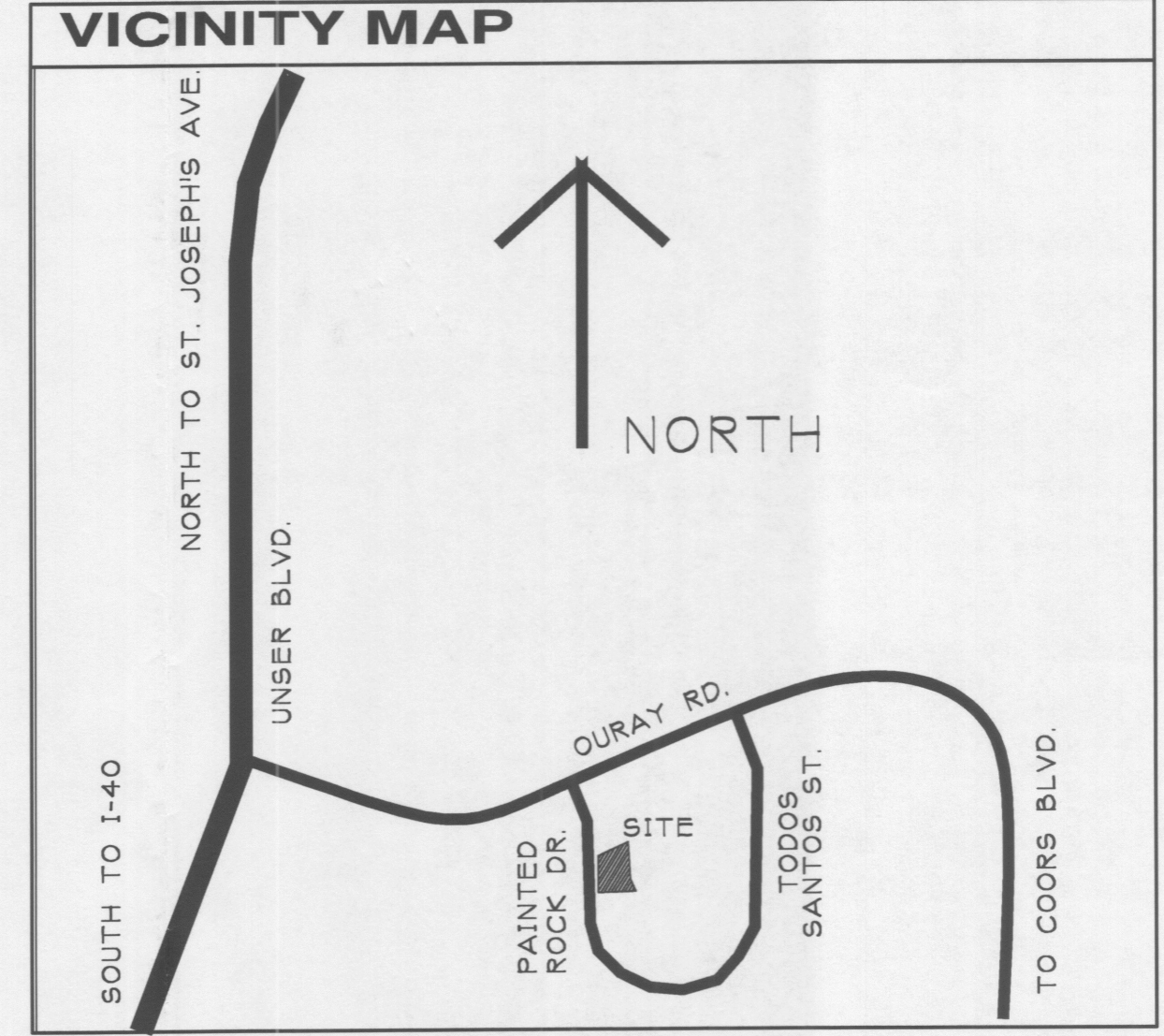


PLAN LEGEND

- NEW BUILDING FOOTPRINT. SEE FLOOR PLAN & ELEVATIONS FOR ADDITIONAL INFORMATION.
- NEW CONCRETE PAVEMENT. PROVIDE 4,000 P.S.I. CONCRETE AT ALL EXTERIOR PAVEMENT. PROVIDE 6" THK. MIN. AT ALL VEHICULAR TRAFFIC PAVEMENT.
- NEW ASPHALT PAVEMENT. PROVIDE PAVEMENT PROFILE AS PER GEO-TECH ENGR'S SPECIFICATIONS.
- UN-HATCHED AREAS WITHIN SITE BOUNDARIES SHALL BE LANDSCAPED. SEE LANDSCAPE PLAN FOR DETAILS.
- EXISTING 5' CONCRETE SIDEWALK.

- KEYED NOTES**
- [1] RELOCATE EXISTING ELECTRIC BOX TO NEARBY PLANTER AREA.
 - [2] PROVIDE HANDICAP ACCESSIBLE SIDEWALK RAMP AS PER CITY OF ALBUQUERQUE PUBLIC WORKS STANDARD STREET DEVELOPMENT REQUIREMENTS. RAMP SHALL HAVE 1:12 MAXIMUM RUNNING SLOPE.
 - [3] PROVIDE CONCRETE RUNDOWN THROUGH HEADER CURB AT VALLEY GUTTER DISCHARGE INTO DRAINAGE SWALE. SEE GRADING & DRAINAGE PLAN FOR ADDITIONAL INFORMATION.
 - [4] PROVIDE ELECTRIC & TELEPHONE SERVICE EQUIPMENT AS PER N.E.C. & PNM REQ'S. LOCATE BOLLARDS @ LEFT & RIGHT EXTENTS OF EQUIPMENT, 18" OUT FROM FACE OF EQUIPMENT. PROVIDE PRIMARY ELECTRIC SERVICE LINES AS PER PNM REQ'S & DIRECTIVES.
 - [5] PROVIDE 2 GAS METERS AS PER U.M.C. & PNM REQ'S. SIZE METERS AS REQ'D FOR GAS FUELED HEATING EQUIPMENT. EXTEND GAS PIPELINE TO STREET TAP.
 - [6] PROVIDE 1" WATER METER & DOMESTIC WATER SERVICE TO BUILDING FROM EXISTING WATER METER BOX. TERMINATE WATER SERVICE PIPELINE WITH GATEVALVE INSIDE HEATED WALL IN BUILDING.
 - [7] PROVIDE 4" PVC SEWER PIPELINE FROM EXISTING SEWER TAP LOCATION TO NEAREST TOILET IN BUILDING.
 - [8] PROVIDE DOUBLE CLEANOUT TO SEWER, SET FLUSH WITH SIDEWALK.
 - [9] ELECTRIC TRANSFORMER LOCATION.
 - [10] TELEPHONE PEDESTAL LOCATION.



PROJECT DATA

LEGAL DESCRIPTION:
TRACT 5A2-A1-3, VOLCANO BUSINESS PARK - PHASE 1
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ZONE ATLAS: G-10-Z
ZONE CLASSIFICATION: SU-1, C1 & IP

APPROVED SITE DEVELOPMENT MASTER PLAN:
DRB CASE NO. Z-80-87-6

LOT AREA: 510 AC (22,210 SQ.FT.)
BUILDING AREA: 5,000 SQ.FT. (50' X 100' BLDG)
NET LOT AREA: 17,210 SQ.FT.
REQUIRED LANDSCAPE AREA, 15% = 2,582 SQ.FT.
PROVIDED LANDSCAPE AREA = 5,213 SQ.FT.

OFFSTREET PARKING REQUIREMENTS-
BASED ON POSSIBLE OFFICE/WAREHOUSE OCCUPANCIES:
OFFICE X WAREHOUSE X REQUIRED PARKING STALLS
50X=2,500 SQ.FT. 50X=2,500 SQ.FT. 14 STALLS REQ'D
40X=2,000 SQ.FT. 60X=3,000 SQ.FT. 12 STALLS REQ'D

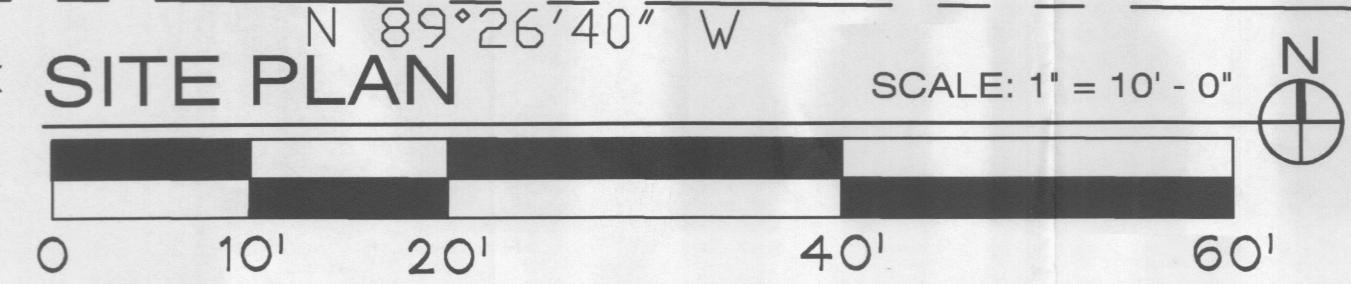
PROVIDED PARKING STALLS = 15 STALLS,
INCLUDES 1 REQ'D VAN ACCESSIBLE STALL

REQUIRED & PROVIDED BICYCLE PARKING = 2 SPACES

SITE LIGHTING: SHALL BE PROVIDED BY BUILDING MOUNTED WALL FIXTURES.

SIGNAGE: SHALL BE PROVIDED BY BUILDING MOUNTED SIGNS AS PER ZONING CODE.

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
FILED 2-17-04
SIGNATURE & DATE
HN / 5000 #



| | |
|---|------------------|
| PROJECT NO. 1003243 | APPLICATION NO. |
| IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [] YES [X] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. | |
| DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL: | |
| TRAFFIC ENGINEERING TRANSPORTATION DIVISION | DATE: |
| UTILITY DEVELOPMENT DIVISION | DATE: |
| PARKS RECREATION | DATE: |
| CITY ENGINEER | DATE: |
| ENVIRONMENTAL HEALTH (CONDITIONAL) | DATE: |
| <i>Michael Holton</i> SOLID WASTE MANAGEMENT | 2-17-04 DATE: |
| DRB CHAIRPERSON, PLANNING DEPT. | DATE: |

PLANNING

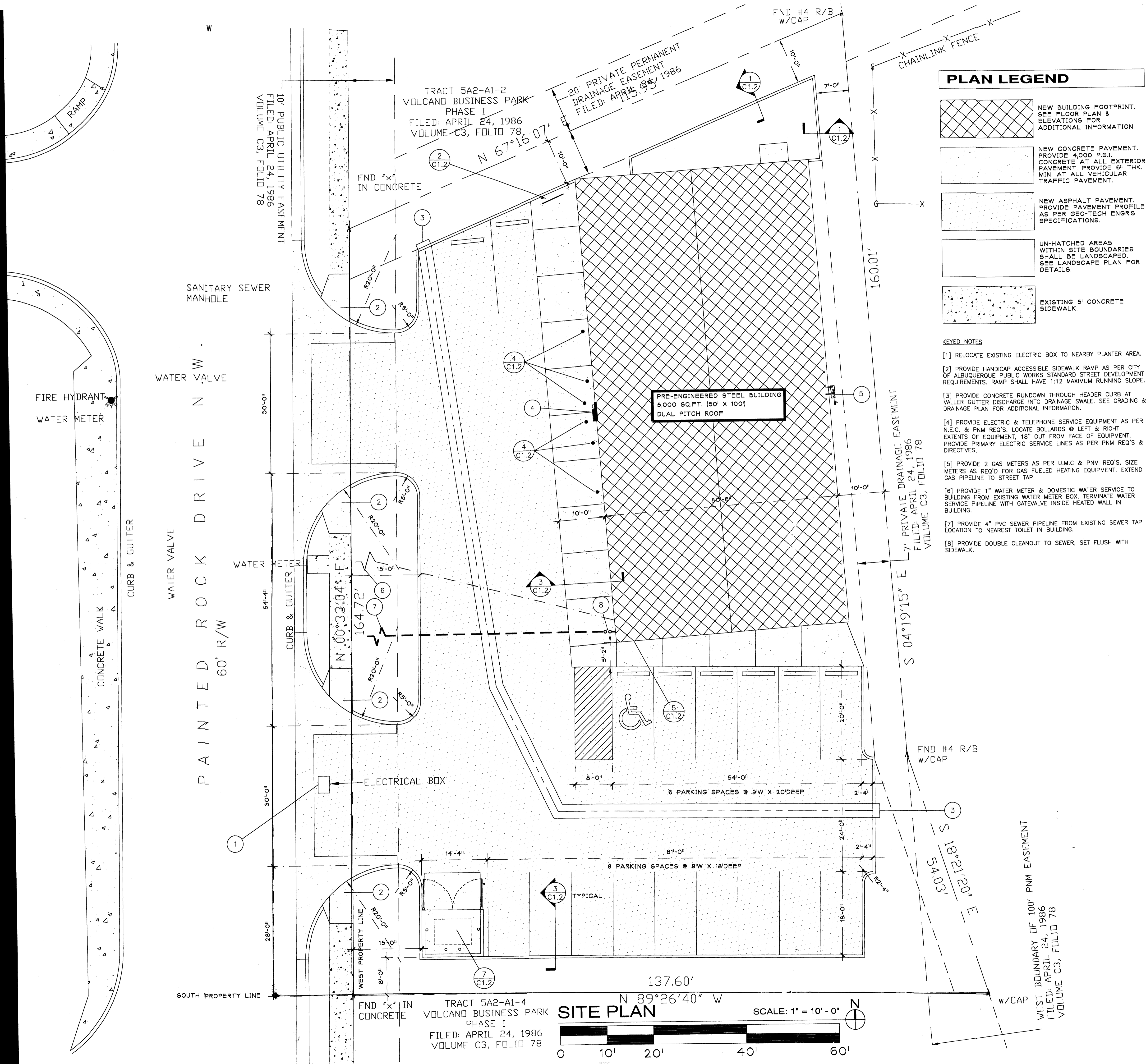
DORMAN and BREEN
LAURENCE BREEN A.I.A.
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940
SANTA FE, NM 505-982-9196

ALLRITE ROOFING SYSTEMS CO.
Office / Warehouse Building
3040 Painted Rock Dr. NW
Volcano Business Park - Phase 1
Albuquerque, New Mexico



| |
|---|
| SHEET TITLE: SITE PLAN CONCEPTUAL UTILITY LAYOUT |
| JOB NUMBER: 0308 |
| DATE: 2/10/04 |
| REVISIONS: DRB APPROVAL SET 2/10/04 |
| SHEET: C-1.1 |

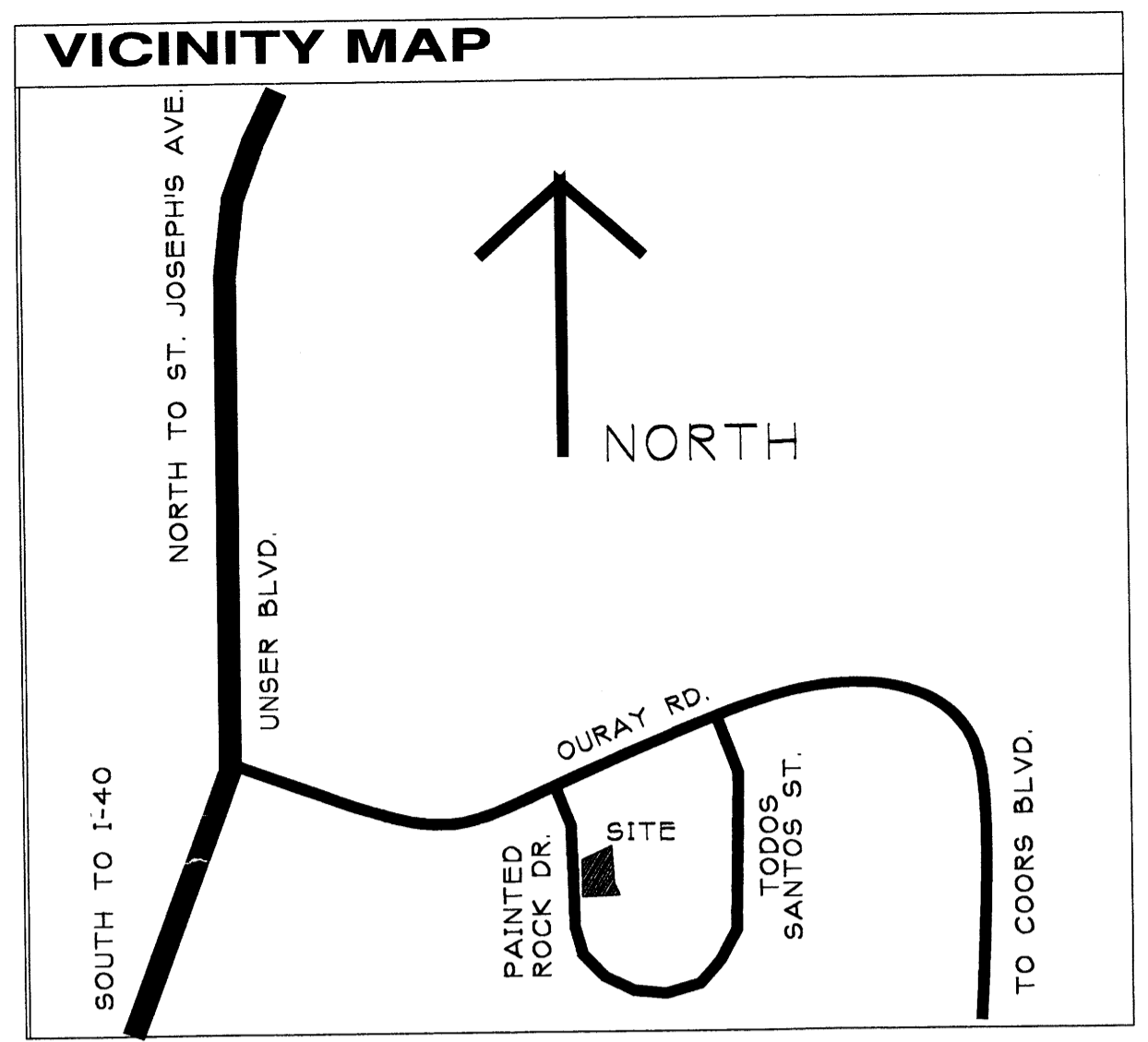
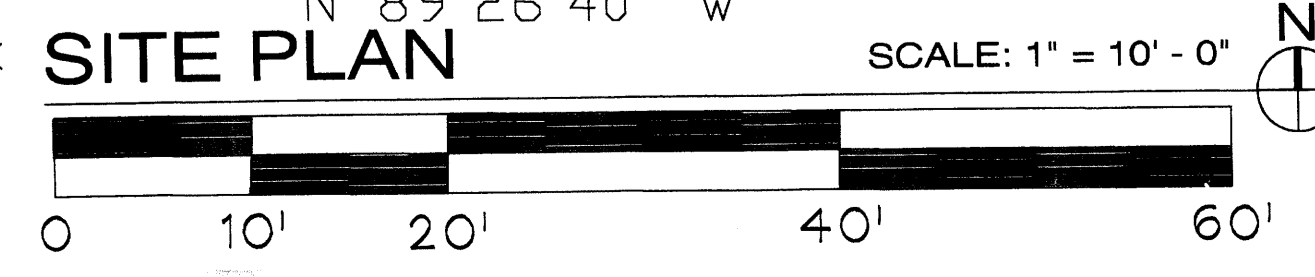
PLANNING



PLAN LEGEND

- NEW BUILDING FOOTPRINT. SEE FLOOR PLAN & ELEVATIONS FOR ADDITIONAL INFORMATION.
- NEW CONCRETE PAVEMENT. PROVIDE 4,000 P.S.I. CONCRETE AT ALL EXTERIOR PAVEMENT. PROVIDE 6" THK. MIN. AT ALL VEHICULAR TRAFFIC PAVEMENT.
- NEW ASPHALT PAVEMENT. PROVIDE PAVEMENT PROFILE AS PER GEO-TECH ENGR'S SPECIFICATIONS.
- UN-HATCHED AREAS WITHIN SITE BOUNDARIES SHALL BE LANDSCAPED. SEE LANDSCAPE PLAN FOR DETAILS.
- EXISTING 5' CONCRETE SIDEWALK.

- KEYED NOTES**
- [1] RELOCATE EXISTING ELECTRIC BOX TO NEARBY PLANTER AREA.
 - [2] PROVIDE HANDICAP ACCESSIBLE SIDEWALK RAMP AS PER CITY OF ALBUQUERQUE PUBLIC WORKS STANDARD STREET DEVELOPMENT REQUIREMENTS. RAMP SHALL HAVE 1:12 MAXIMUM RUNNING SLOPE.
 - [3] PROVIDE CONCRETE RUNDOWN THROUGH HEADER CURB AT WALLER GUTTER DISCHARGE INTO DRAINAGE SWALE. SEE GRADING & DRAINAGE PLAN FOR ADDITIONAL INFORMATION.
 - [4] PROVIDE ELECTRIC & TELEPHONE SERVICE EQUIPMENT AS PER N.E.C. & PNM REQ'S. LOCATE BOLLARDS @ LEFT & RIGHT EXTENTS OF EQUIPMENT. 18" OUT FROM FACE OF EQUIPMENT. PROVIDE PRIMARY ELECTRIC SERVICE LINES AS PER PNM REQ'S & DIRECTIVES.
 - [5] PROVIDE 2 GAS METERS AS PER U.M.C. & PNM REQ'S. SIZE METERS AS REQ'D FOR GAS FUELED HEATING EQUIPMENT. EXTEND GAS PIPELINE TO STREET TAP.
 - [6] PROVIDE 1" WATER METER & DOMESTIC WATER SERVICE TO BUILDING FROM EXISTING WATER METER BOX. TERMINATE WATER SERVICE PIPELINE WITH GATEVALVE INSIDE HEATED WALL IN BUILDING.
 - [7] PROVIDE 4" PVC SEWER PIPELINE FROM EXISTING SEWER TAP LOCATION TO NEAREST TOILET IN BUILDING.
 - [8] PROVIDE DOUBLE CLEANOUT TO SEWER, SET FLUSH WITH SIDEWALK.



PROJECT DATA

LEGAL DESCRIPTION:
TRACT 5A2-A1-3, VOLCANO BUSINESS PARK - PHASE 1
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ZONE ATLAS: G-10-Z
ZONE CLASSIFICATION: SU-1, C1 & IP

APPROVED SITE DEVELOPMENT MASTER PLAN:
DRB CASE NO. Z-80-87-6

LOT AREA: 510 AC (22,210 SQ.FT.)
BUILDING AREA: 5,000 SQ.FT. (50' X 100' BLDG)
NET LOT AREA: 17,210 SQ.FT.
REQUIRED LANDSCAPE AREA, 15% = 2,582 SQ.FT.
PROVIDED LANDSCAPE AREA = 5,213 SQ.FT.

OFFSTREET PARKING REQUIREMENTS-
BASED ON POSSIBLE OFFICE/WAREHOUSE OCCUPANCIES:
OFFICE % WAREHOUSE % REQUIRED PARKING STALLS
50% = 2,500 SQ.FT. 50% = 2,500 SQ.FT. 14 STALLS REQ'D
40% = 2,000 SQ.FT. 60% = 3,000 SQ.FT. 12 STALLS REQ'D

PROVIDED PARKING STALLS = 15 STALLS,
INCLUDES 1 REQ'D VAN ACCESSIBLE STALL

REQUIRED & PROVIDED BICYCLE PARKING = 2 SPACES

SITE LIGHTING: SHALL BE PROVIDED BY BUILDING MOUNTED WALL FIXTURES

SIGNAGE: SHALL BE PROVIDED BY BUILDING MOUNTED SIGNS AS PER ZONING CODE.

| | |
|---|-------|
| PROJECT NO. | |
| APPLICATION NO. | |
| IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [] YES [X] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. | |
| DRB SITE DEVELOPMENT PLAN APPROVAL: | |
| TRAFFIC ENGINEERING TRANSPORTATION DIVISION | DATE: |
| UTILITY DEVELOPMENT DIVISION | DATE: |
| PARKS RECREATION | DATE: |
| CITY ENGINEER | DATE: |
| ENVIRONMENTAL HEALTH (CONDITIONAL) | DATE: |
| SOLID WASTE MANAGEMENT | DATE: |
| DRB CHAIRPERSON, PLANNING DEPT. | DATE: |

ALLRITE ROOFING SYSTEMS CO.
Office / Warehouse Building
3040 Painted Rock Dr. NW
Volcano Business Park - Phase 1
Albuquerque, New Mexico

R + B
DORMAN and BREEN
LAURENCE BREEN A.I.A.
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940
SANTA FE, NM 505-982-9196

SHEET TITLE:
SITE PLAN

JOB NUMBER:
0308

DATE:
2/10/04

REVISIONS: DATE:
DRB APPROVAL SET 2/10/04

SHEET:
C-1.1

GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT. RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

| MATERIAL / LOCATION | PERCENT COMPACTION |
|--|--------------------|
| STRUCTURAL FILL IN THE BUILDING AREA | 95% |
| SUBBASE FOR SLAB SUPPORT | 95% |
| MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT | 95% |
| MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS | 90% |
| ROADWAY PAVEMENT SUBGRADE | 95% |
| SIDEWALK SUBGRADE | 90% |
| CURB AND GUTTER SUBGRADE | 95% |

PAVEMENT

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

LEGEND

| | | | |
|-----------------|--------------------------------|------|------------------|
| (S 83°39'25" W) | RECORD BEARING AND DISTANCES | → | DOWN GUY |
| N 00°07'27" W | MEASURED BEARING AND DISTANCES | ○ LP | LIGHT POLE |
| ● | FOUND AND USED MONUMENT | □ | UTILITY RISER |
| — # — | EX WOOD FENCE | ○ FP | FLAG POLE |
| ≡≡≡ | EX RAILROAD RETAINING WALL | ○ V | VENT |
| x G 89.5 | EX SPOT ELEV. | □ | UTILITY RISER |
| FL 09.3 | PROP SPOT ELEV. | ○ | EX SD INLET |
| — 5160 — | EX CONTOUR LINE | □ | PROP SD INLET |
| ○ | POWER POLE | ■ | CONCRETE |
| | | □ | EX SIGN |
| | | ○ | EX WATER METER |
| | | ■ | PROP WATER METER |
| | | ○ | PLANTER |
| | | ○ | PROPOSED TREE |
| | | ● | EXIST. TREE |

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXISTING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.

ABBREVIATIONS

| | | | | | |
|-------|------------------------------|-------|----------------------------|-----|-----------------------------------|
| A | = AIR LINE | FG | = FINISHED GRADE | R/W | = RIGHT-OF-WAY |
| AD | = AREA DRAIN | FH | = FIRE HYDRANT | S | = SLOPE |
| AIP | = ABANDONED IN PLACE | FL | = FLOW LINE | SAS | = SANITARY SEWER |
| BLDG | = BUILDING | G | = GAS PIPE | SD | = STORM DRAIN |
| BM | = BENCHMARK | GM | = GAS METER | STA | = STATION |
| CATV | = CABLE TELEVISION LINE | GV | = GATE VALVE | STD | = STANDARD |
| CIP | = CAST IRON PIPE | HI PT | = HIGH POINT | SW | = SIDEWALK |
| CMP | = CORRUGATED METAL PIPE | INV | = INVERT ELEVATION | T | = TELEPHONE |
| CMPA | = CORRUGATED METAL PIPE ARCH | LF | = LINEAL FEET | TA | = TOP OF ASPHALT PAVEMENT |
| CO | = CLEANOUT | LP | = LIGHT POLE | TAC | = TOP OF ASPHALT CURB |
| COA | = CITY OF ALBUQUERQUE | L/S | = LANDSCAPING | TC | = TOP OF CONCRETE SLAB (PAVEMENT) |
| CONC | = CONCRETE | MH | = MANHOLE | TCC | = TOP OF CONCRETE CURB |
| CL | = CENTERLINE | NG | = NATURAL GROUND | TG | = TOP OF GRATE |
| DIA | = DIAMETER | OE | = OVERHEAD ELECTRIC LINE | TS | = TOP OF SIDEWALK |
| DIP | = DUCTILE IRON PIPE | OT | = OVERHEAD TELEPHONE LINE | TW | = TOP OF WALL |
| DTL | = DETAIL | PB | = ELECTRICAL PULL BOX | TYP | = TYPICAL |
| DWG | = DRAWING | PCC | = PORTLAND CEMENT CONCRETE | TB | = TELEPHONE BOX |
| E | = ELECTRIC LINE | PP | = POWER POLE | UE | = UNDERGROUND ELECTRIC |
| ELEC. | = ELECTRIC | PROP | = PROPOSED | UT | = UNDERGROUND TELEPHONE |
| ELEV | = ELEVATION | PVC | = POLYVINYL CHLORIDE PIPE | W | = WATER |
| EX | = EXISTING | RCP | = REINFORCED CONCRETE PIPE | WM | = WATER METER |
| FF | = FINISHED FLOOR ELEVATION | RD | = ROOF DRAIN | WV | = WATER VALVE |

LARRY READ & ASSOCIATES

Civil Engineers
4800 C Juan Tabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421

ALLRITE ROOFING SYSTEMS CO.

Office / Warehouse Building
3040 Painted Rock Dr. NW

Volcano Business Park - Phase 1
Albuquerque, New Mexico



SHEET TITLE:
CIVIL GENERAL NOTES

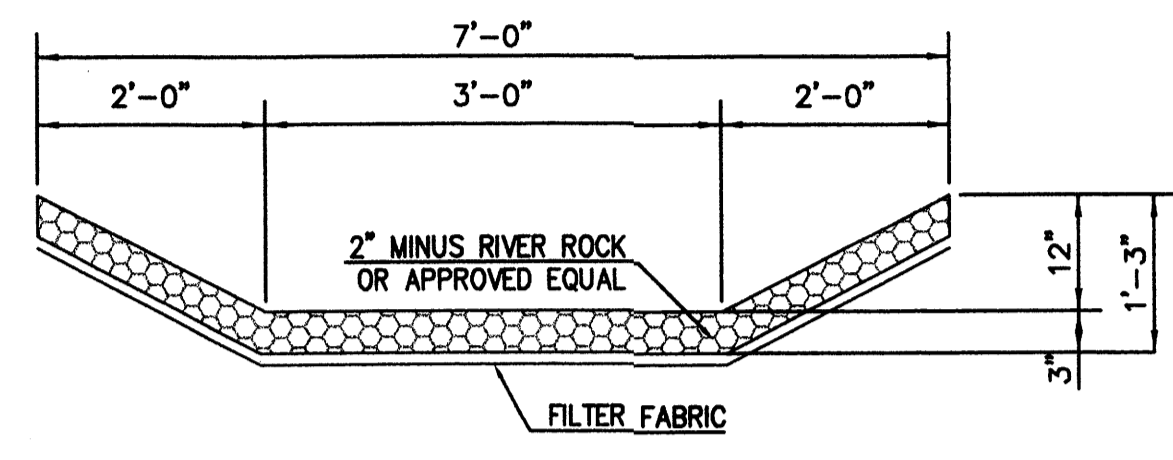
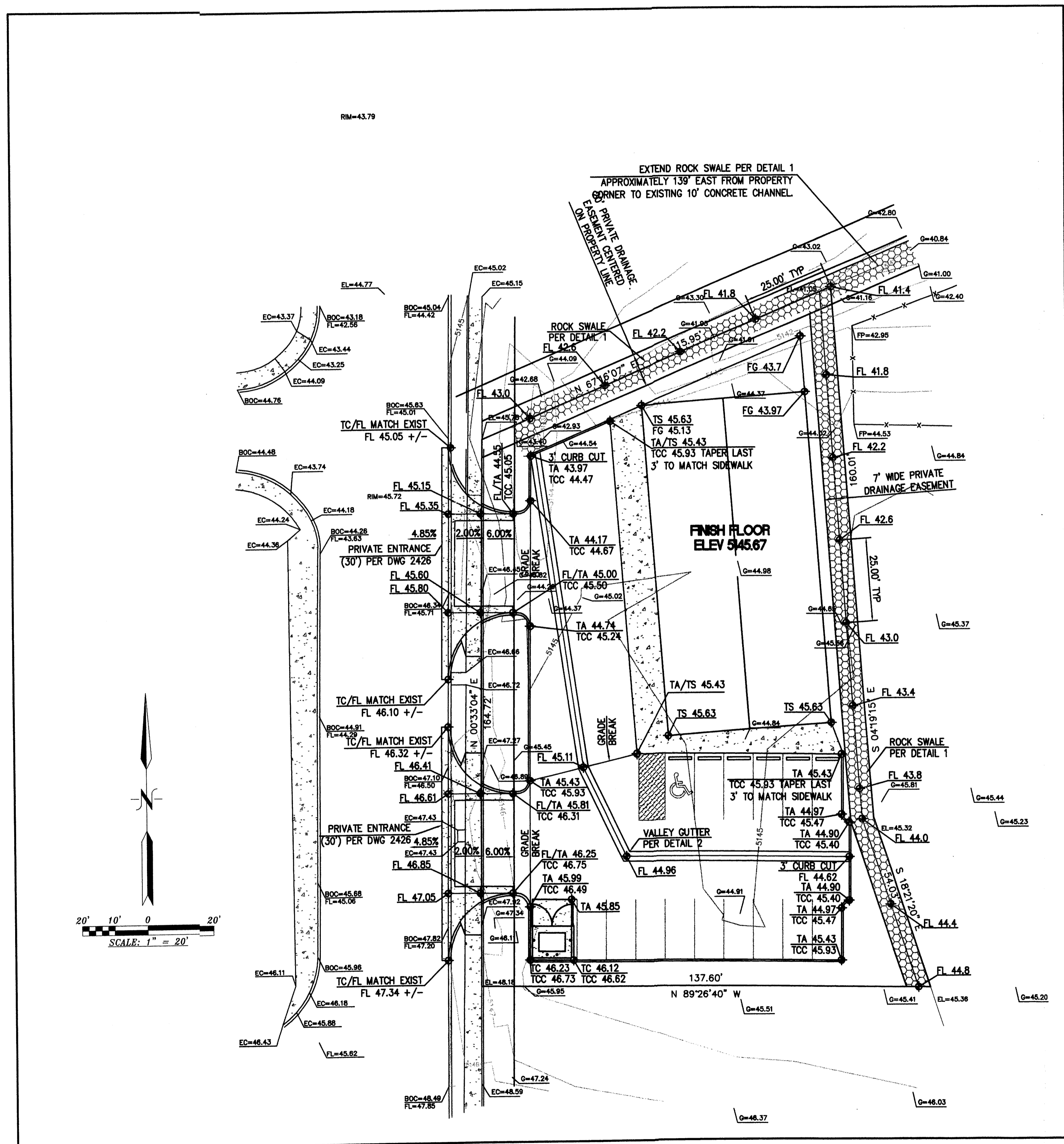
JOB NUMBER:
0308

DATE:
9-25-03

| REVISIONS | DATE |
|-----------|------|
| | |
| | |
| | |
| | |

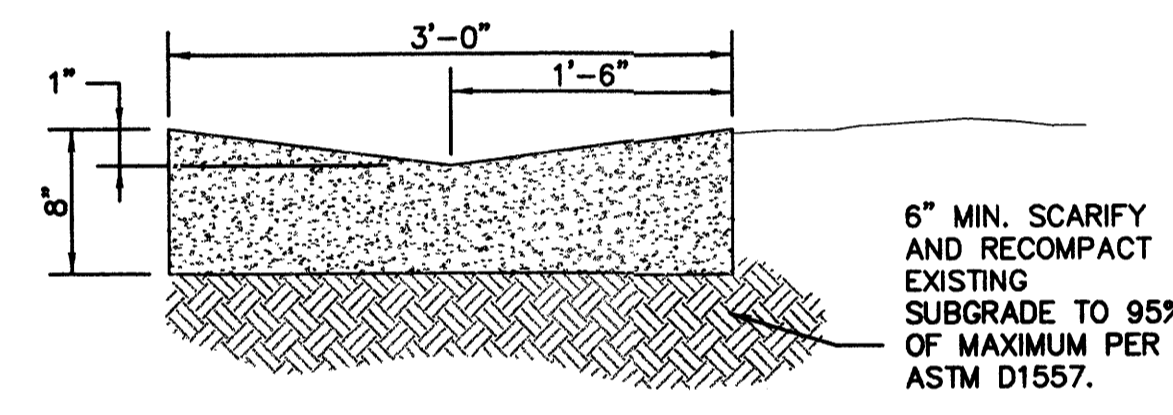
SHEET:
C-2.1
OF

DORMAN and BREEN
LAURENCE BREEN A.I.A.
SANTA FE, NM 505-982-919
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

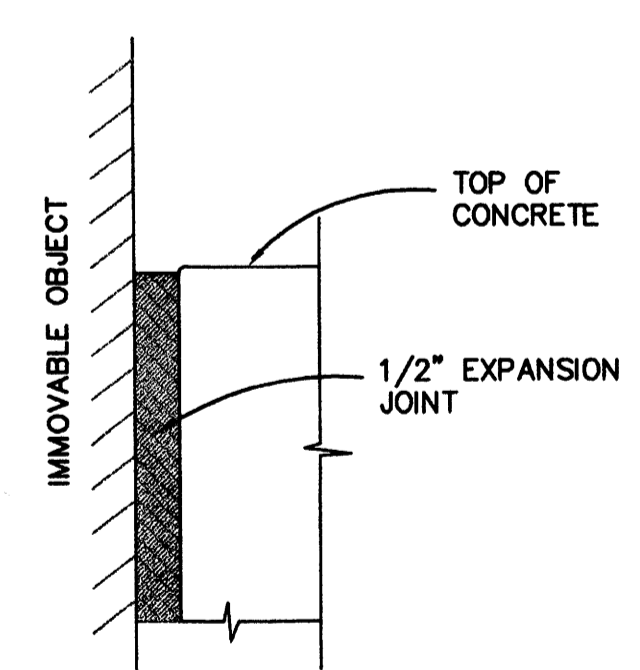


1 ROCK SWALE
N. T. S.

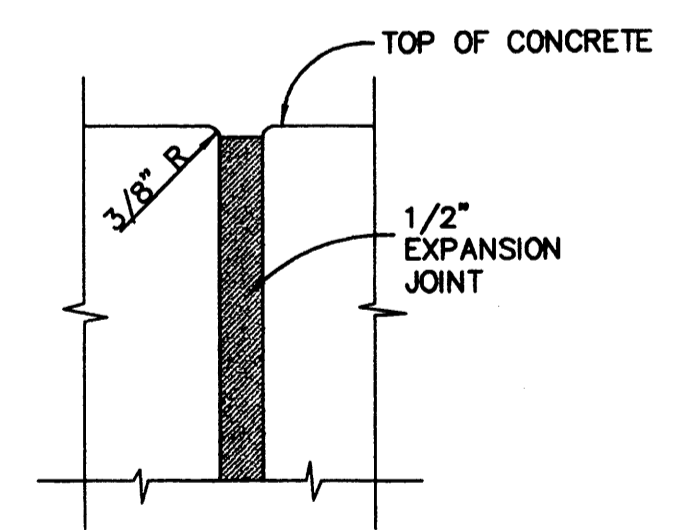
- CONSTRUCTION NOTES:
1. PROVIDE 1/2" EXPANSION JOINTS AT 36" O.C., AT IMMOVABLE OBJECTS AND AT PERPENDICULAR CURBS PER DETAIL THIS SHEET
 2. PROVIDE CONTRACTION JOINTS @ 6' O.C. PER DETAIL THIS SHEET



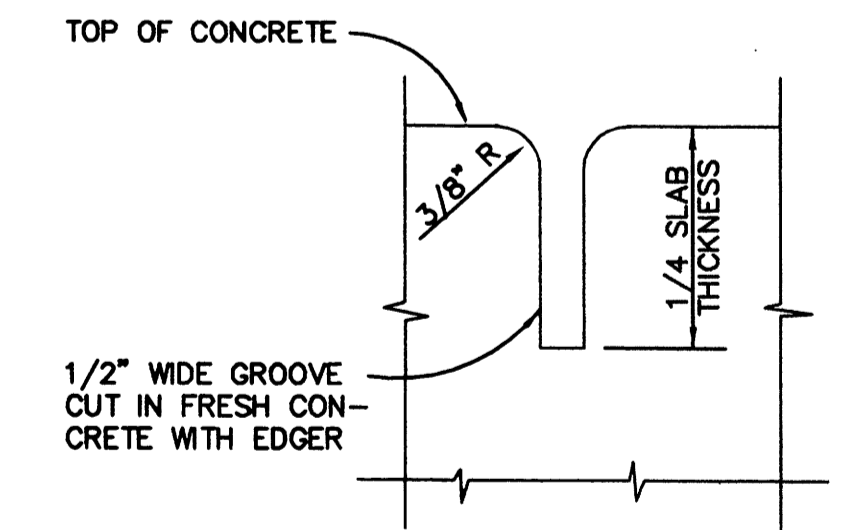
2 CONCRETE VALLEY GUTTER
N. T. S.



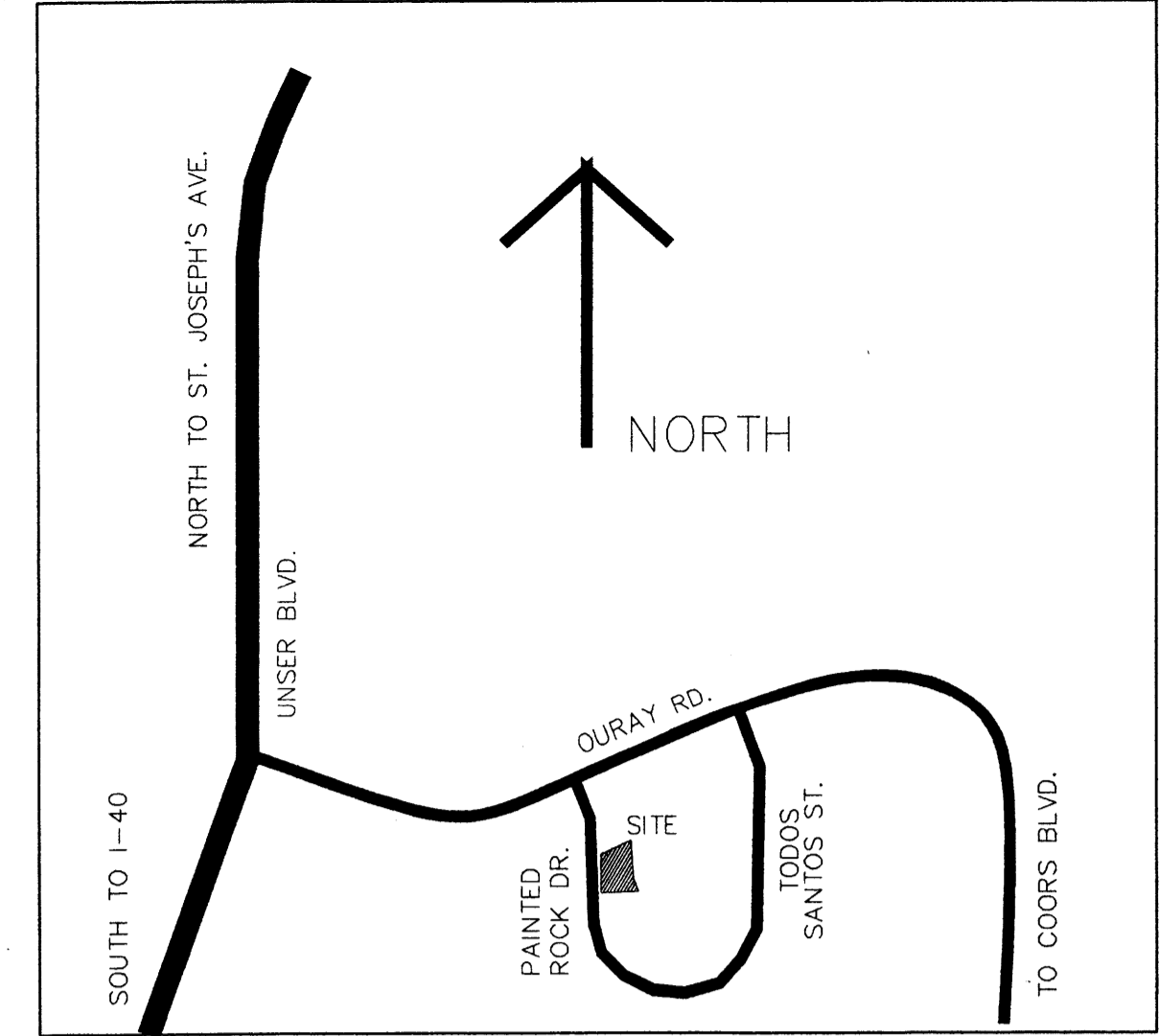
3 EXPANSION JOINT AT IMMOVABLE OBJECT
N. T. S.



4 EXPANSION JOINT DETAIL
N. T. S.



5 CONTRACTION JOINT DETAIL
N. T. S.



VICINITY MAP G-10

LEGAL DESCRIPTION

TRACT 5A2-A1-3, VOLCANO BUSINESS PARK - PHASE 1
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ACS BENCHMARK

ACS MONUMENT "1-H10", BEING AN ACS MONUMENT, WITH AN
ELEVATION OF 5142.73.

SURVEY NOTES

FIELD SURVEY BY: HARRIS SURVEYING, INC. SURVEY DATE: MARCH, 2003
2412-D MONROE ST., NE PHONE: (505) 889-8056
ALBUQUERQUE, NM 87110 FAX: (505) 889-9645

LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION SUPPLIED TO THE SURVEYOR BY THE APPROPRIATE UTILITY COMPANIES. SURVEYOR DOES NOT GUARANTEE THESE LOCATIONS NOR THE FACT THAT SOME UTILITIES MIGHT BE LEFT OUT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.

THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED BY THE OWNER AS SUCH.

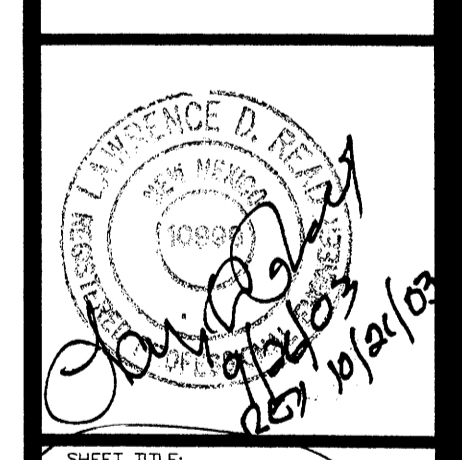
FLOODPLAIN

THE PROPERTY SHOWN HEREON DOES NOT LIE WITHIN ANY DESIGNATED FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY-PANEL NO. 35001C0326 D; EFFECTIVE DATE SEPTEMBER 20, 1996 AS SHOWN IN THE DRAINAGE REPORT.

DORMAN and BREEN
LAURENCE BREEN A.I.A.
SANTA FE, NM 505-982-9196

R + B
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

ALLRITE ROOFING SYSTEMS CO.
Office / Warehouse Building
3040 Painted Rock Dr. NW
Volcano Business Park - Phase 1
Albuquerque, New Mexico

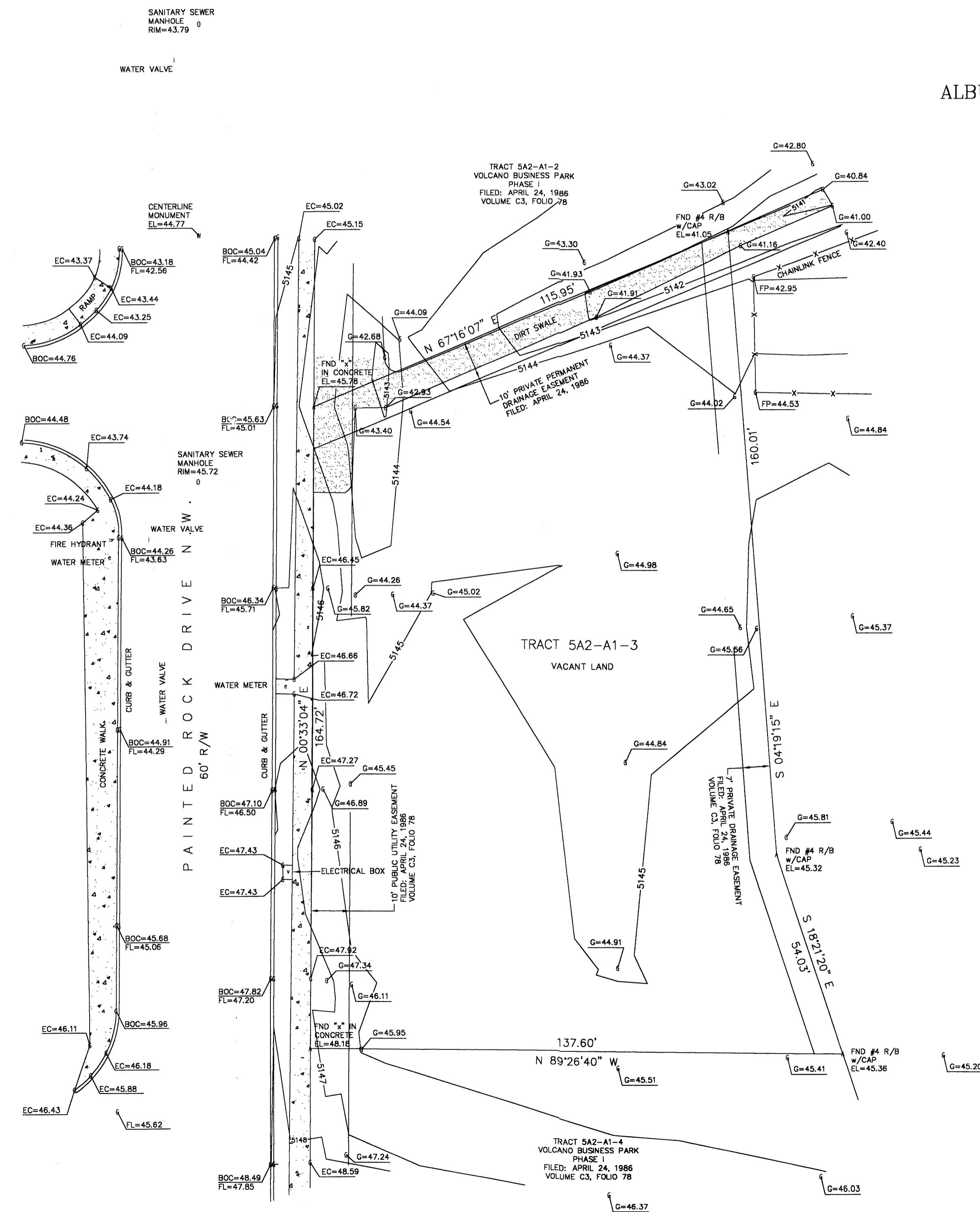


SHEET TITLE:
GRADING PLAN

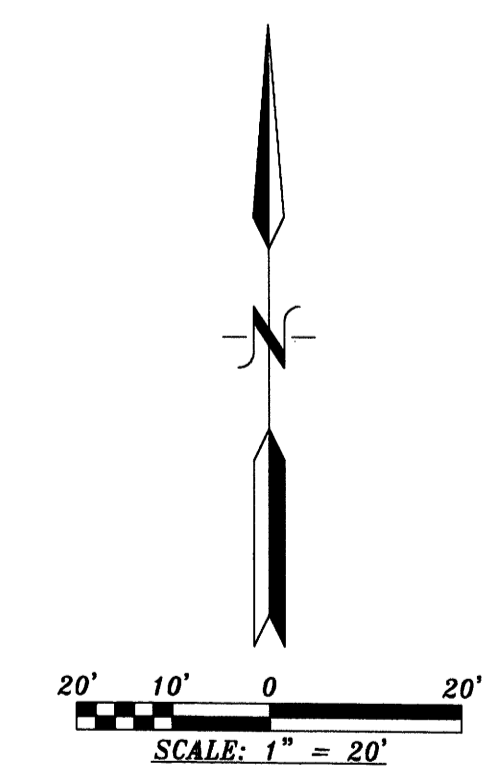
| | |
|-----------------------|-------|
| JOB NUMBER: 0308 | |
| DATE: 9-25-03 | |
| REVISIONS: | DATE: |
| | |
| | |
| | |
| SHEET: C-2.2 OF | |

LARRY READ & ASSOCIATES
Civil Engineers
4800-C Juan Tabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421

PLAT OF TOPOGRAPHY
 OF
 TRACT 5A2-A1-3
 VOLCANO BUSINESS PARK
 PHASE I
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2003

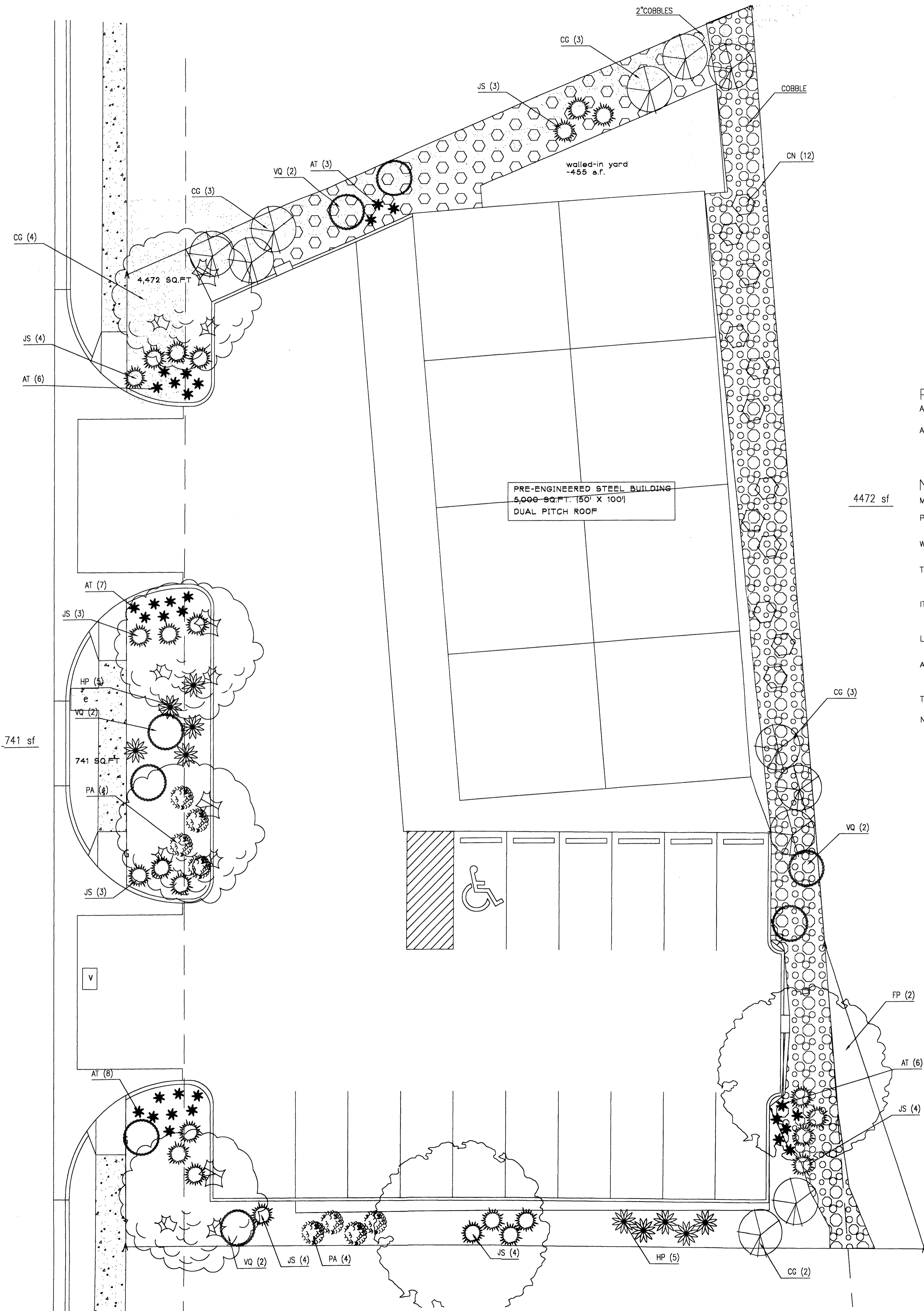


- GENERAL NOTES:
- 1: CONTOUR INTERVAL IS ONE (1) FOOT.
 - 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. " 1-H10 ", HAVING AN ELEVATION OF 5142.73.
 - 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 - 5: THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.



Anthony L. Harris, N.M.P.S.#11463 HARRIS SURVEYING, INC.
 2412-D Monroe Street, NE Albuquerque, New Mexico 87110
 Telephone (505) 889-8056 FAX (505) 889-8645

03 04172000000000



PLANT LEGEND

| SYMBOL | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | WATER USE |
|--------|------|------------------------------|-----------------------------|---------|-----------|
| CC | 4 | CRATAEGUS CRUS-GALLI INERMIS | THORNLESS COCKSPUR HAWTHORN | 2" CAL | M |
| FP | 2 | FRAXINUS PENNSYLVANICA | GREEN ASH | 2" CAL | M |
| VQ | 8 | VAQUELINIA | ARIZONA ROSEWOOD | 1-5 GAL | L |
| CG | 11 | CAESALPINIA GILLIESII | BIRD OF PARADISE | | L |
| CN | 12 | CHRYSOTHAMNUS NAUSEOUSUS | CHAMISA | | L |
| JS | 25 | JUNIPERUS SABINA | BUFFALO JUNIPER | | M |
| PA | 8 | PEROVSKIA ATRIPLICIFOLIA | RUSSIAN SAGE | | M |
| HP | 10 | HESPERALOE PARVIFLORA | TEXAS RED YUCCA | | L |
| AT | 30 | ACHILLEA TAYGETEA | MOONSHINE YARROW | | M |

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

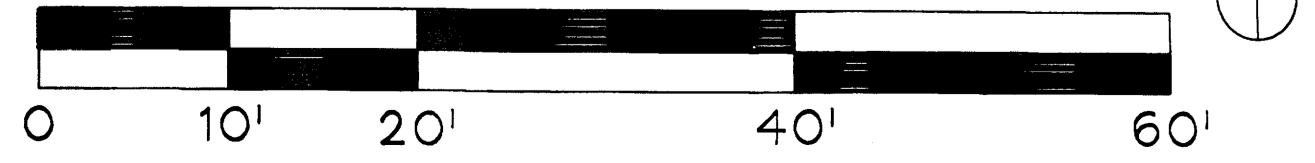
NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
 LANDSCAPE AREAS TO BE MULCHED WITH 3/4" SANTA ANA TAN AT 2" DEPTH OVER FILTER FABRIC
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
 NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

LEGAL DESCRIPTION:

TRACT 5A2-A1-3, VOLCANO BUSINESS PARK - PHASE 1
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 ZONE ATLAS: G-10-Z
 ZONE CLASSIFICATION: SU-1, C1 & 1P
 APPROVED SITE DEVELOPMENT PLAN:
 DRB CASE NO. Z-80-87-6
 LOT AREA: .510 AC (22,210 SQ.FT.)
 BUILDING AREA: 5,000 SQ.FT. (50' X 100' BLDG)
 NET LOT AREA: 17,210 SQ.FT.
 REQUIRED LANDSCAPE AREA: 15 X = 2,582 SQ.FT.
 PROVIDED LANDSCAPE AREA = 5,213 SQ.FT.
 OFFSTREET PARKING REQUIREMENTS- BASED ON OFFICE/WAREHOUSE OCCUPANCIES:
 OFFICE 50% = 2,500 SQ.FT. 50% = 2,500 SQ.FT. 14 STALLS REQD
 WAREHOUSE 40% = 3,000 SQ.FT. 60% = 2,000 SQ.FT. 12 STALLS REQD
 PROVIDED PARKING STALLS = 15 STALLS, INCLUDES 1 REQD VAN ACCESSIBLE STALL
 REQUIRED & PROVIDED BICYCLE PARKING = 2 SPACES
 SITE LIGHTING: SHALL BE PROVIDED BY BUILDING MOUNTED WALL FIXTURES.
 SIGNAGE: SHALL BE PROVIDED BY BUILDING MOUNTED SIGNS AS PER ZONING CODE.

LANDSCAPE PLAN SCALE: 1" = 10' - 0"



Head's Up
 LANDSCAPE CONTRACTORS
 7525 SECOND ST. NW
 ALBUQUERQUE, NM
 (505) 898-9615
 LICENSE 18890
 www.headsuplandscape.com

DORMAN and BREEN
 RICHARD DORMAN F.A.I.A.
 ALBUQUERQUE, NM 505-289-5940
 LAURENCE BREEN A.I.A.
 SANTA FE, NM 505-982-9196

ALLRITE ROOFING SYSTEMS CO.
 Office / Warehouse Building
 3040 Painted Rock Dr. NW
 Volcano Business Park - Phase 1
 Albuquerque, New Mexico

STATE OF NEW MEXICO
 JOHN GILLIES BRALY
 # 128
 REGISTERED
 LANDSCAPE ARCHITECT

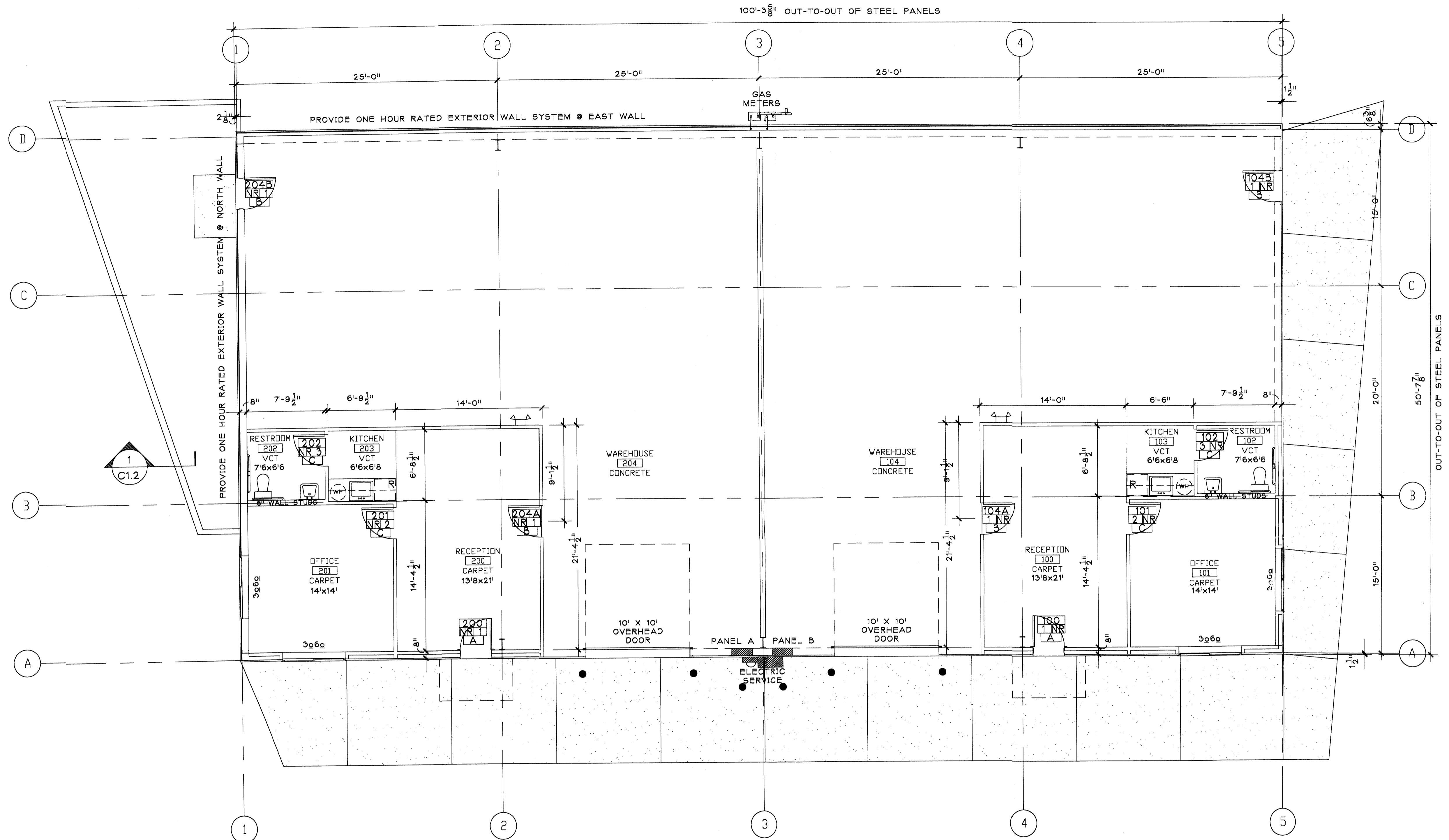
SHEET TITLE:
LANDSCAPE PLAN

JOB NUMBER:
0308

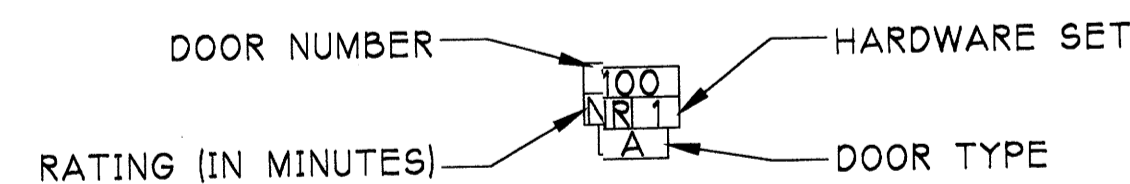
DATE:
2/10/04

REVISIONS: DATE:
 DRB APPROVAL SET 2/10/04

SHEET:
L-1.1



DOOR LEGEND



FLOOR PLAN
SCALE: 3/16" = 1' - 0"



GROSS BUILDING AREA = 5,134 SQ.FT.

DOOR SCHEDULE

- DOOR TYPE: A**
 SIZE: 3'-0" X 7'-0" X 1-3/4"
 TYPE: INSUL HM W/ FULL GLASS WINDOW
 FRAME: HOLLOW METAL
 FINISH: PAINT
 THRESHOLD: HC COMPLIANT
 MISC: TEMPERED GLASS WINDOW
- DOOR TYPE: B**
 SIZE: 3'-0" X 7'-0" X 1-3/4"
 TYPE: INSUL HOLLOW METAL
 FRAME: REDI-FRAME
 FINISH: PAINT
 THRESHOLD: HC COMPLIANT
 MISC:
- DOOR TYPE: C**
 SIZE: 3'-0" X 7'-0" X 1-3/4"
 TYPE: SOLID CORE WOOD
 FRAME: REDI-FRAME

HARDWARE SCHEDULE

- HARDWARE SET: 1**
 HINGES: HVY DUTY
 LEVERSET: HC COMPLIANT LEVER HANDLE, W/ CLASSROOM LOCK
 DEADBOLT: HVY DUTY
 CLOSER: YES
 THRESHOLD: HC COMPLIANT, 1/2" MAX. @1:2 SLOPE
 WEATHERSEALS: YES
 SIGN: DOOR TO REMAIN UNLOCKED DURING BUSINESS HRS.
- HARDWARE SET: 2**
 HINGES: STD DUTY
 LEVERSET: HC COMPLIANT LEVER HANDLE, W/ CLASSROOM LOCK
 DEADBOLT: NONE
 CLOSER: NONE
 THRESHOLD: NONE
 WEATHERSEALS: NONE
 SIGN: NONE
- HARDWARE SET: 3**
 HINGES: STD DUTY
 LEVERSET: HC COMPLIANT LEVER HANDLE, W/ PRIVACY LOCK
 DEADBOLT: NONE
 CLOSER: NONE

GENERAL DOOR & HARDWARE NOTES

- All exterior doors to have closers and complete weather seals
- All latchesets to be lever type per ANSI 117.1-1992 section 4.13.9
- Door opening force: 5 lbs. max.
- Closing rate:
 $\frac{0}{12}$ seconds min.

GENERAL DOOR & WINDOW PLACEMENT NOTES

[A] FIELD LOCATE ALL EXTERIOR DOORS & WINDOWS IN-LINE WITH HIGH RIBS OF STEEL WALL PANELS, AS PER MRF'S INSTALLATION INSTRUCTIONS & REQUIREMENTS.

ALLRITE ROOFING SYSTEMS CO.

Office / Warehouse Building
3040 Painted Rock Dr. NW

Volcano Business Park - Phase 1
Albuquerque, New Mexico



SHEET TITLE
FLOOR PLAN
DOOR & HDWR SCHEDULE

JOB NUMBER:
0308

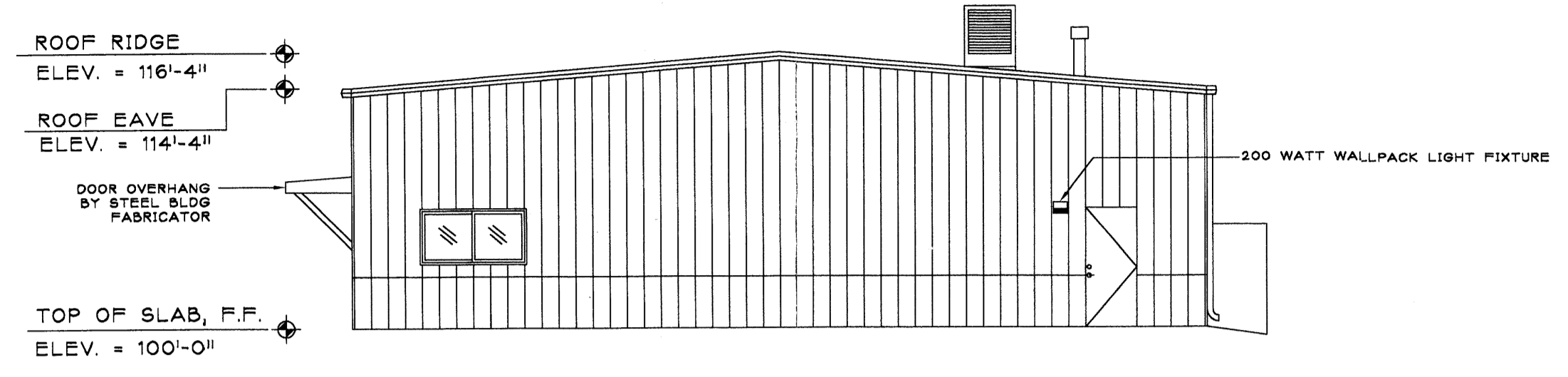
DATE:
2/10/04

REVISIONS: DRB APPROVAL SET 2/10/04

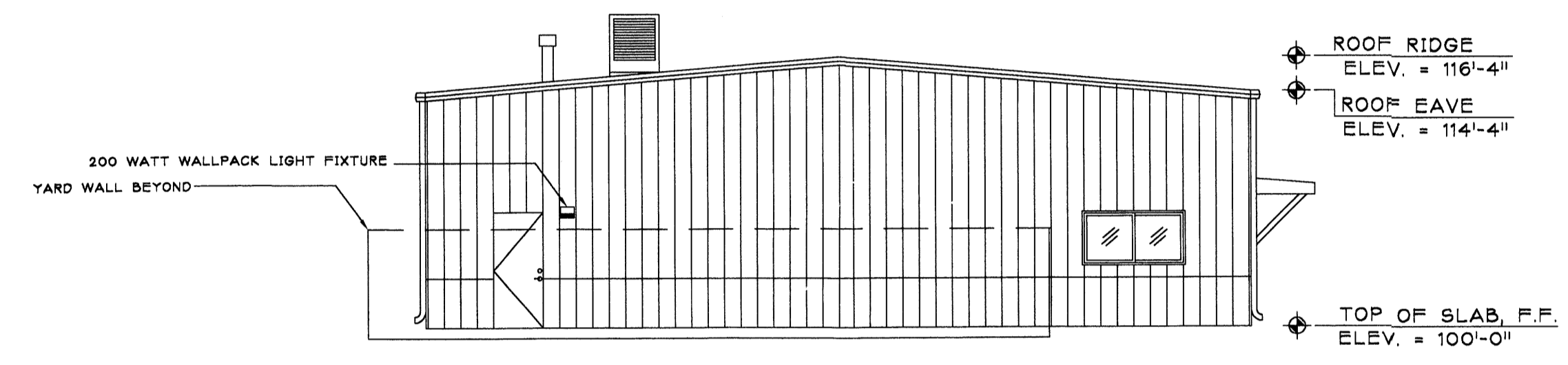
SHEET:

R + B DORMAN and BREEN
 RICHARD DORMAN F.A.I.A.
 ALBUQUERQUE, NM 505-299-5940

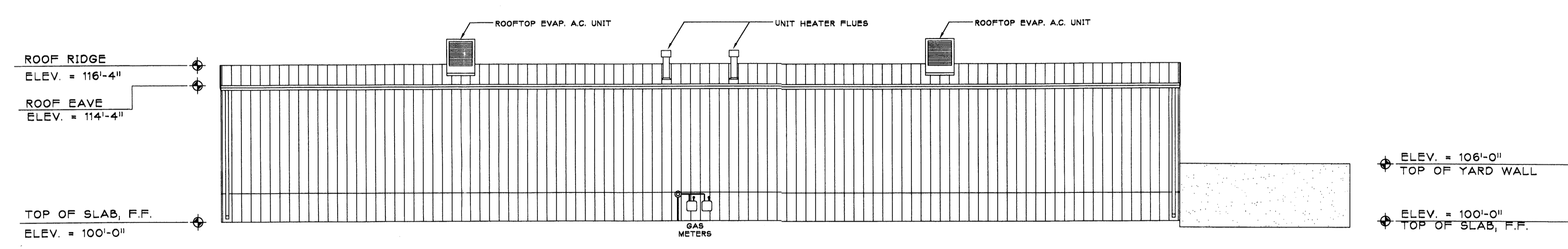
LAURENCE BREEN A.I.A.
 SANTA FE, NM 505-982-9196



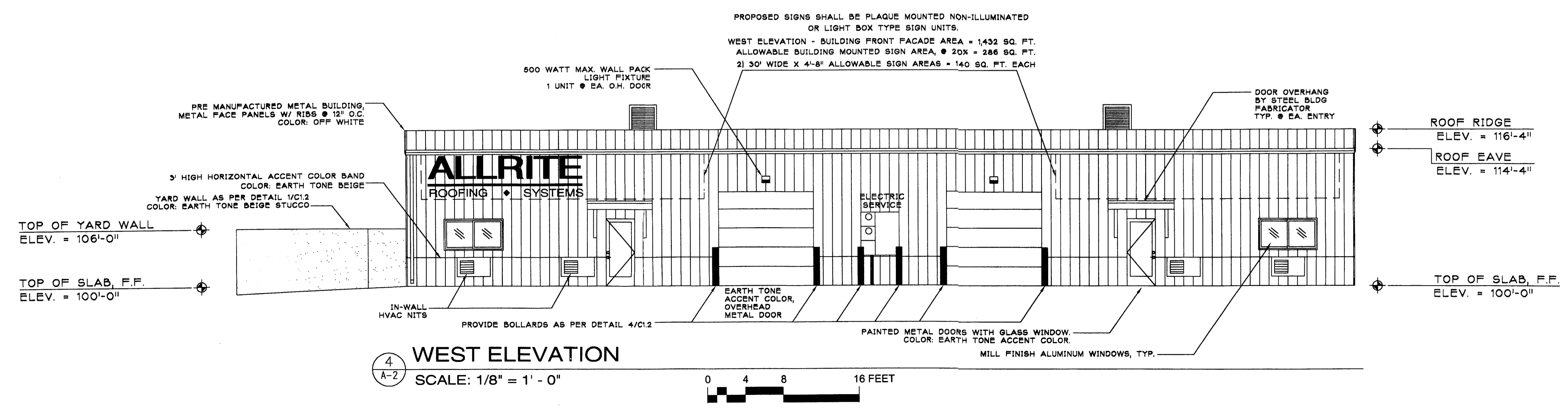
1 NORTH ELEVATION
SCALE: 1/8" = 1' - 0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1' - 0"



3 EAST ELEVATION
SCALE: 1/8" = 1' - 0"

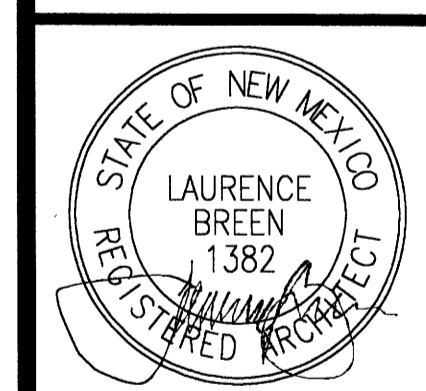


4 WEST ELEVATION
SCALE: 1/8" = 1' - 0"

DORMAN and BREEN
LAURENCE BREEN A.I.A.
SANTA FE, NM 505-982-9196

R + B
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

ALLRITE ROOFING SYSTEMS CO.
Office / Warehouse Building
3040 Painted Rock Dr. NW
Volcano Business Park - Phase 1
Albuquerque, New Mexico



SHEET TITLE
ELEVATIONS

JOB NUMBER:
0308

DATE:
2/10/04

REVISIONS: DATE:
DRB APPROVAL SET 2/10/04

SHEET:
A-2.0