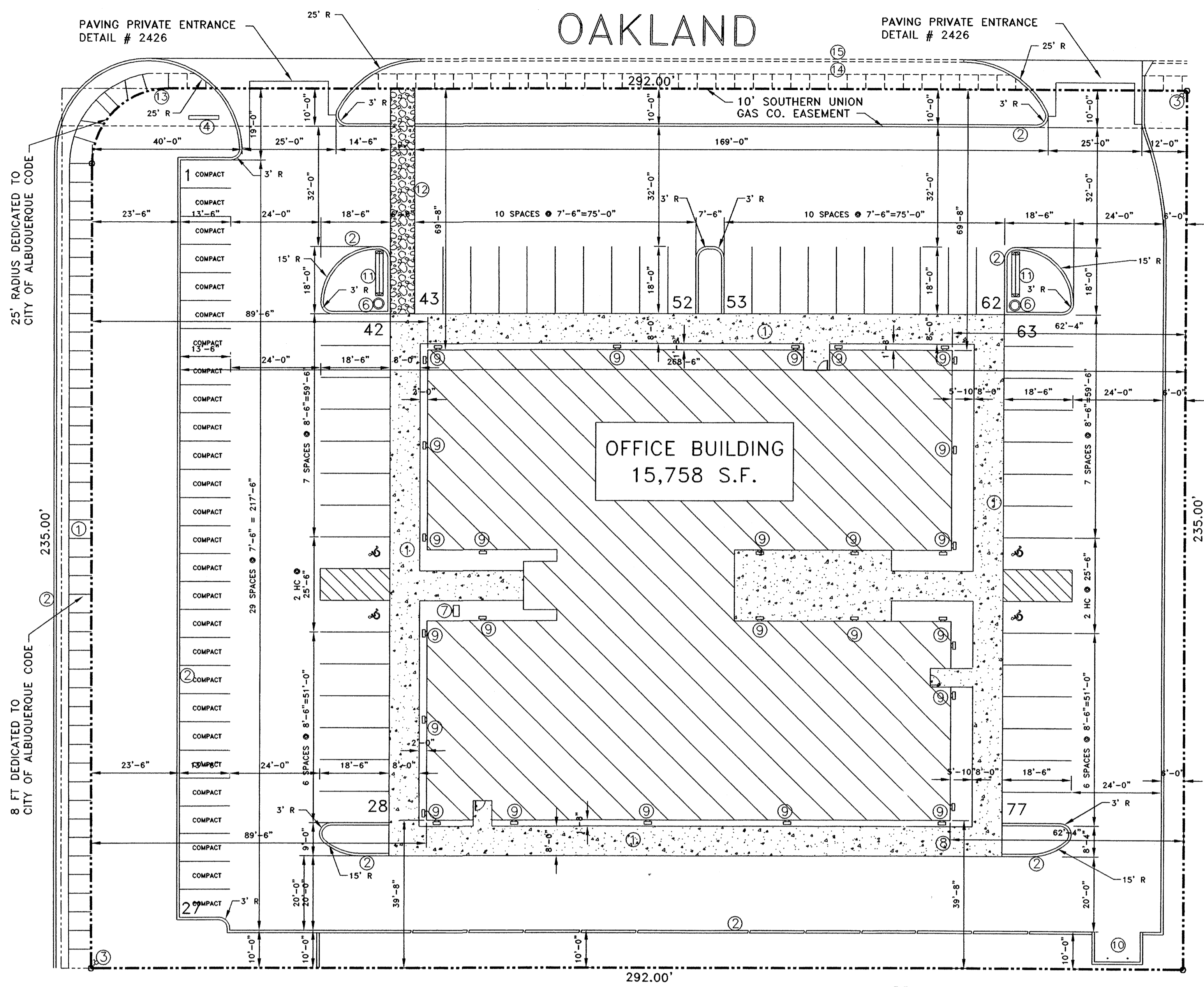
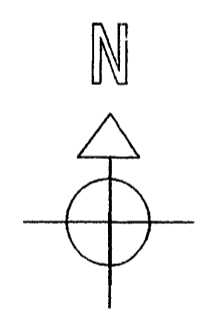


SAN MATEO BLVD



SITE DEVELOPMENT PLAN for SUBDIVISION

Scale 1"=20'-0"



KEYED NOTES:

- ① NEW 6 FT. OR 8 FT. SIDEWALK, PER DRAWING
- ② NEW CONCRETE CURB/GUTTER
- ③ EXISTING FIRE HYDRANT
- ④ AGENCY SIGNS, DETAIL TO BE SUBMITTED TO CITY FOR APPROVAL
- ⑤ 6 FT. HIGH SECURITY FENCE
- ⑥ SMOKING AREA WITH DISPOSAL CONTAINER
- ⑦ DROP BOX
- ⑧ 4 FT. GATE WITH CYPHER LOCK
- ⑨ BUILDING LIGHTING IAW CITY OF ALBUQUERQUE (COA) CODE:
70 WATT METAL HALIDE WALL PACKS, 45° DOWN-ANGLE SHIELD,
MOUNTED 14 FEET ABOVE GROUND WITH NO GREATER THAN 1,000
FOOTLAMBERTS AT PROPERTY LINE AND NO GREATER THAN 200
FOOTLAMBERTS FROM RESIDENTIAL AREAS
- ⑩ REFUSE ENCLOSURE PER COA CODE
- ⑪ FOUR (4) SPACE BICYCLE RACK PER COA CODE
- ⑫ ADA PEDESTRIAN ACCESS
- ⑬ PROPOSED 6 FT. SIDEWALK TO MATCH EXISTING RIGHT-OF WAY SIDEWALK
- ⑭ EXISTING 4' SIDEWALK
- ⑮ EXISTING CURB & GUTTER

GENERAL NOTES:

LEGAL DESCRIPTION: LOTS 1 & 2, BLOCK 11
NORTH ALBUQUERQUE ACRES
CITY OF ALBUQUERQUE, NEW MEXICO
COUNTY OF BERNALILLO

PROPOSED USE: OFFICE BUILDING
SINGLE STORY, NO GREATER THAN 20 FT. IN HEIGHT, FAR = 23%

CURRENT ZONING: SU-2 FOR M-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE
PROPERTY BOUNDARY LINES.

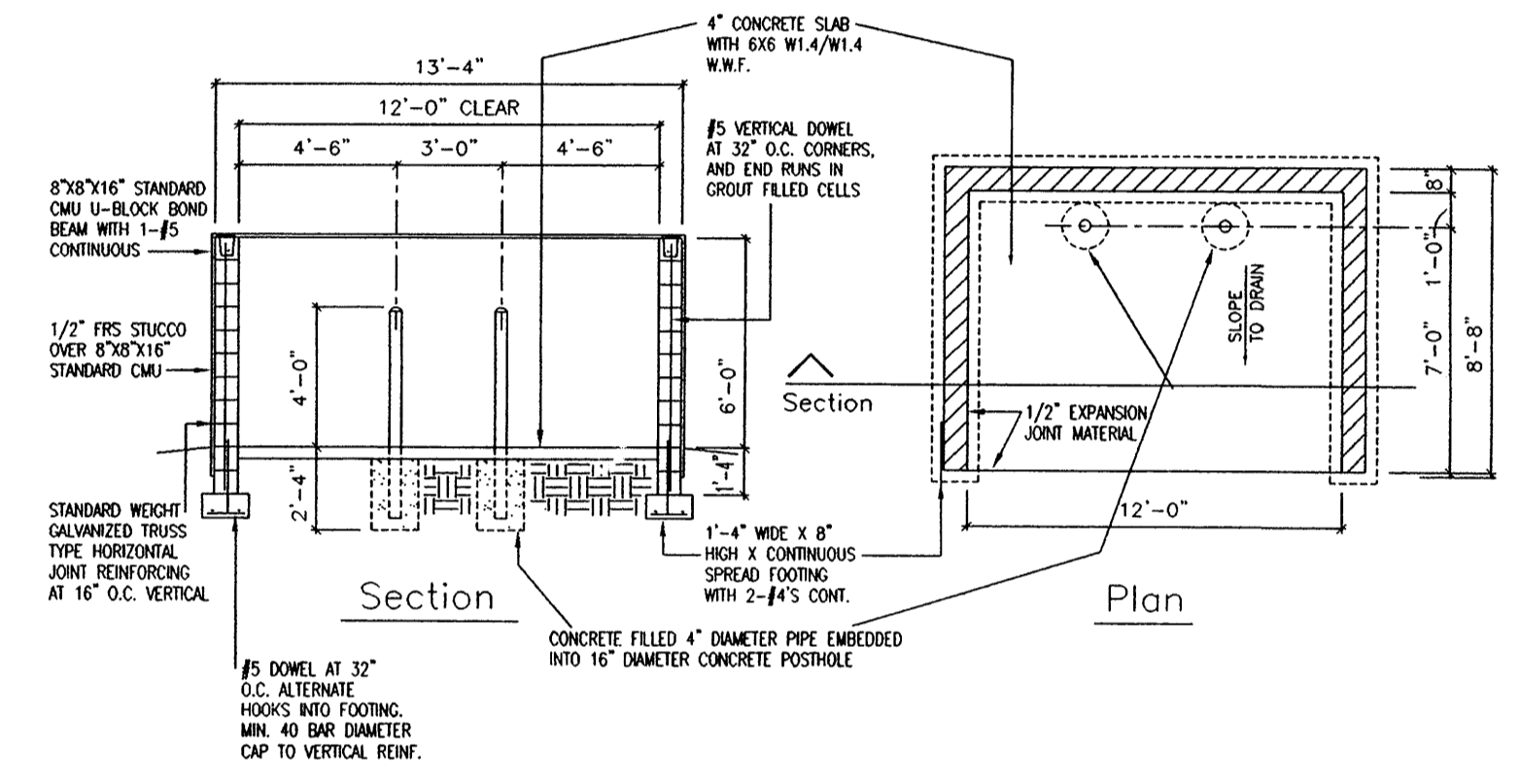
Parking, Regular: Required per COA Code: 15,758/200=79 Spaces (1 Space/200 S.F.)
Reduced 10 % per Albuquerque Transit System Route.
79 Spaces - 7 Spaces (10%) = 72 Spaces
Provided: 77 Spaces (Excess parking due to the requirement of
Public Hearings for the State of New Mexico.)

Parking, Handicap: Required by COA Code: 4 Spaces (with 51 to 100 req. prkng. spcs.)
Provided: 4 Spaces

Bicycle Racks: Required by COA Code: 4 Spaces (with 60 to 80 req. prkng. spcs.)
Provided: 4 Spaces

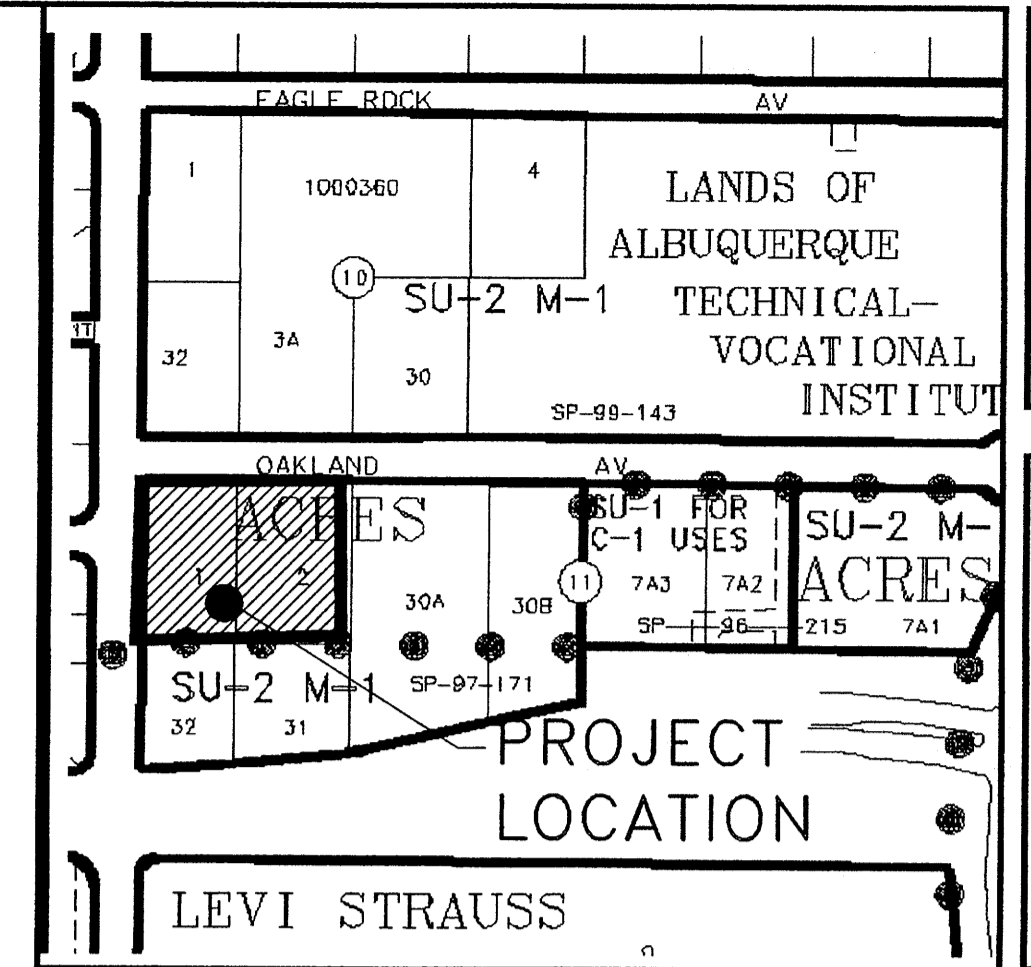
Phasing: There will be no phasing plan in this project.

Proposed building will comply with all applicable COA water conservation, landscaping,
and water waste ordinances.



Refuse Enclosure Details
SCALE: 3/16"=1'-0"

VICINITY MAP
SCALE: N.T.S.



JOB NO:	
DATE:	2 March 2004
REVISIONS:	

Sheet Title
**SITE DEVELOPMENT PLAN
for SUBDIVISION**
 Drawn By: R. RODRIGUEZ
 Checked By: T. OTT

PROJECT NUMBER: 1003262
Application Number: 04-00216 & 00215

This plan is consistent with the North I-25 Sector Development Plan approved by the City of Albuquerque, City Council, December 18, 1995.

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

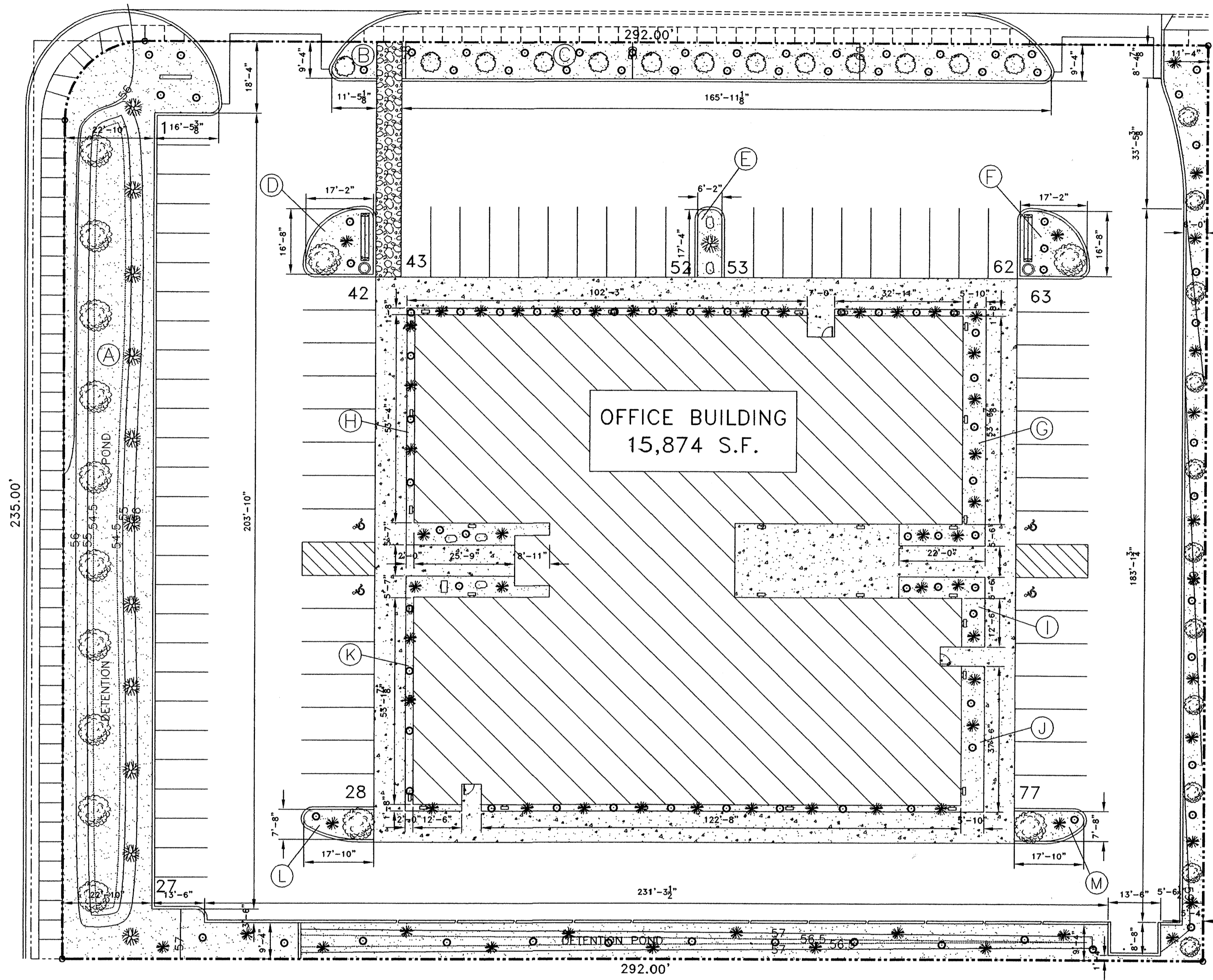
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

TIM OTT / DEVELOPER
 PO BOX 35981
 ALBUQUERQUE, N.M. 87176
 (505) 250-4675
MICHAEL DEL MASTRO / ARCHITECT
 7308 DELWOOD RD. NE / (505) 885-4929
 ALBUQUERQUE, NEW MEXICO 87110

Project Name
REGULATION & LICENSING DEPARTMENT
ALBUQUERQUE BUILDING
 ALBUQUERQUE, NEW MEXICO

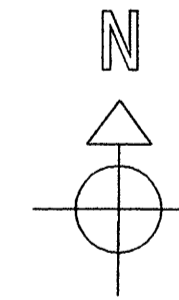
SHEET NO.
 SP

SAN MATEO BLVD



LANDSCAPE PLAN

Scale 1"=20'-0"



PLANTING LEGEND					
Common Name	Scientific Name	Size	Mature height and spread	Symbol	Water usage
Desert Willow (11)	Chilopsis Linearis	2" Caliper @ 6" above ground	20' tall 25' spread		Low
Pinon Pine (13)	Pinus Edulis	2" Caliper @ 6" above ground	20' tall 30' spread		Medium
Chinese Pistache (23)	Pistachia Chinensis	2" Caliper @ 6" above ground	60' tall 60' spread		Medium
"ARP" Upright Rosemary (74)	Rosmarinus Officinalis "ARP"	One gallon	6' tall 6' spread		Low
Autumn Sage (108)	Salvia Greggii	One gallon	36" tall 36" spread		Low
Big Sage (5)	Artemisia Tridentata	Two gallon	3'-7" tall 3'-5" spread		Low

OAKLAND

GENERAL LANDSCAPE DATA:

- TOTAL SITE AREA 70,500 S.F.
- TOTAL BUILDING AREA 15,758 S.F.
- NET LOT AREA 54,742 S.F.

LANDSCAPE REQUIREMENTS:

- NET LOT AREA 54,742 S.F.
- LANDSCAPE AREA REQUIRED
NET LOT AREA X 15 % 8,211 S.F.
- LANDSCAPE AREAS PROVIDED
 - AREA A 9,306 S.F.
 - AREA B 92 S.F.
 - AREA C 1,482 S.F.
 - AREA D 237 S.F.
 - AREA E 104 S.F.
 - AREA F 238 S.F.
 - AREA G 497 S.F.
 - AREA H 460 S.F.
 - AREA I 194 S.F.
 - AREA J 423 S.F.
 - AREA K 307 S.F.
 - AREA L 116 S.F.
 - AREA M 121 S.F.

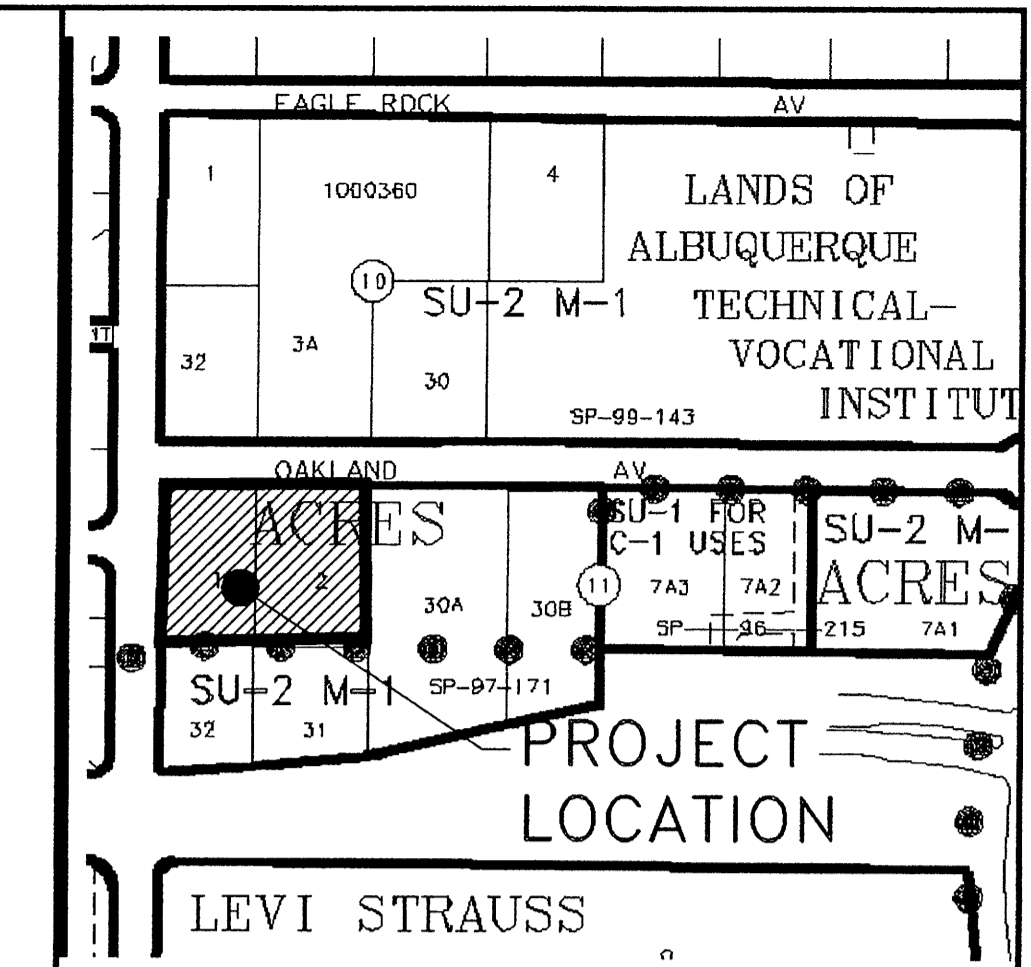
TOTAL LANDSCAPE AREA PROVIDED 13,577 S.F.

- IRRIGATION SYSTEM LAYOUT BY LANDSCAPE CONTRACTOR
LOW FLOW DRIP SYSTEM
BUBBLER SYSTEM

GENERAL NOTES:

- ALL LANDSCAPING WILL BE COMPLETED WITHIN 60 DAYS OF BUILDING OCCUPANCY.
- THE LANDSCAPE CONTRACTOR SHALL DESIGN AND CONSTRUCT ANY IRRIGATION SYSTEM WHICH SHALL INCLUDE SPRINKERS, PIPING, CONTROLS, EQUIPMENT AND LABOR NECESSARY FOR A COMPLETE SYSTEM. SYSTEM SHALL INCLUDE AUTOMATIC VALVES AND TIMER.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR TO FIELD VERIFY THE EXACT LOCATIONS OF ALL ON-SITE UTILITIES, TREES AND SHRUBS SHALL BE PLANTED NO LESS THAN 3 FEET FROM UTILITY LINES.
- MAINTENANCE OF LANDSCAPING AND IRRIGATION SYSTEM TO BE THE RESPONSIBILITY OF THE OWNER.
- 3/4" CRUSHER GRAY GRAVEL WITH FILTER FABRIC.
- WASTE WATER WILL BE USED IN PONDING AREAS TO IRRIGATE LANDSCAPING IN THOSE AREAS.
- IRRIGATION SYSTEMS SHALL BE DESIGNED TO COMPLY WITH THE PROVISIONS OF THE ALBUQUERQUE WATER WASTE ORDINANCE.

VICINITY MAP
SCALE: N.T.S.



JOB NO:	
DATE:	2 March 2004
REVISIONS	

Sheet Title
LANDSCAPE PLAN
Drawn By: R. RODRIGUEZ
Checked By: T. OTT

TIM OTT / DEVELOPER
P.O. BOX 35981
ALBUQUERQUE, N.M. 87176
(505) 250-4675

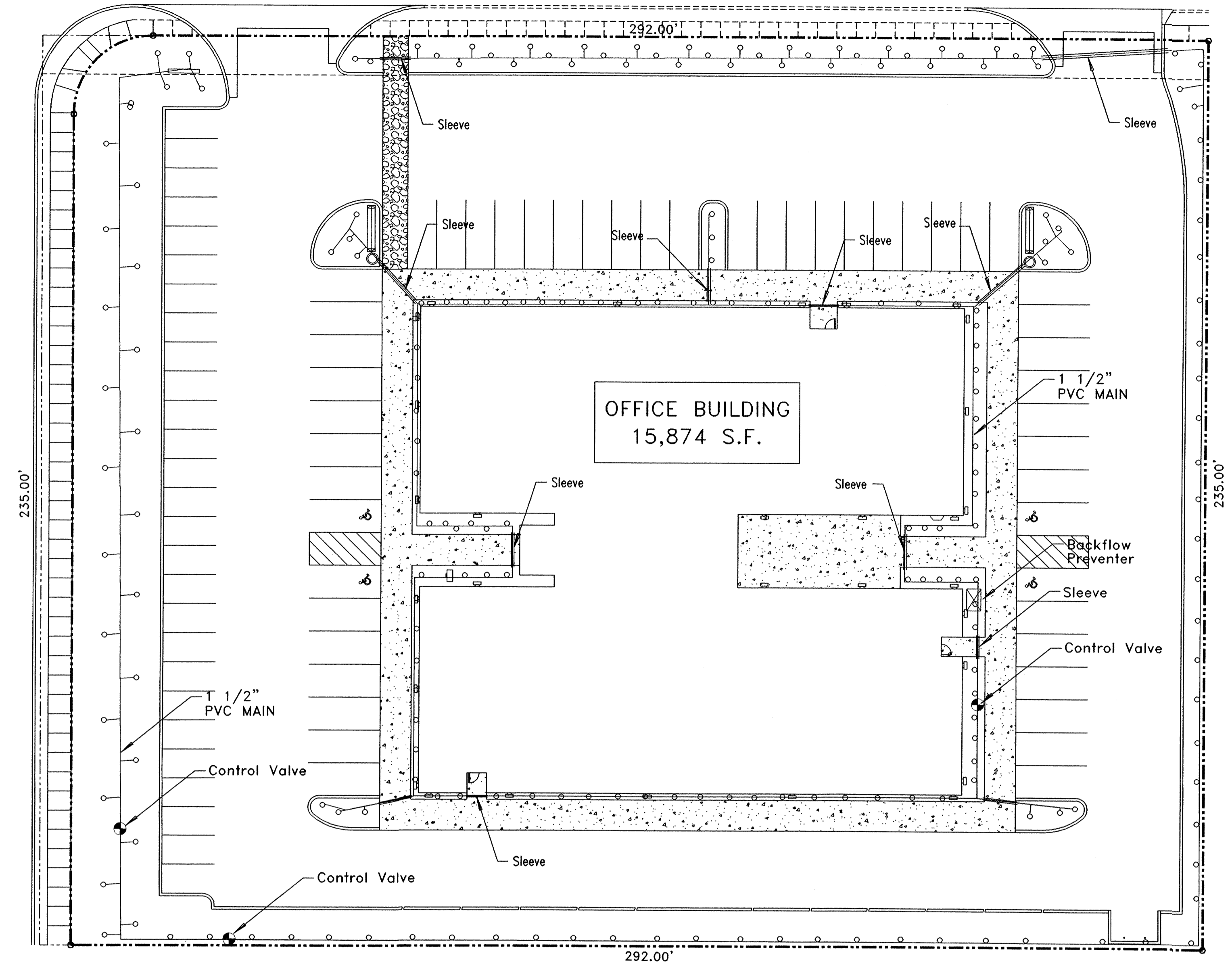
MICHAEL DEL MASTRO / ARCHITECT
7308 DELWOOD RD. NE / (505) 883-4929
ALBUQUERQUE, NEW MEXICO 87110

Project Name
**REGULATION & LICENSING DEPARTMENT
ALBUQUERQUE BUILDING**
ALBUQUERQUE, NEW MEXICO

SHEET NO.
L-1

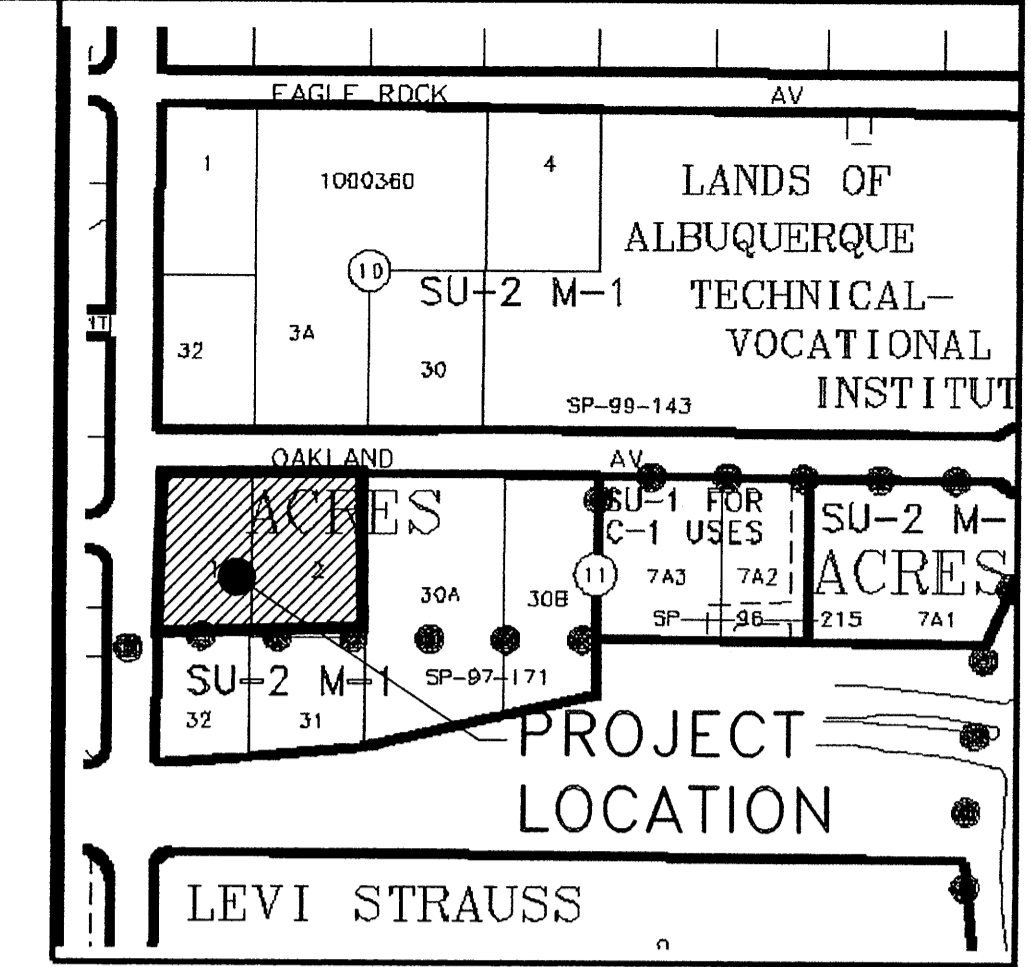
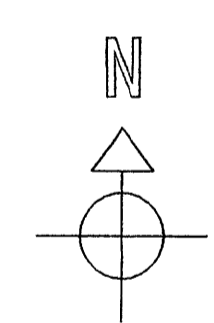
SAN MATEO BLVD

OAKLAND

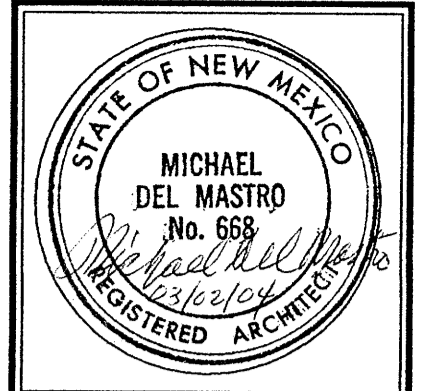


IRRIGATION PLAN

Scale 1"=20'-0"



VICINITY MAP
SCALE: N.T.S.



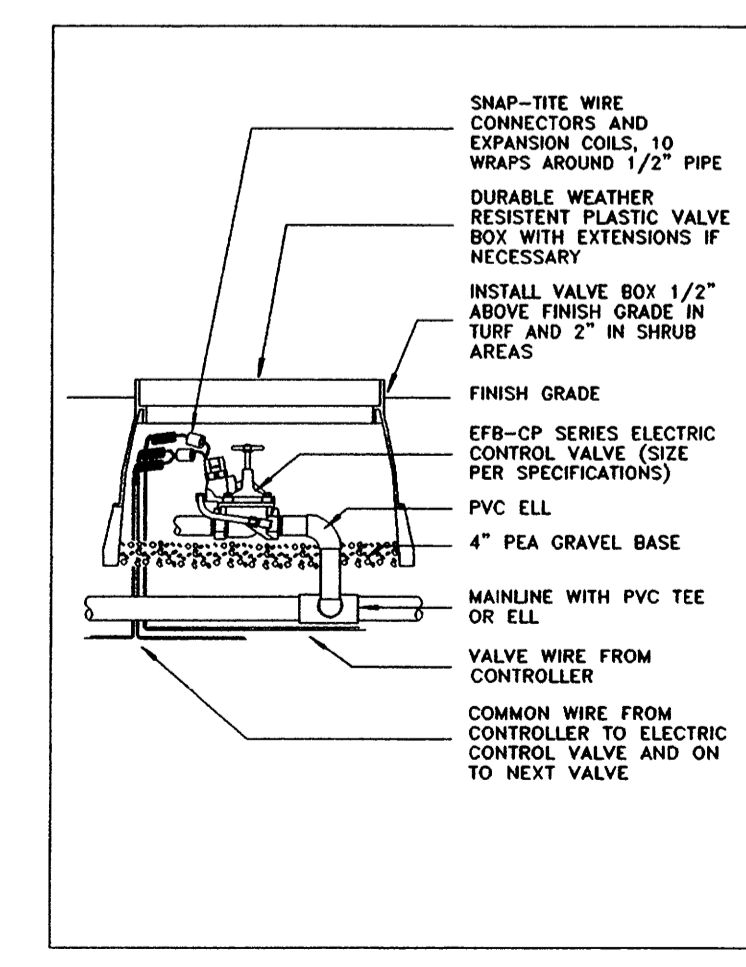
JOB NO: _____
DATE: 16 February 2004
REVISIONS

LEGEND

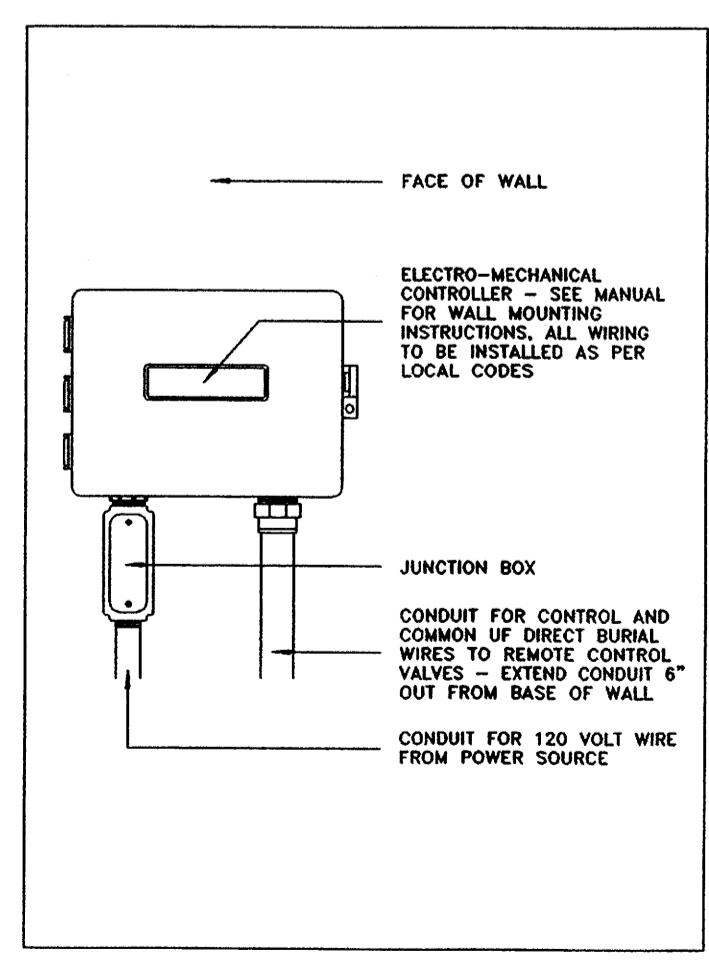
- Rainbird 1 1/2" PEB Series Control Valve
- Drip Emitter, Approximate Location
- ⊠ 1 1/2" Reduced Pressure Assembly in Hot Box
- ▽ Rainbird Controller Wall Mount

GENERAL NOTES

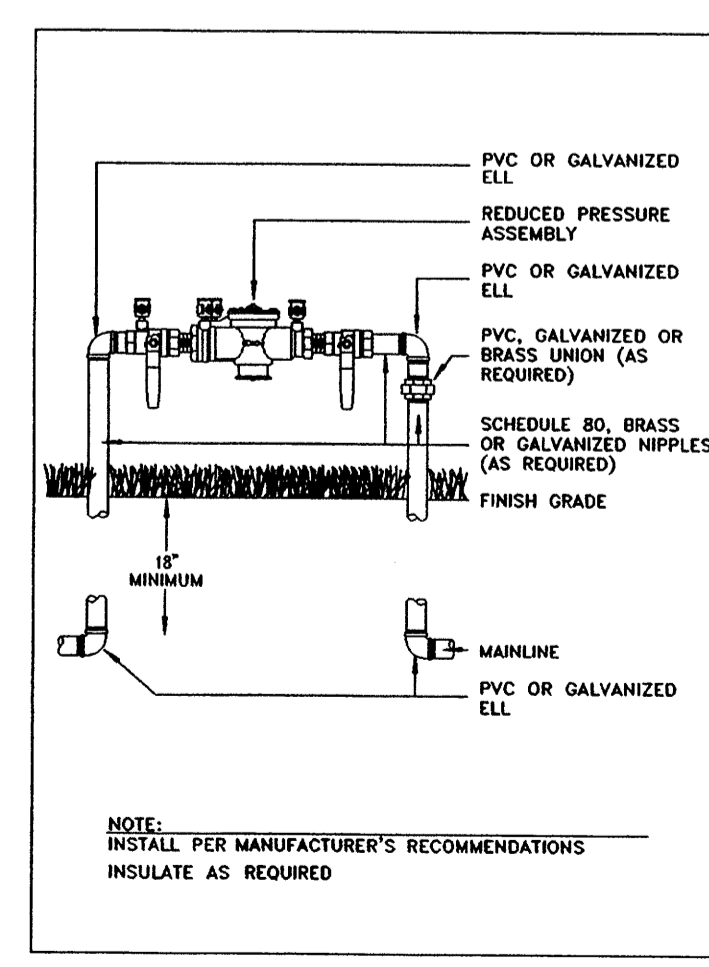
- A The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction.
- B Locate all emitters away from low spots or areas of drainage flow.
- C 24V Electric control wire (#14C) and Common Ground (#12C) shall be direct burial, color coded, and all splices/connections shall be waterproofed. Provide expansion coils at all valves and 200' on center Maximum.
- D All pipe/wiring running beneath paved surfaces (drives, walks, etc.) shall be installed in Class 160 PVC sleeves. Sleeves shall be sized so that the inside diameter of the sleeve is 1" greater than the combined outer diameter of all items installed in the sleeve.
- E The contractor shall fine tune and adjust the irrigation system so that no water will run onto the street, walks or hit any buildings, walls, etc. This shall include adjusting all emitters.



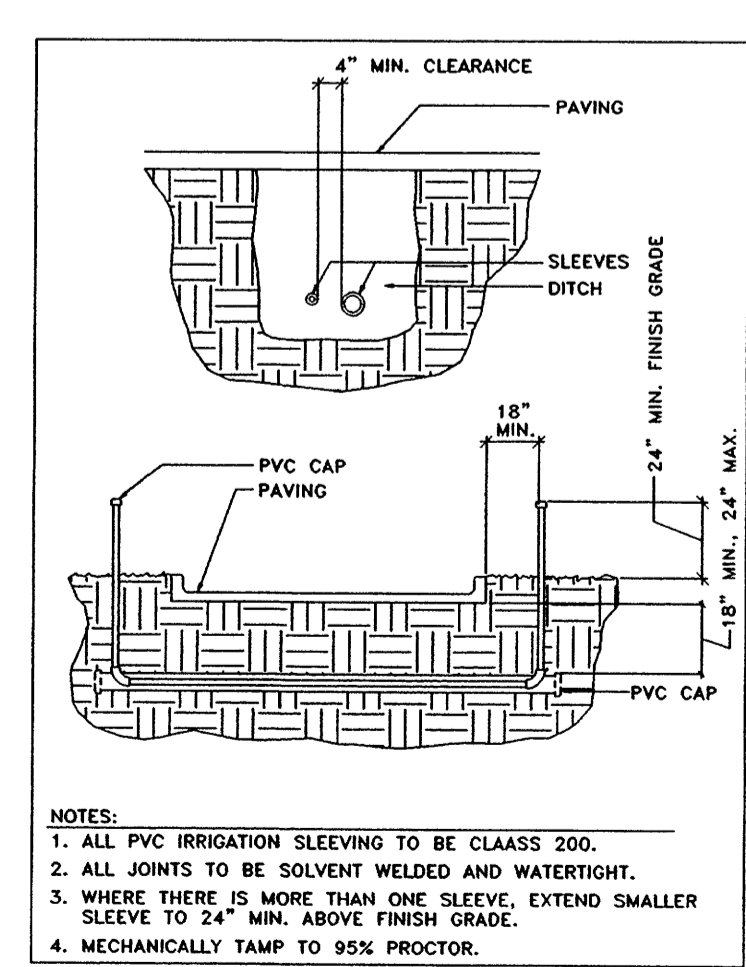
EFB-CP CONTROL VALVE



CONTROLLER - WALL MOUNT



REDUCED PRESSURE ASSEMBLY



IRRIGATION SLEEVING

Sheet Title
IRRIGATION PLAN
Drawn By: R. RODRIGUEZ
Checked By: T. OTT

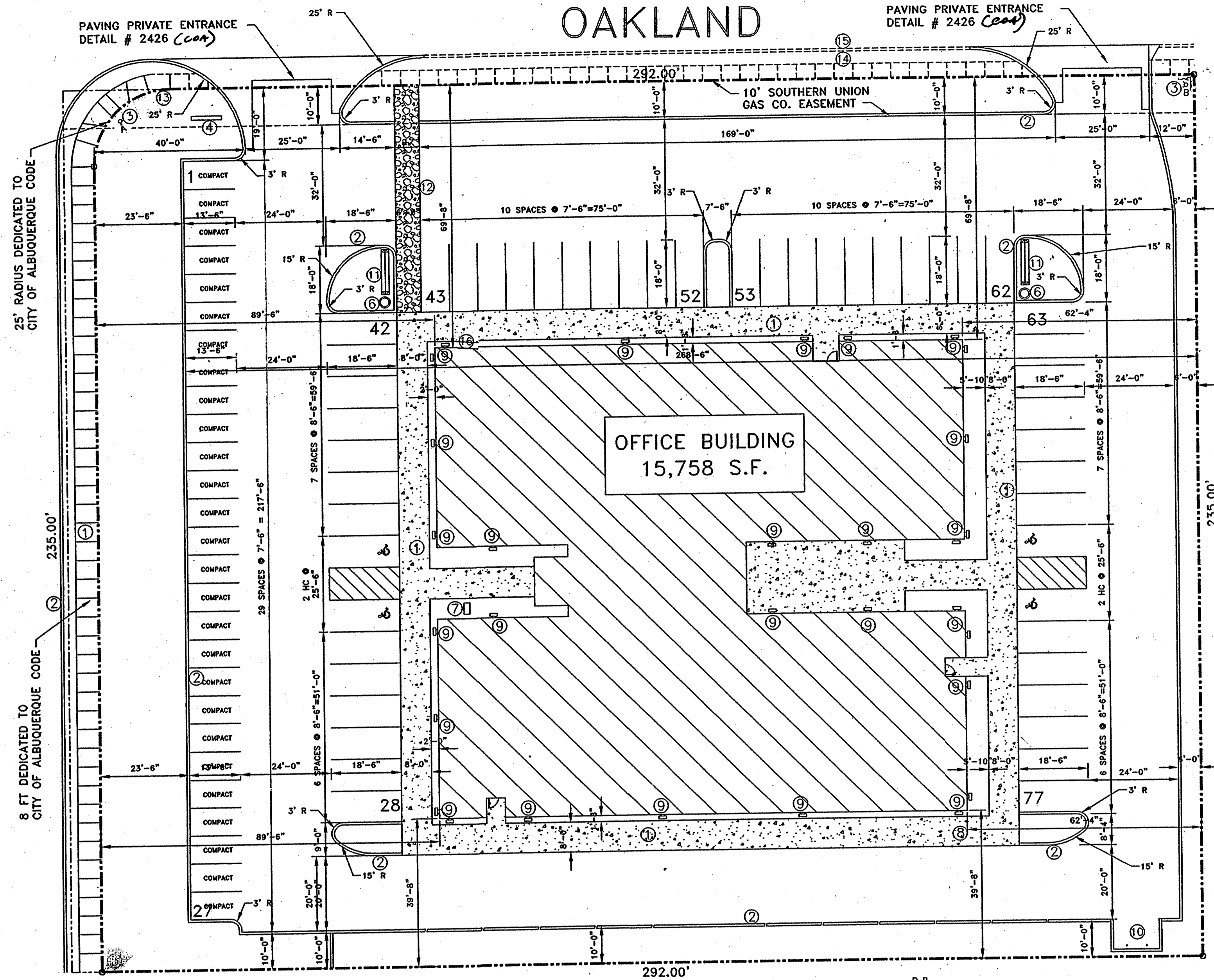
TIM OTT / DEVELOPER
PO BOX 35981
ALBUQUERQUE, N.M. 87176
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
7308 DELWOOD RD. NE / (505) 883-4929
ALBUQUERQUE, NEW MEXICO 87110

Project Name
**REGULATION & LICENSING DEPARTMENT
ALBUQUERQUE BUILDING**
ALBUQUERQUE, NEW MEXICO

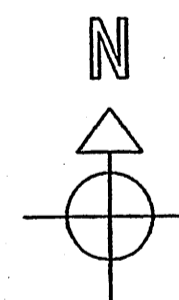
SHEET NO.
L-2

SAN MATEO BLVD



SITE DEVELOPMENT PLAN
for SUBDIVISION

Scale 1"=20'-0"



KEYED NOTES:

- 1 NEW 6 FT. OR 8 FT. SIDEWALK, PER DRAWING
- 2 NEW CONCRETE CURB/GUTTER
A - FIRE HYDRANT IN APPROXIMATELY 425 FT.
B - FIRE HYDRANT IN APPROXIMATELY 400 FT.
- 3 EXISTING FIRE HYDRANT
- 4 AGENCY SIGNS, DETAIL TO BE SUBMITTED TO CITY FOR APPROVAL
- 5 6 FT. HIGH SECURITY FENCE
- 6 SMOKING AREA WITH DISPOSAL CONTAINER
- 7 DROP BOX
- 8 4 FT. GATE WITH CYPHER LOCK
- 9 BUILDING LIGHTING IAW CITY OF ALBUQUERQUE (COA) CODE:
70 WATT METAL HALIDE WALL PACKS, 45° DOWN-ANGLE SHIELD,
MOUNTED 14 FEET ABOVE GROUND WITH NO GREATER THAN 1,000
FOOTLAMBERTS AT PROPERTY LINE AND NO GREATER THAN 200
FOOTLAMBERTS FROM RESIDENTIAL AREAS
- 10 REFUSE ENCLOSURE PER COA CODE
- 11 FOUR (4) SPACE BICYCLE RACK PER COA CODE
- 12 ADA PEDESTRIAN ACCESS
- 13 PROPOSED 6 FT. SIDEWALK TO MATCH EXISTING RIGHT-OF WAY SIDEWALK
- 14 EXISTING 4' SIDEWALK
- 15 EXISTING CURB & GUTTER
- 16 12" ADDRESS NUMBERS PLACED ON PARAPET PER C.O.A. CODE.

GENERAL NOTES:

LEGAL DESCRIPTION: LOTS 1 & 2, BLOCK 11
NORTH ALBUQUERQUE ACRES
CITY OF ALBUQUERQUE, NEW MEXICO
COUNTY OF BERNALILLO

PROPOSED USE: OFFICE BUILDING
SINGLE STORY, NO GREATER THAN 20 FT. IN HEIGHT, FAR = 23%

CURRENT ZONING: SU-2 FOR M-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE
PROPERTY BOUNDARY LINES.

Parking, Regular: Required per COA Code: 15,758/200=79 Spaces (1 Space/200 S.F.)
Reduced 10 % per Albuquerque Transit System Route.
79 Spaces - 7 Spaces (10%) = 72 Spaces
Provided: 77 Spaces (Excess parking due to the requirement of
Public Hearings for the State of New Mexico.)

Parking, Handicap: Required by COA Code: 4 Spaces (with 51 to 100 req. prkng. spcs.)
Provided: 4 Spaces

Bicycle Racks: Required by COA Code: 4 Spaces (with 60 to 80 req. prkng. spcs.)
Provided: 4 Spaces

Phasing: There will be no phasing plan in this project.

Proposed building will comply with all applicable COA water conservation, landscaping,
and water waste ordinances.

PROJECT NUMBER: 1003262
Application Number: 04-00216 & 00215

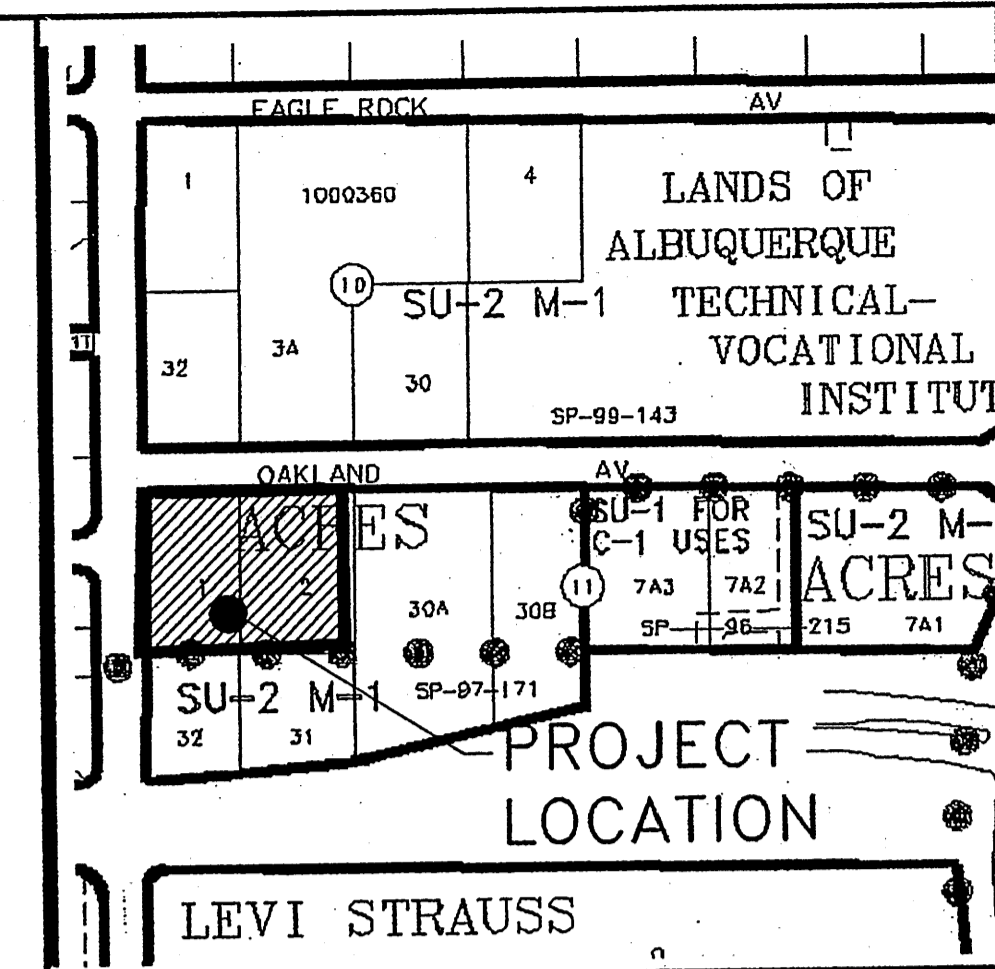
This plan is consistent with the North I-25 Sector Development Plan approved by
the City of Albuquerque, City Council, December 18, 1995.

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved
DRC plans with a work order is required for any construction within Public
Right-of-Way or for construction of public improvements.

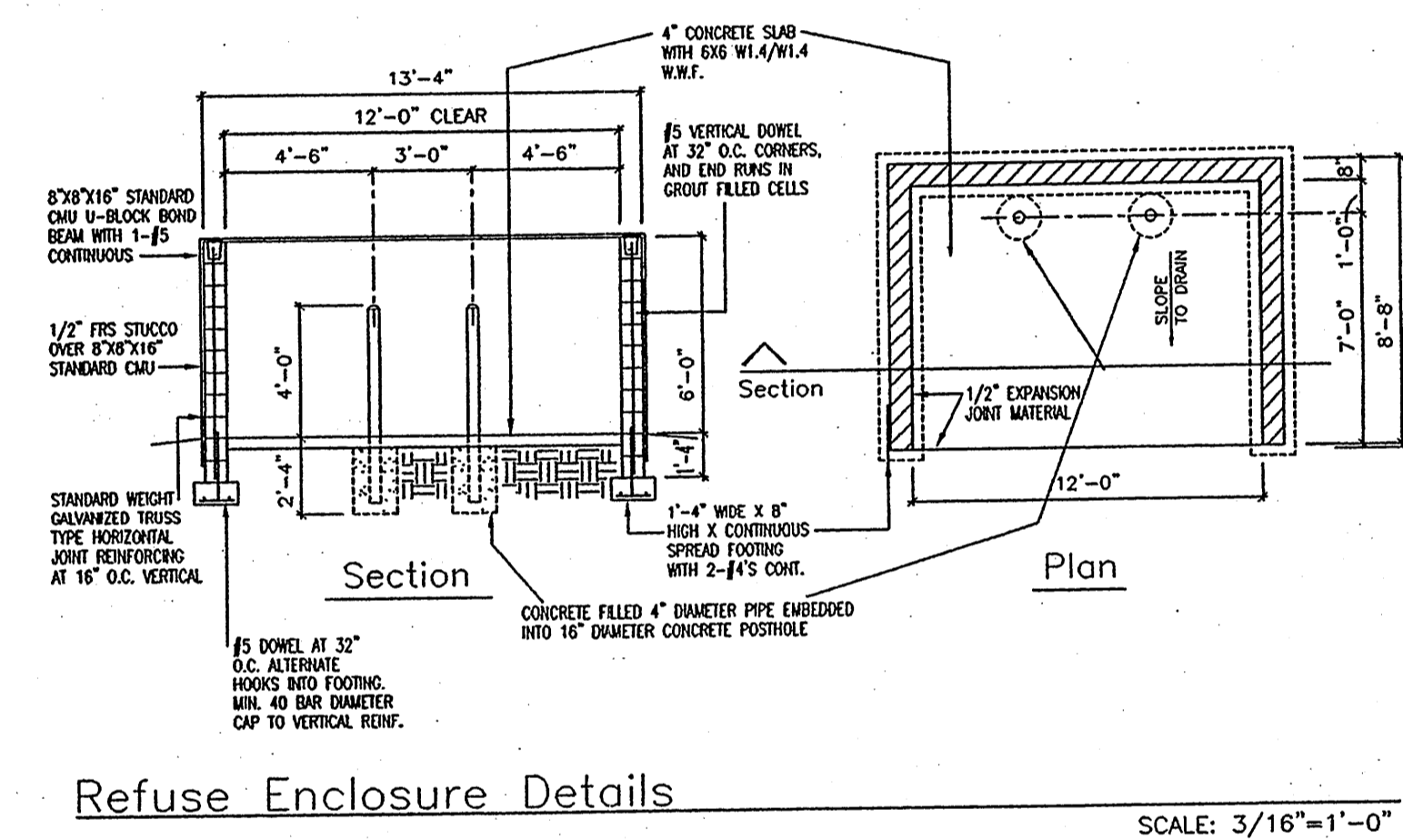
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	3-3-04 Date
<i>[Signature]</i> Utilities Development	3-3-04 Date
<i>[Signature]</i> Parks and Recreation Department	3/3/04 Date
<i>[Signature]</i> City Engineer	3/3/04 Date
NA Environmental Health Department	Date
NA Solid Waste Management	Date
<i>[Signature]</i> DRB Chairperson, Planning Department	3/3/04 Date

ALBUQUERQUE
BUILDING & SAFETY
MAY 17 2004
U.S.C
PLAN CHECK SECTION



VICINITY MAP
SCALE: N.T.S.



Refuse Enclosure Details
SCALE: 3/16"=1'-0"



JOB NO:	
DATE:	2 March 2004
REVISIONS	

Sheet Title
SITE DEVELOPMENT PLAN
for SUBDIVISION
Checked By: T. OTT
Drawn By: R. RODRIGUEZ

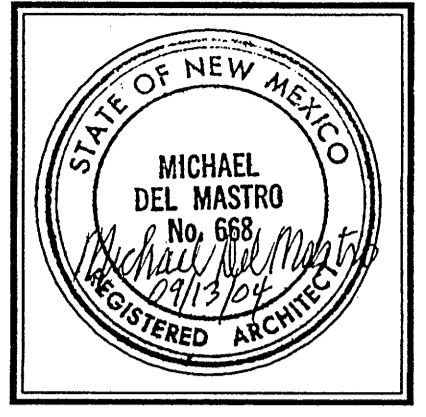
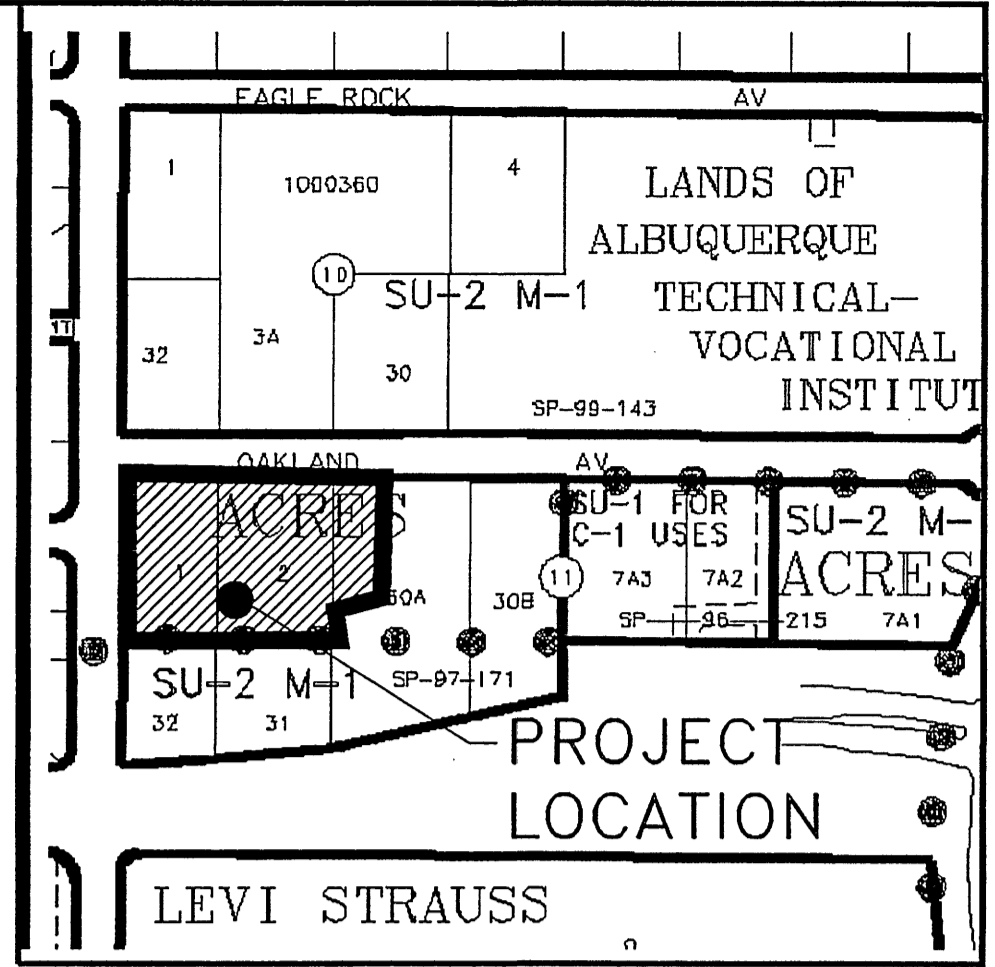
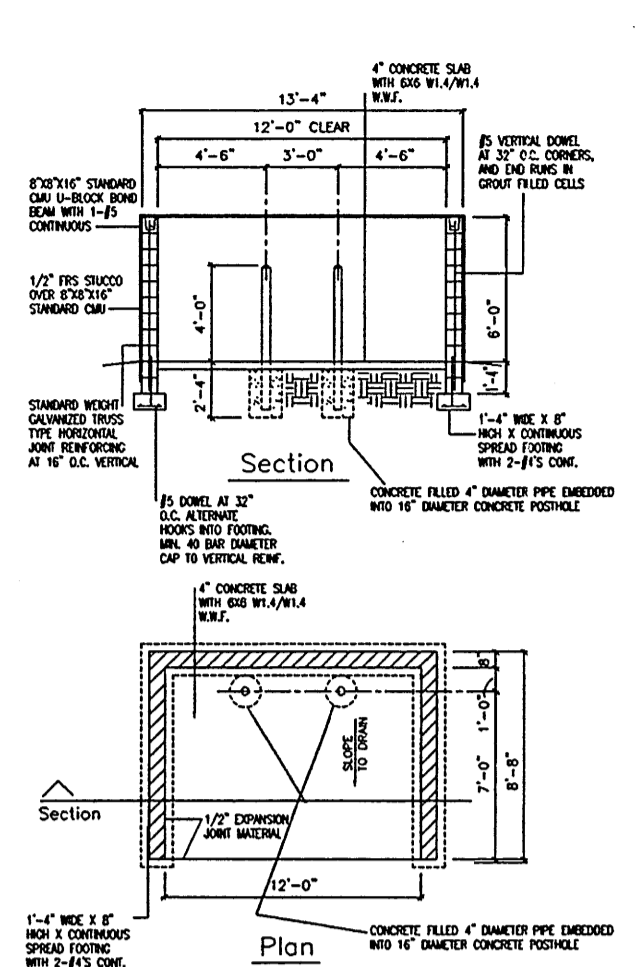
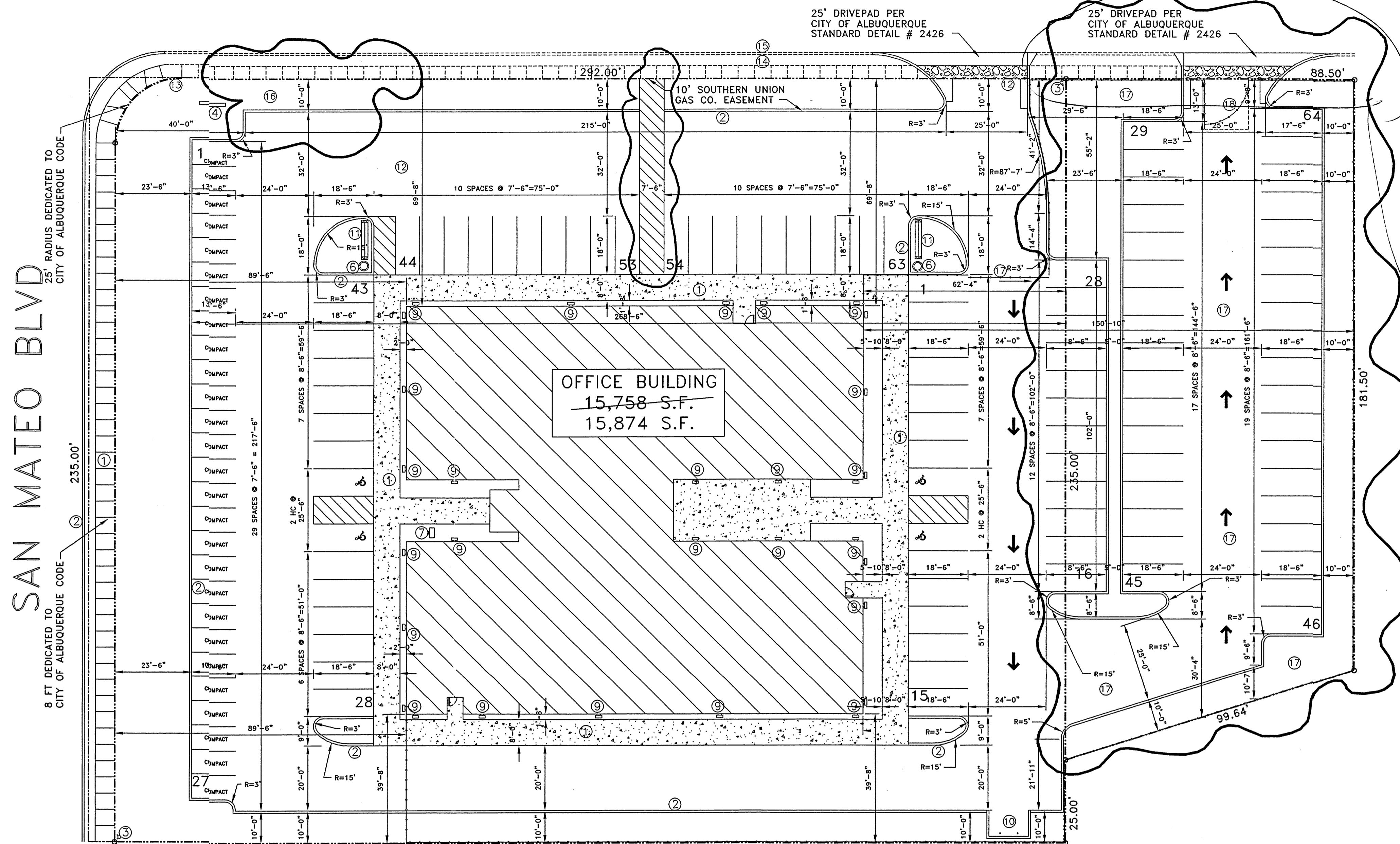
TIM OTT / DEVELOPER
PO BOX 35981
ALBUQUERQUE, N.M. 87176
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
7308 DELWOOD RD. NE / (505) 883-4929
ALBUQUERQUE, NEW MEXICO 87110

REGULATION & LICENSING DEPARTMENT
ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO

SHEET NO.
SP

OAKLAND



JOB NO:	
DATE:	8 July 2004
REVISIONS:	
9/30	Revised Site Plan

8 FT DEDICATED TO CITY OF ALBUQUERQUE CODE
 235.00'
 25' RADIUS DEDICATED TO CITY OF ALBUQUERQUE CODE

SITE PLAN

Scale 1"=20'-0"

KEYED NOTES:

- ① NEW 6 FT. OR 8 FT. SIDEWALK, PER DRAWING
- ② NEW CONCRETE CURB/GUTTER
- ③ EXISTING FIRE HYDRANT'S A - FIRE HYDRANT IN APPROXIMATELY 425 FT. B - FIRE HYDRANT IN APPROXIMATELY 400 FT.
- ④ AGENCY SIGNS SHALL BE SUBMITTED UNDER SEPARATE PERMIT.
- ⑤ 6 FT. HIGH SECURITY FENCE
- ⑥ SMOKING AREA WITH DISPOSAL CONTAINER
- ⑦ DROP BOX
- ⑧ 4 FT. GATE WITH CYBER LOCK
- ⑨ BUILDING LIGHTING IAW CITY OF ALBUQUERQUE (COA) CODE:
70 WATT METAL HALIDE WALL PACKS, 45° DOWN-ANGLE SHIELD, MOUNTED 14 FEET ABOVE GROUND WITH NO GREATER THAN 1,000 FOOTLAMBERTS AT PROPERTY LINE AND NO GREATER THAN 200 FOOTLAMBERTS FROM RESIDENTIAL AREAS
- ⑩ REFUSE CONTAINER AND ENCLOSURE PER COA CODE
- ⑪ FOUR (4) SPACE BICYCLE RACK PER COA CODE
- ⑫ ADA PEDESTRIAN ACCESS
- ⑬ PROPOSED 6 FT. SIDEWALK TO MATCH EXISTING RIGHT-OF WAY SIDEWALK
- ⑭ EXISTING 4' SIDEWALK
- ⑮ EXISTING CURB & GUTTER
- ⑯ 12" ADDRESS NUMBERS PLACED ON PARAPET PER C.O.A. CODE.
- ⑰ 16' ROLLING GATE OPENING TO EAST.
- ⑱ 14' SWING GATE OPENING INWARD TO WEST.

GENERAL NOTES:

LEGAL DESCRIPTION: LOTS 1 & 2, BLOCK 11 AND PART OF LOT 30A NORTH ALBUQUERQUE ACRES CITY OF ALBUQUERQUE, NEW MEXICO COUNTY OF BERNALILLO

PROPOSED USE: OFFICE BUILDING SINGLE STORY, NO GREATER THAN 20 FT. IN HEIGHT, FAR = 23%

CURRENT ZONING: SU-2 FOR M-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

Parking, Regular: Required per COA Code: 15,758/200=79 Spaces (1 Space/200 S.F.) 15,874/200=80 Spaces (1 Space/200 S.F.) Reduced 10% per Albuquerque Transit System Route. 79 Spaces - 7 SPACES (10%) = 72 Spaces
 Provided: 77 Spaces (Excess parking due to the requirement of Public Hearings for the State of New Mexico)

Parking, Handicap: Required by COA Code: 4 Spaces (with 51 to 100 req. prkng. spcs.)
 Provided: 4 Spaces

Bicycle Racks: Required by COA Code: 4 Spaces (with 60 to 80 req. prkng. spcs.)
 Provided: 4 Spaces

Phasing: There will be no phasing plan in this project.

Proposed building will comply with all applicable COA water conservation, landscaping, and water waste ordinances.
 Parking calculations are based on West and East Lot's.

PROJECT NUMBER: 1003262
 Application Number: 04-00216 & 00215

This plan is consistent with the North I-25 Sector Development Plan approved by the City of Albuquerque, City Council, December 18, 1995.

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	3-3-04 Date
<i>[Signature]</i> Utilities Development	3-3-04 Date
<i>[Signature]</i> Parks and Recreation Department	3/3/04 Date
<i>[Signature]</i> City Engineer	3/3/04 Date
NA Environmental Health Department	Date
NA Solid Waste Management	Date
<i>[Signature]</i> DRB Chairperson, Planning Department	3/3/04 Date

AMENDED DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

_____	Date
_____	Date
_____	Date
_____	Date
_____	Date
_____	Date

#5 Steven
Perimeter fence design not permitted required

Sheet Title
**AMENDED
 SITE PLAN**
 Drawn By: R. RODRIGUEZ
 Checked By: T. OTT

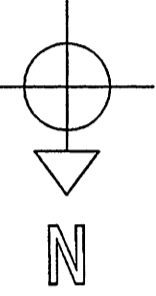
TIM OTT / DEVELOPER
 PO BOX 35981
 ALBUQUERQUE, N.M. 87176
 (505) 250-4675
 MICHAEL DEL MASTRO / ARCHITECT
 7308 DELWOOD RD. NE / (505) 883-4929
 ALBUQUERQUE, NEW MEXICO 87110

Project Name
**REGULATION & LICENSING DEPARTMENT
 ALBUQUERQUE BUILDING**
 ALBUQUERQUE, NEW MEXICO

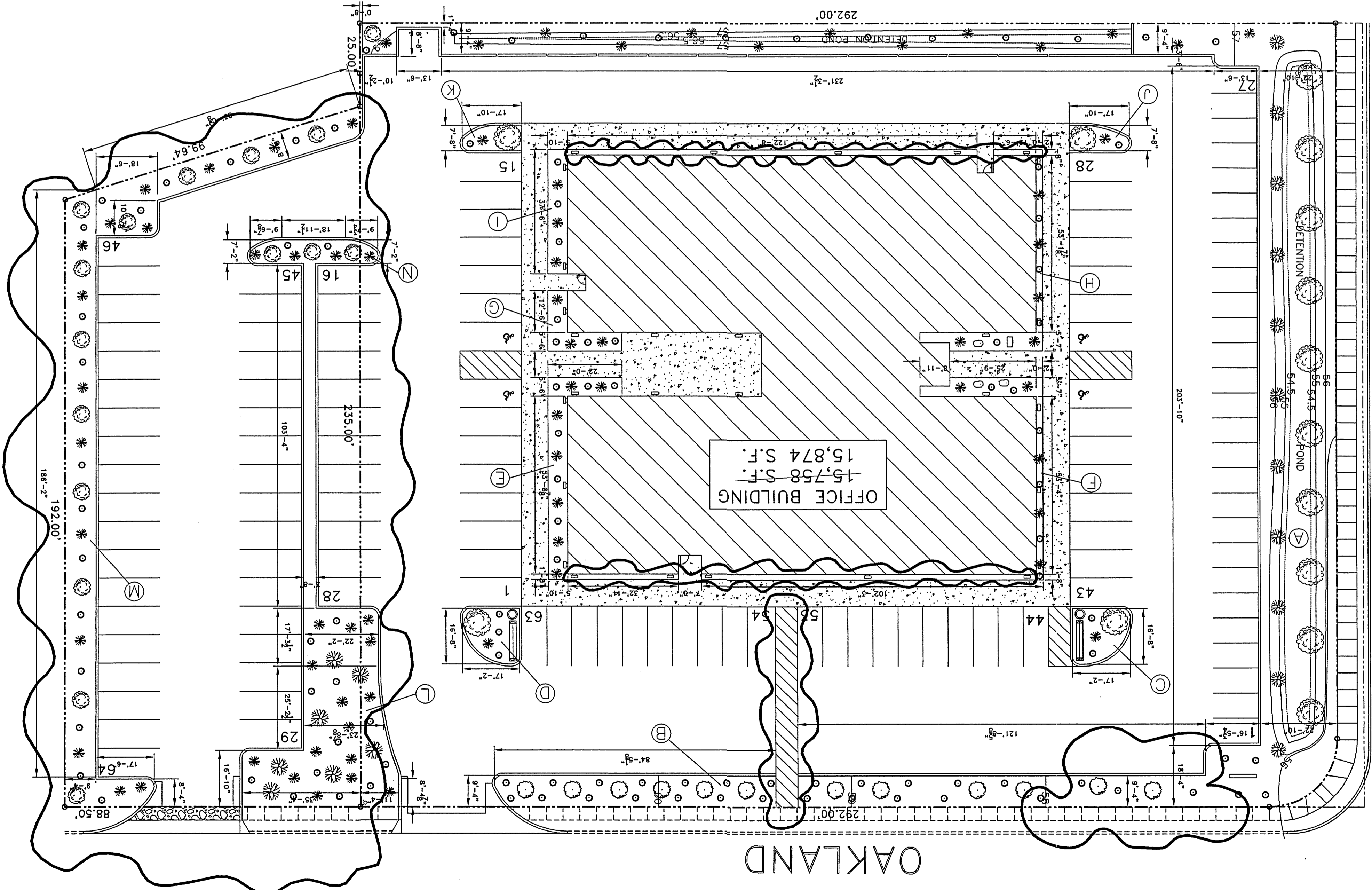
SHEET NO.
SP

SAN MATEO BLVD

Common Name	Scientific Name	Size	Mature height and spread	Symbol	Water usage
Desert Willow	<i>Chiospis linearis</i> (18)	2' caliper @ 20' tall	6' above ground 25' spread		Low
Pinon Pine	<i>Pinus Edulis</i> (12)	2' caliper @ 20' tall	6' above ground 30' spread		Medium
Chinese Platane	<i>Platanus chinensis</i> (31)	2' caliper @ 60' tall	6' above ground 60' spread		Medium
Yucca upright Rosemary	<i>Ruscus aculeatus</i> 'Yucca' (12)	6' tall	6' spread		Low
Autumn Sage	<i>Salvia Greggii</i> (105)	One gallon	36" tall 36" spread		Low
Big Sage	<i>Artemisia tridentata</i> (3)	Two gallon	3'-7" tall 3'-5" spread		Low



LANDSCAPE PLAN
Scale 1" = 20'-0"



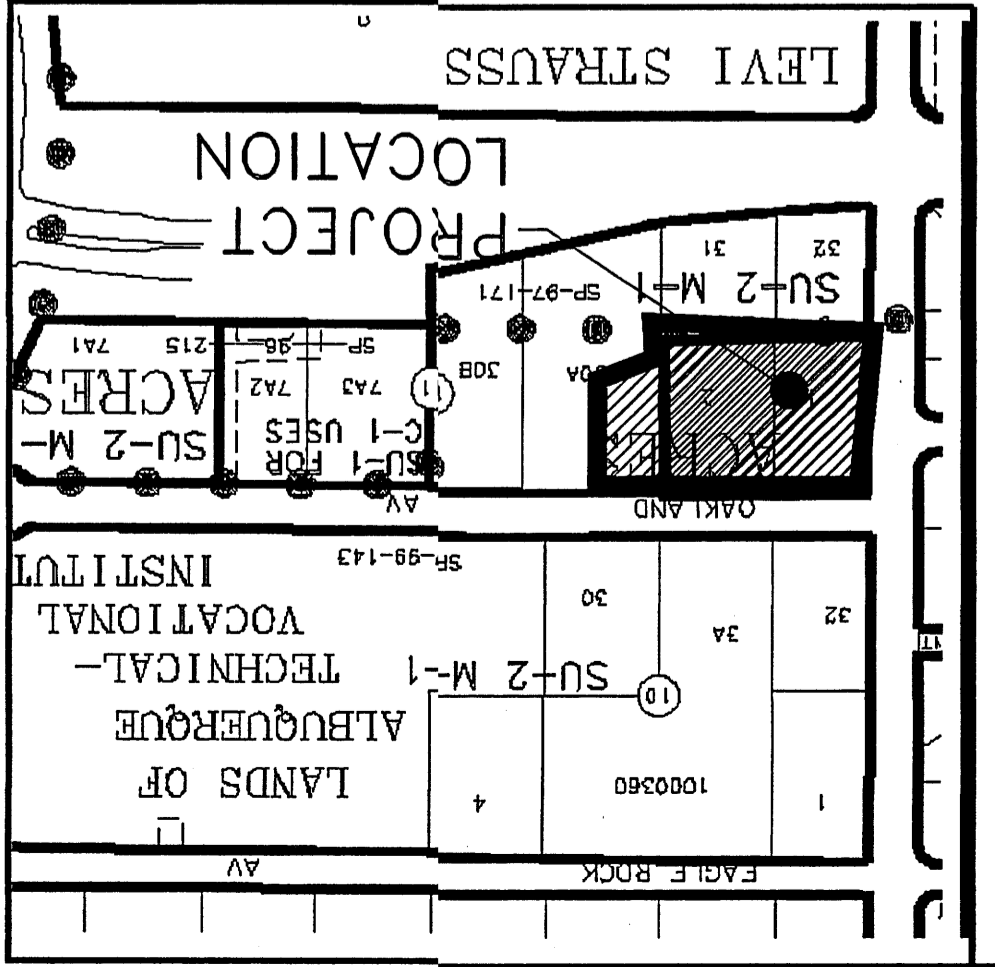
- GENERAL NOTES:**
1. ALL LANDSCAPING WILL BE COMPLETED WITHIN 60 DAYS OF BUILDING OCCUPANCY.
 2. THE LANDSCAPE CONTRACTOR SHALL DESIGN AND CONSTRUCT ANY IRRIGATION SYSTEM WHICH SHALL INCLUDE SPRINKLERS, PIPING, CONTROLS, EQUIPMENT AND LABOR NECESSARY FOR A COMPLETE SYSTEM. SYSTEM SHALL INCLUDE AUTOMATIC VALVES AND TIMER.
 3. THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR TO FIELD VERIFY THE EXACT LOCATIONS OF ALL ON-SITE UTILITIES, TREES AND SHAUBS SHALL BE PLANTED NO LESS THAN 3 FEET FROM UTILITY LINES. MAINTENANCE OF LANDSCAPING AND IRRIGATION SYSTEM TO BE THE RESPONSIBILITY OF THE OWNER.
 4. 3/4" CRUSHER GRAY GRAVEL WITH FILTER FABRIC. WASTE WATER WILL BE USED IN PONDING AREAS TO IRRIGATE LANDSCAPING IN THOSE AREAS.
 6. IRRIGATION SYSTEMS SHALL BE DESIGNED TO COMPLY WITH ORDINANCE.

4. IRRIGATION SYSTEM LAYOUT BY LANDSCAPE CONTRACTOR
- LOW FLOW DRIP SYSTEM
- BUBBLER SYSTEM

TOTAL LANDSCAPE AREA PROVIDED	46,537 S.F.
AREA N	245 S.F.
AREA M	2,711 S.F.
ADDITIONAL LANDSCAPING AREAS PROVIDED	1,747 S.F.
AREA K	121 S.F.
AREA J	307 S.F.
AREA I	116 S.F.
AREA H	125 S.F.
AREA G	219 S.F.
AREA F	194 S.F.
AREA E	197 S.F.
AREA D	293 S.F.
AREA C	257 S.F.
AREA B	284 S.F.
AREA A	237 S.F.
LANDSCAPE AREAS PROVIDED	1,482 S.F.
NET LOT AREA X 15 %	8175 S.F.
LANDSCAPE AREA REQUIRED	10,928 S.F.
NET LOT AREA	54,742 S.F.
LANDSCAPE REQUIREMENTS:	
3. NET LOT AREA	72,852 S.F.
2. TOTAL BUILDING AREA	15,874 S.F.
1. TOTAL SITE AREA	15,758 S.F.
GENERAL LANDSCAPE DATA:	
1. TOTAL SITE AREA	70,500 S.F.
2. TOTAL BUILDING AREA	88,726 S.F.
3. NET LOT AREA	54,742 S.F.

GENERAL LANDSCAPE DATA:
 1. TOTAL SITE AREA 70,500 S.F.
 2. TOTAL BUILDING AREA 15,758 S.F.
 3. NET LOT AREA 54,742 S.F.
 LANDSCAPE REQUIREMENTS:
 1. NET LOT AREA 54,742 S.F.
 2. LANDSCAPE AREA REQUIRED 10,928 S.F.
 3. NET LOT AREA X 15 % 8175 S.F.

VICINITY MAP
SCALE: N.T.S.



SHEET NO. 1-1

Project Name
**REGULATION & LICENSING DEPARTMENT
 ALBUQUERQUE BUILDING
 ALBUQUERQUE, NEW MEXICO**

TIM OTT / DEVELOPER
 PO BOX 35981
 ALBUQUERQUE, N.M. 87176
 (505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
 7300 DELWOOD RD. NE / (505) 883-4939
 ALBUQUERQUE, NEW MEXICO 87110

Sheet Title
LANDSCAPE PLAN
 Drawn By: R. RODRIGUEZ
 Checked By: T. OTT

JOB NO.	DATE:	REVISIONS
	3 September 2004	



VICINITY MAP



C-18-Z



PLAT OF

LOT 2-A
(BEING A REPLAT OF LOTS 1 & 2)
BLOCK 11, TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES

PROJECTED SECTION 13
TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
LA MERCED DE ELENA GALLEGOS GRANT

CITY OF ALBUQUERQUE
BERNALILLO COUNTY
NEW MEXICO

FEBRUARY 2004
SHEET 1 OF 2

DISCLOSURE STATEMENT

The purpose of this plat is to combine two (2) lots into one (1) lot and to dedicate right of way as described herein.

PRELIMINARY PLAT
APPROVED BY LDC
ON 8/3/04

LEGAL DESCRIPTION

A parcel of land being identified as Lots Numbered One (1) and Two (2) in Block numbered Eleven (11) of Tract A of Unit B of NORTH ALBUQUERQUE ACRES, as shown on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936 in Volume D, Folio 130. Together with adjoining portions of San Mateo Blvd. N.E. and Oakland Ave. N.E. that may be inclusive of said Lots One (1) and Two (2) and being more particularly described as follows:

BEGINNING at the southeast corner of the parcel described herein being common with the southeast corner of said Lot numbered Two (2), whence ACS Station "NDC-7" bears S 88° 19' 47" W, 5880.58 feet. Thence, leaving said point of beginning,

N 89° 28' 44" W, 331.34 feet along the southerly boundary of said Lots One (1) and Two (2) to a point on the original centerline of San Mateo Blvd. N.E. and the southwest corner of the parcel described herein; Thence,

N 00° 22' 16" E, 263.08 feet to the centerline intersection of San Mateo Blvd. N.E. and Oakland Ave. N.E. being the northwest corner of the parcel described herein; Thence,

S 89° 28' 44" E, 331.39 feet along said centerline of Oakland Ave. N.E. to the northeast corner of the parcel described herein; Thence,

S 00° 22' 53" W, 263.08 feet along the east boundary of said Lot Two (2) to the southeast corner and point of beginning to the parcel described herein and containing 2.0013 acres, more or less.

NOTES

- The purpose of this plat is to combine two (2) existing lots into one (1) lot and to dedicate right of way as described herein.
- Bearings shown hereon are New Mexico State Plane Grid, Central Zone. All distances shown are ground. Distances in parenthesis are prior record.
- Gross acreage = 2.0013 acres. Net acreage = 1.5666 acres.
Existing tracts.....2.
Proposed tracts.....1.
- Unless otherwise indicated, all property corners for Lot 2-A are monumented by a se: No. 5 rebar with cap stamped "NMRLS 7923".
- Any underground structures not shown are not a part of this survey.
- Matters of Zoning, Building Restrictions and Property Covenants are not a part of this survey.
- This survey shows only those easements apparent on the ground and those disclosed in a Title Binder prepared for this property by Fidelity National Title (#03-1037824-B-VG) dated August 29, 2003. No Title Search was performed by the Surveyor.
- Prior to development, City of Albuquerque Water and Sanitary Sewer Service to Lot 2-A must be verified and coordinated with the Public Works Dept., City of Albuquerque, via a request for Water and Sanitary Sewer availability statement.
- The UPC Code for Lot 1 is 1-018-064-010-405-2518.
The UPC Code for Lot 2 is 1-018-064-024-405-2517.
- Talos Log No. 2004031984.

TREASURER'S CERTIFICATION

This is to certify that taxes are current & paid on UPC # 1-018-064-010-405-2518 & UPC # 1-018-064-024-405-2517.

Property owners of record: Timothy M. Ott

Bernalillo County Treasurer's Office: _____

PUBLIC UTILITY EASEMENTS

Public Utility Easements shown on this plat are for the common and joint use of:

The PNM Electric Services for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.

The PNM Gas Services for the installation, maintenance and service of natural gas lines, valves and other equipment and related facilities reasonably necessary to provide natural gas.

Qwest for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities necessary to provide communication services, including, but not limited to, above ground pedestals and closures.

Comcast for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric or Safety Code caused by construction or pools, decking of any structures adjacent to, within or near easements shown on this plat.

PNM DISCLAIMER

By approving this document, PNM does NOT waive or release any easements or easement rights which may have been granted by prior plat, replat or document, except those indicated on this plat.

UTILITY APPROVALS

PNM Electric Services	_____	Date
PNM Gas Services	_____	Date
Qwest	_____	Date
Comcast	_____	Date

CITY APPROVALS

DRB NO. 1003262
04DRB-00216
04DRB-00215

DRB Chairperson, Planning Department	_____	Date
<i>[Signature]</i>	_____	<u>2-20-04</u>
City Surveyor	_____	Date
Real Property Division	_____	Date
Environmental Health Department	_____	Date
Traffic Engineer, Transportation Division	_____	Date
Utilities Development	_____	Date
Parks and Recreation Department	_____	Date
A.M.A.F.C.A.	_____	Date
City Engineer	_____	Date

FREE CONSENT & DEDICATION

The land described hereon, identified as LOT 2-A, BLOCK 11, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, is platted with the free consent of and in accordance with the wishes and desires of the undersigned owner(s). Owner(s) dedicate right of way along San Mateo Blvd. N.E. & Oakland Ave. N.E. in Fee Simple as shown hereon. Said owner(s) do hereby represent that they are so authorized to act.

[Signature] _____ 2-19-04
Timothy M. Ott Date

ACKNOWLEDGMENT

STATE OF NEW MEXICO

COUNTY OF Santa Fe SS

The foregoing instrument was acknowledged before me by Timothy M. Ott this 20th day of February, 2004.

By *[Signature]* _____
Notary Public



SURVEYOR'S CERTIFICATION

I, Christopher J. Dehler, New Mexico Registered Land Surveyor No. 7923 hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey, shows all easements of record made known to me by the owners, utility companies and Fidelity National Title (27-31-92-232890), meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and the Minimum Standards for Land Surveys in New Mexico and is true and correct to the best of my knowledge and belief.

[Signature] _____ 2/18/04
Christopher J. Dehler Date
N.M.R.L.S. No. 7923



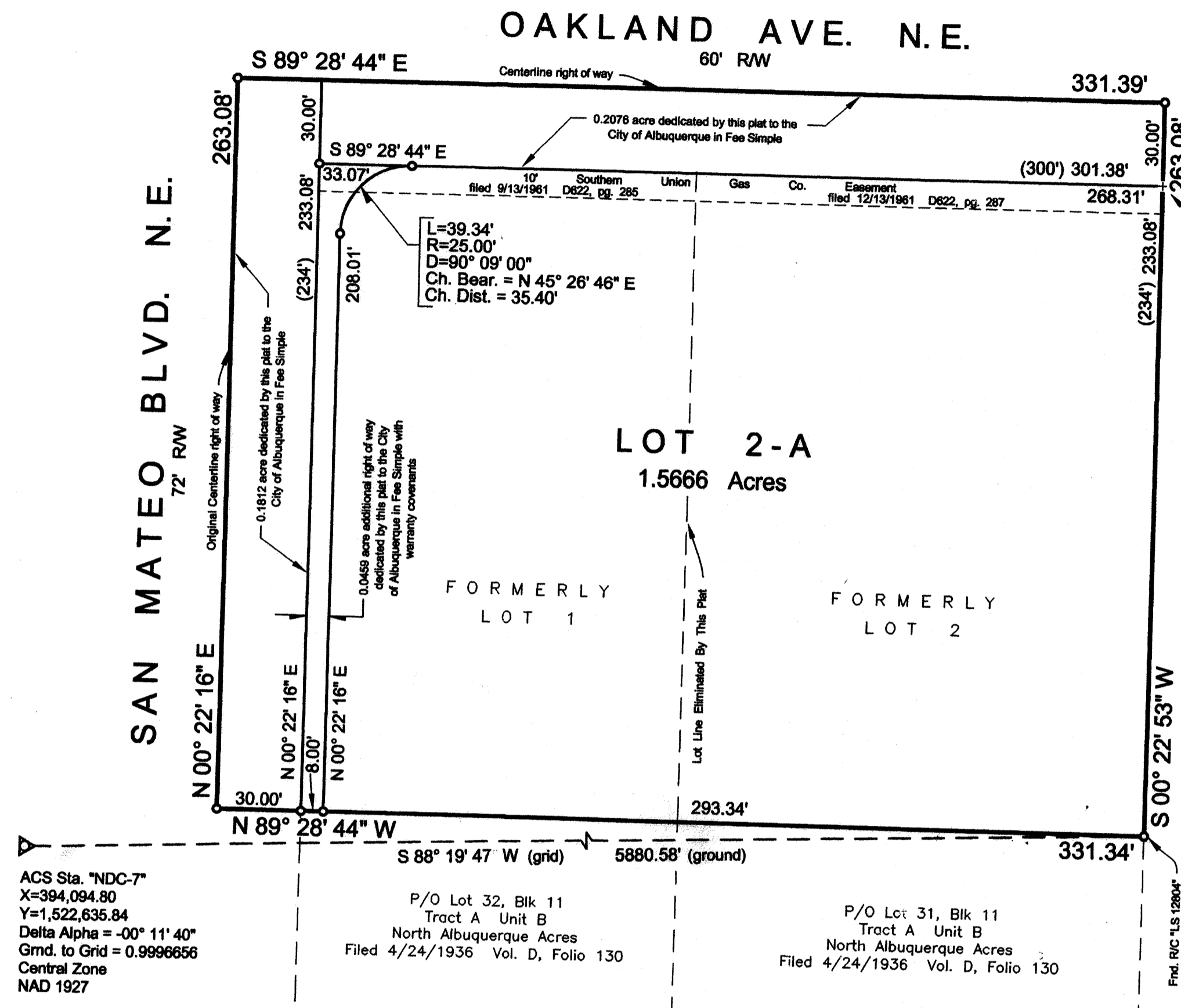
INDEXING INFORMATION FOR COUNTY CLERK
OWNERS: Timothy M. Ott
LOCATION: PROJECTED SECTION 13 TOWNSHIP 11 NORTH RANGE 3 EAST
NAME: LOT 2-A, BLOCK 11, TRACT A, UNIT B NORTH ALBUQUERQUE ACRES

PLAT OF
LOT 2-A
 (BEING A REPLAT OF LOTS 1 & 2)
BLOCK 11, TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES

PROJECTED SECTION 13
 TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
 LA MERCED DE ELENA GALLEGOS GRANT

CITY OF ALBUQUERQUE
 BERNALILLO COUNTY
 NEW MEXICO

FEBRUARY 2004
 SHEET 2 OF 2



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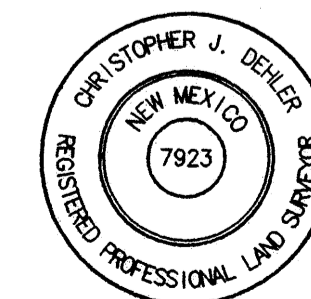
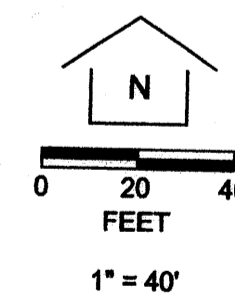
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- 9) The UPC Code for Lot 1 is 1-018-064-010-405-2518.
The UPC Code for Lot 2 is 1-018-064-024-405-2517.
- 10) Talos Log No.2004031984.



SURVEYOR'S CERTIFICATION

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Christopher J. Dehler
 N.M.R.L.S. No.7923

2/18/04
 Date