

1003277

PROJECT NUMBER: **1003277**
Application Number: **04EPC00291 / 04DRR-00619**

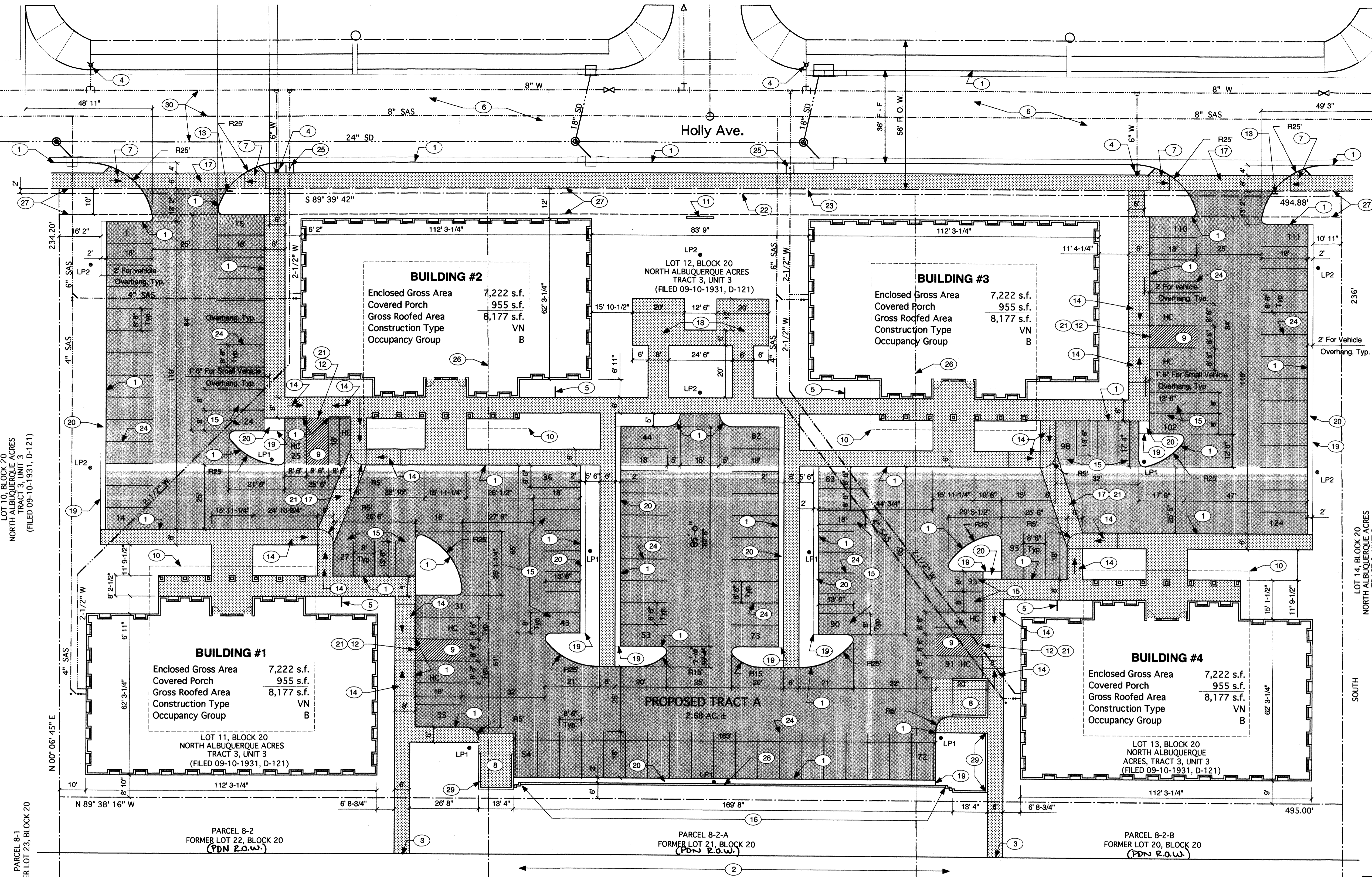
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated **April 15, 2004** and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:
FOR BUILDING PERMIT

<i>John A. ...</i> Traffic Engineering, Transportation Division	5-19-04 Date
<i>Roger A. ...</i> Utilities Development	5-19-04 Date
<i>Christina ...</i> Parks and Recreation Department	5/19/04 Date
<i>Brenda L. ...</i> City Engineer	5/19/04 Date
NA * Environmental Health Department (conditional)	Date
<i>Michael ...</i> Solid Waste Management	5-3-04 Date
<i>Susan ...</i> DRB Chairperson, Planning Department	5/19/04 Date

*Environmental Health, if necessary
12/18/03



CODE DATA

Lot Area:	115,830 s.f.
Gross Roofed Area:	32,708 s.f.
Gross Enclosed Area:	28,888 s.f.
Less 1/2 of Exterior Walls:	1,090 s.f.
	28,888 - 1,090 = 27,798 s.f.
Net Leasable Floor Area Ratio: 80% Enclosed Gross Area	
Net Leasable Floor Area:	27,798 s.f. x .8 = 22,238 s.f.
Parking Spaces Required:	1/200 s.f. of Net Leasable Floor Area
Parking Spaces Provided:	22,238/200 = 112 including 8 Handicapped.
Parking Spaces Provided:	
Regular Spaces 8.5' x 20'	90
Small Spaces 7.5' x 15'	26
Van Accessible Handicapped Spaces	8
Total Parking Spaces	124
Bicycle Parking Spaces Required:	1/20 Vehicle Parking Spaces
	112 / 20 = 6
Bicycle Parking Spaces Provided:	12

KEYED NOTES

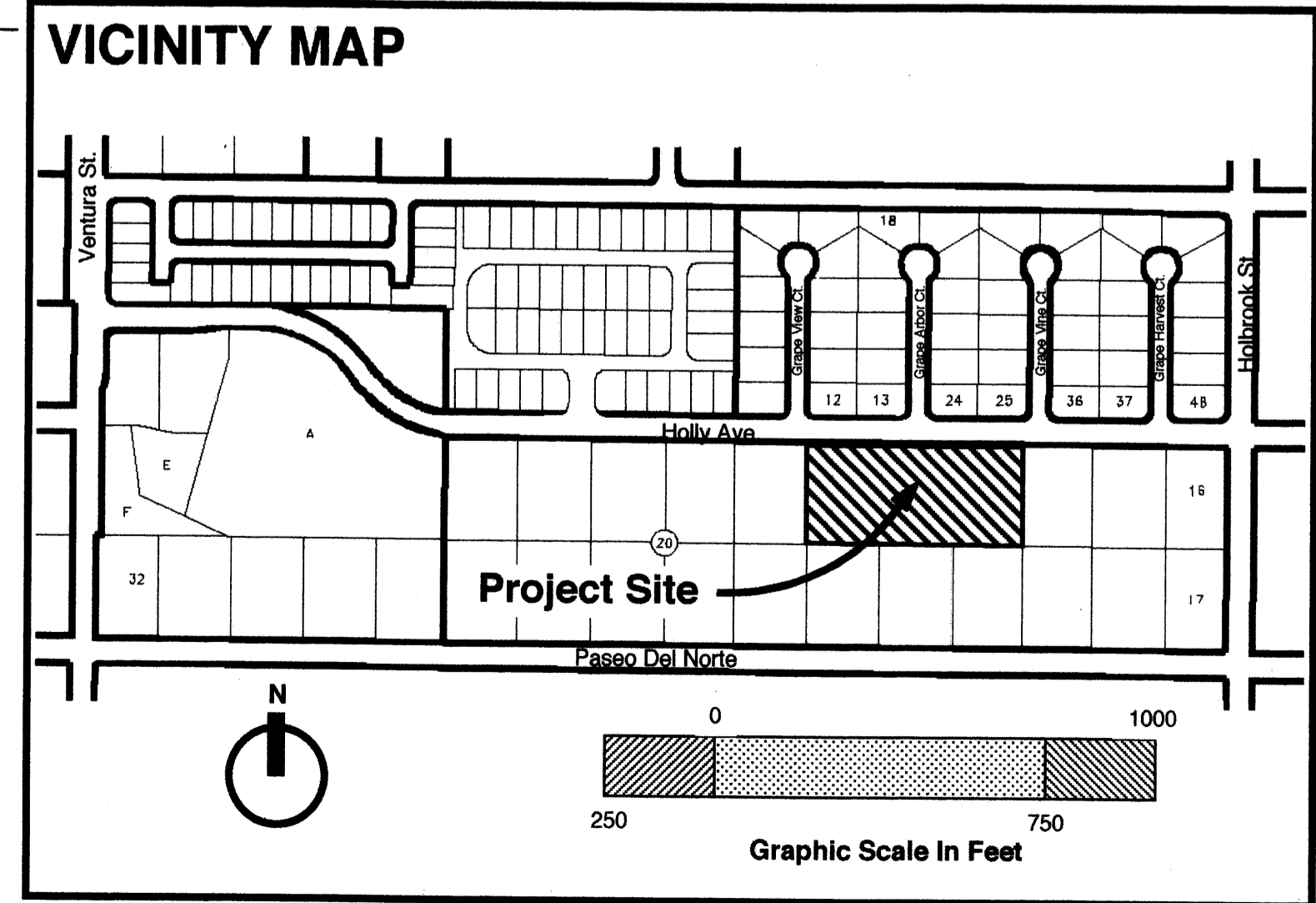
- 1 Concrete curb & gutter.
- 2 Existing asphalt paved Paseo Del Norte bicycle path.
- 3 Connect concrete walk to existing Paseo Del Norte bicycle path.
- 4 Fire Hydrant.
- 5 Bicycle rack (3 bikes), see detail 1/A-3.
- 6 Asphalt paved street.
- 7 Concrete curb ramp maximum 1:12 slope.
- 8 Trash bin enclosure, see detail 2/A-3.
- 9 Striped handicapped access aisle. Striping shall be yellow 2" wide traffic paint at 45° to aisle spaced at 12" o.c.
- 10 Roof overhang.
- 11 Site identification sign, see detail 3/A-3.
- 12 Steel post bollard.
- 13 Stop sign.
- 14 Slope down to meet elevation of asphalt pavement. Slope not to exceed 1:20. Cross slope shall not exceed 1:50.
- 15 Small car parking space.
- 16 Stucco covered CMU wall (3' tall).
- 17 Handicapped accessible pedestrian crosswalk.

NOTES

- 18 Public Plaza, see Landscape Plan.
- 19 Steel edging.
- 20 Pea gravel or crusher fines on weed barrier.
- 21 Flush surface of asphalt and concrete.
- 22 Existing North property line.
- 23 New North property line from forthcoming platting action.
- 24 2" wide yellow traffic paint line.
- 25 2" water service.
- 26 Property line to be eliminated by forthcoming platting action.
- 27 10' Public Utility Easement to be granted by forthcoming platting action.
- 28 Site identification sign on south face of stucco covered CMU wall, see detail 4/A-3.
- 29 Stucco covered CMU wall (5' tall).
- 30 Water, SAS and Storm Drain by CPN 718781.

LEGEND

- | | | | |
|-------|--|---------------|--|
| HC | Handicapped Parking Space | ---XX" SD--- | Storm Drain, size as indicated. |
| LP1 • | Pole Light (maximum 20' tall with semicutoff metal halide fixture, controlled by timer and/or photocell) complying with City Lighting Ordinance. | ---XX" SAS--- | Sanitary Sewer Line, size as indicated. |
| LP2 • | Pole Light (maximum 16' tall with cutoff metal halide fixture, controlled by timer and/or photocell) complying with City Lighting Ordinance. | ---XX" W--- | Water Line, size as indicated. |
| ▨ | Concrete Walk or Pad. No slope shall exceed 1:20. No cross slope shall exceed 1:50. | --- | Limit of 10' Public Utility Easement to be granted by forthcoming platting action. |
| ▨ | Asphalt pavement | | |
| --- | Property Line | | |
| → | Slope Direction Indicator. | | |



EDITH CHERRY / D. JAMES SEE ARCHITECTS
220 A GOLD AVE. SW. ALBUQUERQUE, NEW MEXICO, 87102 505 842 2728

Desert Ridge Office Park
Lots 11, 12 & 13, Block 20, Tract 3, Unit 3, North Albuquerque Acres
Albuquerque, New Mexico

TITLE OF SHEET	DATE	March 3, 2004
Site Plan	REVISION DATE	April 22, 2004
	SHEET	A-1 OF

KEYED NOTES (X)

1. Grade.
2. Three coat stucco, El Rey #118 Suede color coat.
3. Metal control joint, Keene #15 or equal.
4. Metal control joint with weep screed.
5. Insulated aluminum windows, bronze anodized finish with clear low E glazing.
6. Metal parapet cap. Paint to match stucco color coat.
7. HVAC Screen wall, El Rey #118 Suede color coat.
8. North elevation for Buildings 1 & 4, South elevation for Buildings 2 & 4.
9. South elevation for Buildings 1 & 4, North elevation for Buildings 2 & 4.
10. West elevation for Buildings 1 & 4, East Elevation for Buildings 2 & 4.
11. East elevation for Buildings 1 & 4, West elevation for Buildings 2 & 4.
12. Concrete tile roof, Life Tile #501 (Dark Brown) color.
13. Stucco coated column, El Rey #118 Suede color coat.
14. Stucco coated Beam, El Rey #118 Suede color coat.
15. Designated sign area.
16. Area for building address, 8" tall aluminum bronze anodized finish letters.
17. Metal fascia, match stucco color coat.
18. Hollow metal frame and door will safety glass light. Paint to match bronze anodized finish on window frames.

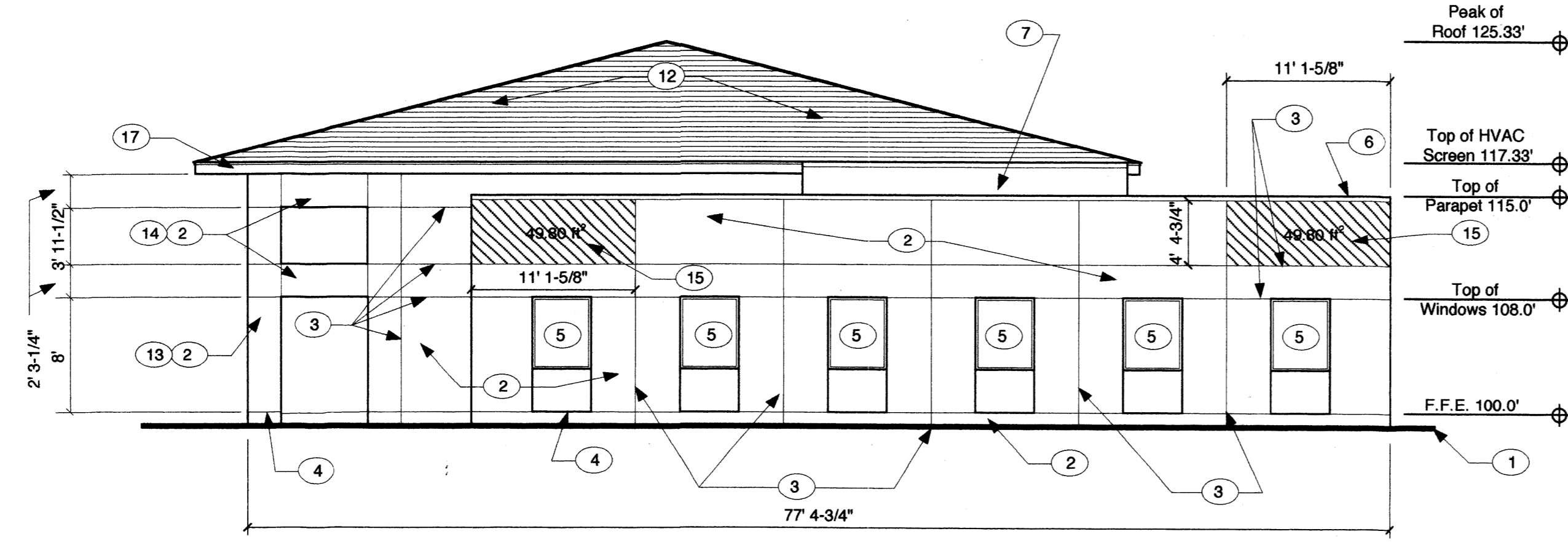
ARCHITECT

ENGINEER

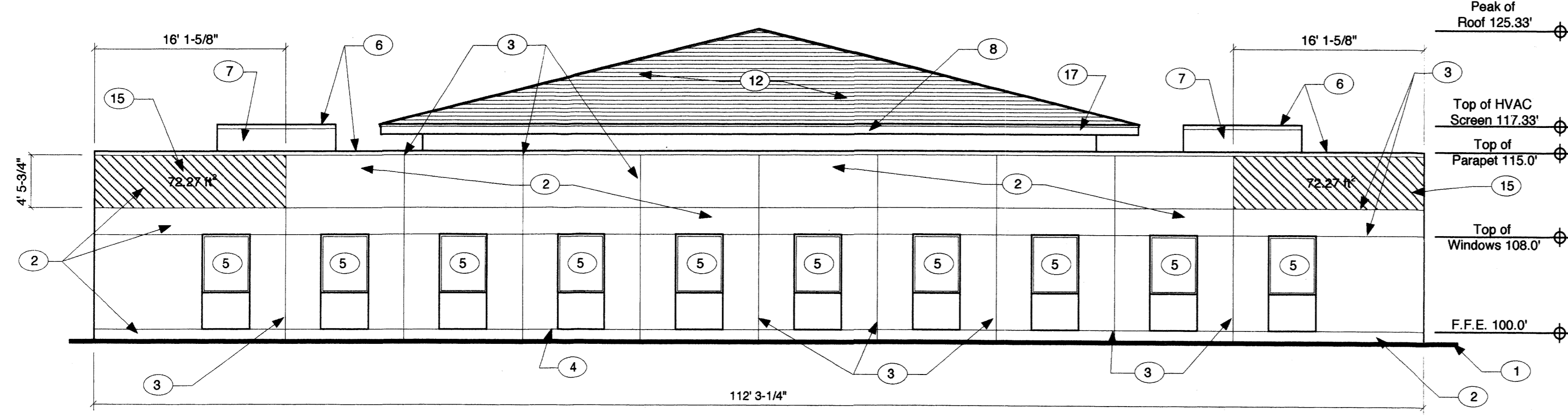
**Desert Ridge Office Park
Lots 11, 12 & 13, Block 20, Tract 3, Unit 3
Albuquerque, New Mexico**

EDITH CHERRY / D. JAMES SEE ARCHITECTS

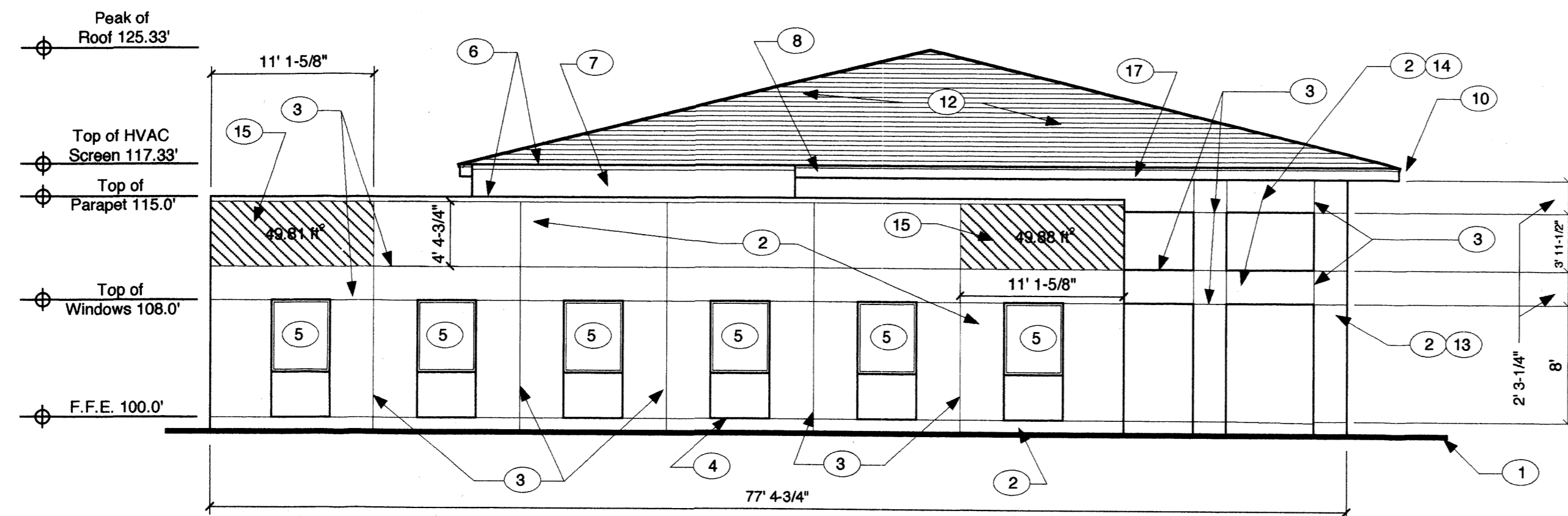
220 A GOLD AVE. SW. ALBUQUERQUE, NEW MEXICO, 87102 505 842 1278



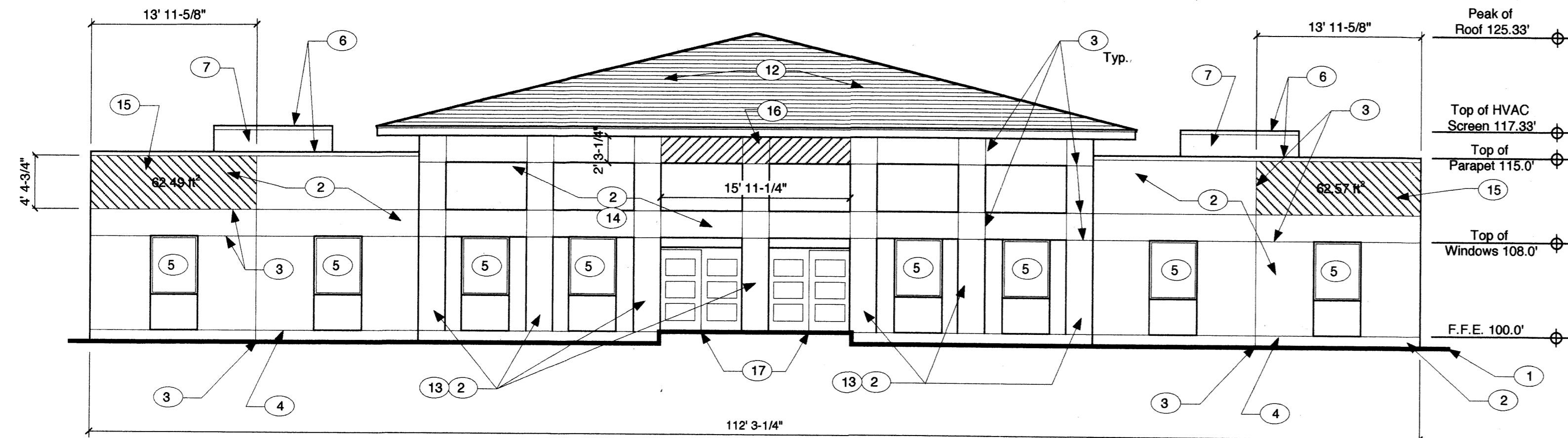
RIGHT ELEVATION 10
Scale 1/8" = 1' - 0"



REAR ELEVATION 9
Scale 1/8" = 1' - 0"



LEFT ELEVATION 11
Scale 1/8" = 1' - 0"



FRONT ELEVATION 8
Scale 1/8" = 1' - 0"



TITLE OF SHEET
Building Exterior Elevations

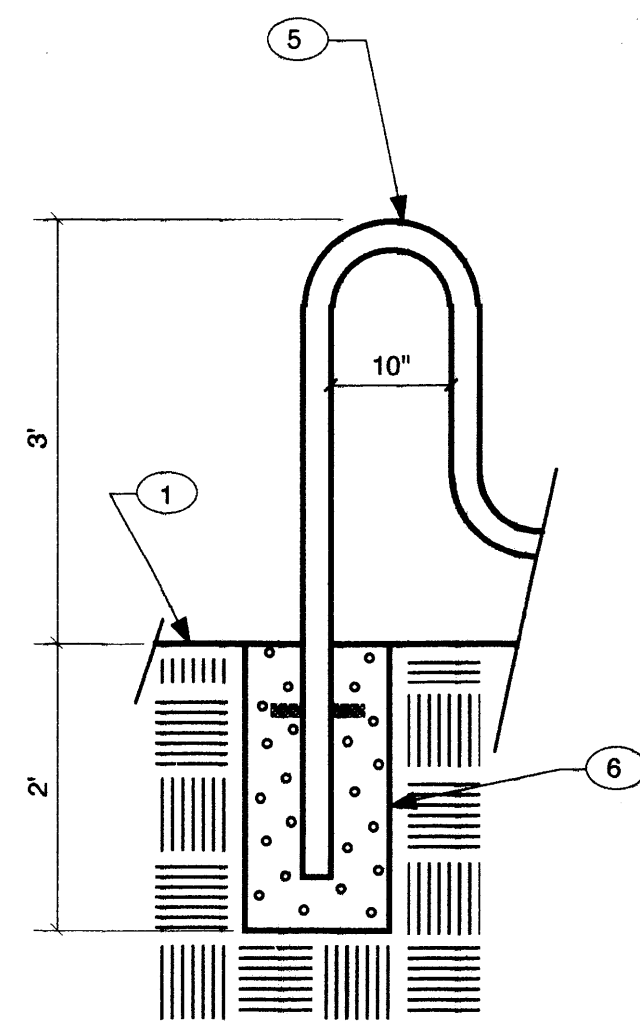
DATE
March 3, 2004

REVISION

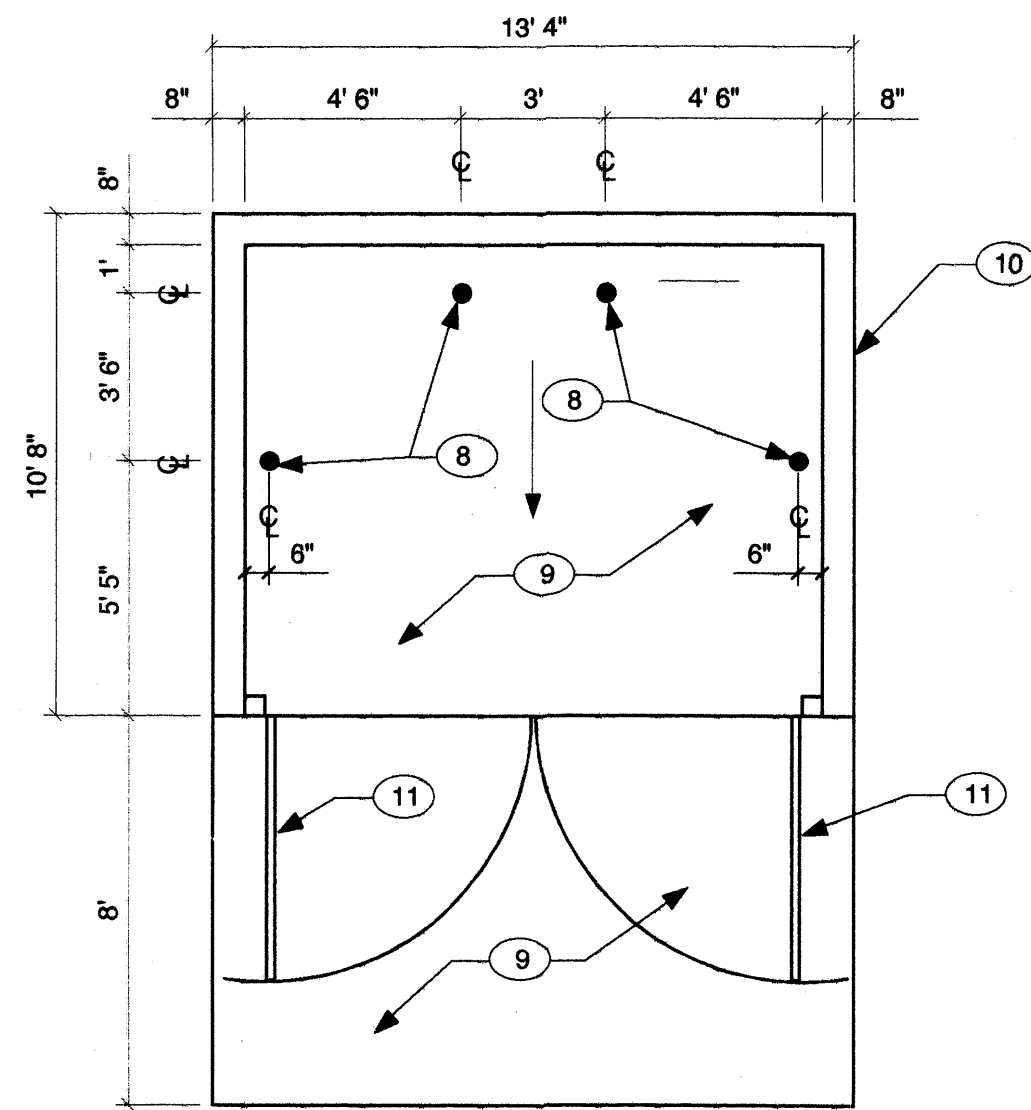
SHEET NUMBER

A-2

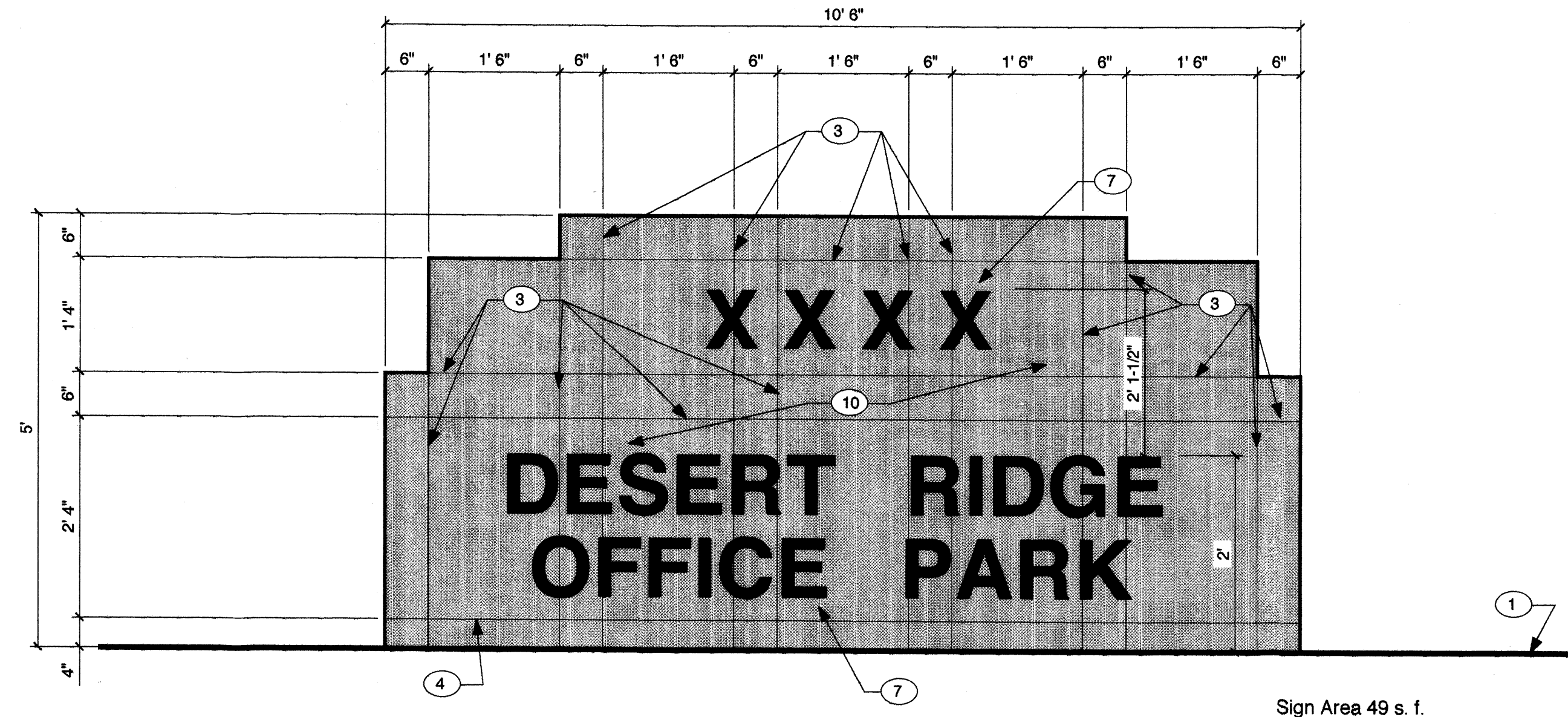
OF



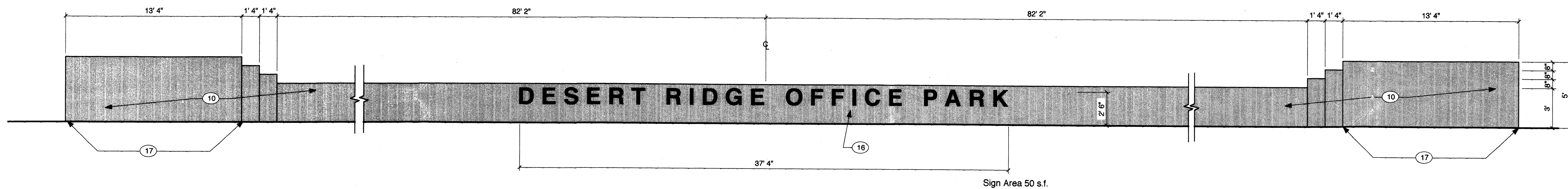
1 HAIRPIN BICYCLE RACK
A-3 3/4" = 1'-0"



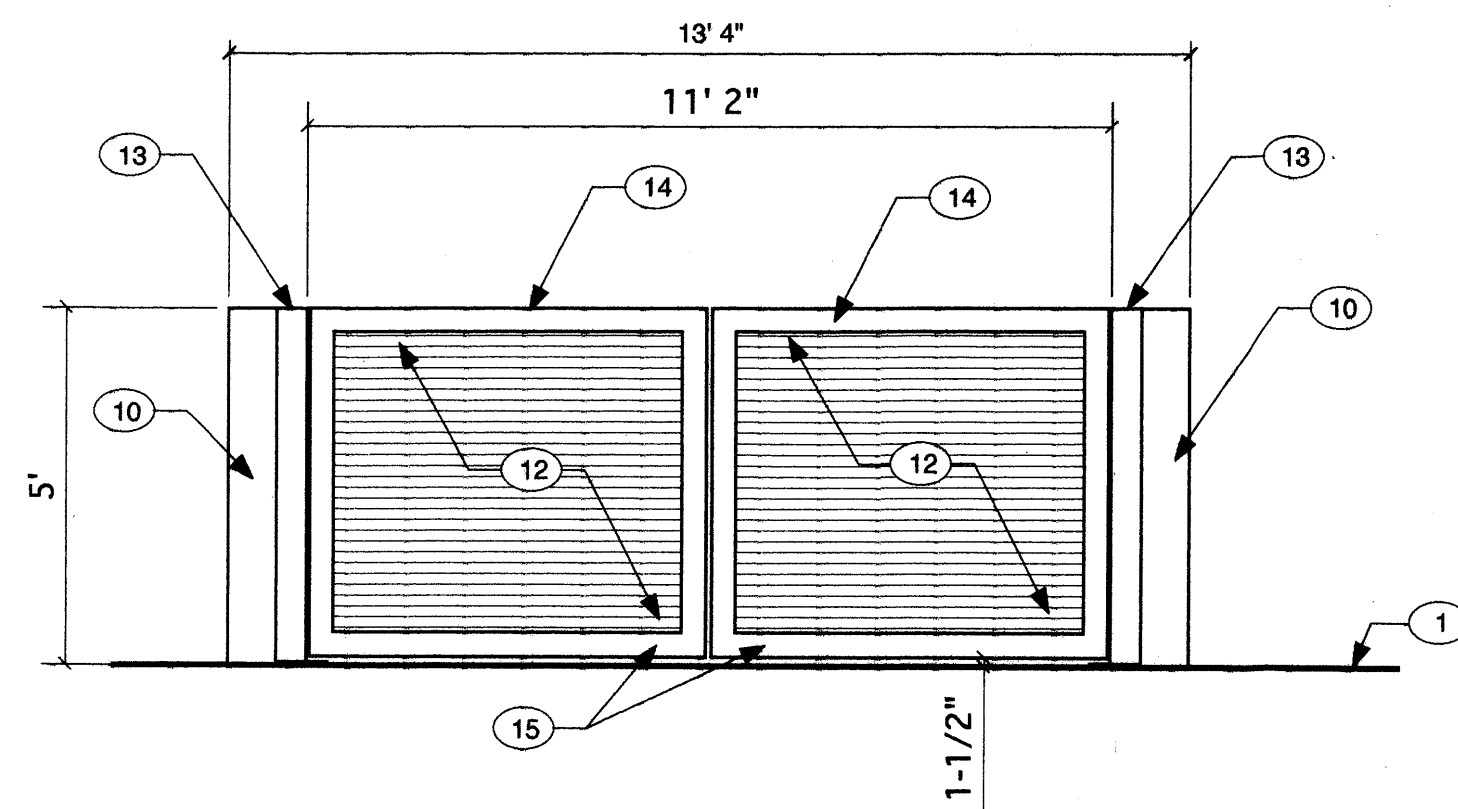
2 TRASH BIN ENCLOSURE PLAN
A-3 1/4" = 1'-0"



3 FREESTANDING SITE IDENTIFICATION SIGN ELEVATION
A-3 3/4" = 1'-0"



4 SOUTH WALL WITH SITE IDENTIFICATION SIGN ELEVATION
A-3 1/4" = 1'-0"



5 TRASH BIN ENCLOSURE GATE ELEVATION
A-3 3/8" = 1'-0"

NOTE

- Sign lighting will be by ground mounted full cut-off focused light fixtures complying with City Lighting Ordinance.

KEYED NOTES

- Grade.
- Three coat stucco, El Rey #118 Suede color coat.
- Metal control joint, Keene #15 or equal.
- Metal control joint with weep screed.
- Brandir "Ribbon Rack" model rb-5 (nom. 3' - 0"), 2-3/8" dia. ASTM sch. 40 galv. steel pipe. Paint to match bronze anodized finish of building windows.
- 12" dia. concrete (3,000 psi min.)
- Site Address and Identification, 8" tall bronze anodized aluminum letters, centered left to right.
- 4" o.d. concrete filled pipe bollard.
- Concrete pad, slope min. 1/8" per foot.
- Stucco covered CMU wall, El Rey #118 Suede color coat.
- Steel gate, see detail 5/A-3.
- Ametco Orsogrill infill panel 100% visual screening, powder coating, to match stucco finish coat.
- 5" X 5" X 3/16" steel tube jamb. Cap top with 3/16" steel plate continuous weld to tube. Weld 4 masonry jamb anchors to tube. Continuous weld tube to 1/2" thick base plate similar to base plate type 2 on sheet S-102 of Project Drawings. Anchor base plate to concrete slab with 4 1/2" dia. x 8" anchor bolts. Grind welds smooth and paint with a zinc rich paint, color to match stucco finish coat.
- 4" X 2" X 3/16" gate frame, miter and continuous weld corners, grind welds smooth, powder coating finish, to match stucco finish coat. Fabricated by Ametco. Provide locking slide bolt and 2 cane bolts, and hinges as recommended by Ametco.
- Install a Flockwood #477 door stop mounted on face of concrete curb opposite this point.
- Site Identification, 16" tall bronze anodized aluminum letters center left to right.
- Trash bin enclosure wall.

Desert Ridge Office Park
Lots 11, 12 & 13, Block 20, Tract 3, Unit 3
Albuquerque, New Mexico

ARCHITECT

ENGINEER

EDITH CHERRY / D. JAMES SEE ARCHITECTS

220 A GOLD AVE. SW. ALBUQUERQUE, NEW MEXICO, 87102 505 842 1278

TITLE OF SHEET
Details

DATE
March 3, 2004

REVISION
April 30, 2004

SHEET NUMBER

A-3

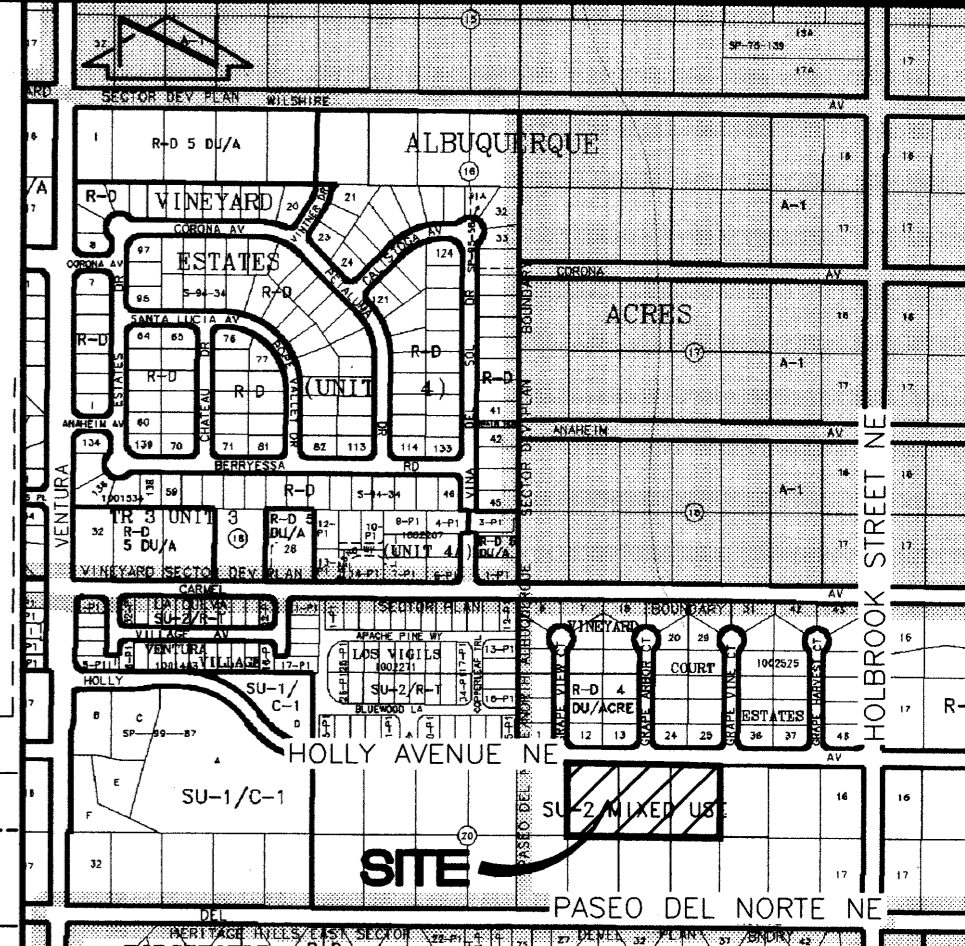
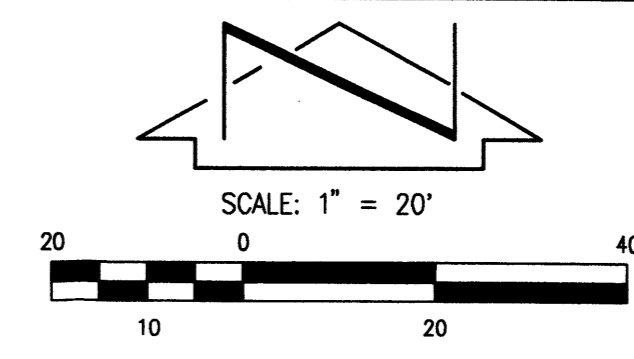
OF

GENERAL NOTE:

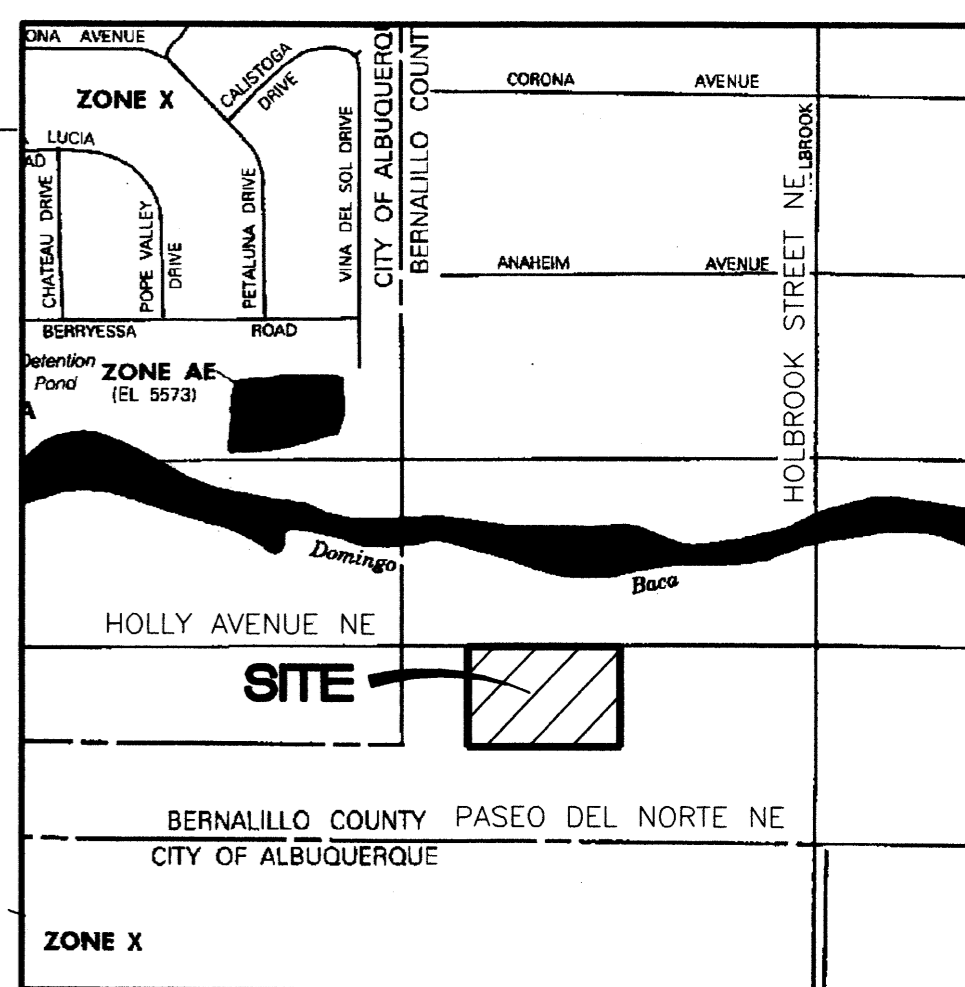
- THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. PROPERTY LINE INFORMATION IS TAKEN FROM RECORD INFORMATION. TOPOGRAPHY SHOWN HEREON IS FROM THE "HYDROLOGY REPORT, NORTH ALBUQUERQUE ACRES/SANDIA HEIGHTS SOUTH DRAINAGE STUDY, PHASES I AND II," PREPARED FOR BERNALILLO COUNTY BY RESOURCE TECHNOLOGY, INC, NOVEMBER 1998. AN ACTUAL SITE SPECIFIC BOUNDARY AND TOPOGRAPHIC SURVEY WILL BE CONDUCTED FOR USE IN PREPARING ALL FINAL PLATTING AND DESIGN WORK.
- PUBLIC INFRASTRUCTURE SHOWN HEREON TO BE CONSTRUCTED BY CHANGE ORDER TO CITY PROJECT 718781. (CURRENTLY UNDER CONSTRUCTION)

KEYED NOTES

- VACATED PUBLIC RIGHT-OF-WAY
- SOUTH 2' OF HOLLY AVENUE N.E. TO BE VACATED
 - 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY FORTHCOMING PLATTING ACTION



VICINITY MAP
SCALE: 1" = 750'

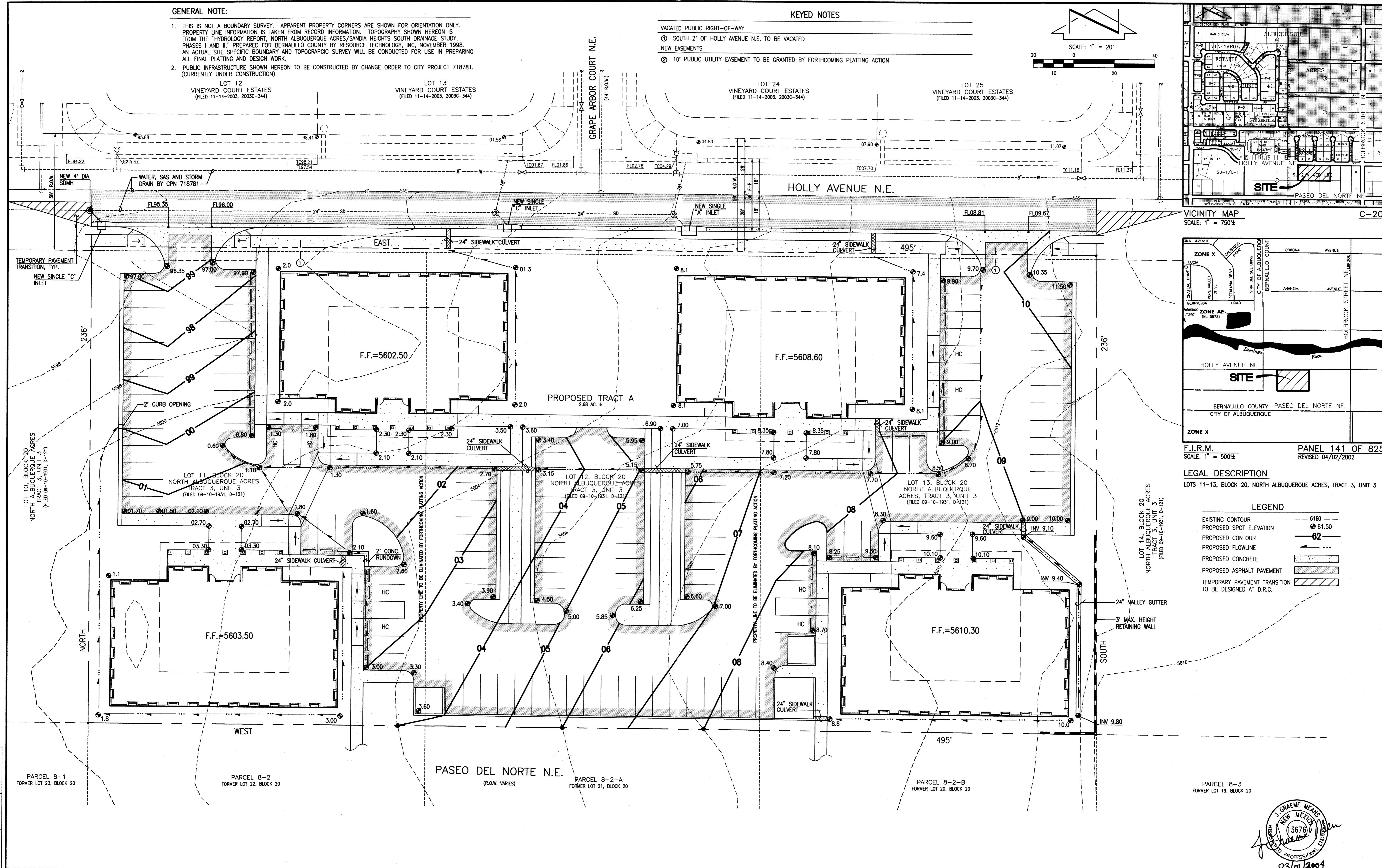


F.I.R.M.
SCALE: 1" = 500'
PANEL 141 OF 825
REVISED 04/02/2002

LEGAL DESCRIPTION
LOTS 11-13, BLOCK 20, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3.

LEGEND

EXISTING CONTOUR	--- 6180
PROPOSED SPOT ELEVATION	● 61.50
PROPOSED CONTOUR	— 62
PROPOSED FLOWLINE	—
PROPOSED CONCRETE	▨
PROPOSED ASPHALT PAVEMENT	▨
TEMPORARY PAVEMENT TRANSITION TO BE DESIGNED AT D.R.C.	▨



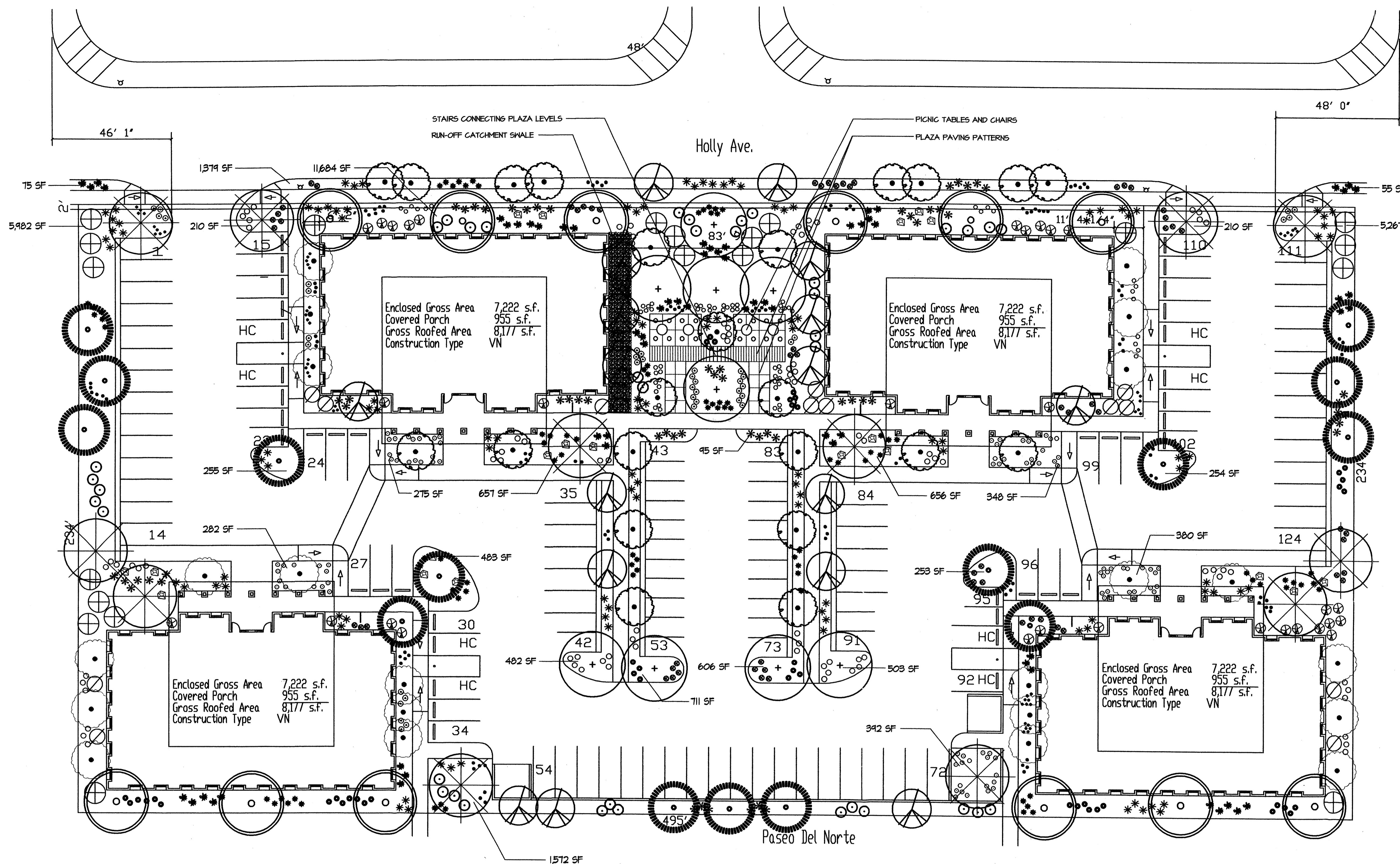
File Path: E:\WORK\2004\03-01-2004
Plot Name: 40021GDC.DWG
Plot Date: 03-01-2004
Plot Time: 07:48 am

Jma JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK, BLVD. N.E.
ALBUQUERQUE, N.M. 87109
ENGINEERS & SURVEYORS (CSD) 345-4250
FAX: 505-345-4254 ESTABLISHED 1977

**CONCEPTUAL GRADING PLAN
DESERT RIDGE OFFICE PARK**

DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2004.002.1
DRAWN BY	S.G.H.					DATE	02-2004
APPROVED BY	G.M.					SHEET	G.1





PLANT LEGEND					
Qty	Symbol	Scientific Name Common Name	Size	Remarks	Water Use
12		<i>Fraxinus oxycarpa</i> 'Raywood' Raywood Ash (female)	2" B#B	35' ht. x 30' spr.	Medium +
9		<i>Crataegus phaenopyrum</i> Washington Hawthorn	2" B#B	25' ht. x 25' spr.	High
12		<i>Robinia ambigua</i> 'Purple Robe' Purple Robe Locust	2" B#B	35' ht. x 25' spr.	Medium
15		<i>Ulmus parviflora</i> Chinese Lacebark Elm	2" B#B	30' ht. x 20' spr.	Medium
23		<i>Pyrus cerasifera</i> Purpleleaf Plum	2" B#B	20' ht. x 15' spr.	High
17		<i>Vitex agnus-castus</i> Chaste Tree	15-Gal	15' ht. x 15' spr.	Medium
22		<i>Forestiera neomexicana</i> New Mexico Olive	15-Gal	15' ht. x 15' spr.	Medium
20		<i>Elaeagnus pungens</i> SilverBerry	5-Gal	10' o.c. 8' ht. x 8' spr.	Medium
15		<i>Philadelphus coronatus</i> Sweet Mock Orange	5-Gal	8' o.c. 6' ht. x 6' spr.	Low
30		<i>Fendlera rupicola</i> Cliff Fendlerbush	5-Gal	6' o.c. 6' ht. x 4' spr.	Low
42		<i>Buddleia davidii</i> 'Nanhoensis' Dwarf Butterfly Bush	5-Gal	5' o.c. 4' ht. x 4' spr.	Medium
110		<i>Rosmarinus officinalis</i> Rosemary	1-Gal	3' o.c. 3' ht. x 1' spr.	Low
64		<i>Psoralea scoparius</i> Broom Dalea	1-Gal	4' o.c. 2' ht. x 3' spr.	Low
62		<i>Lavandula angustifolia</i> English Lavender	1-Gal	3' o.c. 2' ht. x 2' spr.	Medium
45		<i>Geratoides lanata</i> Winterfat (female + 1 male)	1-Gal	3' o.c. 2' ht. x 2' spr.	Low
61		<i>Muhlenbergia capillaris</i> Muhly Grass	1-Gal	3' o.c. 3' ht. x 2' spr.	Medium
114		<i>Helictotrichon sempervirens</i> Blue Avena	1-Gal	3' o.c. 3' ht. x 2' spr.	Medium
87		<i>Stipa tenuissima</i> Threadgrass	1-Gal	3' o.c. 2' ht. x 2' spr.	Low +
53		<i>Penstemon fendleri</i> Fendler Penstemon	1-Gal	3' o.c. 2' ht. x 2' spr.	Low +
53		<i>Veronica incana</i> Silver Speedwell	1-Gal	18" ht. x 1' spr.	Medium
36		<i>Phlox tenuifolia</i> Desert Phlox	1-Gal	3' o.c. 2' ht. x 2' spr.	Medium
44		<i>Hemerocallis hybrids</i> Daylily	1-Gal	3' o.c. 3' ht. x 2' spr.	Medium +
40		<i>Vinca minor</i> Periwinkle	1-Gal	6" ht. x 1' spr.	Medium +
67		<i>Geratostigma plumbagihoides</i> Dwarf Plumbago	1-Gal	6" ht. x 1' spr.	Medium
20		Rock Boulders	3' Min. Dia.		

MULCHES
All shrub planting areas shall be top dressed with crusher fines, 3/4" Navajo White Rock Mulch, 2" - 4" Santa Ana Tan Cobble

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate trees, shrub and groundcover planting areas.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.

LANDSCAPE REQUIREMENTS	
Site Area: 2.8 acres	121,879 SF
Building Footprint:	32,708 SF
Total Area:	89,171 SF
Required Landscape %:	15
Landscape Area Required:	13,376 SF
Landscape Area Provided:	(31%) 33,266 SF

Scale 1"=20'

CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
924 Park Avenue SW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

JMA - 2004.003.1