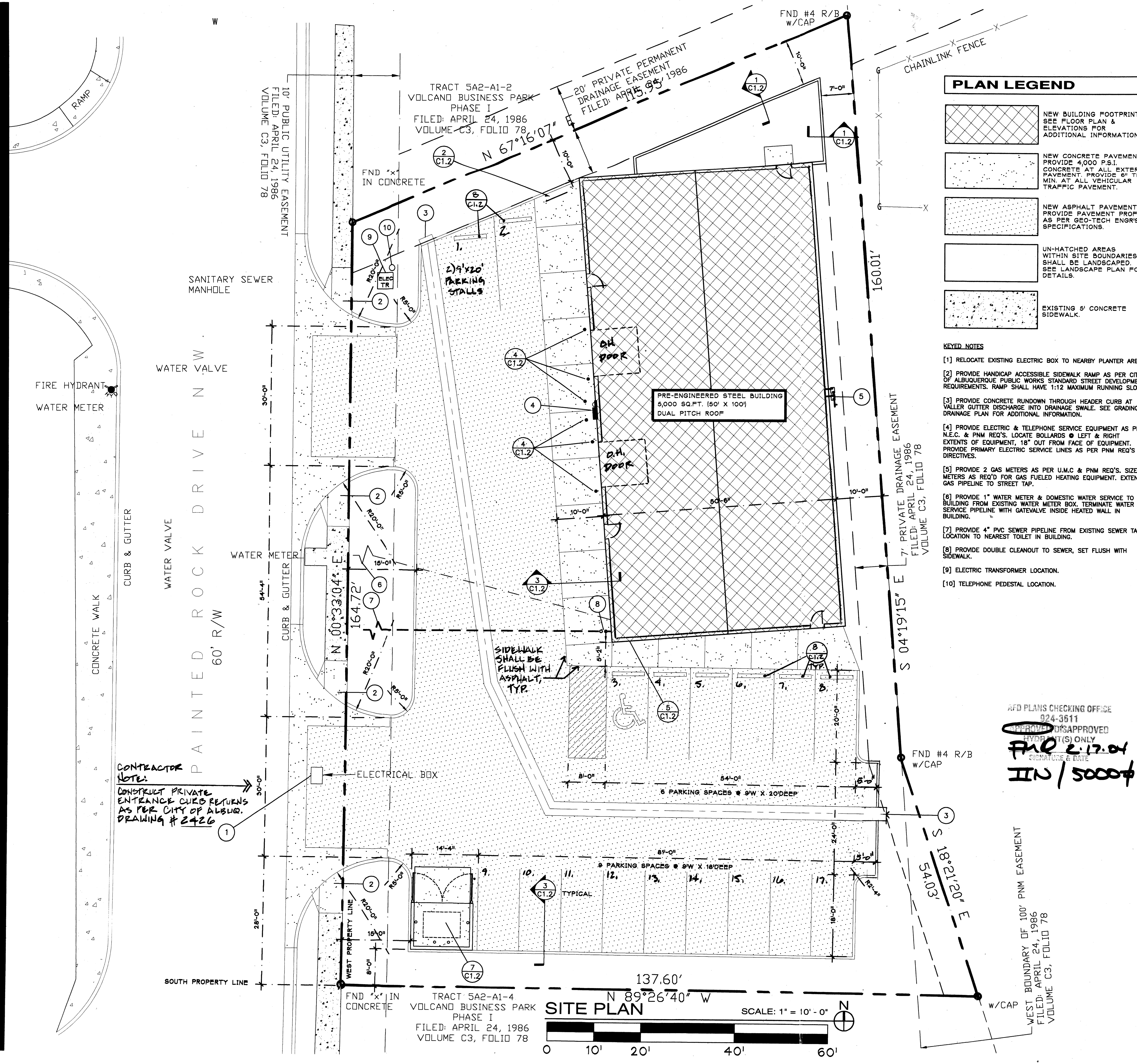
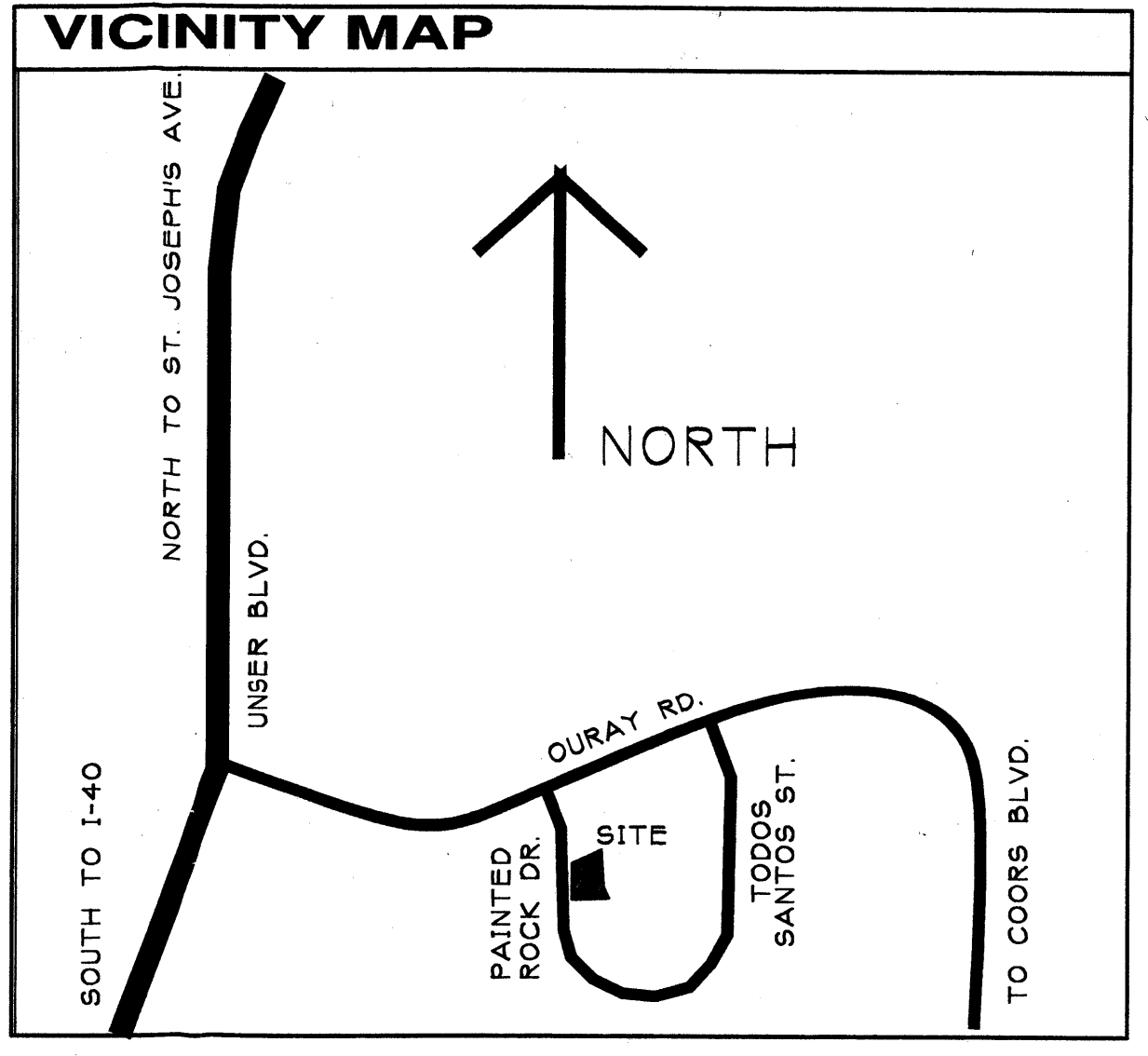




PLAN LEGEND

- NEW BUILDING FOOTPRINT. SEE FLOOR PLAN & ELEVATIONS FOR ADDITIONAL INFORMATION.
- NEW CONCRETE PAVEMENT. PROVIDE 4,000 P.S.I. CONCRETE AT ALL EXTERIOR PAVEMENT. PROVIDE 6" THK. MIN. AT ALL VEHICULAR TRAFFIC PAVEMENT.
- NEW ASPHALT PAVEMENT. PROVIDE PAVEMENT PROFILE AS PER GEO-TECH ENGR'S SPECIFICATIONS.
- UN-HATCHED AREAS WITHIN SITE BOUNDARIES SHALL BE LANDSCAPED. SEE LANDSCAPE PLAN FOR DETAILS.
- EXISTING 5' CONCRETE SIDEWALK.

- KEYED NOTES
- [1] RELOCATE EXISTING ELECTRIC BOX TO NEARBY PLANTER AREA.
 - [2] PROVIDE HANDICAP ACCESSIBLE SIDEWALK RAMP AS PER CITY OF ALBUQUERQUE PUBLIC WORKS STANDARD STREET DEVELOPMENT REQUIREMENTS. RAMP SHALL HAVE 1:12 MAXIMUM RUNNING SLOPE.
 - [3] PROVIDE CONCRETE RUNDOWN THROUGH HEADER CURB AT VALLEY GUTTER DISCHARGE INTO DRAINAGE SWALE. SEE GRADING & DRAINAGE PLAN FOR ADDITIONAL INFORMATION.
 - [4] PROVIDE ELECTRIC & TELEPHONE SERVICE EQUIPMENT AS PER N.E.C. & PNM REQ'S. LOCATE BOLLARDS @ LEFT & RIGHT EXTENTS OF EQUIPMENT, 18" OUT FROM FACE OF EQUIPMENT. PROVIDE PRIMARY ELECTRIC SERVICE LINES AS PER PNM REQ'S & DIRECTIVES.
 - [5] PROVIDE 2 GAS METERS AS PER U.M.C. & PNM REQ'S. SIZE METERS AS REQ'D FOR GAS FUELED HEATING EQUIPMENT. EXTEND GAS PIPELINE TO STREET TAP.
 - [6] PROVIDE 1" WATER METER & DOMESTIC WATER SERVICE TO BUILDING FROM EXISTING WATER METER BOX. TERMINATE WATER SERVICE PIPELINE WITH GATEVALVE INSIDE HEATED WALL IN BUILDING.
 - [7] PROVIDE 4" PVC SEWER PIPELINE FROM EXISTING SEWER TAP LOCATION TO NEAREST TOILET IN BUILDING.
 - [8] PROVIDE DOUBLE CLEANOUT TO SEWER, SET FLUSH WITH SIDEWALK.
 - [9] ELECTRIC TRANSFORMER LOCATION.
 - [10] TELEPHONE PEDESTAL LOCATION.



PROJECT DATA

LEGAL DESCRIPTION:
TRACT 5A2-A1-3, VOLCANO BUSINESS PARK - PHASE 1
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ZONE ATLAS: G-10-Z
ZONE CLASSIFICATION: SU-1, C1 & IP

APPROVED SITE DEVELOPMENT MASTER PLAN:
DRB CASE NO. Z-80-87-6

LOT AREA: .510 AC (22,210 SQ.FT.)
BUILDING AREA: 5,000 SQ.FT. (50' X 100' BLDG)
NET LOT AREA: 17,210 SQ.FT.
REQUIRED LANDSCAPE AREA, 15% = 2,582 SQ.FT.
PROVIDED LANDSCAPE AREA = 5,213 SQ.FT.

OFFSTREET PARKING REQUIREMENTS-
BASED ON POSSIBLE OFFICE/WAREHOUSE OCCUPANCIES:
OFFICE % WAREHOUSE % REQUIRED PARKING STALLS
50X=2,500 SQ.FT. 50X=2,500 SQ.FT. 14 STALLS REQ'D
40X=2,000 SQ.FT. 60X=3,000 SQ.FT. 12 STALLS REQ'D

PROVIDED PARKING STALLS = 15 STALLS,
INCLUDES 1 REQ'D VAN ACCESSIBLE STALL

REQUIRED & PROVIDED BICYCLE PARKING = 2 SPACES

SITE LIGHTING: SHALL BE PROVIDED BY BUILDING MOUNTED WALL FIXTURES.

SIGNAGE: SHALL BE PROVIDED BY BUILDING MOUNTED SIGNS AS PER ZONING CODE.

PROJECT NO.	1003243
APPLICATION NO.	040RB-00181
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [] YES [X] NO. IF YES, THEN A SET OF APPROVED DRB PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL:	
<i>[Signature]</i> TRAFFIC ENGINEERING TRANSPORTATION DIVISION	2-20-04 DATE:
<i>[Signature]</i> UTILITY DEVELOPMENT DIVISION	2-18-04 DATE:
<i>[Signature]</i> PARKS RECREATION	2/18/04 DATE:
<i>[Signature]</i> CITY ENGINEER	2/18/04 DATE:
N/A	
ENVIRONMENTAL HEALTH (CONDITIONAL) DATE:	
<i>[Signature]</i> SOLID WASTE MANAGEMENT	2-17-04 DATE:
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPT.	2/20/04 DATE:

DORMAN and BREEN

LAURENCE BREEN A.I.A.
SANTA FE, NM 505-982-9196

RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

ALLRITE ROOFING SYSTEMS CO.

Office / Warehouse Building
3040 Painted Rock Dr. NW

Volcano Business Park - Phase 1
Albuquerque, New Mexico

STATE OF NEW MEXICO
LAURENCE BREEN
1382
REGISTERED ARCHITECT

SHEET TITLE:
SITE PLAN

CONCEPTUAL
UTILITY LAYOUT

JOB NUMBER:
0308

DATE:
2/10/04

REVISIONS:
DRB APPROVAL SET 2/10/04

SHEET:
C-1.1

1003243