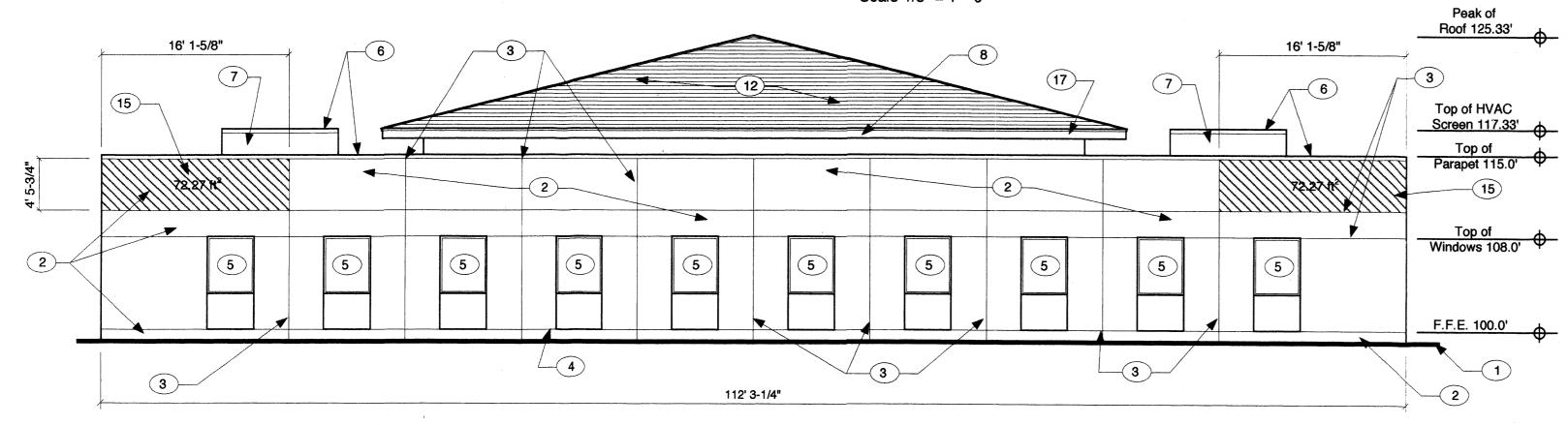
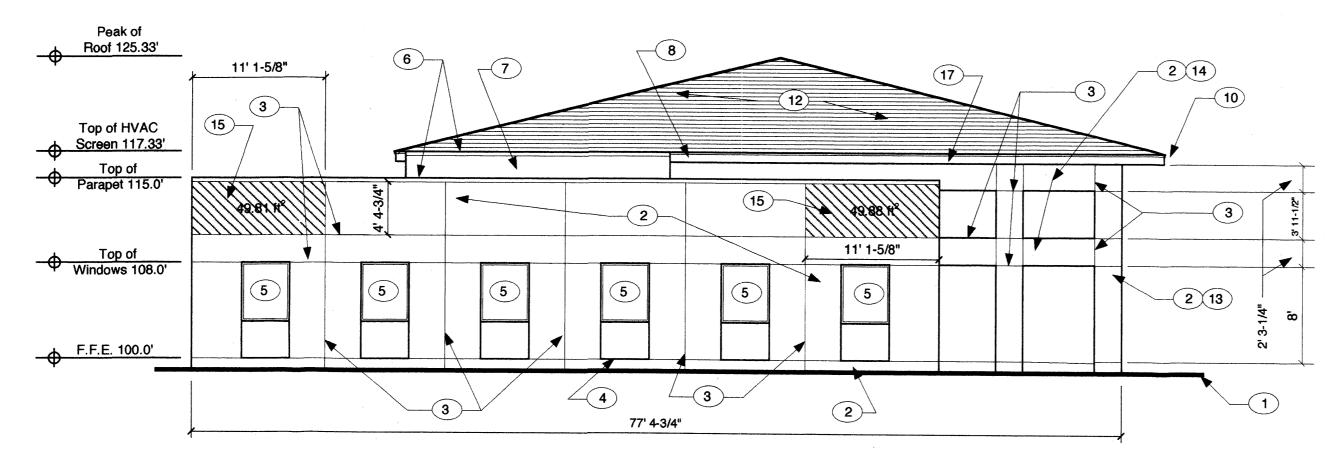


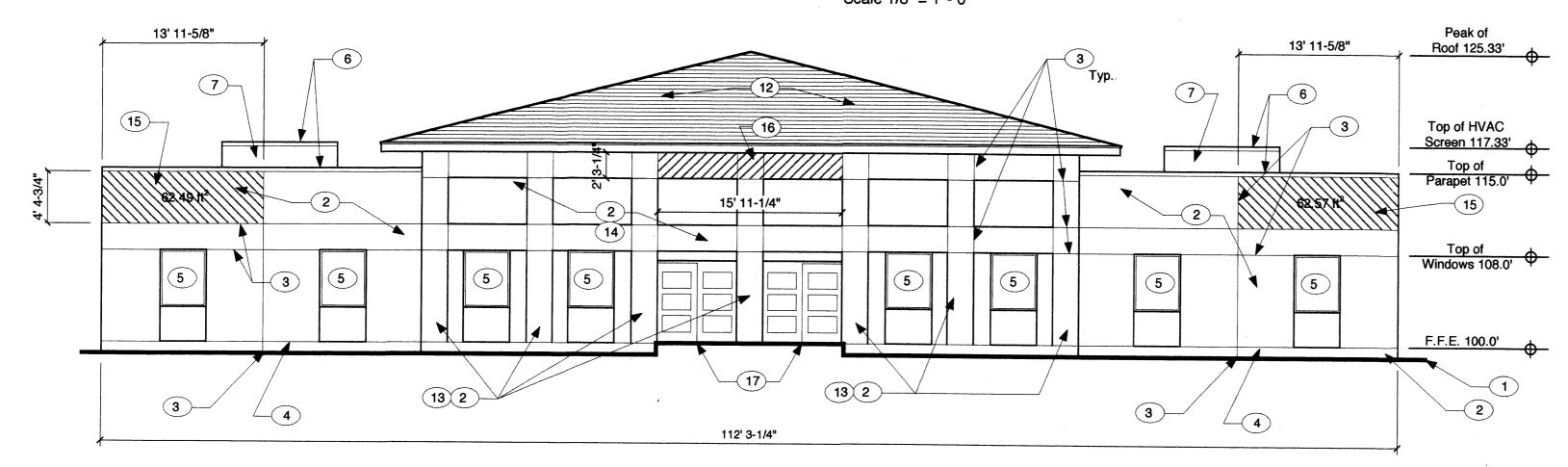
## RIGHT ELEVATION (19) Scale 1/8" = 1' - 0"



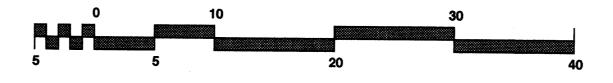
## **REAR ELEVATION** 9 Scale 1/8" = 1' - 0"



# LEFT ELEVATION Scale 1/8" = 1' - 0"



FRONT ELEVATION
Scale 1/8" = 1' - 0"



**KEYED NOTES** 

- 1. Grade.
- 2. Three coat stucco, El Rey #118 Suede color coat. 3. Metal control joint, Keene #15 or equal.

X

- 4. Metal control joint with weep screed.
- 5. Insulated aluminum windows, bronze anodized
- finish with clear low E glazing.
- Metal parapet cap. Paint to match stucco color coat.
  HVAC Screen wall, El Rey #118 Suede color coat.
- 8. North elevation for Buildings 1 & 4, South elevation for
- Buildings 2 & 4.

  9. South elevation for Buildings 1 & 4, North elevation for Buildings 2 & 4.

  10. West elevation for Buildings 1 & 4, East Elevation for Buildings 1 & 4, Ea
- Buildings 2 & 4.

  11. East elevation for Buildings 1 & 4, West elevation for
- Buildings 2 & 4.

  12. Concrete tile roof, Life Tile #501 (Dark Brown) color.

  13. Stucco coated column, El Rey #118 Suede color coat.
- 14. Stucco coated Beam, El Rey #118 Suede color coat.
- 15. Designated sign area.16. Area for building address, 8" tall aluminum bronze
- anodized finish letters.
- 17. Metal facia, match stucco color coat.
- 18. Hollow metal frame and door will safety glass light. Paint to match bronze anodized finish on window frames.

**ARCHITECT** 

**ENGINEER** 

**ARCHITE** JAMES Ö. CHERRY

**EDITH** 

Desert Ridge Office Park , 12 & 13, Block 20, Tract 3, Albuquerque, New Mexico

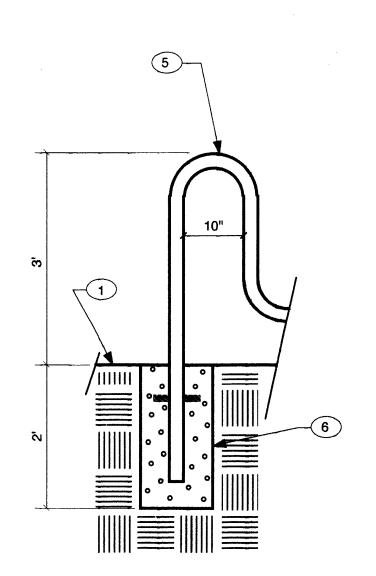
TITLE OF SHEET Building Exterior Elevations

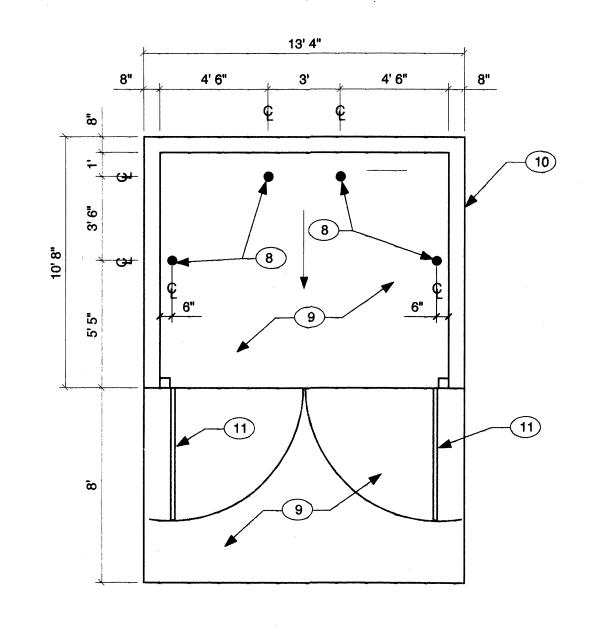
DATE March 3, 2004

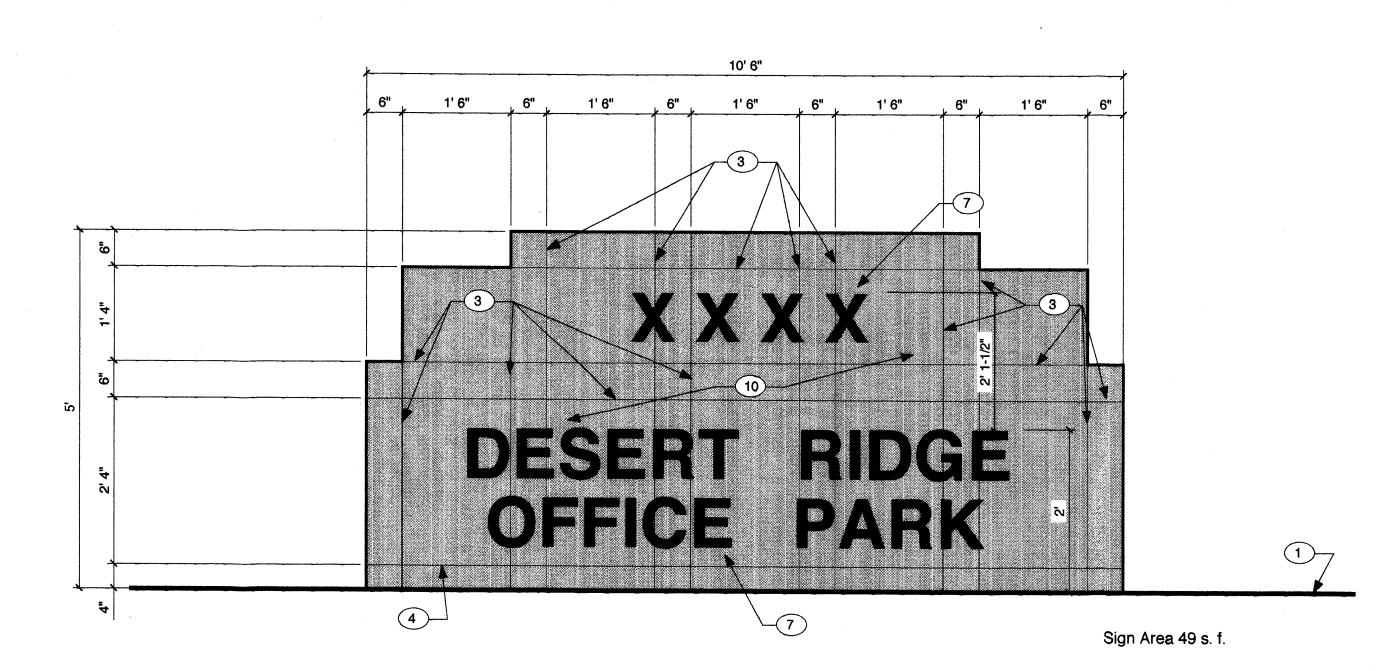
**REVISION** 

SHEET NUMBER **A-2** 

OF



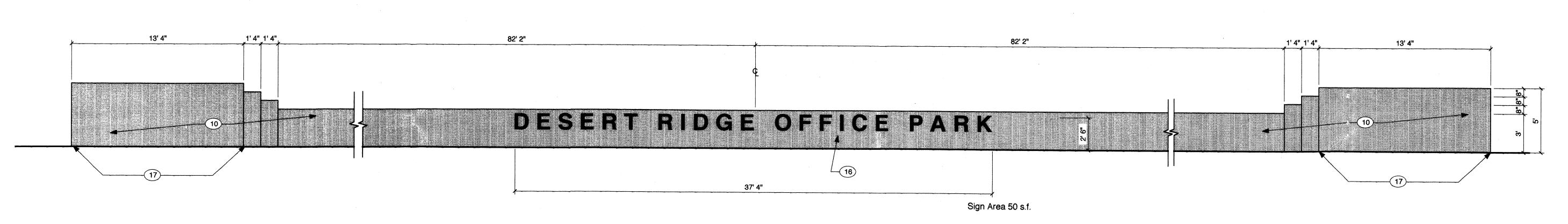




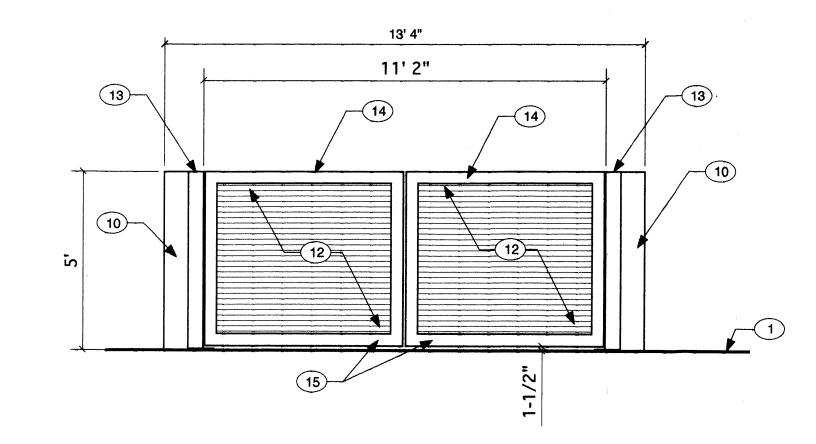
HAIRPIN BICYCLE RACK

TRASH BIN ENCLOSURE PLAN

FREESTANDING SITE IDENTIFICATION SIGN ELEVATION



SOUTH WALL WITH SITE IDENTIFICATION SIGN ELEVATION



NOTE

1. Sign lighting will be by ground mounted full cut-off focused light fixtures complying with City Lighting Ordinance.

**KEYED NOTES** 

 Three coat stucco, El Rey #118 Suede color coat.
 Metal control joint, Keene #15 or equal. 4. Metal control joint with weep screed.

5. Brandir "Ribbon Rack" model rb-5 (nom. 3' - 0"), 2-3/8" dia. ASTM sch. 40 galv, steel pipe. Paint to match bonze anodized finish of building windows.

6. 12" dia. concrete (3,000 psi min.) 7. Site Address and identification, 8" tall bronze anodized aluminum

letters, centered left to right. 8. 4" o.d. concrete filled pipe bollard.

9. Concrete pad, slope min. 1/8" per foot. 10. Stucco covered CMU wall, El Rey #118 Suede color coat.

11. Steel gate, see detail 5/A-3.

12. Ametco Orsogril infill panel 100% visual screening, powder coating, to match stucco finish coat. 13. 5" X 5" X 3/16" steel tube jamb. Cap top with 3/16" steel plate

continuous weld to tube. Weld 4 masonry jamb anchors to tube. Continuous weld tube to 1/2" thick base plate similar to base plate type 2 on sheet S-102 of Project Drawings. Anchor base plate to concrete slab with 4 1/2" dia. x 8" anchor bolts. Grind wellds smooth and paint with a zinc rich paint, color to match stucco finish coat.

14. 4" X 2" X 3/16" gate frame, miter and continuous weld corners, grind welds smooth, powder coating finish, to match stucco finish coat. Fabricated by Ametco. Provide locking slide bolt and 2 cane bolts, and hinges as recommended by Ametco.

15. Install a Rockwood #477 door stop mounted on face of concrete curb opposite this point.

16. Site Identification, 16" tall bronze anodized aluminum letters center

left to right.

17. Trash bin enclosure wall.

**ARCHITECT** 

**ENGINEER** 

Desert , 12 & 1 Albuqu

RR

ED!

TITLE OF SHEET **Details** 

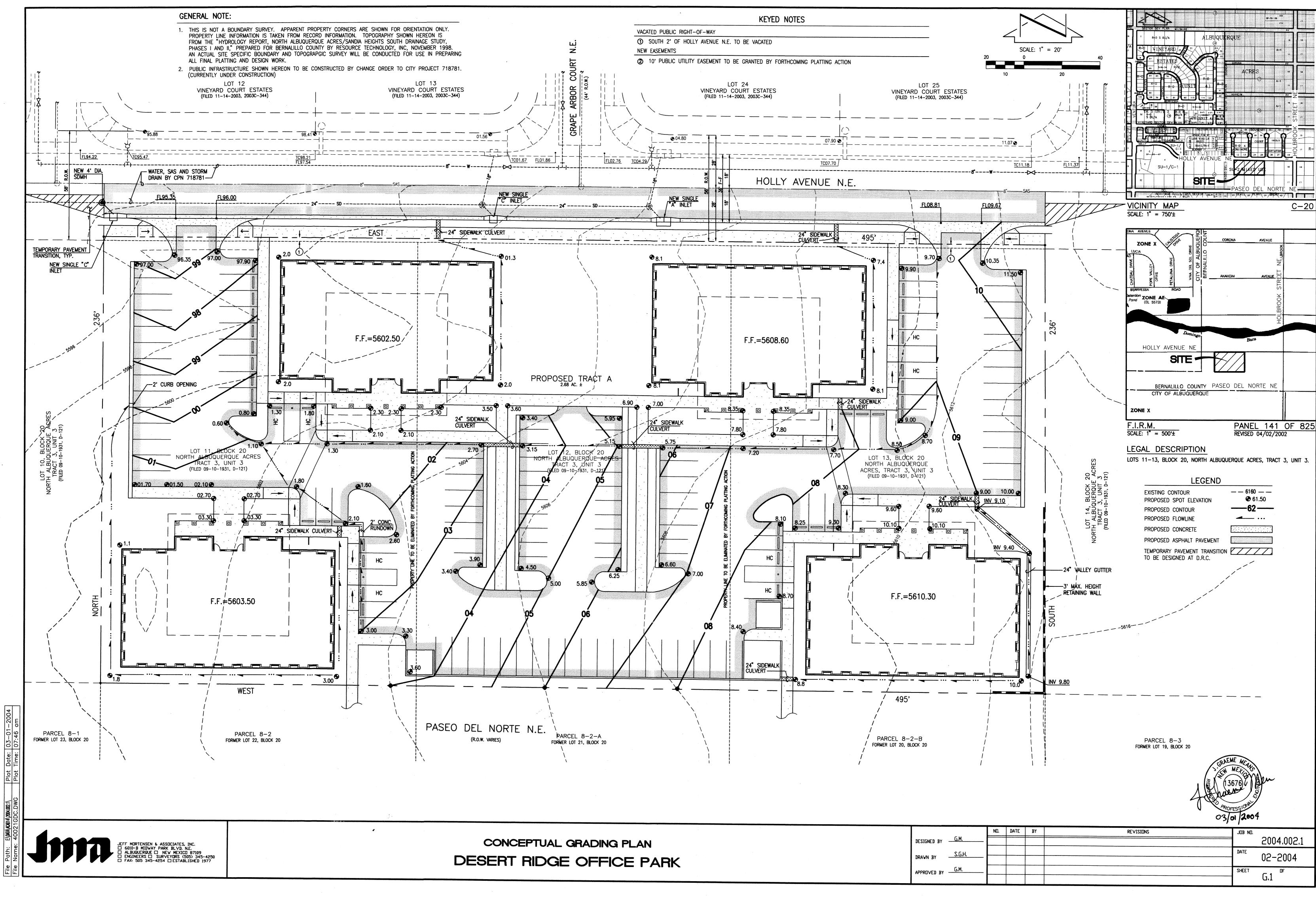
DATE March 3, 2004

**REVISION** April 30, 2004 SHEET NUMBER

**A-3** 

OF

TRASH BIN ENCLOSER GATE ELEVATION



AS SHOWN BY VICINITY MAP C-20 LOCATED HEREON, THE SITE IS LOCATED IN THE NORTH ALBUQUERQUE ACRES SECTION OF ALBUQUERQUE, ON HOLLY AVE NE BETWEEN VENTURA ST. N.E. AND HOLBROOK STREET N.E. THE SITE FURTHERMORE LIES WITHIN CITY PROPERTY RECENTLY ANNEXED INTO THE LA CUEVA SECTOR PLAN AREA OF THE CITY. THE EXISTING LEGAL DESCRIPTION IS LOTS 11-13, BLOCK 20, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES. THE SITE IS ZONED SU-2/MIXED USE AND THE PROPOSED OFFICE DEVELOPMENT IS CONSISTENT WITH THE ZONING AS SHOWN BY PANEL 141 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996, THE MAJORITY OF THIS SITE LIES APPROXIMATELY 200 FEET SOUTH OF A

MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996, THE MAJORITY OF THIS SITE LIES APPROXIMATELY 200 FEET SOUTH OF A DESIGNATED FLOOD HAZARD ZONE (AO DEPTH 1) ASSOCIATED WITH THE MAIN CHANNEL OF THE NORTH DOMINGO BACA ARROYO (NDBA). A LOMR SUBMITTAL, PREPARED BY THIS OFFICE AND APPROVED BY THE CITY AND FORWARDED TO FEMA, WILL OFFICIALLY ELIMINATE THIS FLOOD HAZARD ZONE.

#### III. BACKGROUND DOCUMENTS

THE FOLLOWING IS A LIST OF DOCUMENTS RELATED TO THE SITE AND SURROUNDING AREA. THIS LIST MAY NOT BE INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF RELEVANT PLANS AND DOCUMENTS WHICH ARE KNOWN TO THE ENGINEER AT THE TIME OF PLAN PREPARATION.

A. THE "NORTH AND SOUTH DOMINGO BACA ARROYO AND PASEO DEL NORTE CORRIDOR DRAINAGE MANAGEMENT PLAN" PREPARED FOR AMAFCA BY RESOURCE TECHNOLOGY, INC. (RTI) DATED DECEMBER, 1991. THIS PLAN HAS BEEN ADOPTED BY AMAFCA AS A GUIDELINE FOR DRAINAGE MANAGEMENT WITHIN THIS AREA WHICH INCLUDES THE NORTH DOMINGO BACA ARROYO (NDBA). AMAFCA RESOLUTION 1992—3 DATED JANUARY 03, 1992 FORMALLY ADOPTED THIS PLAN WHICH IDENTIFIES THE EXTENSION OF PERMANENT DRAINAGE IMPROVEMENTS WITHIN THE NDBA CORRIDOR, AND ESTABLISHED DEVELOPED DRAINAGE BASIN BOUNDARIES WITHIN THE PLAN AREAS. AS SHOWN BY THIS PLAN, THIS SITE IS IDENTIFIED TO DRAIN TO PUBLIC STORM DRAIN IMPROVEMENTS CONSTRUCTED WITHIN THE HOLLY RIGHT—OF—WAY.

B. REQUEST FOR LETTER OF MAP REVISION (LOMR) FOR THE NORTH DOMINGO BACA ARROYO CARMEL AVENUE STORM DRAIN EXTENSION PREPARED BY JMA DATED 12/08/2003 AND CURRENTLY UNDER FEMA REVIEW (FEMA CASE NUMBER 04-06-671P). THIS LOMR SUPPORTS THE COMPLETED NORTH DOMINGO BACA ARROYO CARMEL AVENUE STORM DRAIN EXTENSION COST SHARE PROJECT BY AMAFCA. UPON FEMA APPROVAL, IT WILL REMOVE THE ASSOCIATED FLOODPLAIN DESIGNATION FROM THE NDBA WEST OF A POINT MIDBLOCK BETWEEN HOLBROOK STREET AND EUBANK.

C. DRAINAGE REPORT FOR "LOS VIGILS SUBDIVISION" BY JEFF MORTENSEN & ASSOCIATES, INC, DATED 12/31/2002, HYDROLOGY FILE C20/D41. THIS APPROVED PLAN FOR WHICH THE INFRASTRUCTURE WAS RECENTLY COMPLETED AND THE ENGINEER?S CERTIFICATION WAS SUBMITTED 02/23/04, SUPPORTED THE CONSTRUCTION BY HREC OF A 45 LOT RESIDENTIAL SUBDIVISION LOCATED TO THE WEST (DOWNSTREAM) OF THIS OFFICE PARK PROJECT ON THE NORTH SIDE OF HOLLY. THE LOS VIGILS PROJECT EXTENDED THE HOLLY STORM DRAIN AND PAVING IMPROVEMENTS UP TO THE SW CORNER OF VINEYARD COURT ESTATES (REF D). A BASIN MAP, STREET HYDRAULICS AND STORM DRAIN HYDRAULICS ANALYSIS WAS INCLUDED IN THIS SUBMITTAL TO ADDRESS THE EXTENSION OF HOLLY TO HOLBROOK AS REQUIRED TO SERVE THE VINEYARD COURT ESTATES PROJECT AND ALLUPSTREAM DEVELOPMENT ON HOLLY.

D. DRAINAGE REPORT FOR "VINEYARD COURT ESTATES" BY JEFF MORTENSEN & ASSOCIATES, INC, DATED 08/21/2003, HYDROLOGY FILE C20/D45. THIS APPROVED PLAN FOR WHICH GRADING IS SUBSTANTIALLY COMPLETE WITH INFRASTRUCTURE CONSTRUCTION CURRENTLY IN PROGRESS (CPN 718781), SUPPORTS THE CONSTRUCTION BY HREC OF A 48 LOT RESIDENTIAL SUBDIVISION LOCATED ON THE NORTH SIDE OF HOLLY, ACROSS THE STREET FROM THIS OFFICE PARK. THE VINEYARD COURT ESTATES PROJECT WILL CONSTRUCT THE HOLLY PAVING AND STORM DRAINAGE IMPROVEMENTS ALONG THE FRONTAGE OF THIS SITE. IT ALSO CONSTRUCTS A PUBLIC STORM DRAIN IN HOLBROOK THAT INTERCEPTS OFFSITE FLOWS FROM A BRANCH OF THE NDBA THAT PREVIOUSLY CROSSED UNDER HOLBROOK THROUGH CMP CULVERTS LOCATED SOUTH OF HOLLY.

E. DRAINAGE REPORT FOR "OCOTILLO SUBDIVISION" BY JEFF MORTENSEN & ASSOCIATES, INC, DATED 12/19/2003, HYDROLOGY FILE C20/D49. THIS APPROVED PLAN FOR WHICH GRADING IS SUBSTANTIALLY COMPLETE SUPPORTS THE CONSTRUCTION BY HREC OF A 78 LOT RESIDENTIAL SUBDIVISION LOCATED ON THE EAST SIDE OF HOLBROOK, UPSTREAM FROM THIS OFFICE PARK. THE OCOTILLO SUBDIVISION ACCEPTS AND

THE PROPOSED CONSTRUCTION OF AN OFFICE PARK DEVELOPMENT DRAINING DIRECTLY AND FREELY TO PERMANENT HOLLY AVENUE NE DRAINAGE IMPROVEMENTS AS PROPOSED AND DESCRIBED HEREIN IS IN ACCORDANCE WITH THE POLICIES AND REQUIREMENTS OF THE ABOVE LISTED DOCUMENTS, AND IS CONSISTENT WITH THE CONCEPTS PREVIOUSLY ESTABLISHED BY THE CITY AND AMAFCA FOR NDBA DEVELOPMENT.

INTERCEPTS OFFSITE FLOWS EAST OF HOLBROOK AND PREVENTS THEM FROM IMPACTING THE SITE.

#### IV. EXISTING CONDITIONS:

THE SITE IS UNDEVELOPED. EVIDENCE OF PRIOR GROUND DISTURBANCE IS EVIDENT, AND THE GROUND COVER OF NATIVE VEGETATION IS SPARSE. THE SITE REPORTEDLY WAS USED AS AN INFORMAL GO-KART TRACK WITH RELATED APSHALT PAVEMENT REMAINING ON-SITE IN POOR CONDITION. THE SITE SLOPES FROM EAST TO WEST. A POORLY DEFINED BRANCH OF THE NORTH DOMINGO BACA ARROYO PREVIOUSLY TRAVERSED THE SITE PRIOR TO THE INTERCEPTION OF OFFSITE FLOWS AT HOLBROOK BY THE VINEYARD COURT ESTATES PROJECT. EXISTING SITE RUNOFF DRAINS TO HOLLY AVE NE TO EXISTING DOWNSTREAM PUBLIC STORM DRAIN FACILITIES THAT WERE RECENTLY EXTENDED UPSTREAM BY LOS VIGILS (REF. C) AND ARE CURRENTLY BEING EXTENDED UPSTREAM TO HOLBROOK BY VINEYARD COURT ESTATES (REF D). HOLLY AVE NE TO THE NORTH IS A PUBLIC STREET WITH HALF WIDTH (NORTH) PERMANENT PAVING IMPROVEMENTS WITH CURB AND GUTTER ALSO CURRENTLY UNDER CONSTRUCTION BY VINEYARD COURT ESTATES, CPN 718781. PASEO DEL NORTE TO THE SOUTH IS A FULLY DEVELOPED PUBLIC STREET WITH A DRAINAGE DITCH, PUBLIC STORM DRAIN, AND PAVED ASPHALT TRAIL.

MINOR OFFSITE FLOWS ENTER THE SITE AS SHEET FLOW FROM APPROXIMATELY 2.5 ACRES OF UNDEVELOPED UPSTREAM PROPERTY BETWEEN THE SITE AND HOLBROOK STREET NE. HOLLY AVE NE TO THE NORTH AND PASEO DEL NORTE TO THE SOUTH EXHIBIT PARALLEL TOPOGRAPHY AND DO NOT CONTRIBUT OFFSITE FLOWS.

## V. DEVELOPED CONDITIONS

THE PROPOSED IMPROVEMENTS CONSIST OF THE CONSTRUCTION OF A FOUR BUILDING OFFICE PARK WITH PAVED PARKING, UTILITY AND LANDSCAPING IMPROVEMENTS. DOWNSTREAM HOLLY PUBLIC PAVING AND DRAINAGE INFRASTRUCTURE SERVING THIS SITE HAVE BEEN RECENTLY CONSTRUCTED BY HOECH REAL ESTATE CORPORATION (LOS VIGILS, REF C). AT THE TIME OF PLAN PREPARATION, CONSTRUCTION WAS COMPLETED, BUT THIS PROJECT HAD NOT YET BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE. THE DOWNSTREAM HOLLY IMPROVEMENTS ARE CURRENTLY BEING EXTENDED TO HOLBROOK STREET NE BY HOECH REAL ESTATE CORP IN SUPPORT OF VINEYARD COURT ESTATES (REF D). AS DEMONSTRATED BY THE STREET HYDRAULIC, STORM DRAIN AND INLET CALCULATIONS AND ANALYSIS CONTAINED WITHIN THE DRAINAGE REPORTS FOR LOS VIGILS AND VINEYARD COURT ESTATES, THE HOLLY STORM DRAIN AND STREET IS DESIGNED TO ACCEPT THE FREE DISCAHRGE OF FULLY DVELOPED RUNOFF FROM THE PROPERTIES FRONTING ON HOLLY. IT IS PLANNED TO EXPAND THE WORK ORDER (CPN 718781) TO INCLUDE THE PERMANENT PAVEMENT AND ADDITIONAL STORM INLET REQUIRED IN THE OFFICE PARK?S FRONTAGE. DEVELOPED ONSITE DRAINAGE WILL BE DIRECTED TO THE EXISTING AND PROPOSED PUBLIC IMPROVEMENTS IN HOLLY VIA OVERLAND FLOW CONVEYED BY THE PAVED PARKING IMPROVEMENTS. BECAUSE DOWNSTREAM PERMANENT PAVEMENT IMPROVEMENTS ARE NOT CURRENTLY PROPOSED ON THE SOUTH SIDE OF HOLLY, AN ADDITIONAL INLET NOT REQUIRED BY THE PREVIOUS REPORTS WILL BE CONSTRUCTED AT THE NW CORNER OF THIS SITE TO INTRODUCE SITE RUNOFF DIRECTLY TO THE STORM DRAIN SYSTEM.

OFFSITE FLOWS FORM THE EAST WILL BE TEMPORARILY DIVERTED TO THEIR HISTORIC OUTFALL TO HOLLY AVE NE R.O.W. THIS WILL BE ACCOMPLISHED VIA TEMPORARY GRADING WITH THER PERMISSION OF THE UPSTREAM PROPERTY OWNER. THIS GRADING WILL BE DESIGNED AND DETAILED AS PART OF THE FORTHCOMING DRAINAGE REPORT, GRADING PLAN AND EROSION CONTROL PLAN FOR BUILDING PERMIT. UPON UPSTREAM DEVELOPMENT, THOSE UPSTREAM PROPERTIES SHALL DRAIN TO HOLLY.

## VI. CONCEPTUAL GRADING PLAN

THE GRADING PLAN ON SHEET G.1 OF THIS SUBMITTAL SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 2' 0" INTERVALS AS TAKEN FROM THE "HYDROLOGY REPORT, NORTH ALBUQUERQUE ACRES/SANDIA HEIGHTS SOUTH DRAINAGE STUDY, PHASES I AND II PREPARED FOR BERNALILLO COUNTY BY RESOURCE TECHNOLOGY, INC, DATED NOVEMBER, 1998, 2) PROPOSED GRADES INDICATED BY FINISHED FLOOR ELEVATIONS, SPOT ELEVATIONS, AND PAVEMENT CONTOURS AT 1' 0" INTERVALS, 3) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 4) THE LIMIT AND CHARACTER OF PUBLIC IMPROVEMENTS CURRENTLY UNDER CONSTRUCTION BY CITY PROJECT # 718781.

## VII. CALCULATIONS

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. AS DEMONSTRATED BY THE LOMR AND APPROVED DRAINAGE REPORTS PREPARED BY THIS OFFICE TO SUPPORT THE RECENTLY CONSTRUCTED AMAFCA NDBA PROJECT AND FOR LOS VIGILS AND VINEYARD COURT ESTATES (REFERENCES B, C AND D), THE PUBLIC STORM DRAIN IN HOLLY IS SIZED FOR FREE DISCHARGE OF FULLY DEVELOPED RUNOFF FROM THIS SITE.

## IX. CONCLUSION

1) THE PROPOSED SITE IMPROVEMENTS AND DRAINAGE CONCEPT ARE CONSISTENT WITH THE DEVELOPMENT CRITERIA ESTABLISHED BY PREVIOUSLY APPROVED PLANS FOR NDBA DEVELOPMENT. 2) DEVELOPED RUNOFF FROM THIS SITE WILL DRAIN FREELY TO PERMANENT PUBLIC HOLLY PAVING AND STORM DRAINAGE IMPROVEMENTS, A PORTION OF WHICH WERE RECENTLY CONSTRUCTED BY HOECH REAL ESTATE CORP FOR LOS VIGILS (REF C), AND THE REMAINDER OF WHICH IS CURRENTLY BEING EXTENDED BY HREC FOR VINEYARD COURT ESTATES (REF D). 3) THE STREET RIGHT—OF—WAY FRONTAGE IMPROVEMENTS WILL BE CONSTRUCTED BY CHANGE ORDER TO THE VINEYARD COURT ESTATES WORK ORDER, CPN 718781, 4) A FORTHCOMING PLATTING ACTION AND INFRASTRUCTURE LIST TO SUPPORT THIS PROJECT WILL BE REVIEWED AND APPROVED AT DRB. THE DRB REQUEST WILL ALSO INCLUDE A VACATION REQUEST FOR THE NORTHERN 2 FEET OF EXCESS HOLLY RIGHT—OF—WAY TO BE INCORPORATED INTO THE SITE. 5) THERE ARE NO DPM DESIGN VARIANCES, DRAINAGE EASEMENTS OR DRAINAGE COVENANTS ANTICIPATED AT THIS TIME. 6) A SEPARATE DRAINAGE SUBMITTAL WILL BE MADE FOR BUILDING PERMIT APPROVAL.

CALCULATIONS

I. PRECIPITATION ZONE = 3

II.  $P_{6.100} = P_{360} = 2.60 \text{ IN}$ 

III. TOTAL AREA  $(A_T)$  = 2.68 AC / 116,820 SF

IV. LAND TREATMENTS

A. EXISTING CONDITIONS

TREATMENT AREA (AC/SF) %

0.54/23,520 2 2.14/93,300 8

B. DEVELOPED CONDITIONS

TREATMENT AREA (AC/SF) %

0.32/13,900 0 0.32/13,910 1 2.04/89,010 7

V. EXISTING CONDITIONS

A. VOLUME

 $E_{W} = (E_{A}A_{A} + E_{B}A_{B} + E_{C}A_{C} + E_{D}A_{D})/A_{T}$ 

 $E_W = [(0.92)(0.54)+(1.29)(2.14)]/2.68 = 1.22 \text{ IN}.$ 

 $V_{100} = (E_W/12)A_T$ 

 $V_{100} = (1.22/12)2.68 = 0.272 \text{ AC-FT} = 11,870 \text{ SF}$ 

B. PEAK DISCHARGE

 $Q_{P} = Q_{PA}A_{A} + Q_{PB}A_{B} + Q_{PC}A_{C} + Q_{PD}A_{D}$ 

 $Q_{p} = Q_{100} = (2.60)(0.54) + (3.45)(2.14) = 8.8 \text{ CFS}$ 

VI. DEVELOPED CONDITION

A. VOLUME

 $E_{W} = (E_{A}A_{A} + E_{B}A_{B} + E_{C}A_{C} + E_{D}A_{D})/A_{T}$ 

 $E_W = [(0.92)(0.32)+(1.29)(0.32)+(2.36)(2.04)]/2.68 = 2.06 \text{ IN}.$ 

 $V_{100} = (E_W/12)A_T$ 

 $V_{100} = (2.06/12)(2.68) = 0.46 \text{ AC-FT} = 20,040 \text{ CF}$ 

B. PEAK DISCHARGE

 $Q_{b} = Q_{b}Q_{b}Q_{b} + Q_{b}Q_{b}Q_{b} + Q_{b}Q_{b}Q_{b}$ 

 $Q_{p} = Q_{100} = (2.60)(0.32) + (3.45)(0.32) + (5.02)(2.36) = 13.8 \text{ CFS}$ 

VII. COMPARISON (OVERALL)

 $\triangle V_{100} = 20,040 - 11,870 = 8,170 CF (INCREASE)$ 

 $\triangle$  Q<sub>100</sub> = 13.8 - 8.8 = 5.0 CFS (INCREASE)

CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.

2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.

3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES. PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

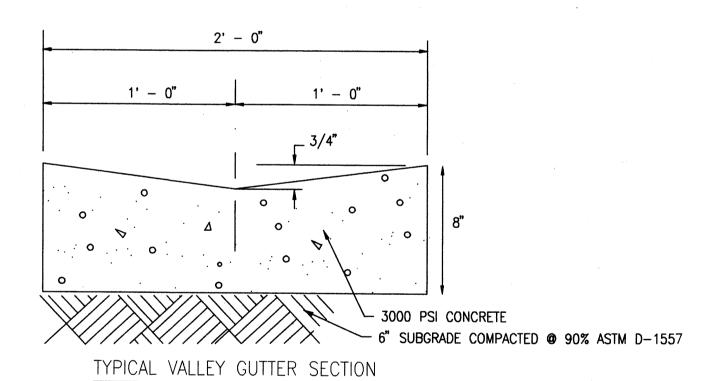
#### EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.

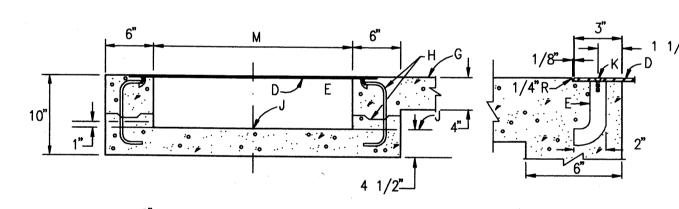
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.

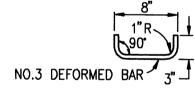
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDED ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.



SCALE: 1" = 6"





CONSTRUCTION NOTES

C. 3" RADIUS, (TYPICAL).
D. 3/8" CHECKERED STEEL PLATE.
E. ROD ANCHOR 1" x 5"

DOWEL DETAIL

G. SIDEWALK GRADE

H. DOWEL AND JOINT, (OPTIONAL).

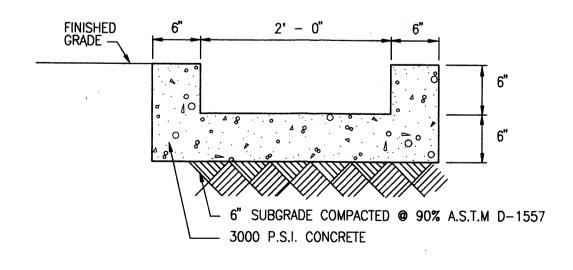
H. DOWEL AND JOINT, (OPTIONAL).

J. GUTTER FLOWLINE ELEV.

K. 3/8" x 1" F.H. C'SUNK STAINLESS STEEL MACHINE SCREW.

M. DRAIN WIDTH, 24" MAX. 12" MIN.

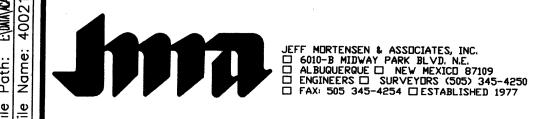
TYPICAL SIDEWALK CULVERT DETAILS



TYPICAL RUNDOWN SECTION

SCALE: 1" = 1' - 0"





CONCEPTUAL DRAINAGE PLAN, CALCULATIONS, SECTIONS, AND DETAILS

DESERT RIDGE OFFICE PARK

		ND.	DATE	BY	REVISIONS	JOB NO.	
	DESIGNED BY G.M.						2004.002.1
	DDAL/AL DV S.G.H.					DATE	02-2004
	DRAWN BY S.G.H.				·		
	APPROVED BY G.M.					SHEET	C 2 DF
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