

# PROPOSED OFFICE BUILDING

## SITE PLAN FOR BUILDING PERMIT

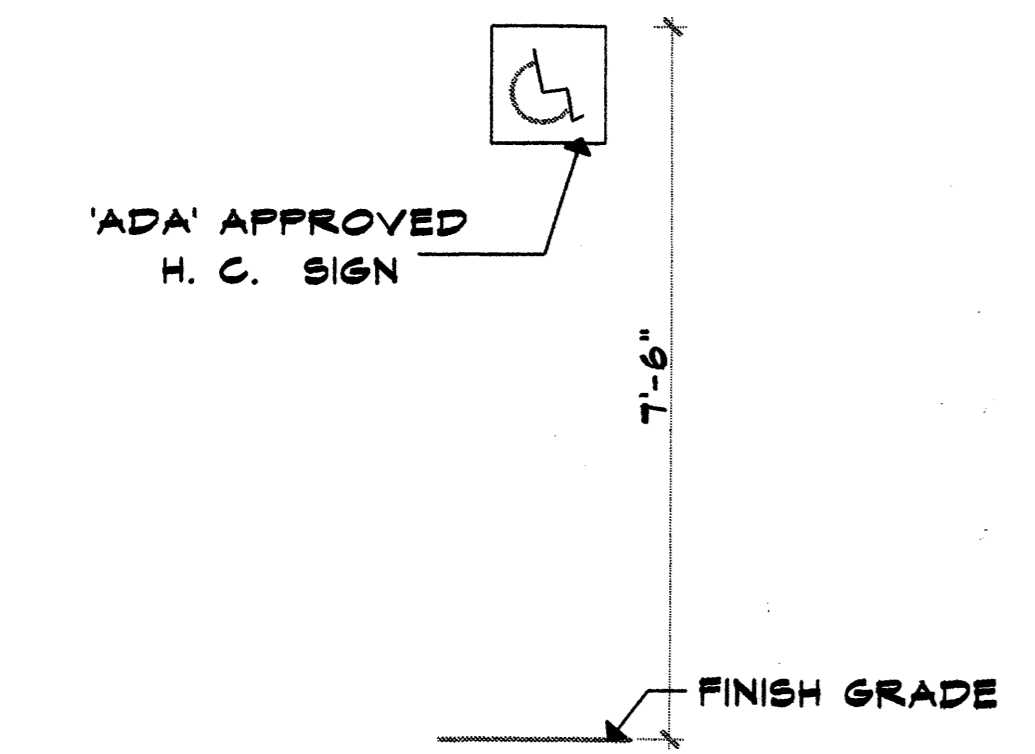
PROJECT NUMBER: 1003272

Application Number: 05 DRB 0165T

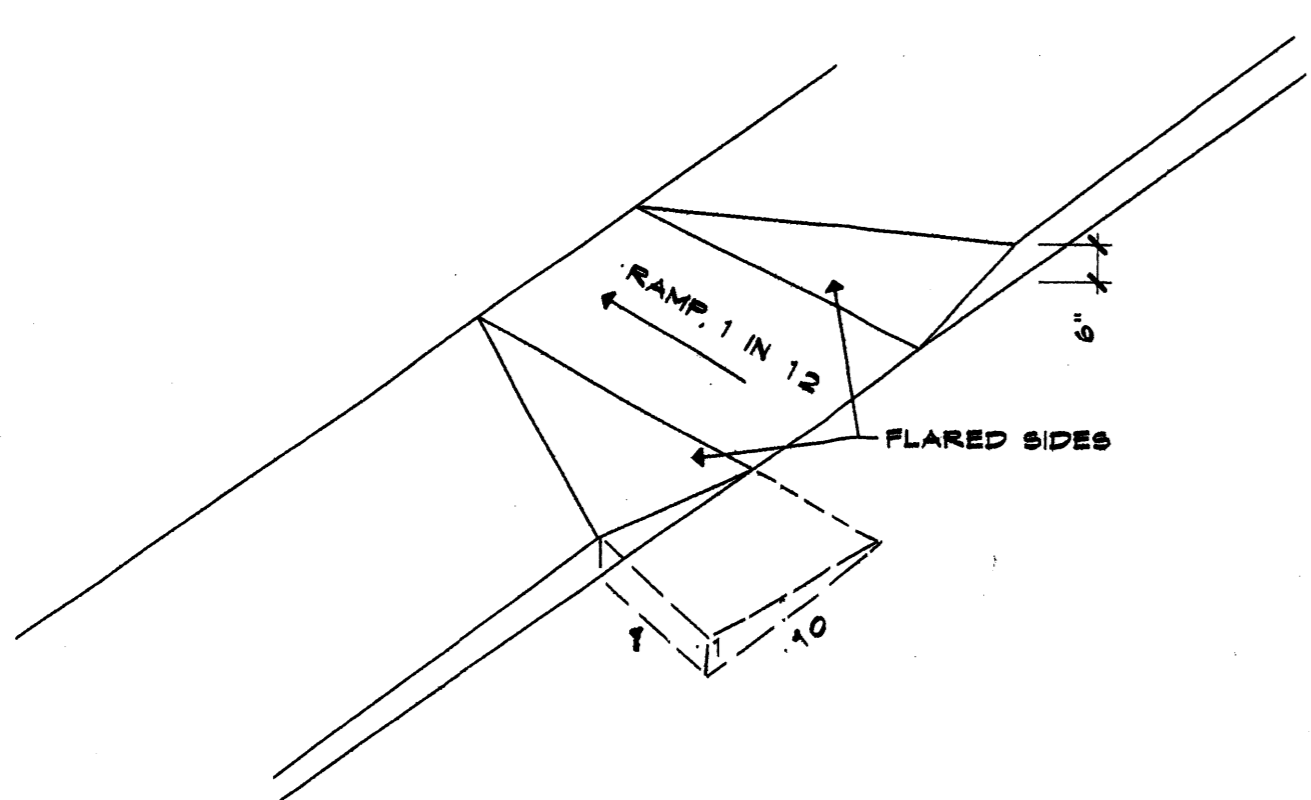
Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

### DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

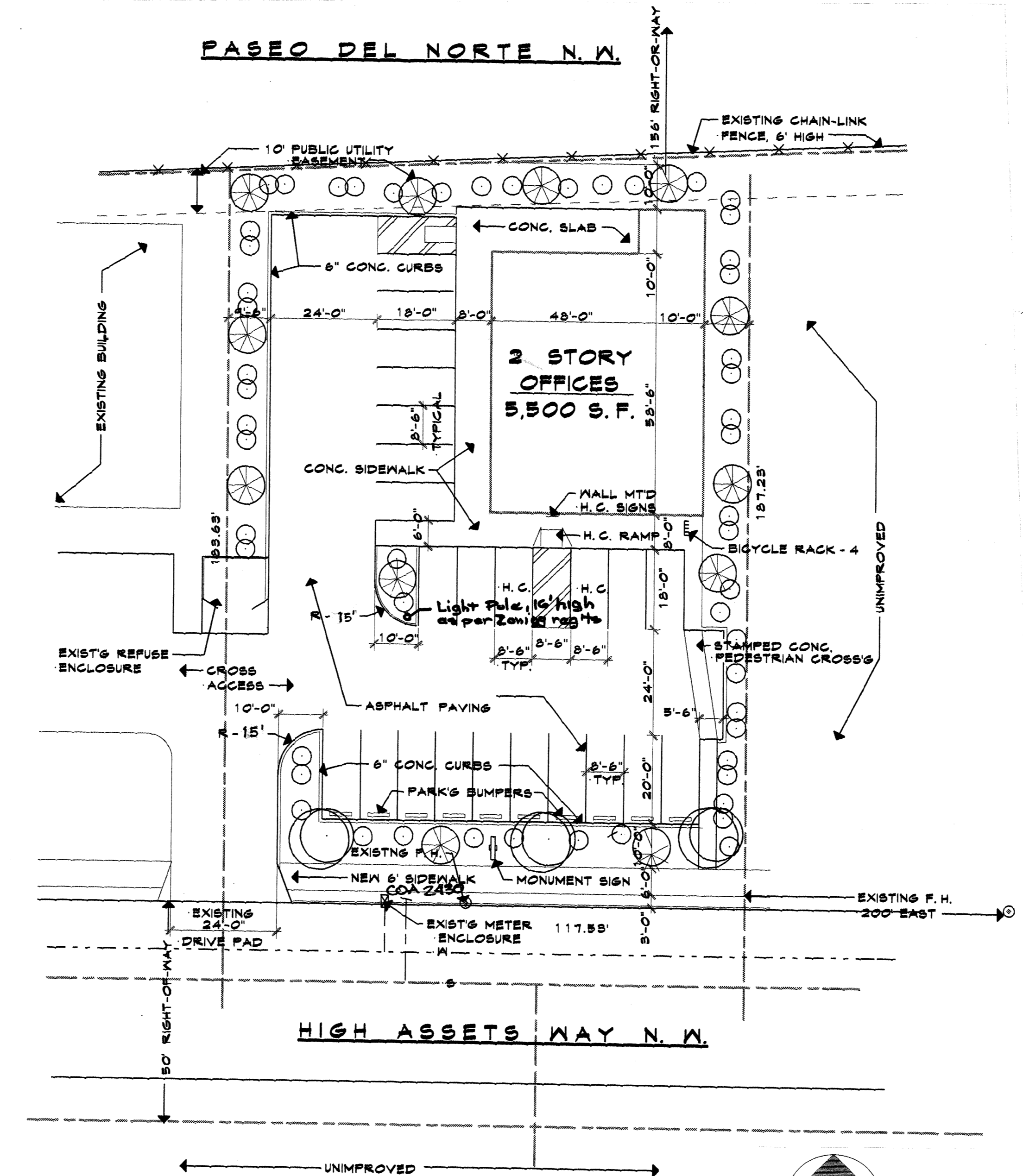
<i>[Signature]</i> Traffic Engineering, Transportation Division	9-20-06 Date
<i>[Signature]</i> Utilities Development	9-20-06 Date
<i>[Signature]</i> Parks and Recreation Department	9/20/06 Date
<i>[Signature]</i> City Engineer	9/20/06 Date
<i>[Signature]</i> (existing) Solid Waste Management	11/2/05 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	10/5/06 Date



**HANDICAPPED SIGN DETAIL**



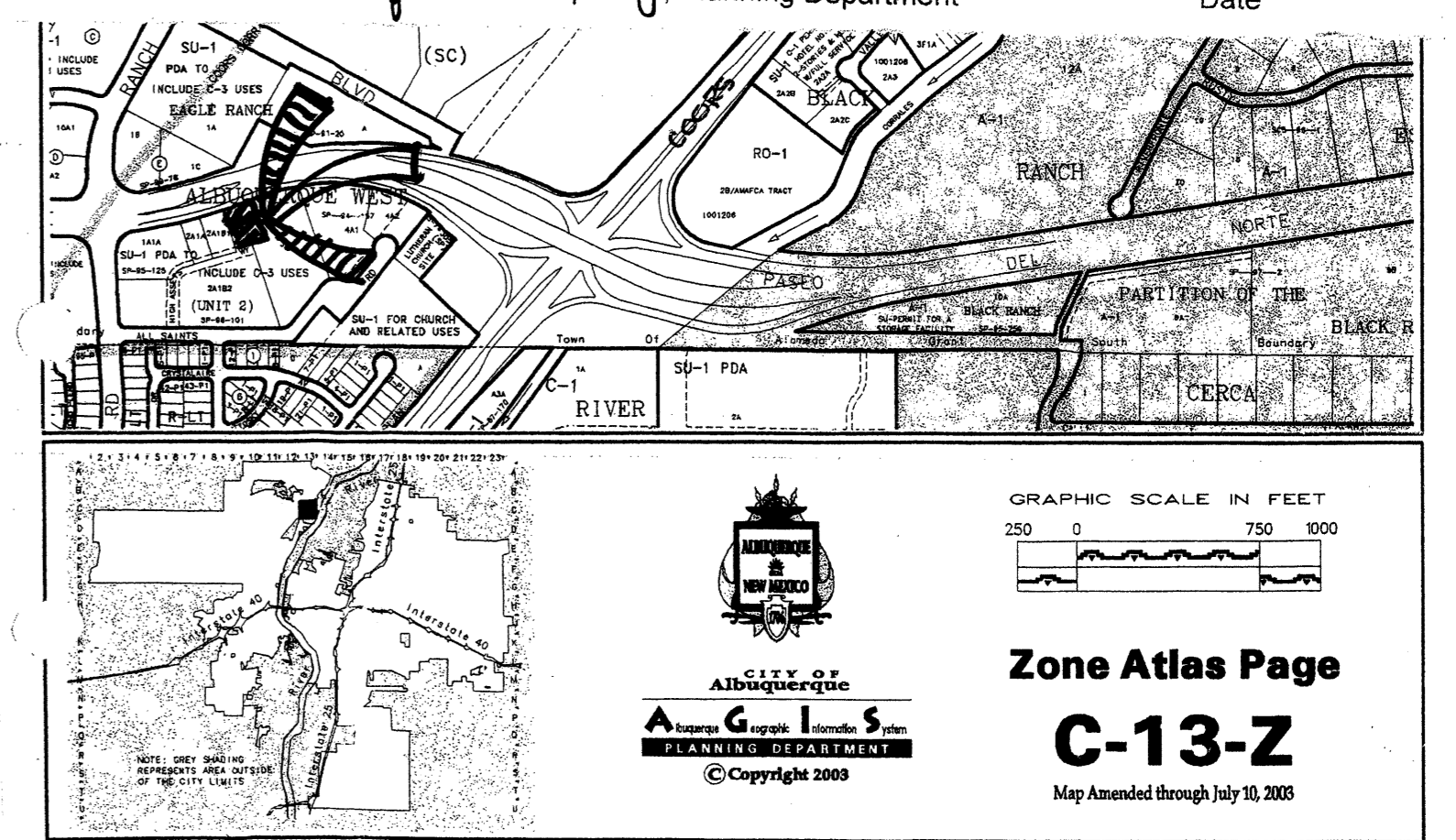
**HANDICAPPED RAMP DETAIL**



**SITE PLAN 1" = 20'**

### LEGAL DESCRIPTION

LOT #2-A-1-B-2-A  
UNIT TWO, ALBUQUERQUE,  
WEST SUBDIVISION,  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO



### PARKING:

REQUIRED - 1 ST FL - 2768/200  
= 14 SPACES  
  
2 ND FL - 2268/300  
= 8 SPACES  
  
TOTAL SPACES REQUIRED - 22 SPACES  
TOTAL SPACES PROVIDED - 23 SPACES

### BICYCLE PARKING:

REQUIRED - 2 SPACES  
PROVIDED - 4 SPACES

JOB NO: \_\_\_\_\_  
DATE: Oct 05  
REVISION: 02/06  
DRAWN BY: JWM  
CHECKED BY: J.W.M.

SHEET TITLE  
**SITE PLAN, NOTES AND DETAILS**

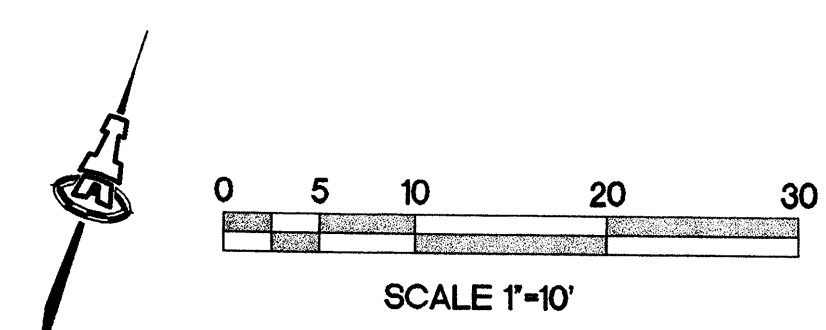
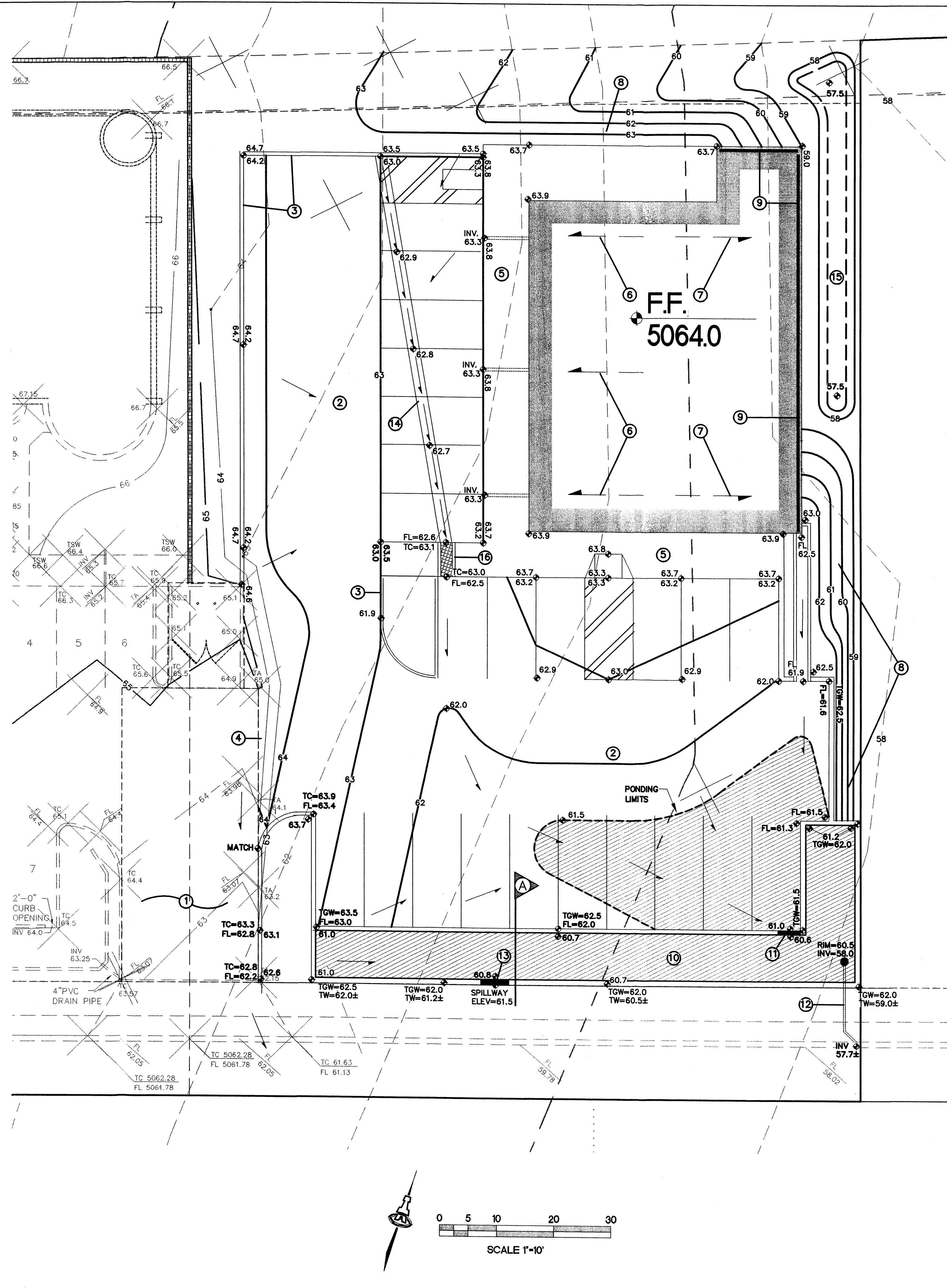
ARCHITECTS  
**MILLER AND ASSOCIATES**  
5220 SECOND STREET N.W.  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE 505/345-1512

PROPOSED OFFICE BUILDING  
HIGH ASSET WAY N.W.  
ALBUQUERQUE, NEW MEXICO

JOB TITLE  
**SP**

1003272





**GENERAL INFORMATION**

LEGAL: A PORTION OF LOT 2-A-1-A, ALBUQUERQUE WEST, UNIT TWO, FILED NOVEMBER 3, 1995, IN VOL. 95C, FOLIO 399.

B.M. BENCHMARK: ACS MONUMENT "R ALAMEDA B. NO. 2" ELEVATION = 5058.25

OFF-SITE DRAINAGE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

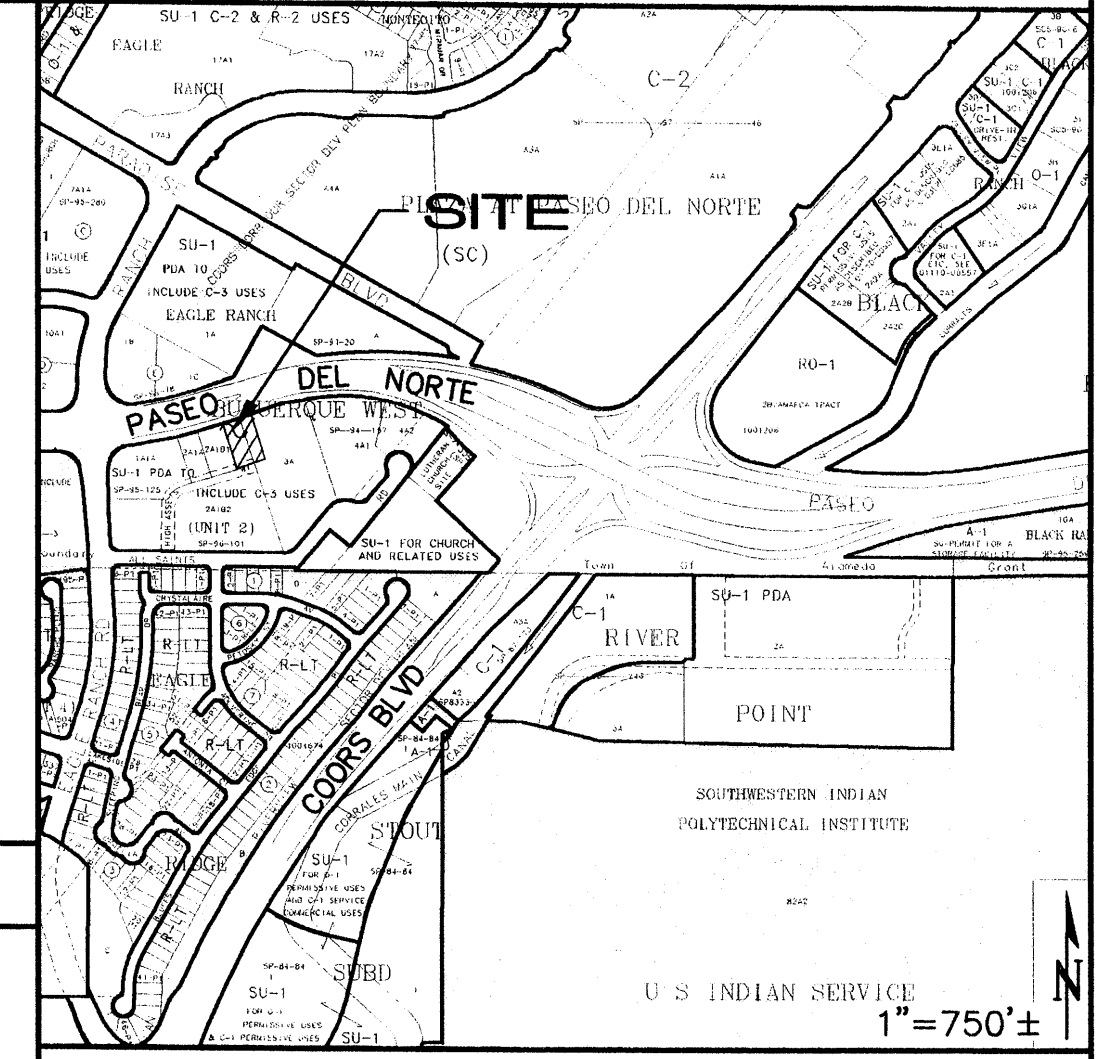
FLOOD HAZARD: PER BERNAILLO COUNTY FIRM MAP, THE SITE IS NOT LOCATED WITHIN A FLOOD ZONE.

EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES AT THE LOW POINTS ON THE WEST AND NORTH PROPERTY LINES.

**GENERAL NOTES**

- A. COORDINATE WORK WITH SITE PLAN.
- B. GRADES SHOWN WITHIN LANDSCAPED AND PONDING AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.
- C. PONDING AREAS, VOLUMES, INLET, OUTLET, SPILLWAY AND SIDEWALK CULVERT ELEVATIONS TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES.
- D. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS AND THE LOCATIONS OF ALL ITEMS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- E. AT ALL TRANSITIONS BETWEEN EXISTING AND PROPOSED, MATCH EXISTING TOP OF ASPHALT / CONCRETE CURB / CONCRETE WALK FOR SMOOTH TRANSITION. ALL SITE IMPROVEMENTS WITH ELEVATIONS SHOWN AS "±" SHALL BE FIELD ADJUSTED FOR SMOOTH TRANSITION TO EXISTING. MAINTAIN POSITIVE DRAINAGE - NO BIRDBATHS.
- F. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESS. PONDING AREAS, VOLUMES, INLET, OUTLET, SPILLWAY AND SIDEWALK CULVERT ELEVATIONS TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES.

**VICINITY MAP C-13**



**KEYED NOTES**

- 1 EXISTING SHARED SITE ACCESS
- 2 PROPOSED ASPHALT PAVING. SEE ARCHITECTURAL FOR INFORMATION REGARDING PARKING LAYOUT, DIMENSIONS, STRIPING, ETC.
- 3 CONSTRUCT MEDIAN CURB AND GUTTER PER C.O.A. STD. DWG. 2415 (TYPICAL).
- 4 PAVING HIGH POINT THIS AREA. NO OFFSITE FLOW ENTERS SITE.
- 5 CONSTRUCT TURNED DOWN CONCRETE WALK THIS AREA. TOP OF WALK IS 6" ABOVE TOP OF ADJACENT PAVEMENT (TYPICAL). SEE ARCHITECTURAL FOR RAMP LOCATIONS / DIMENSIONS AND ADDITIONAL INFORMATION.
- 6 ROOF TO SHEED EAST AND WEST AS SHOWN. ALL WEST ROOF DRAINAGE SHALL BE RELEASED DIRECTLY TO PAVEMENT THROUGH PVC PIPES THROUGH WALK. SEE ARCHITECTURAL FOR SPECIFIC OUTFALL POINTS.
- 7 ALL EAST ROOF DRAINAGE SHALL BE CAPTURED WITHIN A GUTTER SYSTEM TO BE RELEASED TO A 2' WIDE 'U' SHAPED CONCRETE CHANNEL AT THE SOUTHEAST BUILDING CORNER. SEE DETAIL THIS SHEET.
- 8 CONSTRUCT SITE RETAINING WALL OR ARMORED SIDESLOPE (ANGULAR FACED ROCK; 8" AVG. DIA.) THIS AREA TO ACHIEVE GRADE DIFFERENCES SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION (DESIGN BY OTHERS).
- 9 CONSTRUCT EXTENDED STEMWALL THIS AREA TO ACHIEVE GRADE DIFFERENCES SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION (DESIGN BY OTHERS).
- 10 CONSTRUCT 1.5' MAX. DEPTH DETENTION POND WITH CONCRETE PERIMETER WALLS AT ELEVATIONS SHOWN TO CAPTURE SITE FLOW. POND DIMENSIONS AND ELEVATIONS TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEAL JOINTS WITH URETHANE SEALANT (SONOLASTIC NP-1 O.A.E.)
- 11 PROVIDE 4" WIDE OPENING IN CURB TO PASS CONCENTRATED FLOW TO PONDING AREA. INSTALL COBBLES AT OPENING FOR EROSION PROTECTION.
- 12 INSTALL POND OUTLET STRUCTURE AND 4" DIA. PVC PIPE AT INVERT ELEVATIONS SHOWN TO CONTROL RELEASE OF PONDING WATER TO HIGH ASSETS WAY. SEE DETAIL THIS SHEET. S.O.19 PERMIT REQUIRED. SEE FORM THIS SHEET.
- 13 CONSTRUCT 5' WIDE SPILLWAY TO RELEASE POND VOLUME IN EXCESS OF REQUIRED STORAGE. SEE DETAIL SHEET C-2.
- 14 CONSTRUCT 68 LF 2' WIDE CONCRETE VALLEY GUTTER AT FLOWLINE ELEVATIONS SHOWN (SLOPE < 1.0%) TO DIRECT FLOW SOUTH TO POND.
- 15 CONSTRUCT 6" DEEP LANDSCAPED STILLING BASIN TO CAPTURE MINOR PERIMETER FLOW AND UTILIZE FOR LANDSCAPE.
- 16 CONSTRUCT 2' WIDE (BOTTOM WIDTH) X 6" DEEP 'U' SHAPED CONCRETE CHANNEL (6" THICK CONCRETE) TO PASS FLOW THROUGH WALK. PROVIDE STEEL PLATE COVER FLUSH WITH WALK.

**S.O.19 : NOTICE TO CONTRACTORS**

- 1 AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- 2 ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- 3 TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- 4 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5 BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
- 6 MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- 7 WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 Fax. 505-268-2632  
 1483GRD.DWG:p 09-11-06

**LEGEND**

- SIDEWALK, CURB and GUTTER, ETC. (EXISTING, PROPOSED)
- + 55.7 EXISTING SPOT ELEVATION
- 50.9 EXISTING CONTOUR
- ± 95.0 PROPOSED SPOT ELEVATION
- 95 PROPOSED CONTOUR
- FL FLOW LINE
- FF FINISHED FLOOR
- FH PROPOSED FIRE HYDRANT
- TW TOP OF WALK
- TGW TOP OF GARDEN WALL

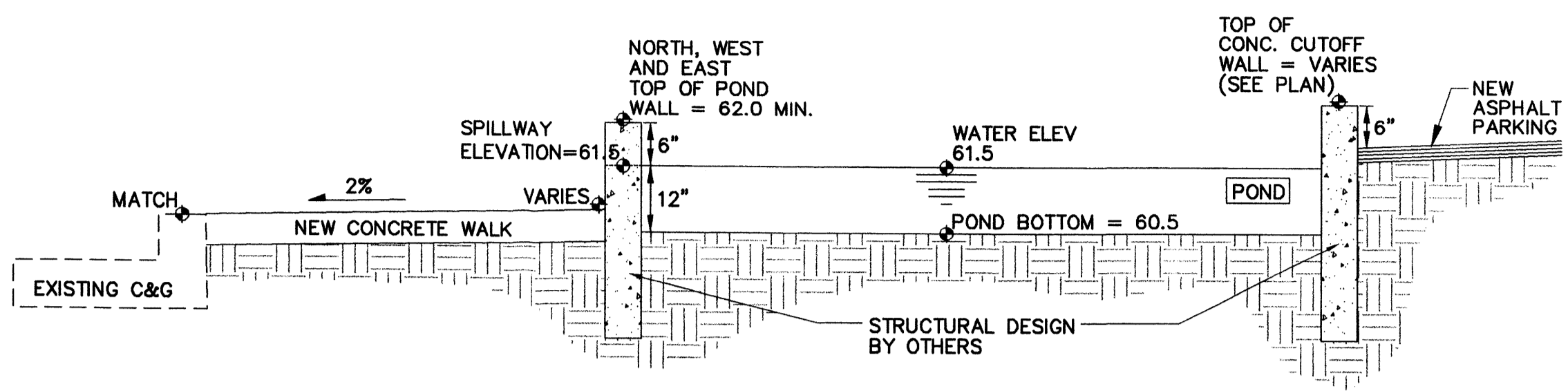
**HIGH ASSETS LEGAL OFFICE**  
 Micheal Barthelemy

**GRADING AND DRAINAGE PLAN**

Date:	No.	Revision:	Date:	Job No.
09-11-06				1483
Drawn By:				<b>C-1</b>
By:				<b>SH. OF</b>

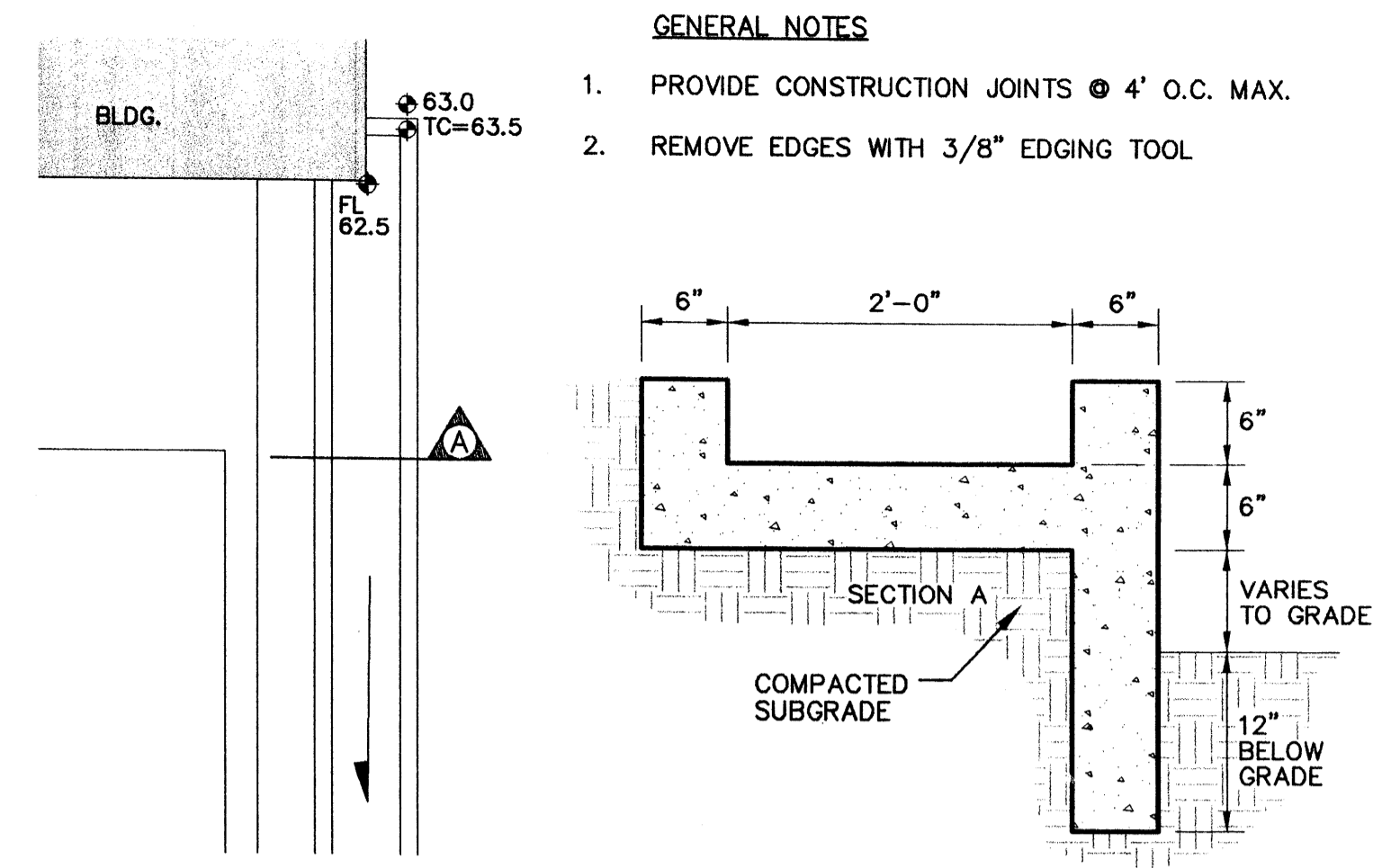
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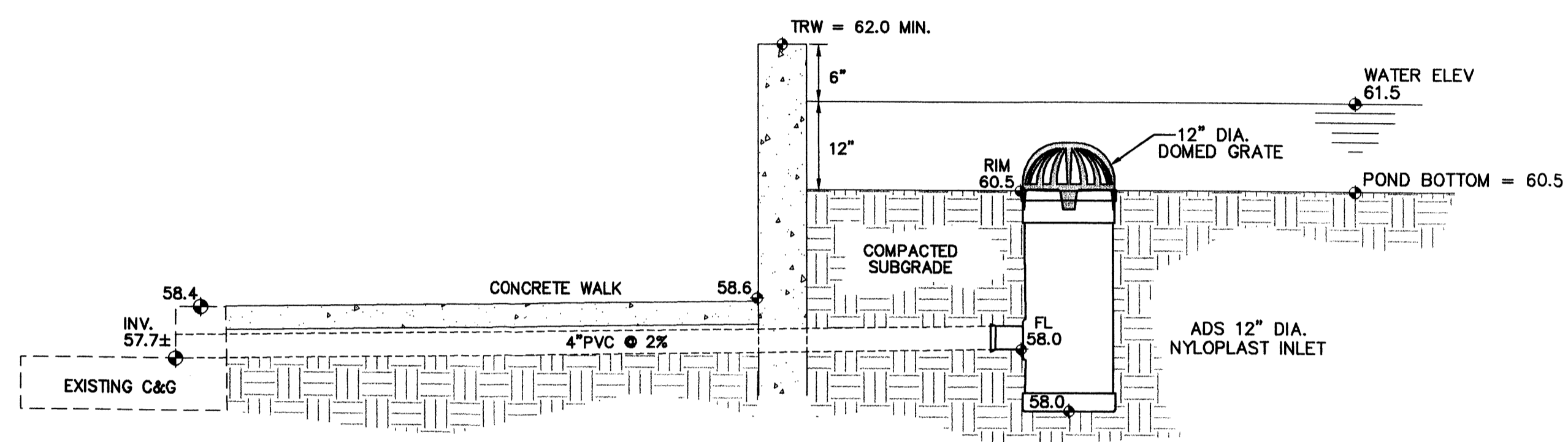
POND SECTION A

N.T.S.



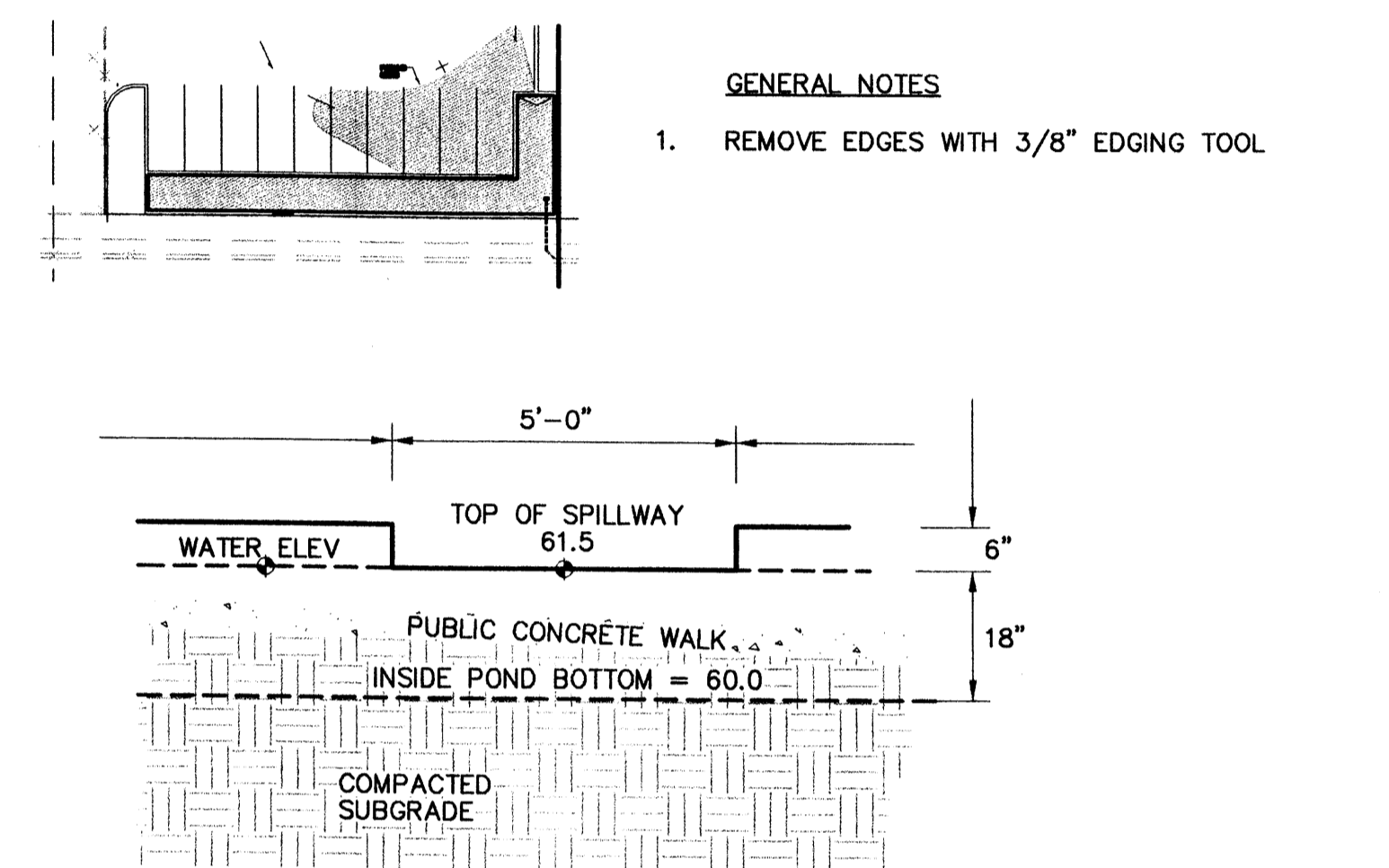
'U' SHAPED CONC. CHANNEL

N.T.S.



NYLOPLAST OUTLET STRUCTURE

N.T.S.

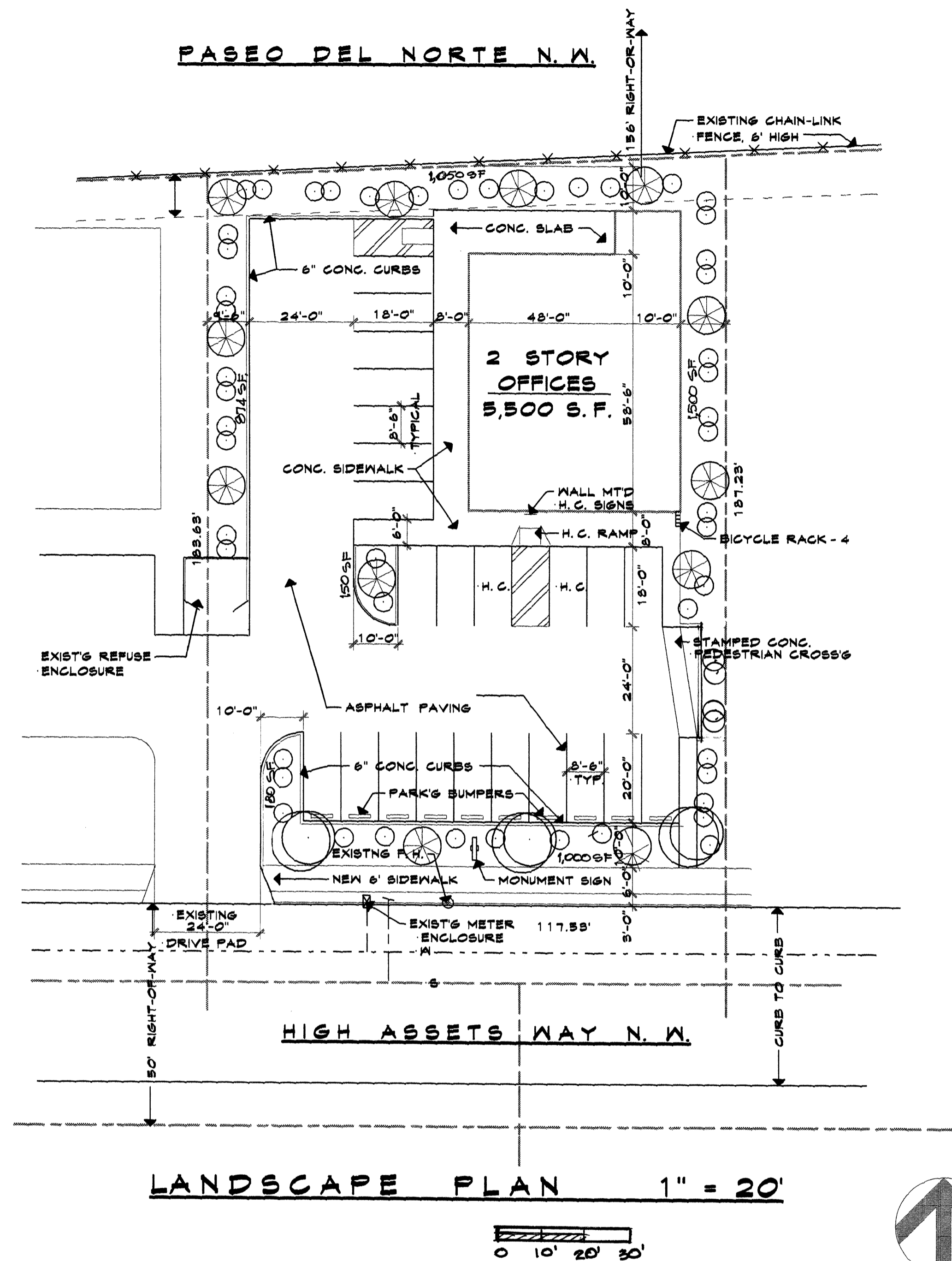
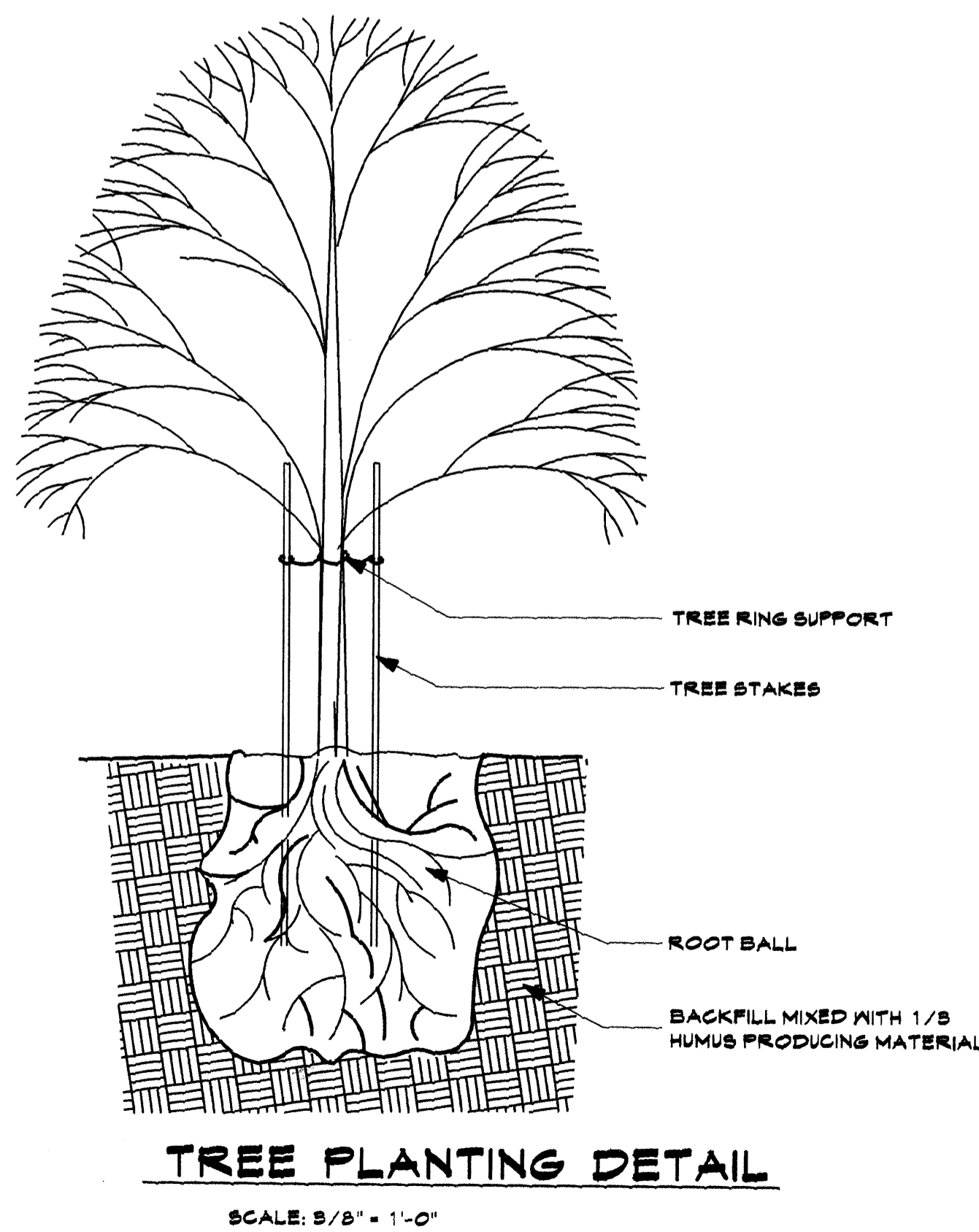
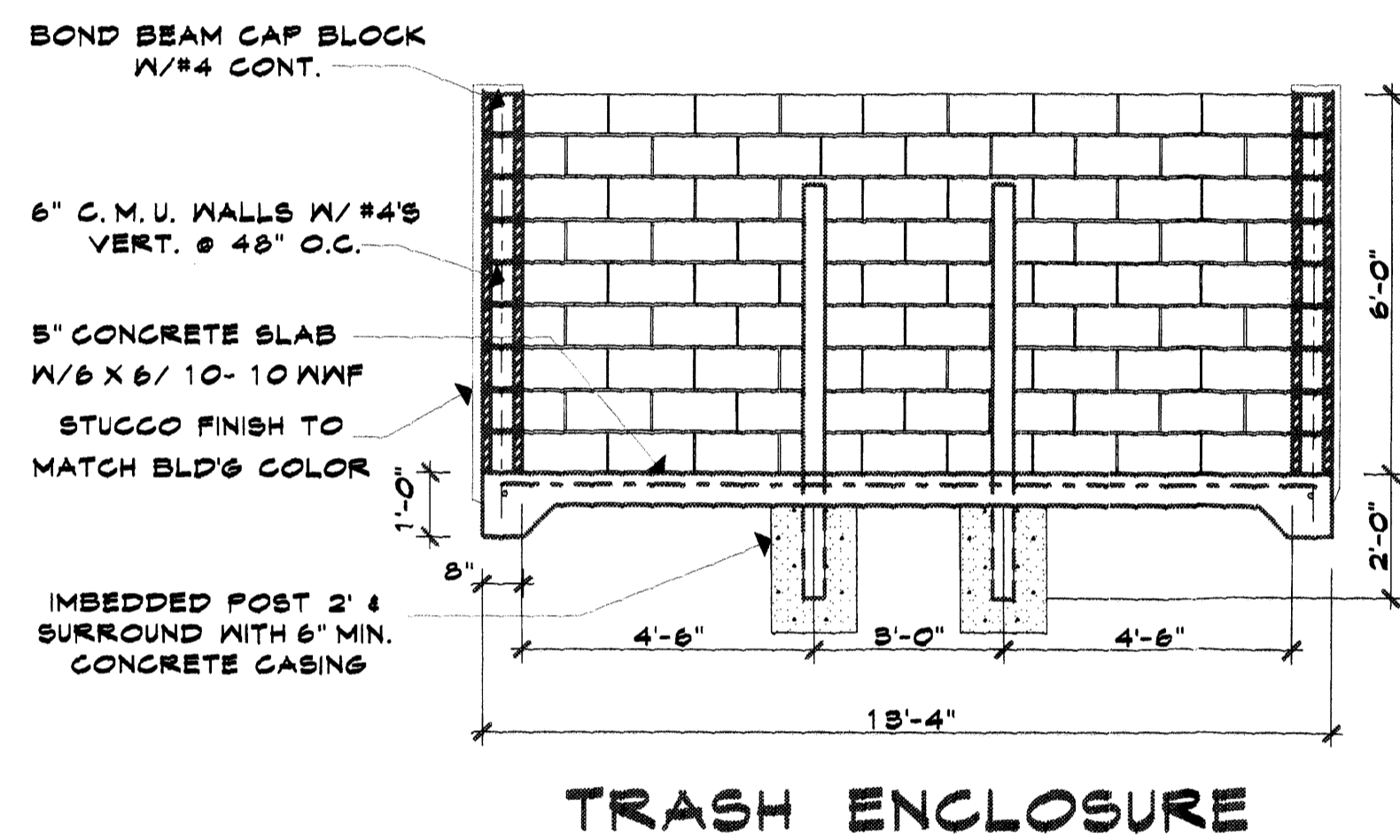
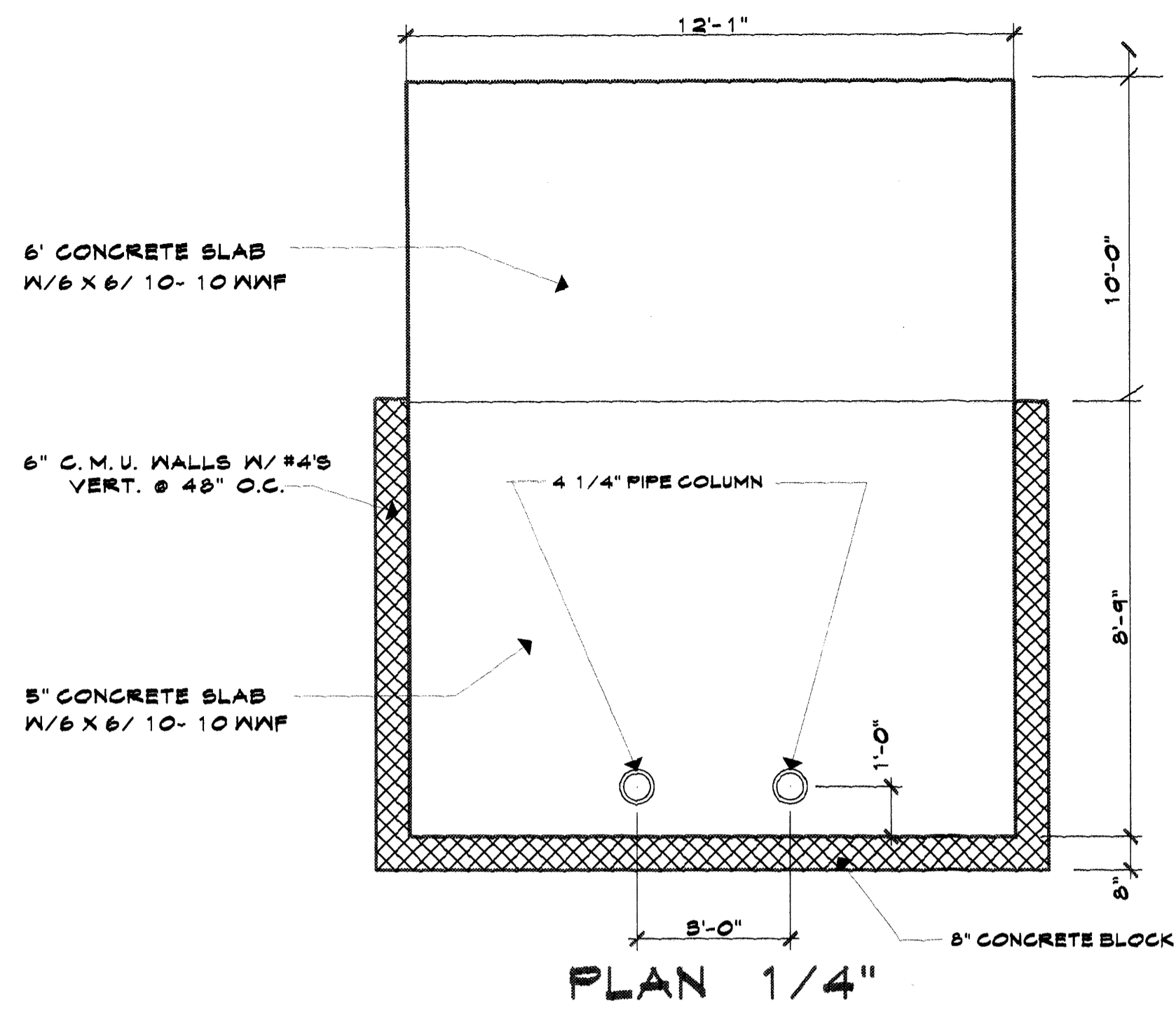


POND SPILLWAY ELEVATION

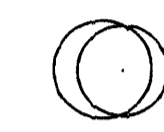


N.T.S.

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	<b>ISAACSON &amp; ARFMAN, P.A.</b> Consulting Engineering Associates 128 Monroe Street N.E. Albuquerque, New Mexico 87108 Ph. 505-268-8828 Fax. 505-268-2632 1483GRD.DWG:BJB 09-11-06	
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<b>HIGH ASSETS          LEGAL OFFICE</b> <b>Michael Barthelemy</b>		
<b>GRADING AND DRAINAGE PLAN</b>		
Date:	No. Revision:	Date:
09-11-06		
Drawn By:		Job No. 1483
BJB		<b>C-2</b>
Ckd By:		<b>SH. OF</b>
FCA		



**LANDSCAPE LEGEND:**

-  CHINESE PISTACHE - 2" CALIPHER (MODERATE WATER USE) - 3 PLANTS
-  AUSTRIAN PINE - 2" CALIPHER (MODERATE WATER USE) - 12 PLANTS
-  SPANISH BROOM - 5 GAL CHAMISA - 5 GAL (MODERATE WATER USE) - 44 PLANTS

GROUND COVER - 3/4" GRAVEL SANTA FE TAN  
 GRASS SOD - 'ALBUQUERQUE BLEND'  
 IRRIGATION BY DRIP IRRIGATION SYSTEM  
 MAINTENANCE BY OWNER

**LANDSCAPE REQUIRED:**

LAND AREA 22,005 S.F. - 3,000 S.F.  
 X 15% = 2,851 SQ. FT.

**LANDSCAPE PROVIDED:**

874 + 1,000 + 1,500  
 1,050 + 180 + 150  
 = 4,754 SQ. FT.

**LANDSCAPE TO PROPERTY RATIO:**

4,754 S. F. / 22,005 S. F.  
 = 21%

ALL LANDSCAPING WILL BE IN CONFORMANCE W/CITY OF ALBUQ. ZONING CODE, STREET TREE ORD POLLEN, WASTE WATER & WATER CONSERVATION LANDSCAPE ORDINANCES

**LANDSCAPE NOTES:**

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION

PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY. SFB GRAVEL OVER FILTER FABRIC SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED

**IRRIGATION NOTES**

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) & SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP & BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE W/FLUSH CAPS AT EACH END. RUN TIME PER EACH TRIP WILL BE APPROXIMATELY 15 MINUTE PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.

JOB NO: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 REVISION: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_

SHEET TITLE  
**LANDSCAPE PLAN, LEGEND, NOTES & DETAILS**

ARCHITECTS  
**MILLER AND ASSOCIATES**  
 PLANNERS  
 5220 SECOND STREET N.E.  
 ALBUQUERQUE NEW MEXICO 87117  
 PHONE 505 349-1512

PROPOSED OFFICE BUILDING  
 HIGH ASSET WAY N.W.  
 ALBUQUERQUE, NEW MEXICO

JOB TITLE

**LS**



JOB NO.
DATE Oct 05'
REVISION Sept 05'
DRAWN BY J.W.M.
CHECKED BY

SHEET TITLE  
**BUILDING ELEVATIONS & SIGN ELEVATIONS**

MILLER AND ASSOCIATES  
ARCHITECTS PLANNERS  
5220 SECOND STREET N.W.  
ALBUQUERQUE, NEW MEXICO  
505) 548-1512

JOB TITLE  
**PROPOSED OFFICE BUILDING  
HIGH ASSET WAY N.W.  
ALBUQUERQUE, NEW MEXICO**

