

PROJECT: 1003275
 DATE: 8-26-15
 APP: 15-70272 (VPE P.I.F)

ALTA / A.C.S.M. LAND TITLE SURVEY OF
 TRACTS A-1 THRU A-3 AND C-1 THRU C-3
HERITAGE MARKETPLACE
 WITHIN
 THE TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9, 10, 15 AND 16, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2015

- LEGEND**
- WATER METER
 - WATER VALVE
 - △ HYDRANT
 - GAS VALVE
 - LIGHT POLE
 - CITY PEDESTAL
 - STORM SEWER MANHOLE
 - STORM SEWER MANHOLE AS SHOWN ON UTILITY PLANS - NOT FOUND
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER MANHOLE AS SHOWN ON UTILITY PLANS - NOT FOUND
 - WATER LINE
 - GAS LINE
 - SANITARY SEWER LINE
 - STORM SEWER LINE
 - X FENCE
 - MALL

- ⊠ ELECTRIC TRANSFORMER
- ⊠ CONCRETE AREA
- ⊠ TRAFFIC SIGNALS
- ⊠ MALL
- ⊠ SANITARY SEWER CLEANOUT
- ⊠ HOLE
- ⊠ PULL BOX
- ⊠ ELECTRIC METER
- ⊠ FIBER OPTIC BOX
- ⊠ TRAFFIC SIGNAL CABINET
- ⊠ ELECTRIC PEDESTAL
- ⊠ ELECTRIC VAULT
- ⊠ TELEPHONE PEDESTAL
- ⊠ HOT BOX
- ⊠ UNDERGROUND ELECTRIC LINE
- ⊠ GAS LINE

UTILITY DISCLAIMER

SOURCE INFORMATION FROM PLANS AND MARKINGS HAVE BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY REPORTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

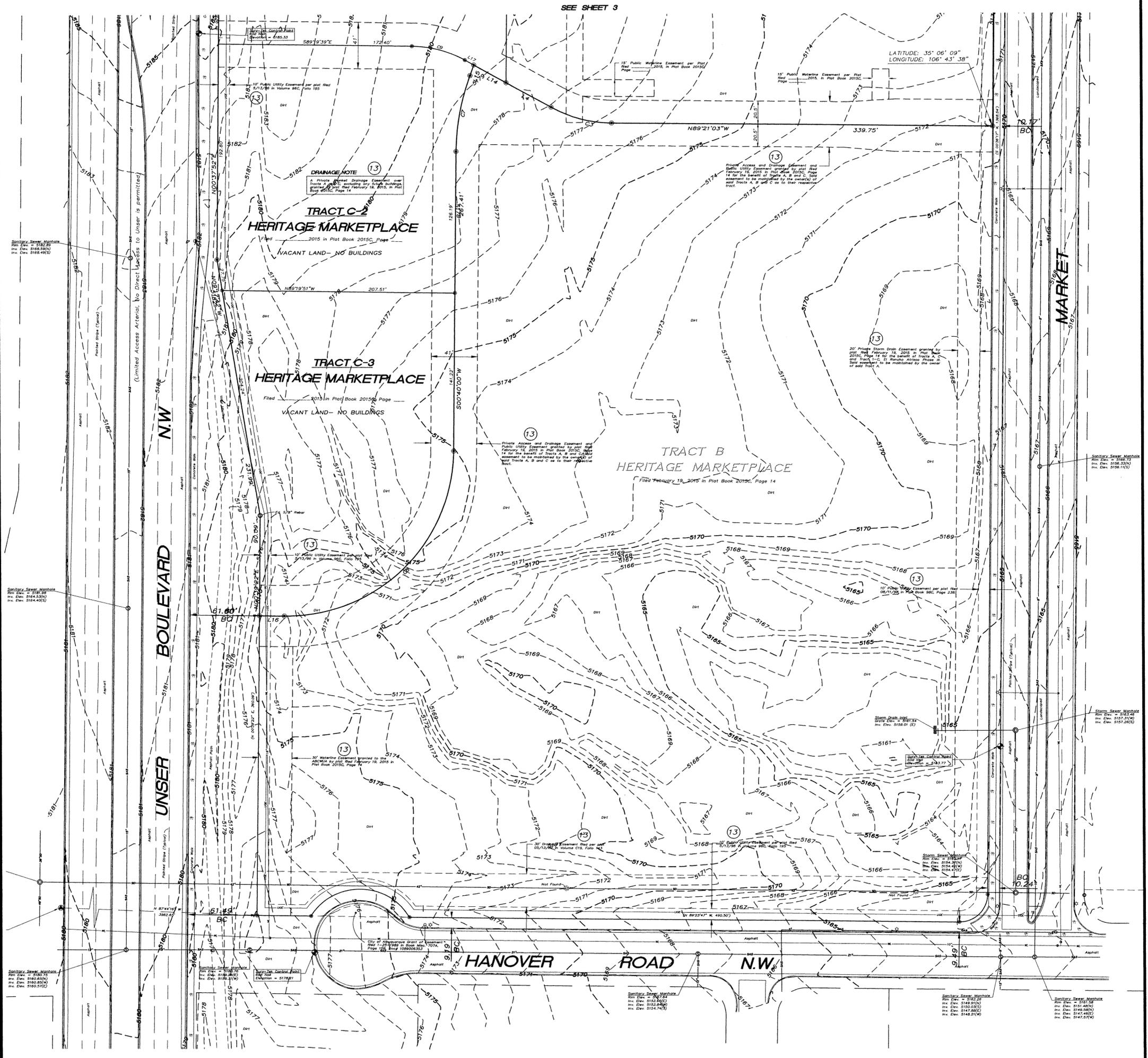
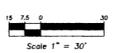
NEW MEXICO ONE CALL (NM811) LOCATE REQUEST CONFIRMATION LINE-SPOTTING TICKET NO. 201531040, DATE: 8/2/2015.

UTILITIES LABELED WITH AN ASTERISK (*) ARE DERIVED OR TRANSMITTED FROM PROVIDED PLANS AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY.

THERE MAY BE PRIVATE UNDERGROUND UTILITY LINES NOT WITHIN DOCUMENTED EASEMENTS THAT WERE NOT MARKED OUT BY UTILITY LINE-SPOTTING COMPANIES NOTIFIED BY NEW MEXICO ONE CALL (NM811).

THIS PROJECT WAS CALLED IN BY NEW MEXICO ONE CALL (NM811) AS A "DESIGN LOCATE". SOME UTILITY LINE-SPOTTING COMPANIES NOTIFIED BY NEW MEXICO ONE CALL (NM811) CONSIDER "DESIGN LOCATE" CALLS AS LOW PROBABILITY AND IN SOME CASES DELAY RESPONSE, PARTIALLY COMPLETE OR NOT RESPOND AT ALL.

THE RETAINING OF A PRIVATE UTILITY LINE-SPOTTING COMPANY MAY BE NECESSARY FOR COMPLETE UTILITY LINE-SPOTTING OF A SUBJECT PROPERTY.



**PLAT OF
TRACT B-1
HERITAGE MARKETPLACE**

(BEING A REPLAT OF TRACT B, HERITAGE MARKETPLACE)
WITHIN

THE TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 15 AND 16, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JUNE, 2015

LEGAL DESCRIPTION

Tract B, Heritage Marketplace as the same is shown and designated on the plat entitled "BULK LAND PLAT OF TRACTS A, B AND C, HERITAGE MARKETPLACE (BEING A REPLAT OF TRACT 1-A-1, EL RANCHO ATRISCO PHASE III) WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTIONS 9, 10, 15 AND 16, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on February 19, 2015 in Plat Book 2015C, Page 14.

Said parcel contains 9.0540 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF TRACT B, HERITAGE MARKETPLACE (BEING A REPLAT OF TRACT B, HERITAGE MARKETPLACE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTIONS 15 AND 16, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby grant the public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER(S)

WESTERN ALBUQUERQUE LAND HOLDINGS, LLC a Delaware Limited Liability Company

By: FIVE MILE CAPITAL WESTLAND SPE, LLC a Delaware Limited Liability Company
Its: Servicing Member

By: FIVE MILE CAPITAL POOLING DOMESTIC, LLC a Delaware Limited Liability Company
It's sole member

By: FIVE MILE CAPITAL PARTNERS, LLC a Delaware Limited Liability Company
It's manager

By: _____

Name: Scott Leitman

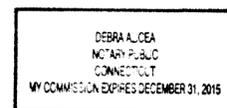
Title: Managing Director

ACKNOWLEDGMENT FOR REPRESENTATIVE CAPACITY

STATE OF Connecticut
COUNTY OF Fairfield SS

This instrument was acknowledged before me on July 28, 2015, by Scott Leitman as Managing Director of Five Mile Capital Partners LLC, a Delaware limited liability company, Manager of Five Mile Capital Pooling Domestic LLC, a Delaware limited liability company, Sole Member of Five Mile Capital Westland SPE LLC, a Delaware limited liability company, Servicing Member for Western Albuquerque Land Holdings, LLC, a Delaware limited liability company, on behalf of said company.

Debra Alcega 12-31-15
Notary Public My commission expires



SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

NOTICE OF SUBDIVISION PLAT CONDITIONS

TRACTS A, B AND C
HERITAGE MARKETPLACE

The plat of TRACTS A, B AND C, HERITAGE MARKETPLACE filed February 19, 2015 in Plat Book 2015C, page 14 has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

LINE TABLE		
LINE	LENGTH	BEARING
L1	48.19	N89°23'47"W
L2	22.19	S89°20'38"E
L3	9.97	N19°12'47"E
L4	78.48	S61°05'32"E
L5	48.39	S88°07'51"W
L6	20.00	N89°23'47"W
L7	42.78	S85°19'44"E
L8	27.49	S89°21'01"E
L9	65.96	N69°46'41"E
L10	35.03	N82°13'00"W
L11	32.95	S89°21'01"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	39.27'	25.00'	25.00'	35.35'	N45°36'15"E	89°59'56"
C2	105.42'	51.09'	85.41'	87.69'	N89°23'47"W	118°13'42"
C3	235.61'	150.00'	149.99'	212.12'	N45°39'31"E	89°59'42"
C4	69.72'	200.00'	35.22'	69.37'	S10°39'14"W	19°58'28"
C5	56.72'	115.00'	28.95'	56.14'	S75°13'17"E	28°15'29"
C6	23.64'	165.50'	11.84'	23.62'	N58°31'04"E	8°11'02"
C7	22.72'	51.09'	11.55'	22.53'	N61°56'01"W	25°28'31"



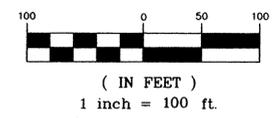
PLAT OF
TRACT B-1
HERITAGE MARKETPLACE
 (BEING A REPLAT OF TRACT B, HERITAGE MARKETPLACE)
 WITHIN
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 PROJECTED SECTIONS 15 AND 16, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

JUNE, 2015

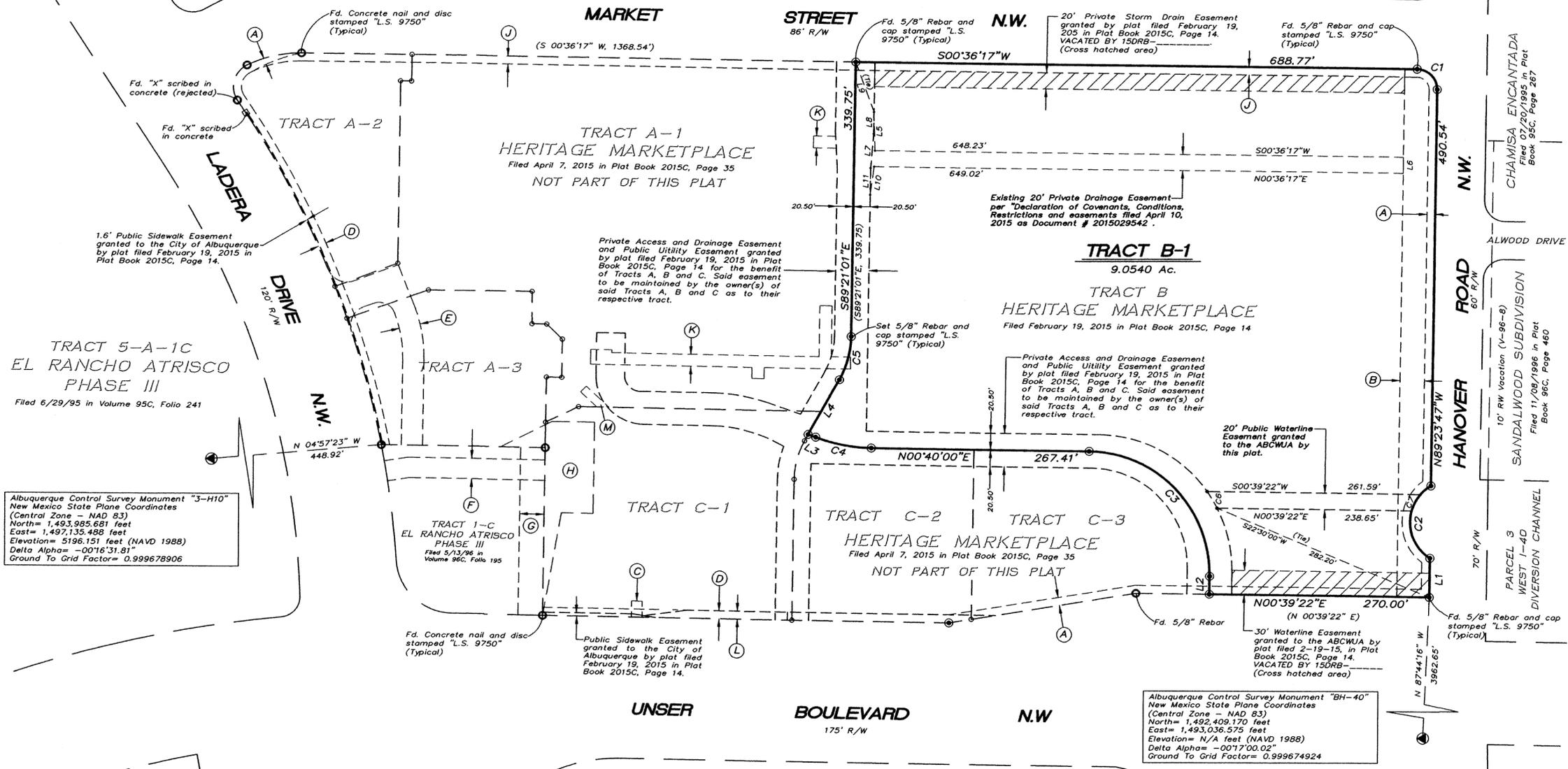
DRAINAGE NOTE

There is an existing Private Blanket Drainage Easement over Tracts A and C, excluding any future buildings granted by plat filed February 19, 2015 in Plat Book 2015C, Page 14 for the benefit of Tracts A, C and Tract 1-C. El Rancho Atrisco. Maintenance of said easement to be the responsibility of the owners of said tracts as to their respective tract.

There is an existing Private Blanket Drainage Easement over Tracts A-1, A-2 and A-3, excluding any future buildings is hereby granted by plat filed April 7, 2015 in Plat Book 2015C, page 35 for the benefit of Tracts A-1, A-2 and A-3. Maintenance of said easement to be the responsibility of the owners of said tracts as to their respective tract.



TRACT 1-B-1
 EL RANCHO ATRISCO
 PHASE III
 Filed 08/11/98 in Volume 98C, Folio 238



EXISTING EASEMENT LEGEND

- (A) Existing 10' Public Utility Easement per plat filed 05/13/96 in Plat Book 96C, Page 195.
- (B) Existing 30' Drainage Easement filed per plat 05/13/82 in Volume C19, Folio 143
- (C) Existing 20'x13' Public Service Company of New Mexico Underground Easement filed 4-7-1997, in Book 97-9, page 5635, as Document No. 97034811
- (D) Existing 10' Public Utility Easement filed 05/28/92 in Book BCR 92-12, Page 3074.
- (E) Existing Temporary Private Common Reciprocal Cross Access Easement per plat filed 5/13/96 in Volume 96C, Folio 195
- (F) Existing 25' Private Common Reciprocal Cross Access Easement for the benefit of Tracts 1-A & 1-C to be maintained by Tract 1-C per plat filed 5/13/96 in Volume 96C, Folio 195
- (G) Existing 30' Private Common Reciprocal Cross Access Easement for the benefit of Tracts 1-A & 1-C to be maintained by Tract 1-C per plat filed 5/13/96 in Volume 96C, Folio 195
- (H) Existing Temporary Drainage Facility Area per Drainage Agreement filed 10-2-1996, in Book 96-26, page 8709, as Document 96109302
- (J) Existing 10' Public Utility Easement per plat filed 08/11/98 in Plat Book 98C, Page 238.
- (K) Existing 15' Public Waterline Easement granted to the ABCWUA by plat filed April 7, 2015 in Plat Book 2015C, Page 35.
- (L) Existing Public Sidewalk and Trail Easement granted to the City of Albuquerque by plat filed April 7, 2015 in Plat Book 2015C, Page 35.
- (M) Existing 10' Private Drainage Easement granted by this plat for the benefit of Tract C-1, to be maintained by the owners of Tract C-1, filed per plat filed April 7, 2015 in Plat Book 2015C, Page 35.

Albuquerque Control Survey Monument "3-H10"
 New Mexico State Plane Coordinates
 (Central Zone - NAD 83)
 North= 1,493,985.681 feet
 East= 1,497,135.488 feet
 Elevation= 5196.151 feet (NAVD 1988)
 Delta Alpha= -00'16".31.81"
 Ground To Grid Factor= 0.999678906

Albuquerque Control Survey Monument "BH-40"
 New Mexico State Plane Coordinates
 (Central Zone - NAD 83)
 North= 1,492,409.170 feet
 East= 1,493,036.575 feet
 Elevation= N/A feet (NAVD 1988)
 Delta Alpha= -00'17".00.02"
 Ground To Grid Factor= 0.999674924

TRACT H-1-A
 CIELO OESTE
 UNIT 3
 Filed 12/10/2002 in Plat Book 2002C, Page 393

NOTE
 Tracts A-1, thru A-3; Tracts C-1 thru C-3 and Tract B, Heritage Marketplace as subject to that certain "Declaration of Covenants, Conditions, Restrictions and Easements", filed in the office of the County Clerk of Bernalillo County, New Mexico on April 10, 2015 as Document Number 2015029542.

PARKWAY UNIT 1
 Filed 08/11/92 in Volume 92C, Folio 171

PARKWAY UNIT 2
 Filed 12/10/92 in Volume 92C, Folio 266

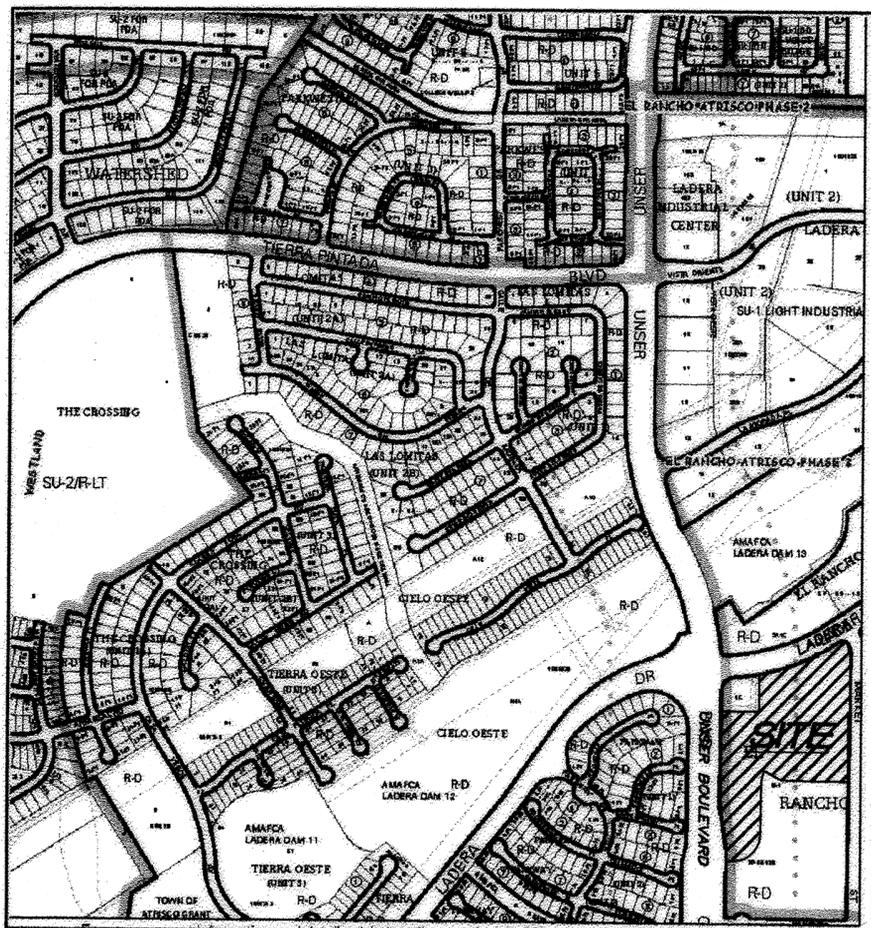
PARKWAY UNIT 3
 Filed 04-15/93 in Volume 93C, Folio 105



SURV TEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366
 Fax: 505-897-3377

PROJECT: 1003275
 DATE: 3-11-15
 APP: 15-70089 (P/F)

PLAT OF
 TRACTS A-1 THRU A-3 AND C-1 THRU C-3
HERITAGE MARKETPLACE
 (BEING A REPLAT OF TRACTS A AND C, HERITAGE MARKETPLACE)
 WITHIN
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 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2015



VICINITY MAP
 Not to Scale

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer _____ Date _____

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT:

- The Purpose of this plat is to:
- a. Divide 2 existing Tracts into 6 new Tracts as shown hereon.
 - b. Grant the Private and Public easements as shown hereon.

GENERAL NOTES

1. Bearings are grid based on the New Mexico State Plane Coordinate System, Central Zone (NAD 83).
2. Distances are ground.
3. Distances shown along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are in parenthesis ().
5. All corners that were set are either a 5/8" rebar with cap stamped "HUG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. City of Albuquerque Zone Atlas Page: H-9-Z

SUBMISSION DATA

Total number of existing Tracts: 2
 Total number of new Tracts created: 6
 Gross Subdivision acreage: 10.9281 acres

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

UTILITY APPROVALS:

Public Service Company of New Mexico _____ Date _____

New Mexico Gas Company _____ Date _____

Qwest Corporation d/b/a CenturyLink QC _____ Date _____

Comcast _____ Date _____

CITY APPROVALS:

Russ P. Hugg P.S. 3/3/15
 City Surveyor _____ Date _____
 Department of Municipal Development _____ Date _____

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

ABCWUA _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCA _____ Date _____

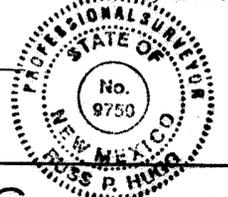
City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 Russ P. Hugg
 NMPS No. 9750
 February 17, 2015



SURVOTEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366
 Fax: 505-897-3377

**PLAT OF
TRACTS A-1 THRU A-3 AND C-1 THRU C-3
HERITAGE MARKETPLACE**

(BEING A REPLAT OF TRACTS A AND C, HERITAGE MARKETPLACE)
WITHIN

**THE TOWN OF ATRISCO GRANT
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NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

FEBRUARY, 2015

LEGAL DESCRIPTION

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Said parcel contains 10.9281 acres, more or less.

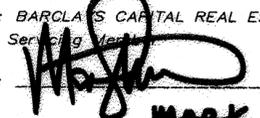
FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF TRACTS A-1 THRU A-3 AND C-1 THRU C-3, HERITAGE MARKETPLACE (BEING A REPLAT OF TRACTS A AND C, HERITAGE MARKETPLACE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTIONS 9, 10, 15 AND 16, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietors(s). Said owner(s) and proprietor(s) do hereby grant the private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER(S)

WESTERN ALBUQUERQUE LAND HOLDINGS, LLC
a Delaware Limited Liability Company

By: BARCLAYS CAPITAL REAL ESTATE, INC.
as Secretary

By: 
Printed Name: **MARK WUEST**
Title: **VICE PRESIDENT**

ACKNOWLEDGMENT

STATE OF NEW YORK)
COUNTY OF NEW YORK) SS

The foregoing instrument was acknowledged before me this 25
day of FEBRUARY, 2015, by MARK WUEST
as VICE PRESIDENT

 My commission expires 6/30/15
Notary Public

SUSAN CAMPBELL
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 200723070
MY COMMISSION EXPIRES JUNE 30, 2015

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS
ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

LINE TABLE		
LINE	LENGTH	BEARING
L2	19.30	N56°42'44"E
L3	82.34	S20°48'51"E
L4	224.95	S89°22'13"E
L5	13.43	S00°37'48"W
L6	33.00	S89°23'43"E
L7	31.59	S89°22'28"E
L8	44.75	S25°52'31"E
L9	297.31	S00°40'21"W
L10	172.40	S89°19'39"E
L11	8.99	S61°05'32"E
L12	32.75	N61°05'32"W
L13	45.73	N61°05'32"W
L14	339.75	N89°21'03"W
L15	9.97	S19°12'46"W
L16	207.51	S89°19'51"E
L17	141.22	N00°40'00"E
L18	126.19	S00°40'00"W
L19	22.19	N89°20'38"W
L20	27.75	S09°17'42"E
L21	78.48	N61°05'32"W
L22	90.09	N00°39'22"E
L23	56.54	S89°22'28"E
L24	18.80	S00°36'17"W
L25	47.83	S89°23'45"E
L26	26.77	N44°13'48"E
L27	17.96	N00°36'17"E
L28	40.45	N89°53'40"E
L29	127.36	N00°36'17"E
L30	106.23	N19°50'51"W
L31	73.10	S00°36'14"W
L32	20.00	S00°36'41"W
L33	117.24	N89°22'08"W
L34	110.09	S58°13'20"W
L35	80.56	N89°22'08"W
L36	74.19	S89°22'13"E
L37	86.52	S00°37'52"W
L38	95.58	S75°18'34"E
L39	26.95	N00°38'59"E
L40	15.00	N89°21'01"W
L41	28.00	S00°38'59"W
L42	15.04	N86°38'20"E
L43	44.75	N58°15'11"E
L44	63.63	N89°23'43"W
L45	23.60	S00°36'17"W
L46	15.00	S89°18'08"W
L47	105.89	N00°36'17"E
L48	13.74	N89°23'43"W
L49	15.00	N00°36'17"E
L50	13.74	S89°23'43"E
L51	18.60	S89°23'43"E
L52	25.69	S00°36'17"W
L53	3.60	N89°23'43"W
L54	63.63	S89°23'43"E
L55	30.26	S09°17'42"E
L56	378.43	N00°36'40"E
L57	53.33	N07°52'25"W
L58	15.00	S00°36'17"W

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	447.77'	1160.00'	226.71'	445.00'	N67°45'29"E	22°07'01"
C2	50.77'	30.00'	33.89'	44.93'	N74°48'16"W	96°58'00"
C3	69.21'	147.27'	35.26'	68.57'	N12°51'29"W	26°55'34"
C6	49.28'	100.00'	25.15'	48.78'	N75°12'36"W	28°14'07"
C7	56.72'	115.00'	28.95'	56.14'	N75°13'12"W	28°15'29"
C8	69.72'	200.00'	35.22'	69.37'	S10°39'15"W	19°58'28"
C9	235.61'	150.00'	149.89'	212.12'	S45°39'31"W	89°59'42"
C10	164.03'	1160.00'	82.15'	163.89'	N74°45'56"E	8°06'07"
C11	42.69'	1160.00'	21.35'	42.69'	N69°39'37"E	2°06'31"
C12	241.05'	1160.00'	120.96'	240.62'	N62°39'10"E	11°54'23"



SURVTEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3368 Fax: 505-897-3377

PLAT OF
TRACTS A-1 THRU A-3 AND C-1 THRU C-3
HERITAGE MARKETPLACE

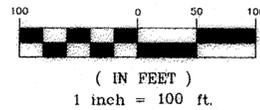
(BEING A REPLAT OF TRACTS A AND C, HERITAGE MARKETPLACE)
 WITHIN

THE TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9, 10, 15 AND 16, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2015

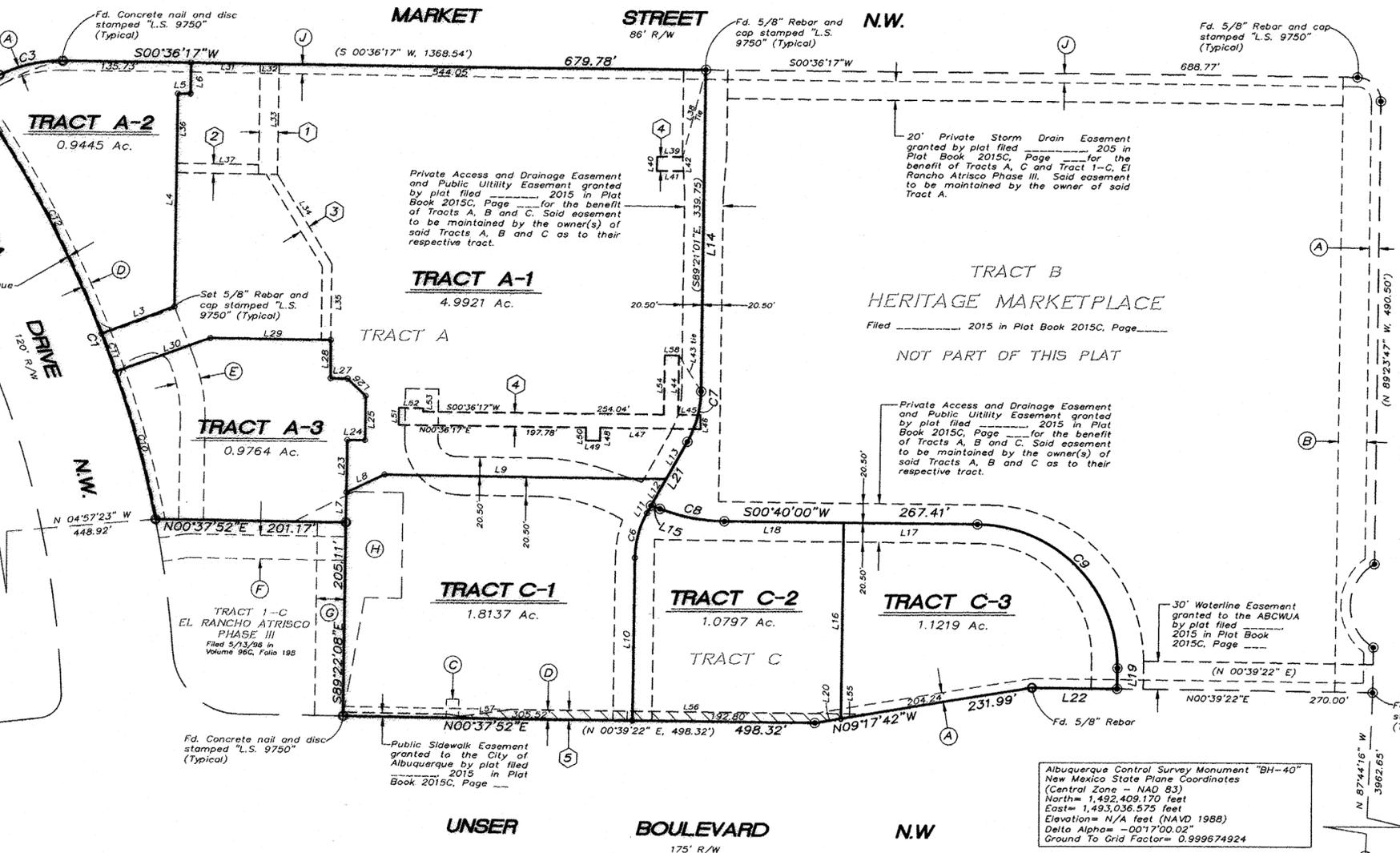
DRAINAGE NOTE

There is an existing Private Blanket Drainage Easement over Tracts A and C, excluding any future buildings granted by plat filed _____ 2015 in Plat Book 2015C, Page _____ for the benefit of Tracts A, C and Tract 1-C, El Rancho Atrisco. Maintenance of said easement to be the responsibility of the owners of said tracts as to their respective tract.



TRACT 1-B-1
 EL RANCHO ATRISCO
 PHASE III

Filed 08/11/98 in Volume 98C, Folio 238



NEW EASEMENTS CREATED

- 1) 20' Public Sanitary Sewer Easement granted to the ABCWUA by this plat
- 2) 10' Private Sanitary Sewer Easement granted by this plat for the benefit of Tract A-2. Maintenance of said easement to be the responsibility of the owners of said Tract A-2.
- 3) 10' Private Sanitary Sewer Easement granted by this plat for the benefit of Tract A-3. Maintenance of said easement to be the responsibility of the owners of said Tract A-3.
- 4) 15' Public Waterline Easement granted to the ABCWUA by this plat.
- 5) Public Sidewalk Easement granted to the City of Albuquerque by this plat. (Cross hatched area)

EXISTING EASEMENT LEGEND

- A) Existing 10' Public Utility Easement per plat filed 05/13/96 in Plat Book 96C, Page 195.
- B) Existing 30' Drainage Easement filed per plat 05/13/92 in Volume C19, Folio 143
- C) Existing 20'x13' Public Service Company of New Mexico Underground Easement filed 4-7-1997, in Book 97-9, page 5635, as Document No. 97034811
- D) Existing 10' Public Utility Easement filed 05/28/92 in Book BCR 92-12, Page 3074.
- E) Existing Temporary Private Common Reciprocal Cross Access Easement per plat filed 5/13/96 in Volume 96C, Folio 195
- F) Existing 25' Private Common Reciprocal Cross Access Easement for the benefit of Tracts 1-A & 1-C to be maintained by Tract 1-C per plat filed 5/13/96 in Volume 96C, Folio 195
- G) Existing 30' Private Common Reciprocal Cross Access Easement for the benefit of Tracts 1-A & 1-C to be maintained by Tract 1-C per plat filed 5/13/96 in Volume 96C, Folio 195
- H) Existing Temporary Drainage Facility Area per Drainage Agreement filed 10-2-1996, in Book 96-26, page 8709, as Document 96109302
- J) Existing 10' Public Utility Easement per plat filed 08/11/98 in Plat Book 98C, Page 238.

TRACT 5-A-1C
 EL RANCHO ATRISCO
 PHASE III
 Filed 6/29/95 in Volume 95C, Folio 241

Albuquerque Control Survey Monument "3-H10"
 New Mexico State Plane Coordinates
 (Central Zone - NAD 83)
 North= 1,493,985.681 feet
 East= 1,497,135.488 feet
 Elevation= 5196.151 feet (NAVD 1988)
 Delta Alpha= -00'16".31.81"
 Ground To Grid Factor= 0.999678906

Albuquerque Control Survey Monument "BH-40"
 New Mexico State Plane Coordinates
 (Central Zone - NAD 83)
 North= 1,492,409.170 feet
 East= 1,493,036.575 feet
 Elevation= N/A feet (NAVD 1988)
 Delta Alpha= -00'17".00.02"
 Ground To Grid Factor= 0.999674924

TRACT H-1-A
 CIELO OESTE
 UNIT 3
 Filed 12/10/2002 in Plat Book 2002C, Page 393

PARKWAY UNIT 1
 Filed 08/11/92 in Volume 92C, Folio 171

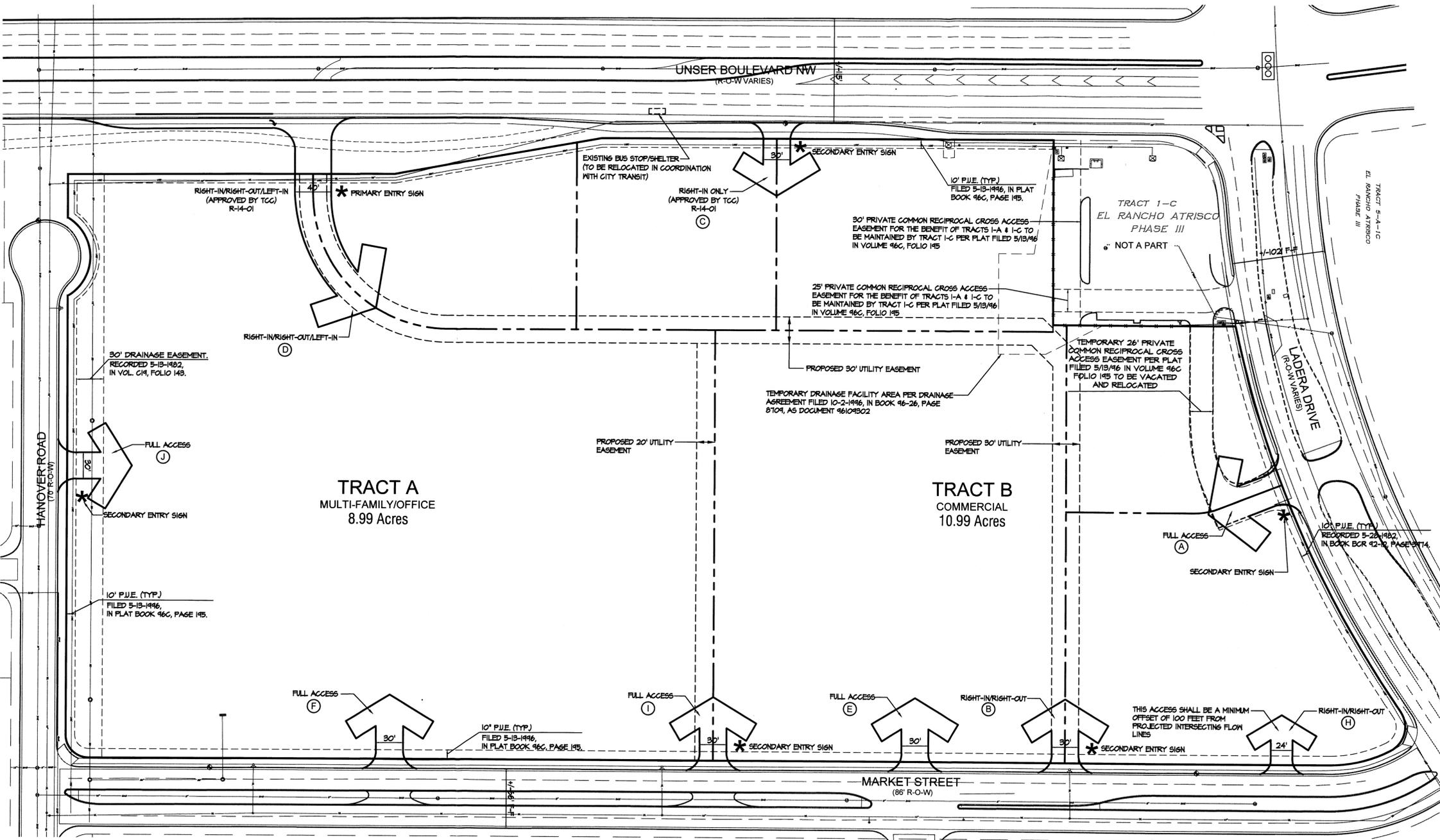
PARKWAY UNIT 2
 Filed 12/10/92 in Volume 92C, Folio 266

PARKWAY UNIT 3
 Filed 04-15/93 in Volume 93C, Folio 105



SURV TEK, INC.

Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3966
 Fax: 505-897-3377



SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION

THE SITE:
 The Site consists of approximately 20 acres. The property is bounded on the west by Unser Boulevard, to the north by Ladera Drive, to the east by Market Street, and to the south by Hanover Road. There is an existing out parcel at the southeast corner of Unser Boulevard and Ladera Drive developed with a gas station and convenience store.

ZONING AND PROPOSED USE:
 The Site is zoned SU-2/SU-1 Special Use for Neighborhood Commercial and Office Uses within the El Rancho Atrisco Phase III Sector Development Plan (1981). The site is a designated neighborhood activity center in the West Side Strategic Plan.

Development of the property can only occur through an approved site development plan as regulated by Section 14-16-2-22 of the Comprehensive City Zoning Code. Activities allowed on the site must correspond to those enumerated in the C-1 Neighborhood Commercial zone and office uses.

A maximum of 50 percent (12.5 acres) of the original 25-acre site as referenced on Sheet 5 of the El Rancho Atrisco Phase III Sector Development Plan that is eligible for development with retail and service-type uses consistent with those of the C-1 zone. The existing gas station and convenience store located on Lot 1C (.85 acres) toward the northwest corner of the original 25-acre site is considered "commercial development". As such, an additional 11.65 acres - may be developed with commercial uses pursuant to the C-1 zone.

The remaining area of the property can be developed with office or residential uses, or a combination thereof. Residential development on this portion shall be regulated by Section 14-16-2-16(A)(7) of the Comprehensive City Zoning Code.

APPLICABLE PLANS:
 City of Albuquerque/Bernalillo County Comprehensive Plan (Rank I); West Side Strategic Plan (Rank II); and the El Rancho Atrisco Phase III Sector Development Plan (Rank III).

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access and Circulation - The proposed development has access to adjacent streets on all four sides of the property. Limited access to Unser Boulevard (a limited access principal arterial) has been approved by the Transportation Coordinating Committee of the Metropolitan Transportation Board of the Mid-Region Council of Governments (R-14-01 TCC). Access includes a right-in, right-out, and left-in access (approximately 1,040 feet south of Ladera) and an additional right-in access (approximately 529 feet south of Ladera) to serve the proposed development. There are existing access points on the north side of the property to Ladera Drive that remain. Additional access is shown on Ladera Drive, Market Street, and Hanover Road. Final design and location of these access points will be determined by future Site Development Plans for Building Permit.

Transit - The property is currently served by two existing bus routes; 92 Taylor Ranch Express and 94 Unser Express. Both routes have a bus stop adjacent to the subject property. Route 92 also travels along Ladera Boulevard adjacent to the site and existing bus stops are east of Market Street. Unser and I-40 are designated Express Transit Corridors.

Bicycle Facilities - Unser Boulevard has on-street bike lanes and an off-street multi-use trail on the east side of the street. The Unser Trail connects to the I-40 Regional Trail that runs along the north side of Interstate 40.

Pedestrian Facilities - Internal sidewalk and pedestrian facilities will be designed consistent with the design guidelines included in this site plan and future site plans for building permits.

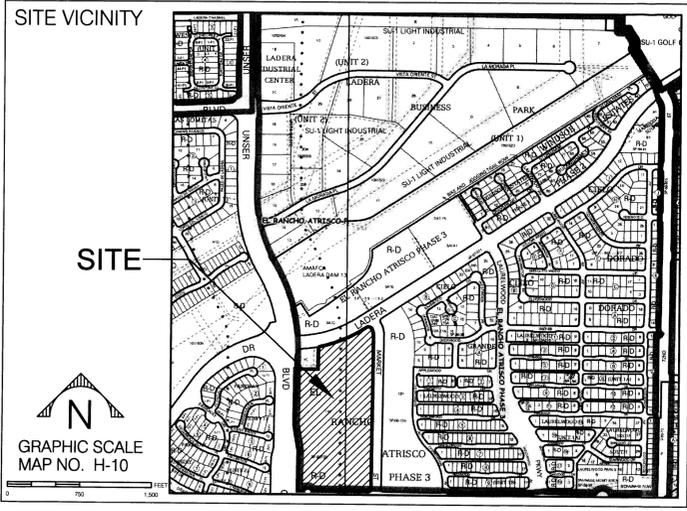
BUILDING HEIGHTS AND SETBACKS:
 Maximum building heights for all buildings shall be per the SU-1 zone. Setbacks shall be as provided in the O-1 and R-3 zones as enumerated in the Comprehensive City Zoning Code. Specific design restrictions for new residential shall be as provided in the C-2 zone (specific to Activity Centers and Transit Corridors).

MAXIMUM FAR/DENSITY:
 Commercial buildings shall not exceed a maximum FAR of .30. Residential shall be as provided in the C-2 Zone and shall have a minimum FAR of .3 and a maximum density of 30 dwelling units per acre.

LANDSCAPE PLAN:
 Landscape plans shall be submitted with future Site Plans for Building Permit and shall be consistent with the Water Conservation Landscaping and Water Waste Ordinance, Pollen Control Ordinance, and the Design Standards (Sheet 2).

Note: A cross access easement and shared parking agreement shall be part of the platting process at DRB.

PROJECT: 1003275
 DATE: 11-12-14
 APP: 14-70869(SPS)



PROJECT NUMBER:
 Application Number:
 This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated February 13, 2014 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

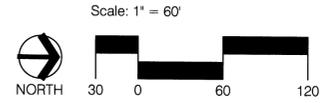
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

HERITAGE MARKETPLACE

SITE PLAN FOR SUBDIVISION

Prepared For:
 Garrett Development Corporation
 1130 Lanes End NW
 Albuquerque, NM 87114

Prepared By:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102



HERITAGE MARKETPLACE DESIGN STANDARDS

These Design Standards are intended to provide guidance to designers in understanding the vision and development goals for the property. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for the Heritage Marketplace for both non-residential and multi-family residential projects.

Subsequent Site Development Plans for Building Permits shall be consistent with the design standards established by this Site Development Plan for Subdivision and shall be delegated to the Development Review Board. Minor amendments to this Site Development Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code, Section 14-16-2-22 (A)(6) Special Use Zone, and major amendments shall be approved by the Environmental Planning Commission.

Unless otherwise noted, the following Design Standards shall apply to all commercial and residential projects:

1. LAND USE

- Permissible land uses for Heritage Marketplace are per the C-1 Zone. As such, residential uses permissible in the R-3 are allowed per Section (A) (7); however, there shall be no single-family houses allowed at Heritage Marketplace.
- Residential use shall achieve a maximum density of 30 dwelling units per acre and a minimum floor area ratio (FAR) of .30.

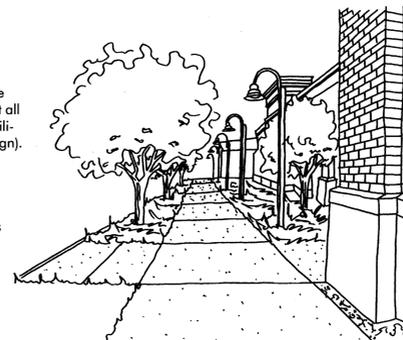
2. SITE PLANNING

A. MINIMUM BUILDING SETBACKS

- Unser and Ladera Boulevards: 20 feet
- Market Street: 10 feet
- Internal roads: 10 feet
- Internal side yards: 5 feet

B. SIDEWALKS / WALKWAYS

- A minimum of one ADA route will be provided to the principal entrance at all buildings (see Americans with Disabilities Act Criteria for Barrier-Free Design).
- Pedestrian crossings, 6 feet in width, shall have a contrasting color and surface from the adjacent pavement where they cross vehicular entrances and drive aisles.
- Buildings shall be linked to public sidewalks and the Unser Boulevard Trail via six foot sidewalks.



Illustrative Shaded Walkways

C. PARKING

GENERAL

- All off-street parking areas shall be designed in accordance with the City Comprehensive Zoning Code, Section 14-16-3-1 Off-Street Parking Regulations, including provisions for accessible parking, except as provided below.
- In order to lessen the visual impact of parking areas, parking fields shall be broken up into a series of smaller areas in order to lessen the visual impact of parking areas through the use of landscape and pedestrian areas, buildings, and/or plazas.
- Parking for all commercial tenants will be shared. A cross access easement and shared parking agreement shall be part of the platting process.
- Pedestrian connections to buildings should be provided in parking lots with greater than 50 spaces and should connect to adjacent roadways, parking areas, sidewalks, and pathways.
- Sidewalks connections linking public sidewalks to buildings shall be shaded with trees spaced at 25 feet on center, in accordance with the City Comprehensive Zoning Code, Section 14-16-3-1 Off-Street Parking Regulations.
- Parking lots adjacent to and at grade with public streets shall be screened with either an earthen berm, evergreen landscaping, or wall or combination at a minimum height of 30 inches and maximum height of 36 inches. Screen walls, if used, shall be consistent with materials and colors of the buildings.

COMMERCIAL

- Secure bicycle storage racks shall be located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.

RESIDENTIAL

- One vehicular parking space per unit.
- On street parking credit is allowed in accordance with the C-1 zone.
- One bicycle space per every two units.

D. OUTDOOR SPACES

Outdoor spaces should be designed with consideration towards sun and wind exposure, and pedestrian and visual accessibility.

GENERAL

- Site amenities, such as benches, trash receptacles, and lighting, shall be compatible with the architectural and landscape treatments on each commercial pad or residential site.

COMMERCIAL

- Freestanding restaurants, if proposed by subsequent Site Plans for Building Permits, shall provide outdoor patios with a minimum size of 200 square feet for restaurants up to 4,000 square feet, and a minimum size of 300 square feet for restaurants larger than 4,000 square feet.
- Outdoor patios shall be shaded either by trees and/or a shade structure that is architecturally integrated with building architecture.

3. LANDSCAPE

The landscape environment is intended to enhance the aesthetics of the development, aid in reinforcing the street edge and pedestrian environment, and provide a welcoming retreat from sun exposure and glare.

GENERAL

- Landscape plans shall comply with Section 14-16-3-10 Landscaping Regulations Applicable to Apartment and Nonresidential Development of the Comprehensive City Zoning Code and the Water Conservation Ordinance and Pollen Ordinance with regard to plant species, installed sizes and quantities, landscape area, and irrigation systems.
- Street trees shall be provided along public rights-of-way with either even spacing or in random clusters. The spacing of evenly spaced street trees shall be no greater than the diameter of the street tree canopy at full maturity (i.e., smaller trees require closer spacing than larger trees). Where street trees are randomly clustered, the number of street trees shall be equal to or exceed the number required if trees were evenly spaced; however, gaps between randomly spaced street trees that exceed 80 feet are prohibited.
- A fully automated irrigation system shall be installed as part of the landscaping for all commercial pad sites and multi-family development. The system shall be designed to avoid overspraying walks, buildings, fences, etc.
- Gravel, colored rock, and similar mulch materials are acceptable as a top dressing for landscape areas, however, they shall not be considered a focal landscape element.
- Steel, brick, or equivalent landscape headers shall be used to separate any turf and shrub / ground-cover areas.
- Timing of Installation. All landscaping must be completed no later than two months after completion of construction of the site improvements.
- Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.

4. ARCHITECTURE

The architectural standards are intended to describe the general characteristics of the structures to be built within Heritage Marketplace. While all of the buildings will reflect these standards, it is not the intent of these design standards to prohibit a certain amount of individual expression and creativity. The use of various architectural details and materials shall be consistent when used on various elevations.

A. GENERAL

- Commercial buildings shall comply with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive City Zoning Code, as well as other local building and fire codes.
- Generic franchise architecture is prohibited.
- No freestanding cell towers or antennas are allowed; antenna shall be integrated with the building architecture.

B. BUILDING ORIENTATION

- Building elements such as windows, displays, and entries shall be oriented to pedestrian connections and public areas.

C. BUILDING HEIGHT

- Maximum building height for all buildings shall be per the SU-1 zone. Architectural accents such as towers and entry elements may extend above the maximum parapet height. The maximum height of a pitched roof building shall be based on the average height between the plate and ridge.
- Maximum building height for multi-family residential is per the R-3 zone.

D. BUILDING MASSING AND ARTICULATION

- Residential and non-residential buildings shall be articulated with a variety of massing changes both in plan and elevation to relate the buildings to the scale of pedestrians.
- Non-residential uses shall be horizontally connected in a variety of ways, such as the use of arcades or portals, controlled plaza elements, pavement, and siting areas.
- All sloped roof lines must overhang a minimum of 3 feet and provide appropriate detailing either with rafter tails or cornices.
- Major facades (greater than 100 feet in length) shall break up building mass in conformance with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses. In addition, all front facades less than 100 feet in length shall be subject to the same requirements as stated in the preceding sentence, except the frequency of wall plane projections or recesses of at least 2 feet in depth shall occur every 50 feet and shall extend at least 25% of the length of the facade.
- Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, and soffits shall be dimensioned and detailed to provide a human scale and visual interest.
- Entrways shall be clearly defined by the use of awnings, canopy, or inset, and shall be lighted.
- Awnings are permitted above window areas on non-residential and residential buildings.
 - Commercial awnings with painted or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed the allowable sign area of building wall.
 - Illumination of commercial awnings shall be from pendant mounted fixtures located above the awning. Accent colors on awnings shall be compatible with the general color palette.
 - No plastic or vinyl awnings or canopies are allowed.
- Entries shall be clearly defined and connect to pedestrian linkages.
- The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.
- Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.

E. BUILDING MATERIALS

All of the exterior materials and colors employed in the future construction of buildings and improvements for shall be of a consistent color and material palette.

- The primary building finish material shall be stucco. Manufactured stone and brick veneer shall be used as an accent feature and be a consistent color style and typical throughout Heritage Marketplace. The stone veneer shall not comprise more than 20% of the exterior construction.
- Materials prohibited as the main architectural feature include the following:
 - exposed, untreated precision block or wood walls
 - highly reflective surfaces
 - chain link fence or barbed wire
 - metal paneling or siding, except accents for trim and minor elements are allowed

F. BUILDING COLORS

- Primary - The wall colors shall be earth tones, light tans, browns, and reds, with an accent veneer of either manufactured brick or stone. Each building palette shall be consistent in tonal quality with other buildings within the project.
- Accent - a variety of colors may be used to accent architectural features such as entries, window trim, awnings, fascias, and other traditional southwestern architectural features. Colors allowed are typical southwestern colors of earth tones, white, green, red, blue, and brown ranges.

G. ROOF MATERIALS AND COLORS

- Roofs may be flat, pitched (tile), or a combination of both and shall be made of non-reflective materials. Roof tile color shall be terra-cotta blend.

H. COLUMNS

- The following are appropriate column forms:
 - Square stucco
 - Round stucco
 - Masonry
 - Round classical with smooth shafts in Doric or simple contemporary order
- The following shall not be allowed:
 - Corinthian
 - Ionic
 - Tuscan
 - Egyptian

5. SIGNAGE

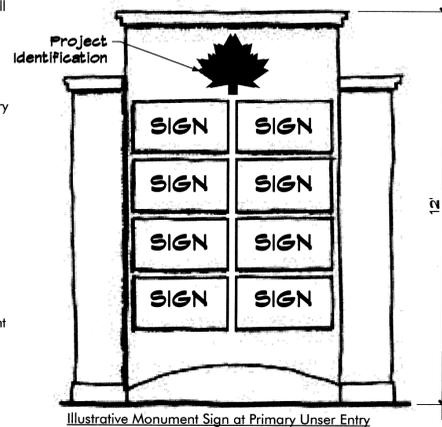
The following signage standards were developed to regulate the size, location, type, and quality of sign elements within Heritage Marketplace. The goal is to provide a signage program that is of high quality, maintains a consistent style, creates a sense of arrival, and complements the visual character of the property.

GENERAL

- All signage shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code and the Unser Boulevard Design Overlay Zone requirements unless otherwise noted herein.
- Banners, pennants, ribbons, streamers, strings of light bulbs and spinners (except during holiday season or special thematic events); brightly colored signs with moving or flashing lights; signs which are animated in any manner; or portable signs are prohibited.
- Off-premise signs are prohibited.
- No sign may overhang a right-of-way or property line, or intrude upon any architectural features, including windows, columns, moldings, or any decorative features.

FREESTANDING SIGNS - COMMERCIAL AND RESIDENTIAL

- Signage at the project entries shall be coordinated in appearance (i.e., proportions, color, material, text height and style, etc.) and shall be internally lit.
- For Unser Boulevard: one 12-foot tall project monument sign, 75 square feet in sign area, is allowed at the primary entry to Heritage Marketplace and one 10-foot tall project monument sign, 50 square feet in sign area, is allowed at the secondary entry.
- For Ladera Boulevard and Hanover: one 10-foot tall project monument sign, 50 square feet in sign area, is allowed on each street frontage.
- For Market Street: two 10-foot tall project monument signs, 50 square feet in sign area, are allowed.
- There is no limit on the number of panels within each project monument sign.
- Each commercial building pad is permitted to have one 30 square foot monument sign adjacent to the internal site drive.



Illustrative Monument Sign at Primary Unser Entry

WALL-MOUNTED SIGNS - COMMERCIAL AND RESIDENTIAL

- One wall-mounted sign shall be permitted per commercial facade, per business. The sign area shall not exceed 6 percent of each building facade.
- For buildings with multiple commercial tenants, the sign area for individual tenants shall be based on the portion of the facade directly related to that tenant.
- All wall-mounted signs on commercial buildings shall be individual type lettering. The following types of letters are acceptable:
 - Type 1: Opaque lettering indirectly illuminated by goose neck type lighting;
 - Type 2: Channel letters internally illuminated with letter sides to match letter face colors;
 - Type 3: Same as 2 except halo lit; and
 - Type 4: halo lit letters cut out of solid metal background spaced off the face of the building.
 Can type signs are prohibited. Any logos associated with a specific tenant shall be non-illuminated.
- Wall-mounted signs shall not project more than 1 foot. All canopy and marquee signs shall be included in the total area count allowed for all signs.
- Signs perpendicular to an elevation shall only occur under an awning or canopy / portal and shall not be more than eight square feet. These signs may not project past the overhang.
- Each residential building shall be allowed to include building identification signage (e.g., address or building number). Individual type lettering shall be required.

6. WALLS

- All walls shall comply with Section 14-16-3-19 General Height and Design Regulations for Walls, Fences, and Retaining Walls of the Comprehensive City Zoning Code.
- Any site walls shall be constructed of materials which match the predominant material of the building to which they are adjacent.

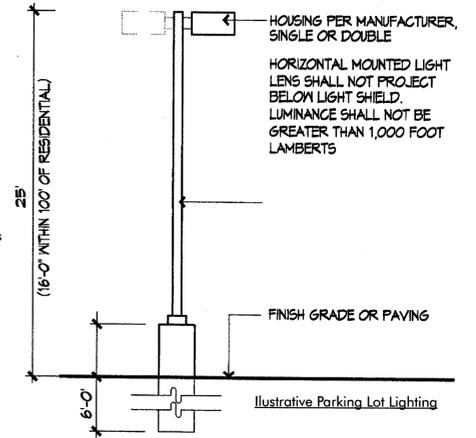
- Except for screen walls that shield equipment and operations in loading areas, no site walls shall exceed 6 feet in height. Site walls shall be constructed of cast stone, brick, masonry finished with stucco, or combination thereof, with the finish materials to match the predominant material of the building.

7. SCREENING

- No refuse enclosures shall be oriented towards Unser Boulevard or Ladera Drive.
- Loading areas, exterior storage yards and refuse containers shall be fully screened from public view by an enclosure. Materials used for the enclosure shall be compatible with the building materials and architecture.
- Roof mounted mechanical equipment shall be visually screened from public right-of-way when viewing from ground level by the use of parapets or other structural or architectural features.
- The use of chain link, barbed wire, or wood fencing is prohibited.

8. LIGHTING

- All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the Comprehensive City Zoning Code. Placement of fixtures and standards shall conform to state and local safety and illumination standards.
 - All lights shall be shielded source with glare cut off angles to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Cobra and sodium lights are prohibited.
 - Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
 - The location of light fixtures shall be identified on subsequent Site Plans for Building Permits. The maximum height for pedestrian scale lights shall be 16 feet. The maximum height for parking lot lights shall be a maximum of 25 feet.



9. UTILITIES

To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment should be minimized by the following:

- On-site utilities, including electrical, telephone, and communication wires and equipment shall be installed and maintained underground.
- Where feasible, transformers, utility pads, cable TV, and telephone boxes shall be located out of view from public rights-of-way or visually screened with vegetation, fences, or walls. Screening shall be designed to allow for access to utility facilities.
- All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance, and repair purposes. Refer to PNM Electric Service Guide at www.pnm.com for specifications.
- Developers shall contact PNM's New Service Delivery Department to coordinate electric service to avoid potential delays in meeting in-service target dates. Any existing or proposed public utility easements shall be indicated on subsequent Site Plan utility sheets. PNM's standard for electric distribution public utility easements is 10 feet in order to ensure adequate and safe clearances.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.
- Alleys and interior parking courts may be used for dry utilities and sewer, wherever practical.
- All roof-mounted equipment shall be screened from public view by materials of the same nature as the basic materials of the building.
- Freestanding cellular antenna and cell towers are prohibited. Antennas shall be integrated with buildings, light poles, existing utility structures and other public facilities.

HERITAGE MARKETPLACE

SITE PLAN FOR SUBDIVISION

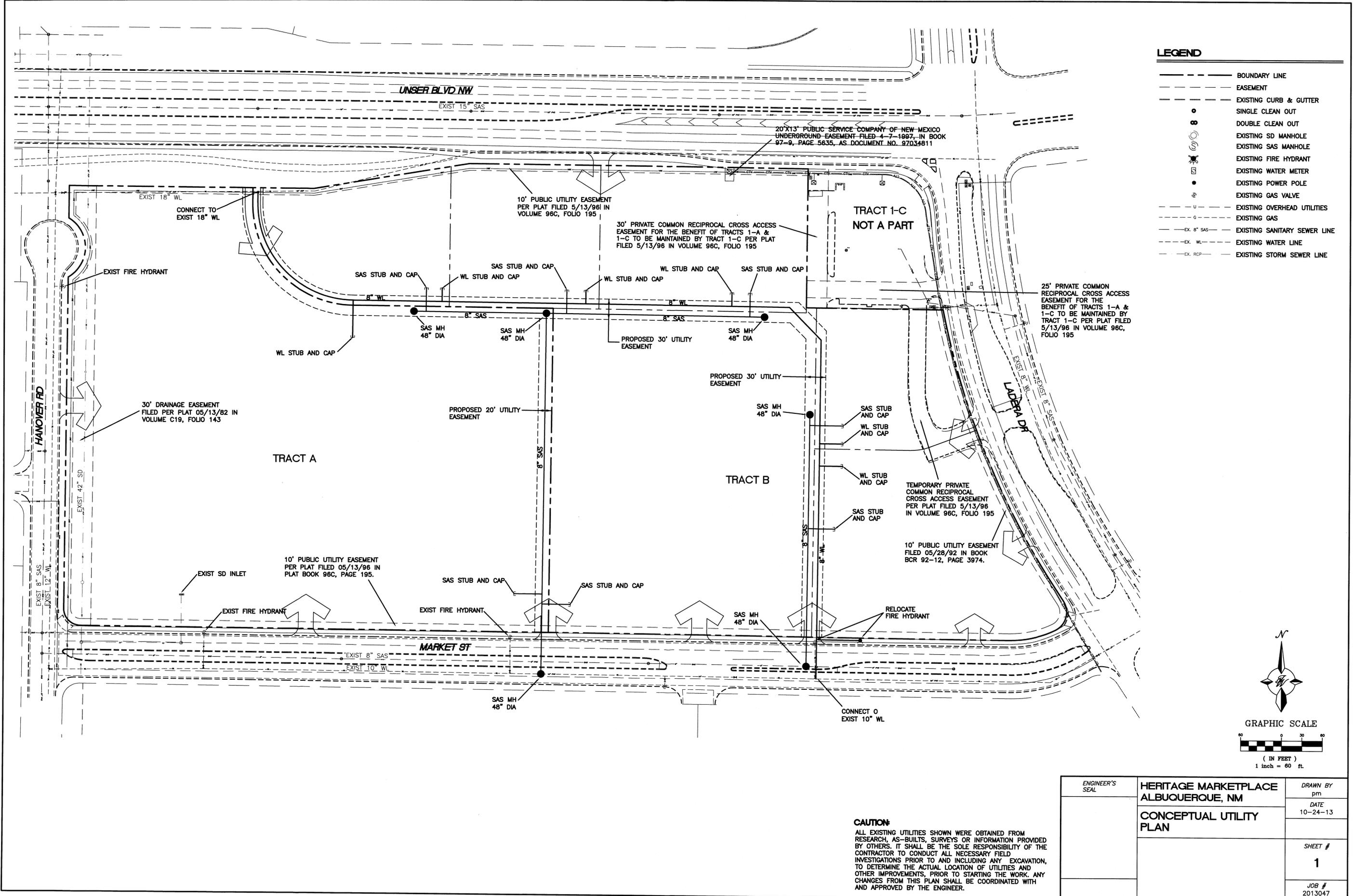
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Prepared By:
Consensus Planning, Inc.



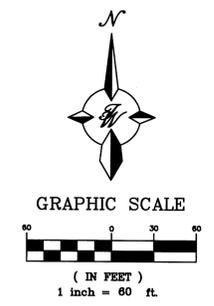
CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

October 27, 2014
Sheet 2 of 3



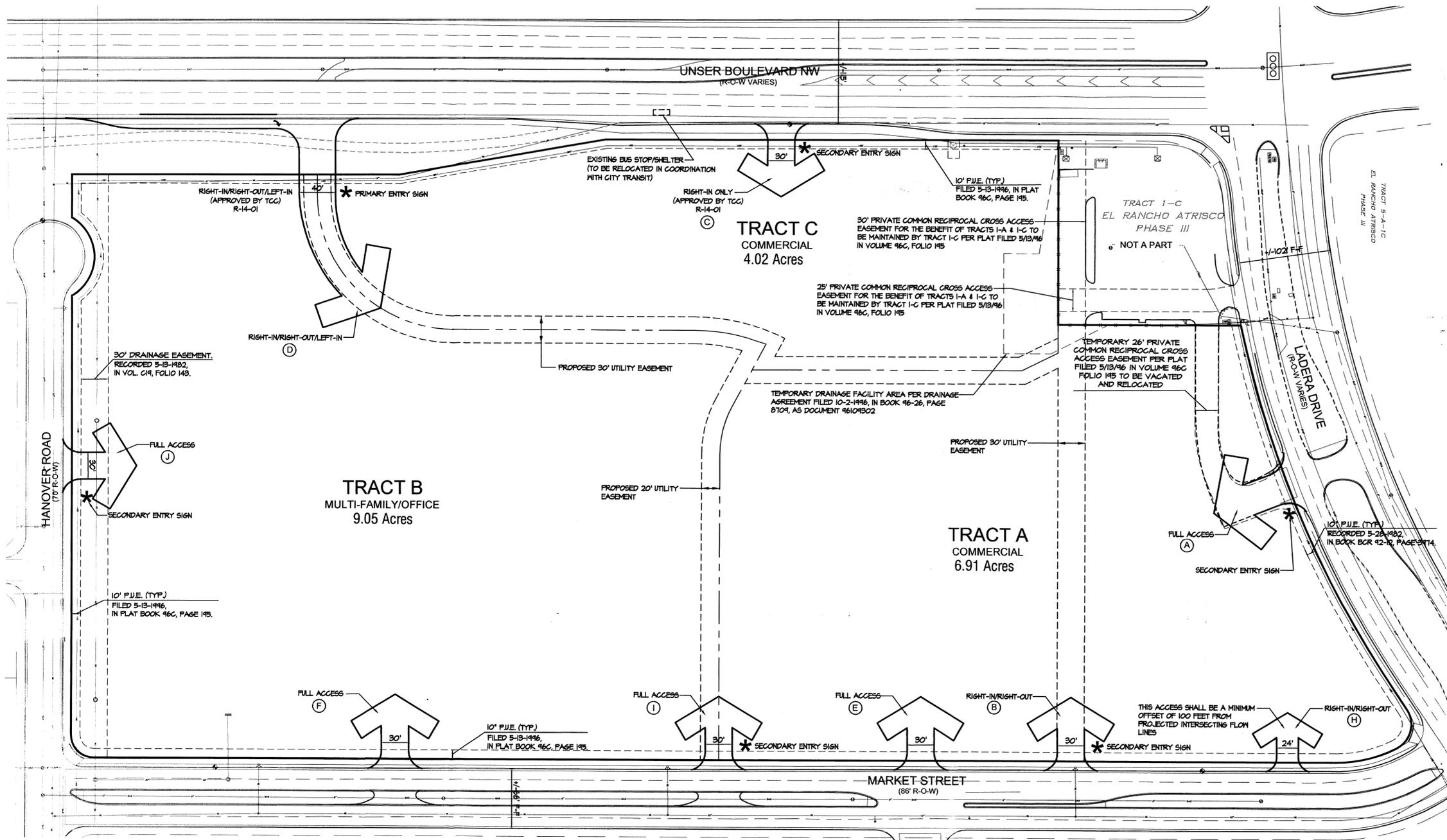
LEGEND

---	BOUNDARY LINE
- - - -	EASEMENT
---	EXISTING CURB & GUTTER
○	SINGLE CLEAN OUT
⊗	DOUBLE CLEAN OUT
⊙	EXISTING SD MANHOLE
⊕	EXISTING SAS MANHOLE
⊛	EXISTING FIRE HYDRANT
⊚	EXISTING WATER METER
●	EXISTING POWER POLE
⊖	EXISTING GAS VALVE
- - - -	EXISTING OVERHEAD UTILITIES
- - - -	EXISTING GAS
- - - -	EX. 8" SAS
- - - -	EX. WL
- - - -	EX. RCP



ENGINEER'S SEAL	HERITAGE MARKETPLACE ALBUQUERQUE, NM	DRAWN BY pm
	CONCEPTUAL UTILITY PLAN	DATE 10-24-13
		SHEET # 1
		JOB # 2013047

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION

THE SITE:
 The Site consists of approximately 20 acres. The property is bounded on the west by Unser Boulevard, to the north by Ladera Drive, to the east by Market Street, and to the south by Hanover Road. There is an existing out parcel at the southeast corner of Unser Boulevard and Ladera Drive developed with a gas station and convenience store.

ZONING AND PROPOSED USE:
 The Site is zoned SU-2 /SU-1 Special Use for Neighborhood Commercial and Office Uses within the El Rancho Atrisco Phase III Sector Development Plan (1981). The site is a designated neighborhood activity center in the West Side Strategic Plan.

Development of the property can only occur through an approved site development plan as regulated by Section 14-16-2-22 of the Comprehensive City Zoning Code. Activities allowed on the site must correspond to those enumerated in the C-1 Neighborhood Commercial zone and office uses.

A maximum of 50 percent (12.5 acres) of the original 25-acre site as referenced on Sheet 5 of the El Rancho Atrisco Phase III Sector Development Plan that is eligible for development with retail and service-type uses consistent with those of the C-1 zone. The existing gas station and convenience store located on Lot 1C (.85 acres) toward the northwest corner of the original 25-acre site is considered "commercial development". As such, an additional 11.65 acres - may be developed with commercial uses pursuant to the C-1 zone.

The remaining area of the property can be developed with office or residential uses, or a combination thereof. Residential development on this portion shall be regulated by Section 14-16-2-16(A)(7) of the Comprehensive City Zoning Code.

APPLICABLE PLANS:
 City of Albuquerque/Bernalillo County Comprehensive Plan (Rank I); West Side Strategic Plan (Rank II); and the El Rancho Atrisco Phase III Sector Development Plan (Rank III).

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access and Circulation - The proposed development has access to adjacent streets on all four sides of the property. Limited access to Unser Boulevard (a limited access principal arterial) has been approved by the Transportation Coordinating Committee of the Metropolitan Transportation Board of the Mid-Region Council of Governments (R-14-01 TCC). Access includes a right-in, right-out, and left-in access (approximately 1,040 feet south of Ladera) and an additional right-in access (approximately 529 feet south of Ladera) to serve the proposed development. There are existing access points on the north side of the property to Ladera Drive that remain. Additional access is shown on Ladera Drive, Market Street, and Hanover Road. Final design and location of these access points will be determined by future Site Development Plans for Building Permit. New median cuts must be requested in writing to the Traffic Engineer, Development and Review Services. The construction of appropriate left turn lanes must be included with any new median cuts.

Transit - The property is currently served by two existing bus routes; 92 Taylor Ranch Express and 94 Unser Express. Both routes have a bus stop adjacent to the subject property. Route 92 also travels along Ladera Boulevard adjacent to the site and existing bus stops are east of Market Street. Unser and I-40 are designated Express Transit Corridors.

Bicycle Facilities - Unser Boulevard has on-street bike lanes and an off-street multi-use trail on the east side of the street. The Unser Trail connects to the I-40 Regional Trail that runs along the north side of Interstate 40.

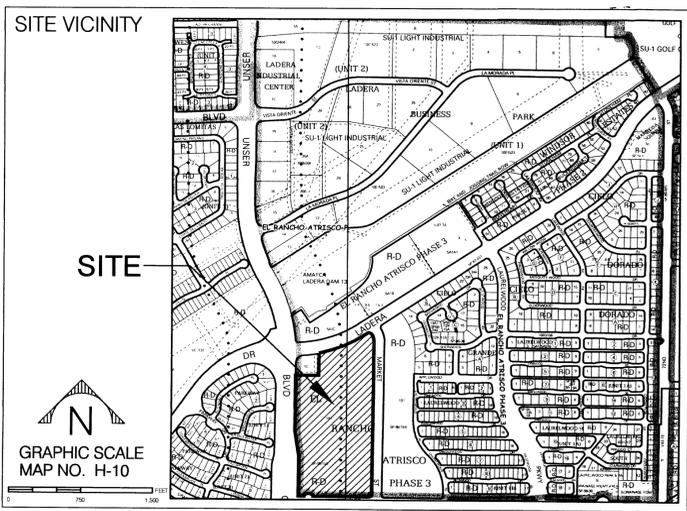
Pedestrian Facilities - Internal sidewalk and pedestrian facilities will be designed consistent with the design guidelines included in this site plan and future site plans for building permits.

BUILDING HEIGHTS AND SETBACKS:
 Maximum building heights for all buildings shall be per the SU-1 zone. Setbacks shall be as provided in the O-1 and R-3 zones as enumerated in the Comprehensive City Zoning Code. Specific design restrictions for new residential shall be as provided in the C-2 zone (specific to Activity Centers and Transit Corridors).

MAXIMUM FAR/DENSITY:
 Commercial buildings shall not exceed a maximum FAR of .30. Residential shall be as provided in the C-2 Zone and shall have a minimum FAR of .3 and a maximum density of 30 dwelling units per acre.

LANDSCAPE PLAN:
 Landscape plans shall be submitted with future Site Plans for Building Permit and shall be consistent with the Water Conservation Landscaping and Water Waste Ordinance, Pollen Control Ordinance, and the Design Standards (Sheet 2).

Note: A cross access easement and shared parking agreement shall be part of the platting process at DRB. Future development on the site will require EPC review of the Site Development Plan for Building Permit(s).



PROJECT NUMBER: 1003275
 Application Number: 13EPC-40148

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated February 13, 2014 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

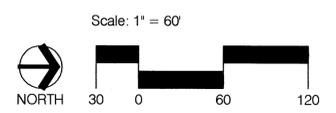
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

HERITAGE MARKETPLACE

SITE PLAN FOR SUBDIVISION

Prepared For:
 Garrett Development Corporation
 1130 Lanes End NW
 Albuquerque, NM 87114

Prepared By:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102



**BULK LAND PLAT OF
TRACTS A, B AND C
HERITAGE MARKETPLACE**
(BEING A REPLAT OF TRACT 1-A-1, EL RANCHO ATRISCO PHASE III)
WITHIN

THE TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9, 10, 15 AND 16, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2014

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

UTILITY APPROVALS:

Public Service Company of New Mexico	_____	_____	Date
New Mexico Gas Company	_____	_____	Date
QWest Corporation d/b/a CenturyLink QC	_____	_____	Date
Comcast	_____	_____	Date

CITY APPROVALS:

Active City Surveyor <i>Russ P. Hugg</i> P.S. Department of Municipal Development	_____	10/17/14	Date
Real Property Division	_____	_____	Date
Environmental Health Department	_____	_____	Date
Traffic Engineering, Transportation Division	_____	_____	Date
ABCWUA	_____	_____	Date
Parks and Recreation Department	_____	_____	Date
AMAFCA	_____	_____	Date
City Engineer	_____	_____	Date
DRB Chairperson, Planning Department	_____	_____	Date

6 9781

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true, and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
October 7, 2014



SURVOTEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer _____ Date _____

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

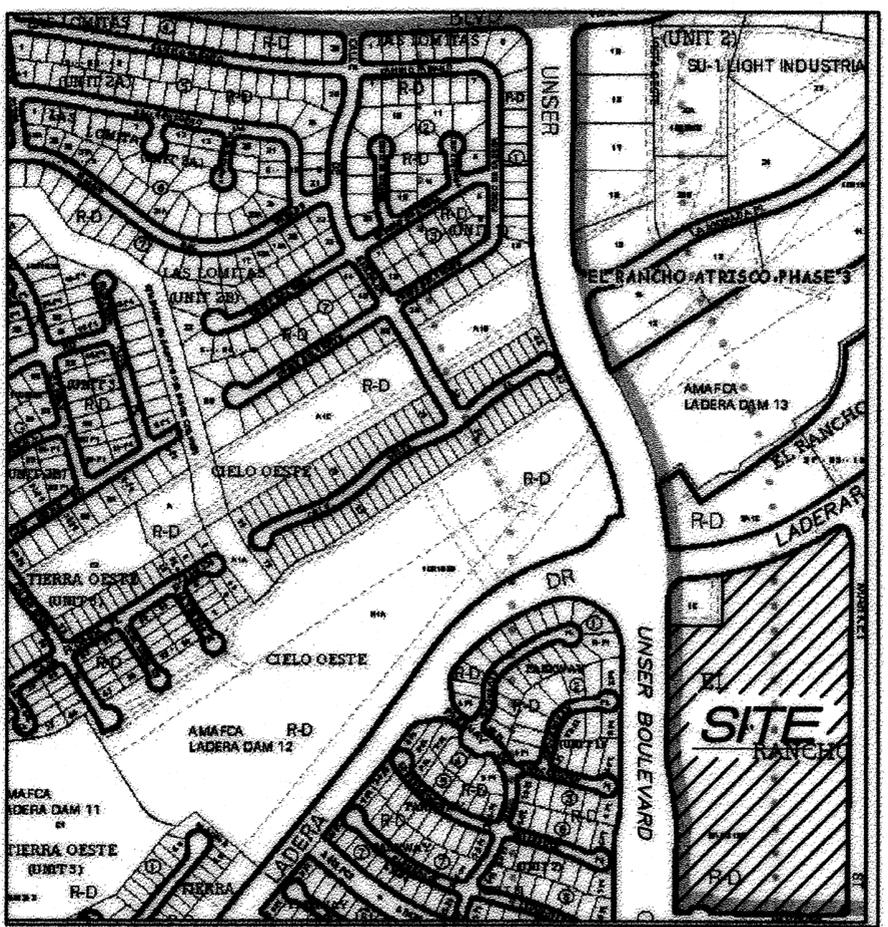
Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT:

- The Purpose of this plat is to:
- Divide 1 existing Tract into 3 new Tracts.
 - Grant the Private and Public easements as shown hereon.



VICINITY MAP
Not to Scale

GENERAL NOTES

- Bearings are grid based on the New Mexico State Plane Coordinate System, Central Zone (NAD 83).
- Distances are ground.
- Distances shown along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are in parenthesis ().
- All corners that were set are either a 5/8" rebar with cap stamped "HUG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon..
- City of Albuquerque Zone Atlas Page: H-9-Z

SUBDIVISION DATA

Total number of existing Tracts: 1
Total number of new Tracts created: 3
Gross Subdivision acreage: 19.9821 acres

SHEET INDEX

- SHEET 1 - General Notes, Approvals, Surveyors Certification
- SHEET 2 - Legal Description, Free Consent and Dedication
- SHEET 3 - Existing Boundary and easements
- SHEET 4 - New Tracts created

BULK LAND PLAT OF
TRACTS A, B AND C
HERITAGE MARKETPLACE
 (BEING A REPLAT OF TRACT 1-A-1, EL RANCHO ATRISCO PHASE III)
 WITHIN
THE TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9, 10, 15 AND 16, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2014

LEGAL DESCRIPTION

Tract 1-A-1 of Plat of Tracts 1-A-1 & 1-B-1, EL RANCHO ATRISCO, PHASE III, situate within projected Sections 9, 10, 15 & 16, T. 10 N., R. 2 E., N.M.P.M., Albuquerque, New Mexico, as the same is shown and designated on said Plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 11, 1998, recorded in Plat Book 98-C, folio 238.

Said parcel contains 19.9821 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF TRACTS A, B AND C, HERITAGE MARKETPLACE (BEING A REPLAT OF TRACT 1-A-1, EL RANCHO ATRISCO PHASE III) WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTIONS 9, 10, 15 AND 16, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby grant the private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER(S)

WESTERN ALBUQUERQUE LAND HOLDINGS, LLC
 a Delaware Limited Liability Company

By: BARCLAYS CAPITAL REAL ESTATE, INC.
 as Servicing Member

By: _____

Title: _____

ACKNOWLEDGMENT

STATE OF NEW YORK)
 COUNTY OF NEW YORK) SS

The foregoing instrument was acknowledged before me this _____
 day of _____, 2015, by _____
 as _____

 Notary Public My commission expires _____

NOTICE OF SUBDIVISION PLAT CONDITIONS

TRACTS A, B AND C
 HERITAGE MARKETPLACE

The plat of TRACTS A, B AND C, HERITAGE MARKETPLACE has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

Note: There is a Notice of subdivision plat conditions for TRACTS A, B AND C, HERITAGE MARKETPLACE, filed in the office of the County Clerk of Bernalillo County, New Mexico on _____, 2015 in

Book _____, page _____ as Document Number 2015_____

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

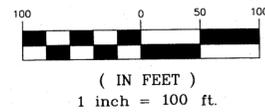
BULK LAND PLAT OF TRACTS A, B AND C HERITAGE PLAZA

(BEING A REPLAT OF TRACT 1-A-1, EL RANCHO ATRISCO PHASE III)
WITHIN

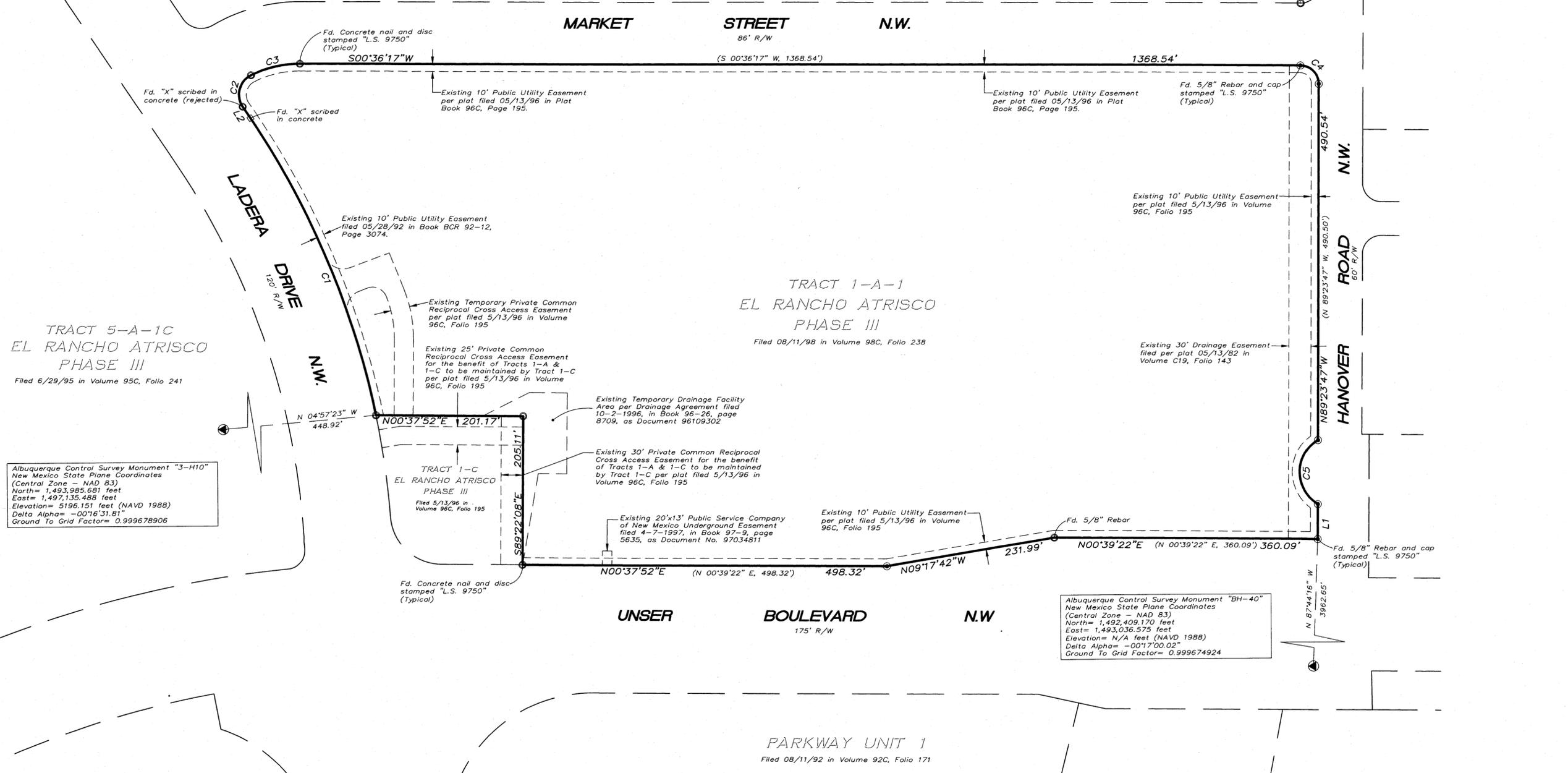
THE TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9, 10, 15 AND 16, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

TRACT 1-B-1
EL RANCHO ATRISCO
PHASE III

Filed 08/11/98 in Volume 98C, Folio 238



OCTOBER, 2014
Fd. 1/2" Rebar and cap stamped "L.S. 6126"



Albuquerque Control Survey Monument "3-H10"
New Mexico State Plane Coordinates
(Central Zone - NAD 83)
North = 1,493,985,681 feet
East = 1,497,135,488 feet
Elevation = 5196.151 feet (NAVD 1988)
Delta Alpha = -00'16"31.81"
Ground To Grid Factor = 0.999678906

Albuquerque Control Survey Monument "BH-40"
New Mexico State Plane Coordinates
(Central Zone - NAD 83)
North = 1,492,409,170 feet
East = 1,493,036,575 feet
Elevation = N/A feet (NAVD 1988)
Delta Alpha = -00'17"00.02"
Ground To Grid Factor = 0.999674924

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	447.77'	1160.00'	226.71'	445.00'	N67°45'29"E	22°07'01"
C2	50.77'	30.00'	33.89'	44.93'	N74°48'16"W	96°58'00"
C3	69.21'	147.27'	35.26'	68.57'	N12°51'29"W	26°55'34"
C4	39.27'	25.00'	25.00'	35.35'	N45°36'15"E	89°59'56"
C5	105.42'	51.09'	85.41'	87.69'	N89°23'47"W	118°13'42"

LINE TABLE		
LINE	LENGTH	BEARING
L1	48.19	N89°23'47"W
L2	19.30	N56°42'44"E

EXISTING BOUNDARY AND EASEMENTS

SURV+TEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

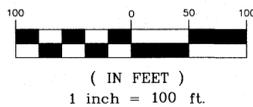
BULK LAND PLAT OF TRACTS A, B AND C HERITAGE MARKETPLACE

(BEING A REPLAT OF TRACT 1-A-1, EL RANCHO ATRISCO PHASE III) WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTIONS 9, 10, 15 AND 16, TOWNSHIP 10 NORTH, RANGE 2 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

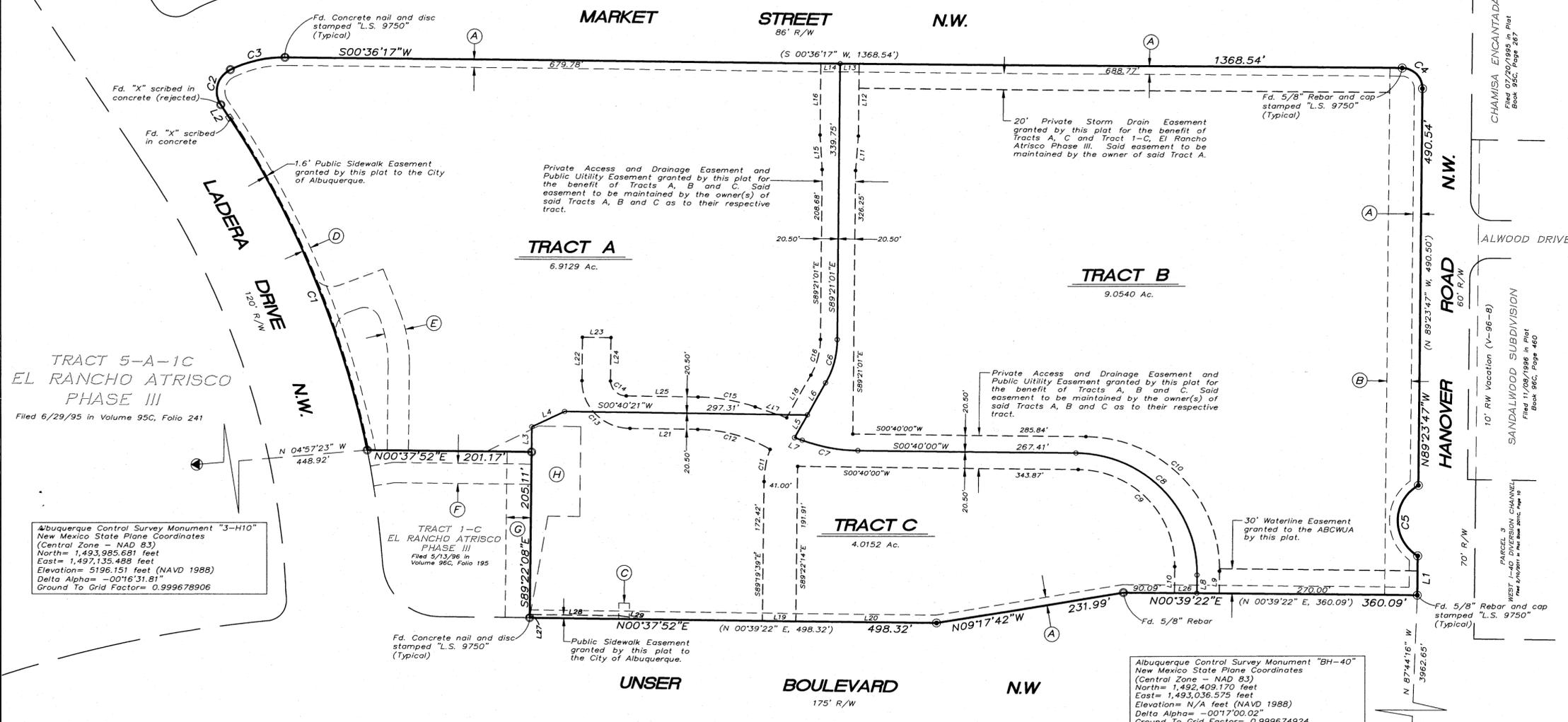
OCTOBER, 2014

DRAINAGE NOTE

A Private Blanket Drainage Easement over Tracts A and C, excluding any future buildings is hereby granted by this plat for the benefit of Tracts A, C and Tract 1-C, El Rancho Atrisco. Maintenance of said easement to be the responsibility of the owners of said tracts as to their respective tract.



TRACT 1-B-1
EL RANCHO ATRISCO
PHASE III
Filed 08/11/98 in Volume 98C, Folio 238



LINE	LENGTH	BEARING
L1	48.19	N89°23'47"W
L2	19.30	N56°42'44"E
L3	31.60	S88°22'08"E
L4	44.75	S25°52'31"E
L5	32.75	S61°05'32"E
L6	45.73	S61°05'32"E
L7	9.97	S19°12'47"W
L8	22.19	N89°20'38"W
L9	27.18	S89°20'46"E
L10	32.19	S89°20'42"E
L11	42.78	S85°19'44"E
L12	89.14	S89°21'01"E
L13	23.50	S00°36'17"W
L14	23.50	S00°36'17"W
L15	42.89	N86°38'20"E
L16	88.27	S89°21'01"E
L17	40.80	S19°12'47"W
L18	61.18	S61°05'32"E
L19	41.13	S00°37'52"W
L20	172.17	S00°37'52"W
L21	82.93	N00°40'21"E
L22	53.45	S89°23'02"E
L23	35.03	S00°36'17"W
L24	54.45	N89°23'43"W
L25	87.93	S00°40'21"W
L26	27.50	S00°39'22"W
L27	27.50	S00°39'22"W
L28	3.99	S89°22'08"E
L29	110.32	S00°38'15"W
L30	28.11	S08°45'25"W

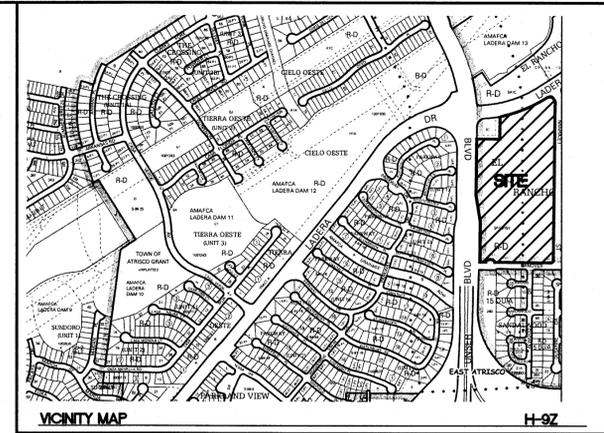
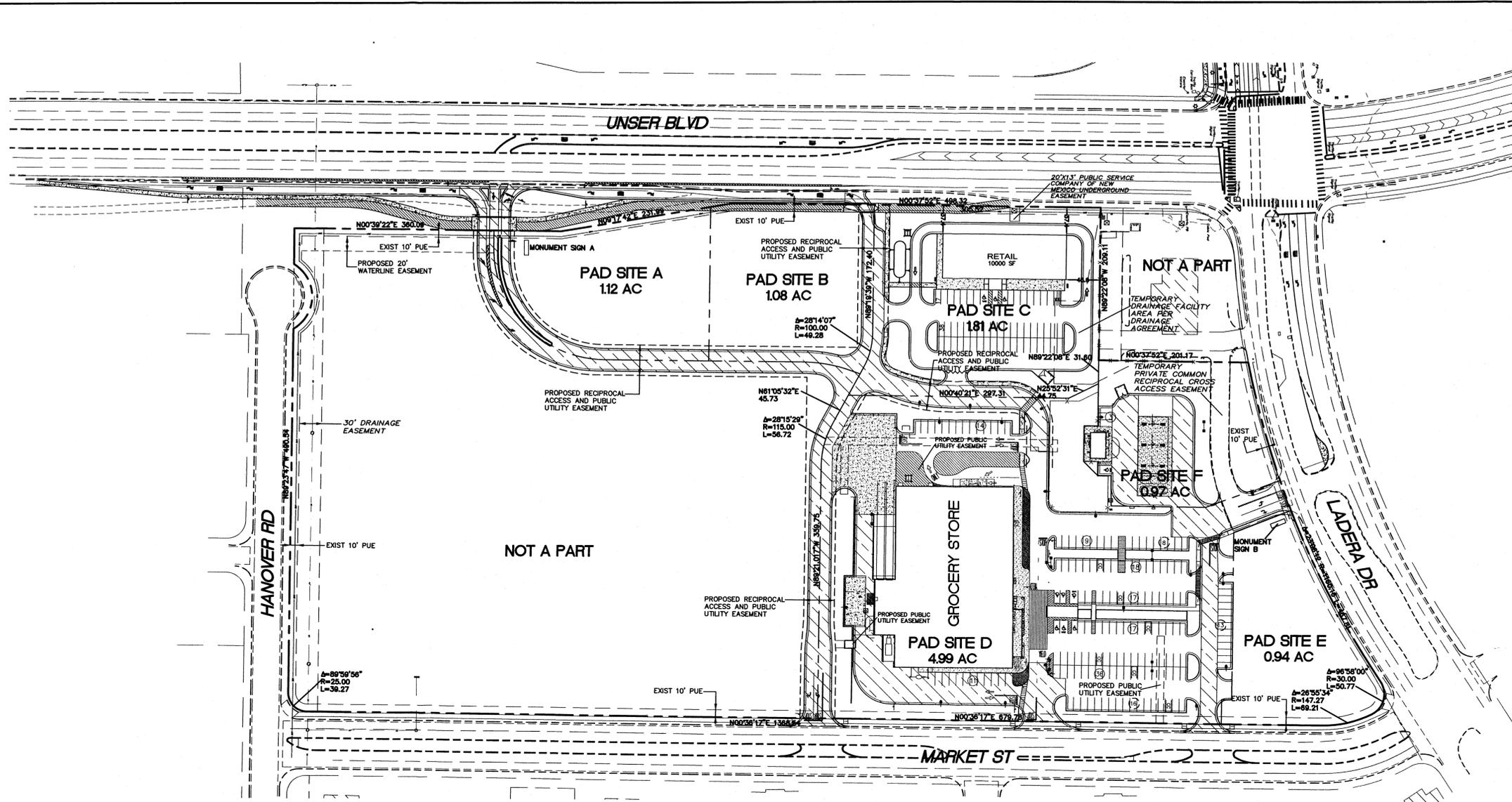
EXISTING EASEMENT LEGEND

- (A) Existing 10' Public Utility Easement per plat filed 05/13/96 in Plat Book 96C, Page 195.
- (B) Existing 30' Drainage Easement filed per plat 05/13/92 in Volume C19, Folio 143.
- (C) Existing 20'x13' Public Service Company of New Mexico Underground Easement filed 4-7-1997, in Book 97-9, page 5635, as Document No. 97034911.
- (D) Existing 10' Public Utility Easement filed 05/28/92 in Book BCR 92-12, Page 3074.
- (E) Existing Temporary Private Common Reciprocal Cross Access Easement per plat filed 5/13/96 in Volume 96C, Folio 195.
- (F) Existing 25' Private Common Reciprocal Cross Access Easement for the benefit of Tracts 1-A & 1-C to be maintained by Tract 1-C per plat filed 5/13/96 in Volume 96C, Folio 195.
- (G) Existing 30' Private Common Reciprocal Cross Access Easement for the benefit of Tracts 1-A & 1-C to be maintained by Tract 1-C per plat filed 5/13/96 in Volume 96C, Folio 195.
- (H) Existing Temporary Drainage Facility Area per Drainage Agreement filed 10-2-1996, in Book 96-26, page 8709, as Document 96109302.

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	447.77'	1160.00'	226.71'	445.00'	N67°45'29"E	22°07'01"
C2	50.77'	30.00'	33.89'	44.93'	N74°48'16"W	96°58'00"
C3	69.21'	147.27'	35.26'	68.57'	N12°51'29"W	26°55'34"
C4	39.27'	25.00'	25.00'	35.35'	N45°36'15"E	89°59'57"
C5	105.42'	51.09'	85.41'	87.69'	N89°23'47"W	118°13'42"
C6	56.72'	115.00'	28.95'	56.14'	S75°13'17"E	28°15'29"
C7	69.72'	200.00'	35.22'	69.37'	S10°39'15"W	19°58'28"
C8	235.61'	150.00'	149.99'	212.12'	N45°39'31"E	89°59'42"
C9	187.69'	119.50'	119.48'	168.98'	N45°39'41"E	89°59'21"
C10	259.94'	165.50'	165.47'	234.03'	N45°39'41"E	89°59'21"
C11	40.82'	120.50'	20.61'	40.62'	N79°37'26"W	19°24'26"
C12	92.97'	179.50'	47.55'	91.94'	N15°30'39"E	29°40'37"
C13	93.39'	59.50'	59.43'	84.10'	S45°38'19"W	89°55'56"
C14	29.60'	19.50'	18.50'	26.84'	S44°09'36"W	86°58'31"
C15	71.35'	220.50'	35.99'	71.04'	N09°56'34"E	18°32'26"
C16	46.61'	94.50'	23.79'	46.14'	S75°13'17"E	28°15'29"

SHEET 4 OF 4

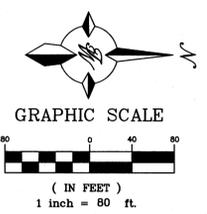
SURV TEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377



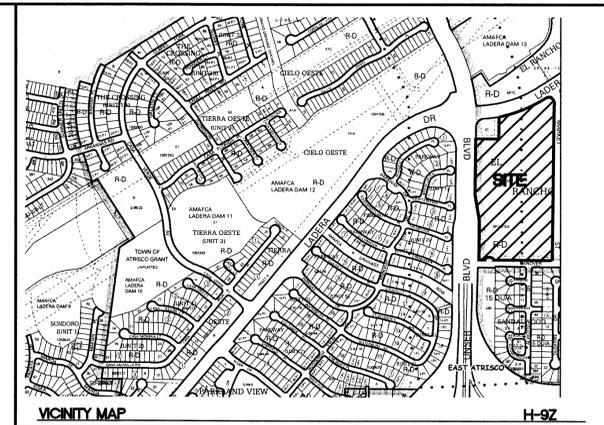
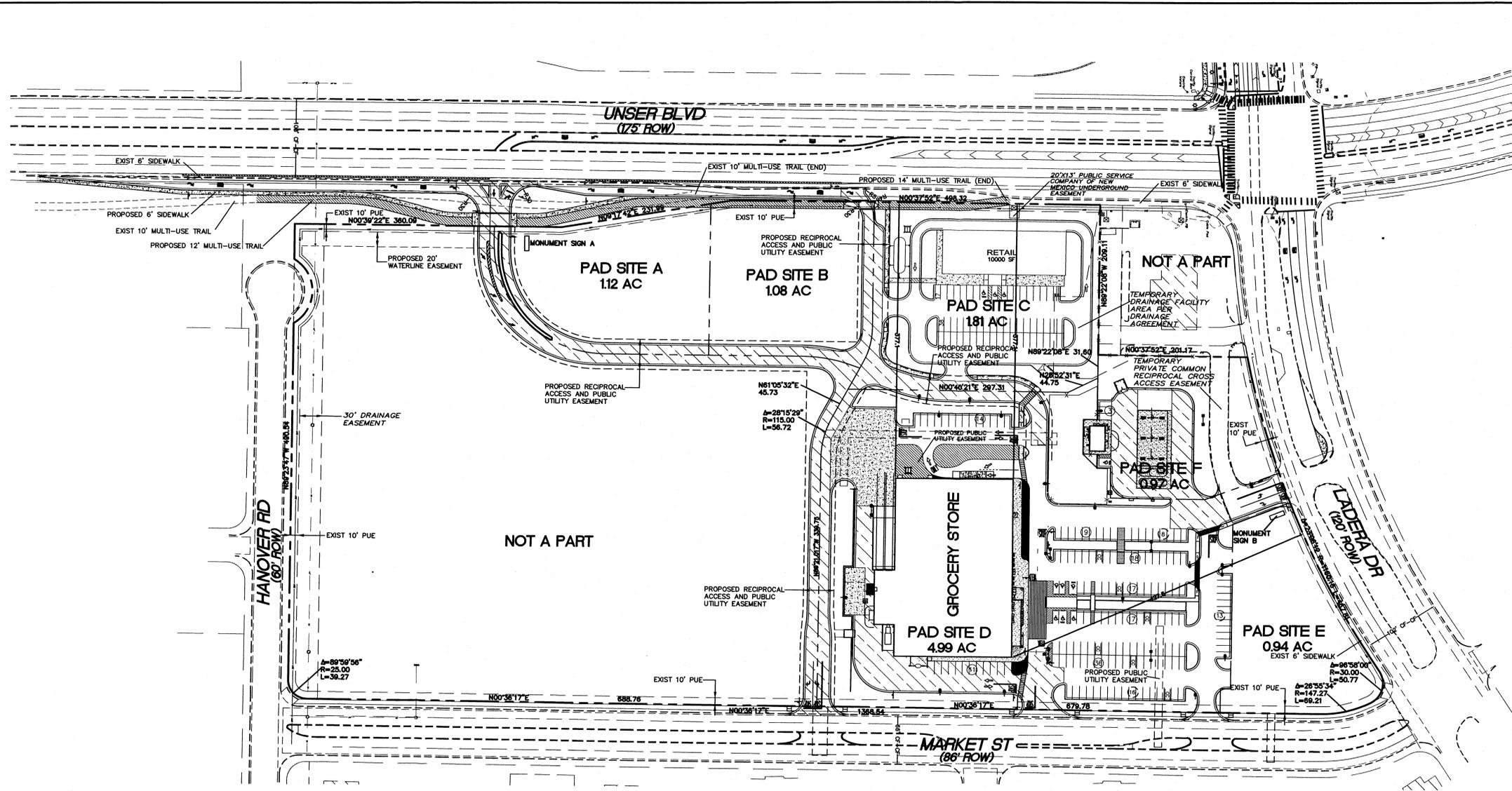
LEGAL DESCRIPTION
 A PORTION OF TRACT 1-A-1, EL RANCHO ATRISCO, PHASE III

LEGEND

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING CURB & GUTTER
	TRANSFORMER
	PROPOSED SCREEN WALL
	HEAVY DUTY CONCRETE PAVING
	HEAVY DUTY ASPHALT PAVING
	STANDARD DUTY ASPHALT PAVING
	ARCHITECTURAL APRON
	12' MULTIUSE TRAIL



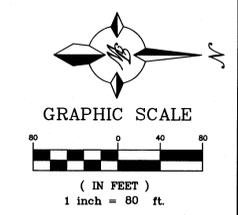
ENGINEER'S SEAL	HERITAGE MARKET PLACE ALBUQUERQUE, NM	DRAWN BY pm
	PAD C OVERALL SITE PLAN (FOR REFERENCE)	DATE 2-17-15
RONALD R. BOHANNAN P.E. #7868	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2014038-SP
		SHEET NO R-1
		JOB # 2014038



LEGAL DESCRIPTION
 A PORTION OF TRACT 1-A-1, EL RANCHO ATRISCO, PHASE III

LEGEND

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING CURB & GUTTER
	TRANSFORMER
	PROPOSED SCREEN WALL
	HEAVY DUTY CONCRETE PAVING
	HEAVY DUTY ASPHALT PAVING
	STANDARD DUTY ASPHALT PAVING
	ARCHITECTURAL APRON
	ASSOCIATE PARKING
	12' MULTIUSE TRAIL



ENGINEER'S SEAL	HERITAGE MARKET PLACE ALBUQUERQUE, NM	DRAWN BY pm
	PAD D OVERALL SITE PLAN (FOR REFERENCE)	DATE 2-17-15
RONALD R. BOHANNAN P.E. #7868	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2014038-SP
		SHEET NO R-1
		JOB # 2014038