

VICINITY MAP  
NOT TO SCALE

**GENERAL NOTES**

- Bearings are grid, based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27), and rotated to grid at the Albuquerque Central Survey Monument "7-B10".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- U.C.L.S. Log Number 2004273477.
- City of Albuquerque Zone Atlas Page: B-10-Z
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus  $\odot$ . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, FS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- Total number of new Lots created: 19
- Total mileage of full width streets created: 0.0874 mile.
- Total new road area (Dedicated): 0.5142 acres
- Gross Subdivision acreage: 8.7646 acres.
- Number of existing Tracts: 1
- Total number of parcels created: 2
- Total number of Tracts created: 1
- Current zoning: SU-1 PRD -FAR 0.5

**DISCLOSURE STATEMENT**

The Purpose of this replat is to:

- Create the 19 residential lots and 3 tracts as shown hereon.
- Dedicate the additional new public street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants
- Grant the new public utility easements as shown hereon.
- Tracts B and C as shown hereon will be conveyed in fee simple to the Villa De La Chamisa Homeowners Association (to be formed) as "Common Area". Maintenance of said Parcels B and C to be the responsibility of said Homeowners Association.

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following: for 2004  
1-010-065-180060-30219

Larry Hansen  
Allen Kavanaugh  
Bernalillo County Treasurer  
Date 12/13/2004

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

**DISCLAIMER**

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**SHEET INDEX**

- SHEET 1 OF 5 - Approvals, General Notes, Etc...
- SHEET 2 OF 5 - Legal Description, Free consent and dedication Curve and Line Tables
- SHEET 3 OF 5 - Overall Bulk Plat Boundary
- SHEET 4 OF 5 - North 1/2 of Subdivision Plat
- SHEET 5 OF 5 - South 1/2 of Subdivision Plat

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
NMP S No. 9750  
July 1, 2004

**VILLA DE LA CHAMISA  
UNIT 1**

(BEING A REPLAT OF TRACT 1, MARIN SUBDIVISION)  
WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 10, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JULY, 2004



PROJECT NUMBER: 1003236  
Application Number: 04-0739

**PLAT APPROVAL**

Utility Approvals:

Lead D. Muts PNM Electric Services	8-17-04 Date
Lead G. Muts PNM Gas Services	8-17-04 Date
Dan J. Muller QWest Corporation	8-17-04 Date
Robert Madigan Comcast	8-17-04 Date
[Signature] New Mexico Utilities	8-18-04 Date

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:

[Signature] City Surveyor	7-12-04 Date
NA Real Property Division	12/08/04 Date
NA Environmental Health Department	12/08/04 Date
[Signature] Traffic Engineering, Transportation Division	11-17-04 Date
[Signature] Utilities Development	11-17-04 Date
Christina Sandoval Parks and Recreation Department	11/8/04 Date
Bradley L. Bingham AMAFCA	11/17/04 Date
Bradley L. Bingham City Engineer	11/17/04 Date
[Signature] DRB Chairperson, Planning Department	12/08/04 Date



**SURVOTEK, INC.**

Consulting Surveyors  
6645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377

# VILLA DE LA CHAMISA UNIT 1

(BEING A REPLAT OF TRACT 1, MARIN SUBDIVISION)

WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 10, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JULY, 2004

## LEGAL DESCRIPTION

That certain tract of land situate within the Town of Alameda Grant in projected Section 10, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico comprising all of Tract 1, Marin Subdivision as the same is shown and designated on the plat entitled "LAND DIVISION PLAT FOR MARIN SUBDIVISION, TRACTS 1 THROUGH 4, BEING A REPLAT OF TRACT A, 40 ACRE TRACT SITUATE WITHIN PROJECTED SECTION 10, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO" filed in the office of the Bernalillo County Clerk on March 6, 1985 in Volume C26, folio 128 as Document No. 8517195.

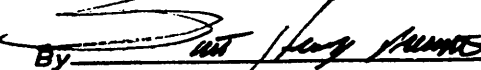
Said Tract contains 8.7646 acres, more or less.

## FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, VILLA DE LA CHAMISA (BEING A REPLAT OF TRACT 1, MARIN SUBDIVISION) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 10, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate the new public street right of ways as shown hereon to the the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER(S) OF TRACT 1

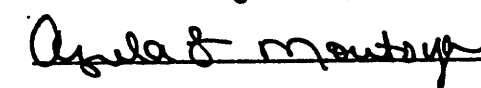
CLEARBROOK INVESTMENTS, INC.  
a New Mexico Corporation

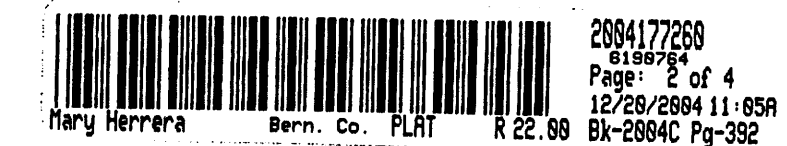
By:   
Scott Henry, President

## ACKNOWLEDGEMENT

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 20<sup>th</sup>  
day of August, 2004, by Scott Henry.

  
Notary Public My commission expires 10/20/06

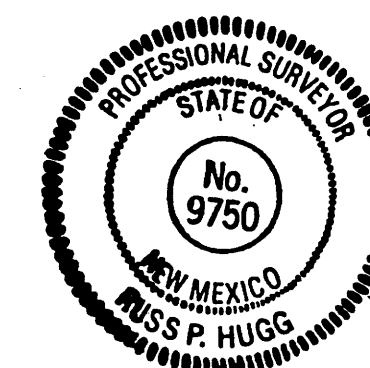


## LINE TABLE

LINE	LENGTH	BEARING
L1	44.88'	S88°48'15"W
L2	47.27'	S89°11'29"E
L3	26.80'	N88°39'38"W
L4	33.57'	N00°09'41"E
L5	35.53'	N00°09'41"E
L6	7.48'	N21°13'07"W

## CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	100.63'	270.00'	50.81'	100.05'	S16°28'49"E	21°21'15"
C2	36.28'	25.00'	22.17'	33.18'	N48°18'00"W	83°08'39"
C3	24.78'	88.00'	12.44'	24.69'	S13°58'54"E	14°28'27"
C4	27.96'	73.00'	14.14'	27.80'	S79°28'58"W	21°21'26"
C5	28.52'	50.00'	15.20'	28.09'	N73°05'39"E	33°49'29"
C6	41.26'	78.81'	21.14'	40.77'	S71°33'03"W	30°44'13"
C7	39.25'	25.00'	24.88'	35.34'	S45°08'11"W	89°58'59"
C8	27.99'	73.00'	14.16'	27.82'	S10°31'43"E	21°22'48"
C9	19.40'	52.00'	8.82'	19.29'	S10°31'42"E	21°22'48"
C10	3.45'	25.00'	1.73'	3.45'	S04°08'53"W	75°4'31"
C11	35.80'	25.00'	21.75'	32.82'	S49°05'26"W	82°02'28"
C12	20.38'	25.00'	10.79'	19.82'	S44°34'18"E	46°42'27"
C13	214.74'	48.00'	42.39'	61.71'	N88°46'54"E	273°25'04"
C14	20.38'	25.00'	10.79'	19.82'	N02°08'08"E	46°42'27"



**SURVOTEK, INC.**

Consulting Surveyors  
5645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366  
Fax: 505-897-3377



# VILLA DE LA CHAMISA

(BEING A REPLAT OF TRACT 1, MARIN SUBDIVISION)

WITHIN

THE TOWN OF ALAMEDA GRANT

IN

PROJECTED SECTION 10, TOWNSHIP 11 NORTH, RANGE 2 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

JULY, 2004

TRACT A

CHAMISA RIDGE SUBDIVISION

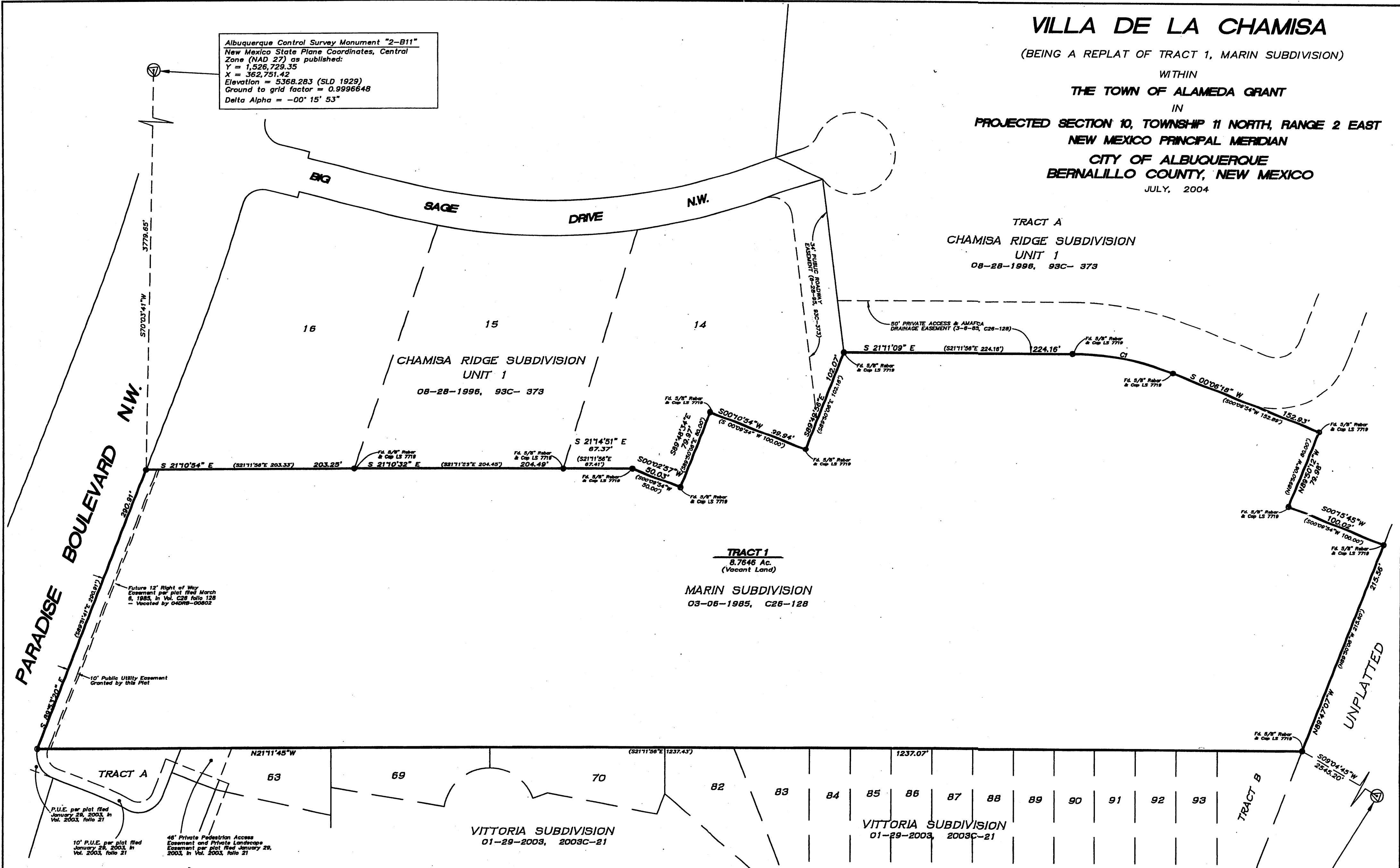
UNIT 1

08-28-1996, 93C-373

TRACT 1  
8.7646 Ac.  
(Vacant Land)

MARIN SUBDIVISION

03-06-1985, C26-128



Albuquerque Control Survey Monument "2-B11"  
New Mexico State Plane Coordinates, Central  
Zone (NAD 27) as published:  
Y = 1,526,729.35  
X = 362,751.42  
Elevation = 5368.283 (SLD 1929)  
Ground to grid factor = 0.9996648  
Delta Alpha = -00° 15' 53"

Albuquerque Control Survey Monument "7-C10"  
New Mexico State Plane Coordinates, Central  
Zone (NAD 27) as published:  
Y = 1,521,776.00  
X = 358,954.34  
Elevation = 5422.388 (SLD 1929)  
Ground to grid factor = 0.9996634  
Delta Alpha = -00° 16' 19"

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	100.67' (100.67)	270.00' (270.00')	50.93' (50.93)	100.09'	N10°31'01"W	21°21'50" (21°21'50")

**GRAPHIC SCALE**



( IN FEET )  
1 inch = 60 ft.



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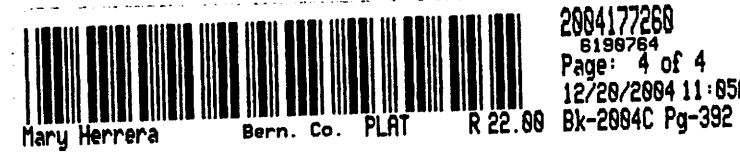
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(BEING A REPLAT OF TRACT 1, MARIN SUBDIVISION)

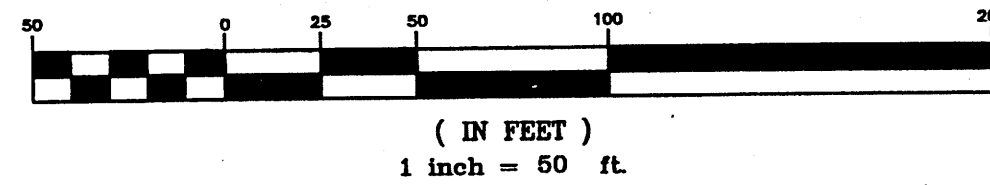
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JULY, 2004



GRAPHIC SCALE



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TRACT A  
CHAMISA RIDGE SUBDIVISION  
UNIT 1

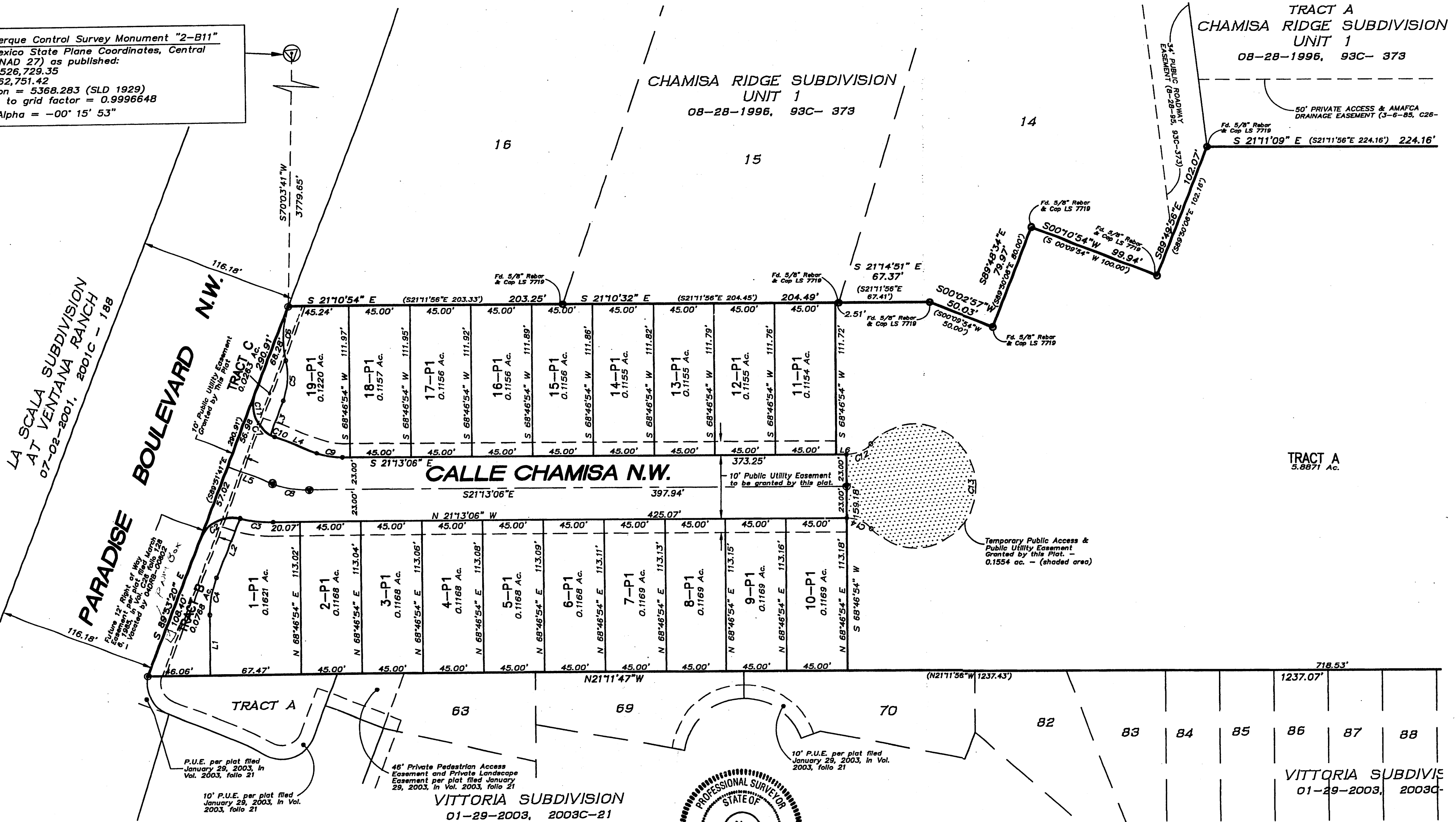
08-28-1996, 93C- 373

CHAMISA RIDGE SUBDIVISION  
UNIT 1

08-28-1996, 93C- 373

50' PRIVATE ACCESS & AMAFCA  
DRAINAGE EASEMENT (3-6-95, C26-

S 21°11'09" E (S21°11'56"E 224.16') 224.16'



LA SCALA SUBDIVISION  
AT VENTANA RANCH  
07-02-2001, 2001c - 188

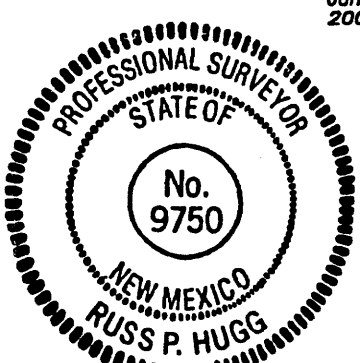
PARADISE BOULEVARD N.W.

CALLE CHAMISA N.W.

VITTORIA SUBDIVISION  
01-29-2003, 2003C-21

TRACT A  
5.8871 Ac.

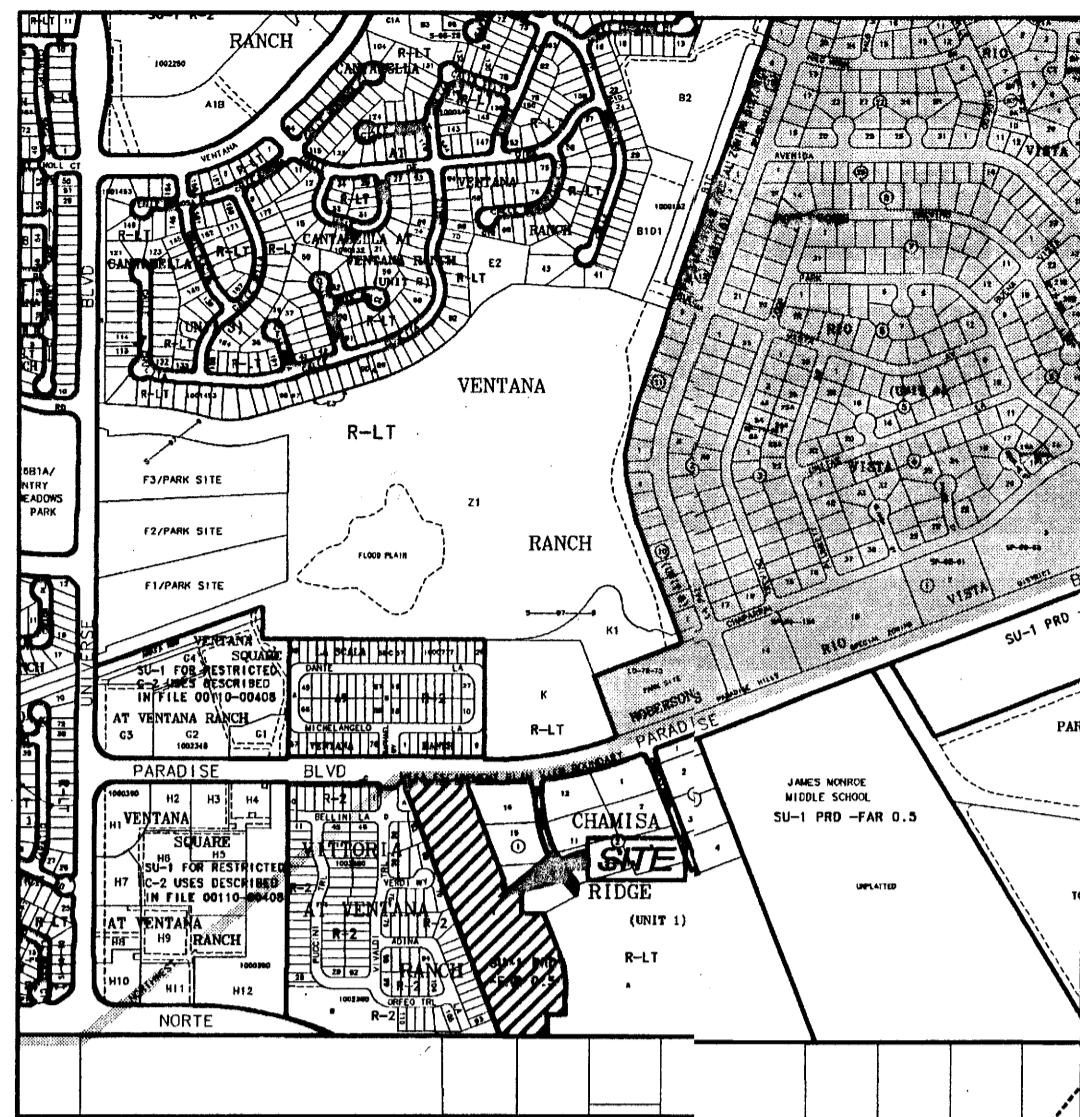
VITTORIA SUBDIVISION  
01-29-2003, 2003C-



**SURVOTEK, INC.**  
Consulting Surveyors

6649 Paradise Blvd. N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366  
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SHEET 4 OF 5



VICINITY MAP

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
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C2	36.28'	25.00'	22.17'	33.18'	N48°19'00"W	83°08'40"
C3	24.76'	98.00'	12.44'	24.69'	S13°58'53"E	14°28'27"
C4	27.96'	75.00'	14.14'	27.80'	S79°28'58"W	21°21'26"
C5	29.52'	50.00'	15.20'	28.09'	N73°14'57"E	33°49'29"
C6	41.07'	76.91'	21.04'	40.59'	S71°38'11"W	30°35'58"
C7	39.25'	25.00'	24.98'	35.34'	S45°08'11"W	89°56'59"
C8	27.99'	75.00'	14.16'	27.82'	S10°31'43"E	21°22'48"
C9	19.40'	52.00'	9.82'	19.29'	S10°31'43"E	21°22'48"
C10	3.45'	25.00'	1.73'	3.45'	S04°06'57"W	7°54'30"

**LINE TABLE**

LINE	LENGTH	BEARING
L1	44.98'	S68°48'15"W
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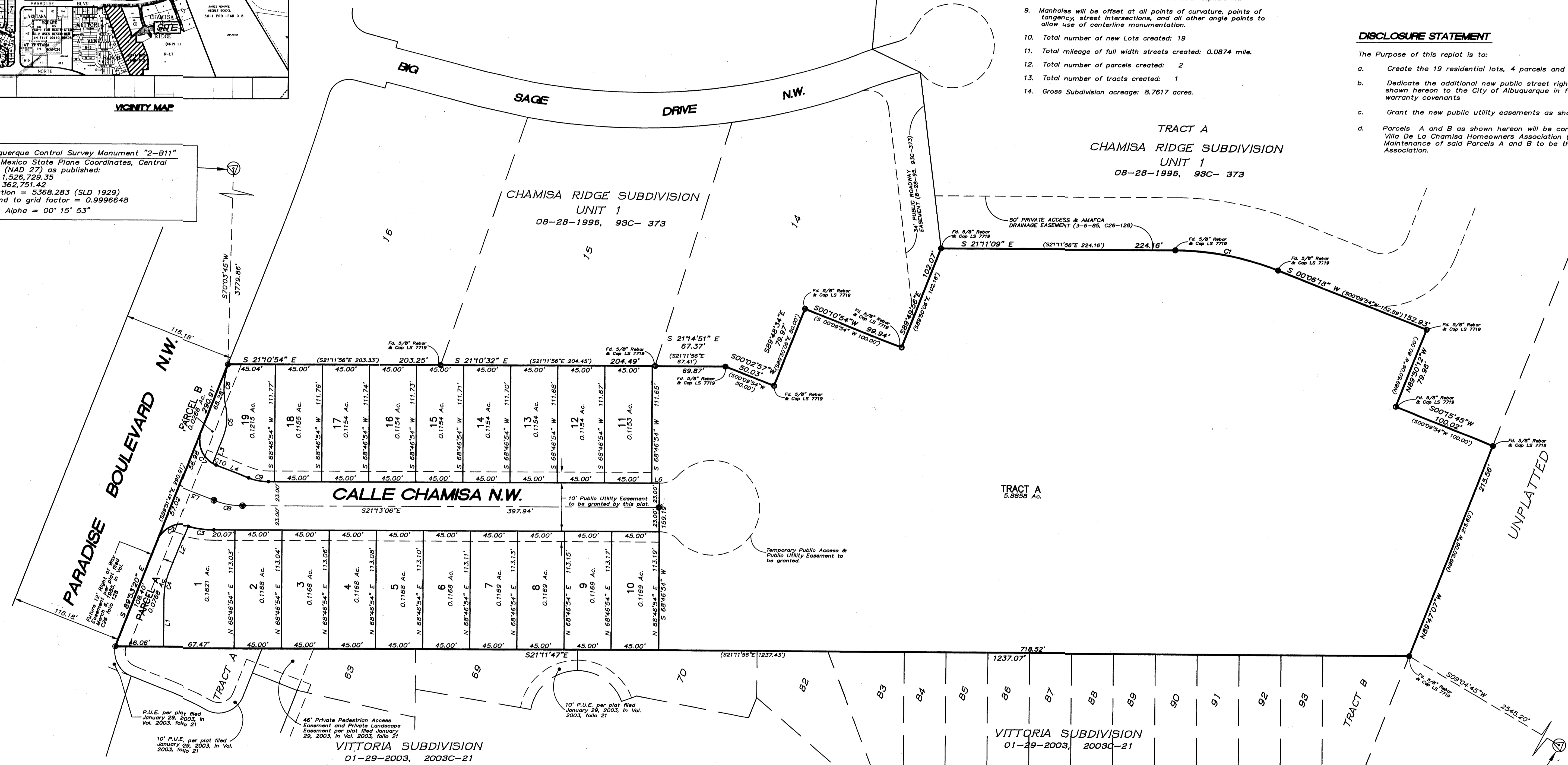
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- Total number of parcels created: 2
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- Gross Subdivision acreage: 8.7617 acres.

PRELIMINARY PLAT  
**VILLA DE LA CHAMISA  
UNIT 1**  
(BEING A REPLAT OF TRACT 1, MARIN SUBDIVISION)  
WITHIN  
THE TOWN OF ALAMEDA GRANT  
IN  
PROJECTED SECTION 10, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
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BERNALILLO COUNTY, NEW MEXICO  
MAY, 2004

**DISCLOSURE STATEMENT**

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- Create the 19 residential lots, 4 parcels and 1 tract as shown hereon.
  - Dedicate the additional new public street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants.
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**LEGAL DESCRIPTION**

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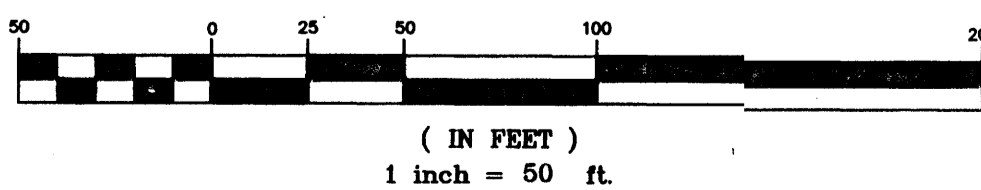
**APPROVALS**

OWNER(s) OF TRACT 1  
David Soule  
Jennifer Soule, his wife

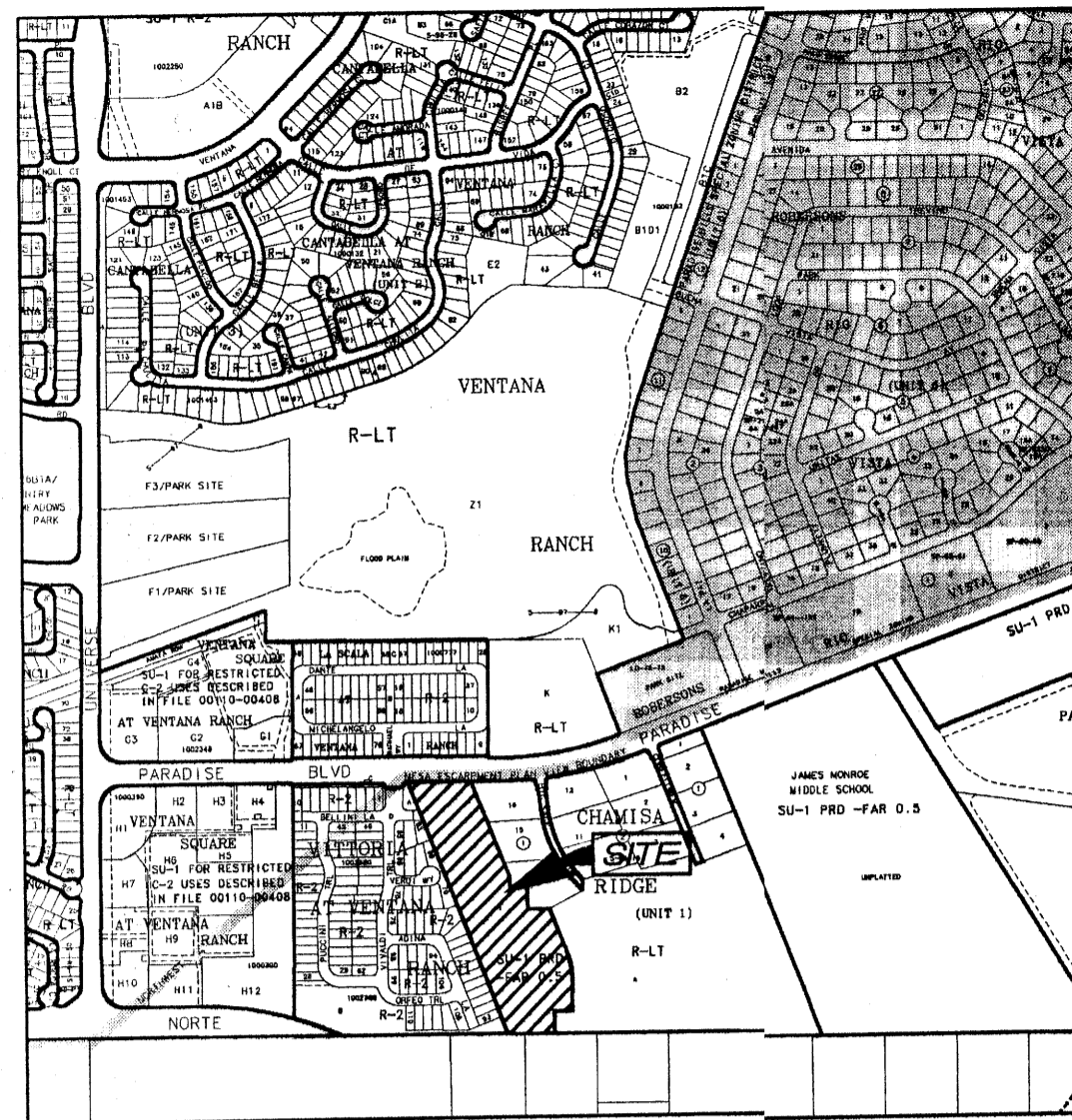
Approved for Monumentation and Street names  
Surveyor  
Date 5-20-04

Albuquerque Control Survey Monument "7-C10"  
New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:  
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X = 358,954.34  
Elevation = 5422.388 (SLD 1929)  
Ground to grid factor = 0.9996634  
Delta Alpha = 00° 16' 19"

**GRAPHIC SCALE**







VICINITY MAP

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C9	19.40'	52.00'	9.82'	19.29'	S10°31'43"E	21°22'48"
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- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page: B-10-Z
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus  $\odot$ . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- Total number of new Lots created: 19
- Total mileage of full width streets created: 0.0874 mile.
- Total number of parcels created: 2
- Total number of tracts created: 1
- Gross Subdivision acreage: 8.7617 acres.
- The property is currently Zoned SU-1 per PUD

PRELIMINARY PLAT

VILLA DE LA CHAMISA  
 UNIT 1  
 (BEING A REPLAT OF TRACT 1, MARIN SUBDIVISION)

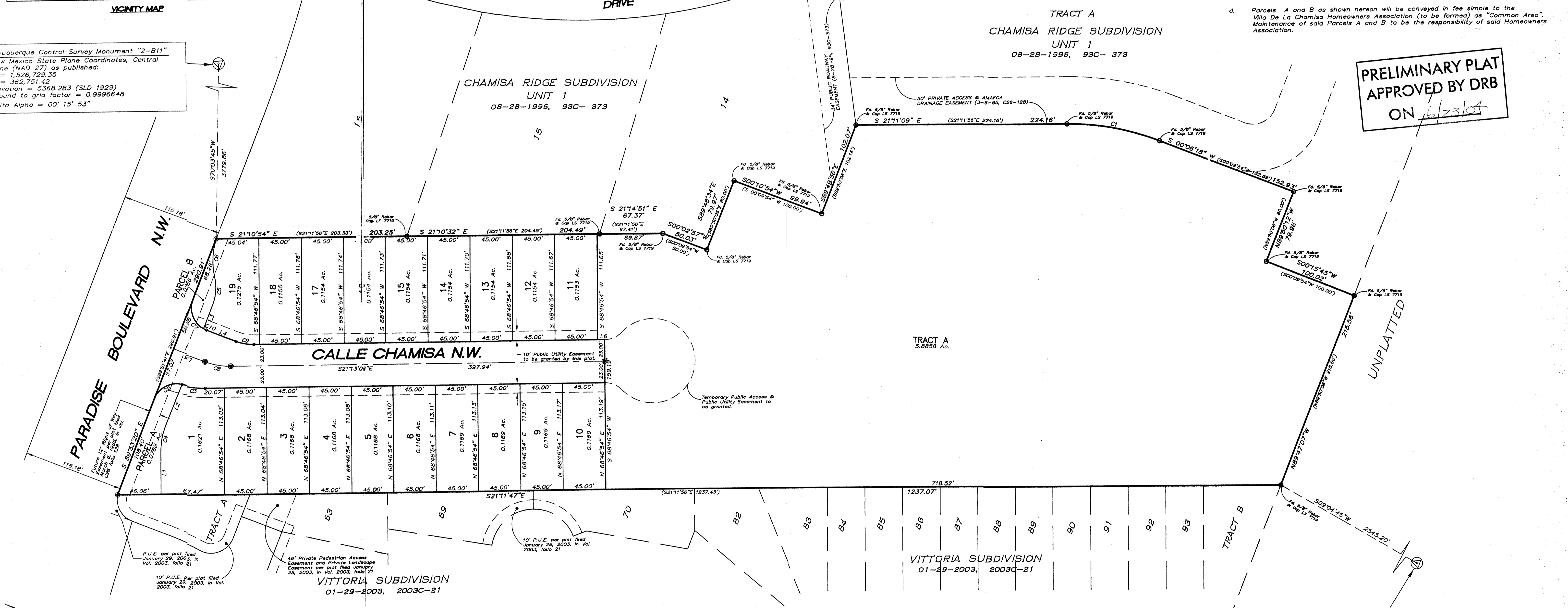
WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 10, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 MAY, 2004

DISCLOSURE STATEMENT

The Purpose of this replat is to:

- Create the 19 residential lots, 2 parcels and 1 tract as shown hereon.
- Dedicate the additional new public street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants
- Grant the new public utility easements as shown hereon.
- Parcels A and B as shown hereon will be conveyed in fee simple to the Villa De La Chamisa Homeowners Association (to be formed) as "Common Area". Maintenance of said Parcels A and B to be the responsibility of said Homeowners Association.

PRELIMINARY PLAT  
 APPROVED BY DRB  
 ON 6/23/04



LEGAL DESCRIPTION

That certain tract of land situate within the Town of Alameda Grant in projected Section 10, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico comprising all of Tract 1, North Subdivision as the same is shown and designated on the plat entitled "LAND DIVISION PLAT FOR MARIN SUBDIVISION, TRACTS 1 THROUGH 4, BEING A REPLAT OF TRACT 1, 40 ACRE TRACT SITUATE WITHIN PROJECTED SECTION 10, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO" filed in the office of the Bernalillo County Clerk on March 6, 1985 in Volume C26, folio 128 as Document No. 8517195.

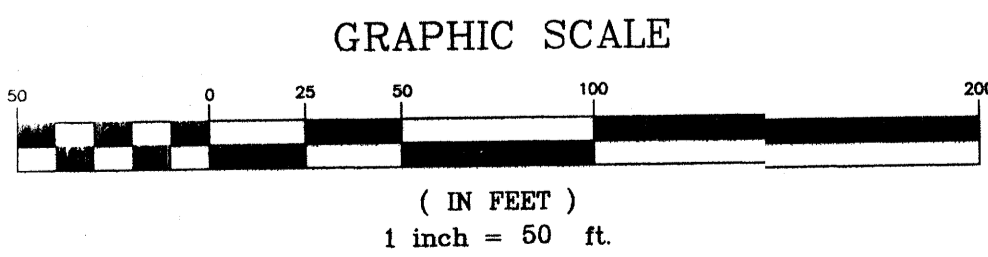
Said Tract contains 8.7664 acres, more or less.

APPROVALS

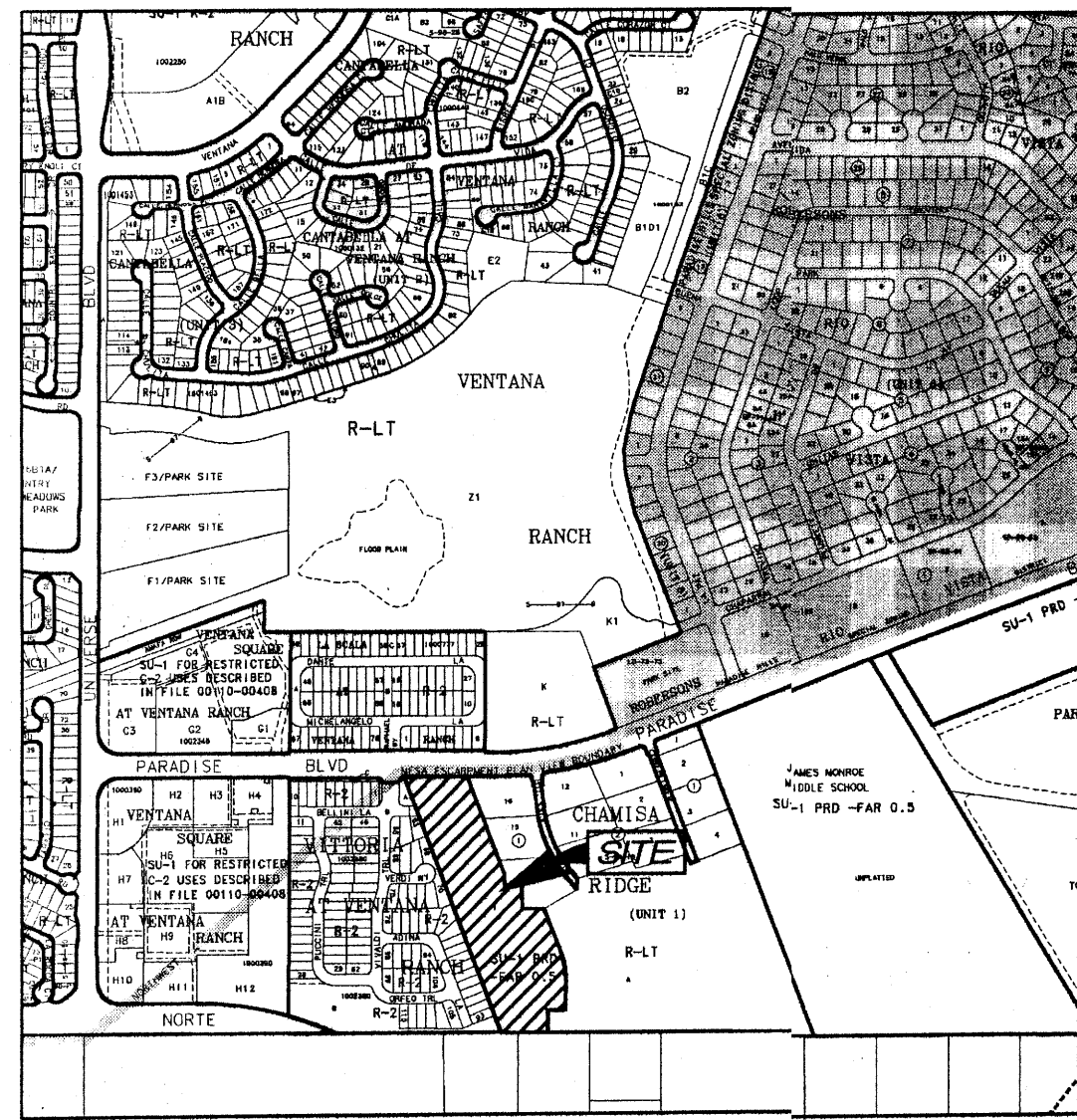
OWNER(S) OF TRACT 1  
 David Soule  
 Jennifer Soule, his wife

Approved for Monumentation and Street names  
 JMT/EL 5-20-04  
 Surveyor Date

Albuquerque Control Survey Monument "7-C10"  
 New Mexico State Plane Coordinates, Central  
 Zone (NAD 27) as published:  
 Y = 1,521,776.00  
 X = 358,954.34  
 Elevation = 5,422.388 (SLD 1929)  
 Ground to grid factor = 0.9996634  
 Delta Alpha = 00° 16' 19"







VICINITY MAP

Albuquerque Control Survey Monument "2-B11"  
 New Mexico State Plane Coordinates, Central  
 Zone (NAD 27) as published:  
 Y = 1,526,729.35  
 X = 362,751.42  
 Elevation = 5368.283 (SLD 1929)  
 Ground to grid factor = 0.9996648  
 Delta Alpha = 00° 15' 53"

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	100.33' (100.87')	270.00' (270.00')	50.90' (50.93')	100.05'	N10°29'49"W	21°21'15" (21°21'50")
C2	36.28'	25.00'	22.17'	33.18'	N48°19'00"W	83°08'40"
C3	24.76'	88.00'	12.44'	24.69'	S13°58'53"E	14°28'27"
C4	27.56'	75.00'	14.14'	27.80'	S79°28'58"W	21°21'26"
C5	29.52'	40.00'	15.20'	29.09'	N73°14'57"E	33°49'29"
C6	41.02'	28.01'	21.04'	40.52'	S71°58'12"W	30°35'58"
C7	38.28'	25.00'	24.98'	35.34'	S45°08'11"W	89°56'59"
C8	27.89'	75.00'	14.16'	27.82'	S10°31'43"E	21°22'48"
C9	19.40'	82.00'	9.82'	19.29'	S10°31'43"E	21°22'48"
C10	3.45'	25.00'	1.73'	3.45'	S04°06'57"W	7°54'30"

LINE	LENGTH	BEARING
L1	44.98'	S68°48'15"W
L2	47.27'	S89°11'28"E
L3	26.80'	N89°50'19"W
L4	33.57'	N00°09'41"E
L5	35.53'	N00°09'41"E
L6	7.48'	N21°13'06"W

GENERAL NOTES

- Bearings are grid, based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27), and related to grid at the Albuquerque Control Survey Monument "7-B10".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plot or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page: B-10-Z
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- Total number of new Lots created: 19
- Total mileage of full width streets created: 0.0874 mile.
- Total number of parcels created: 2
- Total number of tracts created: 1
- Gross Subdivision acreage: 8.7617 acres.
- The property is currently zoned SU-1 for P&D

PRELIMINARY PLAT  
**VILLA DE LA CHAMISA**  
**UNIT 1**

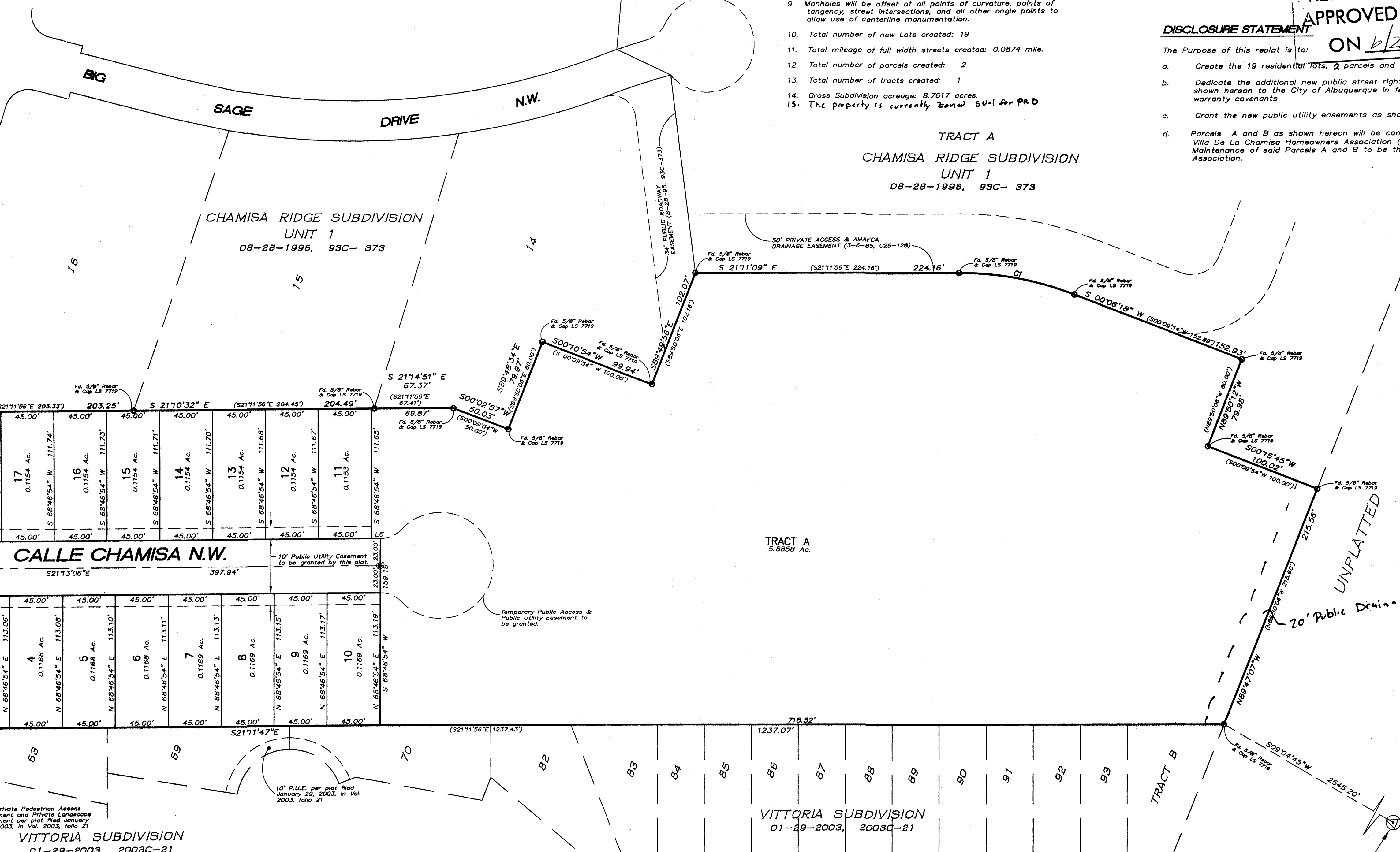
(BEING A REPLAT OF TRACT 1, MARIN SUBDIVISION)

WITHIN  
 THE TOWN OF ALAMEDA GRANT  
 IN  
 PROJECTED SECTION 10, TOWNSHIP 11 NORTH, RANGE 2 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 MAY, 2004

PRELIMINARY PLAT  
 APPROVED BY DRB  
 ON 6/23/04

DISCLOSURE STATEMENT

- The Purpose of this replat is to:
- Create the 19 residential lots, 2 parcels and 1 tract as shown hereon.
  - Dedicate the additional new public street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants
  - Grant the new public utility easements as shown hereon.
  - Parcels A and B as shown hereon will be conveyed in fee simple to the Villa De La Chamisa Homeowners Association (to be formed) as "Common Area". Maintenance of said Parcels A and B to be the responsibility of said Homeowners Association.



LEGAL DESCRIPTION

That certain tract of land situate within the Town of Alameda Grant in projected Section 10, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico comprising all of Tract 1, Marin Subdivision as the same is shown and designated on the plat entitled "LAND DIVISION PLAT FOR MARIN SUBDIVISION, TRACTS 1 THROUGH 4, BEING A REPLAT OF TRACT A, 40 ACRE TRACT SITUATE WITHIN PROJECTED SECTION 10, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO" filed in the office of the Bernalillo County Clerk on March 6, 1985 in Volume C26, folio 128 as Document No. 8517195.

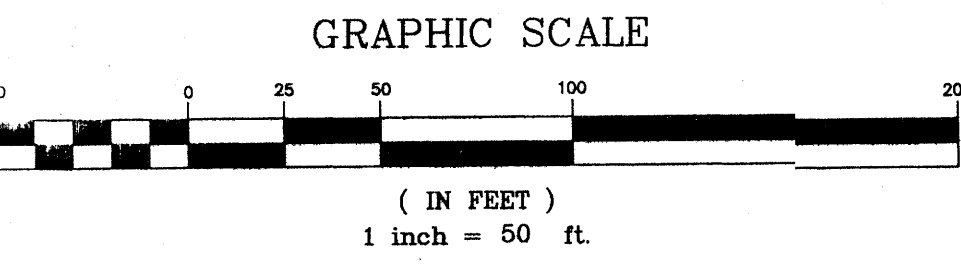
Said Tract contains 8.7664 acres, more or less.

APPROVALS

OWNER(S) OF TRACT 1  
  
 David Soule  
  
 Jennifer Soule, his wife

Approved for Monumentation and Street names  
  
 Surveyor  
 5-20-04  
 Date

Albuquerque Control Survey Monument "7-C10"  
 New Mexico State Plane Coordinates, Central  
 Zone (NAD 27) as published:  
 Y = 1,521,776.00  
 X = 358,954.34  
 Elevation = 5422.388 (SLD 1929)  
 Ground to grid factor = 0.9996634  
 Delta Alpha = 00° 16' 19"





821-920

UTILITY COUNCIL LOCATION SYSTEM LOG No. SP-01-28-1871

PURPOSE OF THIS PLAT:

- 1. This plat represents a land division of Tract A into four smaller tracts. These smaller tracts are to be further subdivided at a later date.
- 2. Grant private access and A.M.A.F.C.A. drainage easements as shown.

DESCRIPTION

A tract of land situate within projected Section 10, Township 11 North, Range 2 East, New Mexico Principal Meridian, within the Town of Alameda Grant, Bernalillo County, New Mexico, and being TRACT A, 40 ACRE TRACT as the same is shown and designated on said plat filed in the office of the County Clerk of Bernalillo County on September 18, 1979 (C15-113) and being more particularly described as follows:

BEGINNING at the northeast corner of the herein described tract, said corner being common with the northeast corner of the aforementioned TRACT A, from whence the southwest corner of RIO VISTA SUBDIVISION UNIT 6 as the same is shown and designated on said plat filed in the office of the County Clerk of Bernalillo County on March 7, 1975 (D6-131) bears N 69° 15' 19" E, 193.20 feet;

THENCE S 21° 11' 56" E, 1492.07 feet to the southeast corner, said point being common with the southeast corner of TRACT A;

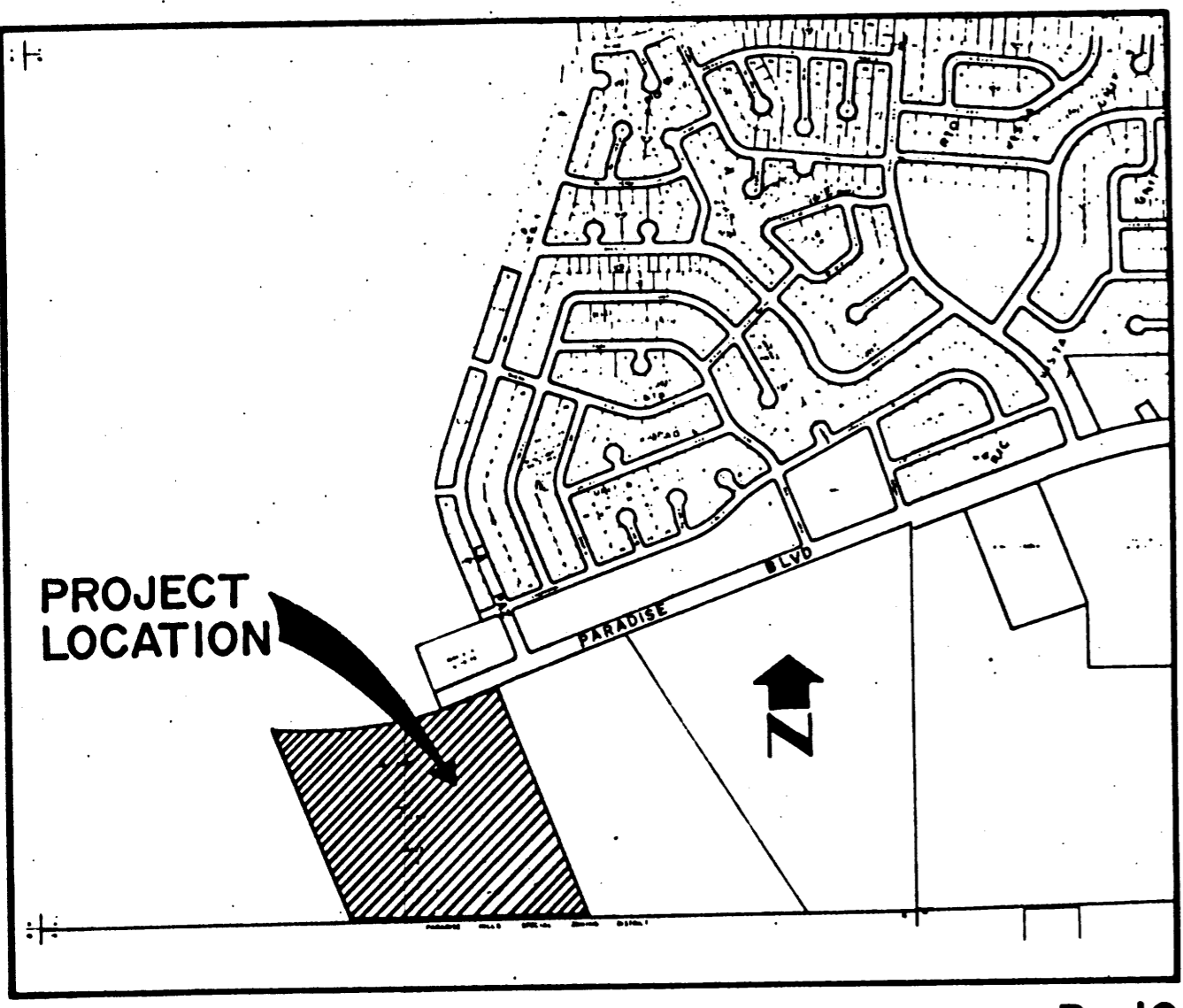
THENCE N 89° 50' 06" W, 1434.53 feet to the southwest corner, said point being common with the southwest corner of TRACT A;

THENCE N 21° 11' 56" W, 1237.43 feet to the northwest corner, said point being common with the northwest corner of TRACT A and being on the south right-of-way line of future Paradise Boulevard;

THENCE along said future south right-of-way line S 89° 51' 41" E, 412.74 feet to a point of curvature;

THENCE along said future south right-of-way line 611.57 feet along a curve to the left, whose radius is 1677.90 feet, through a central angle of 20° 53' 00" to a point of tangency, said point being common with the southwest corner of BERNALILLO COUNTY PARK SITE as the same is shown and designated on said plat filed in the office of the County Clerk of Bernalillo County on July 27, 1979 (C15-70) and being the beginning of dedicated Paradise Boulevard right-of-way;

THENCE along the south line of said dedicated right-of-way N 69° 15' 19" E, 354.30 feet to the point of beginning and containing 40.0282 acres more or less.



LOCATION MAP

SCALE: 1" = 1000'

B-10

SUBDIVISION DATA:

- 1. D.R.B. Case No. 85-108
- 2. Zone Atlas No. B-10
- 3. Gross Acreage: 40.0282 acres
- 4. Number of Tracts created: 4
- 5. Date of survey: 01-28-85 (FB #36)
- 6. Utility Council Location System Log No. SP-01-28-1871

NOTES:

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- 2. Distances are ground distances.
- 3. Bearings and distances in parenthesis are record.
- 4. These Tracts are within New Mexico Utilities, Inc. (NMU, Inc.) franchise area.
- 5. Unless shown otherwise, all points are set with 5/8" rebar with cap marked "E.H.A.L.S. 7719".
- 6. These tracts are apparently affected by the following reservations, restrictions and agreements:
  - a. Reservations contained in patent from U.S.A., Book 64, Page 412.
  - b. Restrictions and reservations recorded in Book D513, Page 189.
  - c. Water system agreement, Misc. Book 35, Page 559.
  - d. Sewer system agreement, Misc. Book 35, Page 527.
  - e. Right-of-way easement, Book 396, Page 217.
  - f. Oil and Gas Lease, Misc. Book 921, Page 466-470.

PARADISE HILLS SPECIAL ZONING COMMISSION CERTIFICATION

Certified only that subdivision shown hereon is zoned R-2 pursuant to the Paradise Hills Special Zoning District Ordinance and in conformance with said zone to the extent specified in this document.

*[Signature]*  
Paradise Hills Special Zoning Commission Date: 25 Feb 85

NEW MEXICO UTILITIES CERTIFICATION

Certified only that these tracts are within the New Mexico Utilities, Inc. franchise area. Water and sanitary sewer capabilities are based on New Mexico Utilities, Inc.'s facilities and not the City of Albuquerque's.

*[Signature]*  
New Mexico Utilities, Inc. Date: 26 Feb 85

FREE CONSENT AND DEDICATION

The subdivision hereon described is with free consent and in accordance with the desires of the undersigned owner and/or proprietor thereof and said owner and/or proprietor do hereby grant A.M.A.F.C.A. drainage easements and private access easements as shown hereon. It shall be the duty of said owners and/or proprietors to maintain said private access easements at owners and/or proprietors cost and said owners and/or proprietors do hereby agree not to obstruct said private access easements.

NORTH COAST BANK CORPORATION

*[Signature]*  
Mitchell Brown, CHAIRMAN OF THE BOARD Date: 2/25/85

ACKNOWLEDGEMENT

STATE OF CALIFORNIA }  
COUNTY OF MARIC }

On this 23rd day of FEBRUARY, 1985, the foregoing instrument was acknowledged before me. My commission expires APRIL 1, 1987.

*[Signature]*  
Notary Public

85 17195

LAND DIVISION PLAT FOR MARIN SUBDIVISION TRACTS I THROUGH 4

BEING A REPLAT OF TRACT A 40 ACRE TRACT SITUATE WITHIN PROJECTED SECTION 10 TOWNSHIP 11 NORTH, RANGE 2 EAST NEW MEXICO PRINCIPAL MERIDIAN TOWN OF ALAMEDA GRANT BERNALILLO COUNTY, NEW MEXICO FEBRUARY 1985

APPROVED AND ACCEPTED BY:

- Subdivision Case No. SP-85-100
- [Signature]* Planning Director, City of Albuquerque, N.M. Date: 26/85
- [Signature]* City Engineer, City of Albuquerque, N.M. Date: N/A
- [Signature]* Albuquerque Metropolitan Arroyo Flood Control Authority Date: Mar. 6, 1985
- [Signature]* Traffic Engineer, City of Albuquerque, N.M. Date: N/A
- [Signature]* Water Resources Department, City of Albuquerque, N.M. Date: N/A
- [Signature]* Parks & Recreation Department, City of Albuquerque, N.M. Date: N/A
- [Signature]* Chief City Surveyor, City of Albuquerque, N.M. Date: 02/25/85
- [Signature]* Property Management, City of Albuquerque, N.M. Date: 2/25/85

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements and restrictions as shown on the plat of record and noted in a title report prepared by First American Title Insurance Company on December 7, 1984, Policy No. D473578, or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest. I further certify that this plat meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief."

*[Signature]*  
Timothy Aldrich, N.M.P.L.S. No. 7719 Date: 02/25/85

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) ss

On this 25th day of February, 1985, the SURVEYORS CERTIFICATION was acknowledged before me.

*[Signature]*  
Notary Public

Job No. 6103-03  
Office ALDRICH  
Draft LASHINSKI  
E.B. #36 (1-28-85)  
Date 2-21-85

ESPEY, HUSTON & ASSOC., INC.  
Engineering & Environmental Consultants  
4601 ROMAN SCHOOL ROAD N.E. SUITE 204  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 258-1850

SHEET 1 OF 2

UTILITY COUNCIL LOCATION SYSTEM LOG No. SP-01-28-1871

NOTE: EASEMENTS LABELED EXISTING ARE IN NO WAY AFFECTED BY THIS PLAT.

DRAINAGE EASEMENTS GRANTED TO AMAFCA BY THIS PLAT. SEE NOTES THIS SHEET.

GRANT OF DRAINAGE AND FLOOD CONTROL EASEMENT

Dedication to the Albuquerque Metropolitan Arroyo Flood Control Authority, its successors and assigns, of the lands, right-of-way, and easements designated hereon is with the full and free consent and in accordance with the desire of the undersigned owners. This dedication is for consent flood control; and the construction, operation, and maintenance of related facilities. Any portion of any lands, right-of-way, or easement dedicated or granted herein shall revert to the owner, its successors and assigns as and to the extent said portion is declared unnecessary for flood control and drainage by the Board of Directors of the Albuquerque Metropolitan Arroyo Flood Control Authority. Any reversion shall be conveyed by quitclaim deed.

NORTH COAST BANK CORPORATION

*[Signature]*  
Mitchell Brown, Chairman of the Board Date: 2/25/85

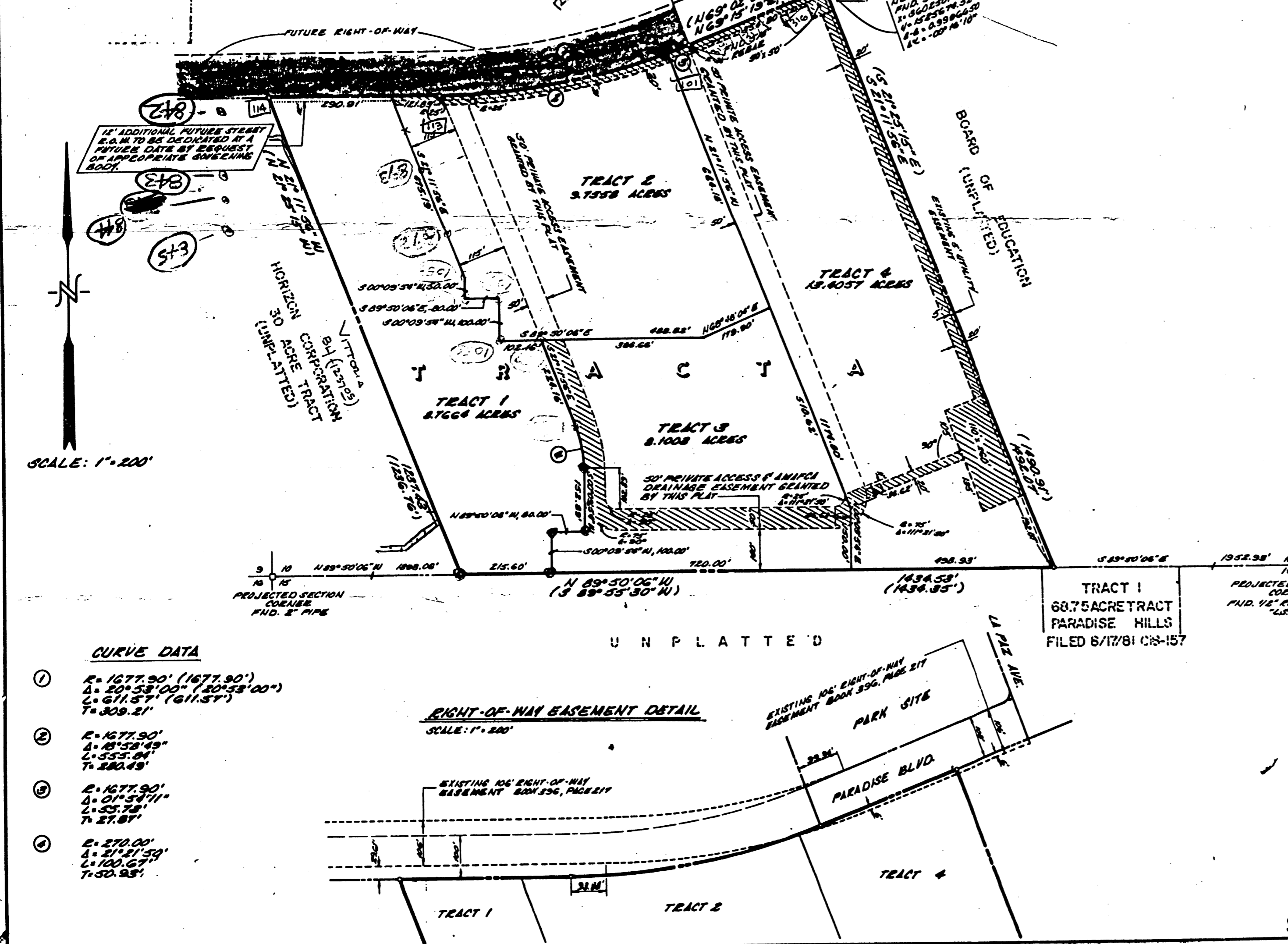
ACKNOWLEDGEMENT

STATE OF CALIFORNIA }  
COUNTY OF MARIC }

On this 23rd day of FEBRUARY, 1985, the foregoing instrument was acknowledged before me. My commission expires APRIL 1, 1987.

*[Signature]*  
Notary Public

HORIZON CORPORATION (UNPLATTED)



CURVE DATA

- 1. R=1677.90' (1677.90')  
A=20°53'00" (105.58'00")  
C=611.57' (611.57')  
T=309.21'
- 2. R=1677.90'  
A=20°53'00"  
C=611.57'  
T=309.21'
- 3. R=1677.90'  
A=20°53'00"  
C=611.57'  
T=309.21'
- 4. R=1677.90'  
A=20°53'00"  
C=611.57'  
T=309.21'

RIGHT-OF-WAY EASEMENT DETAIL

SCALE: 1" = 200'

85 17195

LAND DIVISION PLAT FOR MARIN SUBDIVISION TRACTS I THROUGH 4

BEING A REPLAT OF TRACT A 40 ACRE TRACT SITUATE WITHIN PROJECTED SECTION 10 TOWNSHIP 11 NORTH, RANGE 2 EAST NEW MEXICO PRINCIPAL MERIDIAN TOWN OF ALAMEDA GRANT BERNALILLO COUNTY, NEW MEXICO FEBRUARY 1985

NOTE

Future subdivision of lands within this plat and development permits may be conditioned upon dedication of rights-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading and parks in accordance with current resolutions, ordinances and policies in effect at the time for any specific proposal.

The City of Albuquerque (and AMAFCA with reference to drainage) may require and/or permit easements to be added, modified or removed when future plats or site development plans are approved.

By its approval the City of Albuquerque makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

Grant of easement to the Public Service Company of New Mexico, Gas Company of New Mexico and Mountain Bell Telephone may be required at the time of further subdivision and/or development (width and location to be determined at that time) and shall include the rights of ingress and egress (both surface and subsurface) and the right to trim interfering trees.

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, shows all easements and restrictions as shown on the plat of record and noted in a title report prepared by First American Title Insurance Company on December 7, 1984, Policy No. D473578, or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest. I further certify that this plat meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, meets the requirements set forth by the State of New Mexico, and is true and correct to the best of my knowledge and belief."

*[Signature]*  
Timothy Aldrich, N.M.P.L.S. No. 7719 Date: 02/25/85

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) ss

On this 25th day of February, 1985, the SURVEYORS CERTIFICATION was acknowledged before me.

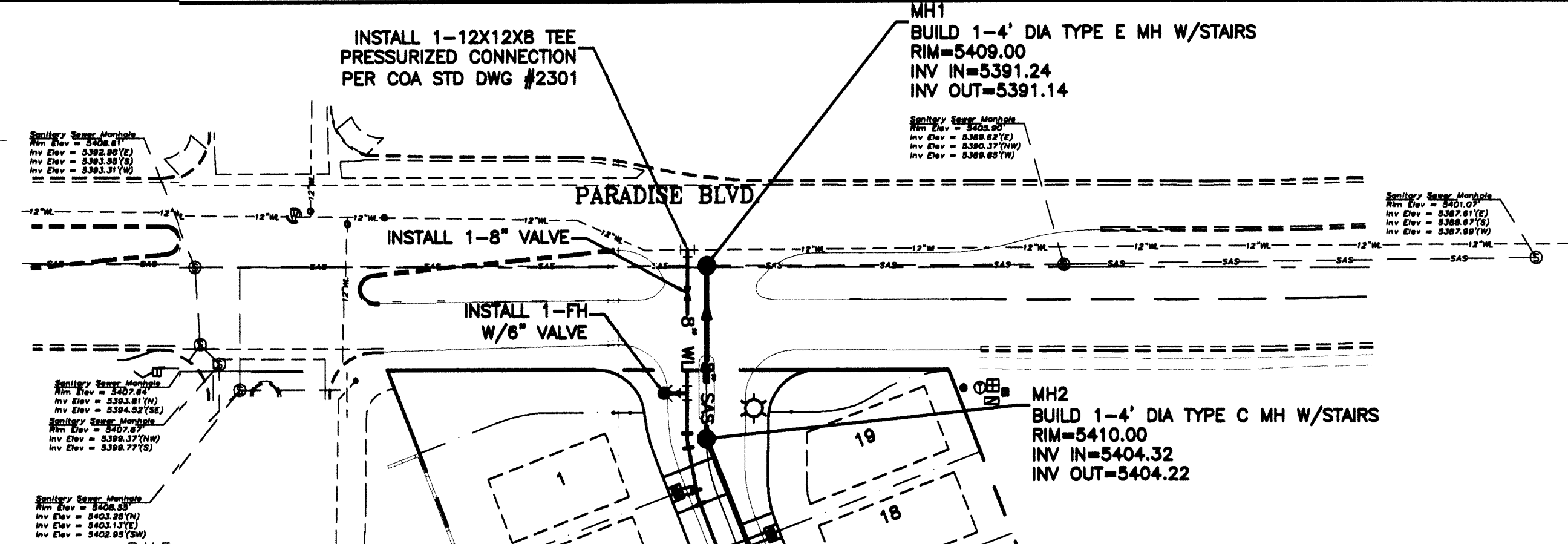
*[Signature]*  
Notary Public

Job No. 6103-03  
Office ALDRICH  
Draft LASHINSKI  
E.B. #36 (1-28-85)  
Date 2-21-85

ESPEY, HUSTON & ASSOC., INC.  
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ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 258-1850

SHEET 2 OF 2





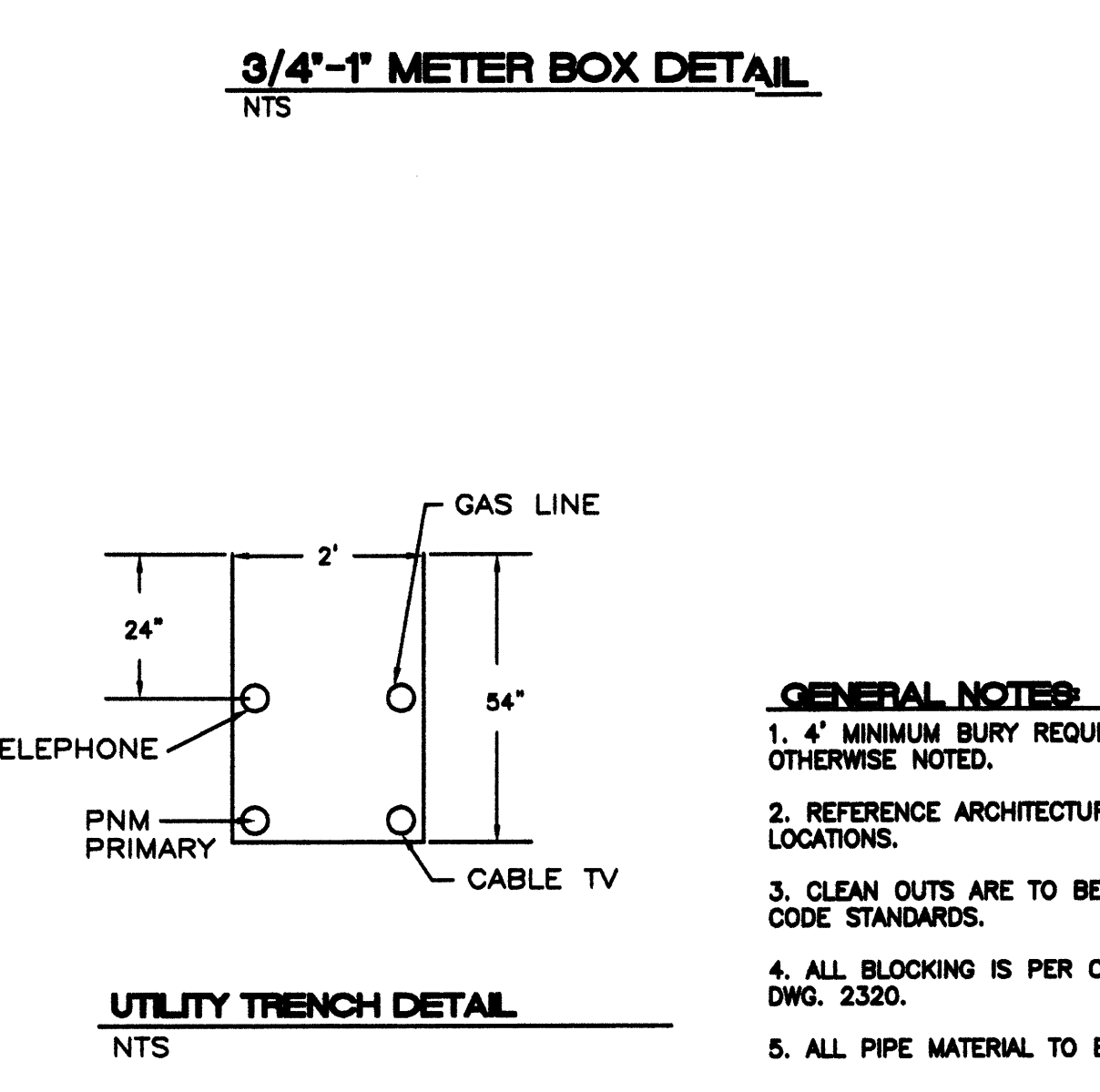
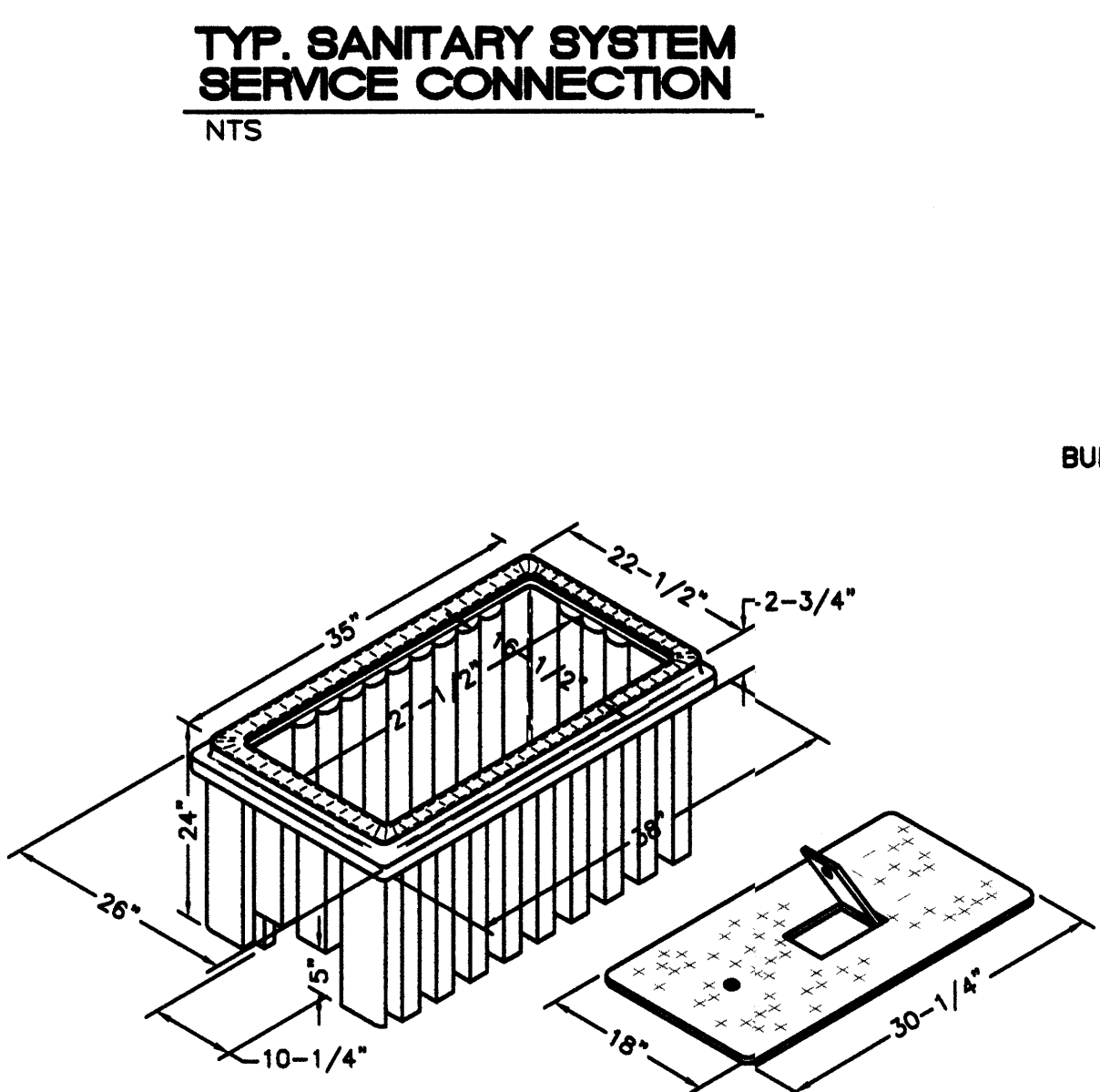
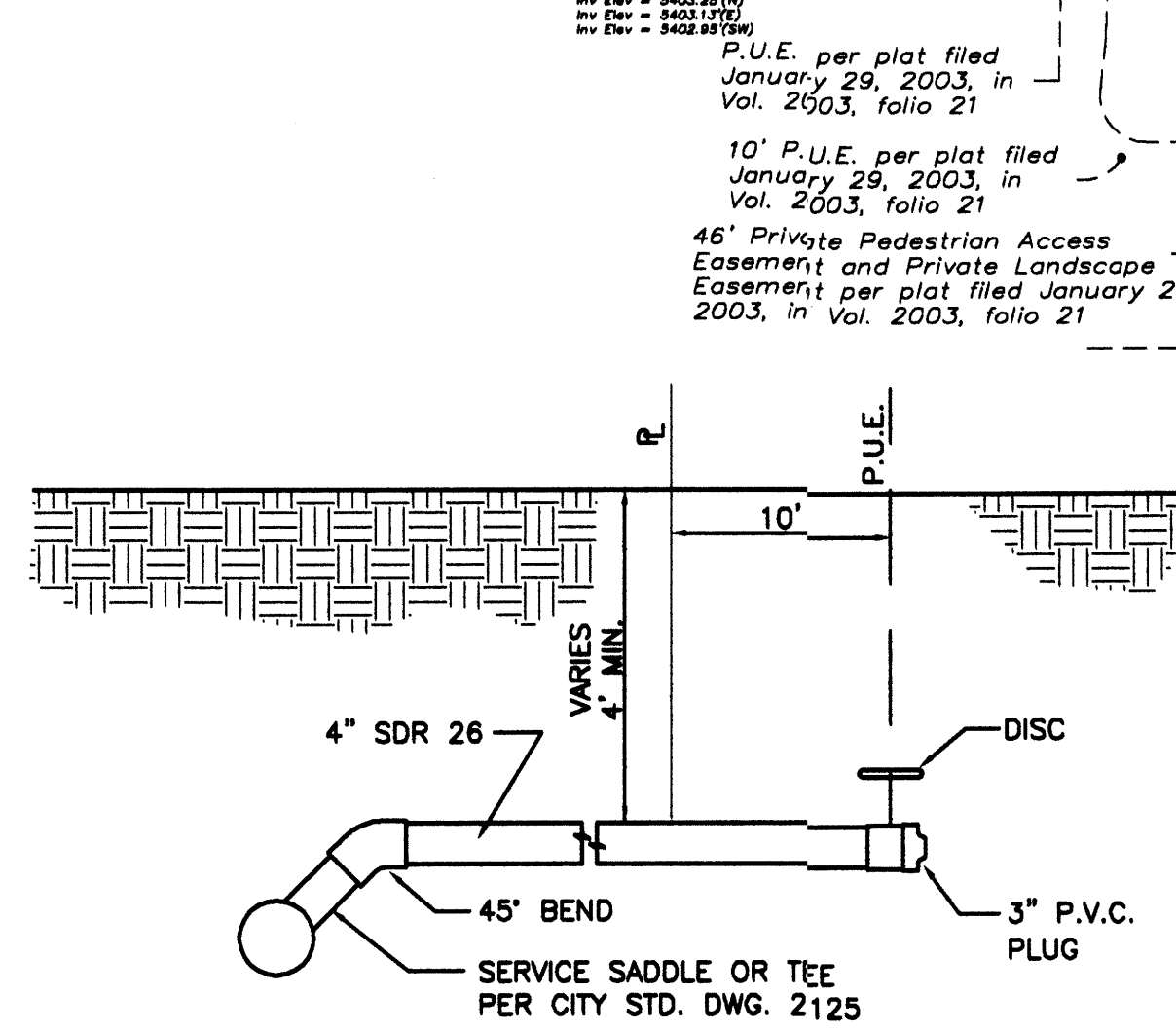
LEGEND	
	EXISTING SAS MANHOLE
	EXISTING SANITARY SEWER LINE
	PROPOSED SAS MANHOLE
	PROPOSED SAS FORCE MAIN CLEANOUT
	DIRECTION OF FLOW
	PROPOSED SANITARY SEWER LINE
	SANITARY SEWER SERVICE LINE
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	PROPOSED METER
	PROPOSED VALVE W/BOX
	PROPOSED FIRE HYDRANT
	WATER SERVICE LINE
	PROPOSED WATER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	SETBACK LINE
	BOUNDARY LINE
	EASEMENT
	STREET LIGHTS

**WATER SHUT-OFF PLAN** SHUT OFF VALVES #

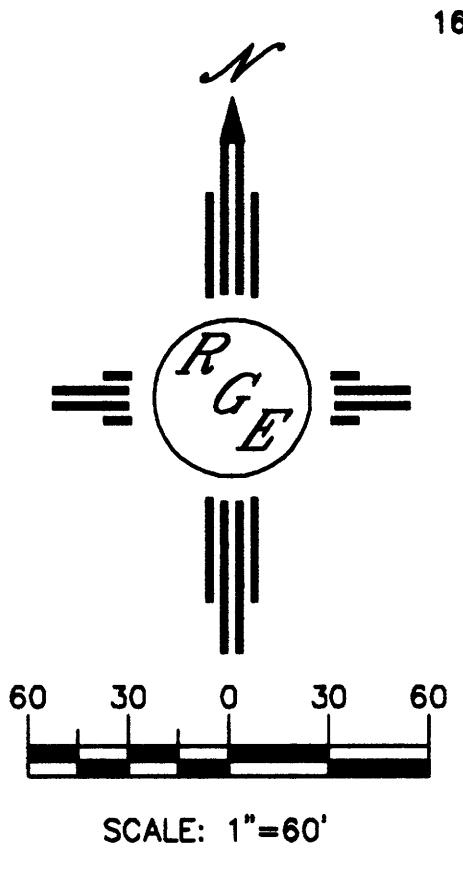
- NOTES:
1. WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
  2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  3. NOTIFY NEW MEXICO UTILITIES (898-2661) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
  4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET
  5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
  6. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

**NOTICE TO CONTRACTORS**

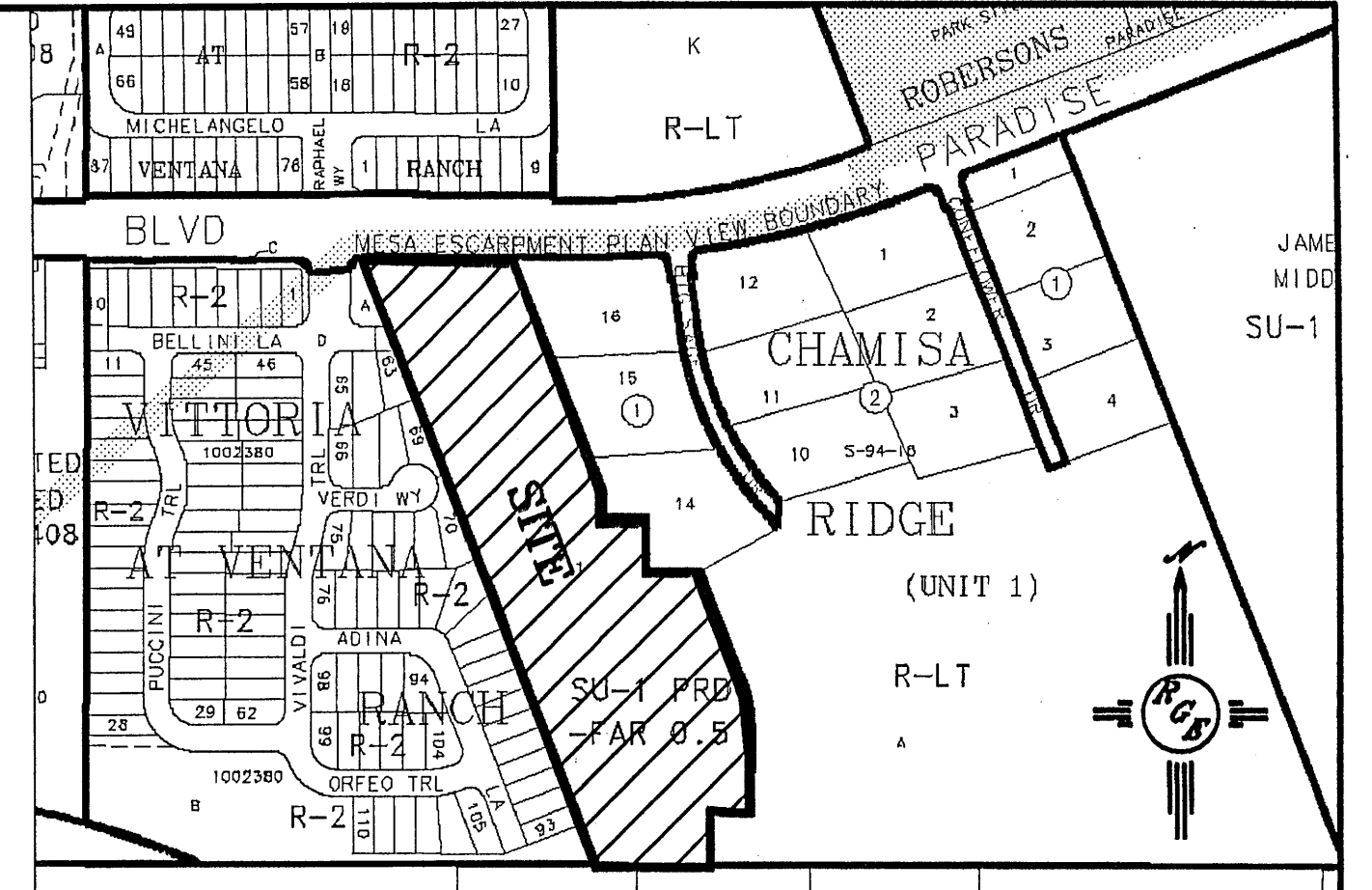
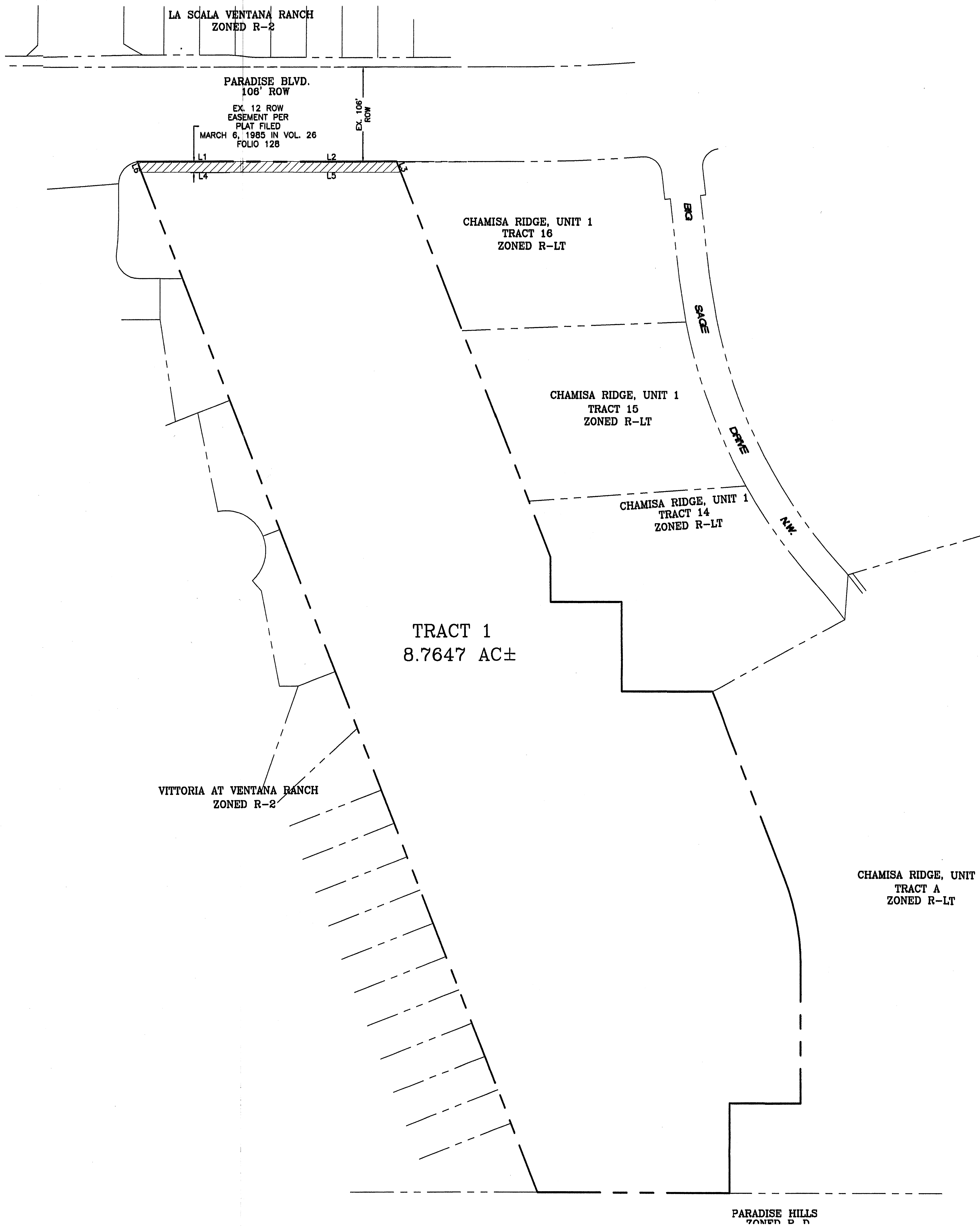
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES 3 DAYS IN ADVANCE OF CONSTRUCTION.



**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL	VILLA DE LA CHAMISA	DRAWN BY WCVJ
	MASTER UTILITY PLAN	DATE 5-19-04
		2300-MUE-5-10-04X
		SHEET # 4 OF 10
		JOB # 2300
DAVID SOULE P.E. #14522	Rio Grande Engineering 3900 COMANCHE ROAD NE BUILDING E, SUITE 5 ALBUQUERQUE, NM 87107 (505) 321-8098	



VICINITY MAP: B-10-7

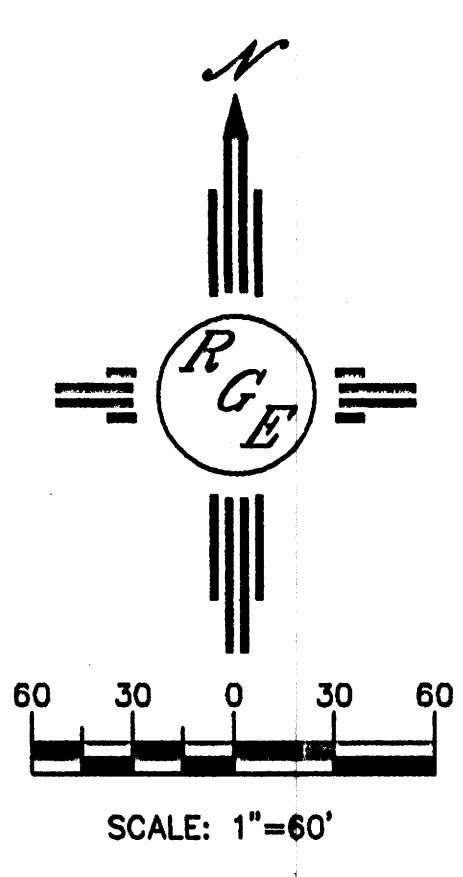
LEGAL DESCRIPTION:  
TRACT 1, LANDS OF MARIN

NOTES:

LINE TABLE		
LINE	LENGTH	BEARING
L1	145.34	S89°53'20"E
L2	145.34	S89°53'20"E
L3	12.88	S21°11'56"E
L4	140.66	S89°53'20"E
L5	150.02	S89°53'20"E
L6	12.88	S21°11'45"E

SITE DATA	
PHASE I ACREAGE:	2.8680 AC±
PHASE II ACREAGE:	5.8967 AC±
TOTAL ACREAGE:	8.7647 AC±
VACATION AREA:	0.0801 AC±
EXISTING ZONING:	SU-1 PRD (FAR .5)
PROPOSED ZONING:	SU-1 PRD (FAR .5)
PROPOSED USE:	55 MAX. SINGLE-FAMILY DWELLING UNITS
NUMBER OF LOTS:	
PHASE I:	19 LOTS, AND 2 LANDSCAPE TRACTS
PHASE II:	36 LOTS (W/ROW ACCESS TO SOUTH)

LEGEND	
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	RIGHT-OF-WAY
	AREA TO BE VACATED-0.0801 AC±



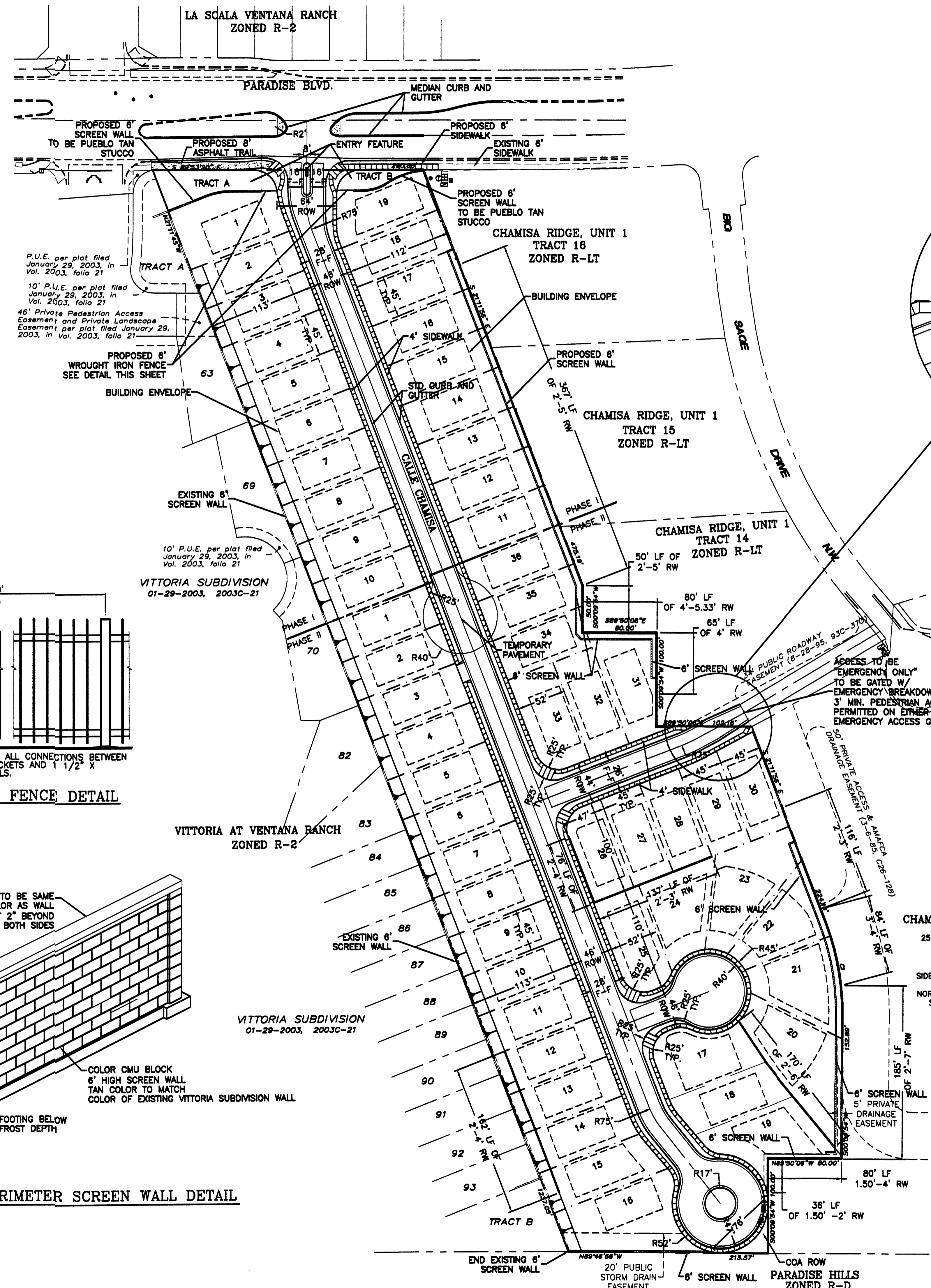
6/16/04

ENGINEER'S SEAL	VILLA DE LA CHAMISA VACATION EXHIBIT	DRAWN BY WCVJ
		DATE 5-20-04
		2300-WC-EN-5-10-04X
		SHEET #
DAVID SOULE P.E. #14522	3900 GOMACHE ROAD NE BUILDING E, SUITE 5 ALBUQUERQUE, NM 87107 (505) 872-0888	JOB # 2300







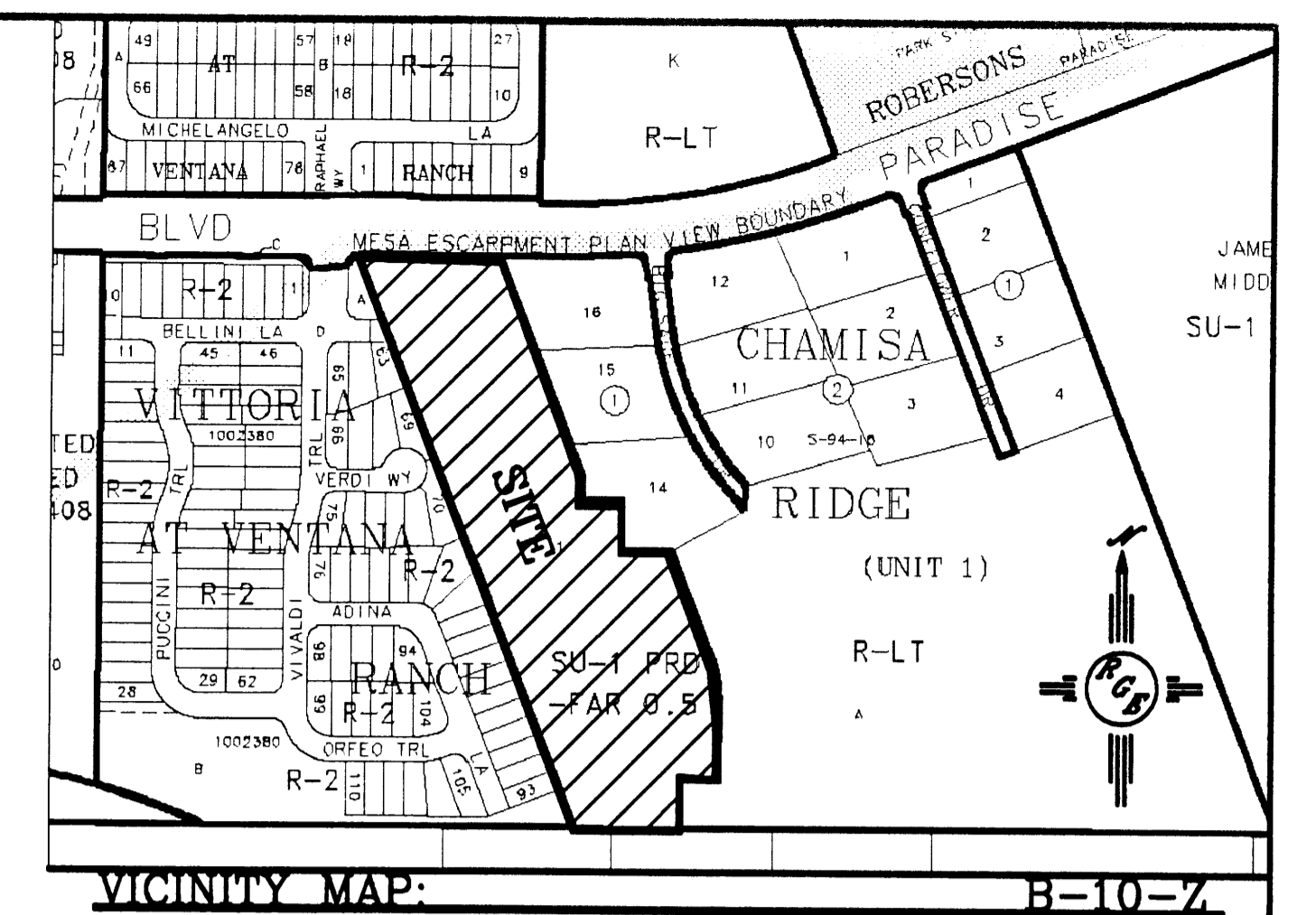


**SITE DATA**

PHASE I ACREAGE:	2.8880 AC±
PHASE II ACREAGE:	5.8997 AC±
TOTAL ACREAGE:	8.7847 AC±
EXISTING ZONING:	SU-1 PRD (FAR .5)
PROPOSED ZONING:	SU-1 PRD (FAR .5)
PROPOSED USE:	55 MAX. SINGLE-FAMILY DWELLING UNITS
NUMBER OF LOTS:	
PHASE I:	19 LOTS, AND 2 LANDSCAPE TRACTS
PHASE II:	36 LOTS (W/ROW ACCESS TO SOUTH)

**CURVE TABLE**

STATION	LENGTH	ADIUS	ANGLE	CHORD	CHORD BEARING	DELTA
CT 100.00	370.00	80.83	100.08	110.31	01°11'W	21°21'50"
100.00	370.00	80.83	100.08	110.31	01°11'W	21°21'50"



**LEGAL DESCRIPTION:**  
TRACT 1, LANDS OF MARIN

- NOTES:**
- THE DEVELOPMENT OF THIS PROJECT WILL BE PHASED AS SHOWN ON THIS PLAN.
  - SITE PLAN FOR BUILDING PERMIT SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD FOR FINAL APPROVAL.
  - THIS SITE IS LOCATED IN THE ESCARPMENT VIEW AREA, AS DESCRIBED WITHIN THE NORTHWEST ESCARPMENT PLAN (RANK 3). THE SUBSEQUENT SITE PLAN FOR BUILDING PERMIT MUST FOLLOW THE REQUIREMENTS SPECIFIED BY THIS PLAN.
  - THE OVERALL FLOOR AREA RATIO SHALL NOT EXCEED 0.5.
  - THE MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 28'.
  - LANDSCAPE TRACTS A AND B SHALL BE MAINTAINED BY THE VILLA DE LA CHAMISA HOMEOWNERS ASSOCIATION.
  - FRONT YARD SETBACK SHALL BE A MINIMUM OF 15' AND SHALL HAVE A 2' VARIATION IN THE FRONT YARD SETBACK FROM THE ADJACENT HOUSE.
  - ALL WALLS AND FENCE MUST MEET THE DESIGN STANDARDS FOR WALLS, PER SECTION 14-16-3-19 OF THE ZONING CODE.
  - ALL LIGHTING SHALL BE BUILT TO COA STANDARDS FOR PUBLIC RIGHT-OF-WAY.
  - PUBLIC ACCESS EASEMENT TO CHAMISA RIDGE SUBDIVISION SHALL BE GATED AND USED FOR EMERGENCY ACCESS ONLY. A 3' MIN. PEDESTRIAN CONNECTION SHALL BE PROVIDED ON EITHER SIDE OF GATE WITHIN ACCESS EASEMENT. GATE SHALL BE A BREAKDOWN GATE AS APPROVED BY THE FIRE DEPARTMENT. DEVELOPER WILL WORK WITH CHAMISA RIDGE HOMEOWNERS ON AN ACCEPTABLE DESIGN. Maintenance of gate shall be Villa de la Chamisa HOA.
  - EACH LOT SHALL PROVIDE STORAGE AREA FOR RESIDENTIAL AUTOMATED CARTS, NOT VISIBLE FROM STREET OR STORED INSIDE GARAGE.
  - ENTRY SIGN SHALL SIT BACK FAR ENOUGH SO AS NOT TO INTERFERE WITH PEDESTRIAN MOVEMENT ALONG PARADISE BOULEVARD.
  - ALL SINGLE COMMON WALLS BETWEEN CHAMISA RIDGE SUBDIVISION AND THE PROPOSED VILLA DE LA CHAMISA SUBDIVISION SHALL BE A MINIMUM OF 8' IN HEIGHT AND SHALL NOT EXCEED 8' IN HEIGHT ABOVE THE LOWEST GRADE ON THE LOWER SIDE WITHIN THE REQUIRED REAR YARD SETBACK.
  - PHASE II SHALL NOT BEGIN CONSTRUCTION UNTIL DRAINAGE AGREEMENT BETWEEN OWNERS TO EAST IS EXECUTED.

**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

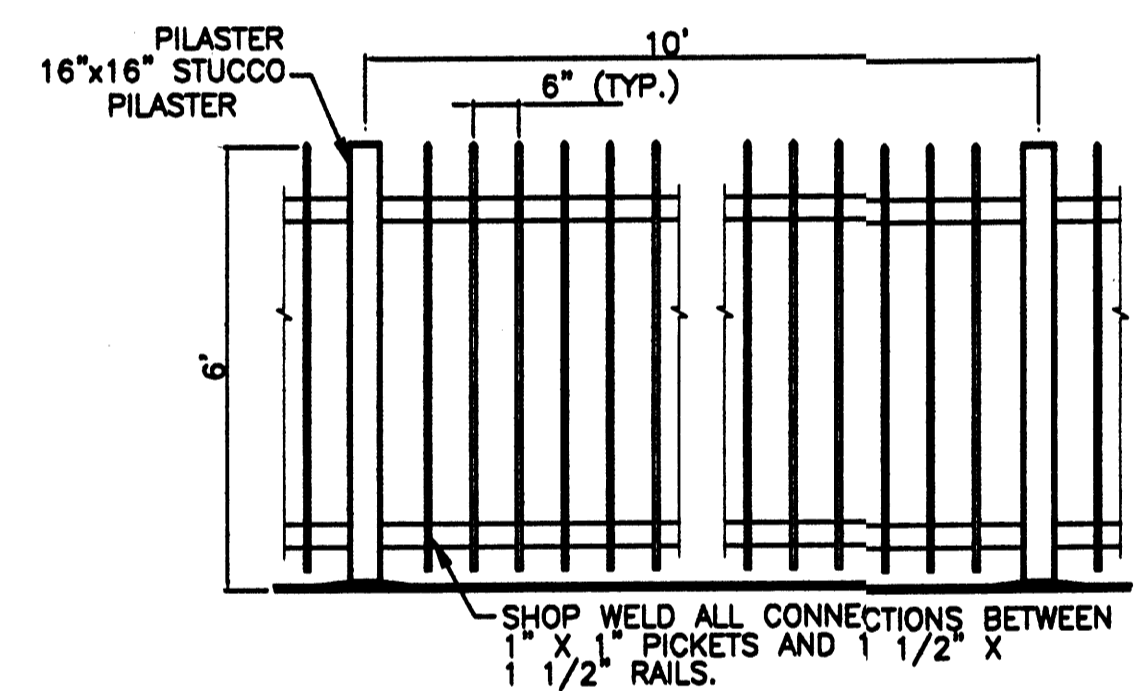
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

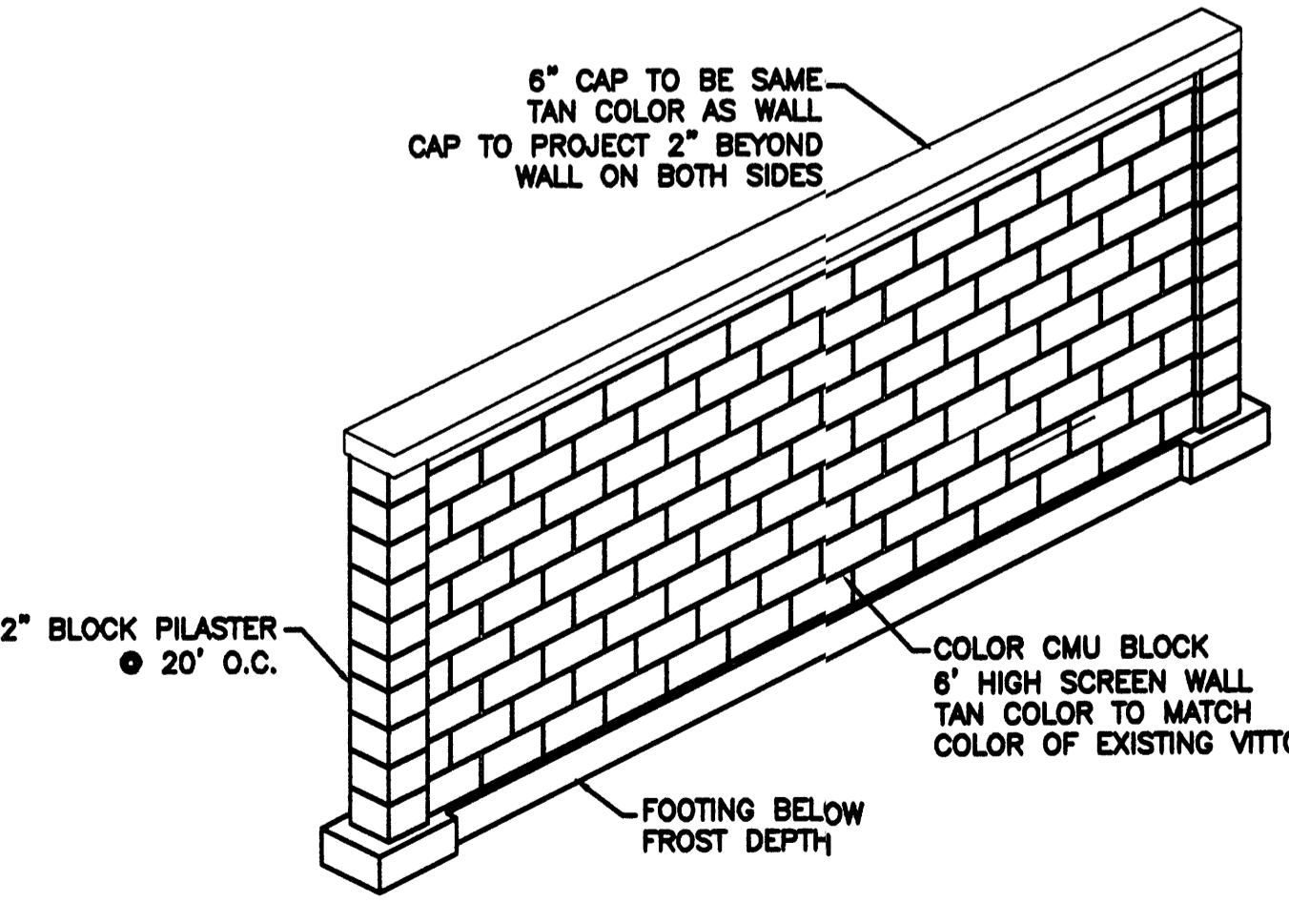
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

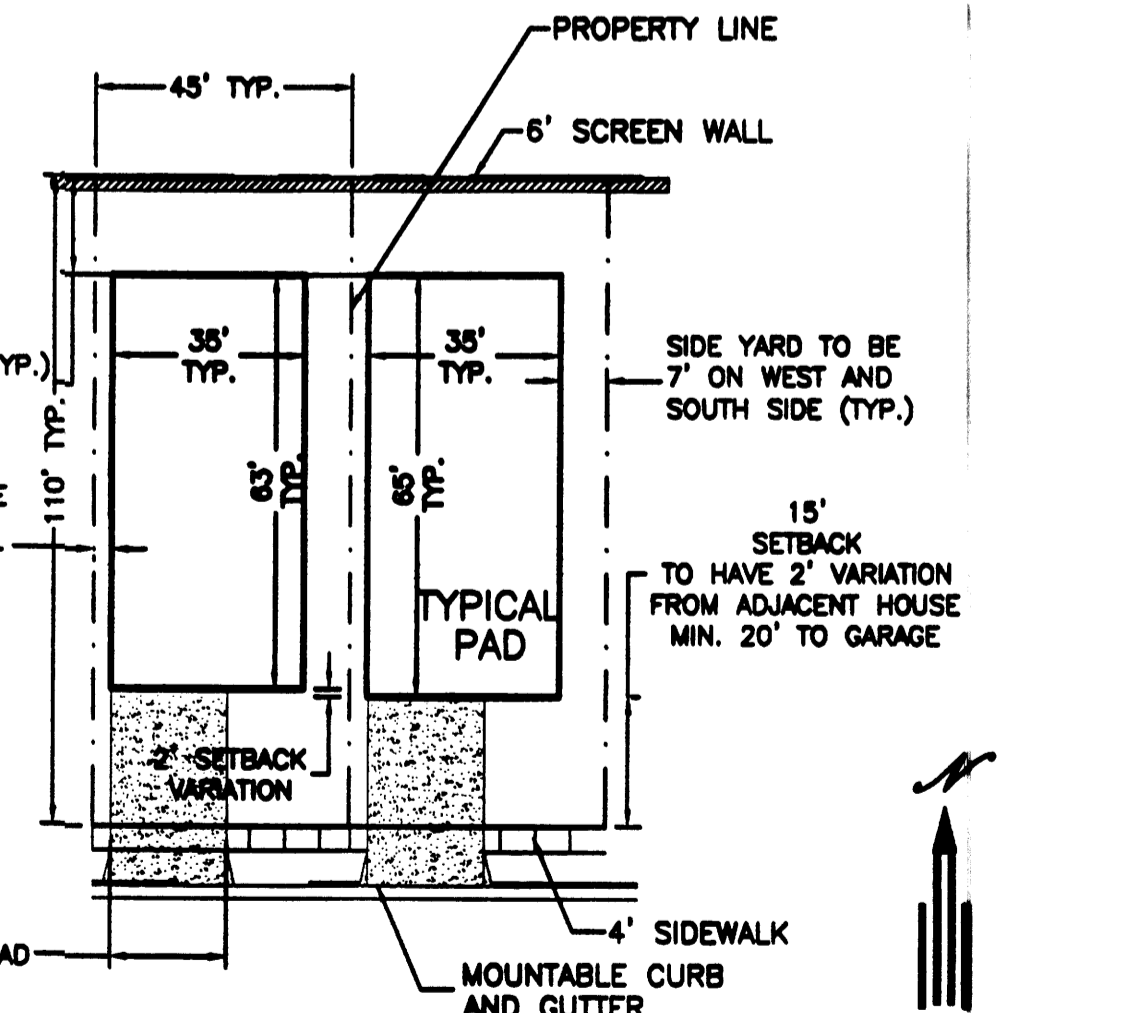
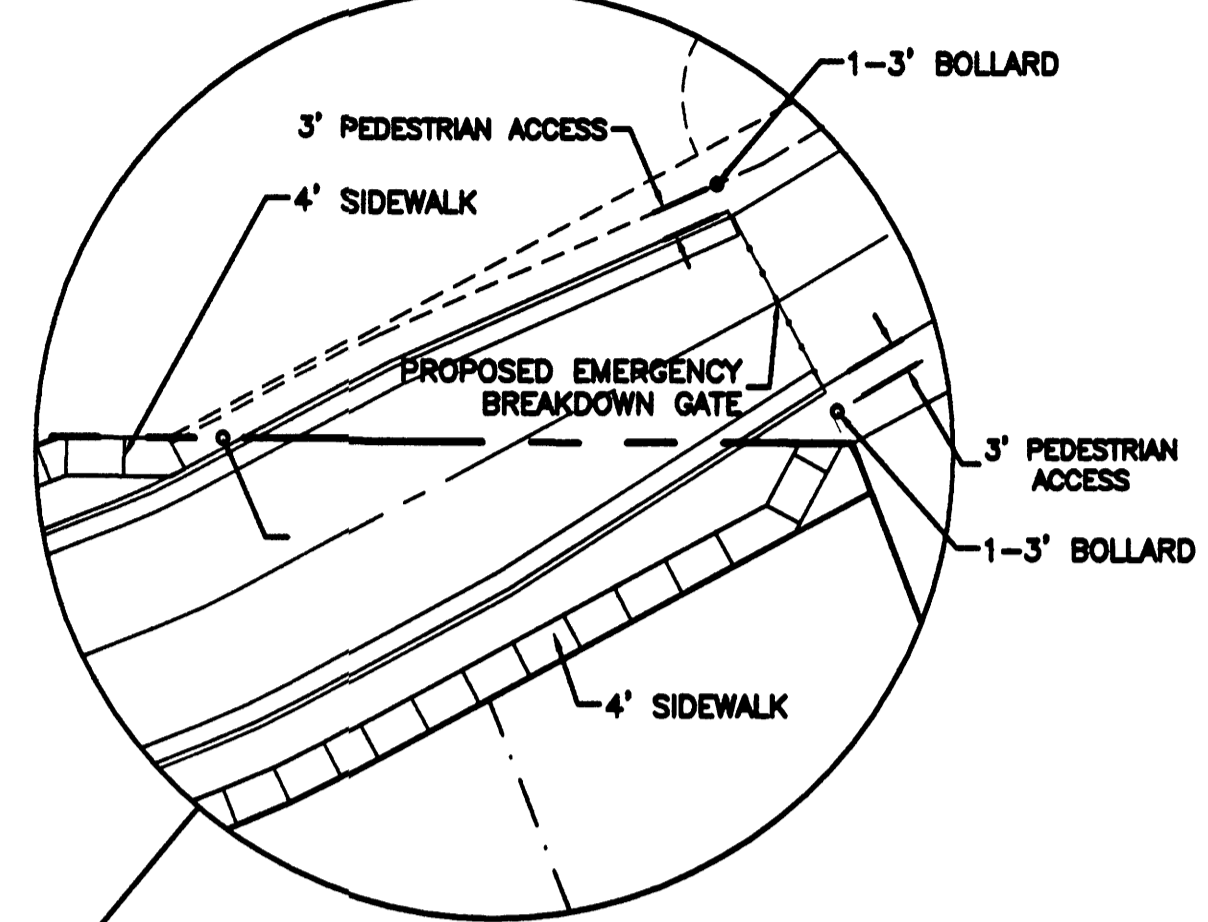
\* Environmental Health, if necessary 12/16/03



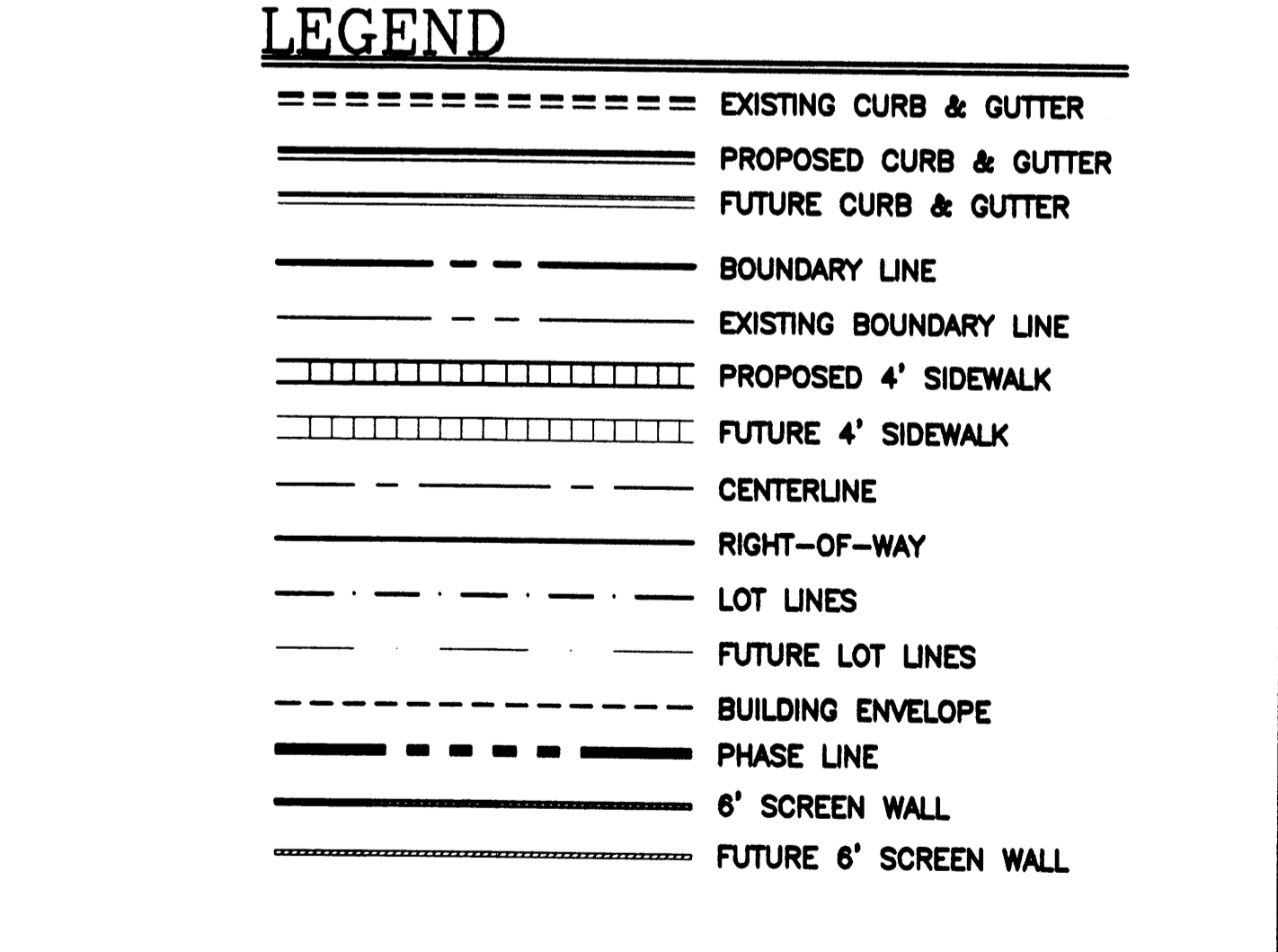
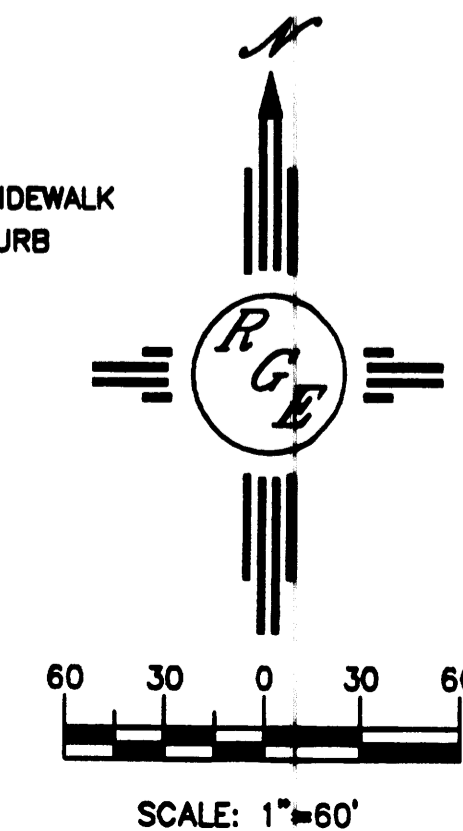
**WROUGHT IRON FENCE DETAIL**



**6' PERIMETER SCREEN WALL DETAIL**

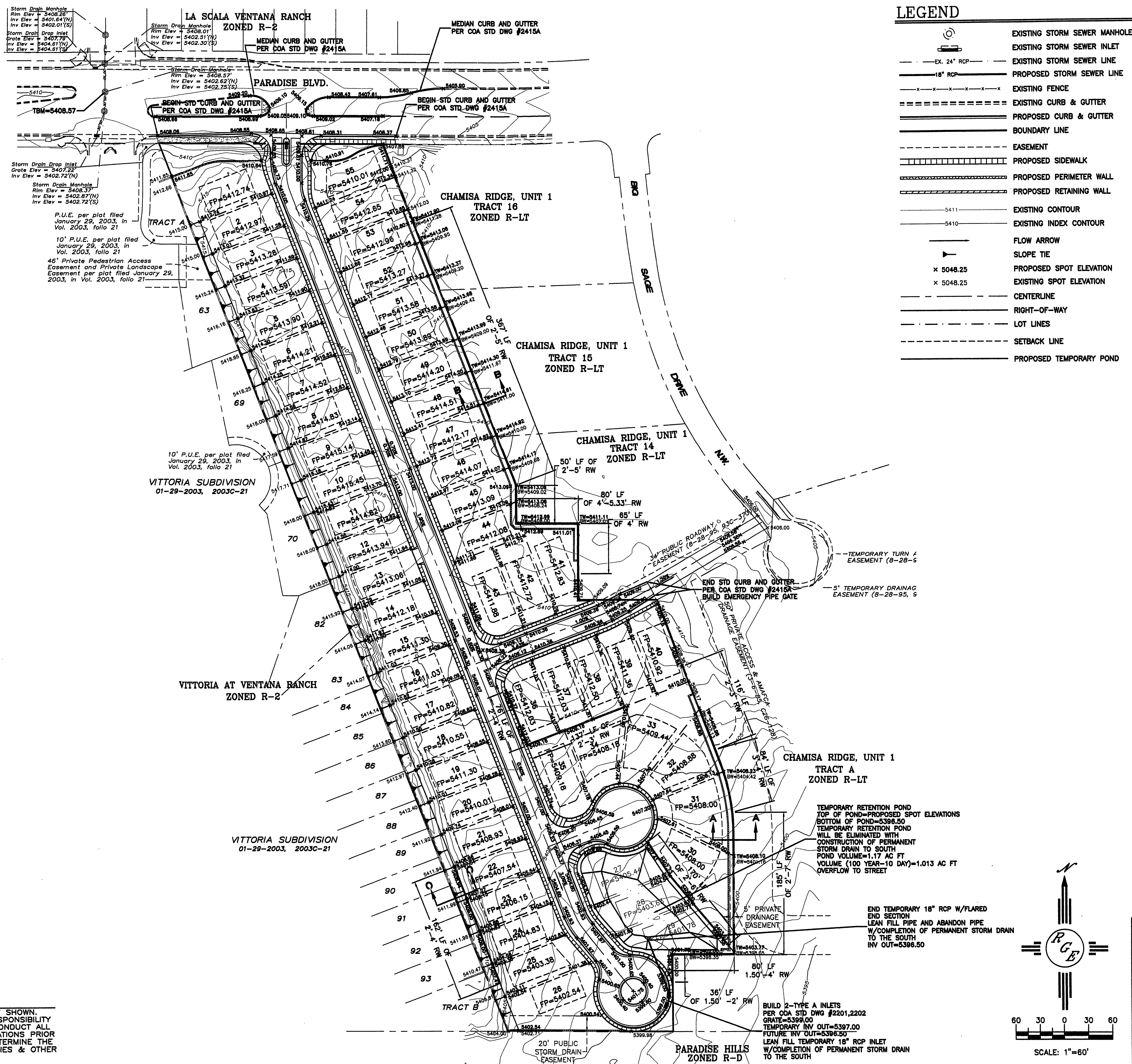


**TYPICAL LOT LAYOUT**



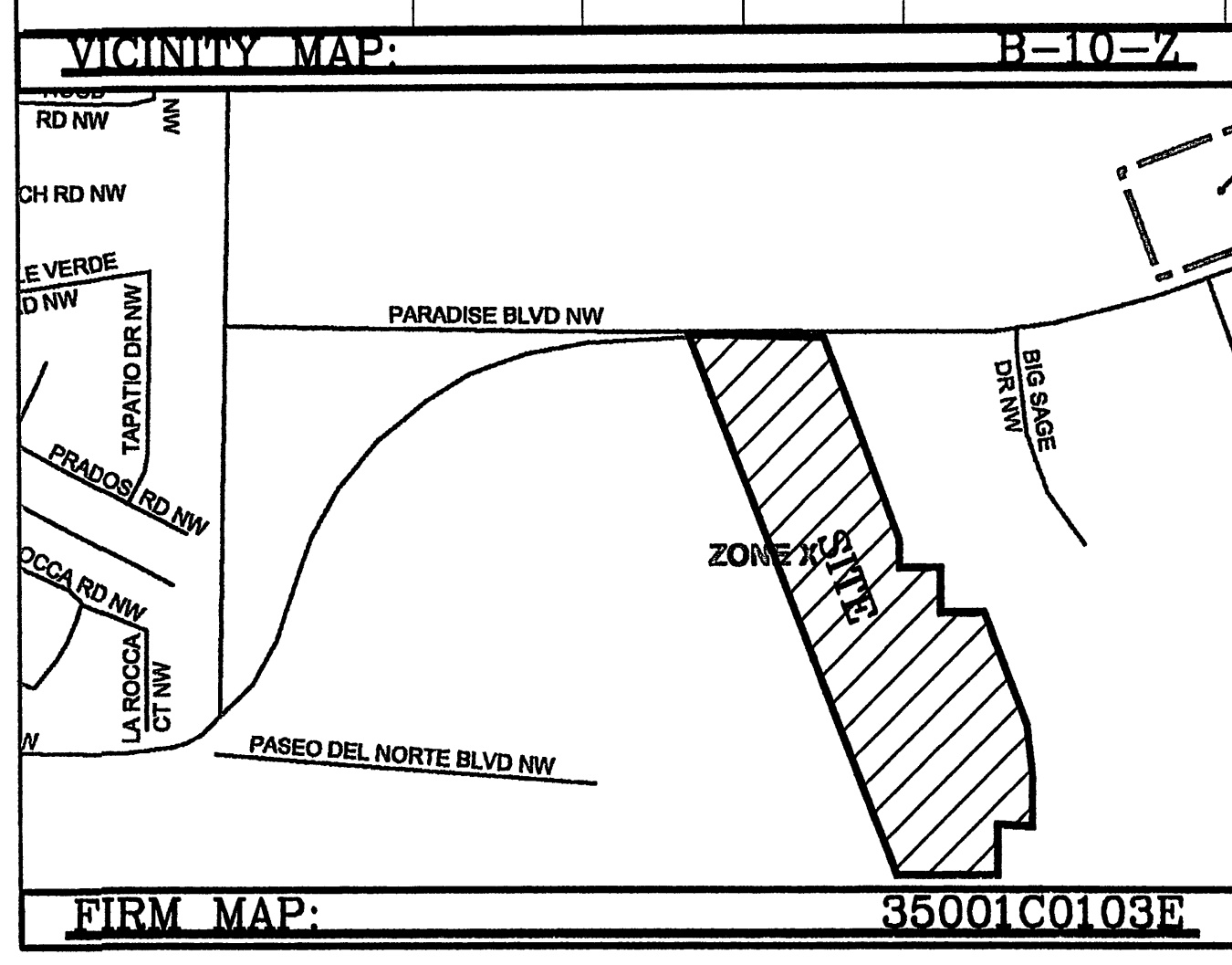
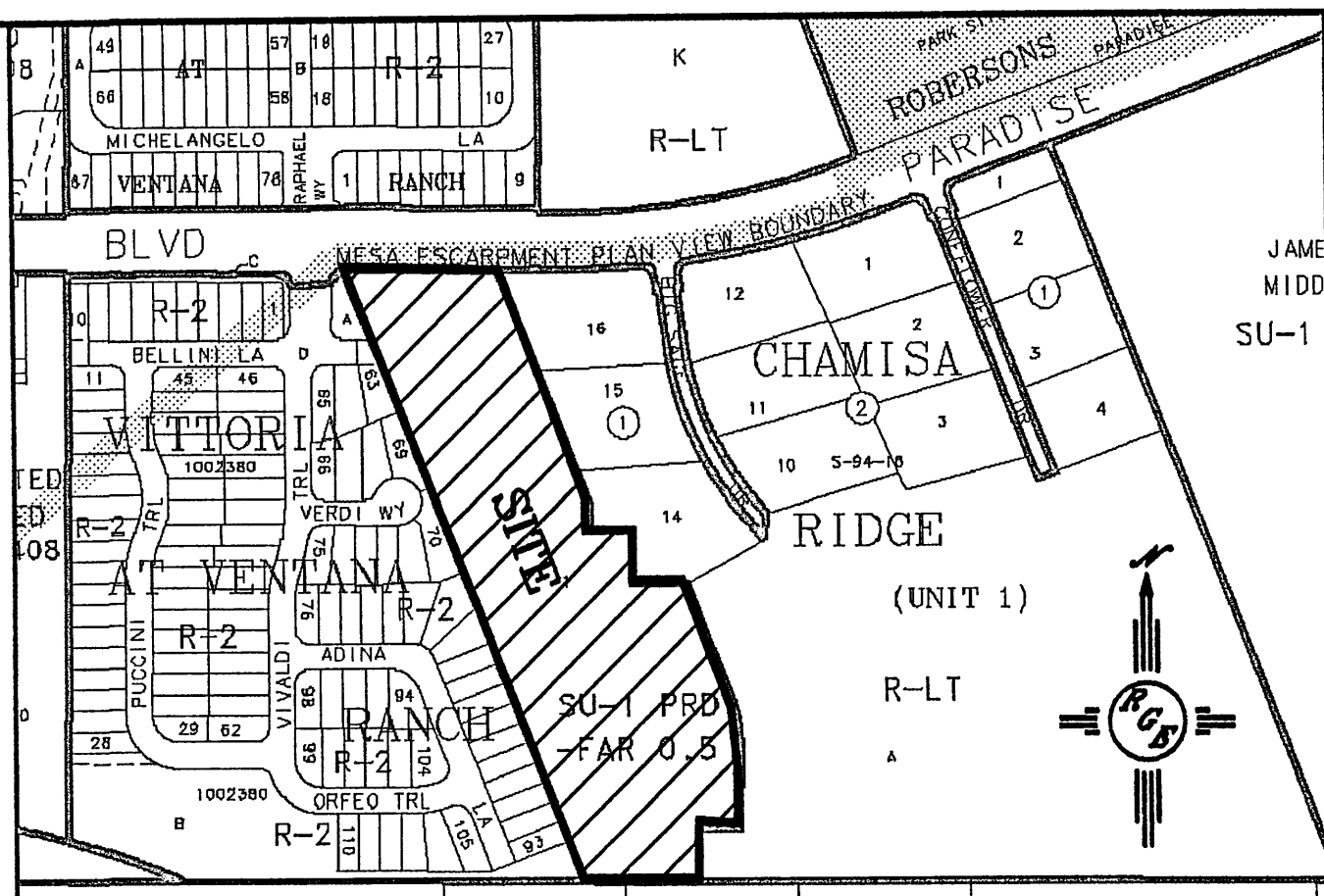
	<b>VILLA DE LA CHAMISA</b> <b>SITE PLAN FOR BUILDING PERMIT</b>		DRAWN BY: WCWJ DATE: 6-22-04 2300-SPRUE-S-10-04X
			SHEET # <b>2 OF 12</b> JOB # 2300





**LEGEND**

	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	PROPOSED PERIMETER WALL
	PROPOSED RETAINING WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	SETBACK LINE
	PROPOSED TEMPORARY POND



**LEGAL DESCRIPTION:**  
TRACT 1, LANDS OF MARIN

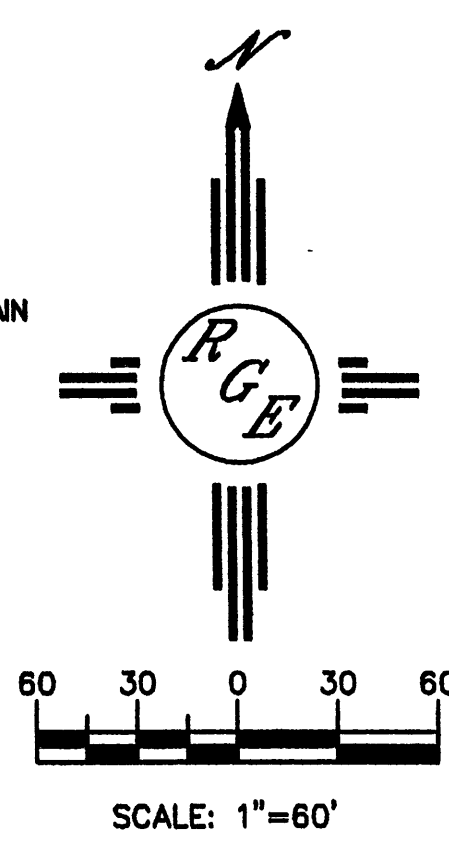
**NOTES:**

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO BE STANDARD PER COA STD DWG #2415A UNLESS OTHERWISE NOTED.
3. ALL INTERIOR REAR YARD SCREEN WALLS (WHERE THE WALL IS INSIDE OF RETAINING WALL) SHALL HAVE EVERY FOURTH BLOCK TURNED FOR DRAINAGE.

**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

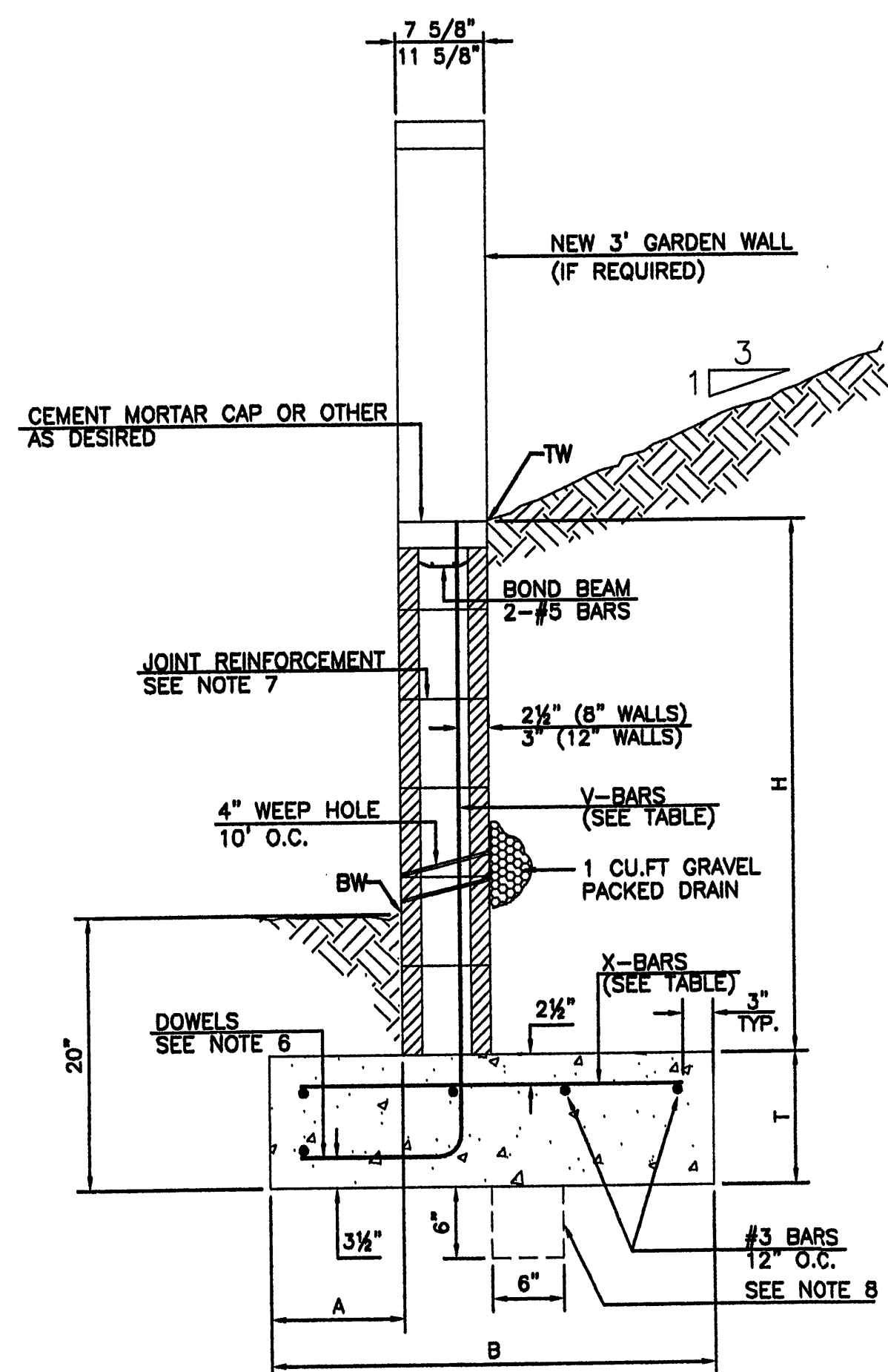
**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



**ROUGH GRADING APPROVAL** \_\_\_\_\_ DATE \_\_\_\_\_

ENGINEER'S SEAL 	<b>VILLA DE LA CHAMISA</b>	DRAWN BY WCHJ
	<b>GRADING AND DRAINAGE PLAN</b>	DATE 4-26-04
	<i>Rio Grande Engineering</i>	2300-CRB-4-21-04X
	3300 COMANCHE ROAD NE BUILDING 5 SUITE 6 ALBUQUERQUE, NM 87107 (505) 872-0888	SHEET # 3 OF 12
DAVID SOULE P.E. #14522		JOB # 2300





**RETAINING WALL DETAIL**

NTS

**8 INCH REINFORCED CONCRETE MASONRY WALL**

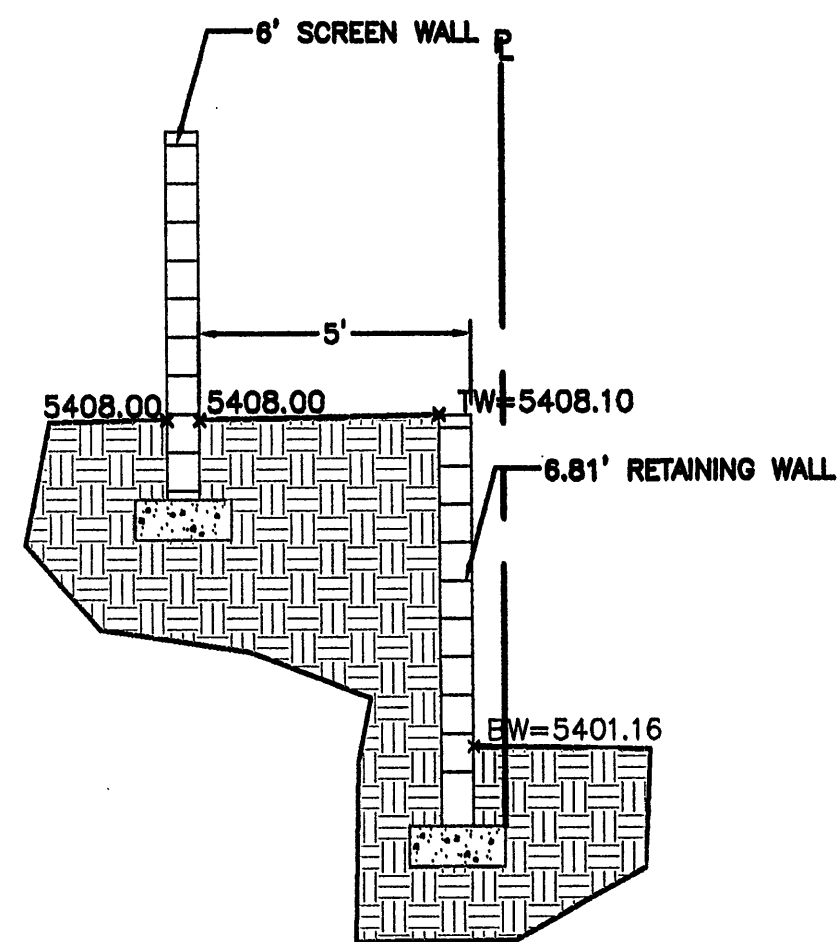
H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
3'-4"	8"	2'-4"	9"	#4 @ 32" O.C.	#4 @ 34" O.C.
4'-0"	10"	2'-9"	9"	#4 @ 32" O.C.	#4 @ 36" O.C.
4'-8"	12"	3'-4"	10"	#4 @ 24" O.C.	#4 @ 24" O.C.
5'-4"	14"	3'-8"	10"	#4 @ 16" O.C.	#4 @ 16" O.C.
6'-0"	16"	4'-2"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.

**12 INCH REINFORCED CONCRETE MASONRY WALL**

H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#4 @ 24" O.C.	#3 @ 24" O.C.
6'-0"	15"	4'-2"	12"	#4 @ 16" O.C.	#4 @ 30" O.C.
6'-8"	16"	4'-6"	12"	#6 @ 24" O.C.	#4 @ 22" O.C.
7'-4"	18"	4'-10"	12"	#5 @ 16" O.C.	#5 @ 26" O.C.
8'-0"	20"	5'-4"	12"	#7 @ 24" O.C.	#5 @ 21" O.C.

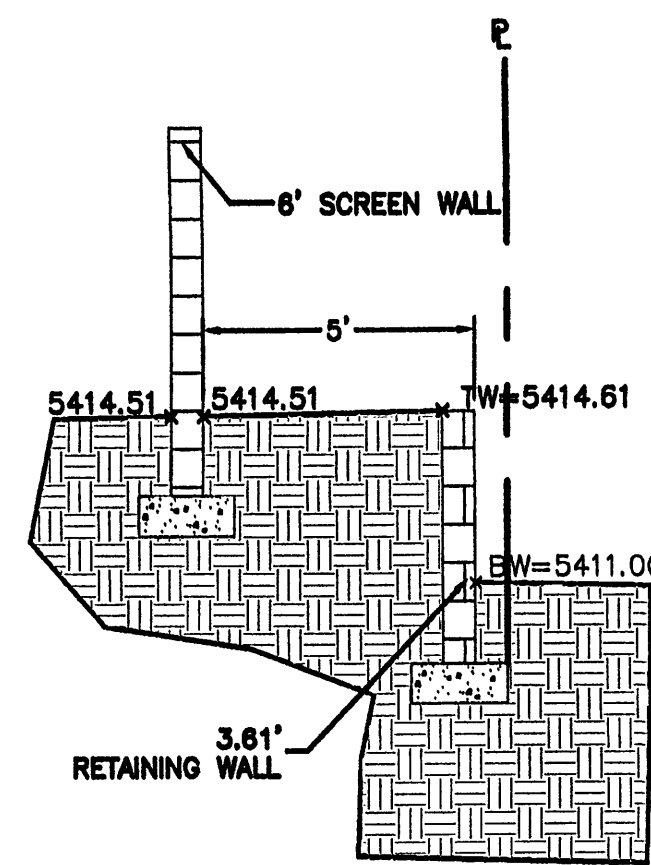
**GENERAL NOTES:**

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACKFILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- JOINT REINFORCEMENT CONSISTING OF 9GA. LONGITUDINAL WIRE AND 3/16" CROSS RODS SHALL BE PROVIDED AT 8" CENTERS VERTICALLY.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PLASTERS EVERY 16'.



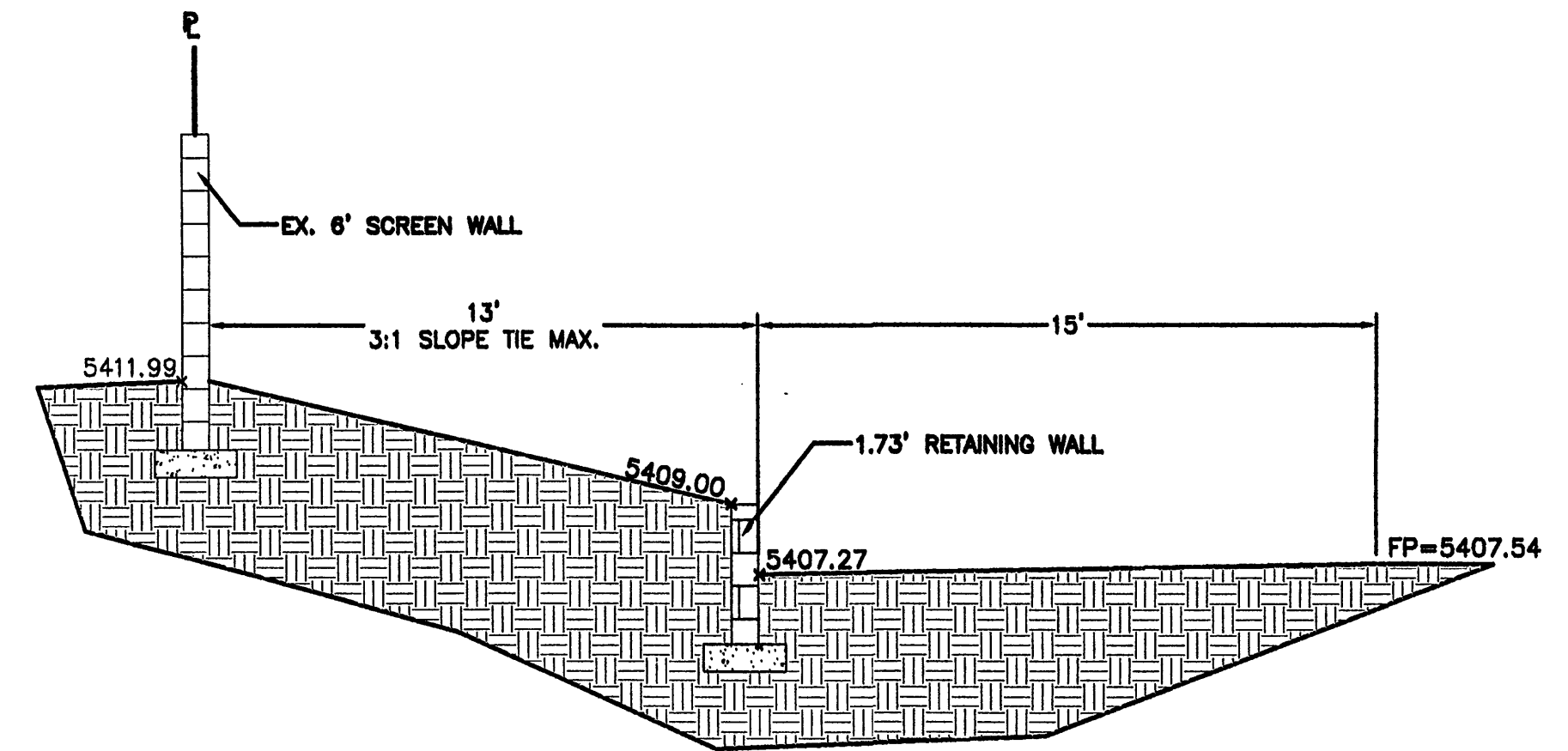
**SECTION A-A**

NTS



**SECTION B-B**

NTS



**SECTION C-C**

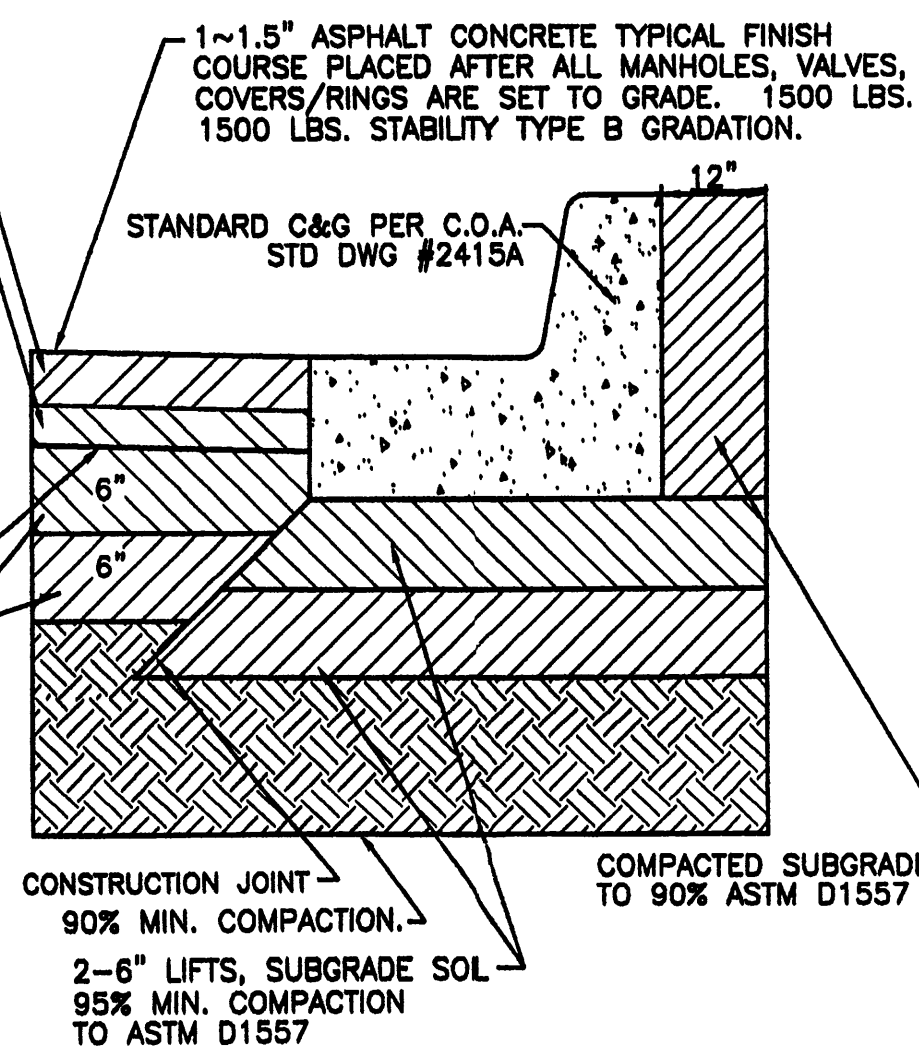
NTS

TACK COAT AS REQUIRED BY THE ENGINEER BETWEEN ALL ASPHALT/AGGREGATE MATERIAL LIFTS.

1~1.5" ASPHALT CONCRETE, 1800 LBS. STABILITY, TYPE A GRADATION.

FINISH SURFACE OF SUBGRADE SHALL BE MOISTURE CONTROLLED AT COMPACTION MOISTURE RANGE, OR PRIME COAT APPLIED AS REQUIRED BY THE ENGINEER UNTIL NEXT/FINAL SURFACE IS COMPLETED. SUBGRADE PREPARATION SHALL BE PERFORMED AFTER ALL SUBSURFACE R/W UTILITIES CONSTRUCTION IS COMPLETED.

1' SUBGRADE SOIL, R-VALUE>50. PLACED IN 2-6" COMPACTED LIFTS. 95% MIN. COMPACTION, AT OPT. MOISTURE ± 2.0%, ASTM D1557, OR OPT. MOISTURE, TO +4%, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE. SOIL NOT HAVING THE MIN. R-VALUE OF 50, SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED BY THE CONTRACTOR WITH SUITABLE MATERIAL OR A PAVEMENT SHALL BE DESIGNED ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.



**RESIDENTIAL PAVING SECTION (STANDARD CURB)**

NTS

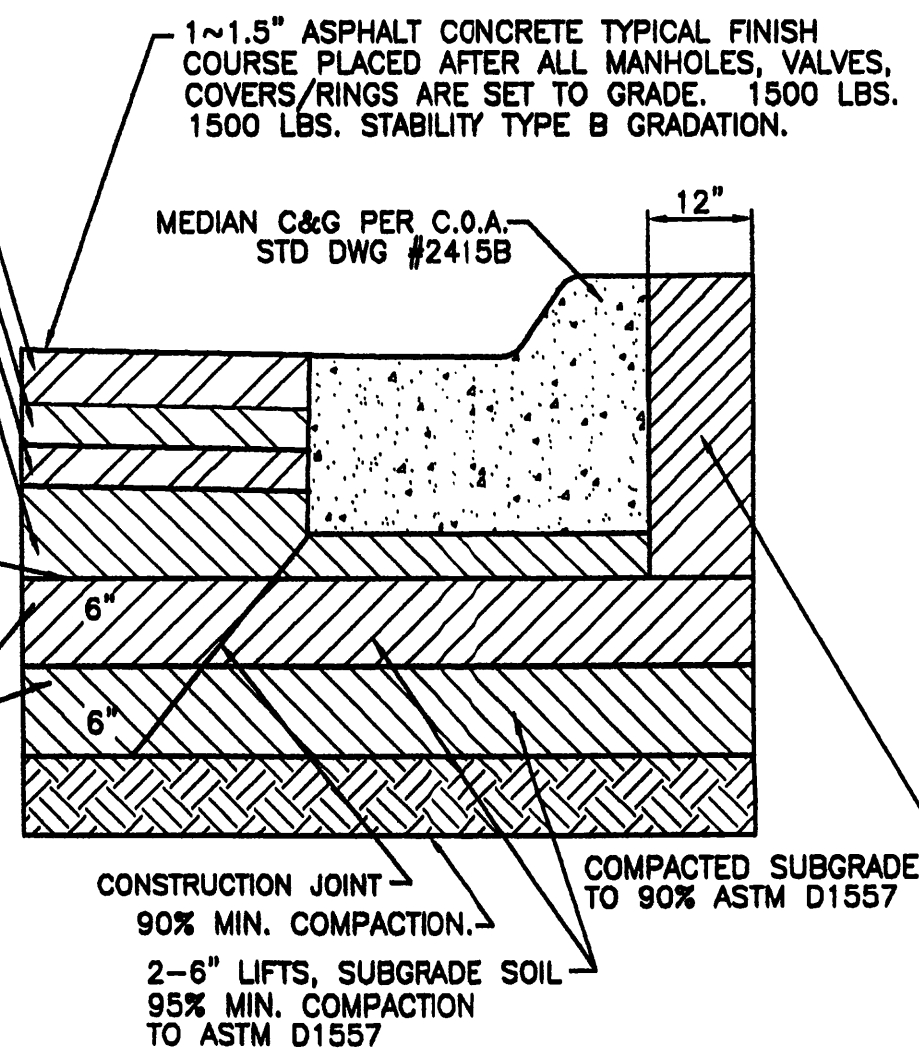
TACK COAT AS REQUIRED BY THE ENGINEER BETWEEN ALL ASPHALT/AGGREGATE MATERIAL LIFTS.

1~1.5" ASPHALT CONCRETE, 1800 LBS. STABILITY, TYPE A GRADATION.

1~1.5" ASPHALT CONCRETE, 1800 LBS. STABILITY, TYPE A GRADATION.

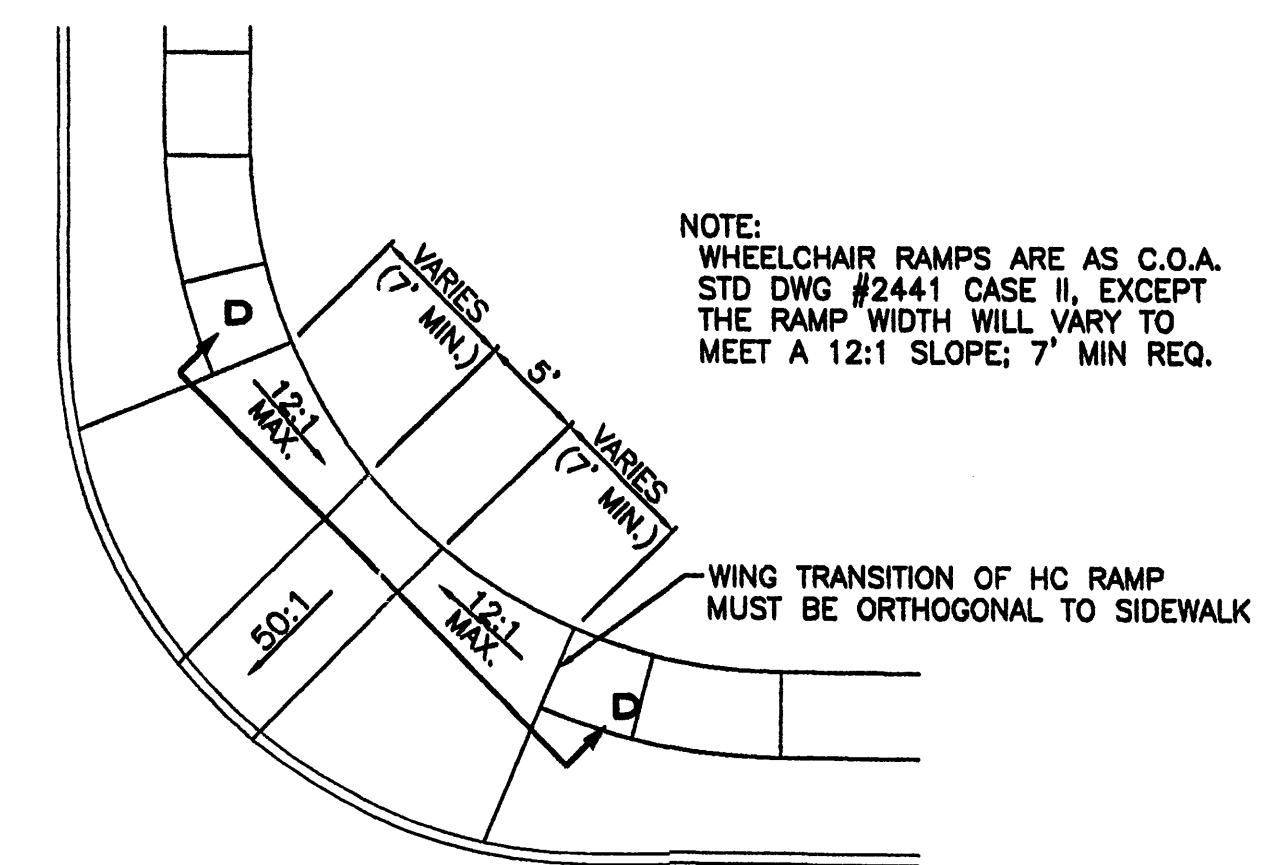
FINISH SURFACE OF SUBGRADE SHALL BE MOISTURE CONTROLLED AT COMPACTION MOISTURE RANGE, OR PRIME COAT APPLIED AS REQUIRED BY THE ENGINEER UNTIL NEXT/FINAL SURFACE IS COMPLETED. SUBGRADE PREPARATION SHALL BE PERFORMED AFTER ALL SUBSURFACE R/W UTILITIES CONSTRUCTION IS COMPLETED.

1' SUBGRADE SOIL, R-VALUE>50. PLACED IN 2-6" COMPACTED LIFTS. 95% MIN. COMPACTION, AT OPT. MOISTURE ± 2.0%, ASTM D1557, OR OPT. MOISTURE, TO +4%, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE. SOIL NOT HAVING THE MIN. R-VALUE OF 50, SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED BY THE CONTRACTOR WITH SUITABLE MATERIAL OR A PAVEMENT SHALL BE DESIGNED ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.



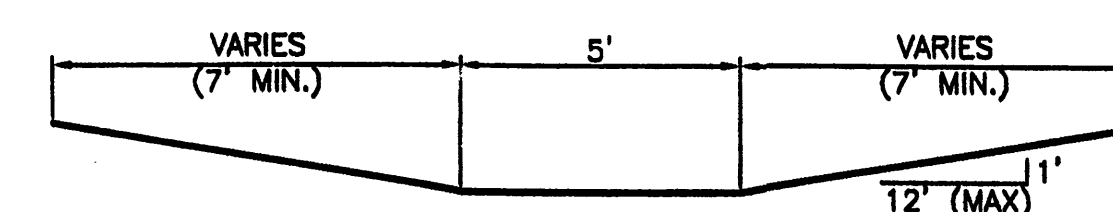
**PARADISE PAVING SECTION (MEDIAN CURB)**

NTS



**WHEELCHAIR RAMP DETAIL (TYP.)**

NTS

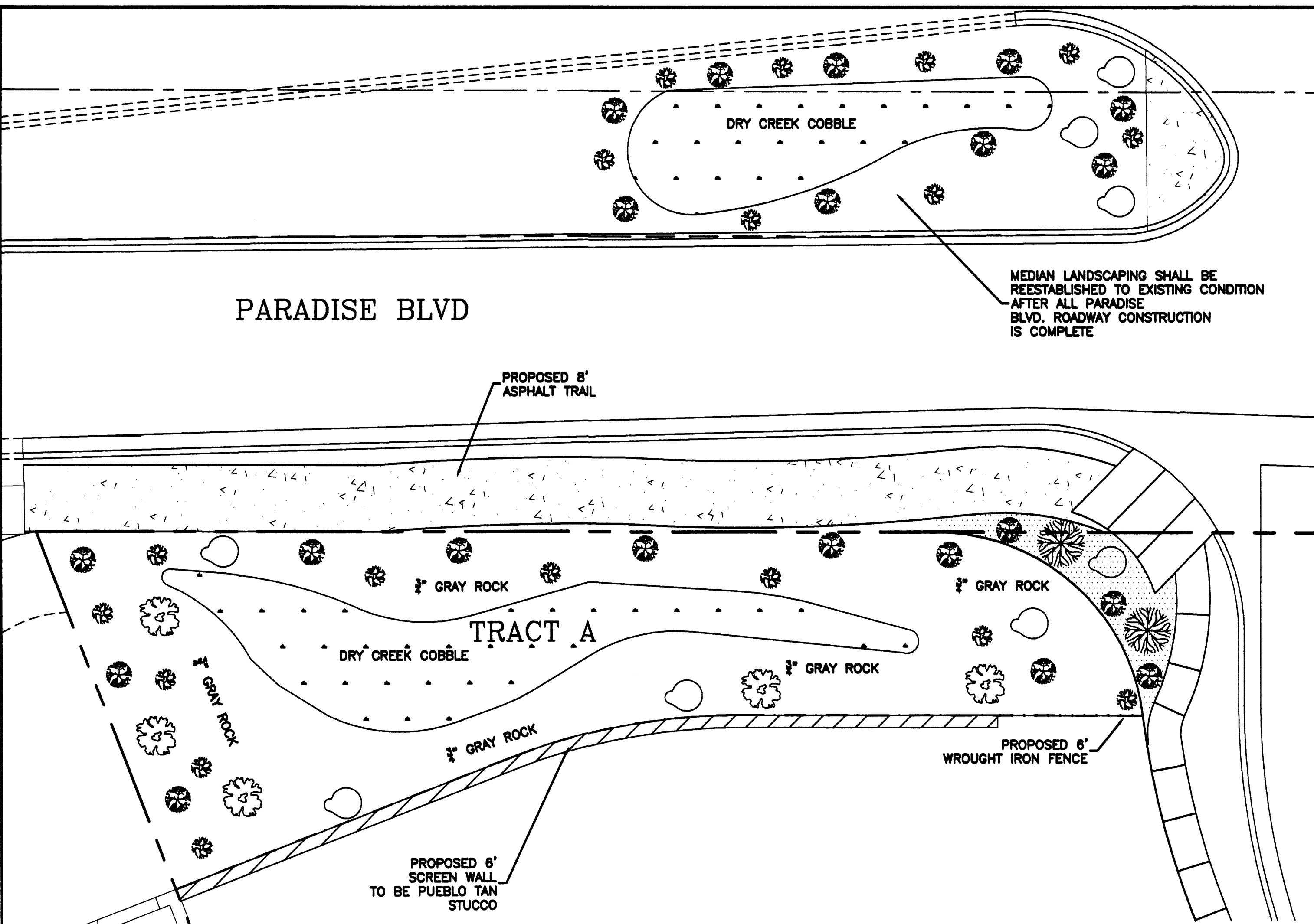


**SECTION D-D**

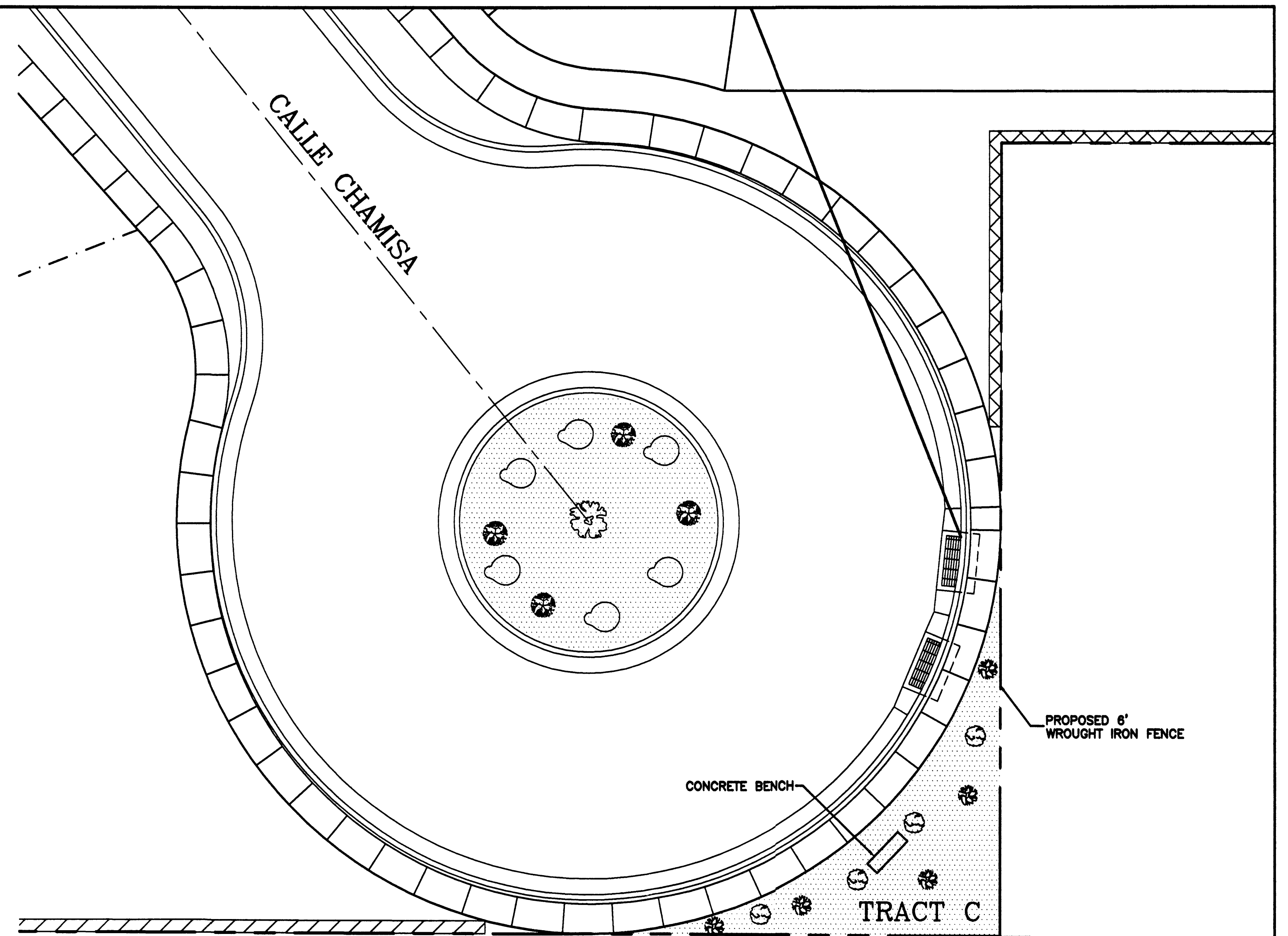
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ENGINEER'S SEAL	VILLA DE LA CHAMISA	DRAWN BY WCWJ
	GRADING AND DRAINAGE DETAILS	DATE 4-26-04
		2300-GRB-4-21-04X
DAVID SOULE P.E. #14522		SHEET # 4 OF 12
	3300 COMANCHE ROAD NE BUILDING E, SUITE 3 ALBUQUERQUE, NM 87107 (505) 872-0988	JOB # 2300





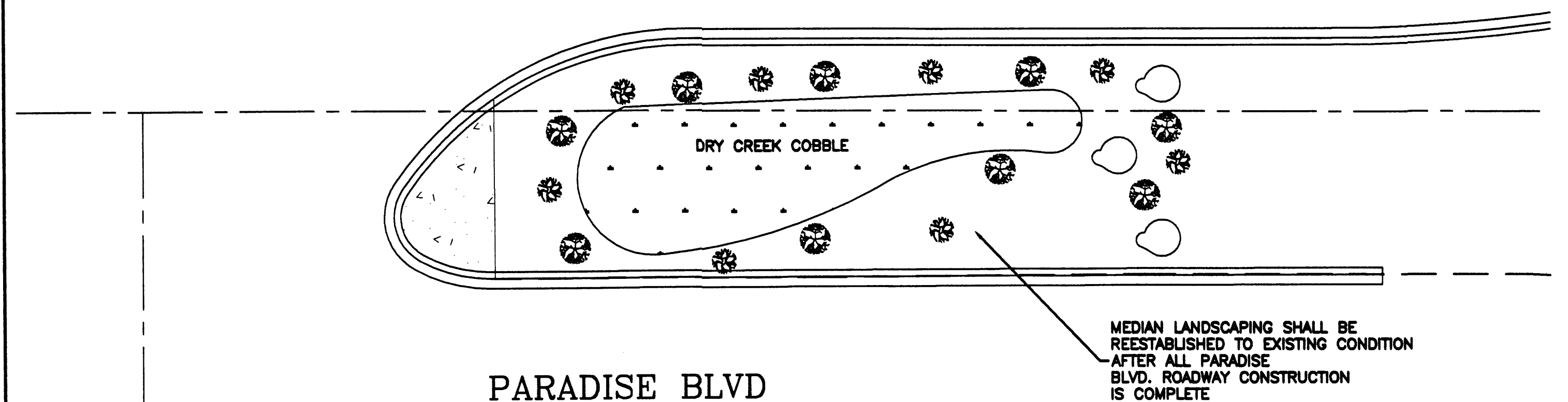
**TRACT A LANDSCAPE DETAIL**  
SCALE: 1"=10'



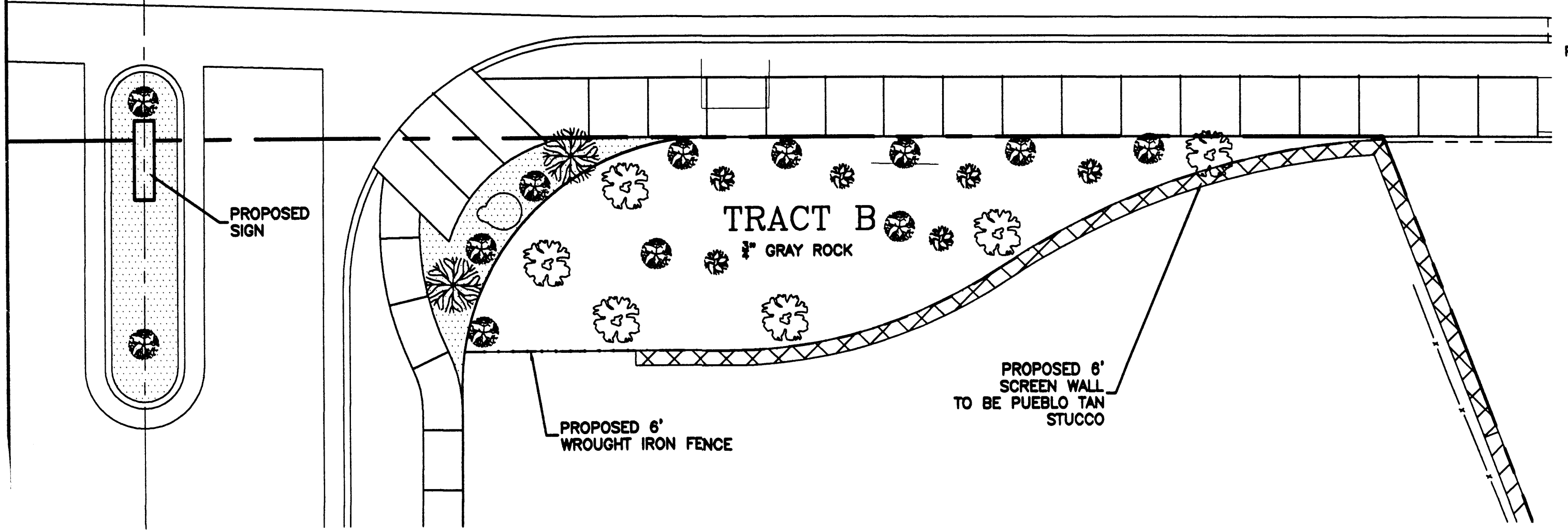
**TRACT C LANDSCAPE DETAIL**  
SCALE: 1"=10'

**LANDSCAPING SCHEDULE**

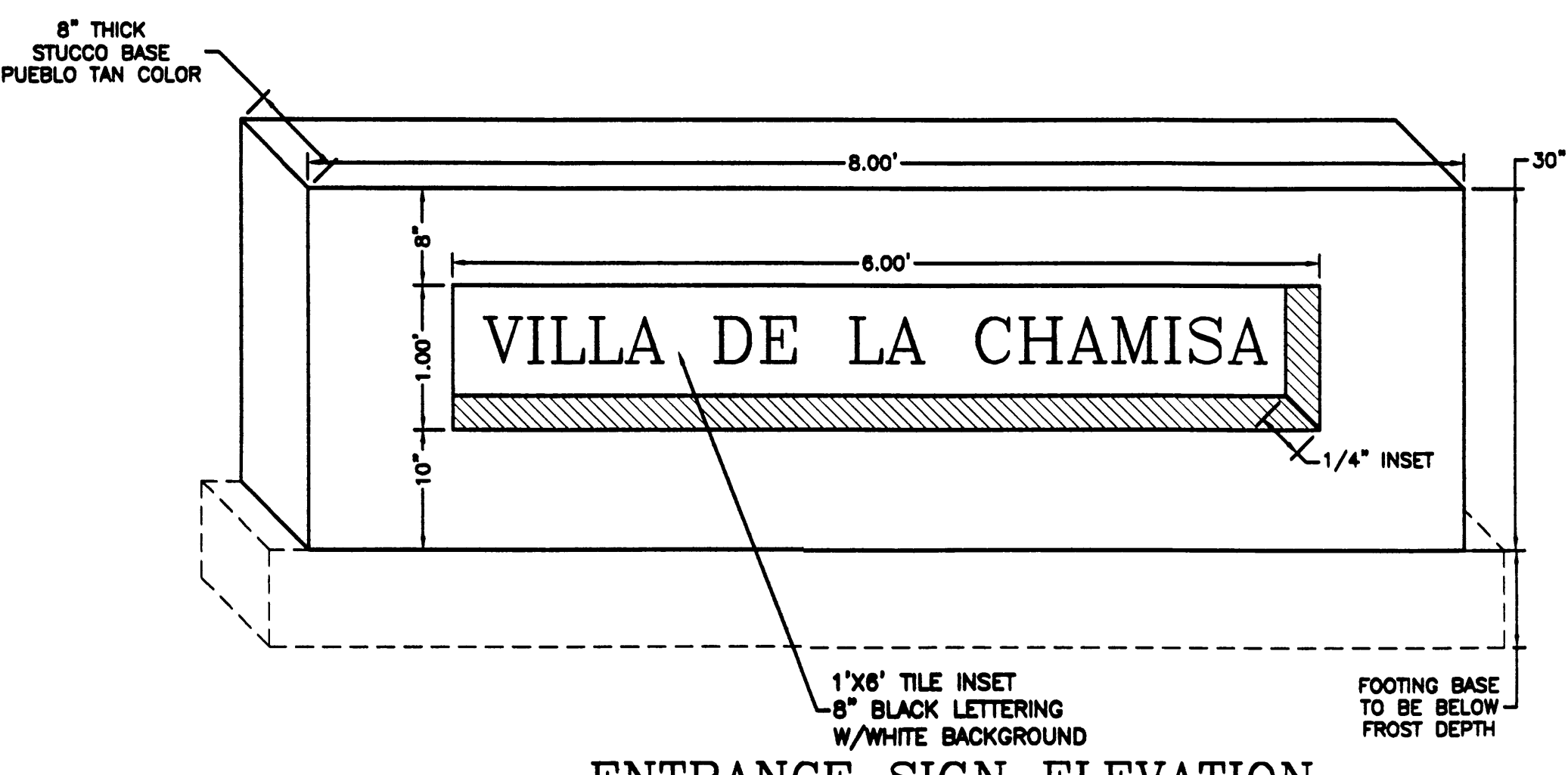
SYMBOL	COMMON NAME	SIZE
	DESERT WILLOW	4-8'
	CHAMISA / BIG SAGE	5 GAL.
	AUSTRIAN PINE PINE	4-8'
	SINGLE SEED JUNIPER	8-10'
		5 GAL.
	2' BOULDERS	2'
	SANTA FE CRUSHER FINES W/FILTER FABRIC	3/4"
	AUTUMN SAGE/RUSSIAN SAGE	3/4"



PARADISE BLVD



**TRACT B LANDSCAPE DETAIL**  
SCALE: 1"=10'

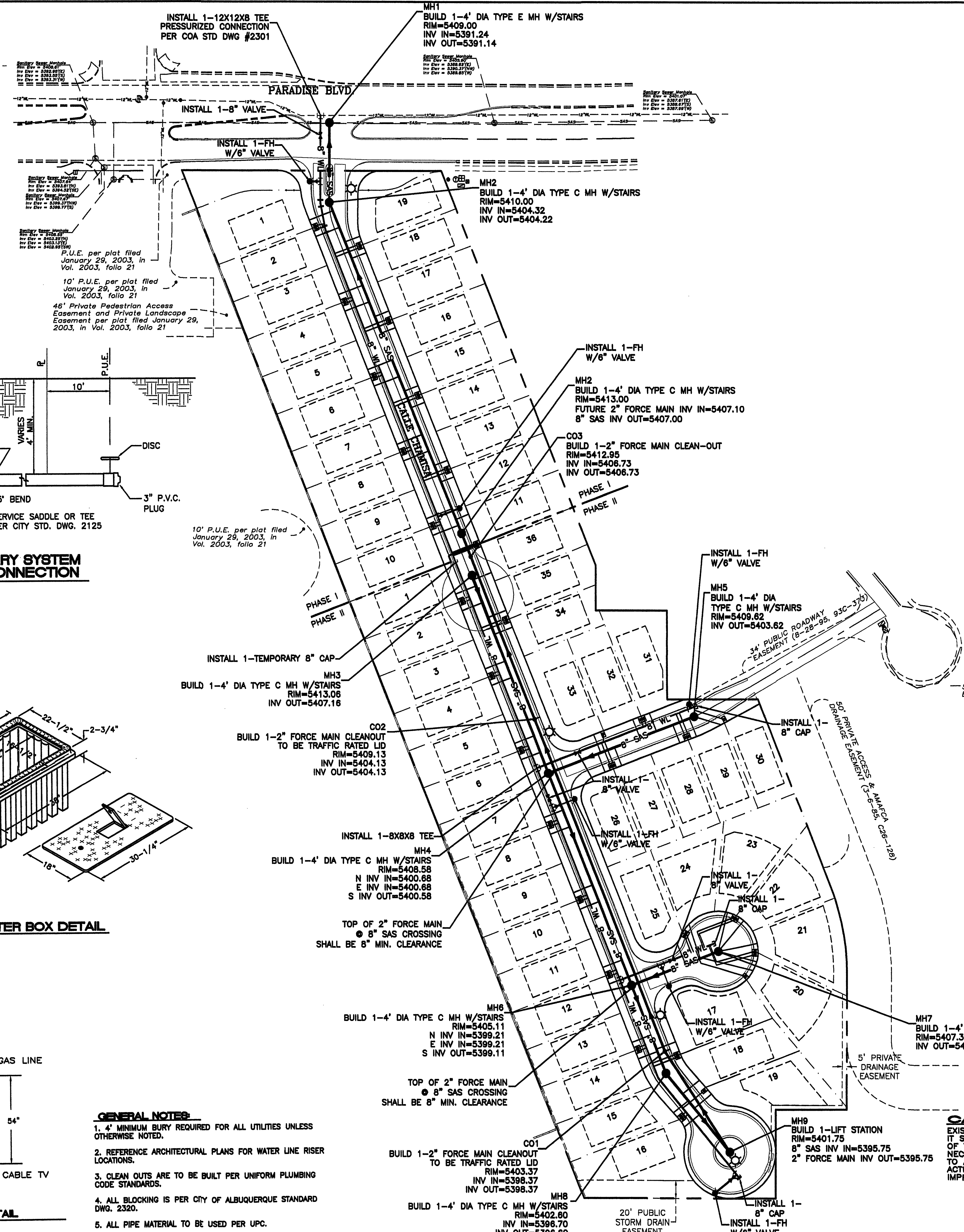


**ENTRANCE SIGN ELEVATION**

**GENERAL NOTES:**  
 ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED SITE THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD.  
 APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.  
 ALL LANDSCAPING SHALL BE WATERED BY A COMPLETE UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC TIMER, POP-UP SPRAY HEADS OR IMPACT ROTORS TO SOD LAWN BUBBLERS TO TREES, AND DRIP IRRIGATION TO SHRUBS.

	<b>VILLA DE LA CHAMISA</b> <b>LANDSCAPE PLAN/ SIGN ELEVATION</b>	DRAWN BY WCVJ DATE 6-22-04 2300-LND-5-10-04X
	 Rio Grande Engineering 3500 COMANCHE ROAD NE BUILDING E SUITE 5 ALBUQUERQUE, NM 87107 (505) 872-0999	SHEET # <b>5 OF 12</b> JOB # 2300





**LEGEND**

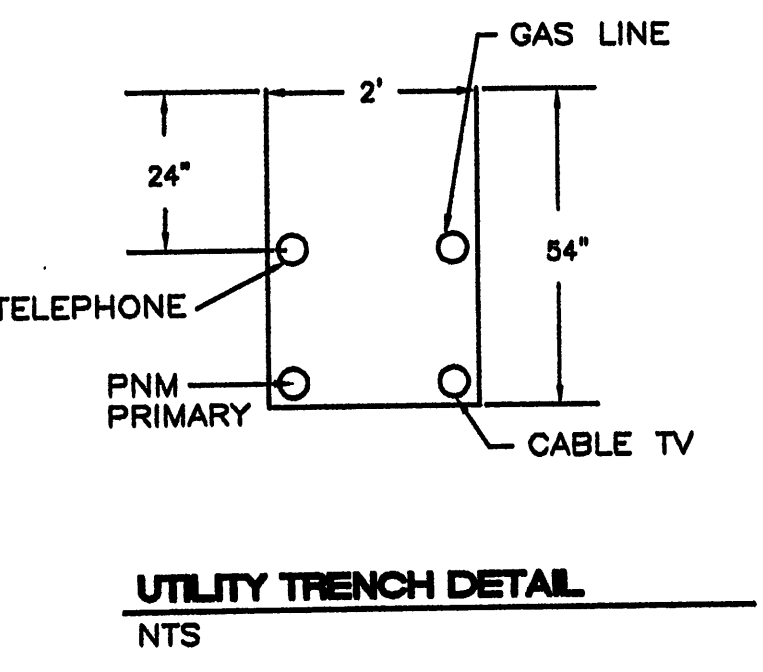
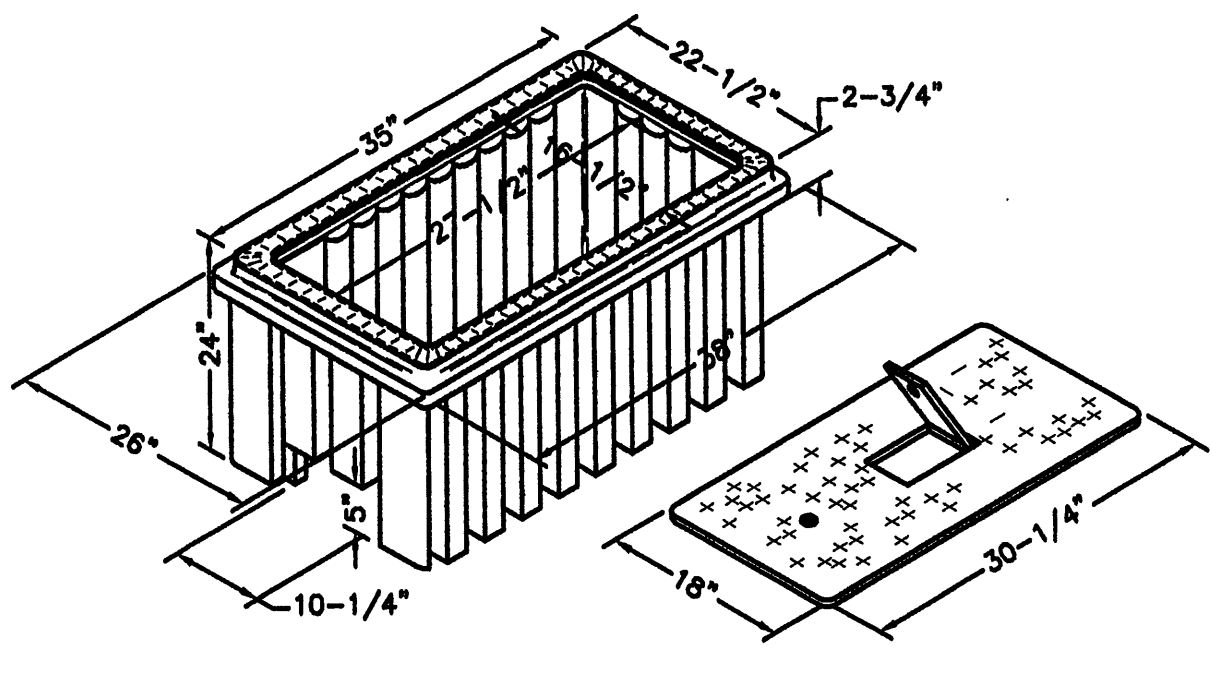
○	EXISTING SAS MANHOLE
— EX. 8" SAS —	EXISTING SANITARY SEWER LINE
●	PROPOSED SAS MANHOLE
●	PROPOSED SAS FORCE MAIN CLEANOUT
▶	DIRECTION OF FLOW
— 8" SAS —	PROPOSED SANITARY SEWER LINE
—	SANITARY SEWER SERVICE LINE
⊗	EXISTING VALVE W/BOX
⊗	EXISTING FIRE HYDRANT
— EX. 12" WL —	EXISTING WATER LINE
⊗	PROPOSED METER
⊗	PROPOSED VALVE W/BOX
⊗	PROPOSED FIRE HYDRANT
—	WATER SERVICE LINE
— 8" WL —	PROPOSED WATER LINE
=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
—	CENTERLINE
—	RIGHT-OF-WAY
—	LOT LINES
—	SETBACK LINE
—	BOUNDARY LINE
—	EASEMENT
⊙	STREET LIGHTS

**WATER SHUT-OFF PLAN** SHUT OFF VALVES #

- NOTES:**
1. WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
  2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  3. NOTIFY NEW MEXICO UTILITIES (898-2661) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
  4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET
  5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
  6. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

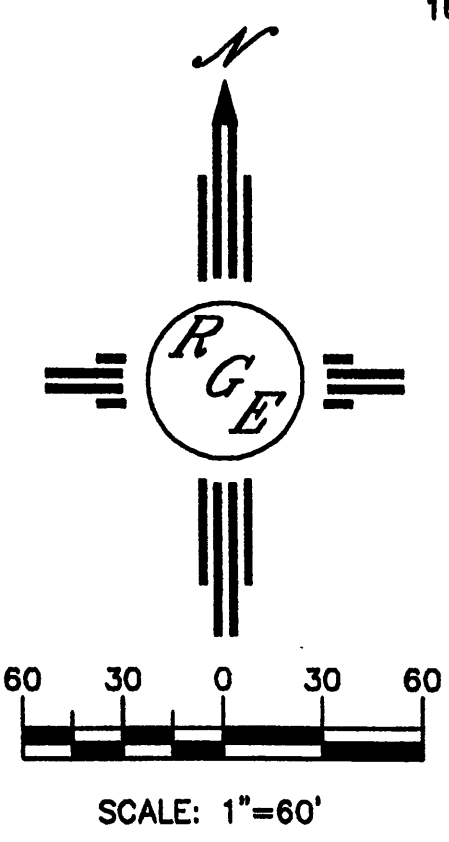
**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES 3 DAYS IN ADVANCE OF CONSTRUCTION.



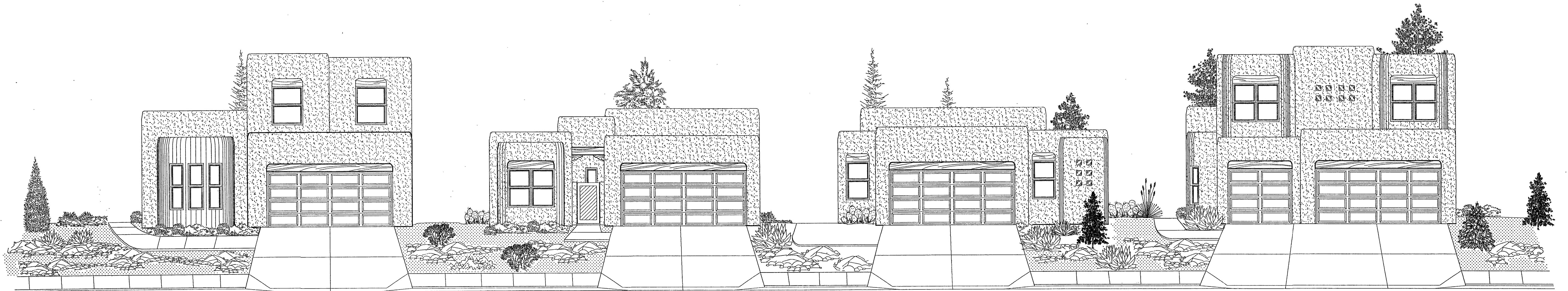
- GENERAL NOTES:**
1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
  3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
  5. ALL PIPE MATERIAL TO BE USED PER UPC.

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



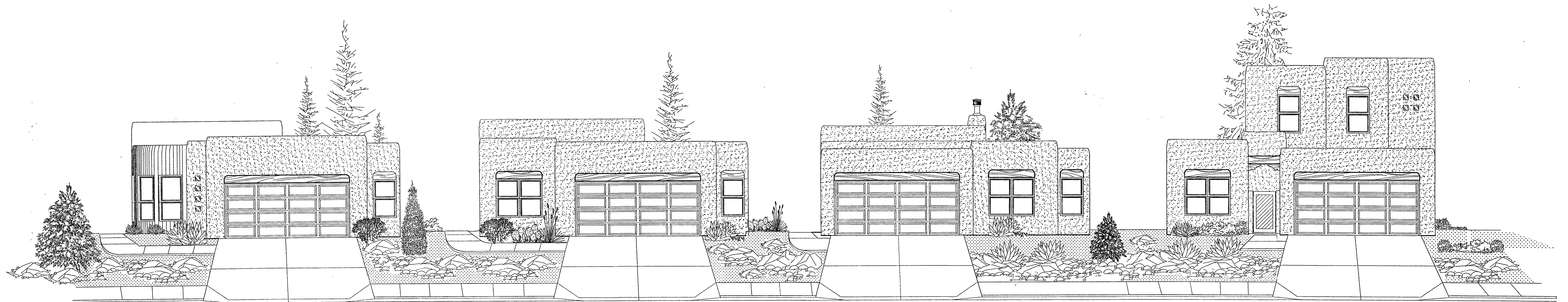
ENGINEER'S SEAL 	<b>VILLA DE LA CHAMISA</b> <b>MASTER UTILITY PLAN</b>	DRAWN BY WCWJ DATE 5-19-04 2300-MUB-5-10-04X
DAVID SOULE P.E. #14522	 <b>Rio Grande Engineering</b> 3900 COMANCHE ROAD NE BUILDING E SUITE 3 ALBUQUERQUE, NM 87107 (505) 321-9099	SHEET # <b>6 OF 12</b> JOB # 2300





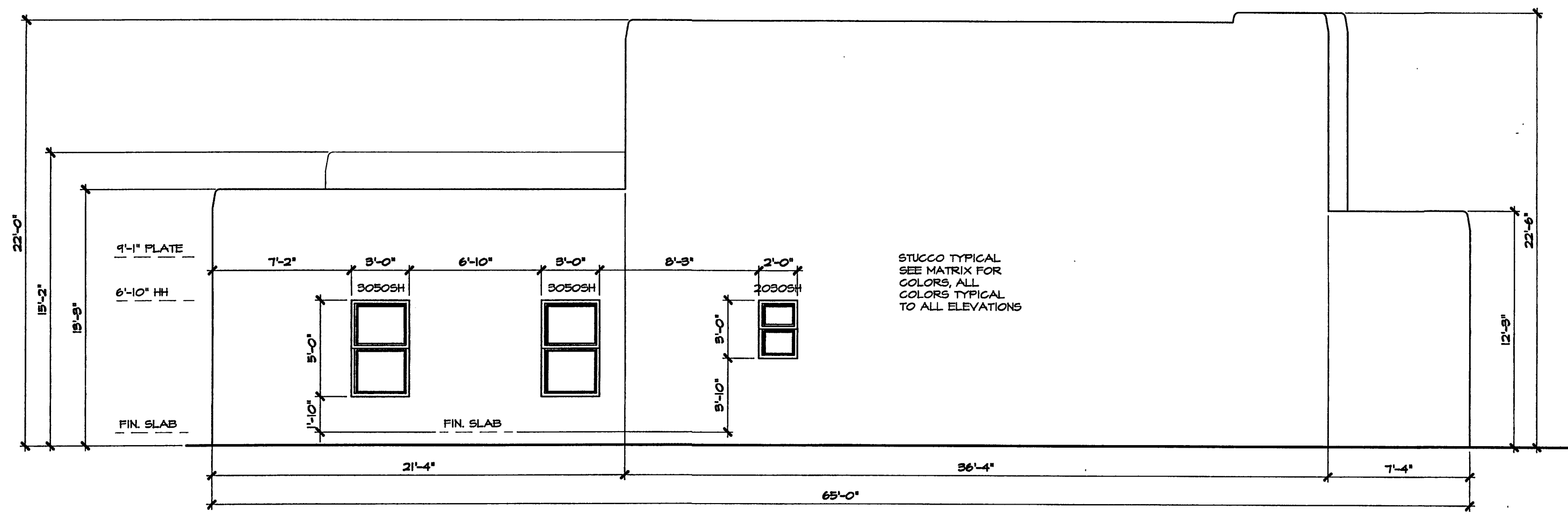
Stillbrooke  
HOMES  
© STILLBROOKE HOMES, INC. 2004

# VILLA DE LA CHAMISA

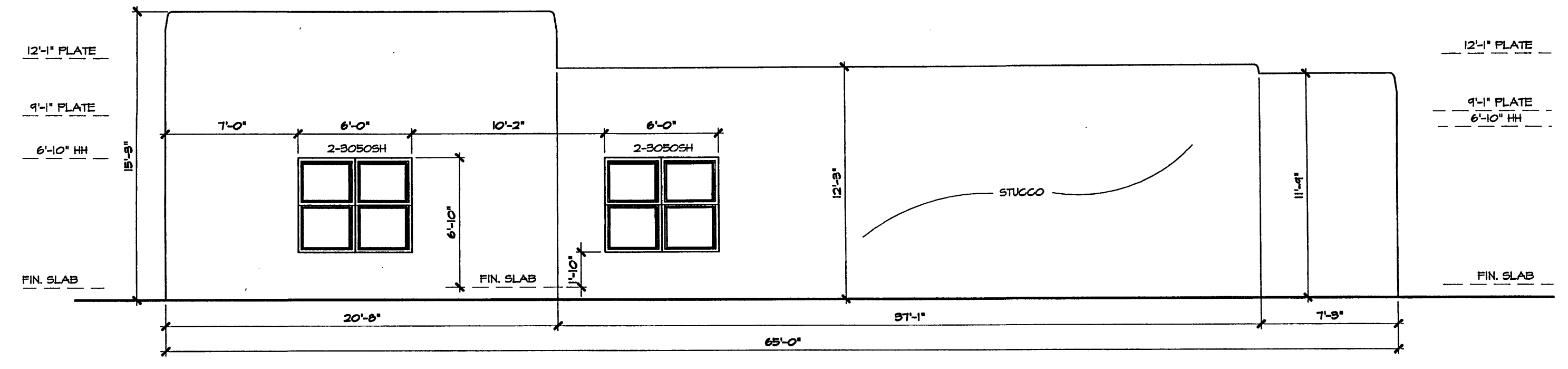


Streetscape

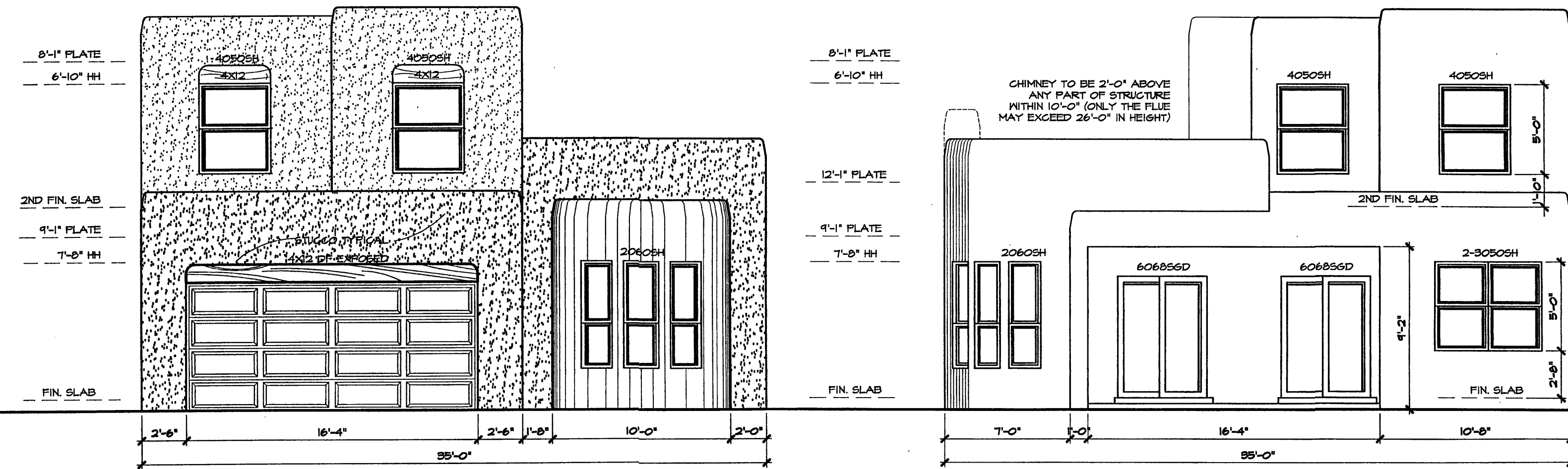




LEFT ELEVATION 'A'

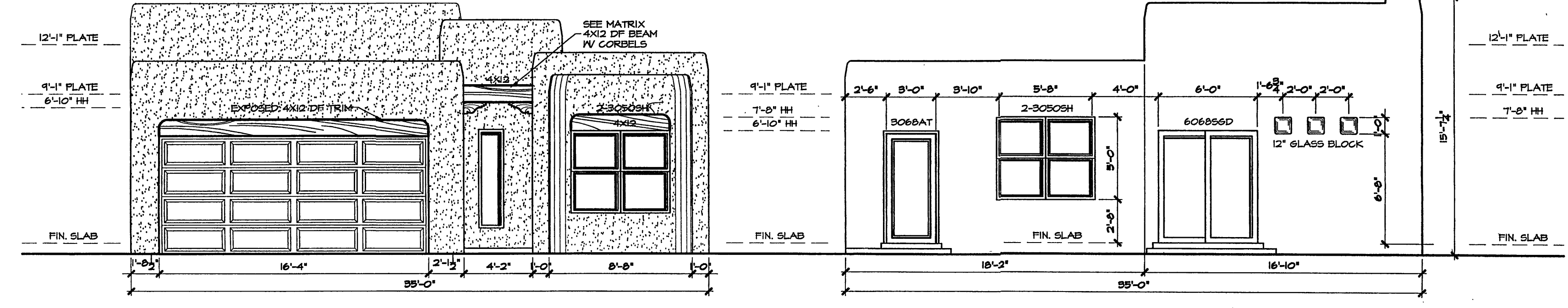


LEFT ELEVATION 'B'



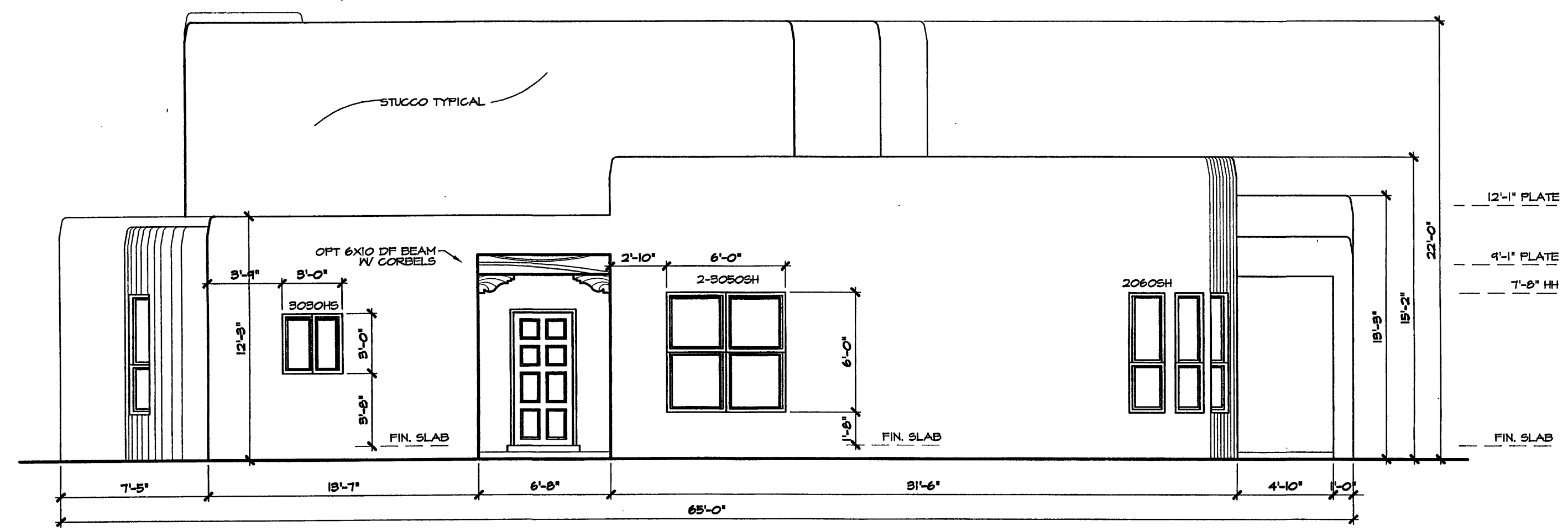
FRONT ELEVATION 'A'

REAR ELEVATION 'A'

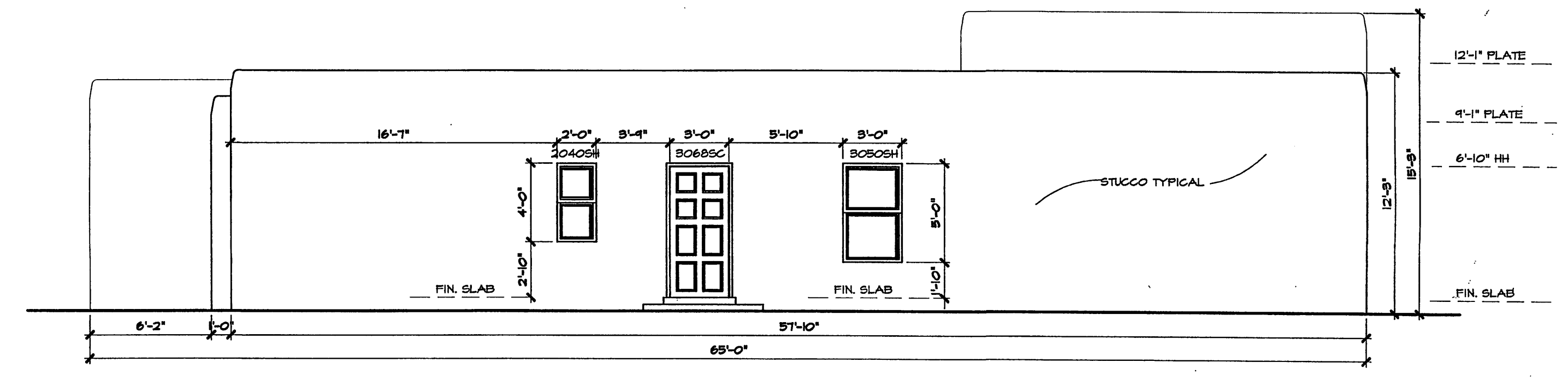


FRONT ELEVATION 'B'

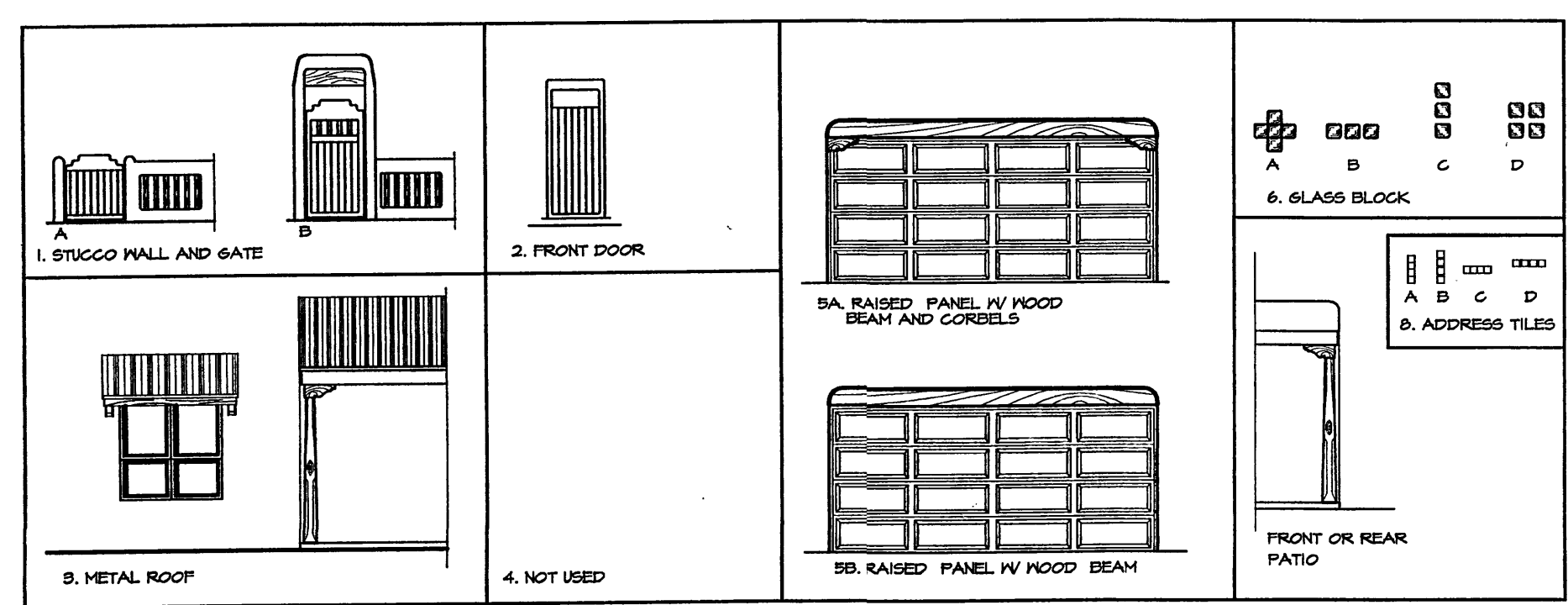
REAR ELEVATION 'B'



RIGHT ELEVATION 'A'



RIGHT ELEVATION 'B'



**General Notes**

- This development provides several options of plans, a selection of optional elements provides for a variation of unit plans and elevations for the buyers and the development while maintaining a consistent style. The matrix includes all options available to the buyer. The matrix becomes a key design tool for the designer, buyer/seller and the COA, and shall be attached to the building permit process.
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- Keyed notes refer to option elements and elements common to all units, typical all elevations

PLAN	STUCCO WALL & GATE											FRONT DOOR											METAL ROOF											GLASS BLOCK											GARAGE DOOR											ADDRESS TILES											# of Dorms																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	AA	AB	AC	AD	AE	AF	AG	AH	AI	AJ	AK	AL	AM	AN	AO	AP	AQ	AR	AS	AT	AU	AV	AW	AX	AY	AZ	BA	BB	BC	BD	BE	BF	BG	BH	BI	BJ	BK	BL	BM	BN	BO	BP	BQ	BR	BS	BT	BU	BV	BW	BX	BY	BZ	CA	CB	CC	CD	CE	CF	CG	CH	CI	CJ	CK	CL	CM	CN	CO	CP	CQ	CR	CS	CT	CU	CV	CW	CX	CY	CZ	DA	DB	DC	DD	DE	DF	DG	DH	DI	DJ	DK	DL	DM	DN	DO	DP	DQ	DR	DS	DT	DU	DV	DW	DX	DY	DZ	EA	EB	EC	ED	EE	EF	EG	EH	EI	EJ	EK	EL	EM	EN	EO	EP	EQ	ER	ES	ET	EU	EV	EW	EX	EY	EZ	FA	FB	FC	FD	FE	FF	FG	FH	FI	FJ	FK	FL	FM	FN	FO	FP	FQ	FR	FS	FT	FU	FV	FW	FX	FY	FZ	GA	GB	GC	GD	GE	GF	GG	GH	GI	GJ	GK	GL	GM	GN	GO	GP	GQ	GR	GS	GT	GU	GV	GW	GX	GY	GZ	HA	HB	HC	HD	HE	HF	HG	HH	HI	HJ	HK	HL	HM	HN	HO	HP	HQ	HR	HS	HT	HU	HV	HW	HX	HY	HZ	IA	IB	IC	ID	IE	IF	IG	IH	II	IJ	IK	IL	IM	IN	IO	IP	IQ	IR	IS	IT	IU	IV	IW	IX	IY	IZ	JA	JB	JC	JD	JE	JF	JG	JH	JI	JJ	JK	JL	JM	JN	JO	JP	JQ	JR	JS	JT	JU	JV	JW	JX	JY	JZ	KA	KB	KC	KD	KE	KF	KG	KH	KI	KJ	KL	KM	KN	KO	KP	KQ	KR	KS	KT	KU	KV	KW	KX	KY	KZ	LA	LB	LC	LD	LE	LF	LG	LH	LI	LJ	LK	LL	LM	LN	LO	LP	LQ	LR	LS	LT	LU	LV	LW	LX	LY	LZ	MA	MB	MC	MD	ME	MF	MG	MH	MI	MJ	MK	ML	MM	MN	MO	MP	MQ	MR	MS	MT	MU	MV	MW	MX	MY	MZ	NA	NB	NC	ND	NE	NF	NG	NH	NI	NJ	NK	NL	NM	NN	NO	NP	NQ	NR	NS	NT	NU	NV	NW	NX	NY	NZ	OA	OB	OC	OD	OE	OF	OG	OH	OI	OJ	OK	OL	OM	ON	OO	OP	OQ	OR	OS	OT	OU	OV	OW	OX	OY	OZ	PA	PB	PC	PD	PE	PF	PG	PH	PI	PJ	PK	PL	PM	PN	PO	PP	PQ	PR	PS	PT	PU	PV	PW	PX	PY	PZ	QA	QB	QC	QD	QE	QF	QG	QH	QI	QJ	QK	QL	QM	QN	QO	QP	QQ	QR	QS	QT	QU	QV	QW	QX	QY	QZ	RA	RB	RC	RD	RE	RF	RG	RH	RI	RJ	RK	RL	RM	RN	RO	RP	RQ	RR	RS	RT	RU	RV	RW	RX	RY	RZ	SA	SB	SC	SD	SE	SF	SG	SH	SI	SJ	SK	SL	SM	SN	SO	SP	SQ	SR	SS	ST	SU	SV	SW	SX	SY	SZ	TA	TB	TC	TD	TE	TF	TG	TH	TI	TJ	TK	TL	TM	TN	TO	TP	TQ	TR	TS	TT	TU	TV	TW	TX	TY	TZ	UA	UB	UC	UD	UE	UF	UG	UH	UI	UJ	UK	UL	UM	UN	UO	UP	UQ	UR	US	UT	UU	UV	UW	UX	UY	UZ	VA	VB	VC	VD	VE	VF	VG	VH	VI	VJ	VK	VL	VM	VN	VO	VP	VQ	VR	VS	VT	VU	VV	VW	VX	VY	VZ	WA	WB	WC	WD	WE	WF	WG	WH	WI	WJ	WK	WL	WM	WN	WO	WP	WQ	WR	WS	WT	WU	WV	WW	WX	WY	WZ	XA	XB	XC	XD	XE	XF	XG	XH	XI	XJ	XK	XL	XM	XN	XO	XP	XQ	XR	XS	XT	XU	XV	XW	XX	XY	XZ	YA	YB	YC	YD	YE	YF	YG	YH	YI	YJ	YK	YL	YM	YN	YO	YP	YQ	YR	YS	YT	YU	YV	YW	YX	YY	YZ	ZA	ZB	ZC	ZD	ZE	ZF	ZG	ZH	ZI	ZJ	ZK	ZL	ZM	ZN	ZO	ZP	ZQ	ZR	ZS	ZT	ZU	ZV	ZW	ZX	ZY

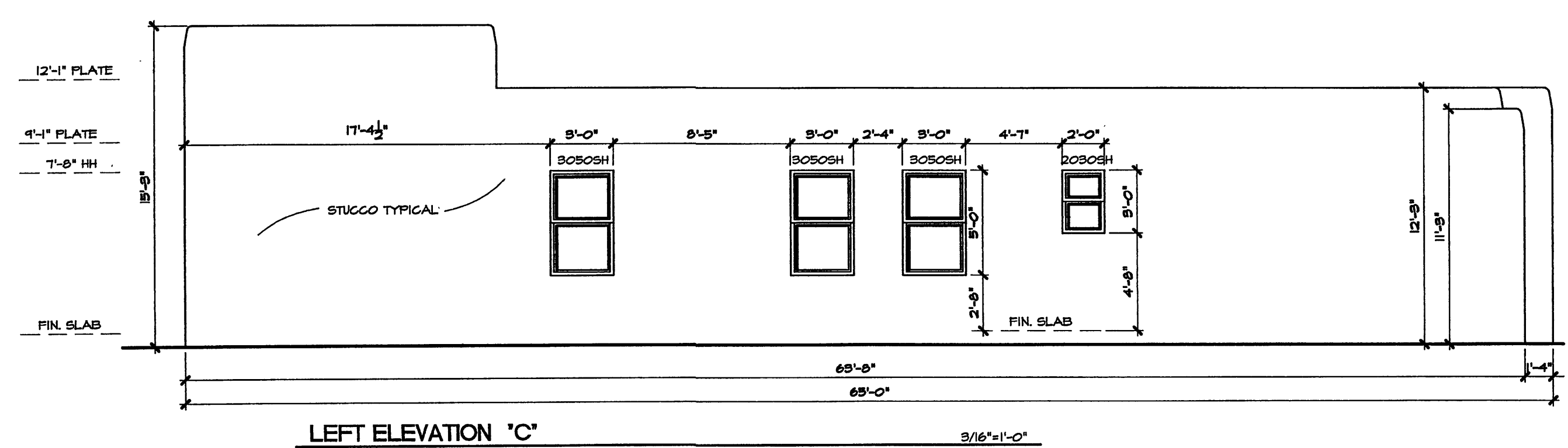
STUCCO COLORS ARE TYPICAL TO ALL ELEVATIONS

EL REY STUCCO	FF017
PUEBLO SERIES	FF017
DRY RIVER	FF017
CACTUS FLOWER	FF 814
TADS	FF 1564
TERRA	FF 212
SAGE	FF 609
BUFFALO	FF 606
CASA	FF 821
YELLOW HORSE	FF 801
LARIAT	FF 821
VEGA	FF 1570
DEERSKIN	FF 1568
HUSK	FF 1561
POTTERY	FF 1566
STONE BLUFF	FF 551
RIO BRAVO	FF 825
HOBAN	FF 572
RIVER ROCK	FF 1565
CLAY	FF 1571

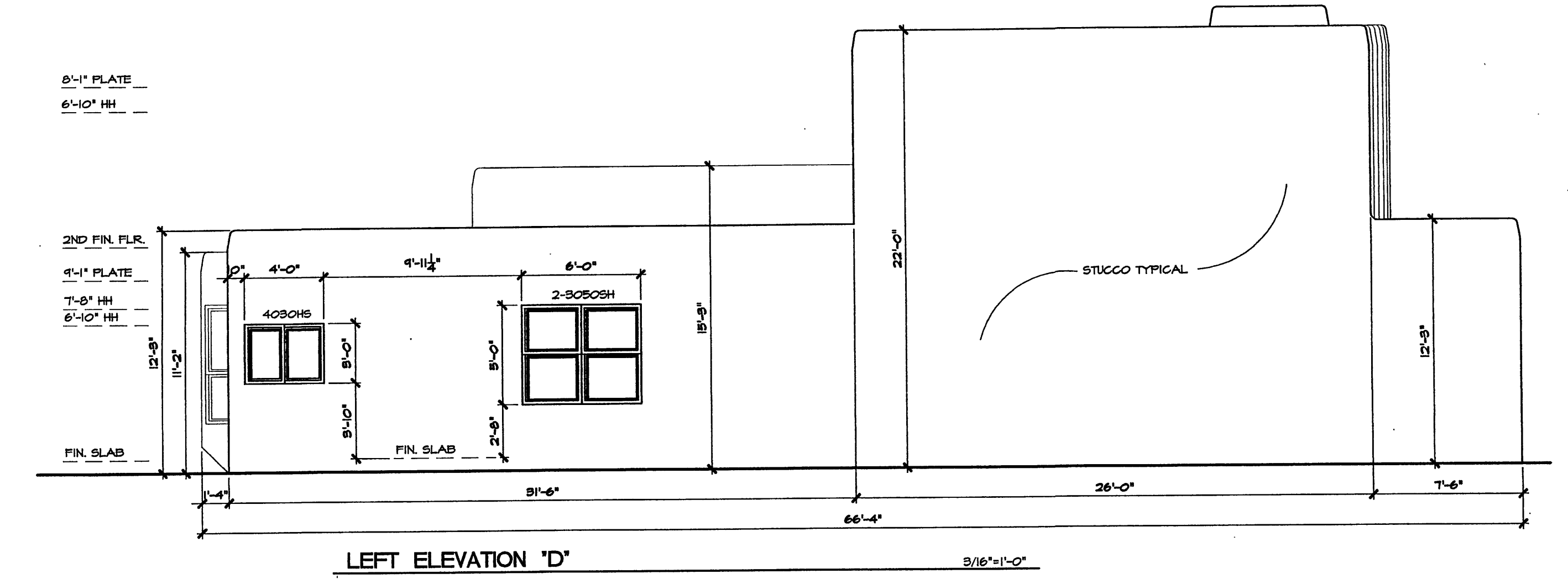
VILLA DE LA CHAMISA  
ELEVATIONS

**Stillbrooke**  
HOMES

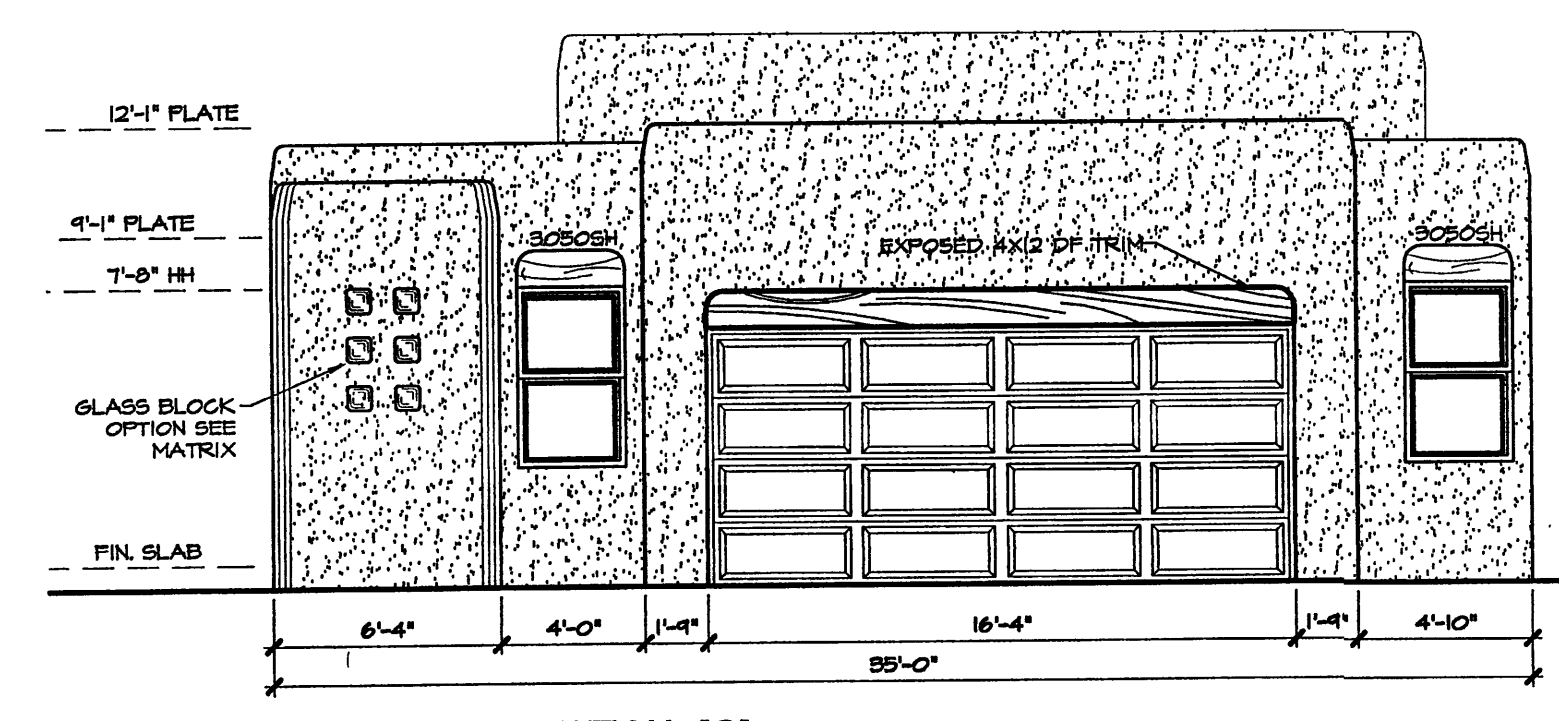
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Scale: 3/16"=1'-0" Date: 3/2/04 Job: \_\_\_\_\_ Sheet **8 of 12**



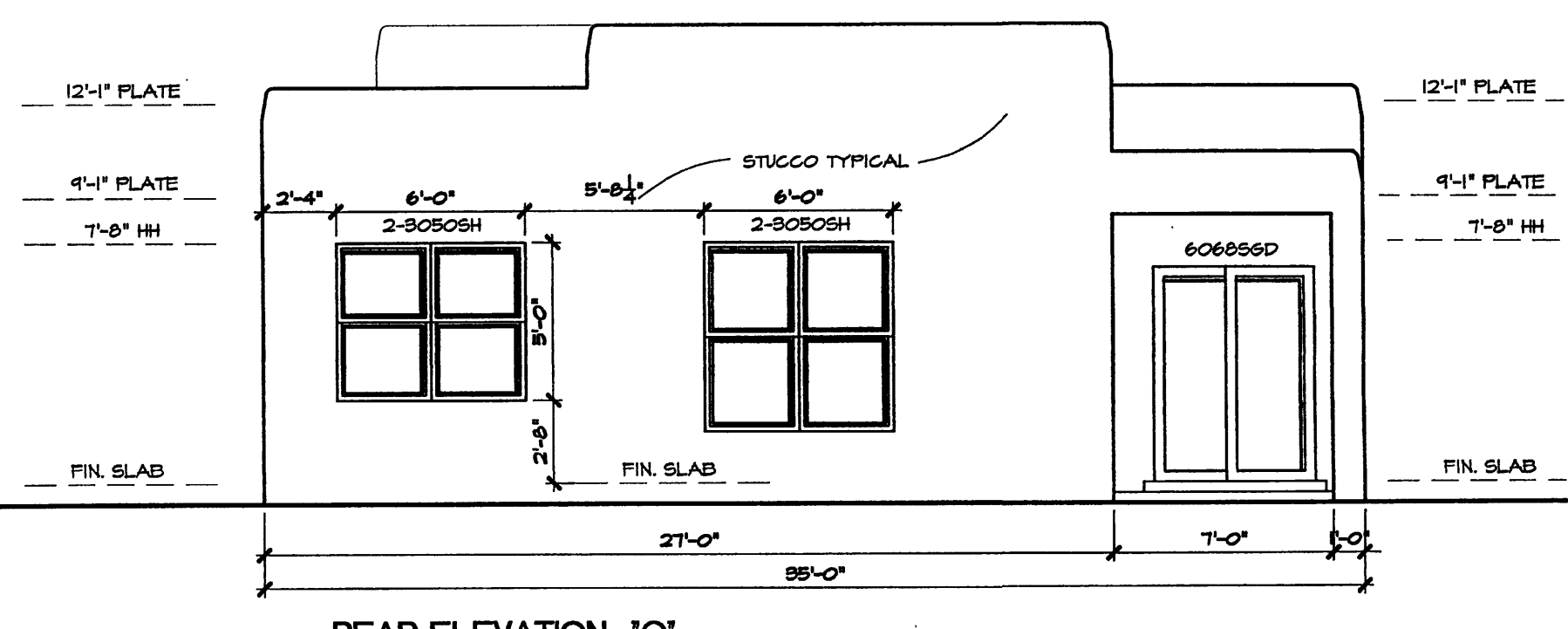
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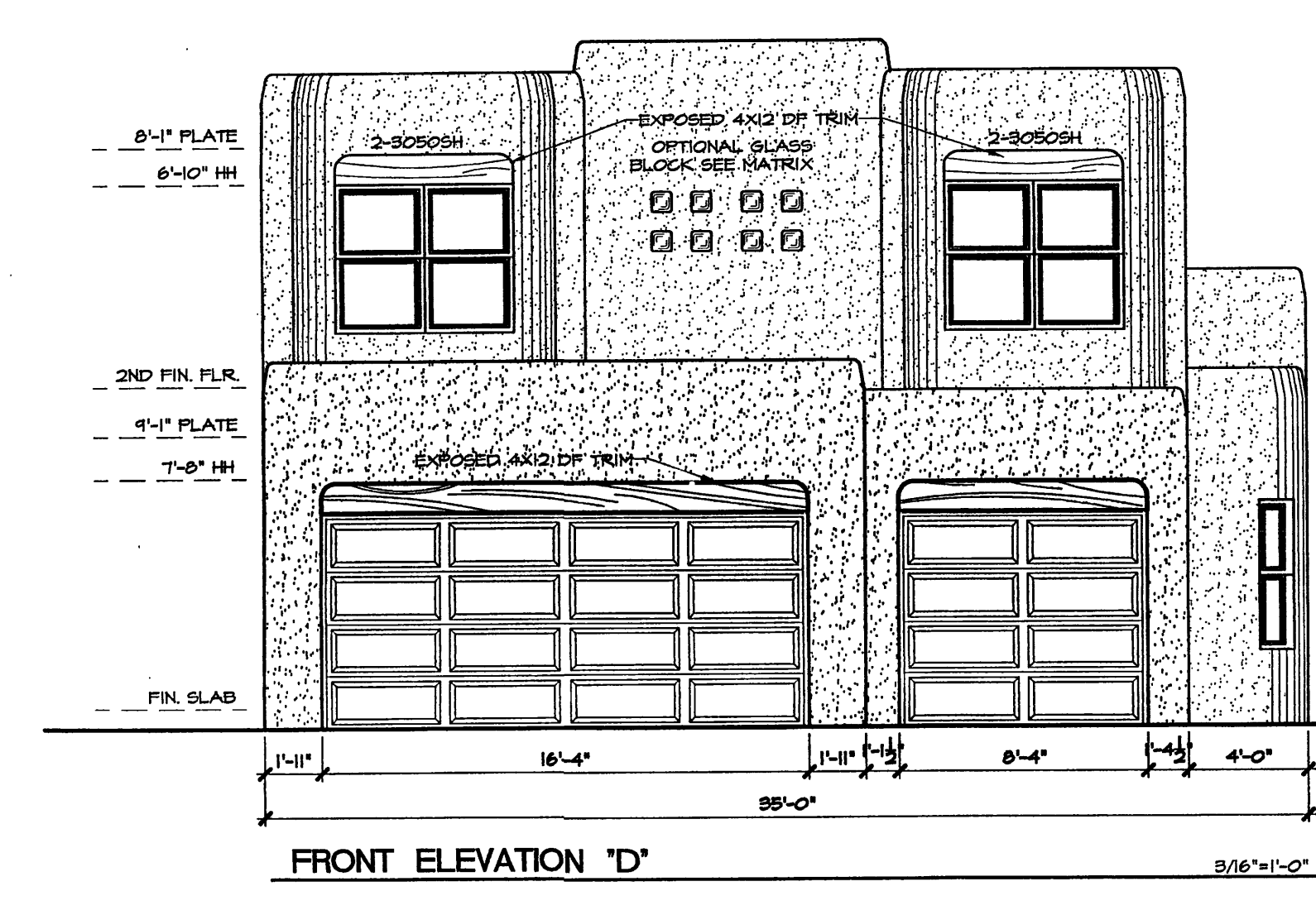
LEFT ELEVATION 'D' 3/16"=1'-0"



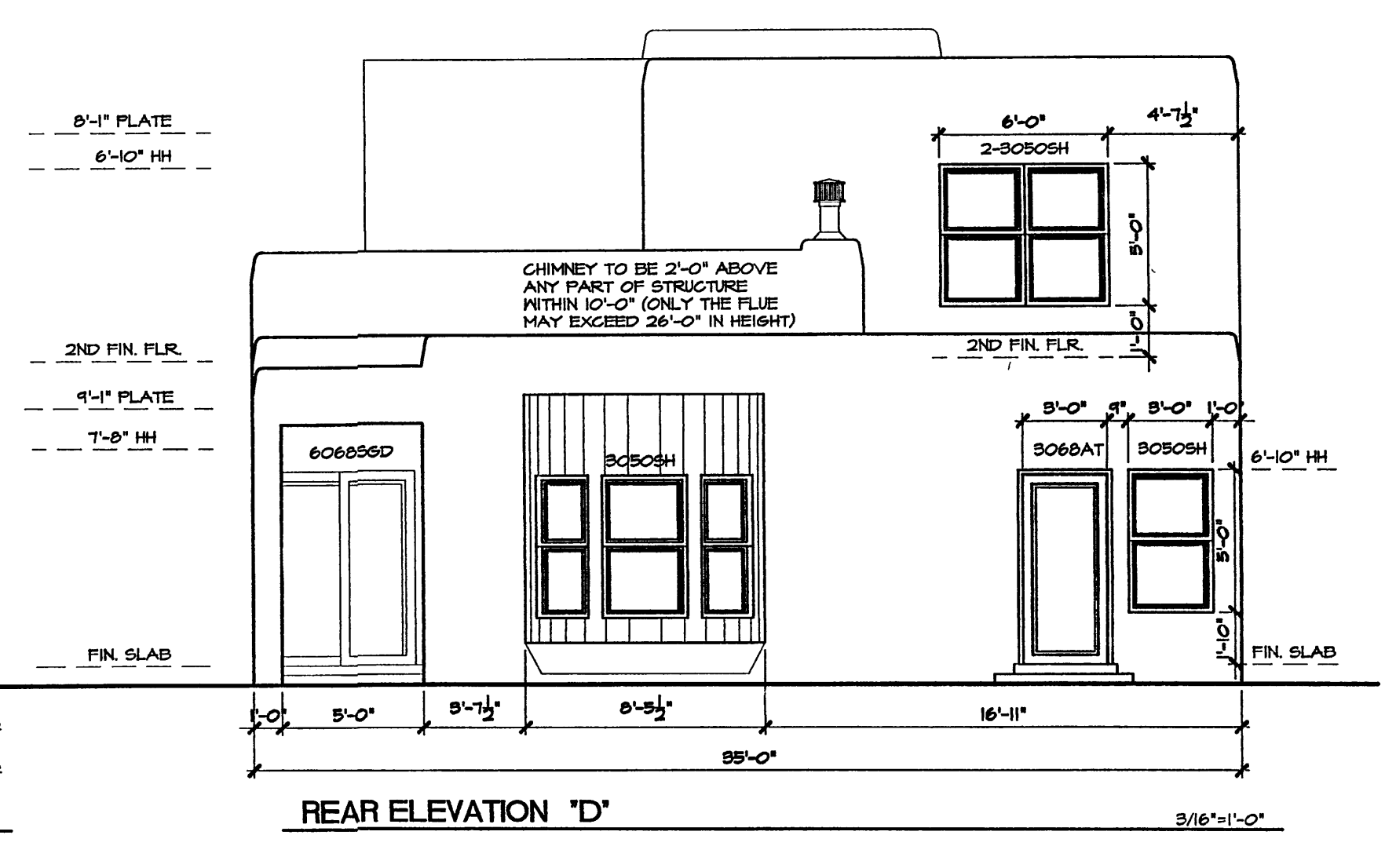
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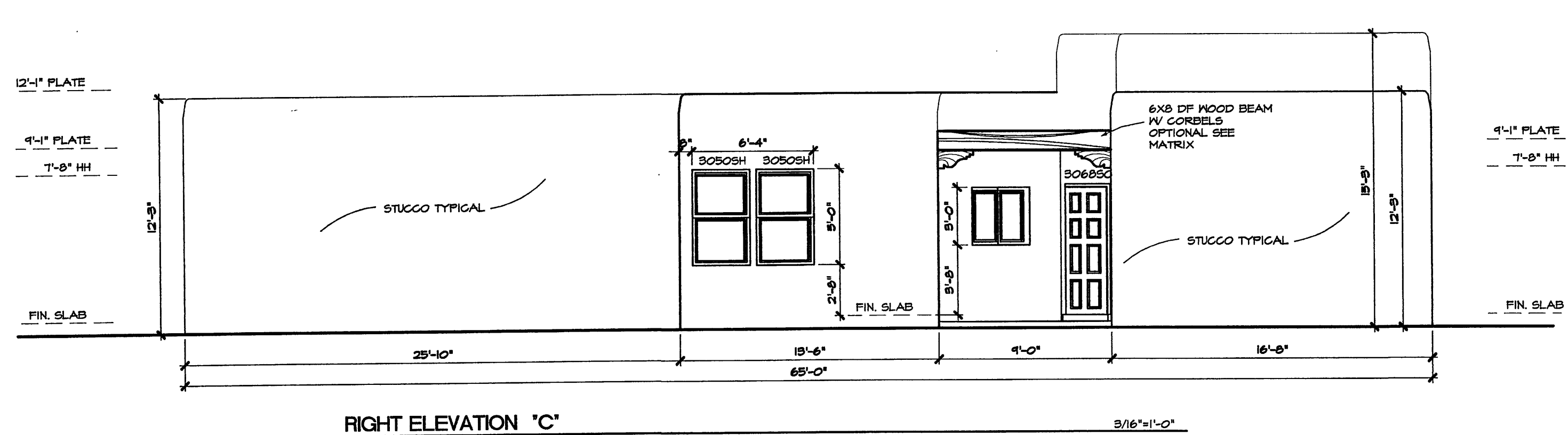
REAR ELEVATION 'C' 3/16"=1'-0"



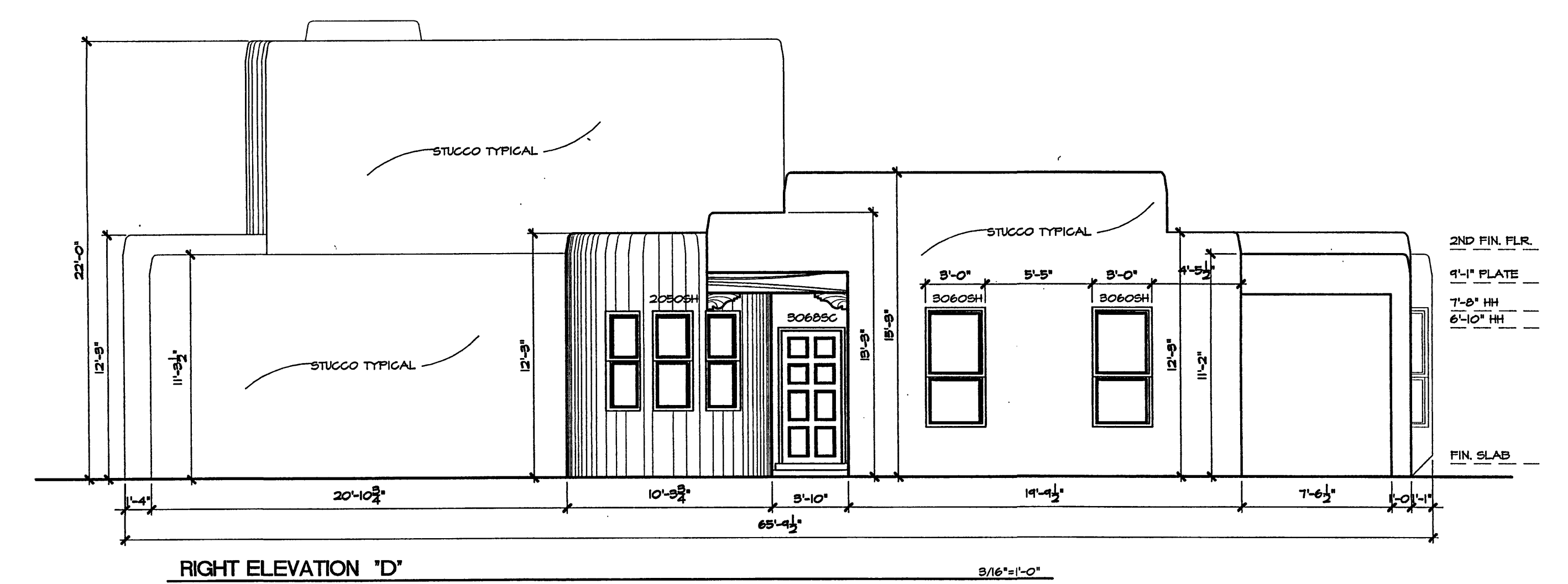
FRONT ELEVATION 'D' 3/16"=1'-0"



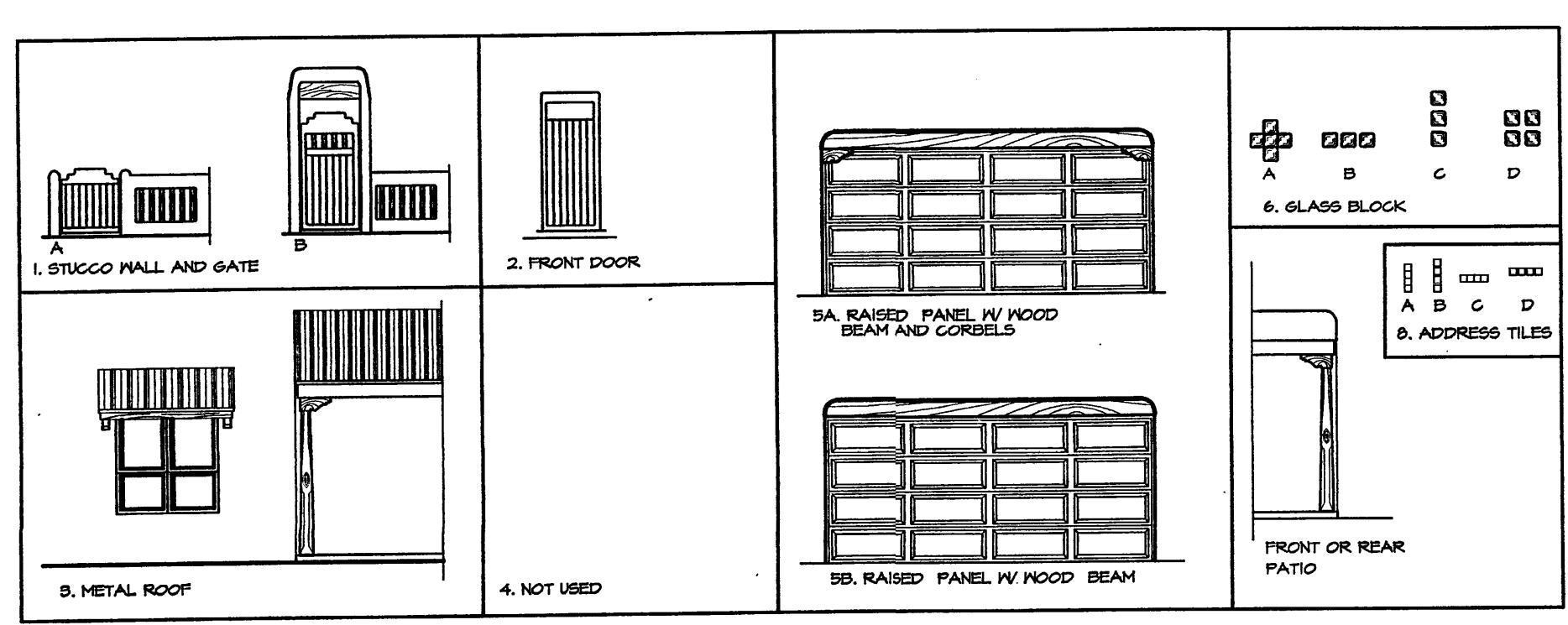
REAR ELEVATION 'D' 3/16"=1'-0"



RIGHT ELEVATION 'C' 3/16"=1'-0"



RIGHT ELEVATION 'D' 3/16"=1'-0"



**General Notes**

- This development provides several options of plans, a selection of optional elements provides for a variation of unit plans and elevations for the buyers and the development while maintaining a consistent style. The matrix becomes a key design tool for the designer, buyer/seller and the COA, and shall be attached to the building permit process.
  - \* each unit must have a minimum of two items from group 1 thru 5
  - \* group 6 thru 11 are typical to all units.
  - \* elements typical to all units:
  - \* wood header above window and garage door, stained
  - \* stepped parapets
- Keyed notes refer to option elements and elements common to all units. typical all elevations

FLANS	STUCCO WALL	GATE	FRONT DOOR	METAL ROOF	CORBELS	GLASS BLOCK	GARAGE DOOR	ADDRESS TILES	# of bdrms
A	•	•	•	•	•	•	•	•	•
B	•	•	•	•	•	•	•	•	•
C	•	•	•	•	•	•	•	•	•
D	•	•	•	•	•	•	•	•	•

STUCCO COLORS ARE TYPICAL TO ALL ELEVATIONS

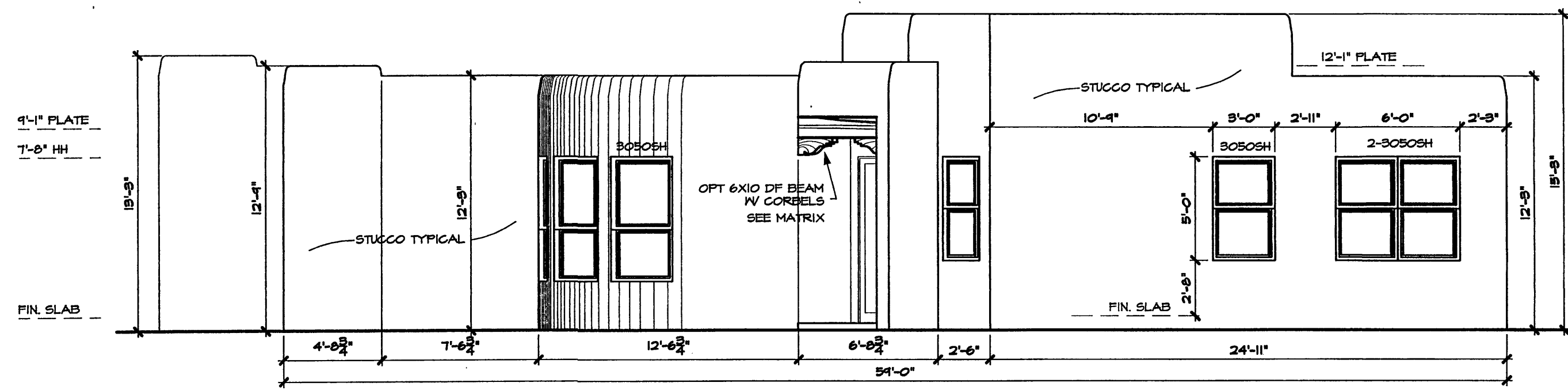
EL REY STUCCO	DRY RIVER	CACTUS FLOWER	TERRA	SAGE	BUFFALO	CASA	YELLOW HORSE	LARKAT	VEGA	DIERSKIN	HISK	POTTERY	STONE BLUFF	RIO BRAVO	HOSAN	RIVER ROCK	GLAY
FF817	FF817	FF 014	FF 154	FF 212	FF 006	FF 027	FF 801	FF 021	FF 150	FF 156	FF 157	FF 156	FF 051	FF 025	FF 072	FF 155	FF 191

VILLA DE LA CHAMISA  
ELEVATIONS

**Stillbrooke**  
HOMES

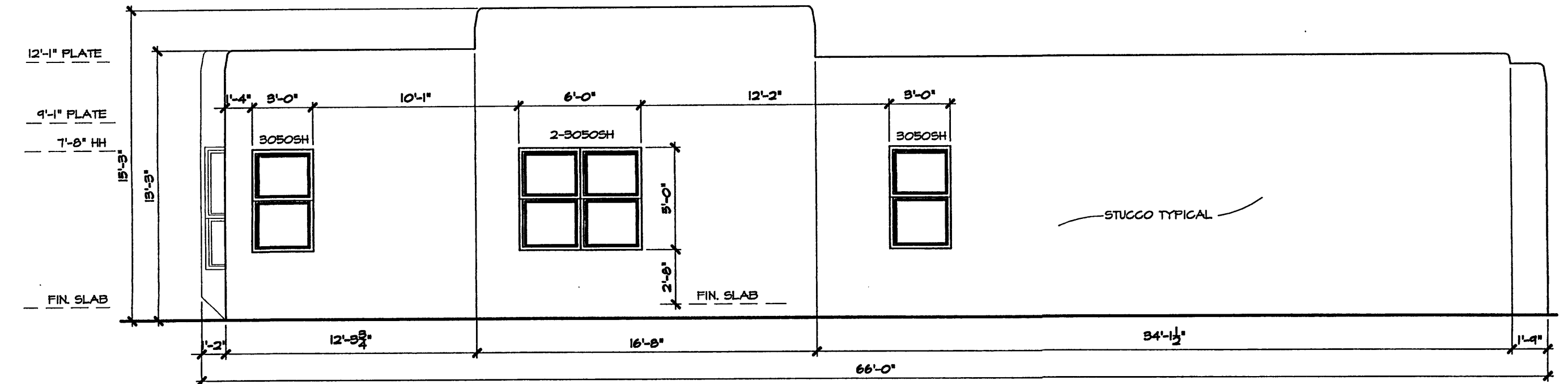
Designed: \_\_\_\_\_ Drawn: \_\_\_\_\_ Checked: \_\_\_\_\_  
Scale: 3/16"=1'-0" Date: 3/2/04 Job: \_\_\_\_\_ Sheet 9 of 12





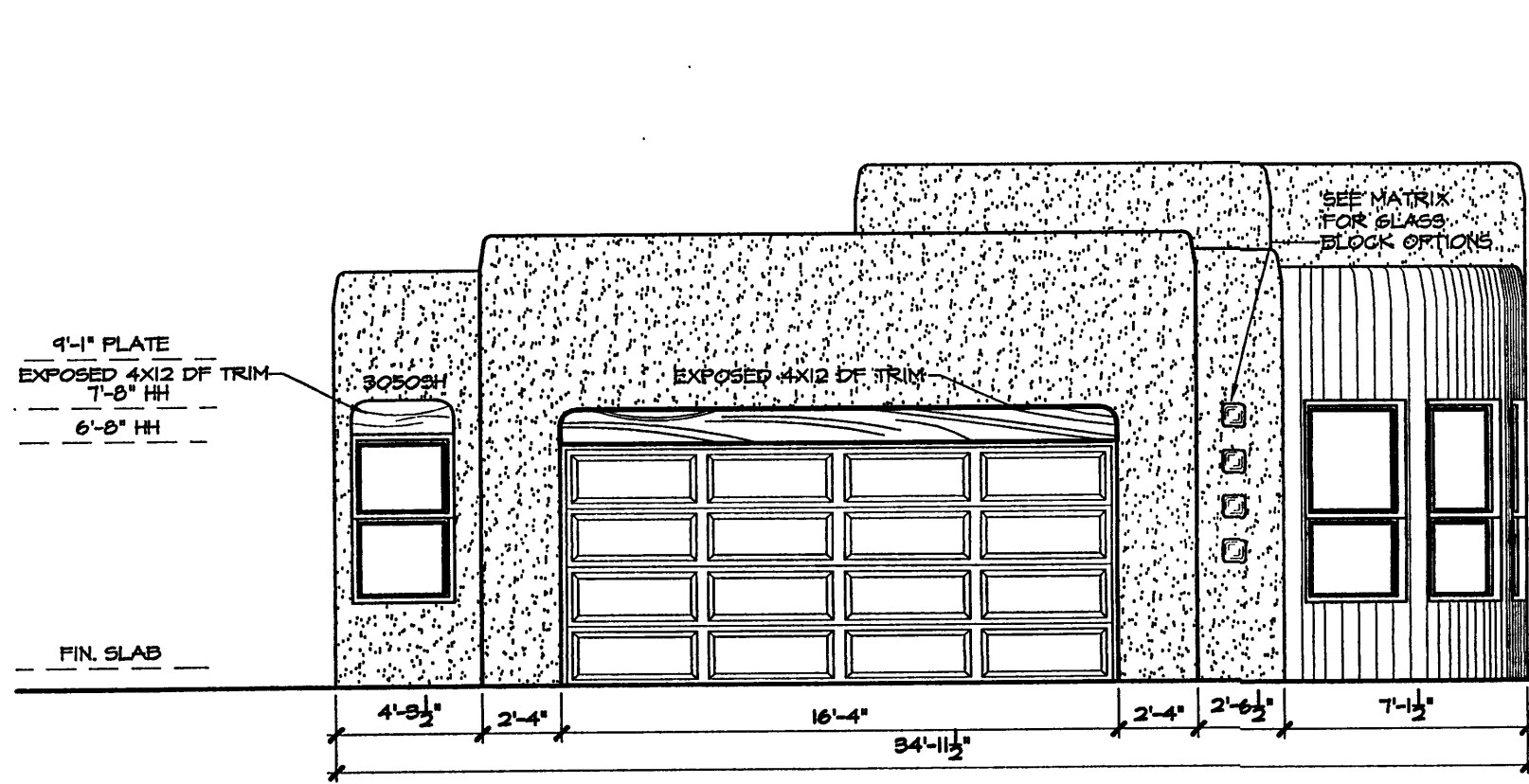
LEFT ELEVATION 'E'

3/16"=1'-0"



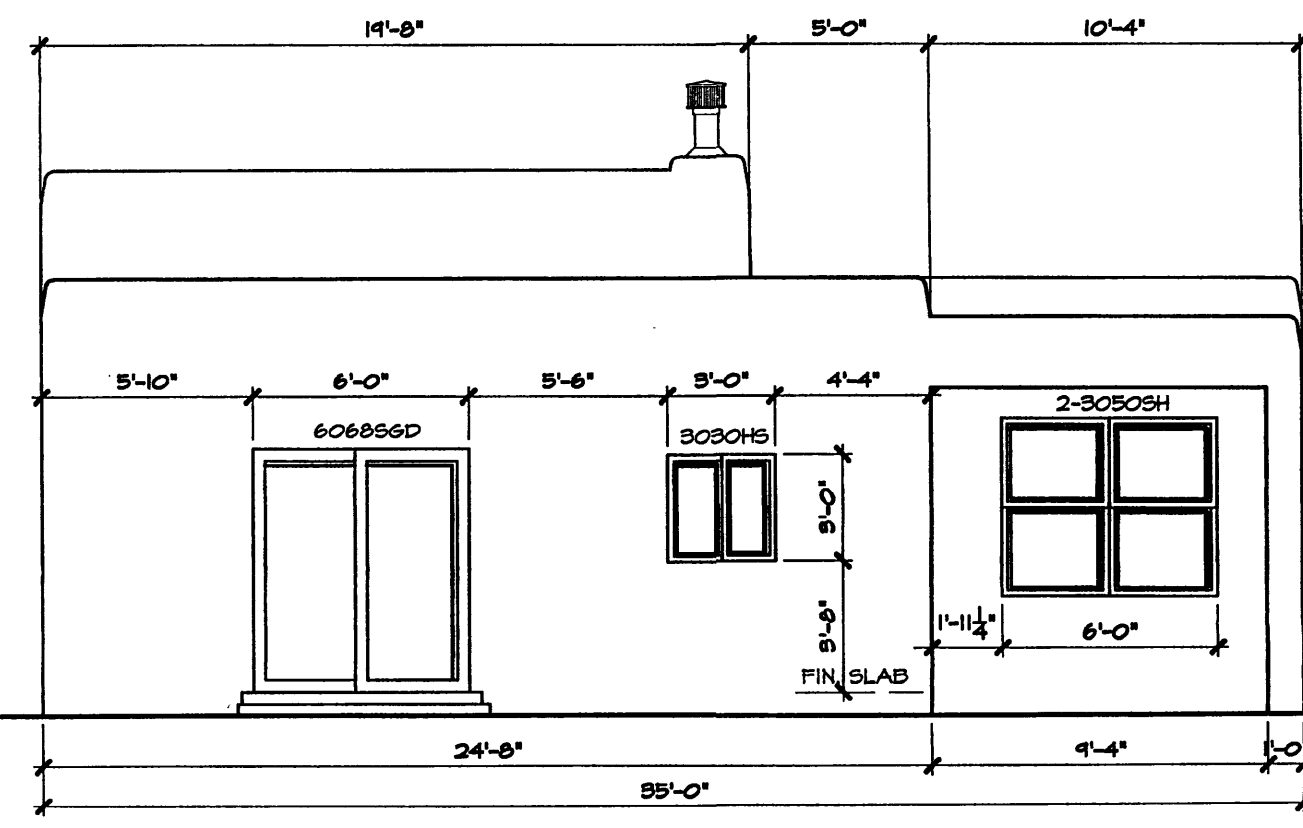
LEFT ELEVATION 'F'

3/16"=1'-0"



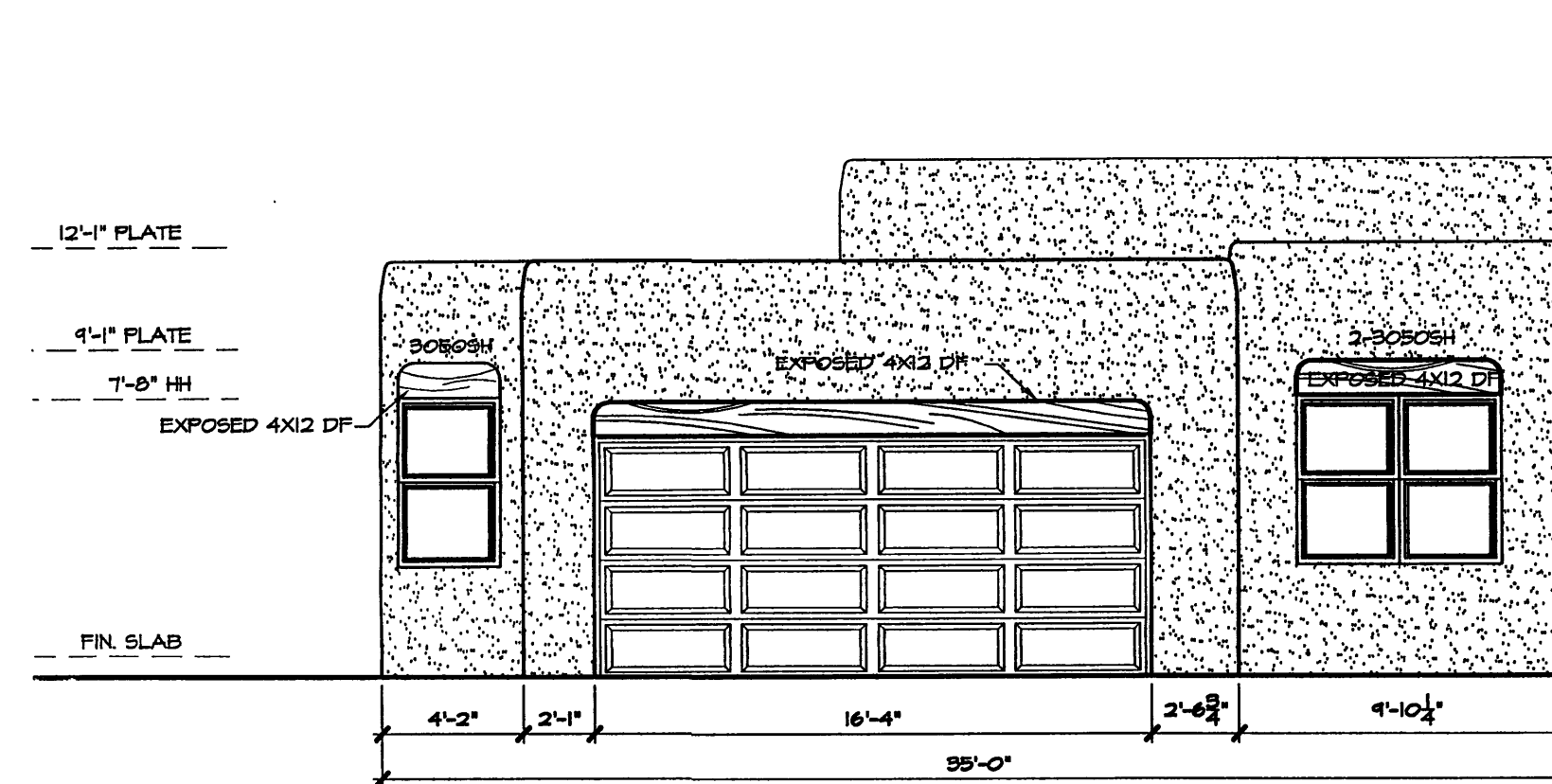
FRONT ELEVATION 'E'

3/16"=1'-0"



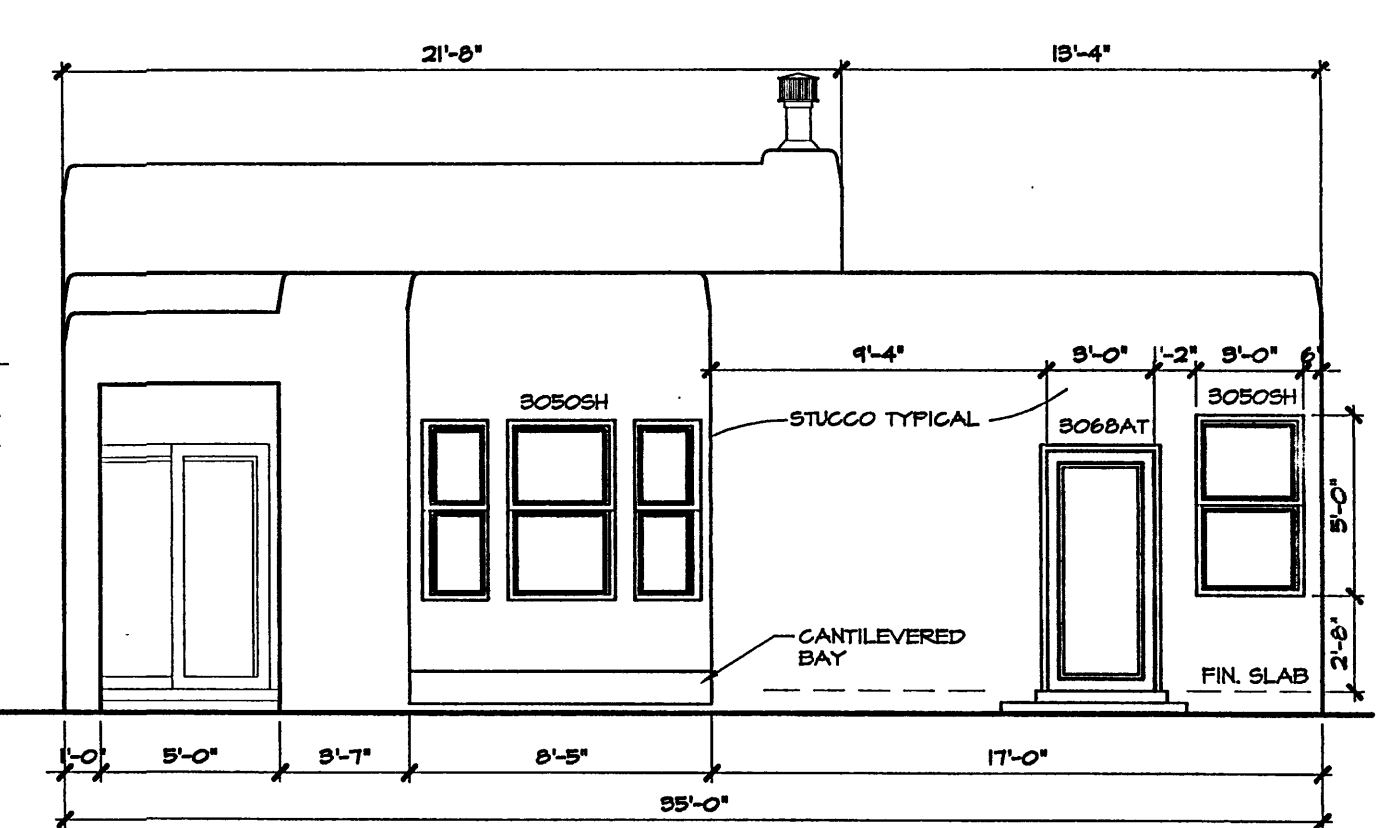
REAR ELEVATION 'E'

3/16"=1'-0"



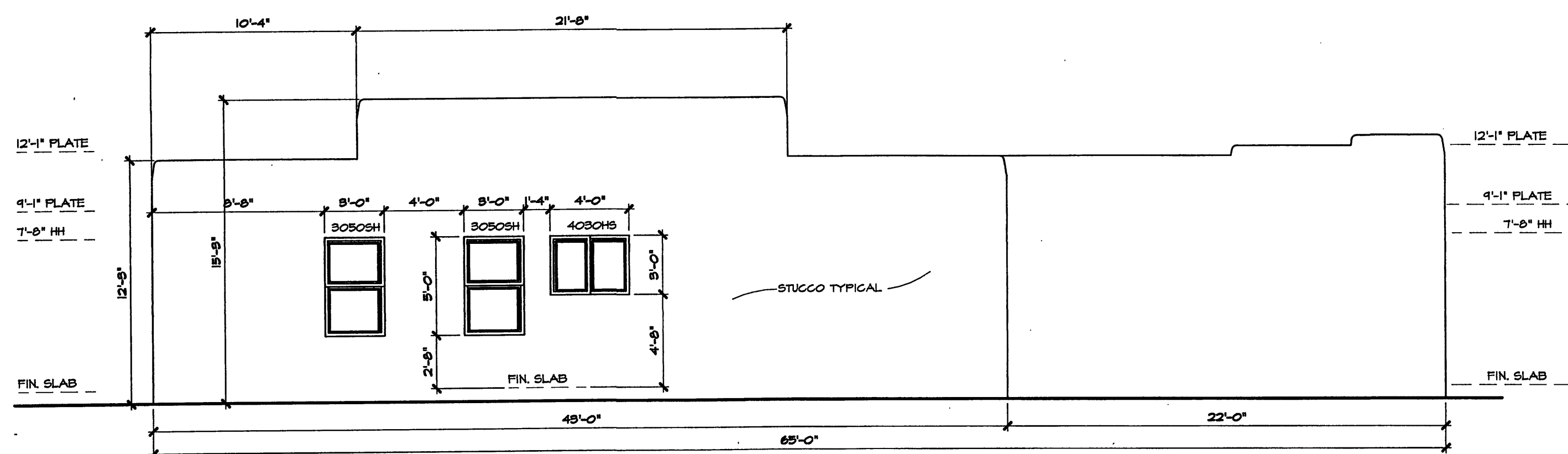
LEFT ELEVATION 'F'

3/16"=1'-0"



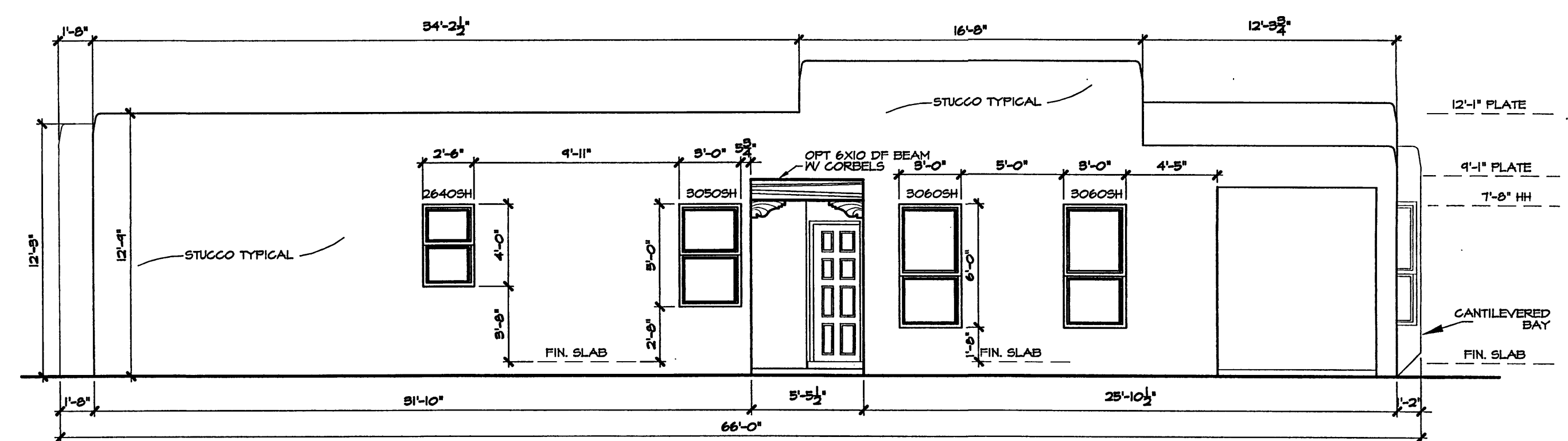
REAR ELEVATION 'F'

3/16"=1'-0"



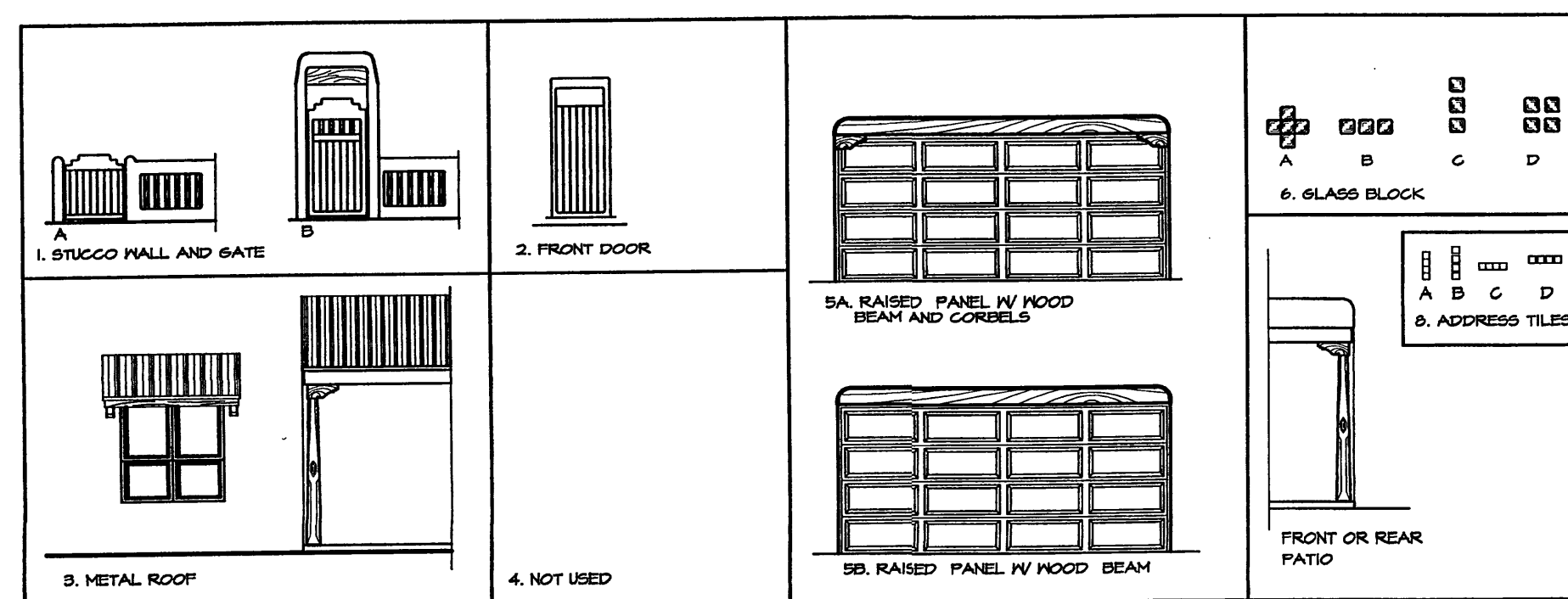
RIGHT ELEVATION 'E'

3/16"=1'-0"



RIGHT ELEVATION 'F'

3/16"=1'-0"



General Notes

1. This development provides several options of plans, a selection of optional elements provides for a variation of unit plans and elevations for the buyers and the development while maintaining a consistent style. The matrix includes all options available to the buyer. The matrix becomes a key design tool for the designer, buyer/seller and the COA, and shall be attached to the building permit process.

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- \* elements typical to all units:
- \* wood header above window and garage door, stained
- \* stepped parapets

2. Keyed notes refer to option elements and elements common to all units. typical all elevations

FLANS	STUCCO WALL	FRONT DOOR	METAL ROOF	CORBELS	GLASS BLOCK	GARAGE DOOR	ADDRESS TILES	# of bdrms
A	•	•	•	•	•	•	•	•
B	•	•	•	•	•	•	•	•
C	•	•	•	•	•	•	•	•
D	•	•	•	•	•	•	•	•
E	•	•	•	•	•	•	•	•
F	•	•	•	•	•	•	•	•
G	•	•	•	•	•	•	•	•
H	•	•	•	•	•	•	•	•

OPTION MATRIX SEE GENERAL NOTE # 1

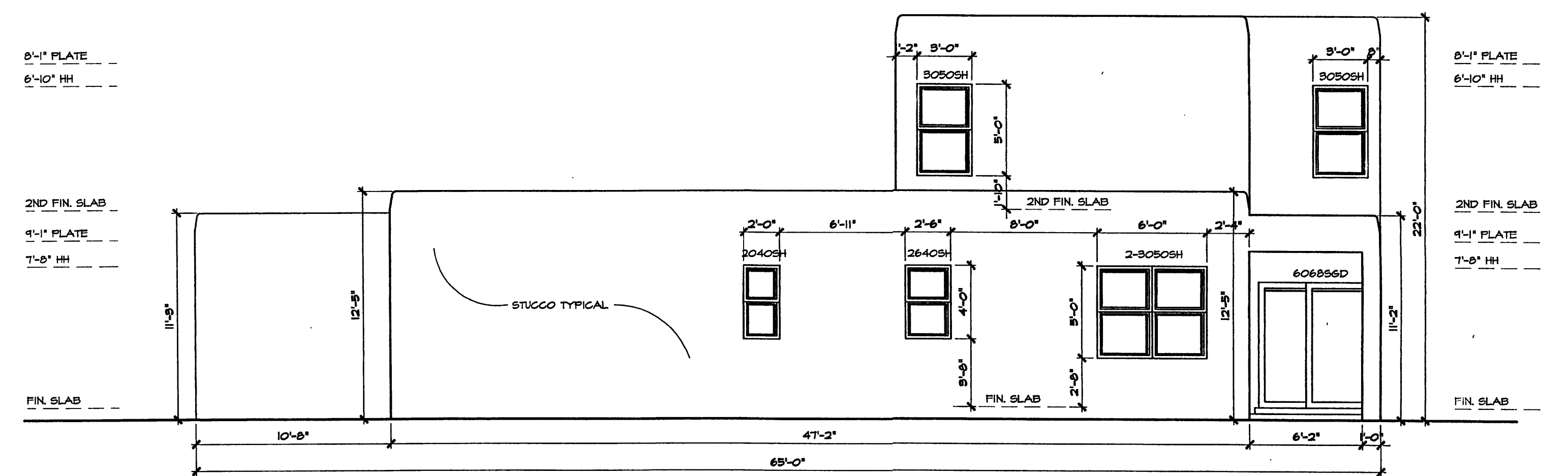
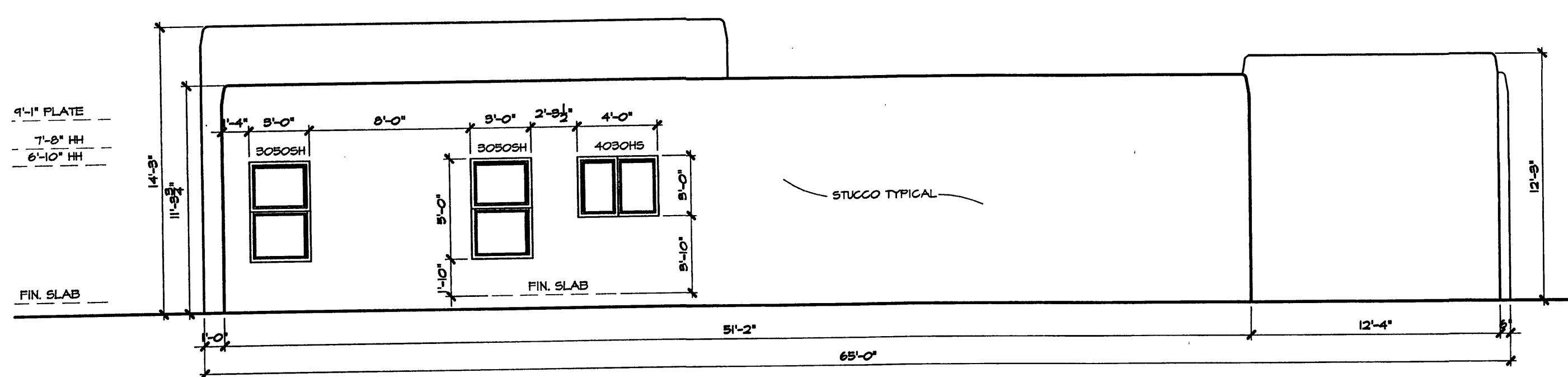
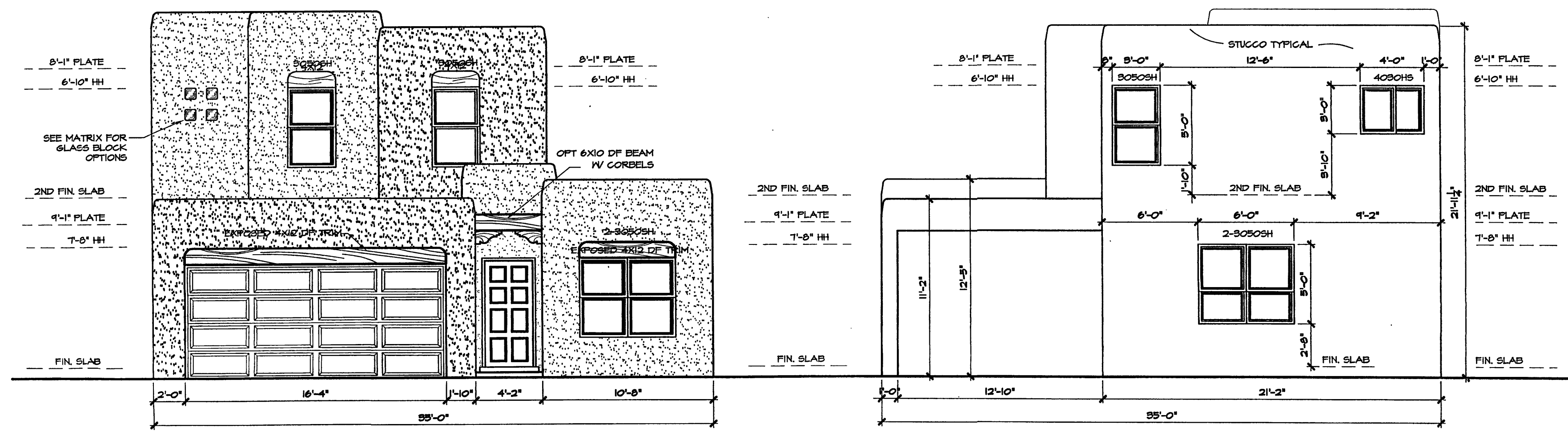
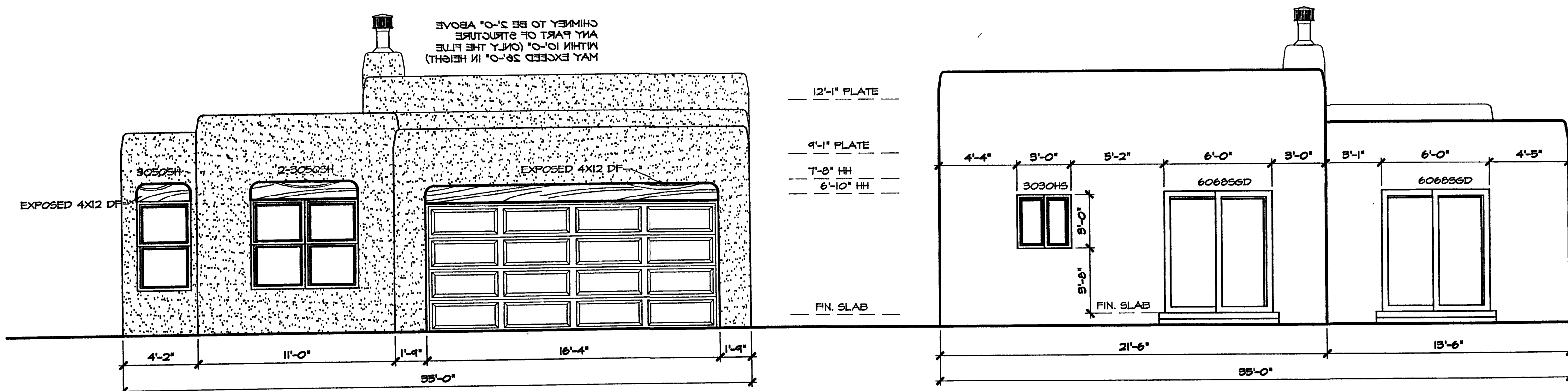
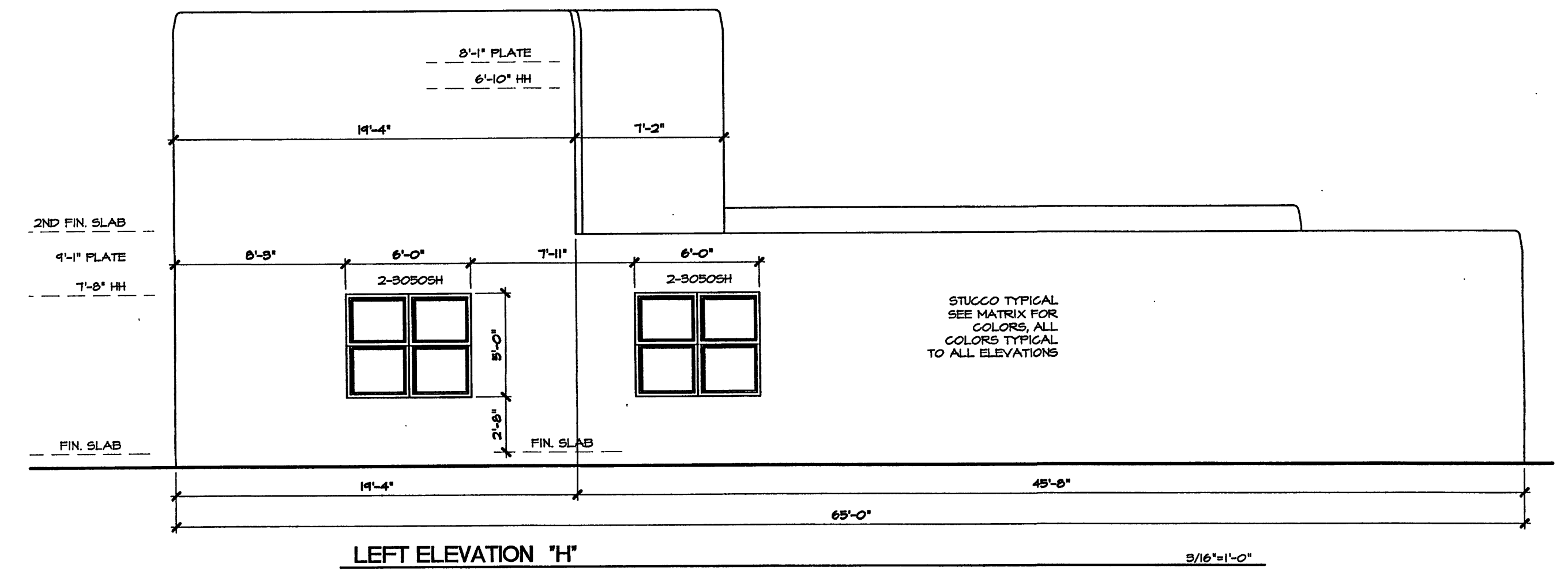
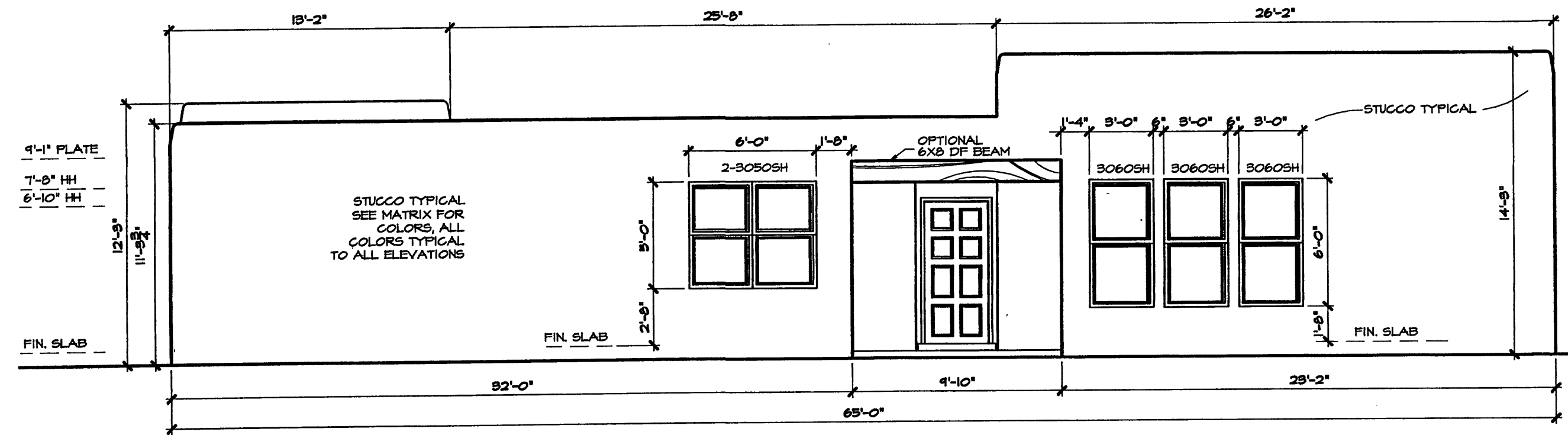
STUCCO COLORS ARE TYPICAL TO ALL ELEVATIONS

EL REY STUCCO	FF 101
PIEBLO SERIES	
DRY RIVER	FF 101
CACTUS FLOWER	FF 104
TACOS	FF 104
TERRA	FF 102
SAGE	FF 102
BUFFALO	FF 102
CASA	FF 102
YELLOW HORSE	FF 101
LARIAT	FF 101
VEGA	FF 101
DIERSHORN	FF 100
HASK	FF 101
POTTERY	FF 100
STONE BLUFF	FF 101
RIO BRAVO	FF 101
HOGAN	FF 101
RIVER ROCK	FF 100
CLAY	FF 101

VILLA DE LA CHAMISA  
ELEVATIONS

**Stillbrooke**  
HOMES

Designed: \_\_\_\_\_ Drawn: \_\_\_\_\_ Checked: \_\_\_\_\_ Sheet 10 of 12  
Scale: 3/16"=1'-0" Date: 3/2/04 Job: \_\_\_\_\_



1. STUCCO WALL AND GATE	2. FRONT DOOR	3A. RAISED PANEL W/ WOOD BEAM AND CORBELS	6. GLASS BLOCK
3. METAL ROOF	4. NOT USED	5B. RAISED PANEL W/ WOOD BEAM	8. ADDRESS TILES

**General Notes**

- This development provides several options of plans, a selection of optional elements provides for a variation of unit plans and elevations for the buyers and the development while maintaining a consistent style. The matrix includes all options available to the buyer. The matrix becomes a key design tool for the designer, buyer/seller and the COA, and shall be attached to the building permit process.
  - \* each unit must have a minimum of two items from group 1 thru 5
  - \* group 6 thru 11 are typical to all units.
  - \* elements typical to all units:
  - \* wood header above window and garage door, stained
  - \* stepped parapets
- Keyed notes refer to option elements and elements common to all units. typical all elevations

PLANS	OPTION MATRIX										
	1	2	3	4	5	6	7	8	9	10	11
STUCCO WALL & GATE											
FRONT DOOR											
METAL ROOF											
NOT USED											
CORBELS											
GLASS BLOCK											
SARAGE DOOR											
ADDRESS TILES											
# of Bedrooms											

STUCCO COLORS ARE TYPICAL TO ALL ELEVATIONS

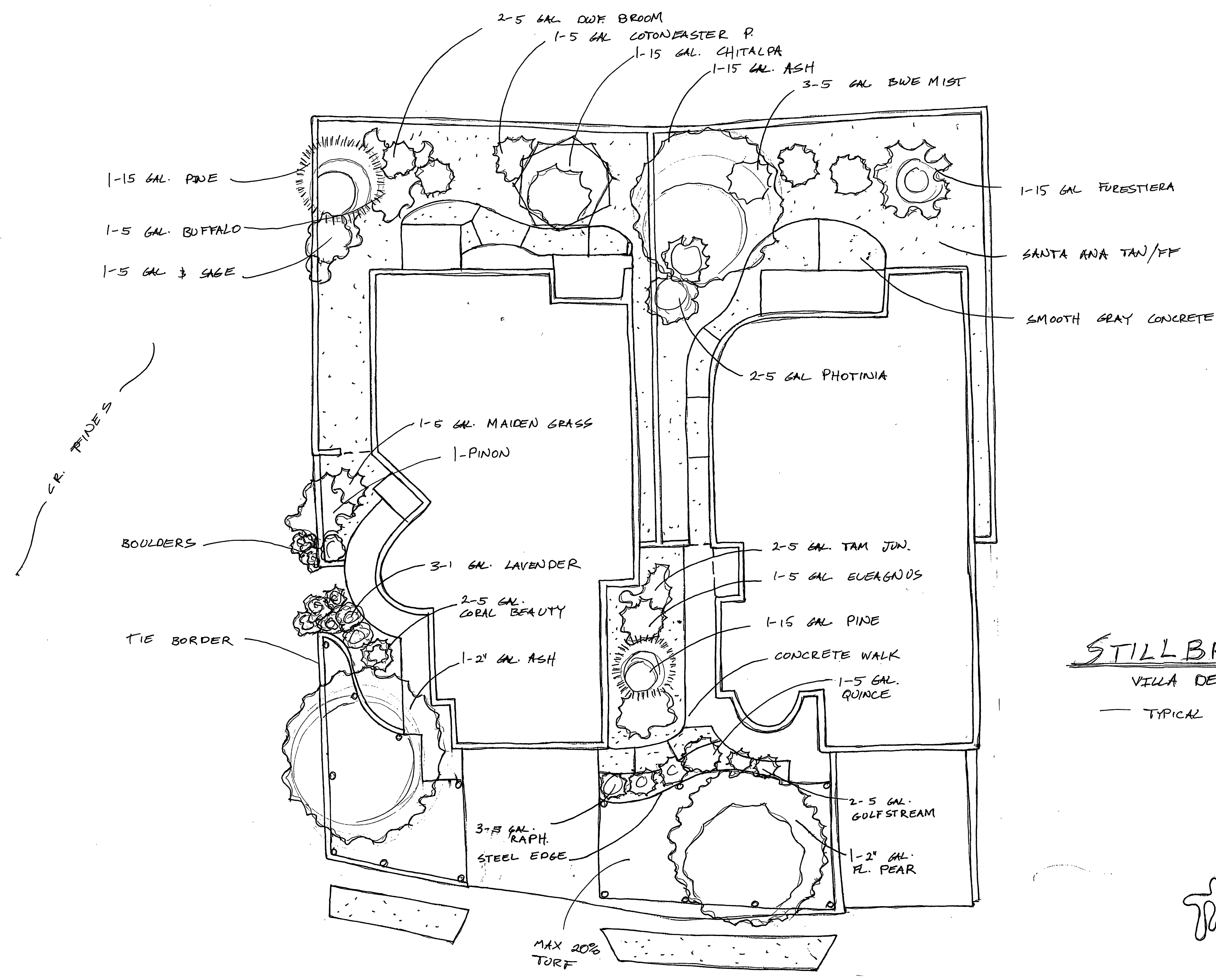
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PUEBLO SERIES	FF 801
DRY RIVER	FF 811
CACTUS FLOWER	FF 814
TACS	FF 1564
TERRA	FF 212
SAGE	FF 803
BUFFALO	FF 806
CASA	FF 827
YELLOW HORSE	FF 801
LASANT	FF 821
VEGA	FF 1570
DEERSKIN	FF 1568
HUSK	FF 1567
POTTERY	FF 1566
STONE SLUFF	FF 831
RIO BRAVO	FF 825
NOVIAN	FF 1572
RIVER ROCK	FF 1565
CLAY	FF 1571

VILLA DE LA CHAMISA  
ELEVATIONS

**Stillbrooke**  
HOMES

Designed: \_\_\_\_\_ Drawn: \_\_\_\_\_ Checked: \_\_\_\_\_ Sheet 11 of 12  
Scale: 3/16"=1'-0" Date: 3/2/04 Job: \_\_\_\_\_



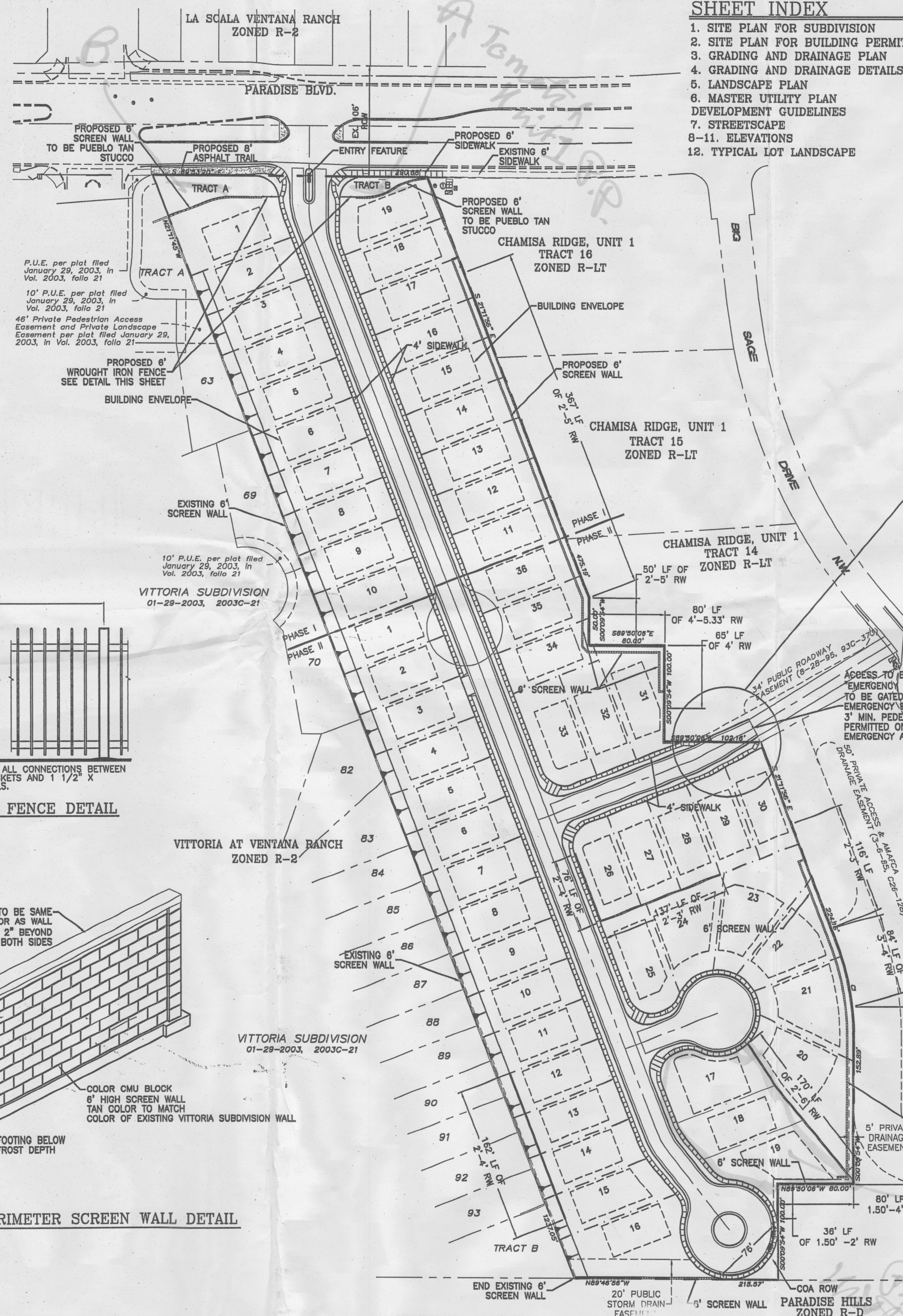


STILLBROOKE HOMES  
 VILLA DE LA CHAMISA  
 TYPICAL LANDSCAPE PLAN

*Still Brooke*

SCALE: 1/8" = 1'-0"





### SHEET INDEX

1. SITE PLAN FOR SUBDIVISION
2. SITE PLAN FOR BUILDING PERMIT
3. GRADING AND DRAINAGE PLAN
4. GRADING AND DRAINAGE DETAILS
5. LANDSCAPE PLAN
6. MASTER UTILITY PLAN DEVELOPMENT GUIDELINES
7. STREETScape
- 8-11. ELEVATIONS
12. TYPICAL LOT LANDSCAPE

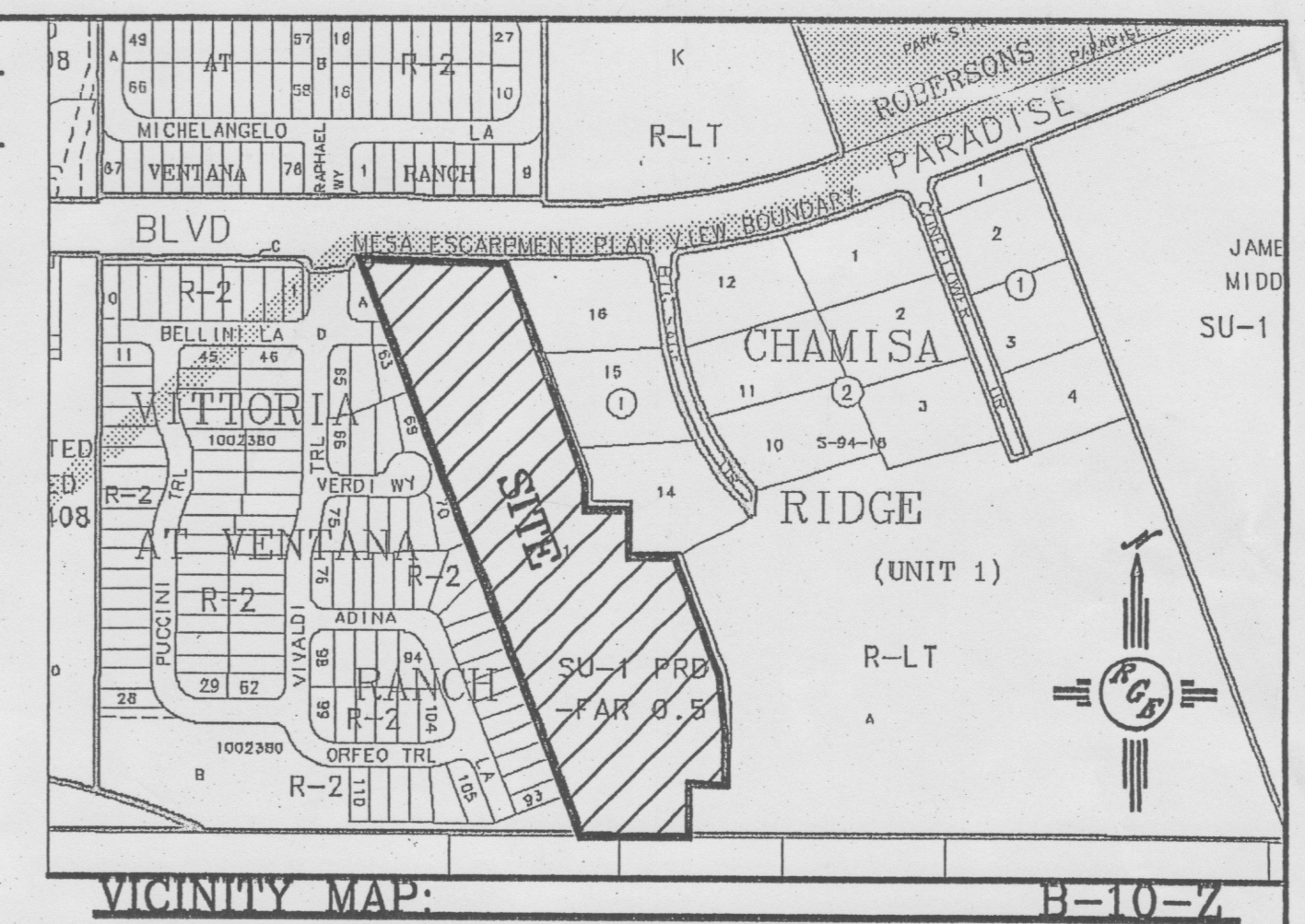
### SITE DATA

PHASE I ACREAGE: 2.8880 AC±  
 PHASE II ACREAGE: 5.8987 AC±  
 TOTAL ACREAGE: 8.7867 AC±

EXISTING ZONING: SU-1 PRD (FAR .5)  
 PROPOSED ZONING: SU-1 PRD (FAR .5)  
 PROPOSED USE: 55 MAX. SINGLE-FAMILY DWELLING UNITS

NUMBER OF LOTS:  
 PHASE I: 19 LOTS, AND 2 LANDSCAPE TRACTS  
 PHASE II: 36 LOTS (W/ROW ACCESS TO SOUTH)

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	100.67 (100.67)	270.00 (270.00)	80.83 (80.83)	100.00 (100.00)	N10°31'01"W	21°21'55" (21°21'55")



### LEGAL DESCRIPTION:

TRACT 1, LANDS OF MARIN

- ### NOTES:
1. THE DEVELOPMENT OF THIS PROJECT WILL BE PHASED AS SHOWN ON THIS PLAN.
  2. SITE PLAN FOR BUILDING PERMIT SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD FOR FINAL APPROVAL.
  3. THIS SITE IS LOCATED IN THE ESCARPMENT VIEW AREA, AS DESCRIBED WITHIN THE NORTHWEST ESCARPMENT PLAN (RANK 3). THE SUBSEQUENT SITE PLAN FOR BUILDING PERMIT MUST FOLLOW THE REQUIREMENTS SPECIFIED BY THIS PLAN.
  4. THE OVERALL FLOOR AREA RATIO SHALL NOT EXCEED 0.5.
  5. THE MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 28'.
  6. LANDSCAPE TRACTS A AND B SHALL BE MAINTAINED BY THE VILLA DE LA CHAMISA HOMEOWNERS ASSOCIATION.
  7. FRONT YARD SETBACK SHALL BE A MINIMUM OF 15' AND SHALL HAVE A 2' VARIATION IN THE FRONT YARD SETBACK FROM THE ADJACENT HOUSE.
  8. ALL WALLS AND FENCE MUST MEET THE DESIGN STANDARDS FOR WALLS, PER SECTION 14-16-3-19 OF THE ZONING CODE.
  9. ALL LIGHTING SHALL BE BUILT TO COA STANDARDS FOR PUBLIC RIGHT-OF-WAY.
  10. PUBLIC ACCESS EASEMENT TO CHAMISA RIDGE SUBDIVISION SHALL BE GATED AND USED FOR EMERGENCY ACCESS ONLY. A 3' MIN. PEDESTRIAN CONNECTION SHALL BE PROVIDED ON EITHER SIDE OF GATE WITHIN ACCESS EASEMENT. GATE SHALL BE A BREAKDOWN GATE AS APPROVED BY THE FIRE DEPARTMENT. DEVELOPER WILL WORK WITH CHAMISA RIDGE HOMEOWNERS ON AN ACCEPTABLE DESIGN. MAINTENANCE OF GATE SHALL BE VIA DE LA CHAMISA HOA.
  11. EACH LOT SHALL PROVIDE STORAGE AREA FOR RESIDENTIAL AUTOMATED CARTS, NOT VISIBLE FROM STREET OR STORED INSIDE GARAGE.
  12. ENTRY SIGN SHALL SIT BACK FAR ENOUGH SO AS NOT TO INTERFERE WITH PEDESTRIAN MOVEMENT ALONG PARADISE BOULEVARD.
  13. ALL SINGLE COMMON WALLS BETWEEN CHAMISA RIDGE SUBDIVISION AND THE PROPOSED VILLA DE LA CHAMISA SUBDIVISION SHALL BE A MINIMUM OF 6" IN HEIGHT AND SHALL NOT EXCEED 8" IN HEIGHT ABOVE THE LOWEST GRADE ON THE LOWER SIDE WITHIN THE REQUIRED REAR YARD SETBACK.
  14. PHASE II SHALL NOT BEGIN CONSTRUCTION UNTIL DRAINAGE AGREEMENT BETWEEN OWNERS TO EAST IS EXECUTED.

PROJECT NUMBER: 1003236  
 APPLICATION NUMBER: 04-00199

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required?  Yes  No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

### DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	6-23-04
Utilities Development	6/23/2004
Parks & Recreation Department	6/23/04
City Engineer	6/23/04
Environmental Health Department (conditional)	6-23-04
Solid Waste Management	6/23/04
DRB Chairperson, Planning Department	6/23/04

\* Environmental Health, if necessary 12/16/03

### LEGEND

=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
=====	FUTURE CURB & GUTTER
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
=====	PROPOSED 4' SIDEWALK
=====	FUTURE 4' SIDEWALK
-----	CENTERLINE
-----	RIGHT-OF-WAY
-----	LOT LINES
-----	FUTURE LOT LINES
-----	BUILDING ENVELOPE
-----	PHASE LINE
-----	6" SCREEN WALL
-----	FUTURE 6" SCREEN WALL

ENGINEER'S SEAL

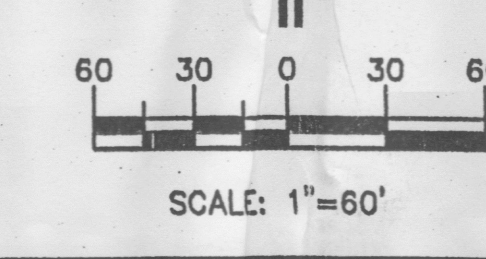
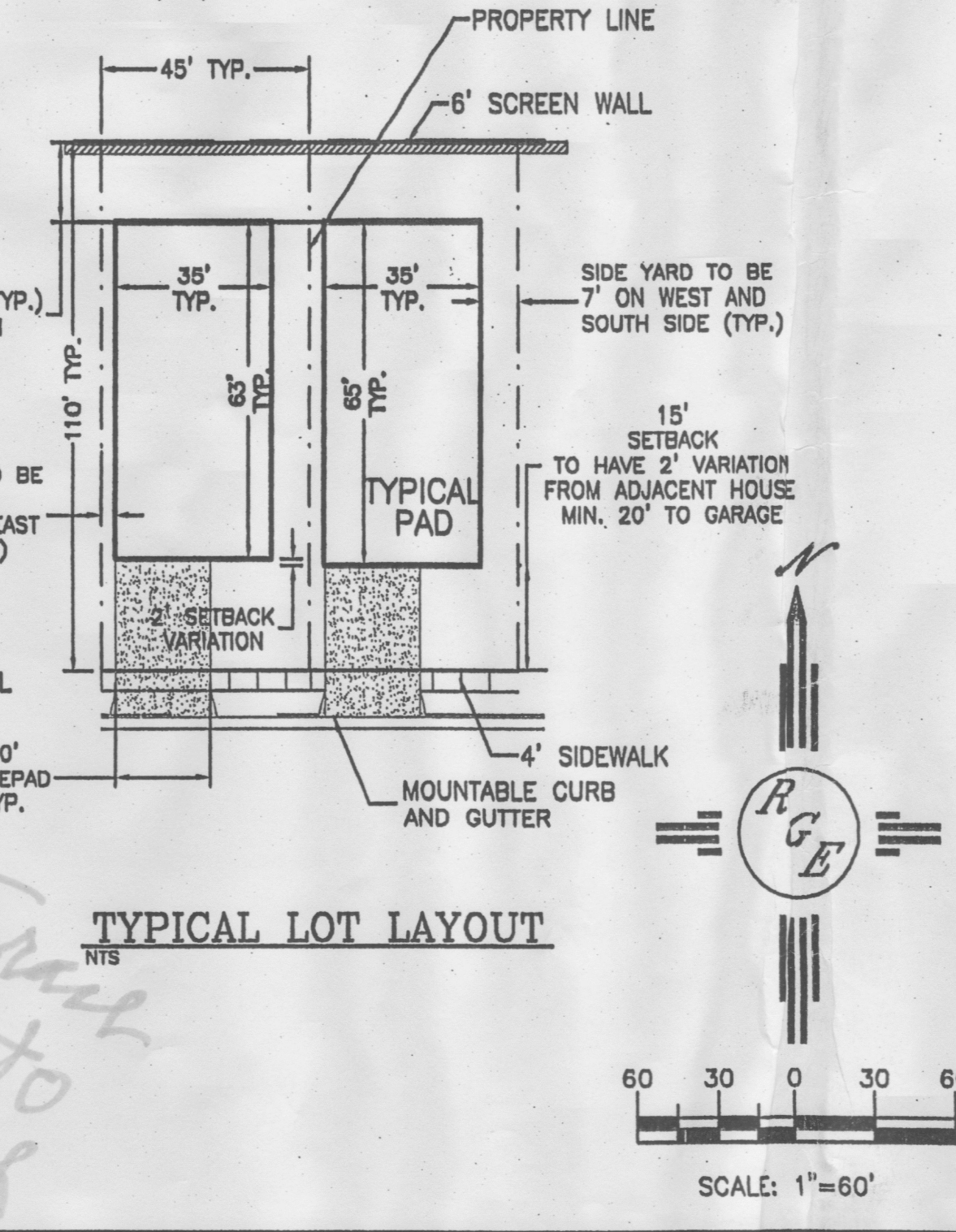
DAVID SOULE  
 NEW MEXICO  
 14522  
 REGISTERED PROFESSIONAL ENGINEER

VILLA DE LA CHAMISA  
 SITE PLAN FOR SUBDIVISION

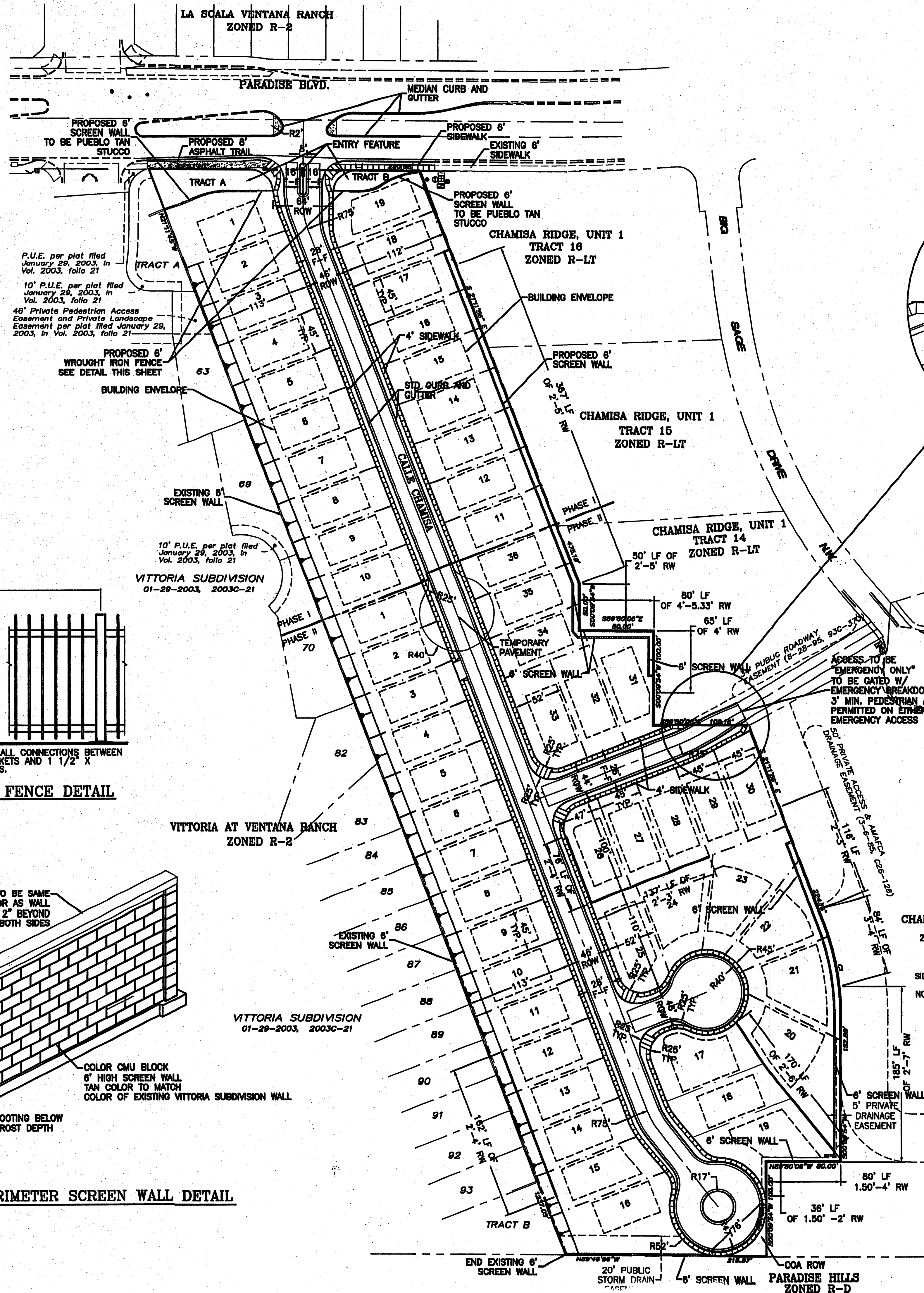
Rio Grande Engineering  
 3500 COMANCHE ROAD NE  
 BUILDING E, SUITE 5  
 ALBUQUERQUE, NM 87107  
 (505) 874-0999

DRAWN BY: WCWJ  
 DATE: 6-22-04  
 2300-SPSB-5-10-04X

SHEET # 1 OF 12  
 JOB # 2300





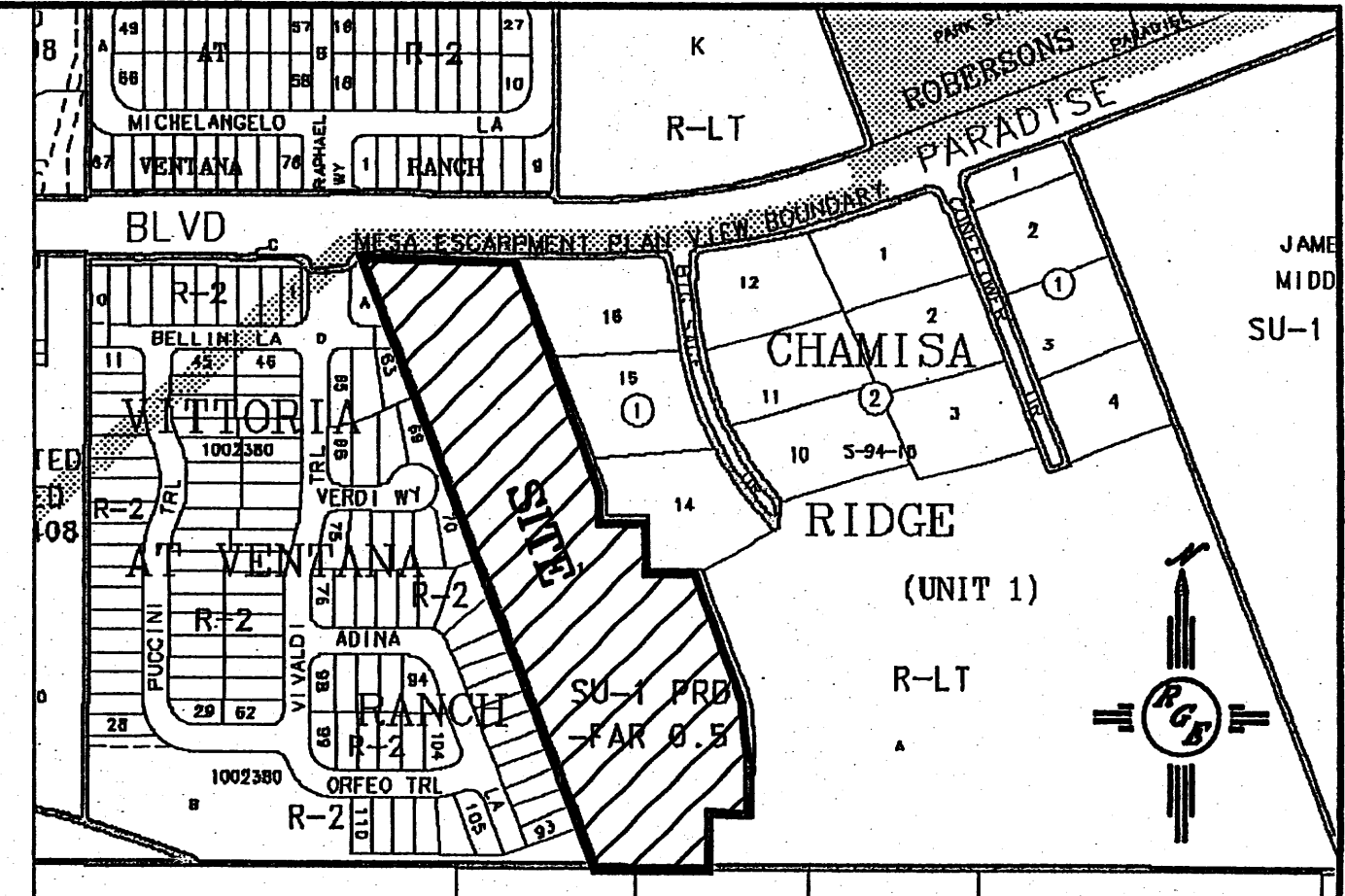
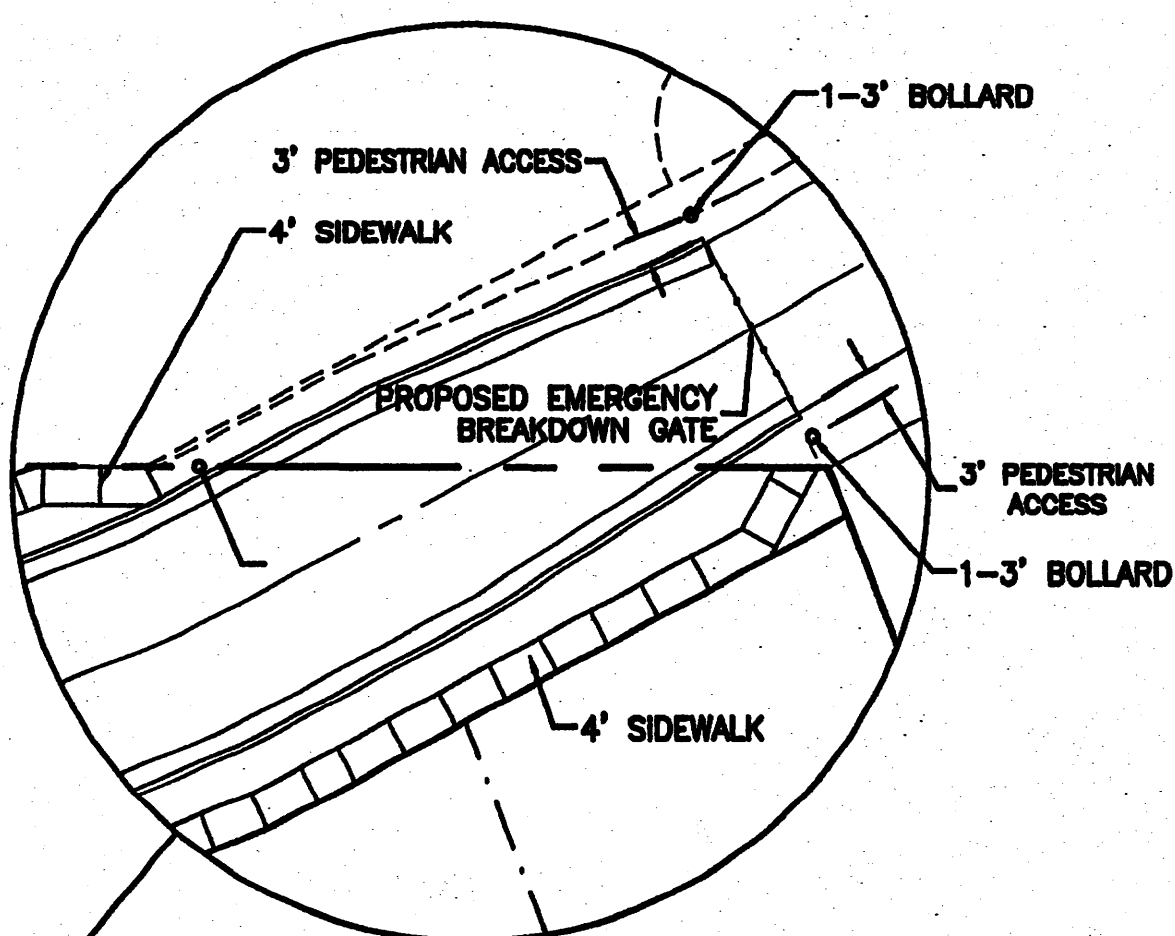


**SITE DATA**

PHASE I ACREAGE:	2.8680 AC±
PHASE II ACREAGE:	5.8987 AC±
TOTAL ACREAGE:	8.7647 AC±
EXISTING ZONING:	SU-1 PRD (FAR .5)
PROPOSED ZONING:	SU-1 PRD (FAR .5)
PROPOSED USE:	55 MAX. SINGLE-FAMILY DWELLING UNITS
NUMBER OF LOTS:	
PHASE I:	19 LOTS, AND 2 LANDSCAPE TRACTS
PHASE II:	36 LOTS (W/ROW ACCESS TO SOUTH)

**CURVE TABLE**

CURVE LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
102.47'	270.00'	24.83'	100.00'	N10°31'01"W	21°21'50"
102.47'	270.00'	24.83'	100.00'	S10°31'01"W	21°21'50"



VICINITY MAP: B-10-7

**LEGAL DESCRIPTION:**  
TRACT 1, LANDS OF MARIN

**NOTES:**

- THE DEVELOPMENT OF THIS PROJECT WILL BE PHASED AS SHOWN ON THIS PLAN.
- SITE PLAN FOR BUILDING PERMIT SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD FOR FINAL APPROVAL.
- THIS SITE IS LOCATED IN THE ESCARPMENT VIEW AREA, AS DESCRIBED WITHIN THE NORTHWEST ESCARPMENT PLAN (RANK 3). THE SUBSEQUENT SITE PLAN FOR BUILDING PERMIT MUST FOLLOW THE REQUIREMENTS SPECIFIED BY THIS PLAN.
- THE OVERALL FLOOR AREA RATIO SHALL NOT EXCEED 0.5.
- THE MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 25'.
- LANDSCAPE TRACTS A AND B SHALL BE MAINTAINED BY THE VILLA DE LA CHAMISA HOMEOWNERS ASSOCIATION.
- FRONT YARD SETBACK SHALL BE A MINIMUM OF 15' AND SHALL HAVE A 2' VARIATION IN THE FRONT YARD SETBACK FROM THE ADJACENT HOUSE.
- ALL WALLS AND FENCE MUST MEET THE DESIGN STANDARDS FOR WALLS, PER SECTION 14-16-3-19 OF THE ZONING CODE.
- ALL LIGHTING SHALL BE BUILT TO COA STANDARDS FOR PUBLIC RIGHT-OF-WAY.
- PUBLIC ACCESS EASEMENT TO CHAMISA RIDGE SUBDIVISION SHALL BE GATED AND USED FOR EMERGENCY ACCESS ONLY. A 3' MIN. PEDESTRIAN CONNECTION SHALL BE PROVIDED ON EITHER SIDE OF GATE WITHIN ACCESS EASEMENT. GATE SHALL BE A BREAKDOWN GATE AS APPROVED BY THE FIRE DEPARTMENT. DEVELOPER WILL WORK WITH CHAMISA RIDGE HOMEOWNERS ON AN ACCEPTABLE DESIGN. Maintenance of gate shall be visible in Chamisa RIDG.
- EACH LOT SHALL PROVIDE STORAGE AREA FOR RESIDENTIAL AUTOMATED CARTS, NOT VISIBLE FROM STREET OR STORED INSIDE GARAGE.
- ENTRY SIGN SHALL SIT BACK FAR ENOUGH SO AS NOT TO INTERFERE WITH PEDESTRIAN MOVEMENT ALONG PARADISE BOULEVARD.
- ALL SINGLE COMMON WALLS BETWEEN CHAMISA RIDGE SUBDIVISION AND THE PROPOSED VILLA DE LA CHAMISA SUBDIVISION SHALL BE A MINIMUM OF 6' IN HEIGHT AND SHALL NOT EXCEED 8' IN HEIGHT ABOVE THE LOWEST GRADE ON THE LOWER SIDE WITHIN THE REQUIRED REAR YARD SETBACK.
- PHASE II SHALL NOT BEGIN CONSTRUCTION UNTIL DRAINAGE AGREEMENT BETWEEN OWNERS TO EAST IS EXECUTED.

**PROJECT NUMBER:** 1008286  
**APPLICATION NUMBER:** 04-0200

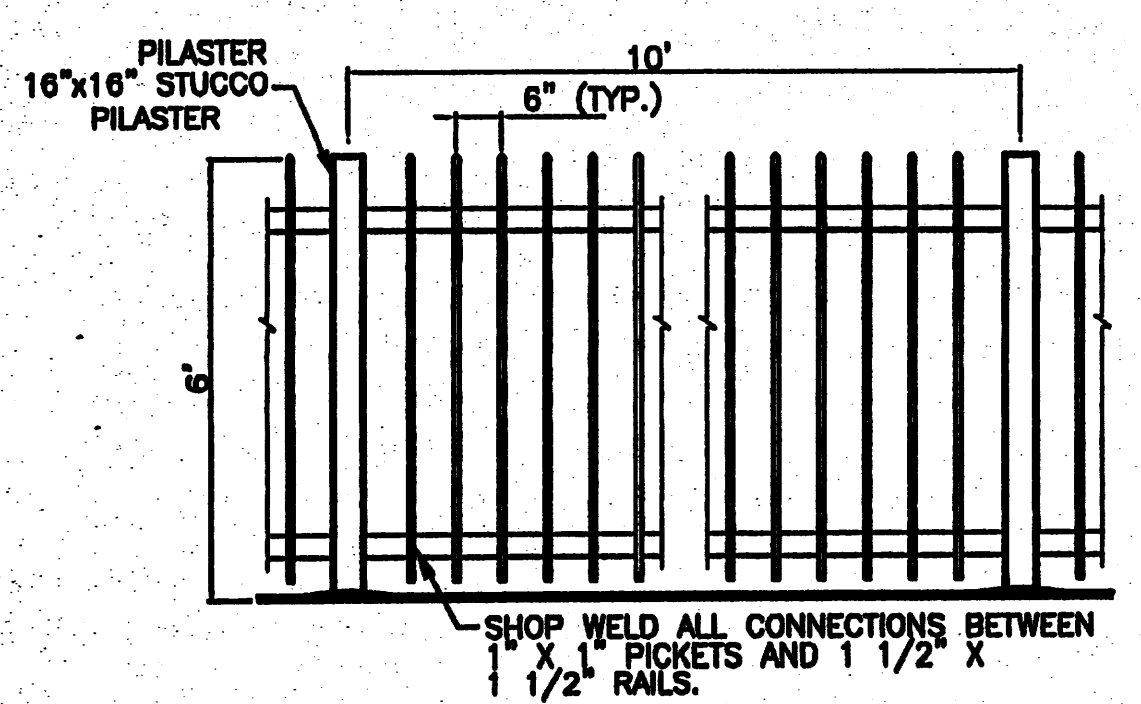
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required?  Yes  No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

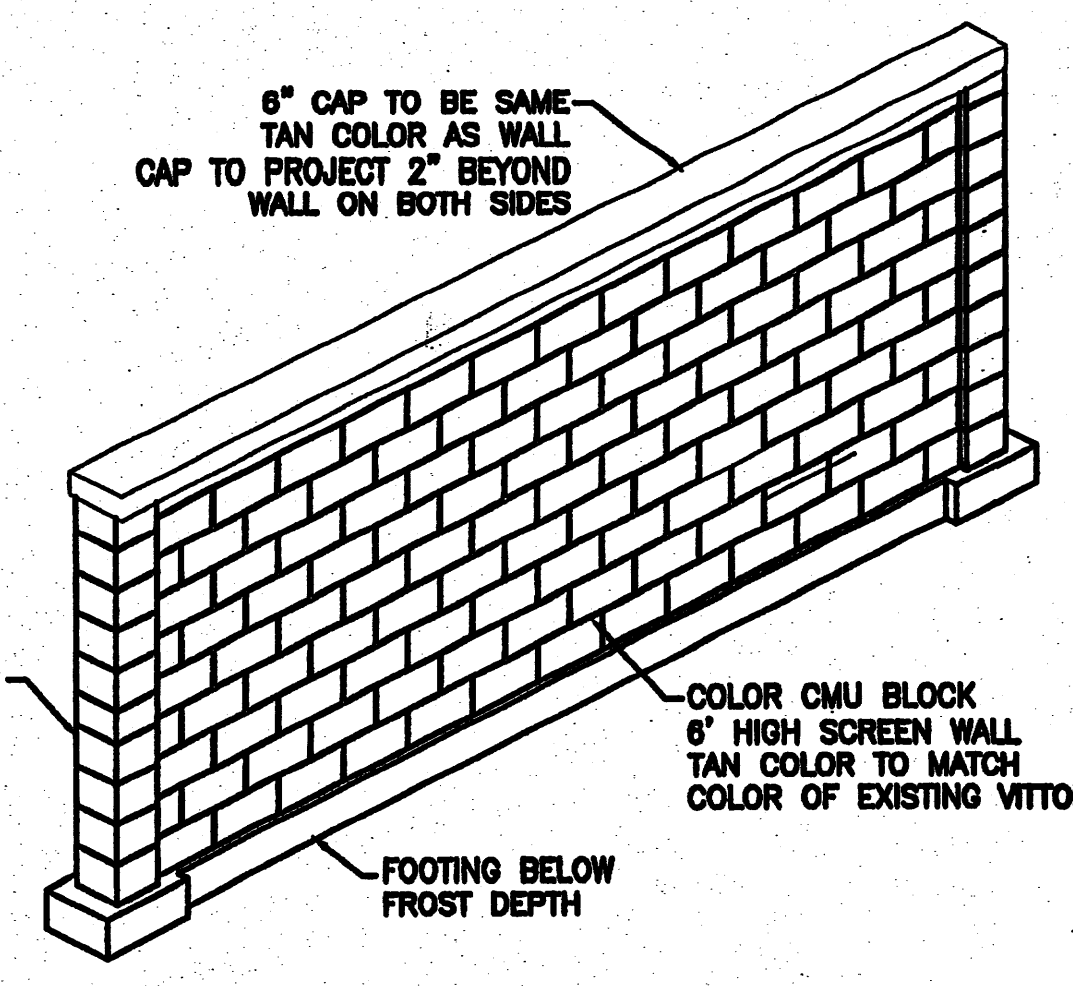
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

<i>[Signature]</i> Traffic Engineer, Transportation Division	6/23/04 Date
<i>[Signature]</i> Utilities Development	6/23/2007 Date
<i>[Signature]</i> Parks & Recreation Department	6/23/04 Date
<i>[Signature]</i> City Engineer	6/23/04 Date
<i>[Signature]</i> * Environmental Health Department (conditional)	Date
<i>[Signature]</i> Solid Waste Management	6-23-04 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	6/23/04 Date

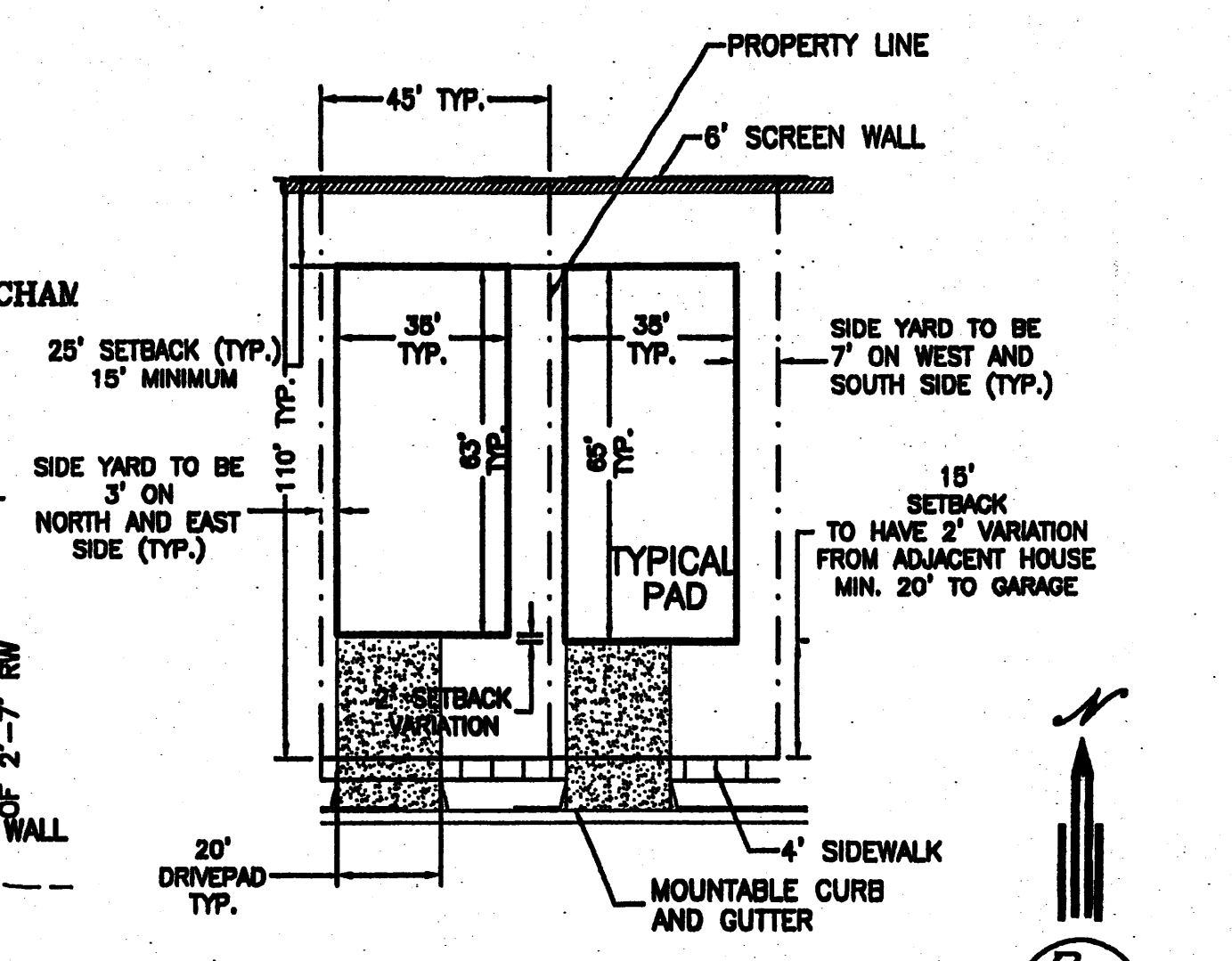
\* Environmental Health, if necessary  
12/16/03



**WROUGHT IRON FENCE DETAIL**  
NTS



**6' PERIMETER SCREEN WALL DETAIL**  
NTS

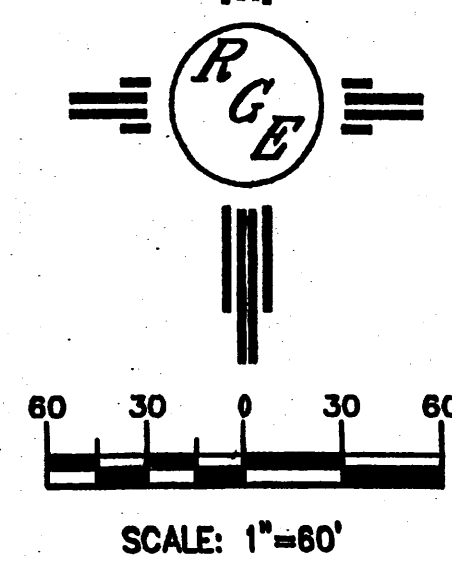


**TYPICAL LOT LAYOUT**  
NTS

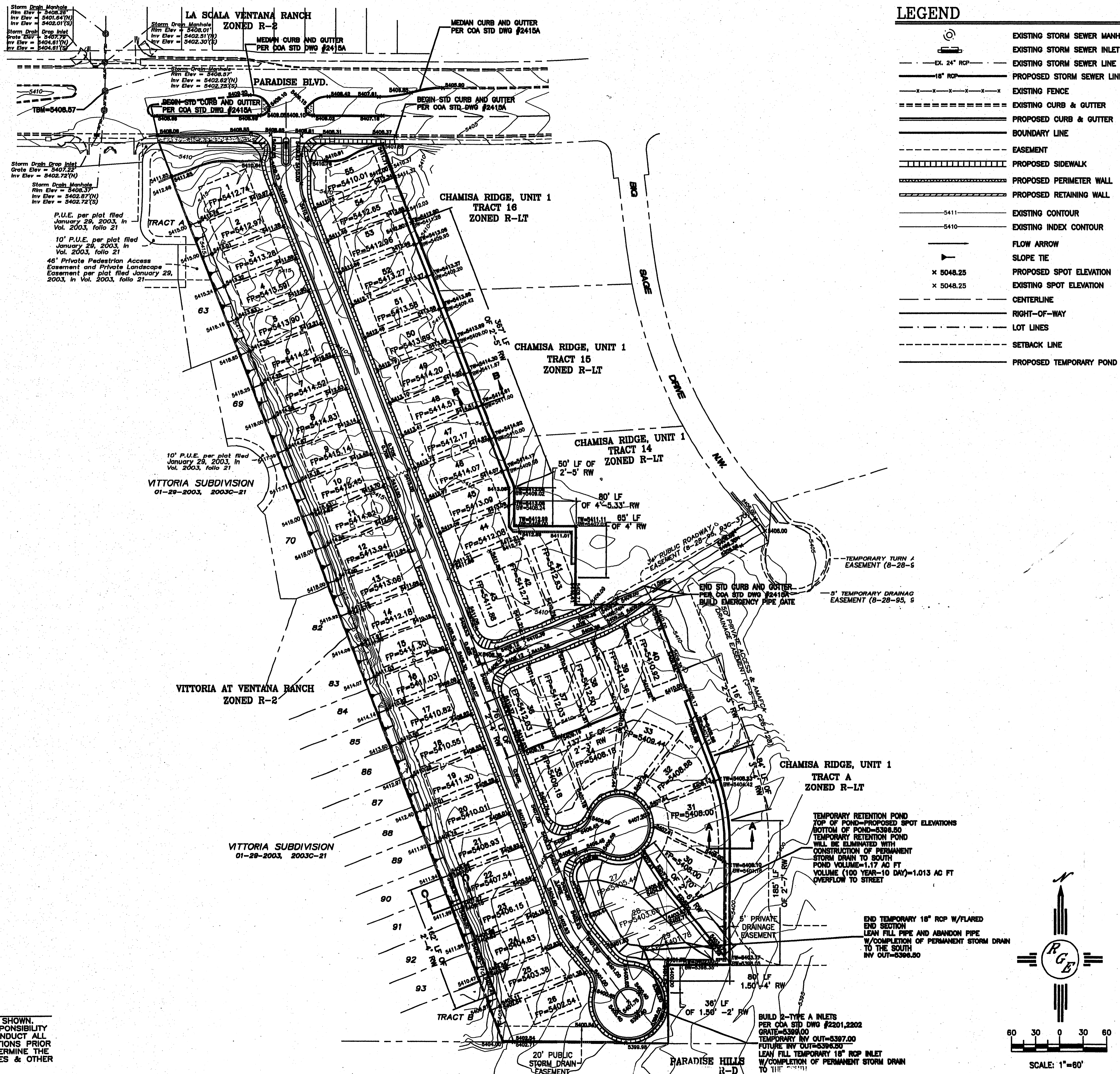
**LEGEND**

=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
=====	FUTURE CURB & GUTTER
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
-----	PROPOSED 4' SIDEWALK
-----	FUTURE 4' SIDEWALK
-----	CENTERLINE
-----	RIGHT-OF-WAY
-----	LOT LINES
-----	FUTURE LOT LINES
-----	BUILDING ENVELOPE
-----	PHASE LINE
-----	6' SCREEN WALL
-----	FUTURE 6' SCREEN WALL

	VILLA DE LA CHAMISA SITE PLAN FOR BUILDING PERMIT	DRAWN BY WCVJ
		DATE 6-22-04
DAVID SOULE P.E. #14522	3500 COMANCHE ROAD NE DUBLINO E. SUITE 8 ALBUQUERQUE, NM 87107 (505) 878-0888	2300-SPEPE-5-10-04X
		SHEET # 2 OF 12
		JOB # 2300

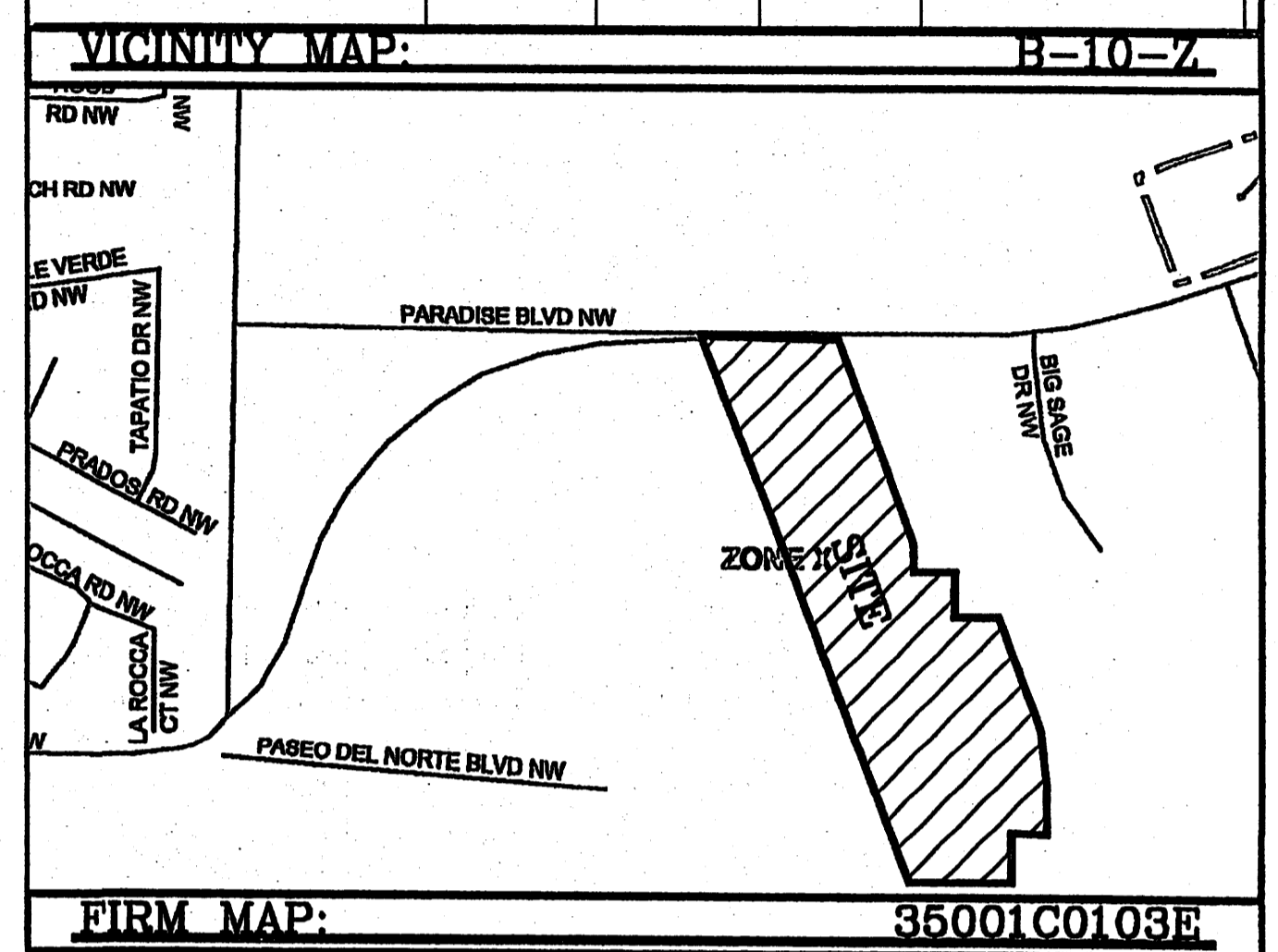
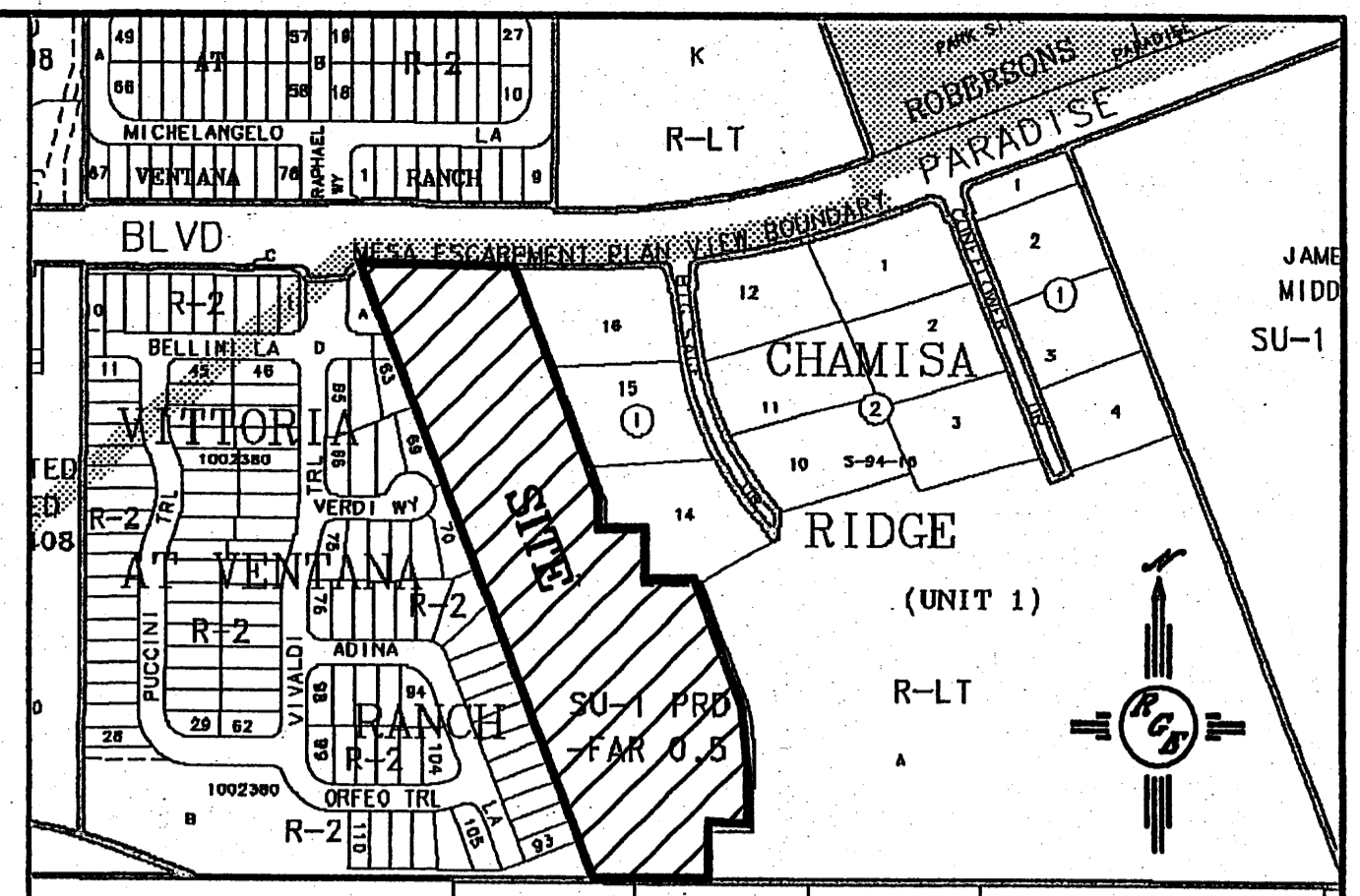






**LEGEND**

	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	PROPOSED PERIMETER WALL
	PROPOSED RETAINING WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	SETBACK LINE
	PROPOSED TEMPORARY POND



**LEGAL DESCRIPTION:**  
TRACT 1, LANDS OF MARIN

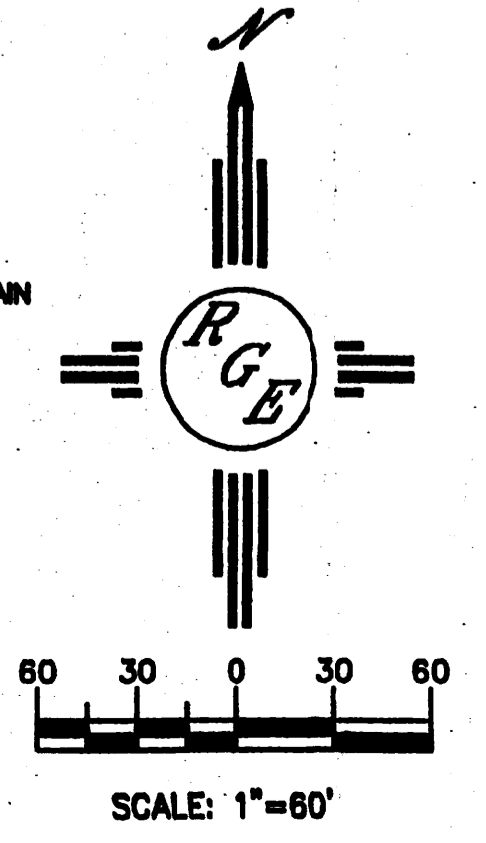
- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
  2. ALL CURB AND GUTTER TO BE STANDARD PER COA STD DWG #2415A UNLESS OTHERWISE NOTED.
  3. ALL INTERIOR REAR YARD SCREEN WALLS (WHERE THE WALL IS INSIDE OF RETAINING WALL) SHALL HAVE EVERY FOURTH BLOCK TURNED FOR DRAINAGE.

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

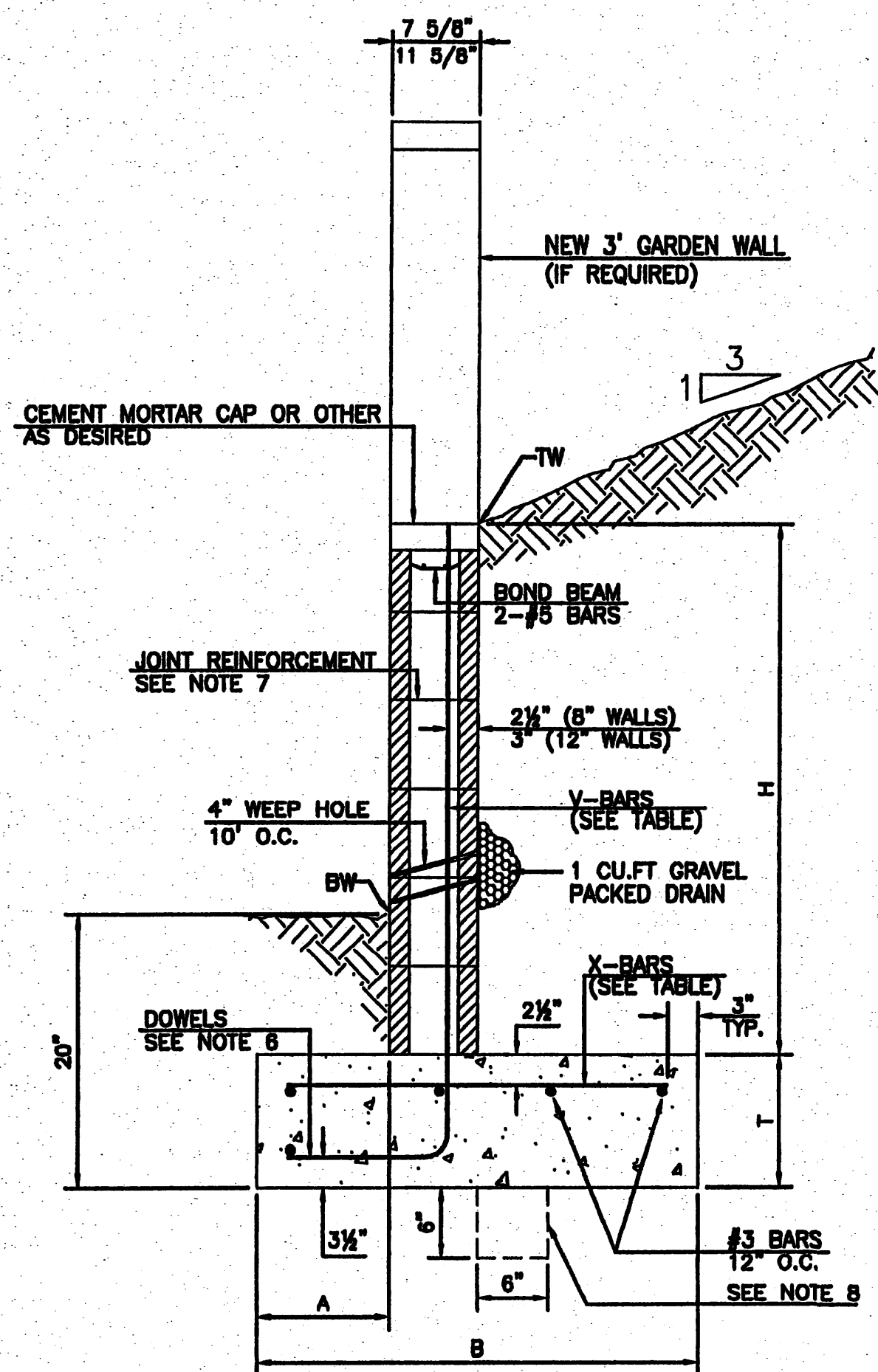
**ROUGH GRADING APPROVAL** \_\_\_\_\_ DATE \_\_\_\_\_

	VILLA DE LA CHAMISA	DRAWN BY WCKJ
	GRADING AND DRAINAGE PLAN	DATE 4-26-04
	Rio Grande Engineering	2300-GRB-4-21-04X
	3500 COMANCHE ROAD NE, ALBUQUERQUE, NM 87107 (505) 878-0888	SHEET # 3 OF 12
DAVID SOULE P.E. #14522		JOB # 2300

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.







**RETAINING WALL DETAIL**

NTS

**8 INCH REINFORCED CONCRETE MASONRY WALL**

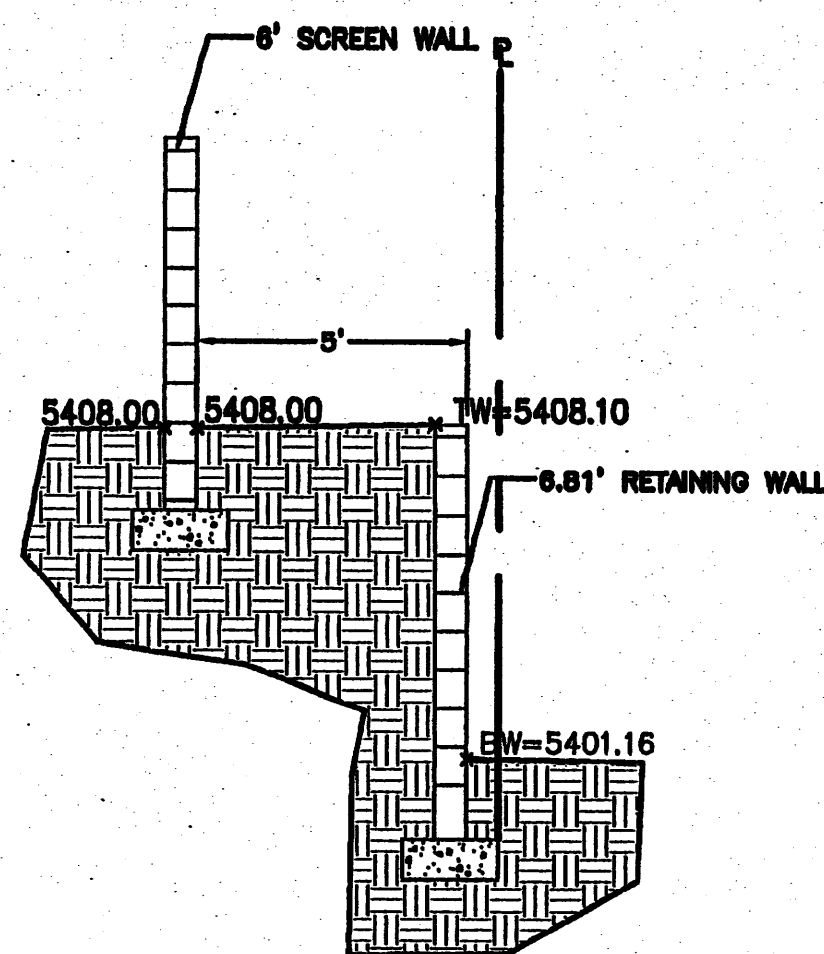
H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @34" O.C.
4'-0"	10"	2'-9"	9"	#4 @32" O.C.	#4 @36" O.C.
4'-8"	12"	3'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
5'-4"	14"	3'-8"	10"	#4 @16" O.C.	#4 @16" O.C.
6'-0"	16"	4'-2"	12"	#4 @16" O.C.	#4 @16" O.C.

**12 INCH REINFORCED CONCRETE MASONRY WALL**

H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#4 @24" O.C.	#3 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.

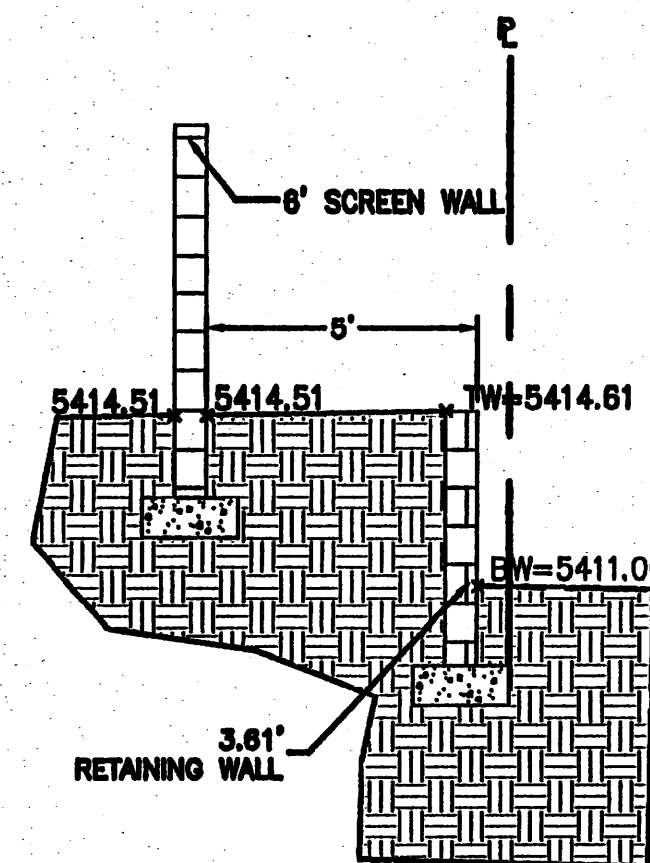
**GENERAL NOTES:**

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACKFILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-G-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- JOINT REINFORCEMENT CONSISTING OF 9GA. LONGITUDINAL WIRE AND 3/16" CROSS RODS SHALL BE PROVIDED AT 8" CENTERS VERTICALLY.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR FILASTERS EVERY 16'.



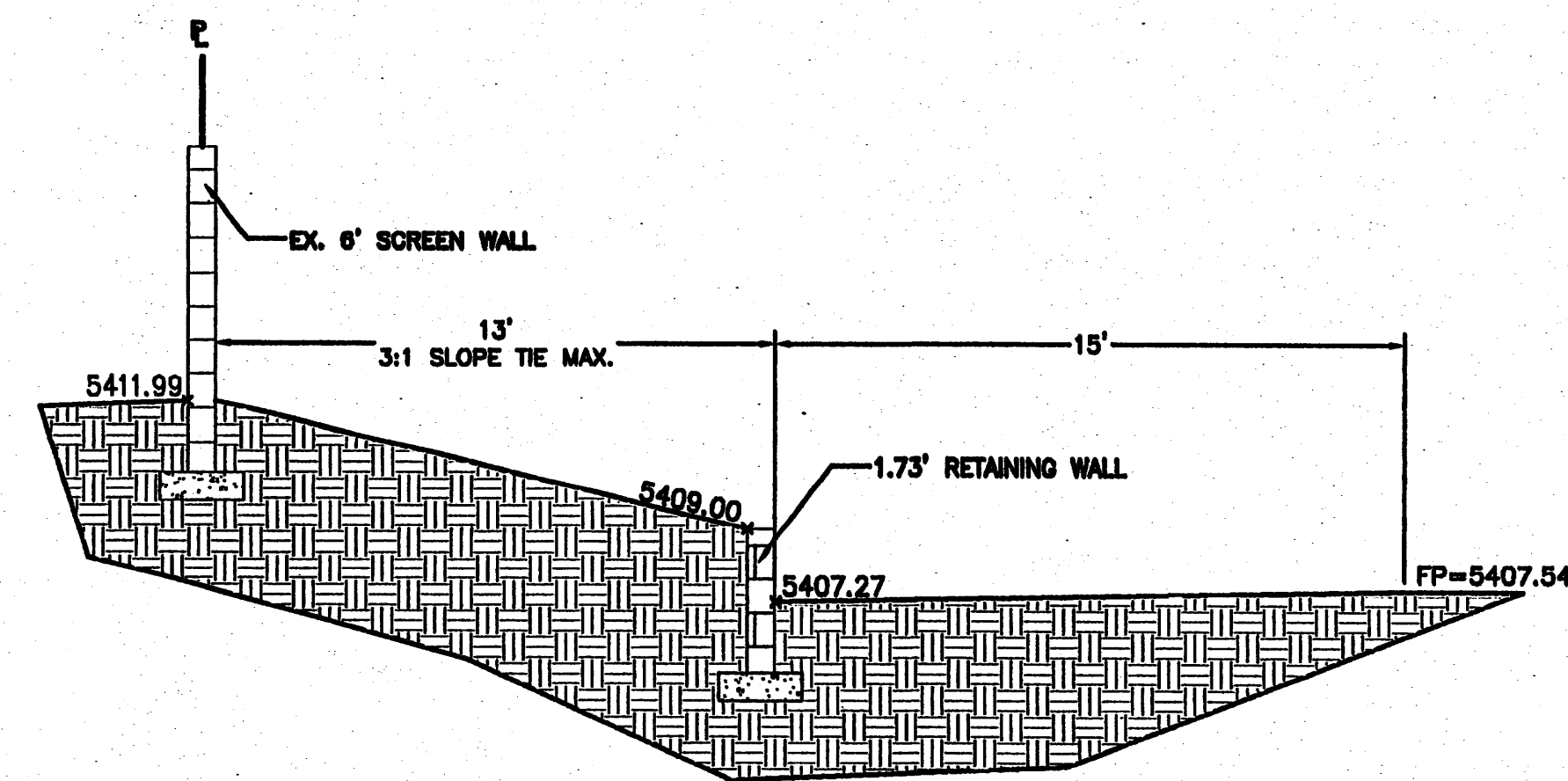
**SECTION A-A**

NTS



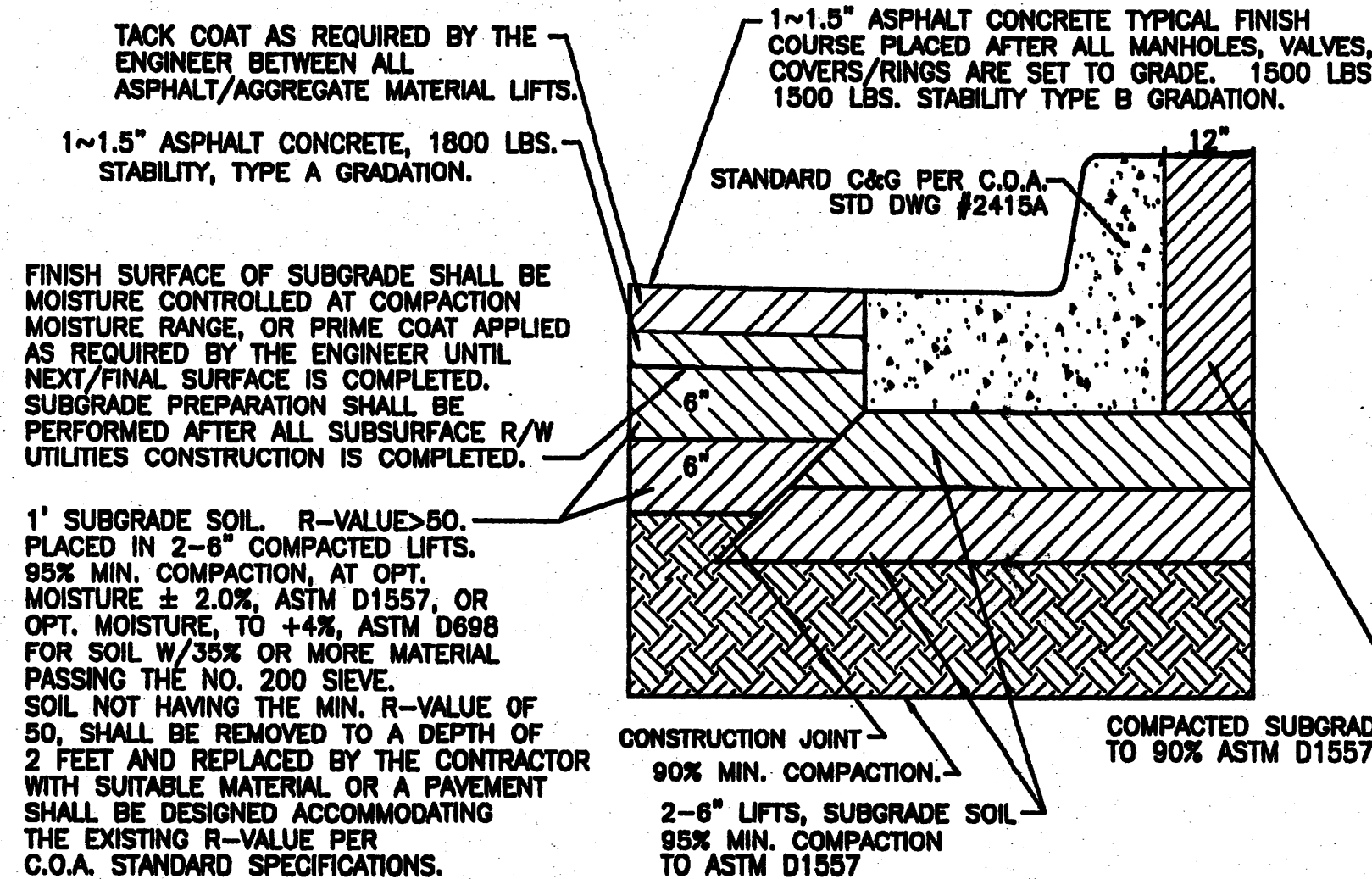
**SECTION B-B**

NTS



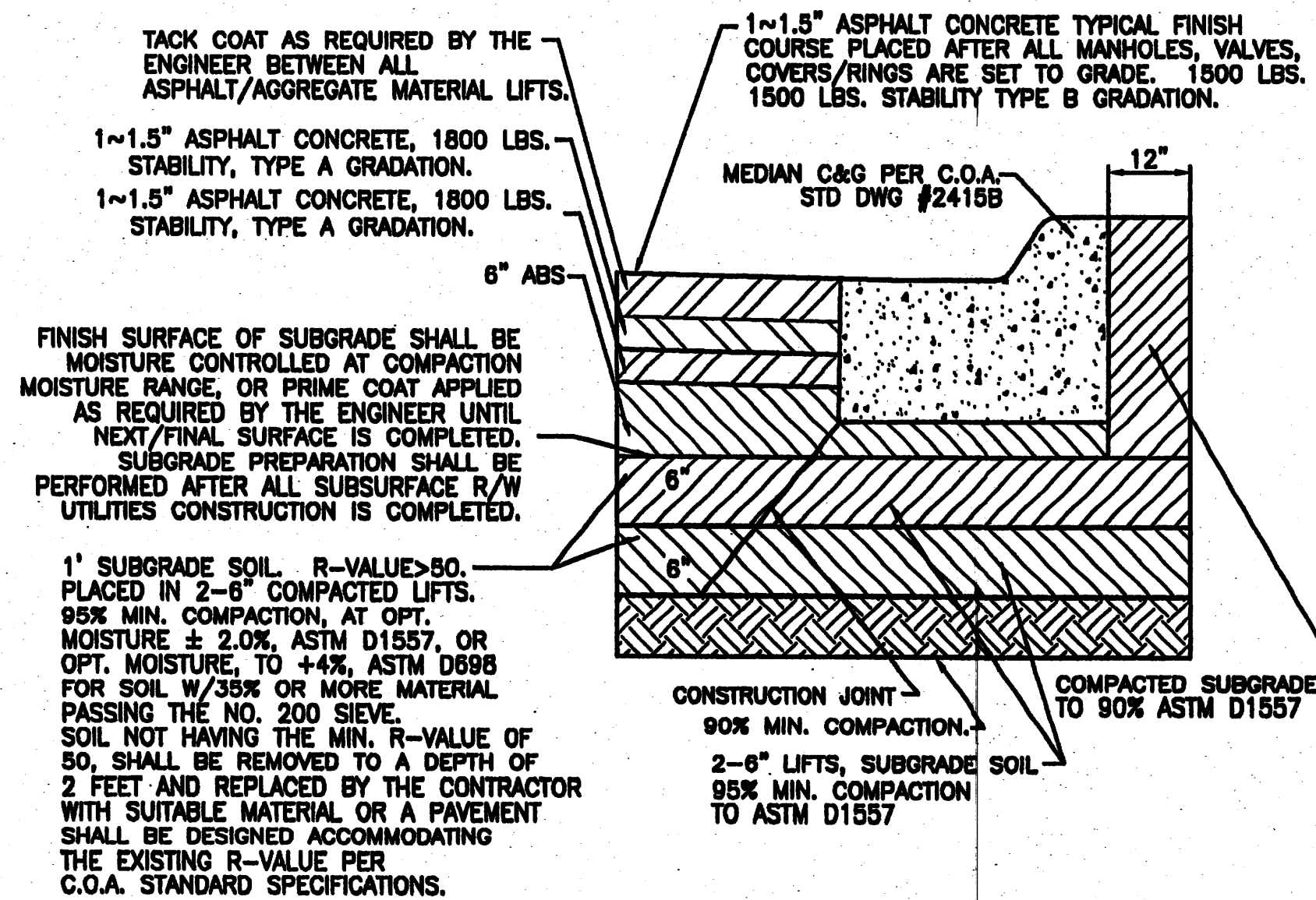
**SECTION C-C**

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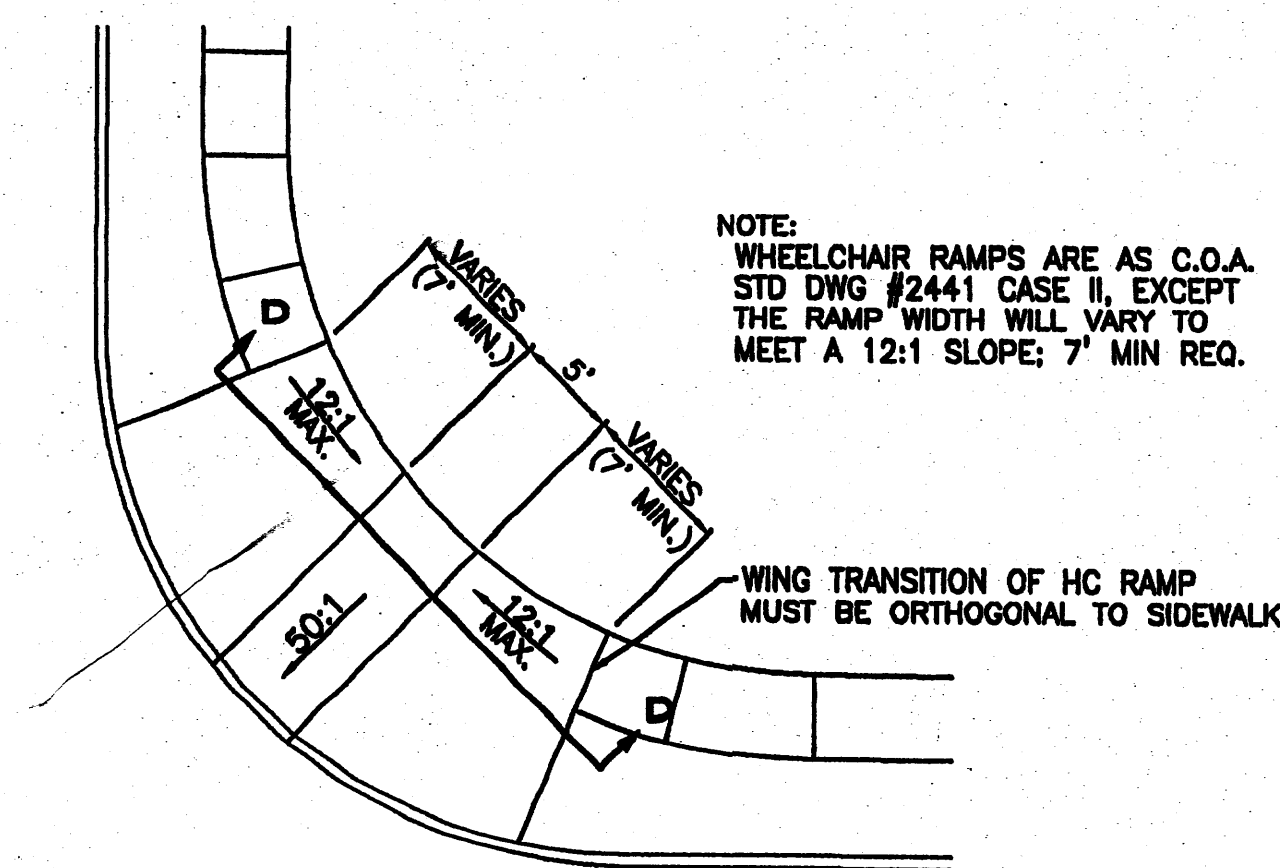
**RESIDENTIAL PAVING SECTION (STANDARD CURB)**

NTS



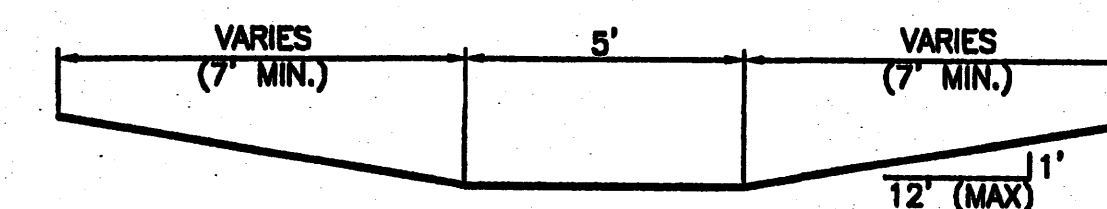
**PARADISE PAVING SECTION (MEDIAN CURB)**

NTS



**WHEELCHAIR RAMP DETAIL (TYP.)**

NTS

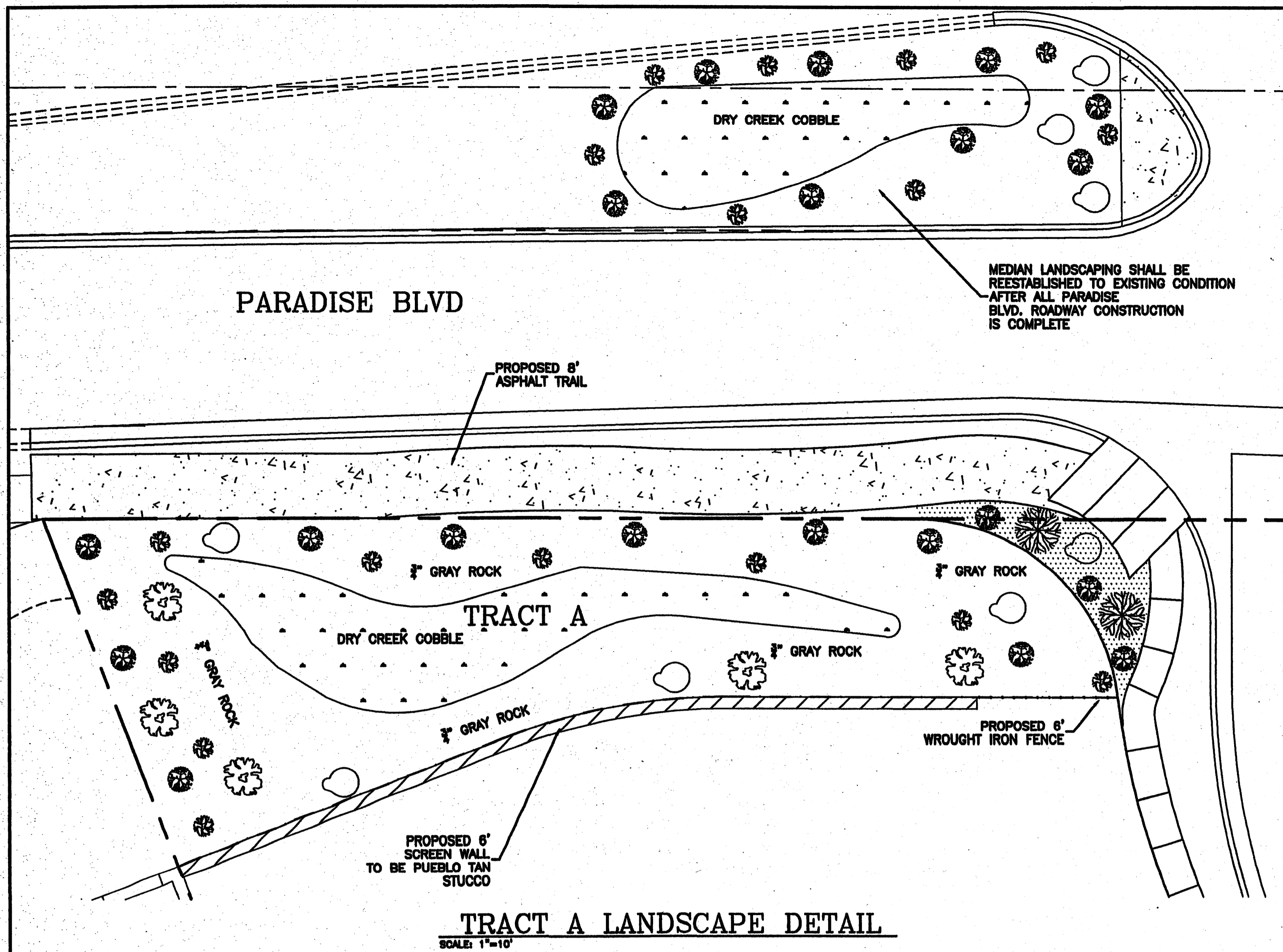


**SECTION D-D**

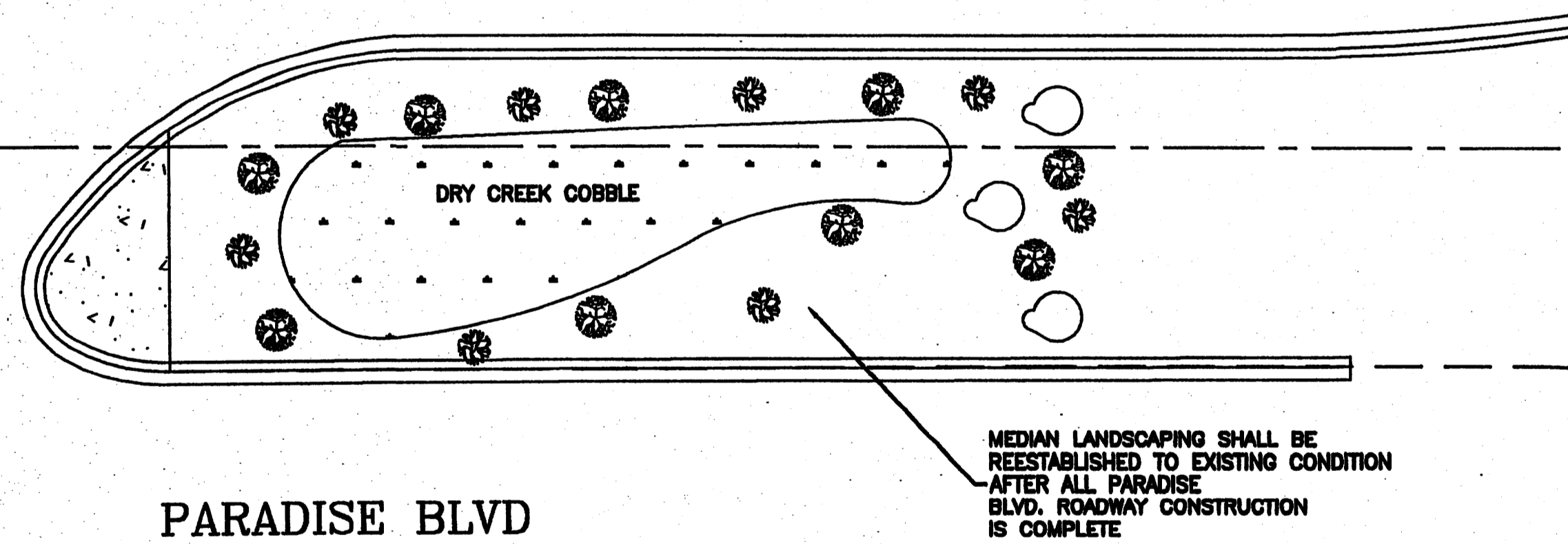
NTS

	<b>VILLA DE LA CHAMISA</b> <b>GRADING AND DRAINAGE DETAILS</b>	ENGINEER'S SEAL DRAWN BY WCHJ DATE 4-26-04 2300-GRB-4-21-04X
		SHEET # 4 OF 12 JOB # 2300

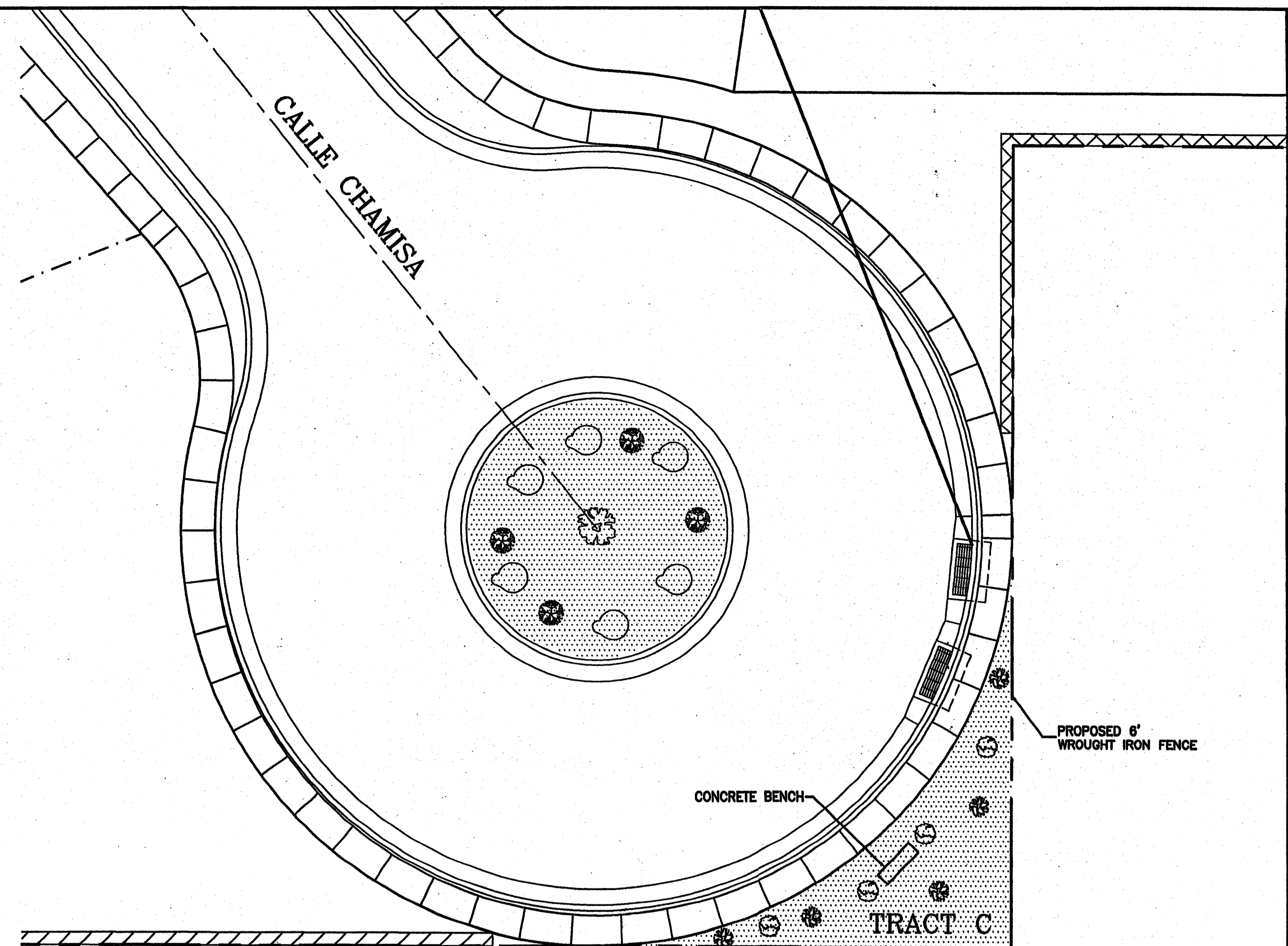




**TRACT A LANDSCAPE DETAIL**  
SCALE: 1"=10'



**TRACT B LANDSCAPE DETAIL**  
SCALE: 1"=10'



**TRACT C LANDSCAPE DETAIL**  
SCALE: 1"=10'

**LANDSCAPING SCHEDULE**

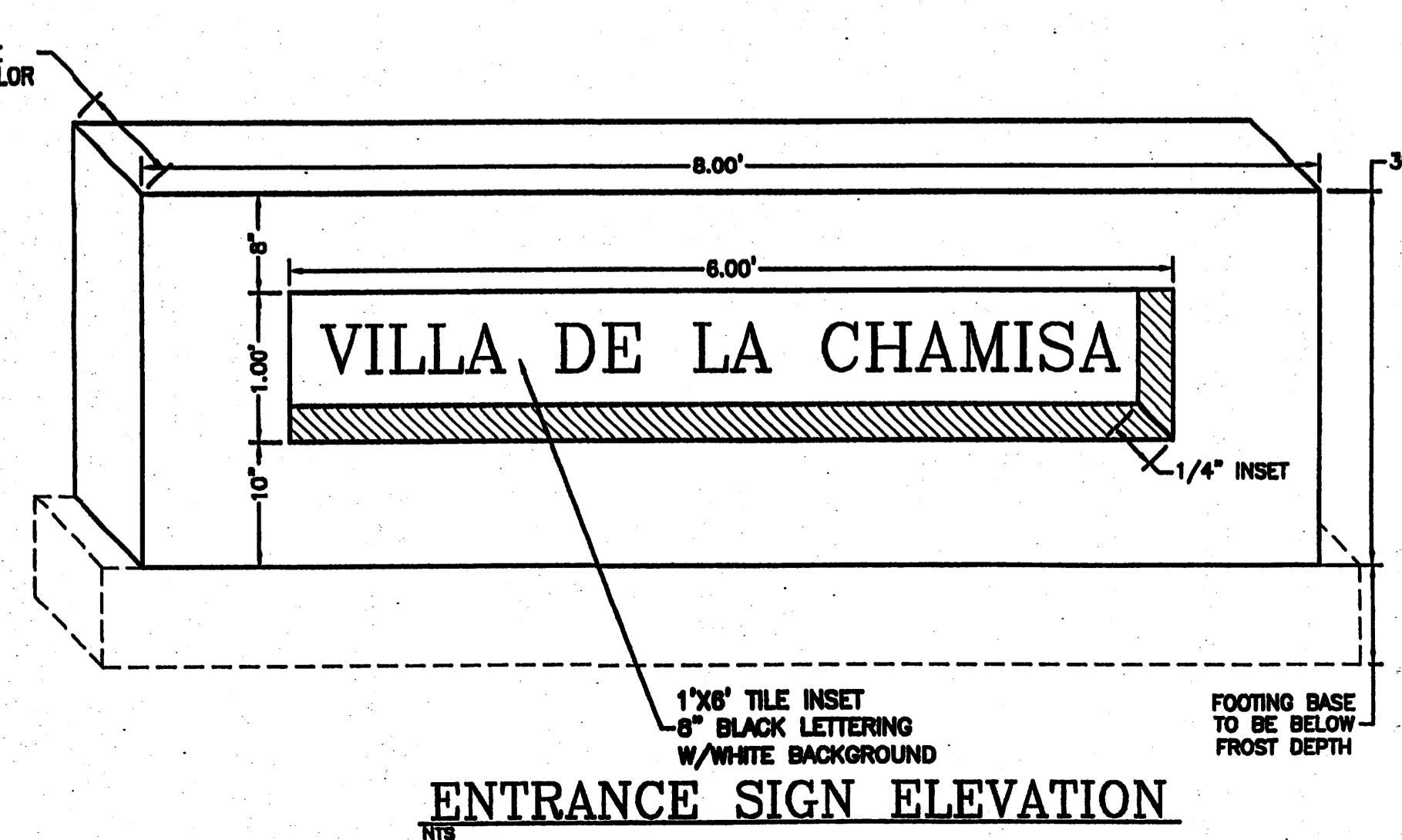
SYMBOL	COMMON NAME	SIZE
	DESERT WILLOW	4-8'
	CHAMISA / BIG SAGE	5 GAL.
	AUSTRIAN PINE PINE	4-8'
	SINGLE SEED JUNIPER	8-10'
	2' BOULDERS	2'
	SANTA FE CRUSHER FINES W/FILTER FABRIC	3/4"
	AUTUMN SAGE/RUSSIAN SAGE	3/4"

**GENERAL NOTES:**

ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED SITE THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.

ALL LANDSCAPING SHALL BE WATERED BY A COMPLETE UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC TIMER. POP-UP SPRAY HEADS OR IMPACT ROTORS TO SOD LAWN BUBBLERS TO TREES, AND DRIP IRRIGATION TO SHRUBS.



**ENTRANCE SIGN ELEVATION**

	<b>VILLA DE LA CHAMISA</b> <b>LANDSCAPE PLAN / SIGN ELEVATION</b>	DRAWN BY WGWJ DATE 6-22-04 2300-LNDB-5-10-04X
	 3300 COMMANCHE ROAD NE BUILDING 5, SUITE 9 ALBUQUERQUE, NM 87117 (505) 872-0888	SHEET # <b>5 OF 12</b> JOB # 2300



**LEGEND**

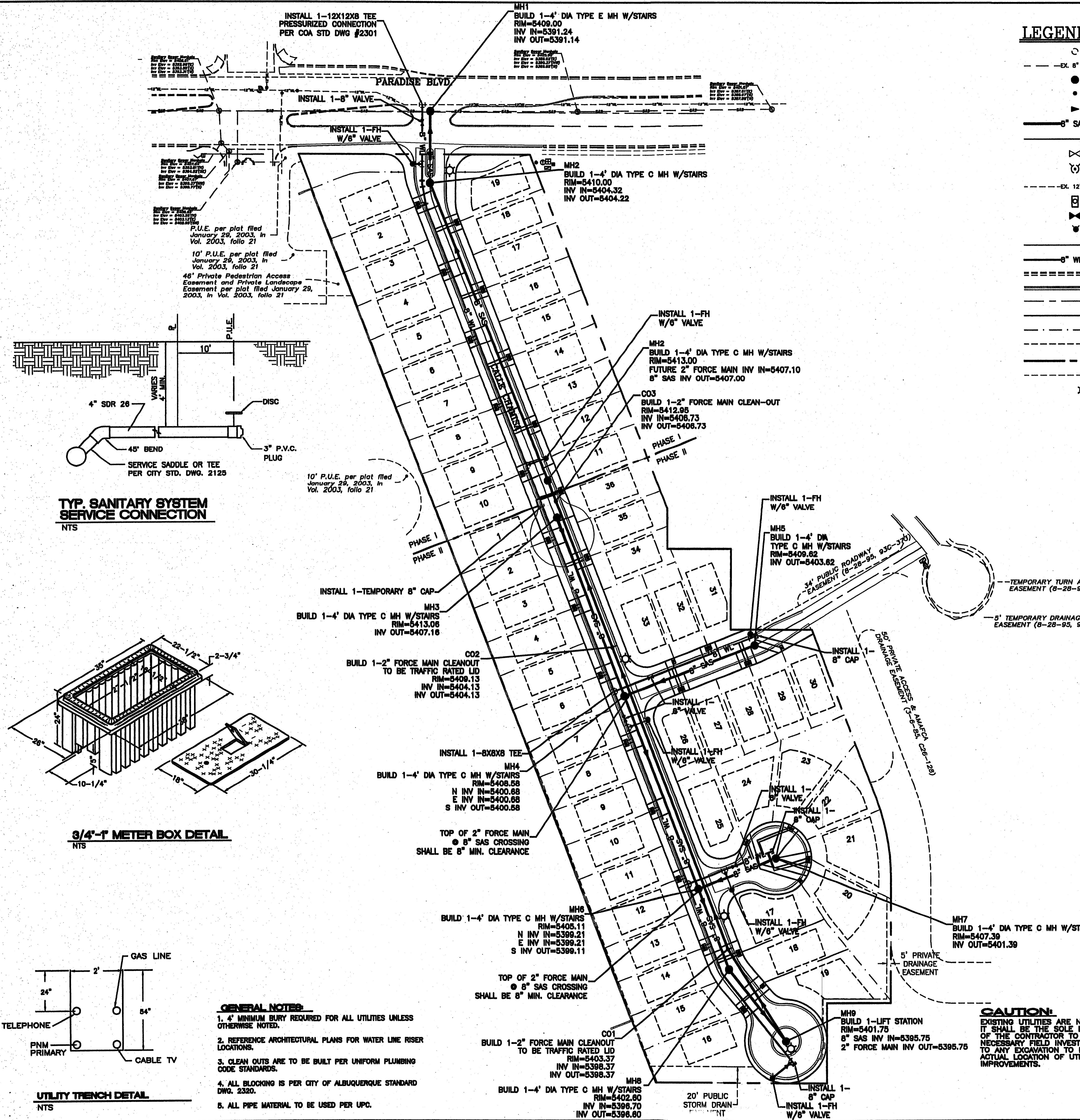
- EXISTING SAS MANHOLE
- EX 8" SAS — EXISTING SANITARY SEWER LINE
- PROPOSED SAS MANHOLE
- PROPOSED SAS FORCE MAIN CLEANOUT
- ▶ DIRECTION OF FLOW
- 8" SAS — PROPOSED SANITARY SEWER LINE
- SANITARY SEWER SERVICE LINE
- ⊗ EXISTING VALVE W/BOX
- ⊗ EXISTING FIRE HYDRANT
- EX 12" WL — EXISTING WATER LINE
- ⊗ PROPOSED METER
- ⊗ PROPOSED VALVE W/BOX
- ⊗ PROPOSED FIRE HYDRANT
- WATER SERVICE LINE
- 8" WL — PROPOSED WATER LINE
- ===== EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- SETBACK LINE
- BOUNDARY LINE
- EASEMENT
- ☼ STREET LIGHTS

**WATER SHUT-OFF PLAN SHUT OFF VALVES #**

- NOTES:**
1. WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
  2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  3. NOTIFY NEW MEXICO UTILITIES (888-2681) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
  4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET
  5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
  6. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

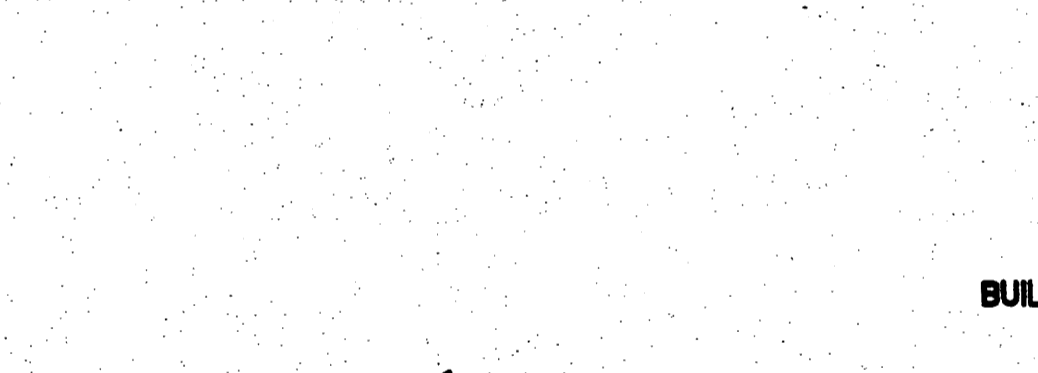
**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES 3 DAYS IN ADVANCE OF CONSTRUCTION.



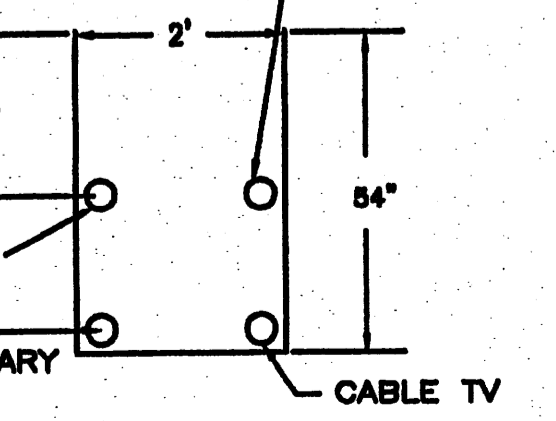
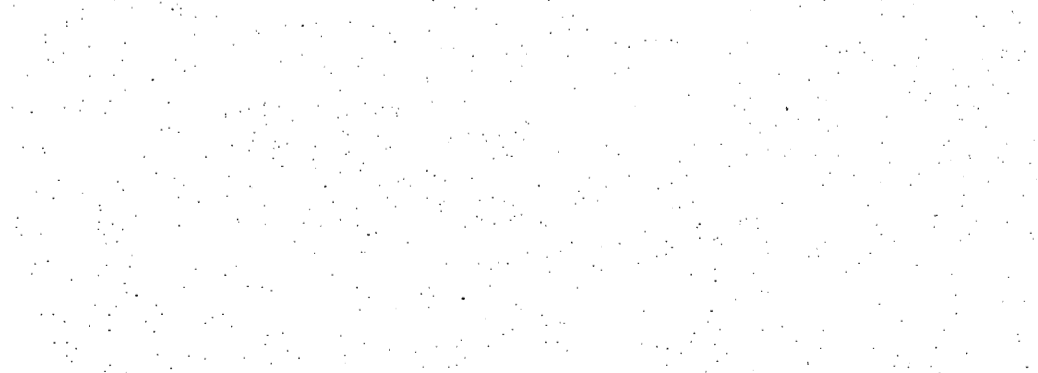
**TYP. SANITARY SYSTEM SERVICE CONNECTION**

NTS



**3/4\"/>**

NTS



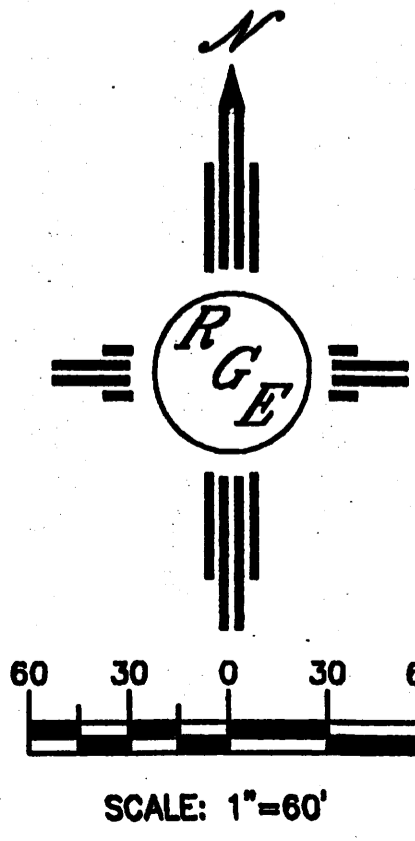
**UTILITY TRENCH DETAIL**

NTS

**GENERAL NOTES:**

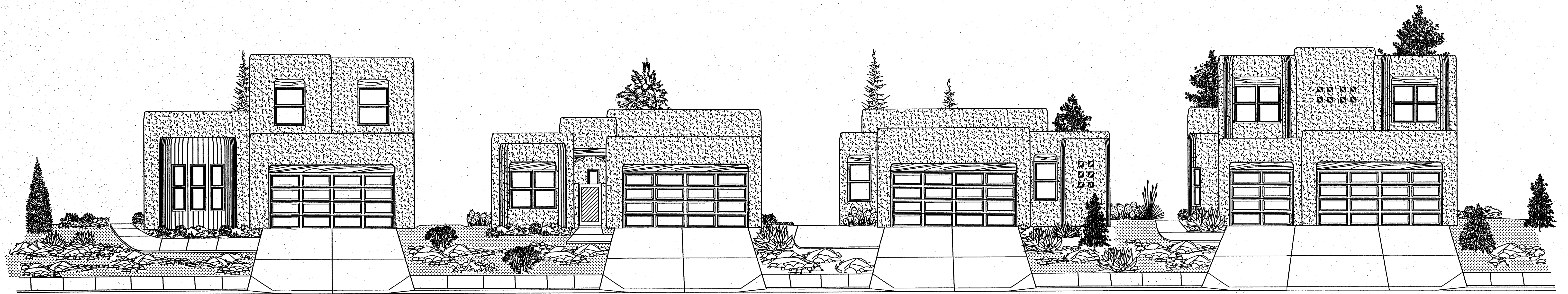
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



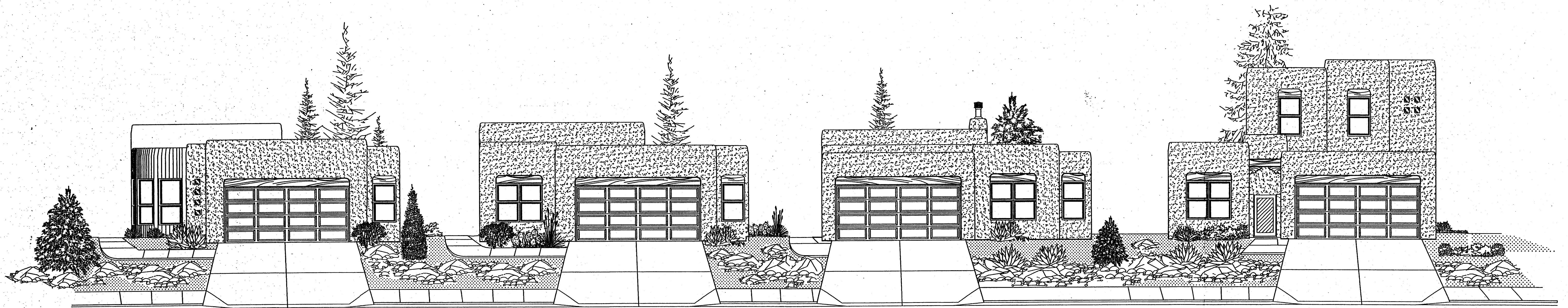
	<b>VILLA DE LA CHAMISA</b> <b>MASTER UTILITY PLAN</b>	DRAWN BY WCVJ DATE 5-19-04 2300-MB-5-10-04X
		SHEET # <b>6 OF 12</b> JOB # 2300





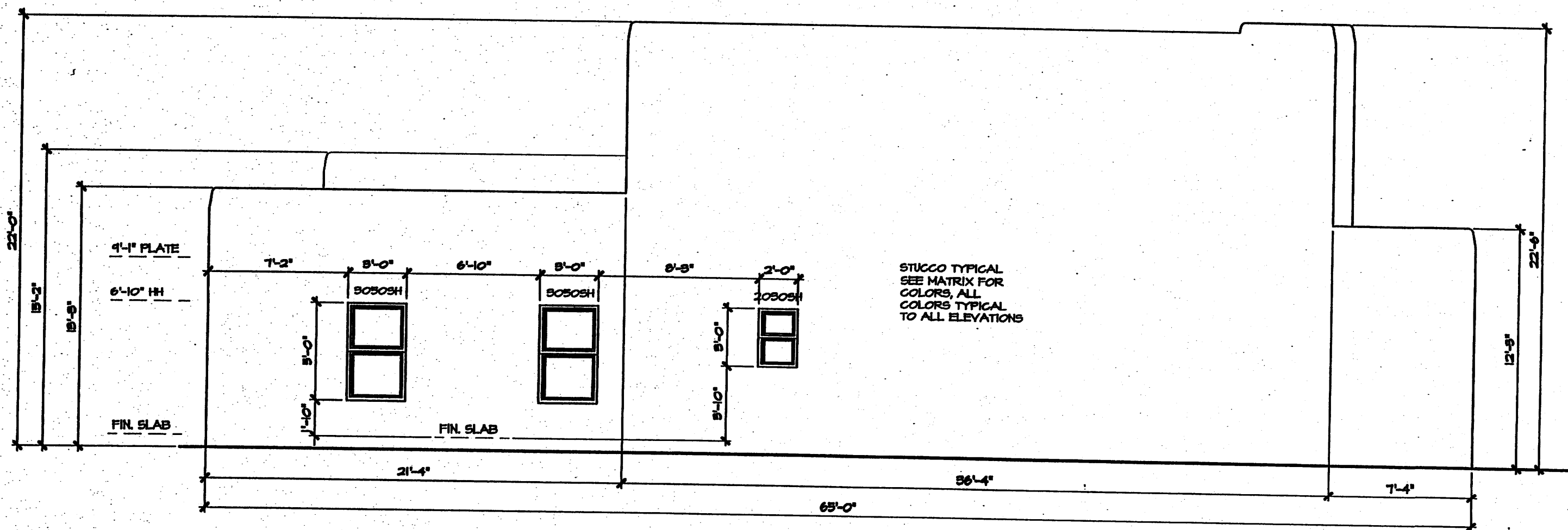
Stillbrooke  
HOMES  
©STILLBROOKE HOMES, INC. 2004

VILLA DE LA CHAMISA

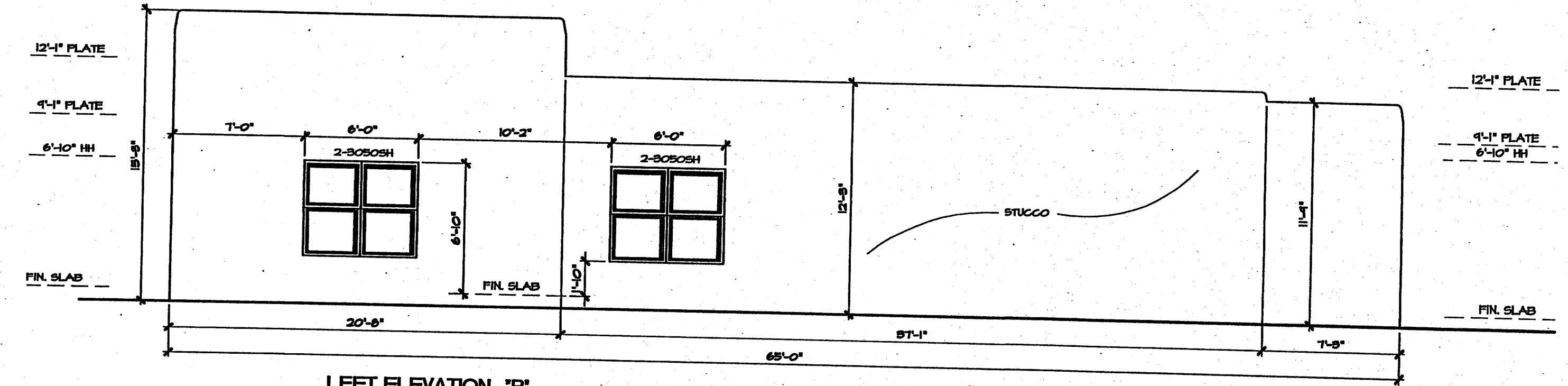


Streetscape

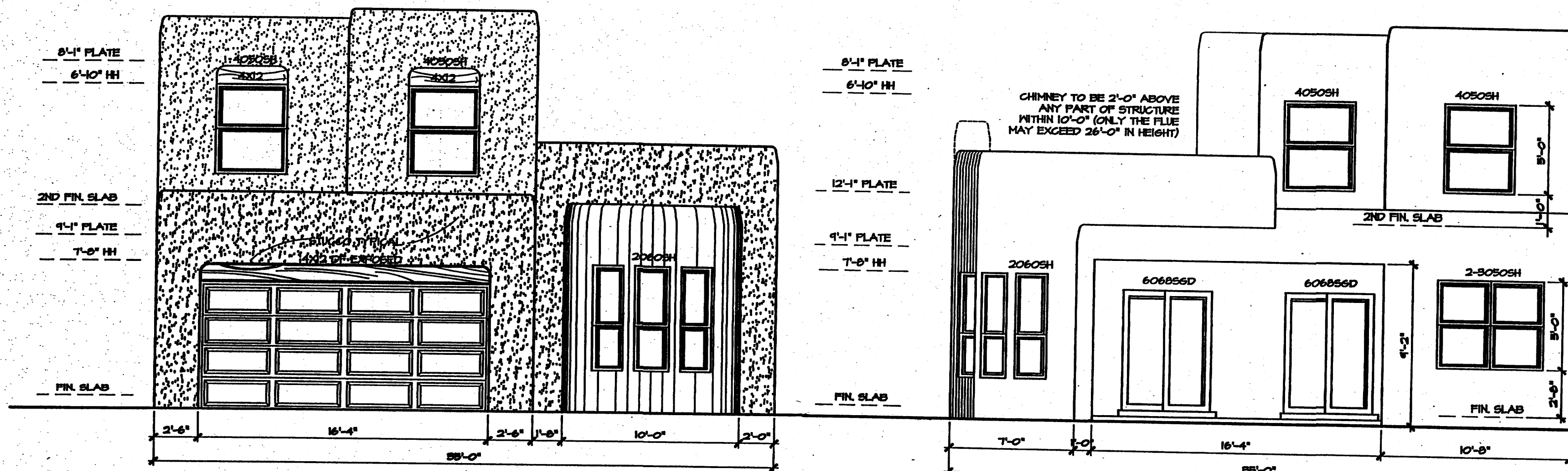




LEFT ELEVATION 'A'

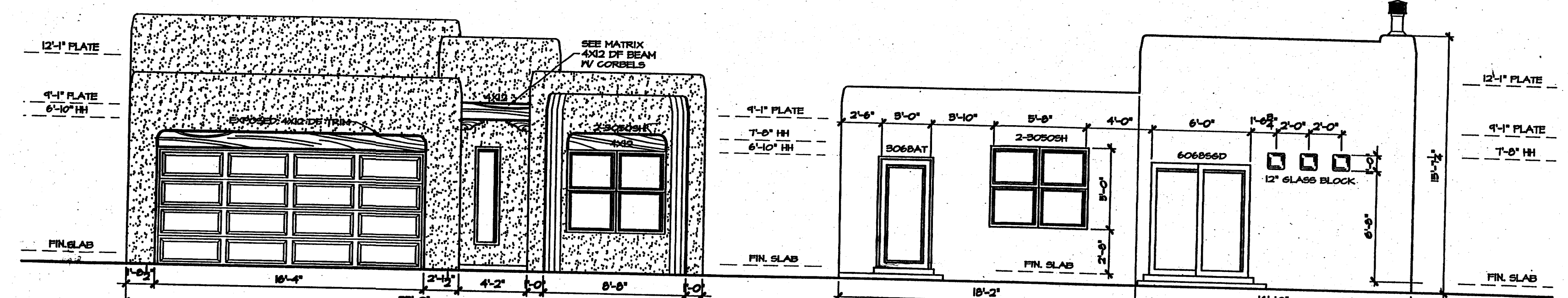


LEFT ELEVATION 'B'



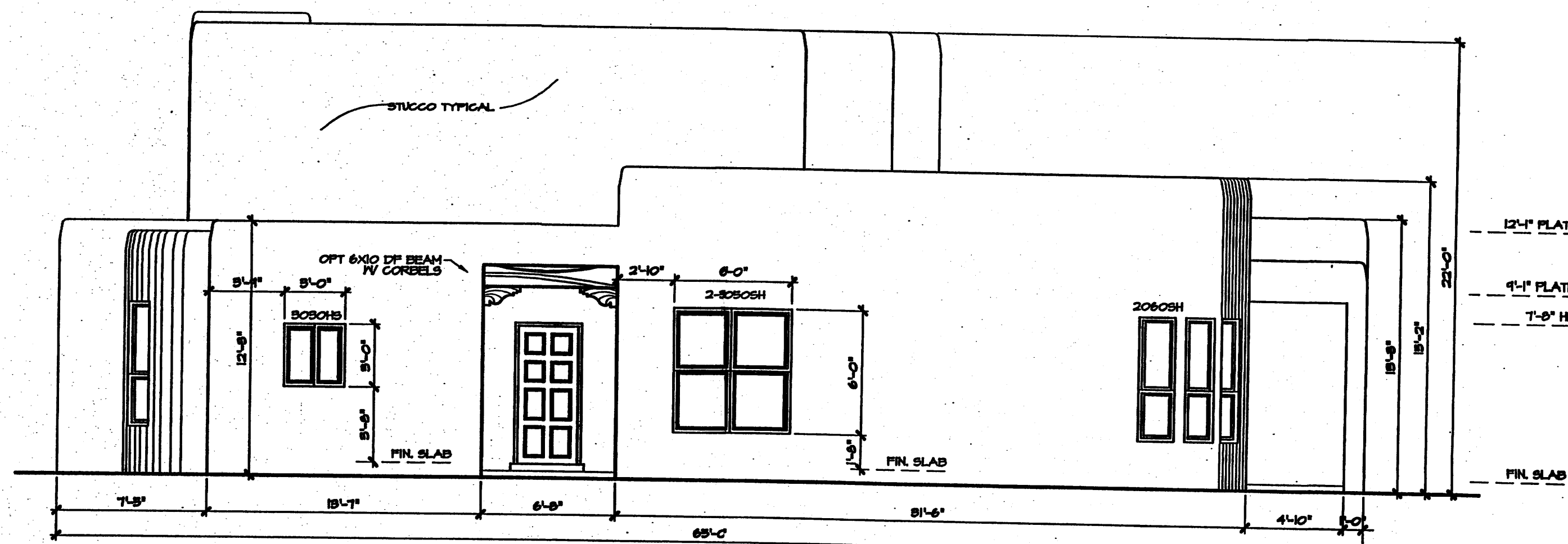
FRONT ELEVATION 'A'

REAR ELEVATION 'A'

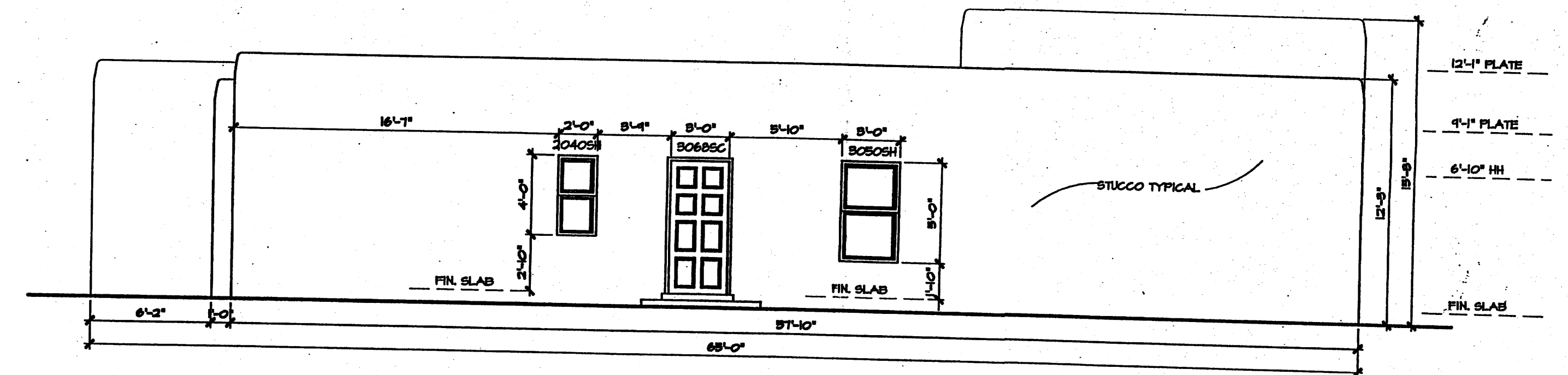


FRONT ELEVATION 'B'

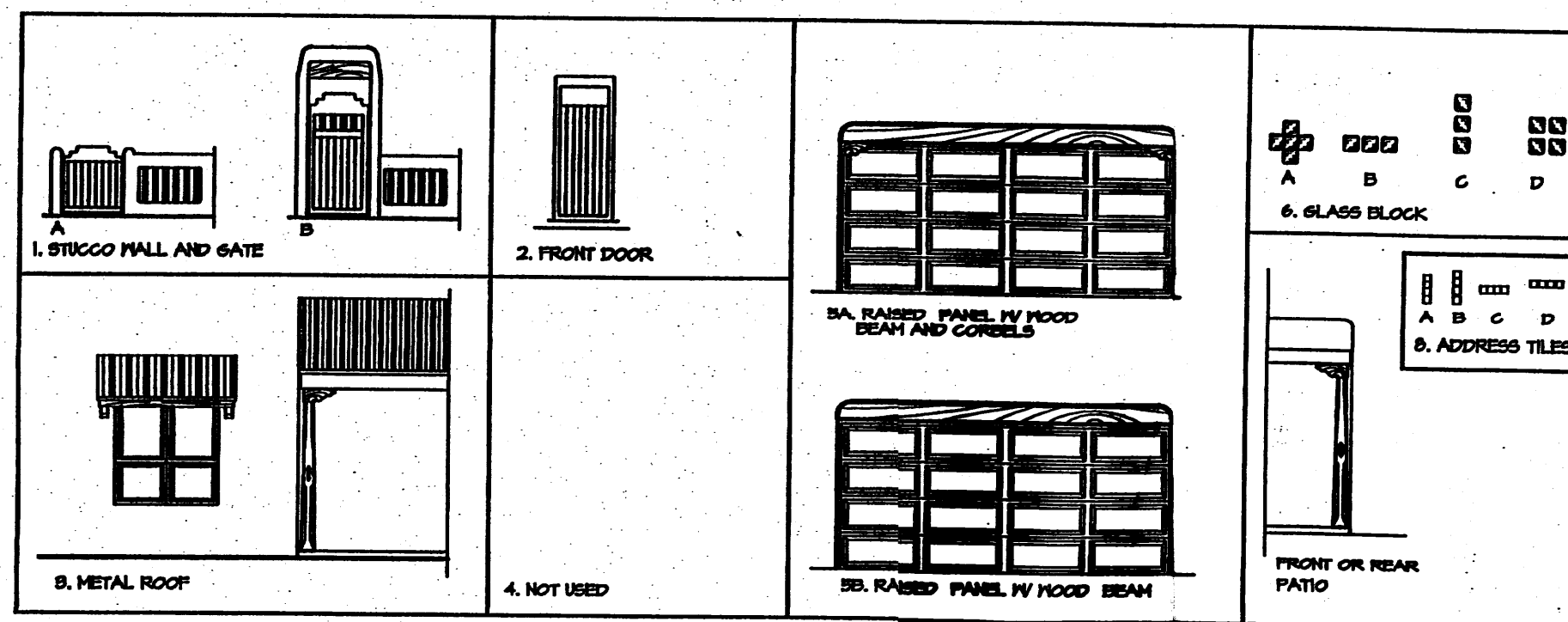
REAR ELEVATION 'B'



RIGHT ELEVATION 'A'



RIGHT ELEVATION 'B'



General Notes

- This development provides several options of plans, a selection of optional elements provides for a variation of unit plans and elevations for the buyers and the development while maintaining a consistent style. The matrix becomes a key design tool for the designer, buyer/seller and the COA, and shall be attached to the building permit process.
  - \* each unit must have a minimum of two items from group I thru 5
  - \* group 6 thru 11 are typical to all units.
  - \* elements typical to all units:
  - \* wood header above window and garage door, stained
  - \* stepped parapets
- Keyed notes refer to option elements and elements common to all units, typical all elevations

PLANS	STUCCO WALL & GATE	FRONT DOOR	METAL ROOF	CORBELS	GLASS BLOCK	GARAGE DOOR	ADDRESS TILES	Front Porch
A	•	•	•	•	•	•	•	•
B	•	•	•	•	•	•	•	•
C	•	•	•	•	•	•	•	•
D	•	•	•	•	•	•	•	•

OPTION MATRIX SEE GENERAL NOTE # 1

STUCCO COLORS ARE TYPICAL TO ALL ELEVATIONS

EL REY STUCCO
PIELES SERIES
DRY RIVER
CACTUS FLOWER
TACO
TERRA
SAGE
BUFFALO HORSE
CASA
LARIAT
YUMA
DEERSKIN
ROCK
POTTERY
STONE BLUFF
RIO BRAVO
HOSAN
RIVER ROCK
CLAY

VILLA DE LA CHAMISA  
ELEVATIONS

**Stillbrooke**  
HOMES

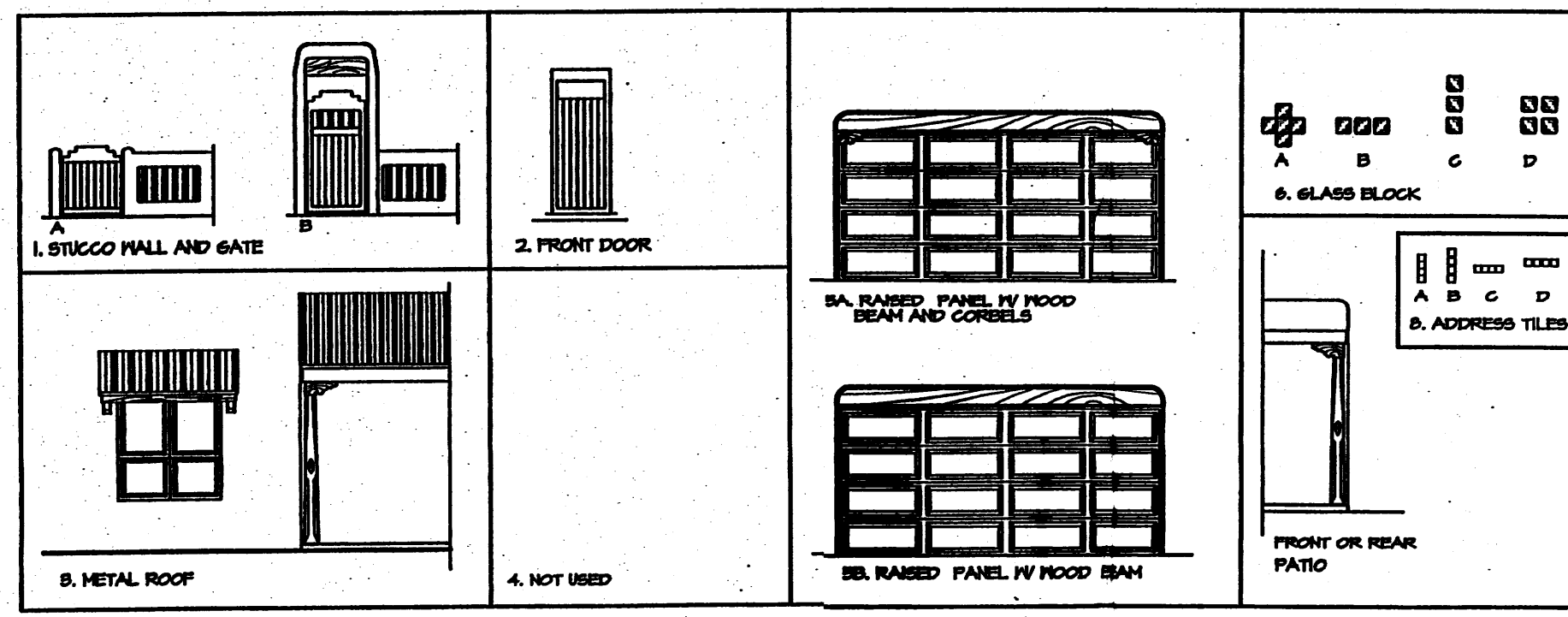
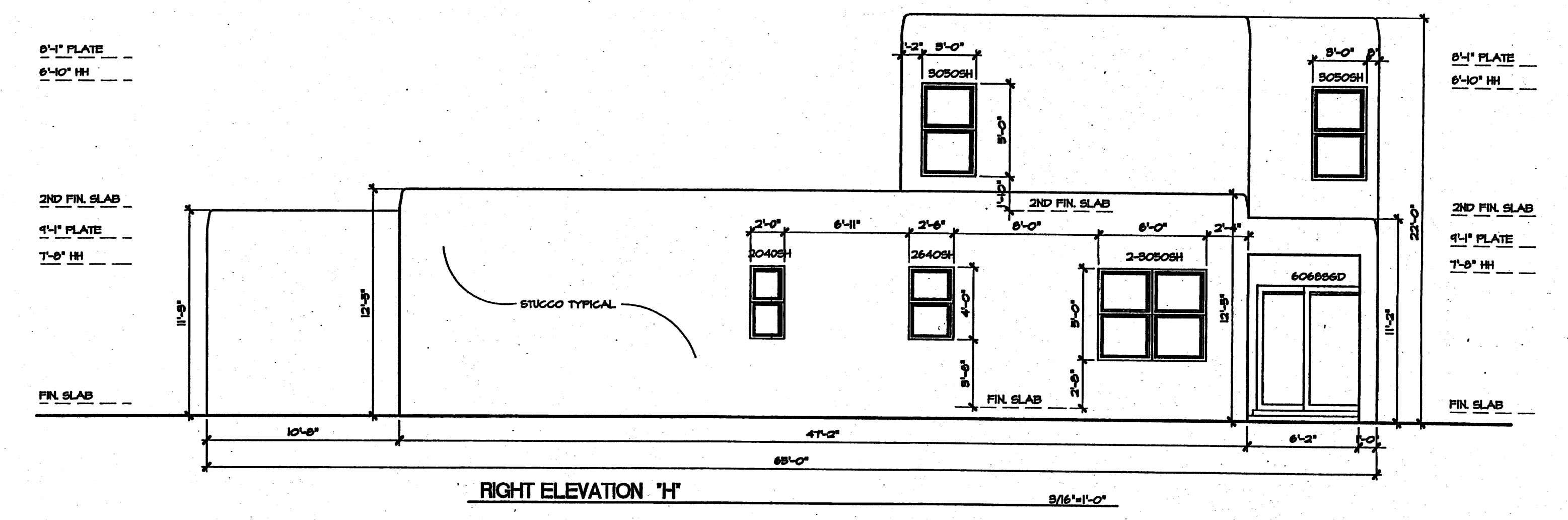
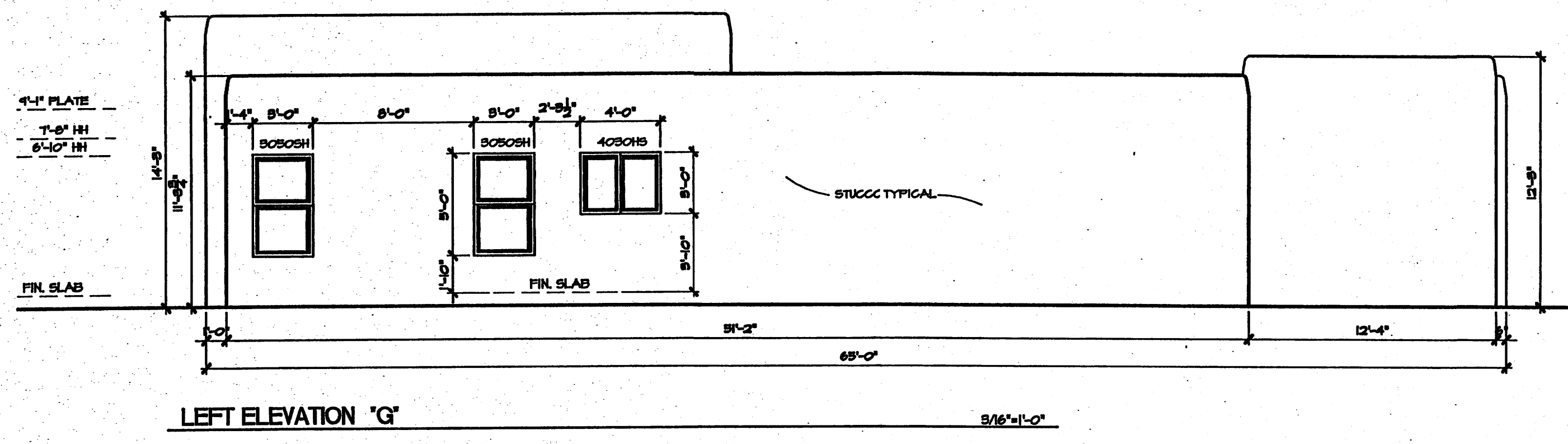
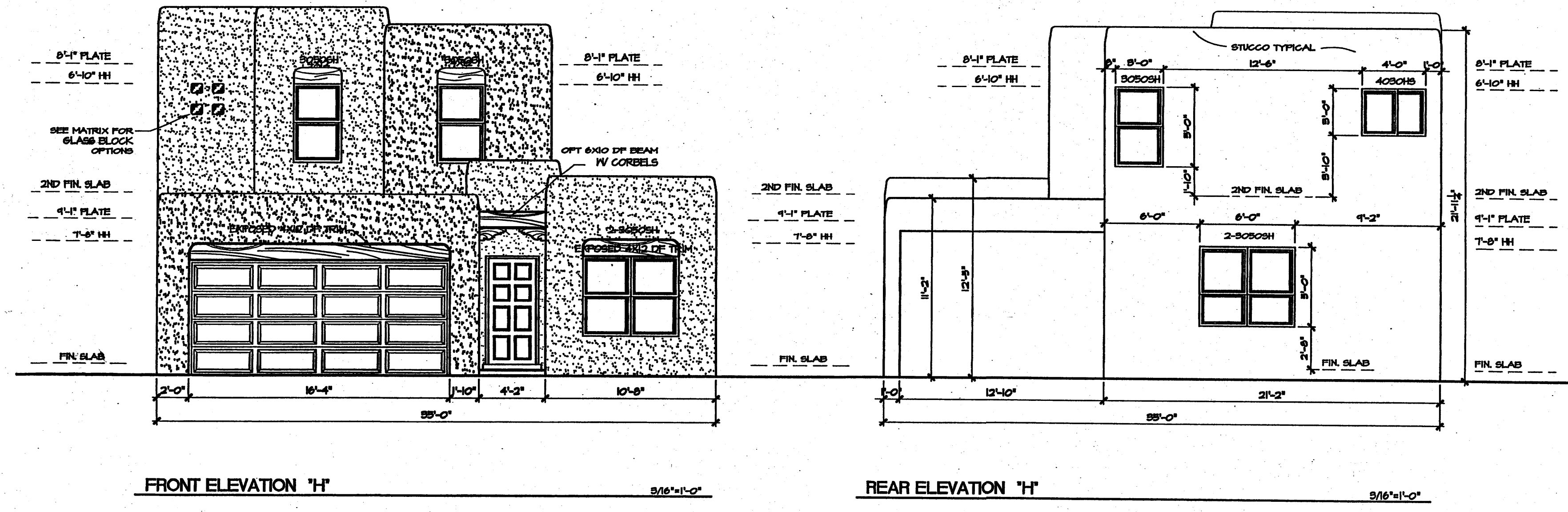
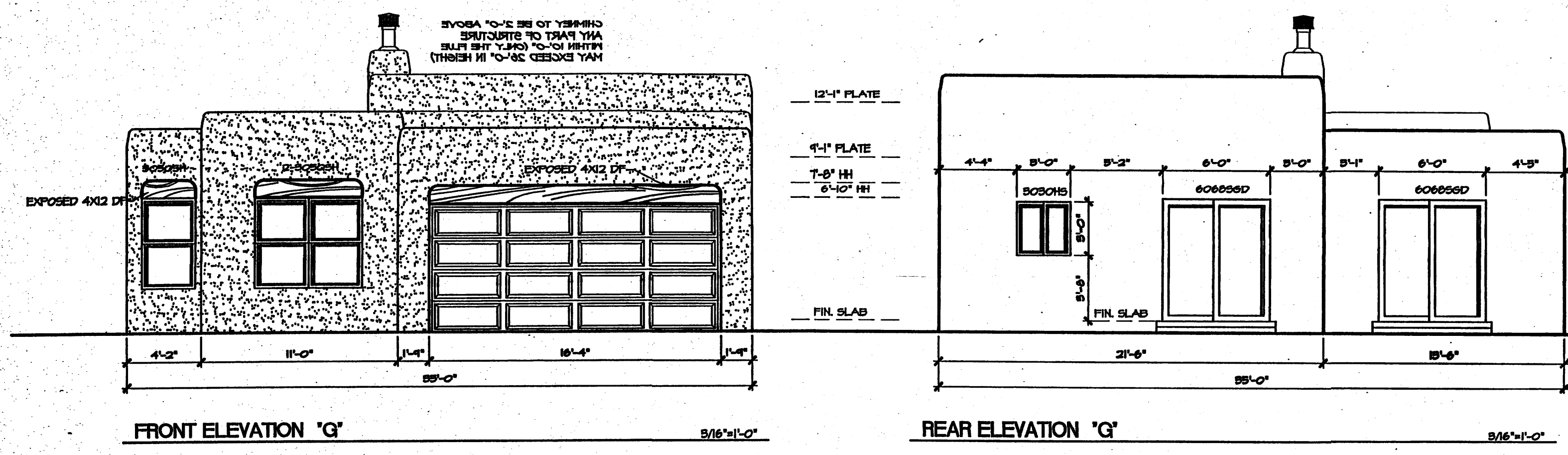
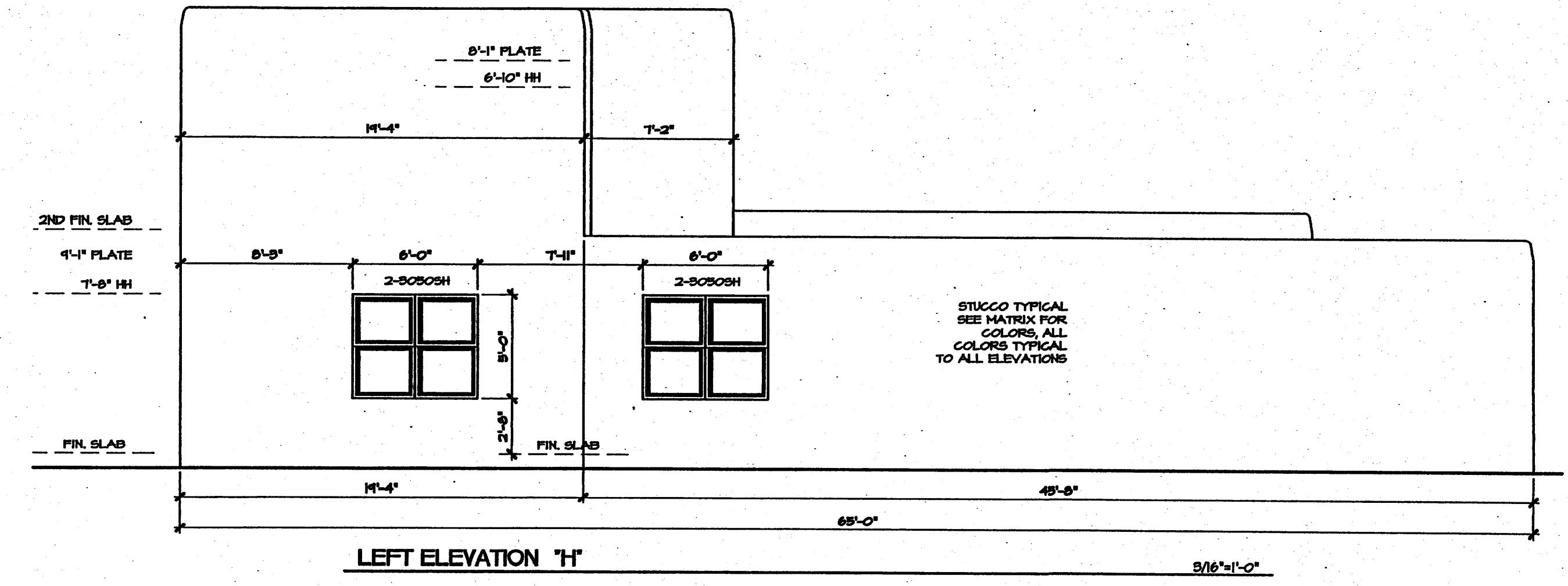
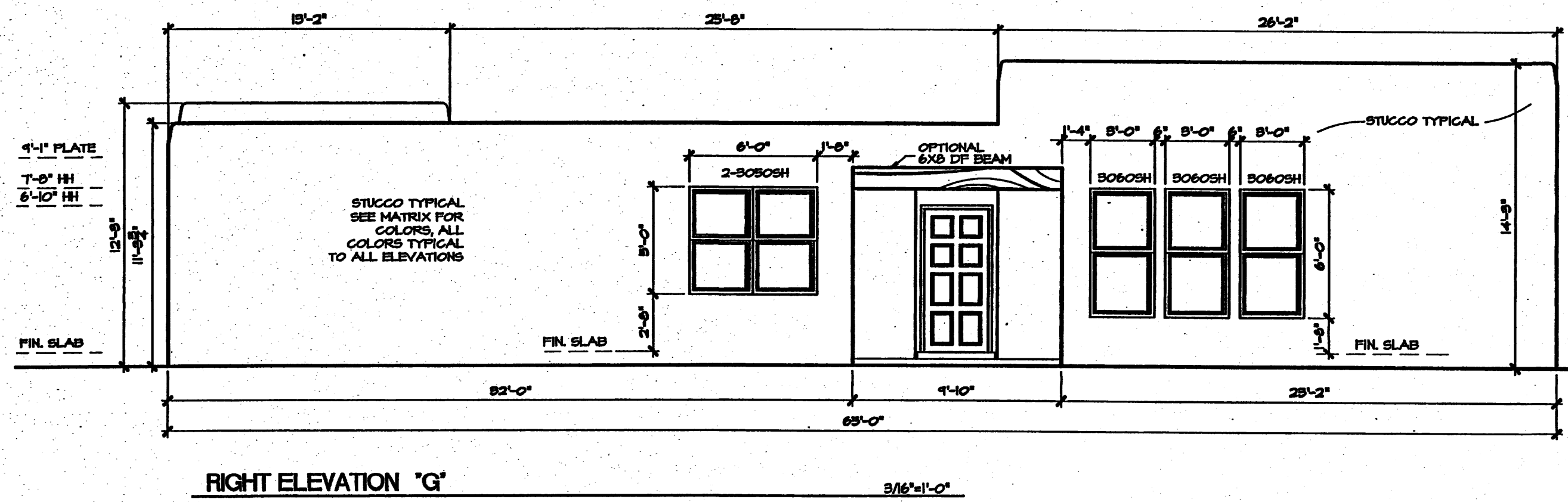












**General Notes**

- This development provides several options of plans, a selection of optional elements provides for a variation of unit plans and elevations for the buyers and the development while maintaining a consistent style. The matrix includes all options available to the buyer. The matrix becomes a key design tool for the designer, buyer/seller and the COA, and shall be attached to the building permit process.
  - \* each unit must have a minimum of two items from group 1 thru 5
  - \* group 6 thru 11 are typical to all units.
  - \* elements typical to all units:
  - \* wood header above window and garage door, stained
  - \* stepped parapets
- Keyed notes refer to option elements and elements common to all units. typical all elevations

**OPTION MATRIX** SEE GENERAL NOTE #1

PLANS	STUCCO WALL & GATE	FRONT DOOR	METAL ROOF	GLASS BLOCK	GLASS BLOCK	GARAGE DOOR	ADDRESS TILES	NOTED
A	•	•	•	•	•	•	•	•
B	•	•	•	•	•	•	•	•
C	•	•	•	•	•	•	•	•
D	•	•	•	•	•	•	•	•
E	•	•	•	•	•	•	•	•
F	•	•	•	•	•	•	•	•
G	•	•	•	•	•	•	•	•
H	•	•	•	•	•	•	•	•
I	•	•	•	•	•	•	•	•
J	•	•	•	•	•	•	•	•
K	•	•	•	•	•	•	•	•
L	•	•	•	•	•	•	•	•
M	•	•	•	•	•	•	•	•
N	•	•	•	•	•	•	•	•
O	•	•	•	•	•	•	•	•
P	•	•	•	•	•	•	•	•
Q	•	•	•	•	•	•	•	•
R	•	•	•	•	•	•	•	•
S	•	•	•	•	•	•	•	•
T	•	•	•	•	•	•	•	•
U	•	•	•	•	•	•	•	•
V	•	•	•	•	•	•	•	•
W	•	•	•	•	•	•	•	•
X	•	•	•	•	•	•	•	•
Y	•	•	•	•	•	•	•	•
Z	•	•	•	•	•	•	•	•

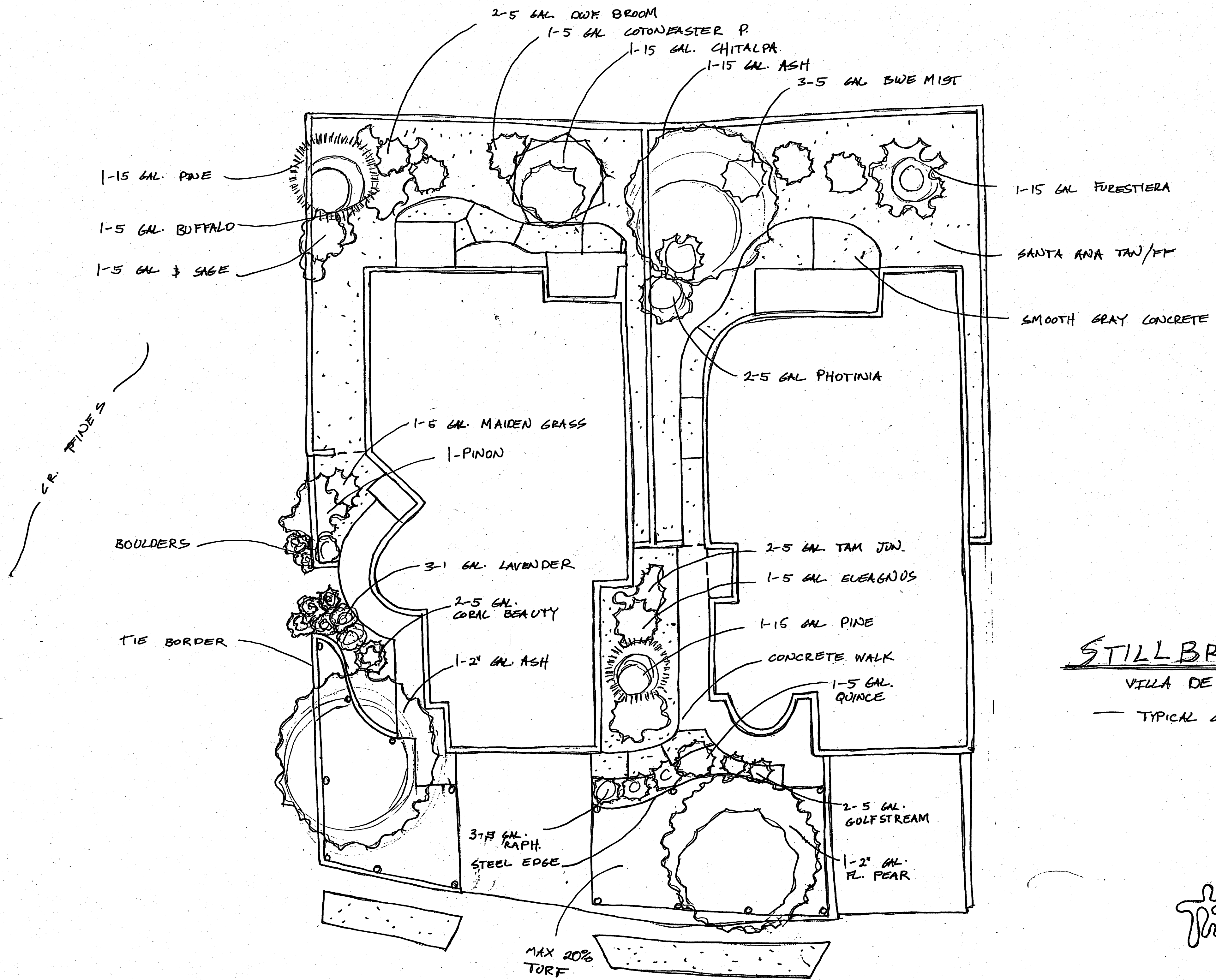
- STUCCO COLORS ARE TYPICAL TO ALL ELEVATIONS
- EL REY STUCCO
  - PUEBLO SERIES
  - DRY RIVER PF 817
  - CACTUS FLOWER PF 814
  - TACO PF 808
  - TERRA PF 212
  - SAGE PF 208
  - BUFFALO PF 806
  - CASA PF 821
  - YELLOW HORSE PF 801
  - LARIAT PF 821
  - VEGA PF 810
  - DEERSKIN PF 868
  - HISK PF 807
  - POTTERY PF 866
  - STONE BLUFF PF 851
  - ROO BRAVO PF 828
  - NORVAL PF 812
  - RIVER ROCK PF 865
  - CLAY PF 811

VILLA DE LA CHAMISA  
ELEVATIONS

**Stillbrooke**  
HOMES

Designed: \_\_\_\_\_ Drawn: \_\_\_\_\_ Checked: \_\_\_\_\_ Sheet 11 of 12  
Scale: 3/16"=1'-0" Date: 3/2/04 Job: \_\_\_\_\_





STILLBROOKE HOMES  
 VILLA DE LA CHAMISA  
 TYPICAL LANDSCAPE PLAN

*The Hill Group*

SCALE: 1/8" = 1'-0"