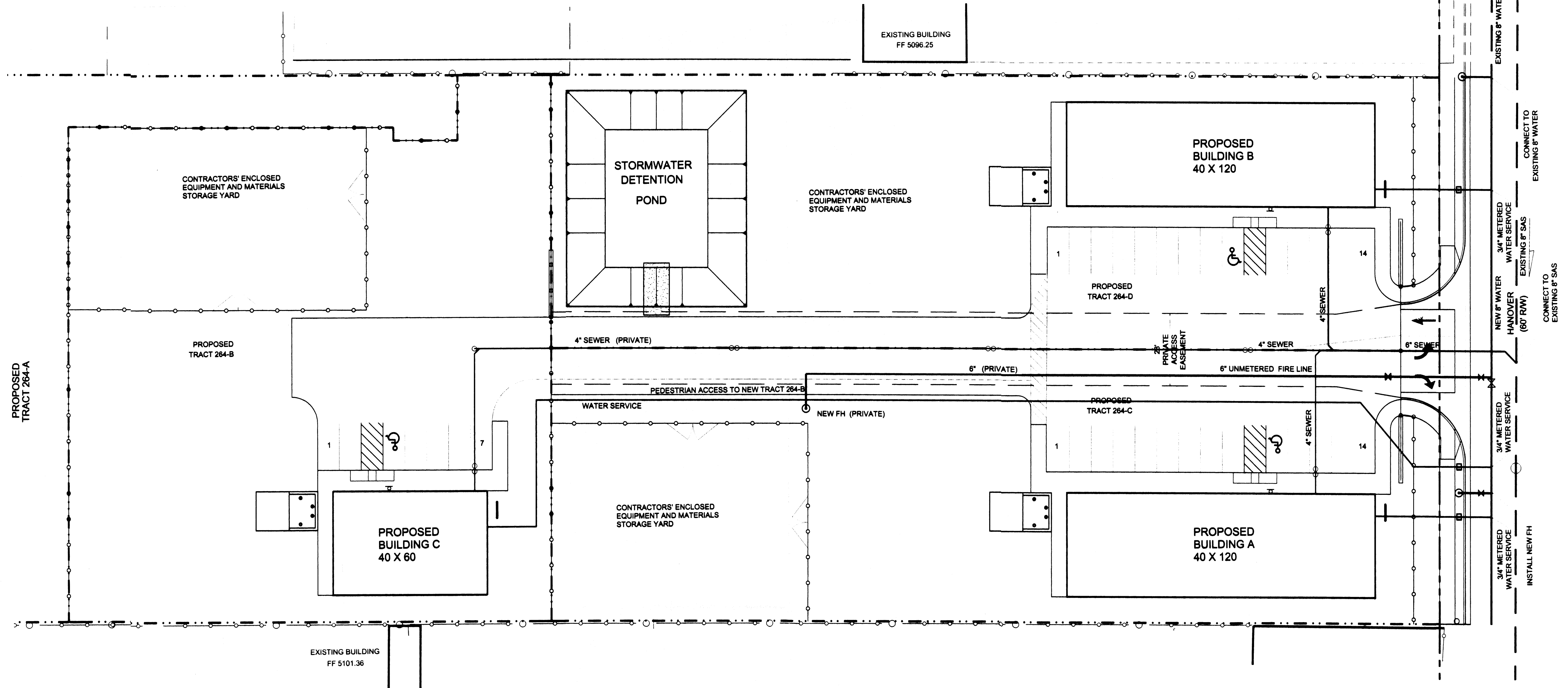
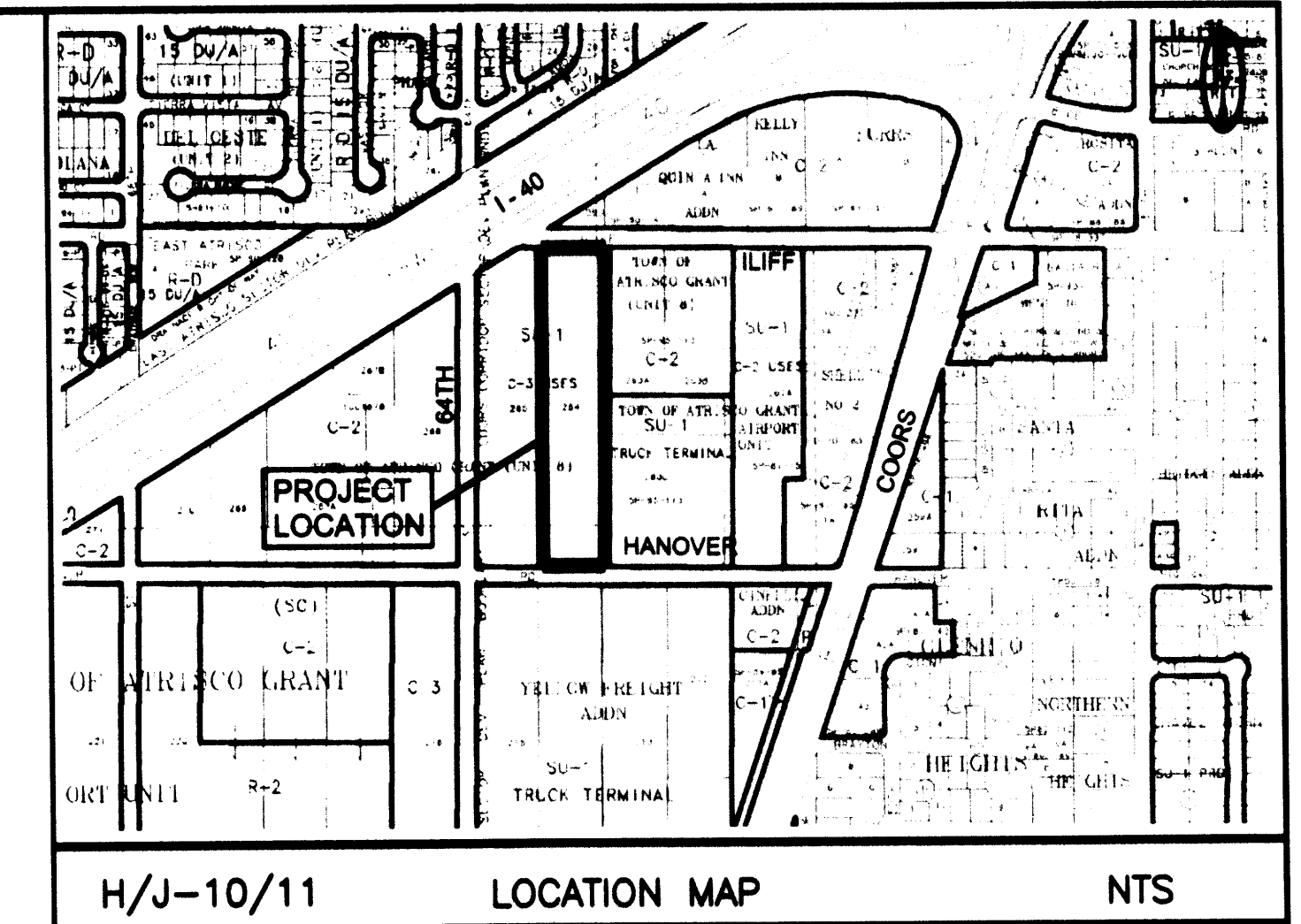


| LEGEND | | ITEM | EXISTING | PROPOSED |
|--------------------------------|---------|--------|----------|----------|
| WATERLINE | --- | 6" W | --- | 6" W |
| SANITARY SEWER | --- | 8" SAS | --- | 8" SAS |
| STORM SEWER | --- | 36" SD | --- | 24" SD |
| FIRE HYDRANT | ⊙ | | ⊙ | ⊙ |
| VALVE | ⊕ | | ⊕ | ⊕ |
| WATER SERVICE (SINGLE) | ⊕ | | ⊕ | ⊕ |
| WATER SERVICE (DOUBLE) | ⊕ | | ⊕ | ⊕ |
| MANHOLE | ⊕ | | ⊕ | ⊕ |
| SEWER SERVICE | ⊕ | | ⊕ | ⊕ |
| POWER POLE (GUYED) | PP | | PP | PP |
| DROP INLET | ⊕ | | ⊕ | ⊕ |
| OVERHEAD ELEC. | OHE | | OHE | OHE |
| UNDERGROUND ELEC. GAS, TEL, TV | UGT | | UGT | UGT |
| TEL. PEDESTAL | TEL | | TEL | TEL |
| RIGHT OF WAY | --- | | --- | --- |
| EASEMENT LINE | --- | | --- | --- |
| PROPERTY LINE | --- | | --- | --- |
| CENTERLINE | --- | | --- | --- |
| CHAIN LINK FENCE | --- | | --- | --- |
| RETAINING WALL | --- | | --- | --- |
| DRAINAGE BASIN | --- | | --- | --- |
| DIVIDE | --- | | --- | --- |
| TOP OF ASPHALT ELEV. | TA 16.2 | | TA 16.2 | TA 16.2 |
| SPOT ELEV. | X 16.7 | | X 16.7 | X 16.7 |
| CURB | --- | | --- | --- |
| FLOWLINE ELEV. | FL 0.14 | | FL 0.14 | FL 0.14 |
| TOP OF CURB ELEV. | TC 99.3 | | TC 99.3 | TC 99.3 |
| CONTOUR | 5100 | | 60 | 60 |
| SWALE | --- | | --- | --- |
| DIRECTION OF FLOW | --- | | --- | --- |
| WATER BLOCK | --- | | --- | --- |



PROJECT DATA

EXISTING LEGAL DESCRIPTION:
TRACT 264 UNIT 8
TOWN OF ATRISCO GRANT

PROPOSED LEGAL DESCRIPTION
TRACTS 264-A, 264-B, 264-C, AND 264-D
UNIT 8, TOWN OF ATRISCO GRANT

PROPERTY ADDRESS:
HANOVER RD. NW, EAST OF 64TH ST

ZONING:
SU-1 for C-3 USES

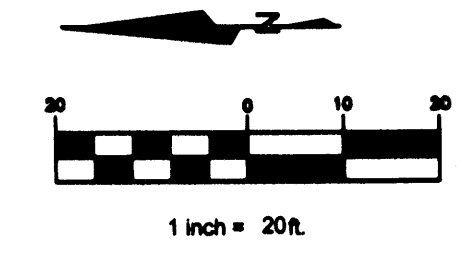
SITE AREA:
EXISTING TRACT 264: 5.00 ACRES (217,770 SF)
PROPOSED TRACT 264-A: 2.50 AC (108,845 SF)
PROPOSED TRACT 264-B: 0.833 AC (36,245 SF)
PROPOSED TRACT 264-C: 0.833 AC (36,245 SF)
PROPOSED TRACT 264-D: 0.833 AC (36,245 SF)

WATER SERVICE

The existing 8" waterline in Hanover will be extended to the west along the frontage of the site, a distance of approximately 210'. Water service to each building will be supplied by separate metered service connection to the new 8" waterline extension. The new services will each serve a portion of the landscaping irrigation system. Fire protection on site will be provided by the extension of a private, unmetered fireline, with a private hydrant as shown.

SANITARY SEWER SERVICE

There is an existing 8" sanitary sewerline in Hanover across the entire frontage of the site. Each building will drain by 4" private sewer service line, with in-line cleanouts, to a 6" private sewerline. The 6" line will be connected to the existing line in Hanover at a new Tee/Wye connection to the main.



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

PLANNING



HYDROSYSTEMS UTILITIES PLAN

| | | |
|------------|--------------|----------------|
| DRW: R.M | TR: | DATE: 06/06/04 |
| CKD: P.T.B | OK: | SCALE: 1"=20' |
| APP: | ACAD FILE: | |
| REV. NO. | 01553-GD.DWG | |

SHT: 5 OF 6

Legend

(N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
 N 90°00'00" E MEASURED BEARING AND DISTANCES
 ○ FOUND AND USED MONUMENT AS DESIGNATED
 ● DENOTES REBAR W/CAP "PS 11993" TO BE SET UNLESS OTHERWISE NOTED

Line Table

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 89°53'55" W | 25.00' |
| L2 | N 00°35'14" E | 25.00' |
| L3 | N 89°53'55" W | 5.00' |
| L4 | N 09°36'14" E | 25.58' |
| L5 | N 89°24'21" W | 4.00' |
| L6 | N 07°45'31" W | 25.27' |
| L7 | S 00°36'05" W | 10.00' |

Curve Table

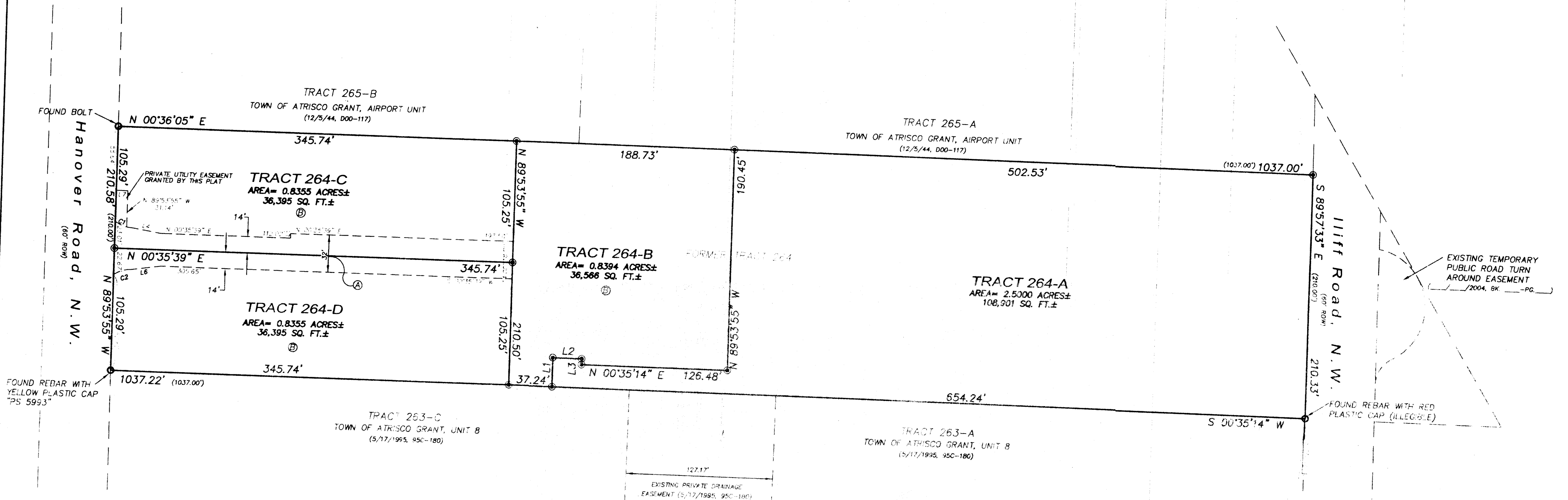
| CURVE | RADIUS | ARC LENGTH | DELTA ANGLE | TANGENT | CHORD LENGTH | CHORD BEARING |
|-------|--------|------------|-------------|---------|--------------|---------------|
| C1 | 25.00' | 16.09' | 36°51'55" | 8.33' | 15.81' | S 19°02'19" W |
| C2 | 25.00' | 16.09' | 36°52'29" | 8.33' | 15.81' | N 17°49'52" W |

RECORDING STAMP

2004092111
 8105694
 Page: 2 of 2
 07/01/2004 08:32A
 BX-2004C Pg-197

Mary Herrera Bern. Co. PLAT R 12.09

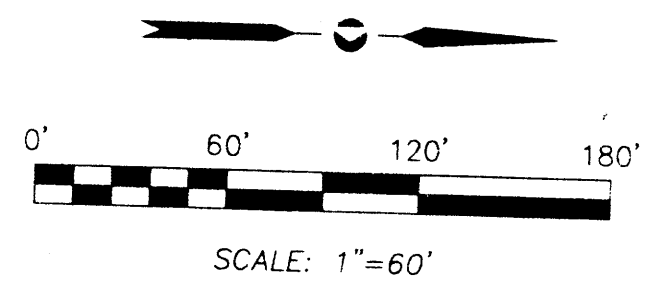
Plat of
Tracts 264-A, 264-B, 264-C and 264-D
Town of Atrisco Grant,
Unit 8
 Albuquerque, Bernalillo County, New Mexico
 June 2004



- Ⓐ RECIPROCAL INGRESS/EGRESS, ACCESS, PAVING, UTILITY, AND PRIVATE WATER AND SANITARY SEWER SERVICES EASEMENT FOR THE BENEFIT OF TRACTS 264-B, 264-C AND 264-D IS GRANTED BY THIS PLAT. MAINTENANCE OF THE EASEMENT IS THE RESPONSIBILITY OF THE OWNERS OF TRACTS 264-B, 264-C AND 264-D.
- Ⓑ A SURFACE DRAINAGE EASEMENT, BLANKET IN NATURE, OVER TRACTS 264-B, 264-C AND 264-D FOR THE BENEFIT OF TRACTS 264-B, 264-C AND 264-D IS GRANTED BY THIS PLAT. MAINTENANCE OF THE EASEMENT IS THE RESPONSIBILITY OF THE OWNERS OF TRACTS 264-B, 264-C AND 264-D.

ACE MONUMENT "24-11"
 NEW MEXICO STATE PLANE
 COORDINATES (CENTRAL ZONE)
 X=363,802.17 NAD 1927
 Y=1,493,065.09
 EL.=5095.653 NAVD 1929
 GRID TO GROUND SCALE
 FACTOR=0.9996775
 DELTA ALPHA ANGLE= 0°15'43"

NM JIC/ACS MONUMENT "S-A 1-40-10"
 NEW MEXICO STATE PLANE
 COORDINATES (CENTRAL ZONE)
 X=364,033.44 NAD 1927
 Y=1,494,376.78
 EL.=5103.975 NAVD 1929
 GRID TO GROUND SCALE
 FACTOR=0.99967710
 DELTA ALPHA ANGLE= 0°15'41"

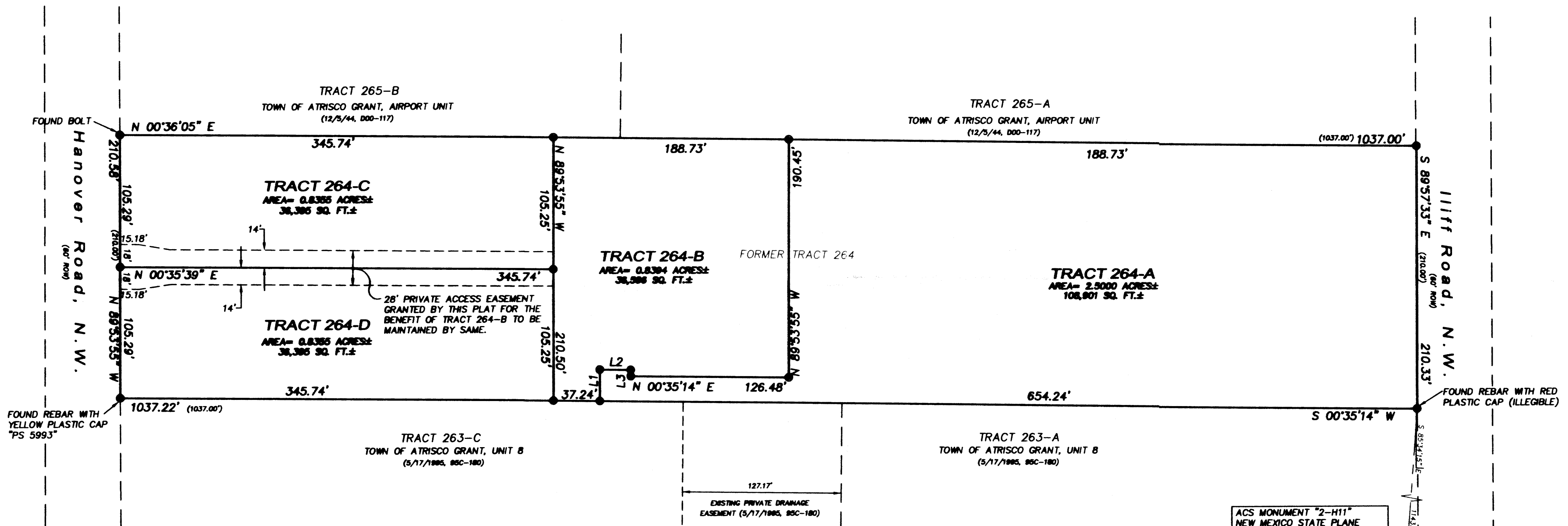


Legend

| | |
|-----------------|-----------------------------------------------------------------|
| (N 90°00'00" E) | RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES |
| N 90°00'00" E | MEASURED BEARING AND DISTANCES |
| ○ | FOUND AND USED MONUMENT AS DESIGNATED |
| ● | DENOTES REBAR W/CAP "PS 11893" TO BE SET UNLESS OTHERWISE NOTED |

RECORDING STAMP

Plat of
Tracts 264-A, 264-B, 264-C and 264-D
Town of Atrisco Grant, Unit 8
 Albuquerque, Bernalillo County, New Mexico
 June 2004

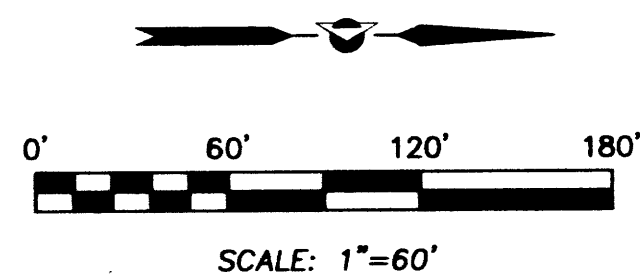


Line Table

| LINE | BEARING | DISTANCE |
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| L2 | N 00°35'14" E | 25.00' |
| L3 | N 89°53'55" W | 5.00' |

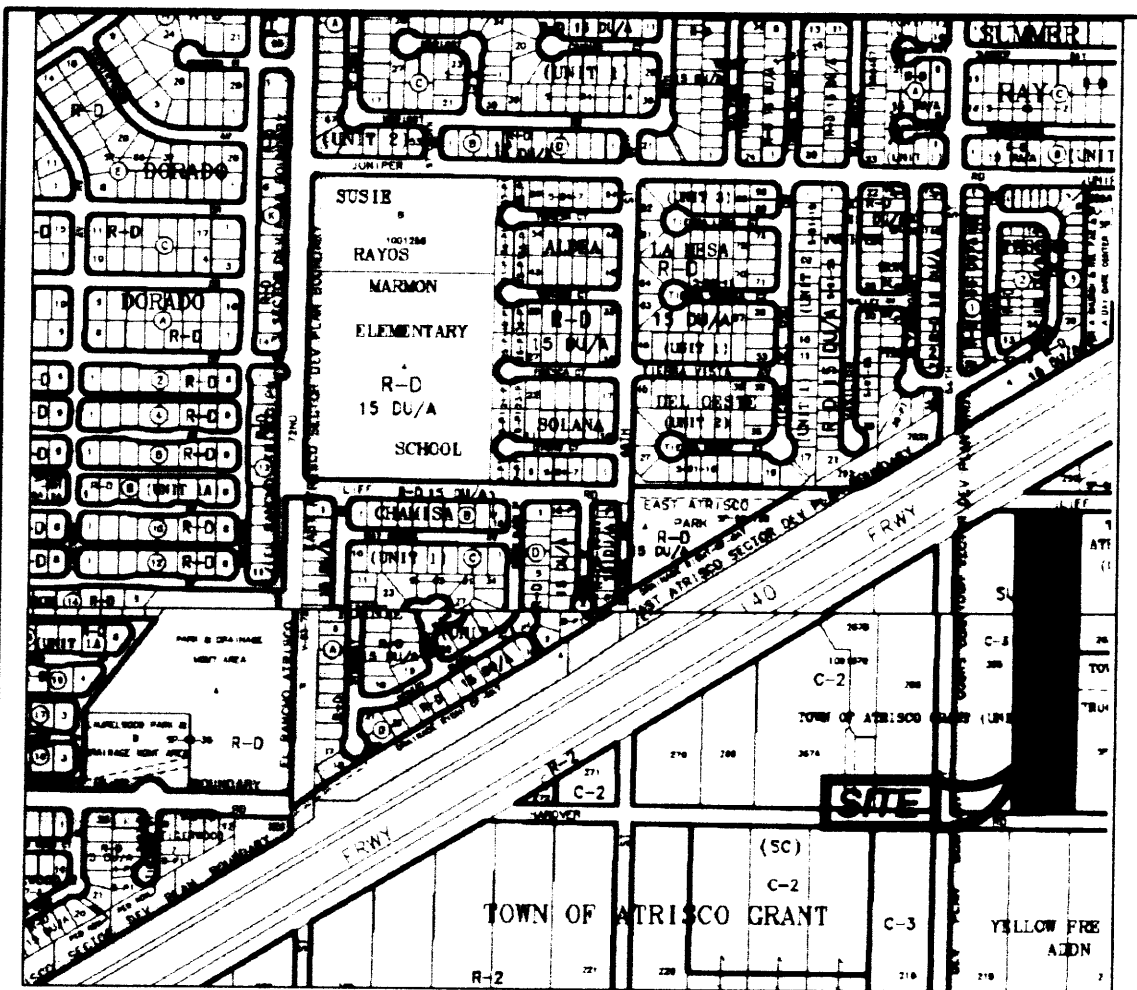
ACS MONUMENT "2-H11"
 NEW MEXICO STATE PLANE
 COORDINATES (CENTRAL ZONE)
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 Y=1,493,065.09
 EL.=5095.653 NAVD 1929
 GRID TO GROUND SCALE
 FACTOR=0.99967757
 DELTA ALPHA ANGLE=-0°15'43"

NMSHC/ACS MONUMENT "STA 1-40-18"
 NEW MEXICO STATE PLANE
 COORDINATES (CENTRAL ZONE)
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 Y=1,494,376.78
 EL.=5103.978 NAVD 1929
 GRID TO GROUND SCALE
 FACTOR=0.99967710
 DELTA ALPHA ANGLE=-0°15'41"



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



Location Map
Zone Atlas Map No. H-10-Z & J-10-Z N.T.S.

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 5.0105 ACRES±
 ZONE ATLAS INDEX NO.: H-10-Z & J-10-Z
 NO. OF TRACTS CREATED: 4
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: MAY 28, 2004

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO FOUR NEW TRACTS, GRANT EASEMENTS.

Notes:

- MISC. DATA: ZONING SU-1 C-3 USES
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTIONS 10 AND 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2004232555.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

RECORDING STAMP

Plat of
 Tracts 264-A, 264-B, 264-C and 264-D
**Town of Atrisco Grant,
 Unit 8**
 Albuquerque, Bernalillo County, New Mexico
 June 2004

PRELIMINARY PLAT
 PREPARED BY DRB
 6/30/04

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTIONS 10 AND 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, TOWN OF ATRISCO GRANT, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT 264 OF THE TOWN OF ATRISCO GRANT, UNIT 8 AS THE SAME IS SHOWN AND DESIGNATED ON SHEET ONE OF THE PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 5, 1944 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF ILIFF ROAD, N.W., MARKED BY A SET REBAR WITH CAP "PS 11993", FROM WHENCE A TIE TO ACS MONUMENT "2-H11" BEARS S 85°34'15" E., A DISTANCE OF 1143.38 FEET;

THENCE LEAVING SAID RIGHT OF WAY LINE S 00°35'14" W, A DISTANCE OF 1037.22 FEET TO THE SOUTHEAST CORNER OF SAID TRACT LYING ON THE NORTH RIGHT OF WAY LINE OF HANOVER ROAD, N.W., MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 5993";

THENCE ALONG SAID RIGHT OF WAY LINE N 89°53'55" W, A DISTANCE OF 210.58 FEET TO THE SOUTHWEST CORNER OF SAID TRACT MARKED BY A FOUND BOLT;

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE N 00°36'05" E, A DISTANCE OF 1037.00 FEET TO THE NORTHWEST CORNER OF SAID TRACT LYING ON THE SAID SOUTH RIGHT OF WAY LINE OF ILIFF ROAD, N.W., MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP "PS 1993";

THENCE ALONG SAID ILIFF ROAD, N.W. SOUTH RIGHT OF WAY LINE S 89°57'33" E, A DISTANCE OF 210.33 FEET TO THE POINT OF BEGINNING CONTAINING 5.0105 ACRES MORE OR LESS, NOW COMPRISING TRACTS 264-A, 264-B, 264-C AND 264-D, TOWN OF ATRISCO GRANT, UNIT 8.

Project No. _____

Application No. _____

Utility Approvals

| | |
|---------------------------------------------|----------------|
| PNM ELECTRIC SERVICES | DATE |
| PNM GAS SERVICES | DATE |
| QWEST TELECOMMUNICATIONS | DATE |
| COMCAST | DATE |
| City Approvals | |
| CITY SURVEYOR | 6-8-04 DATE |
| TRAFFIC ENGINEERING TRANSPORTATION DIVISION | DATE |
| UTILITY DEVELOPMENT | DATE |
| PARKS AND RECREATION DEPARTMENT | DATE |
| AMAFCA | DATE |
| CITY ENGINEER | DATE |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | DATE |

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE 6/3/04

PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 858 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 858 7900

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

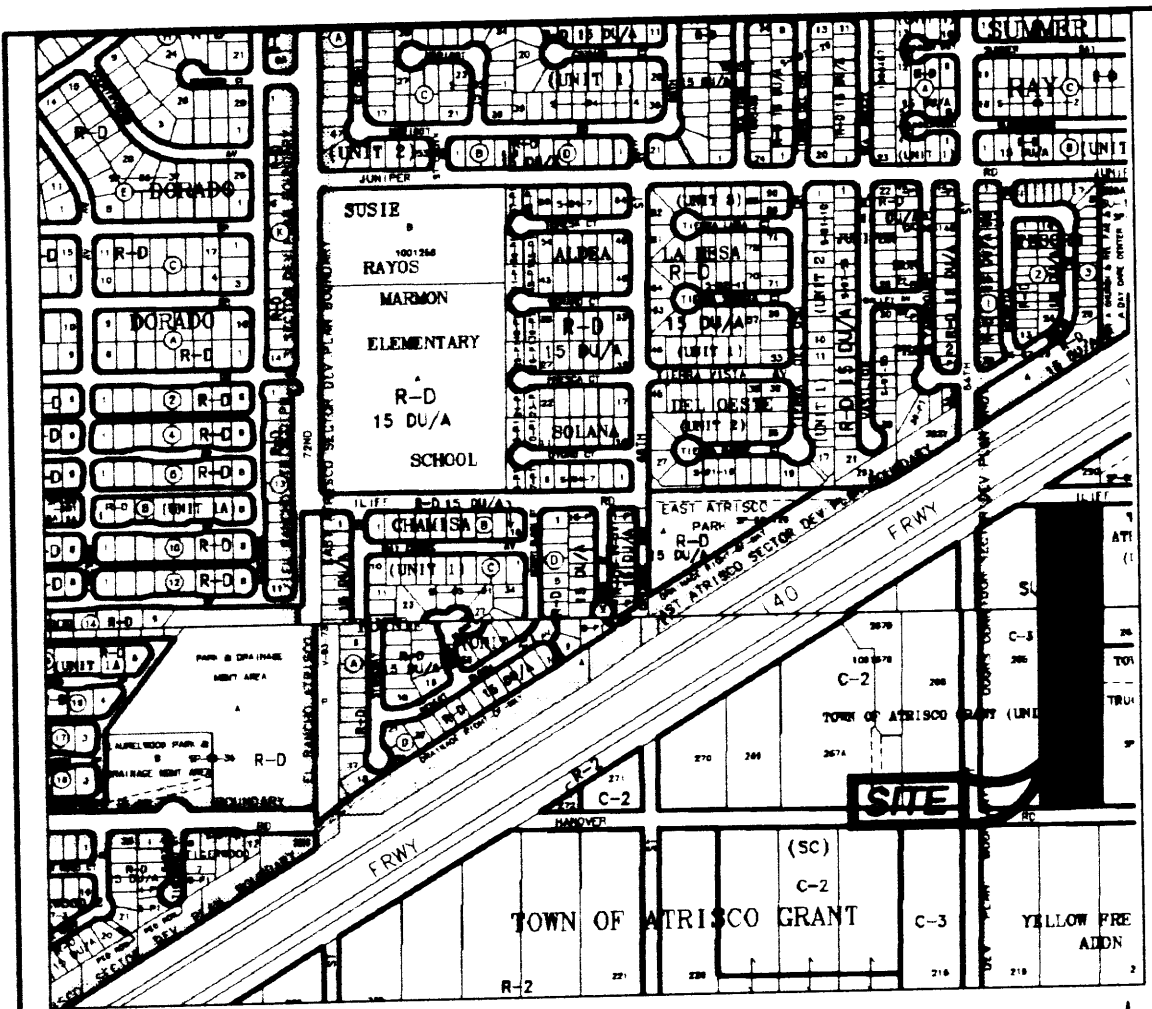
Richard H. Nance
 RICHARD H. NANCE
 PRESIDENT
 RH AND L NANCE, INC.
 A NEW MEXICO CORPORATION
 6-3-04
 DATE

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 3 DAY OF June, 2004 BY RICHARD H. NANCE, PRESIDENT, RH AND L NANCE, INC., A NEW MEXICO CORPORATION.

BY: Berna Bustos
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 4/26/08

NOTARY PUBLIC
 STATE OF NEW MEXICO
 BERNA BUSTOS
 My Commission Expires 4/26/08



Location Map
Zone Atlas Map No. H-10-Z & J-10-Z N.T.S.

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 5.0105 ACRES±
 ZONE ATLAS INDEX NO.: H-10-Z & J-10-Z
 NO. OF TRACTS CREATED: 4
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: MAY 28, 2004

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO FOUR NEW TRACTS, GRANT EASEMENTS.

Notes:

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- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTIONS 10 AND 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2004232555

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

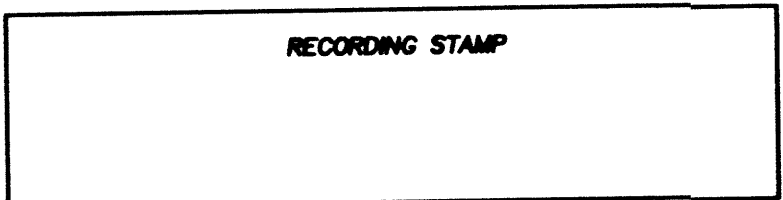
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- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
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Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTIONS 10 AND 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, TOWN OF ATRISCO GRANT, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT 264 OF THE TOWN OF ATRISCO GRANT, UNIT 8 AS THE SAME IS SHOWN AND DESIGNATED ON SHEET ONE OF THE PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 5, 1944 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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THENCE LEAVING SAID RIGHT OF WAY LINE S 00°35'14" W, A DISTANCE OF 1037.22 FEET TO THE SOUTHEAST CORNER OF SAID TRACT LYING ON THE NORTH RIGHT OF WAY LINE OF HANOVER ROAD, N.W., MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 5993";

THENCE ALONG SAID RIGHT OF WAY LINE N 89°53'55" W, A DISTANCE OF 210.58 FEET TO THE SOUTHWEST CORNER OF SAID TRACT MARKED BY A FOUND BOLT;

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE N 00°36'05" E, A DISTANCE OF 1037.00 FEET TO THE NORTHWEST CORNER OF SAID TRACT LYING ON THE SAID SOUTH RIGHT OF WAY LINE OF ILIFF ROAD, N.W., MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP "PS 1993";

THENCE ALONG SAID ILIFF ROAD, N.W. SOUTH RIGHT OF WAY LINE S 89°57'33" E, A DISTANCE OF 210.33 FEET TO THE POINT OF BEGINNING CONTAINING 5.0105 ACRES MORE OR LESS, NOW COMPRISING TRACTS 264-A, 264-B, 264-C AND 264-D, TOWN OF ATRISCO GRANT, UNIT 8.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

Richard H. Nance 6-3-04
 RICHARD H. NANCE
 PRESIDENT
 RH AND L NANCE, INC.
 A NEW MEXICO CORPORATION

Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 3 DAY OF June, 2004 BY RICHARD H. NANCE, PRESIDENT, RH AND L NANCE, INC., A NEW MEXICO CORPORATION.

BY *Berna Bustos* MY COMMISSION EXPIRES: 4/26/08
 NOTARY PUBLIC

Plat of
 Tracts 264-A, 264-B, 264-C and 264-D
**Town of Atrisco Grant,
 Unit 8**

Albuquerque, Bernalillo County, New Mexico
 June 2004

Project No. _____

Application No. _____

Utility Approvals

| | |
|--------------------------|---------|
| <i>Leonard D. Marts</i> | 6-22-04 |
| PNM ELECTRIC SERVICES | DATE |
| <i>Leon D. Marts</i> | 6-22-04 |
| PNM GAS SERVICES | DATE |
| QWEST TELECOMMUNICATIONS | DATE |
| <i>Rita E. Wilson</i> | 6-23-04 |
| COMCAST | DATE |

City Approvals

| | |
|---------------------------------------------|--------|
| <i>[Signature]</i> | 6-8-04 |
| CITY SURVEYOR | DATE |
| TRAFFIC ENGINEERING TRANSPORTATION DIVISION | DATE |
| UTILITY DEVELOPMENT | DATE |
| PARKS AND RECREATION DEPARTMENT | DATE |
| AMAFCA | DATE |
| CITY ENGINEER | DATE |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | DATE |



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 6/3/04
 LARRY W. MEDRANO
 N.M.P.S. No. 11993



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Plat of

Tracts 264-A, 264-B, 264-C and 264-D

Town of Atrisco Grant, Unit 8

Albuquerque, Bernalillo County, New Mexico
June 2004

Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES REBAR W/CAP "PS 11993" TO BE SET UNLESS OTHERWISE NOTED

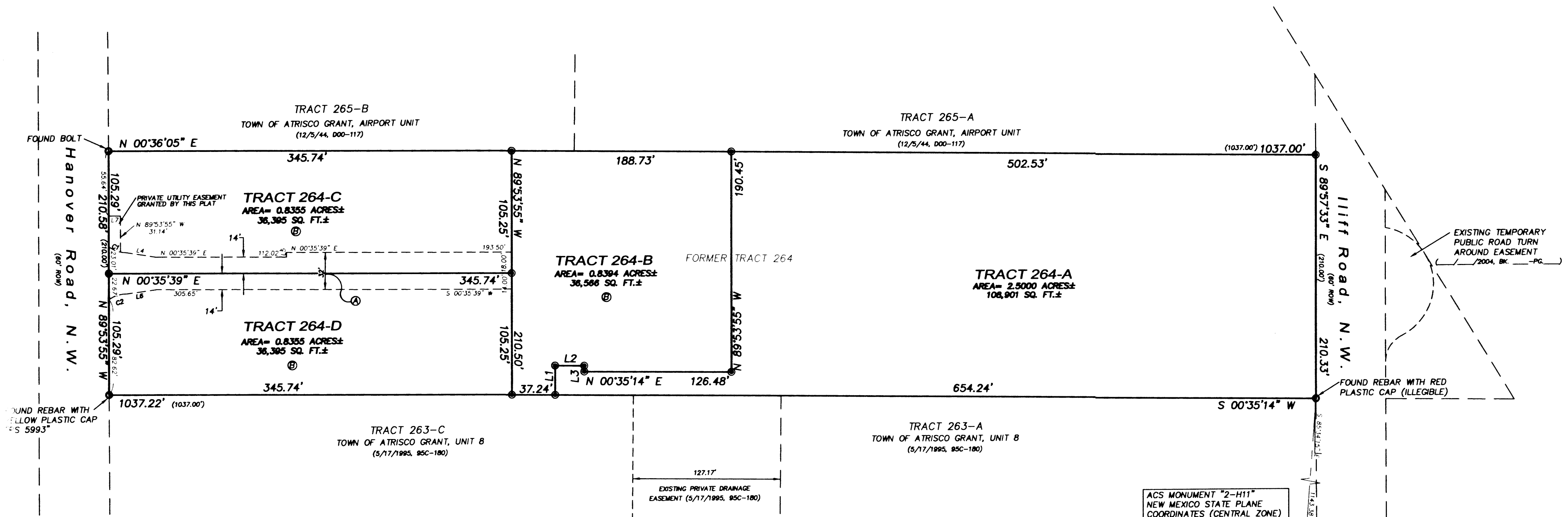
Line Table

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 89°53'55" W | 25.00' |
| L2 | N 00°35'14" E | 25.00' |
| L3 | N 89°53'55" W | 5.00' |
| L4 | N 09°36'14" E | 25.58' |
| L5 | N 89°24'21" W | 4.00' |
| L6 | N 07°45'31" W | 25.27' |
| L7 | S 00°36'05" W | 10.00' |

Curve Table

| CURVE | RADIUS | ARC LENGTH | DELTA ANGLE | TANGENT | CHORD LENGTH | CHORD BEARING |
|-------|--------|------------|-------------|---------|--------------|---------------|
| C1 | 25.00' | 16.09' | 36°51'55" | 8.33' | 15.81' | S 19°02'19" W |
| C2 | 25.00' | 16.09' | 36°52'29" | 8.33' | 15.81' | N 17°49'52" W |

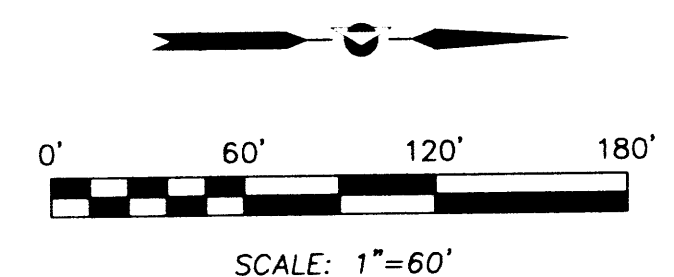
RECORDING STAMP



- Ⓐ RECIPROCAL INGRESS/EGRESS, ACCESS, PAVING AND UTILITY EASEMENT FOR THE BENEFIT OF TRACTS 264-B, 264-C AND 264-D IS GRANTED BY THIS PLAT. MAINTENANCE OF THE EASEMENT IS THE RESPONSIBILITY OF THE OWNERS OF TRACTS 264-B, 264-C AND 264-D.
- Ⓑ A SURFACE DRAINAGE EASEMENT, BLANKET IN NATURE, OVER TRACTS 264-B, 264-C AND 264-D FOR THE BENEFIT OF TRACTS 264-B, 264-C AND 264-D IS GRANTED BY THIS PLAT. MAINTENANCE OF THE EASEMENT IS THE RESPONSIBILITY OF THE OWNERS OF TRACTS 264-B, 264-C AND 264-D.

ACS MONUMENT "2-H11"
NEW MEXICO STATE PLANE
COORDINATES (CENTRAL ZONE)
X=363,802.17 NAD 1927
Y=1,493,065.09
EL.=5095.653 NAVD 1929
GRID TO GROUND SCALE
FACTOR=0.99967757
DELTA ALPHA ANGLE=-0°15'43"

NMSHC/ACS MONUMENT "STA 1-40-18"
NEW MEXICO STATE PLANE
COORDINATES (CENTRAL ZONE)
X=364,033.44 NAD 1927
Y=1,494,376.78
EL.=5103.978 NAVD 1929
GRID TO GROUND SCALE
FACTOR=0.99967710
DELTA ALPHA ANGLE=-0°15'41"



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

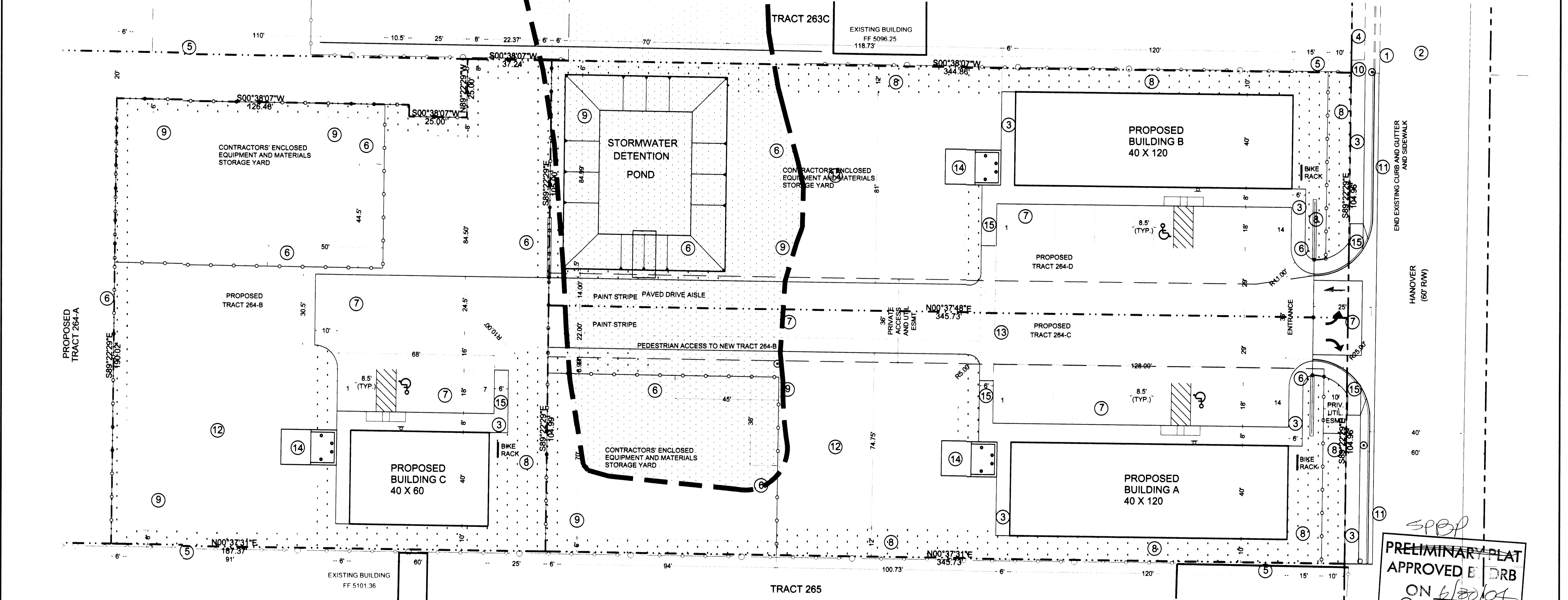
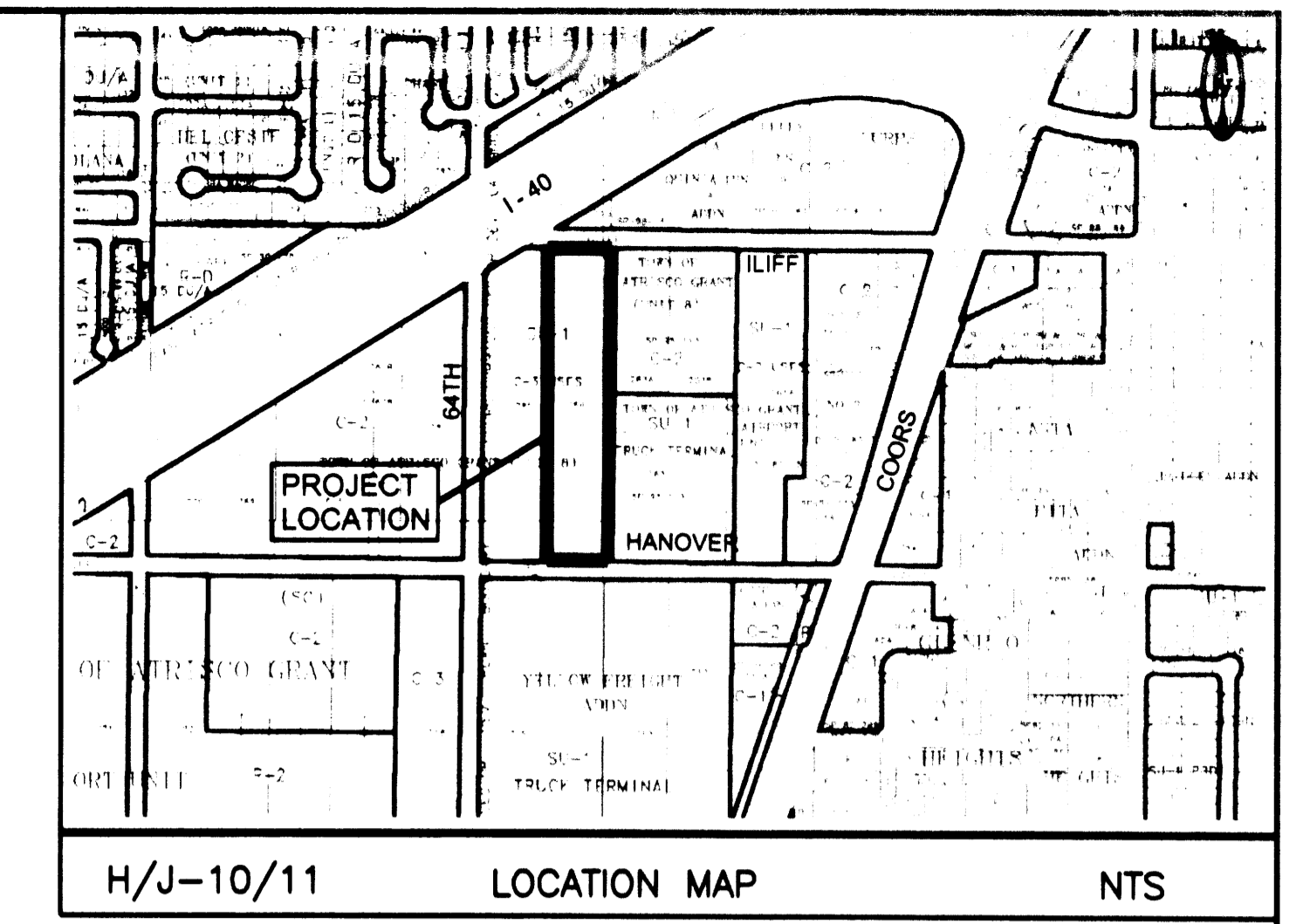
| LEGEND | | |
|------------------------|----------|----------|
| ITEM | EXISTING | PROPOSED |
| WATERLINE | 6" W | 8" W |
| SANITARY SEWER | 8" SAS | 8" SAS |
| STORM SEWER | 36" SD | 24" SD |
| FIRE HYDRANT | | |
| VALVE | | |
| WATER SERVICE (SINGLE) | | |
| WATER SERVICE (DOUBLE) | | |
| MANHOLE | | |
| SEWER SERVICE | | |
| POWER POLE (GUYED) | PP | PP |
| DROP INLET | | |
| OVERHEAD ELEC | OHE | |
| UNDERGROUND ELEC. | UGT | |
| GAS, TEL, TV | | |
| TEL. PEDESTAL | TEL | |
| RIGHT OF WAY | | |
| EASEMENT LINE | | |
| PROPERTY LINE | | |
| CENTERLINE | | |

| KEYED NOTES | | |
|----------------------|----------|----------|
| ITEM | EXISTING | PROPOSED |
| CHAIN LINK FENCE | | |
| RETAINING WALL | | |
| DRAINAGE BASIN | | |
| DIVIDE | | |
| TOP OF ASPHALT ELEV. | TA 16.2 | TA 16.2 |
| SPOT ELEV. | X 16.7 | X 87.26 |
| CURB | | |
| FLOWLINE ELEV. | FL 0.14 | FL 0.14 |
| TOP OF CURB ELEV. | TC 99.3 | TC 99.31 |
| CONTOUR | 5166 | 66 |
| SWALE | | |
| DIRECTION OF FLOW | | |
| WATER BLOCK | | |
| LANDSCAPED AREA | | |

PROJECT NUMBER: 1003239
 APPLICATION NUMBER:
 DEVELOPMENT REVIEW BOARD APPROVAL:
 DEVELOPMENT REVIEW BOARD, CHAIR DATE
 CITY ENGINEER DATE
 TRANSPORTATION DEVELOPMENT DATE
 UTILITIES DEVELOPMENT DATE
 PARKS & RECREATION DATE
 PUBLIC SERVICE CO. OF NM DATE
 SOLID WASTE DEPARTMENT DATE

FUTURE DEVELOPMENT OF TRACT 264-A REQUIRES SUBMITTAL OF A SITE DEVELOPMENT PLAN TO THE ENVIRONMENTAL PLANNING COMMISSION

| DRAWING INDEX | |
|-------------------------|-----------|
| TITLE | SHEET NO. |
| SITE PLAN | 1 |
| LANDSCAPE PLAN | 2 |
| GRADING & DRAINAGE PLAN | 3 |
| SITE DETAILS | 4 |
| UTILITIES PLAN | 5 |
| BUILDING ELEVATIONS | 6 |



PROJECT DATA
 EXISTING LEGAL DESCRIPTION:
 TRACT 264 UNIT 8
 TOWN OF ATRISCO GRANT
 PROPOSED LEGAL DESCRIPTION
 TRACTS 264-A, 264-B, 264-C, AND 264-D,
 UNIT 8, TOWN OF ATRISCO GRANT
 PROPERTY ADDRESS:
 HANOVER RD. NW, EAST OF 64TH ST
 SITE AREA:
 EXISTING TRACT 264: 5.00 ACRES (217,800 SF)
 PROPOSED TRACT 264-A 2.50 AC (108,900 SF)
 PROPOSED TRACT 264-B 0.833 AC (36,300 SF)
 PROPOSED TRACT 264-C 0.833 AC (36,300 SF)
 PROPOSED TRACT 264-D 0.833 AC (36,300 SF)

ZONING
 Tract 264 and the adjoining properties in this area are zoned SU-1 for C-3 uses. Tract 264 will be divided into four parcels - one parcel of 2.5 acres, and three parcels of 0.833 acres each. The three smaller parcels are to be developed at this time as yards for contractors' materials and equipment storage. Each parcel will have a small building for office space and some indoor storage of materials and supplies. The 2.5-acre parcel will be developed under a future site development plan. No change of land use zoning category is proposed at this time.
DEVELOPMENT OF TRACT 264-A
 Tract 264-A will not be developed at this time. A detailed Site Development Plan for Tract 264-A shall be submitted to the Environmental Planning Commission for final review and to the Development Review Board for approval prior to development of any improvements on that tract.

SITE PLAN FOR BUILDING PERMIT TRACTS 264-B, 264-C, AND 264-D
 Site Plan for Building permit is presented for Tracts 264-B, 264-C, and 264-D. The plan shows one small building to be constructed on each lot, with separate parking and refuse containment for each. Access to each tract will be provided by private access easement from Hanover. Each tract will be graded to drain to a common storm water detention pond. Subsequent development of Tract 264-A will require the submittal of a site specific Grading and Drainage Plan. Each tract will provide landscaped areas at 20% of the net property area.
SIGNAGE AND LIGHTING
 Signage and lighting limitations are as regulated under C-3 zoning, although there are not signs or lighting proposed for this project.
BUILDING HEIGHT AND SETBACKS
 Building heights and setback limitations are as regulated under C-3 zoning.

LANDSCAPING:
 RECOMMENDED COVERAGE 20% NET AREA PER COORS CORRIDOR PLAN.

| TRACT | Total Lot Area | Total Building Area | Net Lot Area | Landscape Requirement | Total Landscape Required | Total Landscape Provided |
|-------------|----------------|---------------------|--------------|-----------------------|--------------------------|--------------------------|
| TRACT 264-B | 36,295 SF | 3,208 SF | 33,087 SF | 20% | 6,617 SF | 6,852 SF |
| TRACT 264-C | 36,295 SF | 6,321 SF | 29,974 SF | 20% | 5,995 SF | 5,995 SF |
| TRACT 264-D | 36,295 SF | 6,321 SF | 29,974 SF | 20% | 5,995 SF | 5,995 SF |

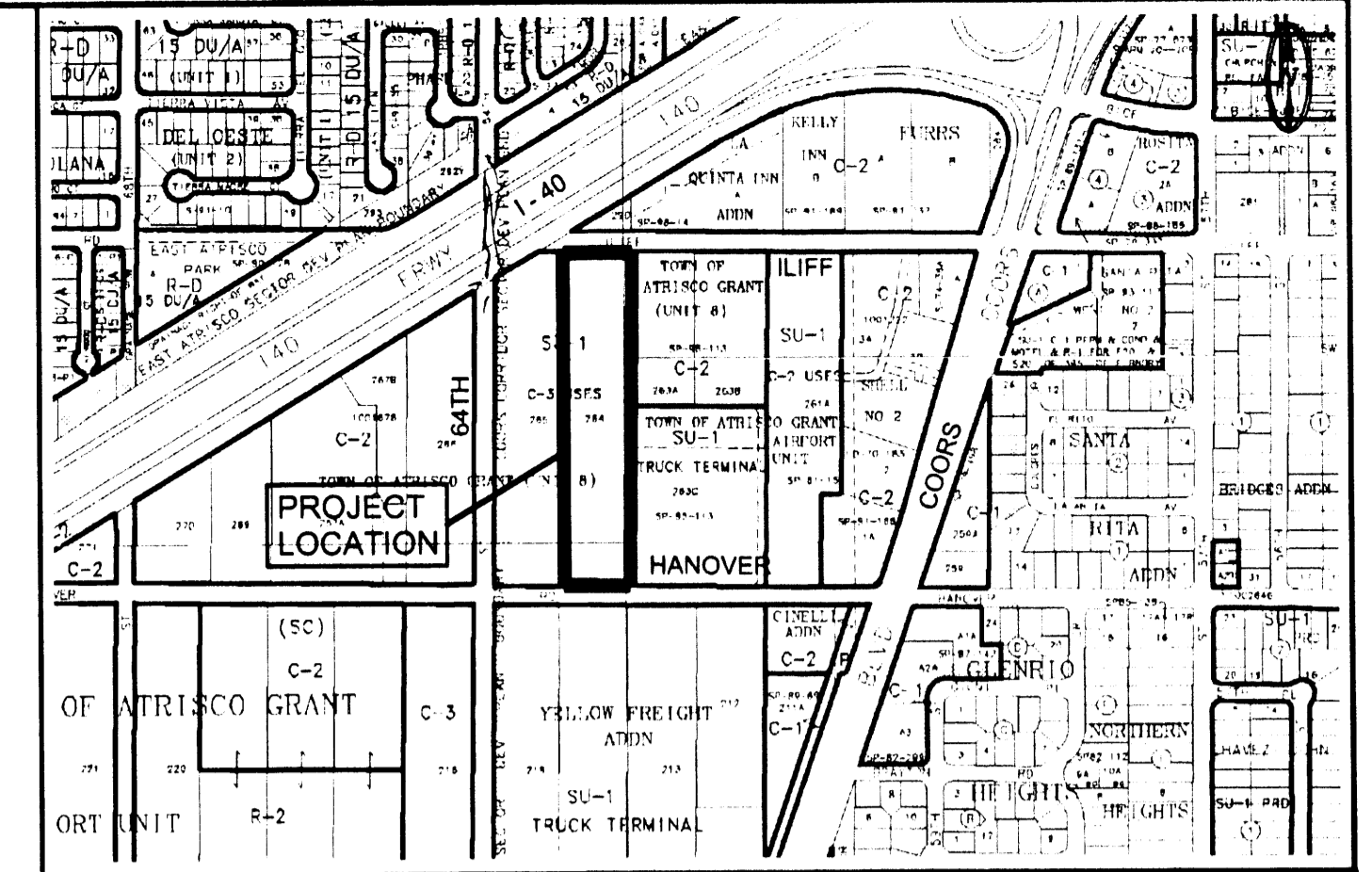
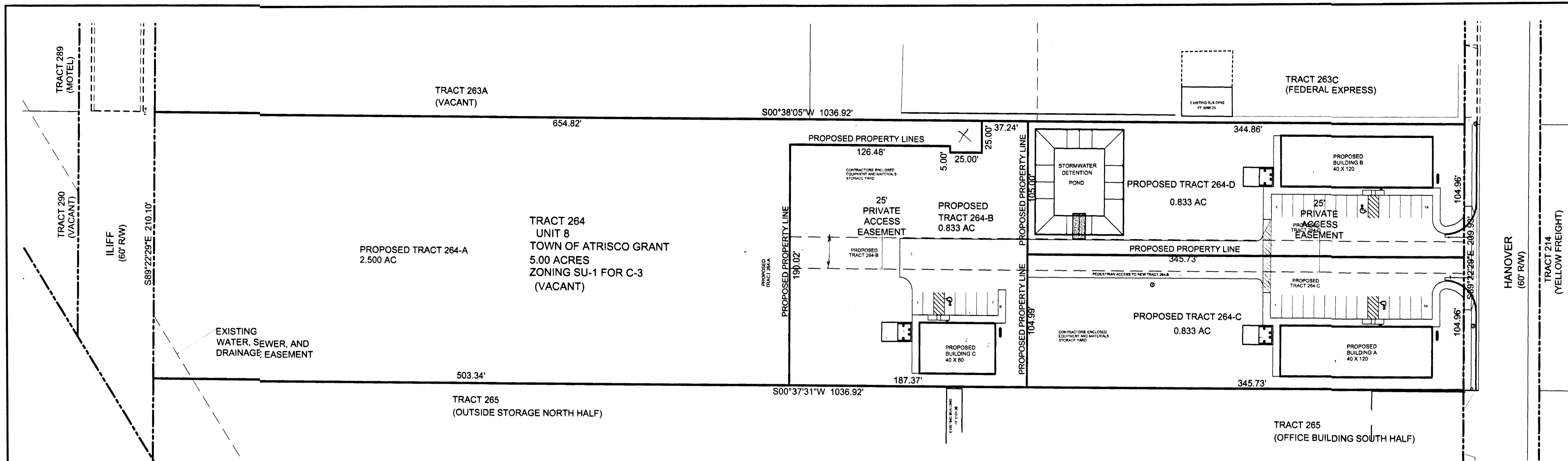
PARKING:
 TOTAL BUILDING FLOOR AREA PROPOSED = 12,000 SF
 TRACT 264-B: BUILDING C - 2400 SF TOTAL OFFICE WAREHOUSE
 OFFICE USE 1200 SF = 6 SPACES (INCLUDING VAN-ACCESS)
 WAREHOUSE USE 1200 SF = 1 SPACE
 TOTAL SPACES REQUIRED = 7
 TOTAL SPACES PROVIDED = 7
 BICYCLE PARKING: 1 REQUIRED - 2 PROVIDED
 TRACT 264-C: BUILDING A - 4800 SF TOTAL OFFICE WAREHOUSE
 OFFICE USE 2400 SF = 12 SPACES (INCL. VAN-ACCESS)
 WAREHOUSE USE 2400 SF = 2 SPACES
 TOTAL SPACES REQUIRED = 14
 TOTAL SPACES PROVIDED = 14
 BICYCLE PARKING: 2 REQUIRED - 2 PROVIDED
 TRACT 264-D: BUILDING B - 4800 SF TOTAL OFFICE WAREHOUSE
 OFFICE USE 2400 SF = 12 SPACES (INCL. VAN-ACCESS)
 WAREHOUSE USE 2400 SF = 2 SPACES
 TOTAL SPACES REQUIRED = 14
 TOTAL SPACES PROVIDED = 14
 BICYCLE PARKING: 2 REQUIRED - 2 PROVIDED

PRELIMINARY PLAN APPROVED BY DRB ON 6/20/04

1 inch = 20ft.

BRASHER & LORENZ CONSULTING ENGINEERS
 2201 San Pedro NE Building 1 Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-888-6088 Fax: 505-888-6188

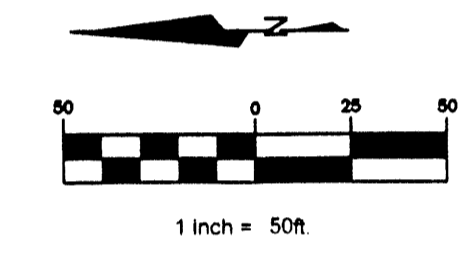
HYDROSYSTEMS SITE PLAN FOR BUILDING PERMIT
 SHT: 1 OF 6
 DRW: R.M
 CKD: P.T.B
 APP:
 REV. NO.
 TR:
 OK:
 ACAD FILE:
 01553-GD.DWG
 DATE: 06/06/04
 SCALE: 1"=20'



H/J-10/11 LOCATION MAP NTS

LEGEND

| ITEM | EXISTING | PROPOSED |
|------------------|----------|----------|
| RIGHT OF WAY | --- | --- |
| EASEMENT LINE | --- | --- |
| PROPERTY LINE | --- | --- |
| CENTERLINE | --- | --- |
| CHAIN LINK FENCE | --- | --- |
| RETAINING WALL | --- | --- |
| CURB | --- | --- |



PROJECT DATA

EXISTING LEGAL DESCRIPTION:
TRACT 264 UNIT 8
TOWN OF ATRISCO GRANT

PROPOSED LEGAL DESCRIPTION:
TRACTS 264-A, 264-B, 264-C, AND 264-D,
UNIT 8, TOWN OF ATRISCO GRANT

PROPERTY ADDRESS:
HANOVER RD. NW, EAST OF 64TH ST

ZONING:
SU-1 for C-3 USES

SITE AREA:
EXISTING TRACT 264: 5.00 ACRES (217,800 SF)
PROPOSED TRACT 264-A: 2.500 AC (108,900 SF)
PROPOSED TRACT 264-B: 0.833 AC (36,300 SF)
PROPOSED TRACT 264-C: 0.833 AC (36,300 SF)
PROPOSED TRACT 264-D: 0.833 AC (36,300 SF)

SITE PLAN FOR SUBDIVISION

The subdivision will create Tracts 264-A, 264-B, 264-C, and 264-D, thereby enabling the immediate development of Tracts 264-B, 264-C, and 264-D. The purpose of the Site Plan for Subdivision is to demonstrate the division of existing 5.0-acre Tract 264 into four separate tracts, and to set forth the criteria for the future development of Tract 264-A.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

The purpose of the Site Development Plan for building permit is to show the details of the improvements to new Tracts 264-B, 264-C, and 264-D for their immediate construction.

DEVELOPMENT OF TRACT 264-A

Tract 264-A will not be developed at this time. A detailed Site Development Plan for Tract 264-A will be submitted to the Environmental Planning Commission for final review and to the Development Review Board for approval prior to issuance of building permit for improvements thereon. Development of Tract 264-A shall comply with the guidelines set forth in the City of Albuquerque Comprehensive Zoning Code (Zoning Code). Maximum floor area ratio (FAR) shall be 0.35.

DRAINAGE

A Grading and Drainage Plan to support the development of Tracts 264-B, 264-C, and 264-D is provided. A separate Grading and Drainage Plan for Tract 264-A will be required at the time of its development.

DEVELOPMENT GUIDELINES

- This Site Development Plan is for subdivision purposes only. The boundary shown is approximate and based in part on plats of record, but it is not a boundary survey. The final land division configuration will be by plat of the property. Tract 264 consists of 5.00 acres, and will be subdivided into 4 parcels. Proposed Tract 264-A will be the northernmost 2.50 acres. The south 2.50 acres will be divided into 3 tracts designated as Tract 264-B, Tract 264-C, and Tract 264-D, each consisting of 0.833 acres. Tract 264-A, the north parcel, will be developed at a future date pursuant to these guidelines. Tracts 264-B, 264-C, and 264-D, the south 0.833-acre parcels, will be developed under a Site Development for Building Permit pursuant to these guidelines and the details of that plan.
- A detailed Site Development Plan for each tract shall be submitted to the Development Review Board for final review and approval prior to development of any improvements on that tract. Development shall comply with the guidelines set forth in the City of Albuquerque Comprehensive Zoning Code (Zoning Code).
- A detailed Grading and Drainage Plan will be required for Tract 264-A prior to development of any improvements on that tract.
- Landscaping: The total landscaped area required for each Tract shall equal not less than 20 % of the net area as stipulated in the Coors Corridor Plan, and which is defined by Section 14-16-3-10 of the Zoning Code as the total lot area minus: (a) The area of the lot not covered by buildings; (b) The portions of the lot that are not required for off-street parking or a parking lot and which are fully screened from any adjacent lot or public right-of-way by an opaque wall or fence at least 6' high, in which no landscaping will be required except required buffer landscaping; chain link fence with slats does not constitute acceptable full screening; and (c) The area of any approved landscaping that the owner installs and maintains in the adjacent public right-of-way, exclusive of the area of any existing or planned public sidewalk.
- Building Height: Building height and width shall fall within 45° angle lanes drawn from the horizontal at the mean grade along each boundary of the subject Tract, but a structure shall not exceed a height of 120 feet for IP purposes and 26 feet for C-3 purposes. Exceptions to the preceding are provided in accordance with Section 14-16-3-3 of the Comprehensive Zoning Code, "Supplementary Height, Area and Use Regulation".
- Building Floor Area Ratios: Building floor area ratios are recommended not to exceed 0.35.
- Signs: All signs shall be in compliance with the requirements set forth in the Zoning Code for C-3 zones.
- Setbacks: Building setbacks for each of the Tracts shall comply with the requirements set forth in the Zoning Code for C-3 zones.
- Parking: All off-street parking requirements shall be as provided in Section 14-16-3-14 of the Zoning Code.
- Pedestrian Access: Direct pedestrian access shall be provided from buildings to adjoining street frontages. Access shall be 6' clear minimum with trees where practical.
- Employee Facilities: Businesses with 50 or more employees shall supply lockers. Showers are encouraged.
- The 25' private access easement shown extending from Hanover north to the south boundary of proposed Tract 264-A is provided only as a contingency in the event the the New Mexico State Department of Transportation vacates or otherwise prohibits existing access to Tract 264-A from I-40 for construction of an Interstate 040 eastbound off-ramp along I-40. This easement may be vacated in whole or in part upon final determination that ultimate primary access to Tract 264-A from I-40 is possible.
- On-site and boundary fencing may be constructed of 8' high chainlink with security wiring at the discretion of the property owner.

LANDSCAPING GUIDELINES

- Landscaping that may potentially exceed 15 feet in height will not be allowed within any Public Service Co. of New Mexico easement.
- Specific use of introduced and naturalized species to supplement the indigenous plant palette. These "Introduced and naturalized" species will be used in areas less exposed to the macro climate and will function as accent treatments.
- Controlled uses of indigenous inorganic materials (i.e. rocks, gravel) to function as ground cover or paving substitutes.
- A ten foot landscape strip will be provided along Hanover and I-40 Roads. Street trees where allowed will be planted at a rate of 3 per 100 linear feet and will be set back 15 feet from the back of curb.
- Street trees along Hanover and I-40 Roads will be of the following:
 - Canopy 3 in. minimum caliper Plant selection shall comply with those species, which have been approved by the City Water Conservation and Landscape Ordinance.
 - Understory and accent 2 in. minimum caliper Plant selection shall comply with those species, which have been approved by the City Water Conservation and Landscape Ordinance.

UTILITIES

Existing public water and sanitary sewer lines are located in Hanover and I-40. Development of Tract 264-A will require the extension of a public waterline in I-40. Service and fire protection will be taken from I-40. Development of Tracts 264-B, 264-C, and 264-D will also require a public waterline extension in Hanover. Service and fire protection will be taken from Hanover. Tracts 264-B, 264-C, and 264-D will connect to the existing sewerline in Hanover by private line and connection. Tract 264-A will connect to the existing City sewer line in I-40. The development of Tract 264-A will require a separate statement of water and sewer availability from the City.

SIGNAGE

The size and placement of all free-standing and building-mounted signs will be regulated by the zoning code. This plan proposes no special provisions for signs.

SITE LIGHTING

Free-standing lighting fixtures are allowed provided they ensure full cutoff lighting. Otherwise, the size, placement, and luminosity of all lighting fixtures will be as regulated by the zoning code. This plan proposes no special provisions for lighting.

DRAINAGE

A separate Site Development Plan for building permits will be submitted to the City for the development of Tract 264-A, together with a site specific grading and drainage plan. Runoff generated by Tracts 264-B, 264-C, and 264-D will be conveyed to a pond located on Tract 264-D by respective cross-access drainage easements.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

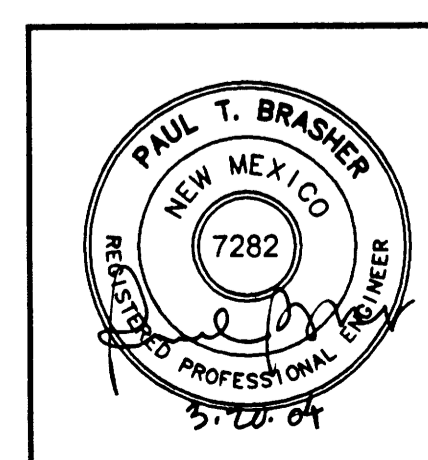
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission, dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|---------------------------------|------|
| DEVELOPMENT REVIEW BOARD, CHAIR | DATE |
| CITY ENGINEER | DATE |
| TRANSPORTATION DEVELOPMENT | DATE |
| UTILITIES DEVELOPMENT | DATE |
| PARKS & RECREATION | DATE |
| PUBLIC SERVICE CO. OF NM | DATE |
| SOLID WASTE DEPARTMENT | DATE |

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

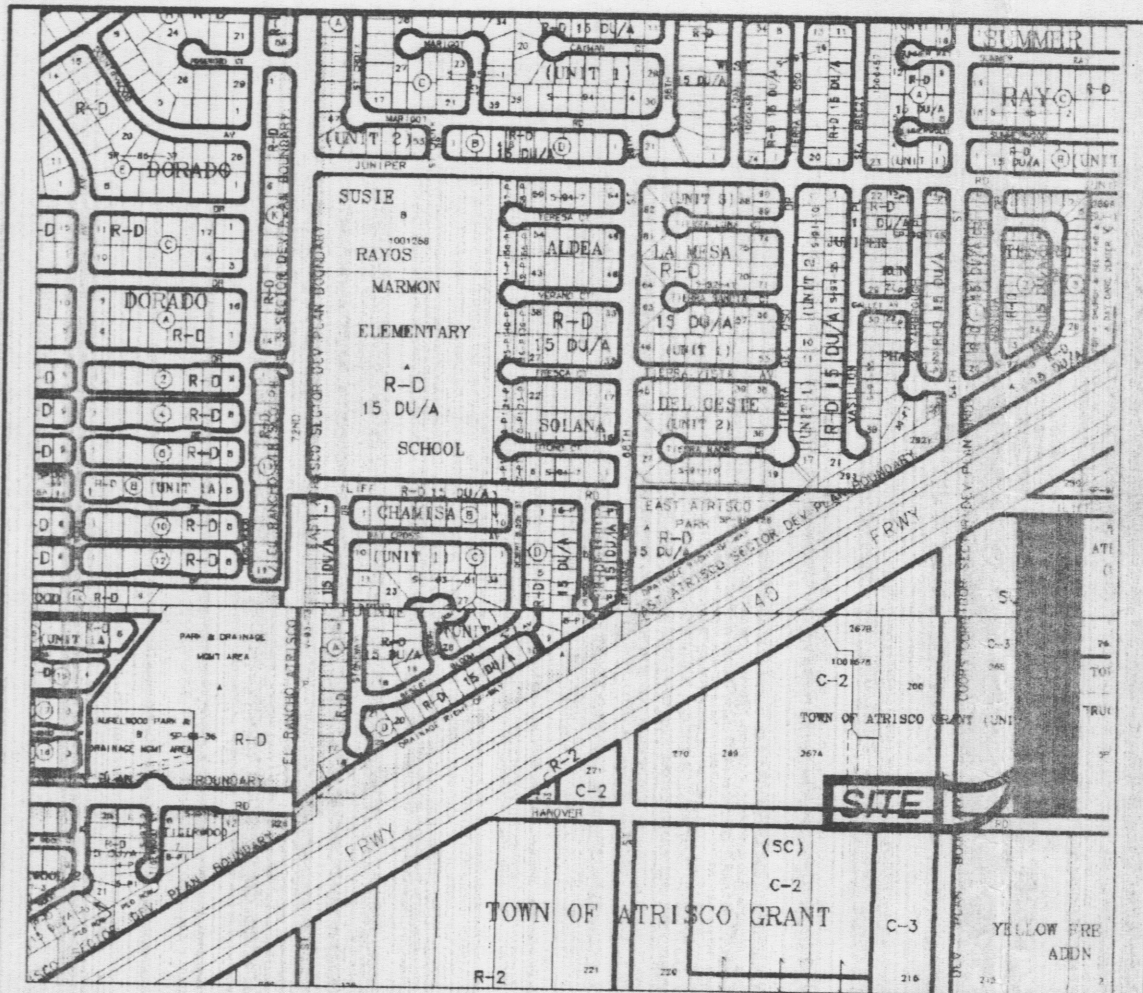


HYDROSYSTEMS
SITE PLAN FOR SUBDIVISION

SH: 1 OF 1

| | | |
|-------------|--------------|----------------|
| DRW: R.M. | TR: | DATE: 03/20/04 |
| CKD: P.T.B. | OK: | SCALE: 1"=20' |
| APP: | ACAD FILE: | |
| REV. NO. | 01553-GD.DWG | |

AGTS ✓



Location Map
Zone Atlas Map No. H-10-Z & J-10-Z N.T.S.

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 5.0105 ACRES±
ZONE ATLAS INDEX NO: H-10-Z & J-10-Z
NO. OF TRACTS CREATED: 4
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: MAY 28, 2004

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO FOUR NEW TRACTS, GRANT EASEMENTS.

Notes:

- MISC. DATA: ZONING SU-1 C-3 USES
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTIONS 10 AND 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2004232555.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEAR, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

288492111
6185694
Page: 1 of 2
877/81/2884 88-329
BK-2884C Pg-197

Maru Herrera Bern. Co. PLAT R 12.88

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTIONS 10 AND 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, TOWN OF ATRISCO GRANT, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT 264 OF THE TOWN OF ATRISCO GRANT, UNIT 8 AS THE SAME IS SHOWN AND DESIGNATED ON SHEET ONE OF THE PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 5, 1944 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF ILIFF ROAD, N.W., MARKED BY A SET REBAR WITH CAP "PS 11993", FROM WHENCE A TIE TO ACS MONUMENT "2-H11" BEARS S 85°34'15" E., A DISTANCE OF 1143.38 FEET;

THENCE LEAVING SAID RIGHT OF WAY LINE S 00°35'14" W, A DISTANCE OF 1037.22 FEET TO THE SOUTHEAST CORNER OF SAID TRACT LYING ON THE NORTH RIGHT OF WAY LINE OF HANOVER ROAD, N.W., MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 5993";

THENCE ALONG SAID RIGHT OF WAY LINE N 89°53'55" W, A DISTANCE OF 210.58 FEET TO THE SOUTHWEST CORNER OF SAID TRACT MARKED BY A FOUND BOLT;

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE N 00°36'05" E, A DISTANCE OF 1037.00 FEET TO THE NORTHWEST CORNER OF SAID TRACT LYING ON THE SAID SOUTH RIGHT OF WAY LINE OF ILIFF ROAD, N.W., MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP "PS 1993";

THENCE ALONG SAID ILIFF ROAD, N.W. SOUTH RIGHT OF WAY LINE S 89°57'33" E, A DISTANCE OF 210.33 FEET TO THE POINT OF BEGINNING CONTAINING 5.0105 ACRES MORE OR LESS, NOW COMPRISING TRACTS 264-A, 264-B, 264-C AND 264-D, TOWN OF ATRISCO GRANT, UNIT 8.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

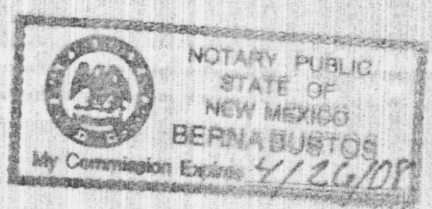
SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

Richard H. Nance
RICHARD H. NANCE
PRESIDENT
RH AND L NANCE, INC.
A NEW MEXICO CORPORATION

6-3-04
DATE

Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 3 DAY OF June, 2004 BY RICHARD H. NANCE, PRESIDENT, RH AND L NANCE, INC., A NEW MEXICO CORPORATION.

Plat of
Tracts 264-A, 264-B, 264-C and 264-D
Town of Atrisco Grant,
Unit 8

Albuquerque, Bernalillo County, New Mexico
June 2004

Project No. 1003239

Application No. 0400941

Utility Approvals

| | |
|-----------------------------------------------------|-----------------|
| <i>Sean D. Mart</i> PNM ELECTRIC SERVICES | 6-22-04 DATE |
| <i>Sean D. Mart</i> PNM GAS SERVICES | 6-22-04 DATE |
| <i>Daniel R. Muller</i> QWEST TELECOMMUNICATIONS | 6-29-04 DATE |
| <i>Rita Switzer</i> COMCAST | 6-23-04 DATE |

City Approvals

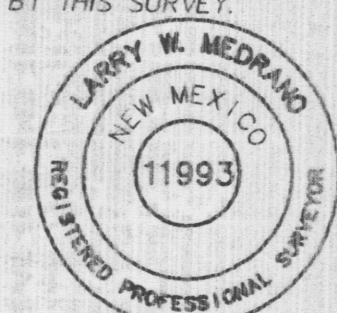
| | |
|-------------------------------------------------------------------|-----------------|
| <i>[Signature]</i> CITY SURVEYOR | 6-8-04 DATE |
| <i>[Signature]</i> TRAFFIC ENGINEERING TRANSPORTATION DIVISION | 6-30-04 DATE |
| <i>[Signature]</i> UTILITY DEVELOPMENT | 6-30-04 DATE |
| <i>[Signature]</i> PARKS AND RECREATION DEPARTMENT | 6/30/04 DATE |
| <i>[Signature]</i> AMAFCA | 6/30/04 DATE |
| <i>[Signature]</i> CITY ENGINEER | 6/30/04 DATE |
| <i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT | 6/30/04 DATE |

TREASURER'S CERTIFICATE
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON UPC #: 1010 058 513 527 15 902
PROPERTY OWNER OF RECORD:
[Signature]
BERNALILLO COUNTY TREASURER'S OFFICE
[Signature] 6-1-04

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 6/3/04
LARRY W. MEDRANO
N.M.P.S. No. 11993
DATE



PRECISION SURVEYS, INC.
8414-D JEFFERSON ST., N.E. PHONE 505 856 5700

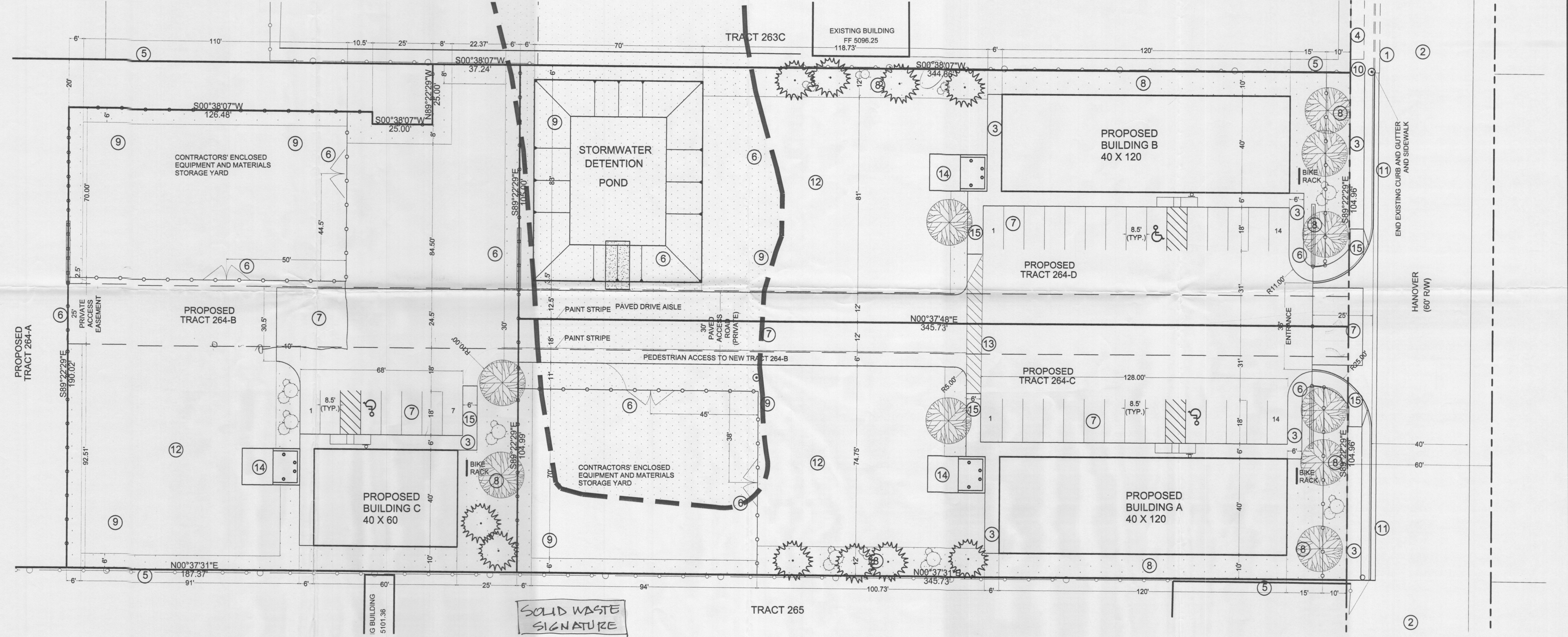
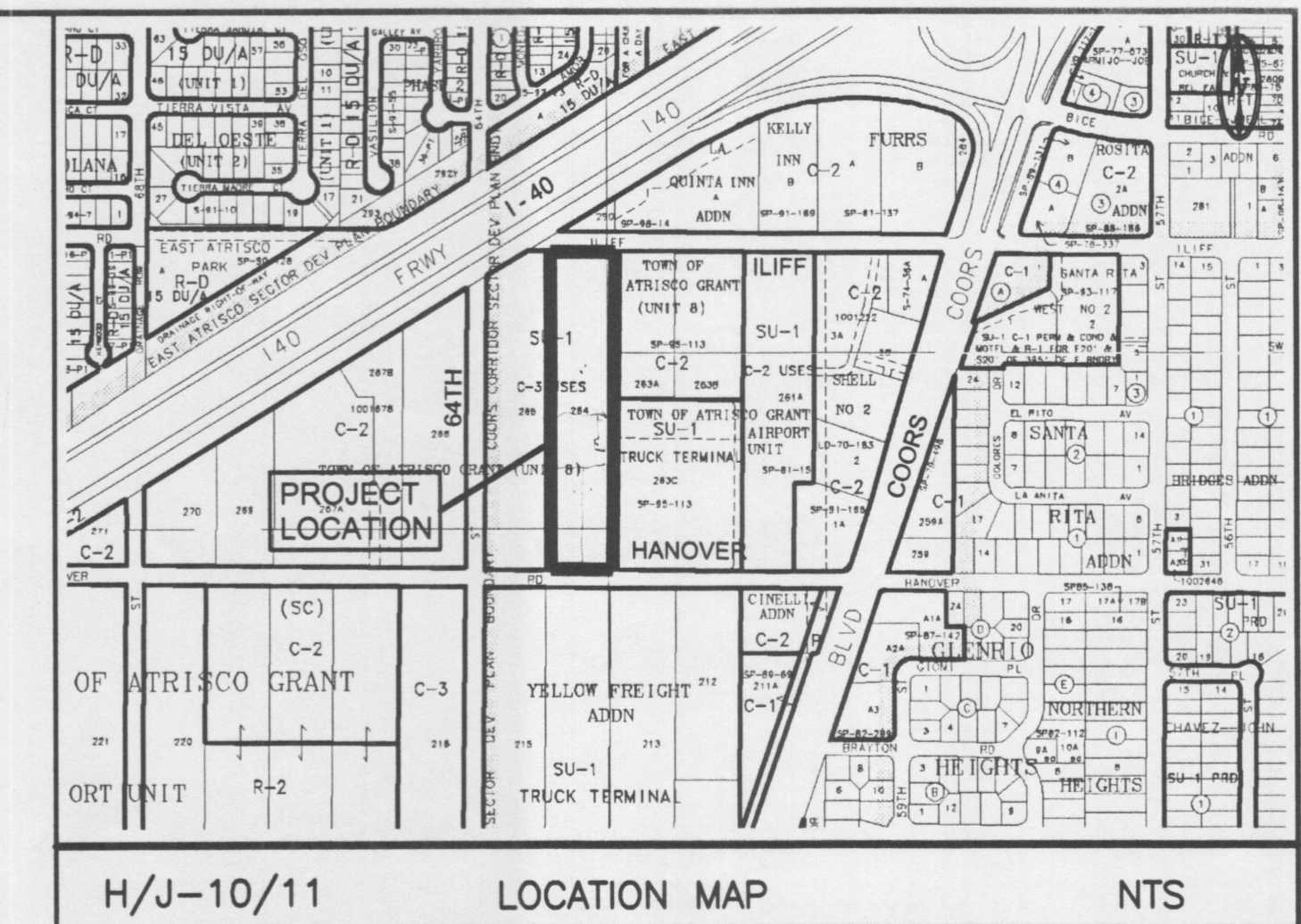
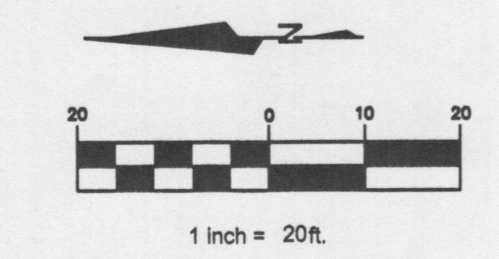
| LEGEND | | | KEYED NOTES | | |
|--------------------------------|---------------|---------------|-----------------------|--------------|------------|
| ITEM | EXISTING | PROPOSED | ITEM | EXISTING | PROPOSED |
| WATERLINE | --- 6"W --- | --- 6"W --- | CHAIN LINK FENCE | --- | --- |
| SANITARY SEWER | --- 8"SAS --- | --- 8"SAS --- | RETAINING WALL | ===== | ===== |
| STORM SEWER | --- 36"SD --- | --- 24"SD --- | DRAINAGE BASIN DIVIDE | --- | --- |
| FIRE HYDRANT | ⊙ | ⊙ | TOP OF ASPHALT ELEV. | TA 16.2 | TA 16.2 |
| VALVE | ⊕ | ⊕ | SPOT ELEV. | × 16.7 | × 87.26 |
| WATER SERVICE (SINGLE) | ⊕ | ⊕ | CURB | --- | --- |
| WATER SERVICE (DOUBLE) | ⊕ | ⊕ | FLOWLINE ELEV. | FL 0.14 | FL 0.14 |
| MANHOLE | ⊕ | ⊕ | TOP OF CURB ELEV. | TC 99.3 | TC 99.31 |
| SEWER SERVICE | ⊕ | ⊕ | CONTOUR | --- 5166 --- | --- 66 --- |
| POWER POLE (GUYED) | PP | PP | SWALE | --- | --- |
| DROP INLET | ⊕ | ⊕ | DIRECTION OF FLOW | → | → |
| OVERHEAD ELEC. | --- OHE --- | --- | WATER BLOCK | ~~~~~ | ~~~~~ |
| UNDERGROUND ELEC. GAS, TEL, TV | --- UGT --- | --- | | | |
| TEL. PEDESTAL | ⊕ TEL | --- | | | |
| RIGHT OF WAY | --- | --- | | | |
| EASEMENT LINE | --- | --- | | | |
| PROPERTY LINE CENTERLINE | --- | --- | | | |

- EXISTING STANDARD CURB & GUTTER
- EXISTING ASPHALT PAVING
- NEW 6' WIDE SIDEWALK
- EXISTING 6' SIDEWALK
- EXISTING PERIMETER CHAIN LINK FENCE
- SLIDING GATE
- NEW ASPHALT PAVING
- NEW LANDSCAPING
- NEW 8' CHAIN LINK PERIMETER FENCING (SLATTED)
- EXISTING FIRE HYDRANT
- NEW 8" CONCRETE CURB & GUTTER
- NEW GRAVEL SURFACE
- STRIPED CROSSWALK
- NEW REFUSE ENCLOSURE
- HANDICAP RAMP

CASE NO: _____
 DEVELOPMENT REVIEW BOARD APPROVAL:
 DEVELOPMENT REVIEW BOARD, CHAIR _____ DATE _____
 CITY ENGINEER _____ DATE _____
 TRANSPORTATION DEVELOPMENT _____ DATE _____
 UTILITIES DEVELOPMENT _____ DATE _____
 PARKS & RECREATION _____ DATE _____
 PUBLIC SERVICE CO. OF NM _____ DATE _____
Michael Holton 6-7-04
 SOLID WASTE DEPARTMENT DATE

FUTURE DEVELOPMENT OF TRACT 264-A REQUIRES SUBMITTAL OF A SITE DEVELOPMENT PLAN TO THE ENVIRONMENTAL PLANNING COMMISSION

| TITLE | SHEET NO. |
|-------------------------|-----------|
| SITE PLAN | 1 |
| LANDSCAPE PLAN | 2 |
| GRADING & DRAINAGE PLAN | 3 |
| SITE DETAILS | 4 |
| UTILITIES PLAN | 5 |
| BUILDING ELEVATIONS | 6 |



PROJECT DATA
 EXISTING LEGAL DESCRIPTION:
 TRACT 264 UNIT 8
 TOWN OF ATRISCO GRANT
 PROPOSED LEGAL DESCRIPTION
 TRACTS 264-A, 264-B, 264-C, AND 264-D,
 UNIT 8, TOWN OF ATRISCO GRANT
 PROPERTY ADDRESS:
 HANOVER RD. NW, EAST OF 64TH ST
 SITE AREA:
 EXISTING TRACT 264: 5.00 ACRES (217,800 SF)
 PROPOSED TRACT 264-A: 2.50 AC (108,900 SF)
 PROPOSED TRACT 264-B: 0.833 AC (36,300 SF)
 PROPOSED TRACT 264-C: 0.833 AC (36,300 SF)
 PROPOSED TRACT 264-D: 0.833 AC (36,300 SF)

ZONING
 Tract 264 and the adjoining properties in this his area are zoned SU-1 for C-3 uses. Tract 264 will be divided into four parcels - one parcel of 2.5 acres, and three parcels of 0.833 acres each. The three smaller parcels are to be developed at this time as yards for contractors' materials and equipment storage. Each parcel will have a small building for office space and some indoor storage of materials and supplies. The 2.5-acre parcel will be developed under a future site development plan. No change of land use zoning category is proposed at this time.
DEVELOPMENT OF TRACT 5A1-A
 Tract 5A1-A will not be developed at this time. A detailed Site Development Plan for Tract 5A1-A shall be submitted to the Environmental Planning Commission for final review and to the Development Review Board for approval prior to development of any improvements on that tract.

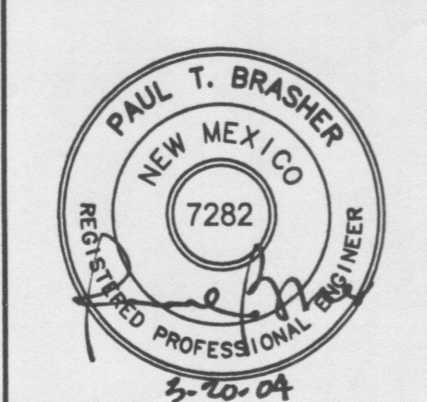
SITE PLAN FOR BUILDING PERMIT
 TRACTS 264-B, 264-C, AND 264-D
 Site Plan for Building permit is presented for Tracts 264-B, 264-C, and 264-D. The plan shows one small building to be constructed on each lot, with separate parking and refuse containment for each. Access to each tract will be provided by private access easement from Hanover. Each tract will be graded to drain to a common storm water detention pond. Subsequent development of Tract 264-A will require the submittal of a site specific Grading and Drainage Plan. Each tract will provide landscaped areas at 20% of the net property area.
SIGNAGE AND LIGHTING
 Signage and lighting limitations are as regulated under C-3 zoning, although there are not signs or lighting proposed for this project.
BUILDING HEIGHT AND SETBACKS
 Building heights and setback limitations are as regulated under C-3 zoning.

LANDSCAPING:
 RECOMMENDED COVERAGE 20% NET AREA PER COORS CORRIDOR PLAN.

| TRACT | Total Lot Area | Total Building Area | Net Lot Area | Landscape Requirement | Total Landscape Required | Total Landscape Provided |
|-------------|----------------|---------------------|--------------|-----------------------|--------------------------|--------------------------|
| TRACT 264-B | 36,295 SF | 3,208 SF | 33,087 SF | 20% | 6,617 SF | 6,652 SF |
| TRACT 264-C | 36,295 SF | 6,321 SF | 29,974 SF | 20% | 5,995 SF | 5,995 SF |
| TRACT 264-D | 36,295 SF | 6,321 SF | 29,974 SF | 20% | 5,995 SF | 5,995 SF |

PARKING:
 TOTAL BUILDING FLOOR AREA PROPOSED = 12,000 SF
 TRACT 264-B: BUILDING C - 2400 SF TOTAL OFFICE WAREHOUSE
 OFFICE USE 1200 SF = 6 SPACES (INCLUDING VAN-ACCESS)
 WAREHOUSE USE 1200 SF = 2 SPACES
 TOTAL SPACES REQUIRED = 7
 TOTAL SPACES PROVIDED = 7
 TRACT 264-C: BUILDING A - 4800 SF TOTAL OFFICE WAREHOUSE
 OFFICE USE 2400 SF = 12 SPACES (INCL. VAN-ACCESS)
 WAREHOUSE USE 2400 SF = 2 SPACES
 TOTAL SPACES REQUIRED = 14
 TOTAL SPACES PROVIDED = 14
 TRACT 264-D: BUILDING B - 4800 SF TOTAL OFFICE WAREHOUSE
 OFFICE USE 2400 SF = 12 SPACES (INCL. VAN-ACCESS)
 WAREHOUSE USE 2400 SF = 2 SPACES
 TOTAL SPACES REQUIRED = 14
 TOTAL SPACES PROVIDED = 14

BRASHER & LORENZ
 CONSULTING ENGINEERS
 2201 San Pedro NE Building 1 Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-888-6088 Fax: 505-888-6188



HYDROSYSTEMS
 SITE PLAN
 SHT: 1 OF 6
 DRW: R.M TR: _____ DATE: 03/20/04
 CKD: P.T.B OK: _____ SCALE: 1"=20'
 APP: _____ ACAD FILE:
 REV. NO. 01553-GD.DWG

| LEGEND | | |
|------------------------|----------|----------|
| ITEM | EXISTING | PROPOSED |
| WATERLINE | 6" W | 6" W |
| SANITARY SEWER | 8" SAS | 8" SAS |
| STORM SEWER | 36" SD | 24" SD |
| FIRE HYDRANT | | |
| VALVE | | |
| WATER SERVICE (SINGLE) | | |
| WATER SERVICE (DOUBLE) | | |
| MANHOLE | | |
| SEWER SERVICE | | |
| POWER POLE (GUYED) | PP | PP |
| DROP INLET | | |
| OVERHEAD ELEC | OHE | |
| UNDERGROUND ELEC. | UGT | |
| GAS, TEL, TV | | |
| TEL. PEDESTAL | TEL | |
| RIGHT OF WAY | | |
| EASEMENT LINE | | |
| PROPERTY LINE | | |
| CENTERLINE | | |
| ITEM | EXISTING | PROPOSED |
| CHAIN LINK FENCE | | |
| RETAINING WALL | | |
| DRAINAGE BASIN DIVIDE | | |
| TOP OF ASPHALT ELEV. | TA 16.2 | TA 16.2 |
| SPOT ELEV. | X 16.7 | 87.26 |
| CURB | | |
| FLOWLINE ELEV. | FL 0.14 | FL 0.14 |
| TOP OF CURB ELEV. | TC 99.3 | TC 99.31 |
| CONTOUR | 5166 | 66 |
| SWALE | | |
| DIRECTION OF FLOW | | |
| WATER BLOCK | | |
| LANDSCAPED AREA | | |

KEYED NOTES

- EXISTING STANDARD CURB & GUTTER
- EXISTING ASPHALT PAVING
- NEW 6" WIDE SIDEWALK
- EXISTING 6" SIDEWALK
- EXISTING PERIMETER CHAIN LINK FENCE
- SLIDING GATE
- NEW ASPHALT PAVING
- NEW LANDSCAPING
- NEW 8" CHAIN LINK PERIMETER FENCING (SLATTED)
- EXISTING FIRE HYDRANT
- NEW 8" CONCRETE CURB & GUTTER
- NEW GRAVEL SURFACE
- STRIPED CROSSWALK
- NEW REFUSE ENCLOSURE
- HANDICAP RAMP

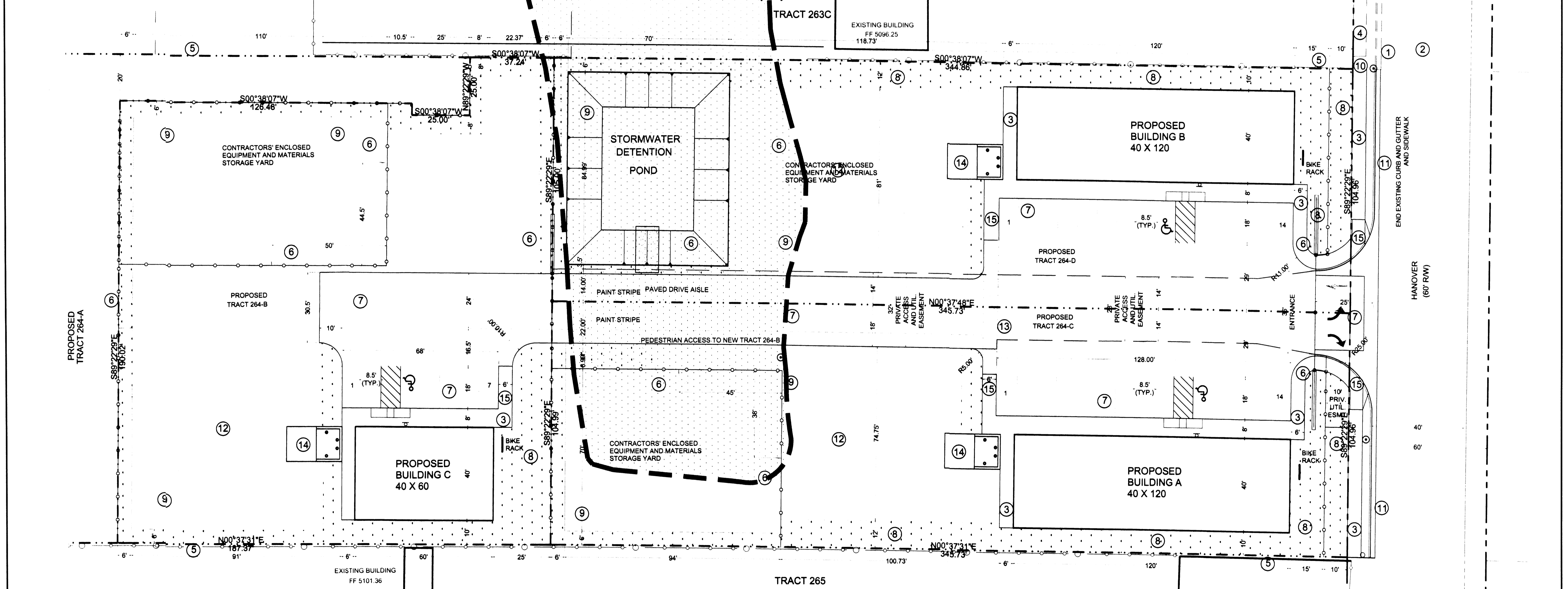
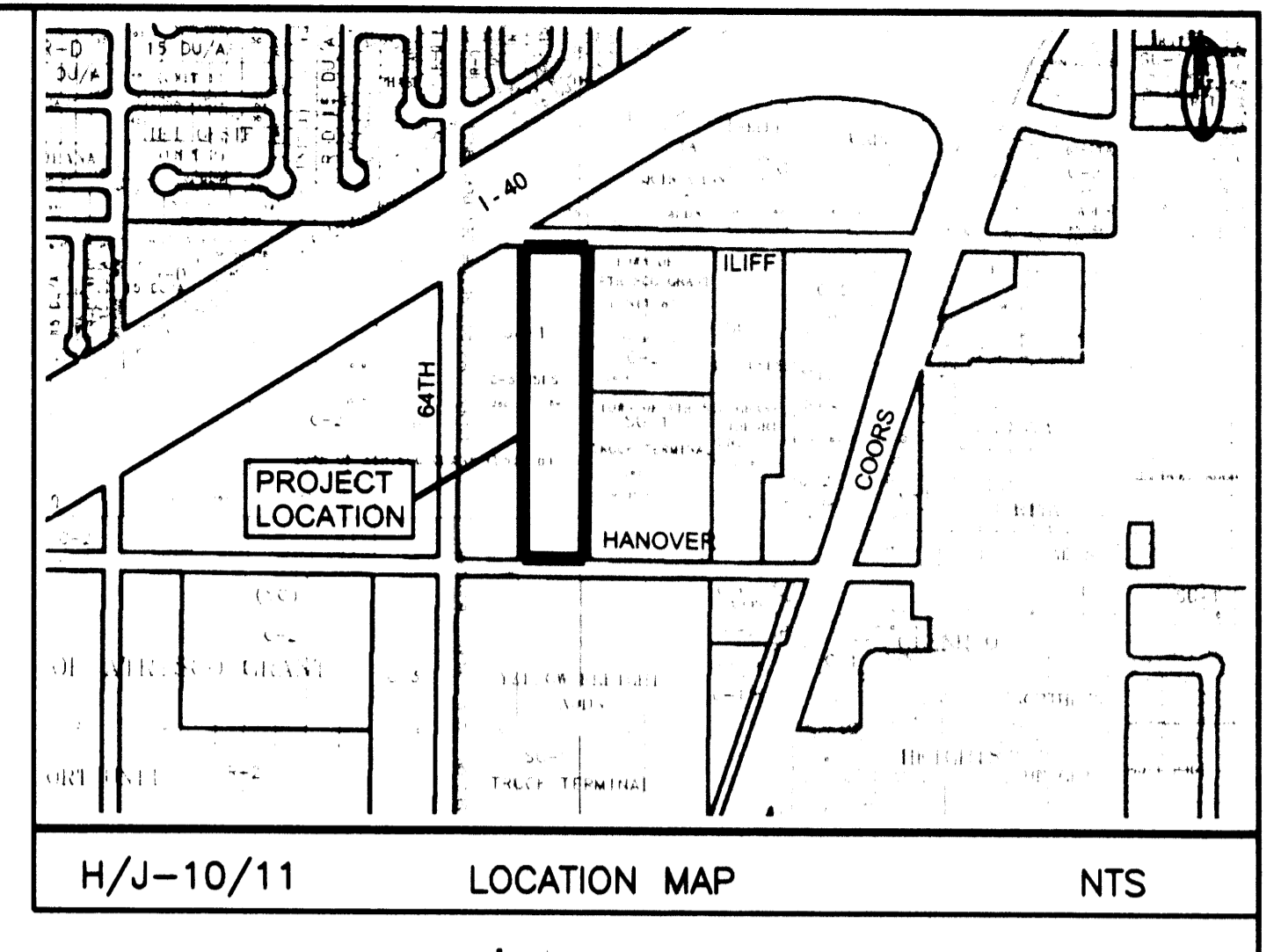
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission, dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied. Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 DRB SITE DEVELOPMENT PLAN APPROVAL: _____
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE _____
 UTILITIES DEVELOPMENT DATE _____
 PARKS AND RECREATION DEPARTMENT DATE _____
 CITY ENGINEER DATE _____
 ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE _____
 SOLID WASTE MANAGEMENT DATE _____
 DRB CHAIR, PLANNING DEPARTMENT DATE _____

Michael Helton 6-23-04
 6/23/04 M.K.

FUTURE DEVELOPMENT OF TRACT 264-A REQUIRES SUBMITTAL OF A SITE DEVELOPMENT PLAN TO THE ENVIRONMENTAL PLANNING COMMISSION

| DRAWING INDEX | |
|-------------------------|-----------|
| TITLE | SHEET NO. |
| SITE PLAN | 1 |
| LANDSCAPE PLAN | 2 |
| GRADING & DRAINAGE PLAN | 3 |
| SITE DETAILS | 4 |
| UTILITIES PLAN | 5 |
| BUILDING ELEVATIONS | 6 |



PROJECT DATA
 EXISTING LEGAL DESCRIPTION:
 TRACT 264 UNIT 8
 TOWN OF ATRISCO GRANT
 PROPOSED LEGAL DESCRIPTION
 TRACTS 264-A, 264-B, 264-C, AND 264-D,
 UNIT 8, TOWN OF ATRISCO GRANT
 PROPERTY ADDRESS:
 HANOVER RD. NW, EAST OF 64TH ST
 SITE AREA:
 EXISTING TRACT 264: 5.00 ACRES (217,800 SF)
 PROPOSED TRACT 264-A: 2.50 AC (108,900 SF)
 PROPOSED TRACT 264-B: 0.833 AC (36,300 SF)
 PROPOSED TRACT 264-C: 0.833 AC (36,300 SF)
 PROPOSED TRACT 264-D: 0.833 AC (36,300 SF)

ZONING
 Tract 264 and the adjoining properties in this area are zoned SU-1 for C-3 uses. Tract 264 will be divided into four parcels - one parcel of 2.5 acres, and three parcels of 0.833 acres each. The three smaller parcels are to be developed at this time as yards for contractors' materials and equipment storage. Each parcel will have a small building for office space and some indoor storage of materials and supplies. The 2.5-acre parcel will be developed under a future site development plan. No change of land use zoning category is proposed at this time.
DEVELOPMENT OF TRACT 264-A
 Tract 264-A will not be developed at this time. A detailed Site Development Plan for Tract 264-A shall be submitted to the Environmental Planning Commission for final review and to the Development Review Board for approval prior to development of any improvements on that tract.

SITE PLAN FOR BUILDING PERMIT TRACTS 264-B, 264-C, AND 264-D
 Site Plan for Building permit is presented for Tracts 264-B, 264-C, and 264-D. The plan shows one small building to be constructed on each lot, with separate parking and refuse containment for each. Access to each tract will be provided by private access easement from Hanover. Each tract will be graded to drain to a common storm water detention pond. Subsequent development of Tract 264-A will require the submittal of a site specific Grading and Drainage Plan. Each tract will provide landscaped areas at 20% of the net property area.
SIGNAGE AND LIGHTING
 Signage and lighting limitations are as regulated by the zoning code, Sections 14-16-3-5 and 14-16-3-9, respectively, although there are no signs or lighting proposed for this project.
BUILDING HEIGHT AND SETBACKS
 Building heights and setback limitations are as regulated under C-3 zoning.

LANDSCAPING:
 RECOMMENDED COVERAGE 20% NET AREA PER COORS CORRIDOR PLAN.

| | | |
|-------------|--------------------------|-----------|
| TRACT 264-B | Total Lot Area | 36,295 SF |
| | Total Building Area | 3,208 SF |
| | Net Lot Area | 33,087 SF |
| | Landscape Requirement | 20% |
| | Total Landscape Required | 6,617 SF |
| | Total Landscape Provided | 6,652 SF |
| TRACT 264-C | Total Lot Area | 36,295 SF |
| | Total Building Area | 6,321 SF |
| | Net Lot Area | 29,974 SF |
| | Landscape Requirement | 20% |
| | Total Landscape Required | 5,995 SF |
| | Total Landscape Provided | 5,995 SF |
| TRACT 264-D | Total Lot Area | 36,295 SF |
| | Total Building Area | 6,321 SF |
| | Net Lot Area | 29,974 SF |
| | Landscape Requirement | 20% |
| | Total Landscape Required | 5,995 SF |
| | Total Landscape Provided | 5,995 SF |

PARKING:
 TOTAL BUILDING FLOOR AREA PROPOSED = 12,000 SF
 TRACT 264-B: BUILDING C - 2400 SF TOTAL OFFICE WAREHOUSE OFFICE USE 1200 SF = 6 SPACES (INCLUDING VAN-ACCESS) WAREHOUSE USE 1200 SF = 1 SPACE TOTAL SPACES REQUIRED = 7 TOTAL SPACES PROVIDED = 7 BICYCLE PARKING: 1 REQUIRED - 2 PROVIDED
 TRACT 264-C: BUILDING A - 4800 SF TOTAL OFFICE WAREHOUSE OFFICE USE 2400 SF = 12 SPACES (INCL. VAN-ACCESS) WAREHOUSE USE 2400 SF = 2 SPACES TOTAL SPACES REQUIRED = 14 TOTAL SPACES PROVIDED = 14 BICYCLE PARKING: 2 REQUIRED - 2 PROVIDED
 TRACT 264-D: BUILDING B - 4800 SF TOTAL OFFICE WAREHOUSE OFFICE USE 2400 SF = 12 SPACES (INCL. VAN-ACCESS) WAREHOUSE USE 2400 SF = 2 SPACES TOTAL SPACES REQUIRED = 14 TOTAL SPACES PROVIDED = 14 BICYCLE PARKING: 2 REQUIRED - 2 PROVIDED

Scale: 1 inch = 20 ft.

BRASHER & LORENZ CONSULTING ENGINEERS
 2201 San Pedro NE Building 1 Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-888-8088 Fax: 505-888-8188

HYDROSYSTEMS
 SITE PLAN FOR BUILDING PERMIT

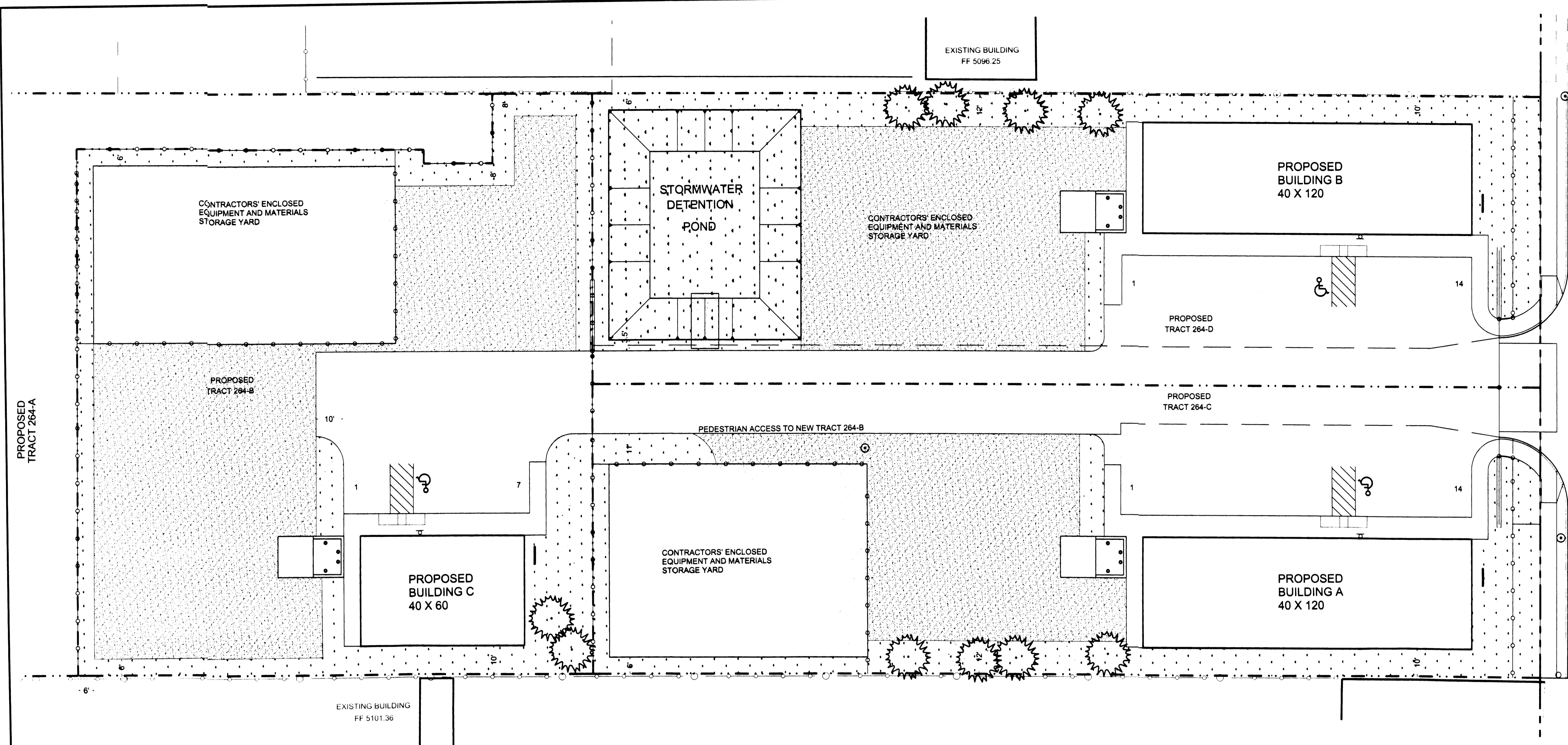
DRW: R.M.
 CKD: P.T.B.
 APP: _____
 REV. NO. _____

TR: OK
 ACAD FILE: 01553.GD.DWG

DATE: 06/21/04
 SCALE: 1"=20'

SHT: 1 OF 6

PAUL T. BRASHER
 NEW MEXICO
 7282
 REGISTERED PROFESSIONAL ENGINEER
 06-71-04



LEGEND

| | | |
|-----------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|--|
| 3" CAL SHADE TREES - 10 TOTAL HONEYLOCUST OR ASH | 3/4" CRUSHED GREY GRAVEL, 4" THICK | |
| 2" CAL ORNAMENTAL TREES - 10 TOTAL BRADFORD PEAR, CRABAPPLE, PURPLELEAF PLUM | UNTREATED, GRADED, NATURAL SOIL (PIPE, MATERIALS, AND EQUIPMENT STORAGE AREA) | |
| 5 GALLON NATIVE SHRUBS - 22 TOTAL APACHE PLUME, RUSSIAN SAGE, BLUEMIST SPIRAEA | 7/8" SANTA FE BROWN GRAVEL SEEDED WITH GRAMMA GRASS | |
| | NATIVE SEED (DETENTION POND) | |

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the property owner.

This plan is intended to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance as it pertains to planting restrictions. Approval of this plan is not intended to imply any exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. The responsibility for management of water used for landscaping irrigation rests with the property owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, and Water Conservation Landscaping and Water Waste Ordinance.

Plant beds shall achieve at least 70% live ground cover at maturity.

IRRIGATION NOTES:

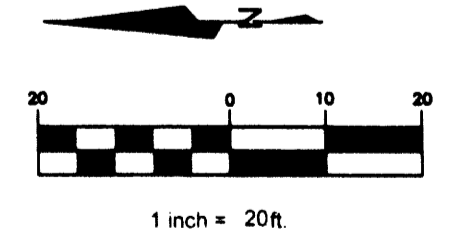
Irrigation shall be a complete underground system with trees to receive five 1.0 GPH drip emitters. Shrubs shall be provided each with two 1.0 GPH drip emitters. Drip and bubbler systems shall be connected to 1/2" polyethylene piping with flush caps at each end. Run time for each drip valve will be approximately 15 minutes per day, adjusted by season. Irrigation will be operated by automatic controller. Location of the controller will be determined as convenient upon completion of the respective building electrical service.

Maintenance of the irrigation system will be the responsibility of the property owner.

LANDSCAPE CALCULATIONS:

| | | | | | |
|--------------------|--------------------------|-----------|--------------------|--------------------------|-----------|
| TRACT 264-B | Total Lot Area | 36,295 SF | TRACT 264-B | Total Lot Area | 36,295 SF |
| | Total Building Area | 3,208 SF | | Total Building Area | 3,208 SF |
| | Net Lot Area | 33,087 SF | | Net Lot Area | 33,087 SF |
| | Landscape Requirement | 20% | | Landscape Requirement | 20% |
| | Total Landscape Required | 6,617 SF | | Total Landscape Required | 6,617 SF |
| | Total Landscape Provided | 6,652 SF | | Total Landscape Provided | 6,652 SF |
| TRACT 264-C | Total Lot Area | 36,295 SF | TRACT 264-C | Total Lot Area | 36,295 SF |
| | Total Building Area | 6,321 SF | | Total Building Area | 6,321 SF |
| | Net Lot Area | 29,974 SF | | Net Lot Area | 29,974 SF |
| | Landscape Requirement | 20% | | Landscape Requirement | 20% |
| | Total Landscape Required | 5,995 SF | | Total Landscape Required | 5,995 SF |
| | Total Landscape Provided | 5,995 SF | | Total Landscape Provided | 5,995 SF |
| TRACT 264-D | Total Lot Area | 36,295 SF | TRACT 264-D | Total Lot Area | 36,295 SF |
| | Total Building Area | 6,321 SF | | Total Building Area | 6,321 SF |
| | Net Lot Area | 29,974 SF | | Net Lot Area | 29,974 SF |
| | Landscape Requirement | 20% | | Landscape Requirement | 20% |
| | Total Landscape Required | 5,995 SF | | Total Landscape Required | 5,995 SF |
| | Total Landscape Provided | 5,995 SF | | Total Landscape Provided | 5,995 SF |

HANOVER
(60' RW)



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

**HYDROSYSTEMS
LANDSCAPING PLAN**

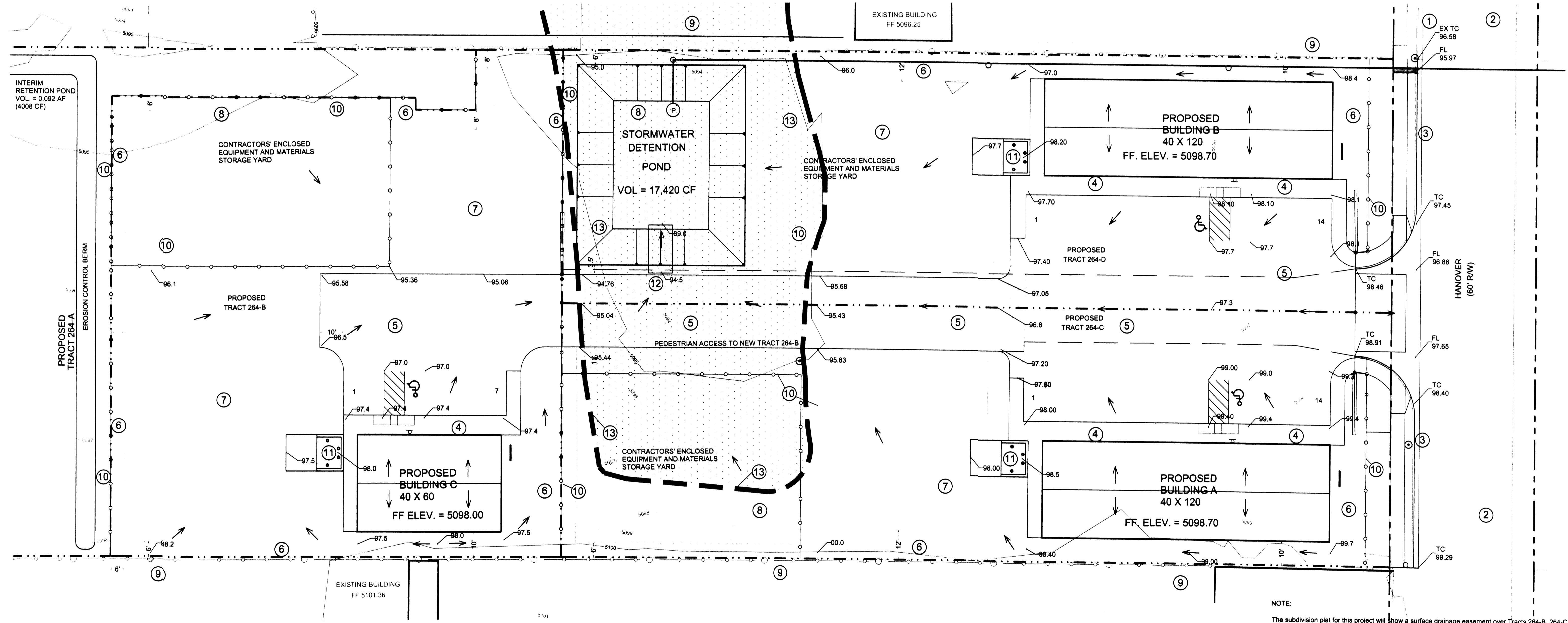
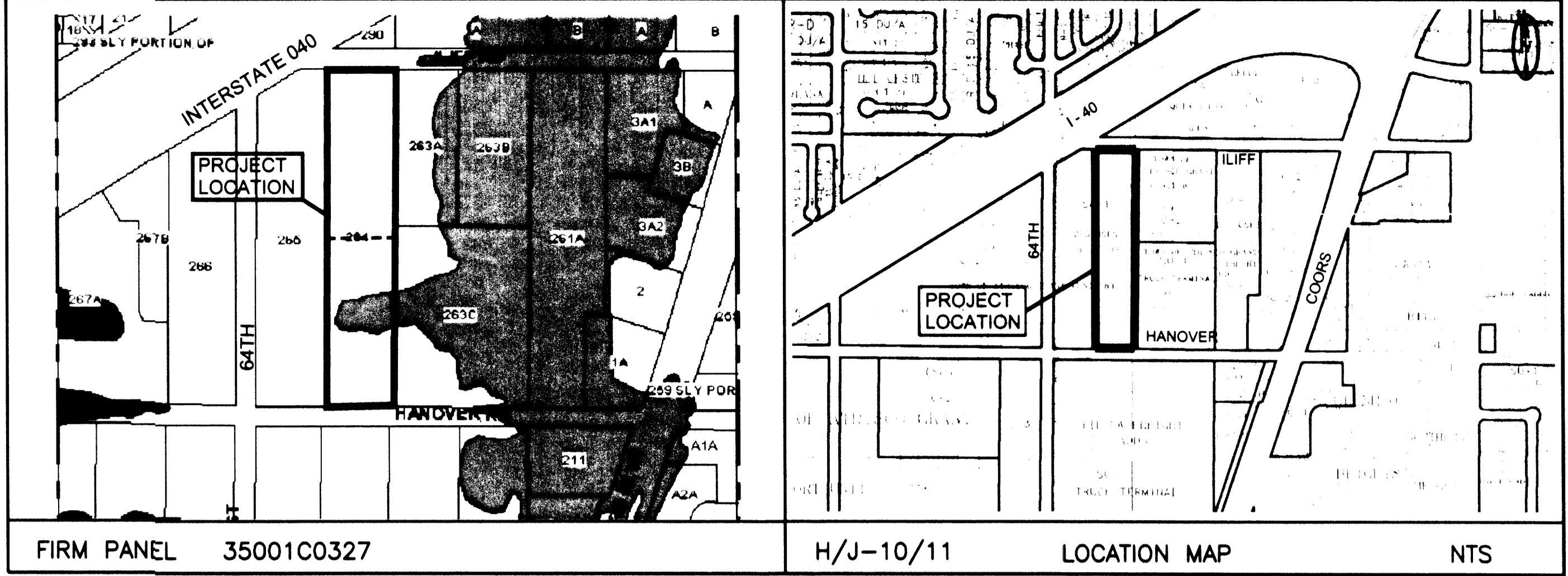
SHT: 2 OF 6

| | | |
|--------------------------------------------|---------------------------------------|---------------------------------|
| DRW: R.M CKD: P.T.B APP: REV. NO. | TR: OK: ACAD FILE: 01553.DWG | DATE: 06/21/04 SCALE: 1"=20' |
|--------------------------------------------|---------------------------------------|---------------------------------|

| LEGEND | | |
|--------------------------------|----------|----------|
| ITEM | EXISTING | PROPOSED |
| WATERLINE | 6" W | 6" W |
| SANITARY SEWER | 8" SAS | 8" SAS |
| STORM SEWER | 36" SD | 24" SD |
| FIRE HYDRANT VALVE | | |
| WATER SERVICE (SINGLE) | | |
| WATER SERVICE (DOUBLE) | | |
| MANHOLE | | |
| SEWER SERVICE | | |
| POWER POLE (GUYPED) | | |
| DROP INLET | | |
| OVERHEAD ELEC. | OHE | |
| UNDERGROUND ELEC. GAS, TEL, TV | UGT | |
| TEL. PEDESTAL | TEL | |
| RIGHT OF WAY | | |
| EASEMENT LINE | | |
| PROPERTY LINE | | |
| CENTERLINE | | |
| CHAIN LINK FENCE | X | |
| RETAINING WALL | | |
| DRAINAGE BASIN DIVIDE | | |
| TOP OF ASPHALT ELEV. | TA 16.2 | TA 16.2 |
| SPOT ELEV. | X 16.7 | 87.26 |
| CURB | | |
| FLOWLINE ELEV. | FL 0.14 | FL 0.14 |
| TOP OF CURB ELEV. | TC 99.3 | TC 99.31 |
| CONTOUR | 5166 | 66 |
| SWALE | | |
| DIRECTION OF FLOW | | |
| WATER BLOCK | | |

- KEYED NOTES**
- EXISTING STANDARD CURB & GUTTER
 - EXISTING ASPHALT PAVING
 - NEW CONC. CURB AND GUTTER
 - NEW CONC. TURNDOWN SIDEWALK
 - NEW ASPHALT PAVEMENT
 - NEW LANDSCAPING
 - GRAVEL YARD
 - NATIVE TREATMENT
 - EXIST. CHAIN LINK FENCE
 - NEW 8" CHAIN LINK FENCE
 - NEW REFUSE ENCLOSURE
 - POND INLET
 - MAPPED 100 YR. FLOODPLAIN (APPROX.)

| PROJECT HYDROLOGY | | | | | | | | | |
|------------------------------------------|-----------|--------|--------|--------|--------|------|---------|-----------------|--------------------|
| TRACT 264, UNIT 8, ATRISCO BUSINESS PARK | | | | | | | | | |
| ZONE: | 1 | | | | | | | | |
| P _{24 HOUR} : | 2.20 | | | | | | | | |
| P _{10 DAY} : | 3.67 | | | | | | | | |
| UNDEVELOPED: | | | | | | | | | |
| BASIN | AREA (ac) | A (ac) | B (ac) | C (ac) | D (ac) | E | Q (cfs) | VOL 360 (ac ft) | VOL 10 DAY (ac ft) |
| EXISTING SITE | 5.00 | 5.00 | 0.00 | 0.00 | 0.00 | 0.44 | 6.45 | 0.183 | 0.183 |
| TRACT 264 A | 2.50 | 2.50 | 0.00 | 0.00 | 0.00 | 0.44 | 3.23 | 0.092 | 0.092 |
| TRACTS 264-B, C, D | 2.50 | 2.50 | 0.00 | 0.00 | 0.00 | 0.44 | 3.23 | 0.092 | 0.092 |
| DEVELOPED (PROPOSED): | | | | | | | | | |
| BASIN | AREA (ac) | A (ac) | B (ac) | C (ac) | D (ac) | E | Q (cfs) | VOL 360 (ac ft) | VOL 10 DAY (ac ft) |
| TRACT 264 A | 2.50 | 0.00 | 0.20 | 1.30 | 1.00 | 1.36 | 8.51 | 0.283 | 0.400 |
| TRACTS 264-B, C, D | 2.50 | 0.00 | 0.12 | 1.42 | 0.96 | 1.35 | 8.51 | 0.281 | 0.405 |



CONCEPTUAL GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE
Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Conceptual Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the subdivision of Tract 264, Unit 8, Town of Atrisco Grant into 4 parcels, and the development of the southerly 2.5-acre, Tracts 264-B, 264-C, and 264-D. Tracts 264-B, C, and D are to be developed into contractors' yards with small office buildings to provide some materials and equipment. This plan is presented to establish conceptual grading and drainage criteria to support site plan review by the Environmental Planning Commission.

EXISTING CONDITIONS
The project site is approximately 5.00-acre in size and is located between Hanover Road and Liff Road NW, just east of 64th Street NW. The project site is presently described as Tract 264, Unit 8, Town of Atrisco Grant. The site is presently undeveloped. Site topography slopes from west to east, to a natural depression located at the midpoint of the site. The site is bounded by developed properties on the east and west, and by Liff and Hanover Roads on the north and south. No off-site flows enter the site, since all neighboring developed properties utilize detention ponding for drainage management.

As shown by the attached FIRM Panel, a mapped floodplain projects in the mid-section of the site, at the location of the natural depression described above. Due to the construction of large community detention ponds on Tracts 263A, 263B and 263C located to the east, the mapped floodplain may have been revised.

PROPOSED CONDITIONS
As shown by the Plan, the project consists of the subdivision of Tract 264, Unit 8, Town of Atrisco Grant into 4 parcels, and the development of the southerly 2.5-acre, Tracts 264-B, C, and D. Tract 264-B is to be developed into an office-warehouse complex. The Plan shows the elevations and detail necessary to demonstrate the grading and drainage criteria for development of the property. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions.

Development of the property is to be phased. Tracts 264-B and C will develop first, followed by 264-D, per the detail illustrated in the Plan. Tract 264-A will develop at a later date. The Plan provides general grading and drainage criteria for the future development Tract 264-A. Site specific detail will be provided by a future Site Plan for Building Permit.

Due to existing site topography, Tracts 264-B, C, and D will drain to an internal detention pond located at the natural low point of the site. Since no gravity outfall exists, a sump pump will be provided to drain the pond to Hanover Road within 96 hours. The pond volume is established at 17,424 cubic feet, which represents the 10-day, 100 year volume for the site. As shown by the Plan, a mapped flood hazard zone encroaches into the interior of the site. Due to the construction of large community detention ponds on Tracts 263A, 263B and 263C located to the east, the mapped floodplain may not be accurately delineated. The proposed site improvements will not encroach into the floodplain or significantly alter the topography.

The future development of Tract 264-A will consist of construction of an on-site detention pond with a drain line connecting to the existing public storm drain located in Liff Road. The Liff Road storm drain connects to the recently constructed West Mesa Diversion, located in 64th Street and crossing Interstate 40. In the interim, temporary erosion control measures are recommended to limit the discharge of undeveloped runoff and sediment onto adjacent properties. As shown by the Plan, a temporary erosion control berm is recommended along the south and

east tract boundaries to trap all undeveloped runoff from the parcel. The undeveloped runoff volume is calculated at 4008 cubic feet. As stated above, development of Tract 264-A will be controlled by a site specific Site Development Plan and Grading and Drainage plan to be reviewed by the Environmental Planning Commission.

As stated above, this plan is presented to establish conceptual grading and drainage criteria to support site plan review by the Environmental Planning Commission, and does not provide the detail necessary for construction. Upon site plan approval, a comprehensive grading and drainage plan will be prepared for building permit purposes that provides the required details and supportive calculations.

EROSION CONTROL
Since the disturbed area is determined to be more than 1.0-acre a Storm Water Pollution Prevention Plan and Notice of Intent are required prior to construction. A complete Storm Water Pollution Prevention Plan will be prepared in advance of construction outlining the short term and long term erosion, sediment and pollution control aspects of the project.

CALCULATIONS
Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

PROJECT DATA

EXISTING LEGAL DESCRIPTION:
TRACT 264 UNIT 8
TOWN OF ATRISCO GRANT

PROPOSED LEGAL DESCRIPTION:
TRACTS 264-A, 264-B, 264-C, AND 264-D
UNIT 8, TOWN OF ATRISCO GRANT

PROPERTY ADDRESS:
HANOVER RD. NW, EAST OF 64TH ST

BENCHMARK:
TBM - TOP OF CONC. CURB & GUTTER
ON HANOVER AT SE CORNER OF SITE
ELEVATION = 5096.58' MSL

MAPPING:
TOPOGRAPHIC AND FIELD MEASUREMENTS
BY BRASHER & LORENZ, INC.
DATED FEBRUARY 4, 2004

NOTE:
The subdivision plat for this project will show a surface drainage easement over Tracts 264-B, 264-C, and 264-D. Maintenance of the easement and facilities contained therein will be the responsibility of the property owners.

PROJECT DATA

EXISTING LEGAL DESCRIPTION:
TRACT 264 UNIT 8
TOWN OF ATRISCO GRANT

PROPOSED LEGAL DESCRIPTION:
TRACTS 264-A, 264-B, 264-C, AND 264-D
UNIT 8, TOWN OF ATRISCO GRANT

PROPERTY ADDRESS:
HANOVER RD. NW, EAST OF 64TH ST

BENCHMARK:
TBM - TOP OF CONC. CURB & GUTTER
ON HANOVER AT SE CORNER OF SITE
ELEVATION = 5096.58' MSL

MAPPING:
TOPOGRAPHIC AND FIELD MEASUREMENTS
BY BRASHER & LORENZ, INC.
DATED FEBRUARY 4, 2004

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

HYDROSYSTEMS
GRADING AND DRAINAGE PLAN

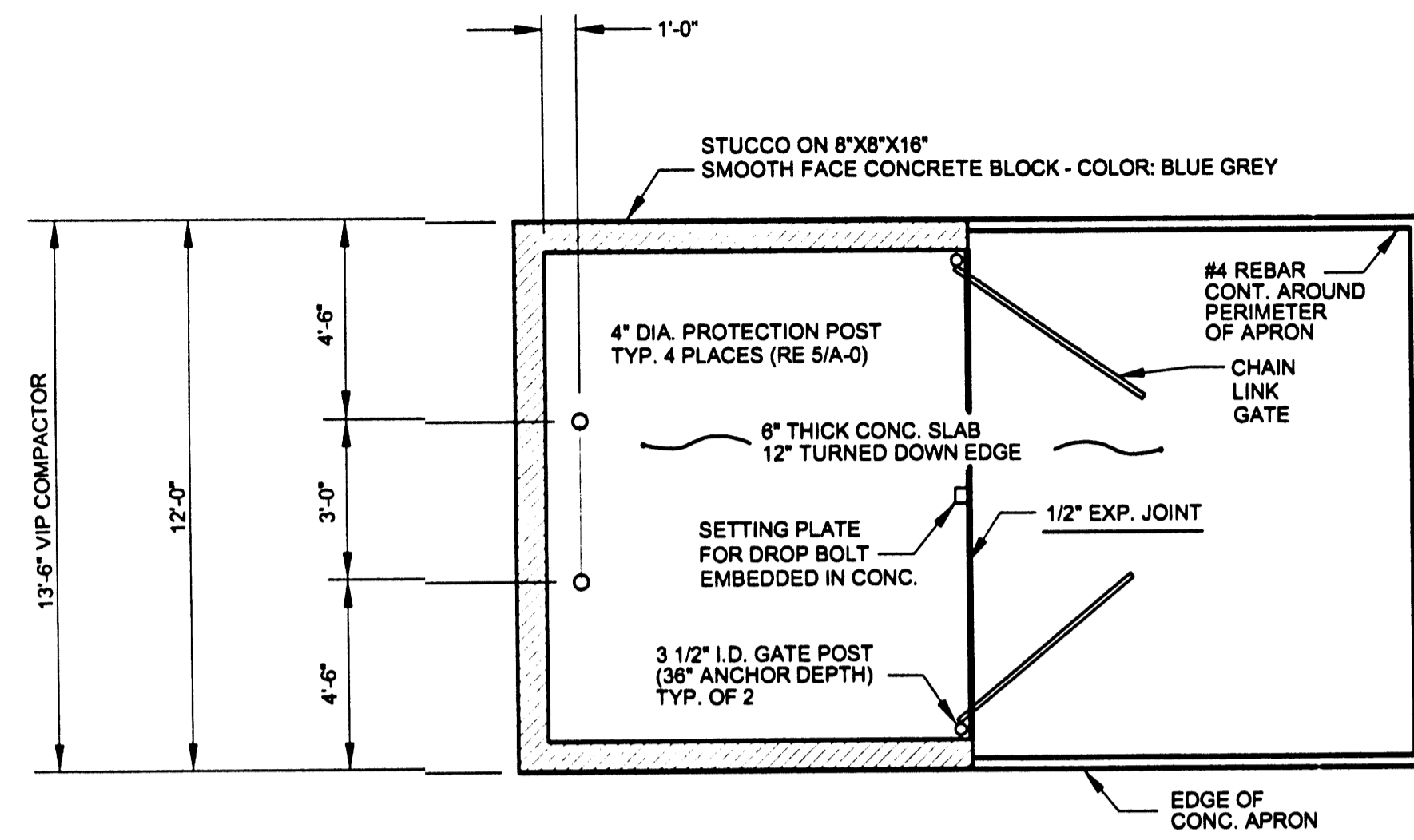
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APP:
REV. NO.

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OK:
ACAD FILE:
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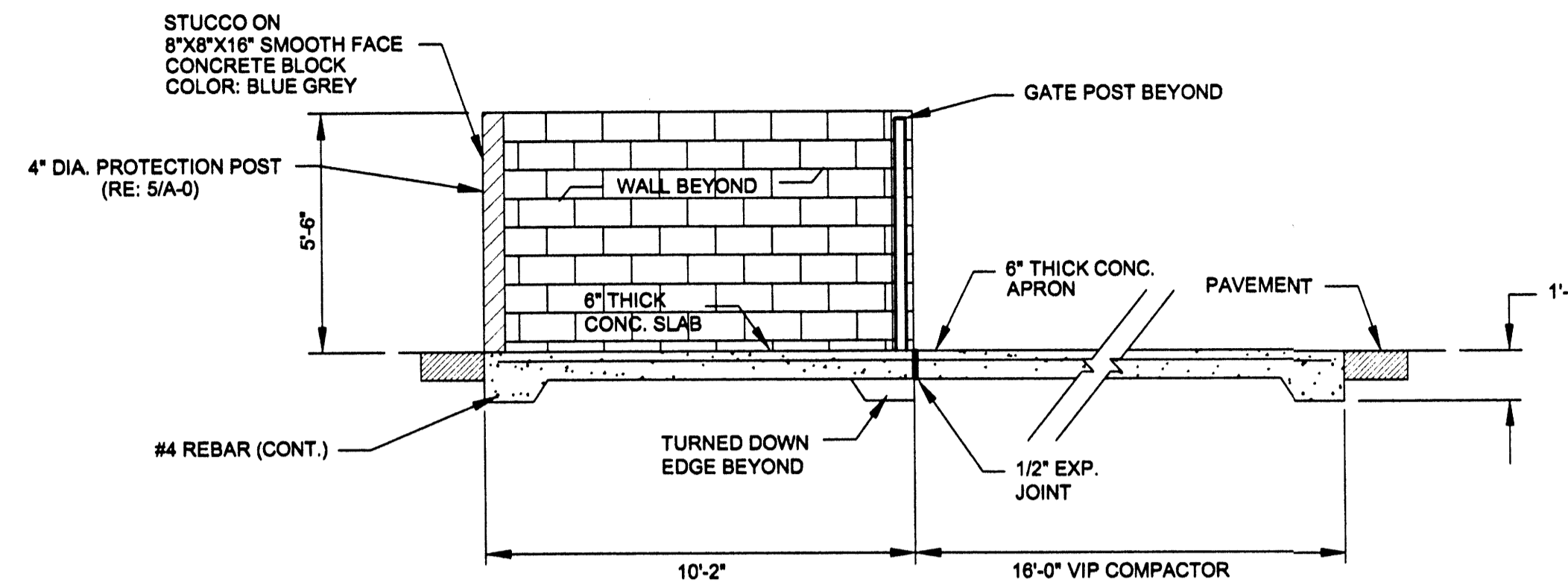
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SHT: 3 OF 6

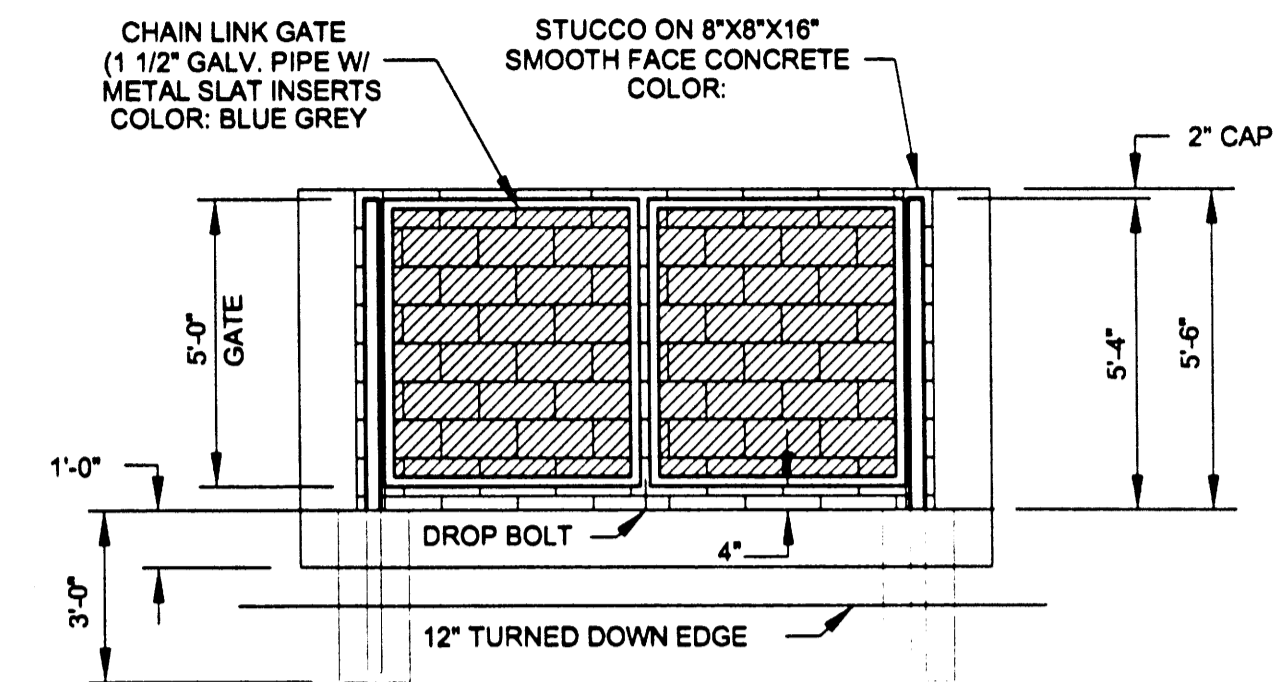
PAUL T. BRASHER
NEW MEXICO
7282
REGISTERED PROFESSIONAL ENGINEER
06-21-04



TRASH ENCLOSURE PLAN
NTS

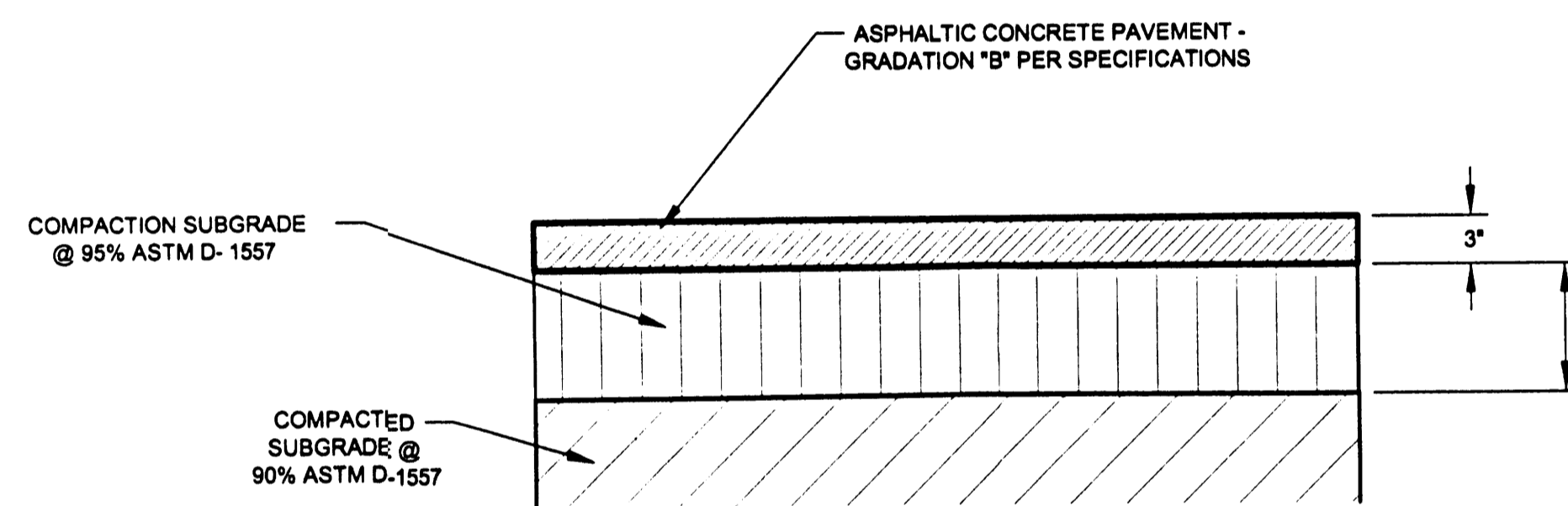


TRASH ENCLOSURE SECTION
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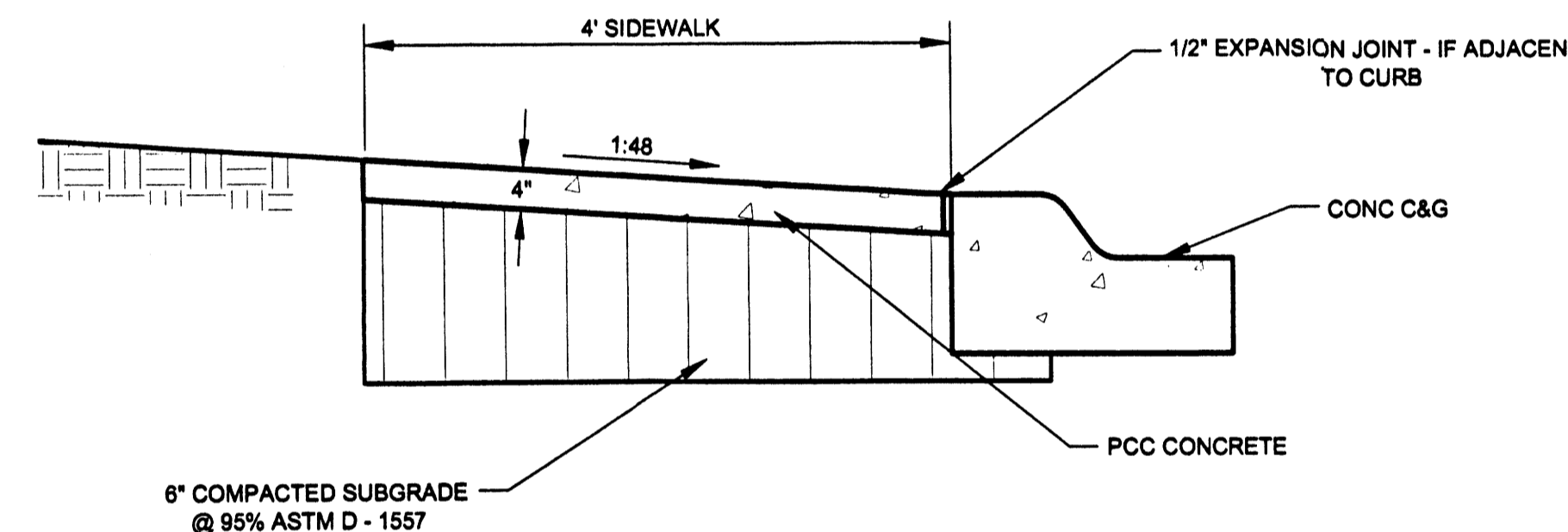


NOTE: PROTECTION POSTS NOT SHOWN FOR CLARITY

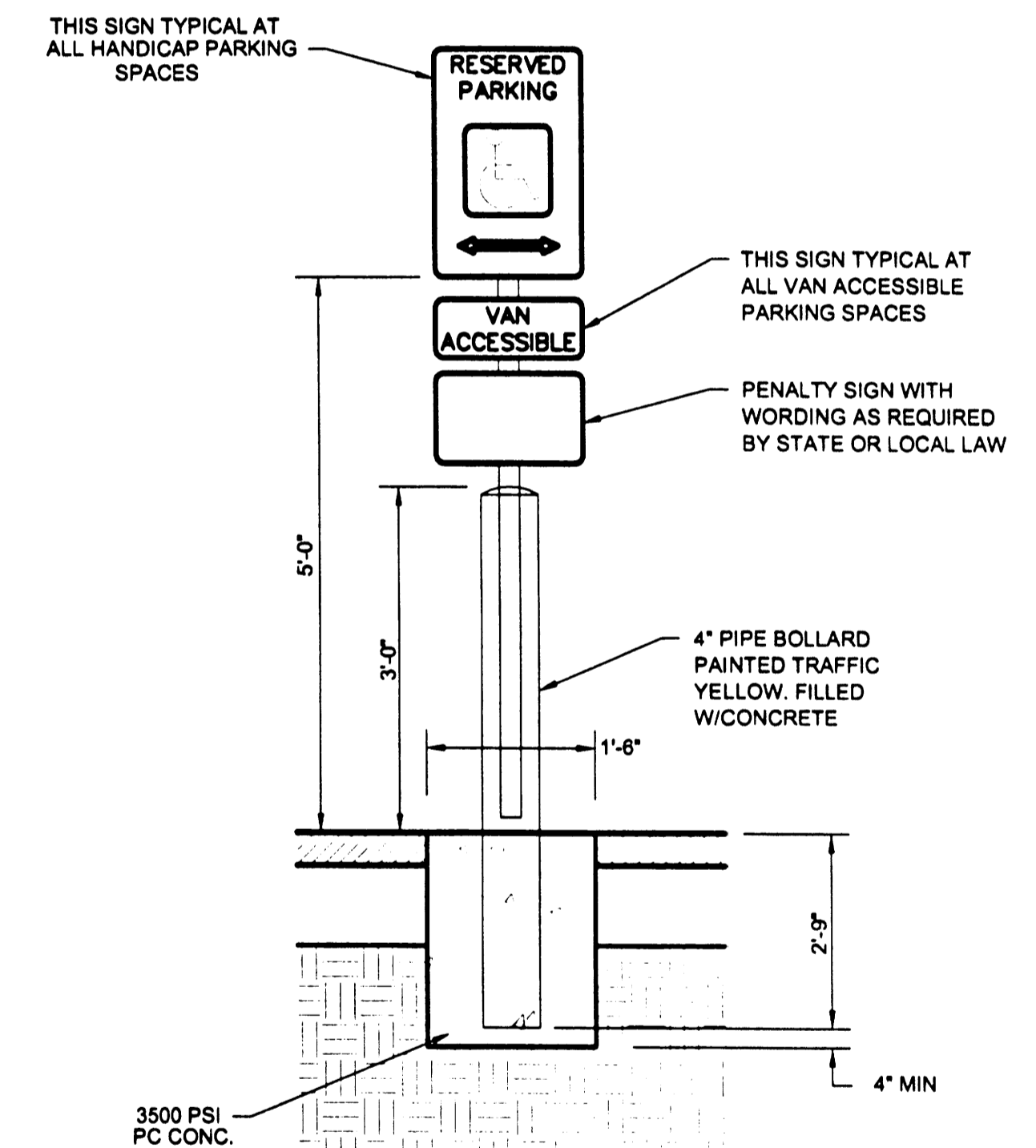
TRASH ENCLOSURE ELEVATION
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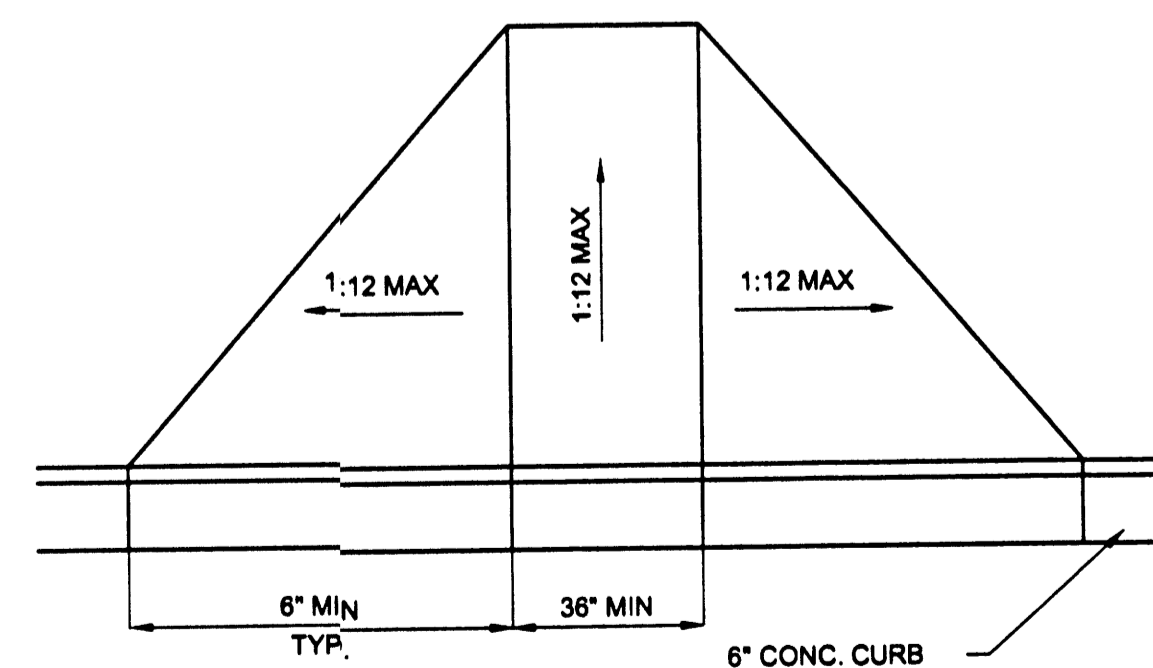
ASPHALT PAVEMENT SECTION
NTS



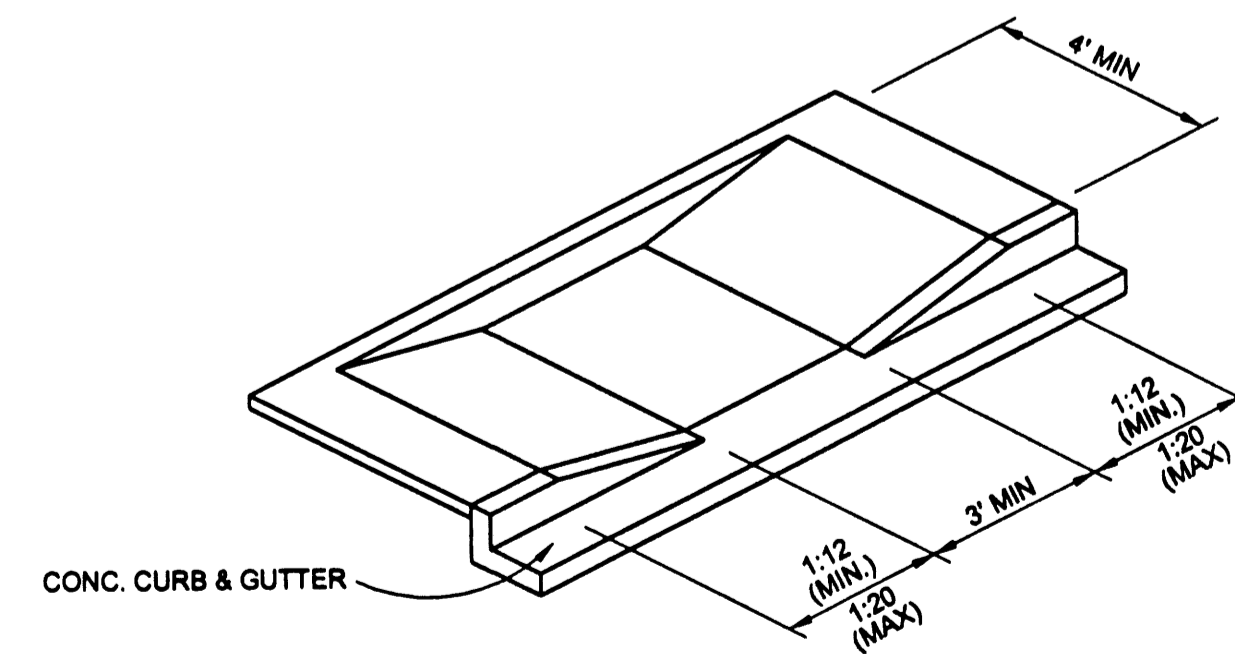
SIDEWALK DETAIL
NTS



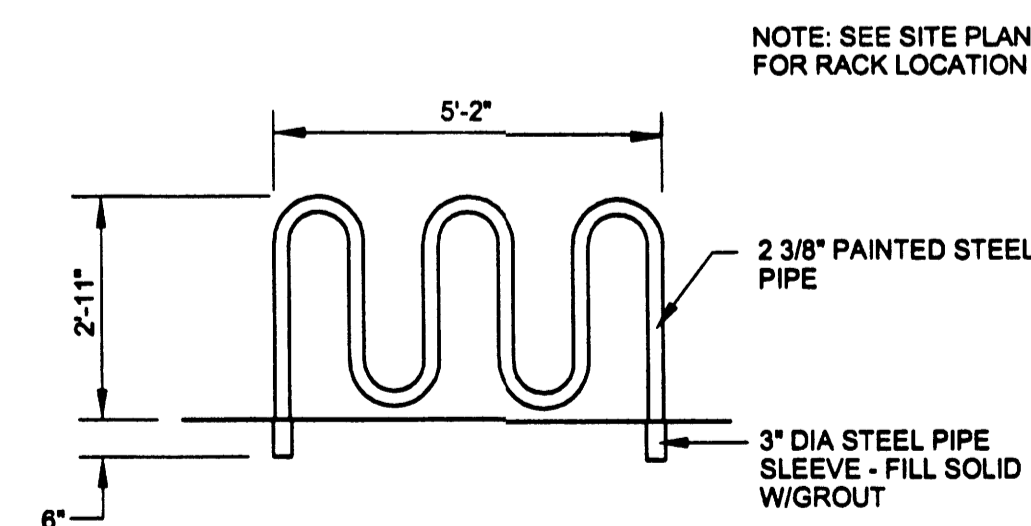
HANDICAP SIGN ASSEMBLY DETAIL
NTS



HANDICAP RAMP DETAIL
NTS

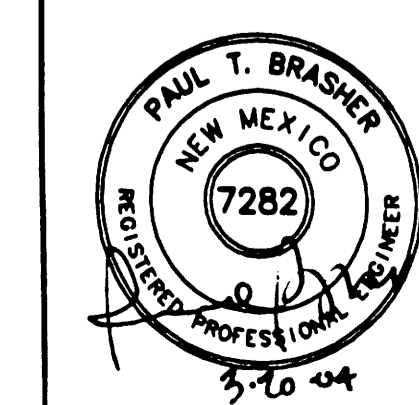


HANDICAP RAMP DETAIL
NTS



REBBIION BICYCLCE RACK
NTS

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CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188



HYDROSYSTEMS
DETAIL PLAN

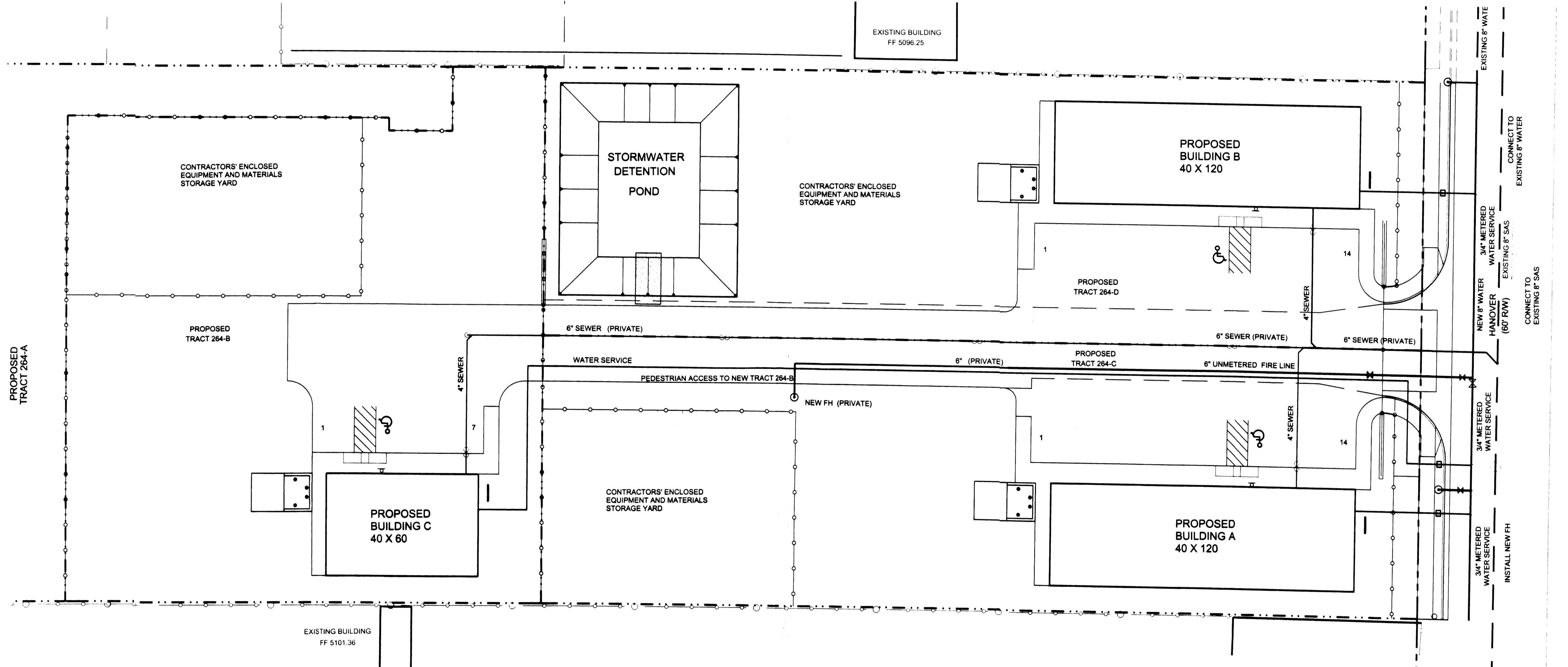
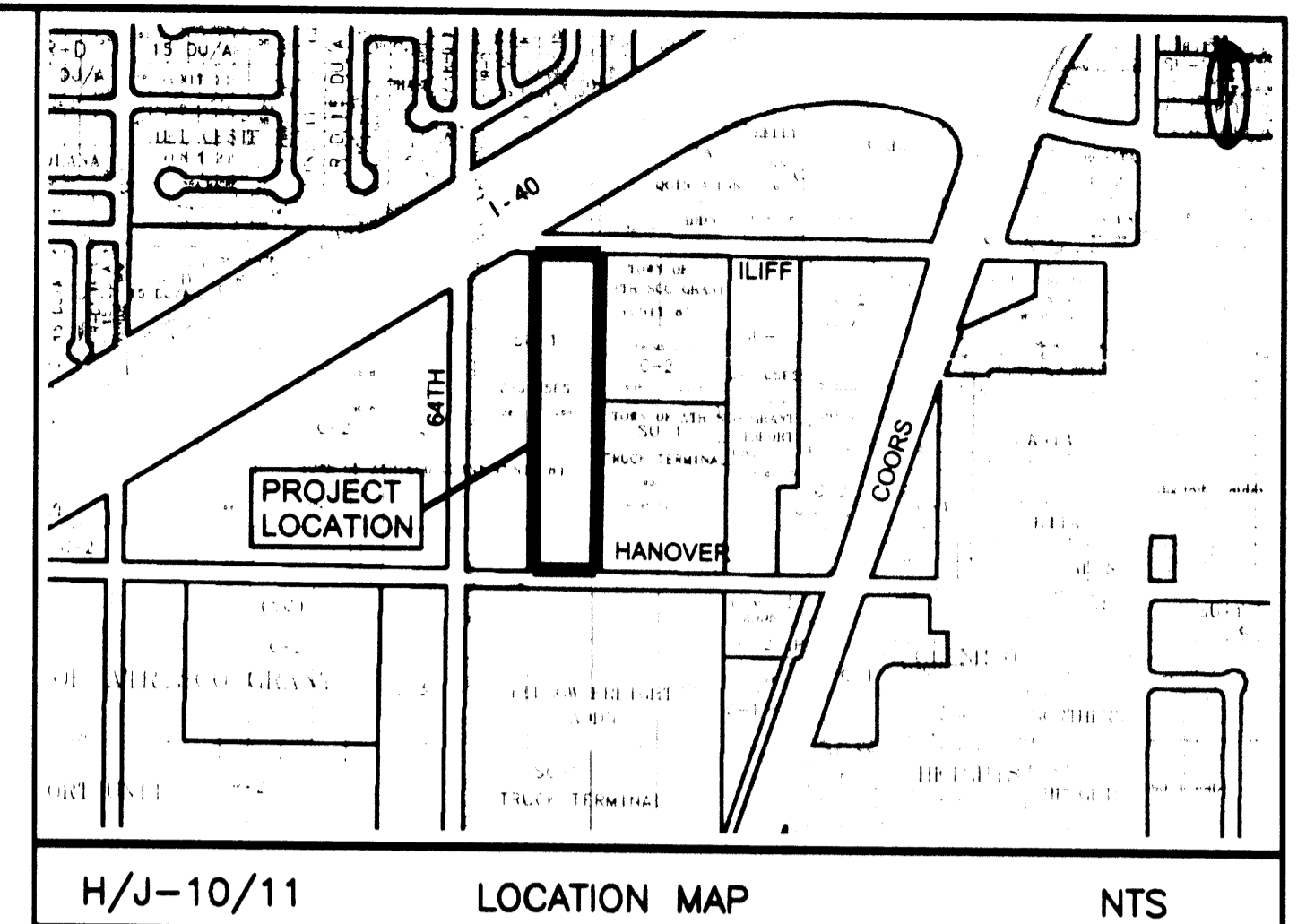
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CKD: P.T.B.
APP:
REV. NO.

TR:
OK:
ACAD FILE:
03552-DET.DWG

DATE: 02/04/04
SCALE: NTS

SHT: 4 OF 6

| LEGEND | | | | | |
|------------------------|----------|----------|----------------------|----------|----------|
| ITEM | EXISTING | PROPOSED | ITEM | EXISTING | PROPOSED |
| WATERLINE | 6" W | 6" W | CHAIN LINK FENCE | | |
| SANITARY SEWER | 8" SAS | 8" SAS | RETAINING WALL | | |
| STORM SEWER | 36" SD | 24" SD | DRAINAGE BASIN | | |
| FIRE HYDRANT | | | DIVIDE | | |
| VALVE | | | TOP OF ASPHALT ELEV. | TA 16.2 | TA 16.2 |
| WATER SERVICE (SINGLE) | | | SPOT ELEV. | X 16.7 | X 87.26 |
| WATER SERVICE (DOUBLE) | | | CURB | | |
| MANHOLE | | | FLOWLINE ELEV. | FL 0.14 | FL 0.14 |
| SEWER SERVICE | | | TOP OF CURB ELEV. | TC 99.3 | TC 99.31 |
| POWER POLE (GUYED) | PP | PP | CONTOUR | 5166 | 66 |
| DROP INLET | | | SWALE | | |
| OVERHEAD ELEC | OHE | OHE | DIRECTION OF FLOW | | |
| UNDERGROUND ELEC. | UGT | UGT | WATER BLOCK | | |
| GAS, TEL, TV | | | | | |
| TEL. PEDESTAL | TEL | TEL | | | |
| RIGHT OF WAY | | | | | |
| EASEMENT LINE | | | | | |
| PROPERTY LINE | | | | | |
| CENTERLINE | | | | | |



PROJECT DATA

EXISTING LEGAL DESCRIPTION:
TRACT 264 UNIT 8
TOWN OF ATRISCO GRANT

PROPOSED LEGAL DESCRIPTION
TRACTS 264-A, 264-B, 264-C, AND 264-D
UNIT 8, TOWN OF ATRISCO GRANT

PROPERTY ADDRESS:
HANOVER RD. NW, EAST OF 64TH ST

ZONING:
SU-1 for C-3 USES

SITE AREA:
EXISTING TRACT 264: 5.00 ACRES (217,770 SF)
PROPOSED TRACT 264-A: 2.50 AC (108,885 SF)
PROPOSED TRACT 264-B: 0.833 AC (36,295 SF)
PROPOSED TRACT 264-C: 0.833 AC (36,295 SF)
PROPOSED TRACT 264-D: 0.833 AC (36,295 SF)

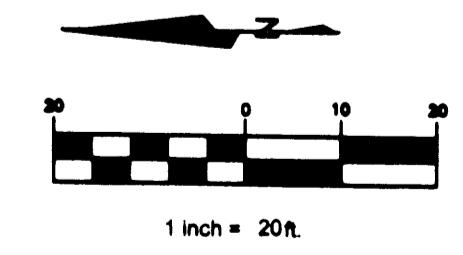
WATER SERVICE

The existing 8" waterline in Hanover will be extended to the west along the frontage of the site, a distance of approximately 210'. Water service to each building will be supplied by separate metered service connection to the new 8" waterline extension. The new services will each serve a portion of the landscaping irrigation system. Fire protection on site will be provided by the extension of a private, unmetered fireline, with a private hydrant as shown.

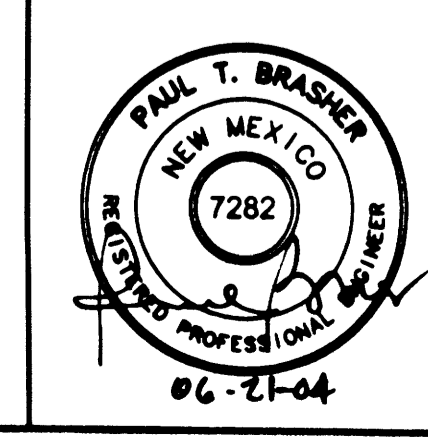
Water and sewer service lines constructed on site for Tracts 264-B, 264-C, and 264-D will be contained in a private access and utilities easement. Maintenance of that easement and the utilities contained therein is the responsibility of the property owners.

SANITARY SEWER SERVICE

There is an existing 8" sanitary sewerline in Hanover across the entire frontage of the site. Each building will drain by 4" private sewer service line, with in-line cleanouts, to a 6" private sewerline. The 6" line will be connected to the existing line in Hanover at a new Tee/Wye connection to the main.



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-9088 Fax: 505-888-6188



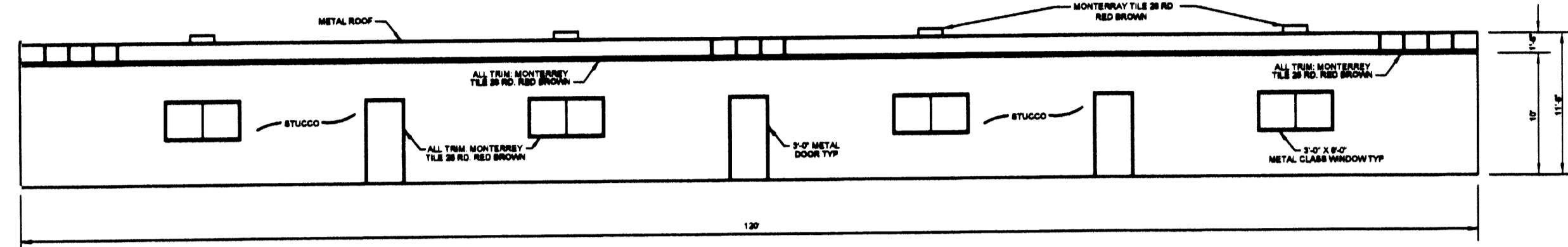
HYDROSYSTEMS UTILITIES PLAN

DRW: R.M
CKD: P.T.B
APP:
REV. NO.

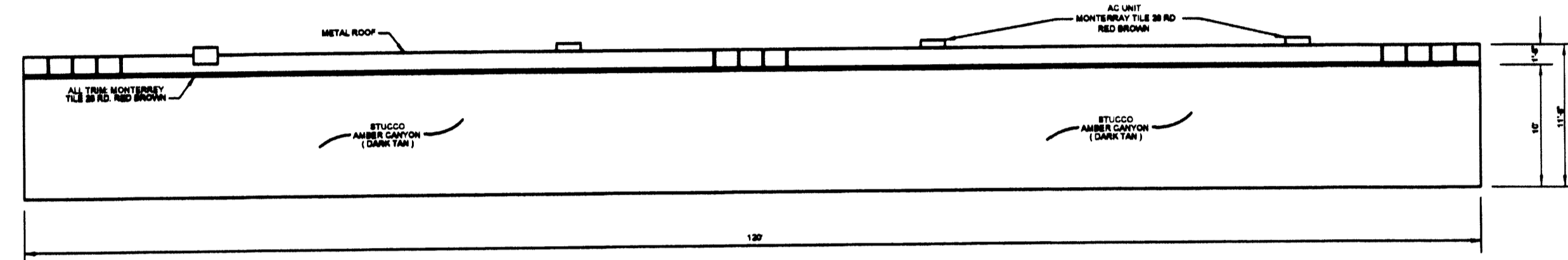
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OK:
ACAD FILE:
01553-GD DWG

DATE: 06/21/04
SCALE: 1"=20'

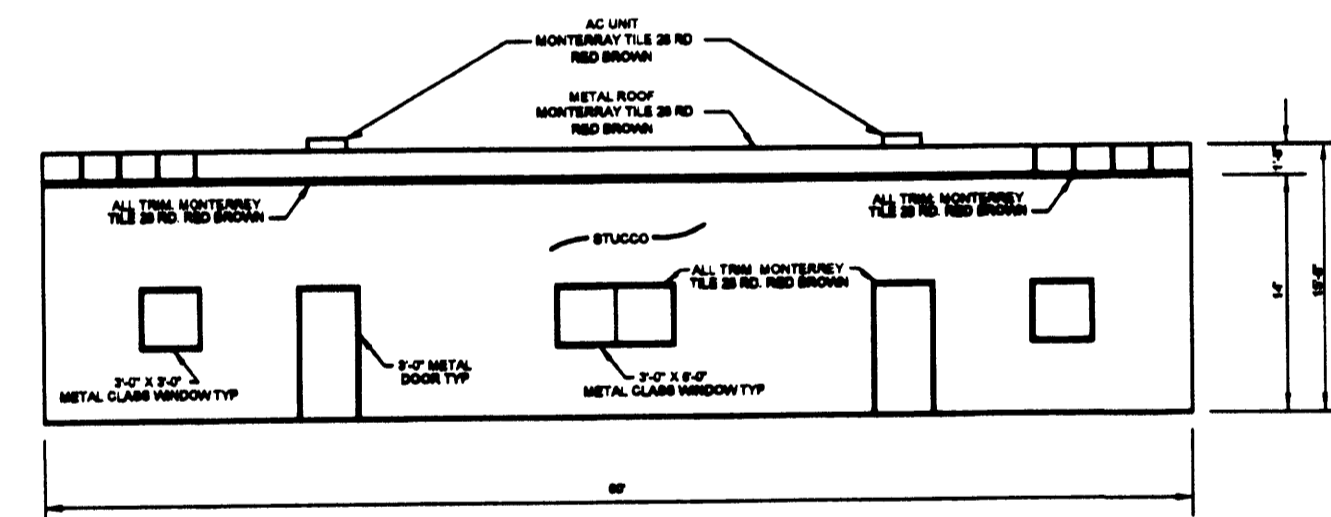
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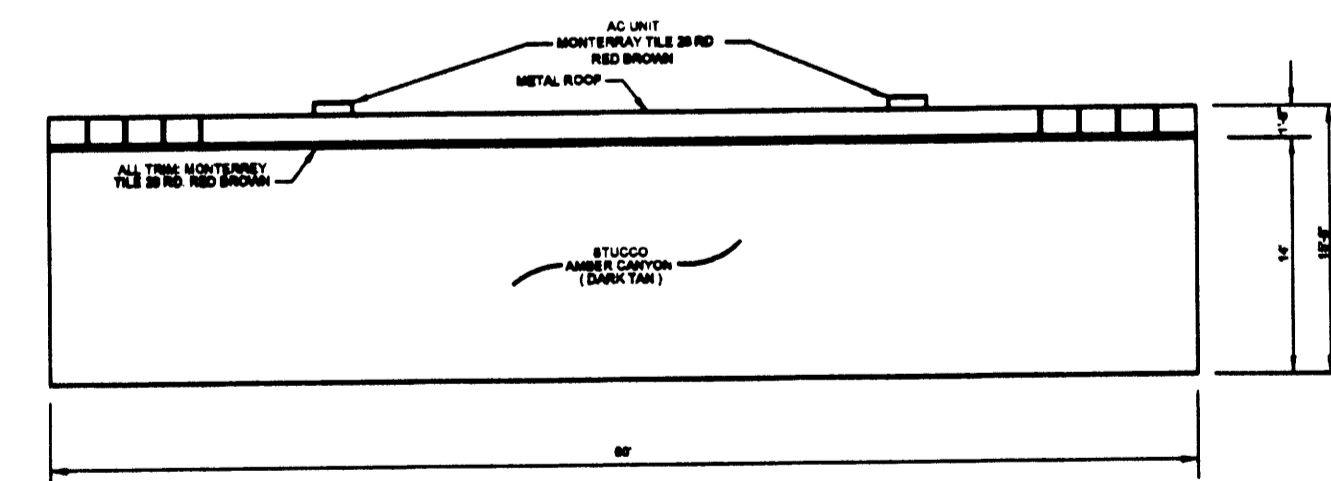
BUILDING "A & B" EAST



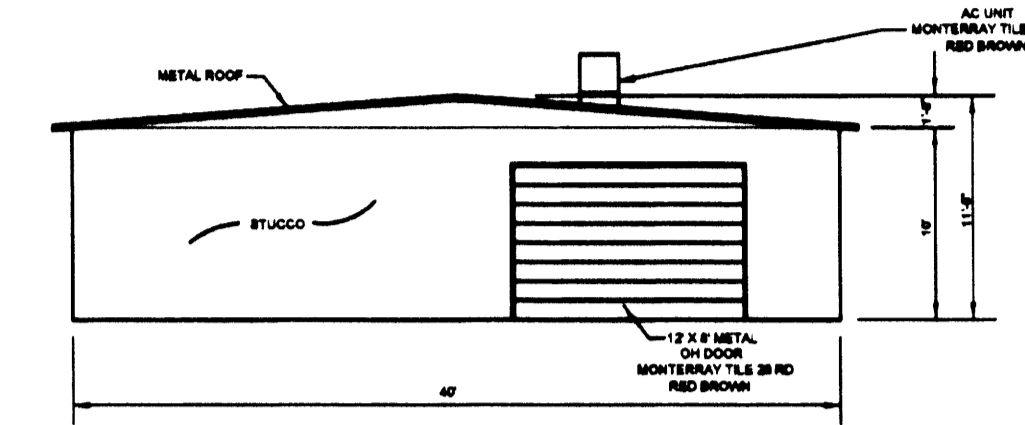
BUILDING "A & B" WEST



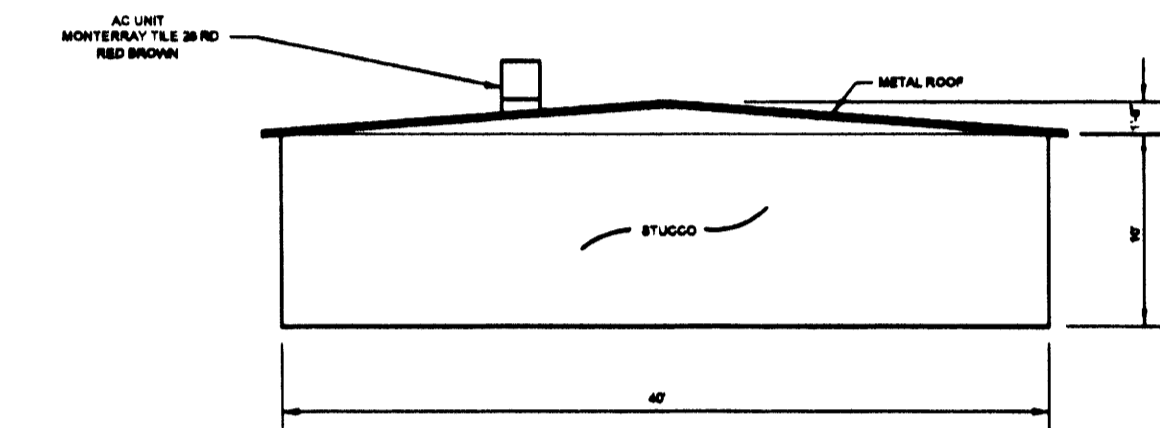
BUILDING "C" EAST



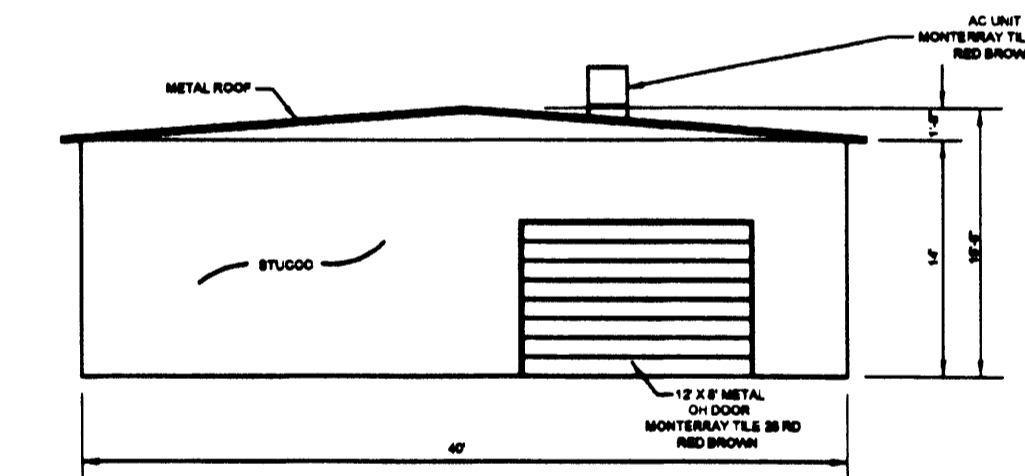
BUILDING "C" WEST



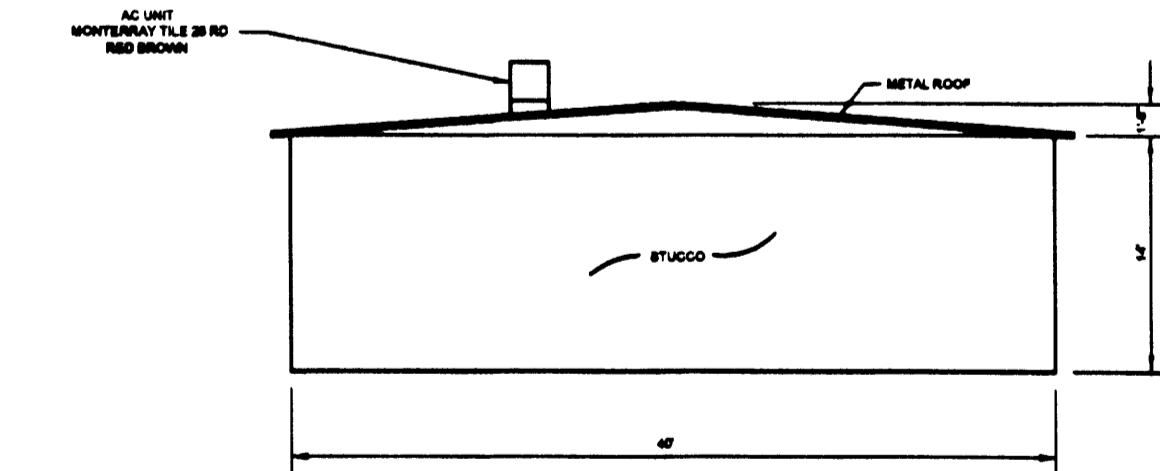
BUILDING "A & B" NORTH



BUILDING "A & B" SOUTH

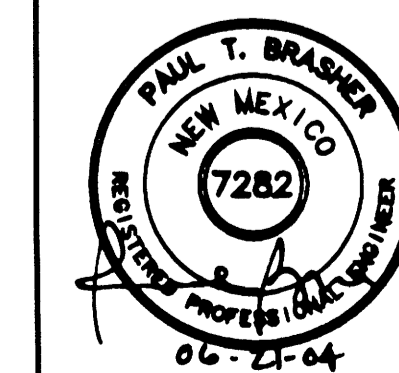


BUILDING "C" NORTH



BUILDING "C" SOUTH

BRASHER & LORENZ
 CONSULTING ENGINEERS
 2201 San Pedro NE Building 1 Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-888-6088 Fax: 505-888-8188



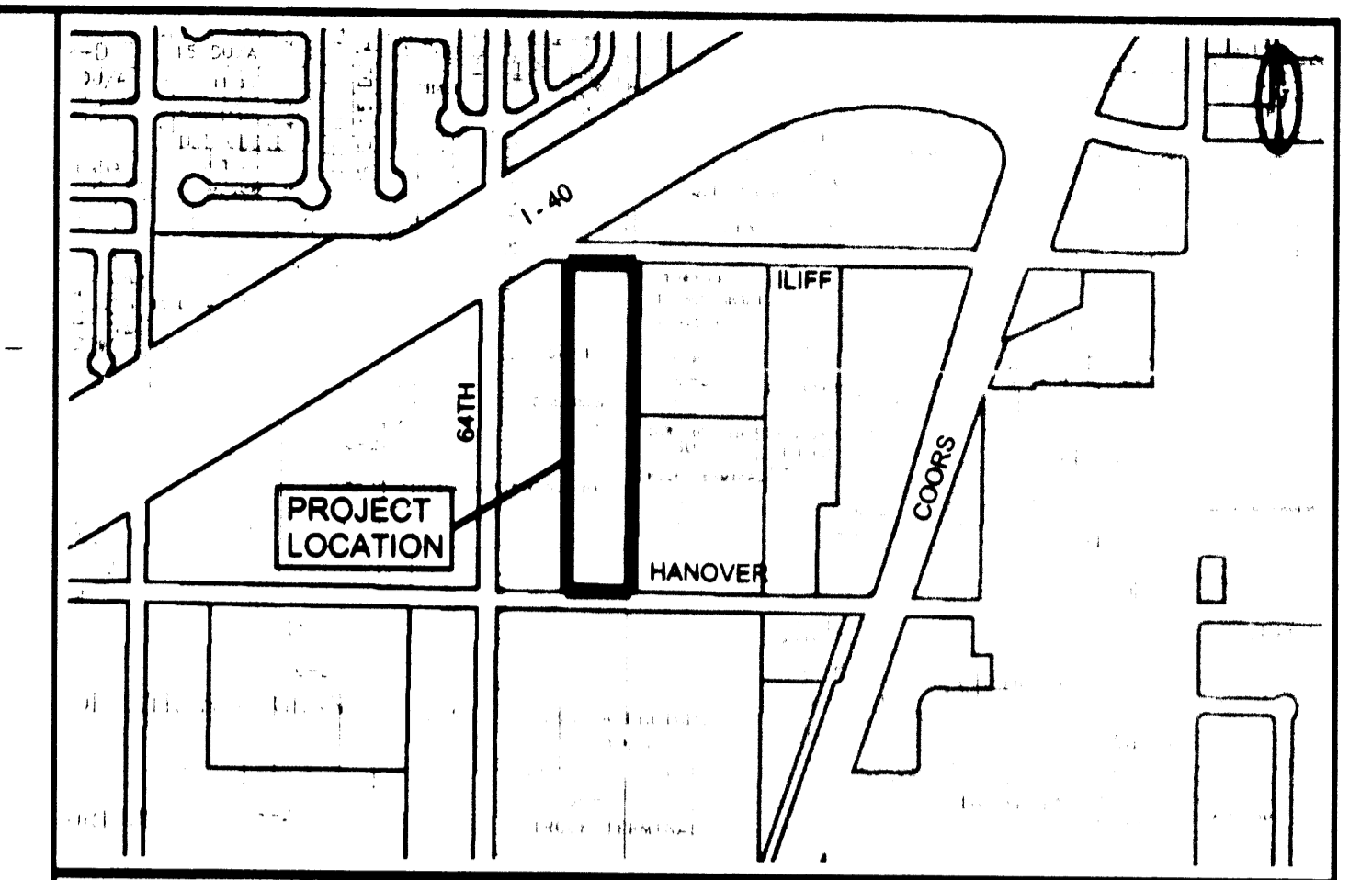
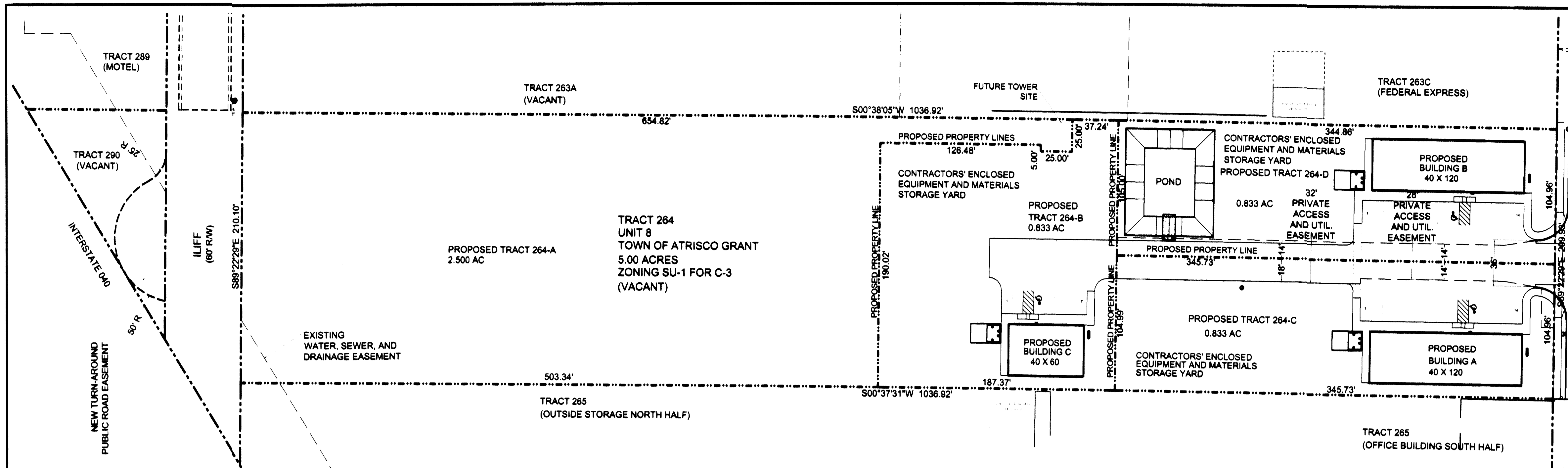
**HYDROSYSTEMS
 ELEVATION PLAN**

DRW: R.M.
 CKD: P.T.B.
 APP:
 REV. NO.

TR:
 OK:
 ACAD FILE:
 03552.ELEV.DWG

DATE: 06/08/04
 SCALE: 1"=10'

SHT: 6 OF 6



H/J-10/11 LOCATION MAP NTS

| ITEM | LEGEND | |
|------------------|----------|----------|
| | EXISTING | PROPOSED |
| RIGHT OF WAY | --- | --- |
| EASEMENT LINE | --- | --- |
| PROPERTY LINE | --- | --- |
| CENTERLINE | --- | --- |
| CHAIN LINK FENCE | --- | --- |
| RETAINING WALL | --- | --- |
| CURB | --- | --- |

PROJECT DATA

EXISTING LEGAL DESCRIPTION:
 TRACT 264 UNIT 8
 TOWN OF ATRISCO GRANT

PROPOSED LEGAL DESCRIPTION:
 TRACTS 264-A, 264-B, 264-C, AND 264-D,
 UNIT 8, TOWN OF ATRISCO GRANT

PROPERTY ADDRESS:
 HANOVER RD. NW, EAST OF 64TH ST

ZONING:
 SU-1 for C-3 USES

SITE AREA:
 EXISTING TRACT 264: 5.00 ACRES (217,800 SF)
 PROPOSED TRACT 264-A 2.500 AC (108,900 SF)
 PROPOSED TRACT 264-B 0.833 AC (36,300 SF)
 PROPOSED TRACT 264-C 0.833 AC (36,300 SF)
 PROPOSED TRACT 264-D 0.833 AC (36,300 SF)

SITE PLAN FOR SUBDIVISION

The subdivision will create Tracts 264-A, 264-B, 264-C, and 264-D, thereby enabling the immediate development of Tracts 264-B, 264-C, and 264-D. The Purpose of the Site Plan for Subdivision is to demonstrate the division of existing 5.0-acre Tract 264 into four separate tracts, and to set forth the criteria for the future development of Tract 264-A.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

The purpose of the Site Development Plan for building permit is to show the details of the improvements to new Tracts 264-B, 264-C, and 264-D for their immediate construction.

DEVELOPMENT OF TRACT 264-A

Tract 264-A will not be developed at this time. A detailed Site Development Plan for Tract 264-A will be submitted to the Environmental Planning Commission for final review and to the Development Review Board for approval prior to issuance of building permit for improvements thereon. Development of Tract 264-A shall comply with the guidelines set forth in the City of Albuquerque Comprehensive Zoning Code (Zoning Code). Maximum floor area ratio (FAR) shall be 0.35

DRAINAGE

A Grading and Drainage Plan to support the development of Tracts 264-B, 264-C, and 264-D is provided. A separate Grading and Drainage Plan for Tract 264-A will be required at the time of its development. The subdivision plat for this project will show a surface drainage easement over Tracts 264-B, 264-C, and 264-D. Maintenance of the easement and facilities contained therein will be the responsibility of the property owners.

DEVELOPMENT GUIDELINES

- This Site Development Plan is for subdivision purposes only. The boundary shown is approximate and based in part on plats of record, but it is not a boundary survey. The final land division configuration will be by plat of the property. Tract 264 consists of 5.00 acres, and will be subdivided into 4 parcels. Proposed Tract 264-A will be the northernmost 2.50 acres. The south 2.50 acres will be divided into 3 tracts designated as Tract 264-B, Tract 264-C, and Tract 264-D, each consisting of 0.833 acres. Tract 264-A, the north parcel, will be developed at a future date pursuant to these guidelines. Tracts 264-B, 264-C, and 264-D, the south 0.833-acre parcels, will each be used as contractor equipment storage yards. Each tract will have a building to be used as an office and for inside storage of certain contractor materials and equipment. Tracts 264-B, 264-C, and 264-D will be developed under a Site Development Plan for Building Permit pursuant to these guidelines and the details of that plan.
- A detailed Site Development Plan for each tract shall be submitted to the Development Review Board for final review and approval prior to development of any improvements on that tract. Development shall comply with the guidelines set forth in the City of Albuquerque Comprehensive Zoning Code (Zoning Code).
- A detailed Grading and Drainage Plan will be required for Tract 264-A prior to development of any improvements on that tract.
- Landscaping: The total landscaped area required for each Tract shall equal not less than 20 % of the net area as stipulated in the Coors Corridor Plan, and which is defined by Section 14-16-3-10 of the Zoning Code as the total lot area minus: (a) The area of the lot not covered by buildings; (b) The portions of the lot that are not required for off-street parking or a parking lot and which are fully screened from any adjacent lot or public right-of-way by an opaque wall or fence at least 6' high, in which no landscaping will be required except required buffer landscaping; chain link fence with slats does not constitute acceptable full screening; and (c) The area of any approved landscaping that the owner installs and maintains in the adjacent public right-of-way, exclusive of the area of any existing or planned public sidewalk.
- Building Height: Building height and width shall fall within 45° angle lines drawn from the horizontal at the mean grade along each boundary of the subject Tract, but a structure shall not exceed a height of 26 feet, unless otherwise provided for and approved by Site Development Plan. Exceptions to the preceding are provided in accordance with Section 14-16-3-3 of the Comprehensive Zoning Code, "Supplementary Height, Area and Use Regulation".
- Building Floor Area Ratios: Building floor area ratios are recommended not to exceed 0.35.
- Signs: All signs shall be in compliance with the requirements set forth in the Zoning Code for C-3 zones.
- Setbacks: Building setbacks for each of the Tracts shall comply with the requirements set forth in the Zoning Code for C-3 zones.
- Parking: All off-street parking requirements shall be as provided in Section 14-16-3-14 of the Zoning Code.
- Pedestrian Access: Direct pedestrian access shall be provided from buildings to adjoining street frontages. Access shall be 6' clear minimum with trees where practical.
- Employee Facilities: Businesses with 50 or more employees shall supply lockers. Showers are encouraged.
- On-site and boundary fencing may be constructed of 8' high chainlink with security wiring at the discretion of the property owner.

LANDSCAPING GUIDELINES

- Landscaping that may potentially exceed 15 feet in height will not be allowed within any Public Service Co. of New Mexico easement.
- Specific use of introduced and naturalized species to supplement the indigenous plant palette. These "introduced and naturalized" species will be used in areas less exposed to the macro climate and will function as accent treatments.
- Controlled uses of indigenous inorganic materials (i.e. rocks, gravel) to function as ground cover or paving substitutes.
- A ten foot landscape strip will be provided along Hanover and Iliff Roads. Street trees where allowed will be planted at a rate of 3 per 100 linear feet and will be set back 15 feet from the back of curb.
- Street trees along Hanover and Iliff Roads will be of the following:
 - Canopy 3 in. minimum caliper Plant selection shall comply with those species, which have been approved by the City Water Conservation and Landscape Ordinance.
 - Understory and accent 2 in. minimum caliper Plant selection shall comply with those species, which have been approved by the City Water Conservation and Landscape Ordinance.

UTILITIES

Existing public water and sanitary sewer lines are located in Hanover and Iliff. Development of Tract 264-A will require the extension of a public waterline in Iliff. Service and fire protection will be taken from Iliff. Development of Tracts 264-B, 264-C, and 264-D will also require a public waterline extension in Hanover. Service and fire protection will be taken from Hanover. Tracts 264-B, 264-C, and 264-D will connect to the existing sewerline in Hanover by private line and connection. Water and sewer service lines constructed on site for Tracts 264-B, 264-C, and 264-D will be contained in a private access and utilities easement. Maintenance of that easement and the utilities contained therein is the responsibility of the property owners. Tract 264-A will connect to the existing City sewer line in Iliff. The development of Tract 264-A will require a separate statement of water and sewer availability from the City.

SIGNAGE

The size and placement of all free-standing and building-mounted signs will be regulated by the zoning code, Section 14-16-3-5. This plan proposes no special provisions for signs.

SITE LIGHTING

Free-standing lighting fixtures are allowed provided they ensure full cutoff lighting. Otherwise, the size, placement, and luminosity of all lighting fixtures will be as regulated by the zoning code, Section 14-16-3-9 AREA LIGHTING REGULATIONS. This plan proposes no special provisions for lighting.

DRAINAGE

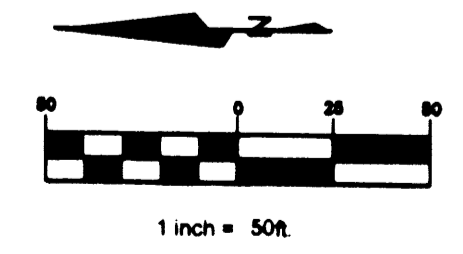
A separate Site Development Plan for building permits will be submitted to the City for the development of Tract 264-A, together with a site specific grading and drainage plan. Runoff generated by Tracts 264-B, 264-C, and 264-D will be conveyed to a pond located on Tract 264-D by respective cross-access drainage easements.

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

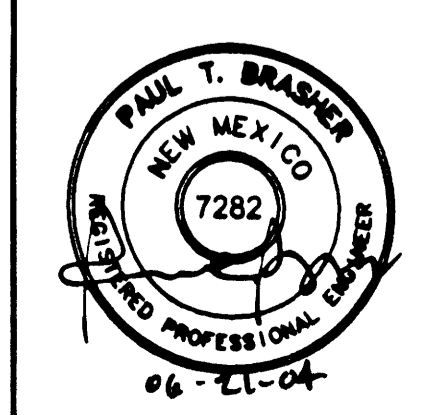
Is an infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way of for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

| | |
|-------------------------------------------------|---------|
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION | DATE |
| UTILITIES DEVELOPMENT | DATE |
| PARKS AND RECREATION DEPARTMENT | DATE |
| CITY ENGINEER | DATE |
| * ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) | DATE |
| <i>Michael Holton</i> | 6-23-04 |
| SOLID WASTE MANAGEMENT | DATE |
| DRB CHAIR, PLANNING DEPARTMENT | DATE |
| <i>6/23/04 M.H.</i> | |



BRASHER & LORENZ
 CONSULTING ENGINEERS
 2201 San Pedro NE Building 1 Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-868-6088 Fax: 505-868-6188

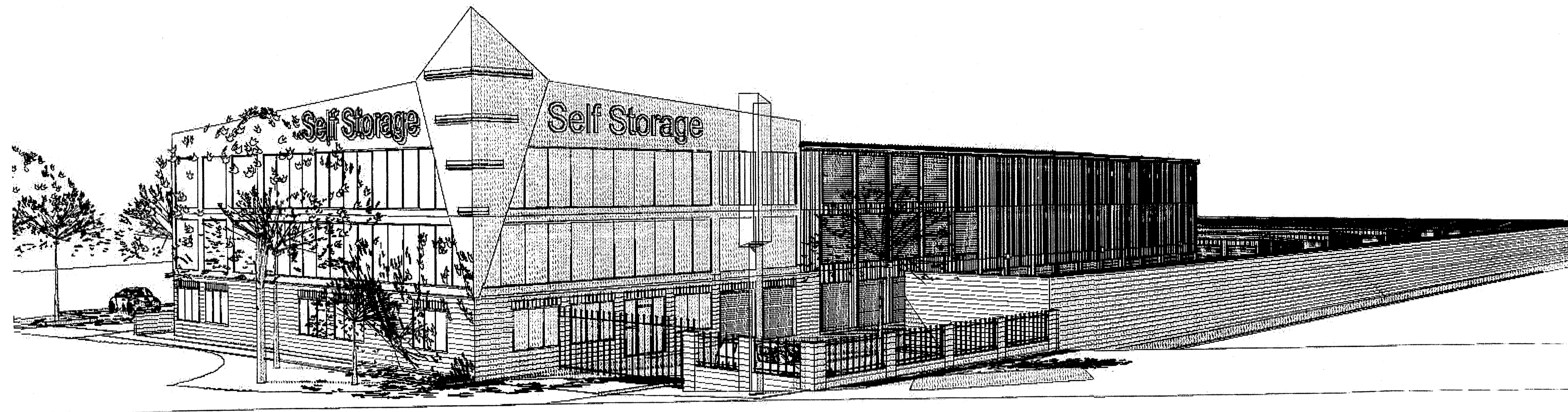


HYDROSYSTEMS
SITE PLAN FOR SUBDIVISION

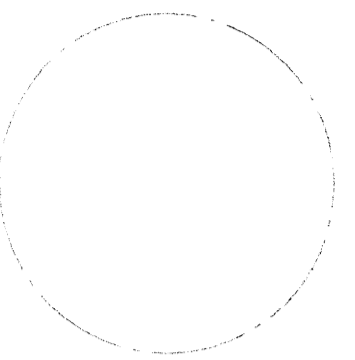
SHT: 1 OF 1

| | | |
|---------------|----------------|----------------|
| DRW: R.M | TR: OK | DATE: 06/21/04 |
| CKD: P.T.B | APP: ACAD FILE | SCALE: 1"=50' |
| APP: REV. NO. | 01553-GD DWG | |

Iliff Road Self Storage



A Site Development Plan for Building Permit



Schlegel Lewis Architects
 1620 Central Ave SE
 Albuquerque, NM 87106
 (505) 247-1529
 FAX (505) 243-6701
 glemac.com

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Site Development Plan for Building Permit
Iliff Self Storage
 6200 Iliff Road NW
 Albuquerque, NM 87121

M Perspective



S Vicinity Map

H-10-Z

OWNER
 Sanford Investment Company, Inc.
 601 West Main Street
 Decatur, Texas 76234
 (940) 627-0900
 fax (940) 627-2799
 E-mail: asandford@sandfordproperties.com
 Contact: Mr. W. A. Sandford

ARCHITECT
 Schlegel Lewis Architects
 1620 Central Ave. SE
 Albuquerque, NM 87106
 (505) 247-1529
 Fax: (505) 243-6701
 E-mail: gdi@mac.com
 Contact: James Lewis

CIVIL ENGINEER
 D. Mark Goodwin and Associates, P.A.
 P.O. Box 90606
 Albuquerque, NM 87199
 (505) 828-2200
 Fax: (505) 797-9539
 E-mail: mark@goodwinengineers.com
 Contact: Mark Goodwin

T Project Team

ADDRESS: 6200 Iliff Road NW
 Albuquerque, New Mexico

LEGAL DESCRIPTION
 TRACT: 264-A-1
 SUBDIVISION: Town of Atrisco Grant, Unit 8
 UPC#: 101105900102032403

ZONE ATLAS PAGE: H-10-Z

LAND USE ZONING: SU-1 for C-3 Uses

PARKING:
 Required:
 Office (1 space for 200 sf) 1200/200= 6
 Apartment (1 space per bath) = 2
 Total = 8
 Provided:
 Standard Spaces 8
 HC Space 1
 Motorcycle 1
 Total 10

Notes: The parking for the self storage units will be short term and infrequent in nature, and located in front of each unit.

BICYCLE PARKING (1 space/20 parking spaces, 2 minimum)
 Required: 2
 Provided: 2

V Legal Information

PROJECT SUMMARY

This project incorporates approximately 102,500 square feet of self storage and related uses. The development includes 8 buildings including the main three story building.

The project includes an accent tower, stucco finish on the front of the main building, and the site is enclosed with a colored block wall. The site features a small outdoor patio with garden walls.

The building size (three story) is comparable to the surrounding development. The color scheme, building materials and landscaping is similar to the surrounding development and is a compatible use for the area.

W Project Summary

| | |
|-------|-----------------------------------|
| SDP-1 | COVER SHEET |
| SDP-2 | SITE PLAN |
| SDP-3 | LANDSCAPE PLAN |
| SDP-4 | CONCEPTUAL GRADING PLAN |
| SDP-5 | OVERALL BUILDING ELEVATIONS |
| SDP-6 | BUILDING ELEVATIONS |
| SDP-7 | BUILDING ELEVATIONS |
| SDP-8 | CONCEPTUAL UTILITY PLAN |
| SDP-9 | AMENDED SITE PLAN FOR SUBDIVISION |

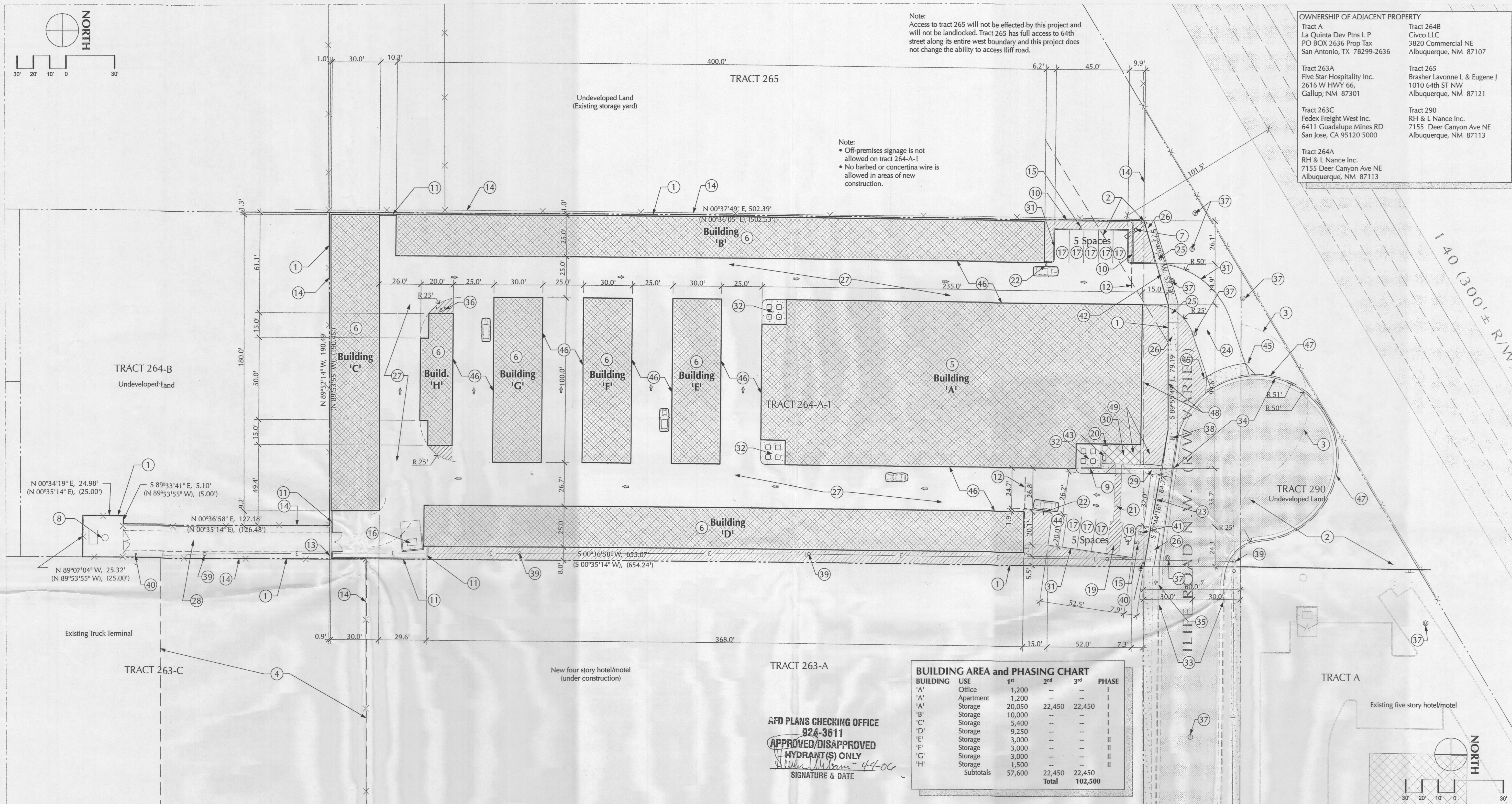
X Index of Drawings

ISSUE DATE:
 30 November, 2005

REVISIONS:
 14 December, 2005
 10 January, 2006
 16 March, 2006
 04 April, 2006

Cover

PROJECT 0537
 SHEET
SDP-1
 OF 9

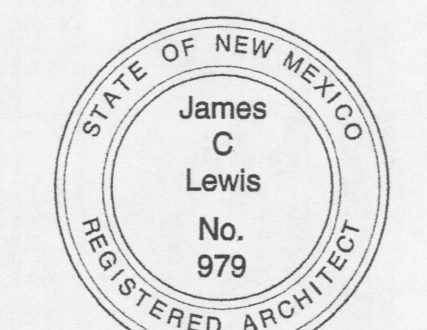


Note:
Access to tract 265 will not be effected by this project and will not be landlocked. Tract 265 has full access to 64th street along its entire west boundary and this project does not change the ability to access Iliff road.

Note:
• Off-premises signage is not allowed on tract 264-A-1
• No barbed or concertina wire is allowed in areas of new construction.

OWNERSHIP OF ADJACENT PROPERTY

| | |
|---------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|
| Tract A La Quinta Dev Ptns L P PO BOX 2636 Prop Tax San Antonio, TX 78299-2636 | Tract 264B Civco LLC 3820 Commercial NE Albuquerque, NM 87107 |
| Tract 263A Five Star Hospitality Inc. 2616 W HWY 66, Gallup, NM 87301 | Tract 265 Brasher Lavonne L & Eugene J 1010 64th ST NW Albuquerque, NM 87121 |
| Tract 263C Fedex Freight West Inc. 6411 Guadalupe Mines RD San Jose, CA 95120 5000 | Tract 290 RH & L Nance Inc. 7155 Deer Canyon Ave NE Albuquerque, NM 87113 |
| Tract 264A RH & L Nance Inc. 7155 Deer Canyon Ave NE Albuquerque, NM 87113 | |



Schlegel Lewis Architects
1620 Central Ave SE
Albuquerque, NM 87106
(505) 247-1529
FAX (505) 243-6701
galemac.com

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BUILDING AREA and PHASING CHART

| BUILDING | USE | 1 st | 2 nd | 3 rd | PHASE |
|----------|-----------|-----------------|-----------------|-----------------|-------|
| 'A' | Office | 1,200 | - | - | I |
| 'A' | Apartment | 1,200 | - | - | I |
| 'A' | Storage | 20,050 | 22,450 | 22,450 | I |
| 'B' | Storage | 10,000 | - | - | I |
| 'C' | Storage | 5,400 | - | - | I |
| 'D' | Storage | 9,250 | - | - | I |
| 'E' | Storage | 3,000 | - | - | II |
| 'F' | Storage | 3,000 | - | - | II |
| 'G' | Storage | 3,000 | - | - | II |
| 'H' | Storage | 1,500 | - | - | II |
| | Subtotals | 57,600 | 22,450 | 22,450 | |
| | Total | | 102,500 | | |

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
Michael Holton 4/4/06
SIGNATURE & DATE

M Site Plan



S Vicinity Map

KEYED NOTES

- Proposed property line (typical).
- Existing COA water, drainage and sanitary sewer easements (11-04-98, BK. 9818, PG. 275) & (11-04-98, BK. 9818, PG. 276).
- Existing COA turn around easement (07-06-04, BK. A80, PG. 3654)
- Existing private drainage easement for the benefit of tracks 263A, 263B and 263C, maintenance is the responsibility of tract 263C. (05-17-95, 95C-180)
- Proposed three story self storage building, see building area calculation chart
- Proposed single story self storage building, see building area calculation chart
- Proposed pole sign. See detail 'A' on sheet SDP-7
- Existing mobile telephone tower
- Proposed 4'-0" high garden wall. See detail 'A' on sheet SDP-5
- Proposed 8'-0" high wall. (4'-0" high brown concrete masonry unit base with 4'-0" high wrought iron and concrete masonry unit piers)
- Proposed 8'-0" high brown/tan concrete masonry unit wall
- Proposed wrought iron gate
- Proposed chain-link fence and gate
- Existing chain-link fence
- Proposed site light fixture. -See detail 'H' on sheet SDP-6
- Proposed refuse enclosure, see elevation detail 'C' on sheet SDP-6 Build per standard city requirements. No gates.

T Keyed Notes

KEYED NOTES (Continued)

- Typical parking space 9'-0" wide (8'-6" minimum) x 20'
- Typical HC parking space 8'-6" x 20' with concrete wheel stop
- 8' wide handicap aisle for van space
- Bicycle rack (2 spaces minimum). See detail 'B' sheet SDP-6
- 4' wide painted cross walk
- Access keypad
- Proposed 32'-0" driveway, primary site entrance, construct per COA drawing #2425
- Proposed 25'-0" driveway for exit/emergency and trash entrance, construct per COA drawing #2425
- Proposed sidewalk ramp, construct per COA drawing #2441
- Proposed 6'-0" wide concrete sidewalk, construct per COA drawing #2430
- Proposed asphalt paving
- Proposed gravel access road for mobile telephone tower servicing
- Proposed concrete sidewalk (6' wide)
- Proposed colored and scored concrete patio/office entrance
- Proposed 6" high concrete curb -Typical
- Concrete pad with ground mounted HVAC condensers
- Existing curb and gutter, and pavement (Iliff road) 60'-0" ROW

KEYED NOTES (Continued)

- Proposed cul-de-sac, construct per COA standards
- Existing fire hydrant location
- Proposed private fire hydrant, provide bollards and ground striping
- Existing manhole
- Proposed water meter
- Existing power pole
- Existing telephone pedestal
- Transformer
- Colored concrete crosswalk
- Bench
- Motorcycle parking space
- Exit only, do not enter sign
- Storage entry doors on this face of the building
- Proposed public access and turn around easement
- Proposed public utility easment
- 400 square feet for public space (288 sf of patio & 112 sf of landscaping)

ADDRESS: 6200 Iliff Road NW
Albuquerque, New Mexico

LEGAL DESCRIPTION
TRACT: 264-A-1
SUBDIVISION: Town of Atresco Grant, Unit B
UPCA: 101105900102032403

ZONE ATLAS PAGE: H-10-Z

LAND USE ZONING: SU-1 for C-3 Uses

PARKING:
Required:
Office (1 space for 200 sf) 1200/200= 6
Apartment (1 space per bath) = 2
Total = 8
Provided:
Standard Spaces 8
HC Space 1
Motorcycle 1
Total 10

Notes: The parking for the self storage units will be short term and infrequent in nature, and located in front of each unit.

BICYCLE PARKING (1 space/20 parking spaces, 2 minimum)
Required: 2
Provided: 2

W Legal Information

PROJECT NUMBER: 1003239
APPLICATION NUMBERS: 05EPC-01806, 05EPC-01930
Is an Infrastructure List Required? (Y) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB Development Plan Approval

Traffic Engineer, Transportation Department Date
Water Utility Development
Parks and Recreation Department
City Engineer
* Environmental Health Department (conditional)
Michael Holton 4/4/06
Solid Waste Management Date

DRB Chairperson, Planning Department Date
* Environmental Health, if necessary

X Signature Block

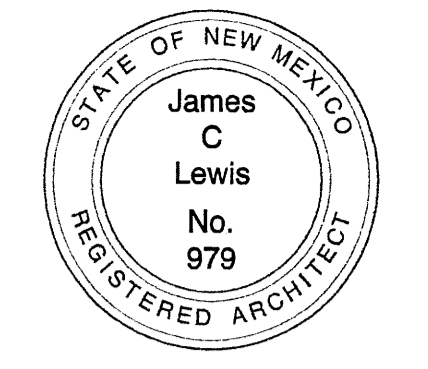
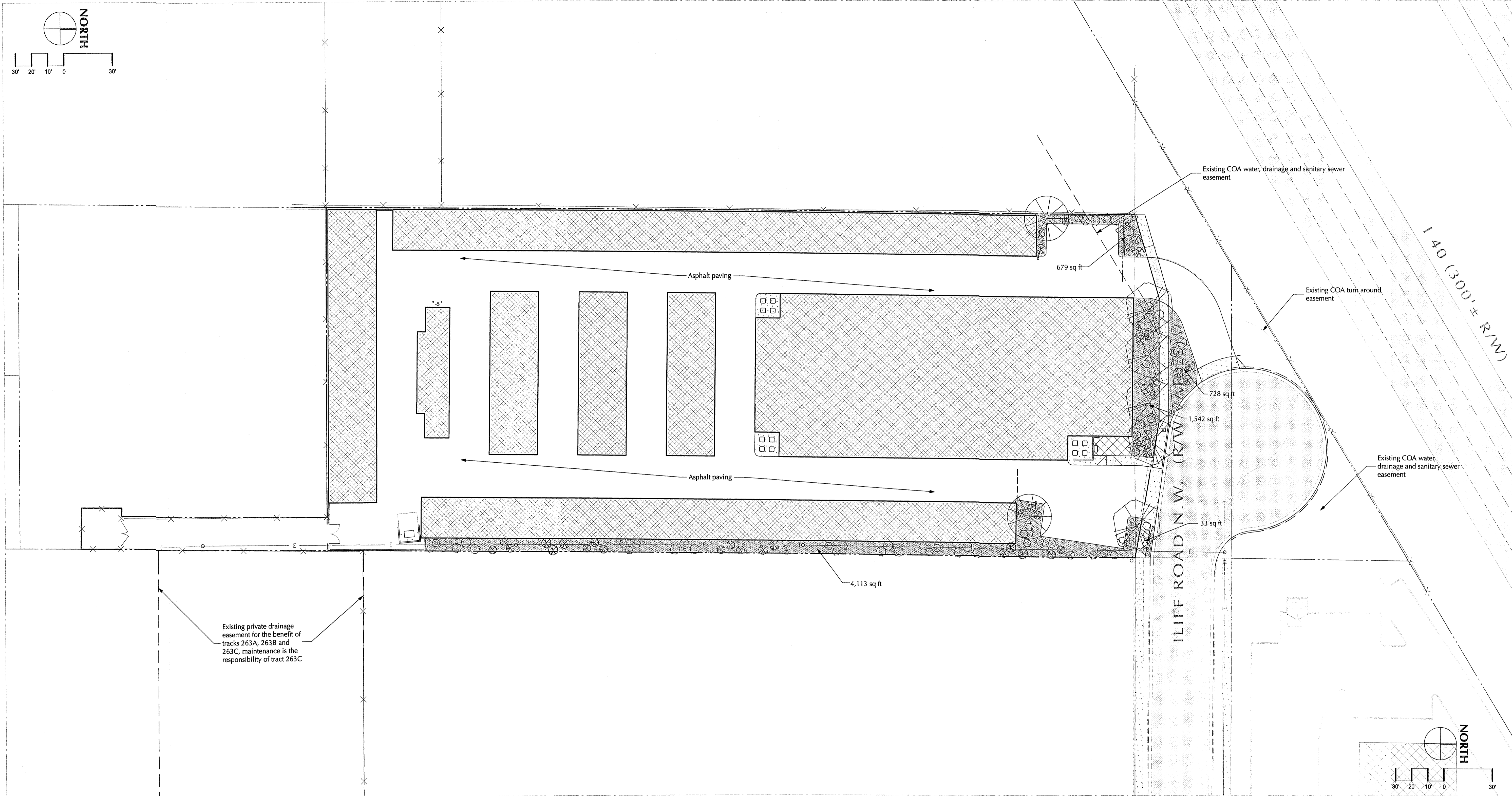
ISSUE DATE:
30 November, 2005

REVISIONS:
14 December, 2005
10 January, 2006
16 March, 2006
04 April, 2006

SPOP PRELIMINARY PLAN
APPROVED BY DRB
Date ON 4/12/06

Site Plan

PROJECT 0537 SHEET **SDP-2** OF 9



Schlegel Lewis Architects
 1620 Central Ave. SE
 Albuquerque, NM 87106
 (505) 247-5229
 FAX (505) 243-6701
 gcl@slaw.com

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Site Development Plan for Building Permit
Iliff Self Storage
 6200 Iliff Road NW
 Albuquerque, NM 87121

M Landscaping Plan

LANDSCAPING AND IRRIGATION

All landscape maintenance and waste water responsibilities will be with the Owner's grounds maintenance personnel.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Provide gravel over filter fabric shall be placed in all landscape areas which are not designated to receive native seed or other ground cover. (See landscape plan and schedule).

LANDSCAPE IRRIGATION

Irrigation shall be a complete underground system. Trees shall receive (5) 1.0 GPH drip emitters and Shrubs shall receive (2) 1.0 GPH drip emitters. Drip and bubbler system to be tied to 1/2" polytube with flue caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

PLANT LEGEND

| Qty. | Symbol | Scientific Name Common Name | Size | Water Use | Qty. | Symbol | Scientific Name Common Name | Size | Water Use |
|---------------------|--------|-----------------------------------------------|--------|-----------|---------------|--------|----------------------------------------------------------|-------|-----------|
| Trees | | | | | Shrubs | | | | |
| 5 | | <i>Quercus buckleyi</i> Texas Red Oak | 2" B&B | Medium | 23 | | <i>Cercocarpus ledifolios</i> Curl-leaf Mtn. Mahogany | 5-Gal | Low + |
| 2 | | <i>Zelkova serrata</i> Zelkova | 2" B&B | Medium | 27 | | <i>Ericameria nauseosus</i> Chamisa | 1g | Low |
| | | | | | 28 | | <i>Fallugia paradoxa</i> Apache Plume | 1g | Low |
| | | | | | 21 | | <i>Perovskia atriplicifolia</i> Russian Sage | 1g | Medium |
| Ground Cover | | | | | | | | | |
| | | SUNSET ROSE 3/4" Gravel over filter fabric | | | | | | | |

LANDSCAPE CALCULATIONS

| SITE AREAS | | |
|----------------------------------------------------------------------|--|------------|
| Gross Total: | | 110,596 SF |
| Net Lot: (lot area minus building and fully screened site areas) | | 12,894 SF |
| LANDSCAPE | | |
| Required Landscape of Net (20%) | | 2,579 SF |
| Provided Landscape | | 7,095 SF |
| Percentage of Net Lot Area | | 55.0% |
| High Water use Turf | | 0 SF |
| Required Parking Lot Trees (1 per 10 spaces) (10/10 = 1) Provided: 2 | | |

ISSUE DATE:
 30 November, 2005

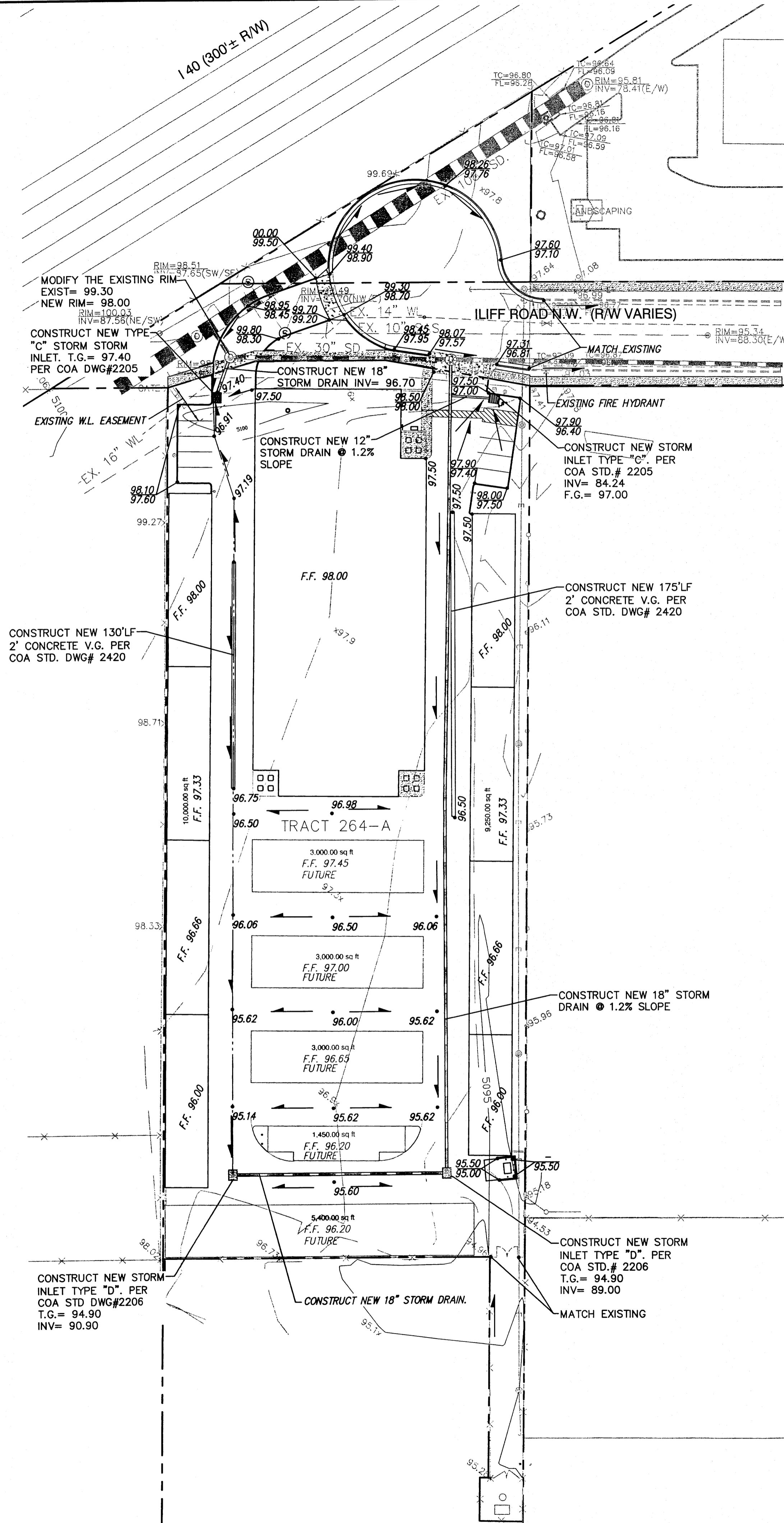
REVISIONS:
 14 December, 2005
 10 January, 2006
 16 March, 2006
 04 April, 2006

S Notes

U Plant Legend

X landscapr Calculations

GrandUser:Shanel<DOBS>0537 Iliff Storage - Planning Docs_LAY\0537_SDP1.rvt



DRAINAGE MANAGEMENT PLAN

PROJECT DESCRIPTION
 AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED WITHIN A DEVELOPED AREA OF THE CITY WHERE EXISTING STORM DRAIN FACILITIES ARE ADJACENT TO THE SITE (ILLIFF ROAD). THE EXISTING LEGAL DESCRIPTION OF THE PROPERTY IS TRACT 264-A-1 TOWN OF ATRISCO GRANT, UNIT 8.

DRAINAGE DESIGN CRITERIA
 THE 100-YEAR, 24-HOUR STORM EVENT WAS UTILIZED TO DETERMINE SITE RUNOFF RATES USING $P(1 \text{ HR}) = 1.58"$, $P(6 \text{ HR}) = 2.04"$ AND $P(24 \text{ HR}) = 2.39"$, OBTAINED FROM THE LATEST NOAA PRECIPITATION ATLAS. THE ON-SITE LAND TREATMENT VALUES USED WERE TYPE B=10 % AND TYPE D=90%.

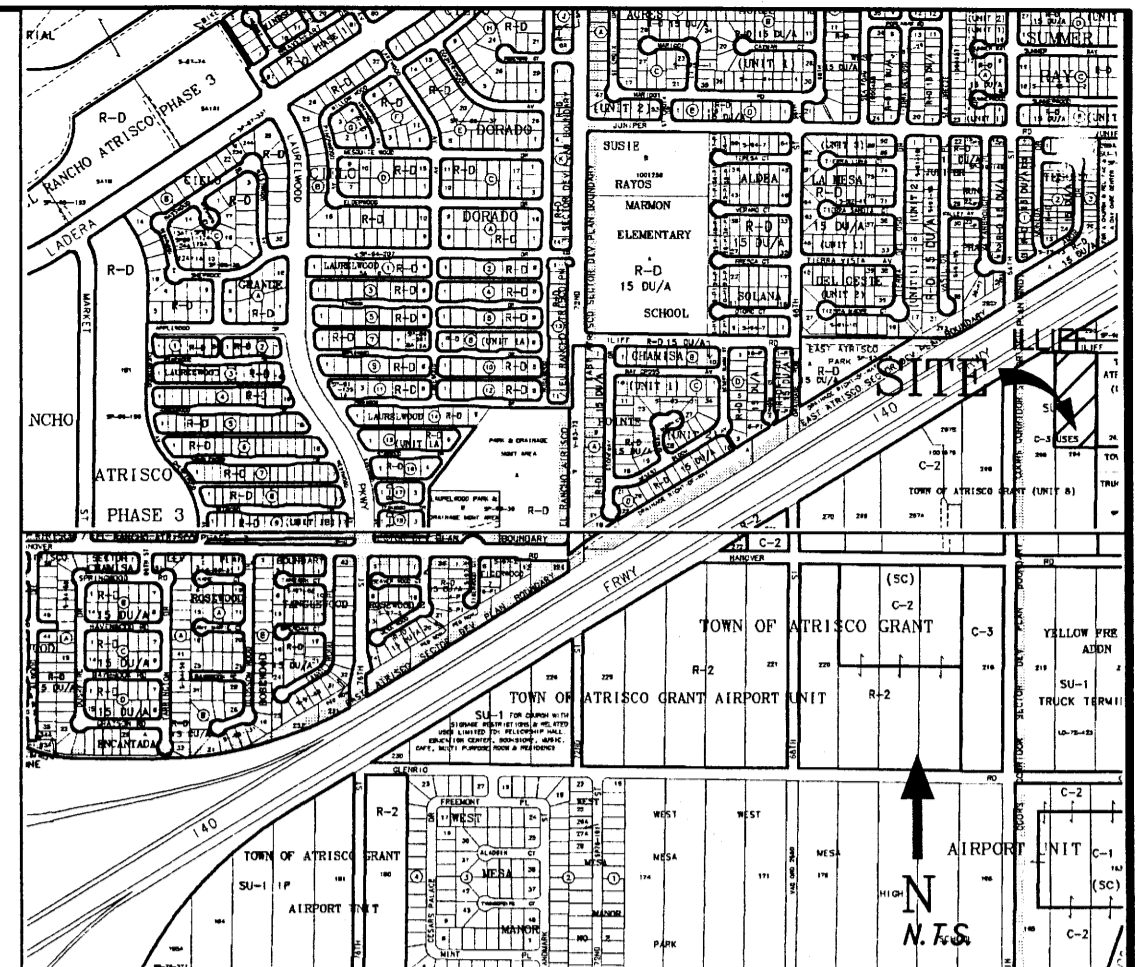
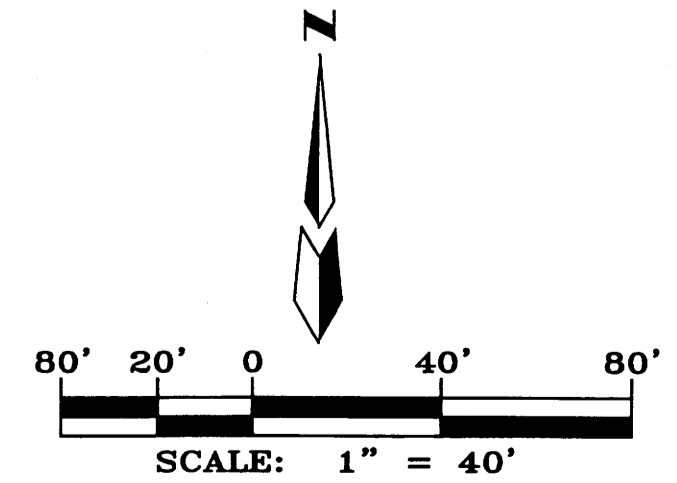
EXISTING DRAINAGE CONDITION
 THE SITE PRESENTLY CONSISTS OF UNDEVELOPED LAND SLOPING PREDOMINANTLY TOWARD THE SOUTH EAST CORNER OF THE SITE. AT THE PRESENT MOST TIME OFF -SITE RUNOFF IS CUT OFF BY I-40 AND COLLECTED IN THE EXISTING WEST I-40 OUTFALL RUNNING, EAST ALONG I-40 ADJACENT TO THE SITE.

DEVELOPED CONDITIONS
 THE PROPOSED IMPROVEMENTS CONSIST OF THE STORAGE BUILDING AND FUTURE DEVELOPMENT. THE TOTAL DEVELOPED CONDITIONS FLOW FROM THIS SITE IS 8.05 CFS. THE RUNOFF FROM THE DEVELOPED CONDITIONS IS COLLECTED BY THE SERIES OF STORM INLETS AND FINALLY CONVEYED IN TO THE EXISTING STORM DRAIN ON THE ILLIFF ROAD WITH THE HELP OF NEW STORM DRAINS AS SHOWN IN THE PLAN.

CONCLUSION
 THE PROPOSED DRAINAGE SCHEME FOR THIS PROJECT CAN BE READILY IMPLEMENTED THROUGH THE EXECUTION OF DESIGN CONCEPTS AS SHOWN IN THIS PLAN.



John M. Goodwin
 04-04-06



ZONE MAP: H-10-Z
 J-10-Z

ACS BENCHMARK

LEGAL DESCRIPTION

TRACT 264-A, TOWN OF ATRISCO GRANT, AIRPORT UNIT.

PROPOSED DRAINAGE PLAN

THE SUBJECT PROPERTY IS LOCATED WITHIN A DEVELOPED AREA OF THE CITY WHERE EXISTING STORM DRAIN FACILITIES ARE ADJACENT TO THE SITE (ILLIFF ROAD). DEVELOPED RUNOFF FROM ON-SITE AREAS WILL BE COLLECTED ON-SITE BY A NEW STORM DRAIN SYSTEM THAT WILL DISCHARGE TO THE EXISTING STORM DRAIN SYSTEM IN ILLIFF ROAD. MOST OFF-SITE RUNOFF AROUND THE SUBJECT PROPERTY IS CUT OFF BY I-40 AND COLLECTED IN THE EXISTING WEST I-40 OUTFALL RUNNING, EAST ALONG I-40 ADJACENT TO THE SITE.

LEGEND

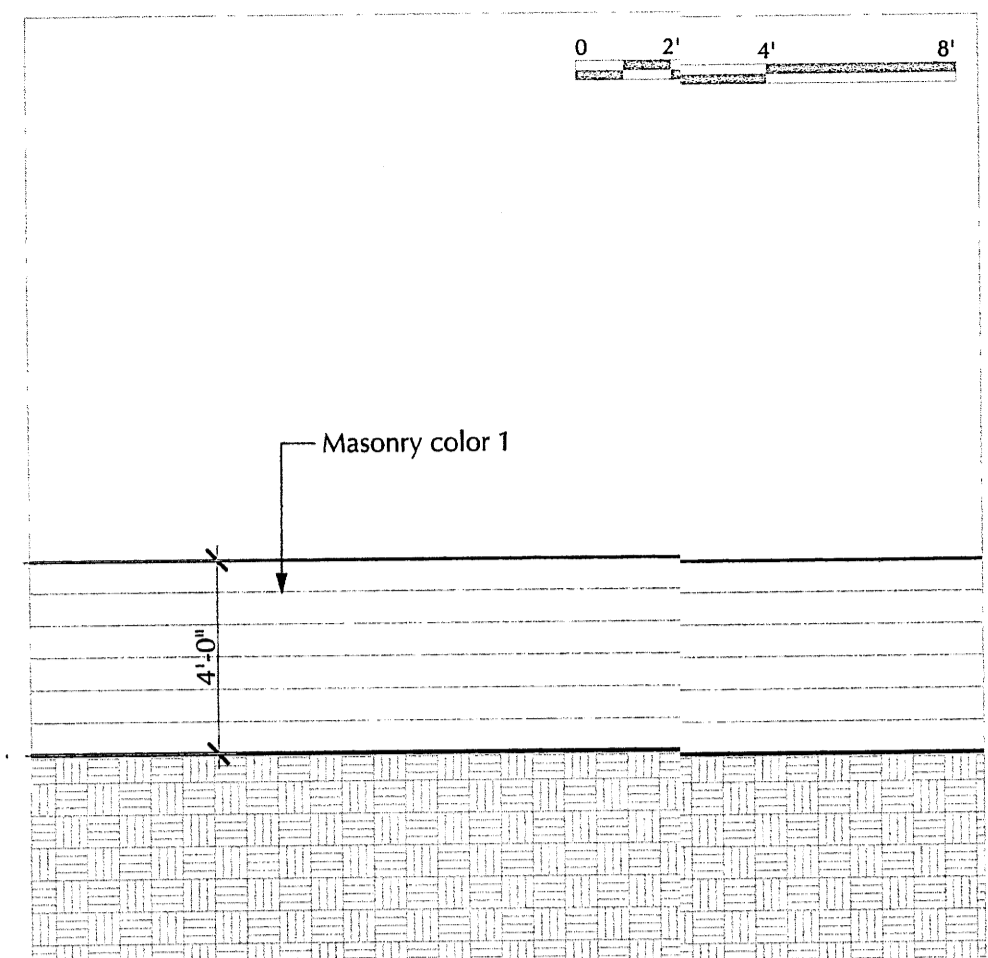
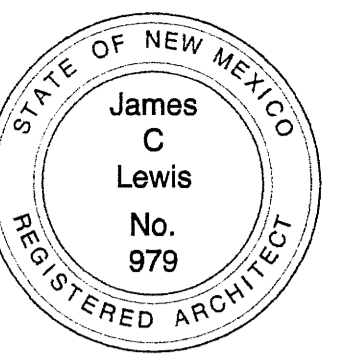
- PROPOSED RETAINING WALL
- PROPERTY LINE
- 00.00 PROPOSED FLOWLINES SPOT ELEVATION
- 5094 EXISTING CONTOUR
- 90 PROPOSED CONTOUR
- 46.00 TW / 45.50 BW PROPOSED WALL SPOT ELEVATION
- F.F. = FINISHED FLOOR
- EXISTING CURB AND GUTTER
- EXISTING STORM DRAIN
- DRAINAGE BASIN
- PROPOSED STORM DRAIN
- NEW CURB AND GUTTER
- NEW FLOW ARROW
- NEW STORM INLET
- NEW SIDEWALK
- NEW VALLEY GUTTER

ILLIFF ROAD STORAGE

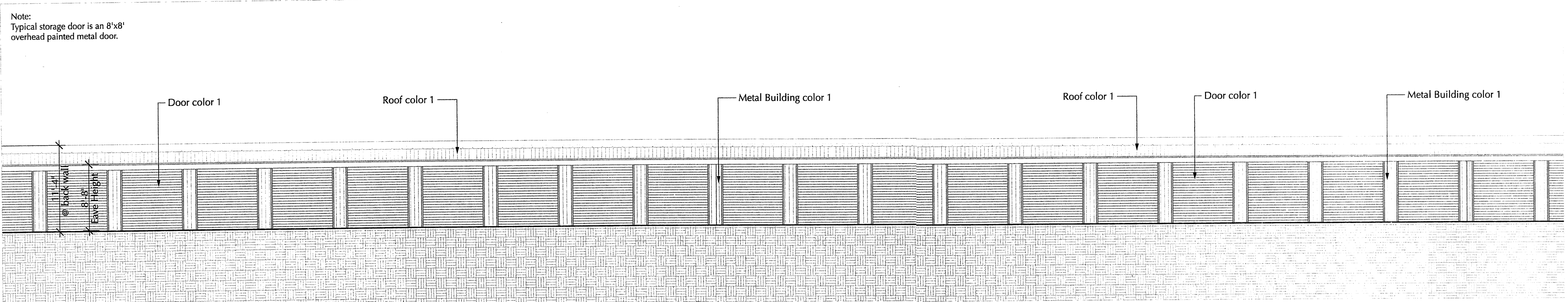
GRADING AND DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

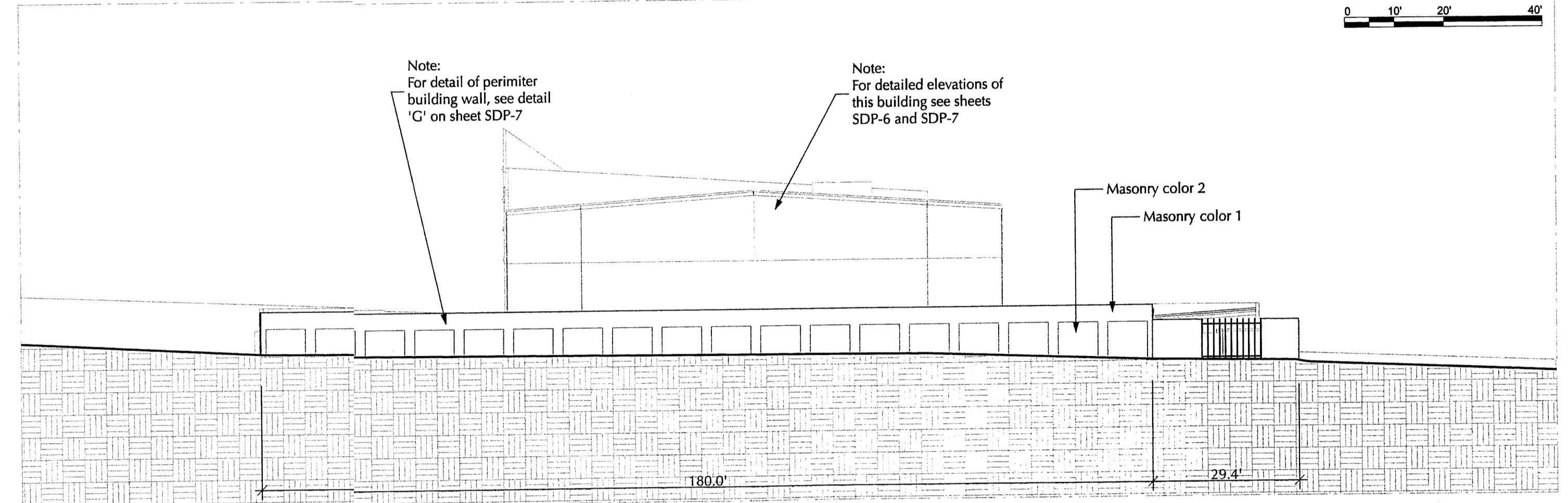
| | | | |
|-----------------|----------------|--------------|-------|
| Designed: JMM | Drawn: CAR | Checked: DMG | SDP-4 |
| Scale: 1" = 30' | Date: 11/08/05 | Job: A05053 | |



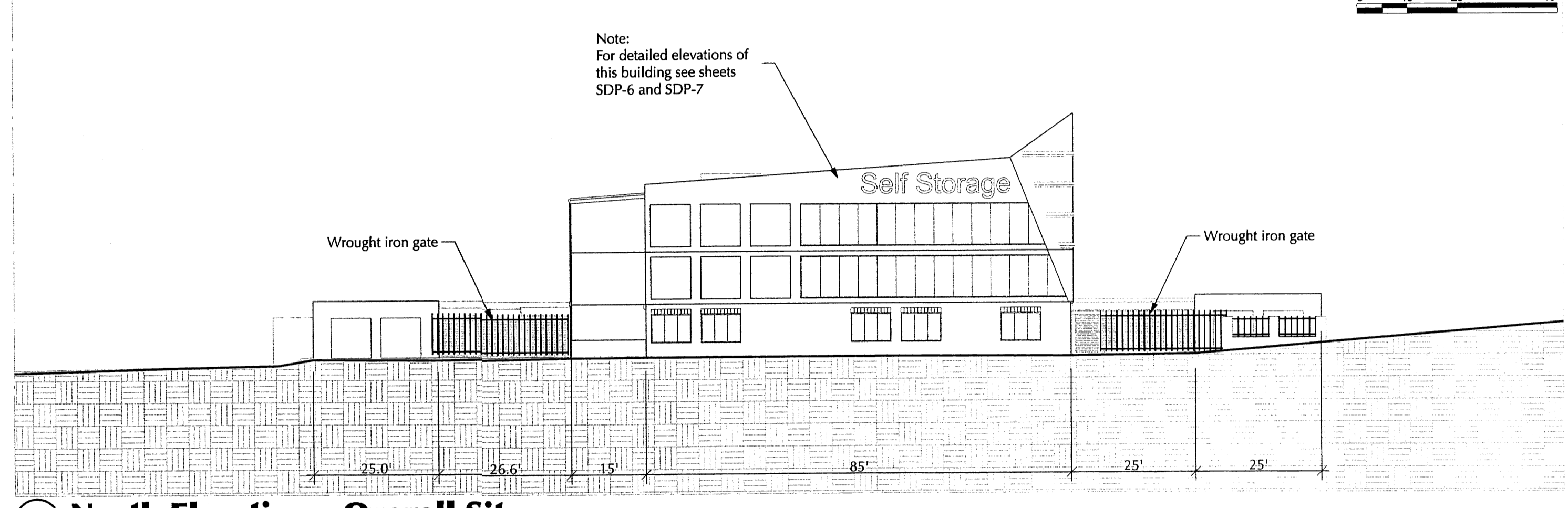
A Typical Garden Wall
Scale: 1/4" = 1'-0"



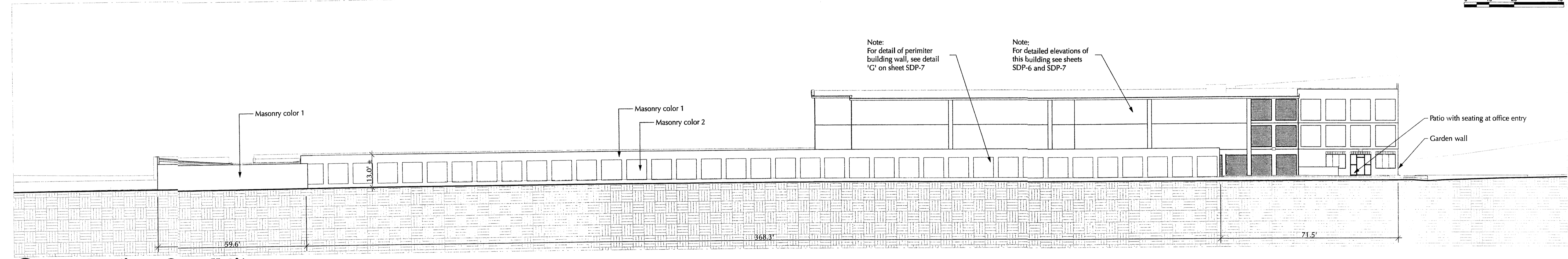
B Typical 1-Story Building Elevation
Scale: 1/8" = 1'-0"



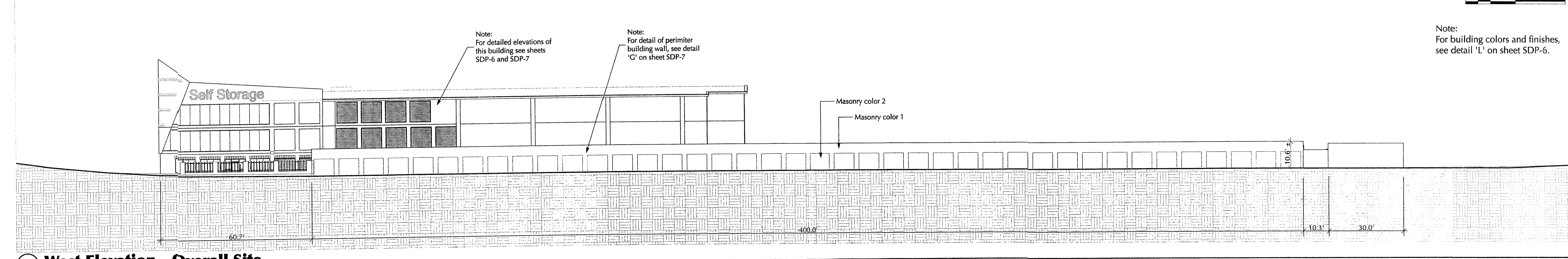
G South Elevation - Overall Site
Scale: 1" = 20'-0"



J North Elevation - Overall Site
Scale: 1" = 20'-0"



M East Elevation - Overall Site
Scale: 1" = 20'-0"



S West Elevation - Overall Site
Scale: 1" = 20'-0"

Schlegel Lewis Architects
1620 Central Ave SE
Albuquerque, NM 87106
(505) 247-1529
FAX (505) 245-6701
gellemac.com

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Site Development Plan for Building Permit
Iliff Self Storage
6200 Iliff Road NW
Albuquerque, NM 87121

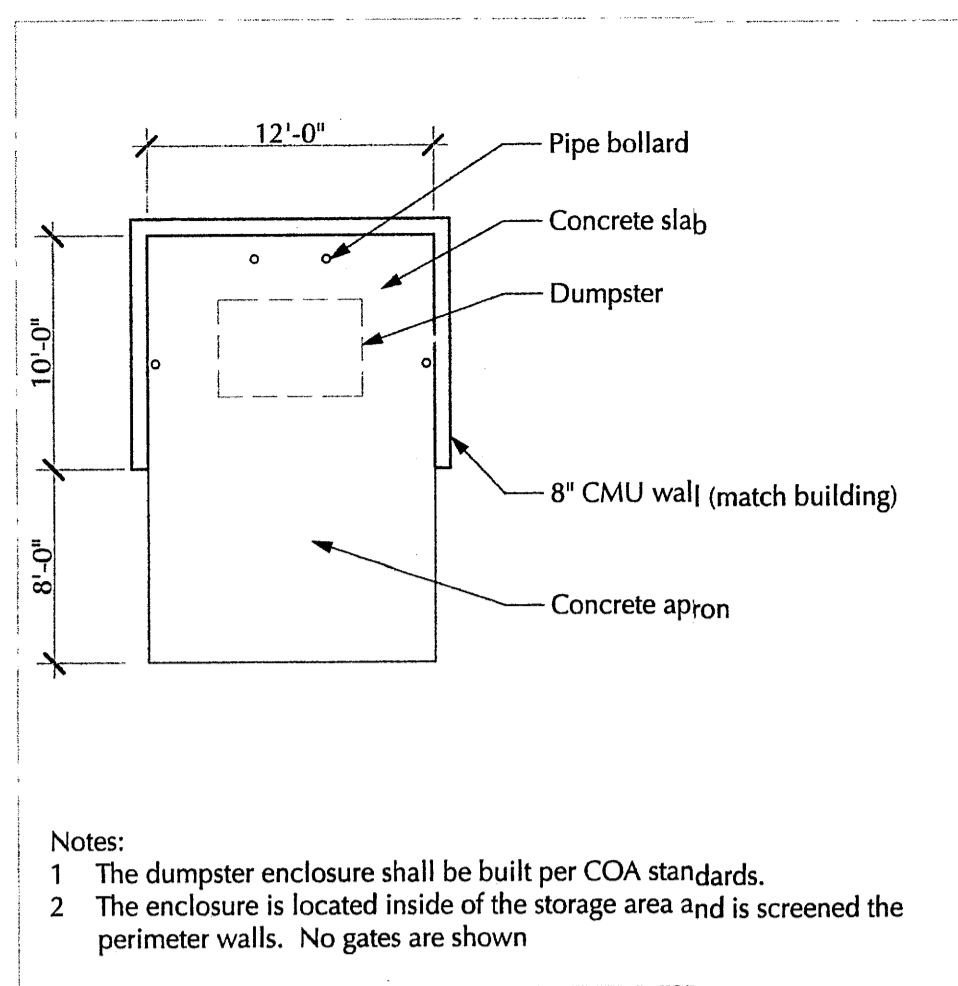
ISSUE DATE:
30 November, 2005

REVISIONS:
14 December, 2005
10 January, 2006
16 March, 2006
04 April, 2006

Overall Elevations

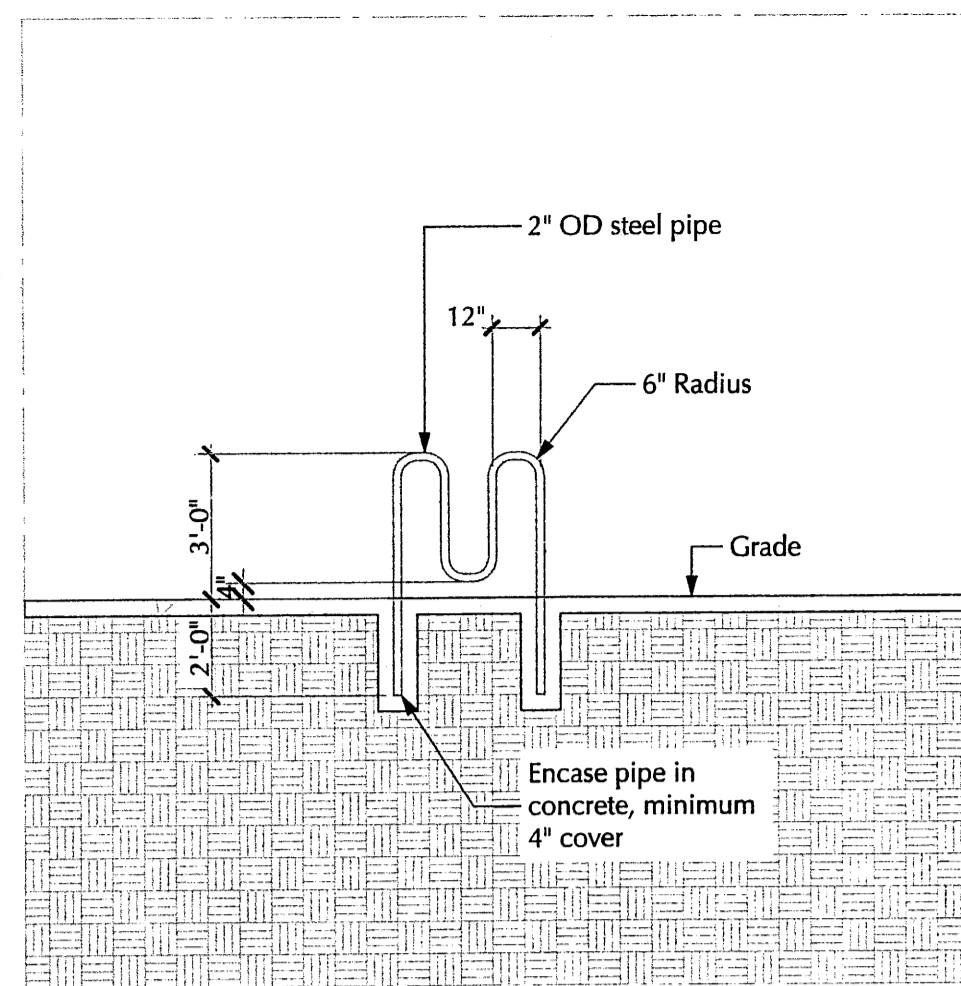
PROJECT 0537 SHEET **SDP-5** OF 9

Granddell Users Shared - Jobs - 0537 Iliff Storage - Planning Docs - LAY\0537-SDP.rvt

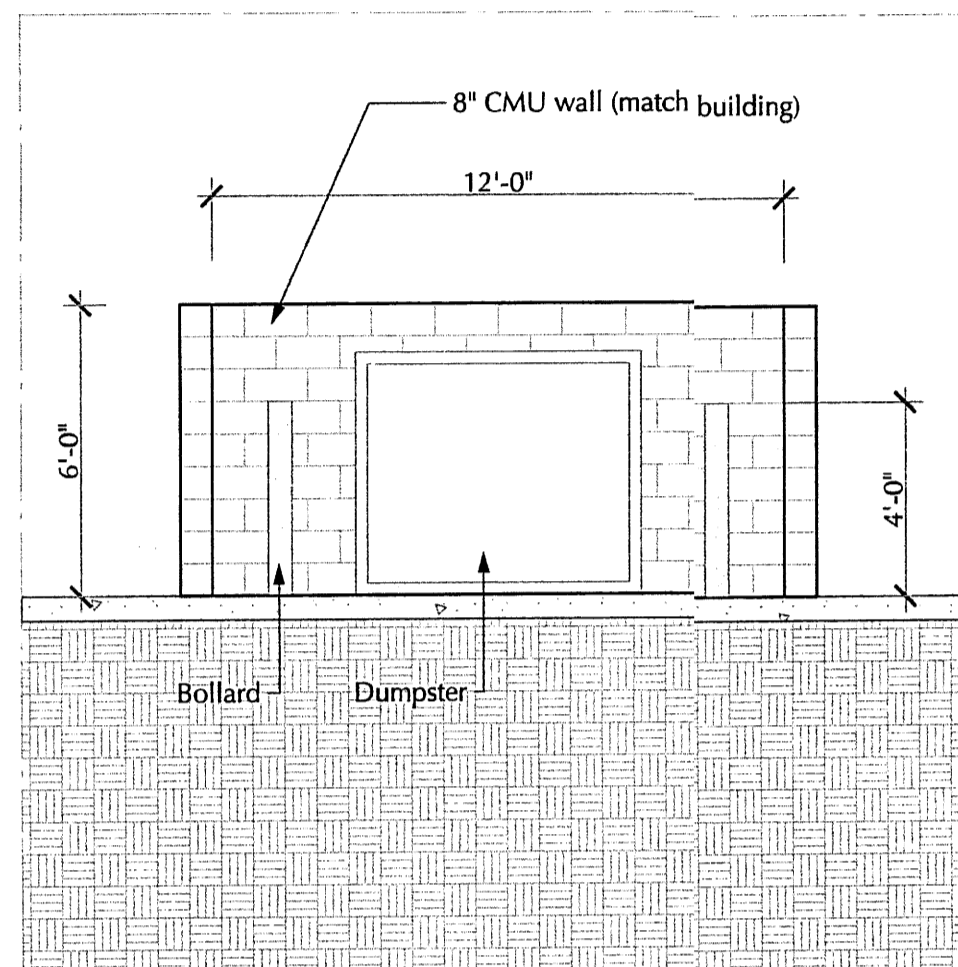


Notes:
 1 The dumpster enclosure shall be built per COA standards.
 2 The enclosure is located inside of the storage area and is screened the perimeter walls. No gates are shown.

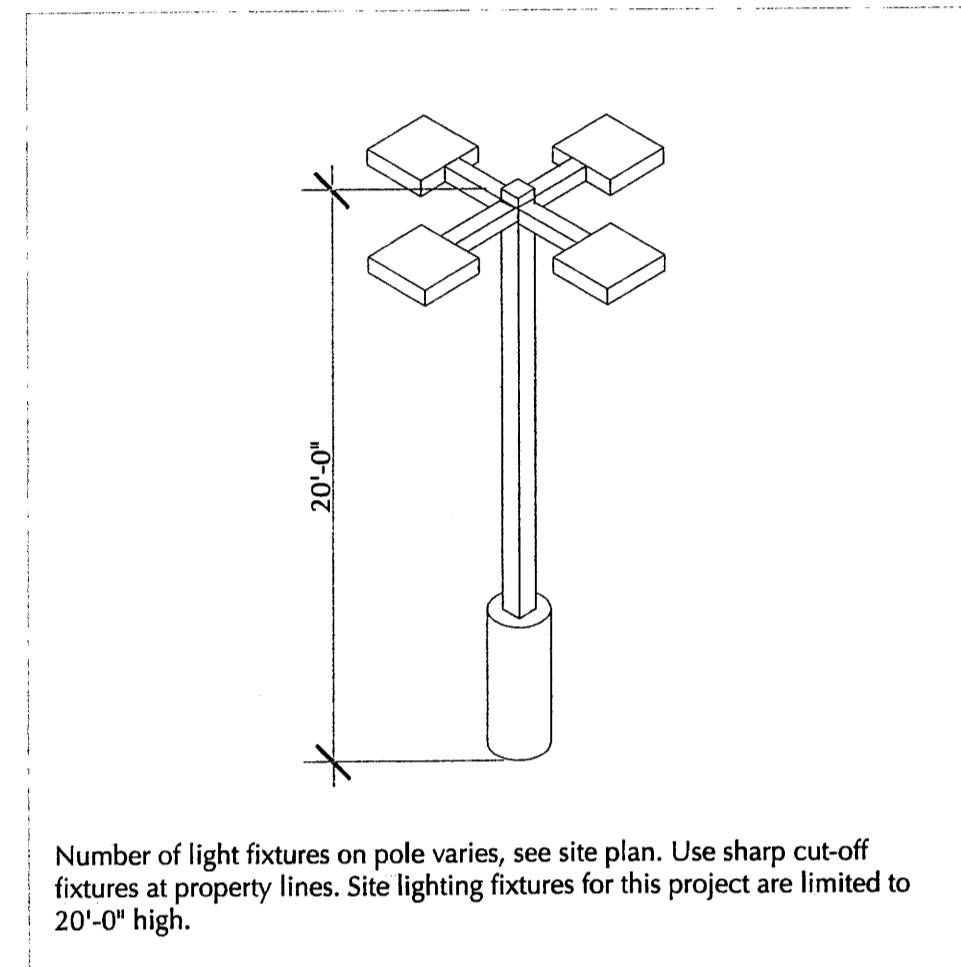
A Dumpster Plan Scale: 1/8" = 1'-0"



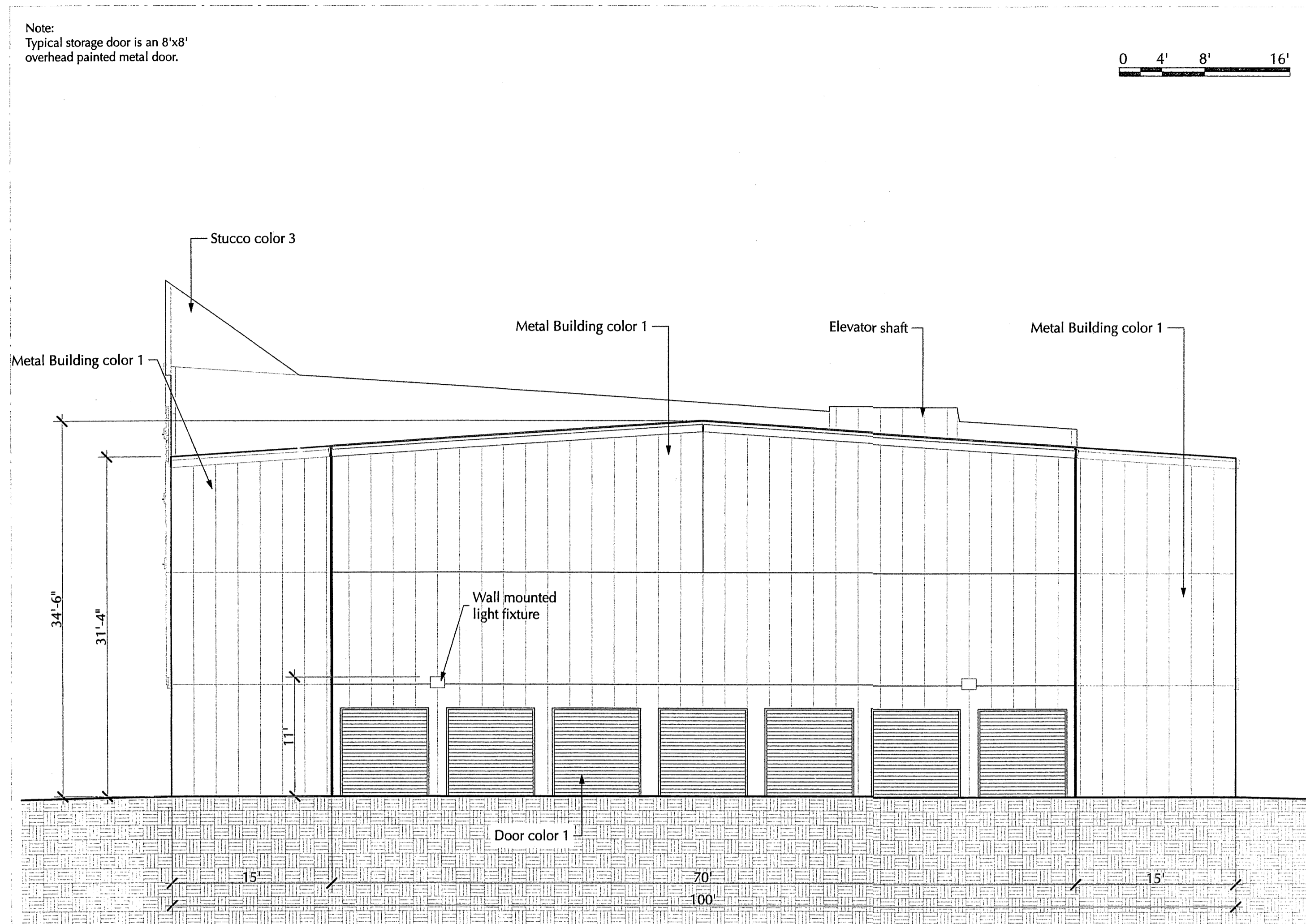
B Bike Rack Scale: 1/4" = 1'-0"



C Trash Enclosure Scale: 1/4" = 1'-0"



H Site Light Detail Scale: 1/4" = 1'-0"



I South Elevation - Building 'A' Scale: 1/8" = 1'-0"

STUCCO COLORS:
 Stucco color 1 Tan
 Stucco color 2 Rose

MASONRY:
 Masonry color 1 Brown CMU
 Masonry color 2 Brown Split face CMU

PAINTED DOORS:
 Color 1 Rust colored metal

STOREFRONT FRAME:
 Color 1 Bronze Aluminum

GLAZING:
 Color 1 Clear
 All glazing shall not be mirrored finished (non-reflective) in an aluminum frame. Windows shall have glazing joints as relief features.

METAL BUILDING:
 Color 1 Tan colored metal

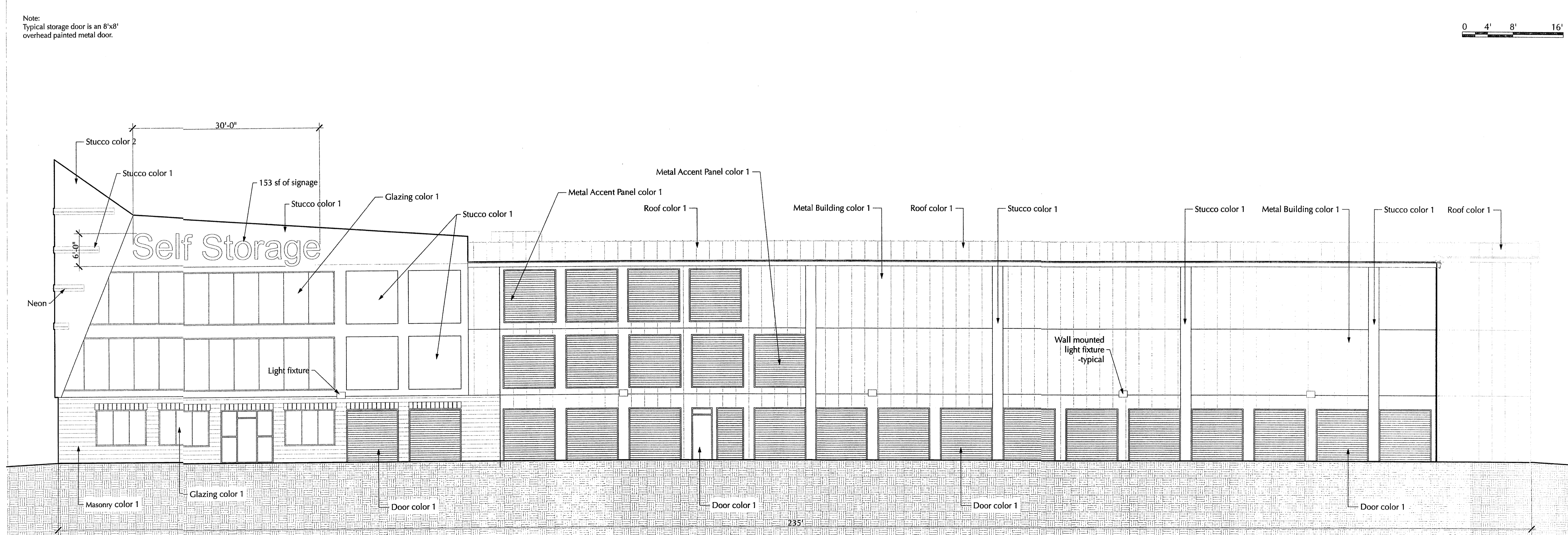
METAL ACENT PANELS (decretive door panels):
 Color 1 Rust colored metal

ROOFING:
 Color 1 Galvanized colored metal

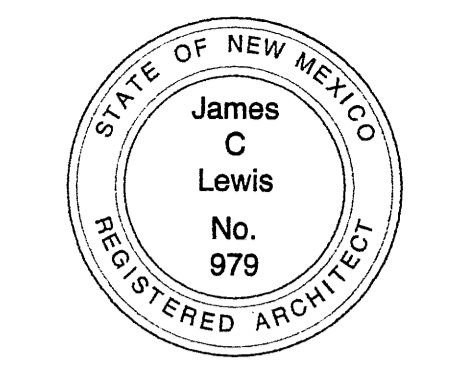
All building mounted signs shall be individual metal letters, internally illuminated channel letters, or exposed neon. No sign element shall exceed 6'-0" in height. The total building mounted sign area shall not exceed 6% of the total building facade.

Note: All mechanical equipment will be screened from view of the public right of way.

L Colors and Finishes



S West Elevation - Building 'A' Scale: 1/8" = 1'-0"



Schlevel Lewis Architects
 1620 Central Ave SE
 Albuquerque NM 87106
 (505) 247-1529
 FAX (505) 245-6701
 galle@slaw.com

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Site Development Plan for Building Permit
Iliff Self Storage
 6200 Iliff Road NW
 Albuquerque, NM 87121

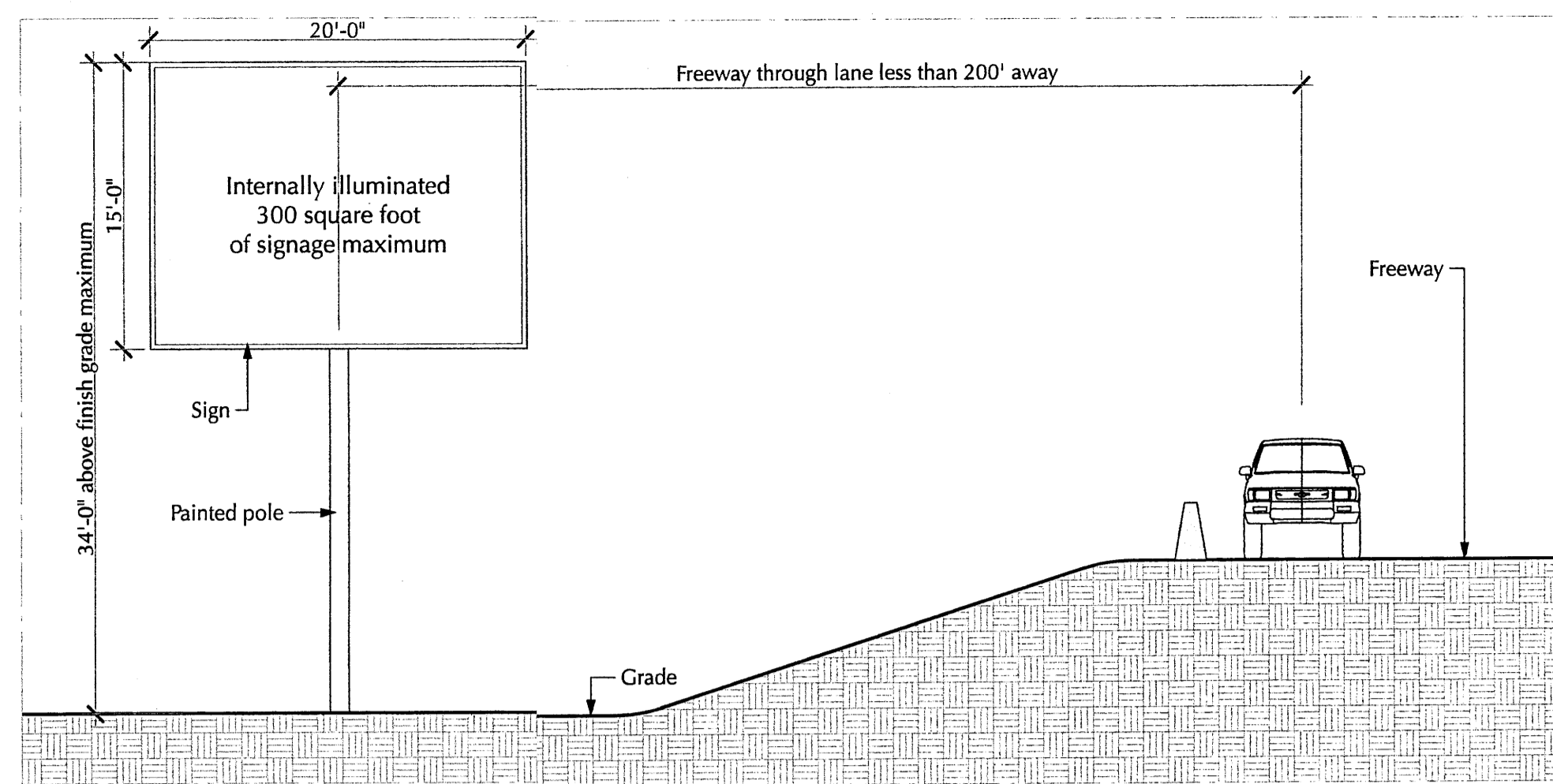
ISSUE DATE:
 30 November, 2005

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 16 March, 2006
 04 April, 2006

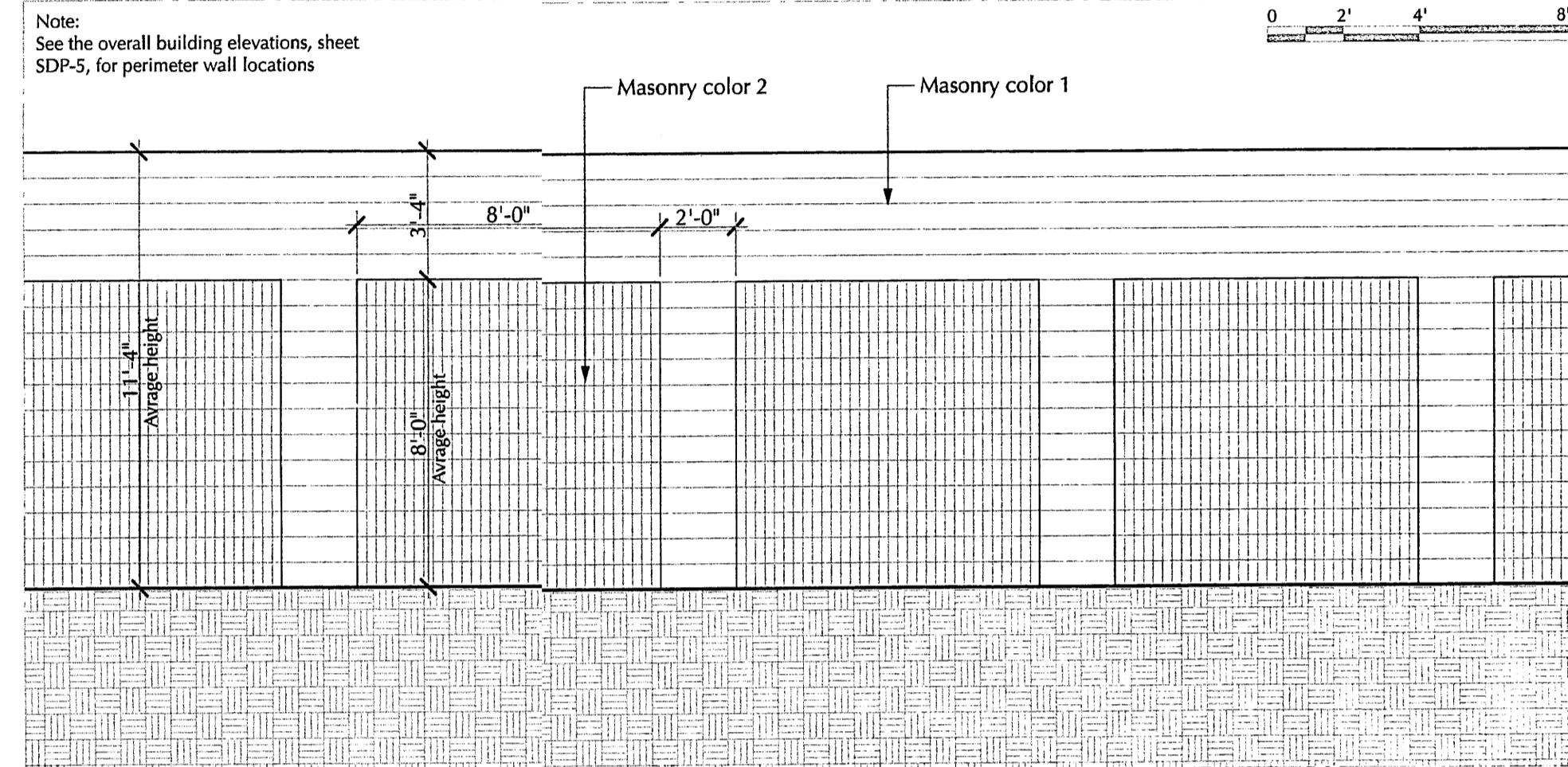
Building Elevations

PROJECT 0537 SHEET **SDP-6** OF 9

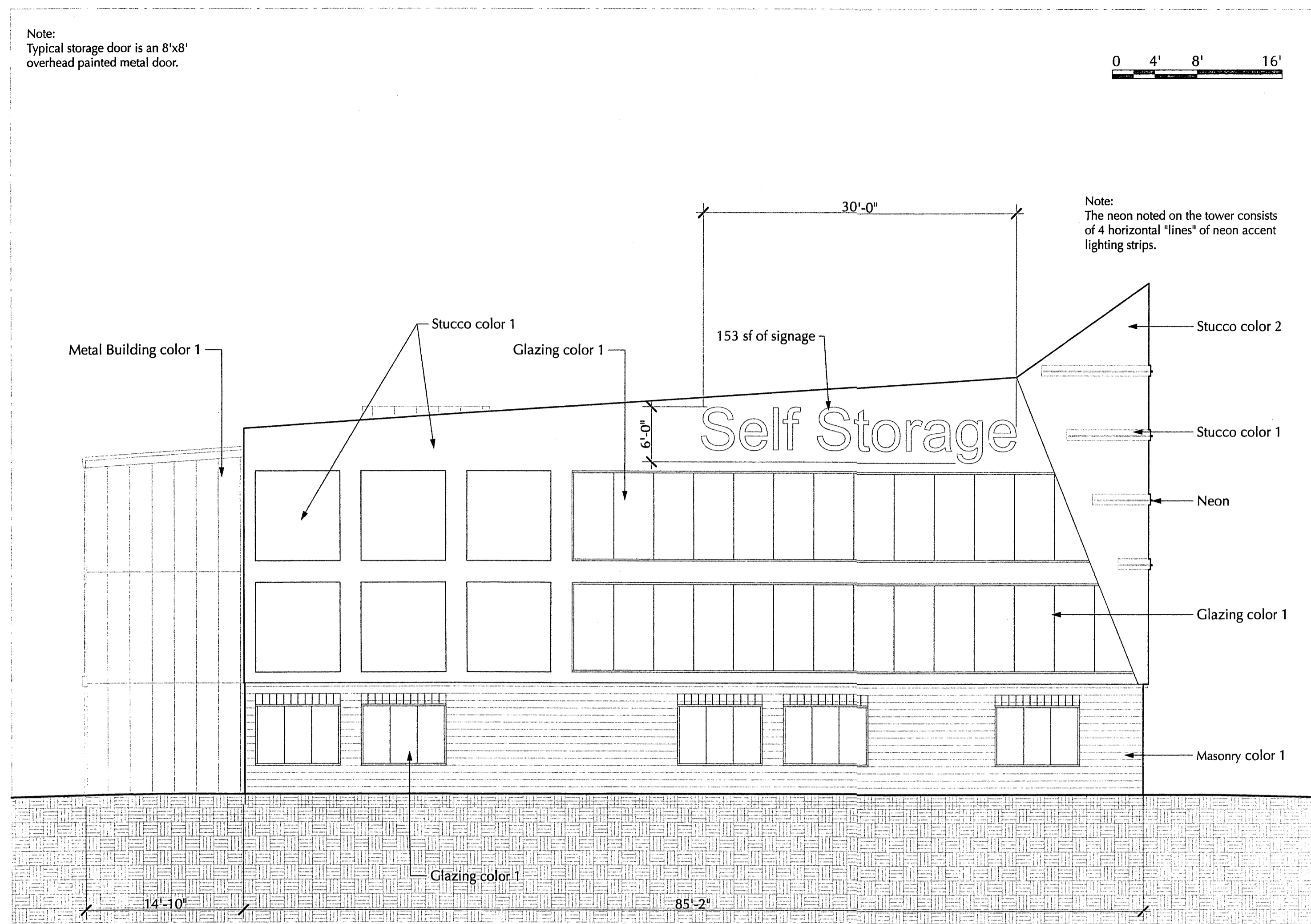
GrandUser:Shams-0537 Iliff Storage - Planning Docs.LAY:0537-SDP:Rk



A Pole Sign



G Typical Perimeter Building Wall (Outside Face)



I North Elevation - Building 'A'

STUCCO COLORS:
 Stucco color 1 Tan
 Stucco color 2 Rose

MASONRY:
 Masonry color 1 Brown CMU
 Masonry color 2 Brown Split face CMU

PAINTED DOORS:
 Color 1 Rust colored metal

STOREFRONT FRAME:
 Color 1 Bronze Aluminum

GLAZING:
 Color 1 Clear
 All glazing shall not be mirrored finished (non-reflective) in an aluminum frame. Windows shall have glazing joints as relief features.

METAL BUILDING:
 Color 1 Tan colored metal

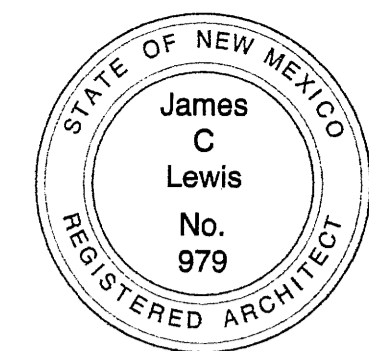
METAL ACENT PANELS (decretive door panels):
 Color 1 Rust colored metal

ROOFING:
 Color 1 Galvanized colored metal

All building mounted signs shall be individual metal letters, internally illuminated channel letters, or exposed neon. No sign element shall exceed 6'-0" in height. The total building mounted sign area shall not exceed 6% of the total building facade.

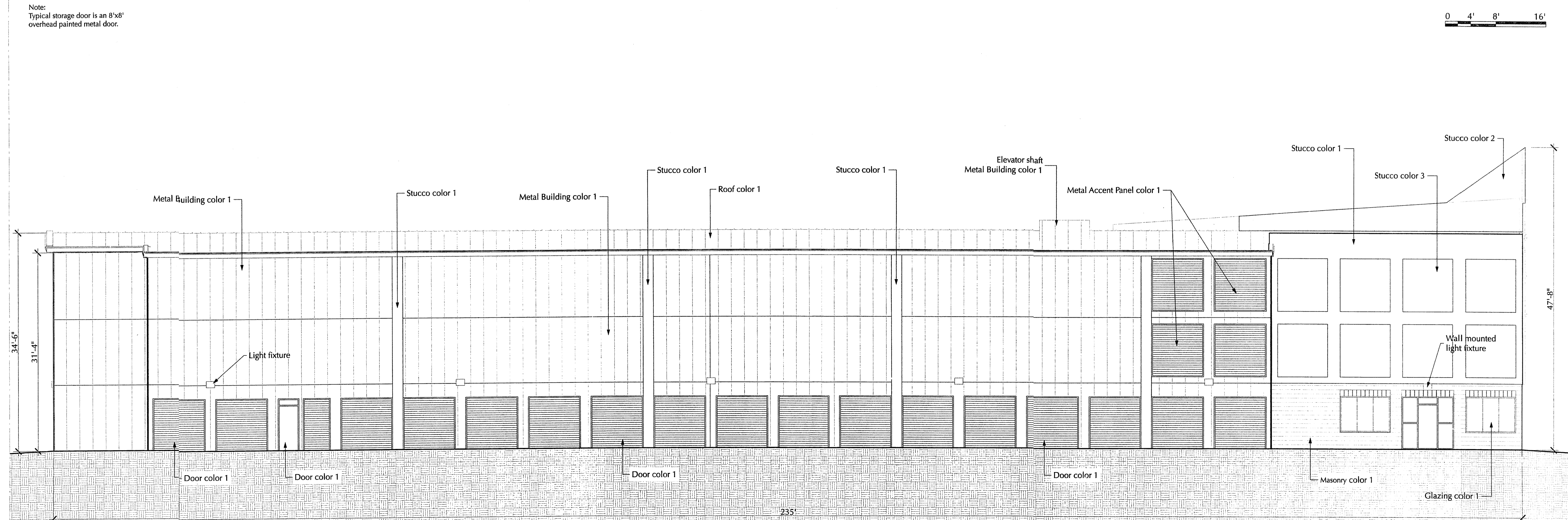
Note: All mechanical equipment will be screened from view of the public right of way.

L Colors and Finishes



Schlegel Lewis Architects
 1620 Central Ave SE
 Albuquerque, NM 87106
 (505) 247-1529
 FAX (505) 248-0701
 gcl@slaw.com

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S East Elevation - Building 'A'

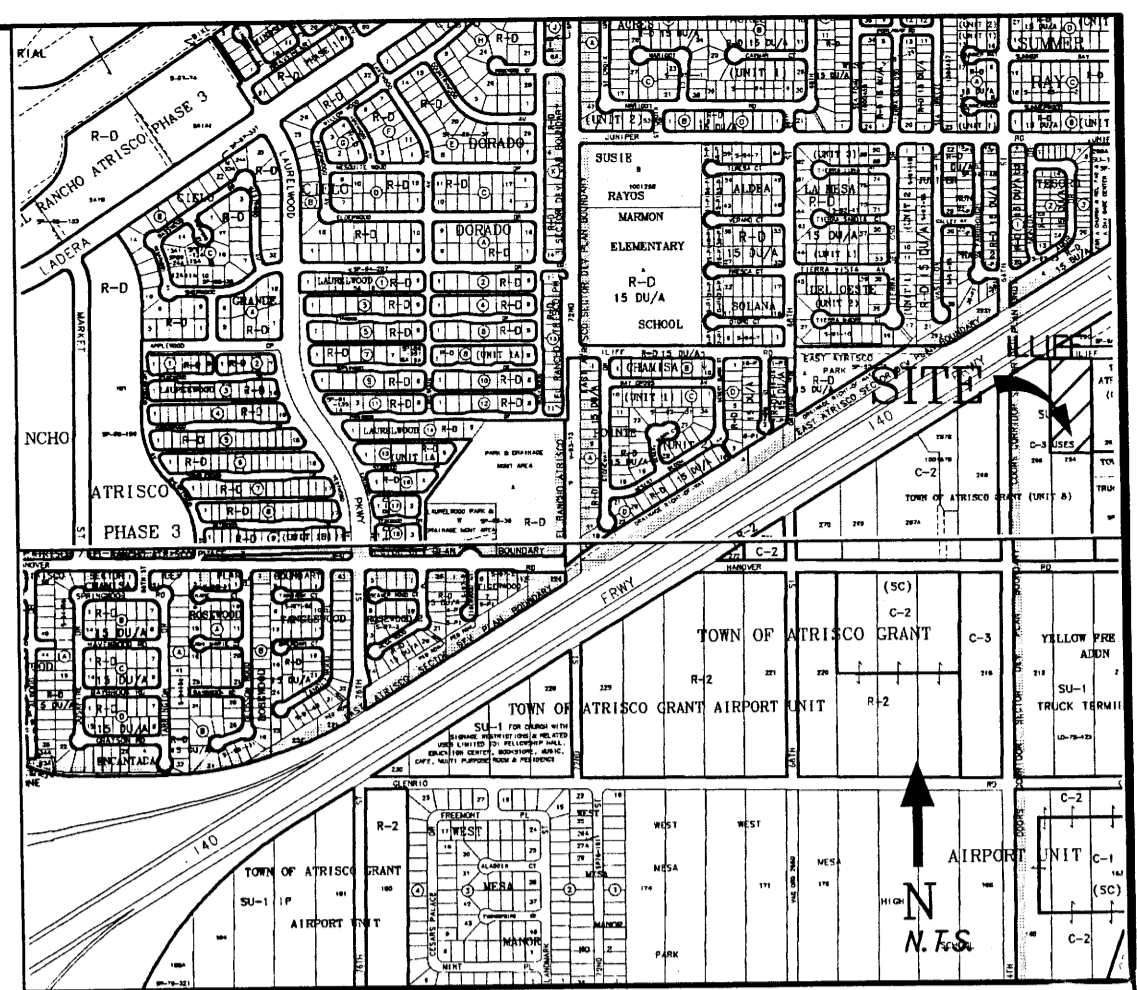
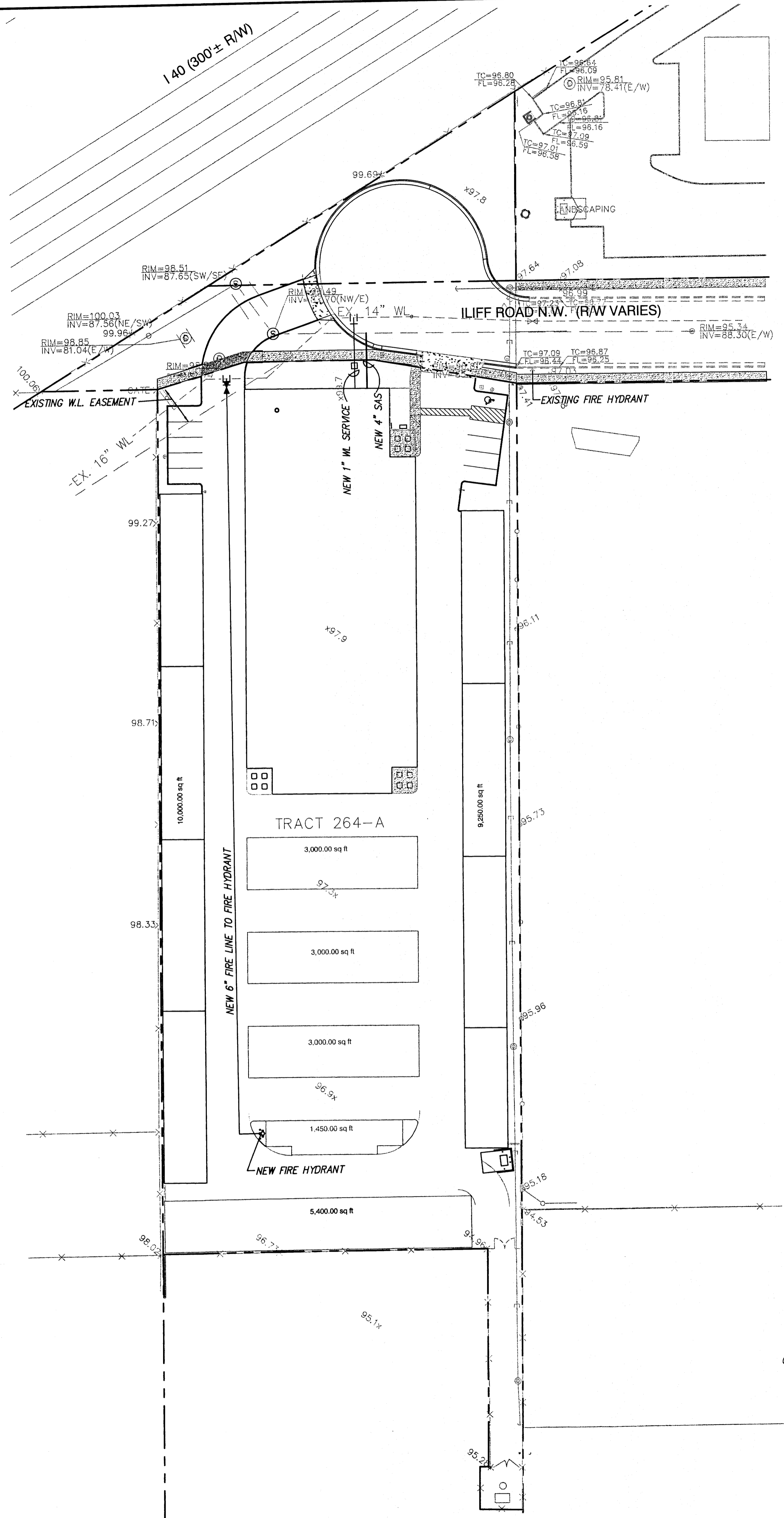
Site Development Plan for Building Permit
Iliff Self Storage
 6200 Iliff Road NW
 Albuquerque, NM 87121

ISSUE DATE:
 30 November, 2005

REVISIONS:
 14 December, 2005
 10 January, 2006
 16 March, 2006
 04 April, 2006

Building Elevations

PROJECT 0537 SHEET **SDP-7** OF 9



ZONE MAP: H-10-Z
J-10-Z
ACS BENCHMARK

LEGAL DESCRIPTION
TRACT 264-A, TOWN OF ATRISCO GRANT, AIRPORT UNIT.

PROPOSED DRAINAGE PLAN
THE SUBJECT PROPERTY IS LOCATED WITHIN A DEVELOPED AREA OF THE CITY WHERE EXISTING STORM DRAIN FACILITIES ARE ADJACENT TO THE SITE (ILLIFF ROAD). DEVELOPED RUNOFF FROM ON-SITE AREAS WILL BE COLLECTED ON-SITE BY A NEW STORM DRAIN SYSTEM THAT WILL DISCHARGE TO THE EXISTING STORM DRAIN SYSTEM IN ILLIFF ROAD. MOST OFF-SITE RUNOFF AROUND THE SUBJECT PROPERTY IS CUT OFF BY I-40 AND COLLECTED IN THE EXISTING WEST I-40 OUTFALL RUNNING EAST ALONG I-40 ADJACENT TO THE SITE.

LEGEND

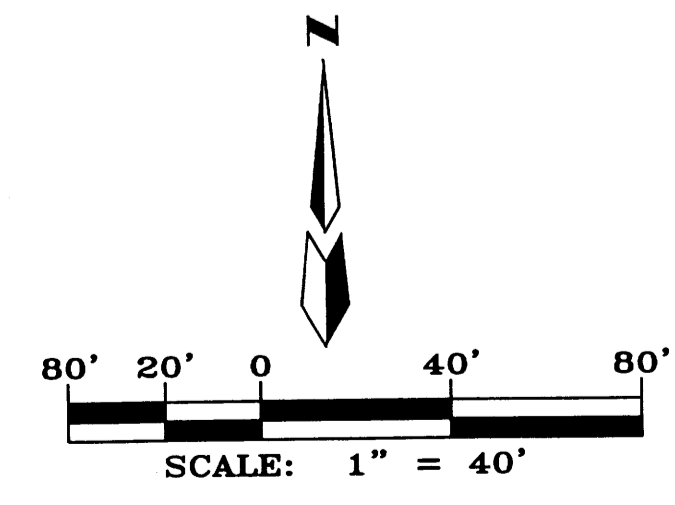
| | |
|--|-----------------------------------|
| | PROPOSED RETAINING WALL |
| | PROPERTY LINE |
| | PROPOSED FLOWLINES SPOT ELEVATION |
| | EXISTING CONTOUR |
| | PROPOSED CONTOUR |
| | PROPOSED WALL SPOT ELEVATION |
| | FINISHED FLOOR |
| | EXISTING CURB AND GUTTER |
| | EXISTING STORM DRAIN |
| | DRAINAGE BASIN |
| | PROPOSED STORM DRAIN |
| | NEW CURB AND GUTTER |
| | NEW FLOW ARROW |
| | NEW STORM INLET |
| | NEW SIDEWALK |

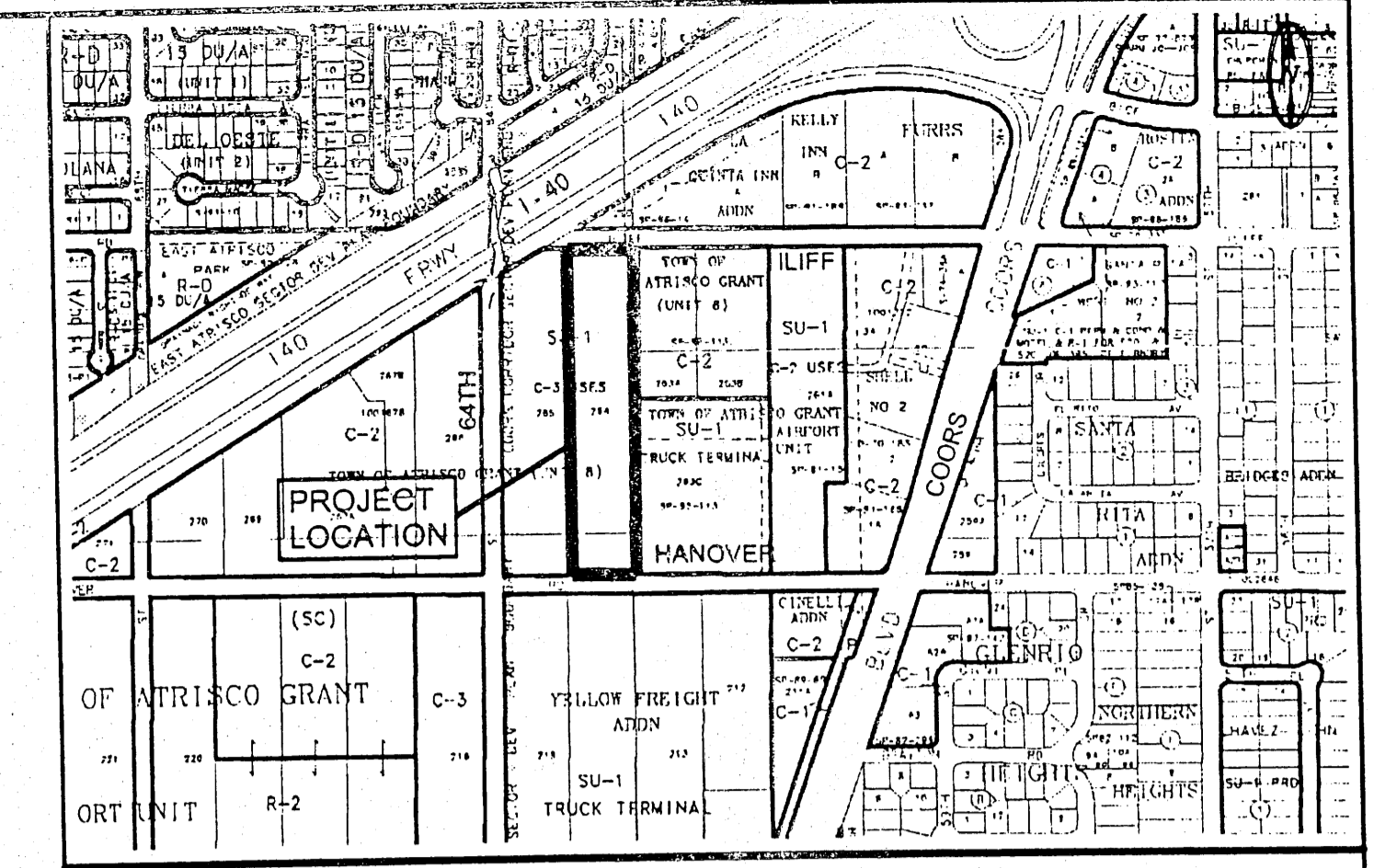
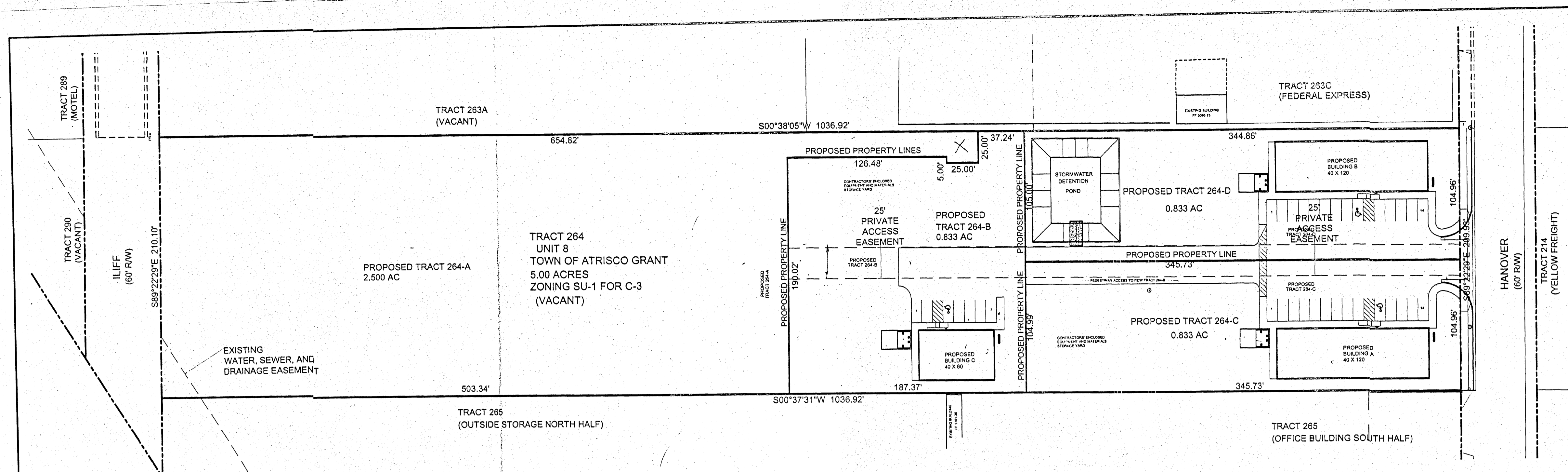
ILLIFF ROAD STORAGE
CONCEPTUAL UTILITY PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

| | | | |
|-----------------|----------------|--------------|-------|
| Designed: JMM | Drawn: CAR | Checked: DMG | SDP-8 |
| Scale: 1" = 30' | Date: 11/08/05 | Job: A05053 | |

Professional Engineer Seal
John H. Baer
New Mexico
11810
04-04-06





H/J-10/11 LOCATION MAP NTS

LEGEND

| ITEM | EXISTING | PROPOSED |
|------------------|----------|----------|
| RIGHT OF WAY | --- | --- |
| EASEMENT LINE | --- | --- |
| PROPERTY LINE | --- | --- |
| CENTERLINE | --- | --- |
| CHAIN LINK FENCE | --- | --- |
| RETAINING WALL | --- | --- |
| CURB | --- | --- |

APPROVED BY DRB ON [Signature]

1 inch = 50ft.

PROJECT DATA

EXISTING LEGAL DESCRIPTION:
TRACT 264 UNIT 8
TOWN OF ATRISCO GRANT

PROPOSED LEGAL DESCRIPTION:
TRACTS 264-A, 264-B, 264-C, AND 264-D,
UNIT 8, TOWN OF ATRISCO GRANT

PROPERTY ADDRESS:
HANOVER RD. NW, EAST OF 64TH ST

ZONING:
SU-1 for C-3 USES

SITE AREA:
EXISTING TRACT 264: 5.00 ACRES (217,800 SF)
PROPOSED TRACT 264-A: 2.500 AC (108,900 SF)
PROPOSED TRACT 264-B: 0.833 AC (36,300 SF)
PROPOSED TRACT 264-C: 0.833 AC (36,300 SF)
PROPOSED TRACT 264-D: 0.833 AC (36,300 SF)

SITE PLAN FOR SUBDIVISION

The subdivision will create Tracts 264-A, 264-B, 264-C, and 264-D, thereby enabling the immediate development of Tracts 264-B, 264-C, and 264-D. The purpose of the Site Plan for Subdivision is to demonstrate the division of existing 5.0-acre Tract 264 into four separate tracts, and to set forth the criteria for the future development of Tract 264-A.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

The purpose of the Site Development Plan for building permit is to show the details of the improvements to new Tracts 264-B, 264-C, and 264-D for their immediate construction.

DEVELOPMENT OF TRACT 264-A

Tract 264-A will not be developed at this time. A detailed Site Development Plan for Tract 264-A will be submitted to the Environmental Planning Commission for final review and to the Development Review Board for approval prior to issuance of building permit for improvements thereon. Development of Tract 264-A shall comply with the guidelines set forth in the City of Albuquerque Comprehensive Zoning Code (Zoning Code). Maximum floor area ratio (FAR) shall be 0.35.

DRAINAGE

A Grading and Drainage Plan to support the development of Tracts 264-B, 264-C, and 264-D is provided. A separate Grading and Drainage Plan for Tract 264-A will be required at the time of its development.

DEVELOPMENT GUIDELINES

- This Site Development Plan is for subdivision purposes only. The boundary shown is approximate and based in part on plats of record, but it is not a boundary survey. The final land division configuration will be by plat of the property. Tract 264 consists of 5.00 acres, and will be subdivided into 4 parcels. Proposed Tract 264-A will be the northernmost 2.50 acres. The south 2.50 acres will be divided into 3 tracts designated as Tract 264-B, Tract 264-C, and Tract 264-D, each consisting of 0.833 acres. Tract 264-A, the north parcel, will be developed at a future date pursuant to these guidelines. Tracts 264-B, 264-C, and 264-D, the south 0.833-acre parcels, will be developed under a Site Development for Building Permit pursuant to these guidelines and the details of that plan.
- A detailed Site Development Plan for each tract shall be submitted to the Development Review Board for final review and approval prior to development of any improvements on that tract. Development shall comply with the guidelines set forth in the City of Albuquerque Comprehensive Zoning Code (Zoning Code).
- A detailed Grading and Drainage Plan will be required for Tract 264-A prior to development of any improvements on that tract.
- Landscaping: The total landscaped area required for each Tract shall equal not less than 20 % of the net area as stipulated in the Coors Corridor Plan, and which is defined by Section 14-16-3-10 of the Zoning Code as the total lot area minus: (a) The area of the lot not covered by buildings; (b) The portions of the lot that are not required for off-street parking or a parking lot and which are fully screened from any adjacent lot or public right-of-way by an opaque wall or fence at least 6' high, in which no landscaping will be required except required buffer landscaping; chain link fence with slats does not constitute acceptable full screening; and (c) The area of any approved landscaping that the owner installs and maintains in the adjacent public right-of-way, exclusive of the area of any existing or planned public sidewalk.
- Building Height: Building height and width shall fall within 45° angle lines drawn from the horizontal at the mean grade along each boundary of the subject Tract, but a structure shall not exceed a height of 120 feet for IP purposes and 60 feet for C-3 purposes. Exceptions to the preceding are provided in accordance with Section 14-16-3-3 of the Comprehensive Zoning Code, "Supplementary Height, Area and Use Regulation".
- Building Floor Area Ratios: Building floor area ratios are recommended not to exceed 0.35.
- Signs: All signs shall be in compliance with the requirements set forth in the Zoning Code for C-3 zones.
- Setbacks: Building setbacks for each of the Tracts shall comply with the requirements set forth in the Zoning Code for C-3 zones.
- Parking: Off-street parking requirements shall be in accordance with the Zoning Code.
- Pedestrian Access: Direct pedestrian access shall be provided from buildings to adjoining street frontages. Access shall be 6' clear minimum with trees where practical.
- Employee Facilities: Businesses with 50 or more employees shall supply lockers. Showers are encouraged.
- The 25' private access easement shown extending from Hanover north to the south boundary of proposed Tract 264-A is provided only as a contingency in the event the New Mexico State Department of Transportation vacates, or otherwise prohibits existing access to Tract 264-A from Liff for construction of an Interstate 040 eastbound off-ramp along Liff. This easement may be vacated in whole or in part upon final determination that ultimately primary access to Tract 264-A from Liff is possible.
- On-site and boundary fencing may be constructed of 8' high chainlink with security wiring at the discretion of the property owner.

LANDSCAPING GUIDELINES

- Landscaping that may potentially exceed 15 feet in height will not be allowed within any Public Service Co. of New Mexico easement.
- Specific use of introduced and naturalized species to supplement the indigenous plant palette. These "introduced and naturalized" species will be used in areas less exposed to the macro climate and will function as accent treatments.
- Controlled uses of indigenous inorganic materials (i.e. rocks, gravel) to function as ground cover or paving substitutes.
- A ten foot landscape strip will be provided along Hanover and Liff Roads. Street trees where allowed will be planted at a rate of 3 per 100 linear feet and will be set back 15 feet from the back of curb.
- Street trees along Hanover and Liff Roads will be of the following:
 - Canopy 3 in. minimum caliper Plant selection shall comply with those species, which have been approved by the City Water Conservation and Landscape Ordinance.
 - Understory and accent 2 in. minimum caliper Plant selection shall comply with those species, which have been approved by the City Water Conservation and Landscape Ordinance.

UTILITIES

Existing public water and sanitary sewer lines are located in Hanover and Liff. Development of Tract 264-A will require the extension of a public waterline in Liff. Service and fire protection will be taken from Liff. Development of Tracts 264-B, 264-C, and 264-D will also require a public waterline extension in Hanover. Service and fire protection will be taken from Hanover. Tracts 264-B, 264-C, and 264-D will connect to the existing sewerline in Hanover by private line and connection. Tract 264-A will connect to the existing City sewer line in Liff. The development of Tract 264-A will require a separate statement of water and sewer availability from the City.

SIGNAGE

The size and placement of all free-standing and building-mounted signs will be regulated by the zoning code. This plan proposes no special provisions for signs.

SITE LIGHTING

Free-standing lighting fixtures are allowed provided they ensure full cutoff lighting. Otherwise, the size, placement, and luminosity of all lighting fixtures will be as regulated by the zoning code. This plan proposes no special provisions for lighting.

DRAINAGE

A separate Site Development Plan for building permits will be submitted to the City for the development of Tract 264-A, together with a site specific grading and drainage plan. Runoff generated by Tracts 264-B, 264-C, and 264-D will be conveyed to a pond located on Tract 264-D by respective cross-access drainage easements.

0.35 (as amended by EPC)

33 feet (as amended by EPC)

10 spaces (as amended by EPC)

Deleted (as amended by EPC)

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

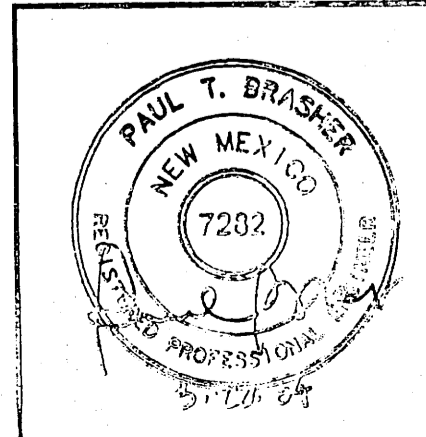
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission, dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way of for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| DEVELOPMENT REVIEW BOARD, CHAIR | DATE |
|---------------------------------|------|
| CITY ENGINEER | DATE |
| TRANSPORTATION DEVELOPMENT | DATE |
| UTILITIES DEVELOPMENT | DATE |
| PARKS & RECREATION | DATE |
| PUBLIC SERVICE CO. OF NM | DATE |
| SOLID WASTE DEPARTMENT | DATE |

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188



HYDROSYSTEMS
SITE PLAN FOR SUBDIVISION

DATE: 03/20/04
SCALE: 1"=20'
SHT: 1 OF 1

| | | |
|------------|--------------|----------------|
| DRW: R.M. | TR: | DATE: 03/20/04 |
| CKD: P.T.B | OK: | SCALE: 1"=20' |
| APP: | ACAD FILE: | SPD-9 |
| REV. NO. | 01553-GD.DWG | |