

PROJECT NUMBER: 1003275  
 APPLICATION NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED 2/29/17 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.  
 IS AND INFRASTRUCTURE LIST REQUIRED? ( ) YES (x) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEVELOPMENT	DATE
PARKS & RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE 12-20-17
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
(* ENVIRONMENTAL HEALTH, IF NECESSARY)	

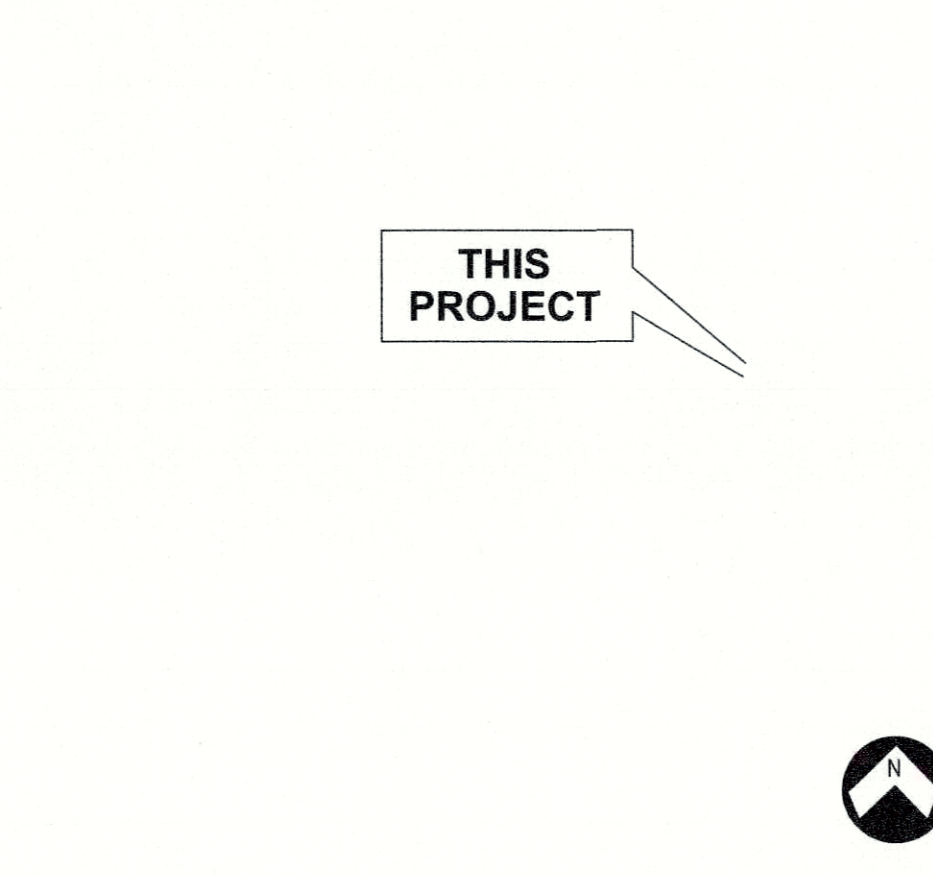
**INDEX TO DRAWINGS**

- A1.1 SITE PLAN
- LA.01 LANDSCAPE PLAN
- C3.00 GRADING AND DRAINAGE
- C4.00 UTILITY LAYOUT
- A4.1 BUILDING ELEVATIONS
- A4.2 BUILDING ELEVATIONS

**General Notes**

- A. FUTURE SIGNAGE CAN BE APPROVED ADMINISTRATIVELY, IF THE SIGNAGE COMPLIES WITH THE ZONING CODE OF HERITAGE MARKETPLACE DESIGN STANDARDS.
- B. PROVIDE 1" INSULATED SOLORBAN 60 CLEAR FOR ALL GLAZING.

**Vicinity Map**



**BURGER KING**  
 7900 LADERA DRIVE NW ALBUQUERQUE, NM 87120

**Owner**  
 TOM McCOLLUM  
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 11000 BERMLUDA DUNES NE  
 ALBUQUERQUE, NM  
 PHONE: 505-681-7474  
 tmgrtmmm@aol.com

**Architect**  
 SIMONS ARCHITECTURE PC  
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 joe@simonsarchitecture.com

**About this project...**

THIS PROJECT IS FOR A NEW 2,766 S.F. BURGER KING RESTAURANT. THE NEW BUILDING WILL INCLUDE A DRIVE THRU WITH A DOUBLE ORDER LANE.

**City of Albuquerque Building Codes**

THIS PROJECT SHALL ADHERE TO THE FOLLOWING CODES:

- 2009 NEW MEXICO COMMERCIAL BUILDING CODE
- 2009 NEW MEXICO EARTHEN BUILDING MATERIALS CODE
- 2014 NEW MEXICO ELECTRICAL CODE
- 2009 STATE OF NEW MEXICO ENERGY CONSERVATION CODE
- 2014 NEW MEXICO ELECTRICAL CODE
- 2012 NEW MEXICO MECHANICAL CODE
- 2012 NEW MEXICO PLUMBING CODE
- 2015 UNIFORM ADMINISTRATION CODE
- CITY OF ALBUQUERQUE AMENDMENTS TO THE NEW MEXICO BUILDING CODE

**Legal Description**

TR A2 PLAT OF TRACTS A-1 THRU A-3 AND C-1 THRU C-3, HERITAGE MARKETPLACE (BEING A REPLAT OF TRACTS A AND C)

**Project Information**

ADDRESS:	7900 LADERA DRIVE NW ALBUQUERQUE NM 87120
PARCEL:	100 905 954 109 740 103
EXISTING ZONING:	SU-2 / SU-1
PROPOSED ZONING:	SU-1
SITE AREA GROSS:	49,172 S.F. (1.08 AC.)
SITE AREA NET:	41,137 S.F. (0.94 AC.)
COVERAGE (%):	7.8%
OCCUPANCY TYPE:	A-2 RESTAURANT, NON-SEPARATED
CONSTRUCTION TYPE:	V-B
FIRE SPRINKLERS:	NO
FIRE ALARM:	YES
ALLOWABLE AREA:	PER IBC TABLE 503 - 6,000 S.F. / FLOOR
AREA INCREASE:	NONE REQUIRED
TOTAL BUILDING AREA:	2,766 S.F.
ALLOWABLE HEIGHT:	26 FEET
PROPOSED HEIGHT:	23 FEET
LANDSCAPING PROVIDED:	14,422 S.F.
LANDSCAPE CALCULATION:	41,137 S.F. - 2,766 S.F. = 38,371 S.F. X 15% = 5,755.65 S.F. (15%)

OCCUPANT LOAD:		
DINING:	FIXED SEATING	= 42
KITCHEN:	895 S.F. / 200	= 5
STANDING:	93 S.F. / 5	= 19
STORAGE:	350 S.F. / 300	= 2
68		

EXITS REQUIRED: 2  
 EXITS PROVIDED: 3

**Parking Calculations**

FOR THIS PROJECT:

PARKING REQUIRED:	
RESTAURANT	42 / 4 = 11
TOTAL	11
PARKING PROVIDED:	
STANDARD SPACES ON-SITE:	21
COMPACT SPACES ON-SITE:	3
ACCESSIBLE SPACES ON-SITE:	2
TOTAL	26 SPACES

ACCESSIBLE PARKING REQUIRED: 2 SPACES  
 ACCESSIBLE PARKING PROVIDED: 2 SPACES  
 BICYCLE PARKING REQUIRED: 6 SPACES  
 BICYCLE PARKING PROVIDED: 6 SPACES

**Site Plan Keynotes**

- PROVIDE LANDSCAPE AREA, SEE LANDSCAPE DRAWINGS.
- EXISTING LANDSCAPE AREA TO REMAIN.
- PROVIDE BLACK CONCRETE PAVING (HATCHED AREA), SEE CIVIL DRAWINGS.
- PROVIDE CONCRETE SIDEWALK, SEE CIVIL DRAWINGS.
- PROVIDE PARKING STRIPING PER CITY STANDARDS, TYPICAL.
- PROVIDE ASPHALT PAVING, SEE CIVIL DRAWINGS.
- DRIVE-THRU QUEUING LANES(S)
- 6'-0" CMU TRASH ENCLOSURE PER CITY STANDARDS, COLOR TO MATCH BUILDING, "HARVEST BROWN"
- ACCESSIBLE PARKING PER ADAAG ACCESSIBLE GUIDELINES.
- PROVIDE CONCRETE SIDEWALK RAMP TO MEET ADAAG ACCESSIBLE GUIDELINES.
- PROVIDE DETECTABLE WARNING STRIPS PER ADAAG 4.29.5 PROVIDE TEK-WAY DOME BRICK "RED".
- PROVIDE BLACK CONCRETE DRIVE-THRU PAVING (HATCHED AREA), SEE CIVIL DRAWINGS.
- C22 TANK ON 40" SQUARE x 4" THICK CONCRETE PAD. PROVIDE 20 GA. METAL STUO ENCLOSURE WITH ACCESS DOOR AND FILL BOX. ROUTE LINES TO BAG-IN-BOX CARBONATORS; PROVIDE WARNING STICKERS AS REQUIRED.

- PROPERTY LINE.
- PROVIDE MENU/ORDER BOARD, SIGNAGE UNDER SEPARATE PERMIT.
- EXTERIOR SERVICE ENTRANCE SECTION (SES)
- PROVIDE UNDERGROUND GREASE INTERCEPTOR. SEE CIVIL AND PLUMBING DRAWINGS.
- PROPOSED TRANSFORMER LOCATION, G.C. TO COORDINATE WITH DEVELOPER AND POWER COMPANY, PROVIDE CONCRETE PAD.
- 2-6" PARKING OVERHANG.
- MAXIMUM HEIGHT CLEARANCE BAR, UNDER SEPARATE PERMIT. CONTRACTOR TO PROVIDE ELECTRICAL.
- EXISTING POLE MOUNTED SITE LIGHT TO REMAIN. VERIFY LOCATION.
- PROVIDE REMOTE FIRE DEPARTMENT CONNECTION (FDC) LOCATED WITHIN 200' OF FIRE HYDRANT WITH I.D. SIGNAGE. FDC SHALL BE LOCATED AND ARRANGED SO THAT THE HOSE CAN BE READILY ATTACHED. LANDSCAPING WILL BE MAINTAINED TO PROVIDE VIABILITY AND HAVE AN UNOBSTRUCTED ACCESS. SEE CIVIL DRAWINGS.
- PROPOSED GAS METER LOCATION, G.C. TO COORDINATE INSTALLATION WITH PROVIDE ELECTRICAL.
- NEW BIKE RACK TO MATCH CENTER; 6 SPACES.
- PROVIDE 6" Ø CONCRETE FILLED PIPE BOLLARD.
- PROVIDE ROOF DRAIN CONCRETE DRAINAGE SWALE.

- NOT USED.
- ACCESSIBLE ROUTE TO PUBLIC WAY PER CITY AND ADAAG STANDARDS.
- PROVIDE ACCESSIBLE PARKING SIGN, PER CITY STANDARDS -66-7-352.4 C NMSA 1978 REFER TO DETAIL 6, SHEET A1.3.
- PROVIDE 6" CONCRETE CURB, TYPICAL. SEE CIVIL DRAWINGS.
- EXISTING CURB TO REMAIN. IF DAMAGED DURING CONSTRUCTION REPLACE / REPAIR PAINT AS REQUIRED.
- EXISTING MASTER SITE ASPHALT PAVING TO REMAIN, TYPICAL.
- ACCESSIBLE PAINTED ROUTE STRIPING PER CITY STANDARDS.
- CONNECT TO EXISTING SIDEWALK, VERIFY LOCATION.
- DASHED LINE INDICATES CANOPY OVERHANG, TYPICAL.
- EXISTING SIDEWALK TO REMAIN.
- 42" HIGH CMU PARKING SCREEN WALL, COLOR TO MATCH BUILDING STANDARDS.
- RETENTION AREA.
- "NO PARKING" PAVEMENT SIGNAGE PLACED AT REAR OF STALL PER 66-1-4.18 NMSA 1978 LETTERS TO BE 1'-0" HEIGHT AND 2' IN WIDTH, CONTRASTING IN COLOR.
- 10' X 20' CLEAR SITE TRIANGLE AT DRIVEWAYS.
- CONCRETE PAD TO TRASH ENCLOSURE.

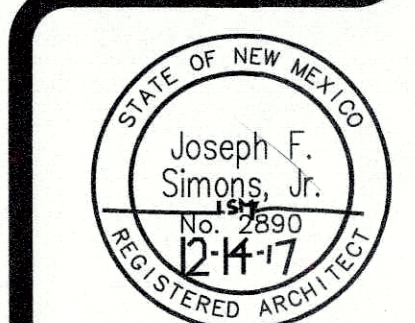
- DRIVE-THRU SPEAKER POST.
- BUILDING LAYOUT POINT.
- LOCATION OF EXISTING TRAFFIC SIGN.
- EXISTING MONUMENT SIGN TO REMAIN.
- PROPOSED AREA LIGHTING, REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
- PEDESTRIAN CROSSING AT DRIVE AISLE TO BE DECORATIVE STAMPED ASPHALT RED EARTH TONE IN COLOR, CONTRASTING FROM THE ADJACENT PAVEMENT REF. CIVIL DRAWINGS.
- DIRECTIONAL SIGNAGE, SHOWN FOR REFERENCE ONLY, ALL SIGNAGE UNDER SEPARATE PERMIT. CONTRACTOR TO PROVIDE ELECTRICAL.
- 200 S.F. PATIO AREA PER HERITAGE MARKETPLACE DESIGN STANDARDS.

DATE:	
CHECKED BY:	
DRAWN BY:	
NO.	DATE

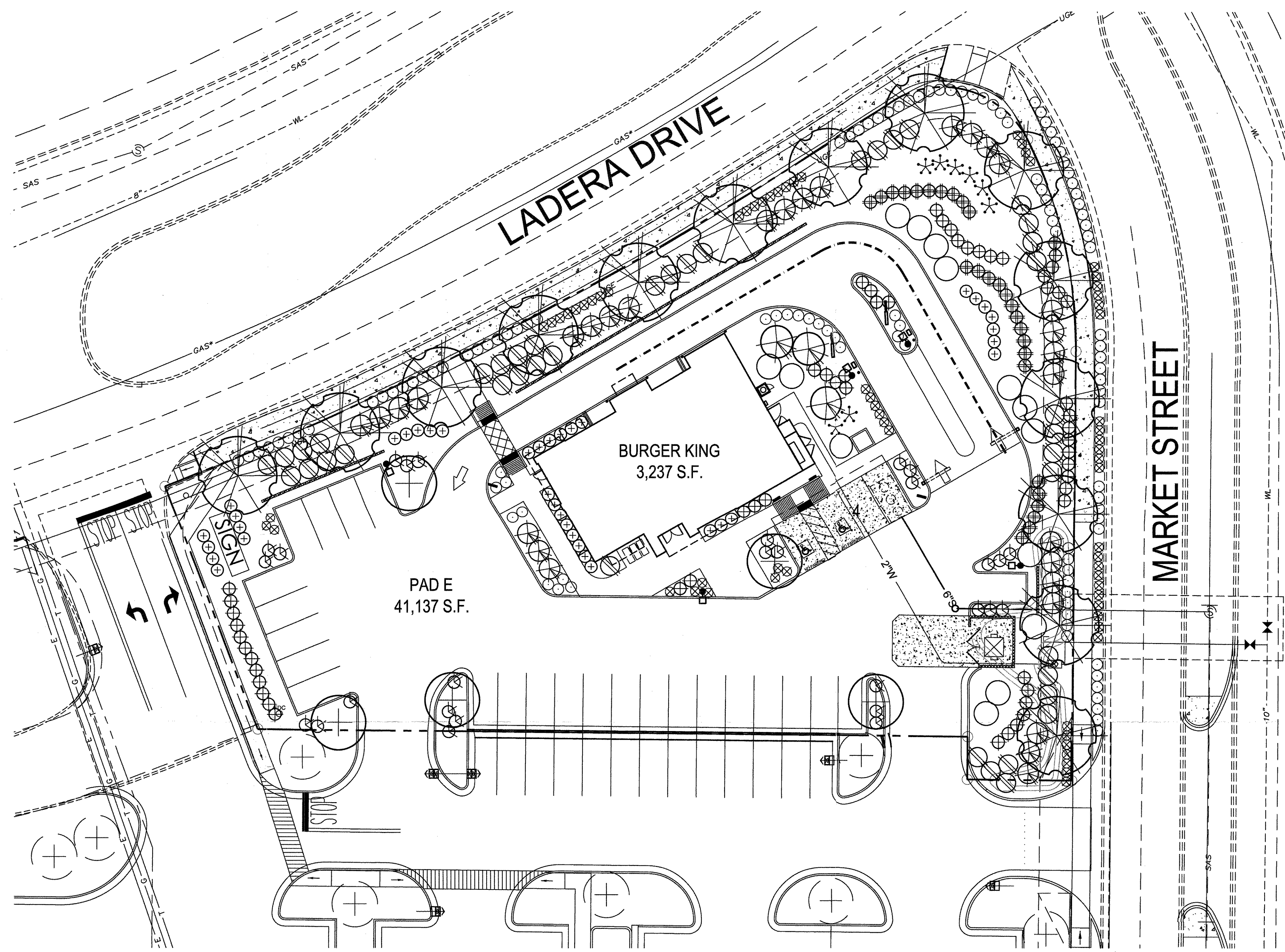


BURGER KING CORP./FRANCHISEE  
 STREET ADDRESS  
 CITY, STATE, ZIP  
 PHONE:

Joseph F. Simons, Jr., AIA  
 nm lic 02890  
 albuq. n.m. # 21927408  
 ph. 505.480.4796  
 joe@simonsarchitecture.com



PROJECT #: 05-057  
 ROC-40 20/20  
**BURGER KING RESTAURANT**  
 LADERA AND MARKET  
 ALBUQUERQUE, NM



**GENERAL LANDSCAPE NOTES**  
**LANDSCAPE DESIGN**  
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 7/8" MOUNTAINAIR BROWN ROCK MULCH AND 2'-4" CANYON GOLD COBBLE MULCH.

**IRRIGATION**  
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**RESPONSIBILITY OF MAINTENANCE**  
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
 THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**PNM COORDINATION**  
 COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

**SCREENING**  
 SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE:**  
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**WATER HARVESTING**  
 SEE GRADING AND DRAINAGE PLAN FOR DETAILS ON STRATEGY TO CAPTURE THE FIRST .44" OF FIRST FLUSH RAINFALL.

- LANDSCAPE LEGEND**
- |   |  |   |
|---|--|---|
| <b>TREES</b>  | <b>MEDIUM SHRUBS</b>   | <b>ACCENT SHRUBS</b>  |
| <ul style="list-style-type: none"> <li>ULMUS PARVIFOLIA 'ALLEE II'</li> <li>ALLEE LACEBARK ELM</li> <li>2.5' CALIP. (B&amp;B)</li> <li>FRAXINUS PENN 'URBANITE' (MULTI)</li> <li>URBANITE ASH</li> <li>2.5' CALIP (B&amp;B)</li> <li>EXISTING TREE</li> <li>PROTECT FROM CONSTRUCTION</li> <li>JUNIPERUS SCOP. 'SKYROCKET' (MULTI)</li> <li>SKYROCKET JUNIPER</li> <li>15 GALLON</li> </ul> | <ul style="list-style-type: none"> <li>ERICAMERIA LARICIFOLIA 'AGUIRRE'</li> <li>TURPENTINE BUSH</li> <li>1 GALLON</li> <li>POTENTILLA FRUTICOSA</li> <li>SHRUBBY QUINCE</li> <li>5 GALLON</li> <li><b>SMALL SHRUBS</b></li> <li>JUNIPERUS SABINA 'BUFFALO'</li> <li>BUFFALO JUNIPER</li> <li>5 GALLON</li> <li>SANTOLINA VIRENS</li> <li>GREEN SANTOLINA</li> <li>1 GALLON</li> </ul> | <ul style="list-style-type: none"> <li>HESPERALOE PARVIFLORA</li> <li>RED YUCCA</li> <li>5 GALLON</li> <li>MUHLENBERGIA 'REGAL MIST'</li> <li>REGAL MIST DEER GRASS</li> <li>5 GALLON</li> <li>NOLINA MICROCARPA</li> <li>BEAR GRASS</li> <li>5 GALLON</li> <li>7/8" MOUNTAINAIR BROWN ROCK MULCH</li> <li>3" DEPTH IN ALL LANDSCAPE AREAS</li> </ul> |
| <b>LARGE SHRUBS</b>   |  |   |
| <ul style="list-style-type: none"> <li>FALLUGIA PARADOXA</li> <li>APACHE PLUME</li> <li>5 GALLON</li> <li>CARYOPTERIS CLAND. 'DARK NIGHT'</li> <li>DARK NIGHT BLUE MIST</li> <li>5 GALLON</li> <li>PINUS MUGO</li> <li>MUGO PINE</li> <li>15 GALLON</li> </ul>  |  |   |

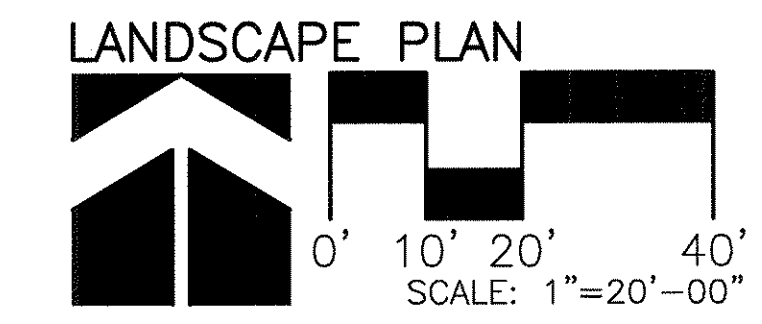
**LANDSCAPE CALCULATIONS:**

**STREET TREES:**  
 LADERA (281' OF FRONTAGE)  
 MATURE CANOPY SIZE 35'  
 8 TREES REQUIRED / 8 TREES PROVIDED

MARKET (226' OF FRONTAGE)  
 MATURE CANOPY SIZE 35'  
 6 TREES REQUIRED / 6 TREES PROVIDED

**PARKING LOT TREES:**  
 29 PARKING SPACES  
 REQ. 1 TREE / 10 SPACES  
 3 TREES REQUIRED / 5 TREES PROVIDED

**VEGETATIVE COVERAGE:**  
 13131 SQ.FT OF LANDSCAPE AREA  
 75% REQUIRED (9,848 SQ.FT.)  
 75% PROVIDED (9,848 SQ.FT.)



**T.J. McQUEEN & ASSOCIATES, INC.**  
 LANDSCAPE ARCHITECTURE  
 URBAN DESIGN  
 SITE PLANNING

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 Scottsdale, Arizona 85260  
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 EMAIL: timmccqueen@tjmla.net

**ONE!**  
**ARCHITECTURE**

8801 N. Central Ave. Suite 101  
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 Phone: 602.266.2712  
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**Principal:**  
 Dustin Curtis  
 dustin.curtis@onearchitecture.us

**Project Manager:**  
 Nathan Bisch  
 nathan.bisch@onearchitecture.us

**Revisions**




Burger King

Heritage Marketplace  
 7900 Ladera Drive NW  
 Albuquerque, NM

01.26.17  
 NM-024

La.01

LANDSCAPE PLAN

T.J. McQUEEN & ASSOCIATES, INC. LANDSCAPE ARCHITECTURE. (TJMLA) EXPRESSLY RESERVES ITS COMMON LAW, COPYRIGHT & OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOW OR IN THE FUTURE, WITHOUT THE WRITTEN PERMISSION & CONSENT FROM TJMLA.

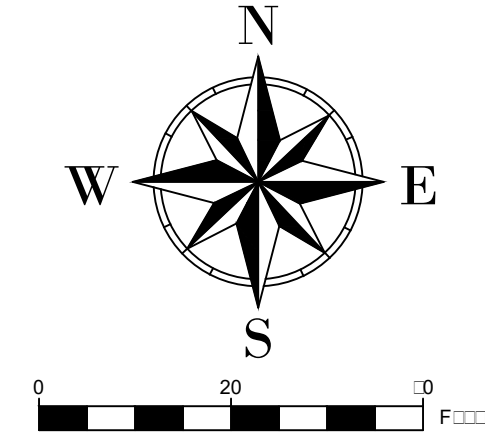
**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

**GENERAL NOTES:**

- THIS SITE IS NOT LOCATED IN A FEMA FLOOD HAZARD ZONE. REFER TO THE FIRM MAP 35001C026 FOR FURTHER DETAILS.
- RECOMMENDATIONS THAT THE OWNER OBTAIN A GEOTECHNICAL REPORT PRIOR TO DESIGN OF BUILDING FOOTING FOUNDATION.
- MODIFICATIONS OR ADJUSTMENTS TO EXISTING DRAINAGE STRUCTURES EROSION MITIGATION IMPROVEMENTS SHALL BE DONE TO THE SAME STANDARD AS THE ORIGINAL IMPROVEMENTS.
- ALL SWIRE REQUIREMENTS SHALL BE ADHERED TO.
- ALL WORK ON THIS PLAN SHALL BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARDS. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO WORK COMMENCEMENT.
- ALL WORK TO THE RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARDS.
- THE SURVEY INFORMATION WAS PROVIDED BY CONSTRUCTION SURVEY TECHNOLOGIES INC.
- FOR SITE DIMENSIONS, BUILDING AND INFRASTRUCTURE LOCATION REFER TO THE SITE PLAN.

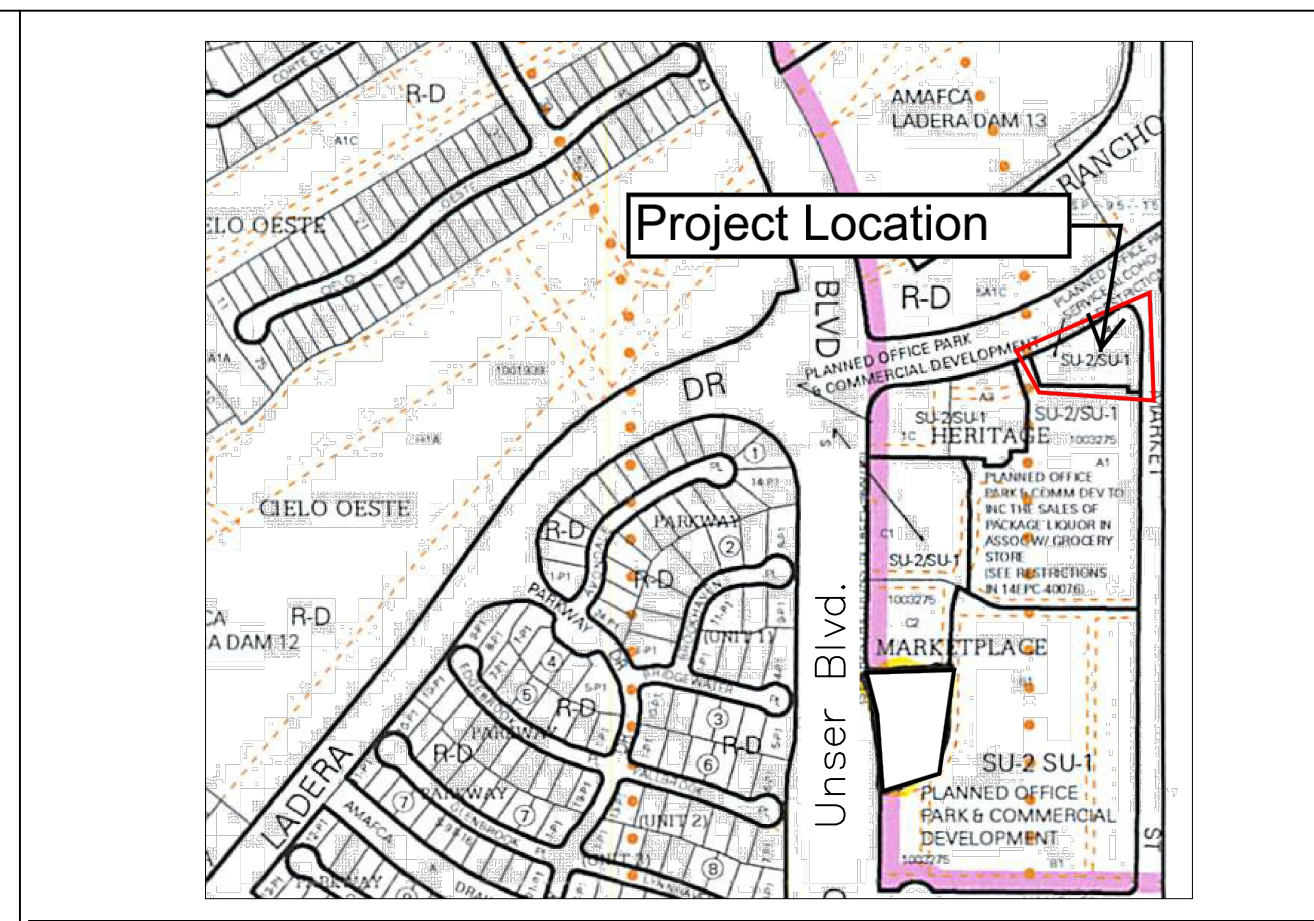
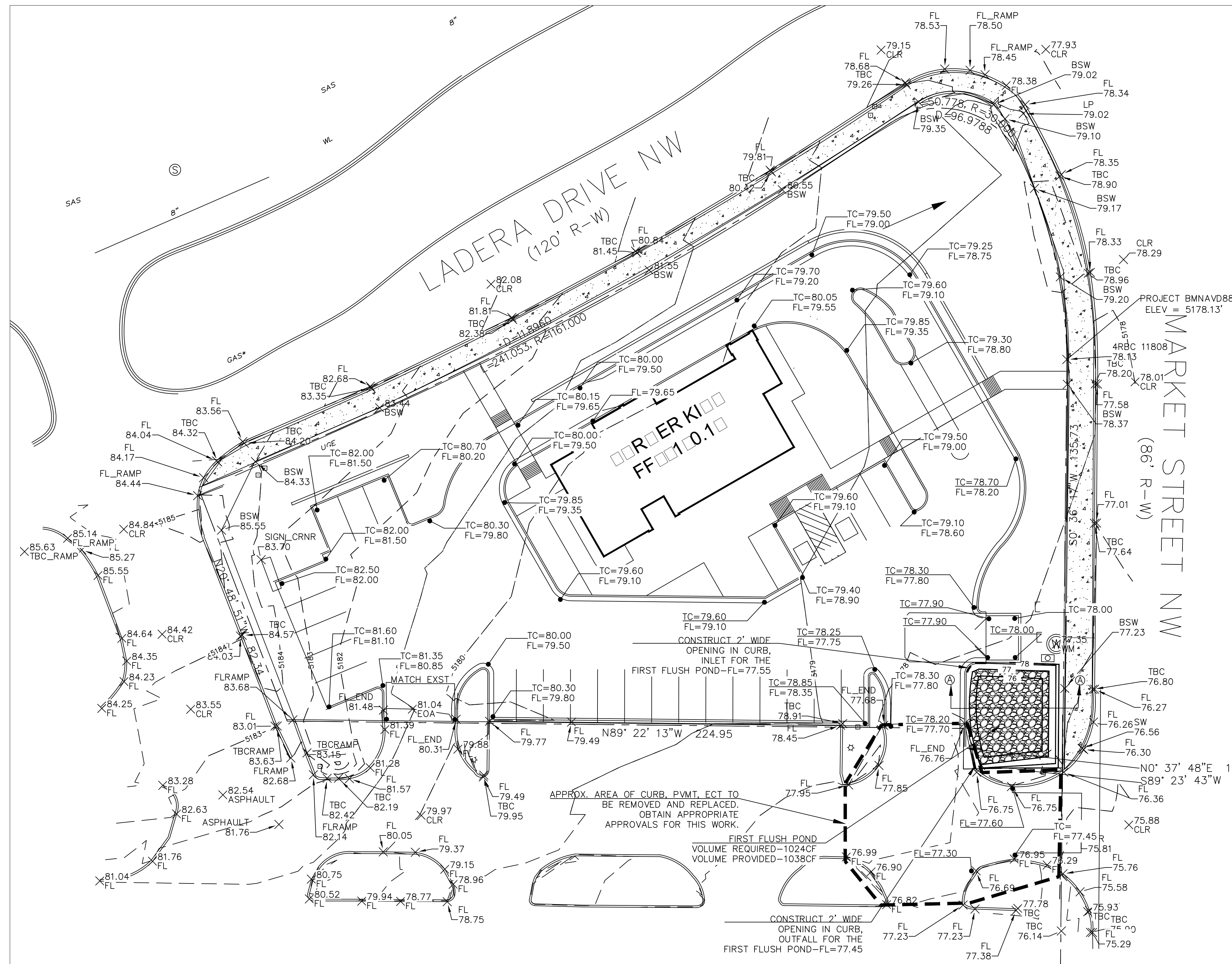
**EROSION CONTROL NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

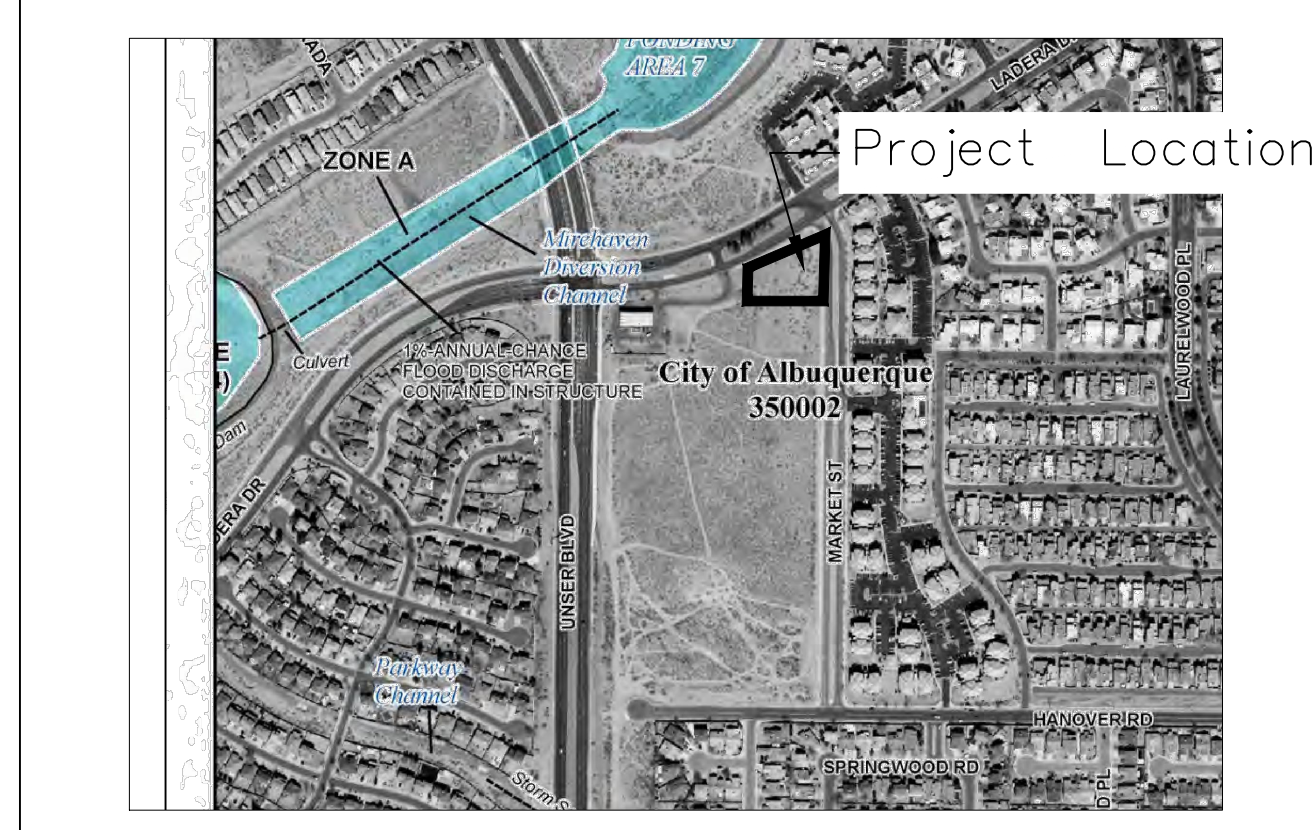


**DRAINAGE NARRATIVE:**

- DRAINAGE NARRATIVE:**
- THIS SITE IS NOT LOCATED WITHIN A FLOOD PLAIN. REFER TO THE FEMA EXCERPT THIS SHEET.
  - THIS SITE IS LOCATED WITHIN A MASTER PLAN DRAINAGE AREA FOR THE HERITAGE MARKET PLACE (H09-D024) THAT ALLOTS 3.84 CFS FOR THIS PROPERTY (100YR, 6HR). THIS SITE GENERATES 3.63CF (100YR, 6HR) AS SHOWN ON SHEET 2.
  - THE REQUIRED FIRST FLUSH RETENTION IS 1024CF. THE FIRST FLUSH POND VOLUME IS 1038CF, THUS ADEQUATE VOLUME IS RETAINED.



VICINITY MAP: H-09-Z



FIRM MAP: 35001C0326J

**LEGAL DESCRIPTION:**

TRACT 2 HERITAGE MARKET PLACE DIVISION  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

**NOTES:**

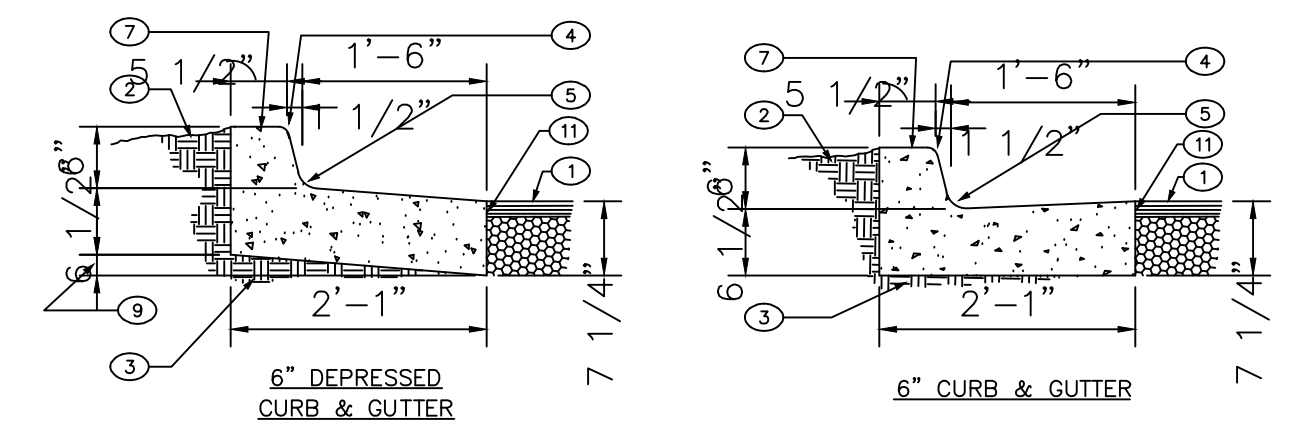
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- RETAIN THE FIRST FOOT OF STORM RUN-OFF FROM ENTIRE DEVELOPMENT TO FORM TO THE WATER QUALITY REQUIREMENTS.

**LEGEND**

TC=46.00	PROPOSED SPOT ELEVATION
FL=46.00	EXISTING SPOT ELEVATION
-----5601-----	EXISTING CONTOUR
-----5601-----	EXISTING INDEX CONTOUR
-----5601-----	PROPOSED CONTOUR
-----5600-----	PROPOSED INDEX CONTOUR
---	LOT LINE
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED RETAINING WALL
---	PROPOSED ROCK FACE WALL
---	PROPOSED CURB AND GUTTER SEE DETAIL SHEET 2
---	PROPOSED EDGE OF CONCRETE
---	PROPOSED FLOW DIRECTION
---	EXISTING WALL
---	PROPOSED BASIN BOUNDARY

I HAVE PERSONALLY INSPECTED THE PROPERTY ON 12-06-17. NO EARTHWORK HAS BEEN PERFORMED AND THE SITE IS CONSISTENT WITH THE TOPO SHOWN.  
*Richard Dourte*  
Richard Dourte P.E. #10854

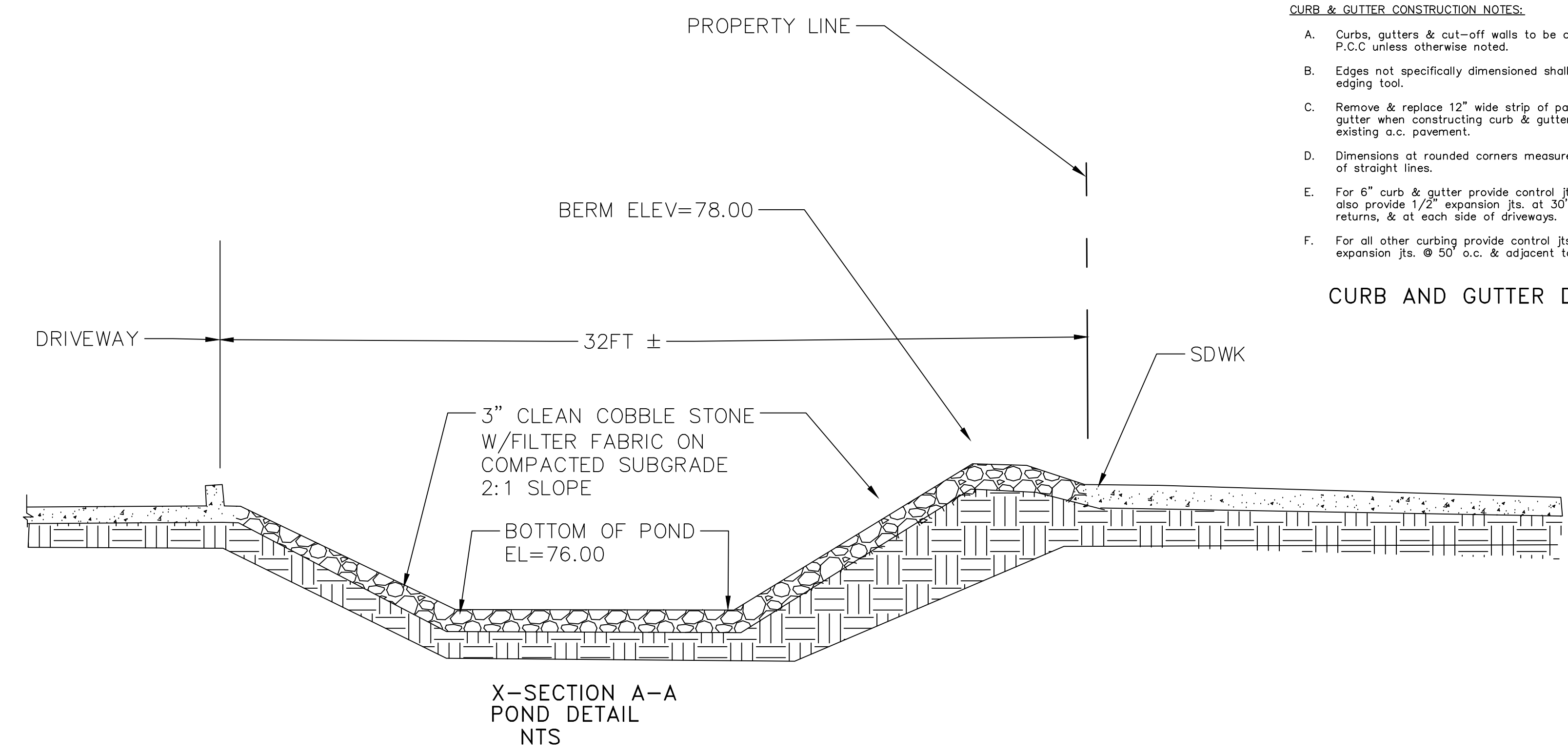
	<b>Title: BURGER KING</b> <b>7900 LADERA DRIVE NW</b> <b>GRADING AND DRAINAGE PLAN</b>	<b>DRAWN BY</b> DATE
	<i>RHD Engineering, LLC</i> 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	<b>SHEET #</b> <b>1 of 2</b> <b>JOB #</b>
Richard Dourte P.E. #10854	12-19-17	



- KEYED NOTES:**
- 1. Pavement section per drawings and specs.
  - 2. Finished grade.
  - 3. Prepared subgrade.
  - 4. 3/4" radius.
  - 5. 1 1/2" radius.
  - 6. Not used.
  - 7. Concrete curb.
  - 8. Not used.
  - 9. Varies, depress as needed.
  - 10. Not used.
  - 11. Tack coat.

- CURB & GUTTER CONSTRUCTION NOTES:**
- A. Curbs, gutters & cut-off walls to be constructed of 3500 psi P.C.C. unless otherwise noted.
  - B. Edges not specifically dimensioned shall be edged with a 3/8" edging tool.
  - C. Remove & replace 12" wide strip of pavement beyond lip of gutter when constructing curb & gutter adjacent to existing o.c. pavement.
  - D. Dimensions at rounded corners measured to intersection of straight lines.
  - E. For 6" curb & gutter provide control jts. @ 6' o.c. max, also provide 1/2" expansion jts. at 30' o.c. max, at curb returns, & at each side of driveways.
  - F. For all other curbing provide control jts. @ 10' o.c., provide expansion jts. @ 50' o.c. & adjacent to buildings and walls.

**CURB AND GUTTER DETAILS**



Project: Burger King on Ladera/Market Street near Unser  
Drainage Calculations - Zone 1

Depth (inches) at 100yr Storm					
Zone	P <sub>60</sub>	P <sub>360</sub>	P <sub>1440</sub>	P <sub>4days</sub>	P <sub>10days</sub>
1	1.87	2.20	2.66	3.12	3.67
2	2.01	2.35	2.75	3.30	3.95
3	2.14	2.60	3.10	3.95	4.90
4	2.23	2.90	3.65	4.70	5.95

Excess Precipitation, E(inches) - 6 HR Treatment				
Zone	A	B	C	D
1	0.44	0.67	0.99	1.97
2	0.53	0.78	1.13	2.12
3	0.66	0.92	1.29	2.36
4	0.80	1.08	1.46	2.64

Weighted E= ((E <sub>A</sub> *A <sub>A</sub> )+(E <sub>B</sub> *A <sub>B</sub> )+(E <sub>C</sub> *A <sub>C</sub> )+(E <sub>D</sub> *A <sub>D</sub> ))/(A <sub>A</sub> +A <sub>B</sub> +A <sub>C</sub> +A <sub>D</sub> )
V <sub>360</sub> =(Weighted E *P <sub>360</sub> )/12 in/ft
V <sub>1440</sub> =V <sub>360</sub> +A <sub>D</sub> *(P <sub>1440</sub> -P <sub>360</sub> )/12in/ft
V <sub>4days</sub> =V <sub>360</sub> +A <sub>D</sub> *(P <sub>4days</sub> -P <sub>360</sub> )/12in/ft
V <sub>10days</sub> =V <sub>360</sub> +A <sub>D</sub> *(P <sub>10days</sub> -P <sub>360</sub> )/12in/ft

Peak Discharge (CFS/ACRE) 100 YR Treatment				
Zone	A	B	C	D
1	1.29	2.03	2.87	4.37
2	1.56	2.28	3.14	4.70
3	1.87	2.60	3.45	5.02
4	2.20	2.92	3.73	5.25

\*\*\*\*\*EXISTING CONDITIONS\*\*\*\*\*

Area	SQ. FT	Acres	Design Flows (CFS)	
A=	0	0.000	Area	Peak Discharge (100 YR)
B=	0	0.000	A=	0.000
C=	41137	0.944	B=	0.000
D=	0	0.000	C=	41137
Total	41137	0.944	D=	0.000
Weighted E=	0.990		Total (CFS)	2.71

	V <sub>360</sub>	V <sub>1440</sub>	V <sub>4days</sub>	V <sub>10days</sub>
Cubic feet	3393.8	3393.8	3393.8	3393.8
Acre-ft	0.08	0.08	0.08	0.08

\*\*\*\*\*PROPOSED CONDITIONS\*\*\*\*\*

Area	SQ. FT	Acres	Design Flows (CFS)	
A=	0	0.000	Area	Peak Discharge (100 YR)
B=	0	0.000	A=	0.000
C=	14422	0.331	B=	0.000
D=	26715	0.613	C=	14422
Total	41137	0.944	D=	26715
Weighted E=	1.626		Total (CFS)	3.63

	V <sub>360</sub>	V <sub>1440</sub>	V <sub>4days</sub>	V <sub>10days</sub>
Cubic feet	5575.5	6599.6	7623.7	8848.1
Acre-ft	0.13	0.15	0.18	0.20

The 100 year peak flows for this developed site is 3.6 CFS and the existing flows are 2.7 CFS for an increase of 0.9 CFS. The 100 year 6 hr volume increase is 6600-3394 = 3206CF.

First Flush Ponding Requirement = A<sub>D</sub> \* 0.46 in/12in/ft = 1024 CF

	Title: BURGER KING 7900 LADERA DRIVE NW	DRAWN BY DATE
	DETAILS	SHEET # 2 of 2
Richard Dourte P.E. #10854	R.H.D. Engineering, LLC 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	JOB # XXXX

DEVELOPER  
 BARNETT MANAGEMENT COMPANY  
 11022 N 28TH DR., SUITE #170  
 PHOENIX, AZ 85029  
 PHONE 602-864-9874  
 ATTN. BRAD FLAHIFF

CIVIL ENGINEER  
 SUSTAINABILITY ENGINEERING  
 GROUP  
 8280 E GELDING DR., SUITE 101  
 SCOTTSDALE, AZ 85260  
 PHONE 480-588-7226  
 ATTN. ALI FAKIH

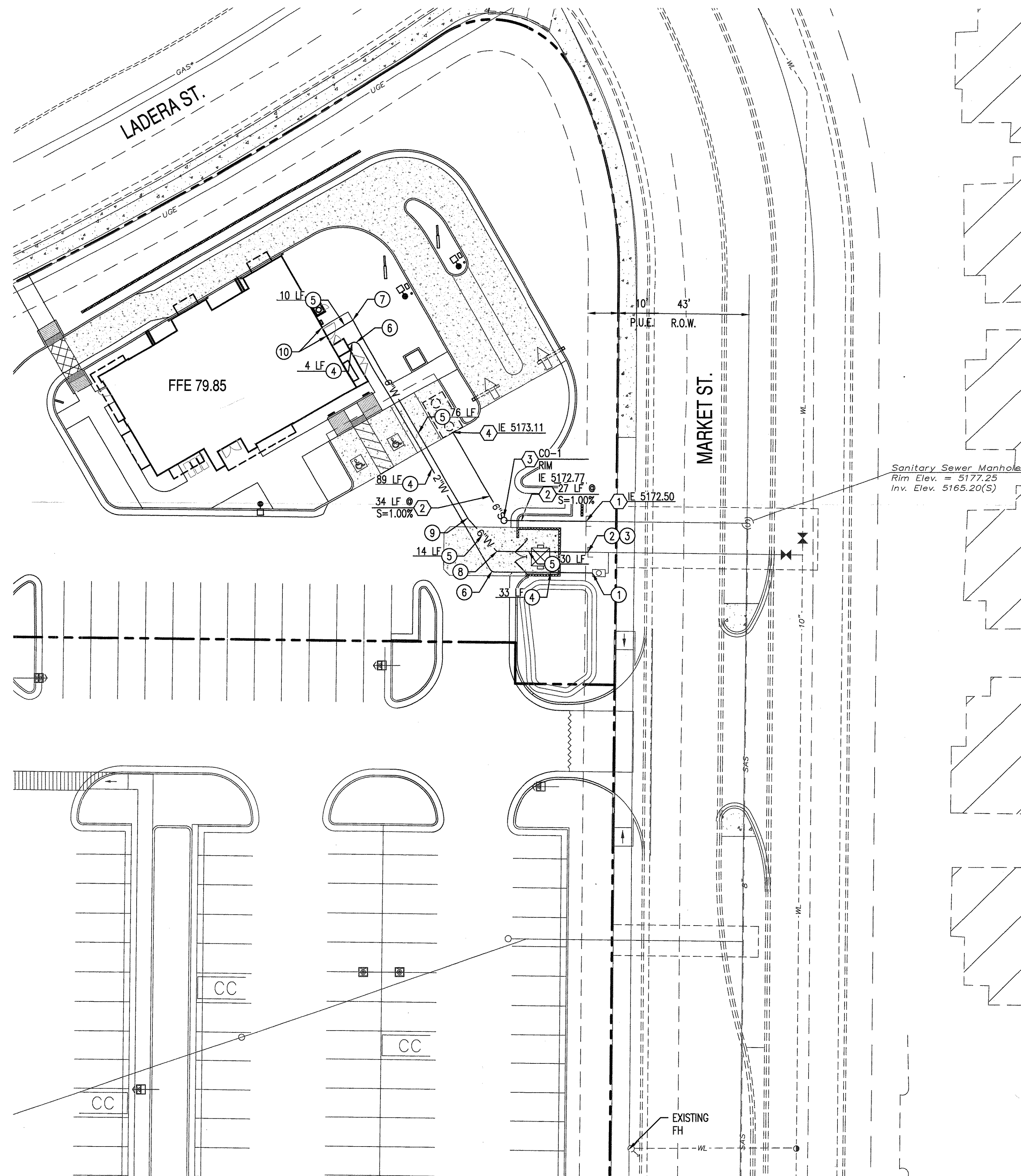
# BURGER KING NM-024

## 7900 LADERA DRIVE NW, ALBUQUERQUE, NM

### PRELIMINARY UTILITY PLAN

#### UTILITY NOTES:

- REFER TO ARCHITECTURE NOTE SHEET FOR ADDITIONAL GENERAL NOTES AND GRADING PLAN FOR GRADING NOTES.
- PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITY LINES.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE GOVERNING AGENCY TO SECURE PERMITS AND FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
- PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY, LOCAL MUNICIPALITY, AND LOCAL COUNTY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ARIZONA UTILITIES PROTECTION SERVICE AT LEAST 48 HOURS BEFORE THE START OF THE WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION MANAGER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN AND SERVICE RELOCATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION AS NECESSARY.
- THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER, UTILITY COMPANIES, AND GOVERNING AUTHORITIES. THE CONTRACTOR SHALL INSTALL AS NECESSARY, TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STORM, ELECTRIC, TELEPHONE, AND CABLE SERVICES TO SERVICE BUILDING(S) TO REMAIN OPEN.
- ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, APPLICABLE COUNTY AND LOCAL DEPARTMENTS, AND APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
- CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS OR THROUGH FOUNDATIONS FOR UTILITY CONNECTIONS.
- CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
- ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY, LOCAL MUNICIPALITY, AND/OR LOCAL COUNTY REQUIREMENTS.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, APPROPRIATE LANDSCAPED AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL CONTACT THE LOCAL COUNTY HEALTH DEPARTMENT AND FILE AND OBTAIN A PLUMBING PERMIT FOR THE WORK INDICATED HEREON AND COMPLY WITH THE LOCAL COUNTY PLUMBING CODE.
- IN THE EVENT OF CONFLICT OF ANY REQUIREMENTS OR PROVISIONS OF THE WORK INDICATED HEREON, THE SITE ENGINEER SHALL BE NOTIFIED FOR A DETERMINATION OF THE PLAN REQUIREMENTS AND INTENT THEREOF.
- UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY COMPANY AND LOCAL AGENCY REVIEW.
- CAP STUBS AND PROVIDE FIELD MARKERS.



#### SANITARY SEWER KEYNOTES

- CONNECT TO EXISTING 6" SEWER STUB.
- INSTALL 6" PVC SDR-35 SEWER LINE.
- INSTALL SINGLE CLEANOUT.
- CONNECT TO GREASE INTERCEPTOR. SEE BUILDING PLUMBING PLANS FOR CONTINUATION.

#### WATER KEYNOTES

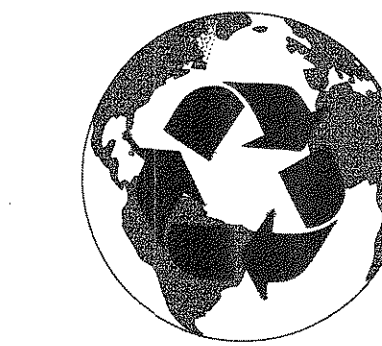
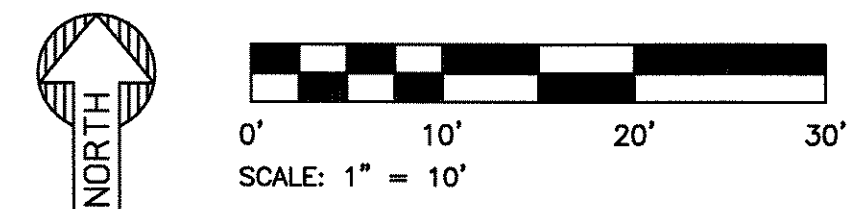
- CONNECT TO EXISTING 2" METER.
- CONNECT TO EXISTING 8" STUB.
- INSTALL 8"x6" REDUCER.
- INSTALL 2" COPPER TYPE "K" DOMESTIC SERVICE LINE.
- INSTALL 6" PVC WATER LINE PER AWWA C900.
- INSTALL 2" SWEEP PER IPC 2012.
- INSTALL 6" 90°.
- INSTALL 6" 45° BEND.
- INSTALL 6" 11.25° BEND.
- CONNECTION TO BUILDING. SEE BUILDING PLUMBING PLANS FOR CONTINUATION.

#### PROPOSED LEGEND:

- PROPERTY LINE
- 6"W WATER LINE
- 6"S SEWER LINE

#### NOTES:

- SUSTAINABILITY ENGINEERING GROUP, LLC. HAS NOT PERFORMED A TOPOGRAPHIC SURVEY AND THUS DOES NOT CERTIFY THAT THE EXISTING UTILITIES SHOWN HERE ARE ACCURATE. ALL UTILITY INFORMATION IS TAKEN DIRECTLY FROM THE AS-BUILT PLAN HERITAGE MARKETPLACE MASTER UTILITY PLAN AND PUBLIC MANHOLE PLAN PREPARED BY TERRA WEST LAND SURVEY, LLC. DATE 12/11/15.
- BACKFLOW PREVENTER FOR FIRE SPRINKLER AND DOMESTIC SERVICE TO BE LOCATED WITHIN BUILDING



**SEG** SUSTAINABILITY  
 ENGINEERING  
 GROUP

8280 E GELDING DRIVE #101, SCOTTSDALE, ARIZONA 85260  
 WWW.AZSEG.COM TEL. 480.588.7226

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Project Manager:

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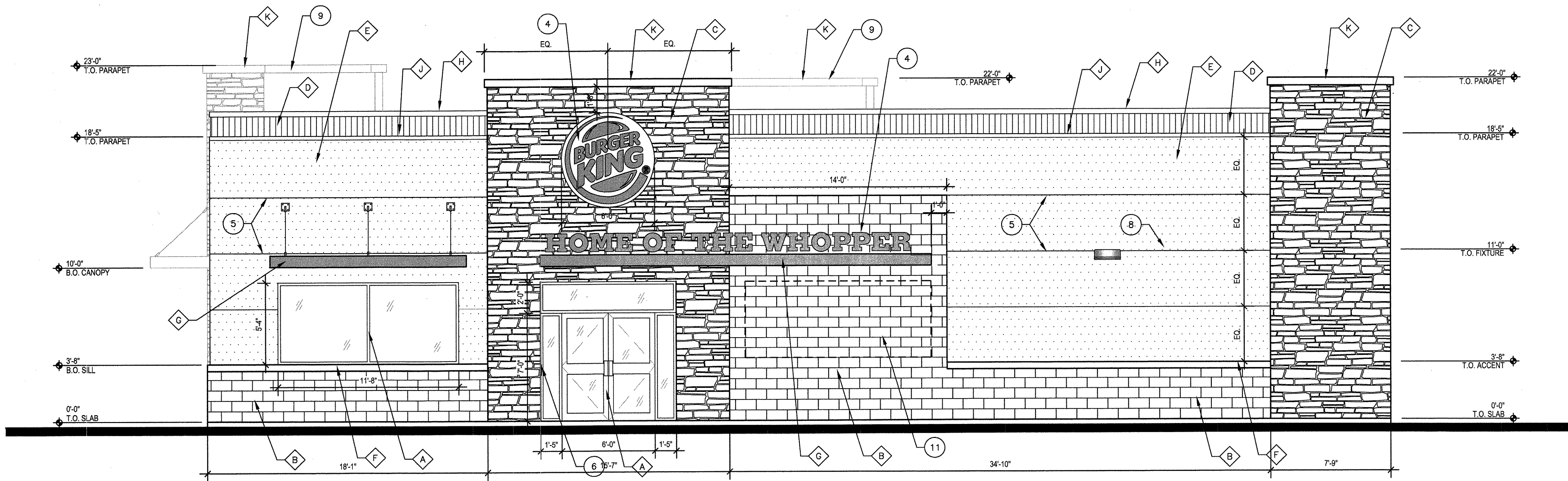


Burger King  
 Heritage Marketplace  
 SWC of Ladera St. &  
 Market St.  
 Albuquerque, NM

01-26-17  
 NM-024

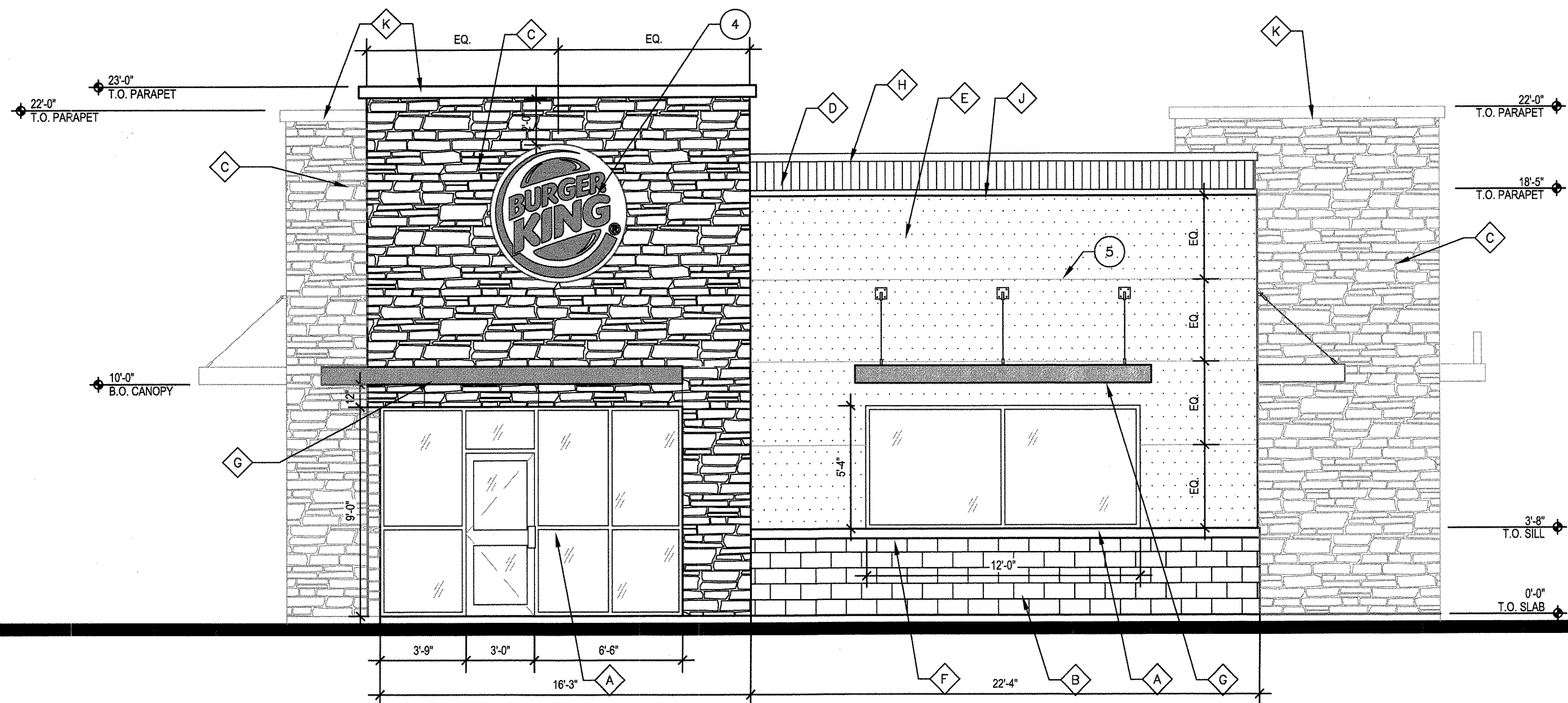
PRELIMINARY  
 UTILITY PLAN

C4.00



1 South Elevation

1/4" = 1'-0"



2 West Elevation

1/4" = 1'-0"



Finish Legend

A	ALUMINUM STOREFRONT #40 DARK BRONZE - KAWNEER
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E	EIFS FIELD STUCCO WITH REVEAL JOINTS AS INDICATED INTERGRAL COLOR / SAND FINISH "NOMADIC DESERT" SW6107
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G	SUSPENDED CANOPY / VALENCE - PREMANUF. ALUMINUM CONST. BY APPROVED SUPPLIER W/ CLEAR ALUMINUM FINISH
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K	METAL COPING, TOP OF ARCHON. W.P. HICKMAN SYSTEMS (OR EQ.) PERMA SNAP W/ PAINTED FINISH COLOR "SILVERSMITH"

Keynotes

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- SES ROOM.
  - FIRE RISER ROOM.
  - HOLLOW METAL DOOR AND FRAME, PAINT TO MATCH COLOR "F," "COBBLE BROWN".
  - SIGNAGE TO BE UNDER SEPARATE PERMIT.
  - EIFS REVEAL, TYPICAL.
  - LOCATION OF KNOX BOX 3200 SERIES RECESSED MOUNTED. VERIFY LOCATION WITH CITY FIRE DEPARTMENT REQUIREMENTS AND INSTALL SIGNAGE AS REQUIRED.
  - GAS METER LOCATION.
  - LIGHT FIXTURE, TYPICAL.
  - BACK SIDE OF PARAPET WALL, BEYOND.
  - INDICATES ADDRESS NUMBERS LOCATION, HEIGHT AND SIZE. ALL ADDRESS NUMBERS SHALL BE ON CONTRASTING BACKGROUNDS. NUMBERS SHALL BE 12" HIGH MINIMUM PER CITY STANDARDS.
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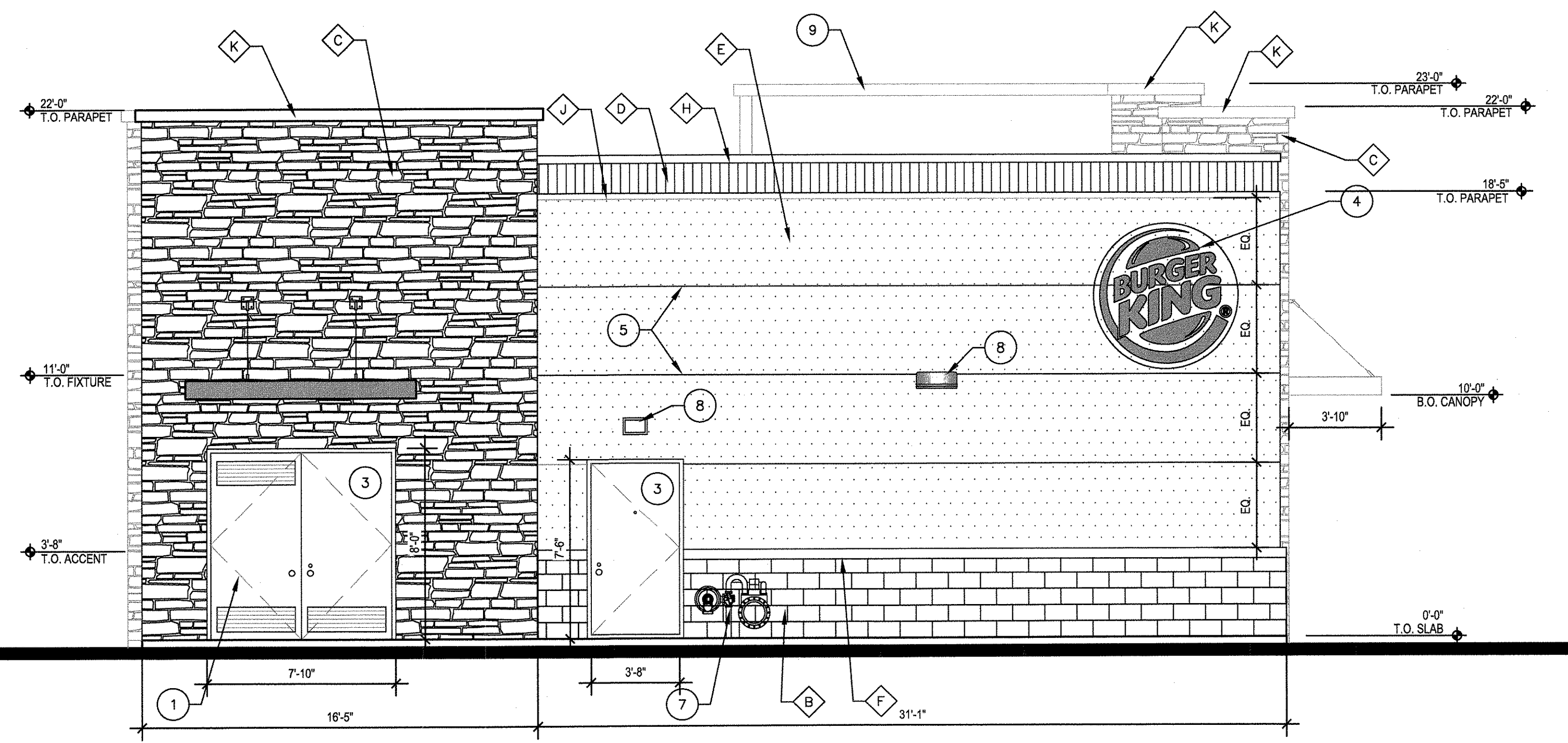
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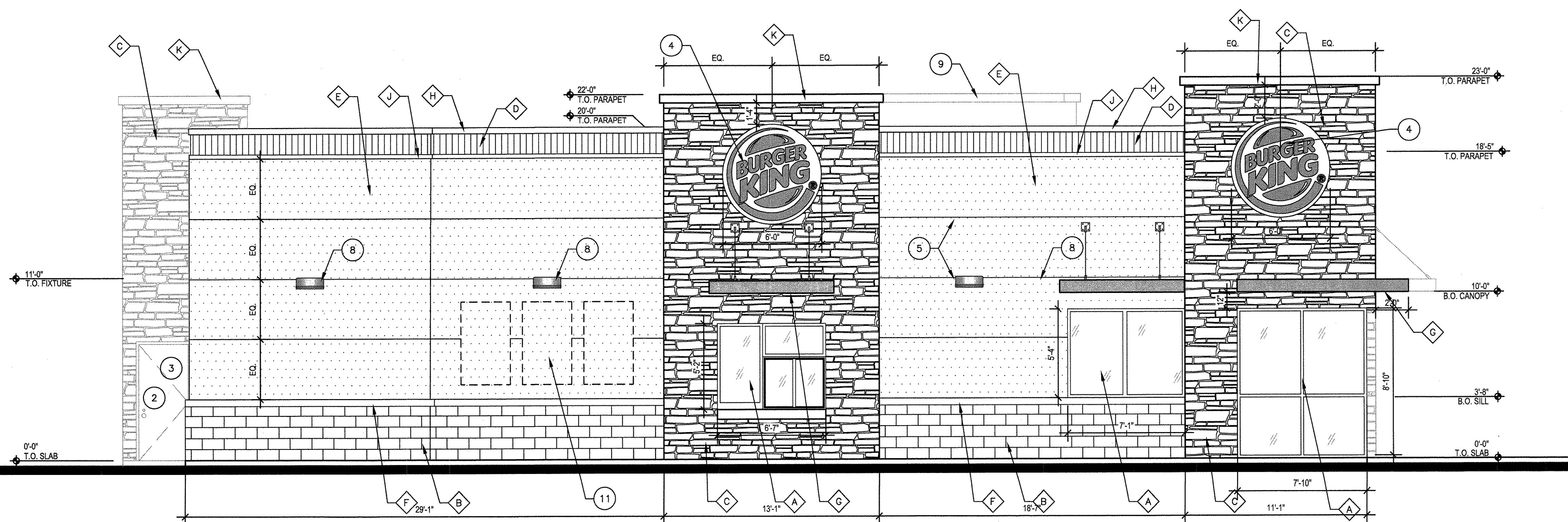

Burger King  
Heritage Marketplace  
SWC of Ladera St. &  
Market St.  
Albuquerque, NM

10.26.16  
NM-024

**A4.1**  
Exterior Elevations



**3 East Elevation**  
1/4" = 1'-0"



**4 North Elevation**  
1/4" = 1'-0"



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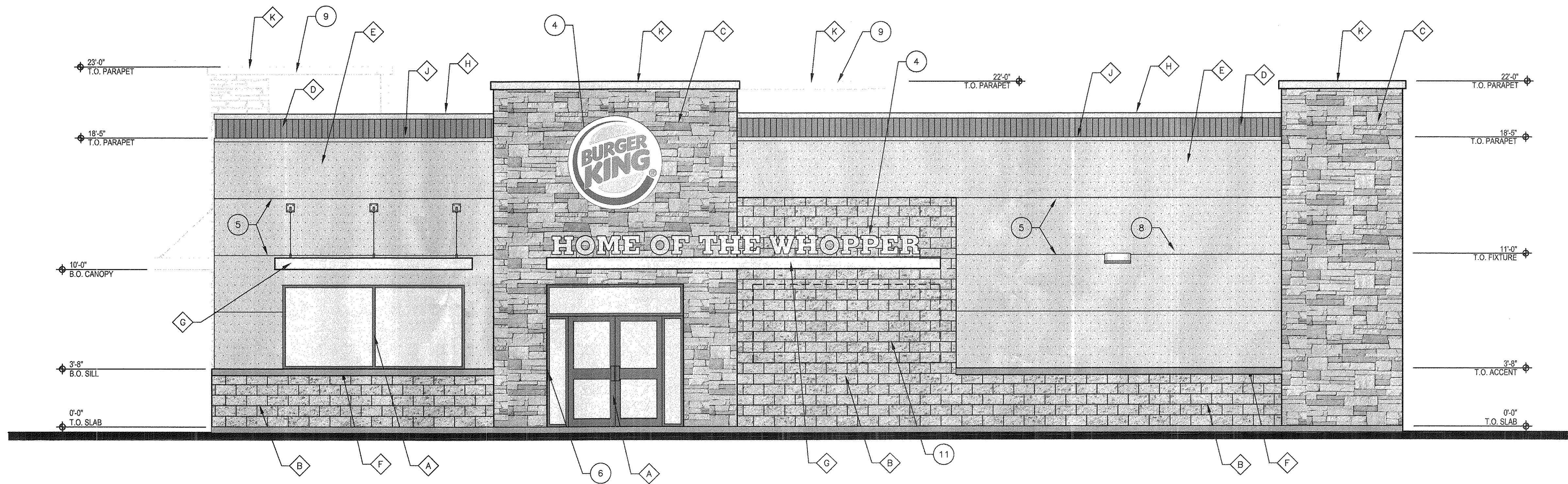

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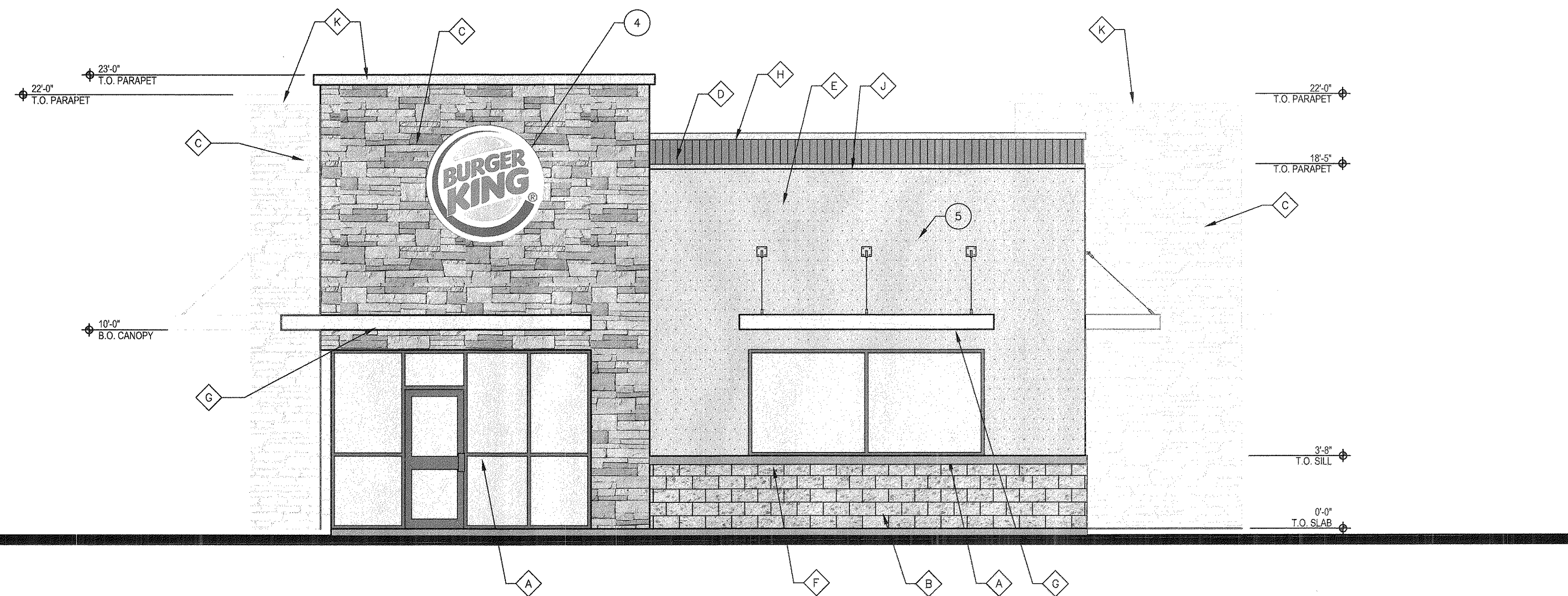
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**A4.2**

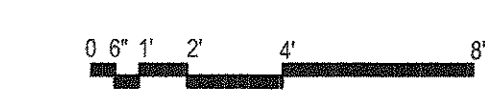
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Revisions

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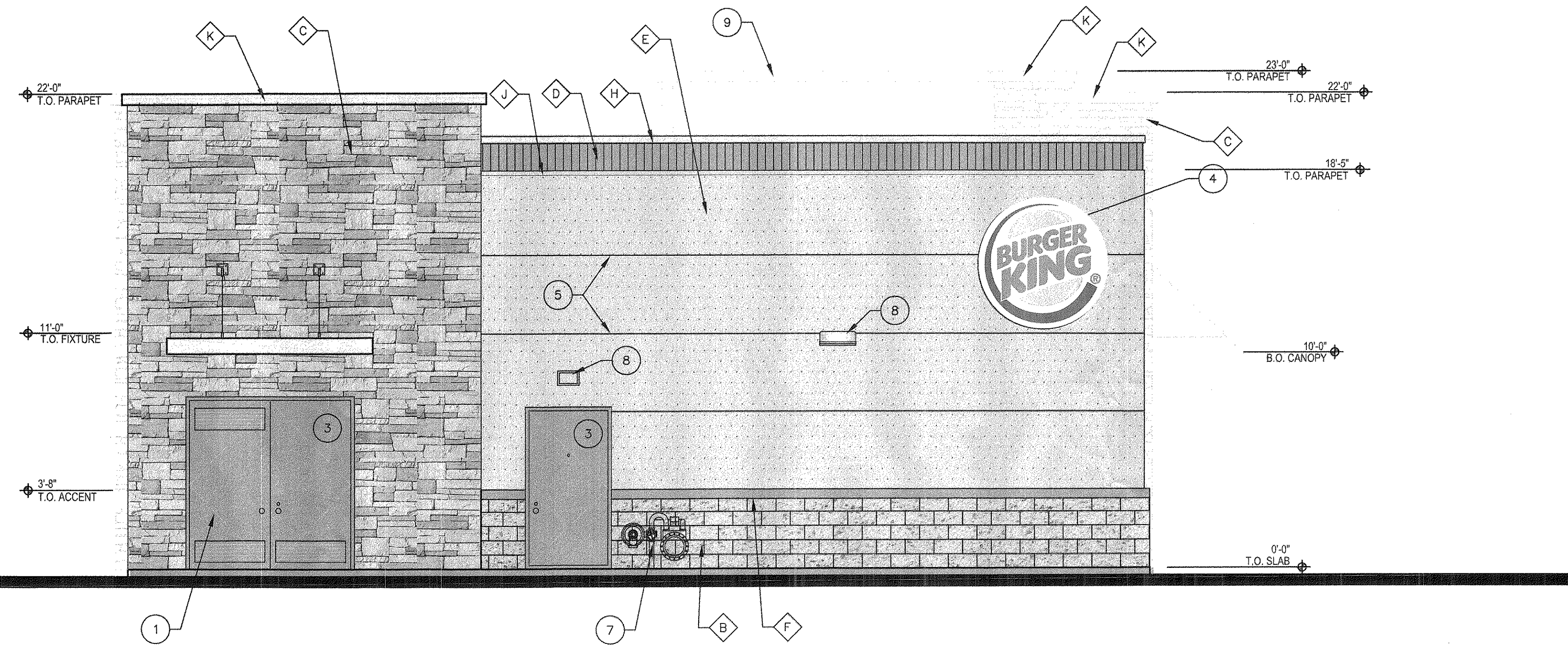
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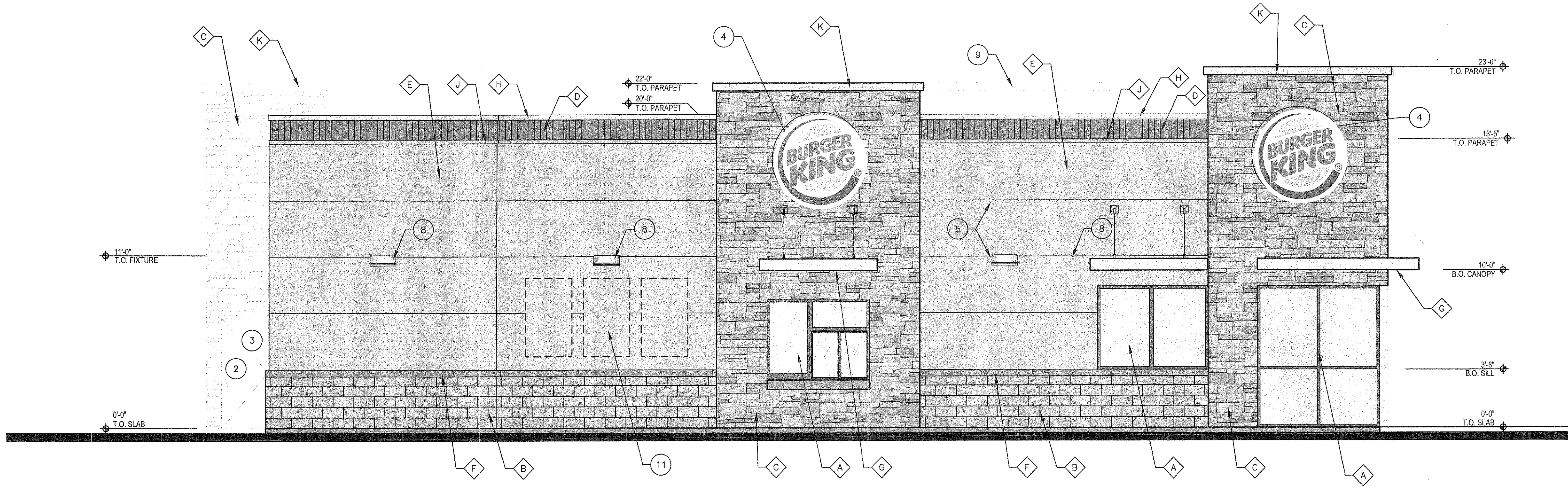
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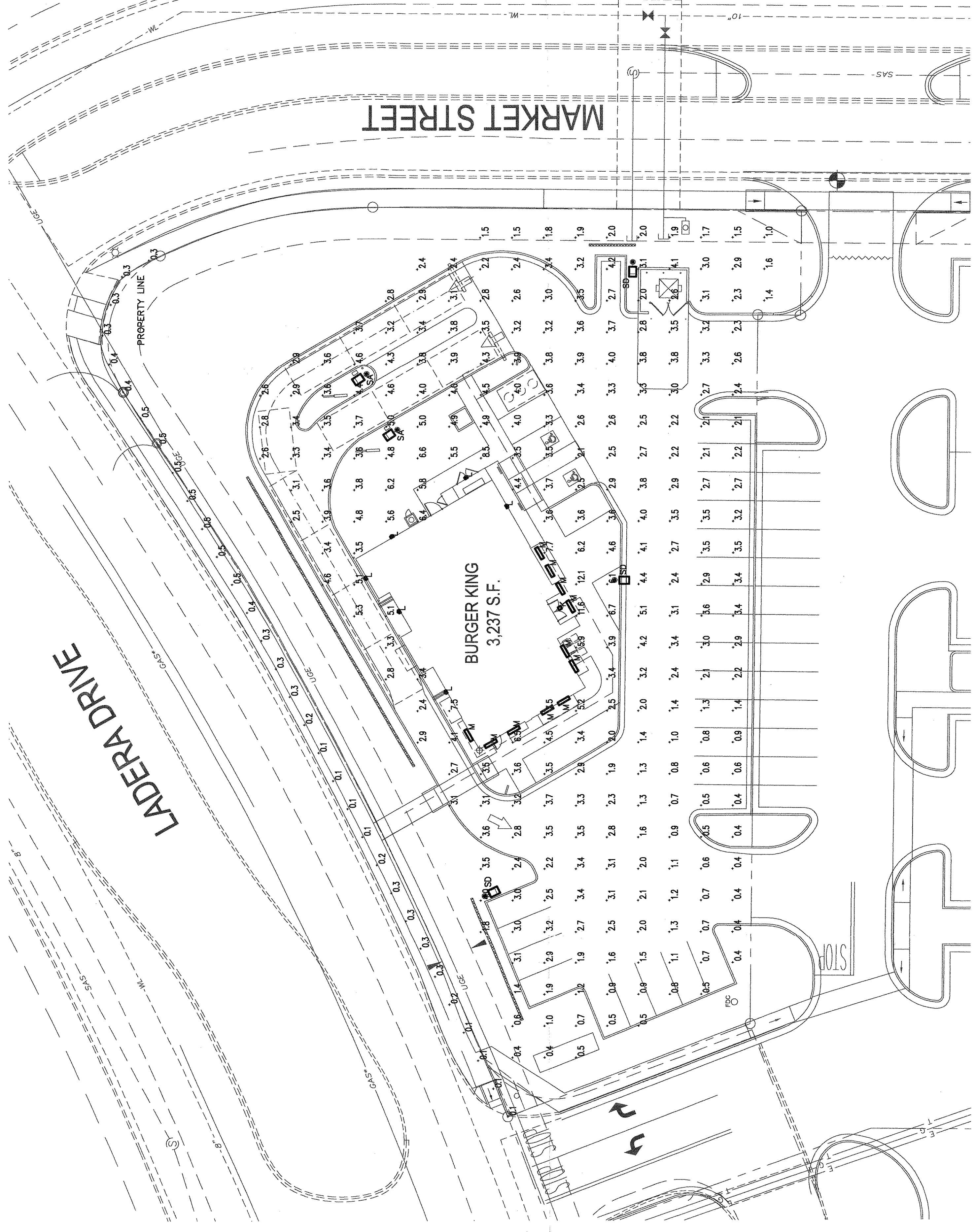
**ONE ARCHITECTURE**  
8801 N. Central Ave. Suite 101  
Phoenix, Arizona 85020  
Phone: 602.266.2712  
Fax: 602.266.1688  
www.ONEarchitecture.us

Principal:  
Dustin Curtis  
dustin.curtis@onearchitecture.us  
Project Manager:  
Nathan Bisch  
nathan.bisch@onearchitecture.us

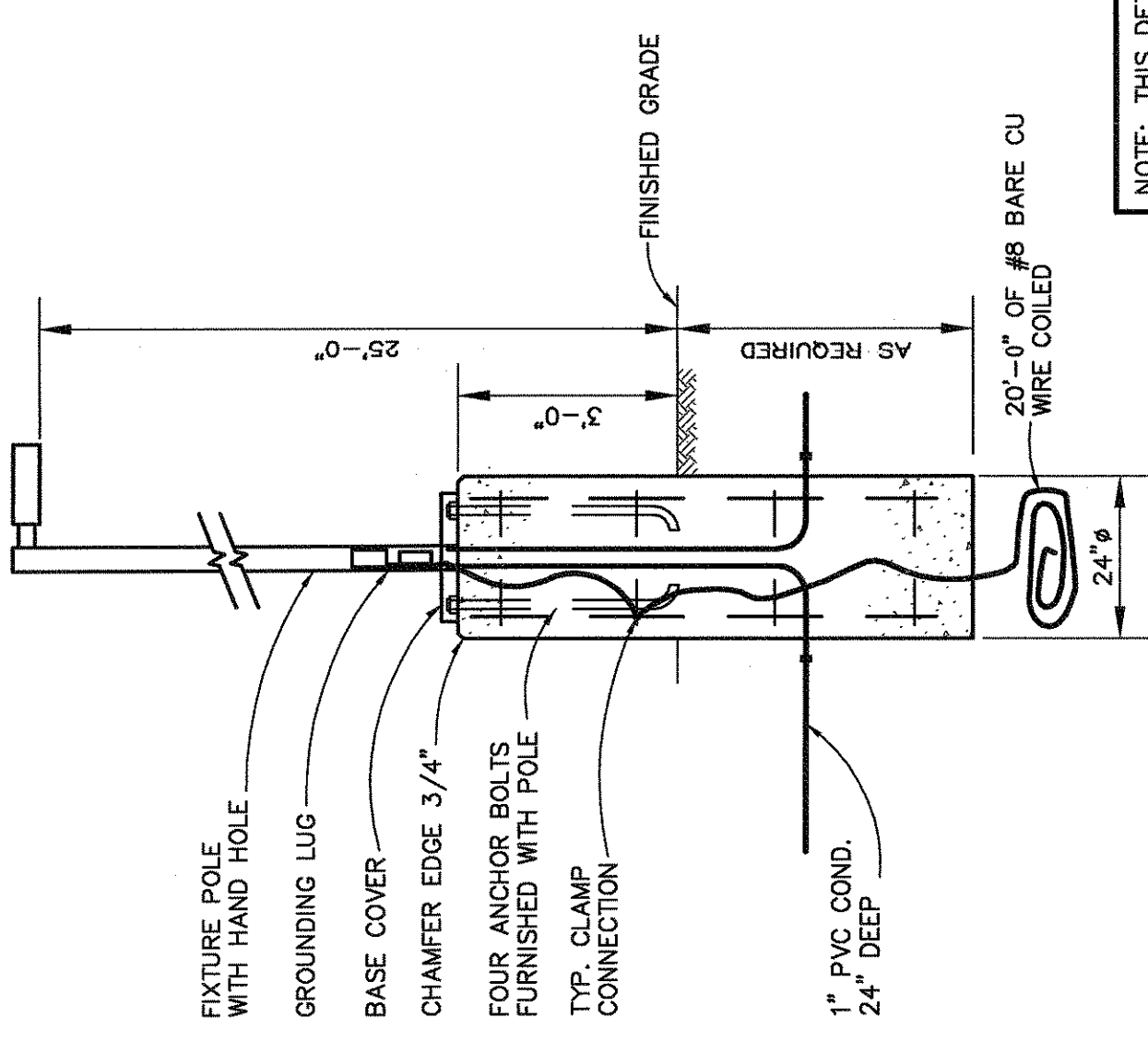
Revisions


**BURGER KING**  
Burger King  
Heritage Marketplace  
SWC of Ladera St. & Market St.  
Albuquerque, NM  
10.26.16  
NM-024

**A4.2**  
Exterior Elevations



**↑ SITE PHOTOMETRIC PLAN**  
SCALE: 1" = 20'-0"

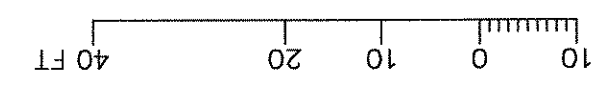


NOTE: THIS DETAIL IS SHOWN FOR THE ELECTRICAL INFORMATION ONLY. THIS DOES NOT PROVIDE STRUCTURAL CALCULATIONS.

**1 LIGHT POLE DETAIL**  
NTS

Symbol	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
K	1	LSI XS2-5A-LED-50-HO-CW	CEILING MOUNT	LED	XS2-5A-LED-50-HO-CWIES	Absolute	0.91	86.4
L	6	LSI XPM33-FT-LED-28-450-IE	Wall mounted at 9'	LED - 5000K COLOR TEMP	XPM33-FT-LED-28-450-CW-IE-IES	Absolute	0.91	41
M	11	LSI KONTECHUSA KON-DWP-1B2-14-37	WET LOCATION SURFACE MOUNT	LED RETROFIT	17884F540 DR-2-IES	Absolute	0.91	20
N	0	LSI SMI-2-LED-CW-IE-82Z	WALL MOUNT AT 9 FT	LED	SMI-2-LED-CW-IE-IES	Absolute	0.91	41.6
SA	2	LSI XLOM-5E-LED-BRZ/SS520	FULL CUTOFF AREA LIGHTING MOUNTED AT 22.5 FT AFG	LED - 4000K	XLOM-5E-LED-HO-NW-IES	Absolute	0.91	264.8
SB	0	LSI XLOM-3-LED-HO-NW-IE BRZ/SS520	FULL CUTOFF AREA LIGHTING MOUNTED AT 22.5 FT AFG	LED - 4000K	XLOM-3-LED-HO-NW-IES	Absolute	0.91	269.6
SD	3	LSI XLOM-FTE-LED-HO-NW-IE-BRZ/SS520	FULL CUTOFF AREA LIGHTING MOUNTED AT 22.5 FT AFG	LED - 4000K	XLOM-FTE-LED-HO-NW-IES	Absolute	0.91	264.8

STATISTICS				
Description	Symbol	Avg	Max	Avg/Min
Overall	+	3.0 fc	12.1 fc	7.5:1
Property Line at Street	+	0.3 fc	0.5 fc	3.0:1



### MEDIUM LED WALL PACK (SWM)

**LEDS** - Select high-brightness LEDs. Color temperature 5000K (CW), 4000K (NW) and 3000K (WW). CRI = 65 (All values nominal).

**CONSTRUCTION** - Die-cast aluminum housing with stainless steel hardware, tempered flat glass lens and silicon gaskets. Knock-out of top of housing for available photometric accessory.

**THERMAL MANAGEMENT** - Driver and LED module are mounted directly to aluminum housing to maximize heat dissipation.

**DIMMING** - 0-10 volt dimming standard.

**INSTALLATION** - Luminaire features a back plate design that can be easily mounted to any vertical surface.

**ELECTRICAL** - Class 2 driver has universal voltage (120-277V, 50/60 Hz) input. Active power factor correction (0.98 typical) and protection against over-voltage, over-temperature, short-circuit conditions and lightning (ANSI/IEEE 62.41 Class A).

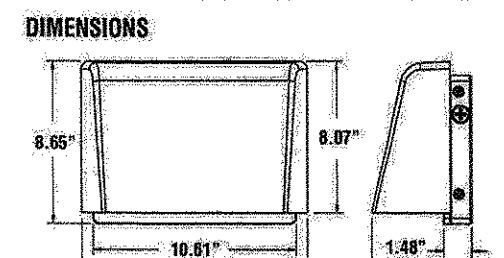
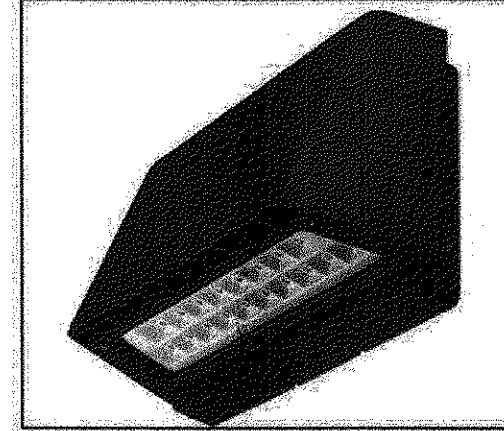
**OPERATING TEMPERATURE** - -35° to 40°C (-31° to 104°F)

**EXPECTED LIFE** - Minimum 50,000 hours.

**PHOTOMETRICS** - Please visit our website at [www.lsi-industries.com](http://www.lsi-industries.com) for detailed photometric data.

**WARRANTY** - Limited 5-year warranty.

**LISTING** - UL listed to U.S. and Canadian safety standards. Suitable for wet locations. For a list of the specific products in this series that are DLC listed, please consult the LED Lighting section of our website or the Design Lights website at [www.designlights.org](http://www.designlights.org).



LIGHT OUTPUT - SWM		
Lumens	Watts	LM/W
4000	42	95

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.



#### LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **SWM 2 LED NW UE GBZ**

Prefix	Distribution	Light Source	Color Temperature	Voltage	Color
SWM - 42-watt LED Wall Pack	2	LED	CW - Cool White (5000K) NW - Neutral White (4000K) WW - Warm White (3000K)	UL - Universal Electronic (120-277V)	GBZ - Gray Bronze

ACCESSORY ORDERING INFORMATION (Accessories are field installed)		
Description	Order Number	SW PC
120VAC Photocell	SW P02	
208-277VAC Photocell	SW P02	

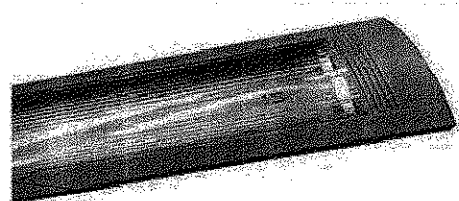
Project Name: \_\_\_\_\_ Fixture Type: \_\_\_\_\_ 10/21/15  
 Catalog # \_\_\_\_\_ © 2015 LSI INDUSTRIES INC.

### FIXTURE TYPE - N

NTS

Kontech USA LLC

Decorative Vapor Proof fixture/  
2x18W T8 LED Light Tubes

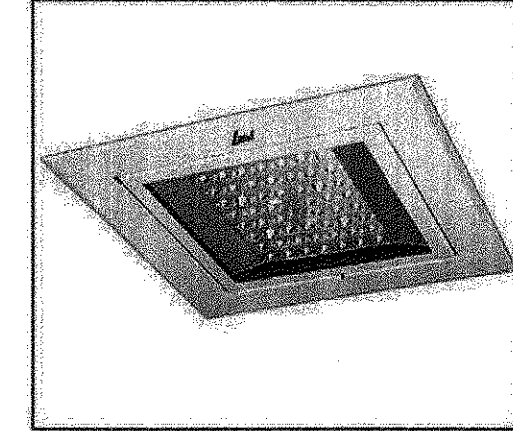


Specifications	
Item No.	KON-DVP-182-14
Fixture Spec.	
Description	1.1335(52.68in) * W1.61(6.34in) * H55mm(2.17in)
Weight	1.8kg ± 15g
Housing/Color	Aluminum/Brushed Aluminum Painting
Cover/Color	PC/Transparency
Tip/Color	PC/Brushed Aluminum Painting
IP Rating	IP65
Tube Mechanical Spec.	
Dimension	L1211(47.68in) * W29.3(1.15in) * H33.3(1.31in)mm
Weight	330g/pc
Tube Electric Spec.	
Input rated Voltage	ACV 90-277V
Power Factor	≥0.9
Input Frequency	50/60Hz
Efficiency	≥86%
Rated input current	≤0.21A
Total load Wattage	DC35-40W
Full load output Voltage	
Rated output current	450mA
Output current range	450mA±5%
Average Life span	>40,000Hr
Optical Spec.	
Light	LM80 SMD2835 / 90 pcs
Color	Cool White / Nature White
Luminous Efficiency	> 108lm/W (CW 5000K, 105 lm/W (NW 4000K)
Color Temperature	CW 5000 - 5500K / NW 3750K - 4250K
Operating Temperature Range	-20 ~ 65°C
Luminous flux(lm)	CW 1.920lm x2/3800lm / NW 1.880lm x2/3760lm
CRI	≥80
Rated Lumen	≤15% (20,000 hours)
Others	
Certification	UL number: E467785
packaging Dimension	1350(53.15in) * 310(12.20in) * 350(13.78in)mm
Carton Weight	25kg/Carton
packing / Carton	10pcs / Carton
User's Manual	KON-DVP-182-14
Rev. 2.0	
Date: 07-22-2015	

### FIXTURE TYPE - M

NTS

### LED SOFFIT LIGHT (XSL2)



**DOE LIGHTING FACTS**  
Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit [www.lightingfacts.com](http://www.lightingfacts.com) for specific catalog strings.

LIGHT OUTPUT - XSL2		
Driver Type	Lumens	Watts
SS - Super Saver	6,158	60
HO - High Output	8,348	68
SS - Super Saver	5,158	60
HO - High Output	6,959	68

LED Chips are frequently updated therefore values may increase.

Prefix	Distribution	Light Source	Color Temperature	Voltage	Color
XSL2 - LED Soffit Light	S - Symmetric	LED	CW - Cool White (5000K) NW - Neutral White (4000K) WW - Warm White (3000K)	UL - Universal Electronic (120-277V)	GBZ - Gray Bronze

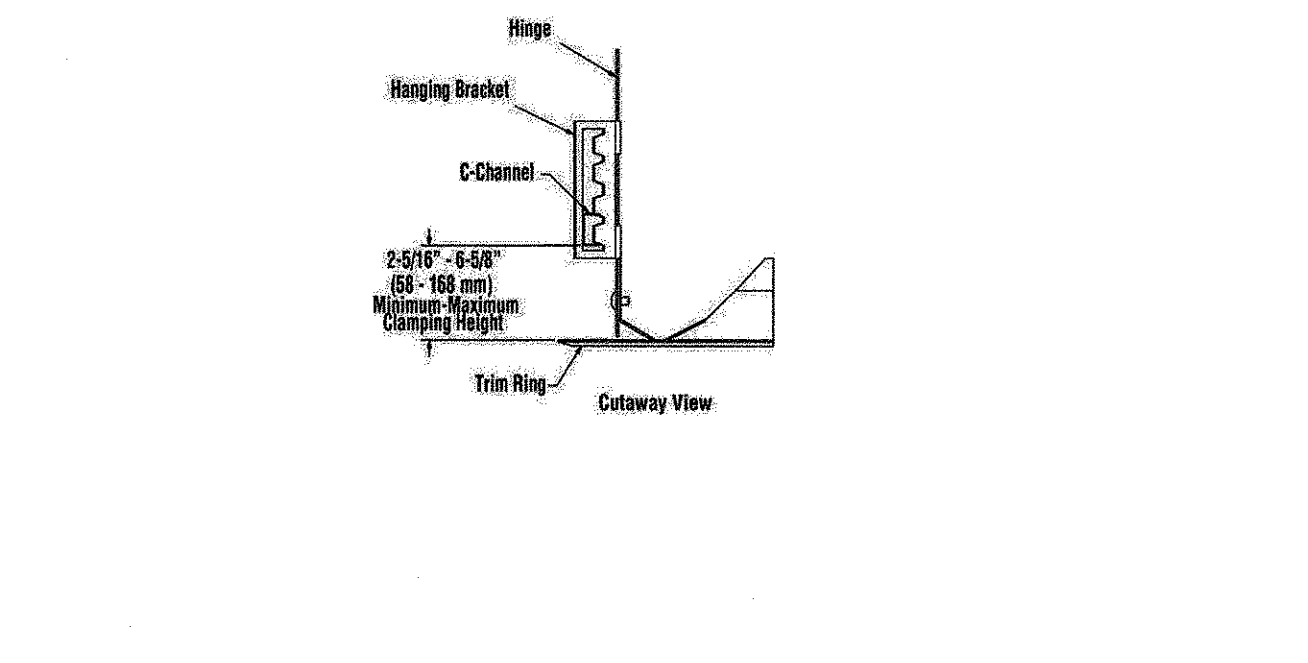
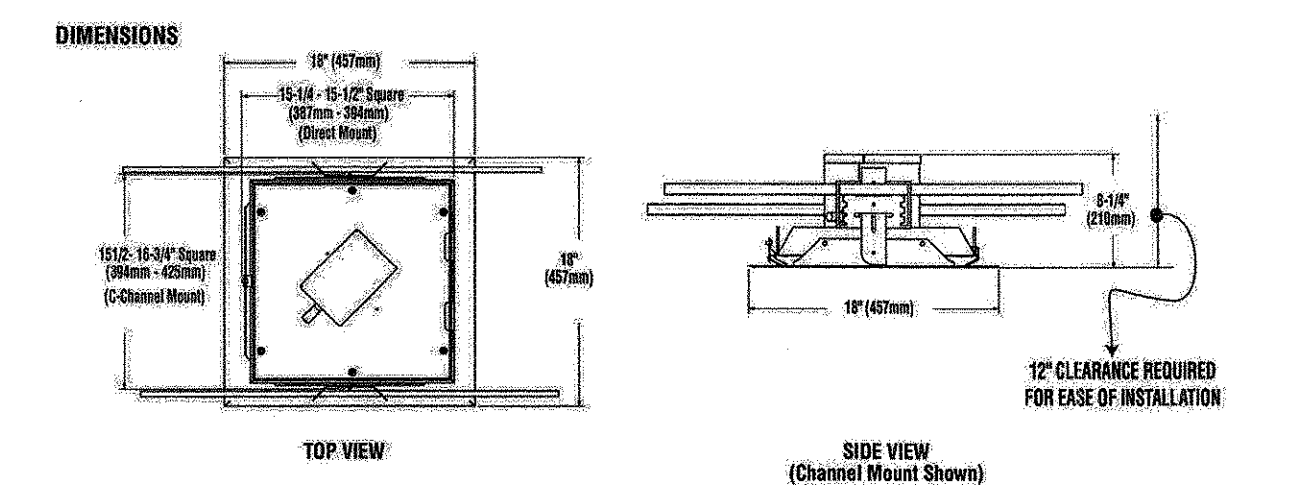
Project Name: \_\_\_\_\_ Fixture Type: \_\_\_\_\_ 10/21/15  
 Catalog # \_\_\_\_\_ © 2015 LSI INDUSTRIES INC.

### LED SOFFIT LIGHT (XSL2)

PRODUCT ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **XSL2 S LED 50 SS CW 120 WHT CMT**

Prefix	Distribution	Light Source	# of LEDs	Drive Current	Color Temperature	Input Voltage	Finish	Options
XSL2 - Soffit Light	S - Symmetric	LED	50	HO - High Output SS - Super Saver	CW - Cool White (5000K) NW - Neutral White (4000K)	120 240 277 347	WHT - White	CMT - Channel Bar Mounting Kit DM - Grand Mount CL - Channel Lens

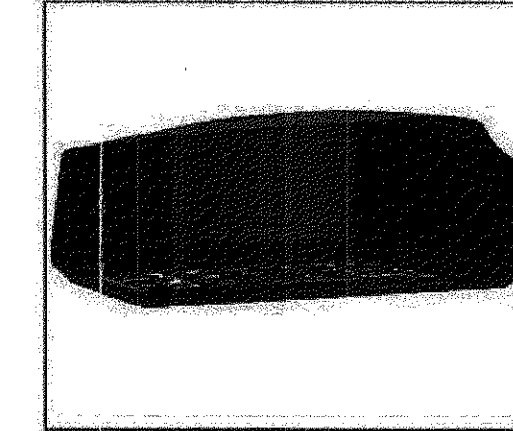


Project Name: \_\_\_\_\_ Fixture Type: \_\_\_\_\_ 10/21/15  
 Catalog # \_\_\_\_\_ © 2015 LSI INDUSTRIES INC.

### FIXTURE TYPE - K

NTS

### LED PATRIOT® WALL SCONCE (XPWS3)



**DOE LIGHTING FACTS**  
Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit [www.lightingfacts.com](http://www.lightingfacts.com) for specific catalog strings.

LIGHT OUTPUT - XPWS3		
Mounting # of LEDs	Type FT	Type WHT
28	3100	3000
48	5100	5100
48	6500	6500
28	3700	3600
48	6500	6500
28	2900	2900
48	4900	4900
28	3600	3500
48	5200	5100

LED Chips are frequently updated therefore values may increase.

Prefix	Distribution	Light Source	Color Temperature	Voltage	Color
XPWS3 - LED Wall Sconce	S - Symmetric	LED	CW - Cool White (5000K) NW - Neutral White (4000K) WW - Warm White (3000K)	UL - Universal Electronic (120-277V)	GBZ - Gray Bronze

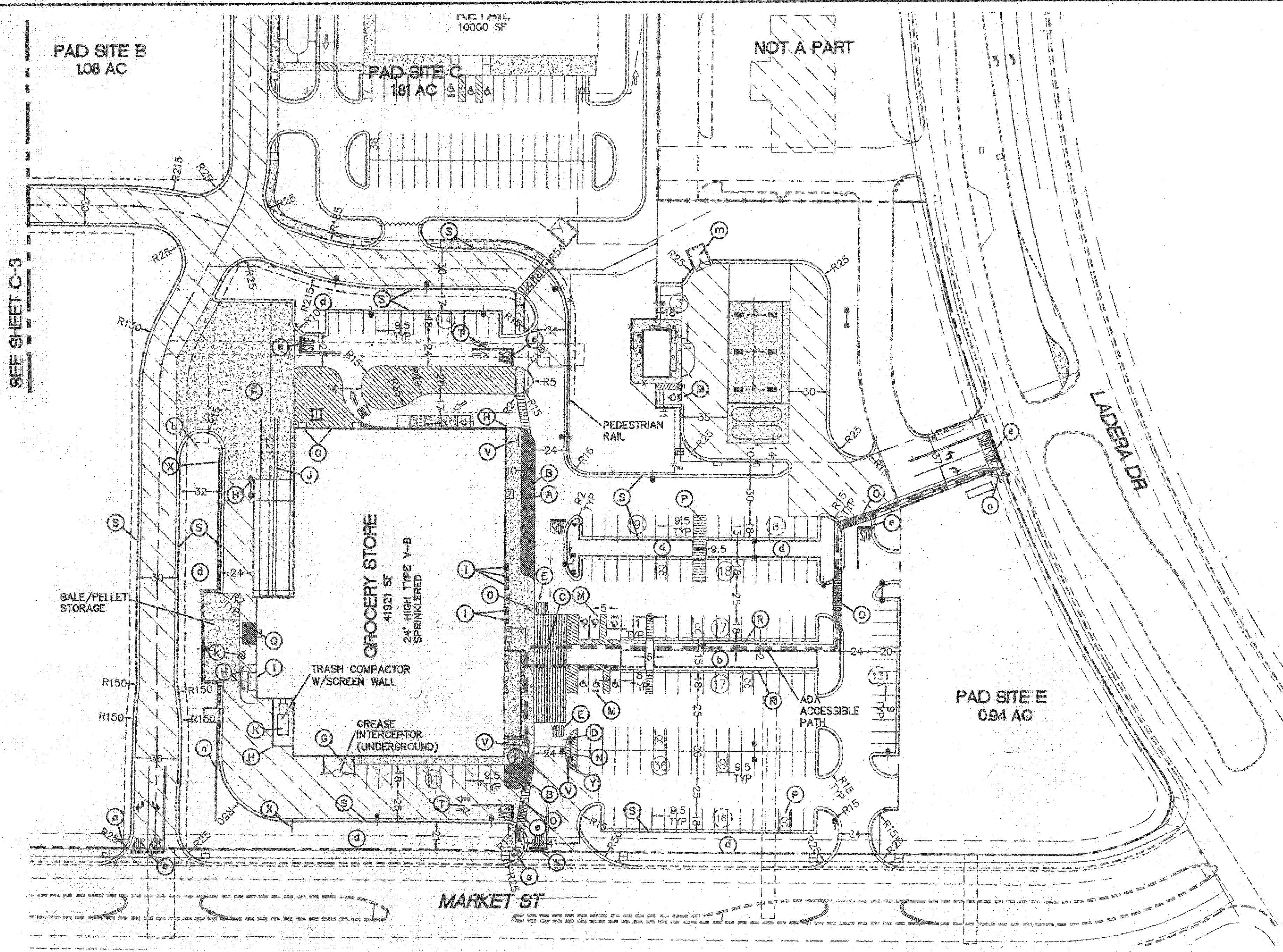
Project Name: \_\_\_\_\_ Fixture Type: \_\_\_\_\_ 10/21/15  
 Catalog # \_\_\_\_\_ © 2015 LSI INDUSTRIES INC.

### LED PATRIOT® WALL SCONCE (XPWS3)

LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **XPWS3 FT LED 48 450 CW UE WHT BB**

Prefix	Distribution	Light Source	# of LEDs	Drive Current	Color Temperature	Input Voltage	Finish	Optional Controls	Optional Sensor/Options
XPWS3 - LED Wall Sconce	S - Symmetric	LED	28 48	HO - High Output SS - Super Saver	CW - Cool White (5000K) NW - Neutral White (4000K)	120 240 277 347	WHT - White	BLK - Black BRZ - Bronze GPT - Granite GPT - Granite PFL - Platinum PFL - Platinum SPS - Satin Nickel SPS - Satin Nickel WHT - White	IES - Integrated Motion Sensor IES - Integrated Motion Sensor P100 - 100V Auto-Type Photocell P200 - 200V Auto-Type Photocell P300 - 300V Auto-Type Photocell P400 - 400V Auto-Type Photocell P500 - 500V Auto-Type Photocell P600 - 600V Auto-Type Photocell P700 - 700V Auto-Type Photocell P800 - 800V Auto-Type Photocell P900 - 900V Auto-Type Photocell P1000 - 1000V Auto-Type Photocell P1100 - 1100V Auto-Type Photocell P1200 - 1200V Auto-Type Photocell P1300 - 1300V Auto-Type Photocell P1400 - 1400V Auto-Type Photocell P1500 - 1500V Auto-Type Photocell P1600 - 1600V Auto-Type Photocell P1700 - 1700V Auto-Type Photocell P1800 - 1800V Auto-Type Photocell P1900 - 1900V Auto-Type Photocell P2000 - 2000V Auto-Type Photocell P2100 - 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SEE SHEET SP-2 FOR KEYED NOTES

**SITE NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
4. ALL CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
5. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
6. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
8. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
9. TOTAL LAND AREA IS XX.XX± ACRES.
10. NO WETLANDS WERE PRESENT ON THIS SITE AS INDICATED BY THE LETTER FROM THE U.S. ARMY CORP OF ENGINEERS LETTER DATE XX-XX-XX. (REFERENCE)
11. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".
12. PYLON SIGNS SHALL BE CONSTRUCTED BY OTHERS.
13. REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
14. ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

**SITE DATA**

LEGAL DESCRIPTION: PORTION OF TRACT 1-A-1, PLAT OF TRACTS 1-A-1 & 1-B-1 EL RANCHO ATRISCO PHASE 3

**ZONING:**  
 PAD SITES A, B, C, E  
 SU-1/SU-2 PLANNED OFFICE PARK & COMMERCIAL DEVELOPMENT WITH SALES FOR FULL SERVICE ALCOHOL SALES FOR SIT DOWN RESTAURANT.

**PAD SITE D**  
 SU1-SU2 FOR PLANNED OFFICE PARK AND COMMERCIAL DEVELOPMENT TO INCLUDE SALES OF PACKAGE LIQUOR IN ASSOCIATION WITH A GROCERY STORE. PERMITTEE SHALL NOT SELL DISTILLED SPIRITS IN ANY PACKAGE THAT CONTAINS LESS THAN 750 MILLILITERS (MINIBOTTLES) AND BEER IN ANY SINGLE CONTAINER CONTAINING 16 OR FEWER OUNCES (SINGLES)

**SITE AREA:**  
 PAD D (GROCERY STORE): 4.99 ACRES  
 PAD F (GAS PAD): 0.9751 ACRES

**PROPOSED USE:**  
 GROCERY STORE (41,921 SF) WITH A PHARMACY DRIVE-UP SERVICE WINDOW, RETAIL SALES OF GASOLINE WITH 6-TWO SIDED FUELING DISPENSER UNITS, AND CONVENIENCE STORE (740 SF); RETAIL BUILDING (10,000 SF) WITH DRIVE-UP WINDOW.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**  
 VEHICULAR ACCESS AND CIRCULATION- THE PROPOSED DEVELOPMENT HAS ACCESS TO ADJACENT STREETS ON ALL FOUR SIDES OF THE PROPERTY. LIMITED ACCESS TO UNSER BOULEVARD (A LIMITED ACCESS PRINCIPAL ARTERIAL) HAS BEEN APPROVED BY THE TRANSPORTATION COORDINATING COMMITTEE OF THE METROPOLITAN TRANSPORTATION BOARD OF THE MID-REGION COUNCIL OF GOVERNMENTS (R-14-01 TCC). ACCESS INCLUDES A RIGHT-IN, RIGHT OUT, AND LEFT-IN ACCESS (APPROXIMATELY 1,040 FEET SOUTH OF LADERA) AND AN ADDITIONAL RIGHT-IN ACCESS (APPROXIMATELY 529 FEET SOUTH OF LADERA) TO SERVE THE PROPOSED DEVELOPMENT. THERE ARE EXISTING ACCESS POINTS ON THE NORTH SIDE OF THE PROPERTY TO LADERA DRIVE THAT REMAIN. ADDITIONAL ACCESS IS SHOWN ON LADERA DRIVE, MARKET STREET, AND HANOVER ROAD.

**SITE DATA (CONTINUED)**

**INTERNAL CIRCULATION REQUIREMENTS:**  
 INTERNAL ROADWAY AND SIDEWALK NETWORK TO INTERCONNECT USES WITHIN CENTER WITH PUBLIC RIGHT OF WAY.

**MAXIMUM BUILDING HEIGHT ALLOWED (ALL LOTS):**  
 MAXIMUM BUILDING HEIGHTS FOR ALL BUILDING SHALL BE PER THE SU-1 ZONE.

**MINIMUM BUILDING SETBACK:**  
 N/A

**MAXIMUM TOTAL DWELLING UNITS (ALL LOTS):**  
 NO RESIDENTIAL PROPOSED

**NON RESIDENTIAL USES' MAXIMUM FLOOR AREA RATIO (ALL LOTS):**  
 MAXIMUM F.A.R IS 0.30

**PHASING:**  
 ACCESS ON PUBLIC RIGHT OF WAY AND INTERNAL ROADWAY NETWORK WITH PUBLIC UTILITIES TO BE CONSTRUCTED WITH FIRST DEVELOPMENT.

**NOTE:**  
 SITE LIGHTING SHALL COMPLY WITH THE LIGHTING REGULATIONS OF THE ZONING CODE, 14-18-3-9, AREA LIGHTING REGULATIONS. LIGHT FIXTURES WITHIN 100 FEET OF A RESIDENTIAL AREA SHALL NOT EXCEED 18 FEET. THE MAXIMUM HEIGHT FOR PARKING LOT LIGHTS SHALL BE A MAXIMUM OF 28 FEET.

**PARKING DATA (GROCERY STORE AND GAS LOT)**

PARKING REQUIRED	210 SPACES (1 SPACE PER 200 SF) GROCERY
PARKING REQUIRED	4 SPACES (1 SPACE PER 200 SF) GAS LOT
TOTAL PARKING REQUIRED	214 SPACES
PARKING PROVIDED	180 SPACES (GROCERY) + 4 (GAS LOT)
HC PARKING REQUIRED	8 SPACES
HC PARKING PROVIDED	8 SPACES (GROCERY) + 1 (GAS LOT)
TOTAL PARKING PROVIDED	164 SPACES
MC PARKING REQUIRED	5 SPACES
MC PARKING PROVIDED	5 SPACES
BICYCLE PARKING PROVIDED	25 SPACES (5 RACKS)

\*\*SEE SHEET SP-2 FOR PAD C PARKING DATA

**INDEX TO DRAWINGS**

- SP-1 SITE PLAN FOR BUILDING PERMIT
- SP-2 SITE PLAN FOR BUILDING PERMIT
- R-1 OVERALL SITE PLAN (FOR REFERENCE)
- L-1 LANDSCAPING PLAN
- GR-1 GRADING PLAN
- GR-2 GRADING PLAN
- GR-3 GRADING PLAN-FUEL AREA
- MU-1 MASTER UTILITY PLAN
- MU-2 MASTER UTILITY PLAN
- A2 ARCHITECTURAL ELEVATIONS
- DET 1-2 DETAILS

**PROJECT NUMBER:** 1003275  
**APPLICATION NUMBER:** 14EPC-40079, 15DRB-70051

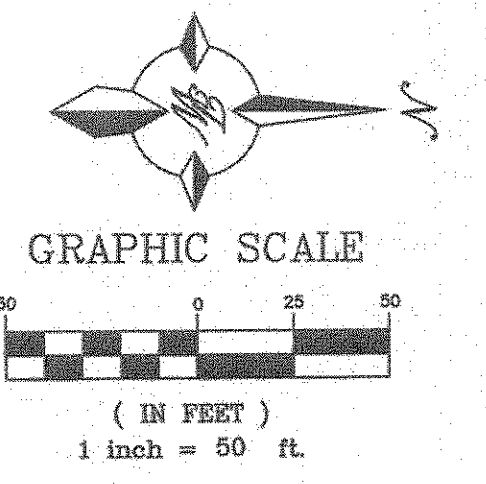
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>[Signature]</i> Traffic Engineer, Transportation Division	02-25-15 Date
<i>[Signature]</i> Water Utility Development	02/25/15 Date
<i>[Signature]</i> Parks & Recreation Department	02-25-15 Date
<i>[Signature]</i> City Engineer	4-8-15 Date
* Environmental Health Department (conditional)	Date
<i>[Signature]</i> Solid Waste Management	2-3-15 Date
<i>[Signature]</i> DRB/Chairperson, Planning Department	4-9-15 Date

\*Environmental Health, if necessary



ENGINEER'S SEAL	HERITAGE MARKET PLACE ALBUQUERQUE, NM	DRAWN BY prn
	PAD D SITE PLAN FOR BUILDING PERMIT	DATE 2-17-15
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2014038-SPC
RONALD R. BOHANNAN P.E. #7868		SHEET NO <b>SP-1</b>
		JOB # 2014038