

SEE SHEET C-3

SITE DATA
 LEGAL DESCRIPTION: PORTION OF TRACT 1-A-1, PLAT OF TRACTS 1-A-1 & 1-B-1 EL RANCHO ATRISCO PHASE 3
 ZONING:
 PAD SITES A, B, C, E
 SU-1/SU-2 PLANNED OFFICE PARK & COMMERCIAL DEVELOPMENT WITH SALES FOR FULL SERVICE ALCOHOL SALES FOR SIT DOWN RESTAURANT.
 PAD SITE D
 SU1-SU2 FOR PLANNED OFFICE PARK AND COMMERCIAL DEVELOPMENT TO INCLUDE SALES OF PACKAGE LIQUOR IN ASSOCIATION WITH A GROCERY STORE. PERMITTEE SHALL NOT SELL DISTILLED SPIRITS IN ANY PACKAGE THAT CONTAINS LESS THAN 750 MILLILITERS (MINIBOTTLES) AND BEER IN ANY SINGLE CONTAINER CONTAINING 16 OR FEWER OUNCES (SINGLES)
 SITE AREA: PAD D (GROCERY STORE): 4.99 ACRES
 PAD F (GAS PAD): 0.9751 ACRES
 PROPOSED USE:
 GROCERY STORE (41,921 SF) WITH A PHARMACY DRIVE-UP SERVICE WINDOW, RETAIL SALES OF GASOLINE WITH 6-TWO SIDED FUELING DISPENSER UNITS, AND CONVENIENCE STORE (740 SF); RETAIL BUILDING (10,000 SF) WITH DRIVE-UP WINDOW.
 PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
 VEHICULAR ACCESS AND CIRCULATION- THE PROPOSED DEVELOPMENT HAS ACCESS TO ADJACENT STREETS ON ALL FOUR SIDES OF THE PROPERTY. LIMITED ACCESS TO UNSER BOULEVARD (A LIMITED ACCESS PRINCIPAL ARTERIAL) HAS BEEN APPROVED BY THE TRANSPORTATION COORDINATING COMMITTEE OF THE METROPOLITAN TRANSPORTATION BOARD OF THE MID-REGION COUNCIL OF GOVERNMENTS (R-14-01 TOC). ACCESS INCLUDES A RIGHT-IN, RIGHT OUT, AND LEFT-IN ACCESS (APPROXIMATELY 1,040 FEET SOUTH OF LADERA) AND AN ADDITIONAL RIGHT-IN ACCESS (APPROXIMATELY 529 FEET SOUTH OF LADERA) TO SERVE THE PROPOSED DEVELOPMENT. THERE ARE EXISTING ACCESS POINTS ON THE NORTH SIDE OF THE PROPERTY TO LADERA DRIVE THAT REMAIN. ADDITIONAL ACCESS IS SHOWN ON LADERA DRIVE, MARKET STREET, AND HANOVER ROAD.

SITE DATA (CONTINUED)
 INTERNAL CIRCULATION REQUIREMENTS:
 INTERNAL ROADWAY AND SIDEWALK NETWORK TO INTERCONNECT USES WITHIN CENTER WITH PUBLIC RIGHT OF WAY.
 MAXIMUM BUILDING HEIGHT ALLOWED (ALL LOTS):
 MAXIMUM BUILDING HEIGHTS FOR ALL BUILDING SHALL BE PER THE SU-1 ZONE.
 MINIMUM BUILDING SETBACK:
 N/A
 MAXIMUM TOTAL DWELLING UNITS (ALL LOTS):
 NO RESIDENTIAL PROPOSED
 NON RESIDENTIAL USES' MAXIMUM FLOOR AREA RATIO (ALL LOTS):
 MAXIMUM F.A.R IS 0.30
 PHASING:
 ACCESS ON PUBLIC RIGHT OF WAY AND INTERNAL ROADWAY NETWORK WITH PUBLIC UTILITIES TO BE CONSTRUCTED WITH FIRST DEVELOPMENT.

PARKING DATA (GROCERY STORE AND GAS LOT)

PARKING REQUIRED	210 SPACES (1 SPACE PER 200 SF) GROCERY
PARKING REQUIRED	4 SPACES (1 SPACE PER 200 SF) GAS LOT
TOTAL PARKING REQUIRED	214 SPACES
PARKING PROVIDED	160 SPACES (GROCERY) + 4 (GAS LOT)
HC PARKING REQUIRED	8 SPACES
HC PARKING PROVIDED	8 SPACES (GROCERY) + 1 (GAS LOT)
TOTAL PARKING PROVIDED	164 SPACES
MC PARKING REQUIRED	5 SPACES
MC PARKING PROVIDED	5 SPACES
BICYCLE PARKING PROVIDED	25 SPACES (5 RACKS)

**SEE SHEET SP-2 FOR PAD C PARKING DATA

INDEX TO DRAWINGS

SP-1	SITE PLAN FOR BUILDING PERMIT
SP-2	SITE PLAN FOR BUILDING PERMIT
R-1	OVERALL SITE PLAN (FOR REFERENCE)
L-1	LANDSCAPING PLAN
GR-1	GRADING PLAN
GR-2	GRADING PLAN
GR-3	GRADING PLAN-FUEL AREA
MU-1	MASTER UTILITY PLAN
MU-2	MASTER UTILITY PLAN
A2	ARCHITECTURAL ELEVATIONS
DET 1-2	DETAILS

SEE SHEET SP-2 FOR KEYED NOTES

- SITE NOTES**
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 3. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 4. ALL CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
 5. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 6. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 8. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
 9. TOTAL LAND AREA IS XX.XX± ACRES.
 10. NO WETLANDS WERE PRESENT ON THIS SITE AS INDICATED BY THE LETTER FROM THE U.S. ARMY CORP OF ENGINEERS LETTER DATE XX-XX-XX. (REFERENCE)
 11. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".
 12. PYLON SIGNS SHALL BE CONSTRUCTED BY OTHERS.
 13. REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
 14. ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

PROJECT NUMBER: 1003275
APPLICATION NUMBER: 14EPC-40079, 15DRB-70051

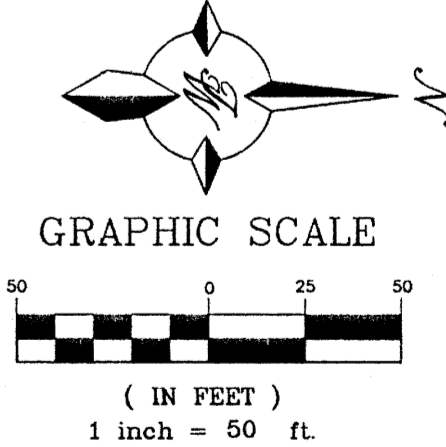
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

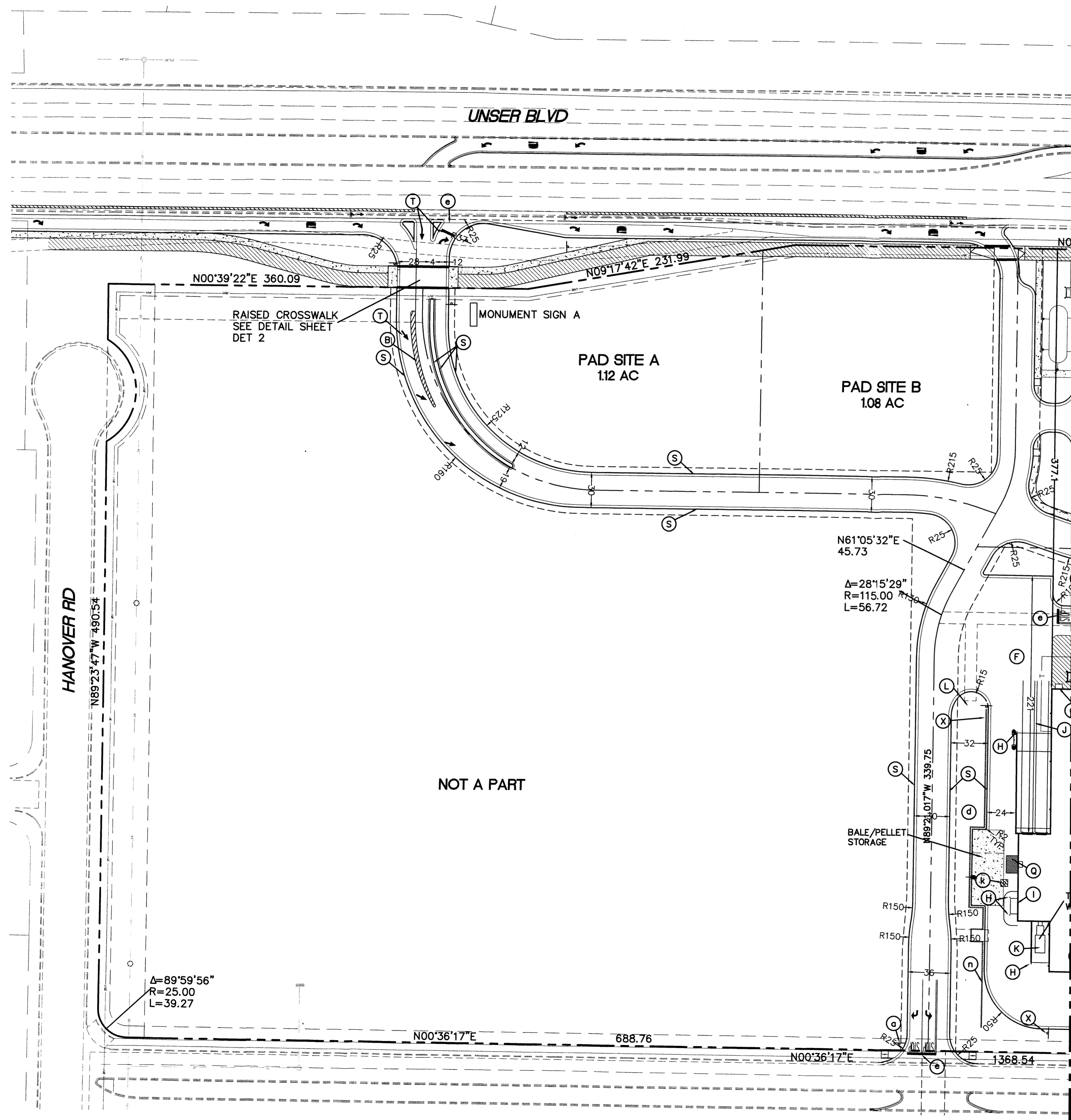
<i>[Signature]</i> Traffic Engineer, Transportation Division	02-25-15 Date
<i>[Signature]</i> Water Utility Development	02/25/15 Date
<i>[Signature]</i> Parks & Recreation Department	02-25-15 Date
<i>[Signature]</i> City Engineer	4-8-15 Date
* Environmental Health Department (conditional)	Date
<i>[Signature]</i> Solid Waste Management	2-3-15 Date
<i>[Signature]</i> DRB/Chairperson, Planning Department	4-9-15 Date

*Environmental Health, if necessary



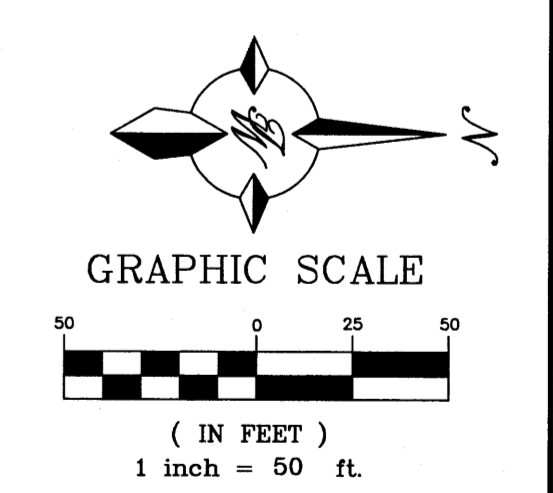
ENGINEER'S SEAL	HERITAGE MARKET PLACE ALBUQUERQUE, NM	DRAWN BY pm
	PAD D SITE PLAN FOR BUILDING PERMIT	DATE 2-17-15
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2014038-SPC
		SHEET NO SP-1
		JOB # 2014038

1003275

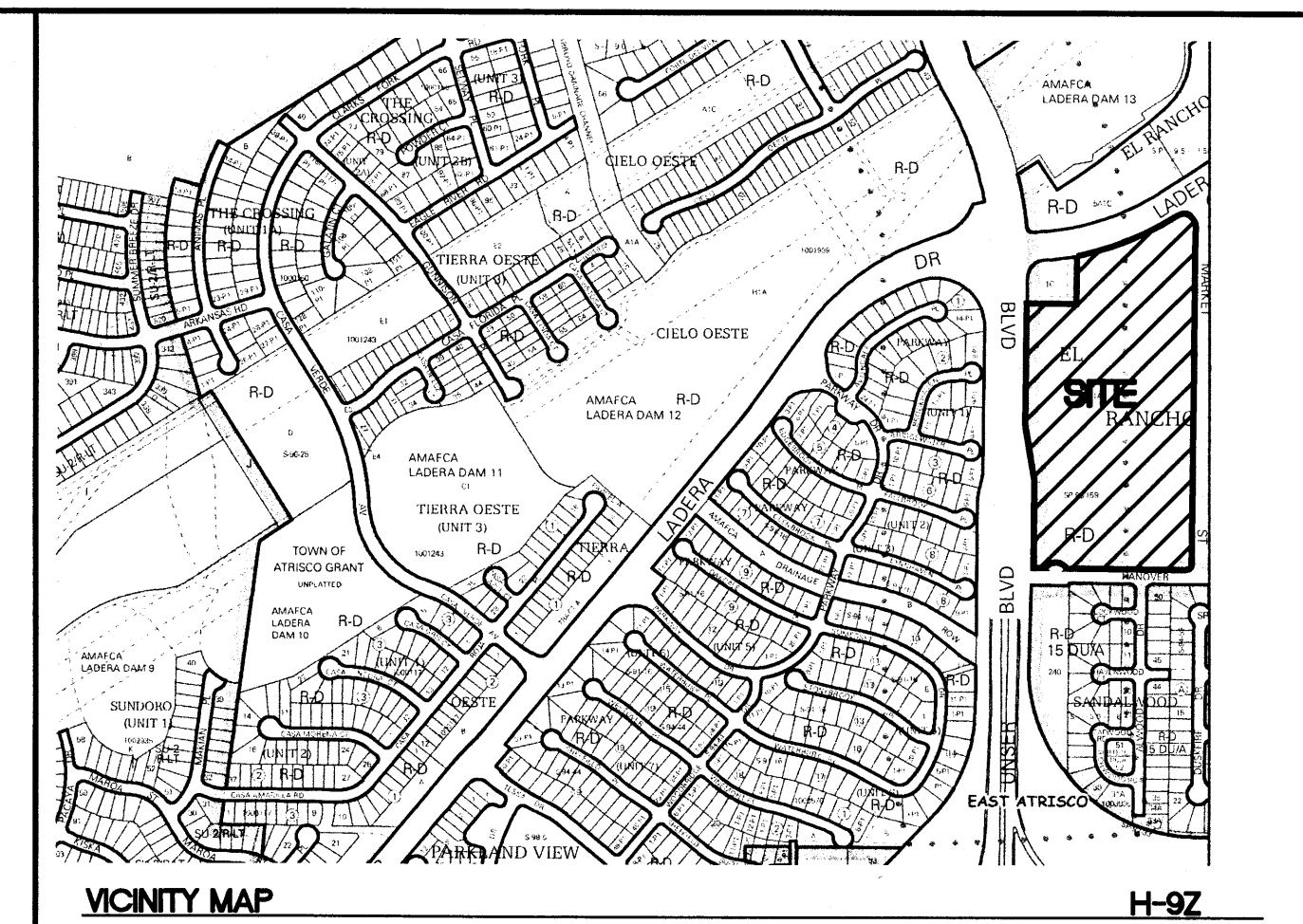
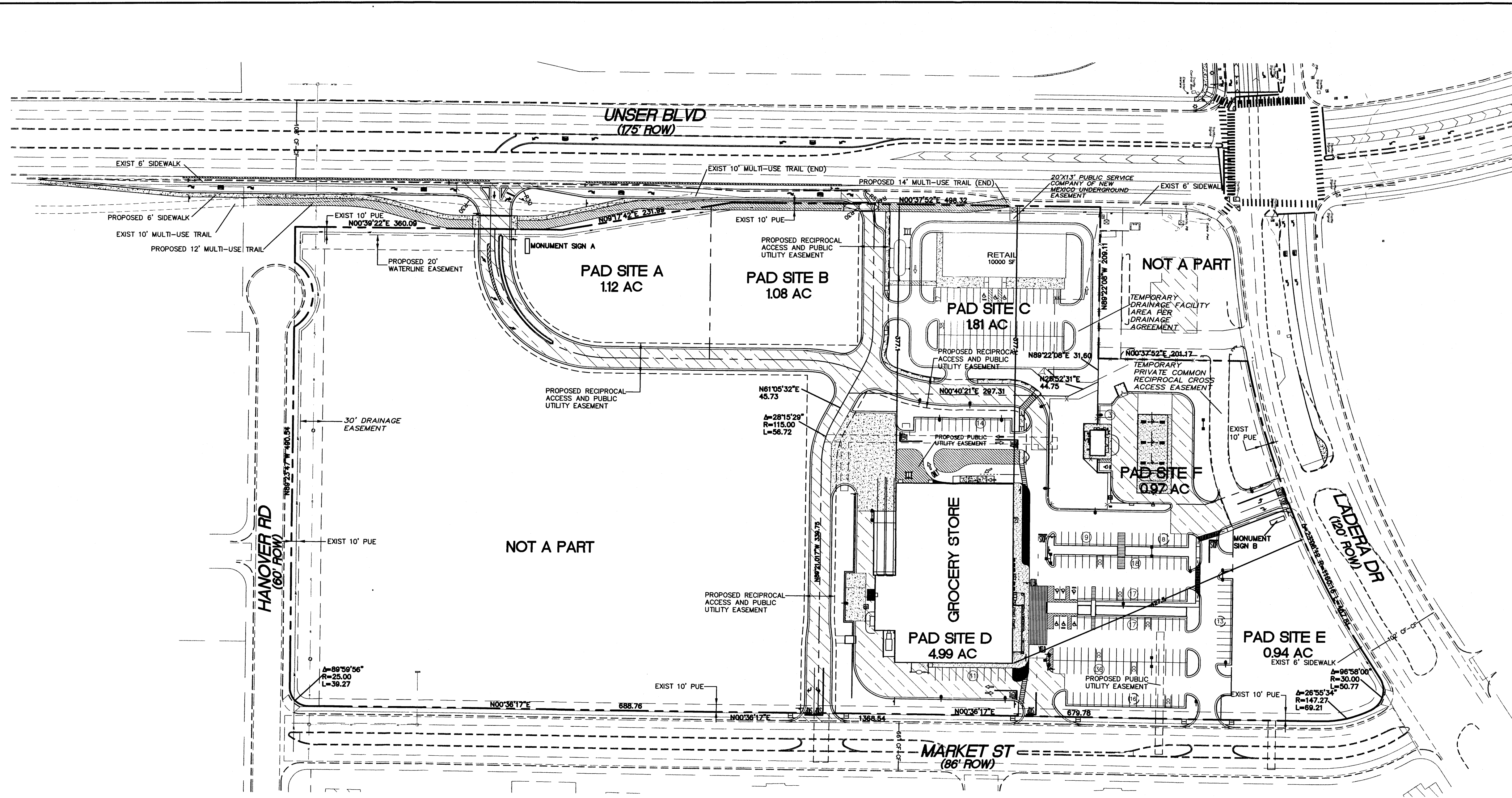


KEYED NOTES

- (A) 6" WIDE FIRE LANE STRIPING PAINTED TRAFFIC RED W/ "NO PARKING FIRE LANE" PAINTED WITH 4" HIGH WHITE LETTERING AT 25' O.C. SEE DETAIL SHEET C-8
- (B) AREA STRIPED AT SYSL/4" AT 45° @ 2'-0" O.C.
- (C) PROVIDE 80' MINIMUM WIDTH CROSSWALK MARKINGS AT ALL GROCERY AND GM VESTIBULE ENTRIES. 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS.
- (D) PEDESTRIAN CROSSING SIGN TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- (E) "YIELD" PAINTED WHITE ON PAVEMENT TYPICAL. SEE DETAIL SHEET C-8
- (F) CONCRETE JOINTING AND FILLERS TO BE COMPLETED PER DETAIL (TYPICAL OF ALL EXTERIOR CONCRETE EXCLUSIVE OF ARCHITECTURAL CONCRETE).
- (G) EXIT PORCH. SEE ARCHITECTURAL PLANS FOR EXACT SIZE, LOCATION FOR STOOPS, STAIRS AND/OR RAMPS THAT MAY BE REQUIRED. RAMP PAVEMENT FLUSH WITH THE TOP OF STOOP.
- (H) 6" DIA PIPE BOLLARD TYPICAL UNLESS NOTED OTHERWISE. SEE DETAIL SHEET C-8
- (I) AT GRADE OVERHEAD DOOR LOCATION. SEE ARCHITECTURAL PLANS FOR EXACT SIZE AND LOCATION FOR COORDINATION WITH CIVIL PLANS.
- (J) 4" WIDE x 130' LONG YELLOW PAINTED TRUCK ALIGNMENT STRIPES TYPICAL.
- (K) 16' X 42' CONCRETE COMPACTOR PAD AND 16' X 35' HEAVY DUTY PAD (ORIENT FOR TRUCK LOADING). REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SLOPE.
- (L) CONCRETE TRANSFORMER PAD. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS.
- (M) ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE).
- (N) PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE. SEE DETAIL SHEET C-8
- (O) 8'-0" WIDE PEDESTRIAN CROSSWALK. SEE DETAIL SHEET C-8
- (P) CART CORRAL TYPICAL. SEE DETAIL SHEET C-9
- (Q) 10' X 15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JIB CRANE LOCATION. SEE ARCH. PLANS.
- (R) 2' BUFFER FOR CAR OVERHANG - REFERENCE LANDSCAPE BUFFER DETAIL. SEE DETAIL SHEET C-8
- (S) 18" CONCRETE CURB AND GUTTER TYPICAL. SEE "BASE BID - ASPHALT PLAN" AND/OR "ALTERNATE A - CONCRETE PLAN" FOR CURB TYPE. SEE DETAIL SHEET C-8
- (T) ARROW PAVEMENT MARKINGS TYPICAL. SEE DETAIL SHEET C-8
- (U) BUILDING SETBACK LINE PER ZONING ORDINANCE.
- (V) "NO PARKING FIRE LANE" SIGN. SEE PLAN FOR LOCATION.
- (W) 3' HD CONCRETE BUFFER FOR LANDSCAPE PROTECTION. SEE DETAIL SHEET C-8
- (X) "DELIVERY TRAFFIC ONLY" SIGN. SEE DETAIL SHEET C-10
- (Y) "NO TRUCKS" SIGN. SEE DETAIL SHEET C-10
- (Z) "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
- (a) "STOP" SIGN. SEE DETAIL SHEET C-9
- (b) ADA STALL, LANDSCAPE ISLAND WALKWAY, & CART CROSSOVER. SEE DETAIL SHEET C-8
- (c) HIGH TRAFFIC AREA END CAP ISLAND. SEE DETAIL SHEET.
- (d) INTERIOR LANDSCAPE ISLAND. SEE DETAIL SHEET.
- (e) 2' STOP BAR
- (f) OPTIONAL MOVEMENT LANE CONTROL SIGN. SEE DIRECTION INDICATED AT SYMBOL. SEE DETAIL SHEET C-8
- (g) ISOLATION JOINT TYPICAL AT FIXED STRUCTURES (BUILDINGS, RETAINING WALLS/DOCK WALLS, DROP INLETS, MANHOLES, LIGHT POLE BASES AND BOLLARDS). SEE DETAIL SHEET C-9
- (h) ADVANCED INTERSECTION LANE CONTROL SIGN. SEE DIRECTION INDICATED AT SYMBOL. SEE DETAIL SHEET.
- (i) ACCESSIBLE "SITE ARRIVAL POINT". SEE PLAN FOR LOCATION AND LIMITS.
- (j) 6' LONG STRIPE WITH 18' GAPS - TYPICAL.
- (k) 6'x6' PAINTED STRIPED AREA CENTERED ON SIPHONIC BREAK STORM MANHOLE. 4" PAINTED SOLID TRAFFIC YELLOW STRIPES 18" O.C. @ 45°. SEE DETAIL SHEET C-9



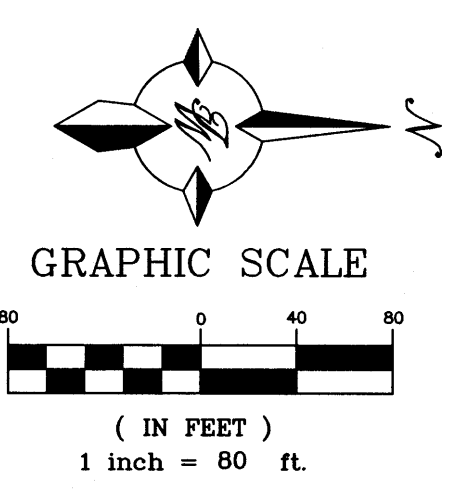
ENGINEER'S SEAL	HERITAGE MARKET PLACE ALBUQUERQUE, NM	DRAWN BY pm
	PAD D SITE PLAN FOR BUILDING PERMIT	DATE 2-17-15
 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2014038-SPC	SHEET NO SP-2
	RONALD R. BOHANNAN P.E. #7868	JOB # 2014038



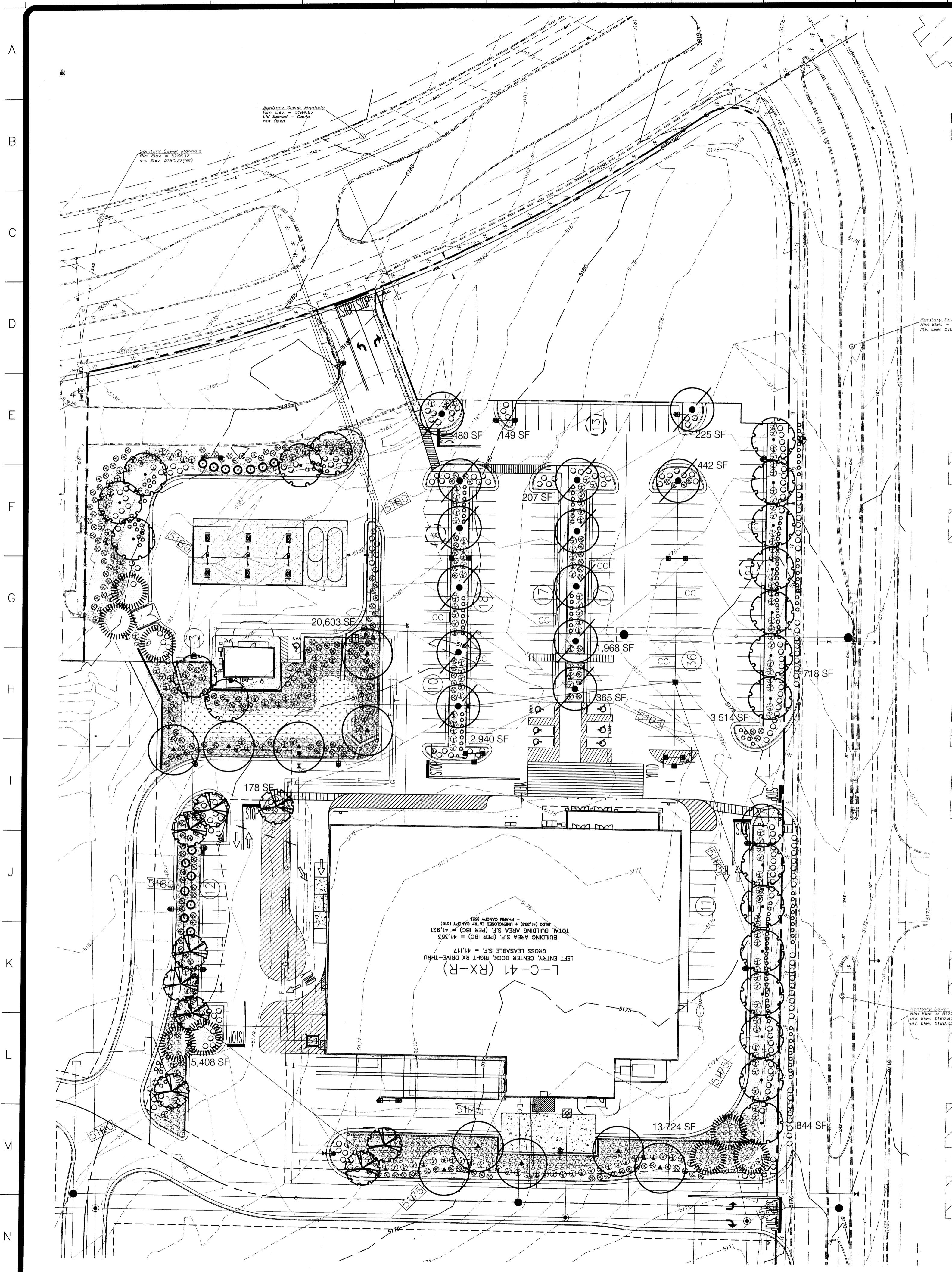
LEGAL DESCRIPTION
 A PORTION OF TRACT 1-A-1, EL RANCHO ATRISCO, PHASE III

LEGEND

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING CURB & GUTTER
	TRANSFORMER
	PROPOSED SCREEN WALL
	HEAVY DUTY CONCRETE PAVING
	HEAVY DUTY ASPHALT PAVING
	STANDARD DUTY ASPHALT PAVING
	ARCHITECTURAL APRON
	ASSOCIATE PARKING
	12' MULTIUSE TRAIL



ENGINEER'S SEAL	HERITAGE MARKET PLACE ALBUQUERQUE, NM	DRAWN BY pm
	PAD D OVERALL SITE PLAN (FOR REFERENCE)	DATE 2-17-15
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2014038-SP
		SHEET NO R-1
		JOB # 2014038



PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME (WATER USE) COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE
TREES				
10		CERCIS RENIFORMIS 'OKLAHOMA' (M) OKLAHOMA REDBUD	2.5' B&B	12-14' HT. 25' HT. X 25' SPR.
13		FRAXINUS PENN. 'URBANITE' (M+) URBANITE ASH	2.5' B&B	12-14' HT. 50' HT. X 40' SPR.
17		GLEDTISIA TRIACANTHOS 'IMPERIAL' (M) HONEY LOCUST	2.5' B&B	12-14' HT. 35' HT. X 35' SPR.
14		JUNIPERUS SCOP. 'SKYROCKET' (M) SKYROCKET JUNIPER	15-GAL.	6' HT. 12' HT. X 6' SPR.
8		PINUS NIGRA AUSTRIAN PINE	B&B	8-10' HT. 25' HT. X 25' SPR.
10		PLATANUS ACERIFOLIA 'BLOODGOOD' (M+) LONDON PLANETREE	2.5' B&B	12-14' HT. 50' HT. X 40' SPR.
22		ULMUS PARVIFOLIA 'ALLEE II' (M) ALLEE LACEBARK ELM	2.5' B&B	12-14' HT. 50' HT. X 35' SPR.
SHRUBS/GROUNDCOVERS				
LARGE SHRUBS				
277		CARYOPTERIS CLAND. 'DARK KNIGHT' (M) DARK KNIGHT BLUE MIST	5-GAL.	3' O.C. 3' HT. X 3' SPR.
		CHRYSOTHAMNUS NAUSEOSUS (L) CHAMISA	1-GAL.	5' O.C. 4' HT. X 4' SPR.
		CYTISUS SCOPARIUS 'LENA'S BROOM' (M) LENA'S BROOM	5-GAL.	5' O.C. 4' HT. X 4' SPR.
		ELAEGNUS PUNGENS (M) SILVERBERRY	5-GAL.	8' O.C. 8' HT. X 8' SPR.
		FALLUGIA PARADOXA (L) APACHE PLUME	1-GAL.	5' O.C. 4' HT. X 4' SPR.
		PINUS MUGO MUGO (M) MUGO PINE	5-GAL.	5' O.C. 4' HT. X 4' SPR.
195		ERICAMERIA LARICIFOLIA 'AGUIRRE' (M) TURPENTINE BUSH	1-GAL.	4' O.C. 3' HT. X 3' SPR.
		LAVENDULA ANGUSTIFOLIA 'HIDCOTE' (M) ENGLISH LAVENDER	1-GAL.	4' O.C. 3' HT. X 3' SPR.
		POTENTILLA FRUTICOSA (L+) SHRUBBY CINQUEFOIL	1-GAL.	3' O.C. 3' HT. X 3' SPR.
		SALVIA GREGGII 'FURMAN'S RED' (M) CHERRY SAGE	3-GAL.	3' O.C. 3' HT. X 3' SPR.
248		JUNIPERUS SABINA 'BUFFALO' (L+) BUFFALO JUNIPER	5-GAL.	5' O.C. 2' HT. X 5' SPR.
		RHUS TRILOBATA 'AUTUMN AMBER' (L+) CREEPING THREE LEAF SUMAC	5-GAL.	5' O.C. 2' HT. X 5' SPR.
		SANTOLINA VIRENS (L) GREEN SANTOLINA	1-GAL.	4' O.C. 2' HT. X 3' SPR.
168		CALAMAGROSTIS A. 'KARL FOERSTER' (L+) FEATHER REED GRASS	5-GAL.	3' O.C. 3' HT. X 3' SPR.
		HESPERALOE PARVIFLORA (M) RED YUCCA	5-GAL.	3' O.C. 3' HT. X 3' SPR.
		MUHLENBERGIA CAP. 'REGAL MIST' (M) MUHLY GRASS	5-GAL.	3' O.C. 3' HT. X 3' SPR.
		NOLINA MICROCARPA (L) BEARGRASS	5-GAL.	5' O.C. 4' HT. X 5' SPR.
		NATIVE REVEGETATIVE SEED MIX COA WEST SIDE MIX		
		2"-4" CANYON GOLD COBBLE MULCH (6" DEPTH)		
		7/8" MOUNTAINAIR BROWN ROCK MULCH (3" DEPTH OVER FILTER FABRIC)		

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 7/8" MOUNTAINAIR BROWN ROCK MULCH AND 2"-4" CANYON GOLD COBBLE MULCH.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

WATER HARVESTING
SEE GRADING AND DRAINAGE PLAN FOR DETAILS ON STRATEGY TO CAPTURE THE FIRST .44" OF FIRST FLUSH RAINFALL.

LANDSCAPE AREA COVERAGE	
TOTAL SITE AREA (5.9684 AC.):	259,984 SF
BUILDING AREA:	- 41,921 SF
LANDSCAPED R.O.W.	- 1,562 SF
NET AREA	216,501 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA):	
PROVIDED LANDSCAPE AREA	32,475 SF
ON-SITE	52,206 SF
OFF-SITE (R.O.W)	1,562 SF

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE LIVE VEGETATIVE MATERIAL COVERING 75% OF THE REQUIRED LANDSCAPE AREA. THIS PROJECT WILL MEET THIS REQUIREMENT.

PARKING LOT TREES
WALMART IS PROVIDING 173 CUSTOMER PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 18
PARKING LOT TREES PROVIDED: 18

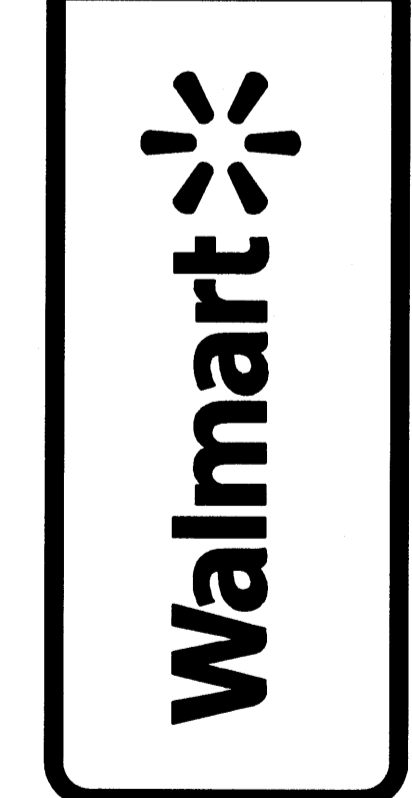
STREET TREES
STREET TREE REQUIREMENTS SPECIFY THE SPACING BETWEEN EVENLY SPACED TREES SHOULD BE NO GREATER THAN THE DIAMETER OF THE TREE CANOPY AT MATURITY.

MARKET STREET FRONTAGE IS 524' AND THE CANOPY SIZE IS 35'.
STREET TREES REQUIRED: 15
STREET TREES PROVIDED: 15

REVISIONS	BY

TERRA WEST, LLC
5511 HWY 100, SUITE 100
ALBUQUERQUE, NEW MEXICO 87109
www.tterrawestllc.com

NEIGHBORHOOD MARKET #4676
ALBUQUERQUE (LADERA), BERNCO, NM
WAL-MART STORES, INC.
2001 SE 10TH STREET
BENTONVILLE, AR 72716



DRAWN	CG
CHECKED	CG
DATE	11-11-14
SCALE	
JOB No.	
SHEET	
OF	
SHEETS	

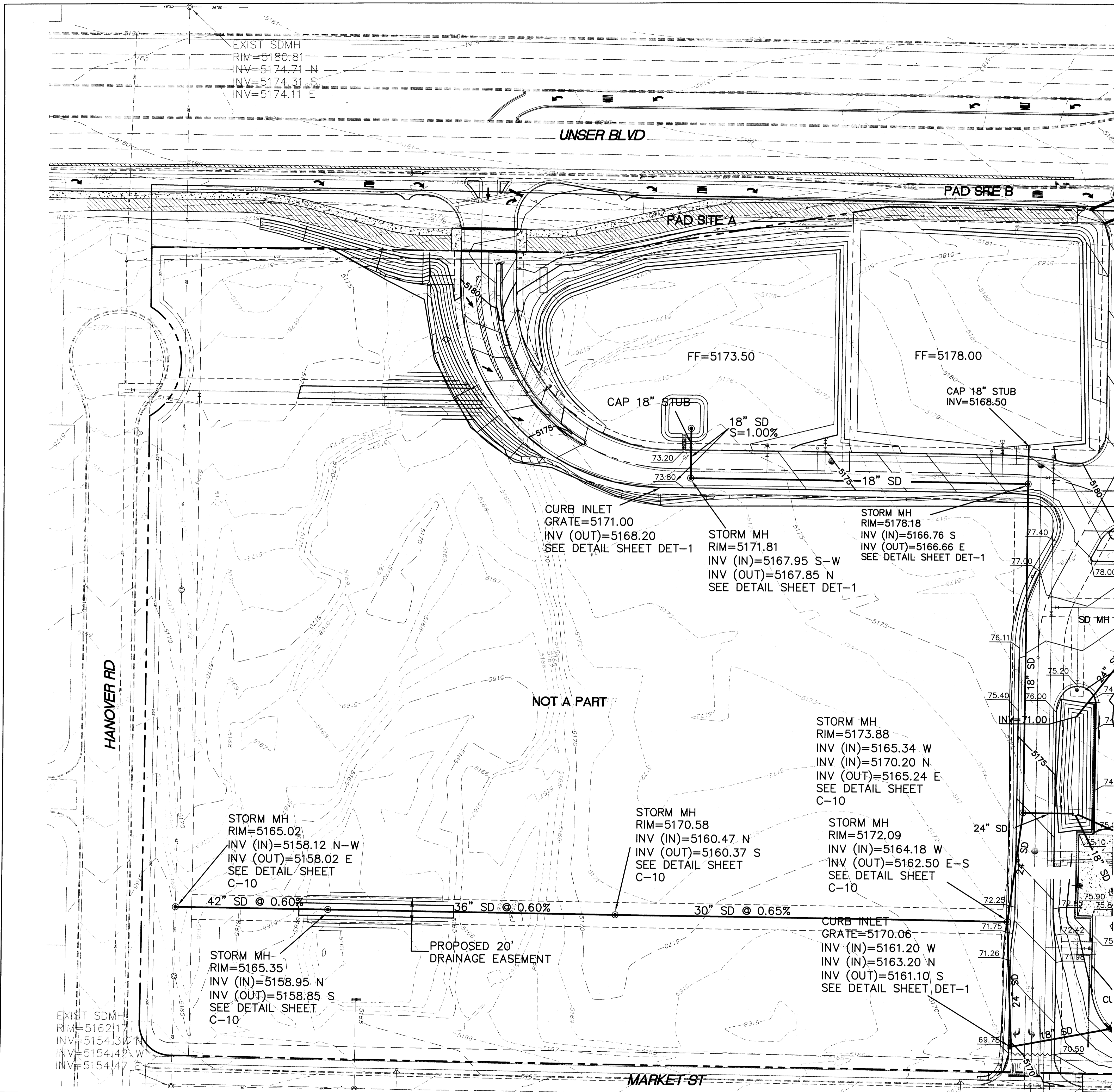
Scale: 1" = 30'

NORTH

15 0 30 60

CONSENSUS PLANNING

CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com



CAUTION
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

LEGEND

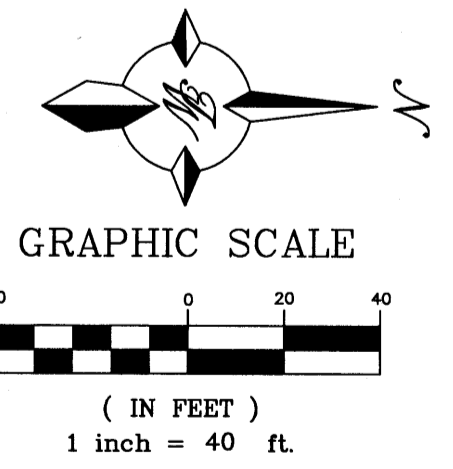
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	SIDEWALK
	EXISTING CURB & GUTTER
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING GAS
	EXISTING 8" SAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR

DRAINAGE SCHEME
 THE PROPOSED GRADING AND DRAINAGE SCHEME IS CONSISTENT WITH THE CONCEPTUAL DRAINAGE PLAN FOR HERITAGE PLAZA (ISSACSON REPORT) PREPARED BY ISAACSON & ARFMAN, P.A., DATED JUNE 1985, WITH THE REQUIRED POND VOLUMES AND STORM DRAIN SIZING NECESSARY TO CONNECT TO EXISTING INFRASTRUCTURE.

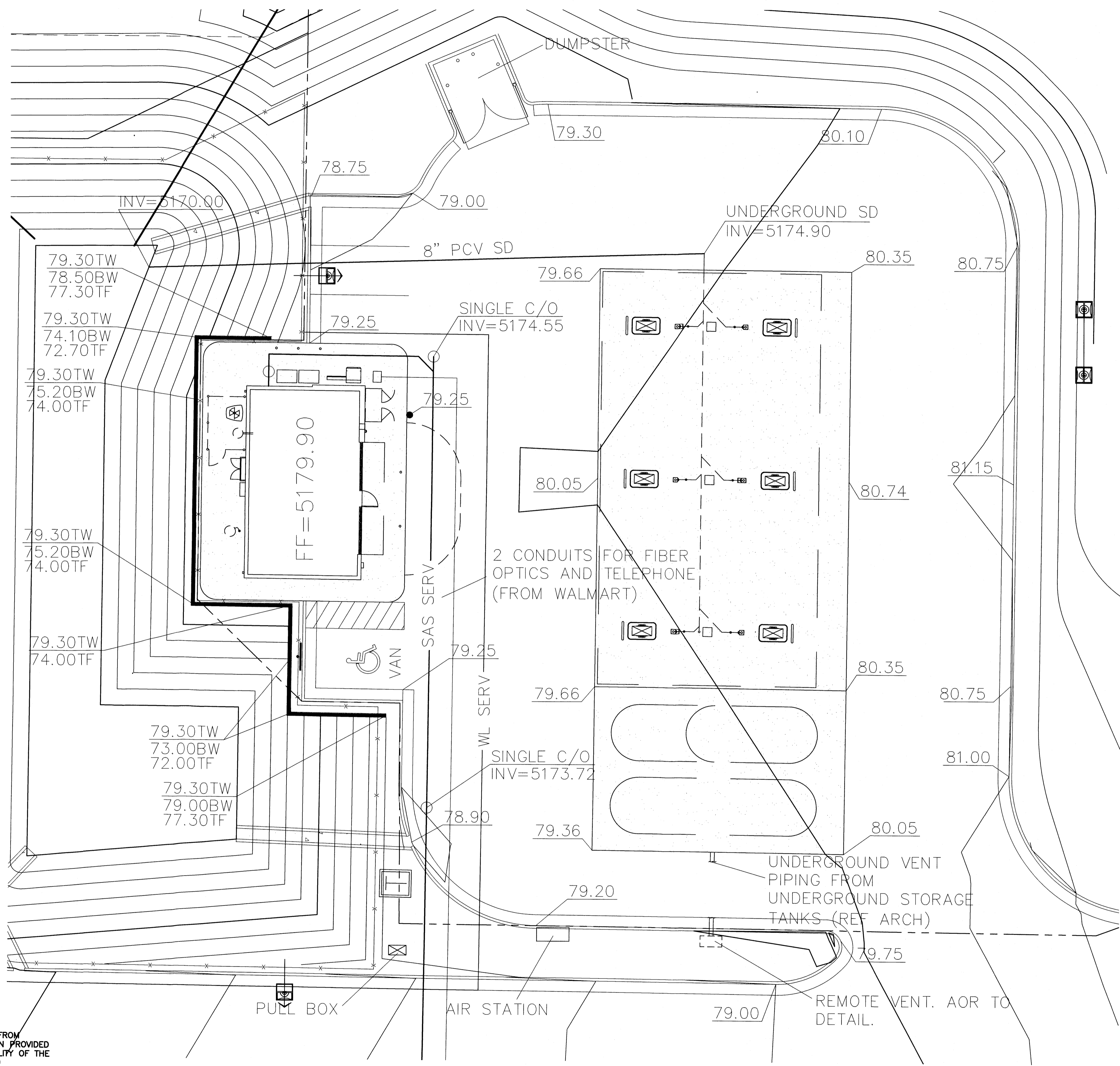
EXISTING CONDITIONS
 THE PROPERTY OVER WHICH THE SHOPPING CENTER PROJECT WILL BE CONSTRUCTED IS CURRENTLY UNDEVELOPED, WITH THE EXCEPTION OF THE EXISTING VALERO SERVICE STATION AT THE SOUTHEAST CORNER OF UNSER BOULEVARD AND LADERA DRIVE. AN EXISTING 42 INCH SD STORM DRAIN PIPE ANTICIPATED TO ACCEPT RUNOFF FROM THE SITE RUNS WITHIN A DRAINAGE EASEMENT ALONG THE NORTH SIDE OF HANOVER ROAD WHICH BORDERS THE SOUTHERLY PORTION OF THE SITE.

THE ISSACSON REPORT CONCLUDES BASINS 3,5, AND 6 OF SAID REPORT ARE TO HAVE RESTRICTED RUNOFF RATES NOT TO EXCEED THOSE OF THE 10-YEAR EVENT.

PROPOSED CONDITIONS
 THE NORTHERLY/UPSTREAM BASINS ARE CONFIGURED TO BE ROUTED THROUGH INTERCONNECTED DETENTION PONDS SO AS NOT TO EXCEED THE 10-YEAR EVENT. A HYDROLOGIC ANALYSIS WILL BE RUN TO DEMONSTRATE THE PROPOSED POND VOLUMES ARE ADEQUATE TO RESTRICT THE FLOW TO THE 10-YEAR EVENT. THE MAJOR PIPE NETWORK WILL TO CONVEY FLOWS THROUGH THE FUTURE RESIDENTIAL PARCEL TO THE EXISTING 42-INCH SD.

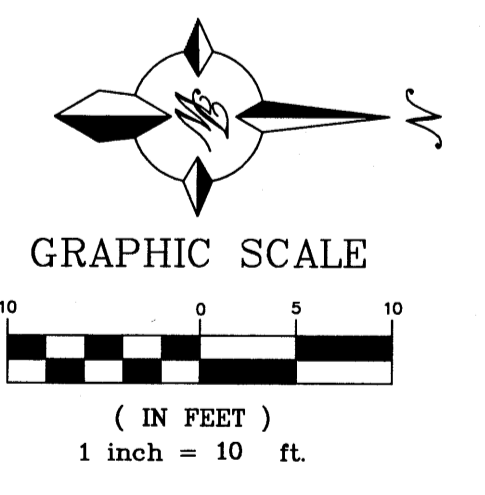


ENGINEER'S SEAL	HERITAGE MARKET PLACE ALBUQUERQUE, NM	DRAWN BY pm
	GRADING AND DRAINAGE PLAN	DATE 2-17-15
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierwestllc.com	DRAWING 2014038-GR
		SHEET NO GR-1
		JOB # 2014038



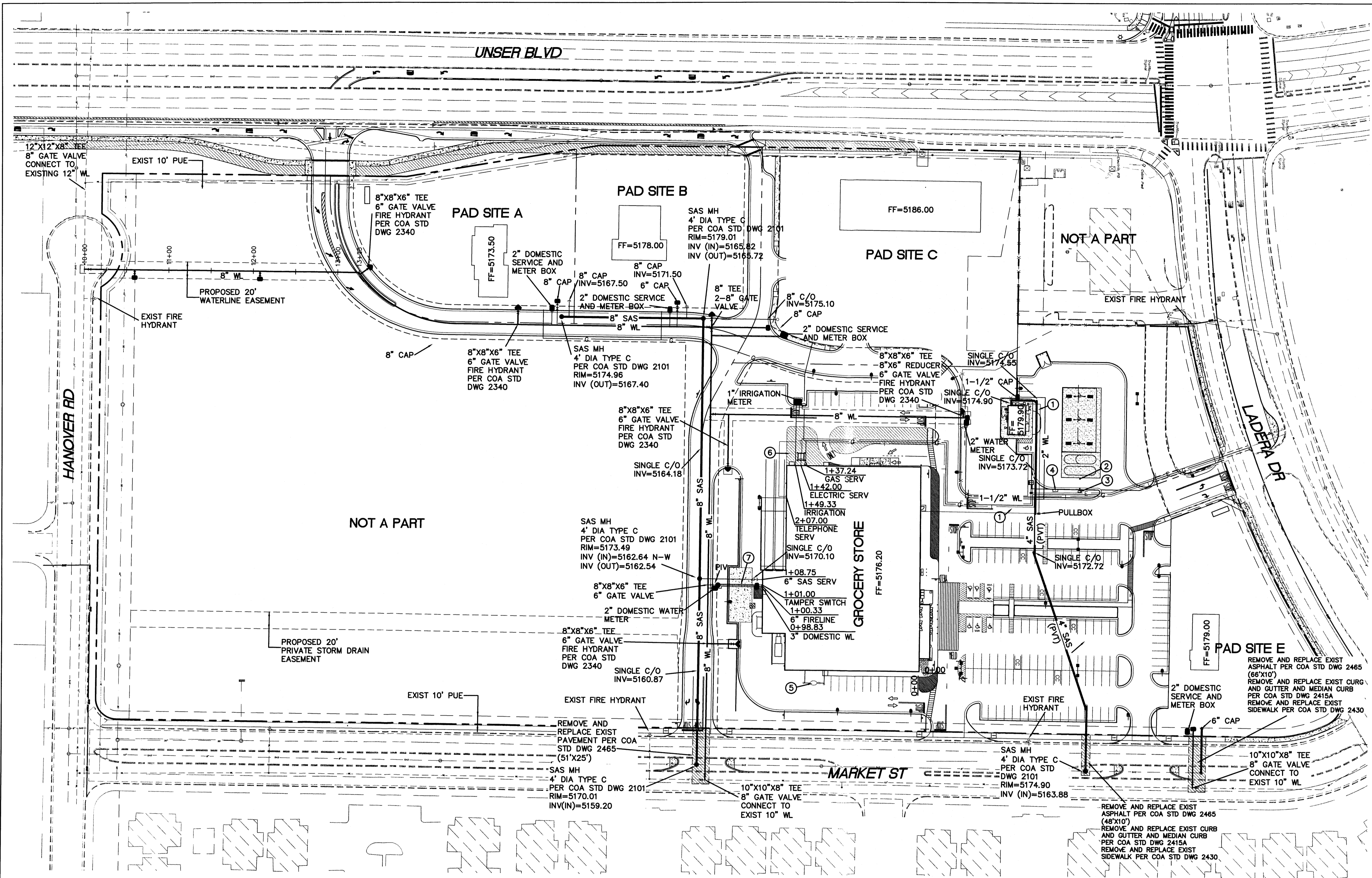
LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	SIDEWALK
	EXISTING CURB & GUTTER
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR



CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL	HERITAGE MARKET PLACE ALBUQUERQUE, NM	DRAWN BY pm
	GRADING AND DRAINAGE PLAN - FUEL AREA	DATE 2-17-15
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2014038-GR
		SHEET NO GR-3
		JOB # 2014038



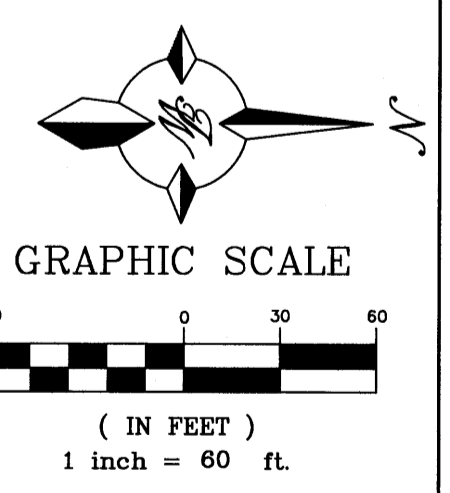
LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	EXISTING CURB & GUTTER
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	PROPOSED POWER LINE
	PROPOSED GAS LINE
	TRANSFORMER
	PULL BOX

- KEYED NOTES**
- ① 2 CONDUITS FOR FIBER OPTICS AND TELEPHONE (FROM WALMART)
 - ② UNDERGROUND VENT PIPING FROM UNDERGROUND STORAGE TANKS (REF ARCH)
 - ③ REMOTE VENT. AOR TO DETAIL
 - ④ AIR STATION
 - ⑤ 1300 GAL GREASE INTERCEPTOR PER MEP/STRUCTURAL PLAN
 - ⑥ BOLLARD (TYP)
 - ⑦ 1" CONDUIT FOR FIRE PROTECTION TAMPER SWITCH

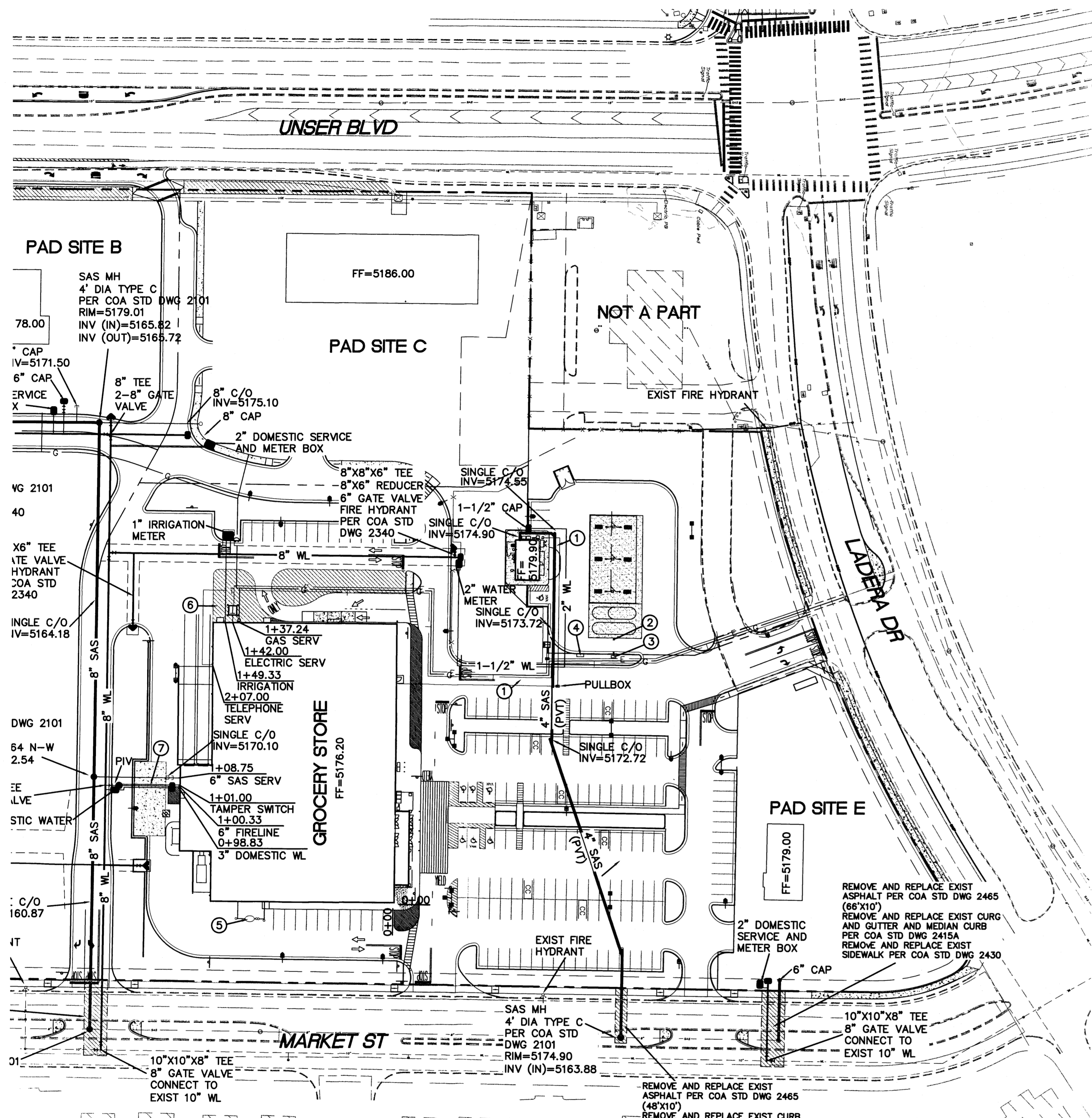
NOTE
 BACKFLOW PREVENTER FOR FIRE SPRINKLER AND DOMESTIC SERVICE TO BE LOCATED INSIDE BUILDING.

CAUTION
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	HERITAGE MARKET PLACE ALBUQUERQUE, NM	DRAWN BY pm
	MASTER UTILITY PLAN	DATE 2-17-15
		DRAWING 2014038-MU
		SHEET NO MU-1
		JOB # 2014038

TERRA WEST, LLC
 5571 MIDWAY PARK PL NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 858-3100
 www.tierrawestllc.com



UTILITY NOTES

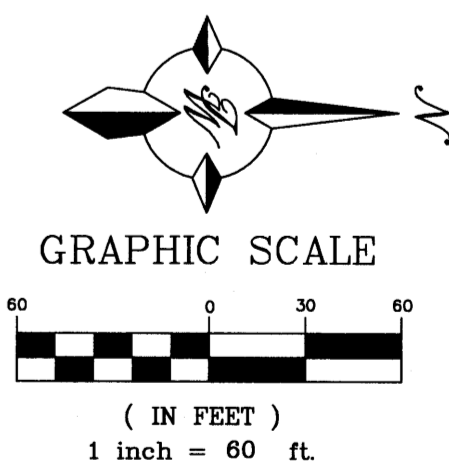
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
 6" PVC SCHEDULE 40
 DUCTILE IRON PIPE PER AWWA C150
- WATER LINES SHALL BE AS FOLLOWS:
 6" AND LARGER, PVC C-900 PER ASTM D 2241
 CLASS 200 UNDER COUNTY ROADS, OTHERWISE CLASS 150
 6" AND LARGER DUCTILE IRON PIPE PER AWWA C150
 SMALLER THAN 6" EITHER COPPER TUBE TYPE "L" (SOFT) PER ANSI 816.22
 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
- ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4'-0" COVER ON ALL WATERLINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES (ANY CITY) WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO STORE POSSESSION.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- UTILITIES SHOWN AS EXISTING IN PUBLIC R/W (WATER, SEWER, STORM) AND THE ROADWAYS THEMSELVES ARE NOT CONSTRUCTED AS OF THIS DATE. THIS INFRASTRUCTURE IS PROPOSED TO BE BUILT AS SHOWN (BY OTHERS) BUT MAY NOT ALL BE COMPLETED AT TIME OF WALMARTS CONSTRUCTION.
- REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

UTILITY LEGEND

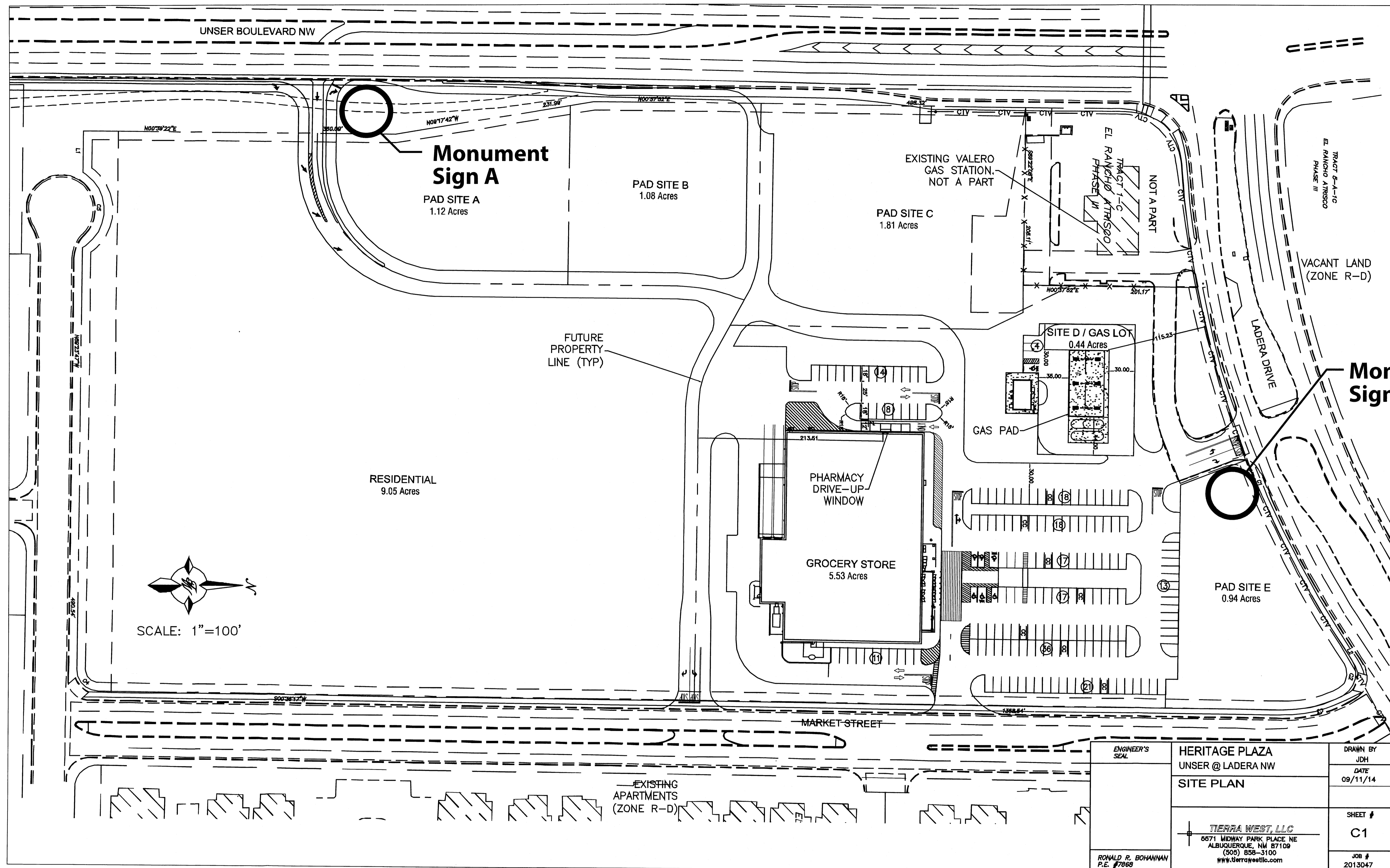
- (A) 6" SANITARY SEWER LATERAL AT MINIMUM 1.0% SLOPE. COORDINATE WITH ARCHITECTURAL PLANS.
- (B) GAS ENTRY WITH GAS METER. CONTRACTOR RESPONSIBLE FOR INSTALLING PIPE BOLLARD PROTECTION AT METER. CONTRACTOR SHALL COORDINATE WITH NM GAS FOR TYING OF INDIVIDUAL METER.
- (C) CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH GAS COMPANY REGARDING THE SIZE AND INSTALLATION OF GAS SERVICE LINE.
- (D) 1" PVC CONDUIT FOR TAMPER SWITCH.
- (E) PROPOSED LOCATION OF TRANSFORMER PAD. CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE WITH PNM PRIOR TO INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF CONCRETE PAD, CONDUIT AND PIPE BOLLARDS AS REQUIRED BY PNM. CONTRACTOR SHALL COORDINATE SAID WORK WITH PNM. FINAL LOCATION OF TRANSFORMER AND BOLLARD CANNOT CONFLICT WITH TRUCK ACCESS TO DOCK DOOR.
- (F) UNDERGROUND TELEPHONE FROM POLE TO BUILDING TO BE EXTENDED BY TELEPHONE COMPANY.
- (G) CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE TELEPHONE COMPANY FOR THE INSTALLATION OF OVERHEAD TELEPHONE LINES. CONTRACTOR SHALL COORDINATE THE TYING OF INDIVIDUAL METERS WITH THE ELECTRIC COMPANY. CONTRACTOR TO COORDINATE WITH TELEPHONE COMPANY TO INSURE PROPER SEPARATION BETWEEN OVERHEAD LINES AND LIGHT POLES.
- (H) 3" DOMESTIC WATER LINE ENTRY WITH METER PER ABCWA REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY APPURTENANCES ON THE DOMESTIC LINE SUCH AS BACKFLOW PREVENTION DEVICES, GATE VALVES, ETC., WHICH MAY BE REQUIRED. CONTRACTOR TO COORDINATE WITH ABCWA.
- (I) SPRINKLER ENTRY. CONTRACTOR SHALL BE REQUIRED TO INSTALL ANY APPURTENANCES ON THE SPRINKLER LINE SUCH AS, BUT NOT LIMITED TO, A DOUBLE DETECTOR CHECK BACKFLOW PREVENTION DEVICE, IN SERIES WITH A CHECK VALVE, GATE VALVES, ETC., MEETING ABCWA SPECIFICATIONS.
- (J) PROPOSED FIRE HYDRANT AND ASSEMBLY, TYPICAL AS INDICATED. SEE DETAIL SHEET.
- (L) ALL LP CAMERA PULL BOXES LOCATED IN PAVED AREAS SUBJECT TO TRUCK TRAFFIC SHALL BE "H-20" LOAD RATED. THE TYPICAL PULL BOX SIZE WILL BE 17" X 30" X 28" "QUAZITE" PG1730BA28 BOX WITH PG1730H00 LID, OR APPROVED EQUAL. DEEPER BOXES MAY BE REQUIRED WHEN THE CONDUIT ALIGNMENT IS AFFECTED BY OTHER UTILITIES. THE PULL BOX SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATION WITH A CONCRETE COLLAR AND A MINIMUM OF 8" OF GRAVEL COMPACTED PER PROJECT SPECIFICATIONS. ONE 3" DIAMETER CARLON TYPE "DB" DIRECT BURIAL TELEPHONE DUCT OR 3" SCHEDULE 40 PVC. INSTALL GALVANIZED PULL WIRE OR PURPLE PROPYPOLYETHYLENE ROPE WITH A MINIMUM PULLING TENSION OF 100 POUNDS. THE MINIMUM BURIAL DEPTH SHALL BE 24". INSTALL AN ORANGE DETECTABLE HAZARD TAPE WITH INTEGRAL "BURIED CABLE" WORDING, 12" ABOVE CONDUIT.
- (M) ONE 2" CONDUIT SHALL BE CARLON TYPE "DB" DIRECT BURIAL TELEPHONE DUCT OR SCHEDULE 40 PVC. INSTALL GALVANIZED PULL WIRE OR PURPLE PROPYPOLYETHYLENE ROPE WITH A MINIMUM PULLING TENSION OF 100 POUNDS. THE MINIMUM BURIAL DEPTH SHALL BE 24". INSTALL AN ORANGE DETECTABLE HAZARD TAPE WITH INTEGRAL "BURIED CABLE" WORDING, 12" ABOVE CONDUIT. THE 2" LP CAMERA CONDUIT SHALL BE SEPARATED FROM THE 480VAC LIGHT FIXTURE POWER BY A DIVIDER PLACED IN THE LIGHT POLE BASE JUNCTION BOX.
- (N) FIBER OPTIC CONDUIT TO FUEL OUTLOT. TWO 2" CONDUITS FOR FIBER OPTIC CABLES AND TELEPHONE LINES REQUIRED FROM BUILDING TO GAS LOT. COORDINATE LOCATION WITH CURRENT UDCP. THE CONDUITS SHALL BE 2" DIAMETER CARLON TYPE "DB" DIRECT BURIAL TELEPHONE DUCT OR 2" SCHEDULE 40 PVC. INSTALL GALVANIZED PULL WIRE OR PURPLE PROPYPOLYETHYLENE ROPE WITH A MINIMUM PULLING TENSION OF 100 POUNDS IN EACH CONDUIT. THE MINIMUM BURIAL DEPTH SHALL BE 24".INSTALL AN ORANGE DETECTABLE HAZARD TAPE WITH INTEGRAL "BURIED FIBER OPTIC CABLE" WORDING, 12" ABOVE THE CONDUITS.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.




ENGINEER'S SEAL	HERITAGE MARKET PLACE ALBUQUERQUE, NM	DRAWN BY pm
	MASTER UTILITY PLAN	DATE 2-17-15
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2014038-MU
		SHEET NO MU-2
		JOB # 2014038



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	HERITAGE PLAZA UNSER @ LADERA NW	DRAWN BY JDH
	SITE PLAN	DATE 09/11/14
	TERRA WEST, LLC 6671 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.terrawestllc.com	SHEET # C1
		JOB # 2013047

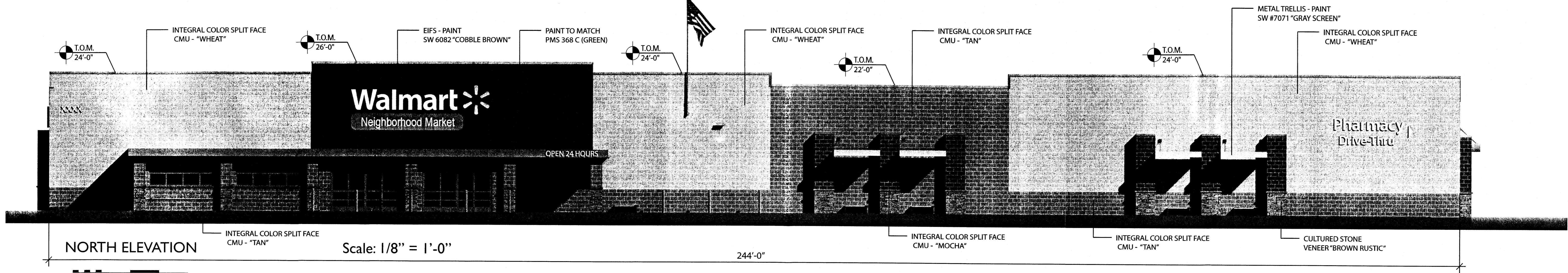



October 30, 2014

Albuquerque (Ladera), NM #4676

Site Plan

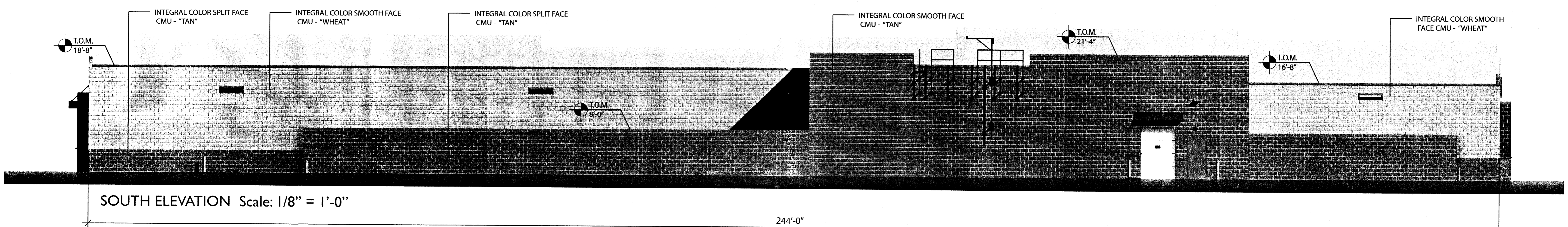
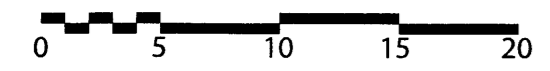
DESIGN REPRESENTATION ONLY - NOT FOR CONSTRUCTION The building images shown are a representation of the current design intent only. The building images may not reflect variations in color, tone, hue, tint, shading, ambient light intensity, materials, texture, contrast, font style, construction variations required by building codes or inspectors, materials or final design detailing.



NORTH ELEVATION

Scale: 1/8" = 1'-0"

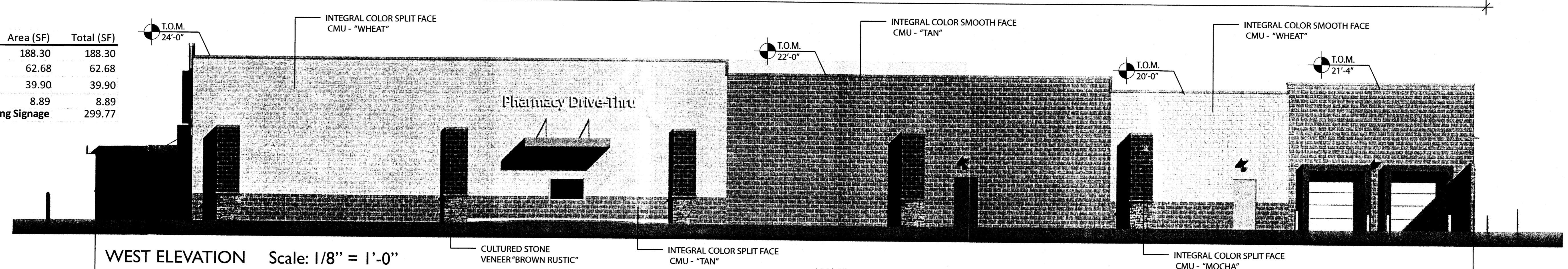
244'-0"



SOUTH ELEVATION Scale: 1/8" = 1'-0"

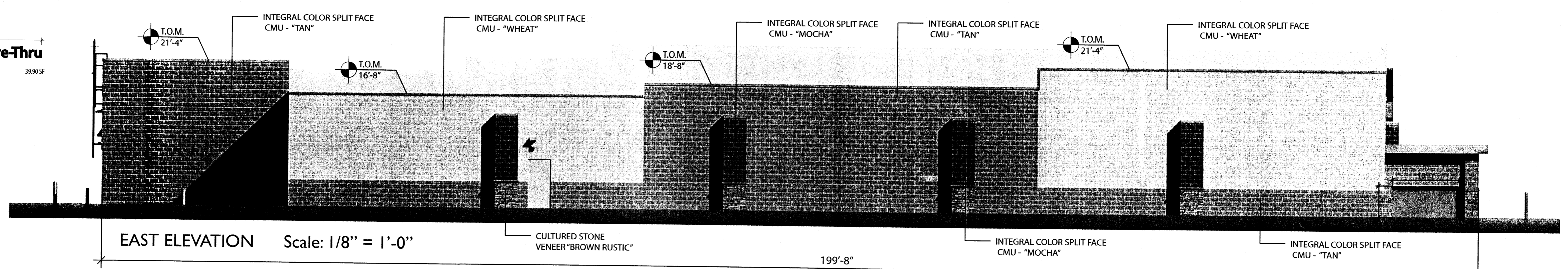
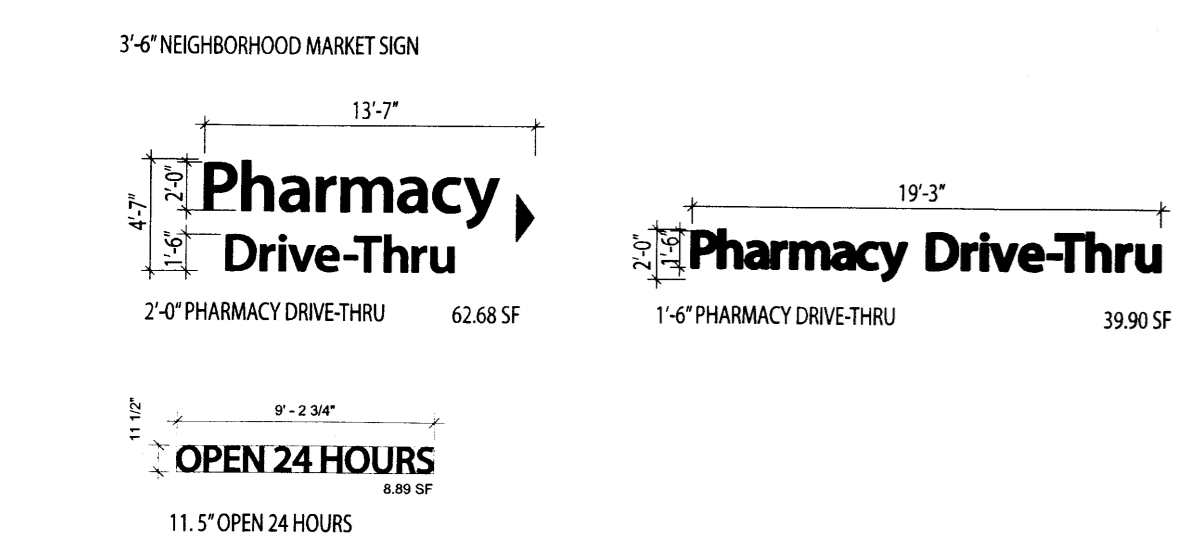
244'-0"

Sign	Qty.	Height	Area (SF)	Total (SF)
Walmart/Spark	1	7'-10"	188.30	188.30
Pharmacy Drive-Thru >	1	4'-7"	62.68	62.68
Pharmacy Drive-Thru	1	2'-0"	39.90	39.90
OPEN 24 HOURS	1	11.5"	8.89	8.89
Total Building Signage			299.77	



WEST ELEVATION Scale: 1/8" = 1'-0"

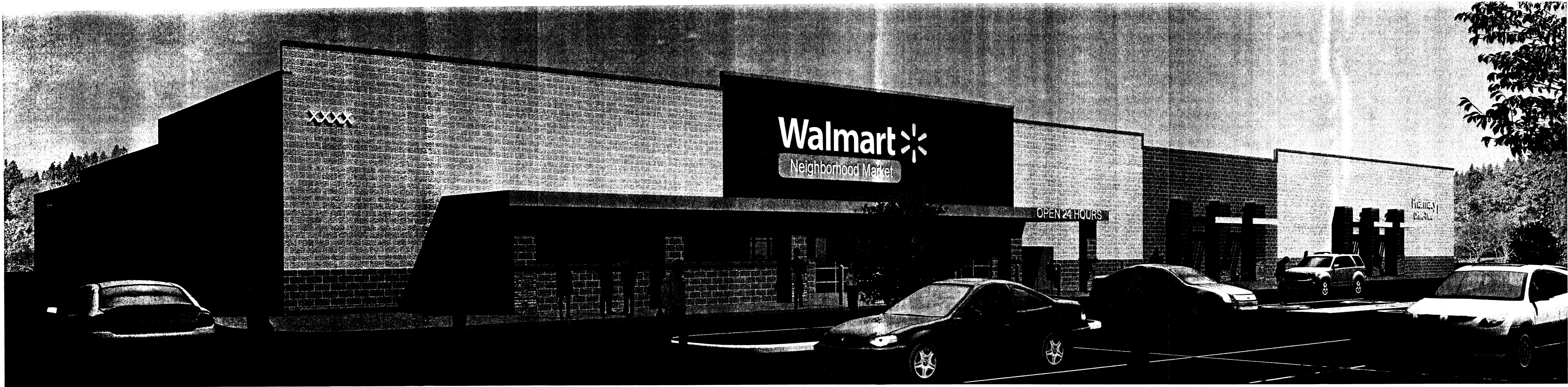
199'-8"




EAST ELEVATION Scale: 1/8" = 1'-0"

199'-8"

DESIGN REPRESENTATION ONLY - NOT FOR CONSTRUCTION The building images shown are a representation of the current design intent only. The building images may not reflect variations in color, tone, hue, tint, shading, ambient light intensity, materials, texture, contrast, font style, construction variations required by building codes or inspectors, materials or final design detailing.



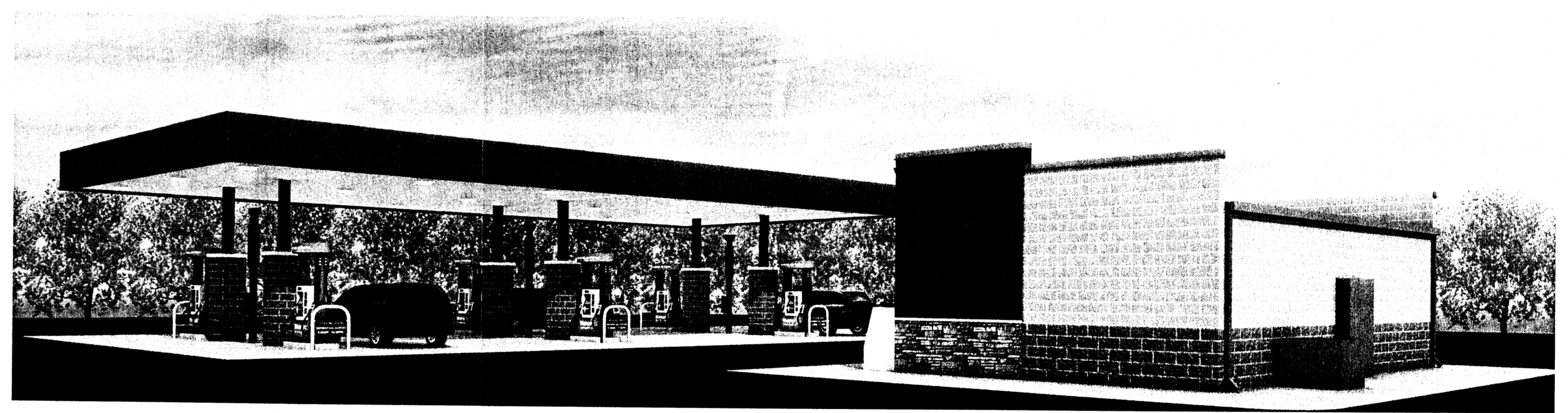
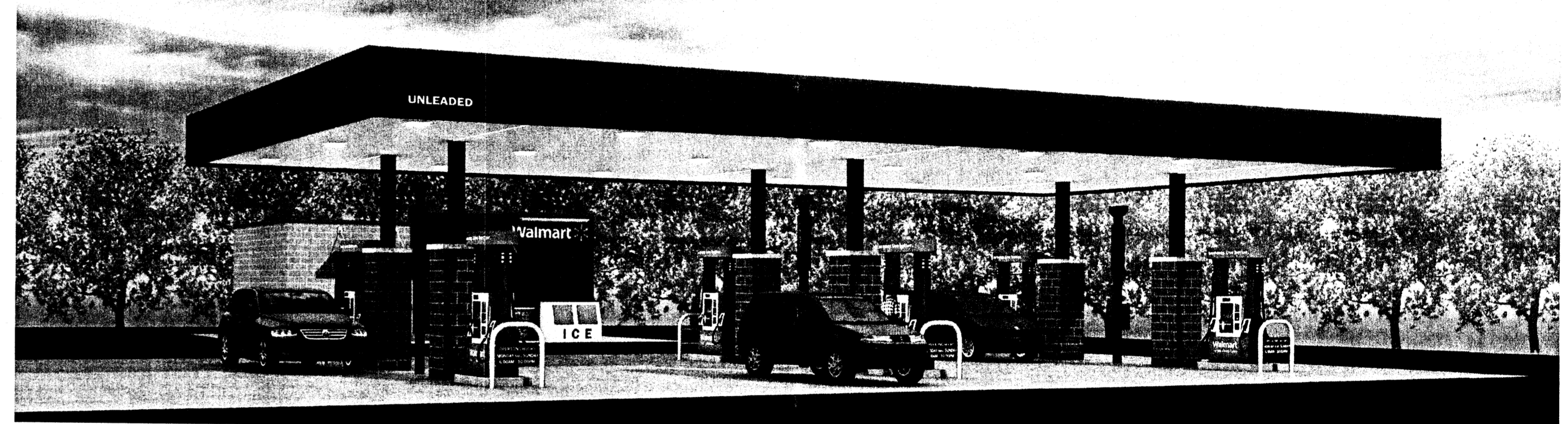
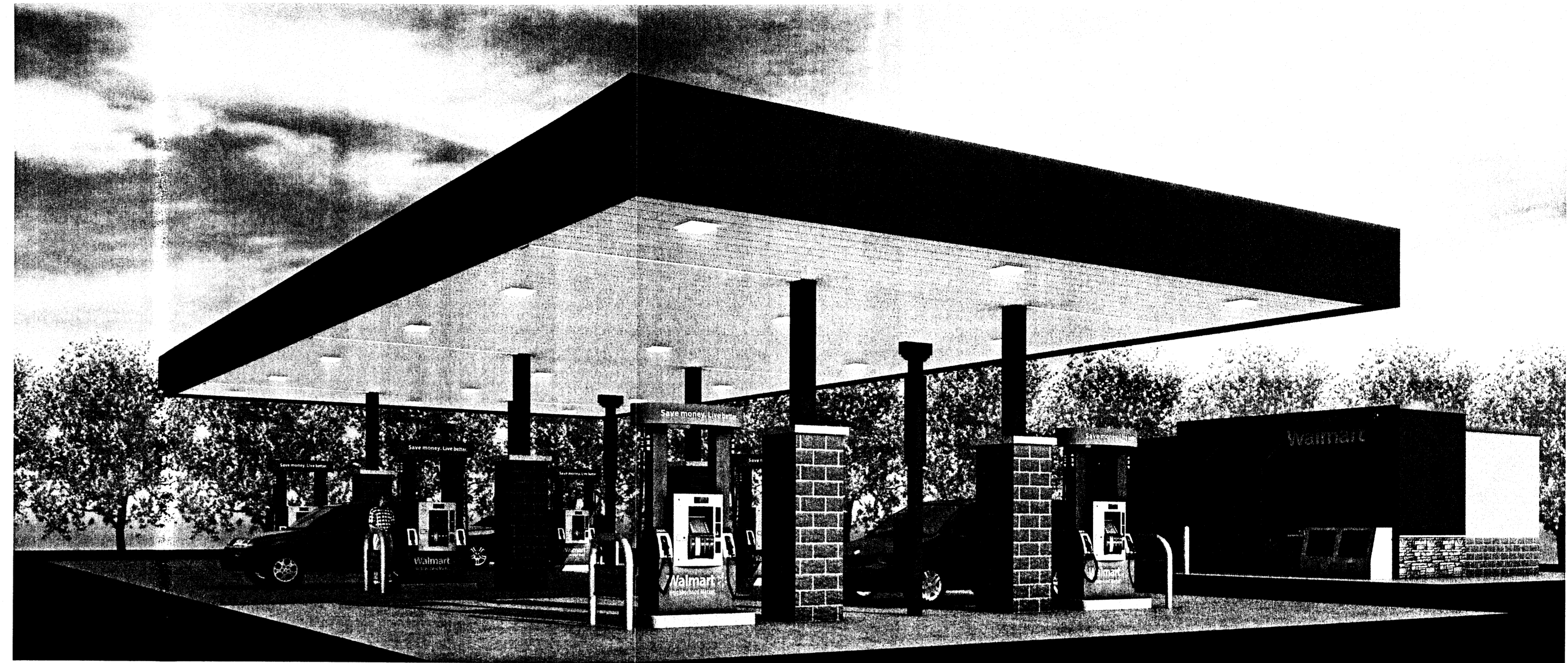
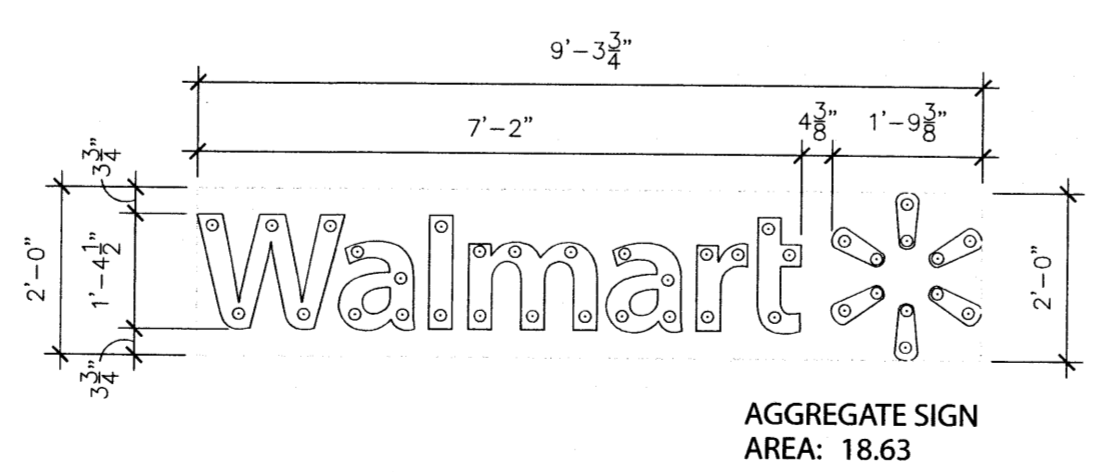
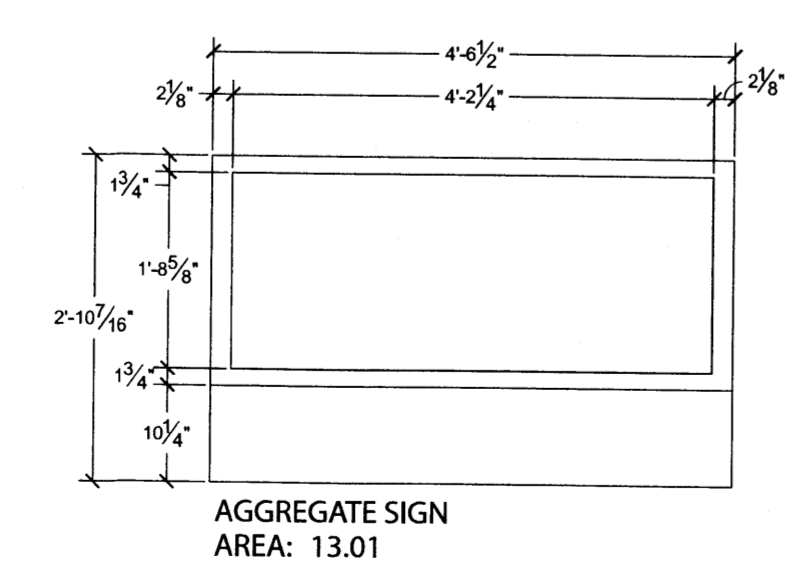
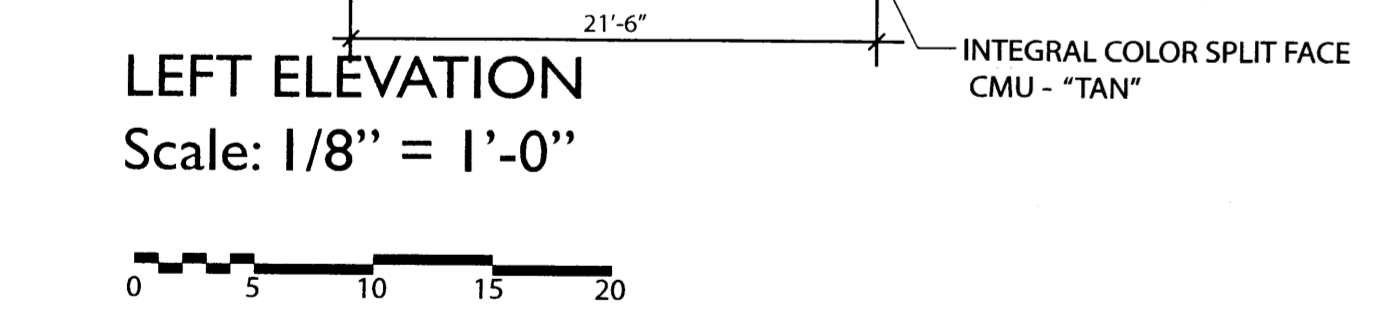
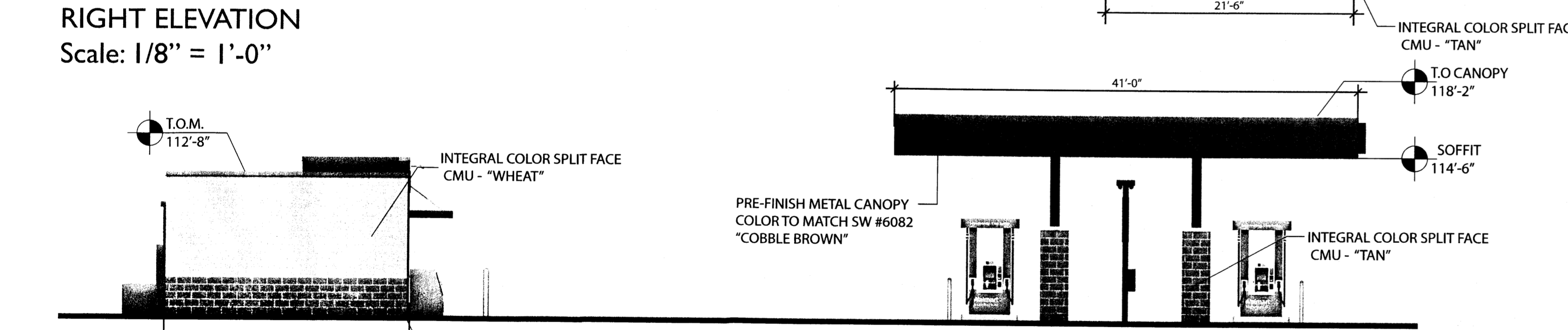
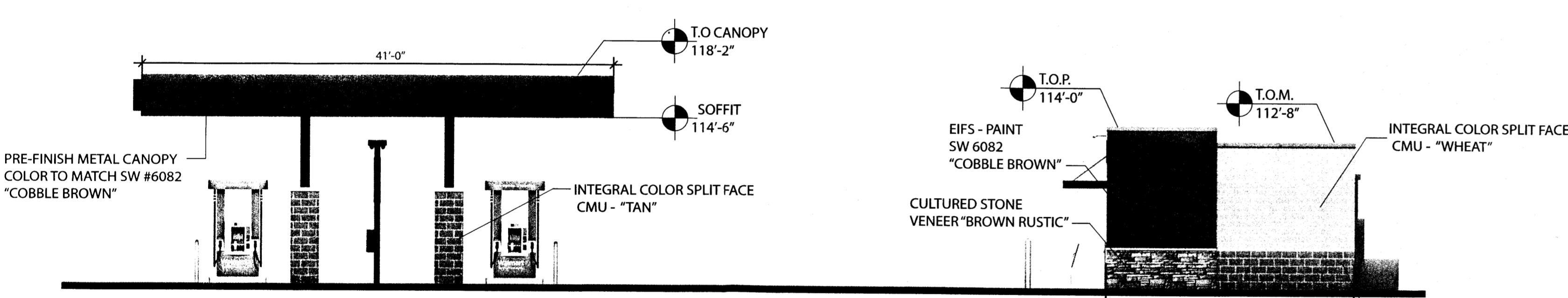
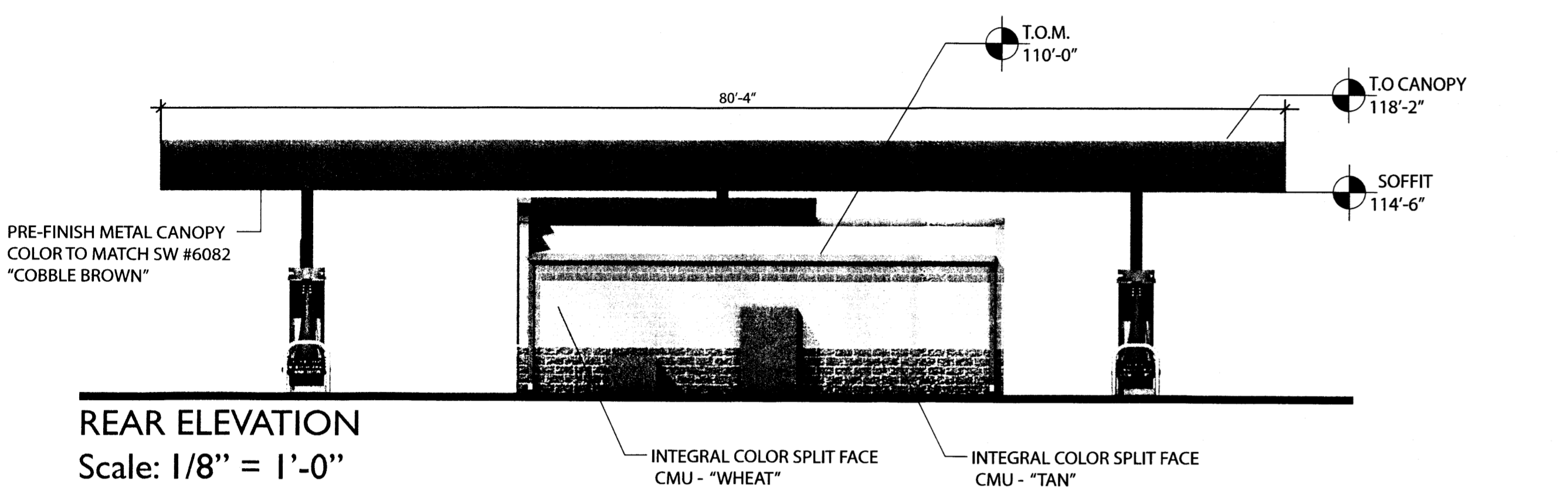
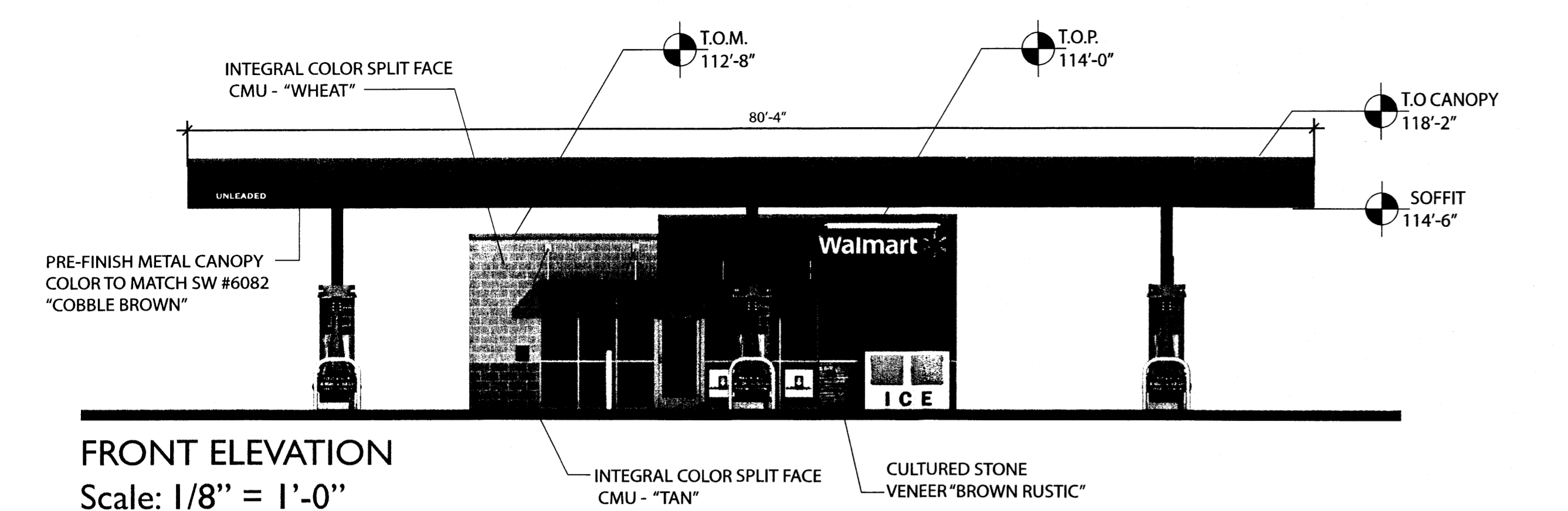
Walmart 
 Neighborhood Market

 October 30, 2014

Albuquerque (Ladera), NM #4676

Proposed Building Perspectives **3**

DESIGN REPRESENTATION ONLY – NOT FOR CONSTRUCTION The building images shown are a representation of the current design intent only. The building images may not reflect variations in color, tone, hue, tint, shading, ambient light intensity, materials, texture, contrast, font style, construction variations required by building codes or inspectors, materials or final design detailing.

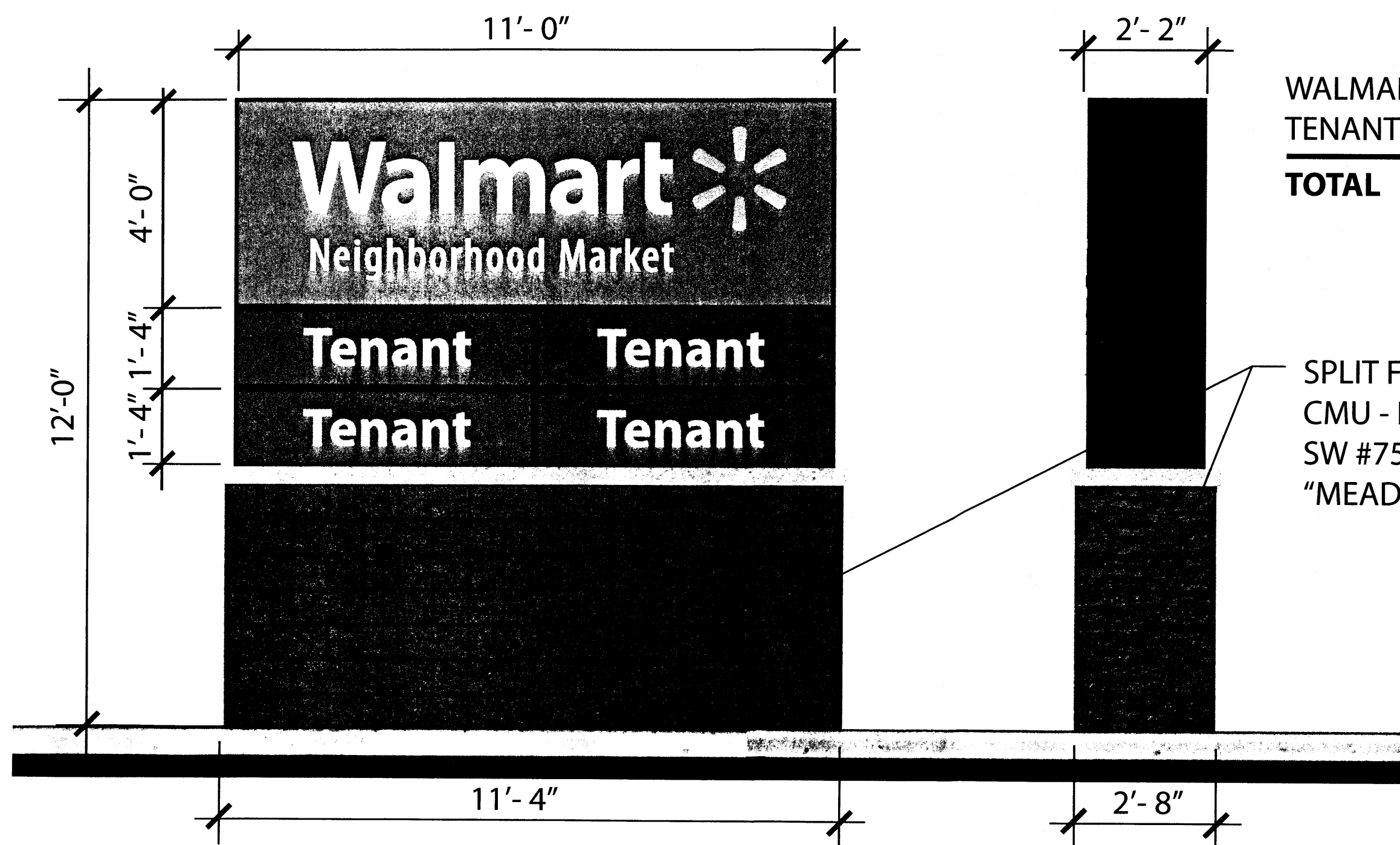


Sign	Qty.	Height	Area (SF)	Total (SF)
Walmart/Spark	1	2'-0"	18.63	18.63
Canopy Price Sign	1	2'-10 1/4"	13.01	13.01
Total Building Signage			31.64	



DESIGN REPRESENTATION ONLY - NOT FOR CONSTRUCTION The building images shown are a representation of the current design intent only. The building images may not reflect variations in color, tone, hue, tint, shading, ambient light intensity, materials, texture, contrast, font style, construction variations required by building codes or inspectors, materials or final design detailing.

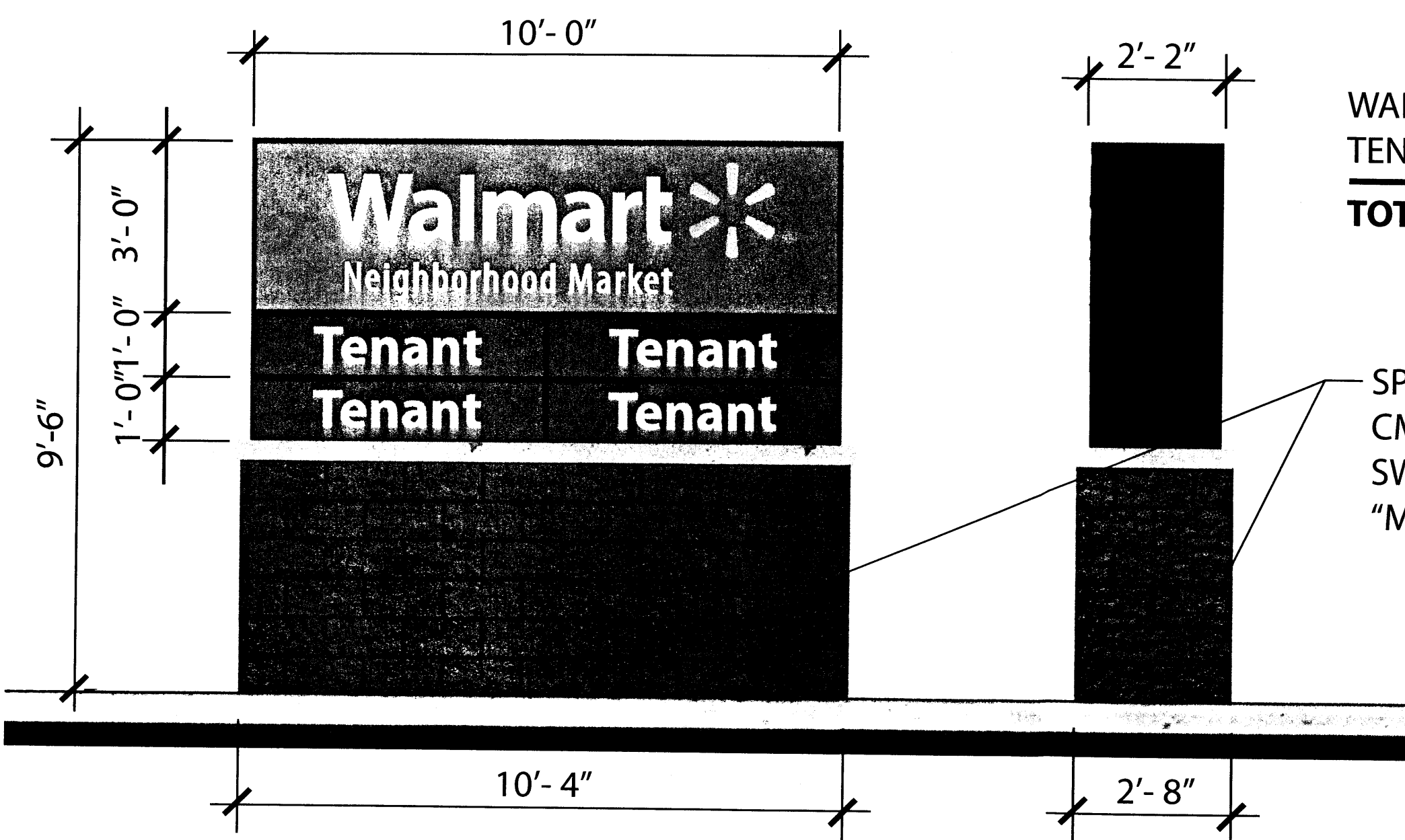
SIGN "A"



WALMART PANEL AREA: 44.00 SQ FT
 TENANT PANEL AREA: 7.33 SQ FT X 4 = 29.32 SQ FT
TOTAL 73.32 SQ FT

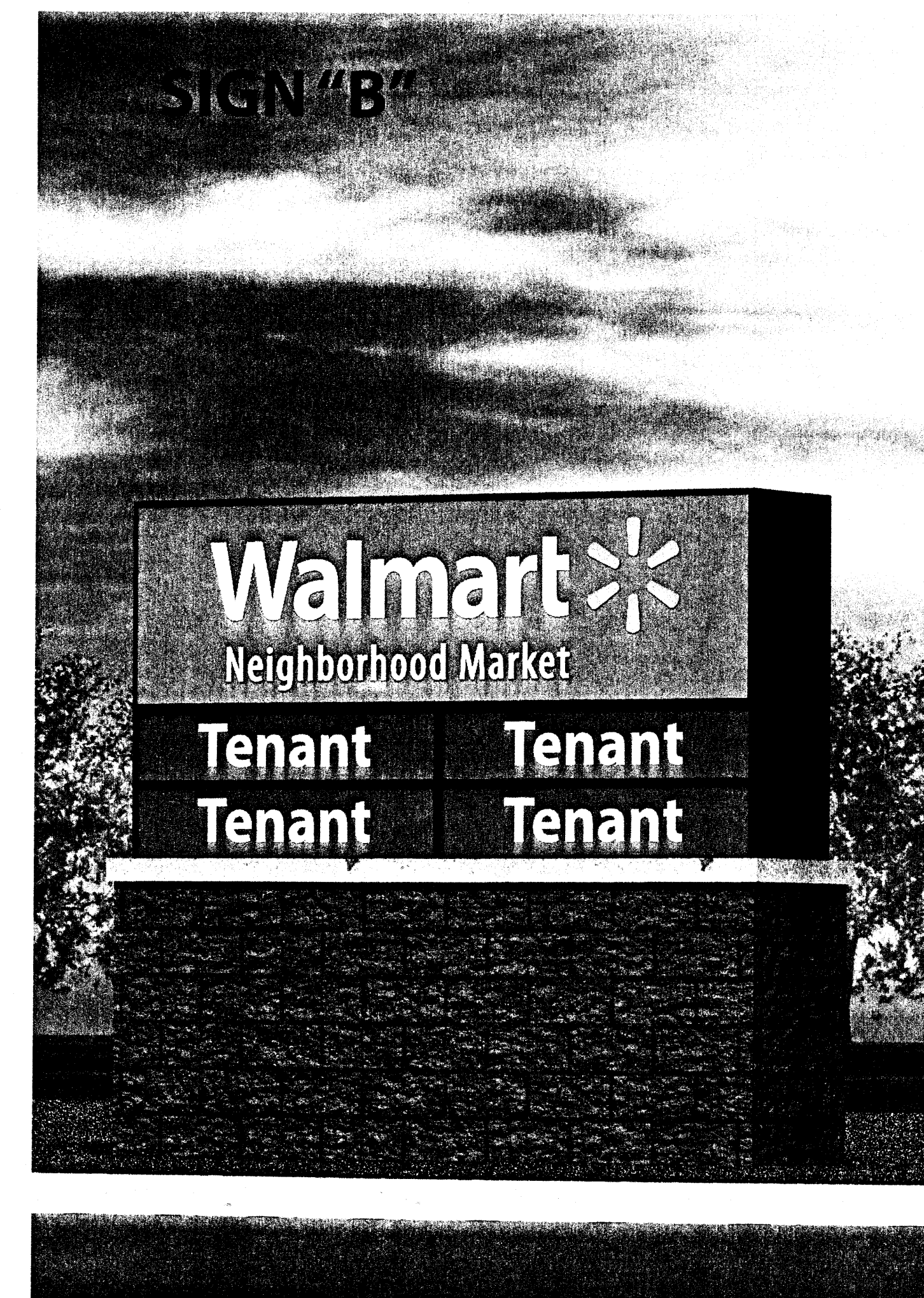
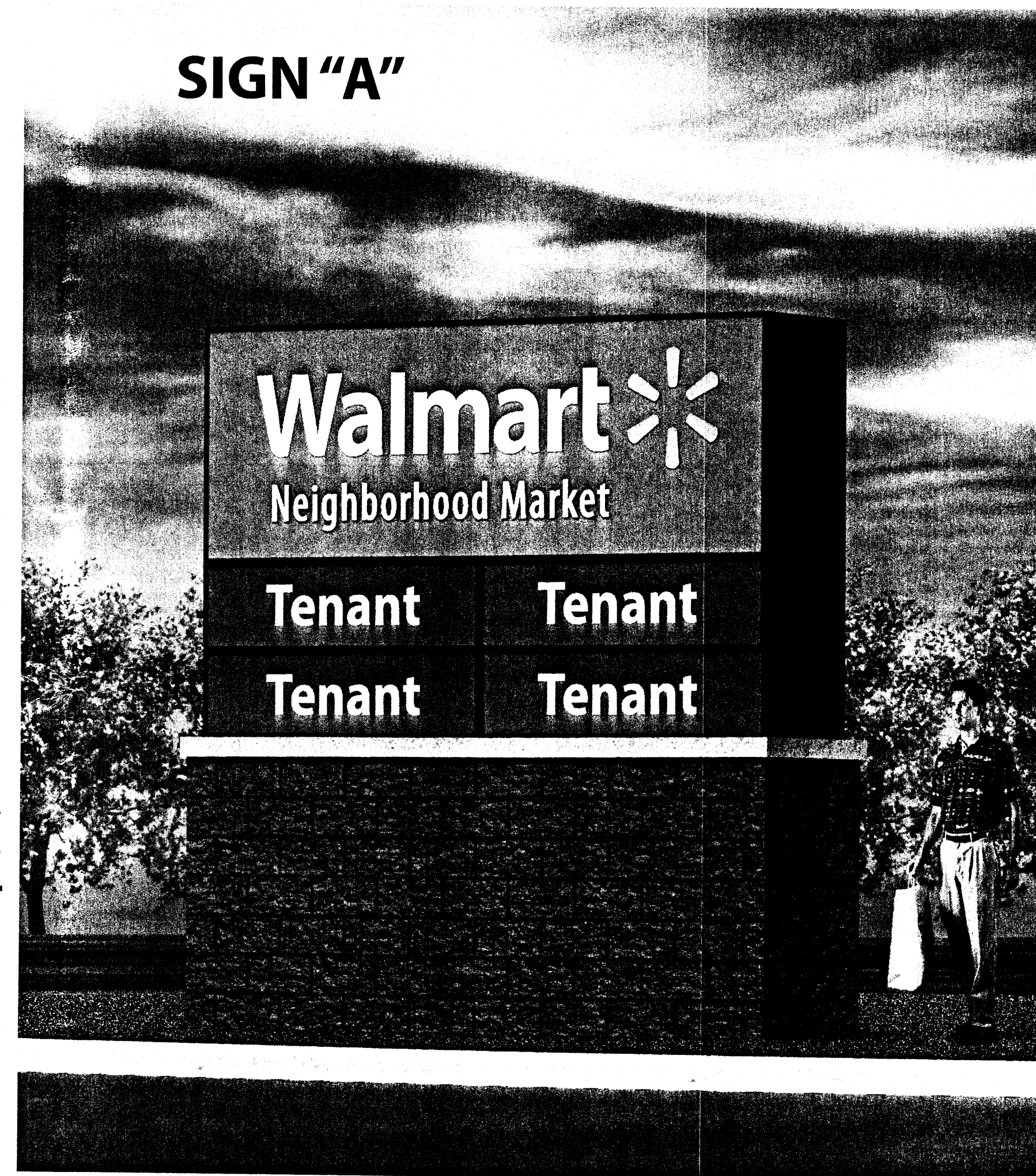
SPLIT FACE
 CMU - PAINT
 SW #7522
 "MEADOWLARK"

SIGN "B"



WALMART PANEL AREA: 30.00 SQ FT
 TENANT PANEL AREA: 5.0 SQ FT X 4 = 20.00 SQ FT
TOTAL 50.00 SQ FT

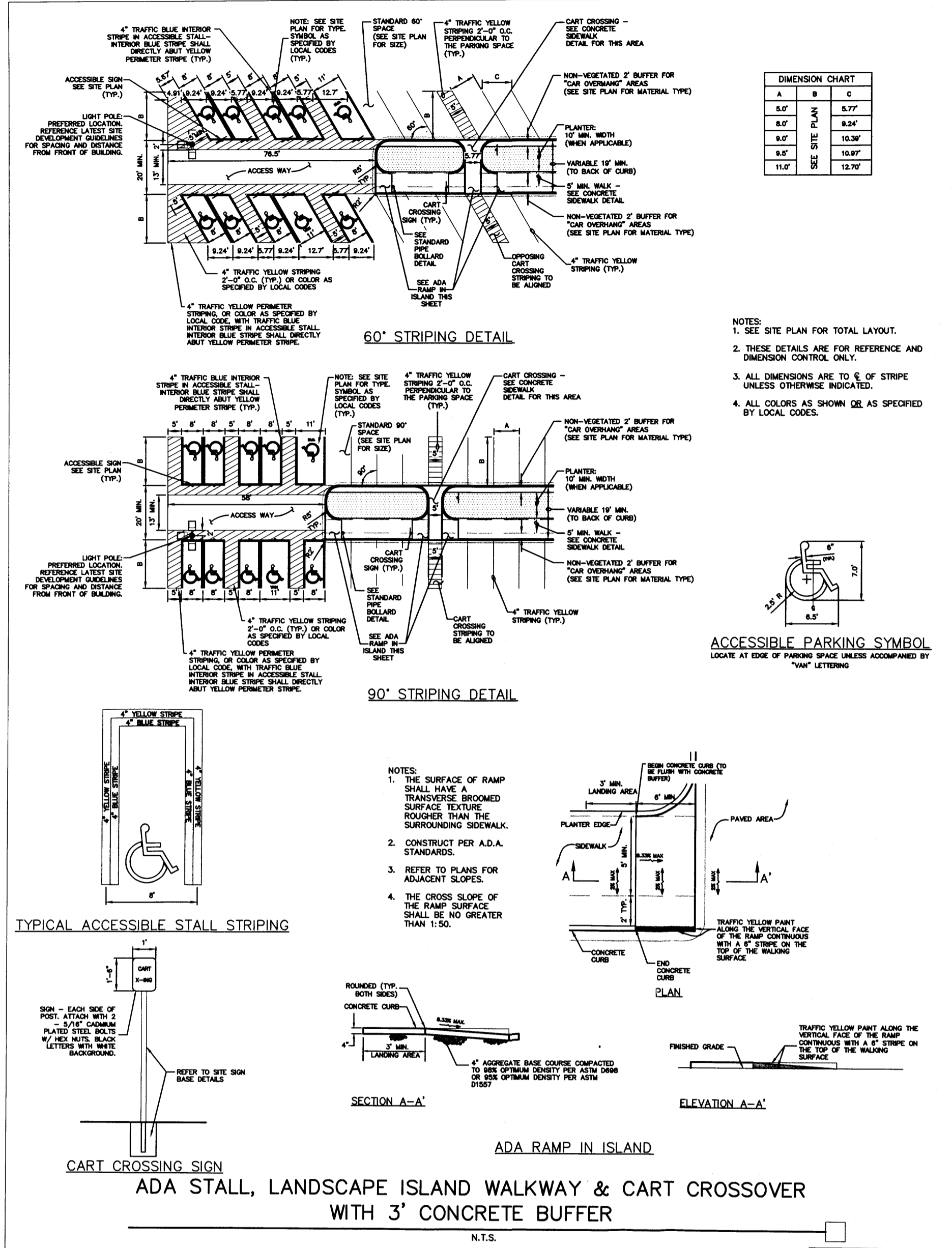
SPLIT FACE
 CMU - PAINT
 SW #7522
 "MEADOWLARK"



October 30, 2014

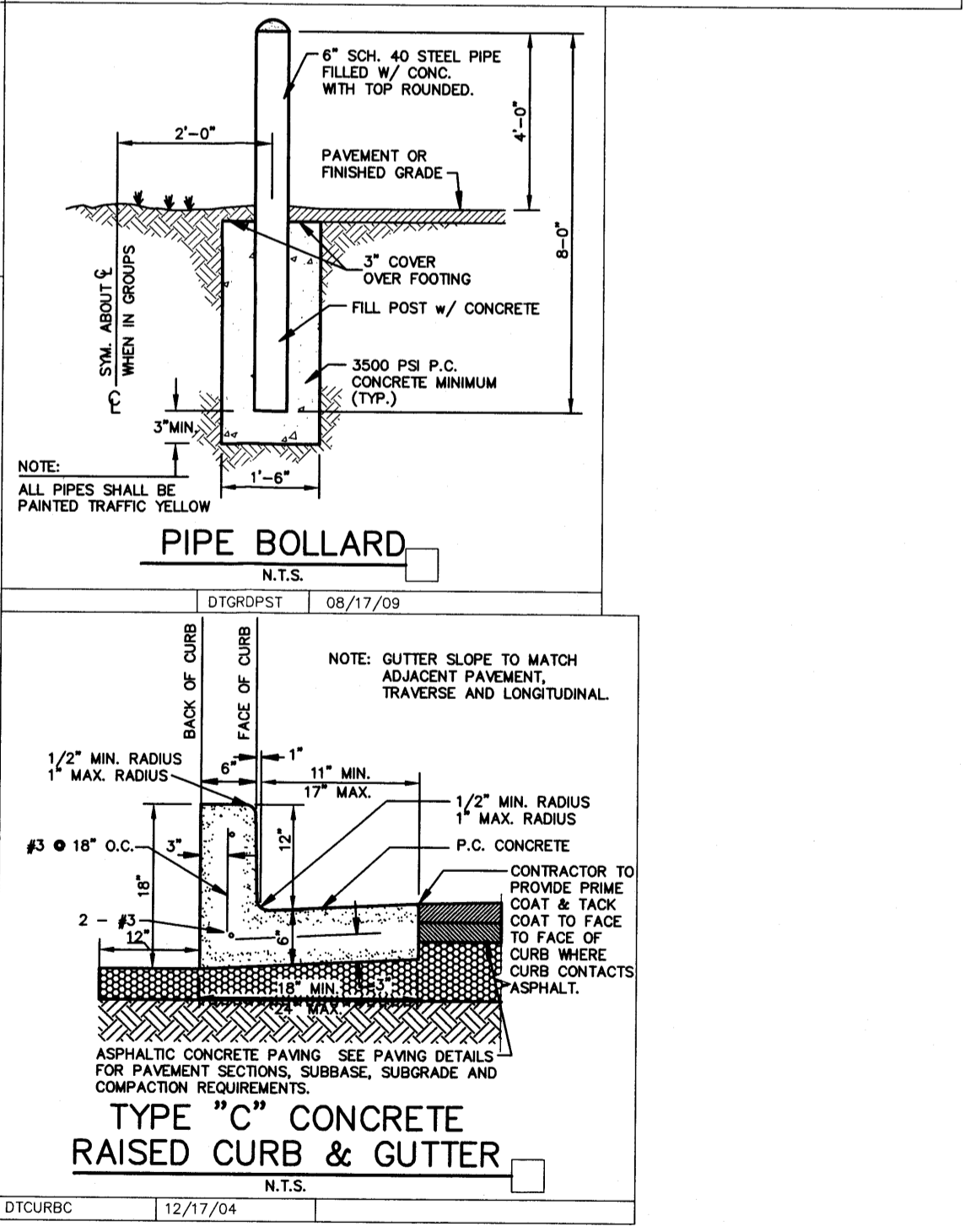
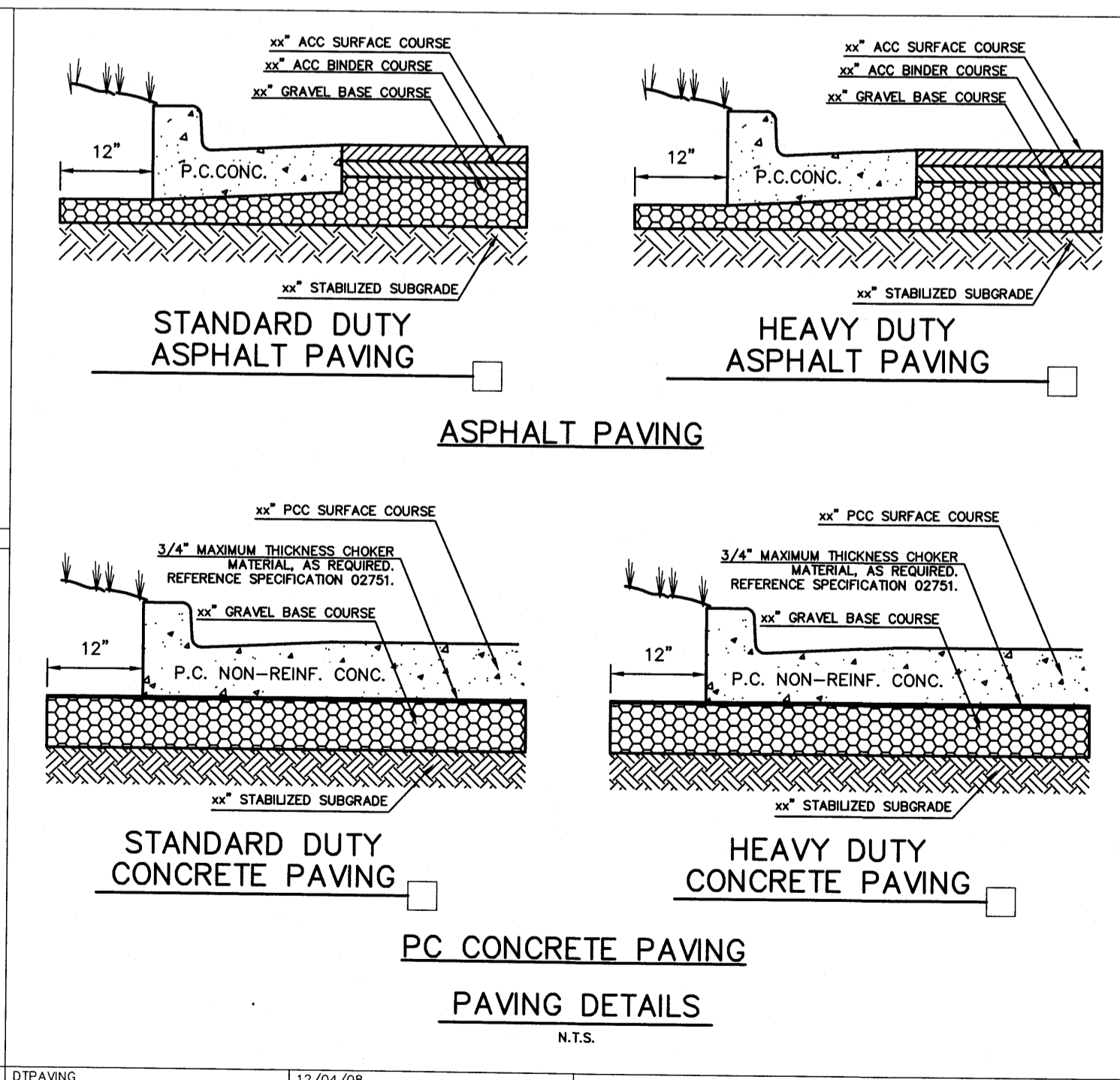
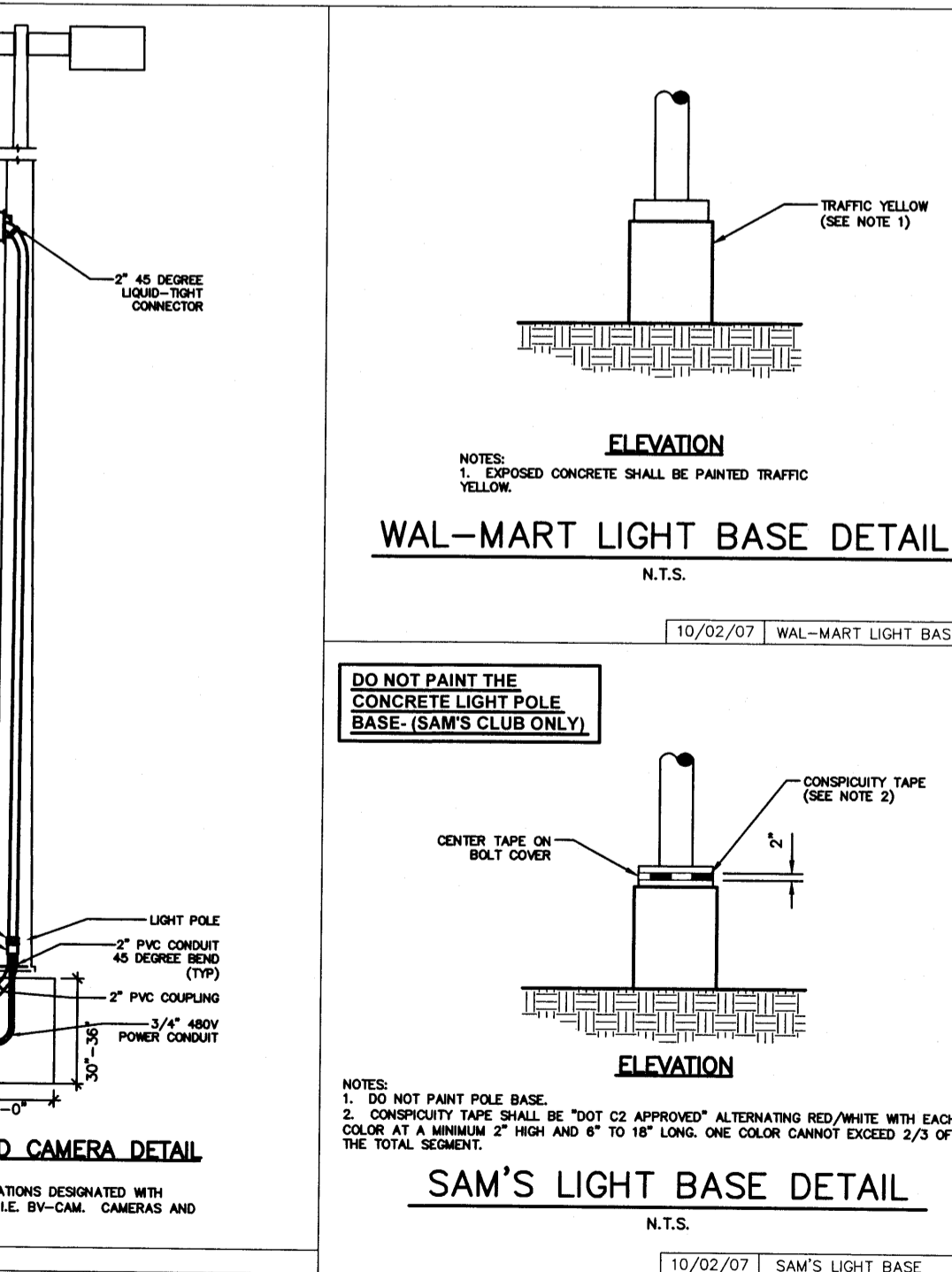
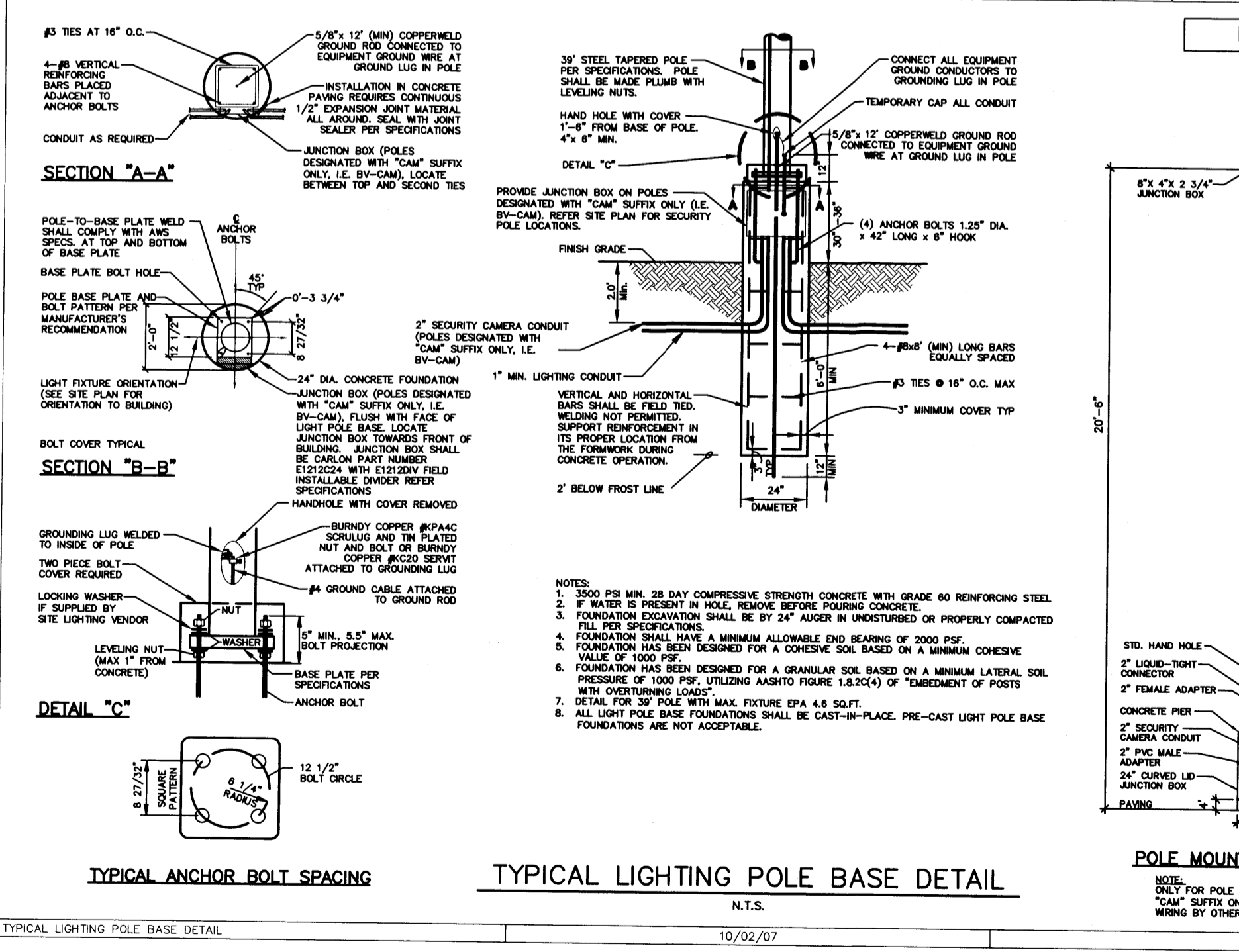
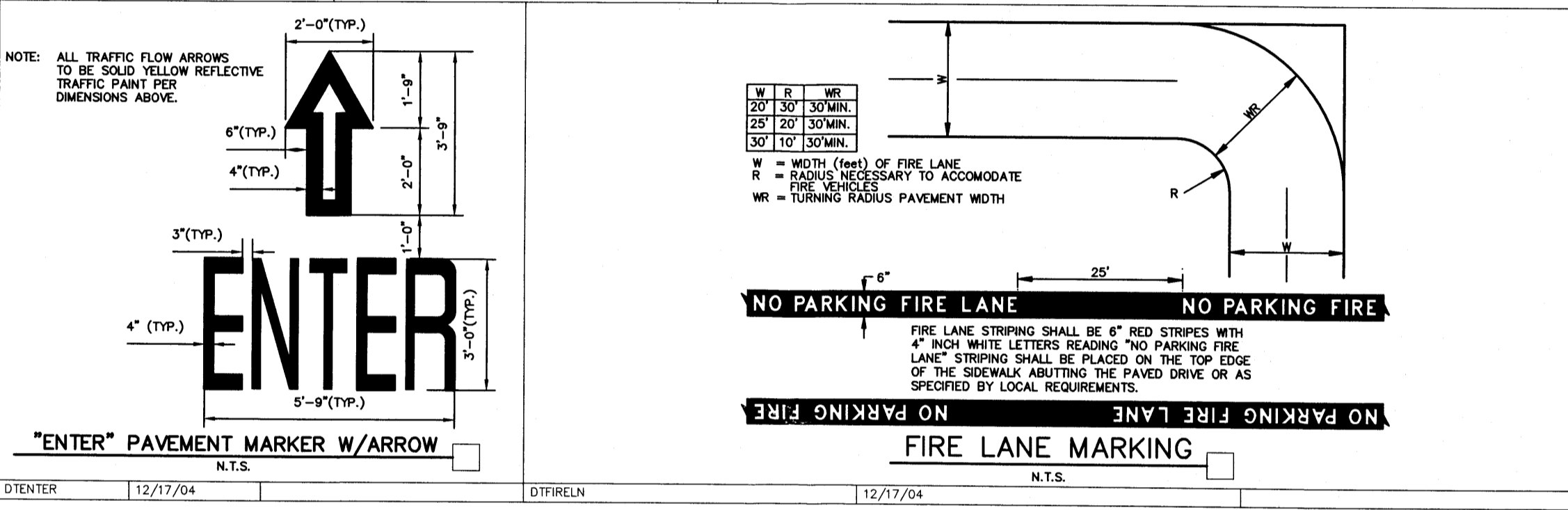
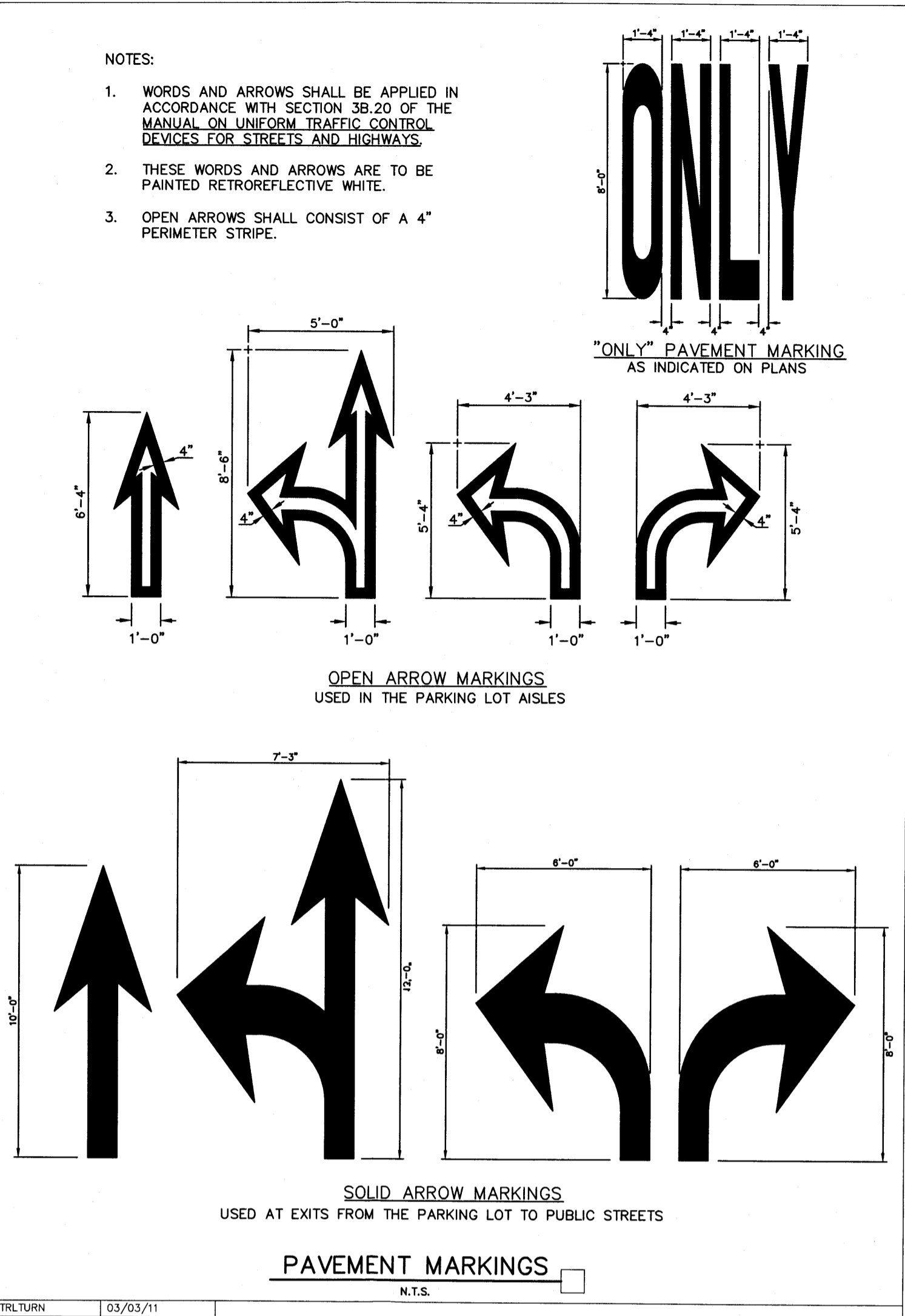
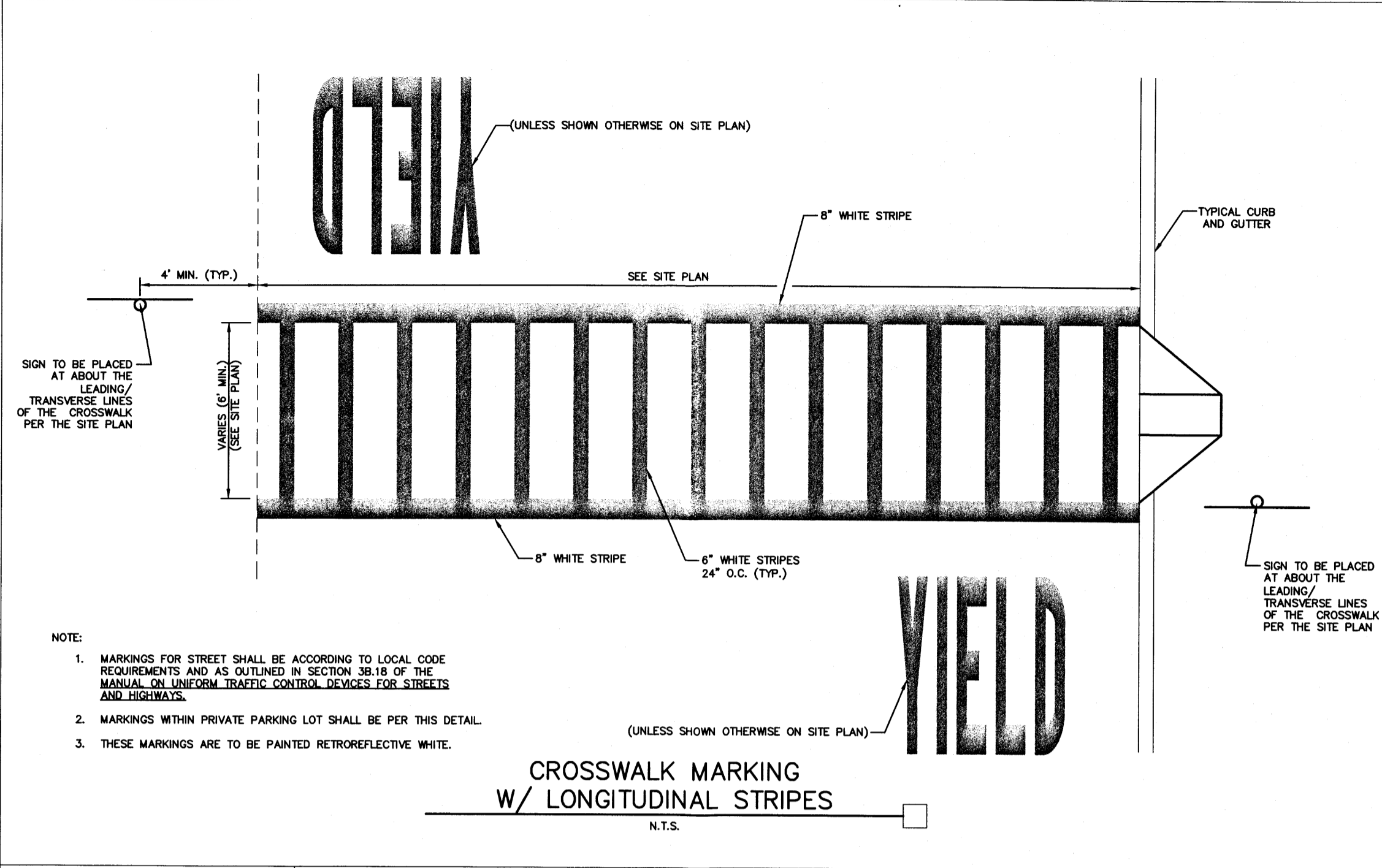
Albuquerque (Ladera), NM #4676

Proposed Site Signage



DIMENSION CHART

A	B	C
8.2'	7'	8.2'
8.2'	10.3'	8.2'
8.2'	13.9'	8.2'
11.2'	12.9'	8.2'



ENGINEER'S SEAL

HERITAGE MARKET PLACE ALBUQUERQUE, NM

CONSTRUCTION DETAILS

TIERRA WEST, LLC
 5571 MIDWAY PARK PL NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 858-3100
 www.tierrowest.com

RONALD R. BOHANNAN
 P.E. #7868

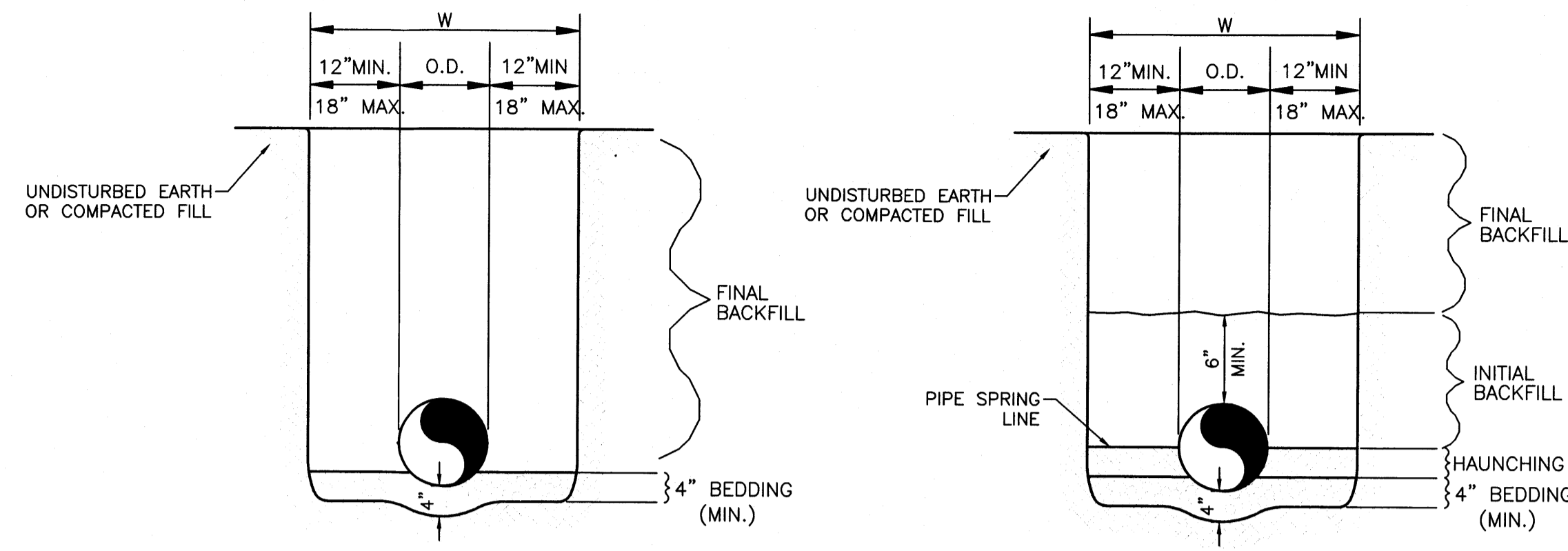
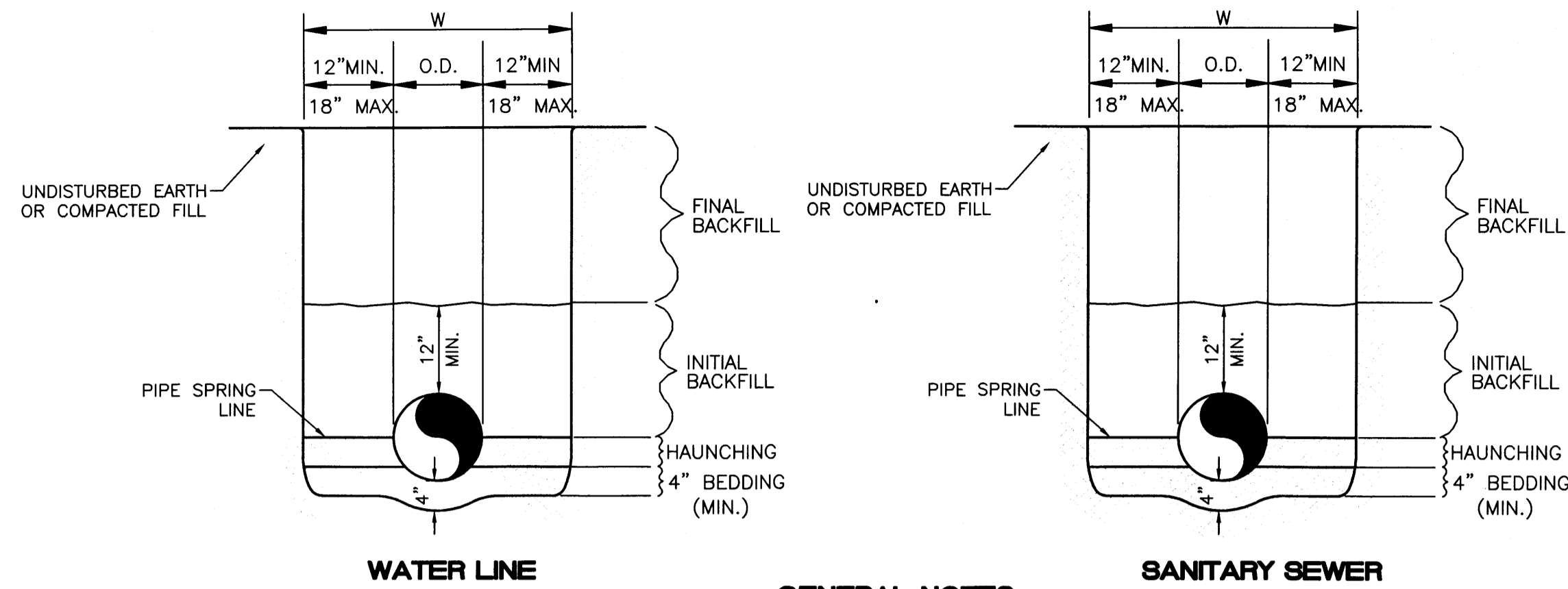
DRAWN BY
 pm

DATE
 2-17-15

DRAWING
 2014038-DET

SHEET NO
DET-1

JOB #
 2014038



GENERAL NOTES

- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, OR II COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE TYPE II COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

REINFORCED CONCRETE PIPE (RCP) AND CONTECH SPIRAL RIB PIPE SMALLER THAN 60"

GENERAL NOTES

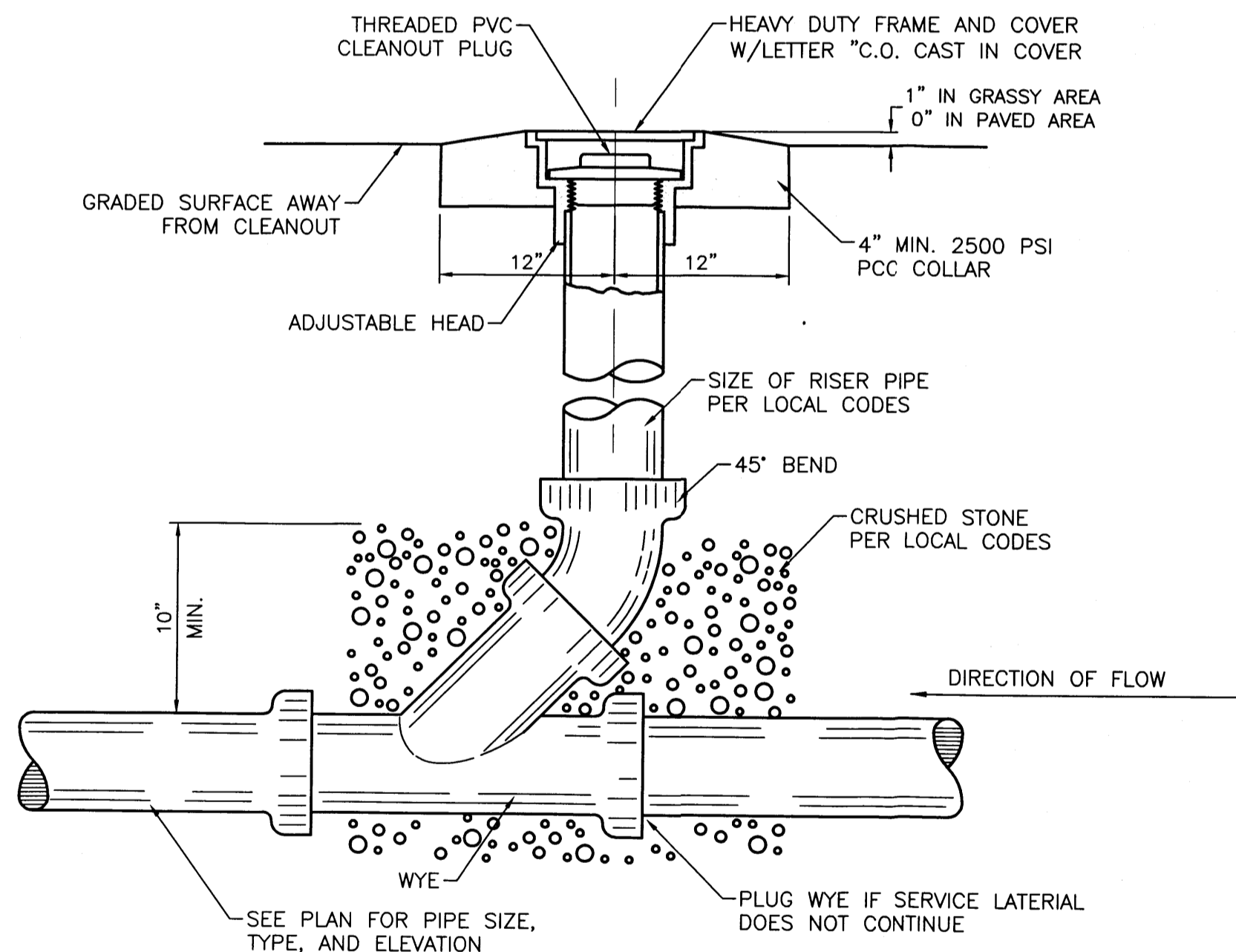
- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-LATEST EDITION.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

UTILITY TRENCH AND BEDDING DETAIL

NTS

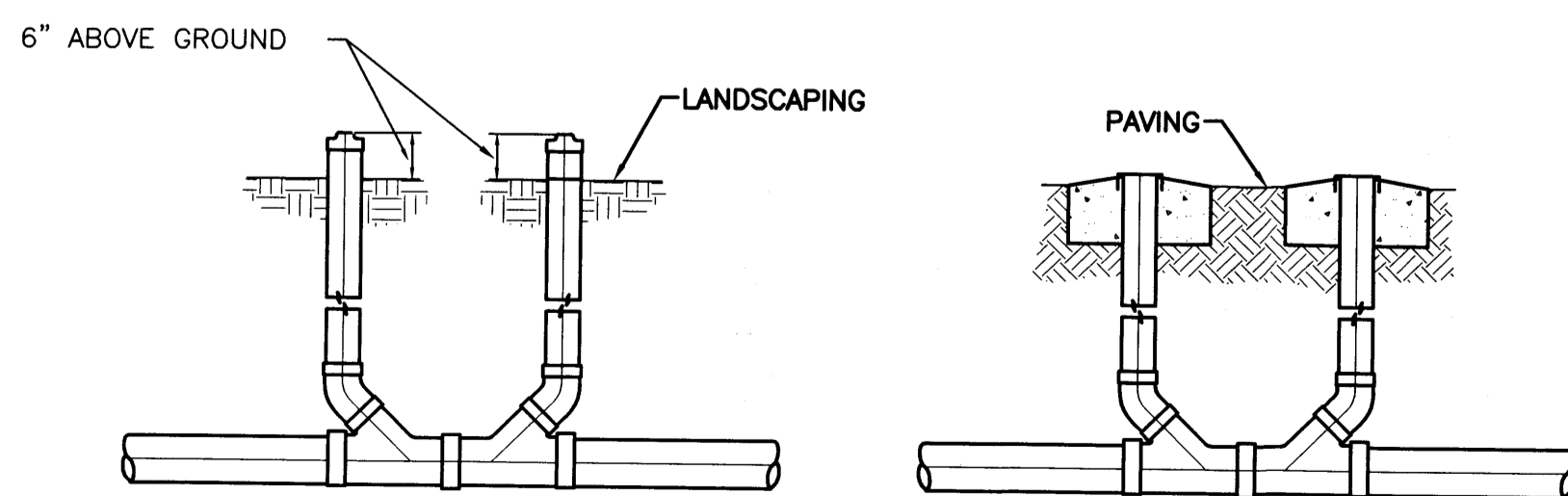
STORM SEWER TRENCH AND BEDDING DETAIL

NTS



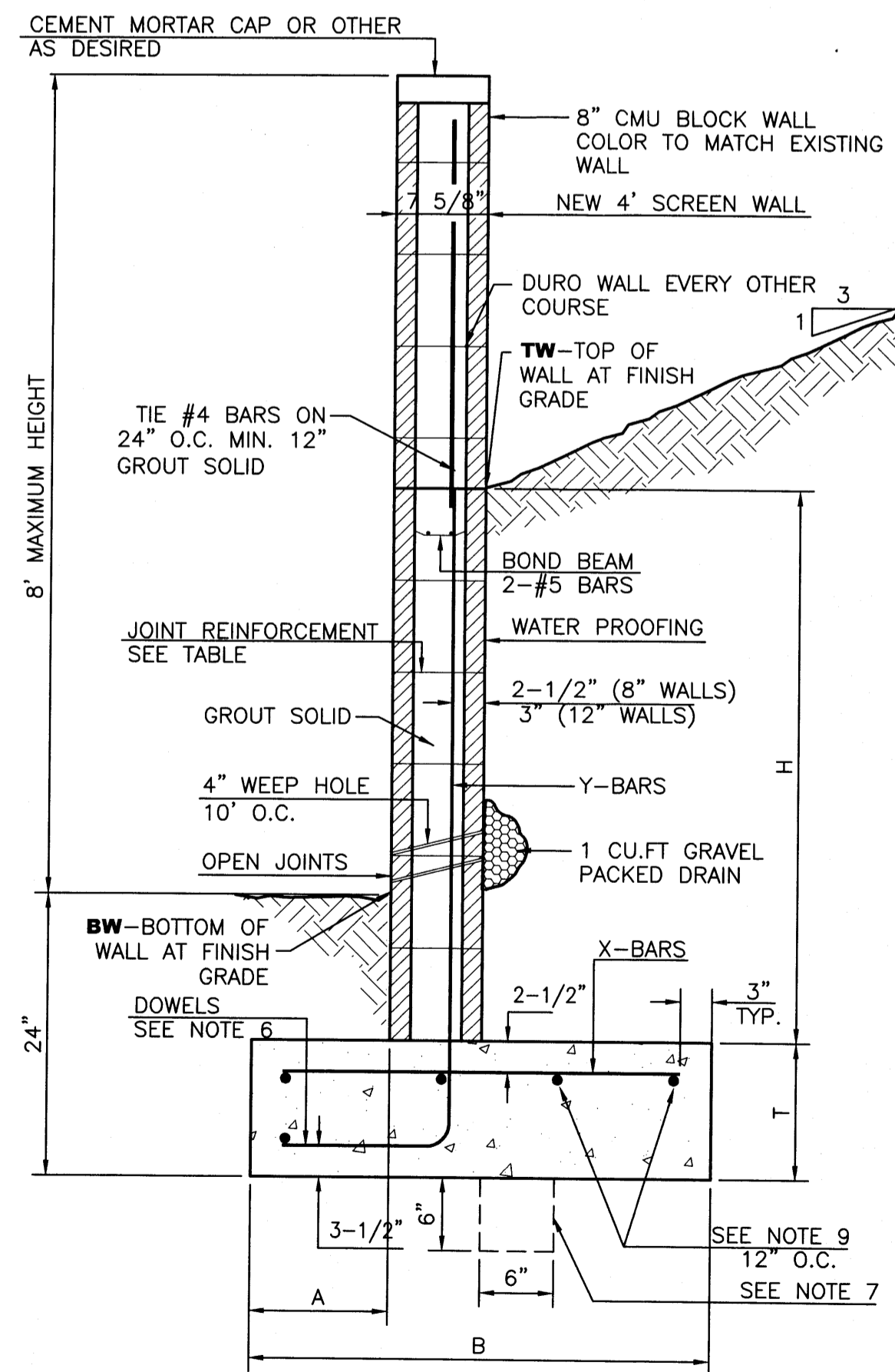
SANITARY SEWER CLEAN-OUT

NTS



SANITARY SEWER DOUBLE CLEAN-OUTS

NTS



RETAINING WALL DETAIL

NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

ENGINEER'S SEAL	HERITAGE MARKET PLACE ALBUQUERQUE, NM	DRAWN BY pm
	CONSTRUCTION DETAILS	DATE 2-17-15
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2014038-DET
		SHEET NO DET-3
		JOB # 2014038