



Completed
2/27/04

DRB CASE ACTION LOG

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00181 (ASBP)

Project # 1003243

Project Name: VOLCANO BUS PARK PHASE 2

Agent: Meshach Alvarado

Phone No.: 235-7953

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 2/18/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: MISC. LATERIZING & 5' KEYWAY
 (ie CITY STANDARD DETAILS TO BE USED)

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): 5 Comments on Sheet

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1003243



DRB CASE ACTION LOG
REVISED 2/5/04

mark
792-8160

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00181 (ASBP)
Project Name: **VOLCANO BUS PARK PHASE 2**
Agent: Meshach Alvarado

Project # **1003243**
Phone No.: *235-7953*

Project Number

1003243

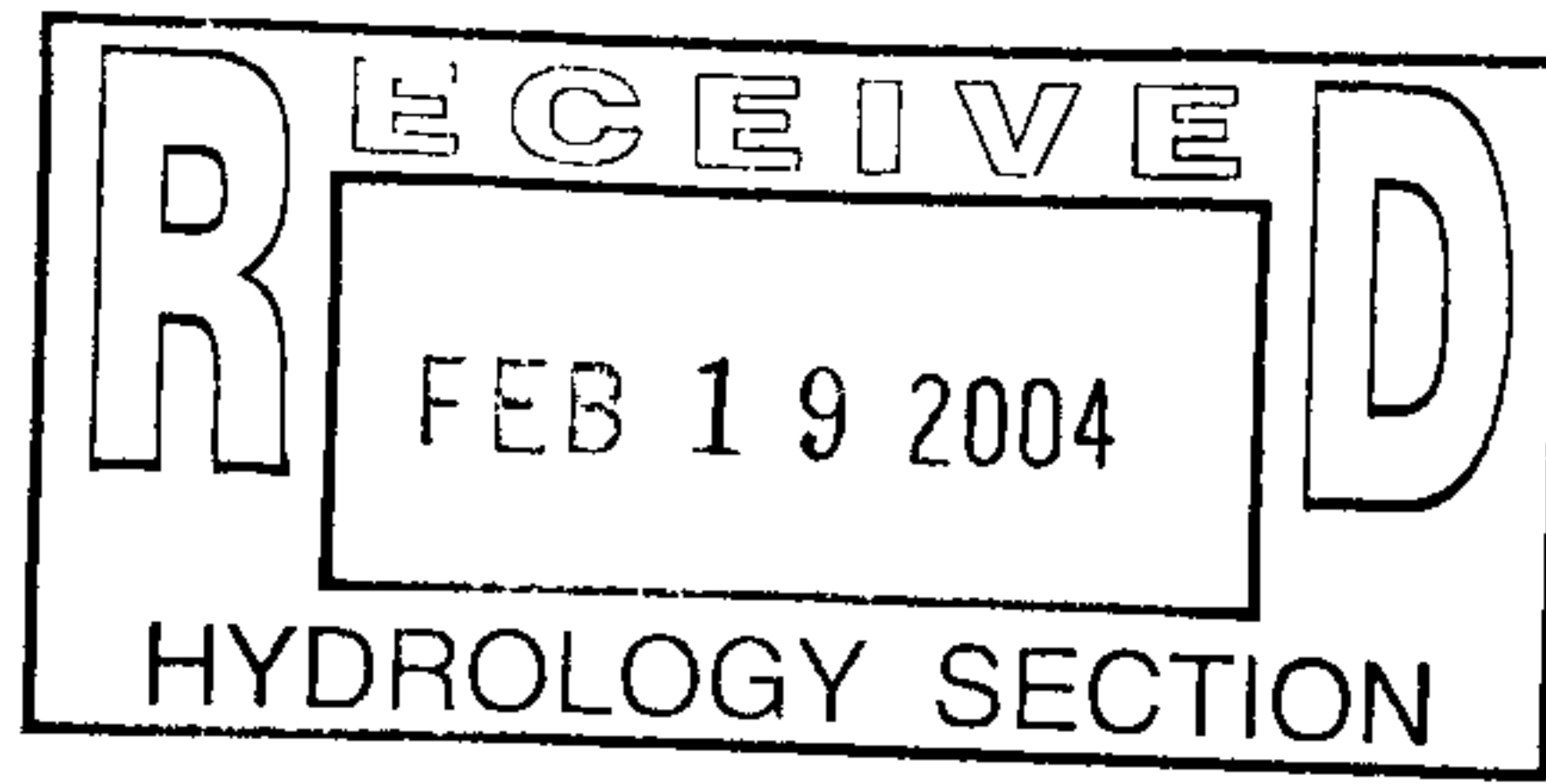
Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on *2/18/04* by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: *MISC. LAZIZING & 5' KEYWAY*
(ie CITY STANDARD DETAILS TO BE USED)
-
-
-
-
- UTILITIES: _____
-
-
-
- CITY ENGINEER / AMAFCA: _____
-
-
-
- PARKS / CIP: _____
-
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-
- PLANNING (Last to sign): *5 Comments on Sheet*
-
-
-

Handwritten initials and date: 2-18-04

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- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

AFTER ALL SIGNATURES





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB- 1003243

Item No. 5

Zone Atlas G-10

DATE ON AGENDA 2-18-04

INFRASTRUCTURE REQUIRED () YES (X) NO

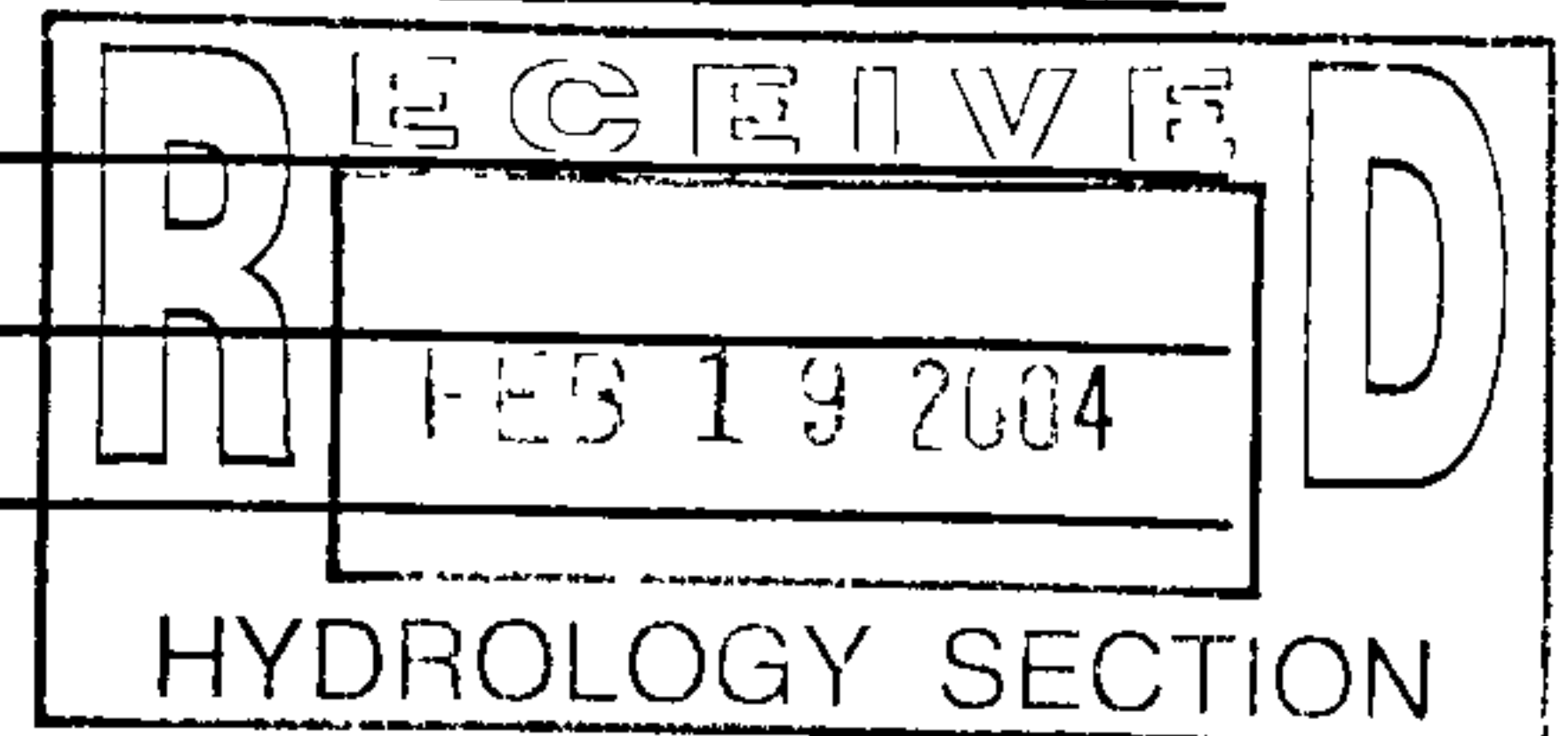
CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- (X) SITE PLAN FOR BUILDING PERMIT

No.	Comment
✓ ①	KEYWAY @ END OF PARKING AISLE NEEDS TO BE 5' MINIMUM DONE
✓ ②	LADDER BUMPERS DONE
✓ ③	IS THERE BE A RAMP REQ'D FROM VAN STALL ONTO SIDEWALK? - SIDEWALK ASPHALT TRANSITION IS FLUSH, NOW LACKED ON SITE PLAN
✓ ④	IS INFRASTRUCTURE IN PLACE ON PAINTED ROCK DRIVE? YES
✓ ⑤	ARE THERE ANY OFFSITE MITIGATION MEASURES? NO

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
2/18/04 Comments

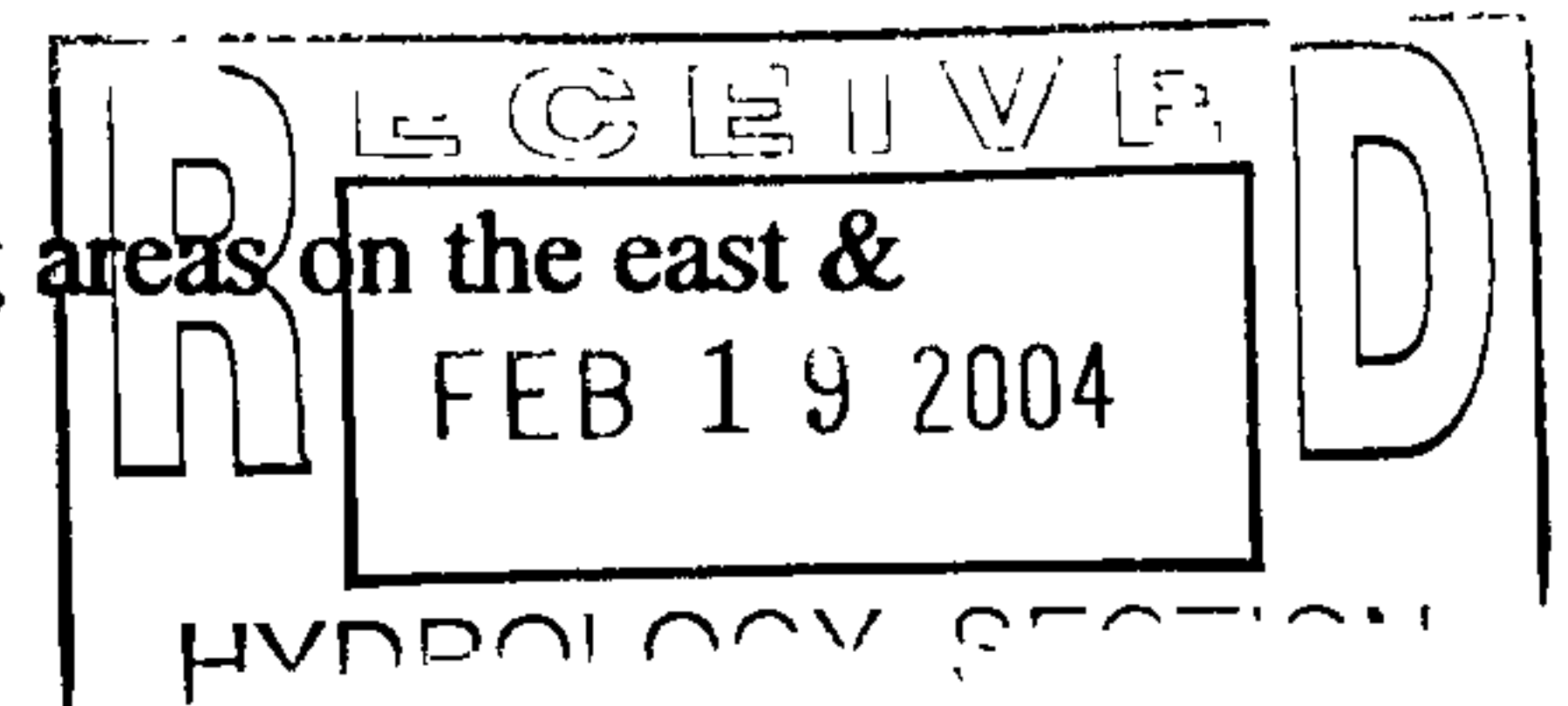
ITEM# 5

PROJECT# 1003243

APPLICATION# 04-00181

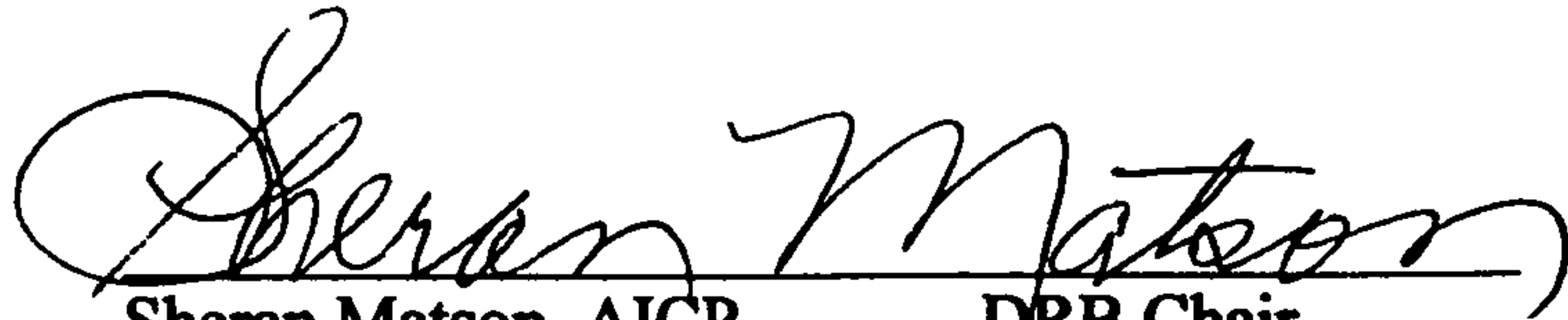
RE: Lots 5A2, A1-3, Volcano Business Park/SPBP

- ✓ The Site Plan sheet with the signature block should be titled "Site Development Plan for Building Permit". **DONE**
- ✓ Is there existing development on the adjacent lots? If so, what is there? **-SEE PHOTOS**
- ✓ The property lines should be bold & easy to read on the plan. They are not clear. Only two are even labeled & even then, it is not clear where the line is. They should be bolder on the Landscape Plan as well. **2ND SIGN IS FUTURE TENANT**
- ✓ Is the only sign the one shown mounted on the building? **- 2ND SIGN AREA LIMITS ARE ON WEST ELEVATION**
- ✓ Loading facilities are not identified as such on the site plan even though the wide doors are shown on the west elevation of the building. What size trucks are planned to use this area? **PANEL TRUCKS, NO SEMIS**
- ✓ **Parking:** Spaces are not individually numbered as required. The handicapped space appears to be some distance from the main entrance to the building. **BLDG HAS 2 TENANTS**
- ✓ **Landscape Plan:** Juniper is not an acceptable shrub. Please provide a substitute. The ash tree listed is a high water use tree according to the City Plant List. Please provide a lower water use substitute. **DONE**
- ✓ On the Landscape Plan sheet, please add 30% to Provided Landscape Area in the boxed notes.
- ✓ The Volcano Park Master Plan requires the planting of street trees along Painter Rock Drive which this property fronts. Although these trees are supposed to be planted between the curb & the sidewalk, the location shown immediately behind the sidewalk is acceptable provided the required 3" caliper tree is used instead of the 2" as indicated on the Plan. **DONE**
- ✓ It is unclear what the geometric symbols mean in the landscaping areas on the east & north sides of the property. **2'-4" COBBLES**



✓
Wall Mounted Sign: The dimensions are needed on the Elevations Sheet. This sign shall not exceed 20% of the area of the façade to which applied if sign is wholly visible from abutting collector street. Section 14-16-2-19 of Zone Code.

WALL SIGN SIZE LIMITS ARE ILLUSTRATED & NOTED ON WEST ELEV.

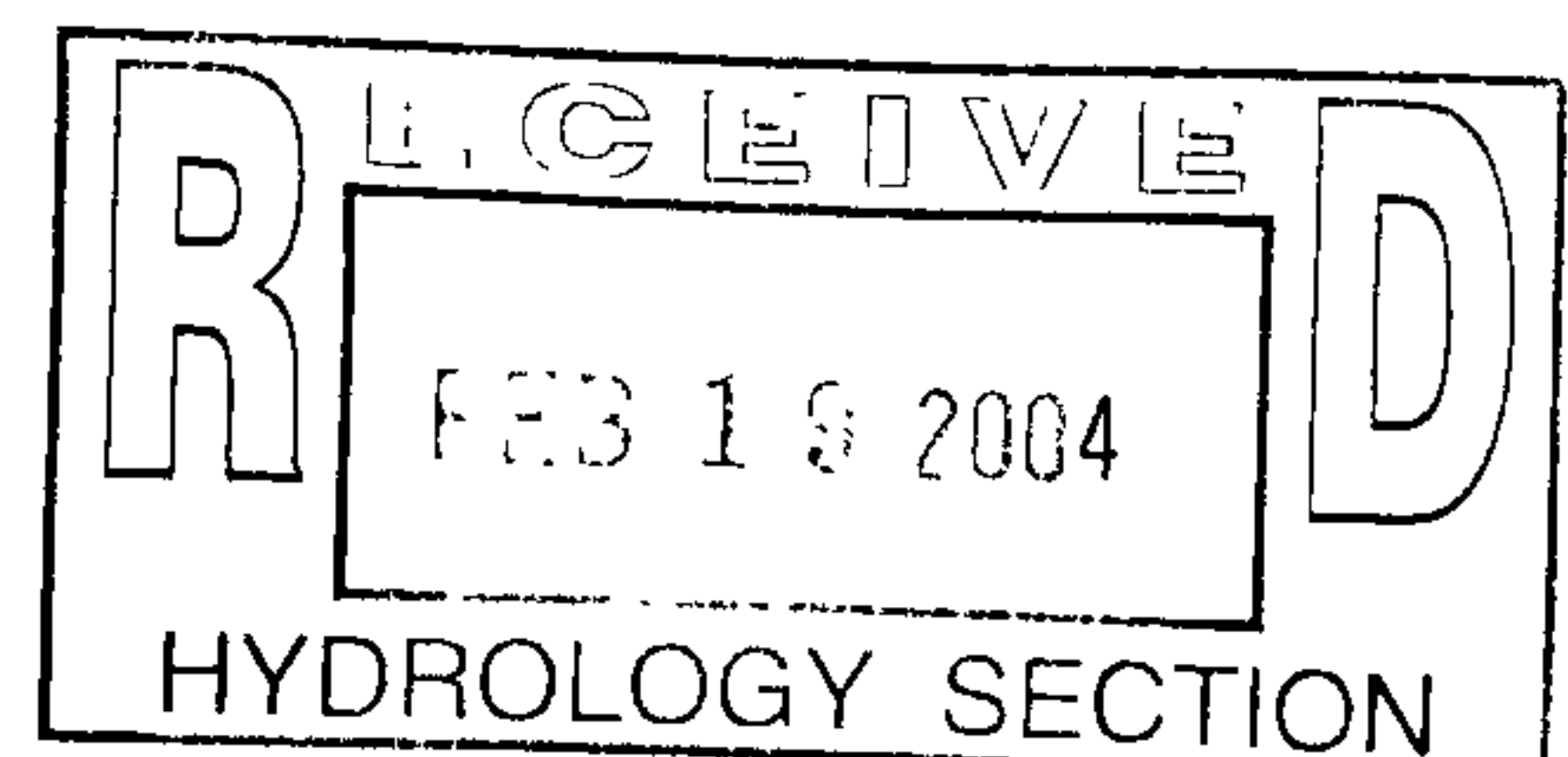


Sheran Matson, AICP

DRB Chair

924-3880 Fax: 924-3864

smatson@cabq.gov



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
2/18/04 Comments**

ITEM# 5

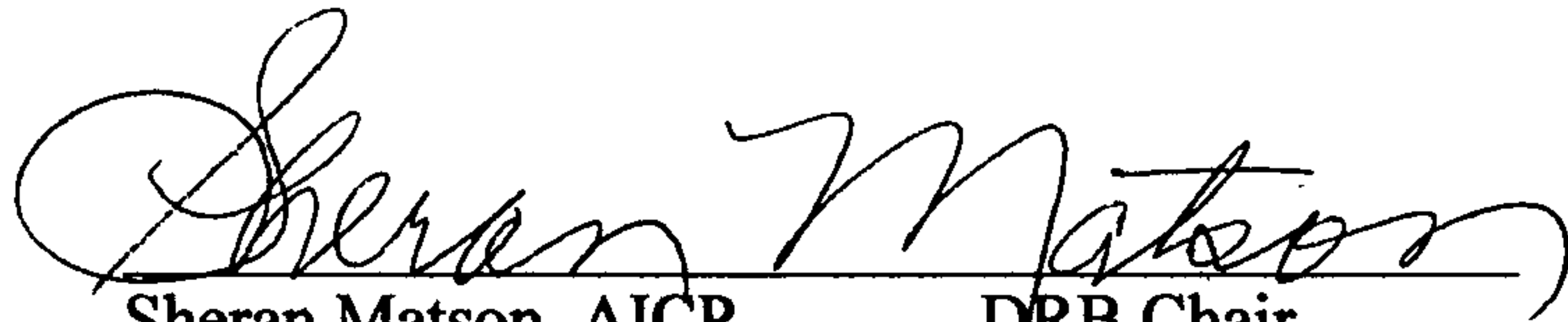
PROJECT# 1003243

APPLICATION# 04-00181

RE: Lots 5A2, A1-3, Volcano Business Park/SPBP

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✓ **Wall Mounted Sign:** The dimensions are needed on the Elevations Sheet. This sign shall not exceed 20% of the area of the façade to which applied if sign is wholly visible from abutting collector street. Section 14-16-2-19 of Zone Code.



Sheran Matson, AICP

DRB Chair

924-3880 Fax: 924-3864

smatson@cabq.gov



DRB CASE ACTION LOG

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00181 (ASBP)

Project # 1003243

Project Name: VOLCANO BUS PARK PHASE 2

Agent: Meshach Alvarado

Phone No: 235-279-53

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 2/18/04 by the DRB with delegation of signature(s) to the following departments
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: MISL. LABELING & 5' KEYWAY

 (ie CITY STANDARD DETAILS TO BE USED)

UTILITIES:

CITY ENGINEER / AMAFCA:

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Project Number 1003243



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

February 18, 2004 9:00 a.m.
MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE: 1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 10:55 A.M.
B. Changes and/or Additions to the Agenda
C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- Project # 1003216**
04DRB-00094 Major-Vacation of Public Easements
04DRB-00093 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for STERLING CAPITAL DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 12-C and remainder of Lot 12, Block(s) 141, **SNOW HEIGHTS ADDITION**, zoned C-2, located on WYOMING BLVD NE, between NORTHEASTERN BLVD NE and INDIAN SCHOOL RD NE containing approximately 2 acre(s). (H-20) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/18/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION: THE RADIUS FOR C-1 SHALL BE MODIFIED TO SKIRT THE POWER POLE. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

2. **Project # 1003217**
04DRB-00098 Major-Vacation of Public Easements
04DRB-00097 Major-Preliminary Plat Approval
04DRB-00100 Minor-Sidewalk Waiver
04DRB-00099 Minor-Temp Defer SDWK

BOHANNAN HUSTON, INC agent(s) for SANDIA PROPERTIES request(s) the above action(s) for all or a portion of Tract(s) 29-E, VENTANA RANCH, (to be known as **COUNTRY MEADOWS**) zoned R-LT, located on UNIVERSE BLVD NW, between IRVING BLVD NW and PASEO DEL NORTE NW, containing approximately 12 acre(s). [REF: 1000529, 1001101, 1002593, 1003022] (B-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/18/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/14/04 THE PRELIMINARY PLAT WAS APPROVED. THE SIDEWALK WAIVER WAS WITHDRAWN AT THE AGENT'S REQUEST. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1003175**
04DRB-00010 Major-Preliminary Plat Approval
04DRB-00011 Minor-Sidewalk Waiver
04DRB-00012 Minor-Temp Defer SDWK

BOHANNAN HUSTON, INC agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 33C-1-A, LANDS OF SALAZAR FAMILY TRUST, EL RANCHO GRANDE UNIT 12 (to be known as **SUN GATE SUBDIVISION**) zoned R-2, located on BLAKE RD SW, between GIBSON BLVD SW and MESA ARENOSA DR SW containing approximately 21 acre(s). [Deferred from 2/4/04] (N-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/18/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/8/04 THE PRELIMINARY PLAT WAS APPROVED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

4. **Project # 1002668**
03DRB-01889 Major-Vacation of Public
Easements
03DRB-01888 Major-Preliminary Plat Approval
03DRB-01890 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for VISTA MAGNIFICA LLC request(s) the above action(s) for all or a portion of Block(s) 5, Tract(s) C, E & F, AND Block(s) 2, VISTA MAGNIFICA and Lot(s) B, Block(s) 8, PALISADES ADDITION, zoned R-LT, located on ATRISCO DR NW, between I-40 NW and CLIFFSIDE DR NW containing approximately 7 acre(s). [REF: 03EPC-01089, 03DRB-00811] [*Deferred from 1-7-04, 1-21-04 & 1/28/04 & 2/4/04*] (H-11) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/18/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12/9/03 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1003243**
04DRB-00181 Minor SiteDev Plan BldPermit

MESHACH ALVARADO request(s) the above action(s) for all or a portion of Lot(s) 5A2, A1-3, **VOLCANO BUSINESS PARK, PHASE 2**, zoned SU-1, C1 & IP, located on PAINTED ROCK DR NW, between OURAY RD NW and TODOS SANTOS ST NW containing approximately 1 acre(s). [REF: Z 80-87-6, DRB 97-450, ZA 85-244] (G-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 5 MISCELLANEOUS COMMENTS ON THE SITE PLAN FOR BUILDING PERMIT WHICH NEED TO BE ADDRESSED AND TRANSPORTATION DEVELOPMENT FOR MISCELLANEOUS LABELING AND 5-FOOT KEYWAY.**

6. **Project # 1002805**
04DRB-00138 Minor-SiteDev Plan BldPermit

DENISH & KLINE ASSOCIATES, INC agent(s) for MOUNTAIN RUN PARTNERS, LTD request(s) the above action(s) for all or a portion of Tract(s) D, **ST ANTHONY'S ORPHANAGE**, zoned C-2 (SC), located on 12TH ST NW, between I-40 NW and INDIAN SCHOOL RD NW containing approximately 14 acre(s). [REF: 03EPC-01917, LD-73-19, Z-72-221, ZA-B4-456, ZA-90-226] **[CARMEN MARRONE, EPC CASE PLANNER]** [Deferred from 2/11/04] (H-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/18/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/23/04 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project # 1000440**
04DRB-00182 Minor-Prelim&Final Plat
Approval

ISAACSON & ARFMAN, PA agent(s) for INTERSTATE BUSINESS PARK LLC request(s) the above action(s) for all or a portion of Tract(s) 2 & 3, **INTERSTATE BUSINESS PARK**, zoned M-2, located on MIDTOWN PL NE, between I-25 NE and ALEXANDER BLVD NE containing approximately 10 acre(s). [REF: ZA 87-542, DRB 97-362, ZA 90-58] (G-16) **PRELIMINARY PLAT AND FINAL PLAT WERE APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCA SIGNATURE AND TO CHECK ON SAD PAYMENT OR READJUSTMENT.**

8. **Project # 1002792**
04DRB-00184 Minor-Final Plat Approval

TIERRA WEST LLC agent(s) for TRUST OF ALBERT & MARY BLACK request(s) the above action(s) for all or a portion of Tract(s) 14A & 14B, **BLACK RANCH** (to be known as **COTTONWOOD CROSSINGS, PHASE 2**) zoned SU-1 special use zone FOR C-1 & REST. & SU-1 FOR O-1, located on COORS BLVD NW, between COORS BLVD NW and SEVEN BAR LOOP RD NW containing approximately 10 acre(s). [REF: DRB-94-358, DRB-98-61, 03EPC--1085& 86, 03DRB-01780] (B-14) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR DEDICATION LANGUAGE FOR LOT 3.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

9. **Project # 1002739**
04DRB-00179 Minor-Sketch Plat or Plan
- MARK GOODWIN & ASSOCIATES PA agent(s) for ANDERSON HEIGHTS LLC request(s) the above action(s) for all or a portion of Lot(s) 2D, B-1 AND PARCEL 1, **ANDERSON HEIGHTS SUBDIVISION**, LANDS OF RIO BRAVO, ROSNER TRACTS, zoned RD, located on 118TH SW, between DENNIS CHAVEZ BLVD SW and GIBSON BLVD SW containing approximately 249 acre(s). [REF: Z-98-5, Z-98-6, S-76-19 (MP), DRB 99-80, 1002516, 03DRB-00983] (N-8 & P-8) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
10. **Project # 1003244**
04DRB-00183 Minor-Sketch Plat or Plan
- FRANK PADILLA request(s) the above action(s) for all or a portion of Lot(s) 300, A2B1A, **MRGCD MAP #38**, zoned RA-2 residential and agricultural zone, located on CARSON RD NW, between RIO GRANDE BLVD NW and GABALDON RD NW containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
11. **Project # 1003247**
04DRB-00190 Minor-Sketch Plat or Plan
- MARK D VALENCIA request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, **CORONA DEL SOL**, zoned R-2, located on ST JOSEPH ST NW, between PASEO DEL NORTE NW and I-40 NW containing approximately 2 acre(s). [REF: SV-98-52, DRB-98-18, Z-98-38, V-98-29, S-99-4] (G-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
12. Approval of the Development Review Board Minutes for December 31, 2003 and January 7, January 14 and January 21, January 28 and February 4, 2004. **THE MINUTES WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:55 A.M.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB- 1003243

Item No. 5

Zone Atlas G-10

DATE ON AGENDA 2-18-04

INFRASTRUCTURE REQUIRED () YES () NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
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No.	Comment
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②	LAGER BUMPERS
③	IS THERE BE A RAMP REQ'D FROM VAN STALL ONTO SIDEWALK?
④	IS INFRASTRUCTURE IN PLACE ON PAINTED ROCK DRIVE?
⑤	ARE THERE ANY OFFSITE MITIGATION MEASURES?

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003243

AGENDA ITEM NO: 5

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP: SIGN-OFF:() EXTN:() AMEND:

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED ; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: February 18, 2004

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form **S**

SUBDIVISION

___ Major Subdivision action

___ Minor Subdivision action

___ Vacation **V**

___ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

___ ...for Subdivision Purposes

...for Building Permit

___ IP Master Development Plan

___ Cert. of Appropriateness (LUCC) **L**

Supplemental form **Z**

ZONING & PLANNING **Z**

___ Annexation

___ County Submittal

___ EPC Submittal

___ Zone Map Amendment (Establish or Change Zoning)

___ Sector Plan (Phase I, II, III)

___ Amendment to Sector, Area, Facility or Comprehensive Plan

___ Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... **A**

___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: MESHACH ALVARADO PHONE: 235-7953

ADDRESS: P.O. Box 67904 FAX: 898-8239

CITY: ABQ STATE: NM ZIP: 87193 E-MAIL: Me123@comcast.net

Proprietary interest in site: owner

AGENT (if any): _____ PHONE: _____

ADDRESS: _____ FAX: _____

CITY: Sam STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST: AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 5A2-A1-3 Block: _____ Unit: _____

Subdiv. / Addn. VOLCANO BUSINESS PARK - PHASE 2 (M)

Current Zoning: SU-1, CI & IP Proposed zoning: SAME

Zone Atlas page(s): G-10-2 No. of existing lots: ONE No. of proposed lots: SAME

Total area of site (acres): .51 Density if applicable: dwellings per gross acre: NA dwellings per net acre: NA

Within city limits? Yes. No ___, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO

UPC No. 101006010703131209 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: ON PAINTED ROCK DR. @ OURAY RD.

Between: OURAY RD and TODOS SANTOS ST.

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

Z-80-87-6, DRB 97-450 ZA 85-244

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 2-10-04

(Print) MESHACH ALVARADO Applicant ___ Agent

FOR OFFICIAL USE ONLY

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>04DRB - 00181</u>	<u>ASBP</u>	<u>(3)</u>	<u>\$50385</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$20</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$
<input type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>2/18/04</u>	_____	_____	Total <u>\$405</u>
<input type="checkbox"/> F.H.D.P. fee rebate	<u>2/10/04</u>	Project # <u>1003243</u>	_____	<u>405.00</u>

[Signature] Planner signature / date

Form revised 9/01, 3/03, 7/03

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Meshach Alvarado

AGENT Dorman & Green

ADDRESS _____

PROJECT & APP # 1003243

PROJECT NAME Allrite Roofing

\$ _____ 469099/4916000 Conflict Management Fee

\$ 335.00 441006/4983000 DRB Actions *Correction of original fee charged.*

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 335.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

ALL-RITE ROOFING SYSTEMS
MESHACH ALVARADO
PO BOX 67904
ALBUQUERQUE, NM 87193-7904

Financial Management Account™ 2094
55-7265/212

Date 2-14-04

Pay to the Order of City of Albuquerque \$ 335.00
three-hundred thirty five Dollars

202 SALOMON SMITH BARNEY
Business FMA Account
Citibank F.S.B.
Englewood Cliffs, NJ

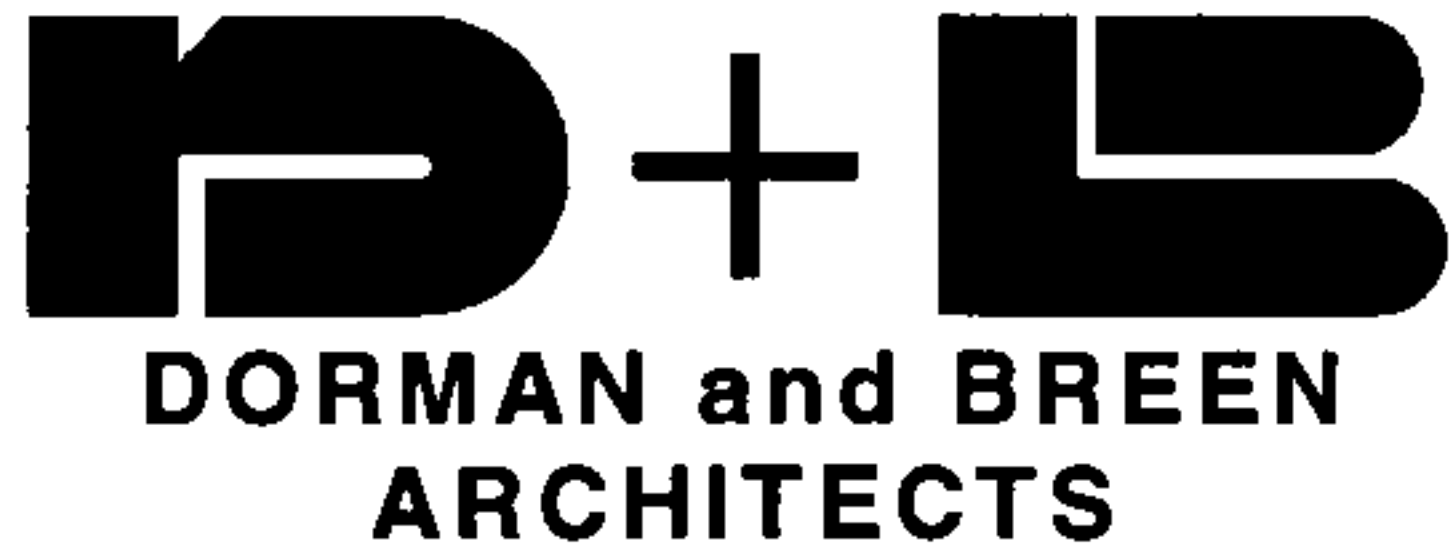
For _____

Counterreceipt.d

1:021272655: 10062402020

DUPLICATION

DEI 2094



To: The City of Albuquerque DRB

Assignment of Dorman Breen Architects as Owner's Agent

Project Architect:
Mark Baczek
Ofc & Fax: 792-8160

Property:
3040 Painted Rock Drive NW
Albuquerque, New Mexico
Legal Description: Tract 5A2-A1-3, Volcano Business Park, Phase 1
Location: Located on Painted Rock Drive near Ouray Road

Current Property Owner:
Meshach Alvarado, President, ALLRITE ROOFING CO.
3001 3rd St. NW, ALB, NM 87107
Cell: # 235-7953

I hereby designate Dorman Breen Architects as Owner's Agent for purposes relating to the acquisition of a Site Development Plan for Building Permit Approval.

Owner:  _____ Date: 2-16-04

Meshach Alvarado

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Blue-line copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent owner
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - ___ Infrastructure List, if relevant to the site plan
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Meshach Alvarado Applicant name (print)
Meshach Alvarado Applicant signature / date 2-7-04



Form revised September 2001

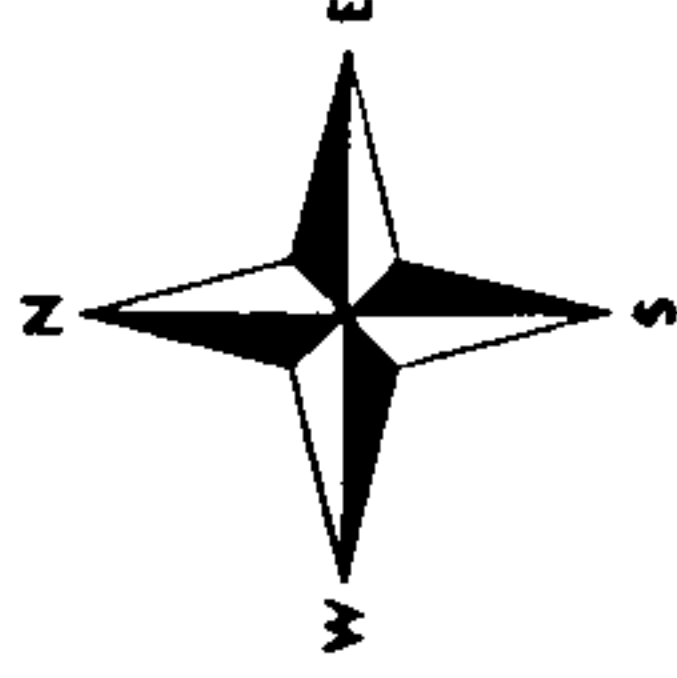
- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
04DRB - 00181

Billings 2/10/04
 Planner signature / date
Project # 1003243

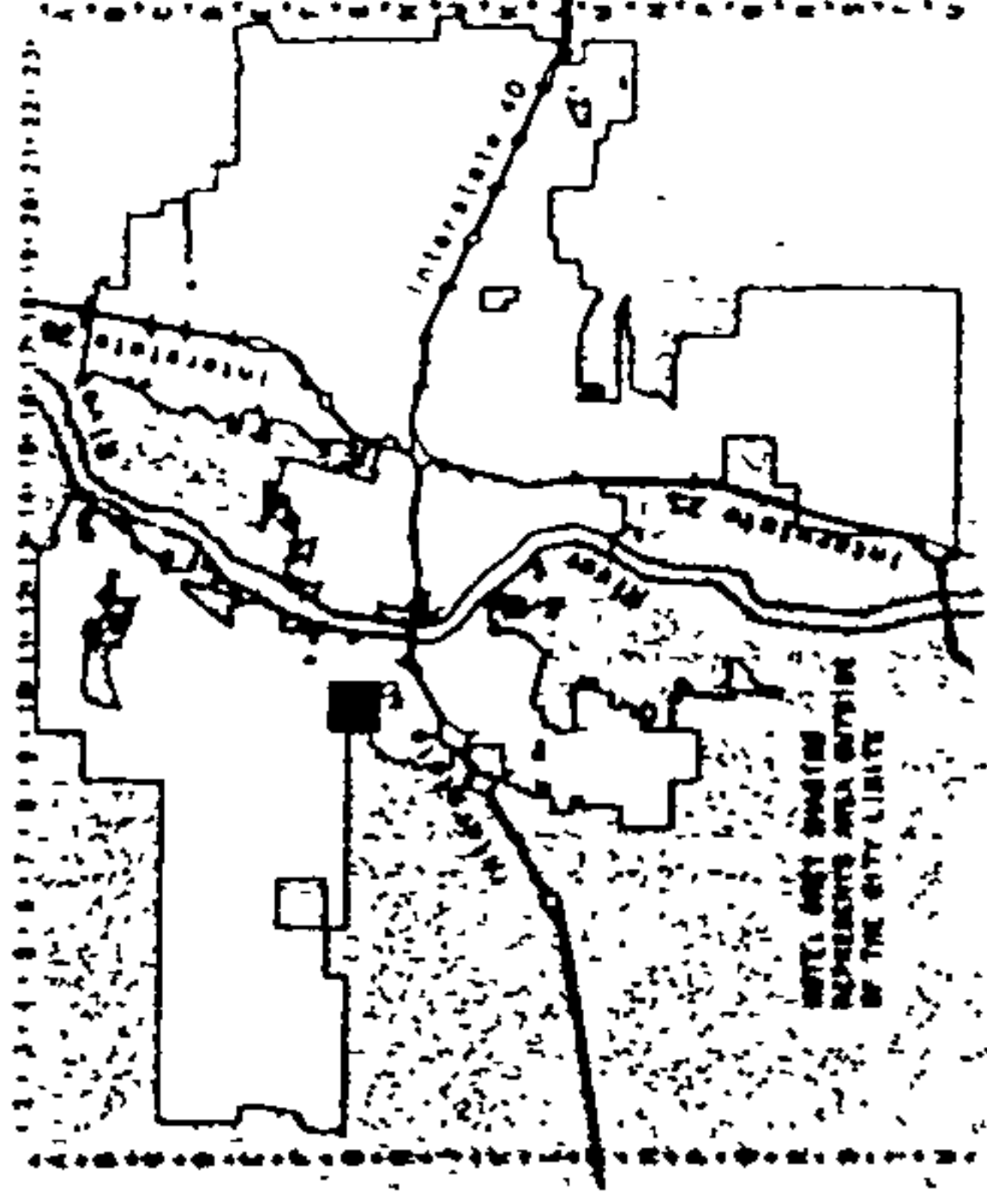
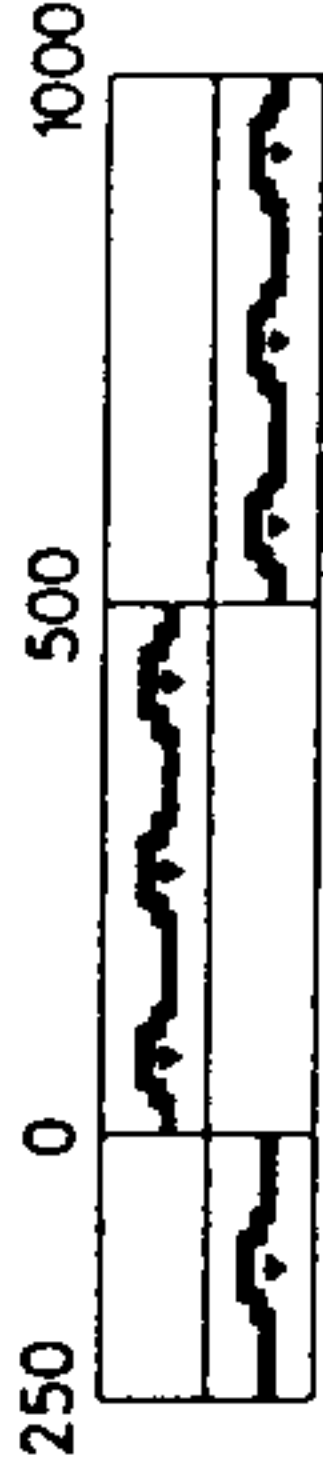


CITY OF
ALBUQUERQUE

A **G** **S**
Planning Department
© Copyright 1998

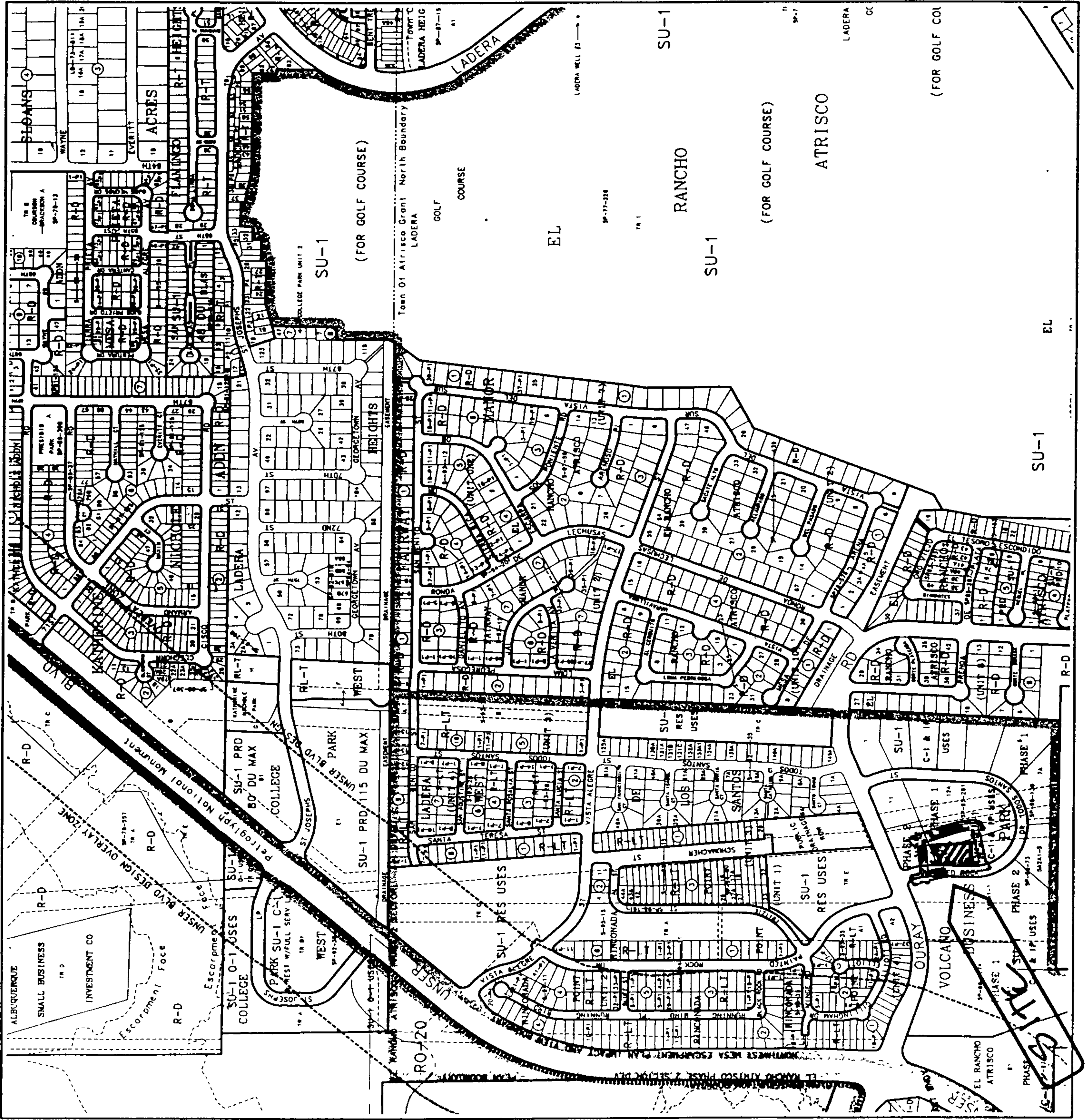


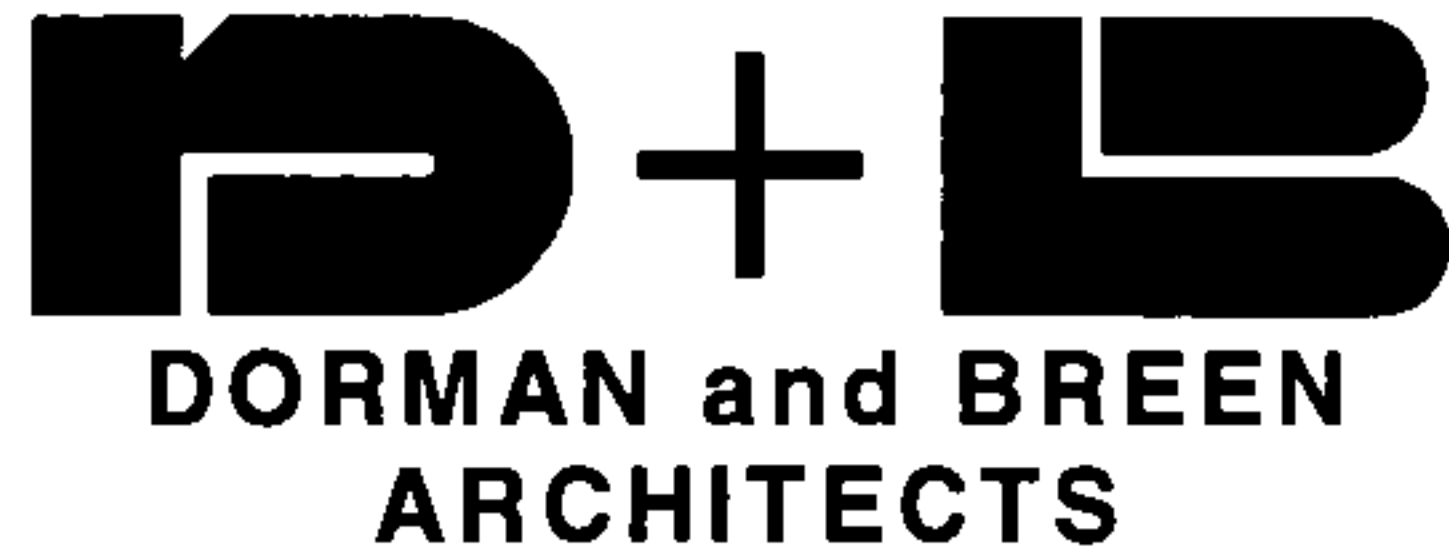
GRAPHIC SCALE IN FEET



Zone Atlas Page G-10-Z

Map Amended through
June 26, 1998





REQUEST FOR D.R.B. APPROVAL:

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT,

REFER TO AMENDED MASTER PLAN FOR LOTS 1-20, VOLCANO BUSINESS PARK,
FILE # Z-80-87-6, APPROVED 4/9/87
& DRB 97-450, SP AMENDMENT, APPROVED 4/3/98

Regarding:

3040 Painted Rock Drive NW

Albuquerque, New Mexico

Legal Description: Tract 5A2-A1-3, Volcano Business Park, Phase 1

Location: Located on Painted Rock Drive near Ouray Road

Property Owner:

Meshach Alvarado, President, ALLRITE ROOFING CO.

~~3001 3rd St. NW, ALB, NM 87107~~ PO Box 67904

Cell: # 235-7953

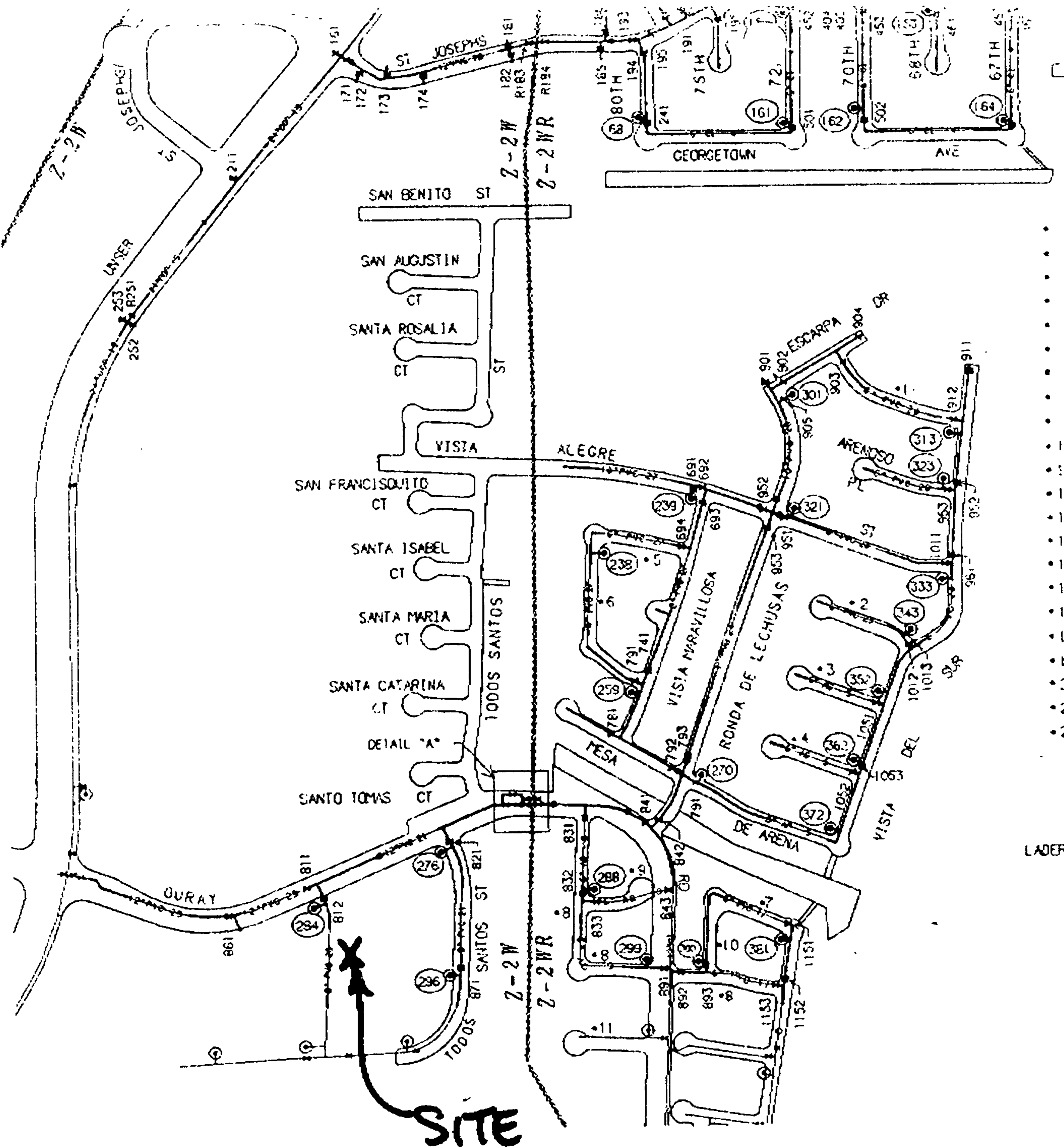
ABQ, N.M. 87193

ACTION REQUESTED OF THE Design Review Board:

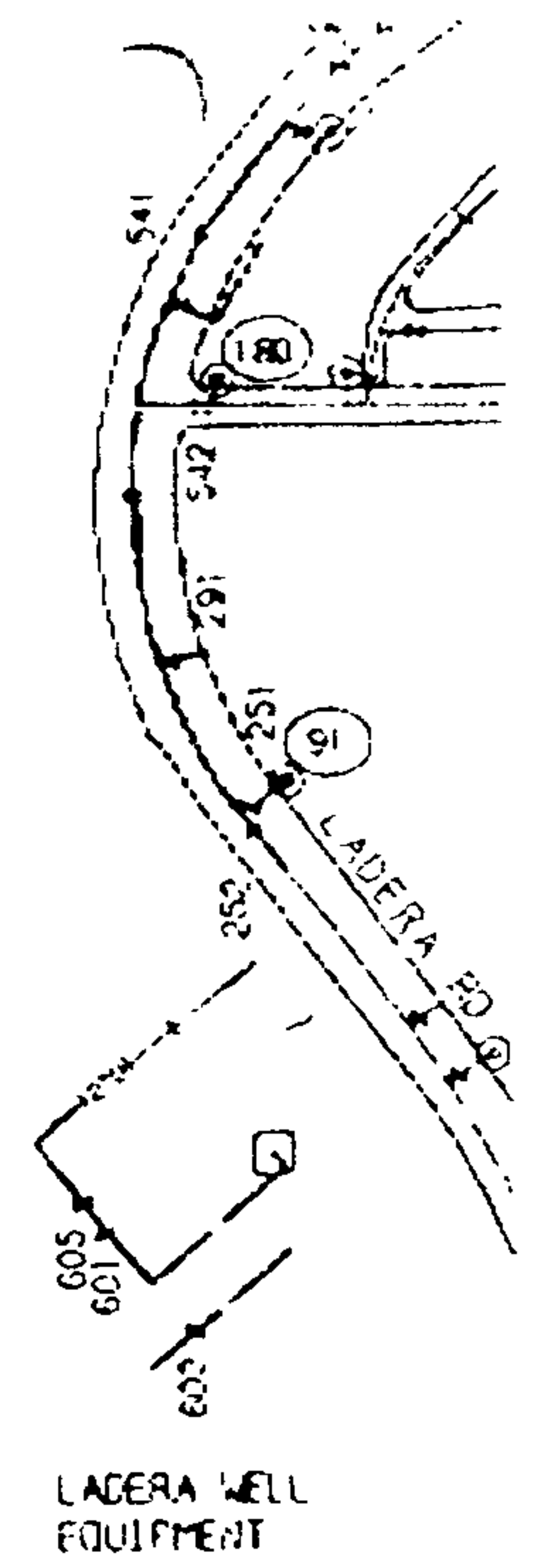
**Approval of Site Development Plan for building permit. This property, together
- with all the perimeter adjacent lots have been master planned. The Site
Development Plan submitted herein is in accordance with the intended density &
use of the property, as previously master planned & approved.**

DRB Public Hearing Date: February 18, 2004

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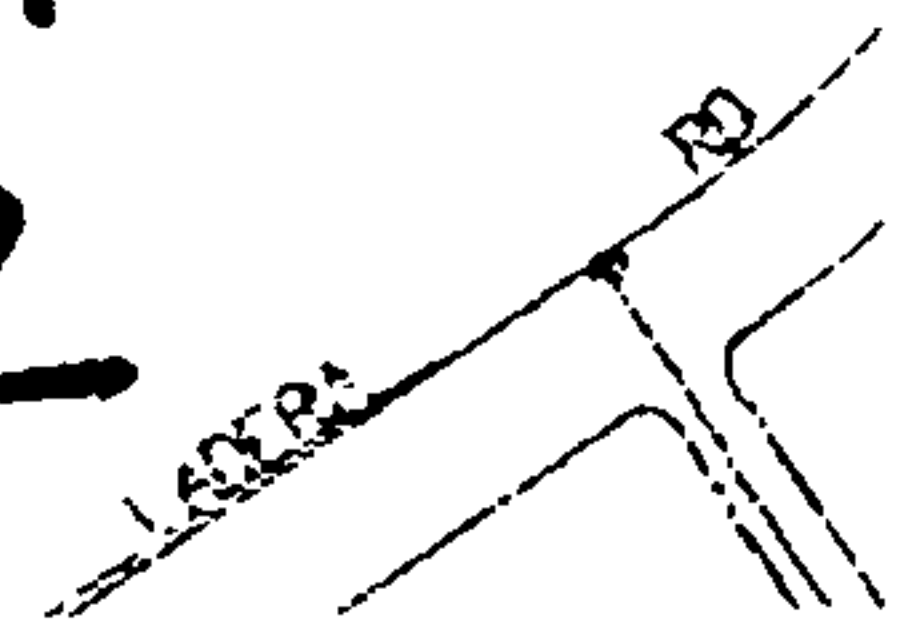


- 1 SOL PONIENTE
- 2 SACATE ALTO
- 3 RELAMPAO
- 4 DEL PASADO
- 5 EL CERQUITO
- 6 LOMA PEDREGOSA
- 7 ORO VIEJO
- 8 PENNA DE PLATA
- 9 CORTE PLATEADA
- 10 DIAMANTES
- 11 CORTE DORADA
- 12 NEQUEL
- 13 PLATERO
- 14 POLVO DE ORO
- 15 EL TESORO ESCONDIDO
- 16 EL CERQUITO
- 17 CUENA ESCONDIDA
- 18 LOS VIEJITOS
- 19 LUNA NUESTRA
- 20 FLOR SILVESTRE
- 21 ROCK FIEL
- 22 PASTORCITO



LADERA GOLF COURSE

↑ N
WATER



**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME Meshach Alvarado
 AGENT owner
 ADDRESS P.O. Box 67904
 PROJECT & APP # 1003243 04DRB-00181
 PROJECT NAME Volcano Business Park - Phase 2

\$ 20- 469099/4916000 Conflict Management Fee

\$ 50- 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study

\$ 70- TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

DUPLICATE
 City of Albuquerque
 Treasury Division

City of Albuquerque
 Treasury Division

02/10/2004 9:52AM LOC: ANNX
 RECEIPT# 00018892 WSH 006 TRANS# 0006
 Account 467099 Fund 0110
 Counterreceipt.doc 12/29/03
 City 475000 TRSEJA
 Trans Amt \$70.00
 City 0.00
 C 0.00
 CHARGE 0.00

02/10/2004 9:52AM
 RECEIPT# 00018891 WSH 006 TRANS# 0006
 Account 467099 Fund 0110
 Activity 491000 TRSEJA
 Trans Amt \$70.00
 City 0.00
 C 0.00
 CHARGE 0.00

SITE DEVELOPMENT PLAN CHECKLIST FOR BUILDING PERMITS

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Since development proposals vary in type and scale, there may be application requirements that are not included here. Site development plan submitted will ordinarily be composed of the following plan sheets:

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading Plan
4. Building Elevations

Submitted shall be organized in the above manner. In addition, 8 1/2" by 11" reductions must be included with plan submitted. The following checklist describes the minimum information necessary for element. Applicant shall check off all items shown on the site plan or label as **NA**, if not applicable.

SHEET #1 - SITE PLAN

A. General Information

1. Scale

Under 1.0 acre	1" = 10'
1.0 - 5.0 acres	1" = 20'
Over 5 acres	1" = 50'
Over 20 acres	1" = 100'
Other scales as approved by staff	

2. Bar Scale

3. North Arrow

4. Scaled Vicinity Map

5. Existing structures on site and site adjacent to the proposal that impact, or are impacted by the project.

6. Property lines

7. Existing and proposed easement (identify each)

B. Proposed Development

1. Structural

A. Existing and proposed structures on the property and in the adjacent properties including privacy and retaining walls

B. Square footage of each structure

C. Proposed of each structure

D. Temporary structures, sign and other improvements

E. Wall(s), fence(s), and screening: height, length, color, and materials.
Show cross-sections for retaining walls.

F. Dimensions of all principal site elements

G. Loading facilities

H. Site lighting (height, type, and intensity)

2. Non-Structural and Parking

A. Parking design with spaces numbered per aisle and totaled.

1. Location
2. Arrangements
3. Dimensions
4. Turning spaces
5. Drives
6. Aisles
7. Ingress
8. Egress
9. Number of spaces required: 14 MAX
Provided: 15
10. Handicapped parking, spaces required: 1
Provided: 1

B. Bicycle racks, spaces required: 2
Provided: 2

C. Refuse container and enclosure, if applicable.

C. Street and Circulation

1. Identification and location of public or private streets and alleys with proper name, existing and proposed width dimensions.
2. Curve radii
3. Right-of-Way width
4. Pavement width, flow line to flow line including medians and median cuts.
5. Sidewalk widths and locations, existing and proposed.
- NA 6. Rail spurs, if applicable
- NA 7. Location of traffic signs and signals related to the functioning of the proposal.
- NA 8. Bikeways
- NA 9. Bus facilities, including bays and shelters where required.
10. Curb cut size and type.
11. Provisions for non-auto transportation, including transit and bicycle related improvements and pedestrian linkage.

D. Utilities

1. Fire hydrant locations, existing and proposed.
2. Distribution lines
3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
4. Existing water, sewer, storm drainage facilities (public and/or private).
5. Proposed water, sewer, storm drainage facilities (public and/or private)

E. Phasing

- NA 1. Proposed phasing of improvements and provision for interim facilities. Information on future phasing should be included, if applicable.

SHEET #2 - LANDSCAPING PLAN

If appropriate maybe shown on sheet #1, site plan with the approval of planning staff.
See article 6-1-1-1 at all water conservation/water waste and maintenance statement.

1. Scale - must be same as scale on sheet #1 - Site plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements
6. Identify nature of ground cover materials
 - A. Impervious areas (pavements, sidewalks, slope pavings, curb, and gutters, etc.).
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.).
 - C. Ponding areas either for drainage or landscaping/recreational use.
7. Identify nature, location and size of shrubbery and trees (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
8. Irrigation System
9. Planting Beds
10. Turf Area - only 20% of landscaped area can be high water turf, in square feet and percentage.
11. Responsibility for maintenance
12. Statement of Water Waste, etc.
13. Landscaped area requirement, in square feet and percent: 2582 @ 15%
14. Landscaped area provided, in square and percent: 5213 = 30%

SHEET #3 - GRADING PLAN

A. General Information

1. Scale - must be same as Sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Existing topography and structural improvements within at least 25 feet beyond property boundaries (more may be required).
5. Property Lines
6. Existing and proposed easements
7. Proposed contours and/or spot elevations
8. Retaining walls

B. Proposal

1. Grading submittals, ponding areas, erosion and sediment control facilities:
 - A. Conceptual grading and drainage plan
 - B. Drainage plan (maybe required for other submittals)
 - C. Drainage Report (maybe required for other submittals)
- A. Cross Sections
Provide cross section for all perimeter property lines at the point of the greatest grade change: Where the grade change is greater than 4 feet, provide one additional cross section in each direction within no more than 100 feet of the reference point

B. **Spot Elevation**
Provide spot elevations existing and proposed within 20 feet of both sides of the property line, not to exceed intervals of 100 feet.

C. **Grade Changes**
Identify grade change on the site greater than 2 feet with shading or a single cross-hatch. Identify grade changes greater than 4 feet with darker shading or a double cross-hatch.

SHEET #4 - BUILDING AND STRUCTURES OF ELEVATIONS TO SCALE

A. General Information

- 1. Scale (minimum of 1/8" or as approved by Planning Staff).
- 2. Bar Scale
- 3. Facade orientation (elevation of all sides of the buildings)
- 4. Dimension, to scale if not shown in plan including overall height and width, and dimensions of major facade elements.
- 5. Location, materials and colors of windows and building entrances
- 6. Materials and colors of buildings and structures

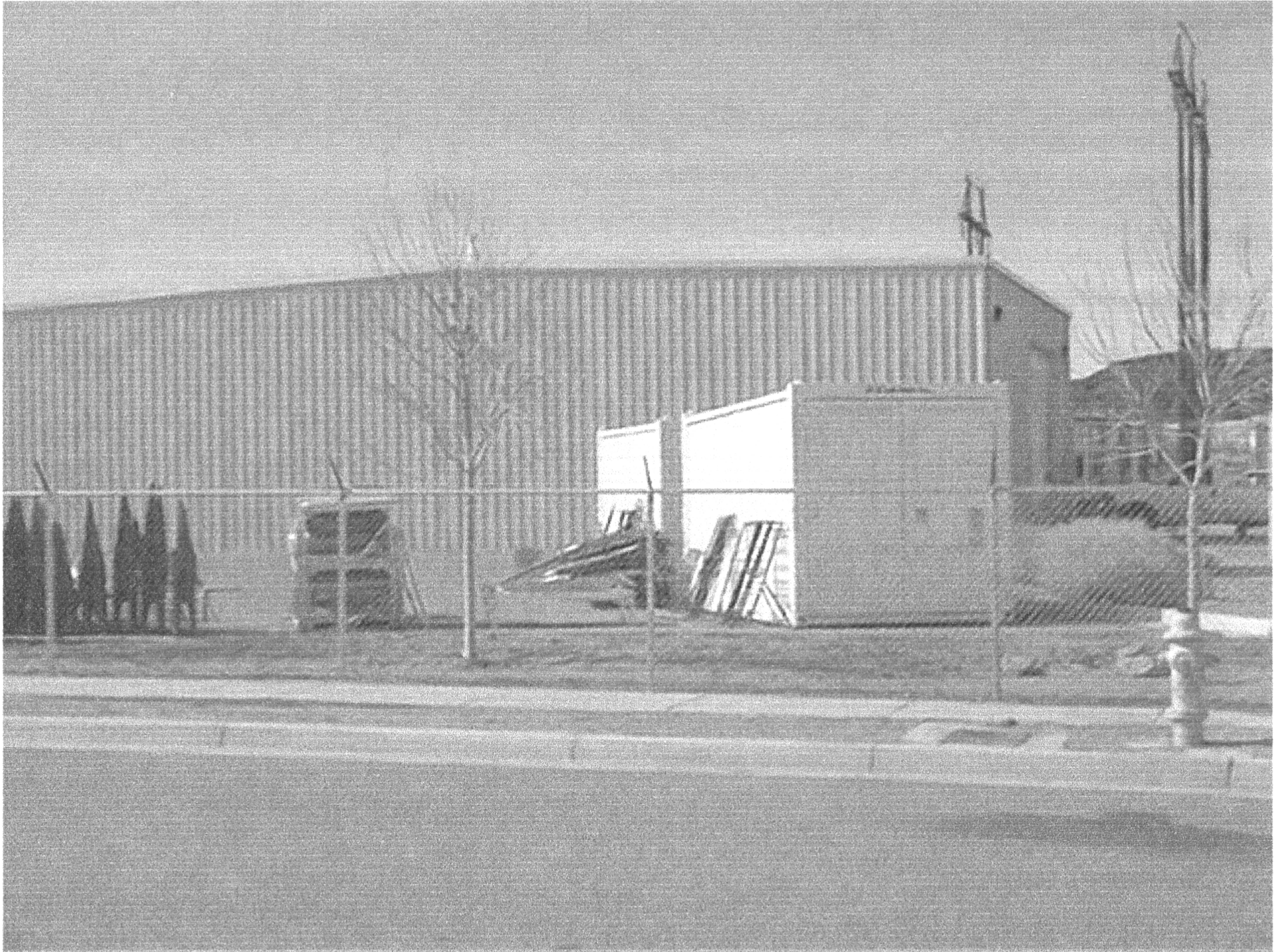
B. Signage

- 1. Elevations
- 2. Location
- 3. Height and width
- 4. Sign face area
- 5. Lighting
- 6. Materials and Colors
- 7. Additional information including, renderings, perspective drawings may be submitted.

___ A. Samples

- ___ 1 Presentation Models**
- ___ 2. Photos**

Adjacent Development



GE FAB BUILDING.jpg



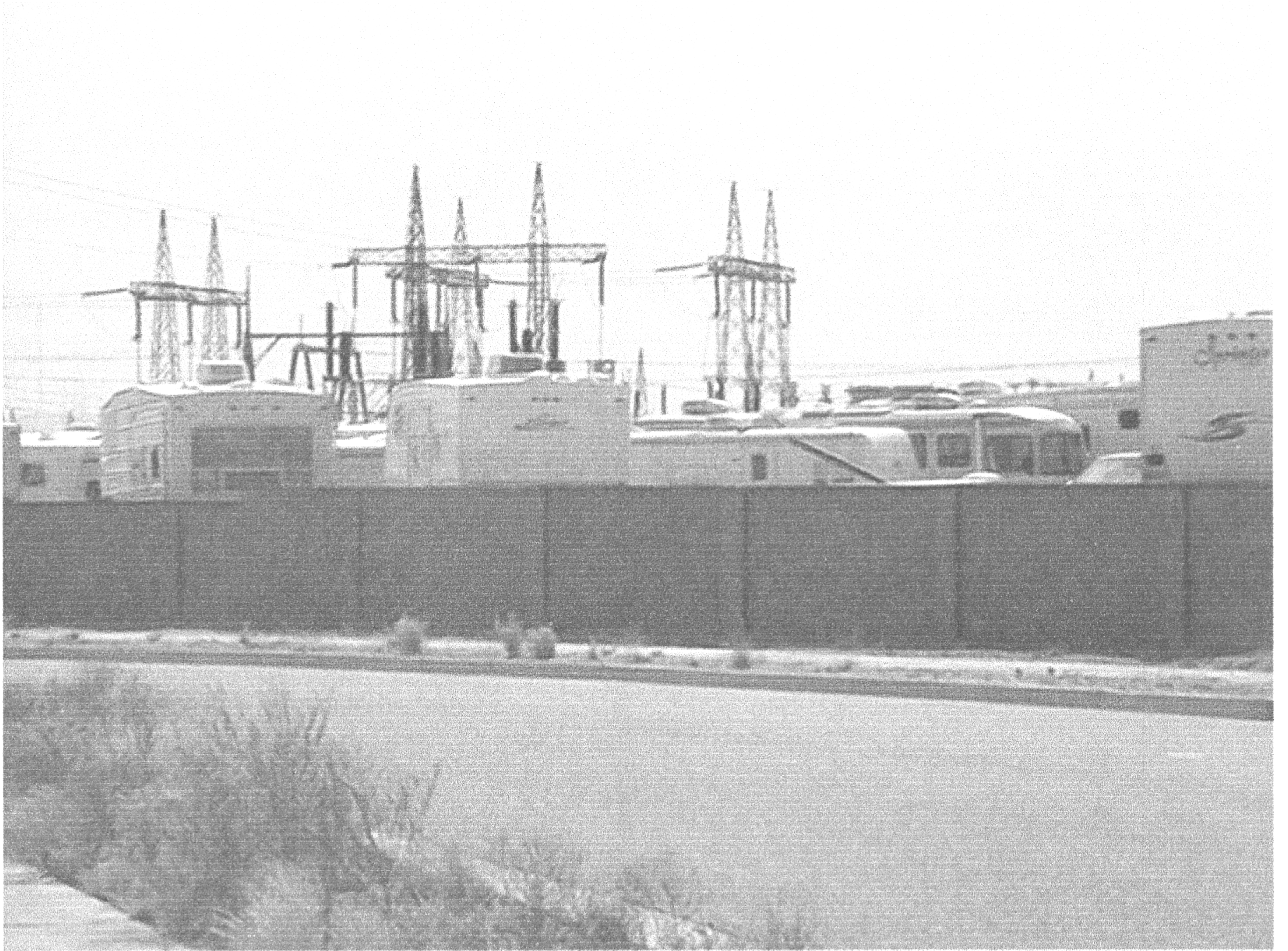
GE MODULAR OFFICE.jpg



CHURCH-EAST OF ALLRITE.jpg



EAST OF ALLRITE.jpg



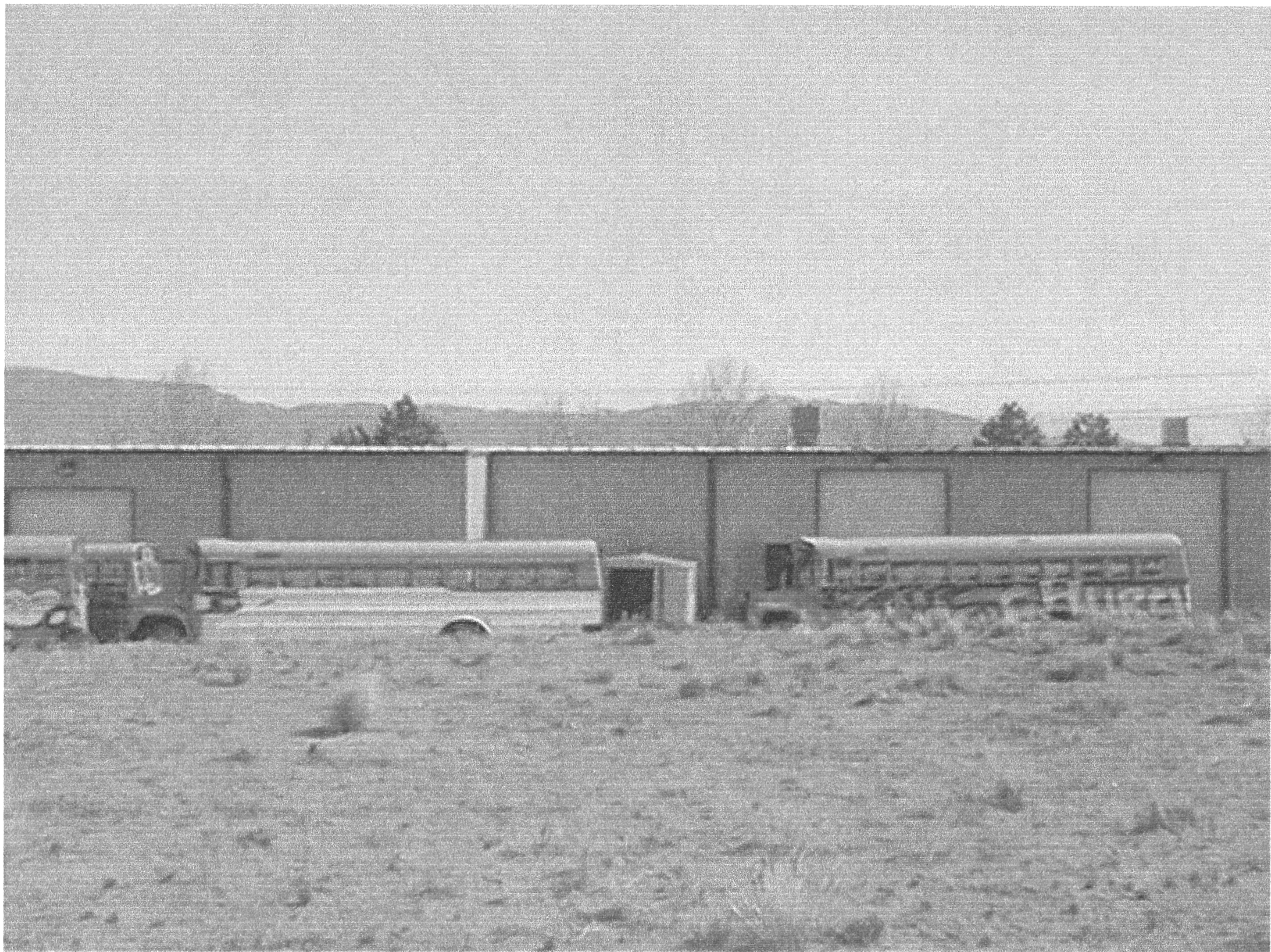
SOUTH OF ALLRITE.jpg



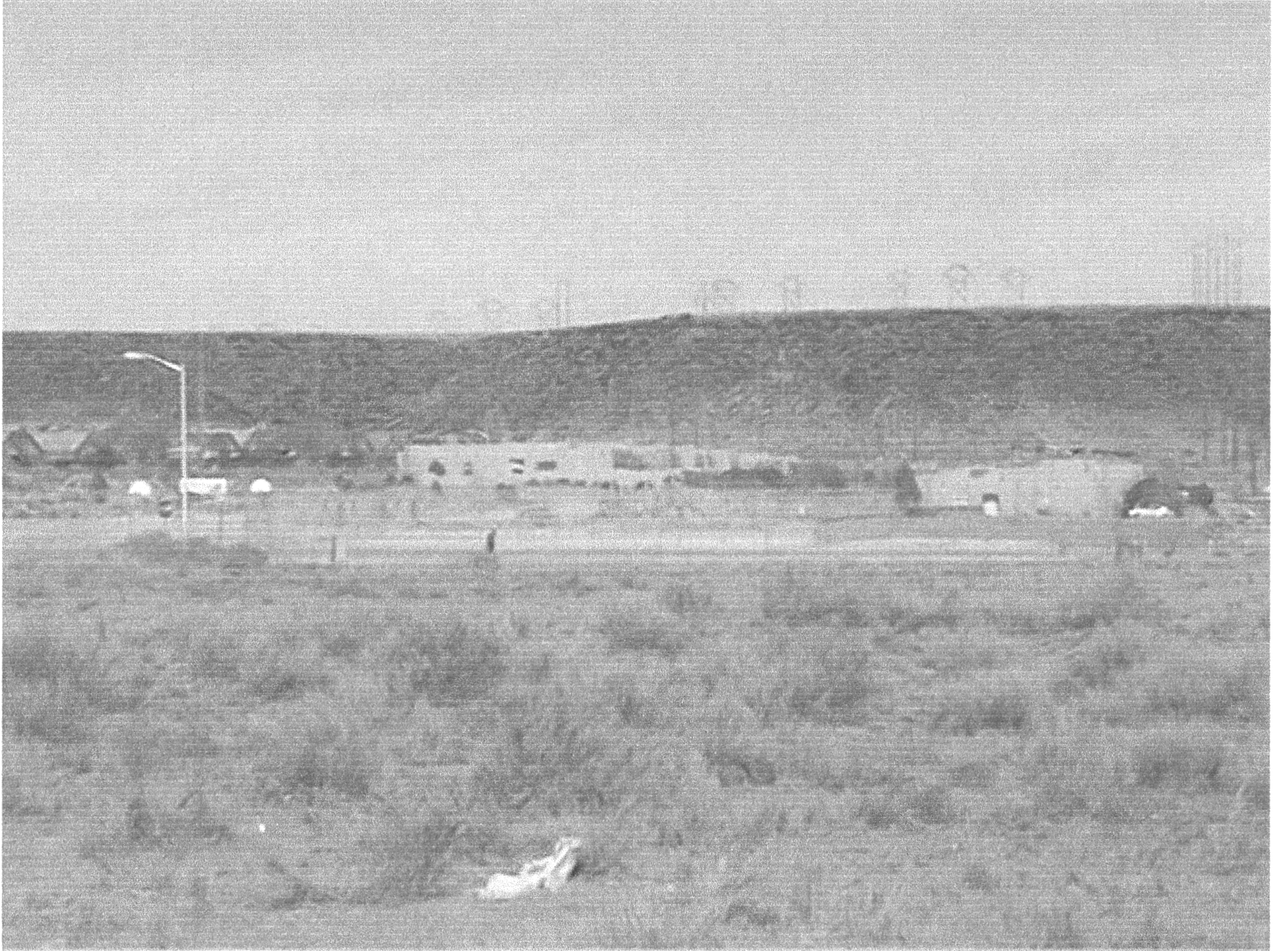
SE OF ALLRITE.jpg



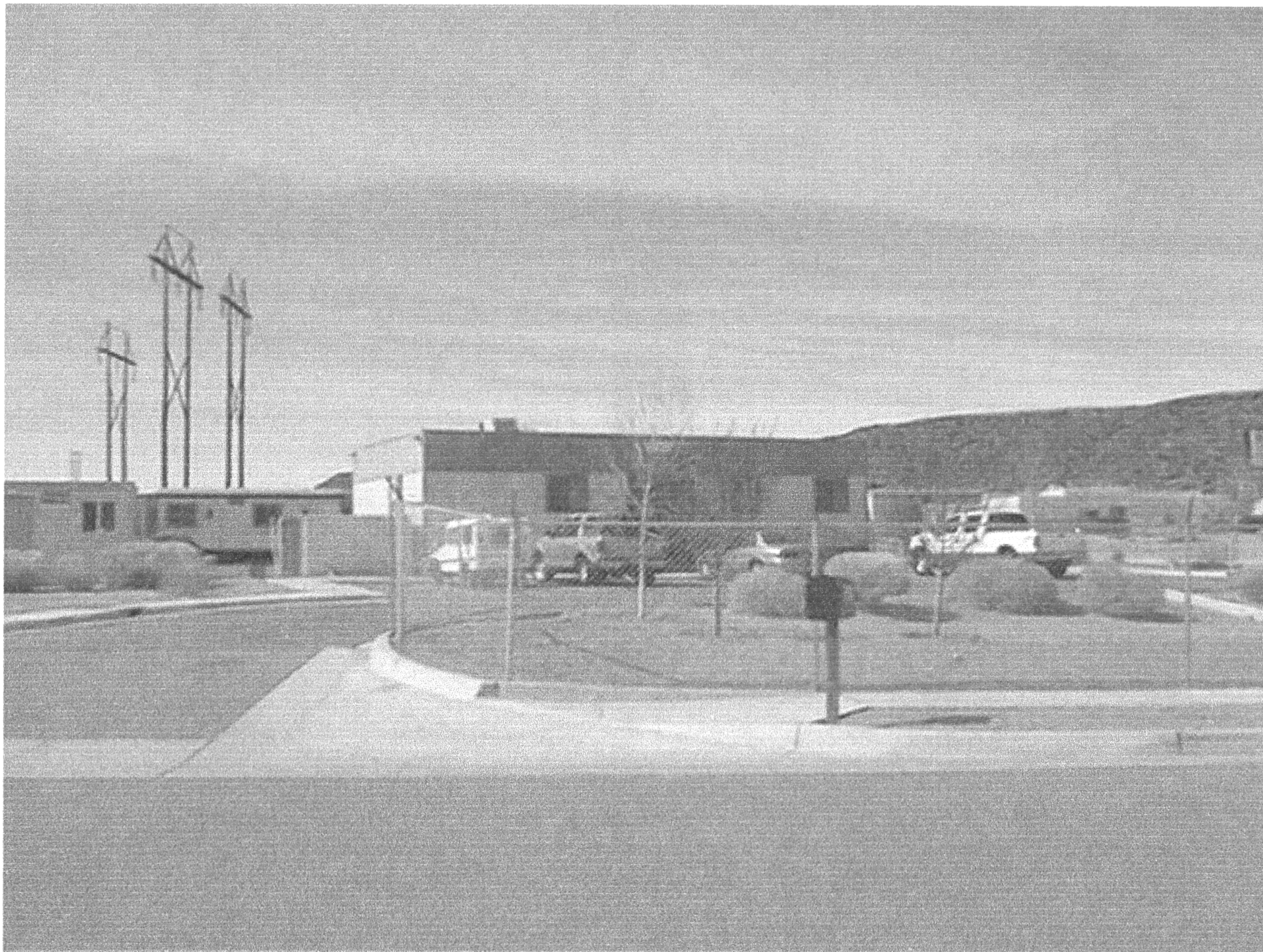
GE YARD LOTS-WEST OF ALLRITE.jpg



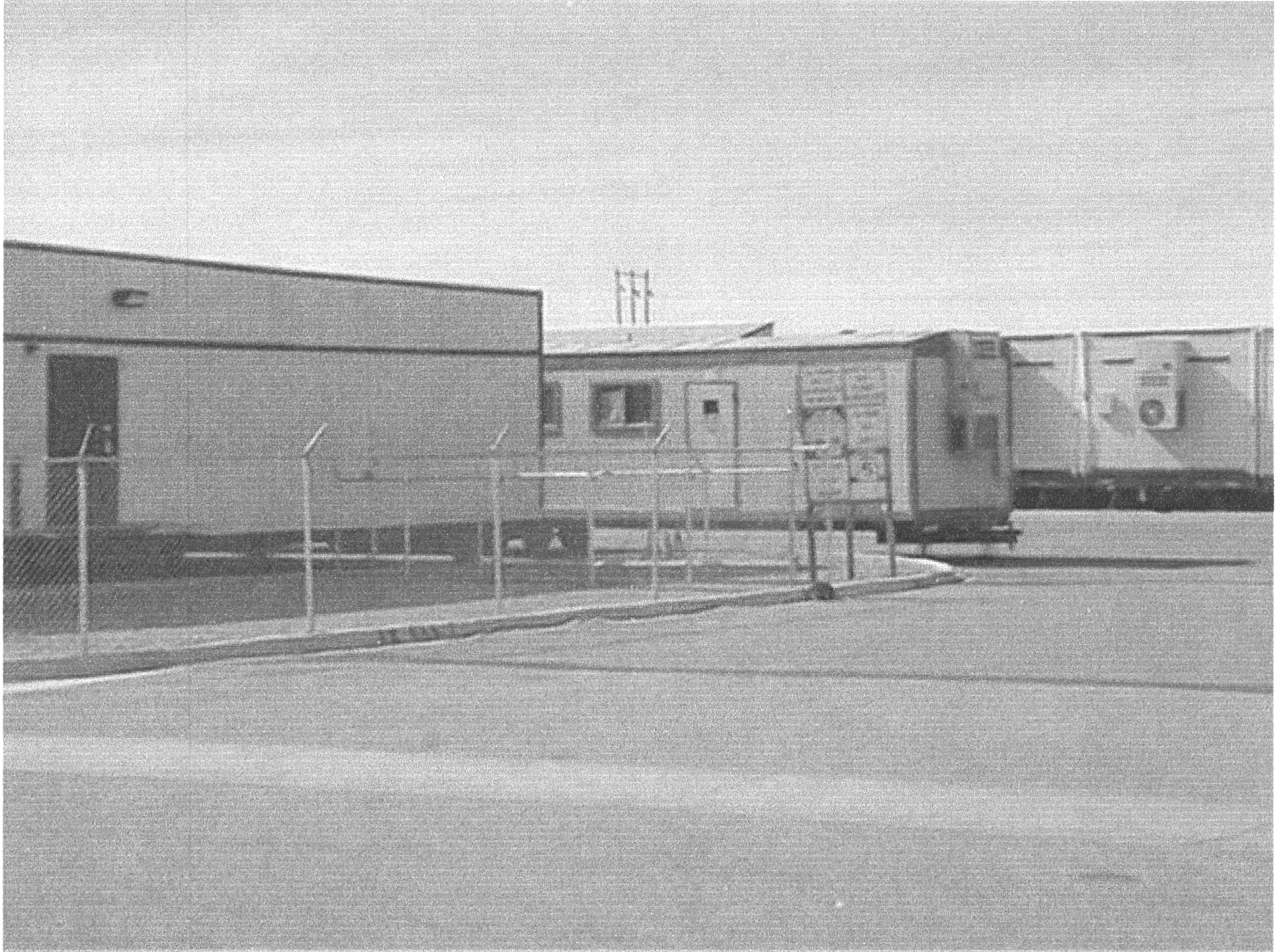
CHURCH-EAST.jpg



NORTH OF ALLRITE.jpg



GE MODULAR-WEST OF ALLRITE.jpg



GE STORAGE LOT.jpg