

**Site Plan Keynotes**

1. PROVIDE LANDSCAPE AREA, SEE LANDSCAPE DRAWINGS.
2. EXISTING LANDSCAPE AREA TO REMAIN.
3. PROVIDE BLACK CONCRETE PAVING (HATCHED AREA), SEE CIVIL DRAWINGS.
4. PROVIDE CONCRETE SIDEWALK, SEE CIVIL DRAWINGS.
5. PROVIDE PARKING STRIPING PER CITY STANDARDS, TYPICAL.
6. PROVIDE ASPHALT PAVING, SEE CIVIL DRAWINGS.
7. DRIVE-THRU QUEUING LANES(S)
8. 6'-0" CMU TRASH ENCLOSURE PER CITY STANDARDS, COLOR TO MATCH BUILDING. "HARVEST BROWN"
9. ACCESSIBLE PARKING PER ADAAG ACCESSIBLE GUIDELINES.
10. PROVIDE CONCRETE SIDEWALK RAMP TO MEET ADAAG ACCESSIBLE GUIDELINES.
11. PROVIDE DETACHABLE WARNING STRIPS PER ADAAG 4.29.5 PROVIDE TEK-WAY DOME BRICK "RED".
12. PROVIDE BLACK CONCRETE DRIVE-THRU PAVING (HATCHED AREA), SEE CIVIL DRAWINGS.
13. 60-GAL TANK ON 4" SQUARE x 4" THICK CONCRETE PAD. PROVIDE 20 GA. METAL STUD ENCLOSURE WITH ACCESS DOOR AND FILL BOX. ROUTE LINES TO BAG-IN-BOX CARBONATORS; PROVIDE WARNING STICKERS AS REQUIRED.
14. PROPERTY LINE.
15. PROVIDE MENU/ORDER BOARD. SIGNAGE UNDER SEPARATE PERMIT.
16. EXTERIOR SERVICE ENTRANCE SECTION (SES)
17. PROVIDE UNDERGROUND GREASE INTERCEPTOR. SEE CIVIL AND PLUMBING DRAWINGS.
18. PROPOSED TRANSFORMER LOCATION, G.C. TO COORDINATE WITH DEVELOPER AND POWER COMPANY. PROVIDE CONCRETE PAD.
19. 2'-6" PARKING OVERHANG.
20. MAXIMUM HEIGHT CLEARANCE BAR. UNDER SEPARATE PERMIT. CONTRACTOR TO PROVIDE ELECTRICAL.
21. EXISTING POLE MOUNTED SITE LIGHT TO REMAIN. VERIFY LOCATION.
22. PROVIDE REMOTE FIRE DEPARTMENT CONNECTION (FDC) LOCATED WITHIN 200' OF FIRE HYDRANT WITH I.D. SIGNAGE. FDC SHALL BE LOCATED AND ARRANGED SO THAT THE HOSE CAN BE READILY ATTACHED. LANDSCAPING WILL BE MAINTAINED TO PROVIDE VISIBILITY AND HAVE AN UNOBSTRUCTED ACCESS. SEE CIVIL DRAWINGS.
23. PROPOSED GAS METER LOCATION, G.C. TO COORDINATE INSTALLATION WITH PROVIDE ELECTRICAL.
24. NEW BIKE RACK TO MATCH CENTER; 6 SPACES.
25. PROVIDE 6" Ø CONCRETE FILLED PIPE BOLLARD.
26. PROVIDE ROOF DRAIN CONCRETE DRAINAGE SWALE.
27. NOT USED.
28. ACCESSIBLE ROUTE TO PUBLIC WAY PER CITY AND ADAAG STANDARDS.
29. PROVIDE ACCESSIBLE PARKING SIGN, PER CITY STANDARDS -66-7-352.4 C NMSA 1978 REFER TO DETAIL 6, SHEET A1.3.
30. PROVIDE 6" CONCRETE CURB, TYPICAL. SEE CIVIL DRAWINGS.
31. EXISTING CURB TO REMAIN. IF DAMAGED DURING CONSTRUCTION REPLACE / REPAIR PAINT AS REQUIRED.
32. EXISTING MASTER SITE ASPHALT PAVING TO REMAIN, TYPICAL.
33. ACCESSIBLE PAINTED ROUTE STRIPING PER CITY STANDARDS.
34. CONNECT TO EXISTING SIDEWALK, VERIFY LOCATION.
35. DASHED LINE INDICATES CANOPY OVERHANG, TYPICAL.
36. EXISTING SIDEWALK TO REMAIN.
37. 42" HIGH CMU PARKING SCREEN WALL. COLOR TO MATCH BUILDING STANDARDS.
38. RETENTION AREA.
39. "NO PARKING" PAVEMENT SIGNAGE PLACED AT REAR OF STALL PER 66-14-18 NMSA 1978 LETTERS TO BE 1'-0" HEIGHT AND 2' IN WIDTH, CONTRASTING IN COLOR.
40. 10' X 20' CLEAR SITE TRIANGLE AT DRIVEWAYS.
41. CONCRETE PAD TO TRASH ENCLOSURE.
42. DRIVE-THRU SPEAKER POST.
43. BUILDING LAYOUT POINT.
44. LOCATION OF EXISTING TRAFFIC SIGN.
45. EXISTING MONUMENT SIGN TO REMAIN.
46. PROPOSED AREA LIGHTING. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
47. PEDESTRIAN CROSSING AT DRIVE AISLE TO BE DECORATIVE STAMPED ASPHALT RED EARTH TONE IN COLOR, CONTRASTING FROM THE ADJACENT PAVEMENT REF. CIVIL DRAWINGS.
48. DIRECTIONAL SIGNAGE, SHOWN FOR REFERENCE ONLY. ALL SIGNAGE UNDER SEPARATE PERMIT. CONTRACTOR TO PROVIDE ELECTRICAL.
49. 200 S.F. PATIO AREA PER HERITAGE MARKETPLACE DESIGN STANDARDS.

PROJECT NUMBER: 1003275  
 APPLICATION NUMBER: 16 EPC - 40088  
 17 DEB - 20377

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED 2/9/2017 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AMD INFRASTRUCTURE LIST REQUIRED? ( ) YES (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

*Tom McCollum* 1/24/18 DATE  
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION

*Jan Entsaand* 1/24/18 DATE  
 WATER UTILITY DEVELOPMENT

*Joe Pappas* 1/24/18 DATE  
 PARKS & RECREATION DEPARTMENT

*N/A* DATE  
 ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)

*Samuel D. Hughes* 3/27/2018 DATE  
 CITY ENGINEER

*N/A* DATE  
 ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)

*Wendy* 12-20-17 DATE  
 SOLID WASTE MANAGEMENT

*Wendy* 3-29-2018 DATE  
 DRB CHAIRPERSON, PLANNING DEPARTMENT

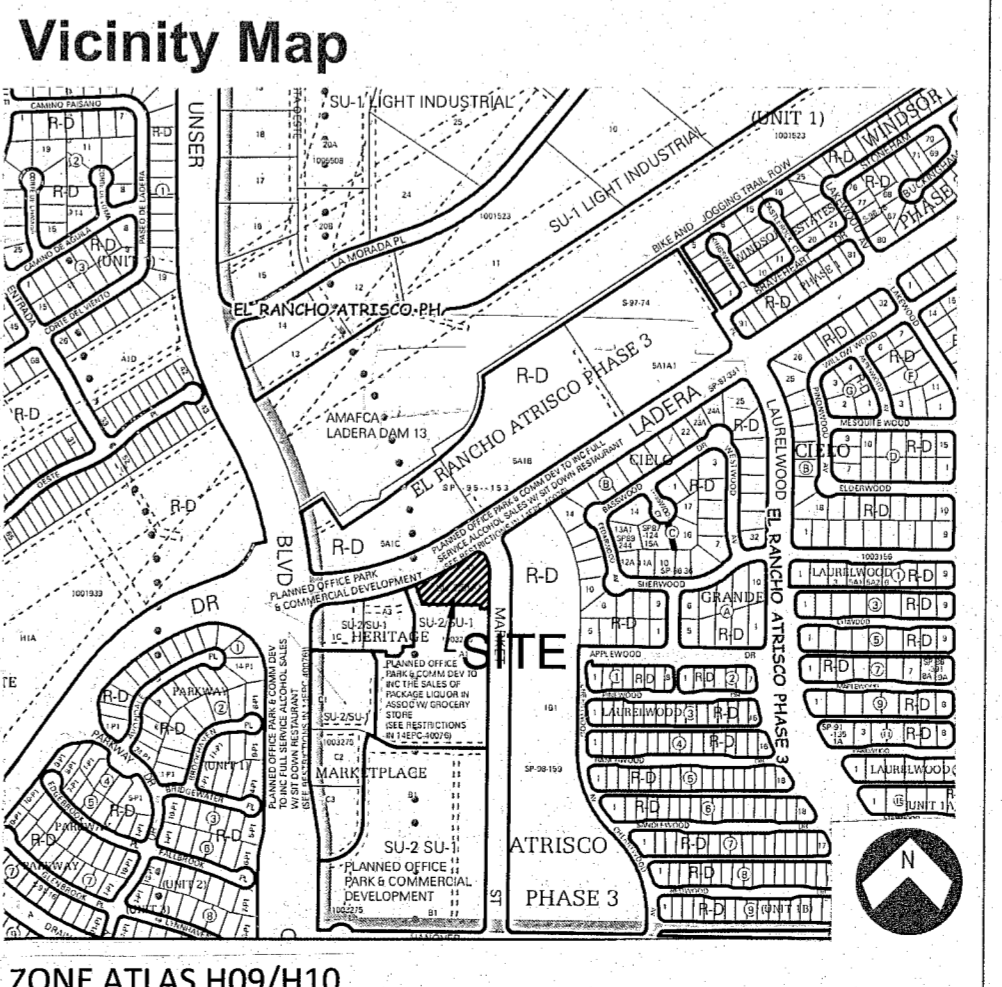
( \* ENVIRONMENTAL HEALTH, IF NECESSARY )

- INDEX TO DRAWINGS**
- A1.1 SITE PLAN
  - LA.01 LANDSCAPE PLAN
  - C3.00 GRADING AND DRAINAGE
  - C4.00 UTILITY LAYOUT
  - A4.1 BUILDING ELEVATIONS
  - A4.2 BUILDING ELEVATIONS

**General Notes**

A. FUTURE SIGNAGE CAN BE APPROVED ADMINISTRATIVELY, IF THE SIGNAGE COMPLIES WITH THE ZONING CODES OF HERITAGE MARKETPLACE DESIGN STANDARDS.

B. PROVIDE 1" INSULATED SOLORBAN 60 CLEAR FOR ALL GLAZING.



**BURGER KING**  
 7900 LADERA DRIVE NW ALBUQUERQUE, NM 87120

**Owner**  
 TOM McCOLLUM  
 CONTACT: TOM McCOLLUM  
 11000 BERMUDA DUNES NE  
 ALBUQUERQUE, NM  
 PHONE: 505-681-7474  
 tmgntrmm@aol.com

**Architect**  
 SIMONS ARCHITECTURE PC  
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 ALBUQUERQUE, NM  
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 joe@simonsarchitecture.com

**About this project...**

THIS PROJECT IS FOR A NEW 2,766 S.F. BURGER KING RESTAURANT. THE NEW BUILDING WILL INCLUDE A DRIVE THRU WITH A DOUBLE ORDER LANE.

**City of Albuquerque Building Codes**

THIS PROJECT SHALL ADHERE TO THE FOLLOWING CODES:

- 2009 NEW MEXICO COMMERCIAL BUILDING CODE
- 2009 NEW MEXICO EARTHEN BUILDING MATERIALS CODE
- 2014 NEW MEXICO ELECTRICAL CODE
- 2009 STATE OF NEW MEXICO ENERGY CONSERVATION CODE
- 2014 NEW MEXICO ELECTRICAL CODE
- 2012 NEW MEXICO MECHANICAL CODE
- 2012 NEW MEXICO PLUMBING CODE
- 2015 UNIFORM ADMINISTRATION CODE
- CITY OF ALBUQUERQUE AMENDMENTS TO THE NEW MEXICO BUILDING CODE

**Legal Description**

TR A2 PLAT OF TRACTS A-1 THRU A-3 AND C-1 THRU C-3, HERITAGE MARKETPLACE (BEING A REPLAT OF TRACTS A AND C)

**Project Information**

ADDRESS: 7900 LADERA DRIVE NW ALBUQUERQUE NM 87120  
 PARCEL: 100 905 954 109 740 103

EXISTING ZONING: SU-2 / SU-1  
 PROPOSED ZONING: SU-1  
 SITE AREA GROSS: 49,172 S.F. (1.06 AC.)  
 SITE AREA NET = 41,137 S.F. (0.94 AC.)  
 COVERAGE (%): 7.8%  
 OCCUPANCY TYPW: A-2 RESTAURANT, NON-SEPARATED  
 CONSTRUCTION TYPE: V-8  
 FIRE SPRINKLERS: NO  
 FIRE ALARM: YES  
 ALLOWABLE AREA: PER IBC TABLE 503 - 6,000 S.F. / FLOOR  
 AREA INCREASE: NONE REQUIRED  
 TOTAL BUILDING AREA: 2,766 S.F.  
 ALLOWABLE HEIGHT: 26 FEET  
 PROPOSED HEIGHT: 23 FEET  
 LANDSCAPING PROVIDED: 14,422 S.F.  
 LANDSCAPE CALCULATION: 41,137 S.F. - 2,766 S.F. = 38,371 S.F. X 15% = 5,755.65 S.F. (15%)

OCCUPANT LOAD:	
DINING:	FIXED SEATING = 42
KITCHEN:	895 S.F. / 200 = 5
STANDING:	93 S.F. / 5 = 19
STORAGE:	350 S.F. / 300 = 2
68	

EXITS REQUIRED: 2  
 EXITS REQUIRED: 3

**Parking Calculations**

FOR THIS PROJECT:

PARKING REQUIRED:	
RESTAURANT	11
42 / 4 =	11
TOTAL	11

PARKING PROVIDED:	
STANDARD SPACES ON-SITE:	21
COMPACT SPACES ON-SITE:	3
ACCESSIBLE SPACES ON-SITE:	2
TOTAL	26 SPACES

ACCESSIBLE PARKING REQUIRED: 2 SPACES  
 ACCESSIBLE PARKING PROVIDED: 2 SPACES  
 BICYCLE PARKING REQUIRED: 6 SPACES  
 BICYCLE PARKING PROVIDED: 6 SPACES

DATE: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 NO. DATE: \_\_\_\_\_

BURGER KING CORP. / FRANCHISEE  
 STREET ADDRESS: \_\_\_\_\_  
 CITY, STATE, ZIP: \_\_\_\_\_  
 PHONE: \_\_\_\_\_

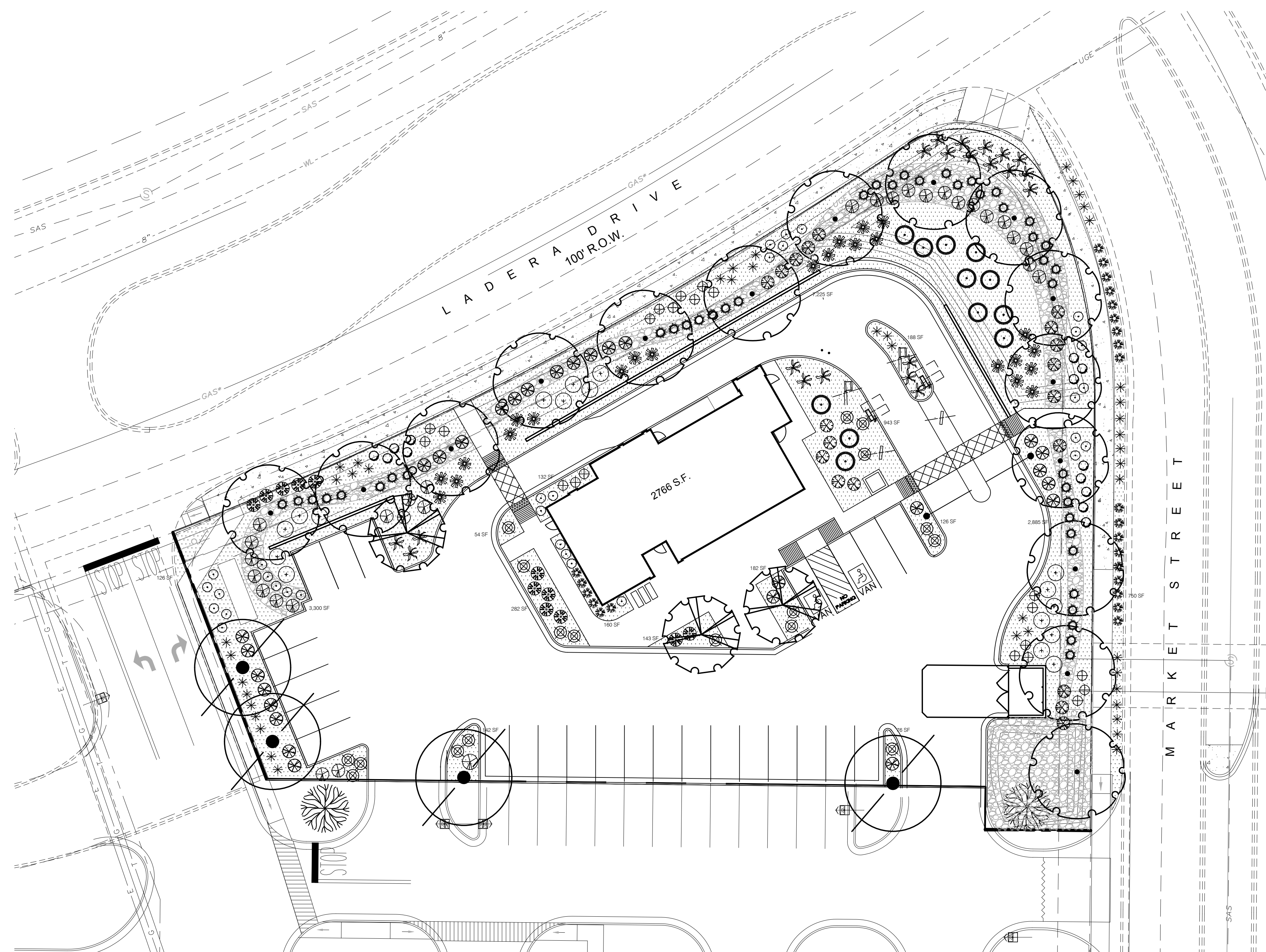
Joseph F. Simons Jr., aia  
 nm lic 022688  
 albu, n.m., 87166-7408  
 ph. 505.480.4796  
 joe@simonsarchitecture.com

**SIMONS ARCHITECTURE**

STATE OF NEW MEXICO  
 Joseph F. Simons, Jr.  
 No. 2890  
 12-14-17  
 REGISTERED ARCHITECT

PROJECT #: J05-057  
 R0C-40 20 720  
**BURGER KING RESTAURANT**  
 LADERA AND MARKET  
 ALBUQUERQUE, NM

**A1.1**



**PLANT LEGEND**

QTY.	SYMBOL	SCIENTIFIC NAME (WATER USE) COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE
<b>TREES</b>				
3		EXISTING TREES		
3		CERCIS RENIFORMIS 'OKLAHOMA' (M) OKLAHOMA REDBUD	2.5' B&B	12'-14' HT. 25' HT. X 25' SPR.
4		FRAXINUS PENN. 'URBANITE' (M+) URBANITE ASH	2.5' B&B	12'-14' HT. 50' HT. X 40' SPR.
12		JUNIPERUS SCOP. 'SKYROCKET' (M) SKYROCKET JUNIPER	15-GAL.	6' HT. 12' HT. X 6' SPR.
15		ULMUS PARVIFOLIA 'ALLEE II' (M) ALLEE LACEBARK ELM	2.5' B&B	12'-14' HT. 50' HT X 35' SPR.
<b>SHRUBS/GROUNDCOVERS</b>				
19		CARYOPTERIS CLAND. 'DARK KNIGHT' (M) DARK KNIGHT BLUE MIST	5-GAL.	3' HT. X 3' SPR.
17		CHRYSOTHAMNUS NAUSEOSUS (L) CHAMISA	5-GAL.	5' HT. X 5' SPR.
28		CYTISUS SCOPARIUS 'LENA'S BROOM' (M) LENA'S BROOM	5-GAL.	4' HT. X 4' SPR.
29		FALLUGIA PARADOXA (L) APACHE PLUME	5-GAL.	6' HT. X 7' SPR.
12		PINUS MUGO (M) MUGO PINE	5-GAL.	4' HT. X 8' SPR.
31		ERICAMERIA LARICIFOLIA 'AGUIRRE' (M) TURPENTINE BUSH	5-GAL.	3' HT. X 4' SPR.
13		LAVENDULA ANGUSTIFOLIA 'HIDCOTE' (M) ENGLISH LAVENDER	5-GAL.	3' HT. X 3' SPR.
21		SALVIA GREGGII 'FURMAN'S RED' (M) CHERRY SAGE	5-GAL.	3' HT. X 3' SPR.
21		JUNIPERUS SABINA 'BUFFALO' (L+) BUFFALO JUNIPER	5-GAL.	1' HT. X 8' SPR.
18		RHUS TRILOBATA 'AUTUMN AMBER' (L+) CREEPING THREE LEAF SUMAC	5-GAL.	18" HT. X 6' SPR.
<b>ACCENTS</b>				
43		CALAMAGROSTIS A. 'KARL FOERSTER' (L+) FEATHER REED GRASS	5-GAL.	30" HT. X 3' SPR.
44		HESPERALOE PARVIFLORA (M) RED YUCCA	5-GAL.	3' HT. X 4' SPR.
24		MUHLENBERGIA CAP. 'REGAL MIST' (M) MUHLY GRASS	5-GAL.	3' HT. X 3' SPR.
24		NOLINA MICROCARPA (L) BEARGRASS	5-GAL.	5' HT. X 6' SPR.
2'-4" CANYON GOLD COBBLE MULCH (6" DEPTH) 7/8" MOUNTAINAIR BROWN ROCK MULCH (3" DEPTH OVER FILTER FABRIC)				

**GENERAL LANDSCAPE NOTES**  
**LANDSCAPE DESIGN**  
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 7/8" MOUNTAINAIR BROWN ROCK MULCH AND 2'-4" CANYON GOLD COBBLE MULCH.

**IRRIGATION**  
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**RESPONSIBILITY OF MAINTENANCE**  
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
 THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE

BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**PNM COORDINATION**  
 COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE:**  
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**WATER HARVESTING**  
 LANDSCAPE AREAS SHALL BE DEPRESSED WHERE FEASIBLE FOR WATER HARVESTING PURPOSES. SEE GRADING AND DRAINAGE PLAN FOR DETAILS ON STRATEGY TO MEET FIRST FLUSH REQUIREMENTS.

**LANDSCAPE AREA COVERAGE**  
 TOTAL SITE AREA (94 AC.): 41,137 SF  
 BUILDING AREA: - 2,766 SF  
 LANDSCAPED R.O.W.: - 750 SF  
 NET AREA: 37,621 SF

**REQUIRED LANDSCAPE AREA (15% OF NET AREA):** 5,644 SF  
**PROVIDED LANDSCAPE AREA**  
 ON-SITE: 15,964 SF  
 OFF-SITE (R.O.W.): 750 SF

**LANDSCAPE LIVE VEGETATIVE COVERAGE**  
 LANDSCAPE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE LIVE VEGETATIVE MATERIAL COVERING 75% OF THE REQUIRED LANDSCAPE AREA, WITH 30% SHRUB/GROUND COVER COVERAGE.

**TOTAL LANDSCAPE COVERAGE:**  
 11,970 SF REQUIRED / 13,451 SF PROVIDED  
 SHRUB COVERAGE:  
 4,788 SF REQUIRED / 8,074 SF PROVIDED

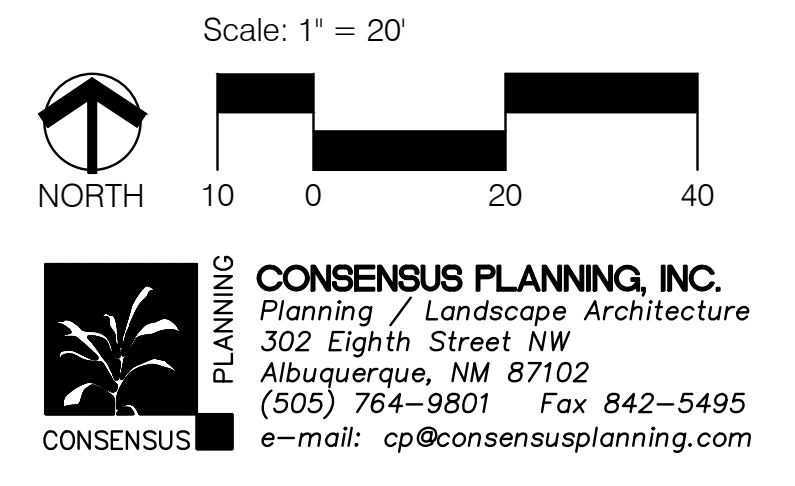
**PARKING LOT TREES**  
 BURGER KING IS PROVIDING 26 CUSTOMER PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

**PARKING LOT TREES REQUIRED:** 3  
**PARKING LOT TREES PROVIDED:** 5

**STREET TREES**  
 STREET TREE REQUIREMENTS SPECIFY THE SPACING BETWEEN EVENLY SPACED TREES SHOULD BE NO GREATER THAN THE DIAMETER OF THE TREE CANOPY AT MATURITY.

**MARKET STREET FRONTAGE IS 226'**  
 MATURE TREE CANOPY SIZE / 35'  
 7 TREES REQUIRED / 7 TREES PROVIDED

**LADERA DRIVE FRONTAGE / 281'**  
 MATURE TREE CANOPY SIZE / 35'  
 8 TREES REQUIRED / 8 TREES PROVIDED



**CONSENSUS PLANNING, INC.**  
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**PROJECT # J05-057**  
**ROC-40 20/20**  
**BURGER KING RESTAURANT**  
 LADERA AND MARKET  
 ALBUQUERQUE, NM

**DATE:** \_\_\_\_\_  
**CHECKED BY:** \_\_\_\_\_  
**NO. DATE:** \_\_\_\_\_

**BURGER KING**

**BURGER KING CORP./FRANCHISEE**  
 STREET ADDRESS \_\_\_\_\_  
 CITY, STATE, ZIP \_\_\_\_\_  
 PHONE: \_\_\_\_\_

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**SIMONS ARCHITECTURE**

**L1.2**

**GENERAL NOTES:**

- THIS SITE IS NOT LOCATED WITHIN A FEMA FLOOD HAZARD ZONE. REFER TO THE FEMA EXCERPT THIS SHEET.
- THE DESIGNER HAS REVIEWED THE RECOMMENDATIONS AT THE OWNER'S RISK. A GEOTECHNICAL REPORT PRIOR TO DESIGN OF FOUNDATION FOOTINGS IS REQUIRED.
- MODIFICATIONS OR ADJUSTMENTS TO EXISTING DRAINAGE STRUCTURES EROSION MITIGATION IMPROVEMENTS SHALL BE DONE IN THE SAME MANNER AS THE ORIGINAL IMPROVEMENT.
- ALL SWOOSH REQUIREMENTS SHALL BE ADHERED TO.
- ALL WORK ON THIS PLAN SHALL BE DONE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARDS. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO WORK COMMENCEMENT.
- ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARDS.
- THE SURVEY INFORMATION WAS PROVIDED BY THE SURVEYING FIRM. THE DESIGNER HAS REVIEWED THE INFORMATION AND FOUND IT TO BE ACCURATE.
- FOR SITE DIMENSIONS, SEE THE ADJACENT FRASCO RECORD DRAWINGS. REFER TO THE SITE PLAN.
- CHILD 2" INLET WITH RATE FL=78.00 AND OBJECT TO BEASE TRAFFIC TO SAS SEWER SERVICE LINE. TO ACCORDANCE WITH APPLICABLE AWWA AND CITY OF ALBUQUERQUE CODES, STANDARDS AND REQUIREMENTS.
- CONSTRUCT 12" SIDEWALK CULVERT OVER STD DW. 22.6' SO. 19' REQUIRED. SEE NOTES ON SHEET 2. INV. IN = 77.45, INV. OUT = 76.32. MATCH EXST. FL. ELEV. TO BE COVERED WITH 1" CAST IN PLACE CONCRETE. WELD TIE DOWN BOLTS.

**EROSION CONTROL NOTES:**

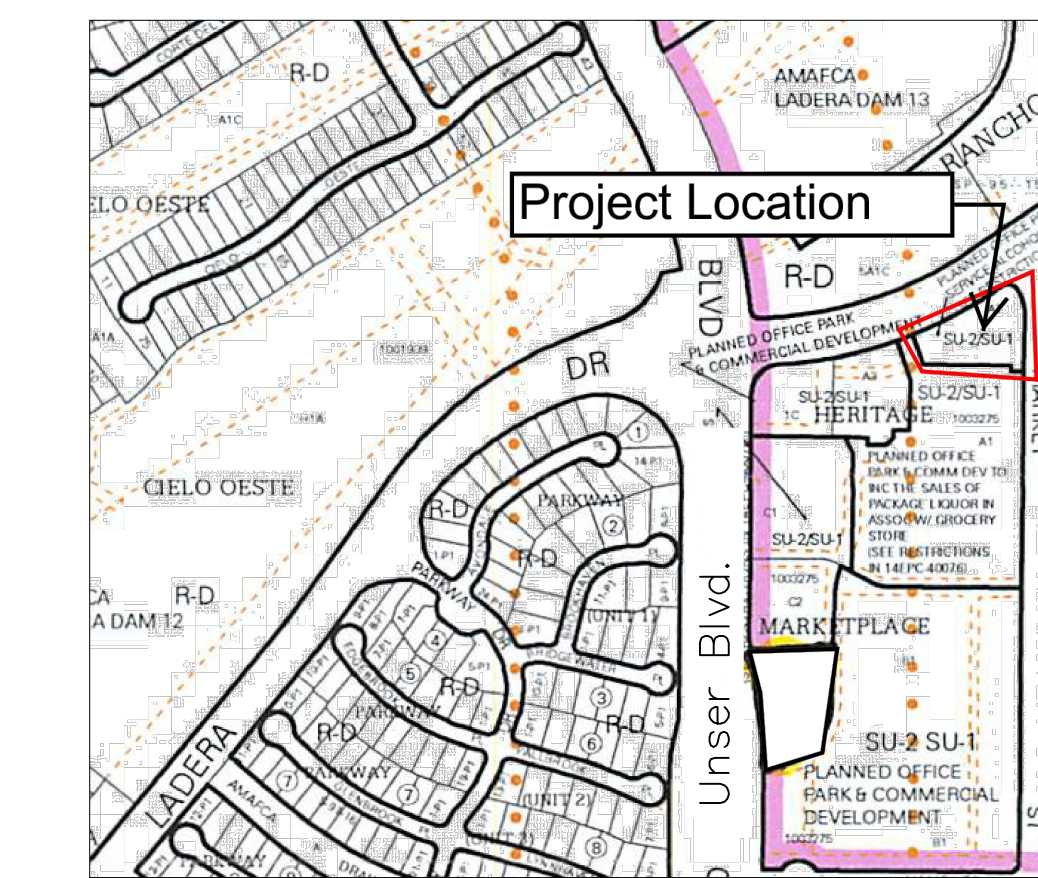
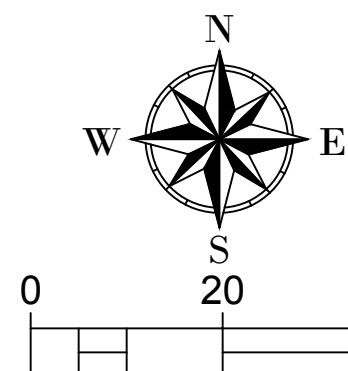
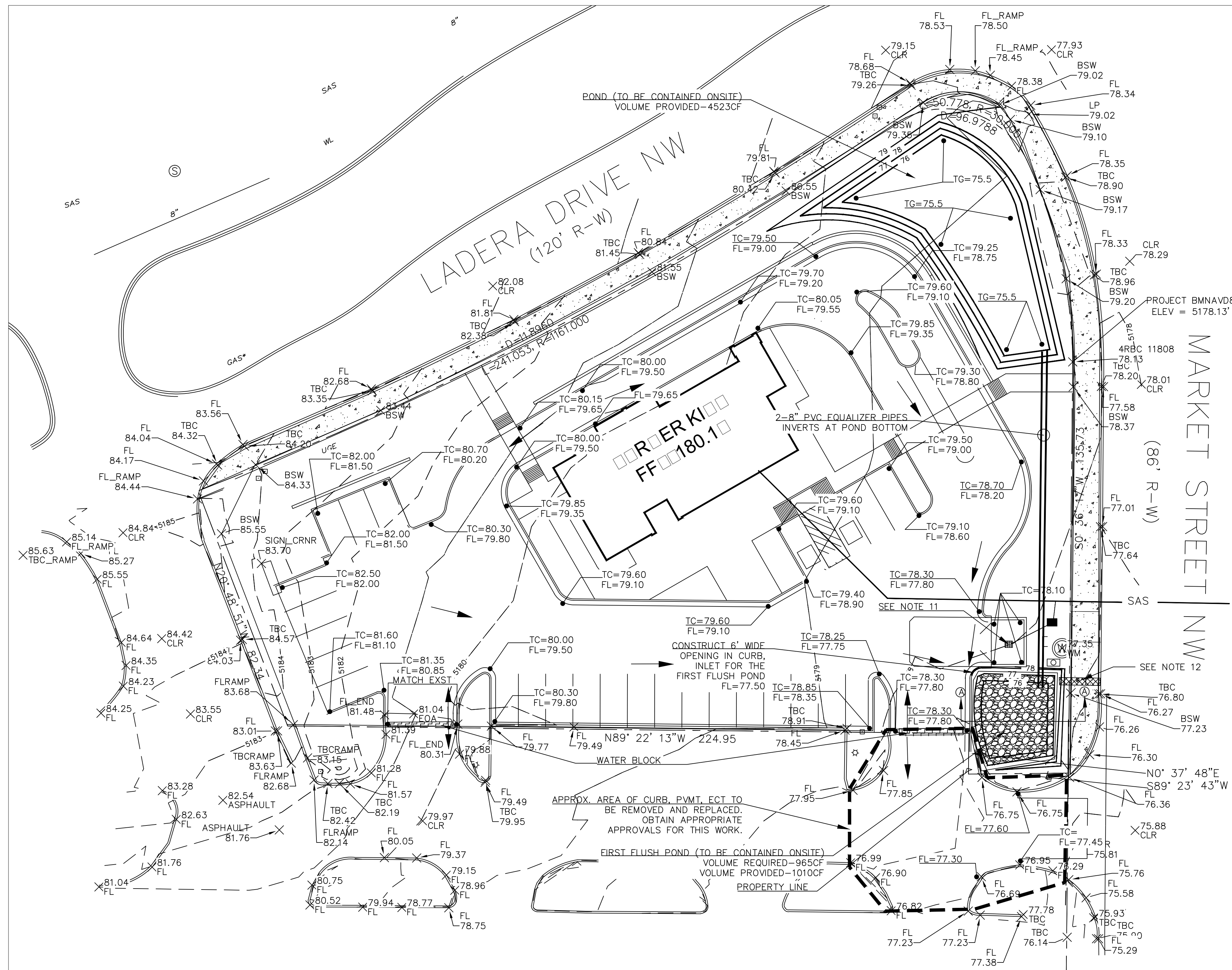
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

**CAUTION:**

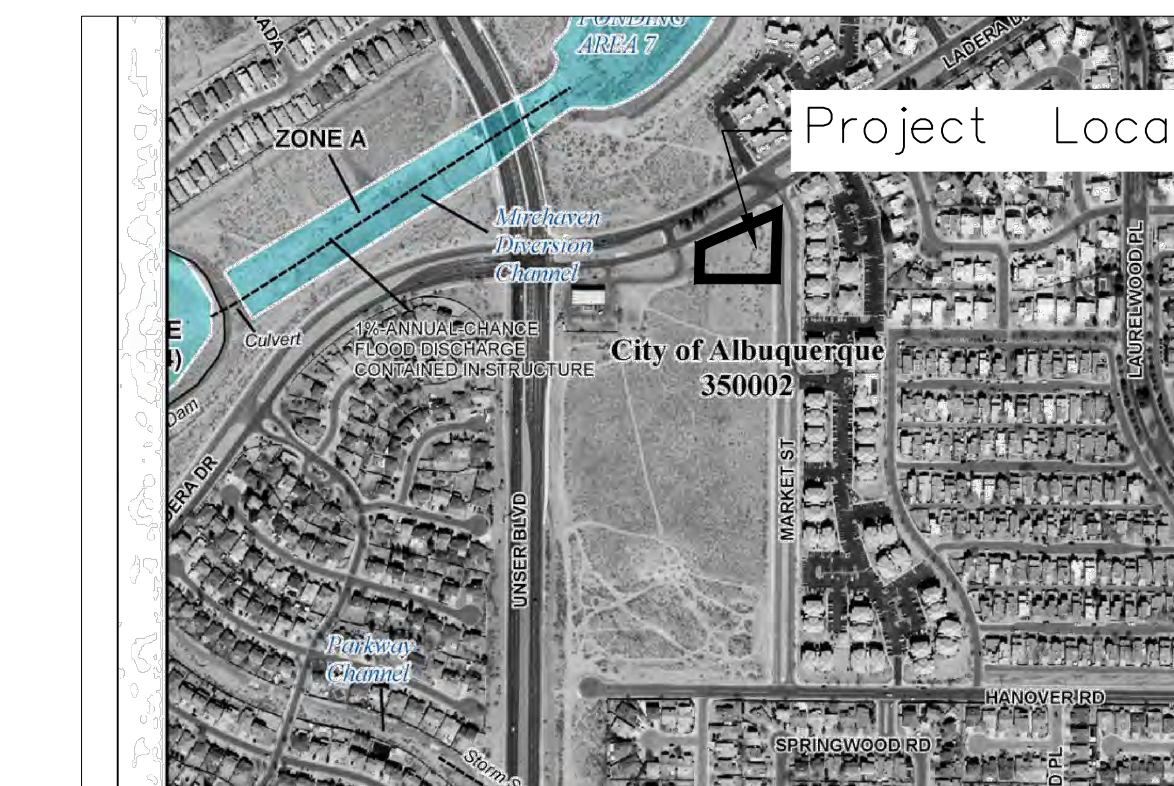
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

**DRAINAGE NARRATIVE:**

- THIS SITE IS NOT LOCATED WITHIN A FLOOD PLAIN. REFER TO THE FEMA EXCERPT THIS SHEET.
- THIS SITE IS LOCATED WITHIN A MASTER PLAN DRAINAGE AREA. IT IS IDENTIFIED AS BASIN A4 WITHIN THE HERITAGE MARKET PLACE MASTER PLAN(H09-D024). BASIN A4 (PER THE AHYMO OUTPUT PAGE 5) ALLOTS 3.84 CFS FOR THIS PROPERTY (100YR, 6HR). THIS SITE GENERATES 3.58CF (100YR, 6HR) AS SHOWN ON SHEET 2. THIS SITE COMPLIES WITH THE MASTER DRAINAGE PLAN.
- THE REQUIRED FIRST FLUSH RETENTION IS 965CF. THE FIRST FLUSH POND VOLUME IS 1038CF, THUS ADEQUATE VOLUME IS RETAINED.
- LANDSCAPED AREA = 38%  
IMPERVIOUS AREA = 62%
- THE VOLUME OF WATER GENERATED BY THIS SITE FOR THE 100YR 6HR RAIN FALL EVENT IS 5449.6 CF. THE PONDING CAPACITY FOR THIS SITE IS 4523CF+1010CF=5533CF, THUS ADEQUATE VOLUME IS PROVIDED FOR THIS RAIN FALL EVENT. THE EMERGENCY OVERFLOW IS THE SIDEWALK SIDEWALK CULVERT LOCATED AT THE SE CORNER OF THE SITE.



VICINITY MAP: H-09-7



FIRM MAP: 35001C0326J

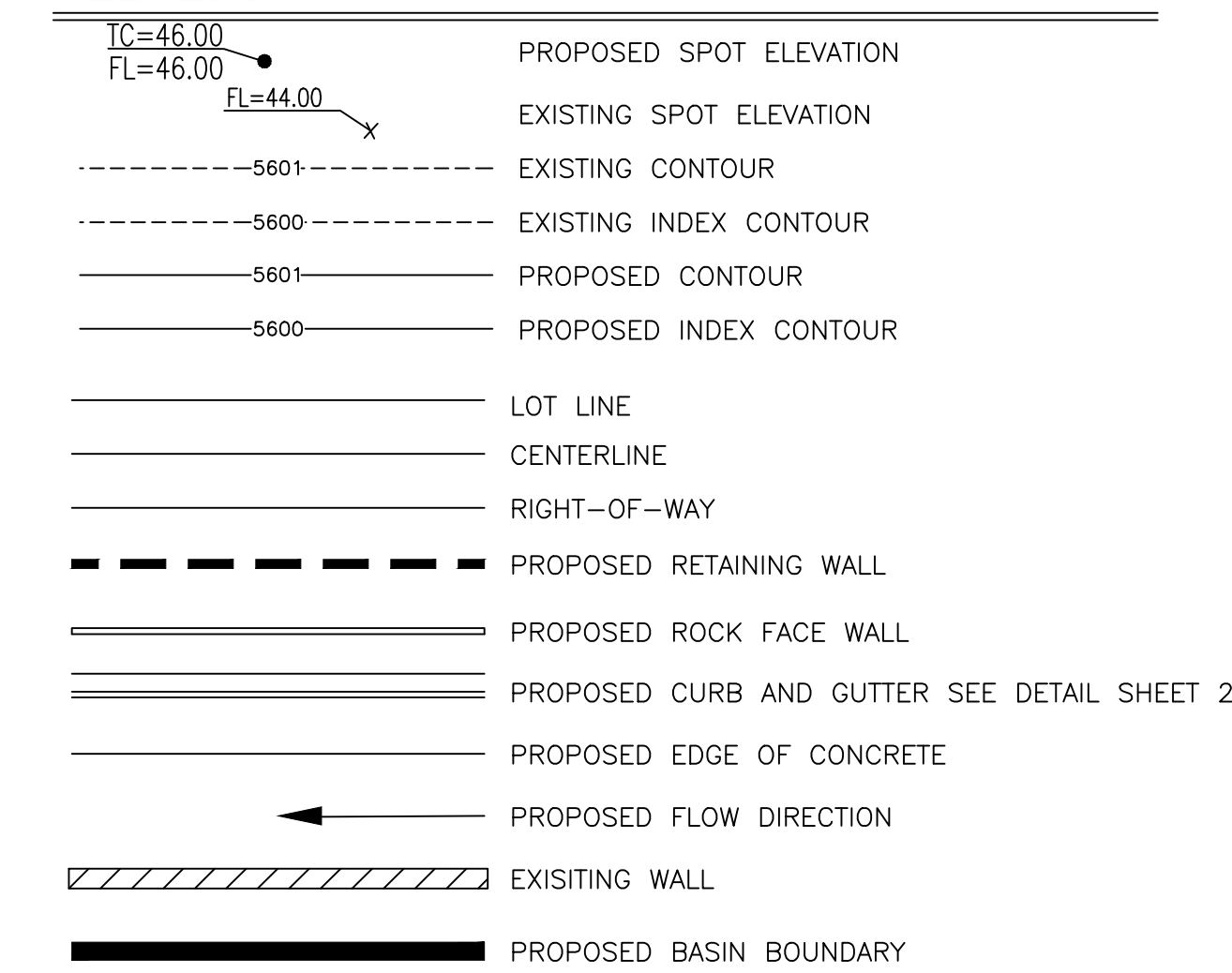
**LEGAL DESCRIPTION:**

TRACT A2, HERITAGE MARKET PLACE, DIVISION CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**NOTES:**

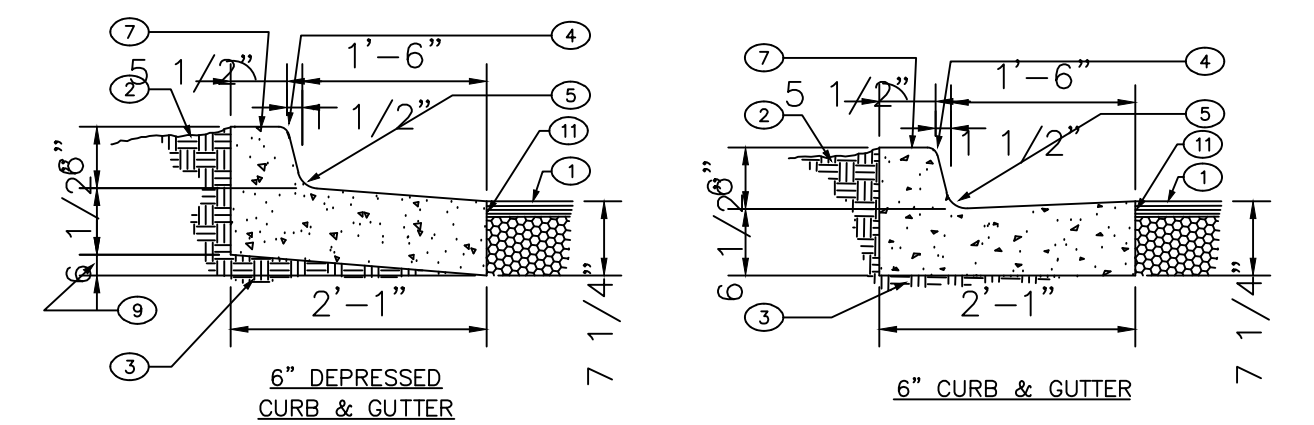
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- RETAIN THE FIRST 18" OF STORM RUNOFF FROM ENTIRE DEVELOPMENT TO FORM TO THE WATER QUALITY REQUIREMENTS.

**LEGEND:**



I HAVE PERSONALLY INSPECTED THE PROPERTY ON 12-06-17. NO EARTHWORK HAS BEEN PERFORMED AND THE SITE IS CONSISTENT WITH THE TOPO SHOWN.  
*Richard Dourte*  
Richard Dourte P.E. #10854

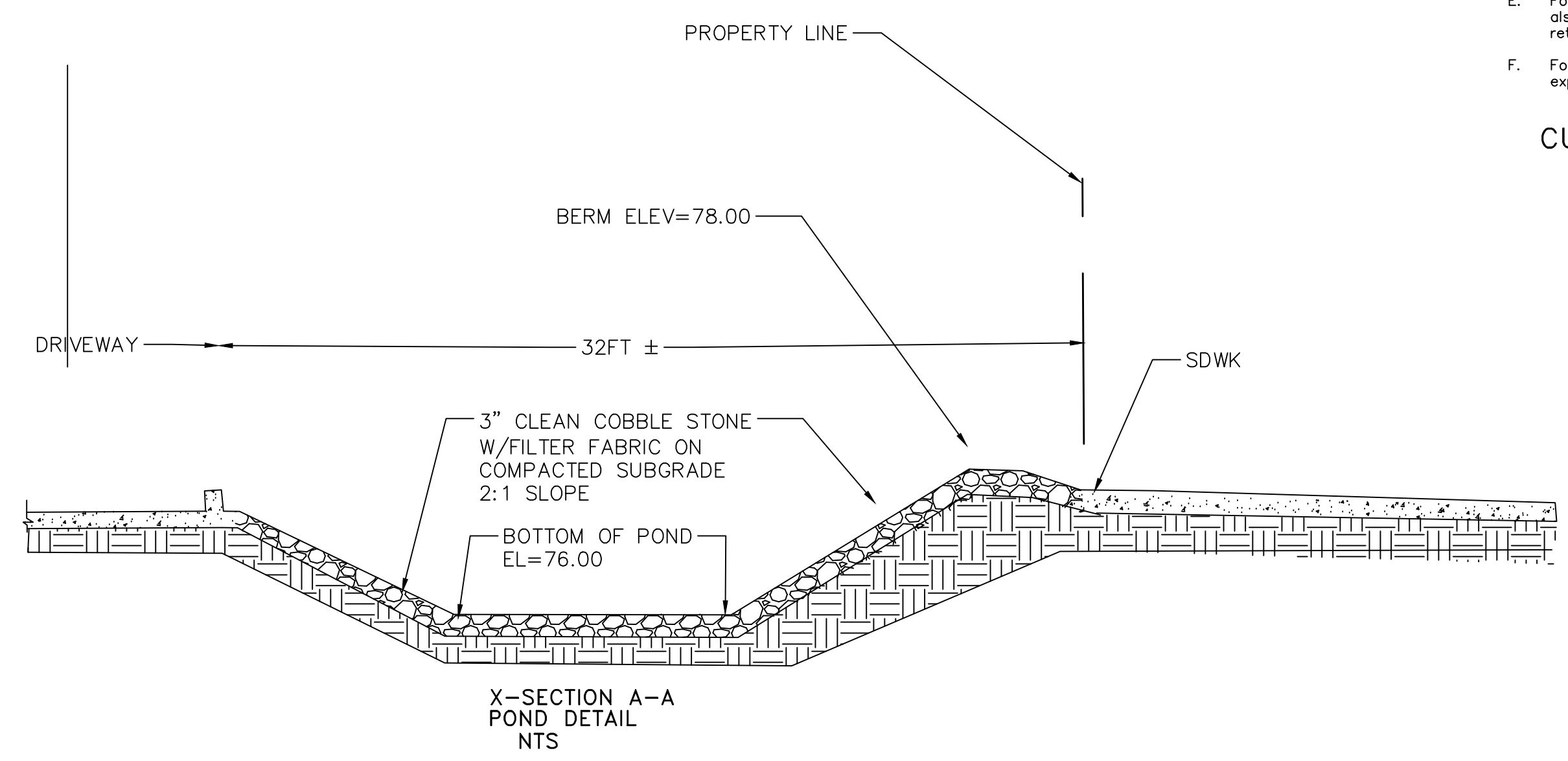
	Title: BURGER KING 7900 LADERA DRIVE NW GRADING AND DRAINAGE PLAN	DRAWN BY: _____ DATE: _____
	RHD Engineering, LLC 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	SHEET # 1 of 2
Richard Dourte P.E. #10854		JOB #



- KEYED NOTES:**
1. Pavement section per drawings and specs.
  2. Finished grade.
  3. Prepared subgrade.
  4. 3/4" radius.
  5. 1 1/2" radius.
  6. Not used.
  7. Concrete curb.
  8. Not used.
  9. Varies, depress as needed.
  10. Not used.
  11. Tack coat.

- CURB & GUTTER CONSTRUCTION NOTES:**
- A. Curbs, gutters & cut-off walls to be constructed of 3500 psi P.C.C unless otherwise noted.
  - B. Edges not specifically dimensioned shall be edged with a 3/8" edging tool.
  - C. Remove & replace 12" wide strip of pavement beyond lip of gutter when constructing curb & gutter adjacent to existing o.c. pavement.
  - D. Dimensions at rounded corners measured to intersection of straight lines.
  - E. For 6" curb & gutter provide control jts. @ 6' o.c. max, also provide 1/2" expansion jts. at 30' o.c. max, at curb returns, & at each side of driveways.
  - F. For all other curbing provide control jts. @ 10' o.c., provide expansion jts. @ 50' o.c. & adjacent to buildings and walls.

**CURB AND GUTTER DETAILS**



**Project: Burger King on Ladera/Market Street near Unser**  
**Drainage Calculations - Zone 1**

Depth (inches) at 100yr Storm					
Zone	P <sub>60</sub>	P <sub>360</sub>	P <sub>1440</sub>	P <sub>4days</sub>	P <sub>10days</sub>
1	1.87	2.20	2.66	3.12	3.67
2	2.01	2.35	2.75	3.30	3.95
3	2.14	2.60	3.10	3.95	4.90
4	2.23	2.90	3.65	4.70	5.95

Excess Precipitation, E(inches) - 6 HR				
Zone	Treatment			
	A	B	C	D
1	0.44	0.67	0.99	1.97
2	0.53	0.78	1.13	2.12
3	0.66	0.92	1.29	2.36
4	0.80	1.08	1.46	2.64

Peak Discharge (CFS/ACRE) 100 YR				
Zone	Treatment			
	A	B	C	D
1	1.29	2.03	2.87	4.37
2	1.56	2.28	3.14	4.70
3	1.87	2.60	3.45	5.02
4	2.20	2.92	3.73	5.25

**\*\*\*\*\*EXISTING CONDITIONS\*\*\*\*\***

Area	SQ. FT	Acres
A=	0	0.000
B=	0	0.000
C=	41137	0.944
D=	0	0.000
Total	41137	0.944
Weighted E=	0.990	

Design Flows (CFS)			
Area	SQ. FT	Acres	Peak Discharge (100 YR)
A=	0	0.000	0.00
B=	0	0.000	0.00
C=	41137	0.944	2.71
D=	0	0.000	0.00
Total (CFS)	2.71		

	V <sub>360</sub>	V <sub>1440</sub>	V <sub>4days</sub>	V <sub>10days</sub>
Cubic feet	3393.8	3393.8	3393.8	3393.8
Acre-ft	0.08	0.08	0.08	0.08

**\*\*\*\*\*PROPOSED CONDITIONS\*\*\*\*\***

Area	SQ. FT	Acres
A=	0	0.000
B=	0	0.000
C=	15964	0.366
D=	25173	0.578
Total	41137	0.944
Weighted E=	1.590	

	V <sub>360</sub>	V <sub>1440</sub>	V <sub>4days</sub>	V <sub>10days</sub>
Cubic feet	5449.6	6414.6	7379.5	8533.3
Acre-ft	0.13	0.15	0.17	0.20

The 100 year peak flows for this developed site is 3.6 CFS and the existing flows are 2.7 CFS for an increase of 0.9 CFS. The 100 year 6 hr volume increase is 5450-3394 = 2056CF.

First Flush Ponding Requirement = A<sub>d</sub> \* 0.46 in/12in/ft = 965 CF

**S.O.19 : NOTICE TO CONTRACTORS**

1. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THRU UPDATE #8.
  - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (CALL 811) FOR LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  - BACKFILL SOMPACTATION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE TE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. THE WORK IN THE CITY ROW MUST BE INSPECTED AND ACCEPTED, THE CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE INSPECTIONS.

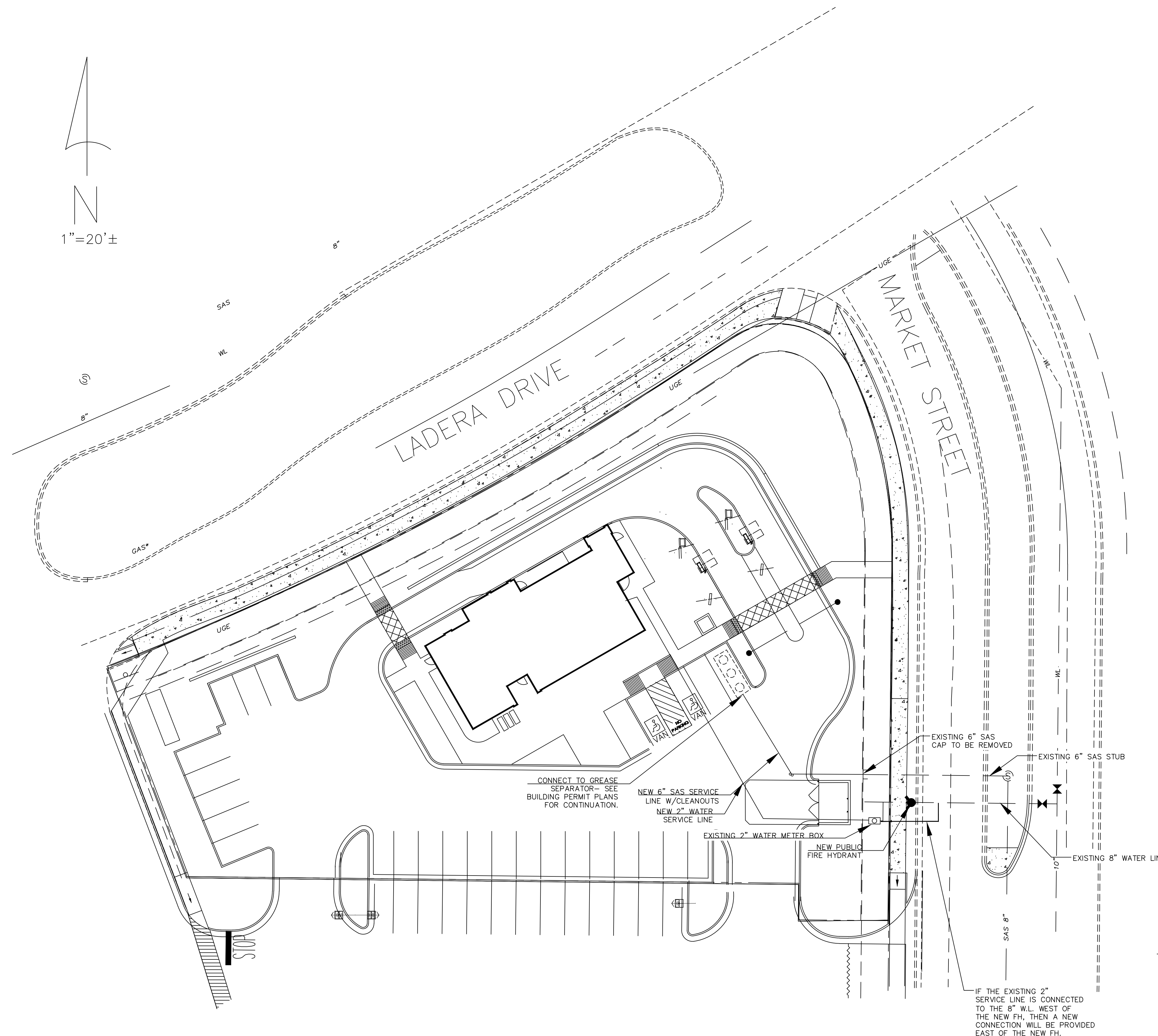
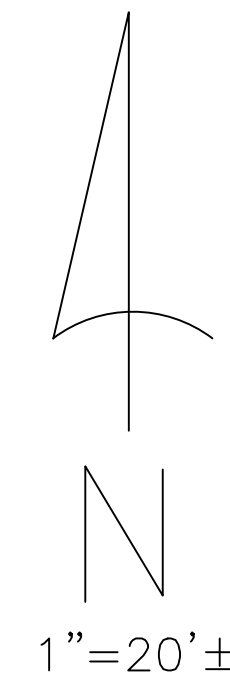
 3/08/18 Richard Dourte P.E. #10854	Title: BURGER KING 7900 LADERA DRIVE NW	DRAWN BY DATE
	<b>DETAILS</b>	SHEET # 2 of 2
	R.H.D Engineering, LLC 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	JOB # XXXX

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY EASEMENT. AN APPROVED COPY OF THESE PLANS MUST BE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, UPDATE #8.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, UPDATE #8.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NM ONE CALL LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THE PUBLIC WATER AND SAS FACILITIES SHALL BE THE RESPONSIBILITY OF THE ABCWUA.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. EMS'S SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS 1986 EDITION AS REVISED THROUGH UPDATE #8.
17. THE WATER AUTHORITY (857-8200) WILL BE NOTIFIED BY THE CONTRACTOR SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT THE EXISTING PUBLIC WATER FACILITIES, REFER TO SECTION 18 OF THE STANDARD SPECIFICATIONS. ONLY WATER AUTHORITY CREWS MAY OPERATE PUBLIC VALVES.
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6450 SUBPART P.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



- ex. 12" SD --- EXISTING STORM SEWER LINE
- EXISTING SAS MANHOLE
- ex. 8" SAS --- EXISTING SANITARY SEWER LINE
- ⊗ EXISTING VALVE W/BOX
- ex. 6" WL --- EXISTING WATER LINE
- PROPOSED METER
- PROPOSED FIRE HYDRANT
- EXISTING EDGE OF PAVEMENT
- ==== PROPOSED CURB & GUTTER
- BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- ☼ STREET LIGHTS

CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG #2465 (COLLECTOR).

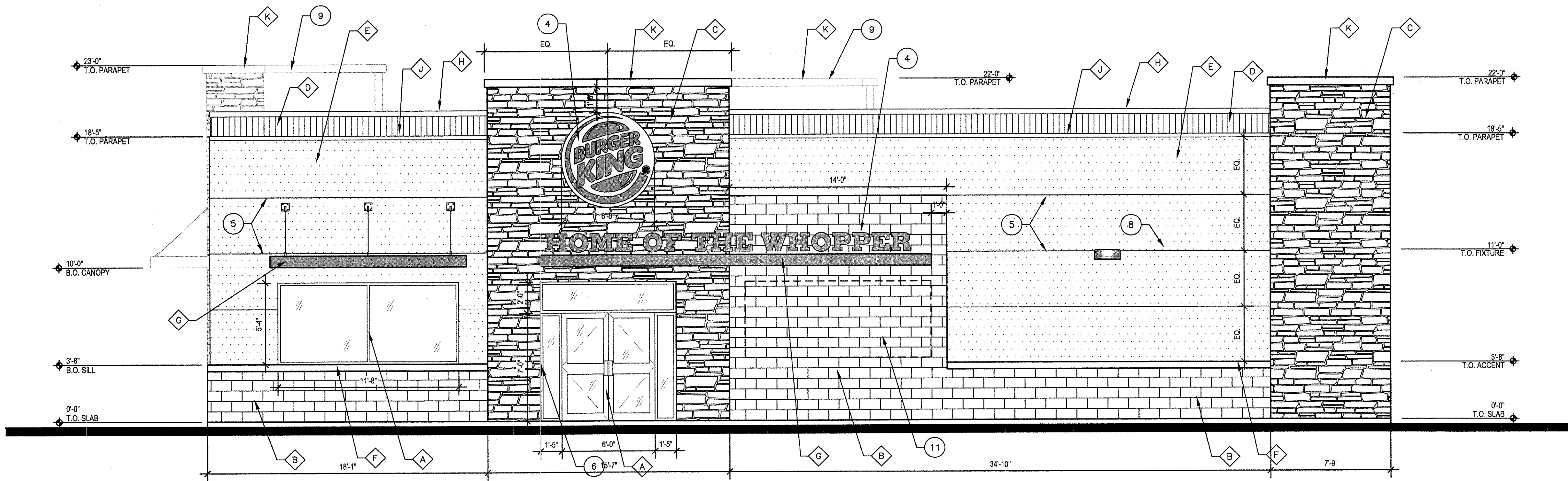
GENERAL NOTES

1. ALL NEW ELECTRIC DISTRIBUTION LINES SHALL BE PLACED UNDERGROUND.
2. TRANSFORMERS, UTILITY PADS, AND TELEPHONE BOXES SHALL BE APPROPRIATELY SCREENED WITH WALLS AND VEGETATION WHEN VIEWED FROM PUBLIC RIGHT-OF-WAY.

WATER SHUTOFF NOTES:

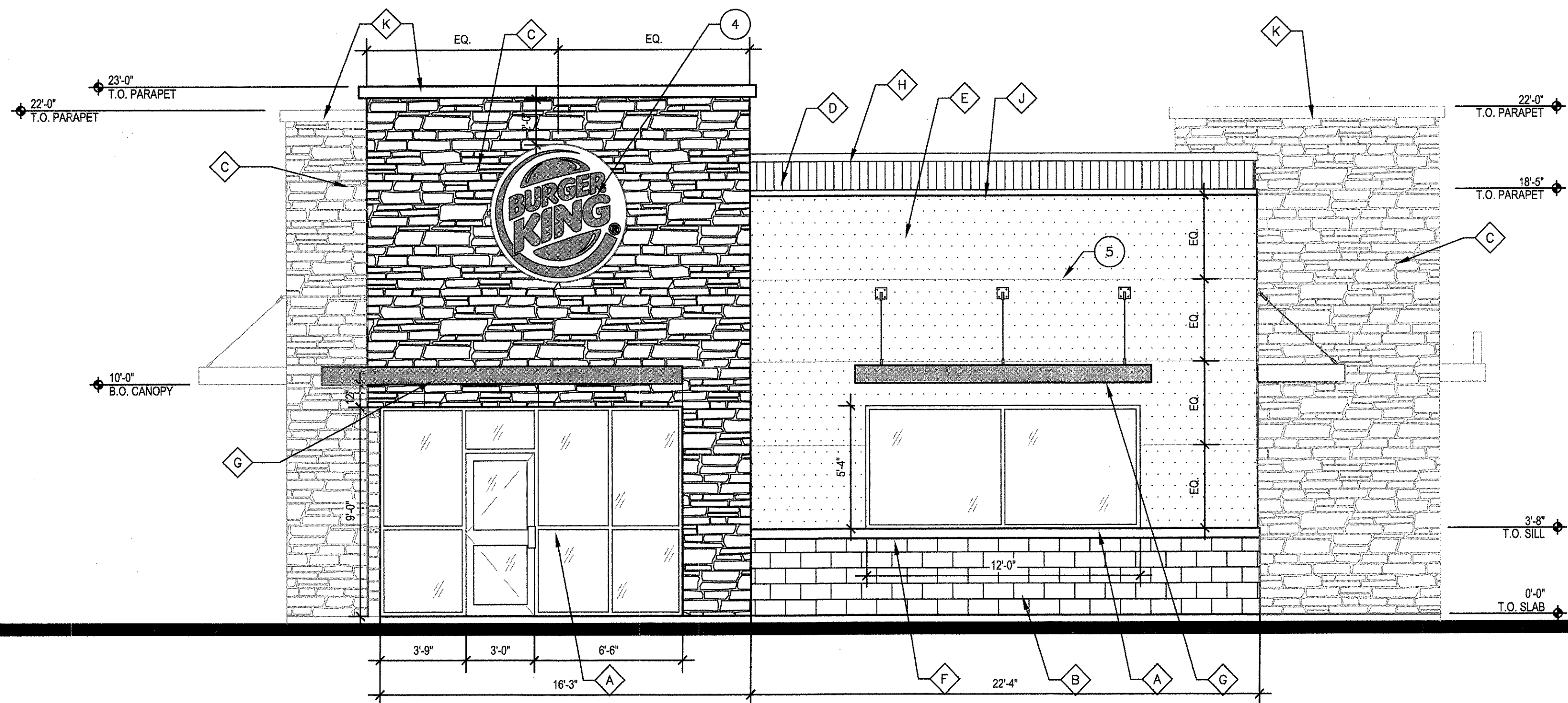
The contractor shall coordinate with the Water Authority seven (7) days in advance of performing work that will affect the public water or sanitary sewer infrastructure. Work requiring shutoff of facilities designated as Master Plan facilities must be coordinated with the Water Authority 14 days in advance of performing such work. Only Water Authority crews are authorized to operate public valves. Shutoff requests must be made online at <<http://abcwua.org/content/view/463/729/>>

	Title: BURGER KING 7900 LADERA DRIVE NW	DRAWN BY DATE
	OVERALL UTILITY PLAN	SHEET # 1 of 1
1/4/18 Richard Douite P.E. #10854	RHD Engineering, LLC 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	JOB # XXXX



1 South Elevation

1/4" = 1'-0"



2 West Elevation

1/4" = 1'-0"



Finish Legend

A	ALUMINUM STOREFRONT #40 DARK BRONZE - KAWNEER
B	SUPERLITE SPLIT-FACE CMU- HARVEST BROWN.
C	CULTURED STONE VENEER - BORAL COUNTRY LEDGESTONE (W/ GROUTED JOINTS), ASPEN.
D	PREFABRICATED PARAPET BAND - CORRUGATED METAL PRE-FINISHED LEKTRON (OR APPROVED EQUAL) "AMAZING" 04YR 11/537
E	EIFS FIELD STUCCO WITH REVEAL JOINTS AS INDICATED INTERGRAL COLOR / SAND FINISH "NOMADIC DESERT" SW6107
F	STUCCO / STONE ACCENT PAINT- "COBBLE BROWN" SW6082
G	SUSPENDED CANOPY / VALENCE - PREMANUF. ALUMINUM CONST. BY APPROVED SUPPLIER W/ CLEAR ALUMINUM FINISH
H	METAL COPING, TOP OF LIGHT BAND WALL CAP, W.P. HICKMAN SYSTEMS (OR EQ.) PERMA SNAP W/ PAINTED FINISH COLOR "SILVERSMITH"
J	METAL COPING, BOTTOM OF LIGHT BAND, W.P. HICKMAN SYSTEMS (OR EQ.) PERMA SNAP W/ PAINTED FINISH COLOR TO MATCH "NOMADIC DESERT" SW6107
K	METAL COPING, TOP OF ARCHON, W.P. HICKMAN SYSTEMS (OR EQ.) PERMA SNAP W/ PAINTED FINISH COLOR "SILVERSMITH"

Keynotes

- NOT ALL KEYNOTES ARE USED ON THIS SHEET.
- SES ROOM.
  - FIRE RISER ROOM.
  - HOLLOW METAL DOOR AND FRAME, PAINT TO MATCH COLOR "F," COBBLE BROWN.
  - SIGNAGE TO BE UNDER SEPARATE PERMIT.
  - EIFS REVEAL, TYPICAL.
  - LOCATION OF KNOX BOX 3200 SERIES RECESSED MOUNTED. VERIFY LOCATION WITH CITY FIRE DEPARTMENT REQUIREMENTS AND INSTALL SIGNAGE AS REQUIRED.
  - GAS METER LOCATION.
  - LIGHT FIXTURE, TYPICAL.
  - BACK SIDE OF PARAPET WALL, BEYOND.
  - INDICATES ADDRESS NUMBERS LOCATION, HEIGHT AND SIZE. ALL ADDRESS NUMBERS SHALL BE ON CONTRASTING BACKGROUNDS. NUMBERS SHALL BE 12" HIGH MINIMUM PER CITY STANDARDS.
  - MERCHANDISING AREA.

General Notes

- ALL SIGNAGE SHOWN FOR REFERENCE ONLY. SIGNAGE SHALL BE SUBMITTED UNDER SEPARATE REVIEW AND APPROVAL.
- ALL GROUND AND ROOF MOUNTED EQUIPMENT, INCLUDING UTILITIES SHALL BE SCREENED FROM VIEW.
- ALL EIFS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND ICC-ES REPORT #ESR-1232.

NOT FOR CONSTRUCTION

**ONE!**  
ARCHITECTURE

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Project Manager:  
Nathan Bisch  
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Revisions

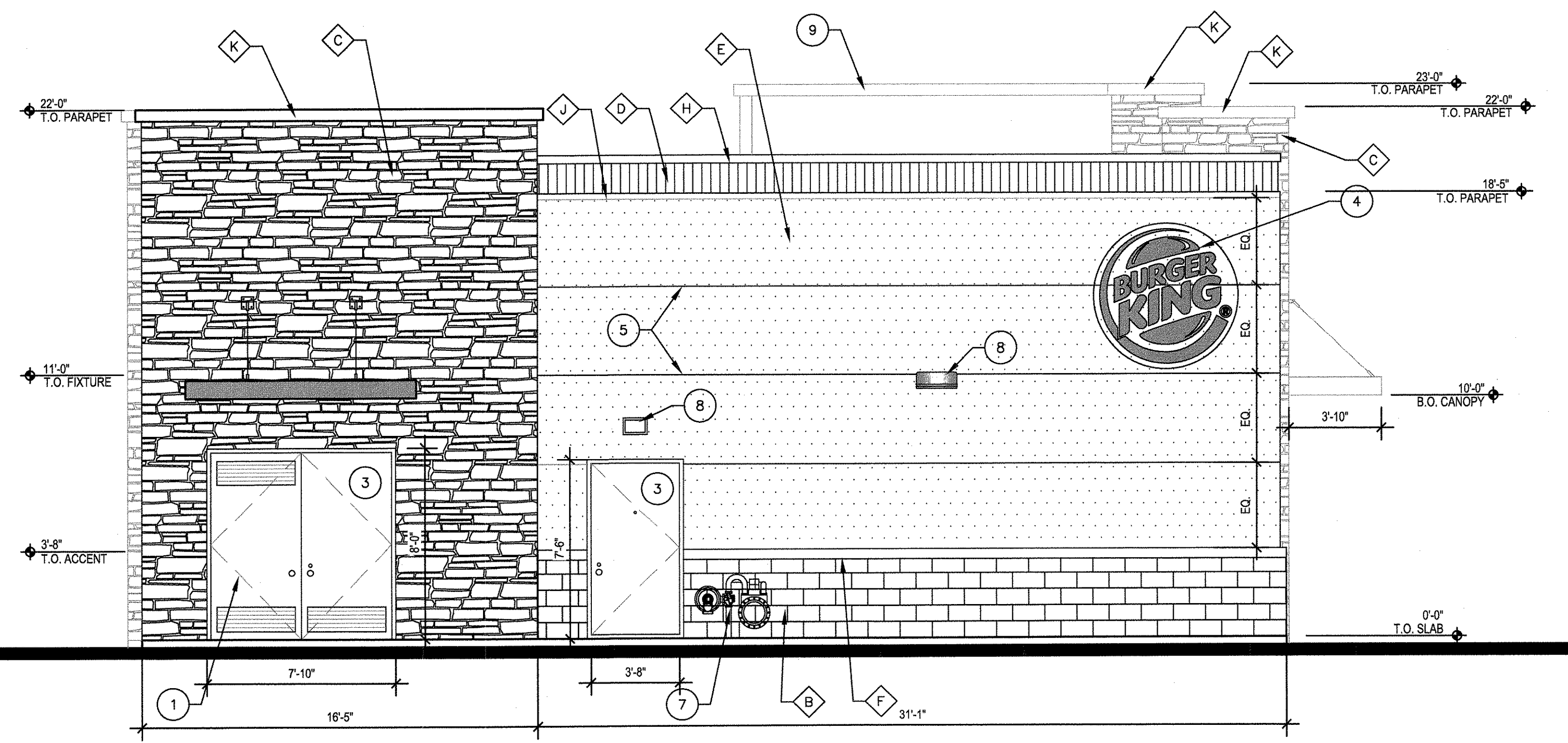



Burger King  
Heritage Marketplace  
SWC of Ladera St. &  
Market St.  
Albuquerque, NM

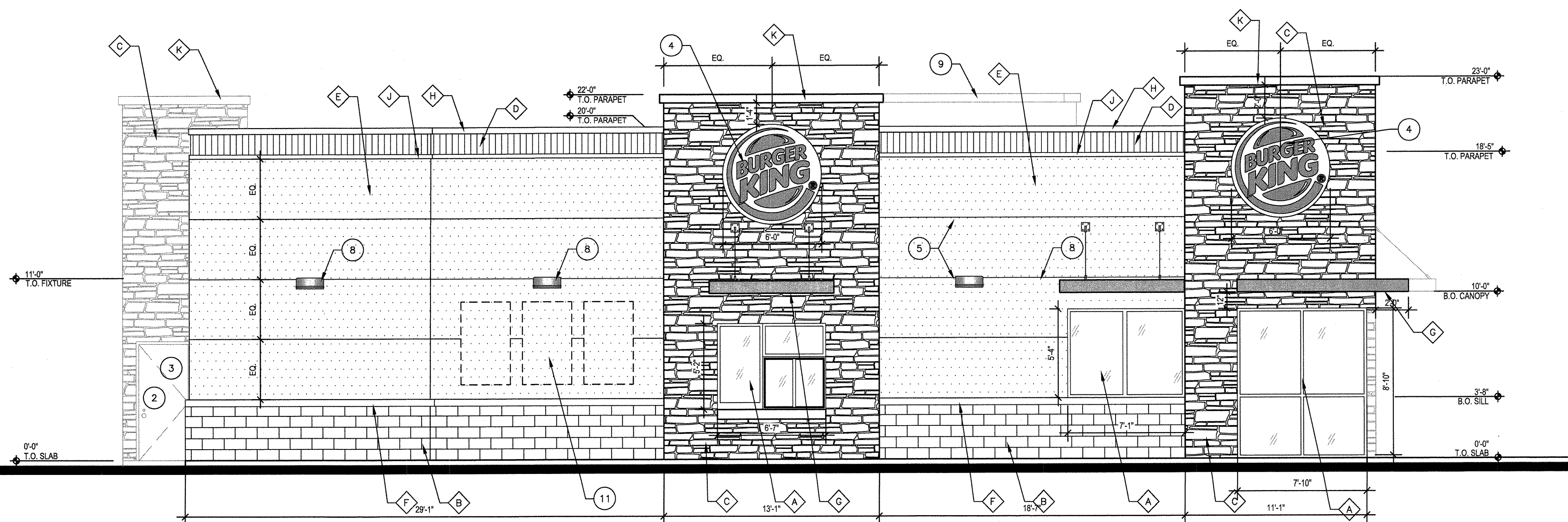
10.26.16  
NM-024

A4.1

Exterior Elevations



**3 East Elevation**  
1/4" = 1'-0"



**4 North Elevation**  
1/4" = 1'-0"



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Project Manager:  
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Heritage Marketplace  
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10.26.16  
NM-024

**A4.2**

Exterior Elevations