



# DRB CASE ACTION LOG

(PRELIMINARY & FINAL)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00775  
Project Name: NETHERWOOD PARK  
Agent: Southwest Surveys LTD

Project # 1003183  
Phone No.: 505-998-0303

Your request for ~~(SDP for SUB), (SDP for BR), (FINAL PLATS), (MASTER DEVELOP. PLAN)~~, was approved on 5/26/04 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Planning must record this plat. Please submit the following items:**

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.

- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required. *OK*
- Copy of recorded plat for Planning.

Project Number

**1003183**



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

June 2, 2004

9:00 A.M.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

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**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE: 1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M.      Adjourned:  
B. Changes and/or Additions to the Agenda  
C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1002739**  
04DRB-00641 Major-Preliminary Plat Approval  
04DRB-00648 Minor-Temp Defer SDWK  
04DRB-00647 Minor-Subd Design (DPM) Variance  
04DRB-00646 Minor-Sidewalk Waiver  
04DRB-00642 Major-Vacation of Pub Right-of-Way  
04DRB-00645 Major-Vacation of Public Easements  

MARK GOODWIN & ASSOCIATES PA agent(s) for ANDERSON HEIGHTS LLC request(s) the above action(s) for all or a portion of Block(s) PARA & 2D, Tract(s) B-1 LANDS OF RIO BRAVO PARTNERS, ROSNER TRACTS, **ANDERSON HEIGHTS**, zoned R-D residential and related uses zone, developing area, located on 118TH STREET SW, between DENNIS CHAVEZ BLVD SW and GIBSON BLVD SW containing approximately 249 acre(s). [deferred from 5-19-04] [REF: 03DRB-00983, 04DRB-00179] (P-8) **DEFERRED AT AGENT'S REQUEST TO 6-9-04.**
  
2. **Project # 1003403**  
04DRB-00635 Minor-Temp Defer SDWK  
04DRB-00632 Major-Preliminary Plat Approval  
04DRB-00633 Major-Vacation of Public Easements  

ISAACSON & ARFMAN, P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Block(s) N/A, Tract(s) F, **THE TRAILS (TBKA 'THE RESERVE')**, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE BLVD NW, between RAINBOW BLVD. NW and UNIVERSE BLVD. NW containing approximately 18 acre(s). [deferred from 5-19-04] [REF: 1002962, 03DRB-01528 ] (C-9) **DEFERRED AT AGENT'S REQUEST TO 6-9-04.**

3. **Project # 1002796**  
04DRB-00667 Major-Vacation of  
Public Easements

TERRAMETRICS OF N. M. agent(s) for CITY OF ALBUQUERQUE, FIRE DEPT. request(s) the above action(s) for all or a portion of Lot(s) 8-11, **KAY ADDITION**, zoned SU-1 special use zone, for fire stationn/c, located on CHICO RD NE, between DALLAS ST. NE and CHARLESTON ST. NE containing approximately 1 acre(s). [REF: 04DRB-00326, 03DRB-02022 & 02024, 03EPC-01099 & 01100 ] (K-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

4. **Project # 1003468**  
04DRB-00816 Minor-SiteDev Plan  
BldPermit  
04DRB-00817 Minor-Prelim&Final Plat  
Approval

JLS ARCHITECTS, MC agent(s) for BMM INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) B, Block(s) 3, Tract(s) 25, 26, A, **NO. ALBQ. ACRES, UNIT B**, zoned IP industrial park zone, located on VENICE AVE NE, between SAN MATEO BLVD NE and 1-25 NE containing approximately 2 acre(s). [REF: NA ] (B-18) **DEFERRED AT AGENT'S REQUEST TO 6-9-04.**

5. **Project # 1000418**  
04DRB-00824 Minor-SiteDev Plan  
Subd

LPDJ ARCHITECTS, LLC/LELAND GRAY agent(s) for VICTORY LOVE FELLOWSHIP CHURCH request(s) the above action(s) for all or a portion of Tract(s) A-1 BERUMAN - J.G. LANDS OF, **VICTORY LOVE FELLOWSHIP CHURCH &**, zoned SU-1 FOR CHURCH & REL. FAC, located on CENTRAL AVE NW, between COORS BLVD NW and UNSER BLVD NW [REF: 00128-00459, 02EPC-01952, 03EPC 01471] K-10) **DEFERRED AT AGENT'S REQUEST TO 6-16-04.**

6. **Project # 1000575**  
04DRB-00813 Minor-SiteDev Plan  
BldPermit/EPC

DEKKER/PERICH/SABATINI agent(s) for PRESBYTERIAN HEALTHCARE SERVICES request(s) the above action(s) for all or a portion of Tract(s) 7-9, **PRESBYTERIAN HOSPITAL MAIN CAMPUS**, zoned SU-2/SU-1, located on LEAD AV E NE, between SPRUCE ST NE and SYCAMORE ST NE containing approximately 27 acre(s). [REF: DRB-02-500-00035, EPC-01128-01561 ] (K-15) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR EPC CASE PLANNER, CARMEN MARRONE'S INITIALS AND TRANSPORTATION FOR COMPACT SPACES TO BE LABELED AND RADII 15 FOOT MINIMUM.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

7. **Project # 1003430**  
04DRB-00721 Minor-Prelim&Final Plat  
Approval

ALDRICH LAND SURVEYING INC agent(s) for RONALD L. & JERI J. NASCI request(s) the above action(s) for all or a portion of Lot(s) 14A, Block(s) 03, **CRYSTAL RIDGE**, zoned R-LT, located on BARRETT AV E NW, between LOREN AVE. NW and LA CANADA DR. NW containing approximately 1 acre(s). [deferred from 5-19-04] [REF: DRB 97-298, DRB 98-410 ] (B-13) **DEFERRED AT AGENT'S REQUEST TO 6-16-04.**

8. **Project # 1002739**  
04DRB-00818 Minor-Subd Design  
(DPM) Variance

MARK GOODWIN & ASSOCIATES, PA agent(s) for ANDERSON HEIGHTS, LLC request(s) the above action(s) for all or a portion of Tract(s) 2-D INCLUDE: TR B-1, ROSNER TRACTS UPC# 100805446922740130 & PARCEL A, ANDERSON HEIGHTS UPC# 100805326344510142, LANDS OF RIO BRAVO PARTNERS, zoned R-D residential and related uses zone, developing area, located on 118TH ST SW, between DENNIS CHAVES BLVD SW and GIBSON BLVD SW containing approximately 249 acre(s). [REF: AX-29, Z-985, Z-986, DRB-95-440](N-8) DEFERRED AT AGENT'S REQUEST TO 6-9-04.

9. **Project # 1002800**  
04DRB-00783 Minor-Final Plat  
Approval

MARK GOODWIN & ASSOC. agent(s) for ALPHA EQUITIES, LLC request(s) the above action(s) for all or a portion of Lot(s) 10-23, Block(s) 12, Tract(s) 1 TBKA QUIVERA ESTATES SUBD., NORTH ALBUQUERQUE ACRES, UNIT 3, zoned R-D residential and related uses zone, developing area, 3 DU/AC, located on SO. OF GLENDALE AVE NE, between WYOMING BLVD. NE and BARSTOW ST. NE containing approximately 14 acre(s). [REF: 03-01990, 03DRB-01992, 03DRB-01127, 03DRB-02152] (B-19) THE FINAL PLAT WAS APPROVED AND SIGNED-OFF BY THE BOARD.

10. **Project # 1002821**  
04DRB-00822 Minor-Final Plat  
Approval

ADIL RIZVI agent(s) for ADIL RIZVI request(s) the above action(s) for all or a portion of Block(s) 14, Tract(s) 14,15,16 TRACT 3, UNIT 2, **NORTH ALBUQUERQUE ACRES, TALEA COURT**, zoned R-D residential and related uses zone, developing area, located on CORONADO AVE NE, between EUBANK BLVD NE and HOLBROOK ST NE containing approximately 3 acre(s). [REF: SD-89-1, AX-92-114, Z-89-114, 03DRB-01189, 03DRB-01191, 03DRB-01192 ] (D-21) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR AFD APPROVAL OF CUL-DE-SAC DIMENSIONS.**

11. **Project # 1002856**  
04DRB-00808 Major-Final Plat  
Approval

MARK GOODWIN & ASSOC PA agent(s) for ANDERSON HILLS, LLC request(s) the above action(s) for all or a portion of Tract(s) 3, **MEADOWS @ ANDERSON HILLS**, zoned R-LT residential zone, located on DENNIS CHAVEZ BLVD SW, between 98TH STREET SW and UNSER BLVD SW containing approximately 35 acre(s). [REF: AX-29, Z-985, Z-986, 03DRB-01194 ] (P-09) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR TRACT B SD/PUE CONFLICT, DXF AGIS, 2WR WATERLINE ACCEPTANCE AND PARKS FOR APPROVAL OF OPEN SPACE DEDICATION BY OPEN SPACE DIVISION AND MAINTENANCE LANGUAGE FOR TRACTS A, C, D-M.**

12. **Project # 1002857**  
04DRB-00809 Major-Final Plat  
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for ANDERSON HILLS, LLC request(s) the above action(s) for all or a portion of Tract(s) A INCLUDE TRACT B, ARROWOOD RANCH DEV. UPC# 1009053098548020102 (ZONE ATLAS PAGE N-9), **ARROWOOD RANCH DEVELOPMENT**, zoned R-LT residential zone, located on DENNIS CHAVEZ BLVD SW, between 98TH ST SW and 118TH ST SW containing approximately 62 acre(s). [REF: 03DRB01200,03DRB01202, 03DRB-01203,04DRB-232, 04DRB-0023, 03EPC-01204, 03EPC-01205] (P-9) DEFERRED AT AGENT'S REQUEST TO 6-9-04.

13. **Project # 1002928**  
04DRB-00718 Major-Final Plat  
Approval

ALDRICH LAND SURVEYING agent(s) for LONGFORD HOMES request(s) the above action(s) for all or a portion of Tract(s) D, **THE TRAILS / TAOS**, zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE and PASEO DEL NORTE containing approximately 20 acre(s). [deferred from 5-19-04] [REF: 1002928 ] (C-9) **INDEFINITELY DEFERRED AT AGENT'S REQUEST.**

14. **Project # 1002929**  
04DRB-00719 Major-Final Plat  
Approval

ALDRICH LAND SURVEYING agent(s) for LONGFORD HOMES request(s) the above action(s) for all or a portion of Tract(s) C, **THE TRAILS @ SANTA FE**, zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE and RAINBOW containing approximately 17 acre(s). [deferred from 5-19-04] (C-09) **INDEFINITELY DEFERRED AT AGENT'S REQUEST.**



15. **Project # 1003177**  
04DRB-00014 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for THOMAS WILLIAMSON request(s) the above action(s) for all or a portion of Lot(s) 6-A-1, Block(s) 6 A PORTION OF LOT 6 A 1, **SECOND REPLAT OF MONTGOMERY HEIGHTS**, zoned R-1, located on DELAMAR AVE NE, between HAHN ARROYO and LAFAYETTE DR NE containing approximately 1 acre(s). [deferred from 1-21-04] [REF: Proj.#1000213, 04ZHE-00119 ] (G-16) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED-OFF BY THE BOARD.**

16. **Project # 1003183**  
04DRB-00775 Minor-Prelim&Final Plat  
Approval

SOUTHWEST SURVEYS LTD agent(s) for ARTHUR & JOAN REEVES request(s) the above action(s) for all or a portion of Lot(s) 44-A, Block(s) 19, **NETHERWOOD PARK**, zoned R-3 residential zone, located on GIRARD BLVD NE, between VASSAR DR NE and CUTLER AVE NE containing approximately 1 acre(s). [deferred from 5-26-04] [REF: 04DRB-00025 ] (H-16) **INDEFINITELY DEFERRED AT AGENT'S REQUEST.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

17. **Project # 1000984**  
04DRB-00815 Minor-Sketch Plat or  
Plan

BRASHER & LORENZ agent(s) for CROWN LAND, LLC request(s) the above action(s) for all or a portion of Tract(s) A INCLUDE: TR B, AVALON SUBD, UNIT 4 - UPC# 100905716139520402, **AVALON SUBD, UIT 4**, zoned SU-1 IP USES, located on BLUEWATER RD NW, between 90TH STREET NW and 94TH STREET NW containing approximately 26 acre(s). [REF: 03DRB-00383 ] (K-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**

18. **Project # 1002134**  
04DRB-00794 Minor-Sketch Plat or  
Plan

MARK GOODWIN & ASSOC. agent(s) for VISTA DEL NORTE DEV., LLC request(s) the above action(s) for all or a portion of Tract(s) U-2, 3, 4&, U-6, **VISTA DEL NORTE**, zoned SU-1 special use zone, for IP, located on EL PUEBLO RD. NE, between EDITH BLVD. NE and JEFFERSON ST. NE containing approximately 30 acre(s). [REF: 1001150, Z-87-113, DRB-94-288, 02DRB-01196 THRU -01199 ] (D-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**

19. **Project # 1003226**  
04DRB-00806 Minor-Sketch Plat or  
Plan

J C ENGINEERING LLC agent(s) for SUJAY THAKUR request(s) the above action(s) for all or a portion of Tract(s) 9-A, **V.E. BARRETT SUBD**, zoned C-2 community commercial zone, located on BRIDGE BLVD SW, between UNSER SW and TOWER SW containing approximately 6 acre(s). [REF: Z-72-114, Z-72-210, Z-71-125 ] (K-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**

20. **Project # 1003460**  
04DRB-00807 Minor-Sketch Plat or  
Plan

JAMES R COPASS, JULIE NESON, LARRY MIERA agent(s) for JAMES R. COPASS/LARRY MIERA & JULIE NESON request(s) the above action(s) for all or a portion of Lot(s) 6 & 7, Block(s) 37 INCL UPC# 102005944010819, **SNOW HEIGHTS SUBD**, zoned R-1 residential zone, located on ARVADA AVE NE, between EUBANK NE and WYOMING NE containing approximately 1 acre(s). [REF: NA ] (H-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**

21. **Project # 1003466**  
04DRB-00812 Minor-Sketch Plat or  
Plan

CARTESIAN SURVEYS agent(s) for H & S INC request(s) the above action(s) for all or a portion of Tract(s) A INCL: TR. B-1, EL CAMBIO PLAZA ADDN, UPC# 101405604944021002, ZONING SU-2, SU-1 FOR C-3, EL CAMBIO PLAZA ADDN, zoned SU-2 FOR C-2, located on BRIDGE BLVD SW, between 4TH STREET SW and EIGHTH ST SW containing approximately 3 acre(s). [REF: Z-85-116, Z-83-116 ] (L-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**

22. **Project # 1003467**  
04DRB-00814 Minor-Sketch Plat or Plan

NA agent(s) for CHARLES MOSS request(s) the above action(s) for all or a portion of Lot(s) 11, RICE'S DURANES ADDN., #1, zoned R-2 residential zone, located on RICE AVE NW, between INDIAN SCHOOL RD. NW and I-40 WEST containing approximately 1 acre(s). [REF: DRB-95-337, DRB-95-438 ] (H-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**

23. **Project # 1003469**  
04DRB-00821 Minor-Sketch Plat or Plan

RIO GRANDE ENGINEERING agent(s) for BOB KEERAN request(s) the above action(s) for all or a portion of Lot(s) 25,26 & 27, Block(s) 2 UPC # 102006410844020407 (LT 26) & 102006410844020407 (LT 27), N. ALBQ. ACRES, TRACT 3, UNIT 3, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). (C-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**

24. **Project # 1003470**  
04DRB-00825 Minor-Sketch Plat or Plan

WILSON & COMPANY INC agent(s) for ROBERT SAAD request(s) the above action(s) for all or a portion of Tract(s) 1A,1B & 2B INCLUDE FOLLOWING UPC#: 100906339709440114, & 100906338702440113, **KASSUBA-MONTEBEL LANDS**, zoned R-1 residential zone, located on ALBERICOQUE PL SW, between 81ST STREET SW and ATRISCO BLVD SW containing approximately 132 acre(s). [REF: DRB 97-274, Z-85-84, AX85-20 ] (D-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**

25. Other Matters:

ADJOURNED: 11:50 A.M.



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## PLANNING DEPARTMENT DEVELOPMENT AND BUILDING SERVICES HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003183**

**AGENDA ITEM NO: 16**

**SUBJECT:**

- |                         |                          |                              |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan         |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan            |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension           |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Development Plan |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

Comments on plat.

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED <sup>indif</sup> X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** June 2, 2004

**DEVELOPMENT REVIEW BOARD (DRB)  
CITY OF ALBUQUERQUE**

**REVIEW COMMENTS**

By the

**UTILITY DEVELOPMENT SECTION (WATER & SEWER)**

**DEVELOPMENT & BUILDING SERVICES DIVISION**

**PUBLIC WORKS DEPARTMENT**

**PHONE 924-3989 Roger Green**

**PHONE 924-3988 Nancy Musinski**

D.R.B. CASE NO.: 1003183

DATE: 6/2/04 ITEM NO.: 16

ZONE ATLAS PAGE: H-16 LOCATION: Girard Blvd North of Cutler Ave

REQUEST FOR: Prelim/Final Plat

**COMMENTS:**

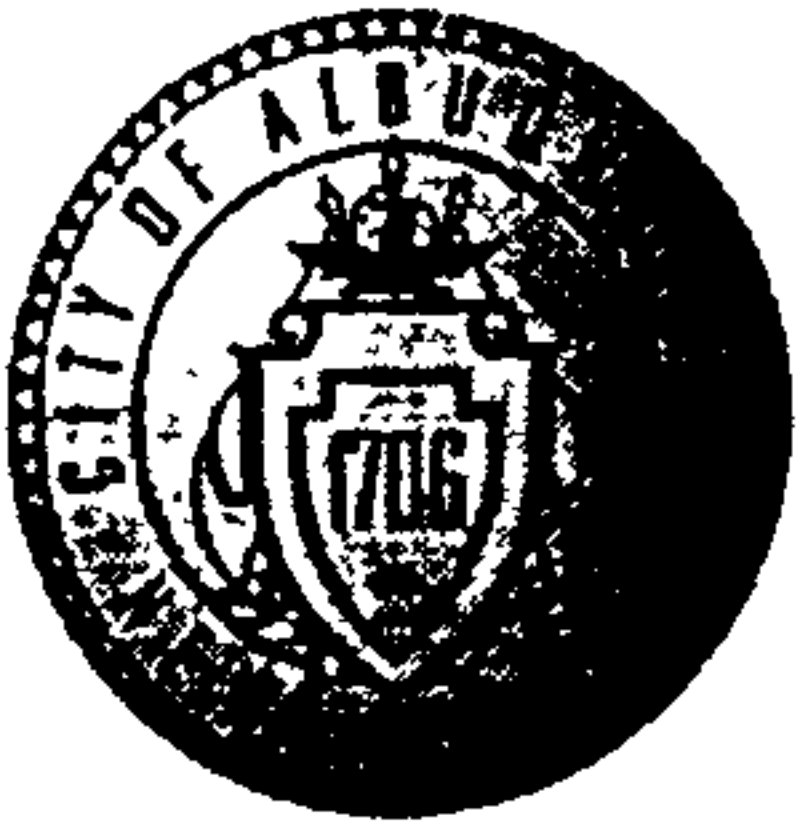
1. Need a Utility Plan showing proposed services for water and sewer.
2. No existing water/sewer accounts.
3. Condo subdivision appears the most feasible alternative.

SIGNED: \_\_\_\_\_

*Nancy Musinski*

DATE: \_\_\_\_\_

6/2/04



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

May 26, 2004

9:00 A.M.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

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**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order                      Adjourned:  
B. Changes and/or Additions to the Agenda  
C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1003087**  
04DRB-00553 Major-Bulk Land Variance  
04DRB-00554 Major-Vacation of Public Easements  
04DRB-00555 Major-Vacation of Public Easements  
04DRB-00556 Major-Preliminary Plat Approval  
04DRB-00557 Minor-Sidewalk Waiver  
04DRB-00558 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for WESTLAND DEVELOPMENT CO., INC request(s) these action(s) for all or a portion of Tract(s) A, WESTLAND NORTH, WATERSHED SUBDIVISION, zoned SU-2 FOR PDA RESIDENTIAL RESORT, located on TIERRA PINTADA ST NW AND 98<sup>TH</sup> ST NW and containing approximately 531 acre(s). [REF: 03DRB-01869] [*Deferred from 5/5/04, 5-12-04, 5/19/04*] (H-7, 8 & 9 & J-7 & 8) **THE BULK LAND VARIANCE FOR WAIVER OF THE INFRASTRUCTURE WAS APPROVED. APPROVAL OF THIS VARIANCE IS SUBJECT TO THE PROVISIONS OF THE DPM AND SUBDIVISION REGULATIONS. THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE SUBJECT TO THE PROVISIONS OF THE SUBDIVISION REGULATIONS. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5-26-04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5-18-2004 THE PRELIMINARY PLAT WAS APPROVED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
  
2. **Project # 1003369**  
04DRB-00514 Major-Drainage Plan to Determine the Cost Allocation for Storm Drainage Improvements

BOB KEERAN agent(s) for LLAVE CONSTRUCTION INC request(s) these action(s) for all or a portion of Unit(s) 3, Lot(s) 6 & 7, Tract(s) 3, Block(s) 16, NORTH ALBUQUERQUE ACRES, VINTNER COURT SUBDIVISION, zoned DETENTION POND, located on VINTNER NE, between VENTURA NE and CORONA NE containing approximately 2 acre(s). [*Deferred from 5/12/04*] (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 6-9-04.**



**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

3. **Project # 1003428**  
04DRB-00716 Minor-SiteDev Plan  
BldPermit
- JOHN K. KLEE agent(s) for INTERSTATE DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 54, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP-EP, located on PASEO ALAMEDA NE and VISTA ALAMEDA NE, containing approximately 1 acre(s). [REF: DRB-98-223, 1000624 (Master Plan)] (Deferred from 5-19-04) (C-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING AND TRANSPORTATION FOR PART OF A 6-FOOT LANDSCAPE BUFFER ON THE EAST SIDE, SOLID WASTE'S SIGNATURE, RADII AT ENTRANCE TO BE 15 FEET, AND STANDARD NOTE FOR CONSTRUCTION OF DRIVE PAD.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

4. **Project # 1002397**  
04DRB-00762 Minor-Extension of  
Preliminary Plat
- TIERRA WEST LLC agent(s) for SHULL REALTY & WATERS EDGE, LLC request(s) the above action(s) for all or a portion of Lot(s) 1-9, (to be known as **BOSQUE PLAZA**, LANDS OF TAYLOR-MARTIN L., zoned C-1 neighborhood commercial zone, located on LA ORILLA RD NW, between COORS BLVD NW and CORRALES MAIN CANAL containing approximately 12 acre(s). [REF: Z-87-56 & 69, DRB-87-200, 02DRB-01926, 03DRB-00634] (E-12) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION FOR FINAL PLAT: THE VACATION ACTIONS MUST BE RE-APPROVED AND FINAL PLAT FILED WITHIN ONE YEAR.**

5. **Project # 1002668**  
04DRB-00768 Minor-Sidewalk Waiver

MARK GOODWIN & ASSOCIATES, PA agent(s) for STV INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Tract C, Block 5, Tracks E & F, Block 2, **VISTA MAGNIFICA** and Lot B, Block 8, **PALISADES ADDITION**, zoned R-LT, located on ATRISCO DR NW, between I-40 NW and CLIFFSIDE DR NW containing approximately 7 acre(s). [REF: DRB-95-1865, DRB-03-00811, EPC-03-01089, Z-88-73, Z-1321, Z-85-48] (H-11) **A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

6. **Project # 1002798**  
04DRB-00777 Minor-Prelim&Final Plat Approval

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for KREG HILL request(s) the above action(s) for all or a portion of Tract(s) 83-A-2, **LAND OF HILL, M.R.G.C.D. Map 34**, zoned C-2 community commercial zone, located on CANDELARIA RD NW, between 12TH STREET NW and RIO GRANDE NW containing approximately 1 acre(s). [REF: 04DRB-00572, 03AA-01081] (G-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED SUBJECT TO THE PROVISIONS OF THE SUBDIVISION REGULATIONS.**

7. **Project # 1002949**  
04DRB-00774 Major-Final Plat Approval

ISAACSON & ARFMAN, PA agent(s) for JAMES F & DIANA K. CRABTREE request(s) the above action(s) for all or a portion of Block(s) 10A, Lot 1, **VOLCANO CLIFFS SUBDIVISION, UNIT 3**, zoned O-1, located on SANTO DOMINGO ST NW, between UNSER BLVD NW and PIMA AVE NW containing approximately 2 acre(s). [REF: 03DRB-01492, 03DRB-01493, 03DRB-01494, 03DRB-01496] (E-10) **FINAL PLAT IS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

8. **Project # 1003069**  
04DRB-00772 Minor-Prelim&Final Plat  
Approval

BOHANNAN HOUSTON, INC agent(s) for HIGH DESERT INVESTMENT CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 42A, **MOUNTAIN HIGHLANDS @ HIGH DESERT**, zoned SU-2 HD/R-1, located on PINO RIDGE PL NE, between SIMMS PARK RD NE and EMORY OAK PL NE containing approximately 4 acre(s). [REF: 03ZHE-01828] (E-24) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED SUBJECT TO THE PROVISIONS OF THE SUBDIVISION REGULATIONS.**

9. **Project # 1002711**  
04DRB-00769 Minor-Sidewalk Waiver

MARK GOODWIN & ASSOCIATES, agent(s) for STV INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Lot(s) 7-12 & 21-26, Block(s) 27, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT B, (to be known as **OAKLAND ESTATES**, zoned R-D residential and related uses zone, developing area, located on EAGLE ROCK AVE NE, between SAN PEDRO BLVD NE and LOUISIANA BLVD NE containing approximately 11 acre(s). (Project #1003099 issued on this case in error) [REF: 03EPC-00907 & 8, 03EPC-00915] (C-18) **THE SIDEWALK VARIANCE FOR THE WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

10. **Project # 1003183**  
04DRB-00775 Minor-Prelim&Final Plat  
Approval

SOUTHWEST SURVEYS LTD agent(s) for ARTHUR & JOAN REEVES request(s) the above action(s) for all or a portion of Lot(s) 44-A, Block(s) 19, **NETHERWOOD PARK**, zoned R-3 residential zone, located on GIRARD BLVD NE, between VASSAR DR NE and CUTLER AVE NE containing approximately 1 acre(s). [REF: 04DRB-00025] (H-16) **DEFERRED AT THE AGENT'S REQUEST TO 6-2-04.**

11. **Project # 1003111**  
04DRB-00715 Major-Final Plat  
Approval

ISAACSON & ARFMAN, PA agent(s) for WINDMILL MANOR PLACE, LLC request(s) the above action(s) for all or a portion of Tract(s) B, **WINDMILL MANOR**, zoned SU-1 PRD, located on DELLYNE AVE NW, between MARIPOSA DR NW and VALLE VISTA DR NW containing approximately 4 acre(s). [REF: 04DRB-00377, Z-95-79, Z-98-57, DRB-96-355, 03DRB-01986, 03DRB-01987, 01988, 01989] (Deferred from 5-19-04) (E-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

12. **Project # 1003291**  
04DRB-00528 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for JOSEPH & KATHLEEN COWHAM request(s) the above action(s) for all or a portion of Tract(s) 14, M.R.G.C.D. MAP 35, LANDS OF COWHAM-BOWEN, zoned R-LT residential zone, located on RIO GRANDE BLVD NW, between CONTRERAS PL NW and MATTHEW AVE NW containing approximately 2 acre(s). [REF: 04DRB-00322] [*Deferred from 4/14/04*] [*Indefinitely deferred on 4-21-04*] (Deferred from 5-19-04) (H-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5-26-04, THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

**NO ACTION IS TAKEN ON THESE CASES:  
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

13. **Project # 1002334**  
04DRB-00773 Minor-Sketch Plat or  
Plan
- MARK GOODWIN & ASSOCIATES agent(s) for STV INVESTMENTS request(s) the above action(s) for all or a portion of Block(s) 19A, **FOOTHILLS ESTATES**, zoned R-T residential zone, located on COPPER AVE NE, between CHELWOOD PARK BLVD NE and TRAMWAY BLVD NE containing approximately 1 acre(s). [REF: 02EPC-01695] (K-22) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**
14. **Project # 1002571**  
04DRB-00776 Minor-Sketch Plat or  
Plan
- MAURICE W. IKLE, MICHAEL J CONWAY & MJC REALTY COMPANY agent(s) for JAMES P & MELISSA K GUTHRIE request(s) the above action(s) for all or a portion of Lot(s) 11-17, **SUNRISE HEIGHTS ADDITION**, zoned M-1 light manufacturing zone, located on MONTANO RD NE, between I-25 NE and EDITH BLVD NE containing approximately 3 acre(s). [REF: 03EPC-00671, 03EPC-00672, 03DRB-00542] (F-15) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**
15. **Project # 1003237**  
04DRB-00766 Minor-Sketch Plat or  
Plan
- MARK GOODWIN & ASSOCIATES, PA agent(s) for T.S. MCNANEY request(s) the above action(s) for all or a portion of Tract(s) 431, TOWN OF ATRISCO GRANT, UNIT 3, (to be known as **TOWER EAST**) zoned RD/R-1, located on TOWER RD SW, between 90TH STREET SW and 86TH STREET SW containing approximately 6 acre(s). [REF: AX-93-12, Z-93-125] (L-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**

16. **Project # 1003449**  
04DRB-00765 Minor-Sketch Plat or Plan

MARK GOODWIN & ASSOCIATES agent(s) for T. S. MCNANEY request(s) the above action(s) for all or a portion of Tract(s) 52, TOWN OF ATRISCO GRANT, UNIT 2, (to be known as **POINTE WEST NORTH**) zoned R-D residential and related uses zone, developing area, 9 DU/AC, located on SUNSET GARDENS RD SW, between 82ND ST SW and 86TH ST SW containing approximately 6 acre(s). (L-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**

17. Other Matters:

ADJOURNED: 10:40 A.M.

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
Development Review Board  
May 26, 2004 Comments**

**ITEM # 10**

**PROJECT # 1003183**

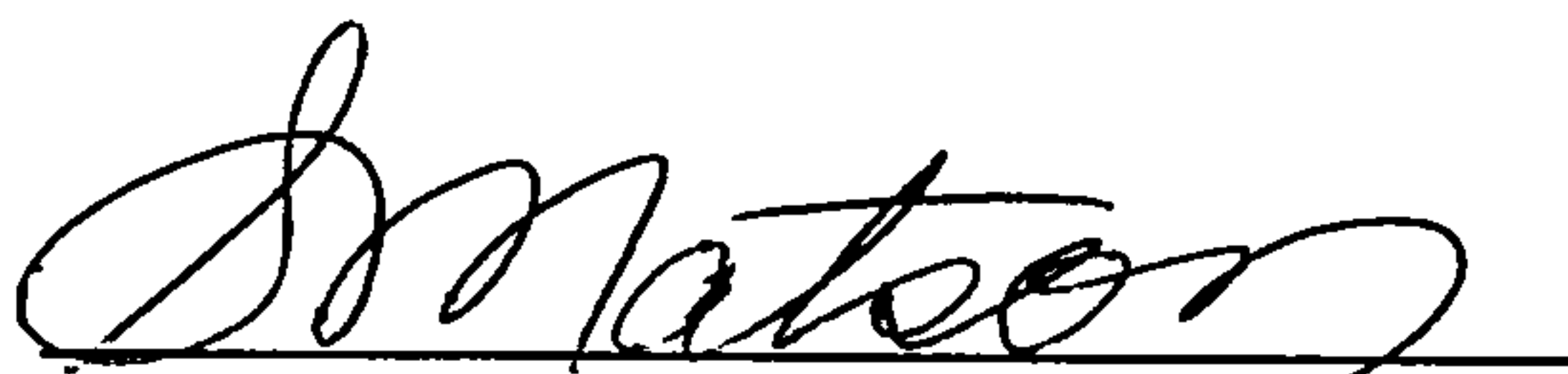
**APPLICATION # 04-00775**

**RE: Lot 44-A, Block 19, Netherwood Park/minor plat**

No objection to the platting action. Applicant may file the plat. Please be sure Planning gets a recorded copy.

AGIS dxf is <sup>not</sup> approved.

*w/re-plat*



Sheran Matson, AICP DRB Chair  
924-3880 Fax 924-3864 smatson@cabq.gov



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## PLANNING DEPARTMENT DEVELOPMENT AND BUILDING SERVICE HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003183

AGENDA ITEM NO: 10

SUBJECT:

- |                         |                          |                              |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan         |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan            |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension           |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Development Plan |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Other                   |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

6-2-04

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham  
City Engineer/AMAFCA Designee

DATE: May 26, 2004







**City of Albuquerque**  
**Parks and Recreation Department**  
 PO Box 1293, Albuquerque, New Mexico 87103  
 Inter-Office Correspondence  
Development Review Board Comments

**Project Number:** 1003183  
**Application Number:** 04DRB-00775

**DRB Date:** 5/26/04  
**Item Number:** 10

**Subdivision:**

Lot 44-A, Block 19, Netherwood Park

**Zoning:** R-3

**Zone Page:** H-16

**New Lots (or units) :** 4

**Request for:**

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

**Parks and Recreation Comments:**

Are the units existing?

If not this request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 4 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

**Signed:**

Christina Sandoval, (DMD)

Phone: 768-3808

AGIS ELECTRONIC SUBMITTAL CHECKLIST

DRB Project# 1003183 Subdivision Name NETHERWOOD PARK - 44A BLK 19

Surveyor Gary Gritsko Company Sunnys Southwest

Contact person Sarah Amato Phone # \_\_\_\_\_ email \_\_\_\_\_

[Signature] \_\_\_\_\_ 1/14/04  
Approved \*Not Approved Date

DXF RECEIVED 1/13/04 DATE  
 HARD-COPY RECEIVED 1/13/04 DATE  
 DISCLOSURE STATEMENT

**\*Not Approved for one or more of the following reasons:**

**File Format and naming**

- 1) \_\_\_ Format is not DXF file in ASCII format
- 2) \_\_\_ No hard copy of the final plat submitted
- 3) \_\_\_ <DRB Project #>.dxf not used as a standard naming convention

**Coordinate System**

- 4) \_\_\_ Submittal does not include a disclosure of the datum (NAD27 or NAD83)
- 5) \_\_\_ Submittal does not specify if coordinates are based on ground or grid distances
- 6) \_\_\_ Submittal does not include information, such as a tie to an ACS monument, necessary to convert from ground to grid
- 7) \_\_\_ Lines cannot be projected/converted to correct location in NAD83 NMSP coordinate system

**Content**

- 8) \_\_\_ Submittal is not single drawing in model space showing only parcel and easement lines
- 9) \_\_\_ Digital submittal does not match final plat
- 10) \_\_\_ Parcel lines are not in one separate layer
- 11) \_\_\_ Access easement lines and all other easements that are 20 feet wide or greater are not in a second separate layer
- 12) \_\_\_ All other easement lines are not in a third separate layer

Comments:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

AGIS Use Only: Copied cov 3183 to agiscov on 1/14/04 Client Notified by email

18



Completed  
1/26/04  
RB

### DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

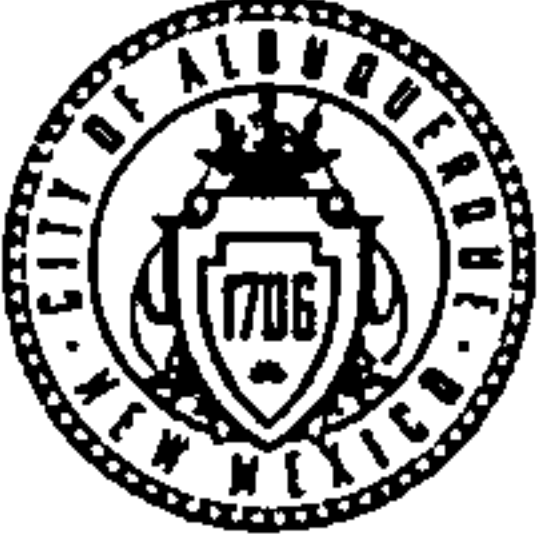
DRB Application No.: <u>04DRB-00025 (P&amp;F)</u>	Project # <u>1003183</u>
Project Name: <u>NETHERWOOD PARK ADDITION</u>	EPC Application No.:
Agent: <u>Surveys Southwest Ltd</u>	Phone No.: <u>998-0303</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS) (MASTER DEVELOP. PLAN), was approved on 1/21/04 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

- TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- PARKS / CIP: CIL dedication  
 verify # of units  
 \_\_\_\_\_  
 OK CB  
 \_\_\_\_\_

- PLANNING (Last to sign): \_\_\_\_\_
  - Planning must record this plat. Please submit the following items:**
    - The original plat and a mylar copy for the County Clerk.
    - Tax certificate from the County Treasurer.
    - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
    - Tax printout from the County Assessor.
  - Include 3 copies of the approved site plan along with the originals.**
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
  - Property Management's signature must be obtained prior to Planning Department's signature.**
  - Copy of final plat AND a DXF File for AGIS is required.**
  - Copy of recorded plat for Planning.**

Project Number 1003183



\*\*\*

**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

January 21, 2004  
MEMBERS:

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE: 1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000196**  
03DRB-02102 Major-Two Year SIA  
TIERRA WEST LLC agent(s) for BEN RUIZ request(s) the above action(s) for all or a portion of Tract(s) CIB, **CORONADO SAVINGS & LOAN**, zoned R-LT residential zone, located on COORS BLVD NW, between SEQUOIA RD NW and REDLANDS NW containing approximately 2 acre(s). [REF: 00450-00641, 02DRB-00845, 02DRB-01850, 03DRB-00862] [Deferred from 1-7-04] (G-11) **A 6-MONTH EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1000262**  
03DRB-02170 Major-Preliminary Plat  
Approval  
03DRB-02167 Major-Vacation of Public  
Easements  
03DRB-02168 Minor-Sidewalk Waiver  
03DRB-02169 Minor-Temp Defer SDWK

BOHANNAN HUSTON, INC. agent(s) for LONGFORD HOMES request(s) the above action(s) for all or a portion of Tract(s) B1, **COSTCO DEVELOPMENT**, zoned SU-1 special use zone, C-2, located on SOUTHERN AVE NE, between EUBANK BLVD. NE and ELIZABETH ST. NE containing approximately 14 acre(s). [REF: 01EPC-01757 SDP4 B/P, 02DRB-00599 2YR. SIA, 03EPC-01478 ZMA ] (L-21) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/21/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12/3/03 THE PRELIMINARY PLAT WAS APPROVED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

- 04DRB-00027 Minor-SiteDev Plan  
BldPermit/EPC  
04DRB-00026 Minor-SiteDev Plan  
Subd/EPC

CONSENSUS PLANNING INC agent(s) for LONGFORD HOMES request(s) the above action(s) for all or a portion of Block(s) B1, **COSTCO DEVELOPMENT**, zoned SU-1 PRD, located on SOUTHERN BLVD SE, between EUBANK BLVD SE and JUAN TABO BLVD SE containing approximately 14 acre(s). [REF: 1000262, 03EPC-014776, 03EPC-01477, Russell Brito, EPC Case Planner, 03EPC-01478, 03DRB-02167,03DRB-02168] (L-21) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AND THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WERE APPROVED AND SIGNED OFF BY THE BOARD.**

3. **Project # 1000570**  
02DRB-01567 Major-SiteDev Plan Subd  
02DRB-01021 Minor-Temp Defer SDWK  
02DRB-01019 Major-Preliminary Plat  
Approval  
02DRB-01020 Major-Vacation of Public  
Easements

MARK GOODWIN & ASSOC agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) A and Parcel A of Parkway U7 (Town of Atrisco Grant) to be known as Parkway Unit 10, **PAINTED SKY (UNIT 1)**, zoned R-D residential and related uses zone, developing area, located on UNSER (WEST OF) NW, between GAVIN RD NW and VINEMONT PL NW [REF: 00410-0162, 00410-00931, 00410-00933 ] (J-9) all or a portion of Tract(s) 93 94 95 to be known as Parkway -Unit 10, **TOWN OF ATRISCO GRANT AND TRAPARKWAY -8**, zoned R-LT residential zone, located on WEST OF UNSER NW, between GAVIN RD NW and VINEMONT PLACE NW containing approximately 13 acre(s). [Deferred from 1-7-04 & 1/21/04] (J-9) **DEFERRED AT THE AGENT'S REQUEST TO 2/4/04.**

4. **Project # 1002668**  
03DRB-01888 Major-Preliminary Plat  
Approval  
03DRB-01889 Major-Vacation of Public  
Easements  
03DRB-01890 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOC agent(s) for VISTA MAGNIFICA LLC request(s) the above action(s) for all or a portion of Block(s) 5, Tract(s) C and < Tr E&F / Blk 2 (Vista Magnifica) and Lot B / Blk 8 (Palisades Addn) >, **VISTA MAGNIFICA**, zoned R-LT, located on ATRISCO DR NW, between I-40 NW and CLIFFSIDE DR NW containing approximately 7 acre(s). [REF: 03EPC-01089, 03DRB-00811 ] [Deferred from 1-7-04 AND 1/21/04] (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/28/04.**

5. **Project # 1003027**  
03DRB-02173 Minor-Temp Defer SDWK  
03DRB-02172 Minor-Sidewalk Variance  
03DRB-02159 Major-Preliminary Plat  
Approval  
03DRB-02161 Minor-Site Plan for  
Subdivision

WAYJOHN SURVEYING, INC agent(s) for INTERFIRST PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 3,4,5, Tract(s) 2, **N ALBUQUERQUE ACRES**, zoned RD 7 DU/AC, located on ALAMEDA BOULEVARD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 3 acre(s). [REF: 1003027, 03DRB-01721] Deferred from 1/21/04] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 1/28/04.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

6. **Project # 1001209**  
03DRB-02027 Minor-SiteDev Plan  
BldPermit/EPC  
03DRB-02028 Minor-SiteDev Plan  
Subd/EPC

GEORGE RAINHART & ASSOC. agent(s) for JACK CLIFFORD request(s) the above action(s) for all or a portion of Tract(s) A, **LAVA TRAILS**, zoned SU-1 for Neighborhood Commercial, located on WESTERN TRAILS NW, between UNSER BLVD. NW and ATRISCO RD. NW containing approximately 6 acre(s). [REF: 03EPC 00699/00701, 02500 00126, DRB 94-525] [Deferred from 12-10-03] (F-10) **PREVIOUSLY APPROVED. ON THE AGENDA IN ERROR.**
  
7. **Project # 1002714**  
04DRB-00024 Minor-SiteDev Plan  
BldPermit/EPC

TIERRA WEST LLC agent(s) for ZANGARA DODGE request(s) the above action(s) for all or a portion of Lot(s) 8-11A1, Block(s) 25, **EAST END ADDITION**, zoned C-2 community commercial zone, located on VIRGINIA ST NE, between LOMAS BLVD. NE and MARBLE ST NE [REF: Juanita Vigil, EPC Case Planner, 03EPC-00917, 03DRB-01634, 03EPC-01931] (J-19) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER UNTIL CONTRACTOR PULLS SO19 PERMIT AND FOR A SIDEWALK EASEMENT AND TO PLANNING FOR INFRASTRUCTURE LIST LANGUAGE ON SIGNATURE BLOCK.**
  
8. **Project # 1002786**  
04DRB-00036 Minor- SiteDev Plan  
BldPermit

JAMES MILLER agent(s) for FIDELTY TRUST CO. request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 5, Unit B, **NORTH ALBUQUERQUE ACRES**, zoned SU-2/IP, located on SAN MATEO NE between SAN DIEGO NE and BEVERLY HILLS containing approximately 1 acre(s). [REF: 03DRB 01075] (B-18) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR REVISED UTILITY PLAN AND CITY ENGINEER FOR SIA, NEED ADA PARKING STALLS DIMENSIONED AND RADII NEEDS LABELING AND AEHD SIGNATURE AND INFRASTRUCTURE NOTE ON SIGNATURE BLOCK.**



9. **Project # 1000658**  
04DRB-00034 Minor-SiteDev Plan  
BldPermit

OTONO PARTNERS, LLC C/O KNIGHT SEAVEY request(s) the above action(s) for all or a portion of Tract(s) F-1-A, **LOOP INDUSTRIAL DISTRICT**, zoned SU-2 M-1, located on ALAMEDA NE, between ALAMEDA NE and JEFFERSON NE containing approximately 5 acre(s)(C-17) **INDEFINITELY DEFERRED AT AGENT'S REQUEST.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

10. **Project # 1001796**  
03DRB-02078 Minor-Prelim&Final Plat  
Approval

SAMUEL C DE BACA agent(s) for SAMUEL C DE BACA request(s) the above action(s) for all or a portion of Lot(s) 1, **STOUT SUBDIVISION**, zoned SU-1 for O-1 Permissive Uses, located on COORS BLVD. NW, between EAGLE RANCH RD. NW and PASEO DEL NORTE NW containing approximately 18 acre(s). [REF: 03DRB 00916, Z-98-17, Z-84-122, S-98-25 ] [Deferred from 1-14-04] (C-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

11. **Project # 1000072**  
04DRB-00033 Minor-Final Plat  
Approval

MARK GOODWIN & ASSOC. agent(s) for DR HORTON INC. request(s) the above action(s) for all or a portion of Lot(s) 14-19 A, Block(s) 34, **NO. ALBQ. ACRES, UNIT B**, zoned R-D residential and related uses zone, developing area, located on LOUISIANA BLVD NE, between CARMEL AVE. NE and HOLLY AVE. NE containing approximately 6 acre(s). [REF: 03DRB-01104 PPA, 03DRB-01107, 03DRB-01106] (C-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CASH-IN-LIEU, A MEETING TO DISCUSS ENCROACHMENT AT HOLLY & LOUISIANA, AMAFCA SIGNATURE AND PLANNING FOR PERIMETER WALL DESIGN SUBMITTAL.**

12. **Project # 1002981**  
03DRB-02132 Minor-Prelim&Final Plat  
Approval
- SURV-TEK, INC. agent(s) for 1224 BELLAMAH, LLC request(s) the above action(s) for all or a portion of Lot(s) B-1-A-3-A, **DUKE CITY LUMBER COMPANY ADDITION**, zoned S/M-1, located on BELLAMAH AVE. NW, between 12TH ST. and SAWMILL ROAD NW containing approximately 12 acre(s). [REF: 03ZHE 01596, DRB-95-360 ] (H-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
13. **Project # 1003119**  
04DRB-00031 Minor-Prelim&Final Plat  
Approval
- WAYJOHN SURVEYING INC agent(s) for EUBANK EXIT LLC (ARIF AMERSNI) request(s) the above action(s) for all or a portion of Tract(s) 4-B1, **HORNE DEVELOPMENT ADDITION**, zoned SU-1-PCD, located on HOTEL CIR NE, between EUBANK BLVD NE and MORRIS ST NE containing approximately 6 acre(s). [REF: DRB-86-637, 1000329 ] (K-21) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
14. **Project # 1003133**  
03DRB-02076 Minor-Prelim&Final Plat  
Approval  
03DRB-02077 Minor-Vacation of  
Private Easements
- ISAACSON & ARFMAN PA agent(s) for TRICOR SOUTHWEST CORP. request(s) the above action(s) for all or a portion of Lot(s) L-1, M,N,P, **FRANKLIN PLAZA**, zoned C-3/C-2 (SU), located on CENTRAL NE, between JUAN TABO NE and CENTRAL NE containing approximately 9 acre(s). [REF: Z-88-53] [Deferred from 1-7-04] (L-22) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/21/04 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED. THE VACATION WAS APPROVED AS SHWON ON EXHIBIT B IN THE PLANNING FILE.**

15. **Project # 1003177**  
04DRB-00014 Minor-Preliminary and  
Final Plat Approval
- SURVEYS SOUTHWEST LTD agent(s) for THOMAS WILLIAMSON request(s) the above action(s) for all or a portion of Lot(s) 6-A-1, Block(s) 6 A PORTION OF LOT 6 A 1, **SECOND REPLAT OF MONTGOMERY HEIGHTS**, zoned R-1, located on DELAMAR AVE NE, between HAHN ARROYO and LAFAYETTE DR NE containing approximately 1 acre(s). (G-16) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
16. **Project # 1003178**  
04DRB-00015 Minor-Preliminary&Final  
Plat Approval
- SURVEYS SOUTHWEST, LTD agent(s) for CHARLES & SUSAN DEMOS request(s) the above action(s) for all or a portion of Lot(s) 3-17A, Block(s) 12, **GLENWOOD HILLS UNIT 2**, zoned R-1, located on CEDARBROOK AVE NE, between GLENWOOD HILLS NE and DESERT HILLS PL NE containing approximately 1 acre(s). (F-23) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**
17. **Project # 1003182**  
04DRB-00023 Minor-Prelim&Final Plat  
Approval
- WILKS CO. agent(s) for PRAXAIR INC., request(s) the above action(s) for all or a portion of Tract(s) 2, **LANDS OF THE B. N. & S. F. RAILWAY CO.**, zoned M-2 manufacturing zone, located on 2ND ST SW, between TRUMBULL BLVD. SW and WOODWARD RD. SW containing approximately 4 acre(s). [REF: DRB-97-275] [Deferred from 1/21/04] (M-14) **DEFERRED AT THE AGENT'S REQUEST TO 1/28/04.**

18. **Project # 1003183**  
04DRB-00025 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST agent(s) for ARTHUR & JOAN REEVES request(s) the above action(s) for all or a portion of Lot(s) 44-46, Block(s) 19, **NETHERWOOD PARK ADDITION**, zoned R-3 residential zone, located on GIRARD BLVD NE, between VASSAR DR. NE and CUTLER AVE. NE containing approximately 1 acre(s). (H-16) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU DEDICATION AND TO VERIFY NUMBER OF UNITS.**

19. **Project # 1000560**  
**(Project #1003184 in error)**  
04DRB-00028 Minor-Prelim&Final Plat  
Approval

PRECISION SURVEYS INC agent(s) for JOURNAL CENTER CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 1A-2-A, **JOURNAL CENTER**, zoned IP, located on PASEO DEL NORTE AVE NE, between LANG AVE NE and HEADLINE BLVD NE containing approximately 10 acre(s). [REF: 1000560, SV-94-48, S-94-58] **[HEARD UNDER PROJECT #1003184 IN ERROR]** (D-17) **DEFERRED AT THE AGENT'S REQUEST TO 2/4/04.**

20. **Project # 1001087**  
04DRB-00004 Minor-Prelim&Final Plat  
Approval

HALE & SUN CONSTRUCTION INC agent(s) for HALE 7 SUN CONSTRUCTION INC request(s) the above action(s) for all or a portion of Lot(s) 3-4, **MAJOR ACRES SUBDIVISION**, zoned SU-2,R-T, located on 12TH ST NW, between CANDELARIA RD NW and MATTHEW AV NW containing approximately 1 acre(s). [REF: 1002231, 022HE-01435, 01DRB-002688, 01DRB-01891 ] [Deferred from 1-7-04] (G-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/21/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/14/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS: 1) UTILITIES DEVELOPMENT: FOR A SEPARATE 20-FOOT PUBLIC WATER AND SEWER EASEMENT AND A SEPARATE 5-FOOT PUE. 2) TRANSPORTATION: TO PROVIDE A RADIUS AT THE CORNER OF 12<sup>TH</sup> AND MAJOR ON LOT 6. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

21. **Project # 1003186**  
04DRB-00035 Minor-Sketch Plat or  
Plan

RIO GRANDE ENG agent(s) for STV INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Tract(s) 442, **LAND OF ATRISCO GRANT, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on 97TH ST SW, between SAN YGNACIO BLVD. SW and TOWER BLVD. SW containing approximately 6 acre(s). [REF: NA ] (L-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **Project # 1003188**  
04DRB-00038 Minor-Sketch Plat or  
Plan

COMMUNITY SCIENCES CORPORATION agent(s) for DELFINO M. GARCIA request(s) the above action(s) for all or a portion of Lot(s) 145A1 and Lots 144B1, 145A2, **LUKE SUBDIVISION**, zoned RA-2, located on GRIEGO RD NW, between GRIEGOS DRAIN and SAN ISIDRO ST. NW containing approximately 2 acre(s). (F-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. Adjourned: Noon

**Subject:** DRB Project #1003183

**From:** TGolden@cabq.gov

**Date:** Wed, 14 Jan 2004 07:39:17 -0700

**To:** samato@swsurvey.com

Sarah,

Just wanted to let you know that the DXF file for the captioned DRB project number, Netherwood Park Addition, lot 44-A block 19,, has been approved. Let us know if you have any questions or concerns.

Thanks,

Tom Golden

GIS Analyst, AGIS

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
Development Review Board  
January 21, 2004  
Comments**

**ITEM # 18**

**PROJECT # 1003183**

**APPLICATION # 04-00025**

**RE: Lots 44-46, Block 19, Netherwood Park Addition/prelim & final**

According to the City Zoning Code, the minimum lot size for R-3 lots is 150 feet width & depth. However, the code also states that lots legally non-conforming may be developed governed by the RT zone in all respects without a zoning variance.

Before Planning can comment on the lot consolidation, please explain why it is being proposed. In the future, include the explanation in the letter of explanation accompanying the application.

The AGIS dxf file is not yet approved. If this application is approved, Planning would like a copy of the recorded plat to close our file.



Sheran Matson, AICP DRB Chair  
924-3880 Fax 924-3864 smatson@cabq.gov



18



# DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00025 (P&F)  
Project Name: NETHERWOOD PARK ADDITION  
Agent: Surveys Southwest Ltd

Project # 1003183  
EPC Application No.: \_\_\_\_\_  
Phone No.: 998-9303

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS) (MASTER DEVELOP. PLAN), was approved on 1/21/07 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

Project Number 1003183

- TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- PARKS / CIP: CIL dedication  
 verify # of units  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- PLANNING (Last to sign): \_\_\_\_\_
  - Planning must record this plat. Please submit the following items:**
    - The original plat and a mylar copy for the County Clerk.
    - Tax certificate from the County Treasurer.
    - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
    - Tax printout from the County Assessor.
  - Include 3 copies of the approved site plan along with the originals.**
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
  - Property Management's signature must be obtained prior to Planning Department's signature.**
  - Copy of final plat AND a DXF File for AGIS is required.**
  - Copy of recorded plat for Planning.**



**City of Albuquerque**  
**Parks and Recreation Department**  
PO Box 1293, Albuquerque, New Mexico 87103  
Inter-Office Correspondence  
Development Review Board Comments

**Project Number:** 1003183  
**Application Number:** 04DRB-00025

**DRB Date:** 1/21/04  
**Item Number:** 18

**Subdivision:**

Lots 44-46, Block 19, Netherwood Park Addition

**Zoning:** R-3

**Zone Page:** H-16

**New Lots (or units) :** 0

**Request for:**

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

**Parks and Recreation Comments:**

What will be built on the consolidated lots? If apartments a the following applies:

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for X new apartment units will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

**Signed:** 

Christina Sandoval, (DMD)

Phone: 768-3808



**City of Albuquerque**  
**CITY OF ALBUQUERQUE**  
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103  
**PUBLIC WORKS DEPARTMENT**  
**DEVELOPMENT SERVICE**  
**HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1003183**

**AGENDA ITEM NO: 18**

**SUBJECT:**

- |                         |                          |                              |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan         |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan            |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension           |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Development Plan |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

No adverse comments.

**RESOLUTION:**

APPROVED ; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** January 21, 2004

AGIS ELECTRONIC APPROVAL FORM

DRB Project Case #: 1003183

Subdivision Name: Netherwood Park Addn - Lots 44A1 thru 44A4

Surveyor: Gary E Gritsko

Company/Agent: Surveys Southwest

Contact Person: Sarah Amato E-mail: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

DXF Received Date: 5/19/2004

Hard-Copy Date: 5/19/2004

Coordinate system:  NMSP Grid (NAD 83)  NMSP Grid (NAD 27)  Ground rotated to NMSP Grid  Other

*Sarah Amato*

5/19/04

Approved

Date

\*The dxf file cannot be accepted at this time for the following reason(s):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

AGIS Use Only

Copied cov3183 to agiscov on 5/19/2004. Contact person notified on 5/19/2004

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION** **S**

Major Subdivision action  
 Minor Subdivision action  
 Vacation **V**  
 Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN** **P**

...for Subdivision Purposes  
 ...for Building Permit  
 IP Master Development Plan  
 Cert. of Appropriateness (LUCC) **L**

Supplemental form

**ZONING & PLANNING** **Z**

Annexation  
 County Submittal  
 EPC Submittal  
 Zone Map Amendment (Establish or Change Zoning)  
 Sector Plan (Phase I, II, III)  
 Amendment to Sector, Area, Facility or Comprehensive Plan  
 Text Amendment (Zoning Code/Sub Regs)

**APPEAL / PROTEST of...** **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME Arthur & Joan Reeves PHONE: 256-3050  
 ADDRESS: 1909 YASSAR DRIVE NE FAX: \_\_\_\_\_  
 CITY: ALBU STATE NM ZIP 87106 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: OWNERS List all owners: N/A  
 AGENT (if any): SURVELS SOUTHWEST, LTD PHONE: 998-0303  
 ADDRESS: 333 LOMAS BLVD NE FAX: 998-0306  
 CITY: ALBU STATE NM ZIP 87102 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: DIVIDE ONE EXISTING LOT INTO FOUR NEW LOTS & TO GRANT ADDITIONAL EASEMENTS. (PRELIM/FINAL)

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. LOT 44-A Block: 19 Unit: N/A  
 Subdiv. / Addn. WETHERWOOD PARK  
 Current Zoning: R-3 Proposed zoning: N/A  
 Zone Atlas page(s): H-16-Z No. of existing lots: 1 No. of proposed lots: 4  
 Total area of site (acres): 0.2548 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes  No, but site is within 5 miles of the city limits. Within 1000FT of a landfill? NO  
 UPC No. 1-016-059-229-122-31803A MRGCD Map No. N/A  
 LOCATION OF PROPERTY BY STREETS: On or Near: GIRARD BLVD NE  
 Between: VASSAR DR. NE and CUTLER AVE NE

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): Proj # 1003183  
APP# 04DRB-00025

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 5-17-04

SIGNATURE Dan Graney DATE 5-17-04  
 (Print) Dan Graney \_\_\_\_\_ Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>04DRB - 00775</u>	<u>P&amp;F</u>	<u>5/31</u>	<u>\$ 225<sup>00</sup></u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #'s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #'s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 445<sup>00</sup></u>

Hearing date MAY 26<sup>th</sup> '04  
 Planner signature / date Robbent 5/18/04 Project # 1003183

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) INTERNAL ROUTING

- SKETCH PLAT REVIEW AND COMMENT** **YOUR ATTENDANCE IS REQUIRED.**
- \_\_\_ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
  - \_\_\_ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Any original and/or related file numbers are listed on the cover application

- MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT** **Your attendance is required.**
- \_\_\_ Preliminary Plat reduced to 8.5" x 11"
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Copy of previous D.R.B. approved infrastructure list
  - \_\_\_ Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**  
Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL** **Your attendance is required.**
- \_\_\_ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
  - \_\_\_ Design elevations & cross sections of perimeter walls
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
  - \_\_\_ Property owner's and City Surveyor's signatures on the Mylar drawing
  - \_\_\_ SIA financial guaranty verification
  - \_\_\_ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing
  - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
  - Property owner's and City Surveyor's signatures on the Mylar drawing
  - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- NIA* Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- NIA* **DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- AMENDMENT TO PRELIMINARY PLAT (with minor changes)** **Your attendance is required.**
- AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**
- AMENDMENT TO GRADING PLAN (with minor changes)**
- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- \_\_\_ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
  - \_\_\_ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
  - \_\_\_ Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Dan Grady Applicant name (print)  
Dan Grady 5-17-04  
Applicant signature / date

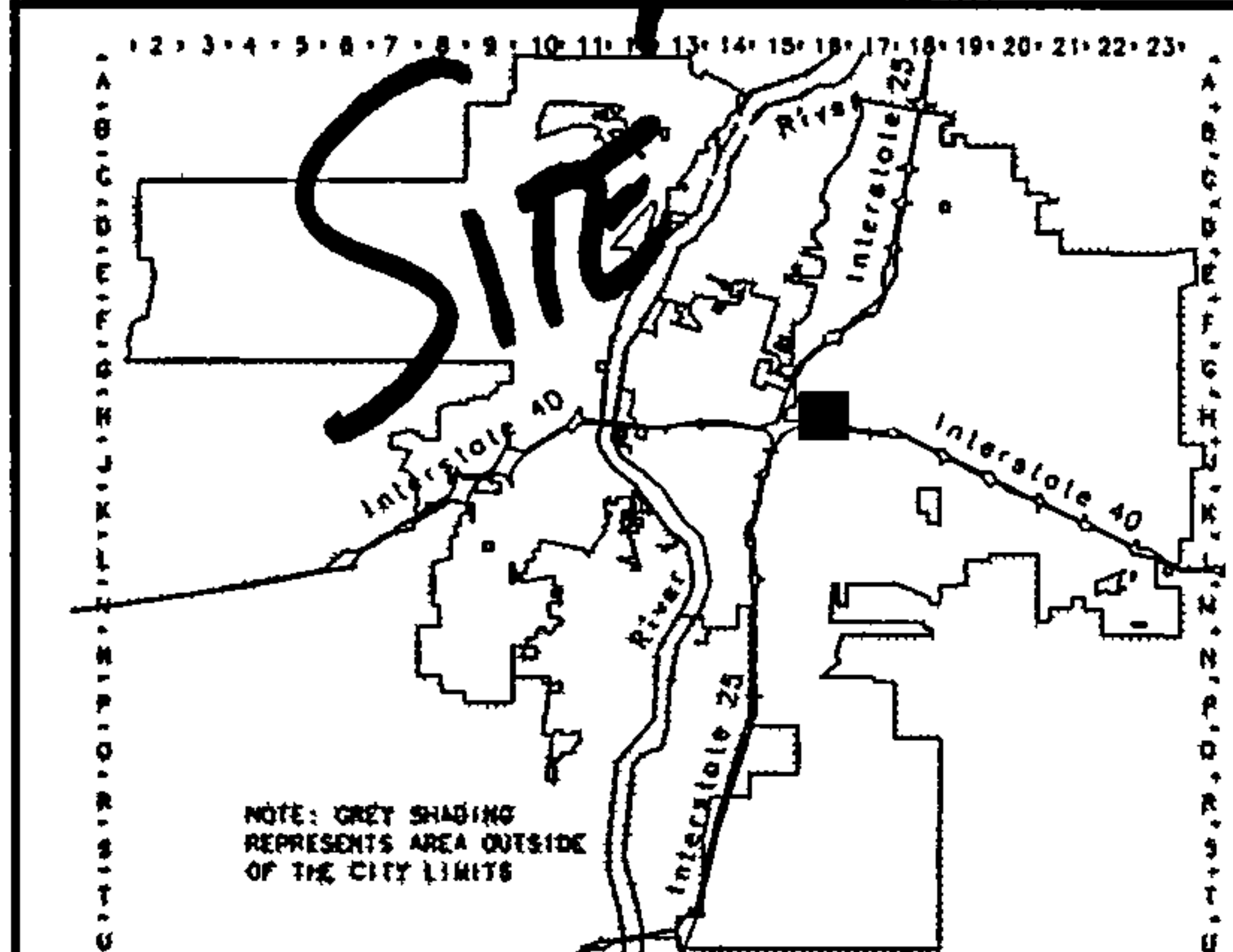
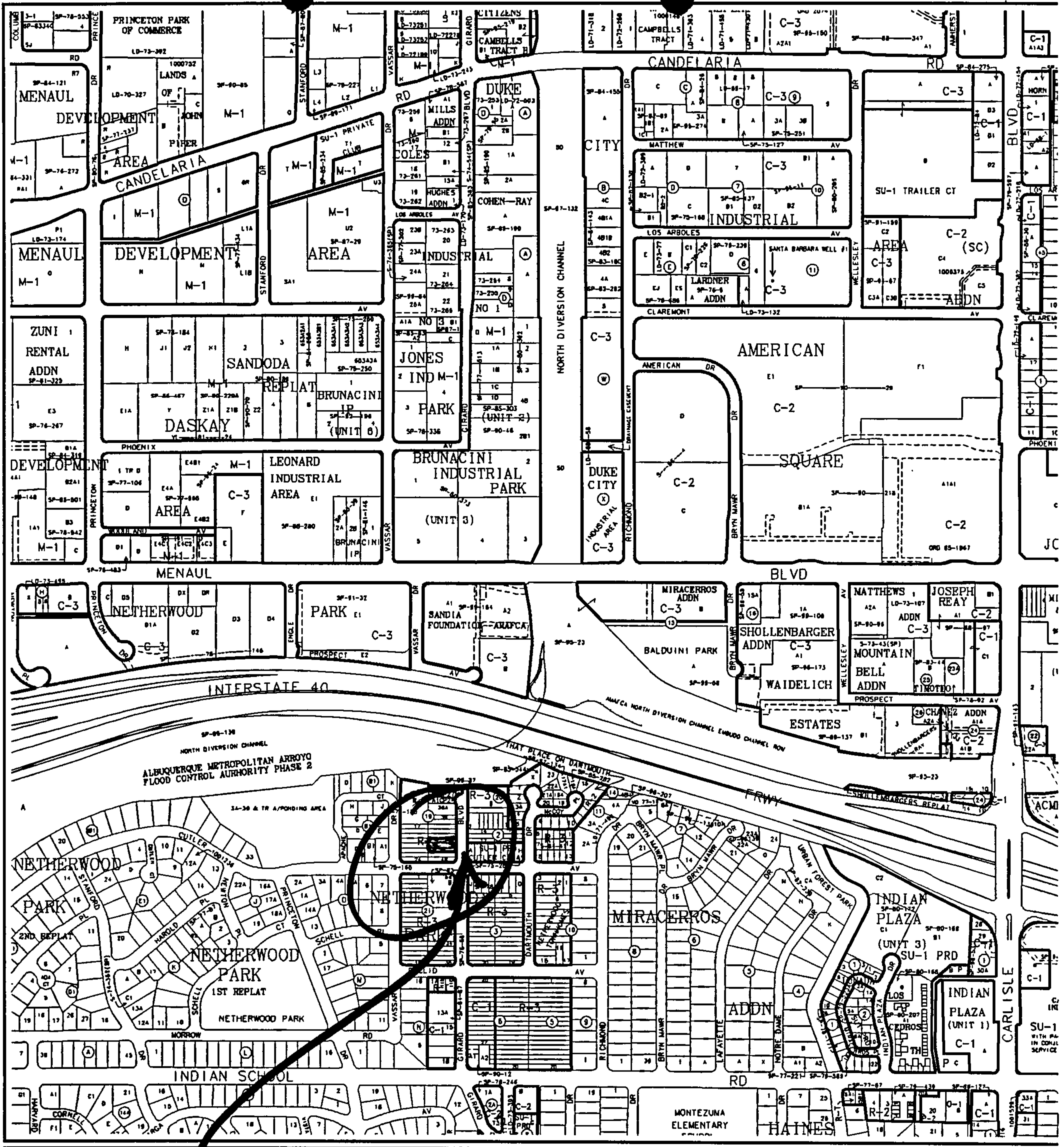


Form revised 3/03, 8/03 and 11/03

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
04 DRB - - 00775

B. Berber 5/18/04  
Planner signature / date

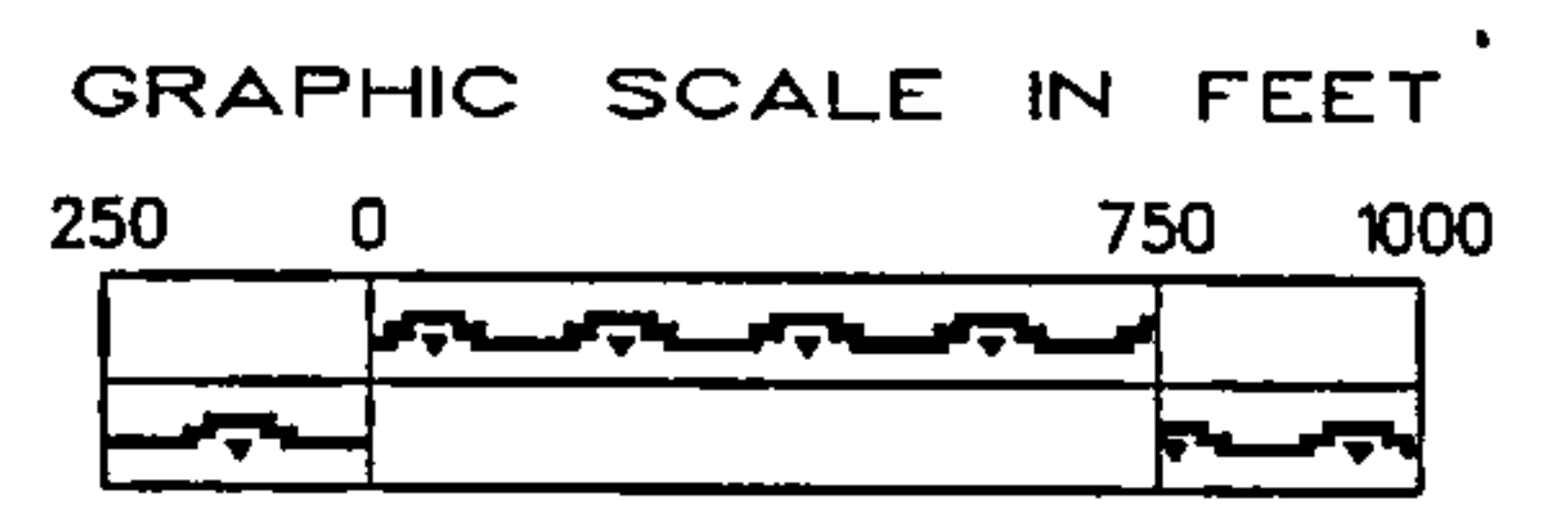
**Project #** 1003183



CITY OF  
Albuquerque

Albuquerque Geographic Information System  
PLANNING DEPARTMENT

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Zone Atlas Page

**H-16-Z**

Map Amended through August 01, 2003

# *Surveys Southwest, LTD*

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333 Lomas Blvd., NE \* Albuquerque, New Mexico 87102 \* 998-0303 \* Fax 998-0306

May 17, 2004

DEVELOPMENT REVIEW BOARD MEMBERS  
PLAZA DEL SOL  
600 SECOND STREET NW  
ALBUQUERQUE, NM 87102

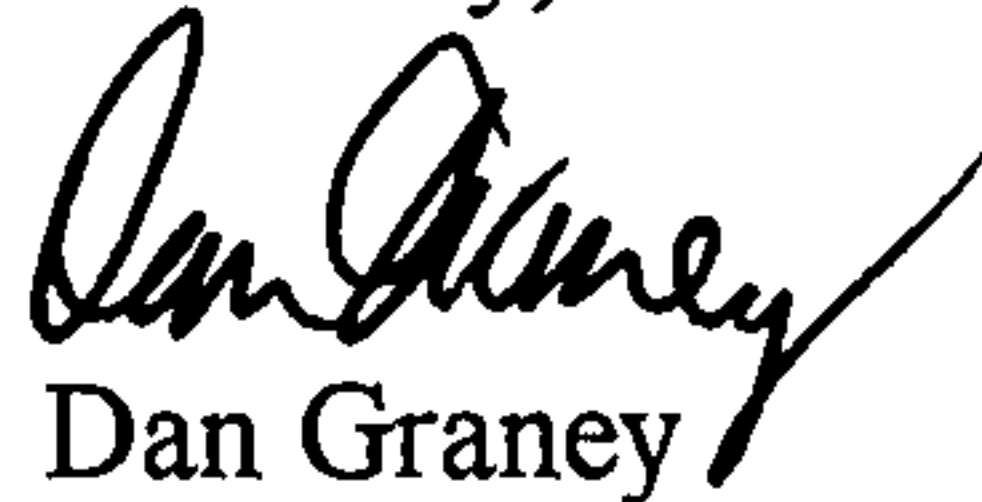
REF: LOTS 44-A-1, 44-A-2, 44-A-3 & 44-A-4, BLOCK 19, NETHERWOOD PARK  
ADDITION

Dear Board Members:

The purpose of this replat is to divide a new building into Four (4) separate lots as designed and built.

If you have any questions please feel free to contact me.

Sincerely,



Dan Graney  
President



**ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services**

**PAID RECEIPT**

APPLICANT NAME A & J REEVES

AGENT SURVEYS SW LTD

ADDRESS 333 LOMAS BLVD 87102

PROJECT & APP # 1003183

PROJECT NAME NETHERWOOD PARK, LOT 44A

\$ 20<sup>00</sup> 469099/4916000 Conflict Management Fee

\$ 425 441006/4983000 DRB Actions

\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ \_\_\_\_\_ 441018/4971000 Public Notification

\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
 Major/Minor Subdivision  Site Development Plan  Bldg Permit  
 Letter of Map Revision  Conditional Letter of Map Revision  
 Traffic Impact Study

\$ 445<sup>00</sup> TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

ARTHUR F. REEVES 02-93 JOAN REEVES DAVID REEVES 1909 VASSAR DRIVE NE ALBUQUERQUE, NM 87106-2561		7363 95-8366/3070
Pay to the Order of <u>City of Albuquerque</u>		Date <u>5/17/04</u>
City of Albuquerque Treasurer <u>Conrad Hendrick</u>		\$ <u>445<sup>00</sup></u> City of Albuquerque TREASURY DIVISION Golden Key Account
05/18/2004 Counterreceipt.doc RECEIPT# 00023695 Account 469099 Activity 4916 Trans Am* J24 Misc*	NEW MEXICO: AMN EDUCATORS FEDERAL CREDIT UNION P.O. Box 8530 Albuquerque, NM 87198-8530 # 0015 Fund 0110	05/18/2004 10146AM 0009710118 7363783000

Thank You

J24 MISC	\$425.00
CR	\$445.00
CHANGE	\$0.00

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
<b>SUBDIVISION</b>	<b>S</b>	<b>ZONING &amp; PLANNING</b>	<b>Z</b>
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	<b>V</b>	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L</b>		
		<b>APPEAL / PROTEST of...</b>	<b>A</b>
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: ARTHUR & JOAN BEEVES PHONE: 256-3050  
 ADDRESS: 1909 VASSAR DRIVE NE FAX: \_\_\_\_\_  
 CITY: ALBU STATE NM ZIP 87106 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: \_\_\_\_\_  
 AGENT (if any): SURVELLS SOUTHWEST, LTD PHONE: 998-0303  
 ADDRESS: 333 TOMAS BLVD NE FAX: 998-0306  
 CITY: ALBU STATE NM ZIP 87102 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: ELIMINATE LOT LINES BETWEEN THREE EXISTING LOTS CREATING ONE NEW LOT.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. LOTS 44, 45 & 46 Block: 19 Unit: N/A  
 Subdiv. / Addn. NETHERWOOD PARK ADDITION  
 Current Zoning: R-3 Proposed zoning: \_\_\_\_\_  
 Zone Atlas page(s): H-16-Z No. of existing lots: 3 No. of proposed lots: 1  
 Total area of site (acres): 0.2548 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes.  No, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO  
 UPC No. 1-016-059-229-122-31803 MRGCD Map No. N/A  
 LOCATION OF PROPERTY BY STREETS: On or Near: GIRARD BLVD NE  
 Between: VASSAR DR. NE and LUTLER AVE NE

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): N/A

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE Dan Crazley DATE 1-12-04  
 (Print) Dan Crazley \_\_\_\_\_ Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>042RB</u>	<u>P/F</u>	<u>3(3)</u>	<u>\$ 21500</u>
<input checked="" type="checkbox"/> All fees have been collected				\$
<input checked="" type="checkbox"/> All case #s are assigned		<u>CMP</u>		<u>\$ 20</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 23500</u>

Hearing date JAN/21/04

D. Crazley 1/12/04 Project # 1003183  
 Planner signature / date

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) INTERNAL ROUTING**

**SKETCH PLAT REVIEW AND COMMENT** **YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

**MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT** **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

**Extensions are not reviewed through internal routing.**  
 Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL** **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
  - Design elevations & cross sections of perimeter walls
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
  - Property owner's and City Surveyor's signatures on the Mylar drawing
  - SIA financial guaranty verification
  - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
  - Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL** **Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
  - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
  - Property owner's and City Surveyor's signatures on the Mylar drawing
  - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
  - Fee (see schedule) *215 + 20*
  - Any original and/or related file numbers are listed on the cover application
  - Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

*Vacant*

*N/A*

**AMENDMENT TO PRELIMINARY PLAT (with minor changes)** **Your attendance is required.**

**AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**

**AMENDMENT TO GRADING PLAN (with minor changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
  - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
  - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

*Jan Grancy* Applicant name (print)  
*Jan Grancy* *1-12-04*  
Applicant signature / date

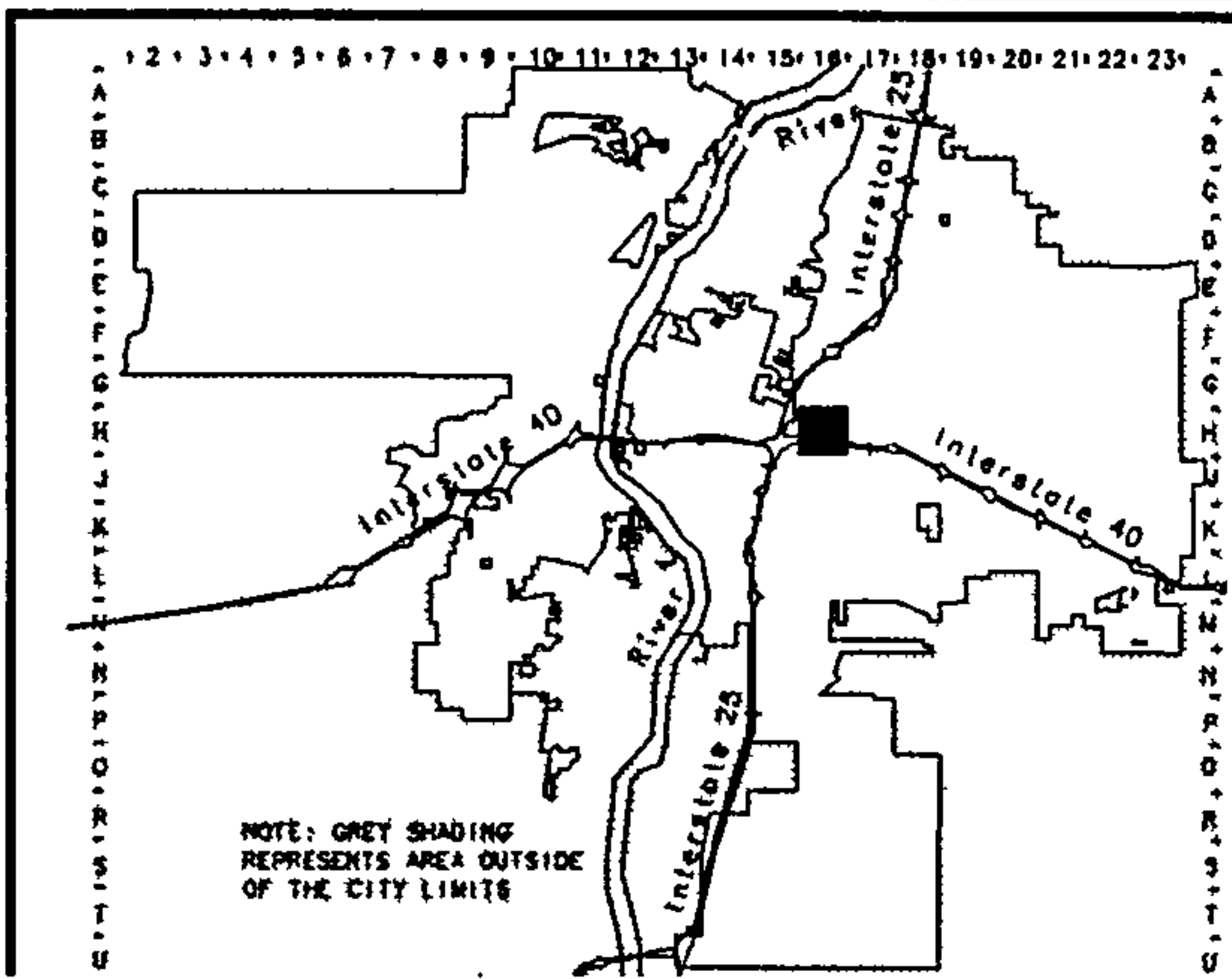
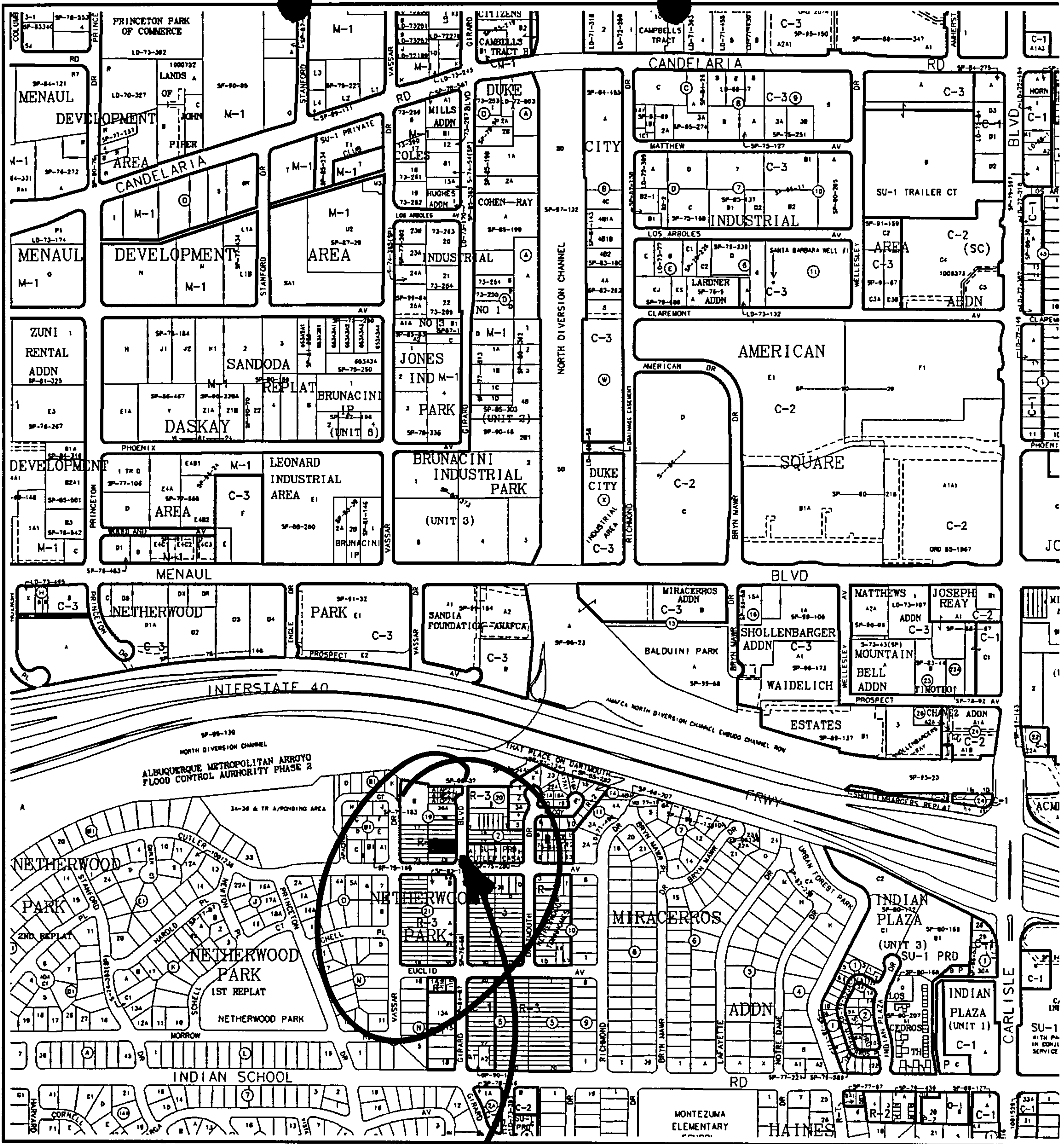


Form revised 3/03, 8/03 and 11/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
*047RB* - *00025*

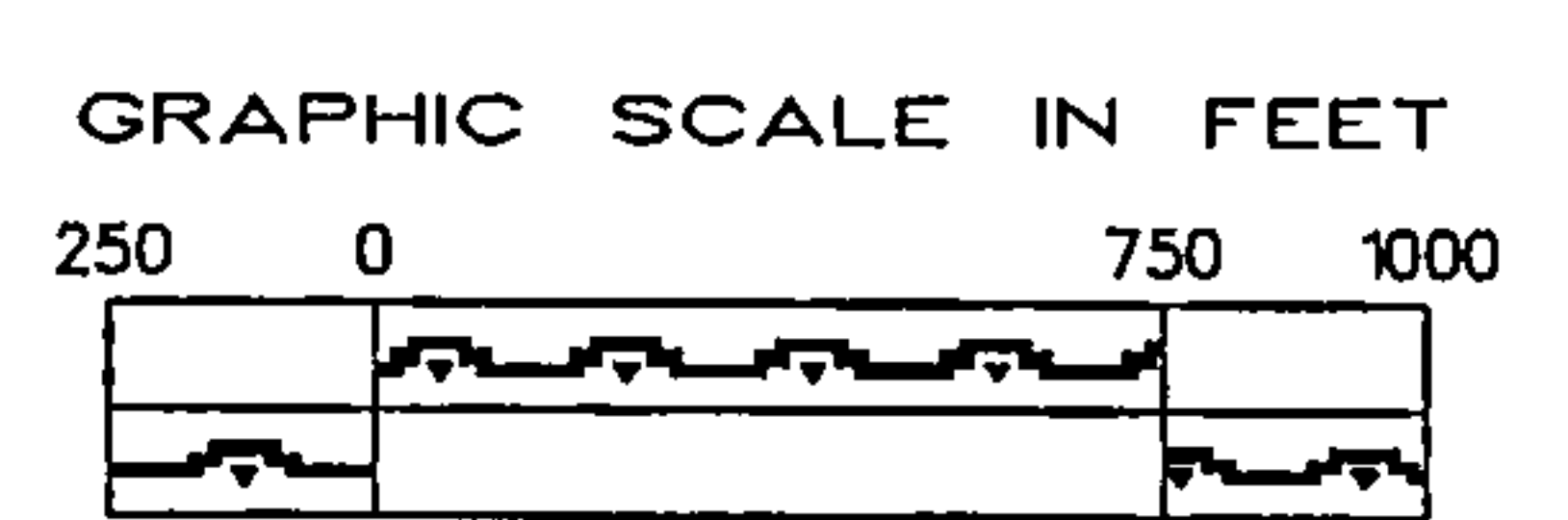
*Robert* *1/12/04*  
Planner signature / date  
**Project #** *1003183*



**SITE**



CITY OF  
Albuquerque  
Albuquerque Geographic Information System  
PLANNING DEPARTMENT  
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**Zone Atlas Page**  
**H-16-Z**  
Map Amended through August 01, 2003

# *Surveys Southwest, LTD*

---

*333 Lomas Blvd., NE \* Albuquerque, New Mexico 87102 \* 998-0303 \* Fax 998-0306*

January 9, 2004

DEVELOPMENT REVIEW BOARD MEMBERS  
PLAZA DEL SOL  
600 SECOND STREET NW  
ALBUQUERQUE, NM 87102

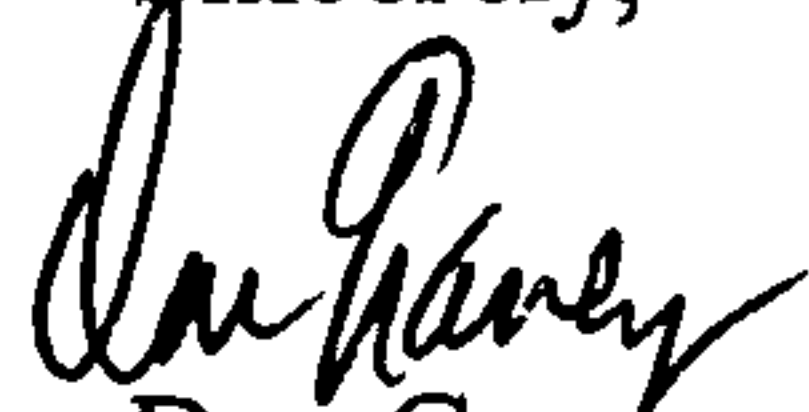
REF: LOT 44-A, BLOCK 19, NETHERWOOD PARK ADDITION

Dear Board Members:

Surveys Southwest, LTD is requesting to eliminate lot lines between Three (3) existing lots creating One (1) new lot for the above referenced subdivision.

If you have any questions please feel free to contact me.

Sincerely,



Dan Graney  
President

**ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services**

**PAID RECEIPT**

APPLICANT NAME Arthur & Joan Reeves  
 AGENT Surveys SW, LTD  
 ADDRESS 333 Lomas Blvd., NE.  
1003183 040RB.00025  
 PROJECT & APP #  
 PROJECT NAME NETHERWOOD PARK ADDN

\$ 20 469099/4916000 Conflict Management Fee  
 \$ 215 441006/4983000 **DRB** Actions  
 \$ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
 \$ 441018/4971000 Public Notification  
 \$ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
 ( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
 ( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
 ( ) Traffic Impact Study  
 \$ 235<sup>00</sup> TOTAL AMOUNT DUE

**\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

01/12/2004 4:07PM LOC: ANN  
 RECEIPT# 00018449 WSH 008 TRANSH 0034  
 Account 441006 Fund 0000  
 Activity 4983000 TRSTAM  
 Trans Amt \$235.00  
 J24 Misc \$215.00  
 CK \$235.00  
 CHANGE \$0.00  
 Counterrec'd doc 12/29/03

1024

95-660/1070  
7829116012

DATE 1/12/04

\$ 235<sup>00</sup> DOLLARS

JOE A. SMITH  
P.O. BOX 90906 PH. 505-328-6670  
ALBUQUERQUE, NM 87199

PAY TO THE ORDER OF Southwest survey

two hundred thirty five

**\*\*\*DUPLICATE\*\*\***  
City Of Albuquerque  
Treasury Division

**BANK OF ALBUQUERQUE**  
Albuquerque, New Mexico  
www.bankofalbuquerque.com

MEMO \_\_\_\_\_

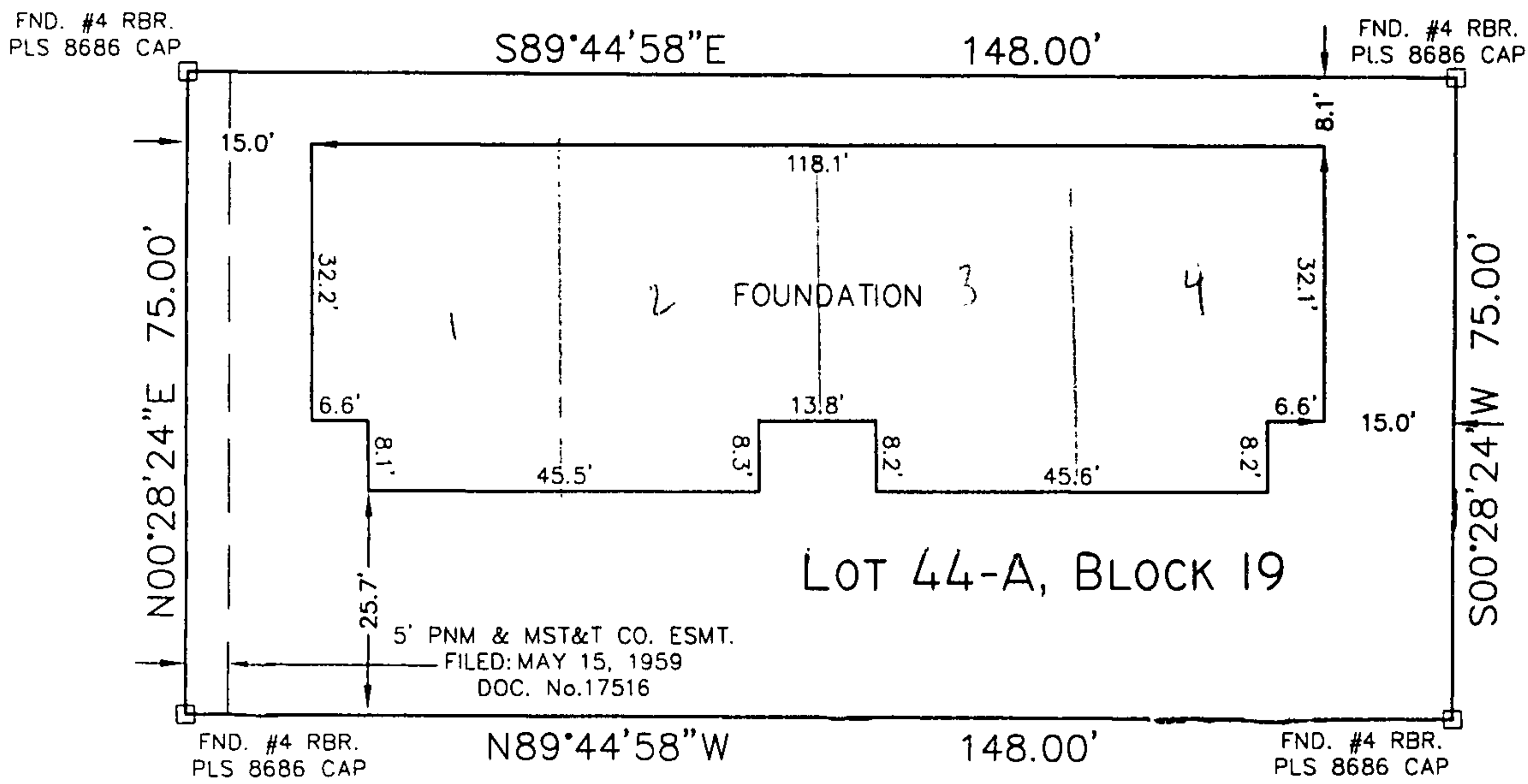
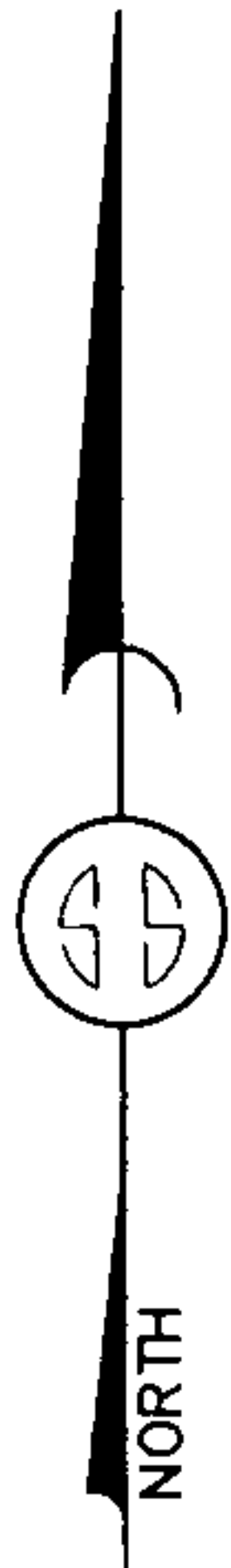
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 Account 469099 Fund 0000  
 Activity 4916000 TRSTAM  
 Trans Amt \$235.00  
 J24 Misc \$20.00

1070066061 7829116012

Thank You

1" = 30'  
PROJECT NO. 0401RS02  
DRAWN BY PGB  
ZONE ATLAS: H-16-Z  
NETHETIE.CR5

"EXHIBIT"



GIRARD BOULEVARD N.E.  
( 60 ' PUBLICLY DEDICATED RIGHT-OF-WAY)

THIS REPORT IS NOT FOR USE BY A PROPERTY OWNER FOR ANY PURPOSE.

**SURVEYS SOUTHWEST, LTD.**

333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102

PHONE: (505) 998-0303  
FAX: (505) 998-0306

**Netherwood Park Addn.**