

ARCHITECT

ENGINEER

PROJECT

**JOURNAL CENTER
OFFICE BUILDING**
Lang Ave. NE, Albuquerque, NM
DRB Submittal Set

REVISIONS

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- △
- △
- △

DRAWN BY: CP
REVIEWED BY: AMC
DATE: 04/21/04
PROJECT NO: 04040
DRAWING NAME:

Site Development Plan
for Building Permit

SHEET NO. **A001**
1 of 7

GENERAL NOTES

- A. PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS
- B. REFER TO SHEET L001 FOR LANDSCAPE DESIGN AND INFORMATION
- C. REFER TO SHEETS C101 FOR GRADING AND DRAINAGE DESIGN AND INFORMATION
- D. REFER TO SHEET A301 & A302 FOR ADDITIONAL BUILDING LIGHTING INFORMATION

KEYED NOTES

1. SIDEWALK, CONCRETE
2. PAVING, ASPHALT
3. BICYCLE RACK, PAINT, (5) BICYCLES, RE: B3/A091
4. CURB, 6" HIGH, CONCRETE
5. CURB W/ GUTTER, 6" HIGH, CONCRETE (NOT USED)
6. TRANSFORMER
7. SCREEN WALL, 15'-4" HIGH, 2-COAT STUCCO SYSTEM OVER 12" CMU, COLOR TO MATCH BUILDING
8. SCREEN WALL, 6'-0" HIGH, 2-COAT STUCCO SYSTEM OVER 8" CMU, COLOR TO MATCH BUILDING, RE: A1/A091
9. MONUMENT SIGN, RE: A2/A091
10. LANDSCAPE AREA, RE: L001
11. INTEGRALLY COLORED CONCRETE, PEDESTRIAN PATH
12. SCREEN WALL, 4'-0" HIGH W/ 8" CAP BLOCK, STONE VENEER OVER 8" CMU, RADIUS = 56'-11"
13. HC RAMP, RE: A4/A091
14. STEEL TRELLIS, COLOR TO MATCH GALVALUM FINISH
15. SCREEN WALL, 1'-4" HIGH W/ 8" CAP BLOCK, STONE VENEER OVER 8" CMU, RADIUS = 21'-0"
16. STEEL PARKING CANOPY W/ ALUMINUM PANEL, GALVALUM FINISH, DECK RE: B2/A091
17. RETAINING WALL, RE: C1/A091, C101 FOR ELEVATION.

SITE INFORMATION

LEGAL DESCRIPTION:
TRACTIA-2-A-2 N JOURNAL CENTER, ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO

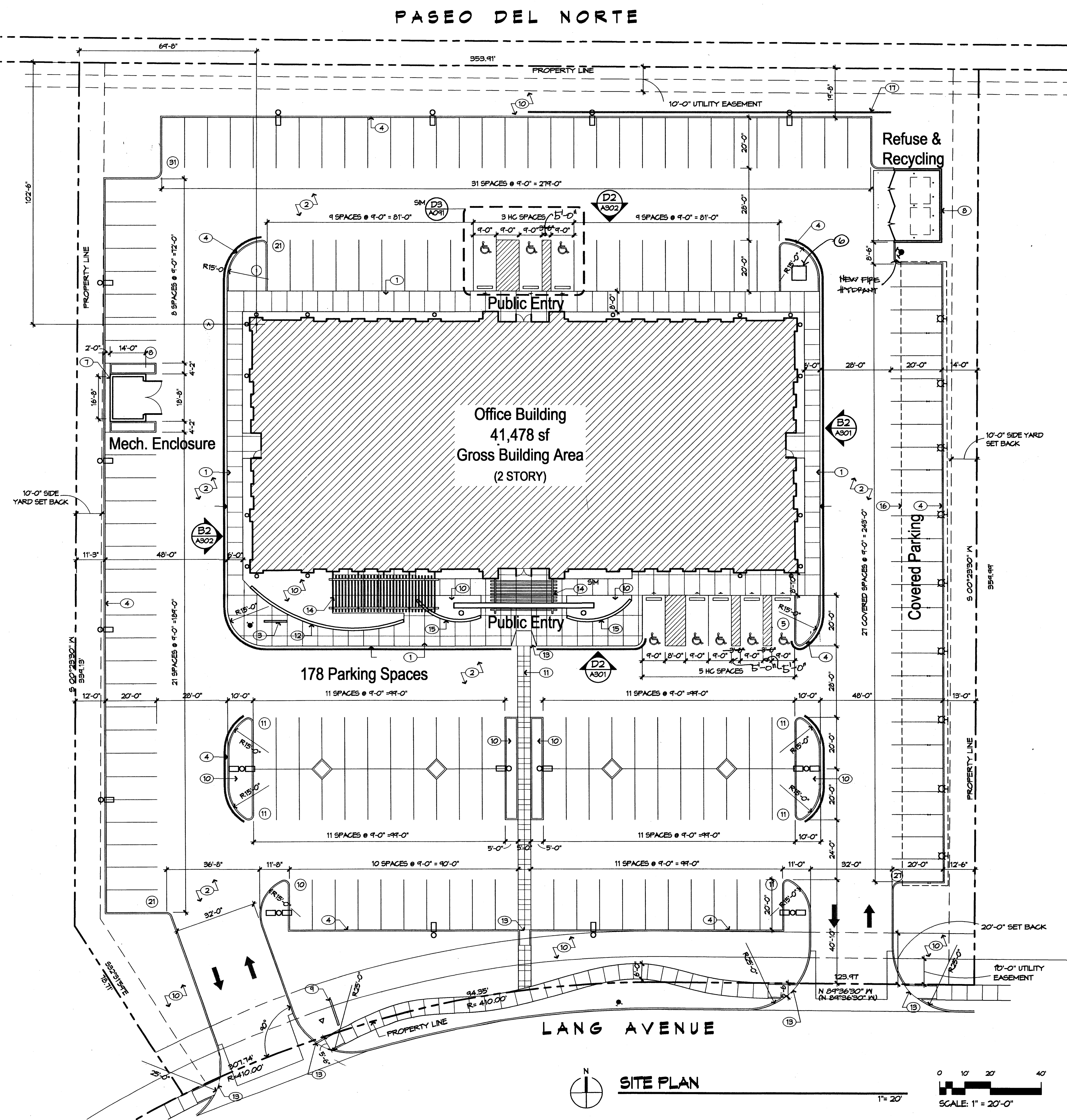
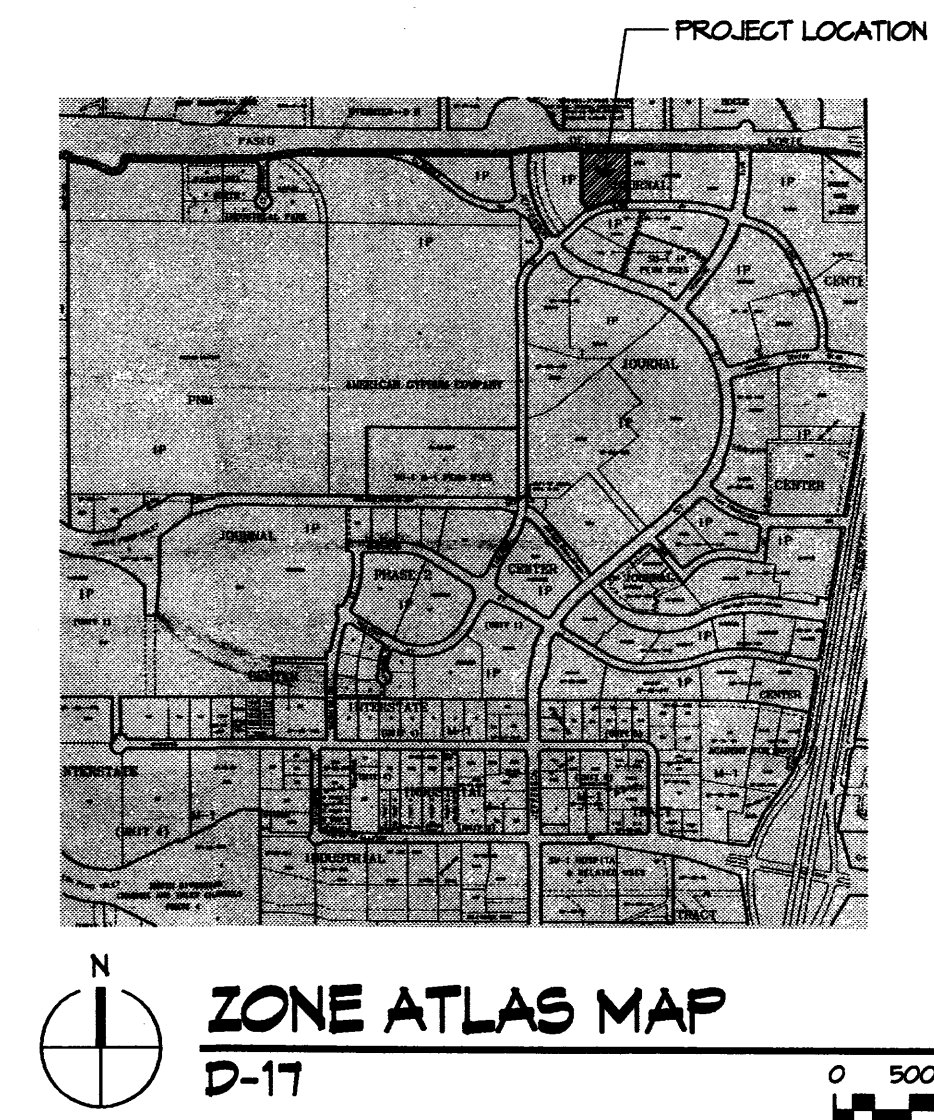
ZONE: IP INDUSTRIAL PARK
GROSS BUILDING SQUARE FOOTAGE: 41,478 SF
TOTAL SITE AREA: 130,660 SF / 3.0 ACRES
F.A.R.: 0.317

PARKING INFORMATION

OFFICES: NET LEASABLE SF/ 200 (1ST FL) AND 300 (2ND FL)
FIRST FLOOR: 20,070 SF / 200 = 101
SECOND FLOOR: 19,078 SF / 300 = 64
TOTAL SPACES REQUIRED: 165
(INCLUDING 8 ACCESSIBLE SPACES WITH 4 VAN ACCESSIBLE)
TOTAL SPACES PROVIDED: 178
(INCLUDING 8 ACCESSIBLE SPACES WITH 4 VAN ACCESSIBLE)
COMPACT SPACES: NONE PROVIDED
BICYCLE REQUIREMENTS: 165/20 = 9
BICYCLE SPACES PROVIDED = 10

LEGEND

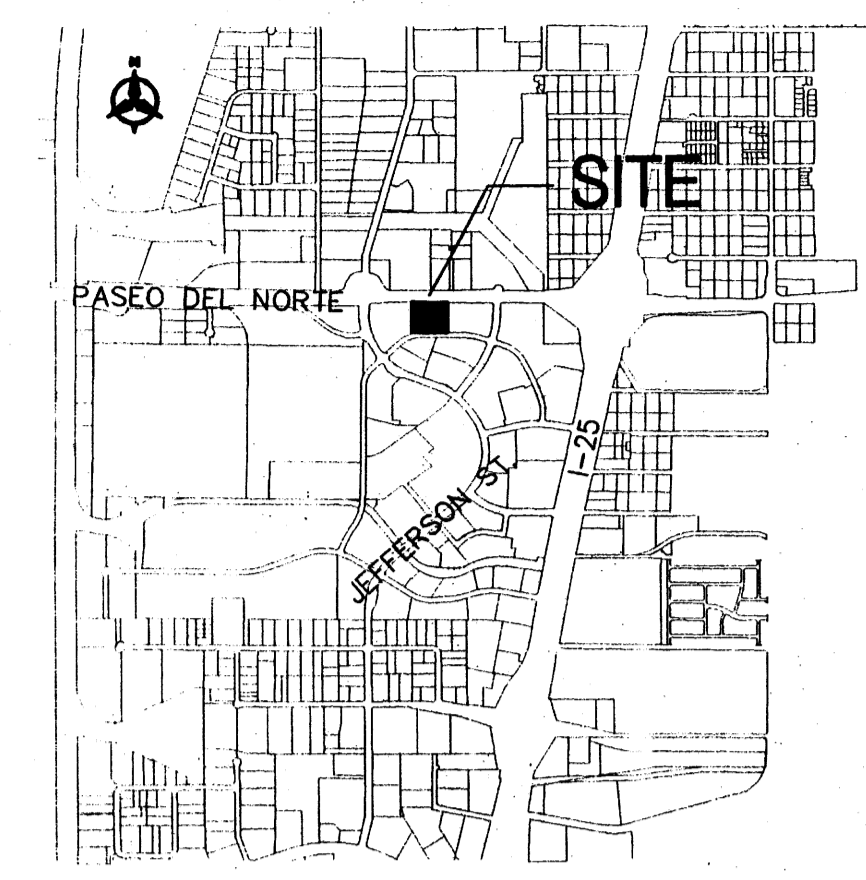
- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT, RE: C101
- ⊗ PARKING SPACE COUNT
- LIGHT POLE - DOUBLE HEAD, RE: D2/A091
- LIGHT POLE - SINGLE HEAD, RE: D2/A091
- ⊠ SURFACE MOUNTED LIGHT FIXTURE, RE: D1/A091
- ▽ FLOOD LIGHT, RE: D1/A091
- UP LIGHT, RE: D1/A091
- ↑ TRAFFIC ARROW, PAINT WHITE
- PAINT CURB, RED, & PAINT TEXT "FIRE LANE NO PARKING"



SITE PLAN

SCALE: 1" = 20'-0"

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VICINITY MAP
 ZONE ATLAS No. D-17

LEGAL DESCRIPTION

PLAT OF TRACTS 1A-2-A-1, 1A-2-A-2 AND 1A-2-A-3
 JOURNAL CENTER TRACT 1A-2-A-2

BENCHMARK

ACS 1 3/4" ALUMINUM DISK, STAMPED "ACS BM, 14-C17, EPOXIED TO TOP OF CONCRETE BASE OF TRAFFIC LIGHT STATION, N.E. QUADRANT OF PASEO DEL NORTE & JEFFERSON ST. N.E., ON THE N.E. CORNER OF SAID CONCRETE BASE.

LEGEND

- PROPERTY LINE
- - - EXISTING CONTOURS
- X 5301.15 EXISTING GROUND SPOT ELEVATION
- ⊙ EXISTING ELECTRICAL POLE
- 65.23 PROPOSED SPOT ELEVATION
 TC=TOP OF CURB, FL=FLOW LINE
 TW=TOP OF WALL, BW=BOTTOM OF WALL
- ⊕ 65.23 EXISTING SPOT ELEVATION
- S=2.0% PROPOSED DIRECTION OF FLOW
- ▬ WATER BLOCK
- ▬ PROPOSED RETAINING WALL
- - - PROPOSED INDEX CONTOURS
- - - PROPOSED INTER CONTOURS
- ▬ PROPOSED CURB & GUTTER
- ▬ EASEMENT
- ⊙ EXISTING TREE
- ⊕ PROPOSED LIGHTING
- SD PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- ⊙ EXISTING STORM DRAIN MANHOLE

GRADING KEYED NOTES

- 1 PROVIDE OPENING IN WALL FOR DRAINAGE.
- 2 SIDEWALK TO BE FLUSH WITH ASPHALT.
- 3 INSTALL TYPE 'D' INLET PER COA STD. DWG. 2206
- 4 TIE 18" TYPE III RCP STORM DRAIN TO EXISTING 18" STUB OUT. PROVIDE 19.03LF AT 1.0% SLOPE TO NEW TYPE 'D' INLET.
- 5 INSTALL 4" PVC AT 0.5% SLOPE UNDER SIDEWALK
- 6 INSTALL CONCRETE VALLEY CUTTER PER DETAIL THIS SHEET

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

JOURNAL CENTER OFFICE BUILDING
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REVISIONS

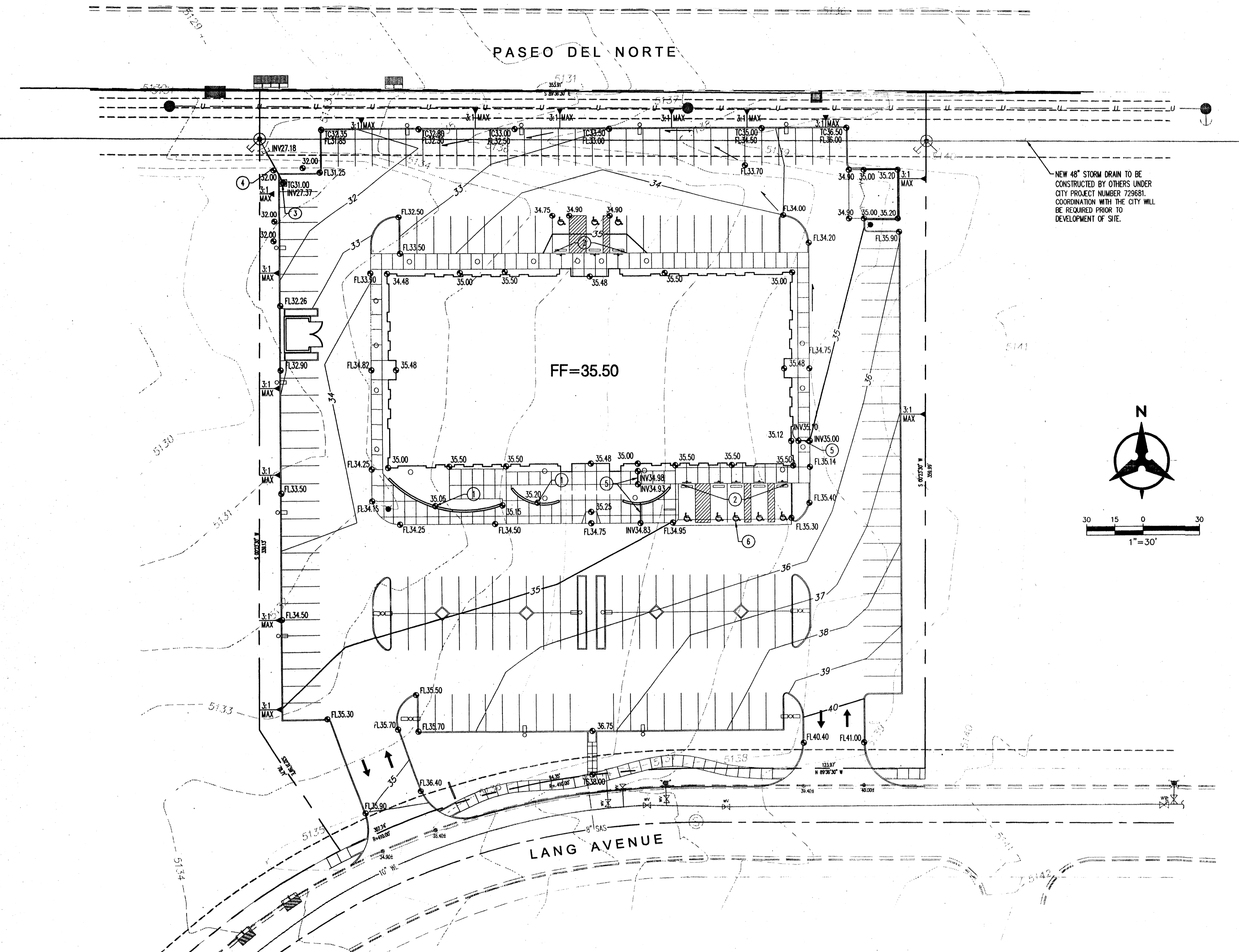
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DRAWN BY	RFS
REVIEWED BY	ELB
DATE	06/07/04
PROJECT NO.	040978
DRAWING NAME	

GRADING AND DRAINAGE PLAN

SHEET NO.

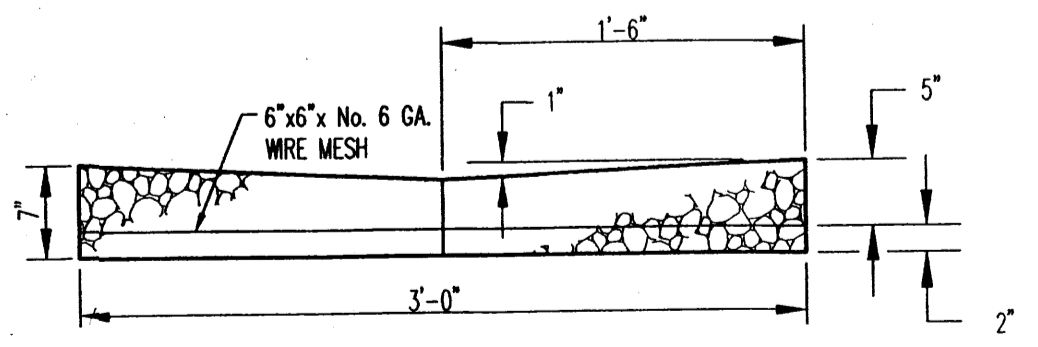
C101
 2 of 7



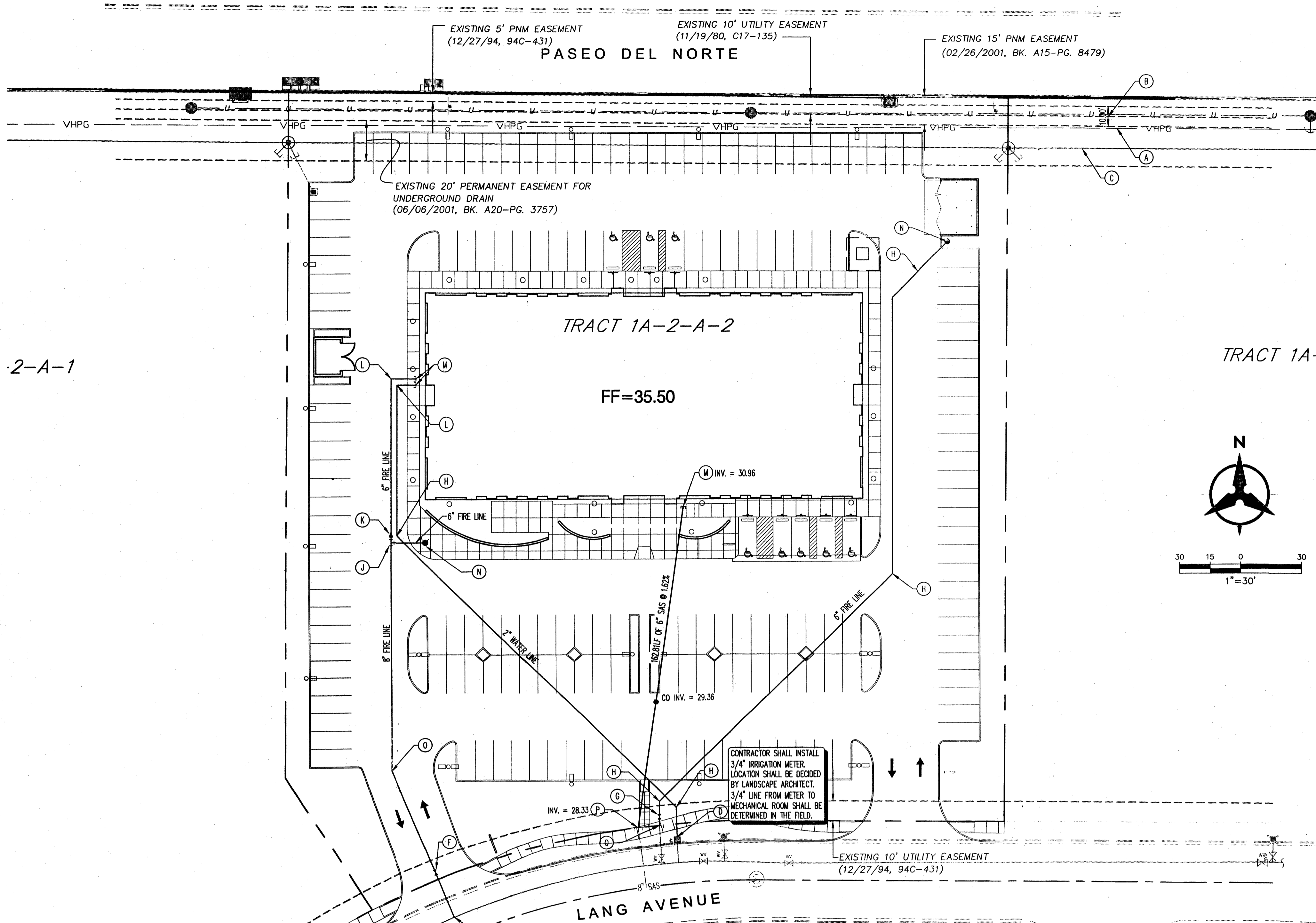
NEW 48" STORM DRAIN TO BE CONSTRUCTED BY OTHERS UNDER CITY PROJECT NUMBER 729681. COORDINATION WITH THE CITY WILL BE REQUIRED PRIOR TO DEVELOPMENT OF SITE.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



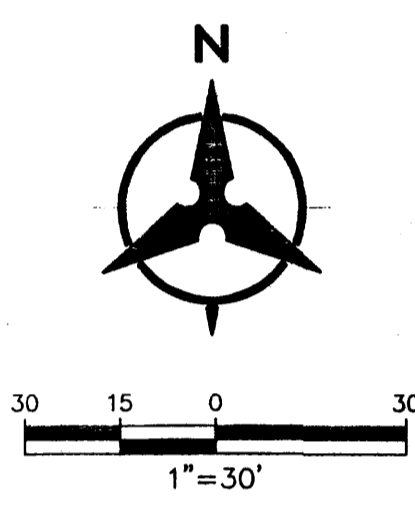
TYPICAL VALLEY GUTTER SECTION
 CONCRETE FOR ALL VALLEY GUTTERS WILL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI IN 24 HOURS.



2-A-1

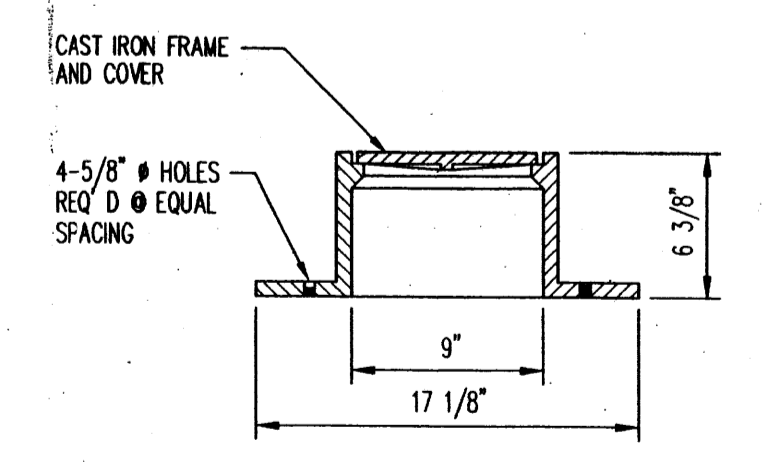
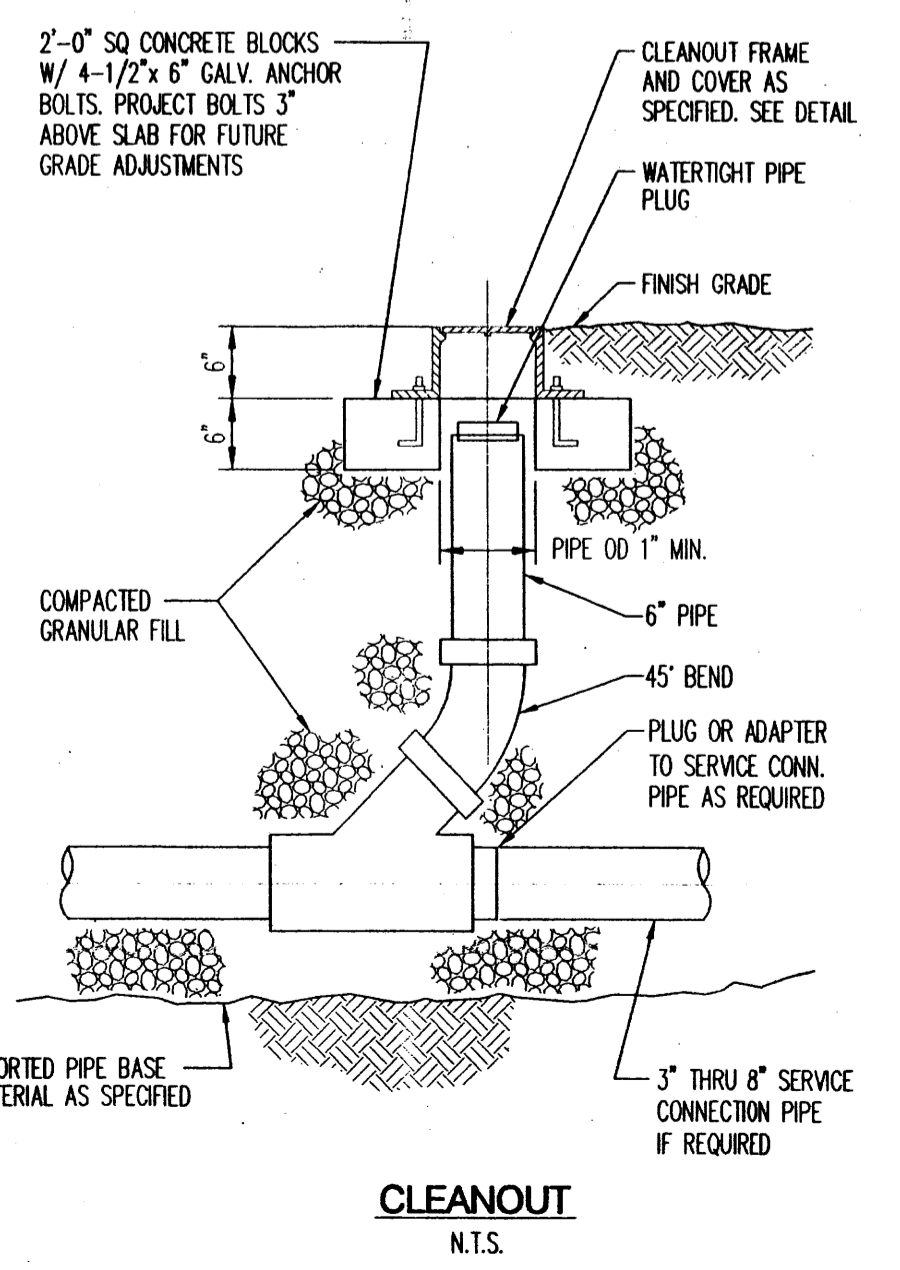
UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL PREPARE ALL SUBMITTAL MATERIALS & PAY APPLICABLE FEES REQUIRED TO OBTAIN THE "MINI WORK ORDER" REQUIRED TO TAP THE EXISTING CITY WATER MAIN.



UTILITY KEYED NOTES

- (A) EXISTING GAS LINE TO BE RELOCATED BY PNM.
- (B) PROPOSED GAS LINE LOCATION WITHIN PNM EASEMENT.
- (C) NEW 48" STORM DRAIN INSTALLED BY OTHERS.
- (D) NEW DOMESTIC 1 1/4" WATER METER AND METER BOX AS PER COA STD. DWG. 2367, AND 2368. SEE UTILITY NOTE 11, THIS SHEET. THE NEW 2" DOMESTIC WATER LINE TO NEW 1 1/4" WATER METER.
- (E) THE NEW 8" FIRE LINE TO EXISTING CITY MAIN. SAWCUT EXISTING PAVEMENT, REMOVE AND REPLACE PAVEMENT PER COA. STD. DWG. 2465. SEE UTILITY NOTE 11, THIS SHEET.
- (F) INSTALL 8" GATE VALVE W/BOX AND LID PER COA. STD. DWG. 2326.
- (G) INSTALL 6" GATE VALVE W/BOX AND LID PER COA. STD. DWG. 2326.
- (H) 45° BENDS W/BLOCKING PER COA. STD. DWG. 2320.
- (J) 8" x 6" TEE W/BLOCKING PER COA. STD. DWG. 2320.
- (K) 8" x 6" REDUCER.
- (L) 90° BEND W/BLOCKING PER COA. STD. DWG. 2320.
- (M) STUB TO WITHIN 5' OF BUILDING.
- (N) NEW FIRE HYDRANT PER COA. STD. DWG. 2340.
- (O) 22.5° BEND W/BLOCKING PER COA. STD. DWG. 2320.
- (P) THE NEW SAS INTO EXISTING 6" STUB OUT. INVERT GIVEN IS FROM RECORD DATA - FIELD VERIFY PRIOR TO FOUNDATION CONSTRUCTION.
- (Q) THE NEW 6" FIRE LINE INTO EXISTING 6" WATER LINE STUB.



CLEANOUT FRAME & COVER
N.T.S.

AFD Plans Checking Office
924-3611
HYDRANTS ONLY
Hydrants shall be installed prior to construction
APPROVED/DISAPPROVED
R.T. Sanchez 6-8-04
Signature & Date

LEGEND

- PROPERTY LINE
- - - 5.301 EXISTING CONTOURS
- χ 5.301.15 EXISTING GROUND SPOT ELEVATION
- ⊕ EXISTING ELECTRICAL POLE
- ⊙ 65.23 PROPOSED SPOT ELEVATION
TC=TOP OF CURB, FL=FLOW LINE
TW=TOP OF WALL, BW=BOTTOM OF WALL
EX=EXISTING, TG=TOP OF GRADE
- ~ S=2.0% PROPOSED DIRECTION OF FLOW
- ▬ WATER BLOCK
- ▬ PROPOSED RETAINING WALL
- - - 5.305 PROPOSED INDEX CONTOURS
- ▬ PROPOSED INTER CONTOURS
- ▬ PROPOSED CURB & GUTTER
- ⊕ EASEMENT
- ⊕ EXISTING TREE
- ⊕ PROPOSED LIGHTING
- SD PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- ⊕ EXISTING STORM DRAIN MANHOLE

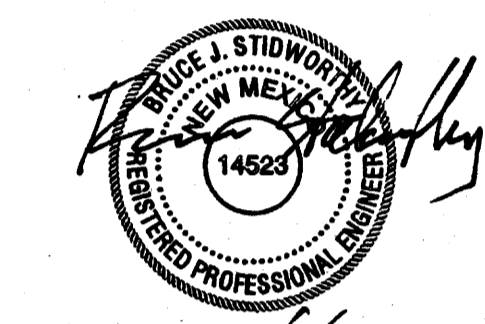
VICINITY MAP
ZONE ATLAS No. D-17

LEGAL DESCRIPTION

PLAT OF TRACTS 1A-2-A-1, 1A-2-A-2 AND 1A-2-A-3
JOURNAL CENTER TRACT 1A-2-A-2

ARCHITECT

ENGINEER



PROJECT

**JOURNAL CENTER
OFFICE BUILDING**
Lang Ave. NE, Albuquerque, NM
DRB Submittal Set

REVISIONS

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- △
- △
- △

DRAWN BY **RPS**
REVIEWED BY **EJS**
DATE **06/01/04**
PROJECT NO. **040878**
DRAWING NAME

UTILITY PLAN

SHEET NO.

C102
3 OF 7



**JOURNAL CENTER
OFFICE BUILDING**
Lang Ave. NE Albuquerque, NM
DRB Submittal Set

REVISIONS

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DRAWN BY	RL
REVIEWED BY	JB
DATE	4-27-04
PROJECT NO.	03094
DRAWING NAME	Landscape Plan

PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
FR	18	FRAXINUS	RAYWOOD ASH	2 1/2" CAL	M
PN	12	PINUS NIGRA	AUSTRIAN PINE	5'-6' HT.	M
CH	12	CHITALPA	CHITALPA	2 1/2" CAL	M
PC	6	PRUNUS	PURPLELEAF PLUM	2 1/2" CAL	M
○	17	FORESTIERA	NEW MEXICO OLIVE	5 GAL	M
○	28	VAQUELINIA	ARIZONA ROSEWOOD		M
✱	62	JUNIPERUS	BUFFALO JUNIPER		L
⊙	46	PEROVSKIA	RUSSIAN SAGE		L
○	69	LAVANDULA	LAVENDER		M
✱	56	HESPERALOE	RED YUCCA		L
●	60	CALAMAGROSTIS OVERDAM	VAR. FEATHER REED GRASS		M
●	18	MISCANTHUS	MAIDENGRASS		M
●	62	RAPHIOLEPSIS	INDIA HAWTHORN		M
●	13	CENTRANTHUS ALBA	WHITE JUPITERS BEARD		M
●	71	ZAUSCHNERIA	HUMMINGBIRD PLANT		M
●	20	CERASTIUM	SNOW IN SUMMER	1 GAL	M
HA	114	HYMENOXYIS	NOT IN CONTRACT		

SITE DATA

REQUIRED LANDSCAPE	16,454 SF
15% OF NET LOT AREA	
PROPOSED LANDSCAPE	32,579 SF
PERCENT OF NET LOT AREA	30%

HIGH WATER USE TURF	0 SF
MAX. 20% OF LANDSCAPE AREA	
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0%

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE
LOW OR MEDIUM WATER USE PLANTS
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE
HIGH WATER USE TURF

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP
IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY
OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE
AND WATER WASTE ORDINANCE
PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN.
75% LIVE GROUNDCOVER OF LANDSCAPE AREAS
AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH SANTA FE BROWN
CRUSHER FINES AT 2"-3" DEPTH OVER FILTER FABRIC

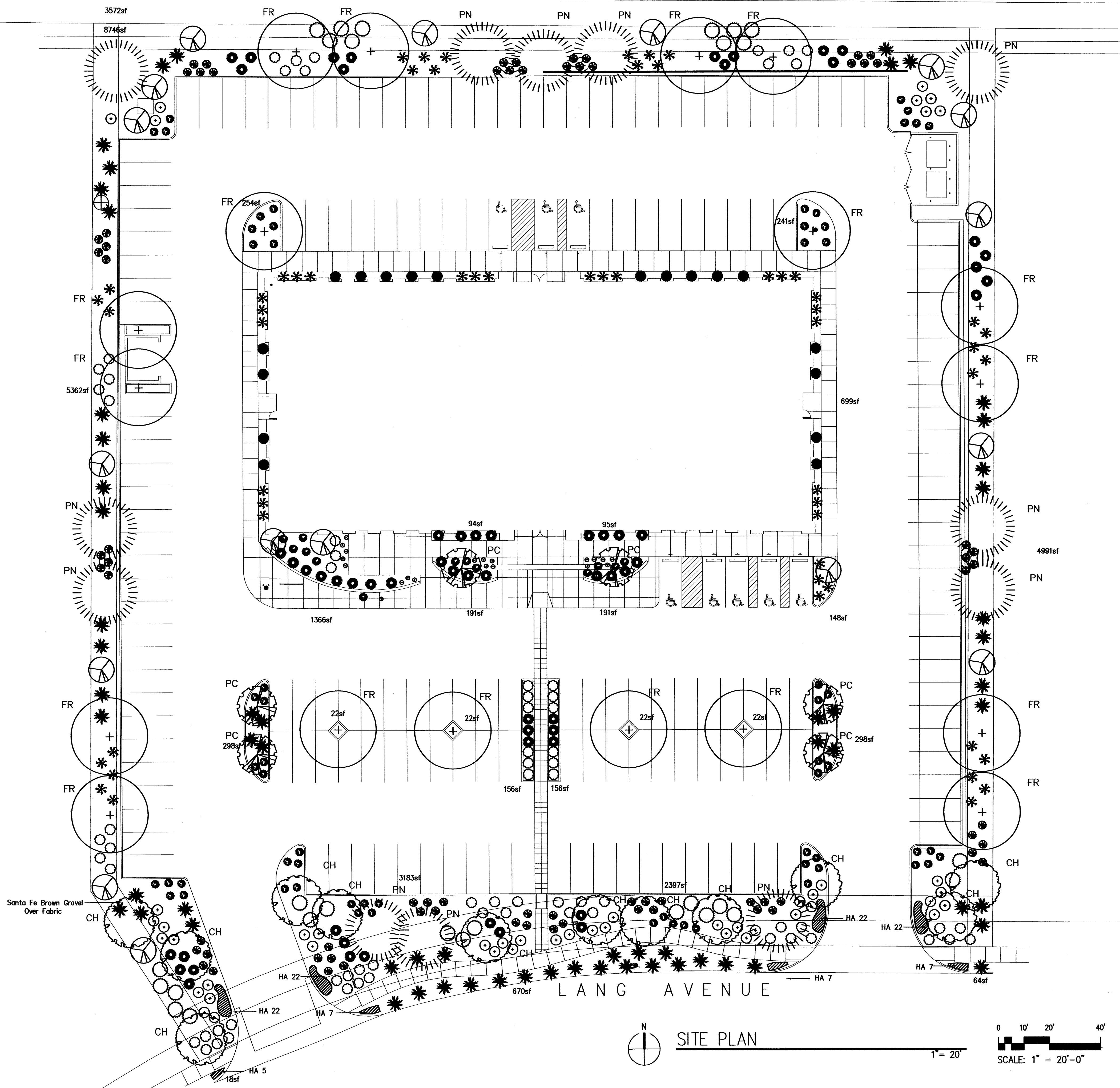
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE
OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE
C.O.A LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

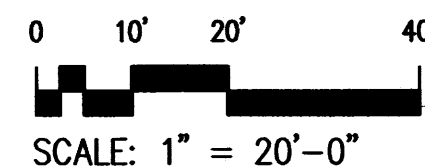
NO PARKING SPACE SHALL BE MORE THEN 100'
FROM A TREE.

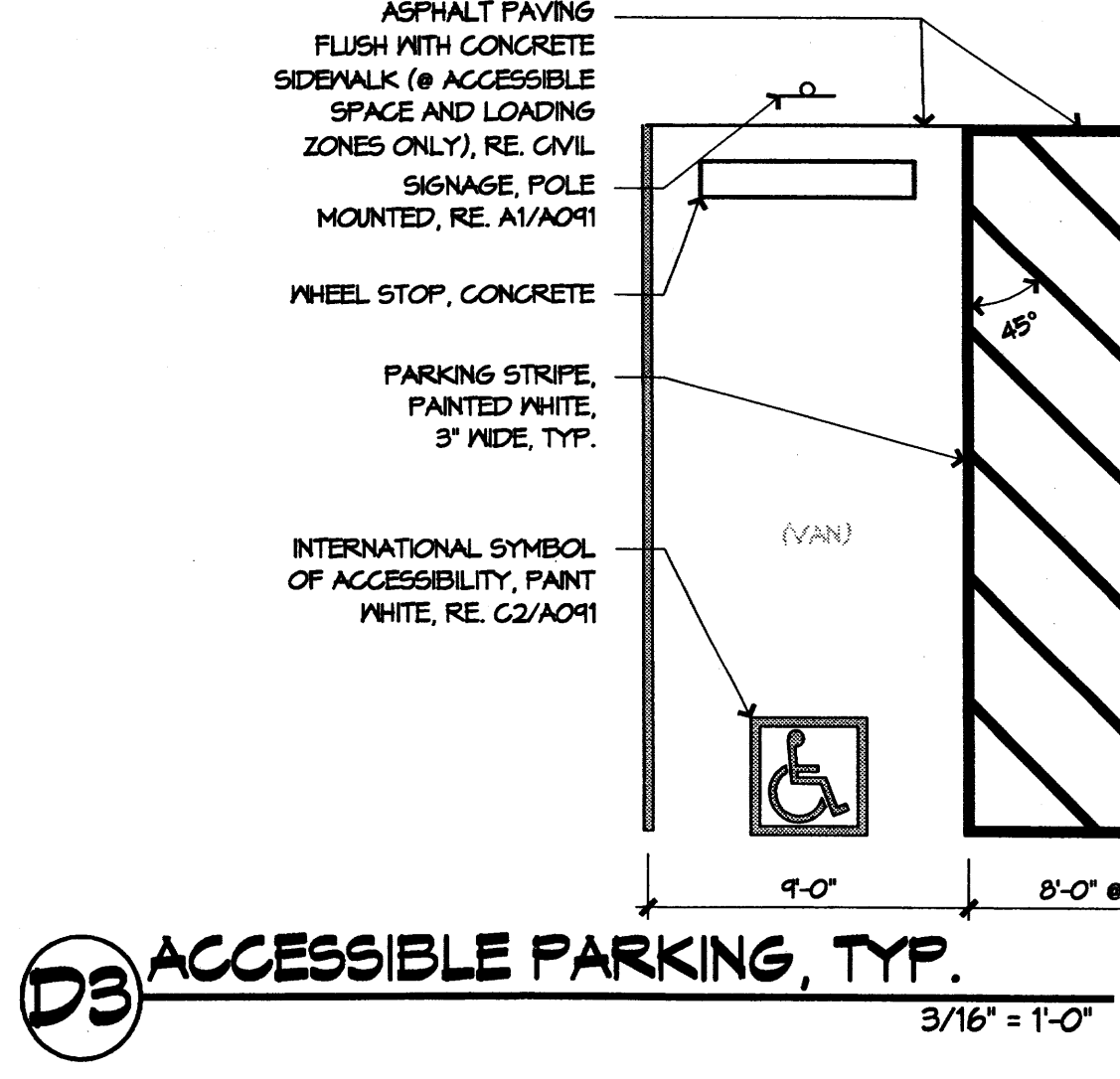
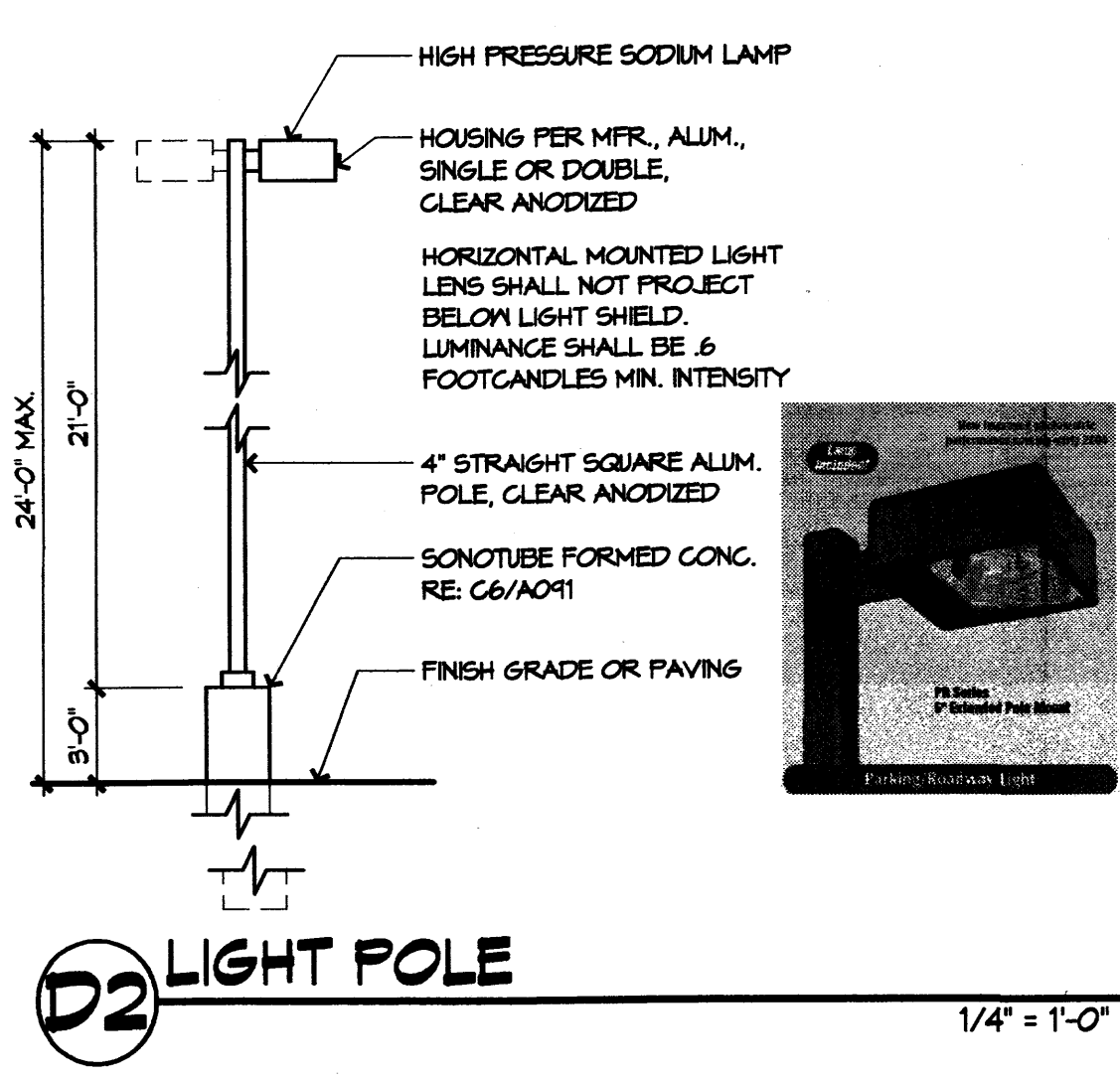
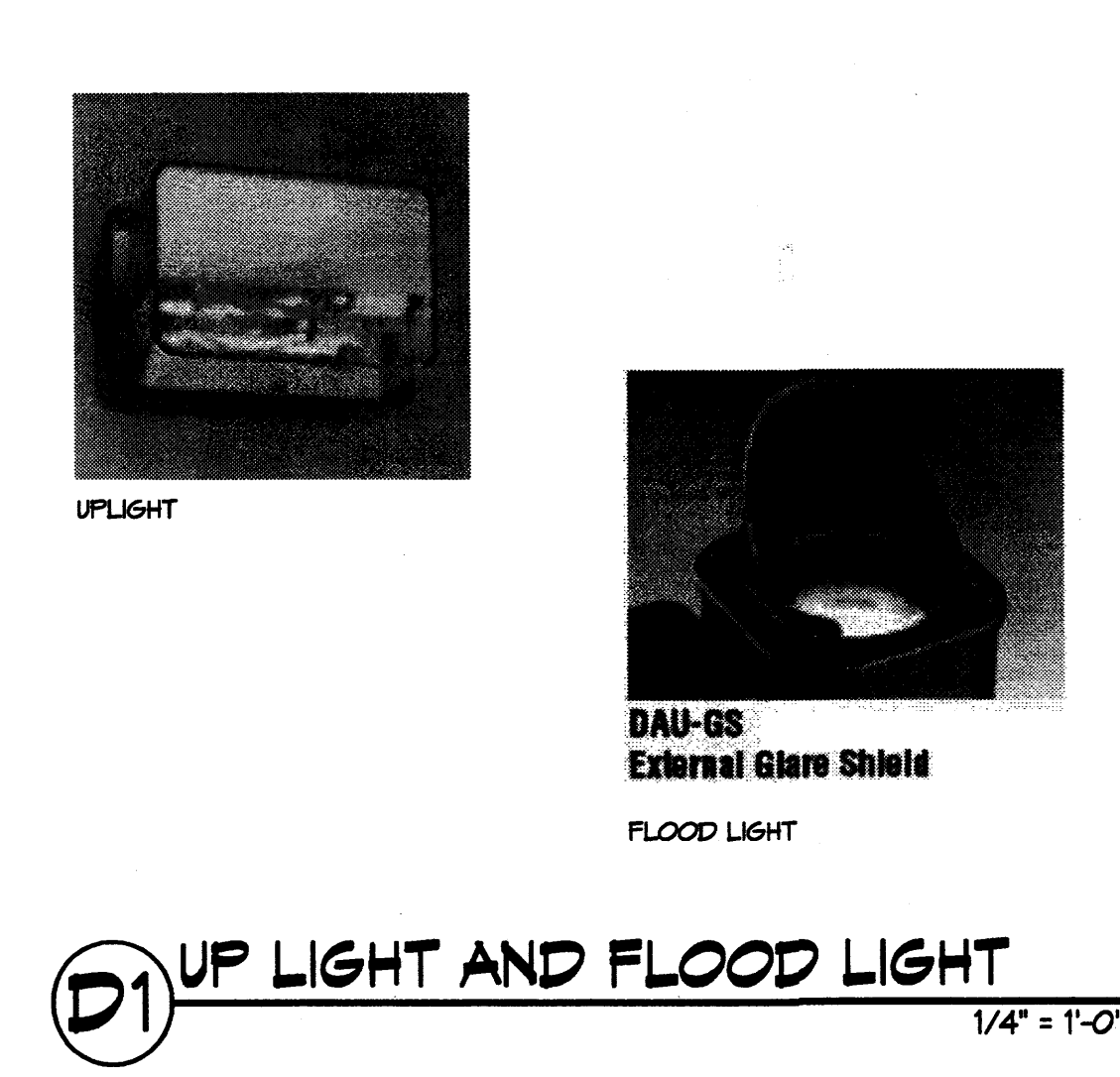
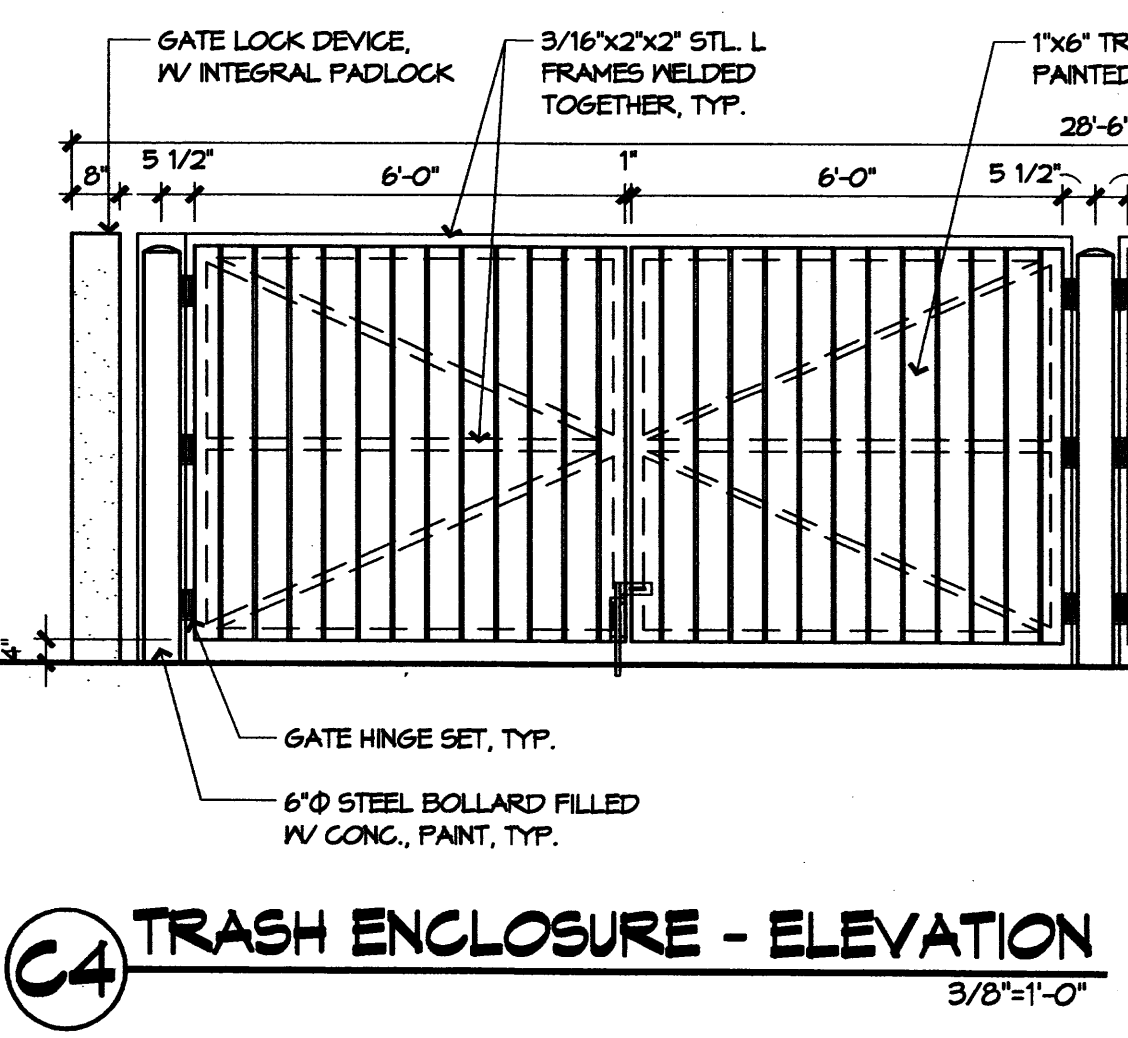
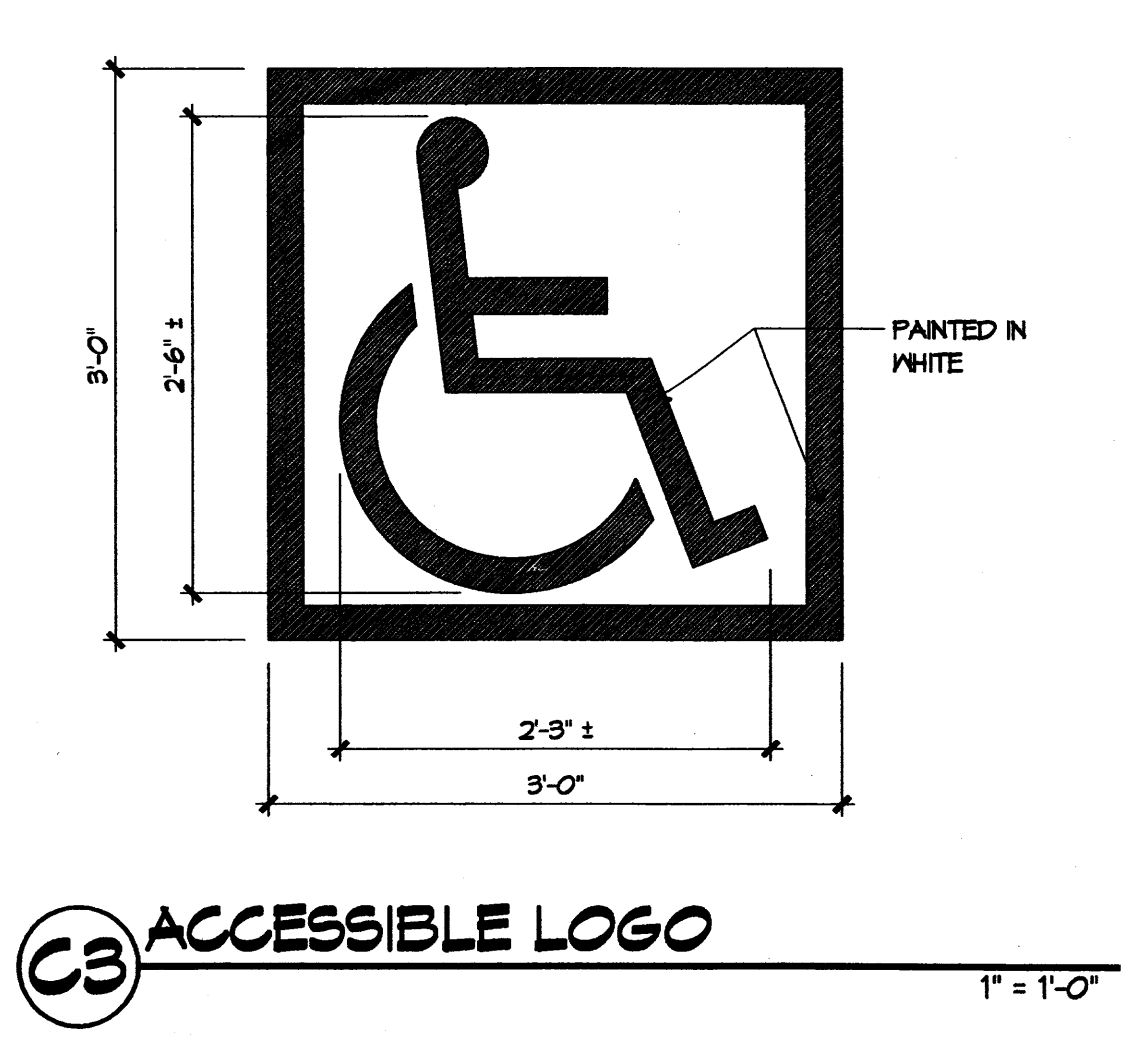
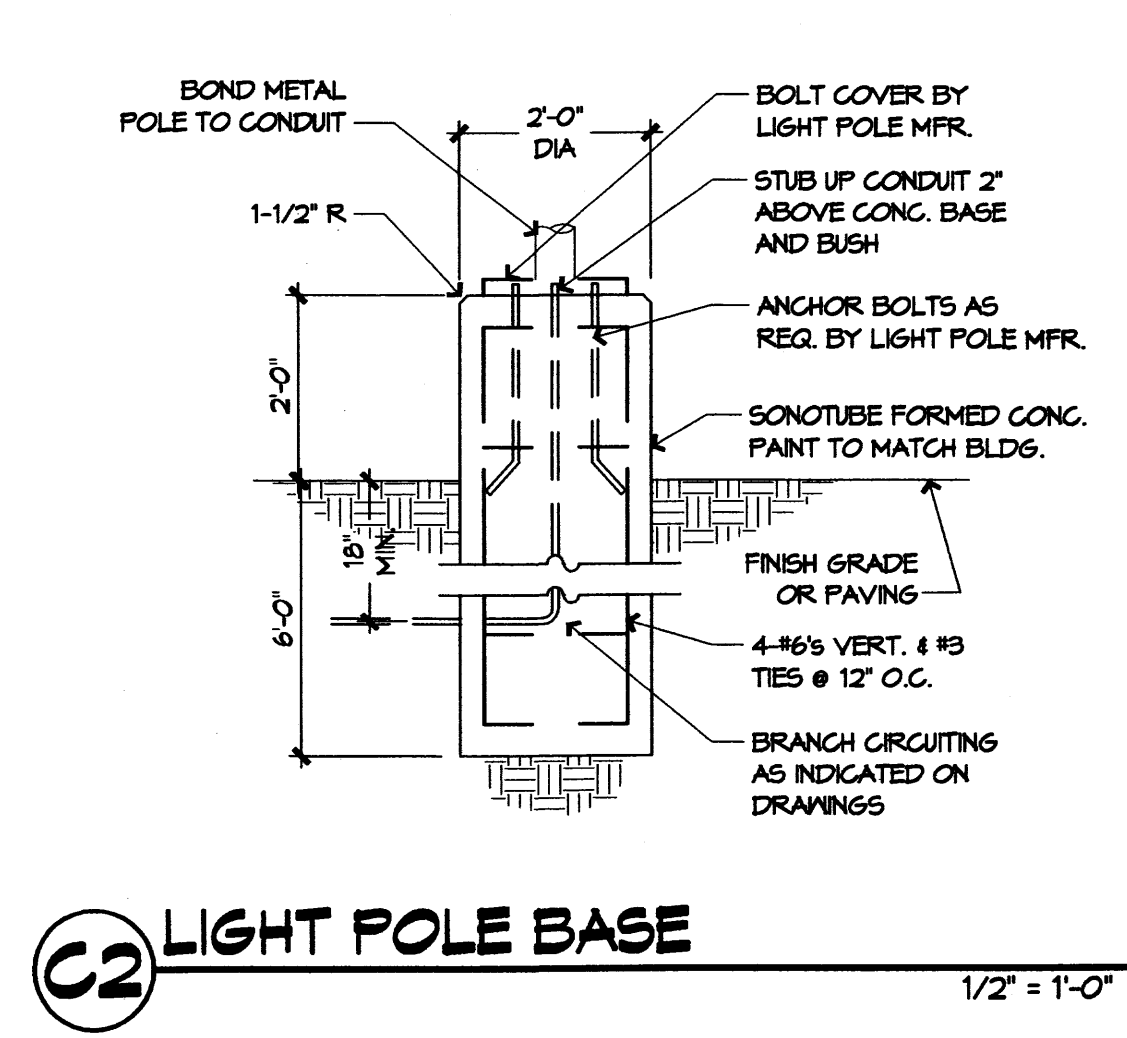
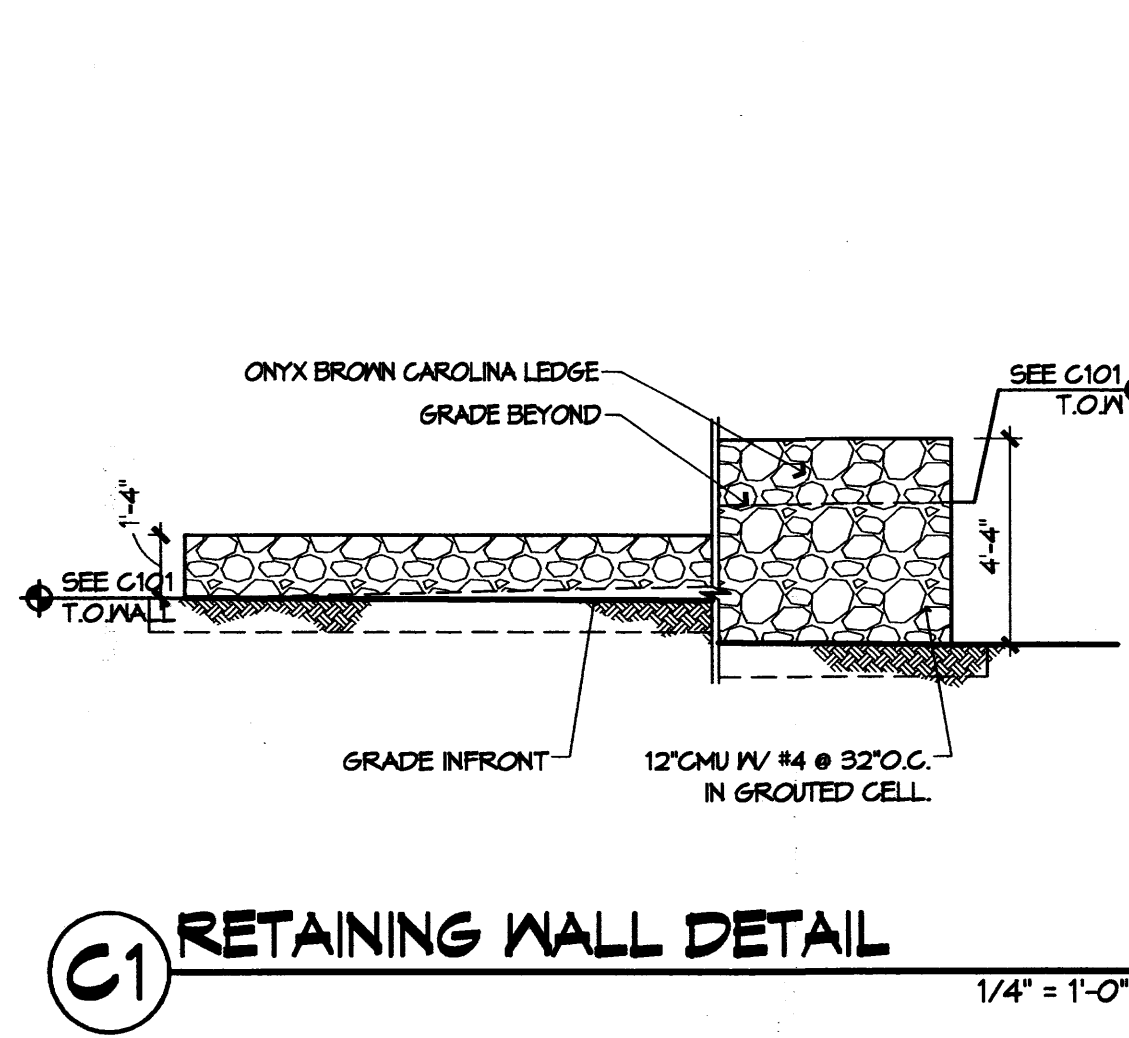
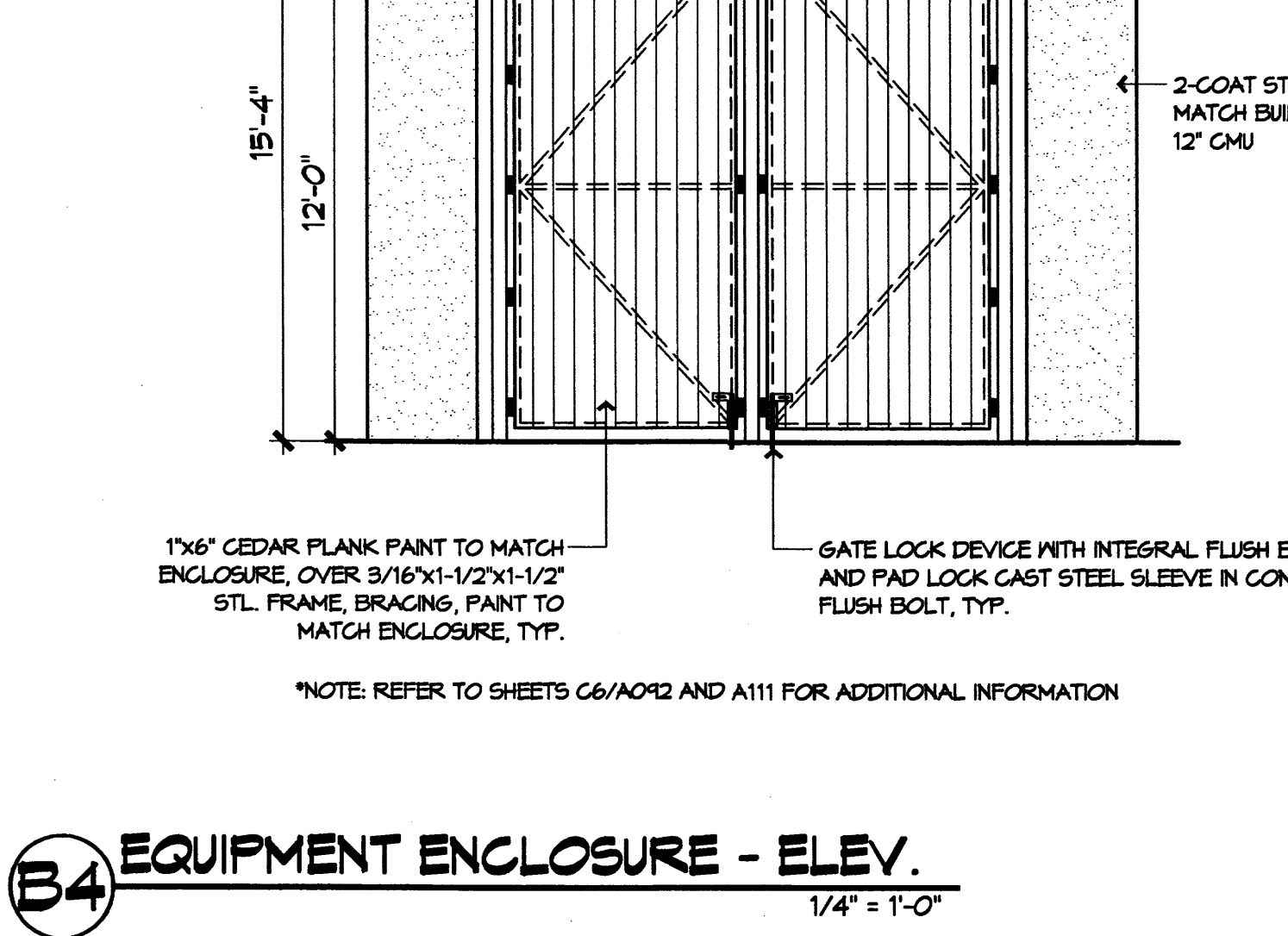
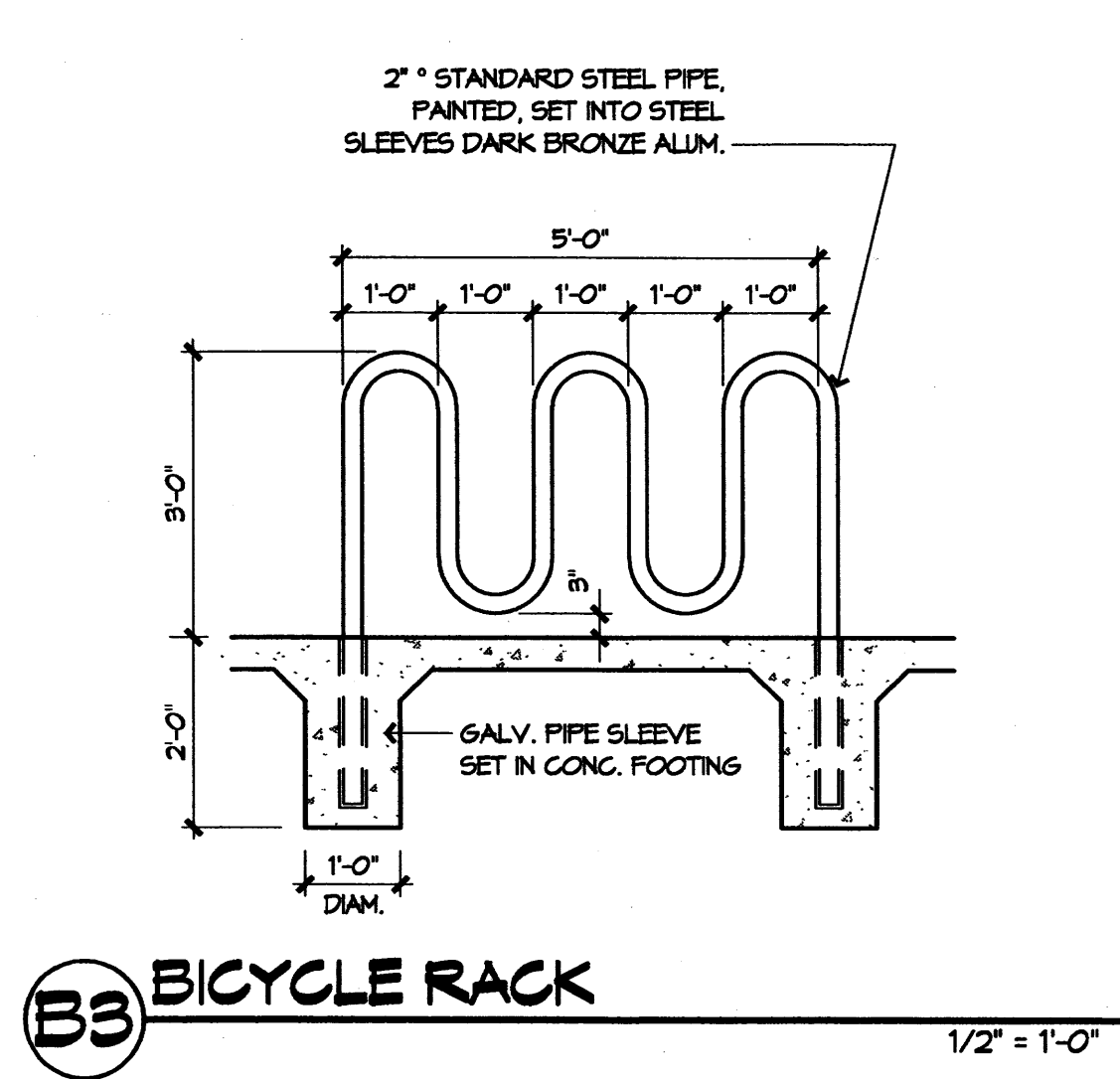
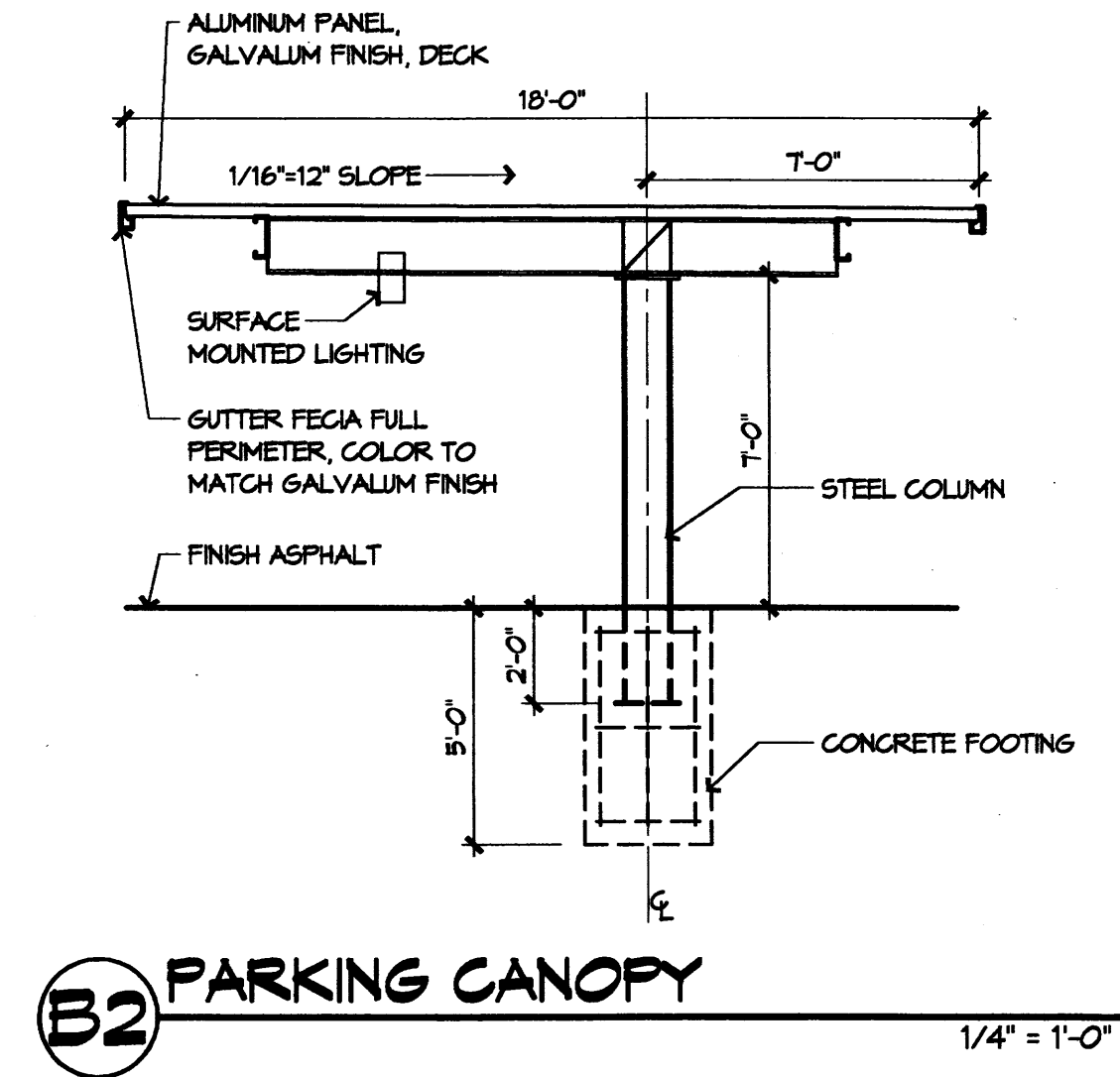
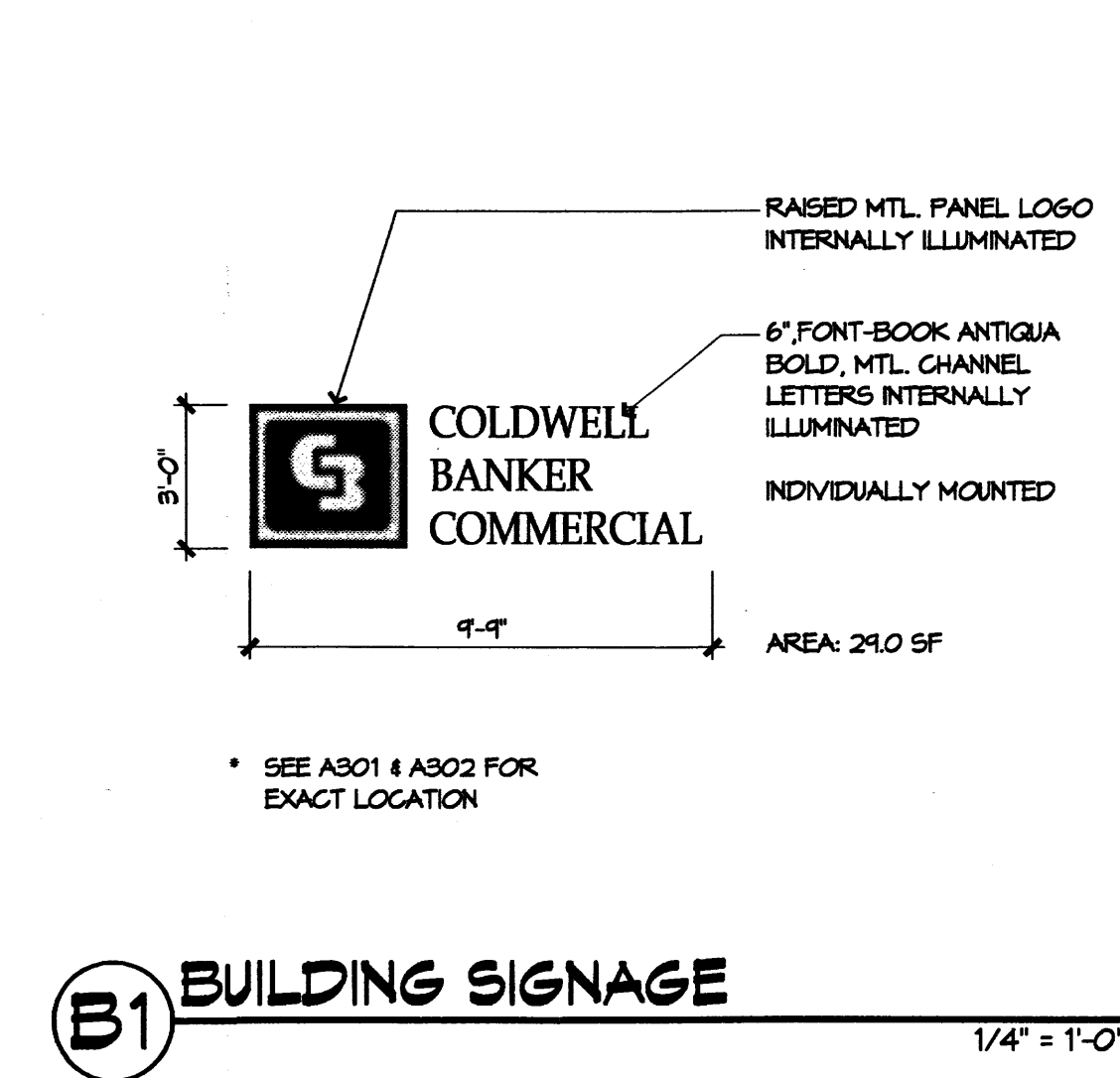
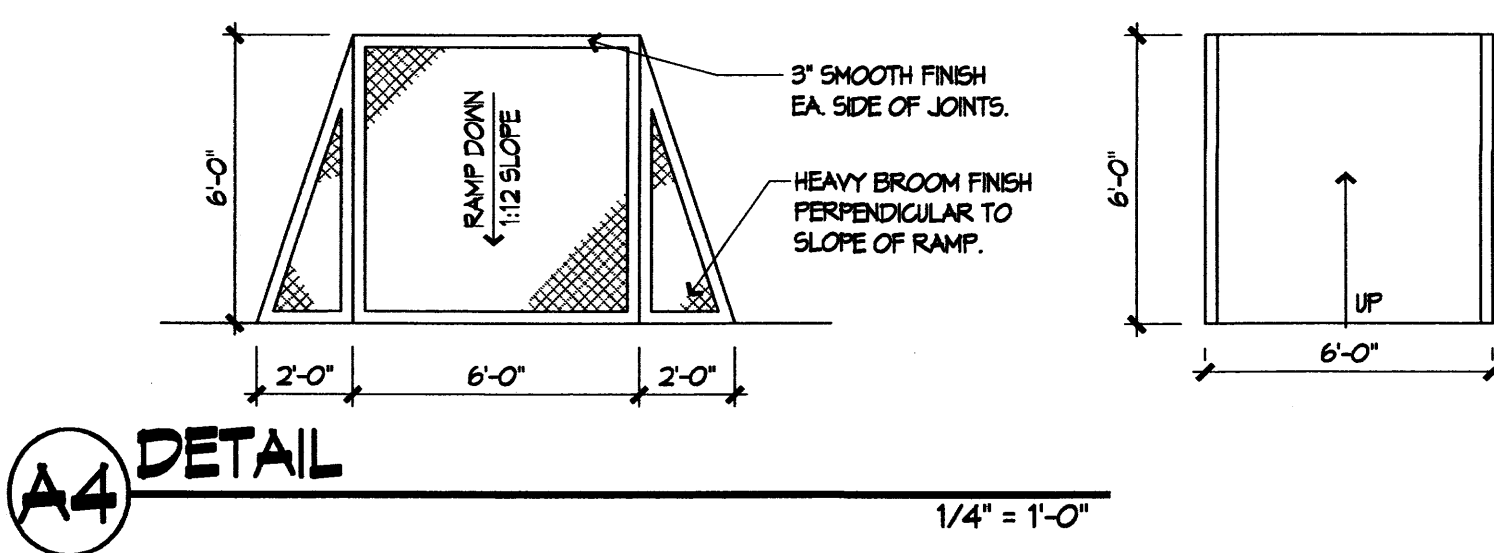
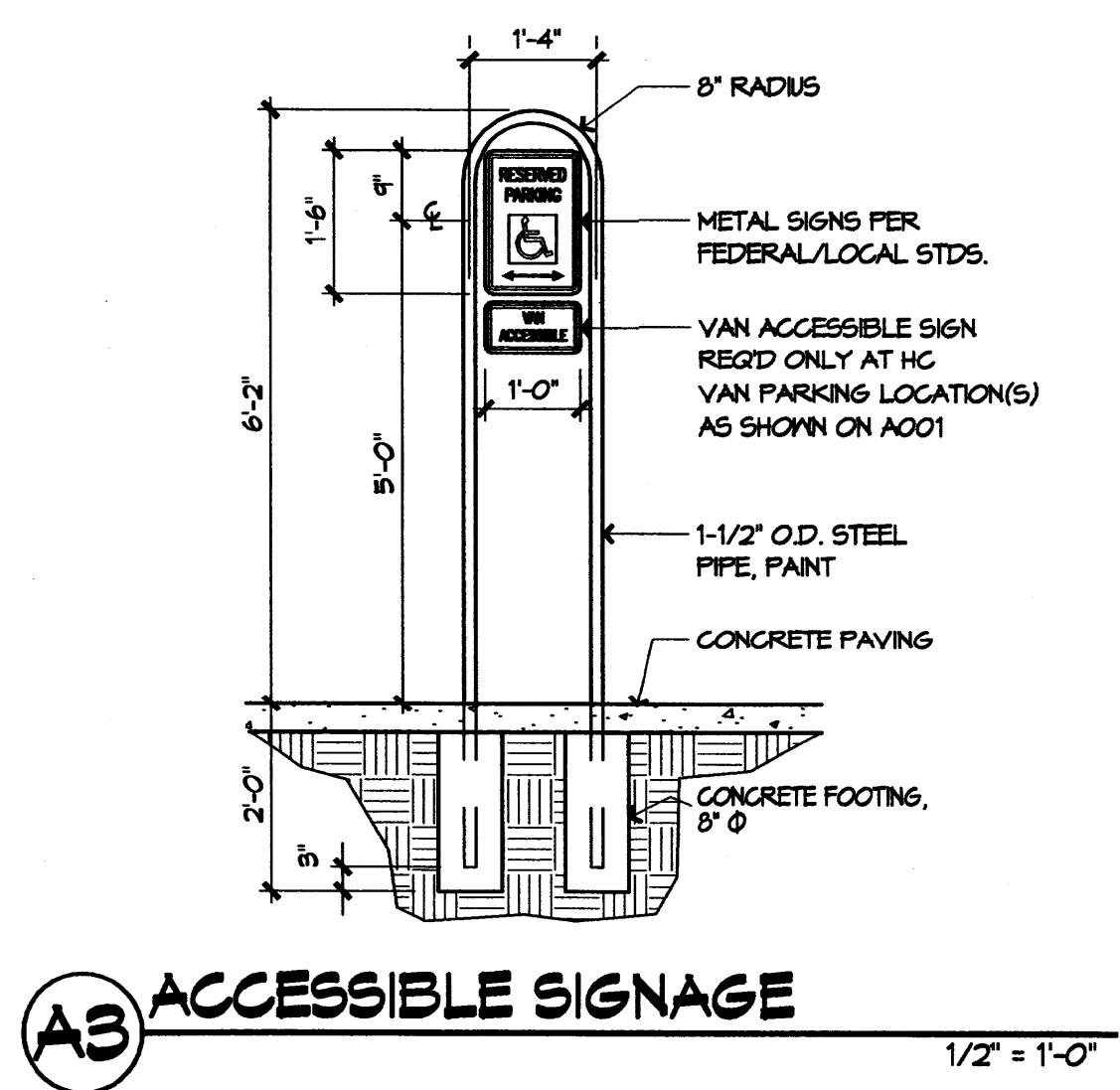
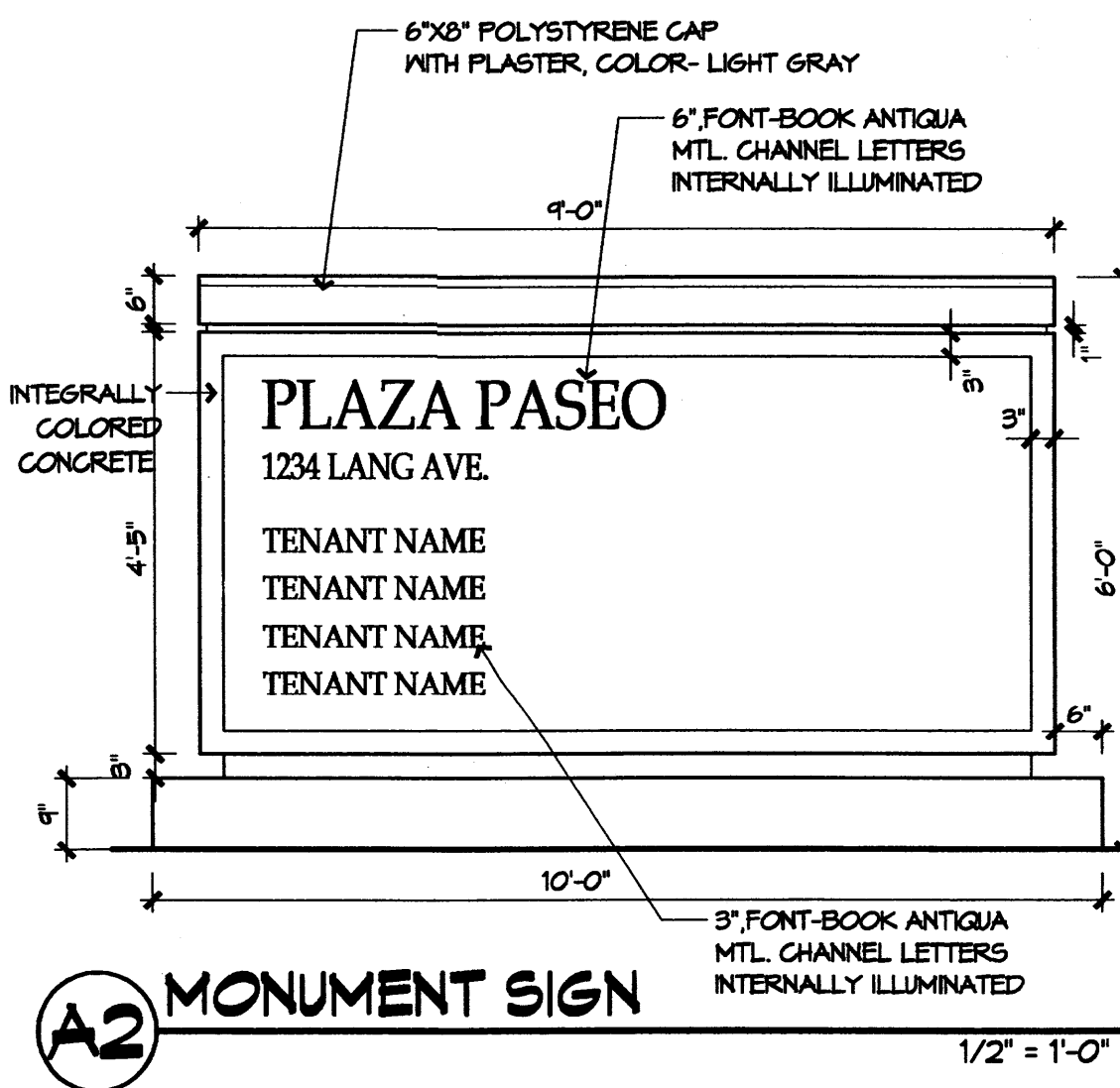
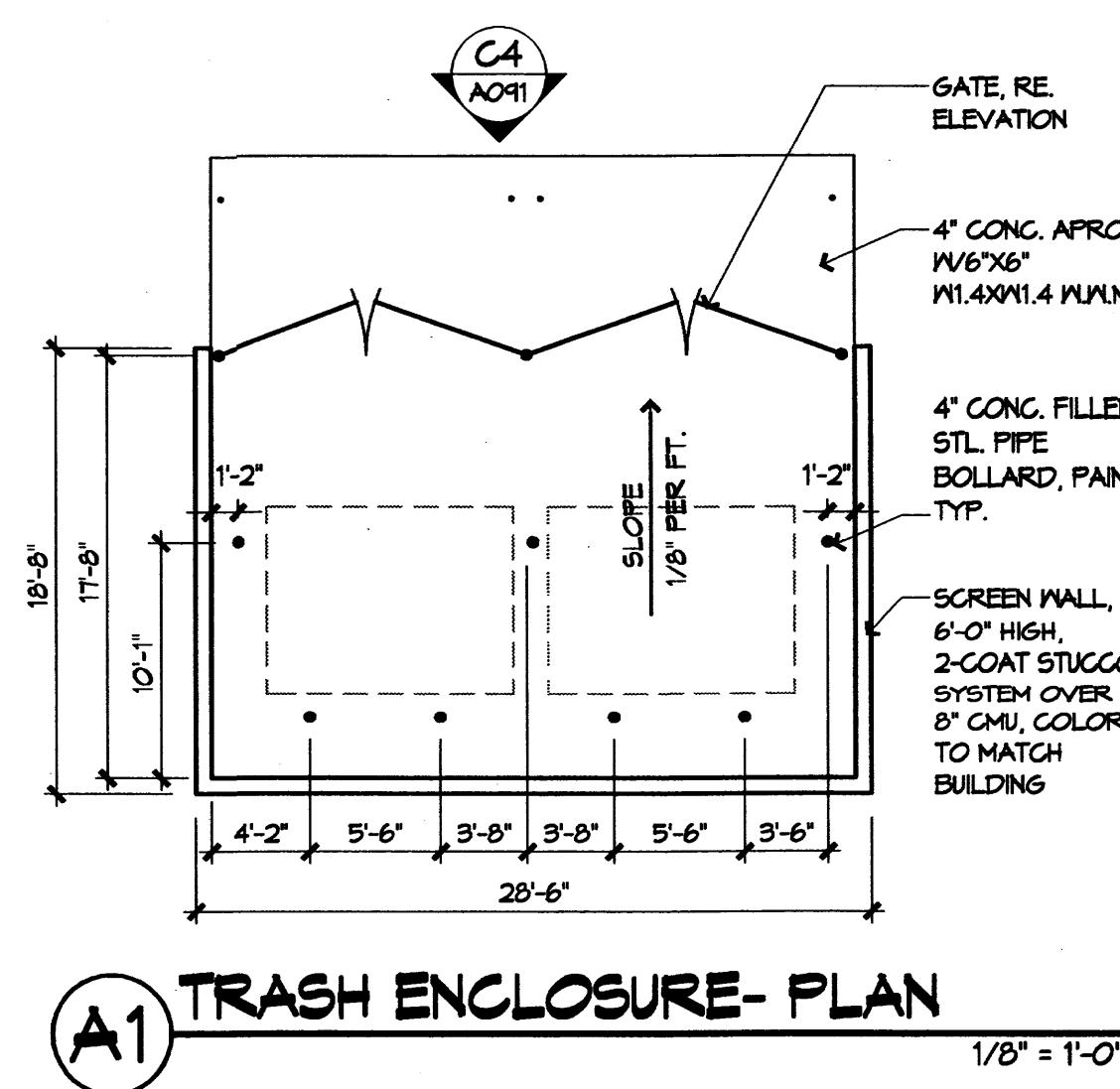


LANDSCAPE CONTRACTORS
7525 SECOND ST. NW
ALBUQUERQUE, NM
(505) 898-9615
LICENSE 18890
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SITE PLAN





Sheet Notes:

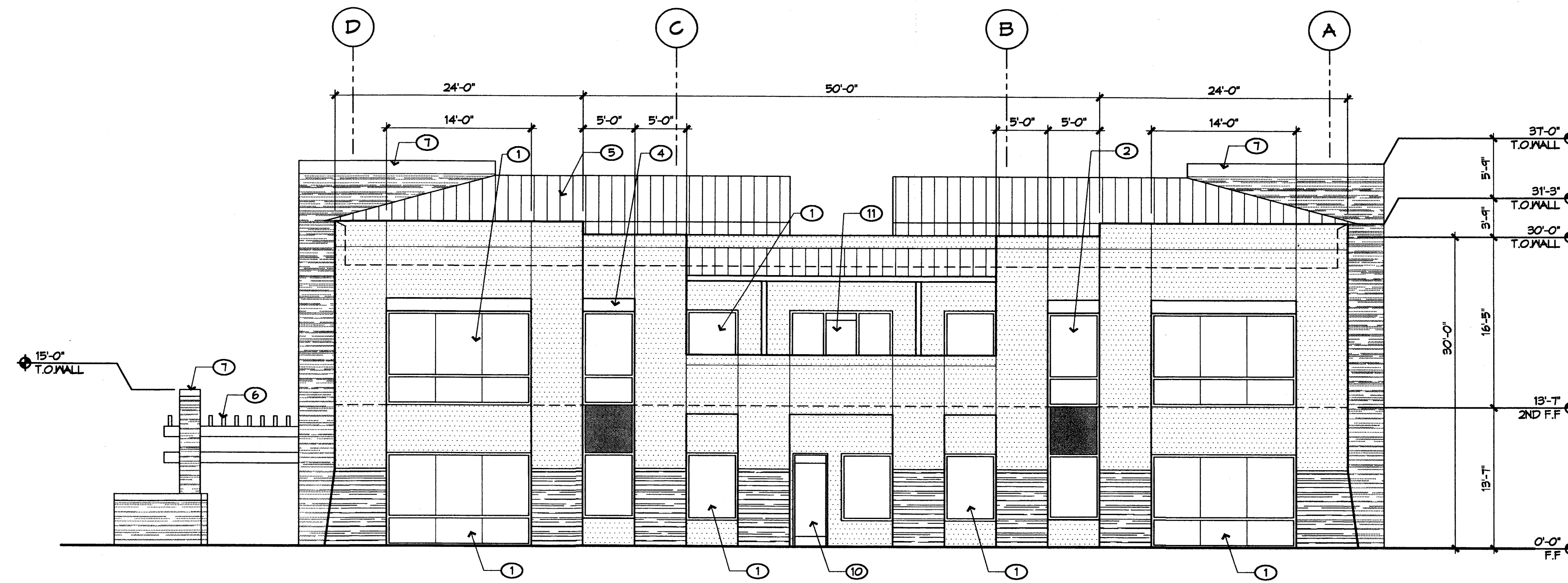
A. ALL MECH. EQUIP. SHALL BE SCREENED PER JOURNAL CENTER GUIDELINES

Keyed Notes (X):

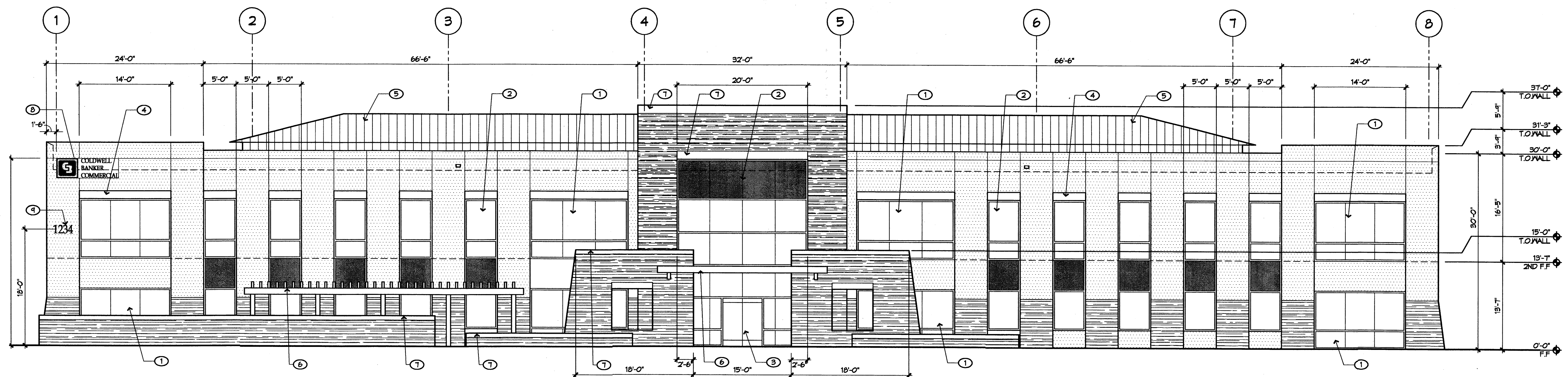
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2. GLAZING, LIGHT GREY TINT, IN CLEAR ANODIZED ALUMINUM CURTAINWALL FRAME
3. ENTRY DOOR, GLAZING- LIGHT GREY TINT, IN CLEAR ANODIZED ALUMINUM CURTAINWALL FRAME
4. METAL SHADE CANOPY, COLOR TO MATCH GALVALUM FINISH
5. ALUMINUM PANEL DECKING WITH GALVALUM FINISH
6. STEEL TRELLIS, COLOR TO MATCH GALVALUM FINISH
7. POLYSTYRENE CAP WITH PLASTER FINISH, COLOR- LIGHT GRAY
8. BUILDING SIGNAGE, RE. DETAIL B1/A011
9. BUILDING ADDRESS, 15" HIGH ACRYLIC LETTERS, FONT: BOOK ANTIQUA, COLOR: BLUE, HEIGHT: CENTERLINE OF LETTER @ 118'-0" AFF
10. EMERGENCY EXIT DOOR, GLAZING- LIGHT GREY TINT, IN CLEAR ANODIZED ALUMINUM STOREFRONT FRAME
11. DOOR, GLAZING- LIGHT GREY TINT, IN CLEAR ANODIZED ALUMINUM STOREFRONT FRAME

Material / Color Legend:

-
-
-



B2 EAST ELEVATION
1/8" = 1'-0"



D2 SOUTH ELEVATION
1/8" = 1'-0"

**JOURNAL CENTER
OFFICE BUILDING**
Lang Ave. NE, Albuquerque, NM
DRB Submittal Set

REVISIONS

- △
- △
- △
- △

DRAWN BY CP

REVIEWED BY AMC

DATE 04/21/04

PROJECT NO. 04040

DRAWING NAME

Building Elevations

SHEET NO.

A301
6 of 7

Sheet Notes:

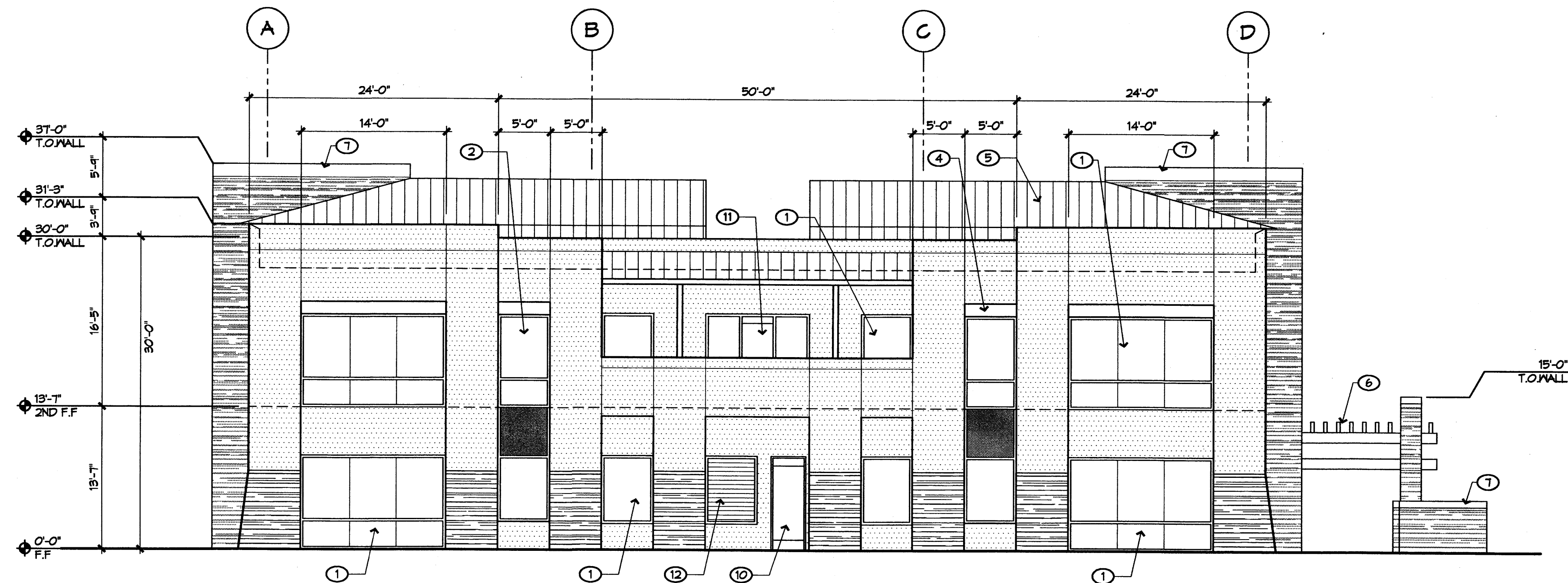
- A. ALL MECH. EQUIP. SHALL BE SCREENED PER JOURNAL CENTER GUIDELINES

Keyed Notes ⓧ :

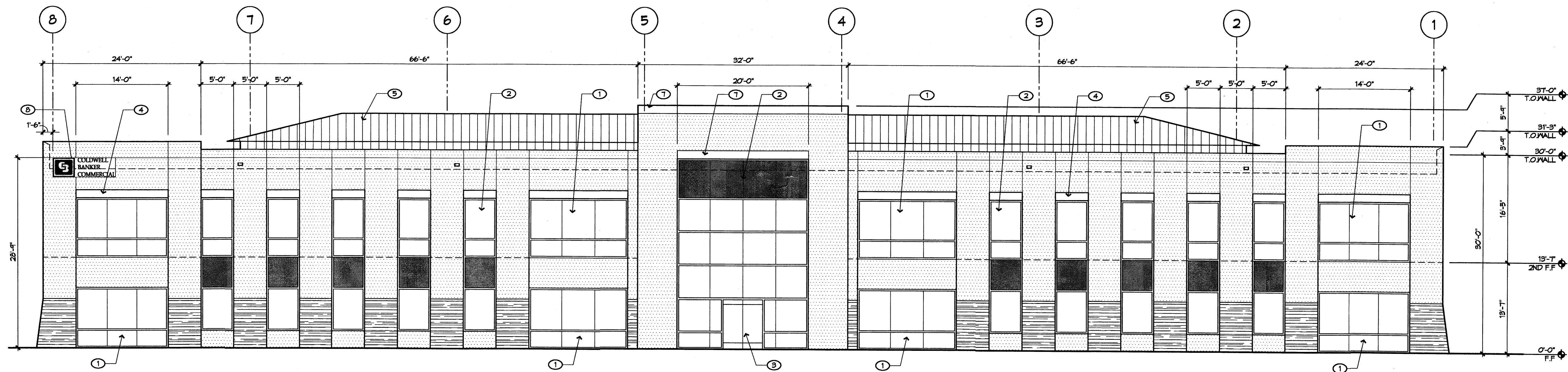
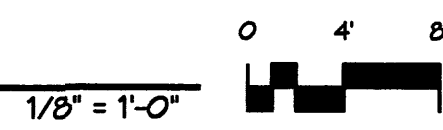
1. GLAZING, LIGHT GREY TINT, IN CLEAR ANODIZED ALUMINUM STOREFRONT FRAME
2. GLAZING, LIGHT GREY TINT, IN CLEAR ANODIZED ALUMINUM CURTAINWALL FRAME
3. ENTRY DOOR, GLAZING- LIGHT GREY TINT, IN CLEAR ANODIZED ALUMINUM CURTAINWALL FRAME
4. METAL SHADE CANOPY, COLOR TO MATCH GALVALUM FINISH
5. ALUMINUM PANEL DECKING WITH GALVALUM FINISH
6. STEEL TRELLIS, COLOR TO MATCH GALVALUM FINISH
7. POLYSTYRENE CAP WITH PLASTER FINISH, COLOR- LIGHT GREY
8. BUILDING SIGNAGE, RE. DETAIL B1/A041
9. BUILDING ADDRESS, 15" HIGH ACRYLIC LETTERS, FONT: BOOK ANTIQUA, COLOR: BLUE, HEIGHT: CENTERLINE OF LETTER @ 118'-0" AFF
10. EMERGENCY EXIT DOOR, GLAZING- LIGHT GREY TINT, IN CLEAR ANODIZED ALUMINUM STOREFRONT FRAME
11. DOOR, GLAZING- LIGHT GREY TINT, IN CLEAR ANODIZED ALUMINUM STOREFRONT FRAME
12. STL. MECHANICAL LOUVER WINDOW, PAINTED LIGHT GREY

Material / Color Legend:

-
-
-



B2 WEST ELEVATION



D2 NORTH ELEVATION

