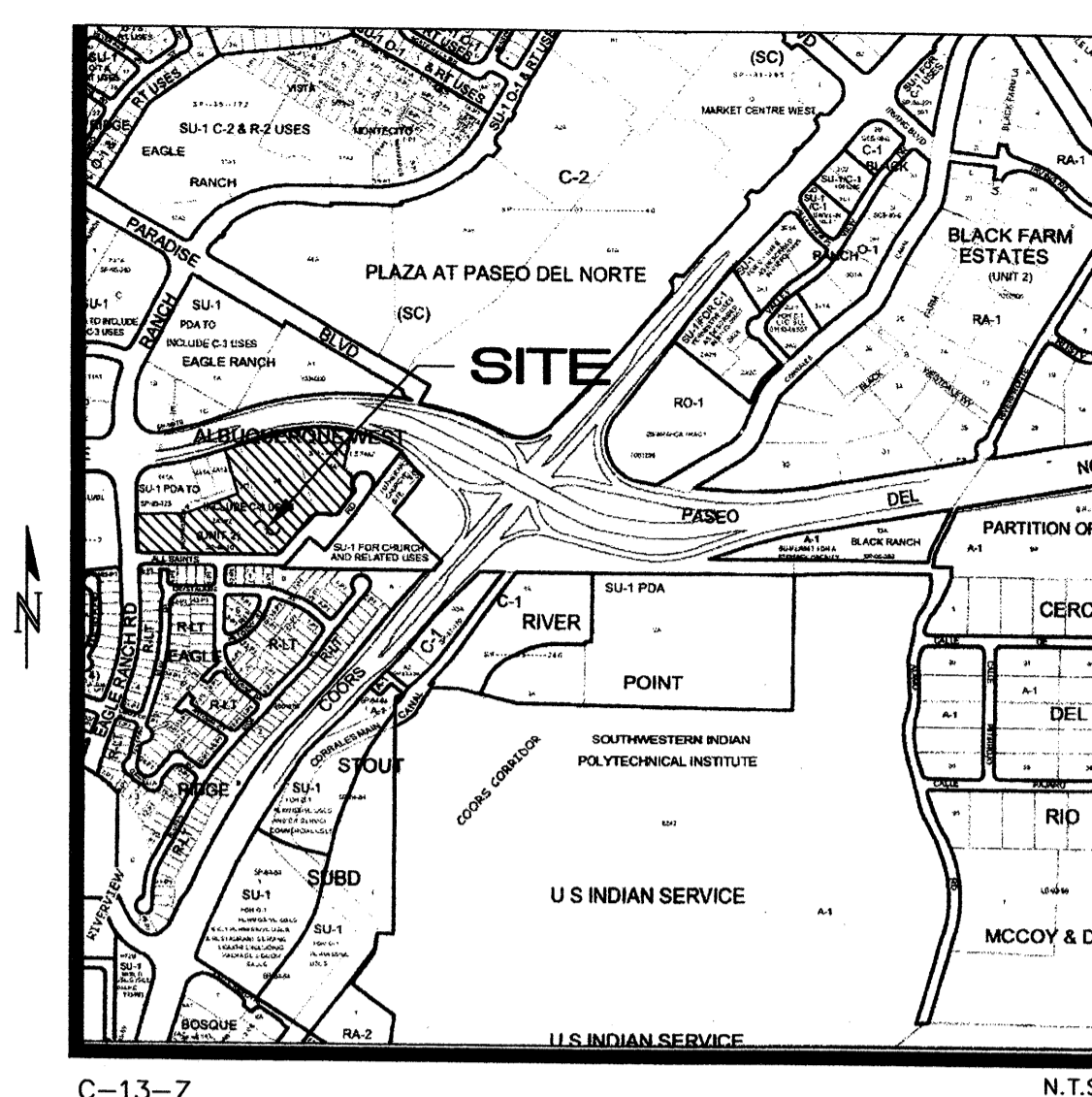
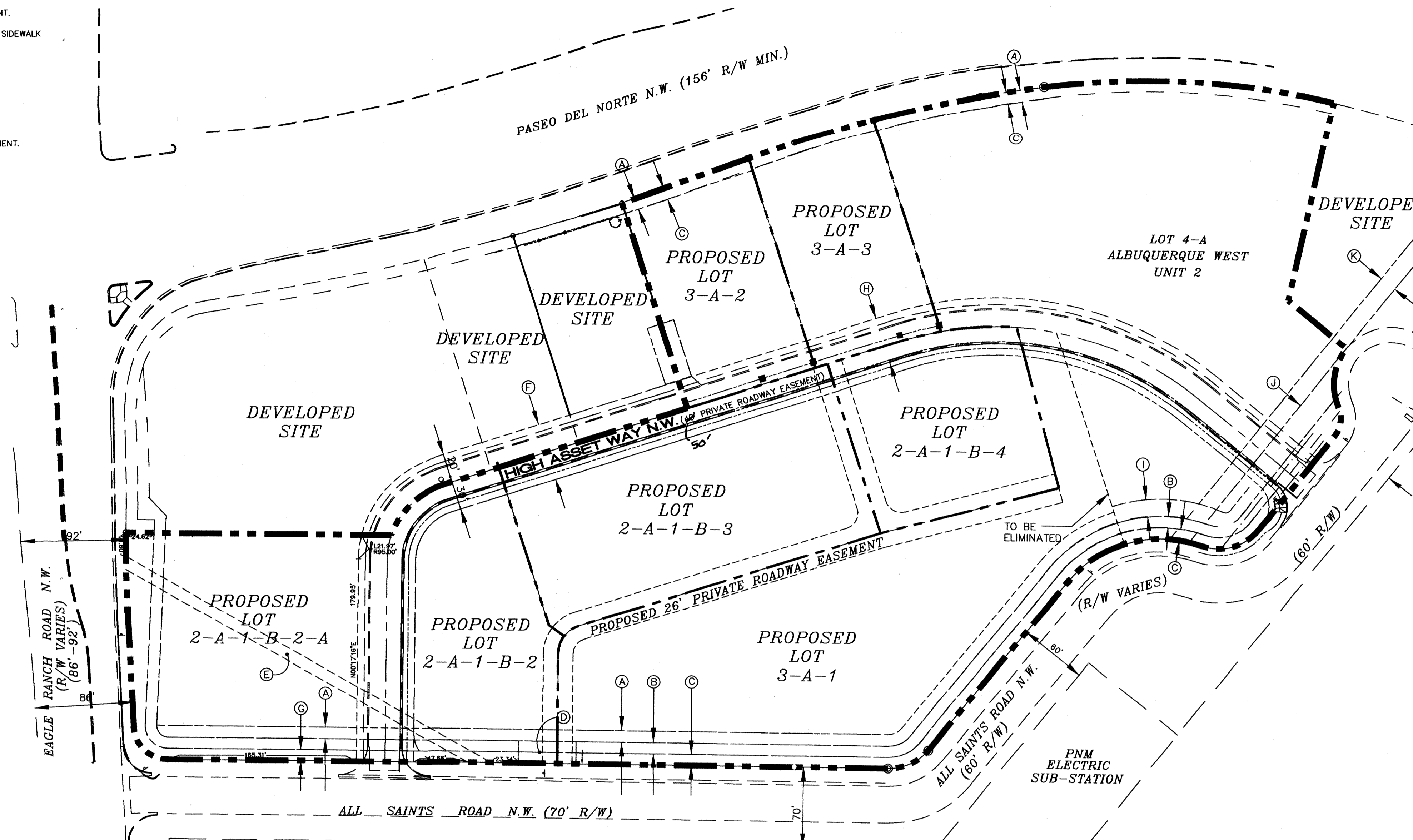


EASEMENT DATA

- (A) EXISTING 10' NMUI EASEMENT.
- (B) EXISTING WATER & SANITARY SEWER EASEMENT.
- (C) EXISTING 10' PUBLIC UTILITY EASEMENT.
- (D) EXISTING 50.59'x20' DRAINAGE EASEMENT.
- (E) EXISTING 10' DRAINAGE & UTILITY EASEMENT.
- (F) EXISTING 50' PRIVATE ACCESS, DRAINAGE, SIDEWALK AND UTILITY EASEMENT.
- (G) EXISTING 10' PUBLIC UTILITY EASEMENT.
- (H) EXISTING 40' PRIVATE ACCESS, DRAINAGE, SIDEWALK, AND UTILITY EASEMENT.
- (I) EXISTING 15' NMUI EASEMENT.
- (J) EXISTING 100' PNM EASEMENT.
- (K) EXISTING 15' UNDERGROUND UTILITY EASEMENT.



PROJECT NUMBER: 1003272  
 Application Number: 66EPC-66288 **06DRB-00941**

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated **MAY 10, 2006** and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	7-26-06
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	7/26/06
Water Utility Department	Date
<i>[Signature]</i>	7/26/06
Parks and Recreation Department	Date
<i>[Signature]</i>	7/26/06
City Engineer	Date
N/A	
* Environmental Health Department (conditional)	Date
N/A	
Solid Waste Management	Date
<i>[Signature]</i>	07/26/06
DRB Chairperson, Planning Department	Date

**Site Plan Notes - High Assets**

This site plan will conform to all the requirements contained in the City of Albuquerque Comprehensive Zoning Code. Additional standards above and beyond the requirements contained in the Zoning Code are found in the Design Standards (Sheet 2).

**Site Information:**

The site is located within the Albuquerque West Unit 2 Subdivision and consists of approximately 9.2 acres and is comprised of three separate parcels. The legal description for each parcel is:

- Lot 2-A-1-B-2, consisting of approximately 4.4460 acres;
- Lot 3-A, consisting of approximately 2.6685 acres;
- Lot 4-A-1, consisting of approximately 2.1252 acres;

**Newly Created Lots:**

- Lot 2-A-1-B-2 Lot 2-A-1-B-2-A
- Lot 2-A-1-B-3 Lot 3-A-2
- Lot 2-A-1-B-4 Lot 3-A-3 (.5 to 1.0 acre)
- Lot 3-A-1

**Proposed Use and Zoning:**

The zoning for the site is as follows:  
 Lots 2-A-1-B-2-A, 3-A-2, 3-A-3, and 4-A, the zoning is SU-1 for C-3 permissive and conditional uses, with exclusions as listed on Sheet 2, Design Guidelines.  
 Lots 2-A-1-B-3, 2-A-1-B-4 and 3-A-1, the zoning is SU-1 for C-3 permissive and conditional uses with exclusions as listed on Sheet 2, Design Guidelines; and restricted uses as governed by the R-2 zone.

**Pedestrian and Vehicular Ingress and Egress:**

**VEHICULAR ACCESS** - High Asset Way NW will provide vehicular access to the site, a fully developed private road. High Asset Way NW can be accessed off of All Saints Road NW. There will be no vehicular access from Paseo del Norte.

**STREET(S)** - Existing - Paseo Del Norte (north): 156' min. R/W  
 Eagle Ranch Rd. (west): 86'-92' R/W  
 All Saints Rd. (south): 60'-70' R/W  
 All adjacent roadways are public and in place.

**Proposed - High Assets Way NW (private road)**  
 Road is fully developed and bisects the said tracts.

**PEDESTRIAN ACCESS** - Pedestrians will be provided direct access through the development from entryways off of High Asset Way NW and All Saints Road NW. Pedestrian access shall be provided by sidewalks constructed within the Public R.O.W for All Saints Road NW and the Private Road easement of High Asset Way NW. Pedestrians will have clear access to all building entrances.

**BICYCLE ACCESS** - According to the Long Range Bikeway System Map, there are several proposed or existing bike facilities in the area. Eagle Ranch Road is proposed for a bike lane, which connects to an existing bike lane on Paradise Boulevard. Although there is no direct access to the lane on Coors, Irving Boulevard contains a lane that connects to Coors Boulevard for North-South travel.

**TRANSIT ACCESS** - There is no direct transit service to the site. The closest stop is located at Eagle Ranch Road and Irving Boulevard, served by the Route 94.

**INTERNAL CIRCULATION** - Internal roads will be designed and built in compliance with the DPM even though High Asset Way is a private street. For vehicular access, there will be driveways that access each lot. Pedestrian circulation will be facilitated through a network of sidewalks that lead from the parking areas to the use or dwelling unit. Shared access and drive aisles between the lots are required.

**UTILITY** - Public utilities are in place within the private roadway limits and are covered by a public utility easement for water and sanitary sewer.

**Maximum Building Height:** Allowable building heights shall conform to the provisions found in the Zoning and Special Use Parameters, approved by Council Bill F/S O-186, Enactment No. 33-1985, Exhibit A. This Bill allows buildings to be 3.5 stories on all tracts. Each story shall not exceed 13 feet in height for a maximum total of 52 feet. The top 1/2-story is allowed 13 feet in height, but shall not exceed 50% of the floor area of the floor below it.

**Minimum Building Setbacks:** The minimum setback for all buildings shall be setback in accordance with the Albuquerque Zoning Code as follows:

- Non-Residential
  - a. Front Yard: 5 Feet
  - b. Side Yard: 0 Feet
  - c. Corner Side Yard 5 Feet
  - d. Rear Yard: 0 Feet
  - e. A setback of 11 feet shall be required from the junction of a driveway or alley and a public sidewalk or planned public sidewalk. Buildings will be pulled forward as much as possible.

- Residential
  - a. Front Yard: 10 Feet, maximum will be 30'.
  - b. Side Yard: 5 Feet
  - c. Corner Side Yard: 10 Feet
  - d. Rear Yard: 15 Feet

\*Maximum Floor Area Ratio: Range of .5-1.0

**Parking Areas:**

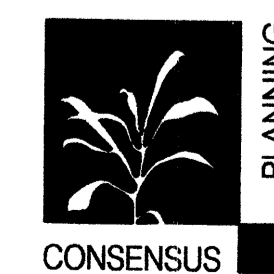
Parking will be provided in compliance with 14-16-3-1 of the City of Albuquerque Zoning Code. The maximum amount of parking will be the minimum allowed plus 10%.

\*As established by Annexation Ordinance, Council Bill No. F/S O-186, Enactment No. 33-185.

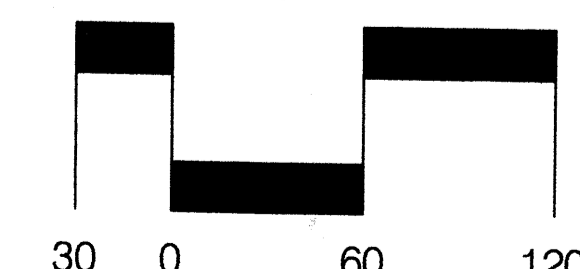
# SITE DEVELOPMENT PLAN FOR SUBDIVISION ALBUQUERQUE WEST UNIT II

Prepared for:  
 Ameri Contractors, LLC  
 P.O. Box 56883  
 Albuquerque, NM 87187

Prepared by:  
 Consensus Planning, Inc.  
 302 Eighth Street NW  
 Albuquerque, NM 87102



Scale 1" = 60'



PROJECT # 1003272



## Design Standards for Albuquerque West Unit 2

### A. Site Plan Submittals

Approval of a site development plan for subdivision pursuant to the City Zoning Ordinance, and all site development plans for building permit other than those listed below are to be reviewed by the Environmental Planning Commission. However, if a site development plan for subdivision is approved by EPC, all subsequent site development plans for building permits shall be delegated to the Development Review Board.

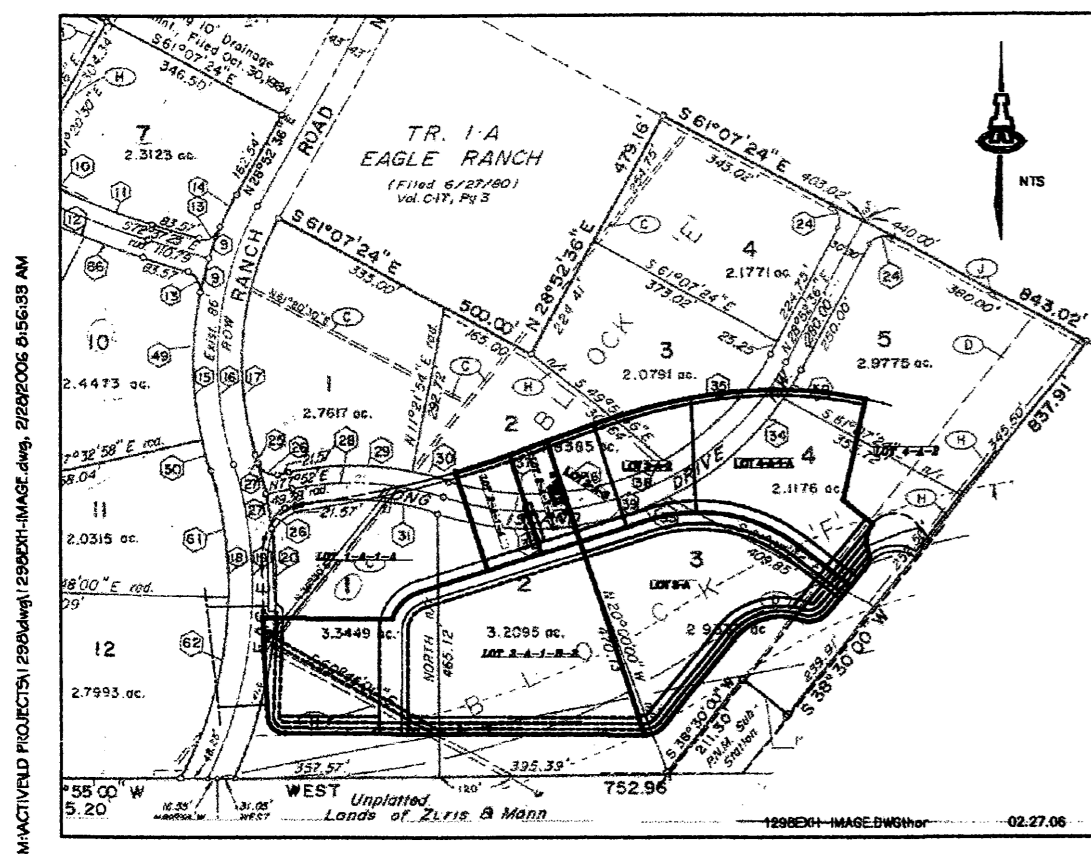
### B. Site

The site covered by these Guidelines consists of approximately 9.2 acres of undeveloped land bounded by Paseo del Norte NW to the North, Eagle Ranch Road NW to the West, All Saints Road NW to the south, and Coors Boulevard NW to the East. The subject site is comprised of the following lots, Lot 2-A-1-B-2, Albuquerque West Unit 2; Lot 3-A, Albuquerque West Unit 2; and Lot 4-A-1-A, Albuquerque West Unit 2.

The lots listed above were listed on the original annexation plat as the following:

Lot #	Block #	FAR	Building Height
2	E	1.0	6 stories
3	E	1.0	6 stories
1	F	0.8	3.5 stories
2	F	0.8	3.5 stories
3	F	0.8	3.5 stories
4	F	1.0	6 stories
5	F	1.0	6 stories

The graphic below shows the subject site overlaid on the original platting in order to clarify how the subject site corresponds to the original lots and blocks.



### C. Land Use Concept

The land use concept seeks to create a truly integrated mixed-use development that contains office/commercial/retail and high density residential that is both pedestrian and transit friendly. The site design seeks to create a development characterized by a pleasing outdoor environment. The internal street network and pedestrian connectivity will create a cohesive community identity. New development will be designed to be compatible with the natural landscape and the built environment. These design guidelines also complement the Fountain Hills development located immediately to the north. As a result, such guidelines relating to color and architectural style are consistent with design guidelines that have been approved for the Fountain Hills project.

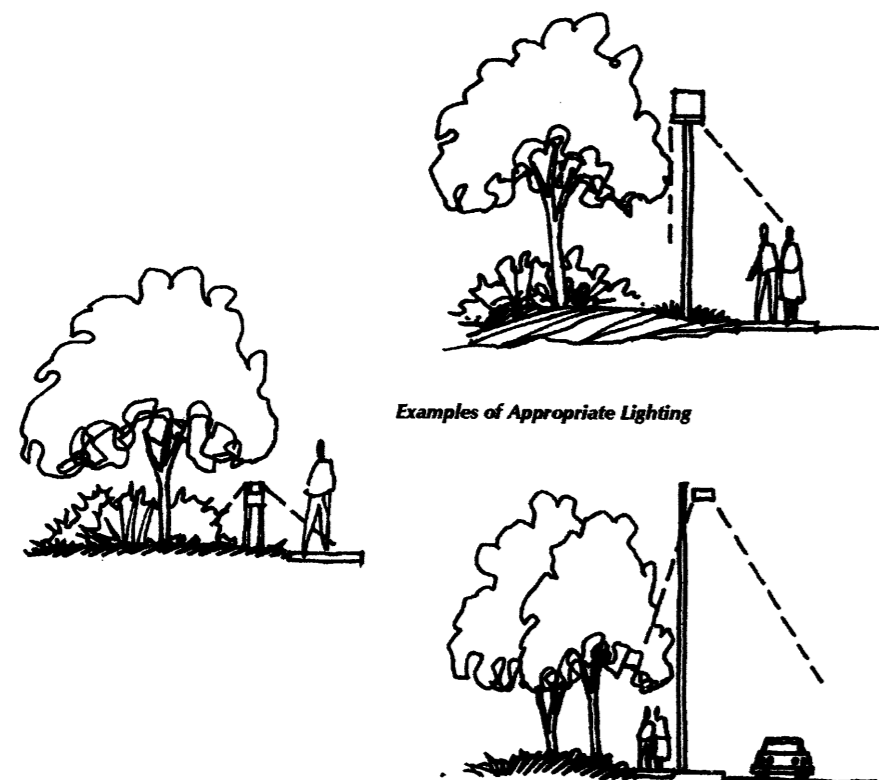
### D. Zoning and Proposed Uses

Per Council Bill F/S O-186, Enactment Number 33-1985, the zoning of the site has been established as SU-1 for C-3 permissive and conditional uses. Exclusions identified in the Council Bill include the following:

- Tire recapping or retreading
- Contractors yard
- Equipment rental
- Bulk fuel storage or sales/Gasoline service stations
- Automobile dismantling
- Outdoor building material storage unless incidental to retail sales and adequately screened

In addition to the uses listed in the Council Bill, the following uses will also be excluded from developing on the site:

- Antenna (without height limitation)
- Building/structure sub assembly
- Drive-in, drive-thru restaurants
- Metal stamps, tool, and die making
- Welding as principal activity
- Plumbing, assembling only (plumbers office permitted)
- Signs, commercial advertising structures
- Adult amusement establishment or adult store
- Automotive engine manufacturing
- Sheet metalworking
- Ice plant wholesale
- Kennel
- Warehousing
- Bottling
- Railroad right-of-way and incidental facilities
- Cold storage plant



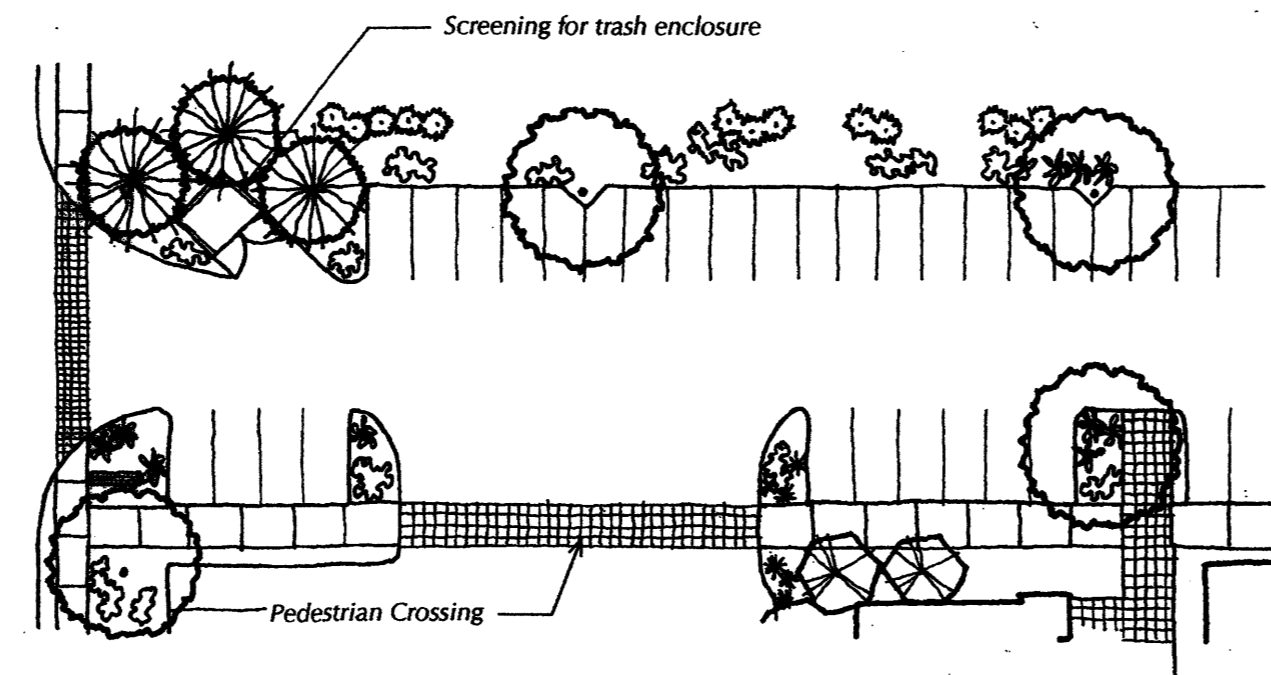
### E. General Design Criteria Applicable to All Sites

#### 1. Utilities

All new power and telephone lines shall be underground.

#### 2. Buffering

- Landscape buffers shall be utilized between the edge of the frontage of properties and all public and private roadways. The landscape buffers shall include trees spaced a minimum of 25 feet on center and include a minimum of 25% coniferous trees.
- Project edges along Paseo del Norte, Eagle Ranch Road NW, and All Saints Road NW shall include a minimum of 10-foot landscape setback from the property line.
- A minimum of a 10-foot landscaped buffer shall be provided between all commercial and residential areas, unless integrated vertically.
- A landscape buffer shall be provided around the perimeter of each lot where adjacent to a roadway or residentially zoned area, except where the building is directly adjacent to a sidewalk and/or pedestrian walkway.



One tree provided per every ten parking spaces

#### 3. Parking Lot Design and Landscaping

- The number of parking spaces, including bicycle parking, shall be provided in accordance with the City Comprehensive Zoning Code. The minimum number of parking spaces is the maximum allowed plus 10%.
- Motorcycle parking spaces shall be provided as per City Comprehensive Zoning Code Section 14-16-3-1.
- All parking spaces shall be set back a minimum of 10 feet from any private drive easements or property lines, except where a reciprocal parking and access agreement has been recorded between properties.
- Adequate stacking distance at street entrances shall be provided to avoid circulation conflicts within the project site.
- Where possible, parking areas with greater than 100 spaces shall be split into several areas to avoid large expanses of parking lot.
- One tree shall be planted per every ten parking spaces.
- 75% of the parking area trees shall be deciduous and have a mature height of at least 25 feet.
- Parking areas adjacent to Paseo del Norte, Eagle Ranch Boulevard NW, and All Saints Road shall be screened by walls and/or landscaping with a minimum height of 72". Barrier curbs shall be provided around all landscape areas in parking lots to protect the landscaping from vehicles. The barriers shall have water run-off openings to allow surface drainage into landscape areas to promote water harvesting.
- Wall material shall consist of integrally colored concrete, rammed earth, concrete masonry, stacked stone, or stuccoed masonry block, and shall be complimentary to adjacent exterior buildings.

#### 4. Site Landscaping and Irrigation

- Landscaping shall comply with the Albuquerque Landscaping and Water Waste Ordinance and Pollen Control Ordinance.
- A minimum of 15% of the site shall be landscaped, excluding building area.
- Live plant materials shall cover a minimum of 80% of all landscape areas.
- Landscape headers shall be used to separate turf and bedding areas. Headers may be concrete, brick or similar materials.
- An automatic, underground irrigation system shall be installed for all landscape areas. The system shall be designed to avoid over spraying. The system shall have centralized computer controls. Backflow prevention devices shall be provided in accordance with applicable City requirements.
- Turf areas shall be irrigated by an underground drip irrigation system. Pop-up sprinklers shall not be allowed. Trees, shrubs and ground covers shall be irrigated with a combination of hard pipe and poly pipe feeding single and multi-outlet drip emitters. The entire system shall be designed to maximize water efficiency.
- The irrigation system shall be selected to allow potential use with treated water systems (non-potable) when available.
- Minimum plant material sizes shall be as follows:
  - 1) Canopy Trees 2" caliper, balled and burlapped
  - 2) Evergreen Trees 8' minimum height
  - 3) Accent Trees 15 gallon, balled and burlapped
  - 4) Shrubs 1-gallon minimum
  - 5) Ground Covers 1-gallon minimum
- A maximum of 20% of all landscape areas may be low water use turf.

#### 5. Site Lighting

- Site lighting shall comply with the requirements of the City Comprehensive Zoning Code, Section 14-16-3-9. Lights shall not shine on adjacent residential property.
- Fixture mounting height shall be appropriate to the project and environment. Low bollard-type lighting is required for pedestrian walkways, where possible. Mounting height of lights in parking lots shall not exceed 20 feet. When within 100 feet of a residential zone, the mounting height of lights shall not exceed 16 feet.
- Exterior lighting should be designed as an integral part of the architecture and landscaping of the project.
- Lighting fixtures shall have to shielding to minimize light spillage on to adjacent properties and public rights-of-way.
- Sodium and cobalt lighting fixtures shall not be permitted.

### 6. Architectural Theme and Design

These design standards shall apply to commercial/office and residential development. The theme of development for Albuquerque West Unit 2 is to be Contemporary Southwest. All buildings constructed in Albuquerque West Unit 2 will be developed under this style. This theme is characterized by innovative and progressive uses of southwestern materials and forms that are encouraged to create a context appropriate site with distinctive appeal. Expressive massing is encouraged to create an activity center with a unique identity. Building articulation shall be detailed in accordance with Modern and current methods rather than referencing traditional techniques. Mimicking distinct historical styles such as Pueblo Revival, Territorial, Northern New Mexico, or Tuscan should be avoided although contemporary interpretations of traditional elements are acceptable. Buildings throughout the site shall be designed to create an integrated whole that is contextually related, although not continuous with, buildings in the vicinity.

- All buildings shall achieve a sense of human scale by use of such devices as wall insets, portals, balconies, and window projections. Columns, arcades, corner articulation, overhangs, awnings, gutters and scuppers, breezeways, and shall should be designed and detailed to provide human scale and visual interest and all building elements and facades shall be comparably detailed.
- Building footprints should be staggered to create visual character and interest. Long, unarticulated facades shall be avoided.
- Plazas and patios shall be created by offsetting building masses.
- The use of trellis, awnings, and similar coverings should be used to pedestrian travel paths.
- Roofs that overhang entry points and patio/plaza areas are encouraged to provide shelter for users.
- All buildings shall incorporate energy conservation measures in the design. If solar heat collector panels and similar equipment is used, it shall be designed to be a visually integral part of the building.
- Parapet walls shall be architecturally integrated into the building and shall not appear as unrelated visual elements.
- All mechanical equipment and flat roofs shall be screened from public view. The screening shall be integral to the architecture of the building. Where parapets are used, the parapet shall be taller than all equipment it is meant to screen. Ground-mounted equipment is preferable to roof-mounted equipment.
- Building entries should be protected from the elements and provide a "sense of entry". Feature lighting of the entrance is encouraged.
- Building colors shall consist of the following (or variations thereof):

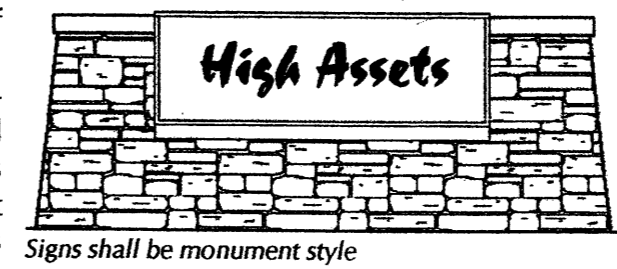
<b>Field Stucco Colors:</b>	Soft Tan	Driftwood (tan)
Sandalwood	Warm Gray	
Light Brown		
<b>Accent Stucco Colors:</b>	Silver Blue	Dark Red
Green Slate	Steel Gray	Terra-cotta
Orange/Brown	Medium Blue	Brown Slate
Brick Red		

- Materials that cause excessive glare or reflection shall not be used.
- Projects containing more than one building should provide a variety in building height and massing. Lower buildings shall be located adjacent to roadways with larger buildings toward the interior.
- Trademark and franchise style buildings are prohibited.
- The finish on each building facade shall be consistent on each side.
- Building massing and rooflines will be designed in a way that avoids long, blank facades and uniform rooflines.

### 7. Signage

Signage shall be consistent with the Coors Corridor Plan and applicable City Comprehensive Zoning Code regulations as follows:

- Freestanding Signs**
  - Monument signs height and sign face regulations shall comply with the City of Albuquerque Zoning Code.
  - One free-standing monument sign is allowed on Eagle Ranch Road and Paseo del Norte to identify the project. Individual lots shall not have free-standing or monument signs. Only building-mounted signage is allowed on individual lots.
  - Freestanding signs shall be designed that do not require any external bracing, angle-iron supports, guy wires, or similar devices.
  - No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
  - Signs shall not overhang into the public right-of-way or extend above the parapet roof line.
  - Off-premise signs and portable signs are prohibited.
  - Lettering on a freestanding sign shall not exceed nine (9) inches in height.
  - Monument signs shall not be internally lit. Low level uplighting is permitted provided it is in compliance with the Night Skies Ordinance.
- Building Mounted Signs**
  - Building-mounted signage shall identify the name and business of the occupant or those who are offering the premises for sale or lease.
  - No building-mounted sign shall intrude upon any structural features, including windows, columns, moldings, or decorative features.
  - Building mounted signage shall not exceed 6% of the area of the facade to which it is applied if there is no free-standing or monument sign on the premises, or 5% of the area of the facade if there is such a free-standing monument sign on the premises.
  - Lettering on building mounted signs shall not exceed 24 inches in height.
  - No internally lit building mounted signs shall be permitted.
  - Building mounted signs may be back lit or illuminated with building mounted down lighting.
  - Lighting of building mounted signage facing the south, towards the Eagle Ridge subdivision, shall not be permitted.

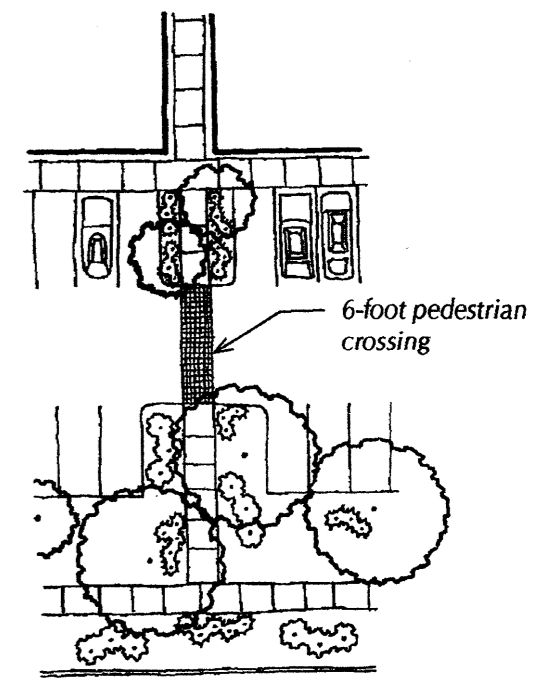


### 8. Walls and Screening

- The use of screening, buffering, and/or walls shall be utilized for parking lots, loading areas, refuse collection, and delivery/storage areas in order to limit their adverse impact on the property.
- All mechanical equipment shall meet the screening requirements of the City Comprehensive Zoning Code, Section 14-16-3-1 (E) (4).
- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure and large enough to contain all refuse generated between collections. Design and materials of enclosures shall be compatible with the architectural theme of the site.
- Multiple lots shall share solid waste refuse enclosures where possible to avoid an excess of refuse enclosures and associated screen walls.

### 9. Walls and Fencing

- Visually permeable fences and walls up to six (6) feet high are permitted. The first 42 inches of the wall may be solid.
- Unfinished block walls and barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- Perimeter walls shall include pedestrian openings at key locations within the development to ensure convenient access to transit, bike trails, and other properties.
- The maximum height of retaining walls shall be 6 feet. Areas requiring more retainage shall be terraced.



### 10. Site Design

- Cross access easements shall be provided between adjoining properties.
- Outdoor patio spaces with shade trees and/or shade structures are required.
- Sidewalks along public rights-of-way shall be 6-feet wide.
- Pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways, including the route from Eagle Ranch Road to the development, in addition to the proposed public sidewalk.
- The use of asphalt for pedestrian trails and connections is prohibited.
- All primary pedestrian paths shall be designed to be ADA accessible.
- Private walkways may be soft surface, with a minimum width of 4 feet.
- Pedestrian crossings shall be clearly demarcated with special paving treatment where they cross-vehicular entrances and drive aisles and where City trails cross streets. Such materials shall consist of integrally colored and/or stamped concrete, brick forms, or pavers of various sizes.

Pedestrian Link to Sidewalk

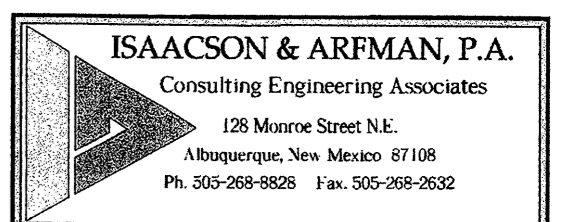
### 11. Additional Residential Standards

- In addition, the following standards apply to any residential development that occurs on the site:
- Individual dwelling units should be apparent in form to reduce the scale of the building and increase the sense of individuality.
  - Open courtyard designs are encouraged.
  - Balconies, patios and entrances should relate to pedestrian pathways and streets.
  - Entrances should be articulated with the use of low walls, gateways, garden courtyards and similar features.
  - Dwelling units are allowed to be located above retail and office uses.
  - Useable outdoor space shall be provided for any residential use.
  - Street Edge for Residential Development
- In addition to the setbacks required under the general site design criteria, a combination of decorative fences, walls and/or landscaping shall be provided adjacent to streets to provide a secure residential environment. The perimeter treatment shall be designed such that street views to and from the property are not overly impeded. The perimeter treatment shall be compatible with adjacent development.

## Design Standards Albuquerque West Unit 2

Prepared by:  
**Consensus Planning, Inc.**  
302 8th Street NW  
Albuquerque, NM 87102

**Isaacson & Arfman**  
128 Monroe St. NE  
Albuquerque, NM 87108



June 29, 2006

SHEET 2 OF 2