p. 15		

GROUNDCOVER/EDGING SCHEDULE

	SANTA ANA TAN GRAVEL SIZE: 3 x 4 OR 4 x 4 AS INDICATED REMARKS: ALL PLANTER BED AREAS AT PERIMETER SHALL BE THIS MATERIAL		CRUSHER FINES - SANTA ANA TAN SIZE: 1/4" OR SMALLER REMARKS: ALL PLANTER BED AREAS AT INTERIOR OF SITE SHALL BE THIS MATERIAL		RIVER ROCK - SANTA ANA TAN SIZE: 1" DIA REMARKS: ALL PLANTER BEDS AS SPECIFIED SHALL BE THIS MATERIAL
--	---	--	---	--	---

SITE TOTALS

SITE AREA: 67,040 SF (1.54 ACRES)
 LANDSCAPE AREA: 15,725 SF (23%)
 (R.O.W. LANDSCAPING: 4,088 SF)
 BUILDING AREA: 16,630 SF (25%)

GENERAL LANDSCAPE NOTES

- [C2.0] MAINTENANCE OF ALL LANDSCAPING ON PROPERTY AND IN CABO RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER
- [C2.1] ALL LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION LANDSCAPING & WATER WASTE ORDINANCE
- [C2.2] ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM - SCHEDULE 40 PIPING, TYP.
- [C2.3] THIS LANDSCAPE PLAN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE. SPECIFICALLY 75% OF ALL PLANTING BEDS SHALL BE COVERED BY LIVE VEGETATIVE COVER WHICH INCLUDES SHRUBS AND OR LIVE GROUNDCOVERS
- [C2.4] ALL TREES SHALL BE A MINIMUM OF 2" CALIPER AS REQUIRED BY THE CABO ZONING CODE
- [C2.5] OWNER SHALL MAINTAIN UNDEVELOPED AREAS OF THE SITE FREE OF WEEDS AS REQUIRED BY CITY OF ABO ORDINANCES. DISTURBED AREAS WILL BE RESEEDING AS REQUIRED.
- [C2.6] NO HIGH WATER USE TURF SHALL BE USED
- [C2.7] NUMBERS ADJACENT TO EACH PLANTER INDICATED THE SQUARE FOOT AREA OF EACH
- [C2.8] IRRIGATION TIMECLOCKS ARE LOCATED WITHIN EACH BUILDING

KEYED LANDSCAPE NOTES

- [1] 6" TALL WROUGHT IRON FENCE
- [2] MASTER VALVE & VACUUM BREAKER ASSEMBLY
- [3] DECORATIVE LANDSCAPE BOULDER

INSITE WORKS

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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT



DATE ISSUED: 1/8/04
 EDITION: DRB SUBMITTAL/ BUILDING PERMIT
 PROJECT ID: VERANO PLAZA
 CONSULTANT: INSITEWORKS

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REPLAT	BUILDING ELEVATIONS REPEAT
REPLAT	DRAFT REPEAT

LOCAL BENCH MARK
BOHANNON HUSTON & ASSOCIATES NO. 3
ELEV. 5152.26 (AS SHOWN ON PLAN)

PROJECT BENCH MARK
NMSHC MONUMENT "I-12-11"
ELEV. 5206.94 (NAD27)

LEGAL DESCRIPTION
LOTS 31 & 32, BLOCK 5, NORTH
ALBUQUERQUE ACRES, TRACT A, UNIT B

SURVEY INFORMATION
SURVEY PERFORMED BY PRECISION SURVEYING,
OCTOBER, 2003

LEGEND

- ⊕ TC65.94 PROPOSED SPOT ELEVATION
- 5210 EXISTING CONTOUR
- DIRECTION OF FLOW
- ~ WATER BLOCK
- - - TRACT BOUNDARY/R.O.W.
- - - NEW BUILDING
- - - EXISTING PAVEMENT EDGE
- - - NEW PAVEMENT EDGE

ABBREVIATIONS

- FF FINISHED FLOOR (CONC.)
- FG FINISHED GROUND
- FL FLOW LINE
- TA TOP OF ASPHALT
- TC TOP OF CURB OR CONCRETE
- 4"R 4" ROLL CURB
- 6"C 6" CURB FACE
- 0"C 0" CURB FACE (I.E., FLUSH W/PVMT)
- TR-C TRANSITION CURB FACE HEIGHT
- RD ROOF DRAIN (SEE ARCH. FOR SIZE)

KEYED CONSTRUCTION NOTES

- 1 INSTALL PRIVATE ENTRANCE PER COA STD DWG 2426, WITH CONCRETE VALLEY GUTTER AND FILETS, AND WITH HANDICAP RAMPS.
- 2 INSTALL 6' WIDE SIDEWALK IN R.O.W. PER COA STD DWG 2430.
- 3 INSTALL 4" WIDE CHANNEL, 6" DEEP.
- 4 REMOVE EXISTING "BUBBLE" INLET (TG50.32, INV40.72) AND STORM DRAIN PIPE, BACK TO NEW MANHOLE.
- 5 INSTALL 6" DIA. MANHOLE PER COA STD DWG 2101.
- 6 INSTALL DBL GRATE TYPE "C" STORM INLET PER COA STD DWG 2205, TG50.70, INV46.70.
- 7 INSTALL 12" RCP(III) OR HDPE, WITH MIN. SLOPE=3.5%.
- 8 INSTALL DBL GRATE "A" INLET PER COA STD DWG 2201, TG 53.30, INV 49.30.
- 9 INSTALL 18" RCP(III) WITH MIN. SLOPE=1%.
- 10 INSTALL DBL C STORM INLET PER COA STD DWG 2205, TG52.46, INV48.48.
- 11 INSTALL 24" RCP(III) WITH MIN. SLOPE=1%.
- 12 INSTALL CURB AND GUTTER, SIDEWALK, PAVING, AND DRAINAGE INFRASTRUCTURE IN RIGHT-OF-WAY PER APPROVED CITY OF ALBUQUERQUE WORK ORDER DWGS.
- 13 SEE ARCHITECTURAL SITE PLAN AND DETAILS FOR LOCATIONS AND DETAILS OF ON-SITE PAVEMENT, CURB, AND SIDEWALK.

LOCATION MAP B-17/18

EROSION CONTROL/ENVIRONMENTAL PROTECTION/STORM WATER POLLUTION PREVENTION PLAN

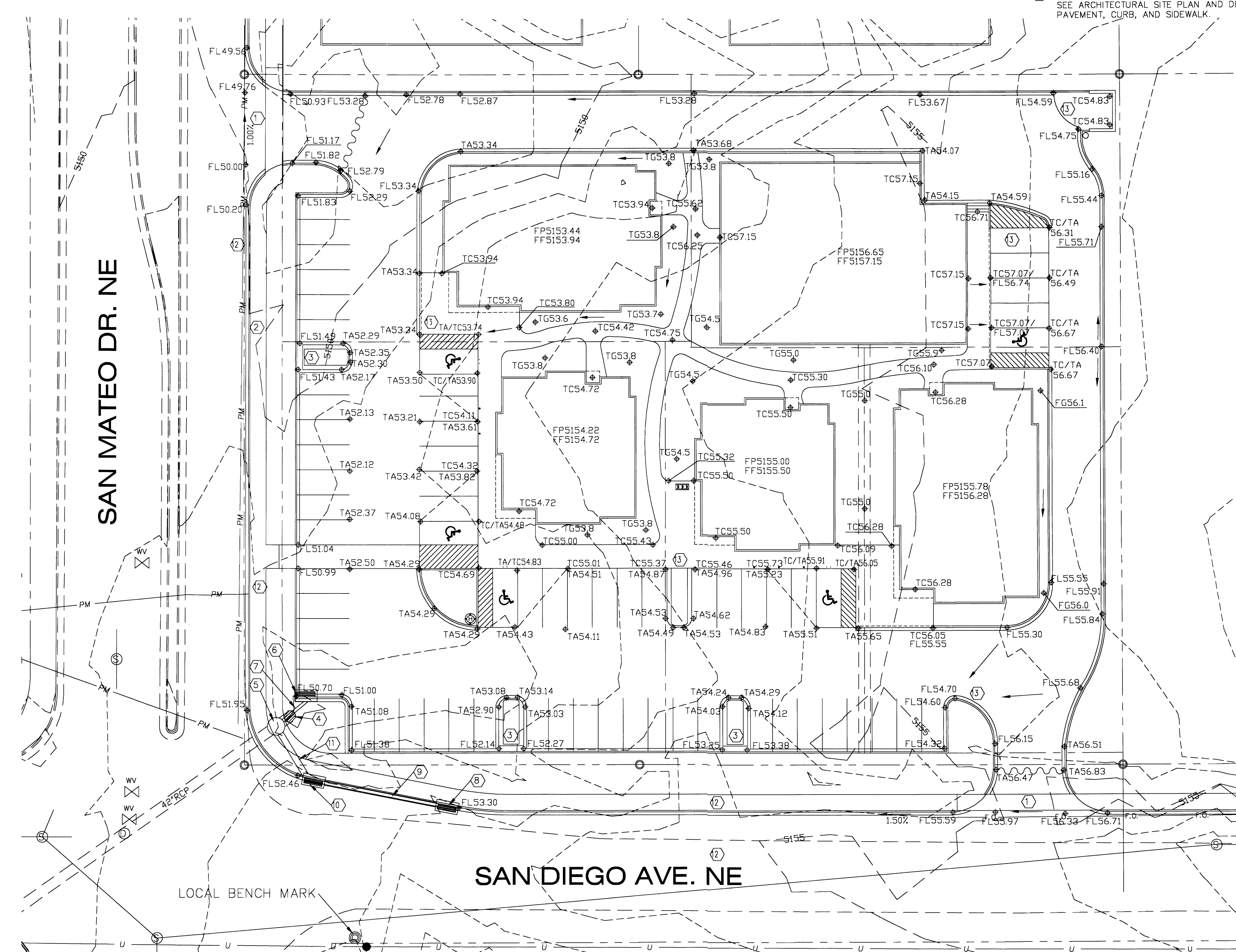
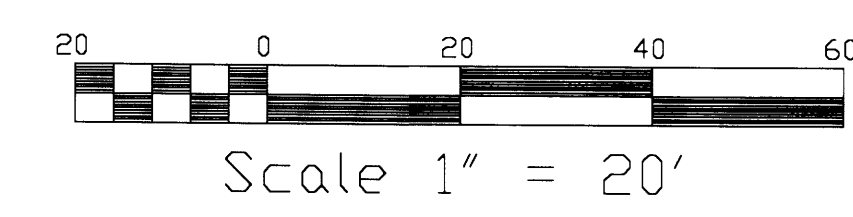
1. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.
2. THE CONTRACTOR SHALL COMPLY WITH THE STORM WATER POLLUTION PREVENTION PLAN PREPARED BY THE OWNER, AND SHALL SUBMIT AN NOI PER GOVERNMENT REQUIREMENTS PRIOR TO BEGINNING CONSTRUCTION.
3. THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
4. THE CONTRACTOR SHALL WET THE SOIL AS NEEDED TO KEEP IT FROM BLOWING. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
5. ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.
6. GRUBBINGS AND VEGETATIVE DEBRIS MAY BE BURIED ON-SITE IN AREAS THAT ARE NOT GOING TO BE UNDER BUILDINGS OR PAVEMENT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-505-822-1558 OR 1-800-219-6157.
8. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
9. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

WORK WITHIN C.O.A. RIGHT-OF-WAY

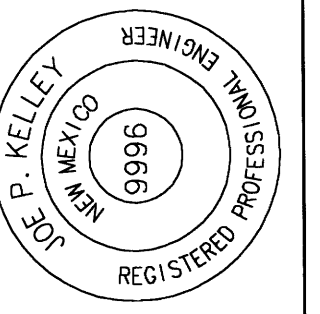
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, AS CURRENTLY UPDATED.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (765-2551) PRIOR TO OCCUPYING RIGHT-OF-WAY. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☑ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☑ BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- ☑ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☑ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☑ IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ☑ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.



JC Engineering, LLC
1924 Roomok Dr. NE, Rio Rancho, NM 87144-5532
(505)263-9032 Fax (505)987-9304 www.jcengineering.com



REVISIONS	NO.	DATE	BY	DESCRIPTION

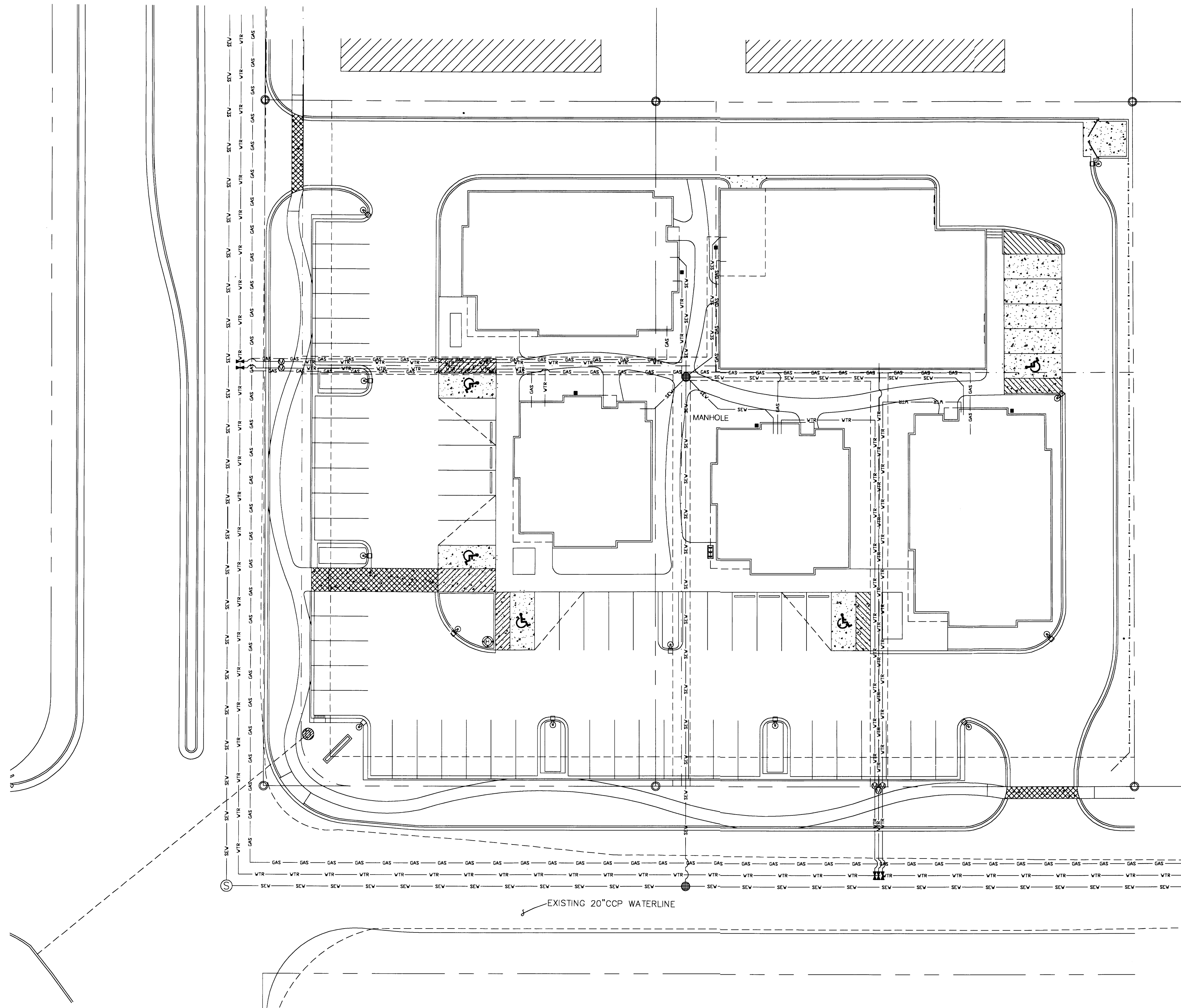
APPROVALS	SIGNATURE	DEPT.

PROJECT: **VERANO PLAZA**
CLIENT: **INSITEWORKS**

SHEET TITLE: **GRADING PLAN**

SHEET NO.: **C1.0**

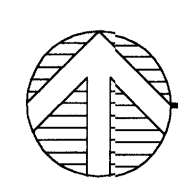
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GENERAL NOTES

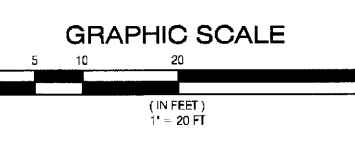
- [1] PROPOSED FIRE HYDRANT IS A PRIVATE HYDRANT, REQUIRING IT TO BE OWNER MAINTAINED. INSTALL (2) SHUT-OFF VALVES ONE ON EACH SIDE OF THE RIGHT-OF-WAY
- [2] EACH BUILDING WILL PROVIDE ITS OWN WATER METER
- [3] ALL UTILITIES ARE OFFSITE. ANY UTILITY LINES SHOWN ONSITE WILL BE PROPOSED CONDITIONS

- VTR — WATERLINE
- SEV — SANITARY SEWER
- ⊙ EXISTING SANITARY SEWER MANHOLE
- GAS — GAS LINE
- - - EXISTING STORM SEWER LINE
- ⊙ EXISTING STORM SEWER MANHOLE
- ⊙ EXISTING STORM SEWER INLET
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ PROPOSED GATE VALVE
- ⊙ PROPOSED WATER METER
- ⊙ PROPOSED SANITARY SEWER MANHOLE



UTILITIES SITE PLAN

SCALE: 1"=20'



ADDRESS 57 ROCK POINT PLACE NE
 ALBUQUERQUE, NM 87122
 TELEPHONE (505) 858-0100
 FAX (505) 858-1000
 WEBSITE www.insiteworks.com
 KS email knight@insiteworks.com

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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT



DATE ISSUED 1/04
 EDITION DRB SUBMITTAL/ BUILDING PERMIT
 PROJECT ID VERANO PLAZA
 CONSULTANT INSITEWORKS

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AS-102	SITE PLAN DETAILS
L-101	LANDSCAPE PLAN
C-1.0	GRADING & DRAINAGE PLAN
C-2.0	UTILITIES SITE PLAN
A-201	BUILDING ELEVATIONS
REPLAT	DRAFT REPLAT

C-2.0

ELEVATIONS

KEYED NOTES

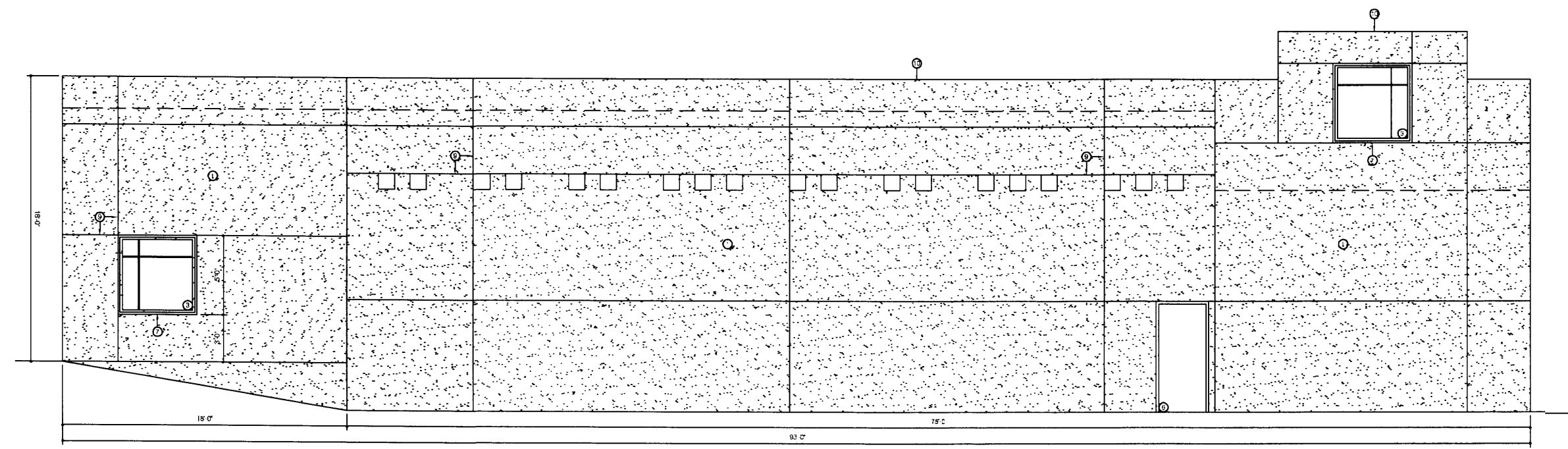
- (1) STUCCO COLOR #1 - DESERT BRONZ (BENJAMIN MOORE HC-16)
- (2) STUCCO COLOR #2 - LIGHT TERRA COTTA (BENJAMIN MOORE 2161-30)
- (3) COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, TYPICAL, UNLESS NOTED OTHERWISE
- (4) ALUMINUM CLAD WOOD FRAME WINDOW
- (5) BUTT JOINTED STOREFRONT GLAZING SYSTEM
- (6) ALUMINUM STOREFRONT SYSTEM DOOR AND WINDOWS
- (7) SOLID CORE WOOD DOOR WITH HOLLOW METAL FRAME
- (8) PRECAST CONCRETE SILL, TYPICAL
- (9) RUSTED PATINA PLATE STEEL SIGN WITH LASER CUT LETTERS, 1'-6" HIGH X 8' 0" LONG (12 SQ. FT. OF AREA)
- (10) 3/4" STUCCO REVEALS
- (11) DECORATIVE CORNICE

INSITE WORKS

ADDRESS 57 ROCK POINT PLACE NE
 ALBUQUERQUE, NM 87122
 TELEPHONE (505) 858-8100
 FAX (505) 858-1068
 WEBSITE www.insiteworks.com
 KS email knight@insiteworks.com

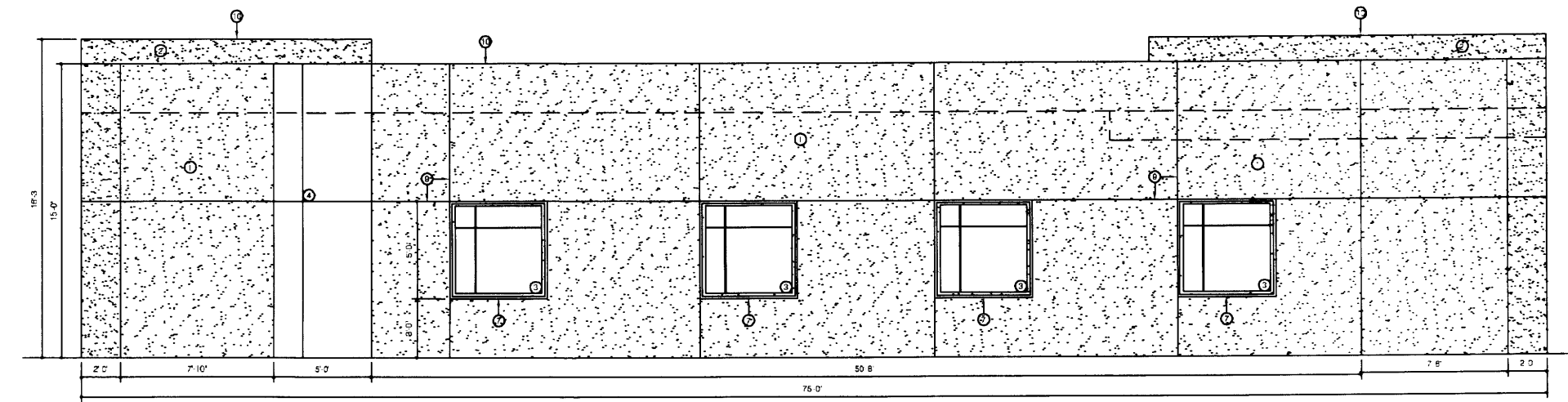
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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT



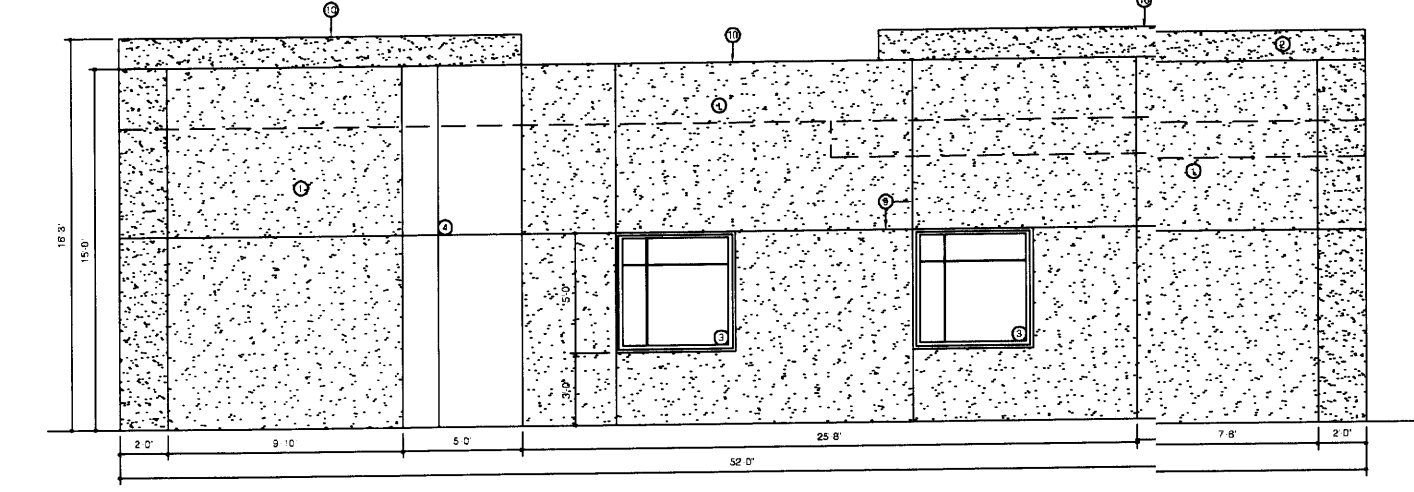
NORTH BUILDING 5

SCALE: 1/8"=1'-0"



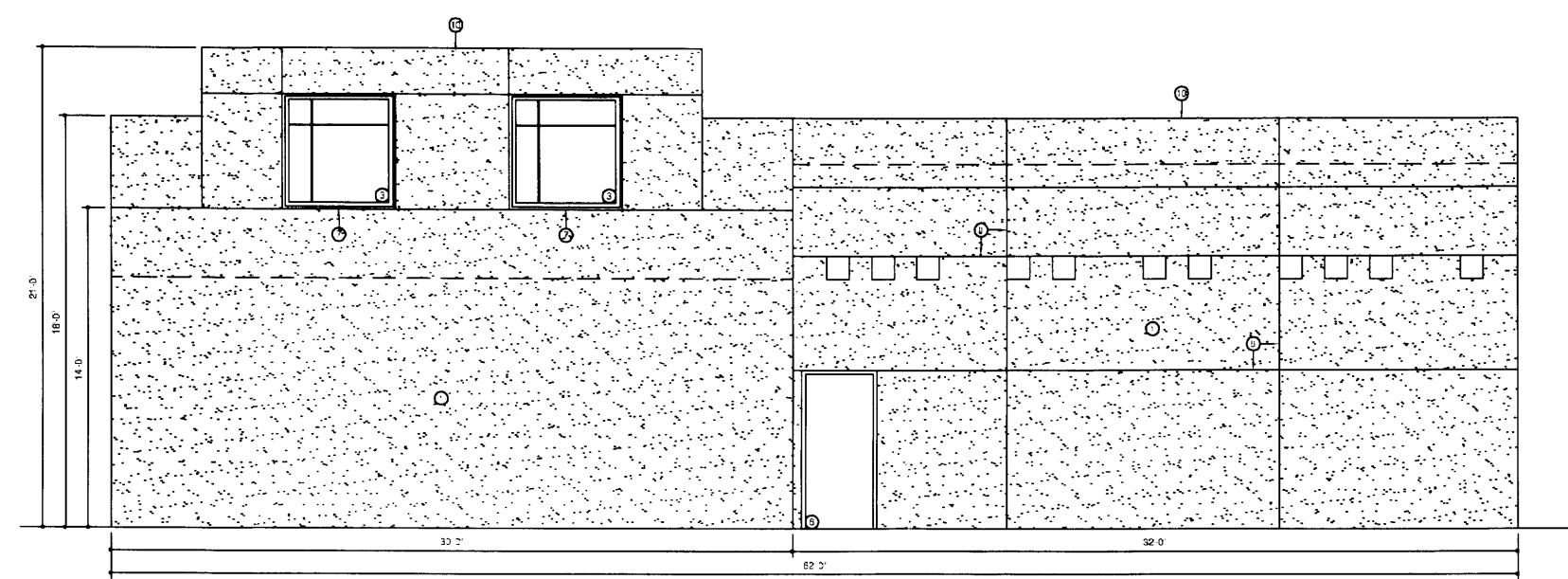
EAST BUILDING 4 / SOUTH BUILDING 1

SCALE: 1/8"=1'-0"



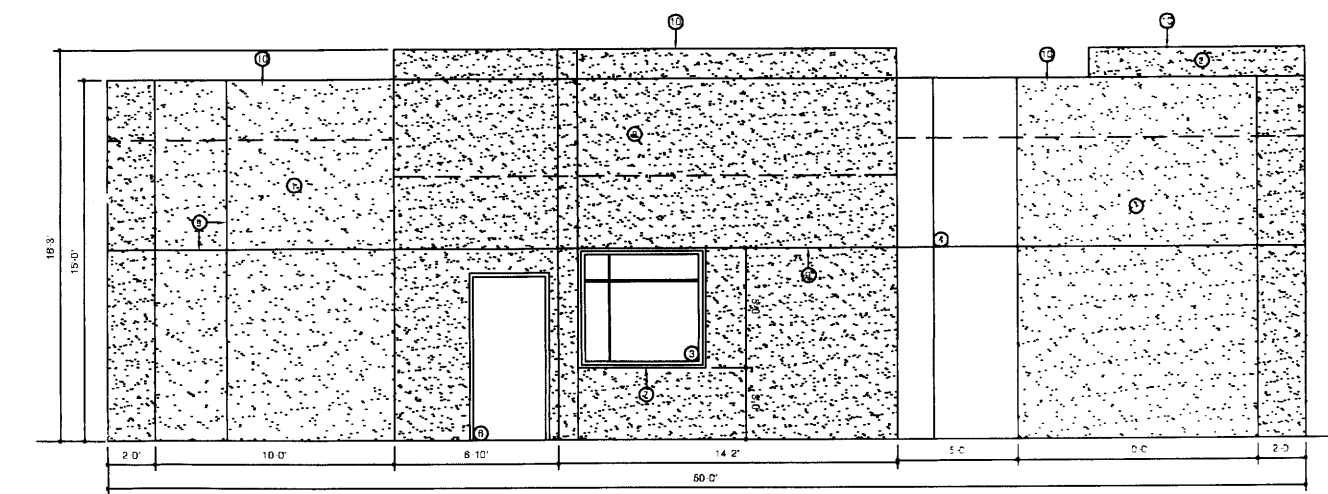
EAST BUILDINGS 2 & 3

SCALE: 1/8"=1'-0"



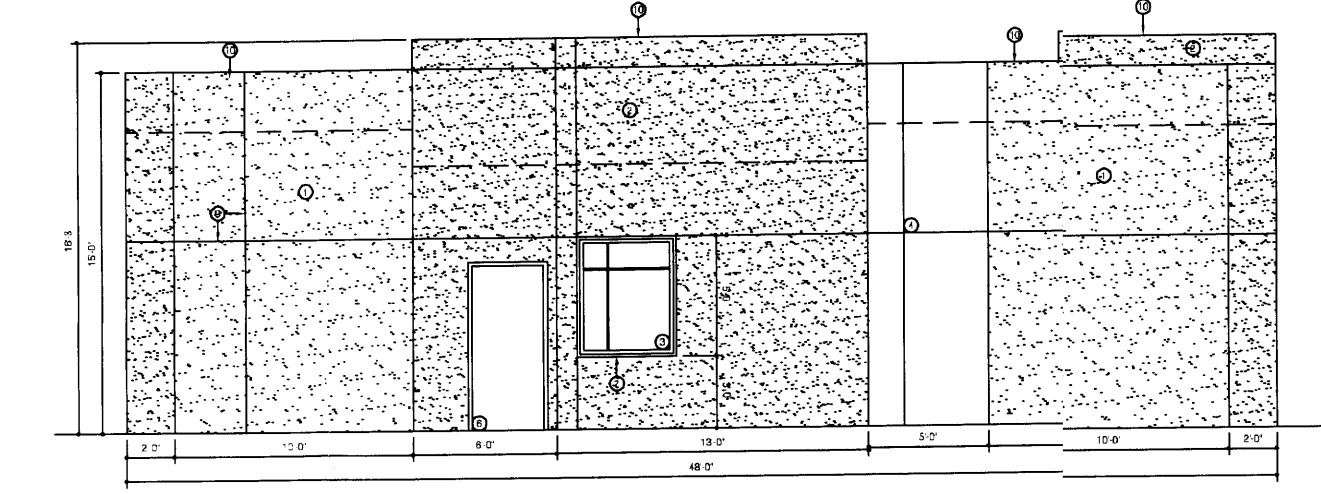
WEST BUILDING 5

SCALE: 1/8"=1'-0"



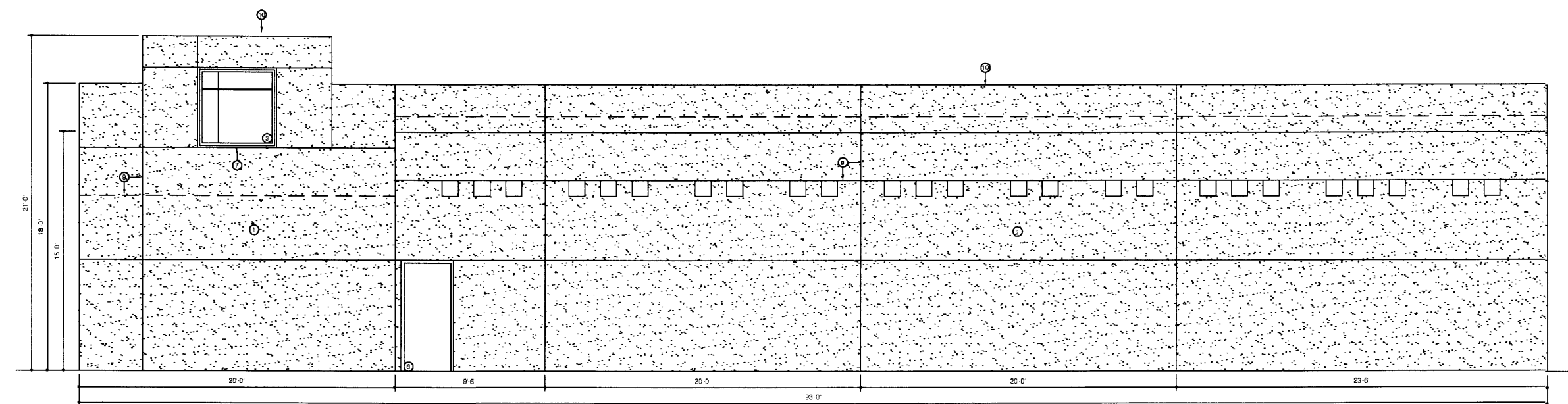
NORTH BUILDING 4 / EAST BUILDING 1

SCALE: 1/8"=1'-0"



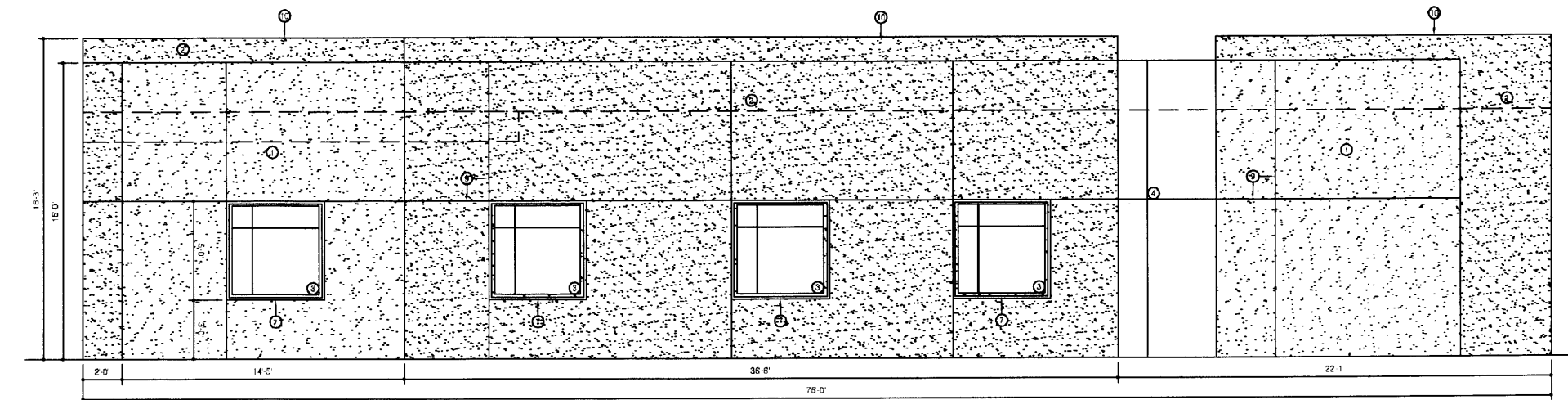
NORTH BUILDINGS 2 & 3

SCALE: 1/8"=1'-0"



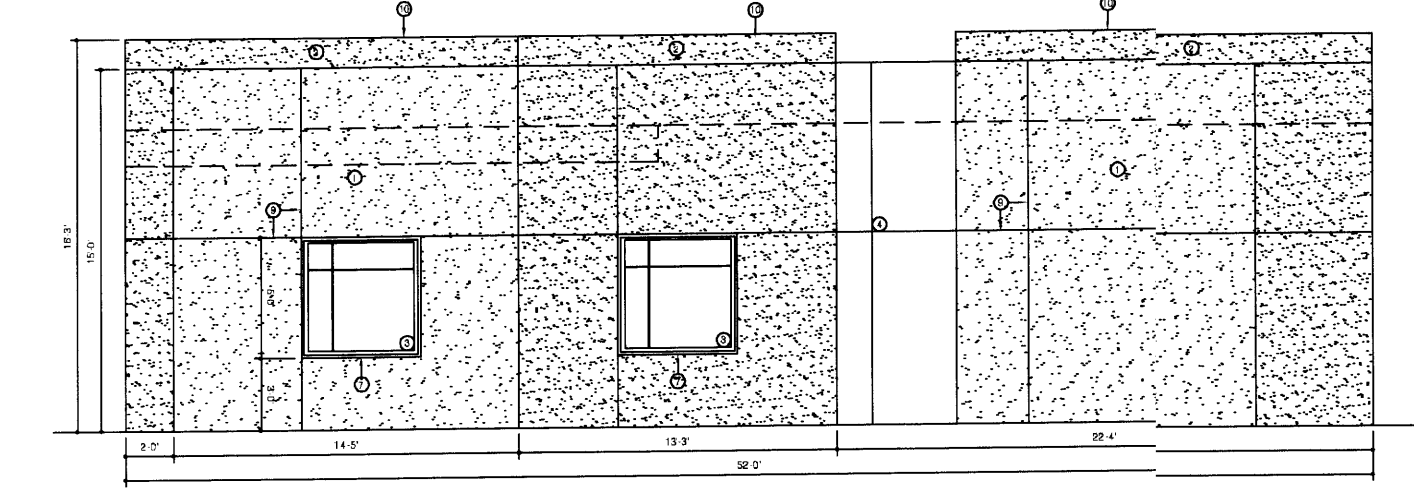
SOUTH BUILDING 5

SCALE: 1/8"=1'-0"



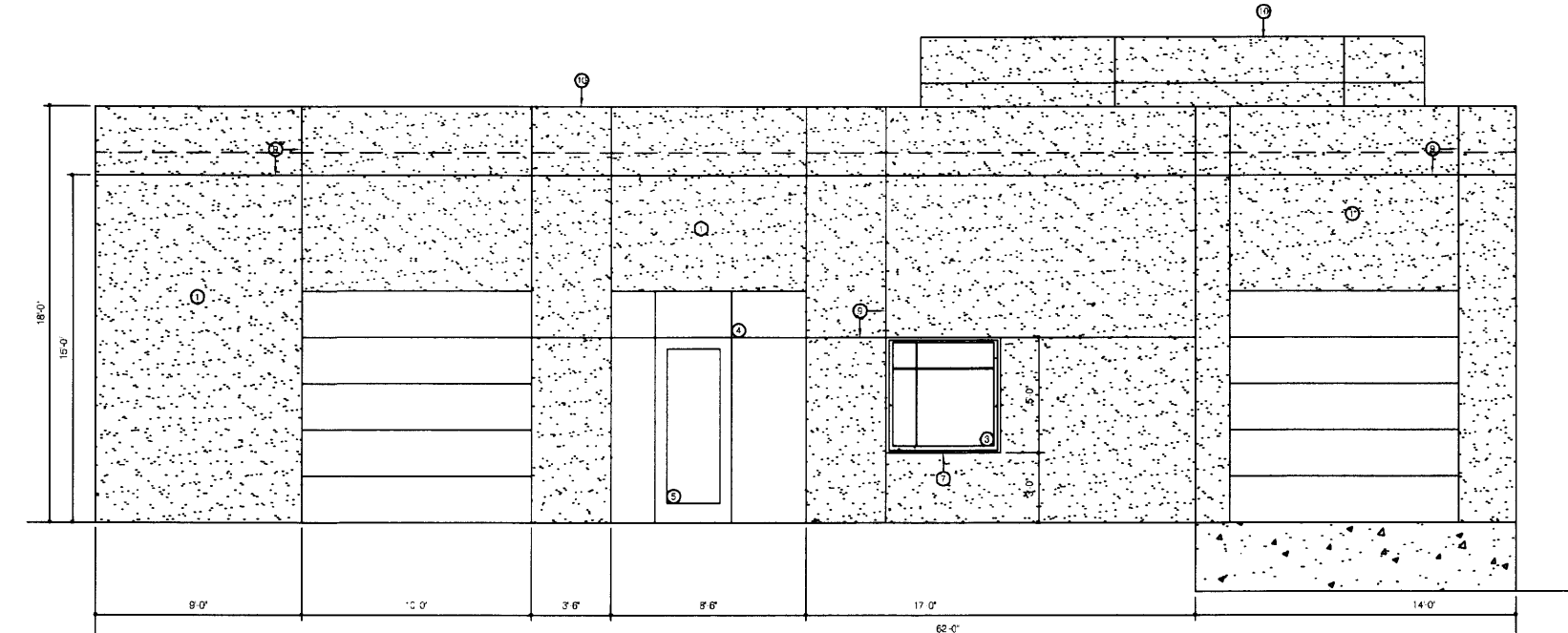
WEST BUILDING 4 / NORTH BUILDING 1

SCALE: 1/8"=1'-0"



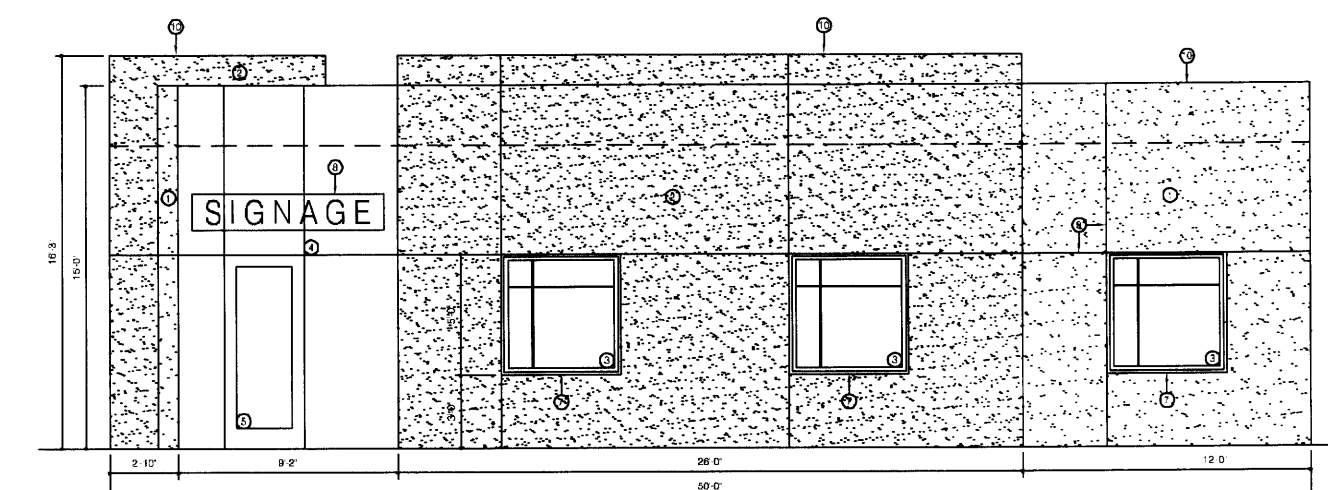
WEST BUILDINGS 2 & 3

SCALE: 1/8"=1'-0"



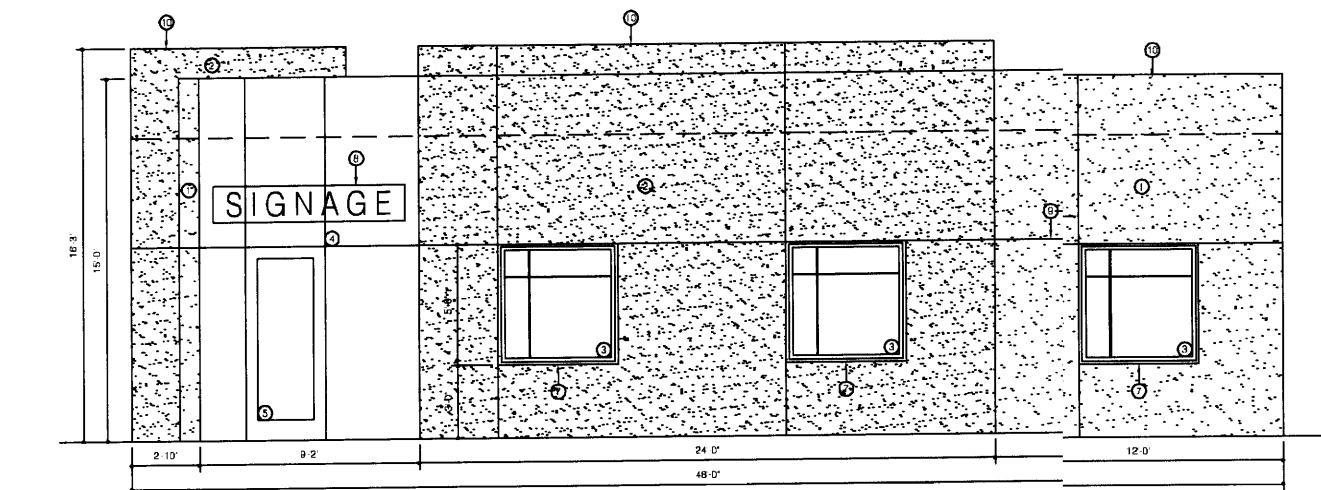
EAST BUILDING 5

SCALE: 1/8"=1'-0"



SOUTH BUILDING 4 / WEST BUILDING 1

SCALE: 1/8"=1'-0"



SOUTH BUILDINGS 2 & 3

SCALE: 1/8"=1'-0"

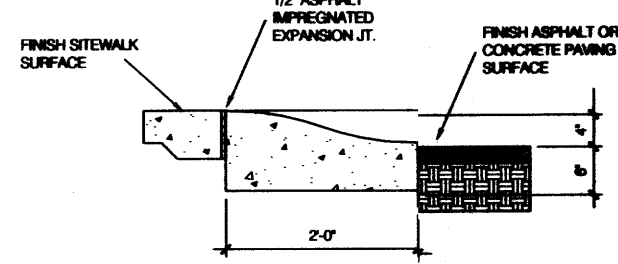
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verano
PLAZA

DATE ISSUED 1/6/04
 EDITION DRB SUBMITTAL / BUILDING PERMIT
 PROJECT ID VERANO PLAZA
 CONSULTANT INSITEWORKS

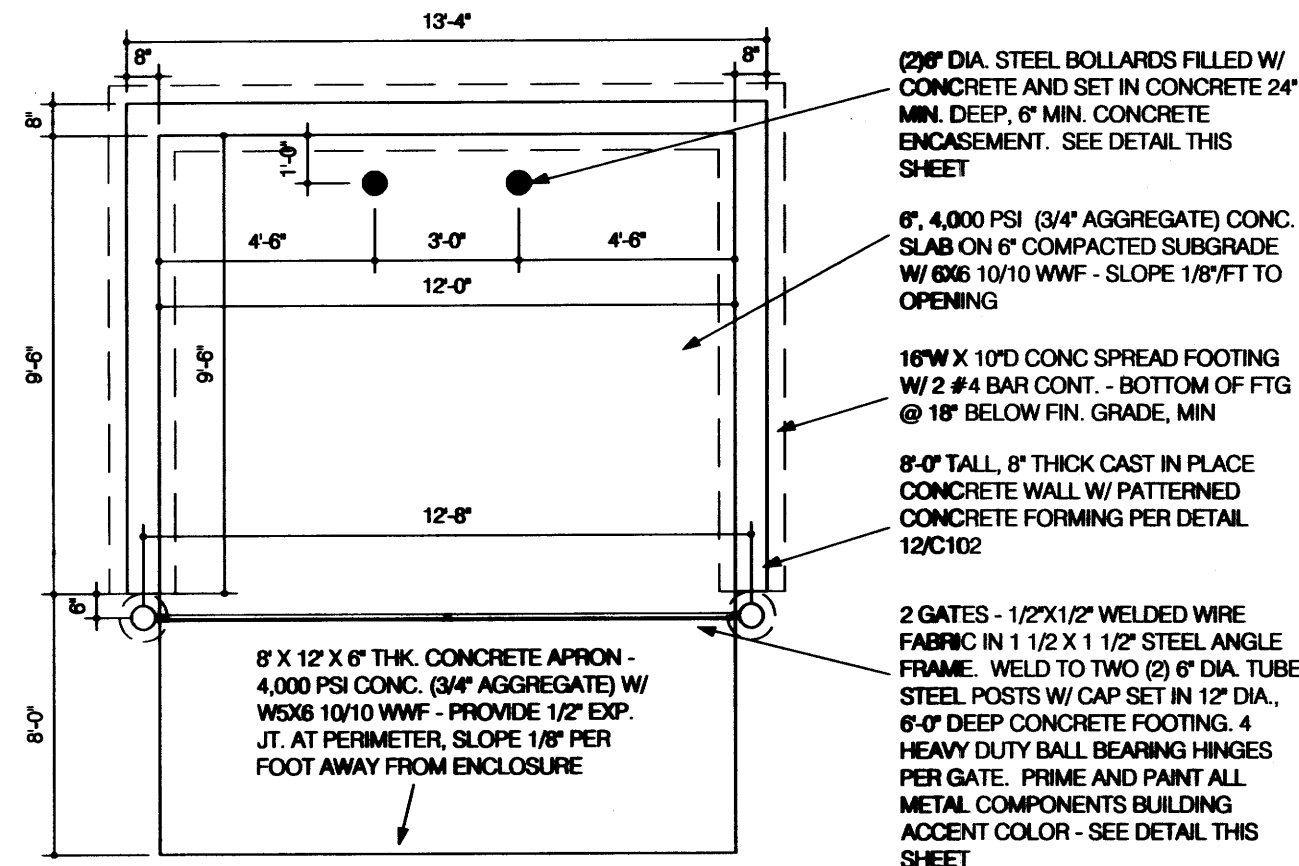
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 AS-102 SITE PLAN DETAILS
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 C-2-0 UTILITIES SITE PLAN
 A-201 BUILDING ELEVATIONS
 REPEAT DRAFT REPEAT

A-201



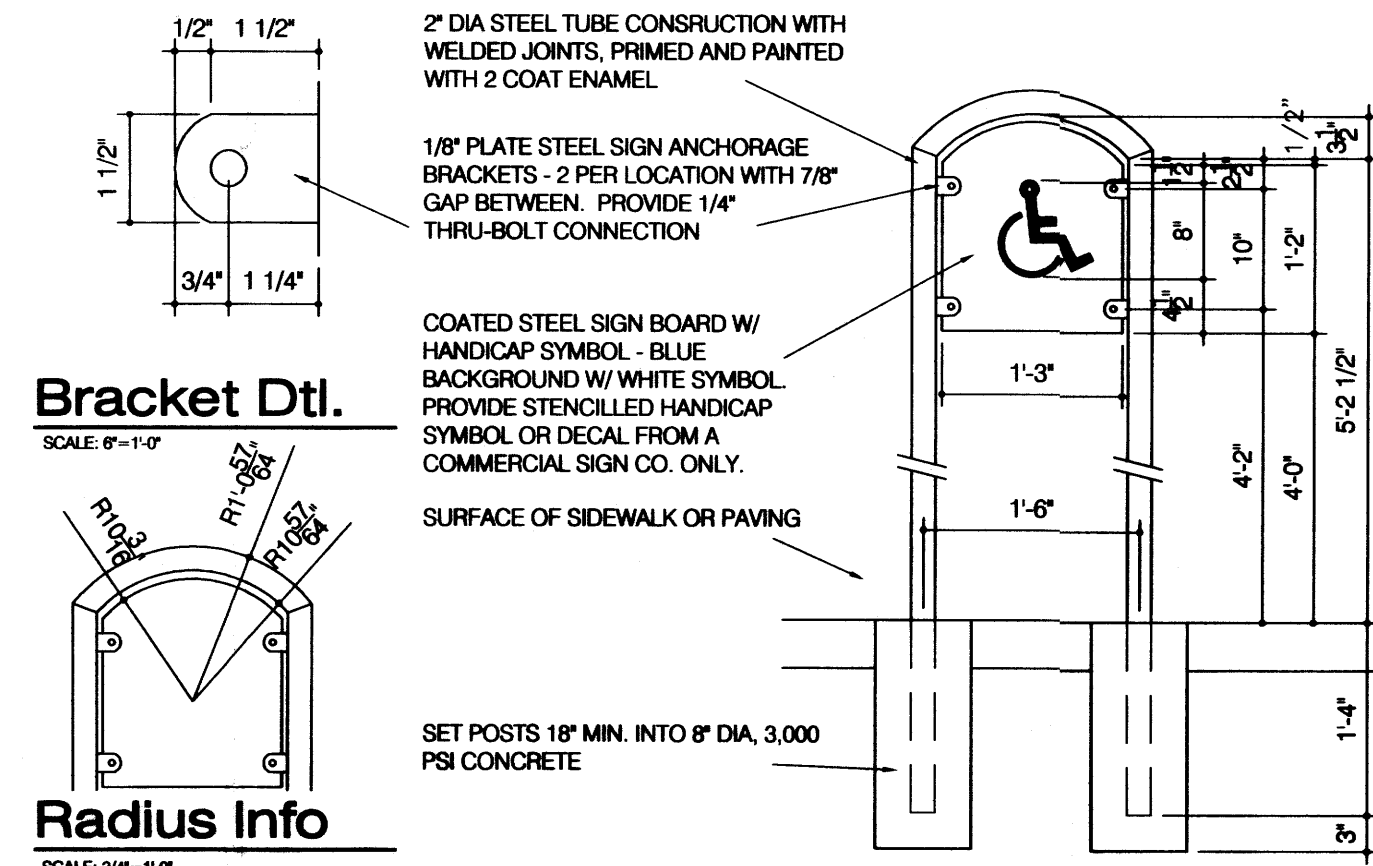
13 ROLL CURB DETAIL

SCALE: 1/2"=1'-0"



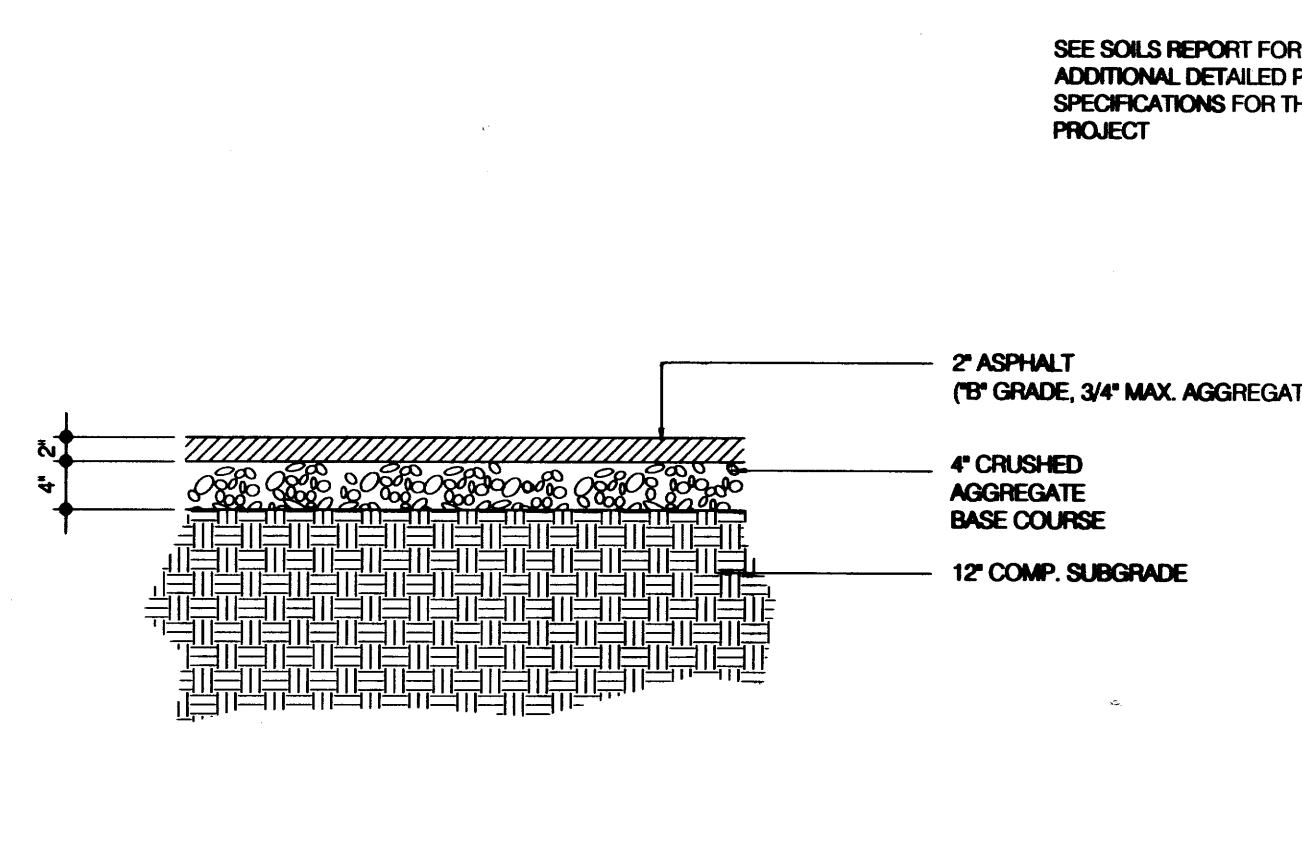
9 DUMPSTER ENCLOSURE-CONC

SCALE: 1/4"=1'-0"



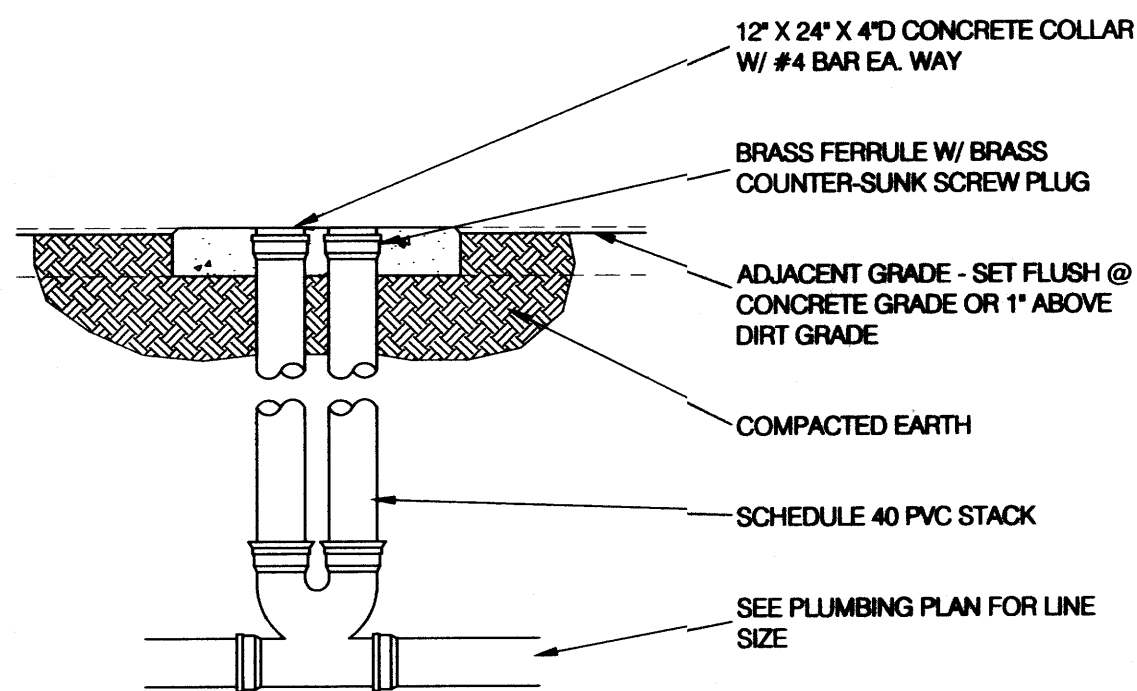
5 HANDICAP PARKING SIGN DETAIL

SCALE: 3/4"=1'-0"



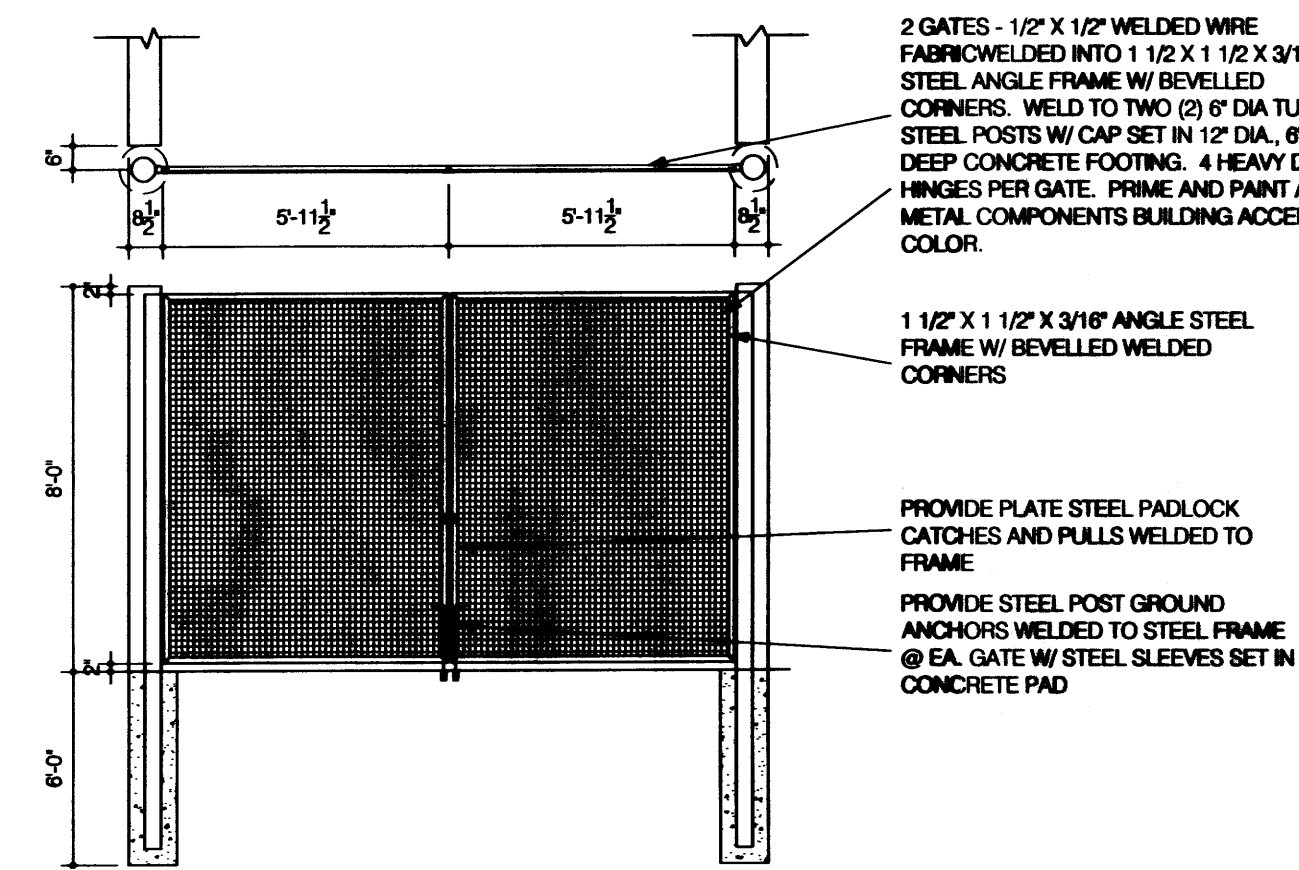
1 ASPHALT PAVING - MEDIUM

SCALE: 3/4"=1'-0"



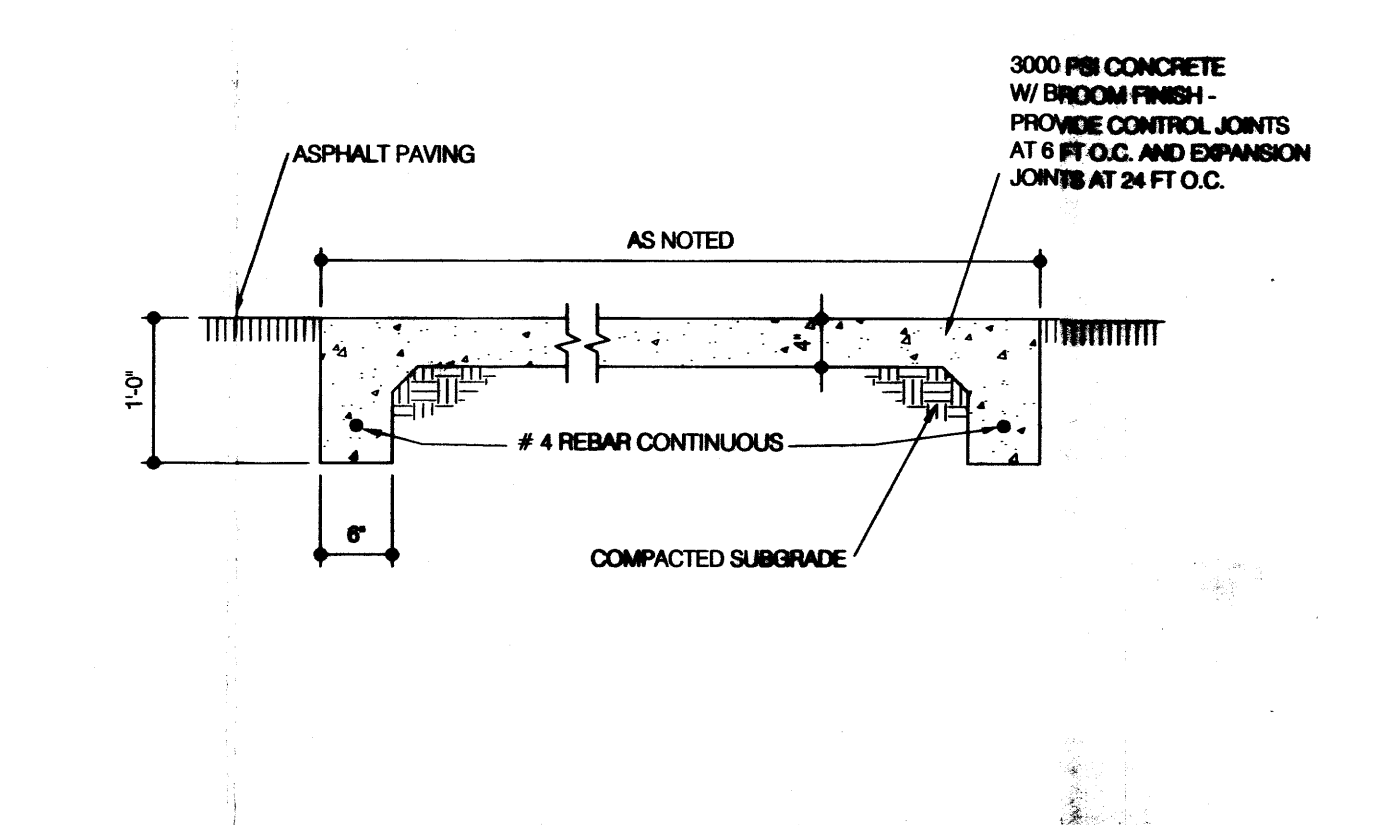
14 DOUBLE CLEANOUT DETAIL

SCALE: 3/4"=1'-0"



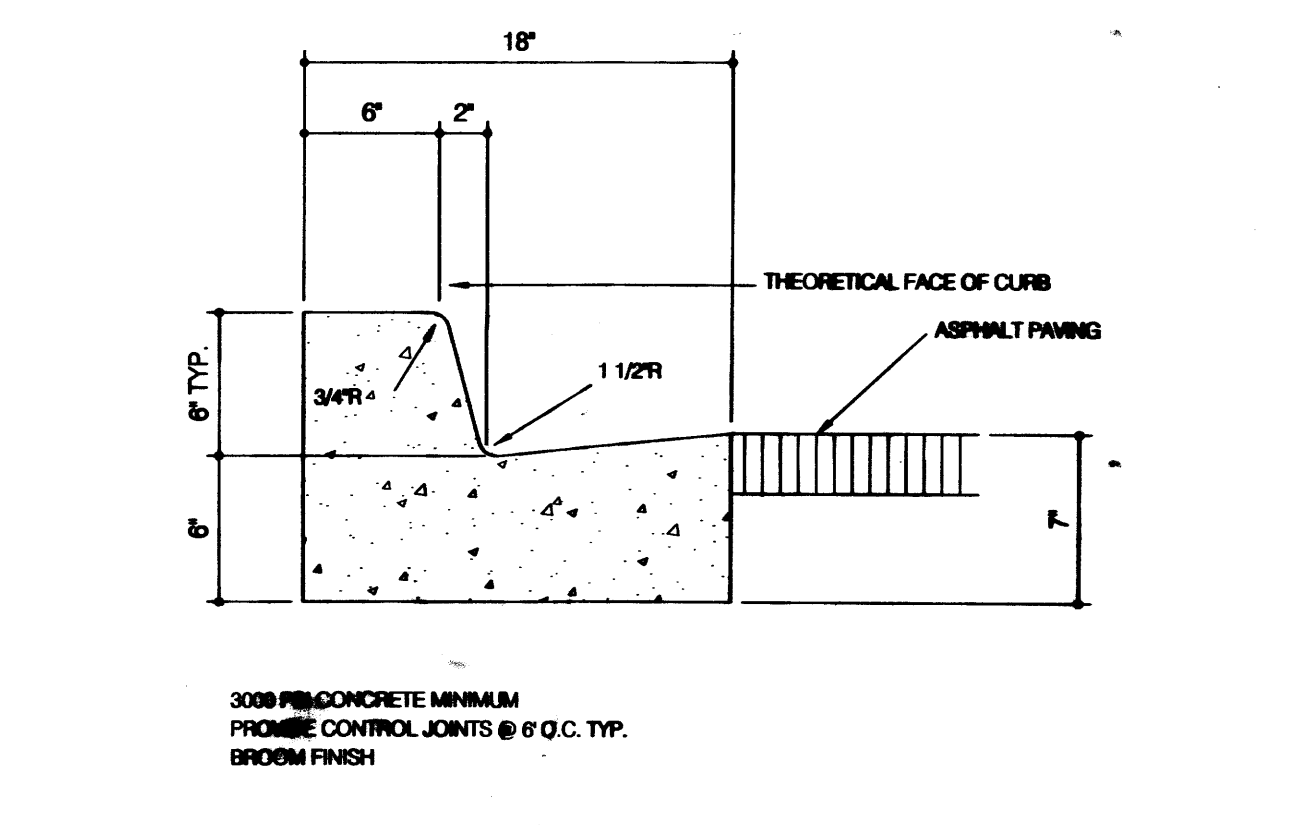
10 DUMPSTER ENCLOSURE GATE

SCALE: 1/4"=1'-0"



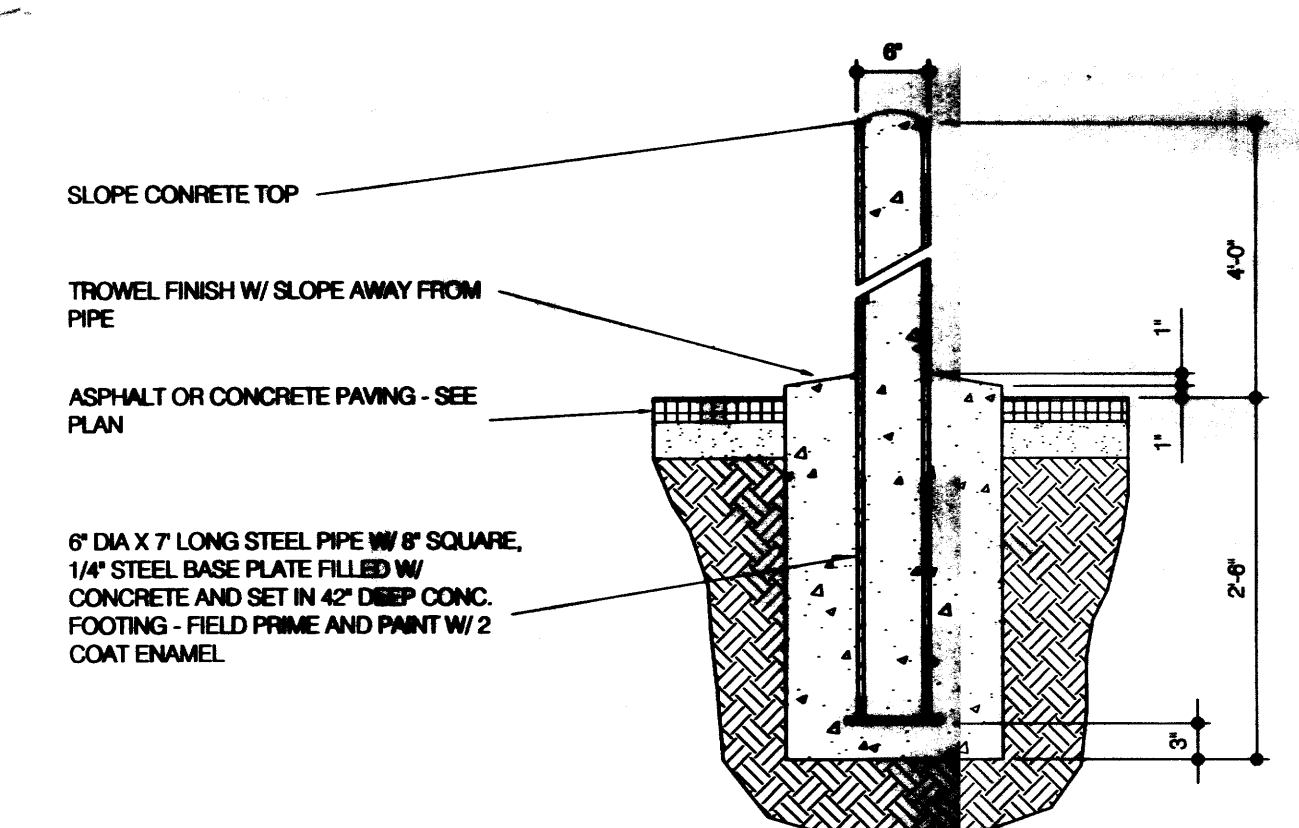
6 CROSSWALK SECTION

SCALE: 3/4"=1'-0"



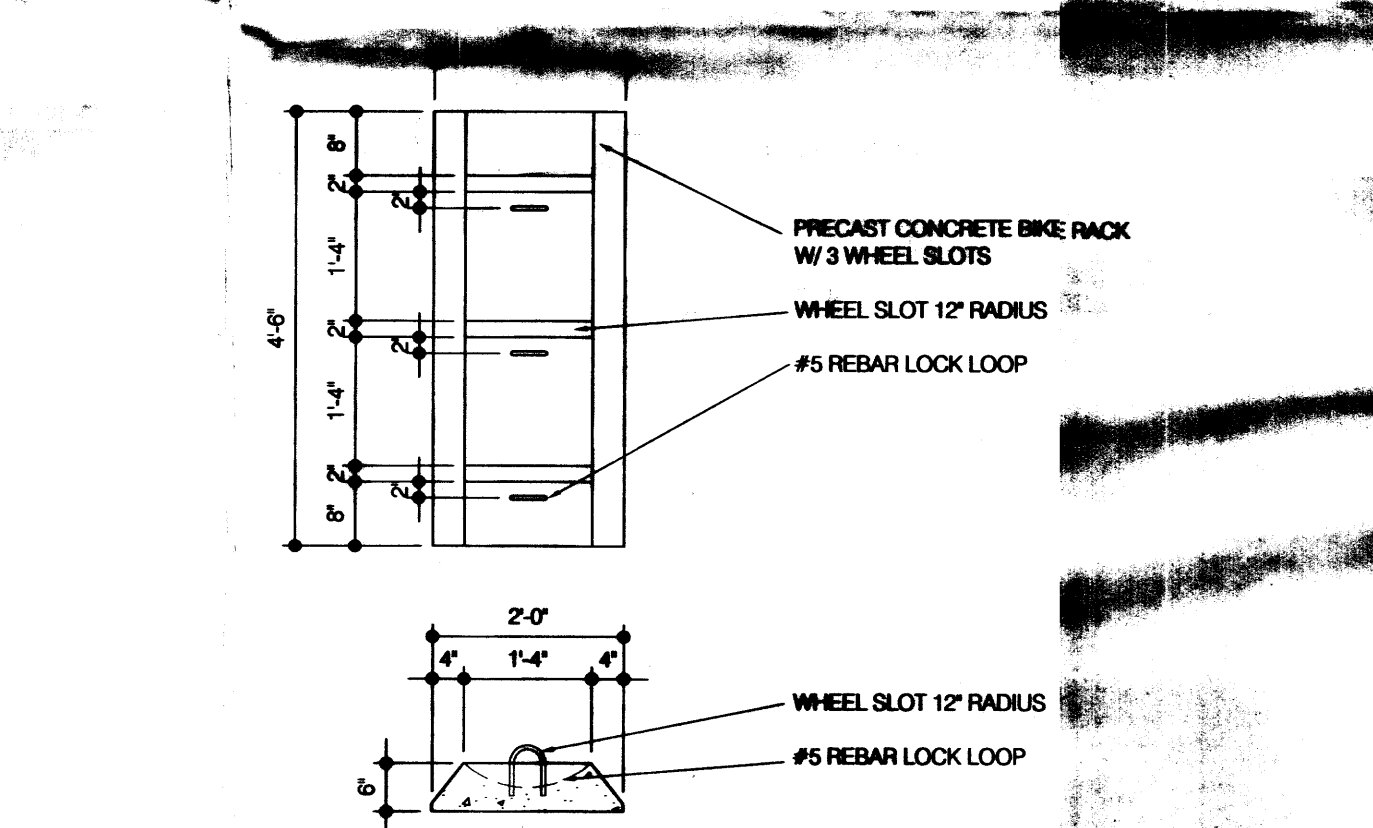
2 CURB & GUTTER SECTION

SCALE: 1 1/2"=1'-0"



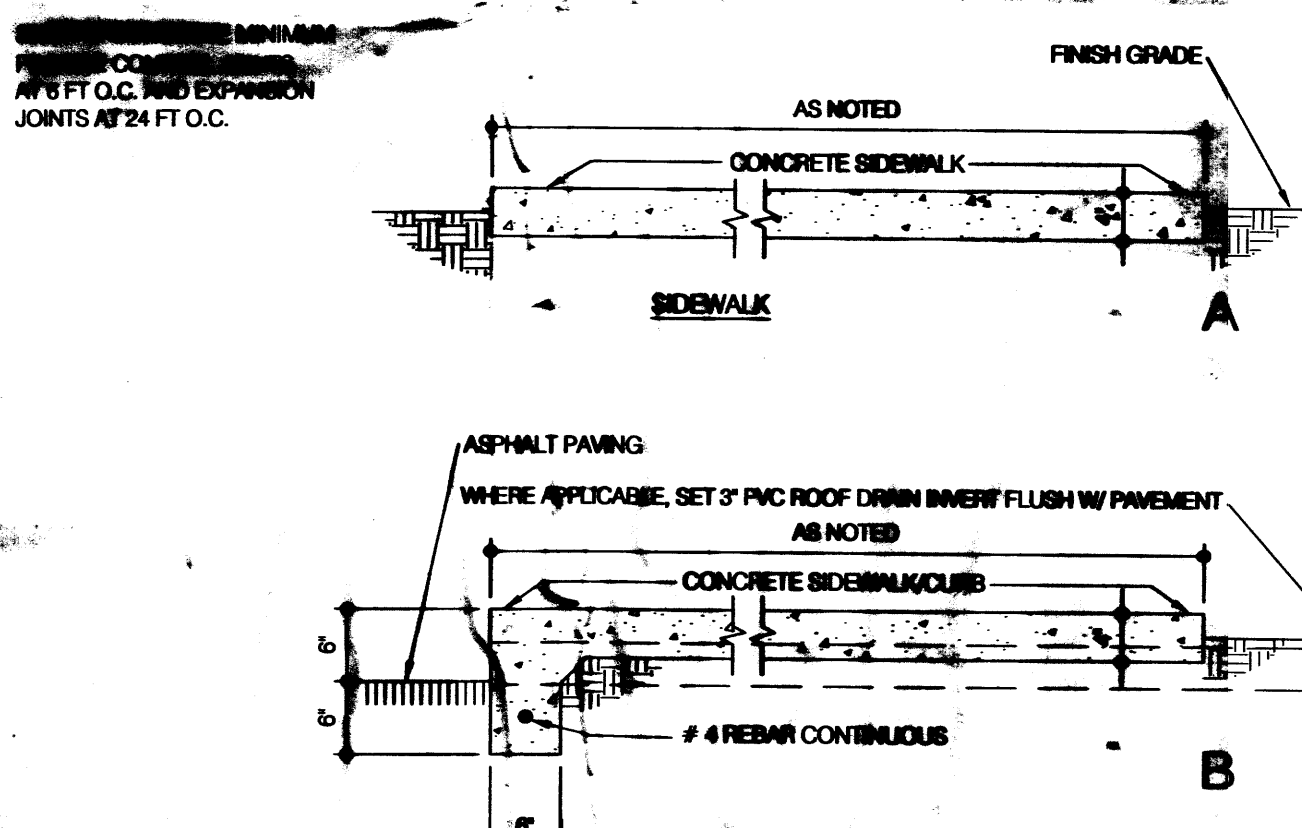
11 BOLLARD DETAIL

SCALE: 3/4"=1'-0"



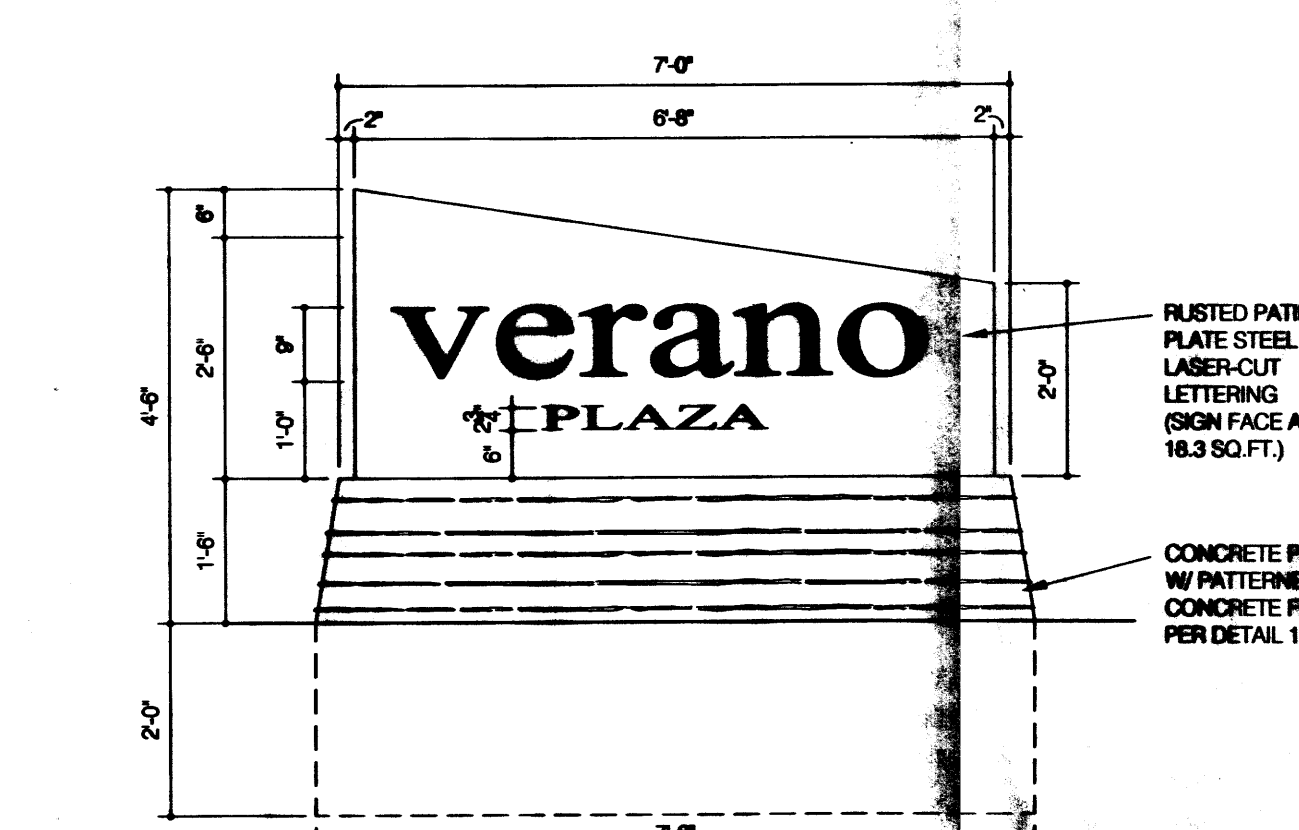
7 BIKE RACK DETAIL - 3 STALL CONC

SCALE: 1/2"=1'-0"



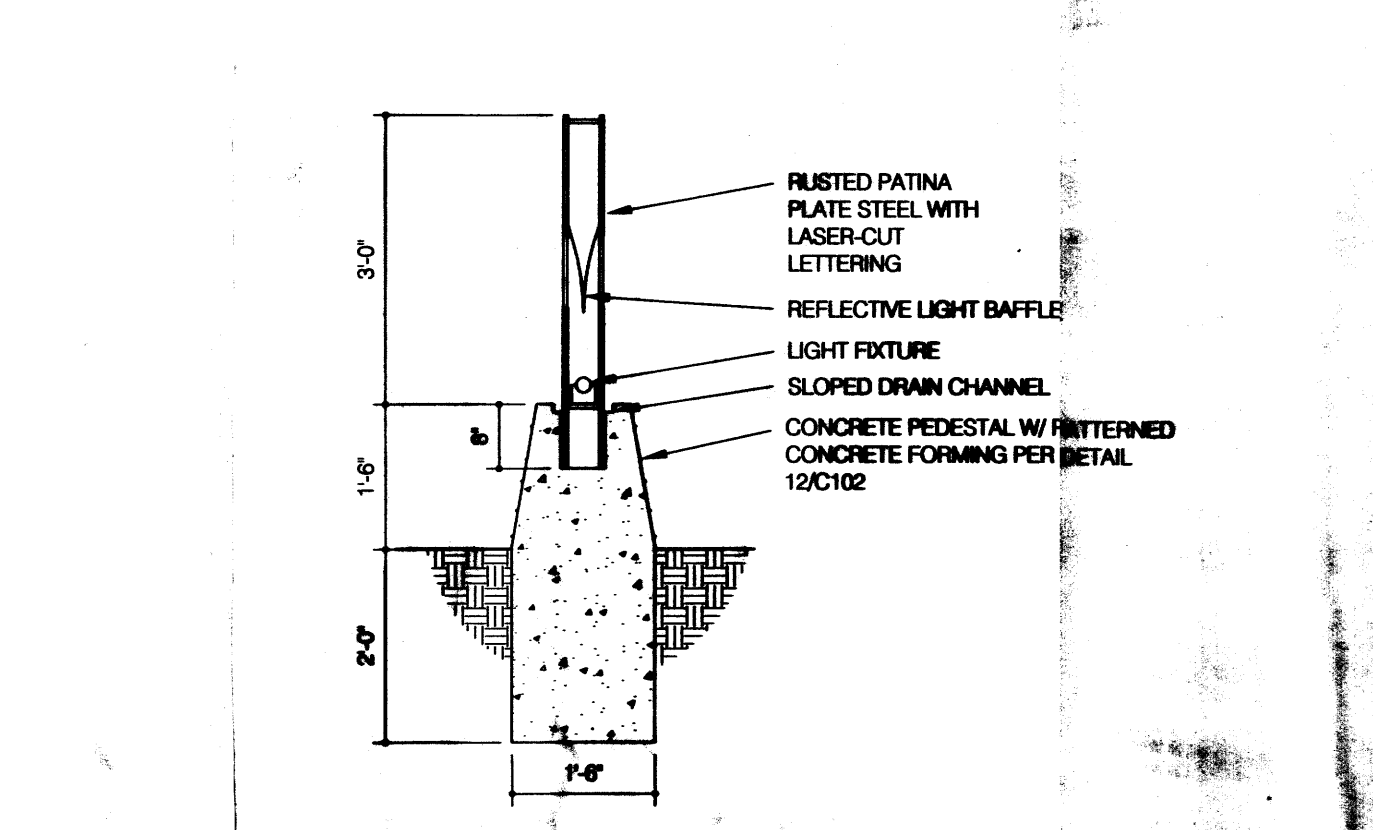
3 SIDEWALK SECTION

SCALE: 3/4"=1'-0"



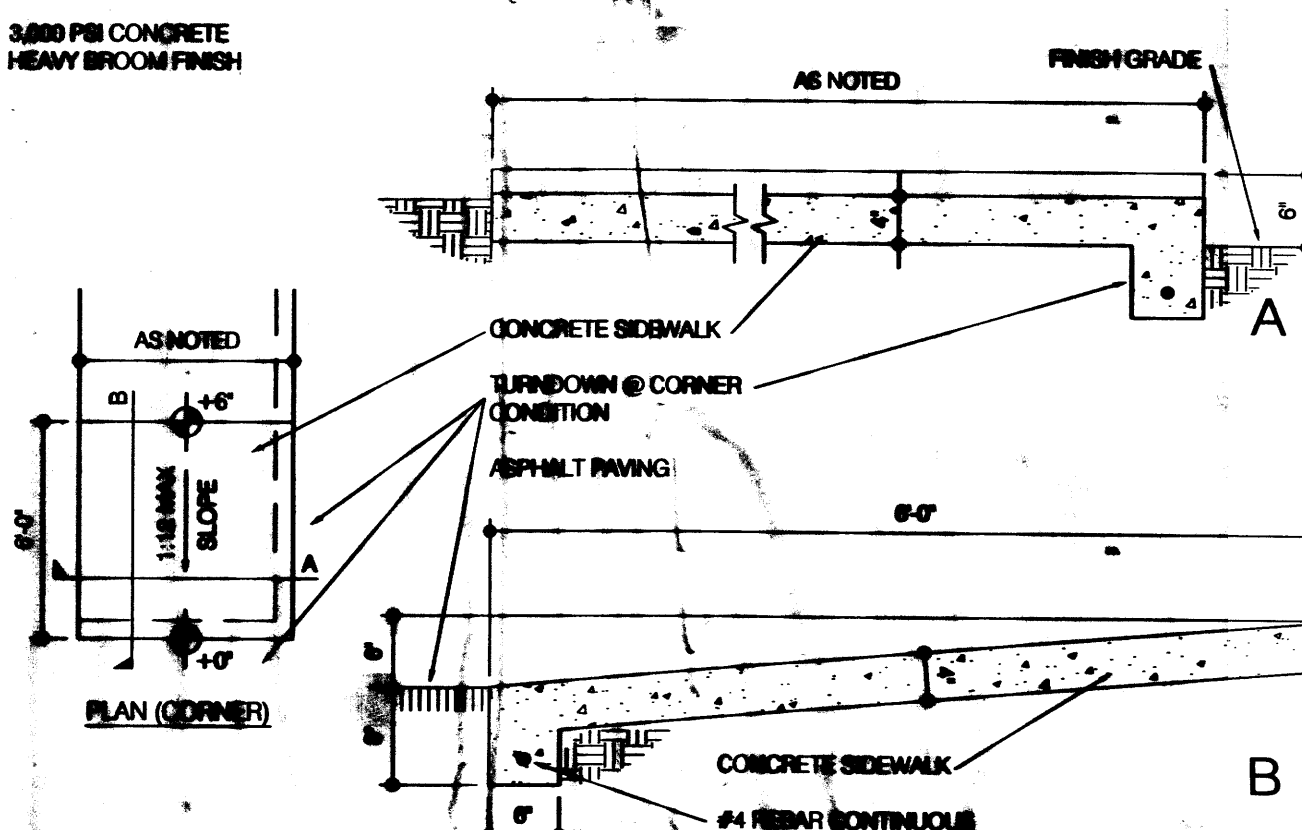
12 MONUMENT SIGN ELEVATION

SCALE: 1/2"=1'-0"



8 MONUMENT SIGN SECTION

SCALE: 1/2"=1'-0"



15 SIDEWALK RAMP SECTION

SCALE: 3/4"=1'-0"

INSITE WORKS

ADDRESS: 87 ROCK POINT PLACE NE
ALBUQUERQUE, NM 87122

TELEPHONE: (505) 888-8100
FAX: (505) 888-1000
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KS email: tsd@insiteworks.com

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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

REVISIONS

JAN 2 2004

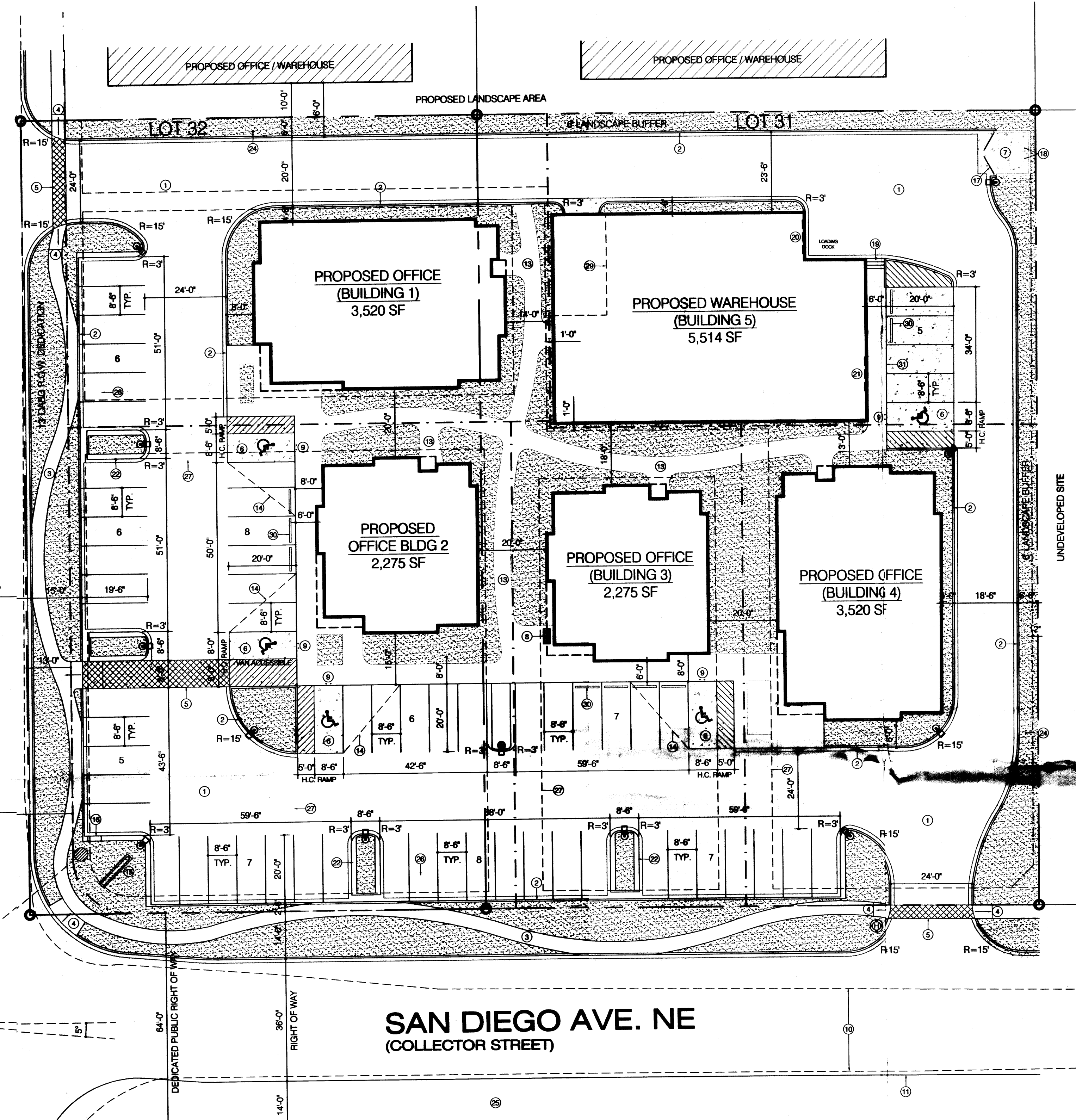
HYDROLOGY SECTION

verano PLAZA

DATE ISSUED: 1/22/04
EDITION: 000 QUANTITIES/ BUILDING PERMIT
PROJECT ID: VERANO PLAZA
CONSULTANT: INSITEWORKS

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A-201 BUILDING ELEVATIONS
REPLAT DRAFT REPLAT

SAN MATEO DR. NE
(COLLECTOR STREET)



SITE PLAN
SCALE: 1"=20'
GRAPHIC SCALE

- GENERAL NOTES**
- [C1.1] ALL STANDARD PARKING SPACES SHALL BE 8'-6" W X 20'-0" D
 - [C1.2] ALL HANDICAP PARKING SPACES SHALL BE 8'-0" W X 20'-0" D WITH ADJACENT 5' W STRIPED ACCESSIBLE (1 VAN ACCESSIBLE SPACE PER PROPERTY SHALL HAVE AN 8' WIDE ACCESSIBLE). ALL SPACES SHALL HAVE POLE SIGN AND HANDICAP SYMBOL PAVEMENT MARKINGS.
 - [C1.3] ALL PARKING SPACES, HANDICAP SYMBOLS AND CROSS HATCHED ACCESS ASLES SHALL BE MARKED ON PAVEMENT WITH WHITE ALYD STRIPES PAINT, TYP.
 - [C1.5] ALL ASPHALT AREAS ARE CROSS ACCESS / PARKING EASEMENTS
 - [C1.8] ALL CONCRETE WALKS ARE CROSS ACCESS UTILITY EASEMENTS
- KEYED NOTES**
- [1] ASPHALT PAVED SURFACE - SEE DETAIL 1/AS-102
 - [2] CONCRETE CURB & GUTTER - SEE DETAILS 2/AS-102 - SEE GRADING PLAN FOR SPECIFIC CURB TYPE LOCATIONS
 - [3] CONCRETE SIDEWALK - SEE DETAIL 3/AS-102 - TYPICAL SIDEWALK WIDTH SHALL BE 4'-0" UNLESS NOTED OTHERWISE.
 - [4] SIDEWALK RAMP - SEE DETAIL 4/AS-102
 - [5] CONCRETE PEDESTRIAN CROSSWALK - SEE DETAIL 6/AS-102
 - [6] CONCRETE ACCESS RAMP - SEE DETAIL 6/AS-102
 - [7] CAST IN PLACE 7" TALL CONCRETE DUMPSTER ENCLOSURE W/ GATES - SEE DETAIL 6/AS-102
 - [8] PRECAST CONCRETE BIKE RACK - SEE DETAIL 7/AS-102
 - [9] HANDICAP PARKING SPACE SIGN - ONE SIGN PER HANDICAP PARKING SPACE, TYP. - SEE DETAIL 8/AS-102
 - [10] EXISTING PARKING SECTION @ SAN DIEGO
 - [11] NEW (FUTURE) EDGE OF ASPHALT @ SOUTH SIDE SAN DIEGO RIGHT-OF-WAY
 - [12] 5% EQUIV. ALLOWABLE ALIGNMENT VARIATION FROM CENTERLINE
 - [13] INTERIOR SIDEWALK TO BE COLORED CONCRETE W/ ROCK SALT FINISH
 - [14] ASPHALT TAPER FROM HANDICAPPED STALL TO STANDARD STALL
 - [15] COLORED CONCRETE MONUMENT SIGN WITH INDIVIDUALLY RAISED LETTERS - SEE DETAIL 9 & 10/AS-102
 - [16] STORM DRAIN - SEE GRADING & DRAINAGE PLAN
 - [17] DUMPSTER ENCLOSURE - SEE DETAIL 12/AS-102
 - [18] BOLLARDS - 6" DIA CONCRETE FILLED STEEL PIPE
 - [19] CONCRETE STAIRS
 - [20] 30" A.F.F. OVERHEAD DOCK DOOR
 - [21] OVERHEAD DOOR @ GRADE
 - [22] 12" CONCRETE CURB ADJACENT TO PARKING STALL
 - [23] 6" TALL WROUGHT IRON FENCE, BLACK MATTE PAINT
 - [24] ONE-WAY TRAFFIC SIGN
 - [25] POTENTIAL FUTURE CARGO BAY LANE
 - [26] GENERAL UTILITY EASEMENT - SEE REPLAT
 - [27] WATER MAIN LINE EASEMENT - SEE REPLAT
 - [28] EXISTING STORM WATER INLET & 42" DRAIN PIPE - SEE GRADING & DRAINAGE PLAN
 - [29] 30" GRADE CHANGE @ WAREHOUSE
 - [30] CONCRETE PARKING BUMPER

LEGEND

- NEW 14' TALL POLE LIGHT W/ 250 WATT METAL HALIDE LAMPING (FULL CUT-OFF, SHOE BOX TYPE)
- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT - SEE SITE UTILITY PLAN
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE

LEGAL DESCRIPTION:
LOTS NUMBERED THIRTY-ONE (31) AND THIRTY-TWO (32), IN BLOCK NUMBERED FIVE (5), TRACT 'A', UNIT 'B', NORTH ALBUQUERQUE ACRES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1996, IN VOLUME D, FOLIO 130.

LEGAL NOTES:
LOT 31: CITY OF ALBUQUERQUE UPC NO. 101805502717130702
LOT 32: CITY OF ALBUQUERQUE UPC NO. 101805501117230701

SITE TOTALS
SITE AREA: 67,040 SF (1.54 ACRES)
LANDSCAPE AREA: 15,725 SF (23%)
(F.O.W. LANDSCAPING: 4,089 SF)
BUILDING AREA: 16,630 SF (25%)
PARKING SPACES REQUIRED: 55 + 3 HC SPACES + 1 VAN SPACE = 59
PARKING SPACES PROVIDED: 59 + 4 HC SPACES + 1 VAN SPACE = 64
BIKE RACK SPACES REQUIRED: 1 / 20 PARKING SPACES = 3
BIKE RACK SPACES PROVIDED: 3

BUILDING 1
USE: OFFICE/RETAIL
SITE AREA: 12,040 SF
GROSS BUILDING AREA: 3,520 SF (29%)
NET LEASABLE AREA: 3,300 SF
PARKING SPACES REQUIRED: 3,300 / 200 = 17
PARKING SPACES PROVIDED: 17 + 1 HC SPACE = 18

BUILDING 2
USE: OFFICE/RETAIL
SITE AREA: 18,941 SF
GROSS BUILDING AREA: 2,275 SF (12%)
NET LEASABLE AREA: 2,100 SF
PARKING SPACES REQUIRED: 2,100 / 200 = 11
PARKING SPACES PROVIDED: 11 + 1 HC SPACE = 12

BUILDING 3
USE: OFFICE/RETAIL
SITE AREA: 9,732 SF
GROSS BUILDING AREA: 2,275 SF (23%)
NET LEASABLE AREA: 2,100 SF
PARKING SPACES REQUIRED: 2,100 / 200 = 11
PARKING SPACES PROVIDED: 11 + 1 HC SPACE = 12

BUILDING 4
USE: OFFICE/RETAIL
SITE AREA: 12,559 SF
GROSS BUILDING AREA: 3,520 SF (28%)
NET LEASABLE AREA: 3,300 SF
PARKING SPACES REQUIRED: 3,300 / 200 = 17
PARKING SPACES PROVIDED: 17 + 1 HC SPACE = 18

BUILDING 5
USE: WAREHOUSE
SITE AREA: 13,322 SF
GROSS BUILDING AREA: 5,040 SF (38%)
NET LEASABLE AREA: 4,700 SF
PARKING SPACES REQUIRED: 4,700 / 2,000 = 3
PARKING SPACES PROVIDED: 4 + 1 HC SPACE = 5

INSITE WORKS

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ALBUQUERQUE, NM 87122
TELEPHONE: (505) 858-0100
FAX: (505) 858-1000
WEBSITE: www.insiteworks.com
KS email: kslg@insiteworks.com

SDBP
PREPARED BY
APPROVED BY DRB
01/22/04

**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, WHEN SET OF APPROVED DRP PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITH IN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS & RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRIVE/ENVIRONMENTAL PLANNING DEPARTMENT	DATE

*Environmental Health, if necessary

REGISTERS
JAN 22 2004
HYDROLOGY SECTION

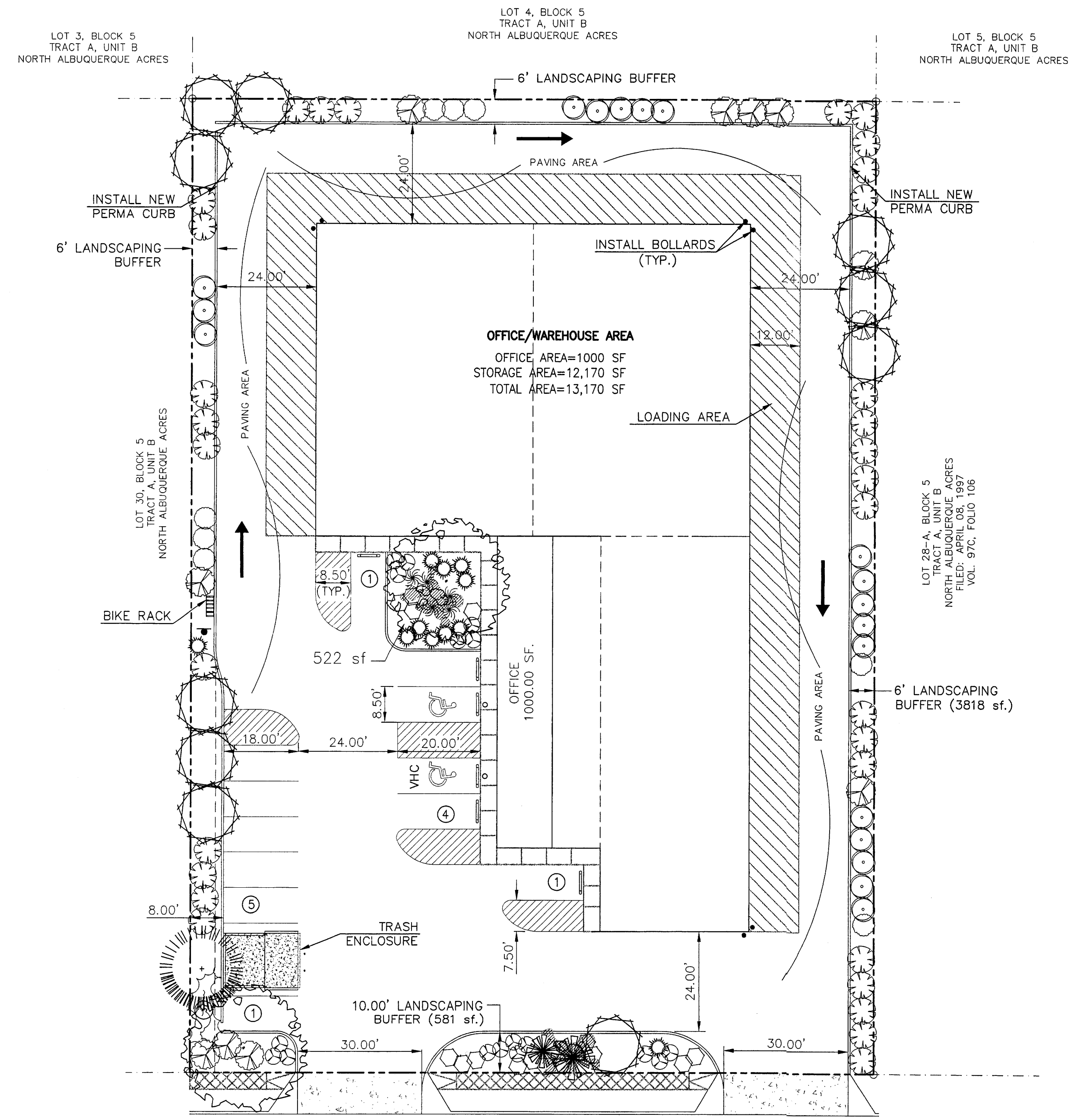
verano PLAZA

DATE ISSUED: 1/22/04
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REPLAT DRAFT REPLAT

GRAPHIC SCALE IN FEET
Zero Allow Page
B-18-Z

AS-101



SAN DIEGO, NE
64' R.O.W.

PLANT LEGEND

- ASH (H) OR HONEY LOCUST (H) 2
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Gal.
- AUSTRIAN PINE (H) 1
Pinus nigra
6"-8"
- DESERT WILLOW (L) 10
Chilopsis linearis
15 Gal.
- PALM YUCCA (L) 2
- APACHE PLUME (L) 8
Fallugia parryoxa
5 Gal.
- LANAX/ SCOTCH BROOM (M) 11
Cytisus scoparius/
Genista hispanica
5 Gal.
- MAIDENGRASS (M) 5
Miscanthus sinensis
5 Gal. 16sf
- RUSSIAN SAGE (M) 18
Perovskia atriplicifolia
5 Gal.
- AUTUMN SAGE (M) 14
Salvia greggii
2 Gal. 9sf
- HONEYSUCKLE (M) 11
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover
- CHAMISA (L) 31
Chrysothamnus nauseosus
1 Gal. 25sf
- WILDFLOWER 17
1 Gal. 4sf
- TAM JUNIPER (M) 3
Juniperus sabinia
5 Gal. 225sf
- OVERSIZED GRAVEL
& 6 BOULDERS
- SANTA FE BROWN GRAVEL
WITH FILTER FABRIC

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

SFB Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

LANDSCAPE CALCULATIONS

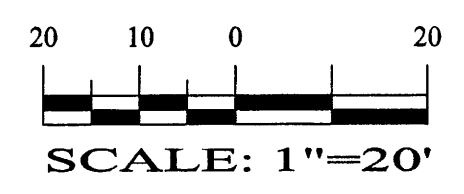
NET LANDSCAPE AREA	
TOTAL LOT AREA	38,650 square feet
TOTAL BUILDINGS AREA	13,170 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	25,480 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	3,822 square feet
TOTAL LANDSCAPE PROVIDED	4,921 square feet
TOTAL BED PROVIDED	4,921 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

The Hilltop

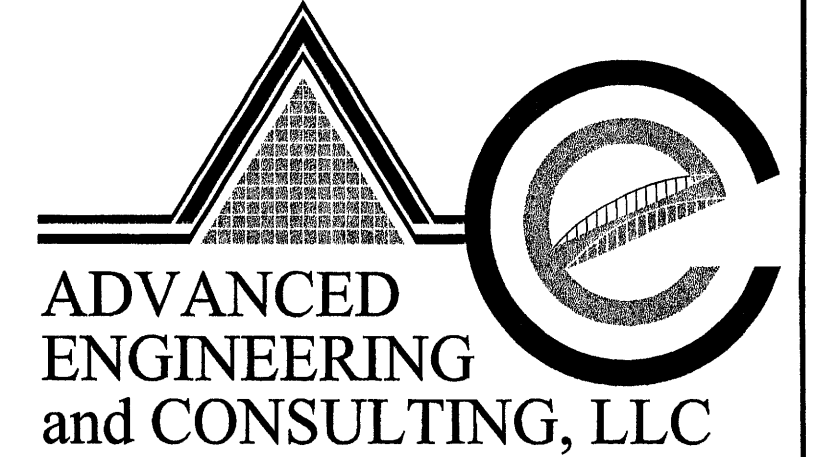
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com



GRAPHIC SCALE



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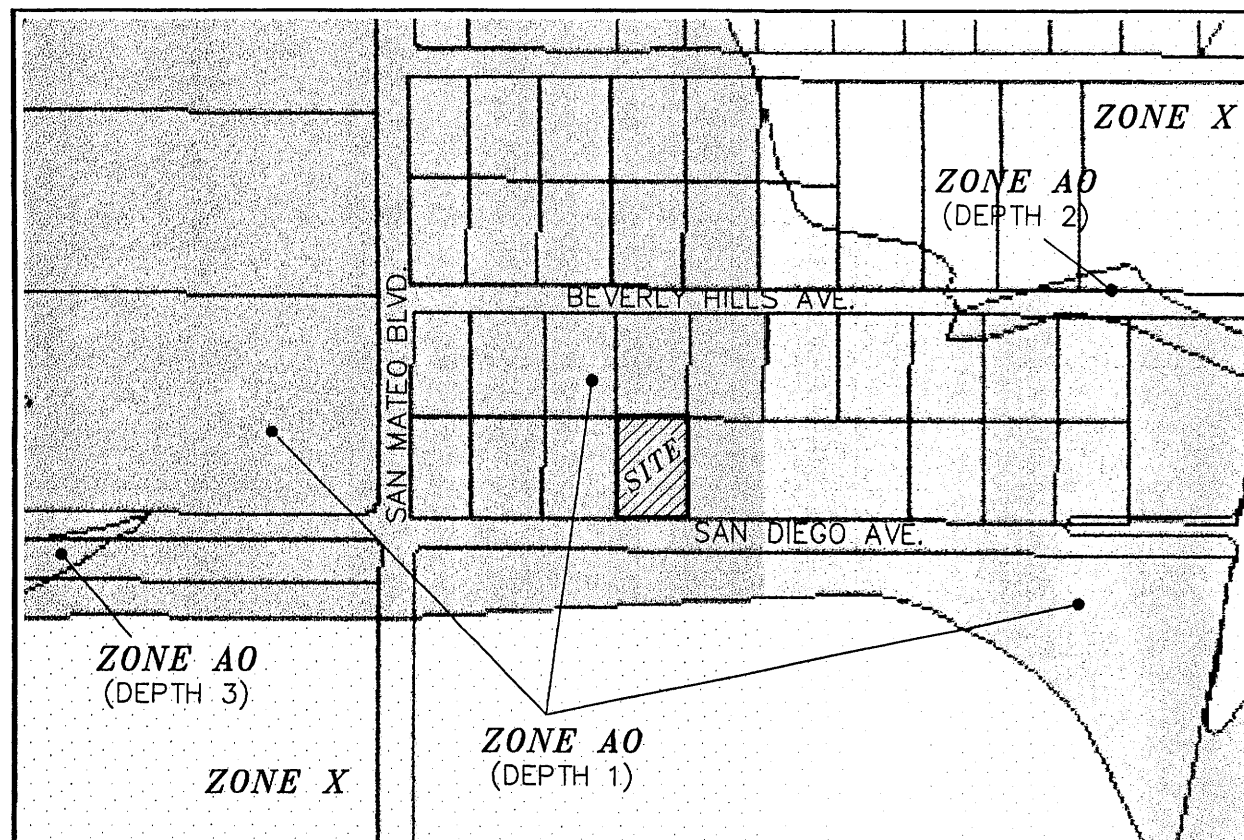
ADVANCED
ENGINEERING
and CONSULTING, LLC

10205 SNOWFLAKE CT. NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

LOT 29, BLOCK 5, TRACT A, UNIT B, NAA
LANDSCAPING PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200121-LS.DWG	CMD	01-28-03	2 OF 4

LAST REVISION: -



FIRM MAP: 35001C0129 D

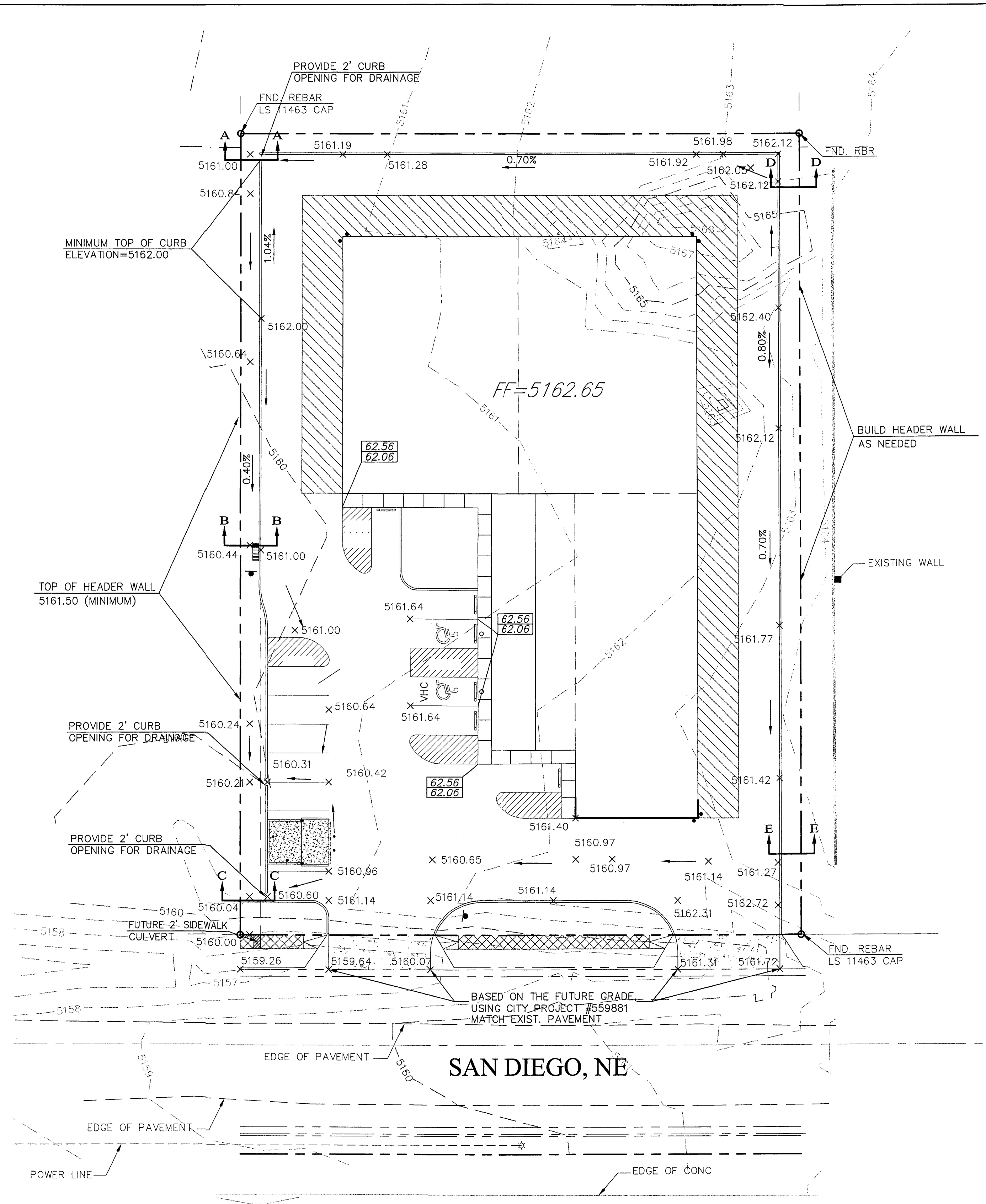
EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

ROUGH GRADING APPROVAL _____ DATE _____

GENERAL NOTES:

- 1: SLOPES ARE AT 4:1 MAXIMUM.
- 2: CONTOUR INTERVAL IS ONE (1) FOOT.
- 3: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5134.29 FEET ABOVE SEA LEVEL.
- 4: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 5: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.

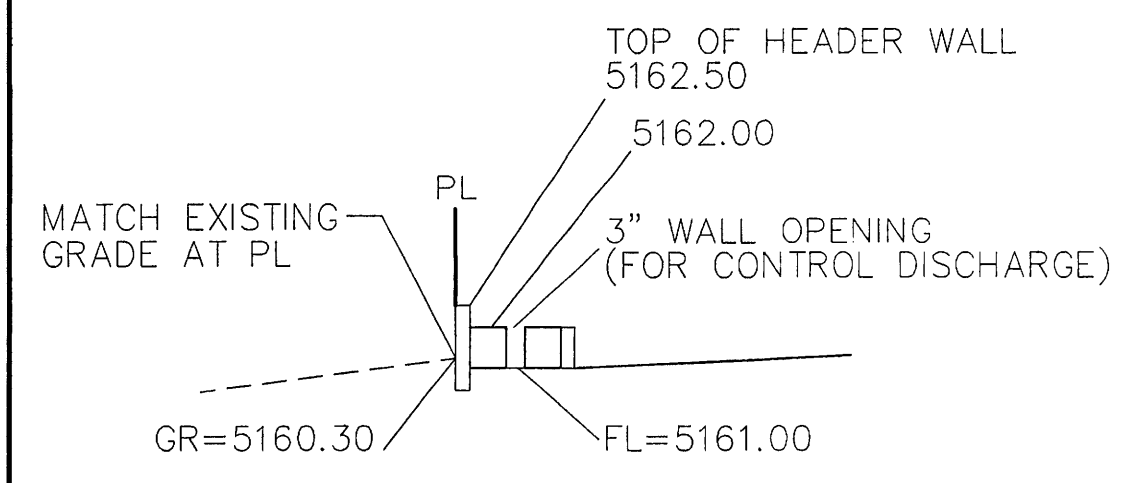
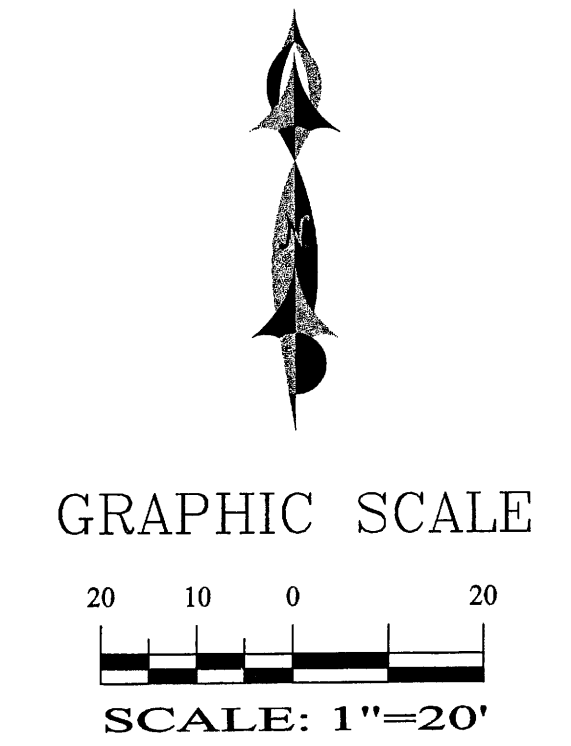


VICINITY MAP: B-18-Z

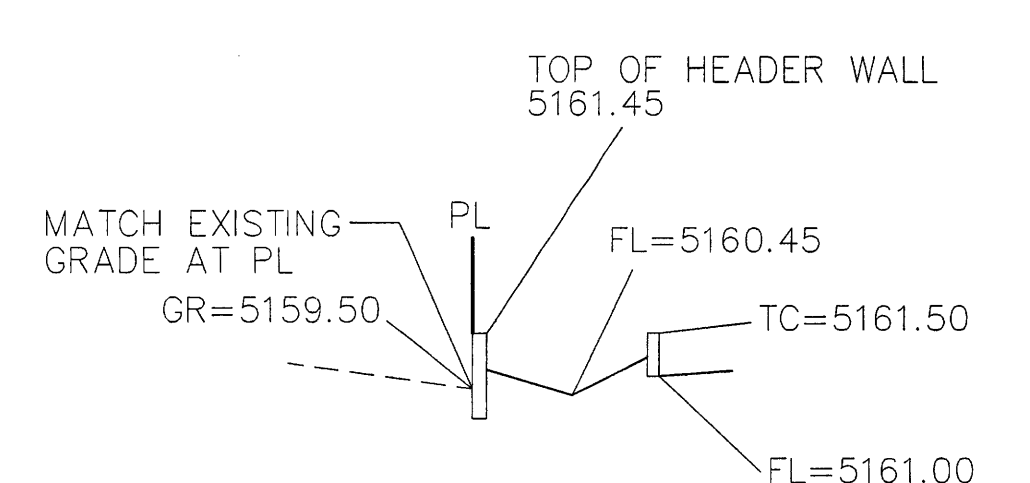
LEGAL DESCRIPTION:
 LOT 29, BLOCK 5, TRACT A, UNIT B, NAA, CONTAINING 0.8873 ACRE.
 ZONING: IP

LEGEND

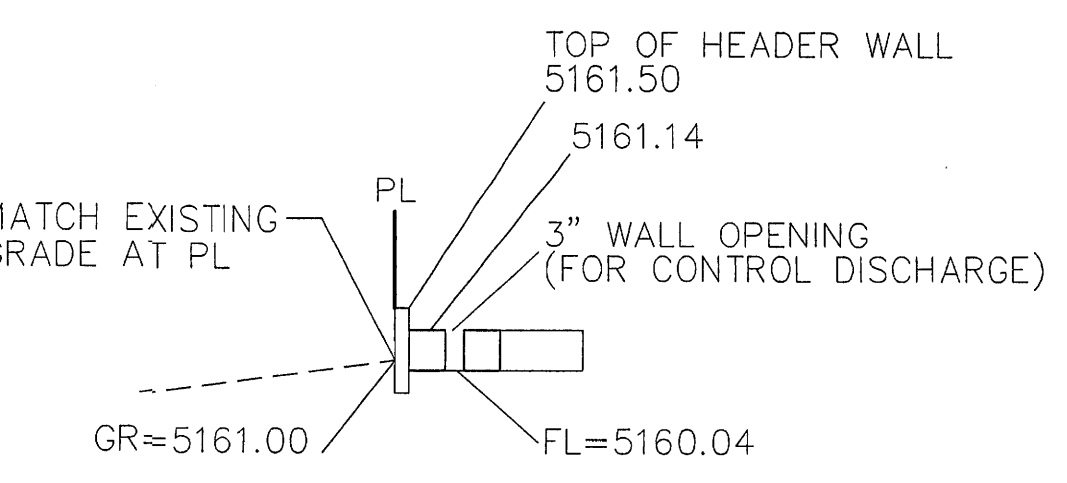
- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EX- 8" SAS --- EXISTING SANITARY SEWER LINE
- EX- 16" WL --- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- 5100 --- EXISTING CONTOUR (MAJOR)
- 5102 --- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- TC → 70.99 PROPOSED GRADE
- FL → 70.40 PROPOSED GRADE
- X 5162.31 PROPOSED SPOT ELEVATION
- * 5265.16 EXISTING GRADE
- EXISTING POWER LINES



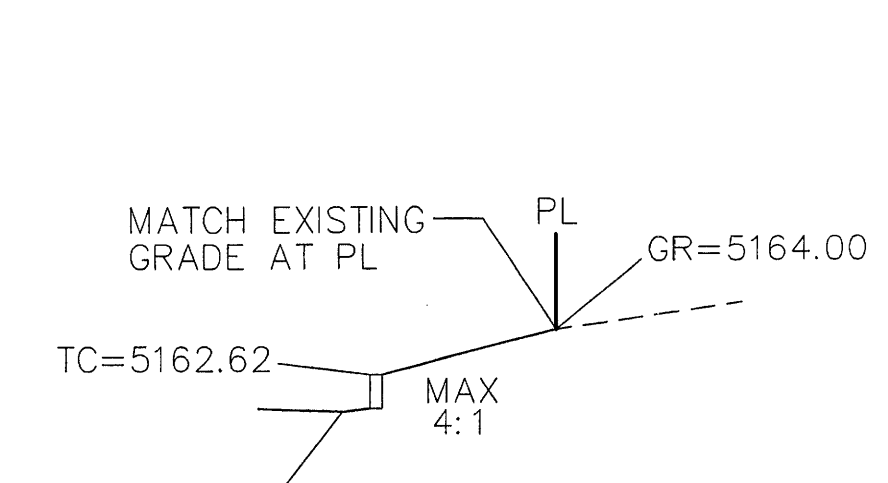
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NTS.



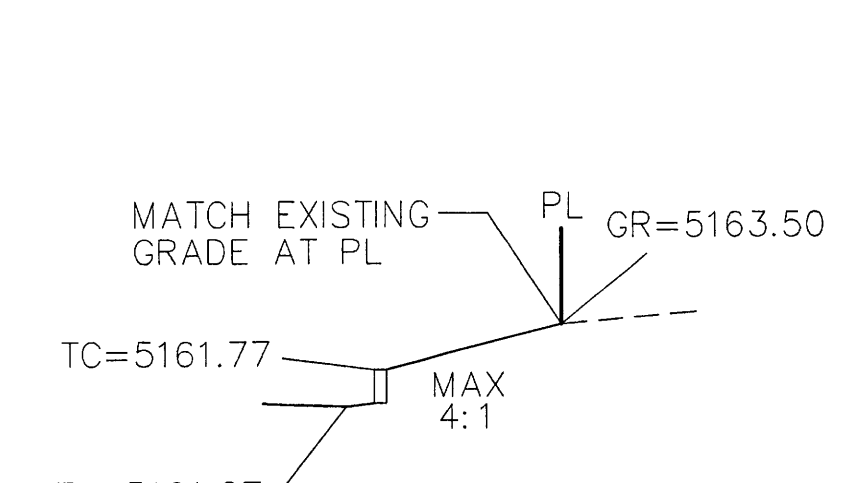
SECTION "B-B"
NTS.



SECTION "C-C"
NTS.



SECTION "D-D"
NTS.



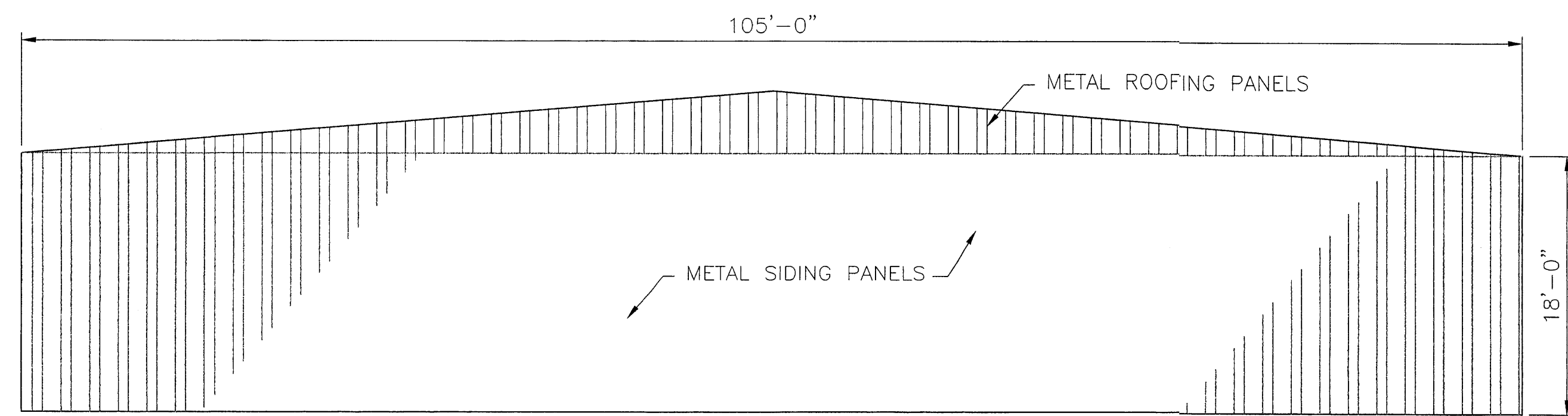
SECTION "E-E"
NTS.

ADVANCED ENGINEERING and CONSULTING, LLC
 10205 SNOWLAKE CT., NW
 ALBUQUERQUE, NEW MEXICO 87114
 (505)899-5570

LOT 29, BLOCK 5, TRACT A, UNIT B, NAA GRADING AND DRAINAGE PLAN

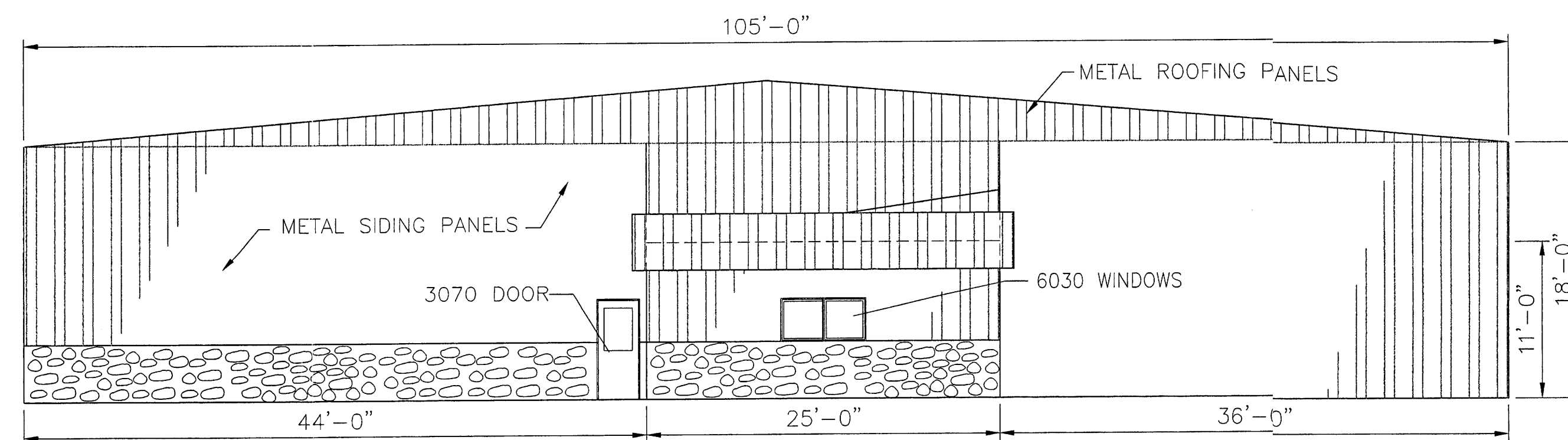
DRAWING: 200121-GR.DWG	DRAWN BY: SBB	DATE: 02-05-2003	SHEET # 3 OF 4
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LAST REVISION: 02-05-2003



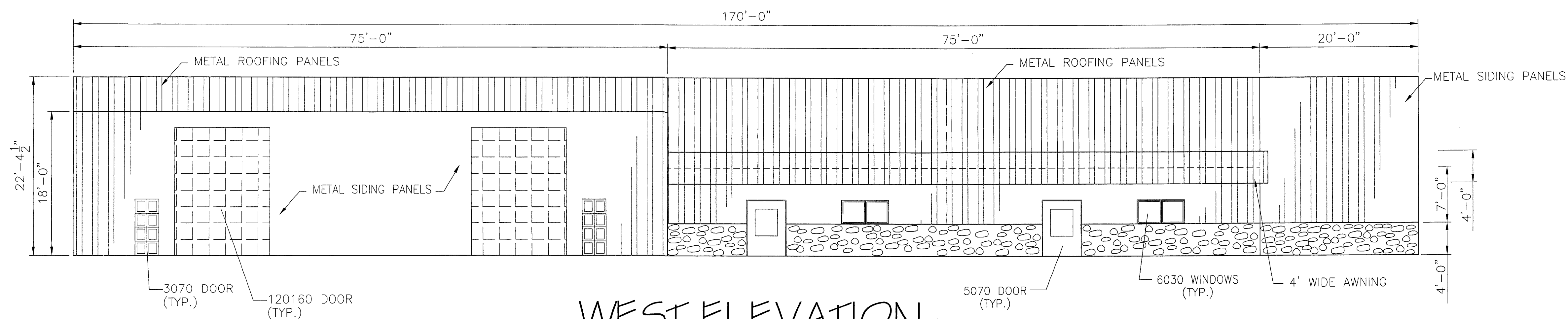
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

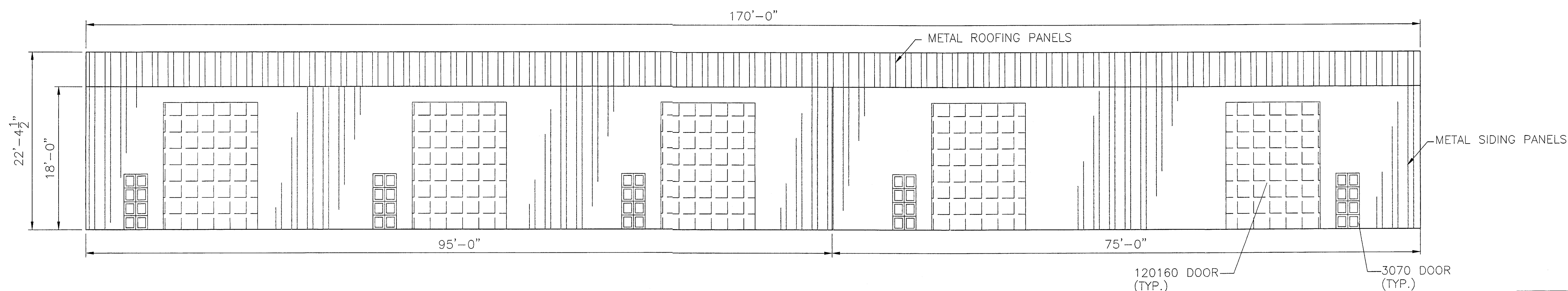
SCALE: 1/8" = 1'-0"



WEST ELEVATION

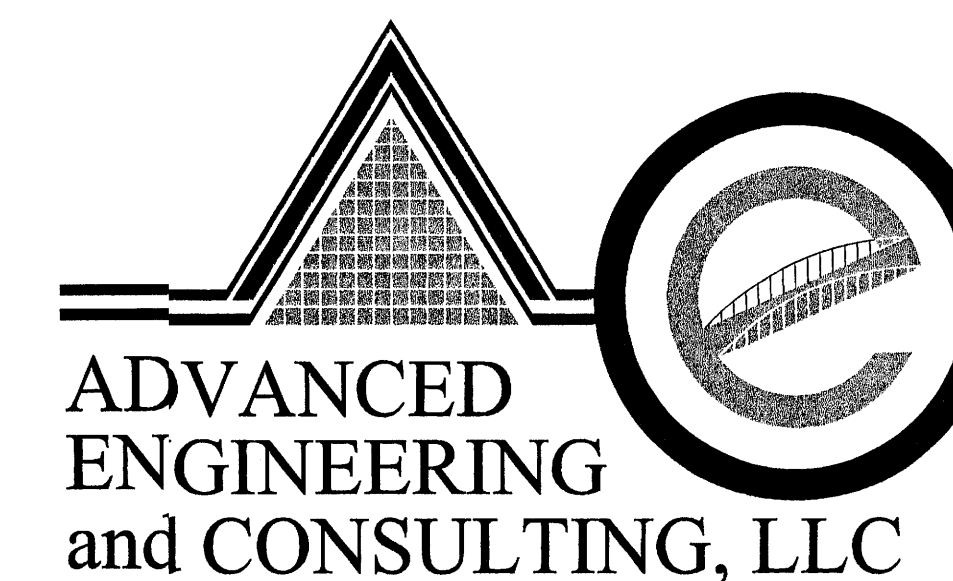
SCALE: 1/8" = 1'-0"

EXTERIOR COLOR SCHEDULE:	
DOOR & WINDOW FRAMES ALUMINUM	BRONZE
METAL SIDING PANELS	SURREY BEIGE
METAL ROOFING PANELS	IVORY
4' STONE FACE BLOCK	NATURAL COLOR
4' WIDE AWNING	EVERGREEN



EAST ELEVATION

SCALE: 1/8" = 1'-0"



10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

**LOT 29, BLOCK 5, TRACT A, UNIT B, NAA
ELEVATION PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200121-ELEV.DWG	SHH	02-18-03	4 OF 4

LAST REVISION: 02-18-03