

San Pedro Blvd. NE

ENVIRONMENTAL HEALTH NOTE:

The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 feet of landfills") shall be consulted prior to development on the site.

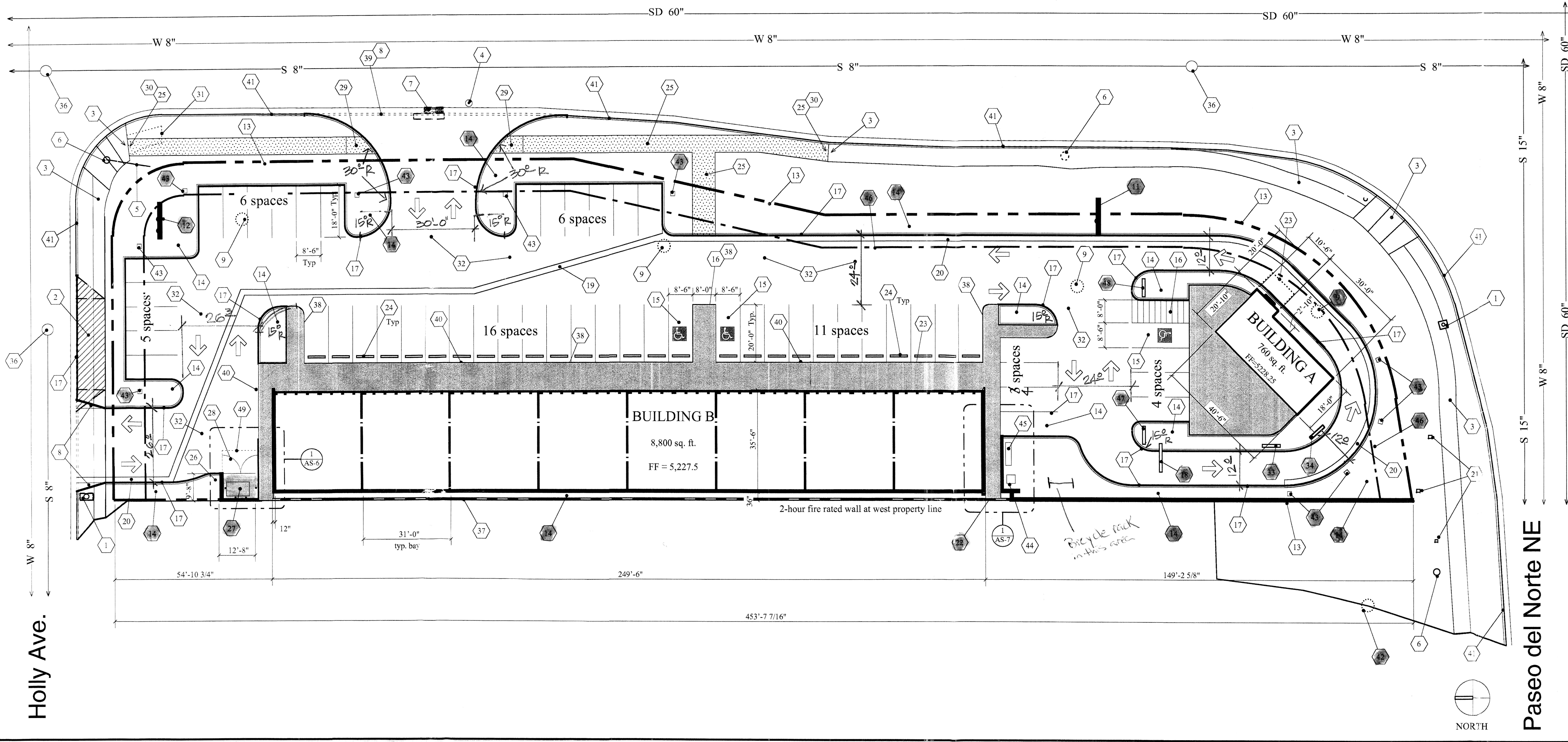
Water Line	— W —	Integral Color Concrete	
Sewer Line	— S —	New Concrete Sidewalk	
Storm Drain	— SD —	Building Area	
Fire Hydrant Line	— FH —		

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AS-1	Site Survey, Project Information, and Utilities
AS-2	Landscape Plan
AS-3	Drainage and Grading Plan
AS-4	Exterior Signage & Misc. Details
AS-5	Starbuck's Ext. Signage
AS-6	Exterior Color Elevations

KEYED NOTES

- Existing water meter box to remain.
- Existing driveway access to be removed. Repair curb and gutter and sidewalk to match existing.
- Existing sidewalk.
- Modify existing storm drain sewer, see AS-3 drainage and grading plan.
- Existing guy line support for power pole.
- Existing power pole.
- Modify existing inlet to storm drain, see drainage and grading plan.
- New driveway access per city standard drawing dwg. 2415 and dwg. 2425.
- Existing billboard sign to be removed by others (NIC).
- Existing fire hydrant to remain.
- New pole mounted internally luminated shopping center type sign with changeable lexan tenant signs, see details 3/AS-4. Sign design, sign installation, and sign base by sign manufacturers. Contractor provide electrical stub-up only. See sign elevations AS-4 and electrical.
- Monument sign mounted internally luminated shopping center type sign with changeable lexan tenant signs, see details 2/AS-4. Sign design, sign installation, and sign base by sign manufacturers. Contractor provide electrical stub-up only. See sign elevations AS-4 and electrical.
- Property line.
- New landscaped area, see landscape plan.
- Handicapped parking space.
- Handicapped accessible clear space.
- 6" high concrete curb.
- Clearance sign, see detail 1/AS-5. Sign and sign installation by others. Contractor to provide sign base and electrical stub-up. See sign elevations AS-5 and electrical.
- Valley gutter, see drainage plan.
- Curb and gutter drainage, see drainage plan.
- Existing utility pedestal to remain.
- New retaining wall.
- Dashed line indicates awning above.
- Concrete curb stops.
- New 4" concrete sidewalk and/or patio with turned down edge.
- 8" x 8" x 16" CMU with cultured stone veneer on exterior side of enclosure, see detail.
- Dumpster (NIC), see detail.
- Solid door on trash enclosure.
- Sidewalk access per city standard drawing.
- Match width and height of new sidewalk to existing sidewalk.
- Remove portion of existing sidewalk shown by a dashed line. Saw cut straight line along existing sidewalk to remain.
- New 2" asphalt on 6" state highway sub-base. Compact sub-base to 95%. Scarify 6" deep of existing grade and compact to 95%.
- Menu board, see detail 3/AS-5 similar. Sign and sign installation by others. Contractor to provide sign base and electrical stub-up. See sign elevations AS-5 and electrical.
- Menu board with speaker, see detail 3/AS-5. Sign and sign installation by others. Contractor to provide sign base and electrical stub-up. See sign elevations AS-5 and electrical.
- Existing fire hydrant lines to remain.
- Existing manhole to remain.
- New retaining wall, see section on AS-6.
- 4" integral color concrete sidewalk with tooled joints as shown on drawing. Color to be selected by Architect.
- Remove existing curb in areas indicated on sheet. Patch and repair street and gutter.
- Asphalt and concrete sidewalk to be same elevation, see drainage and grading plan.
- Existing curb and gutter to remain.
- Existing billboard sign to remain.
- Exterior pole lighting.
- Irrigation controls.
- Electrical panels.
- Required setback.
- Directional "drive-thru" sign. Sign and sign installation by others. Contractor to provide sign base and electrical stub-up. See sign elevations AS-5 and electrical.
- Directional "exit only" sign. Sign and sign installation by others. Contractor to provide sign base and electrical stub-up. See sign elevations AS-5 and electrical.
- Clear area for trash enclosure.



1" = 20'-0"

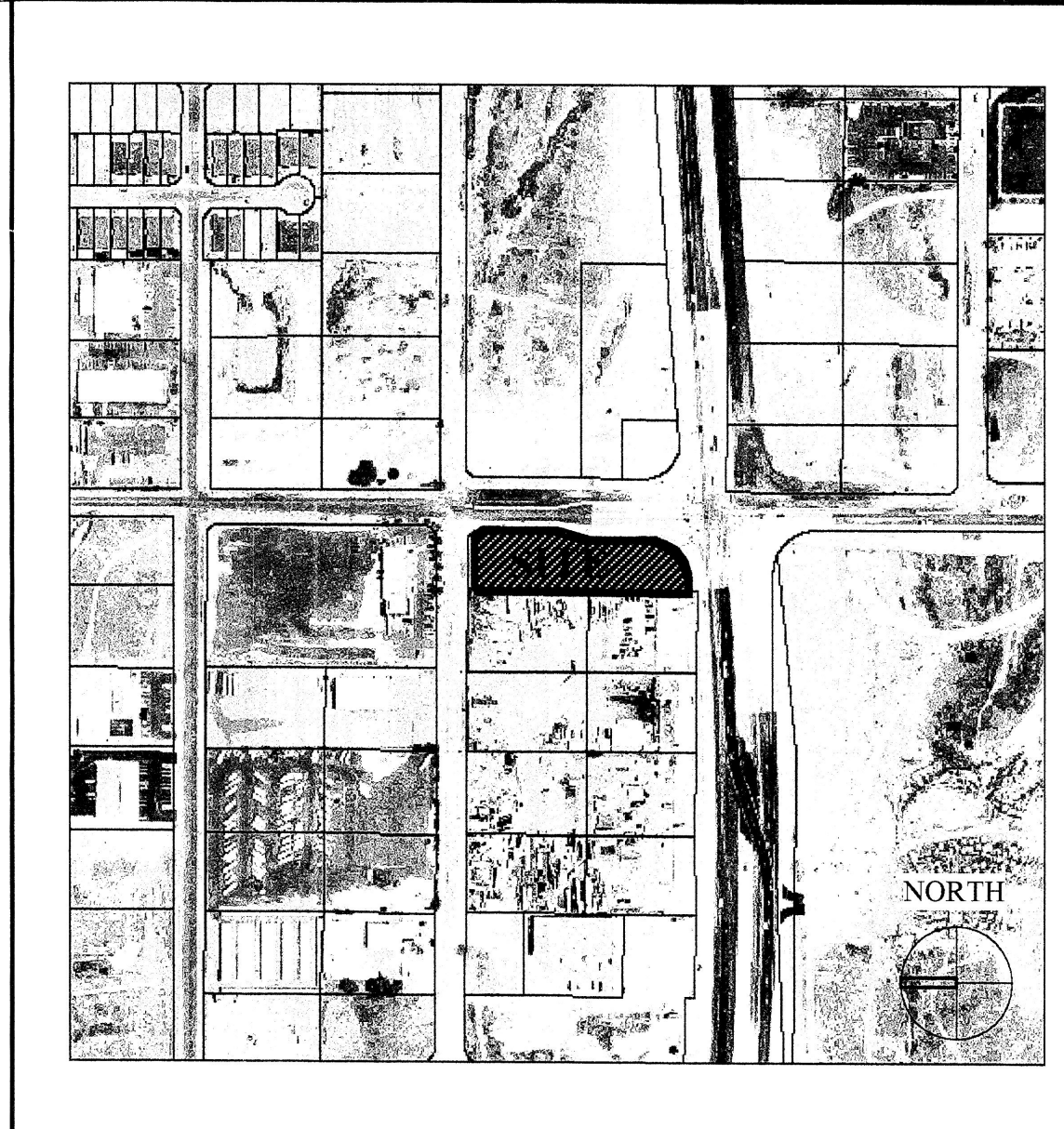
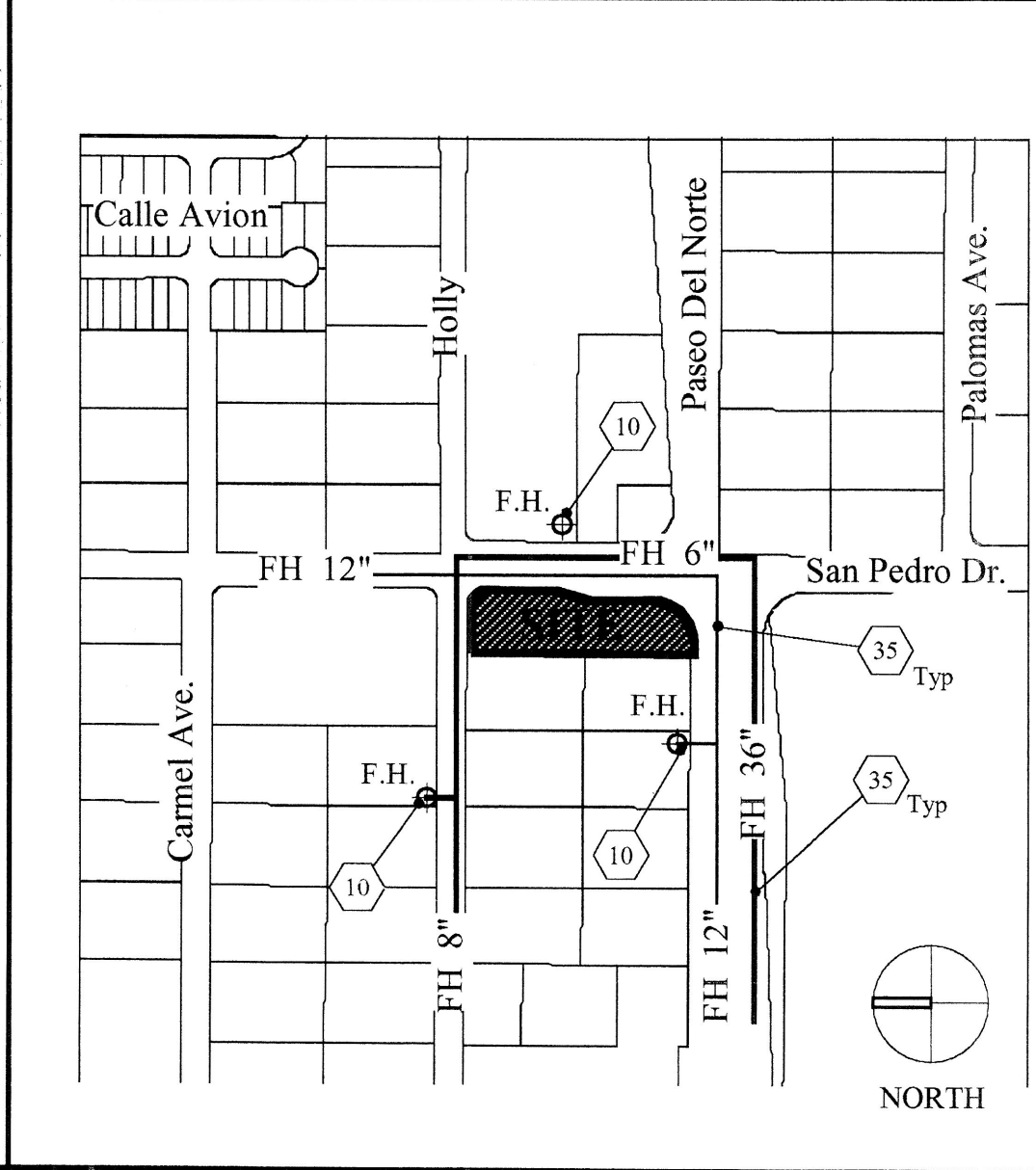
PROJECT NUMBER: _____ Application Number: _____

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DPC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary
12-16-03



Address: 8101 San Pedro NE, Albuquerque, NM

Project Description: New shell construction of two commercial buildings and related utilities. New construction of parking lot, sidewalks, landscape, and signage.

SHELL ONLY. TENANT IMPROVEMENTS AND PARTITION WALLS WILL BE SUBMITTED UNDER A SEPARATE PERMIT.

Property zoned: SU - 2; M - 1

Codes: Uniform Building Code, 1997 Edition

Construction Type: V-N

Zoning Map: C18

Building A: +/- 760 sq. ft.

Building B: +/- 8,800 sq. ft.

DRB Project Number: _____

DRB Application Number: _____

DRB MEMBER APPROVAL

ZONING MAP C18 and FIRE HYDRANTS

1999 AERIAL MAP - MAP C18

PROJECT INFORMATION

PARKING CALCULATIONS

Retail Parking: 44 x 200 = 8,800 GSF allowed

Dining Parking: 7 x 4 seats = 28 seats allowed

TOTAL SPACES: 52 SPACES

SITE SURVEY, PROJECT INFORMATION AND UTILITIES

THE SHOPS ON SEDONA ROW
8101 SAN PEDRO NE - ALBUQUERQUE, NM
STERLING CAPITAL DEVELOPMENT
March, 2004

MAHLMAN & MILES ARCHITECTS
206 BROADWAY SE
ALBUQUERQUE, NEW MEXICO 87102 / 505-243-0101

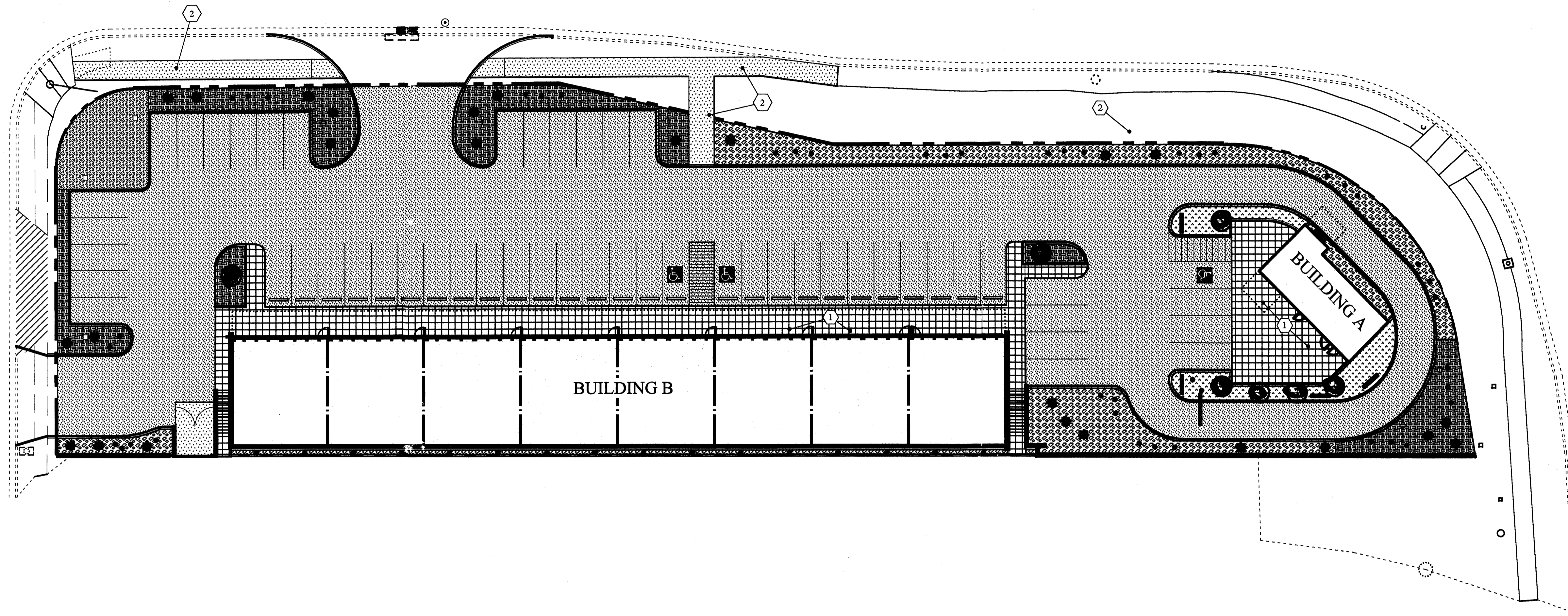
DRB AS-1

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KEYED NOTES

1. New colored concrete sidewalk, see site plan.
2. New concrete sidewalk, see site plan.



TOTAL LANDSCAPE AREA REQUIRED:

Total Lot Area	
(within property line)	47,029 SF
Retail Area	8,800 SF
Starbucks	760 SF
Landscape Requirement	X .15 SF

Total Landscape Required 5,620 SF

TOTAL LANDSCAPE AREA PROVIDED:

Area A	2,695 SF
Area B	683 SF
Area C	269 SF
Area D	70 SF
Area E	558 SF
Area F	371 SF
Area G	630 SF
Area H	1,853 SF
Area I	741 SF

Total Landscape Provided 7,980 SF
 (the landscape area provided is adequate)

LANDSCAPE CALC.

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE/NOTES	HGT/SPR
⊕	FRAXINUS VELUTINA "BERINDA"	BERINDA ASH	7	2-1/2" CAL.	40'X40'
✻	ERIANTHUS REVENNAE	REVENNA GRASS	24	2-1/2" CALIPER	6'X4'
•	MUHLENBERGIIUS CAPALARIS	REGAL MIST	42	5 GALLON	6'X4'
•	HEDERA HELIX	ENGLISH IVY	16	1 GALLON	5' CLIMBING
•	PARTHENOISSUS TRICUSPIDATA	BOSTON IVY	16	1 GALLON	5' CLIMBING

NOTE: All landscaping will be on a timed irrigation system.

PLANT LEGEND

- Grass Sodding
- River Rock
- Deco Shredded Bark Mulch
- Irrigated Buffalo Grass

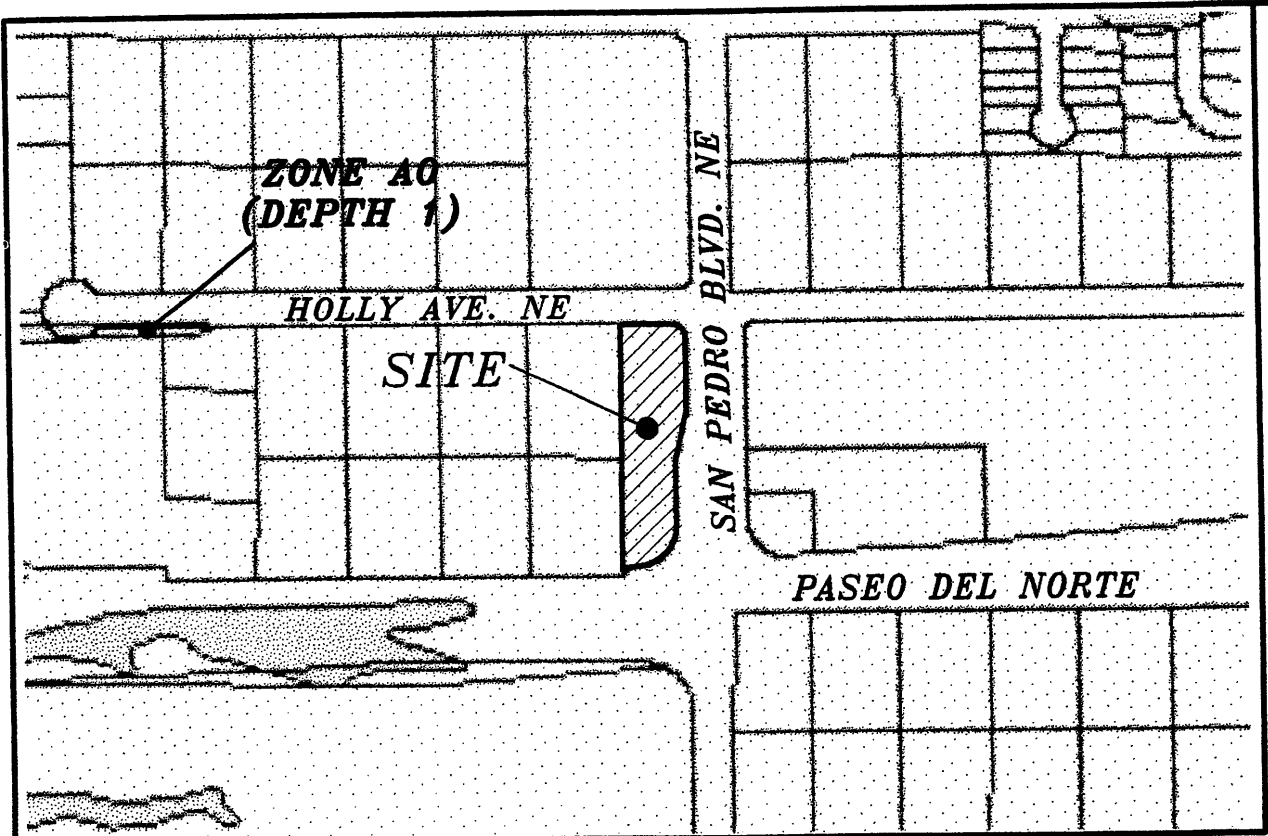
MATERIALS LEGEND

LANDSCAPE PLAN

THE SHOPS ON SEDONA ROW
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 STERLING CAPITAL DEVELOPMENT
 March, 2004

MAHLMAN &
 MILES
 ARCHITECTS
 206 BROADWAY SE
 ALBUQUERQUE, NEW MEXICO 87102 / 505-243-0101

DRB
 AS-2

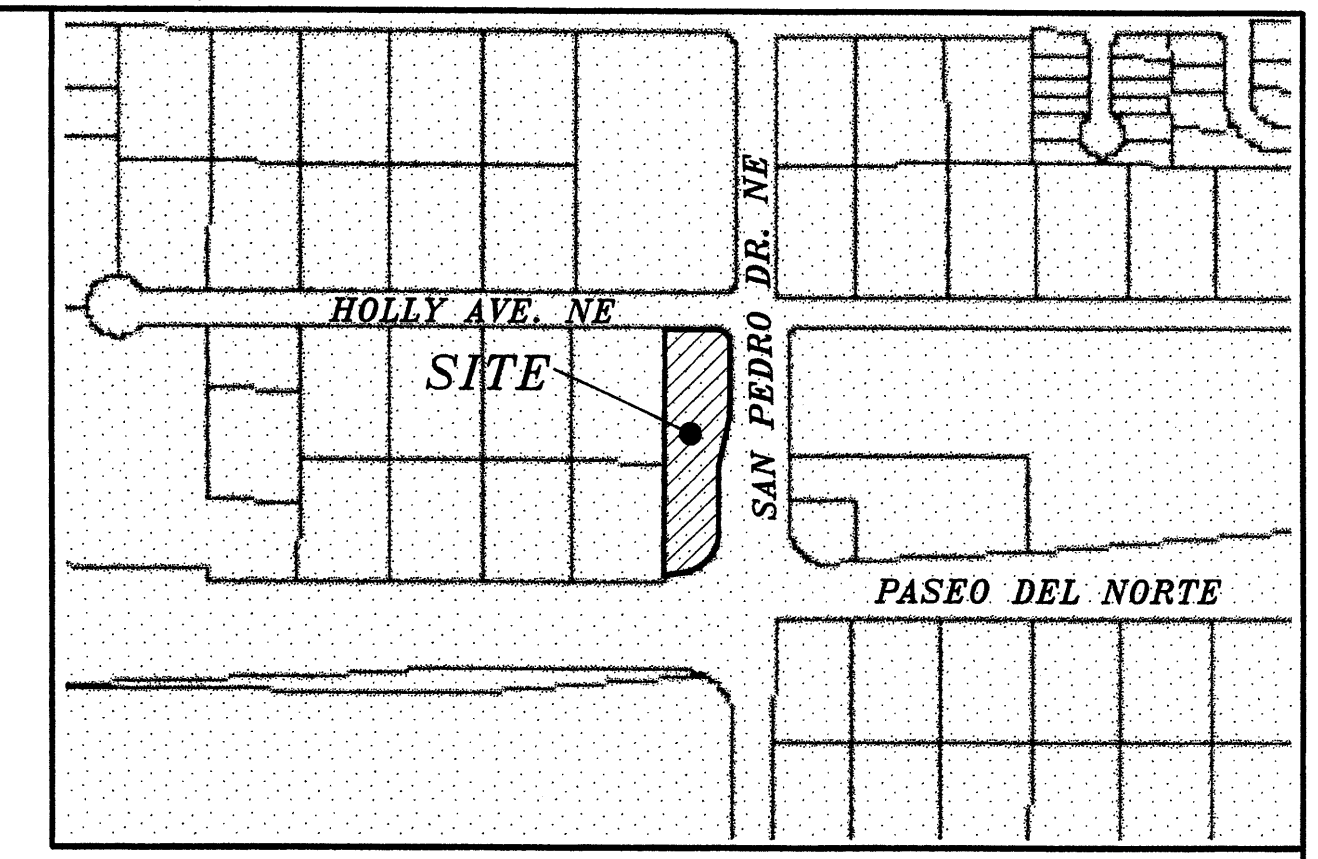


FIRM MAP: 35001C0137 D

- GENERAL NOTES:**
- 1: ADD 5200 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 - 2: CONTOUR INTERVAL IS ONE (1) FOOT.
 - 3: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-17-D18 HAVING AN ELEVATION OF 5236.57 FEET ABOVE SEA LEVEL.
 - 4: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 - 5: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 - 6: SLOPES ARE AT 3:1 MAXIMUM.

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

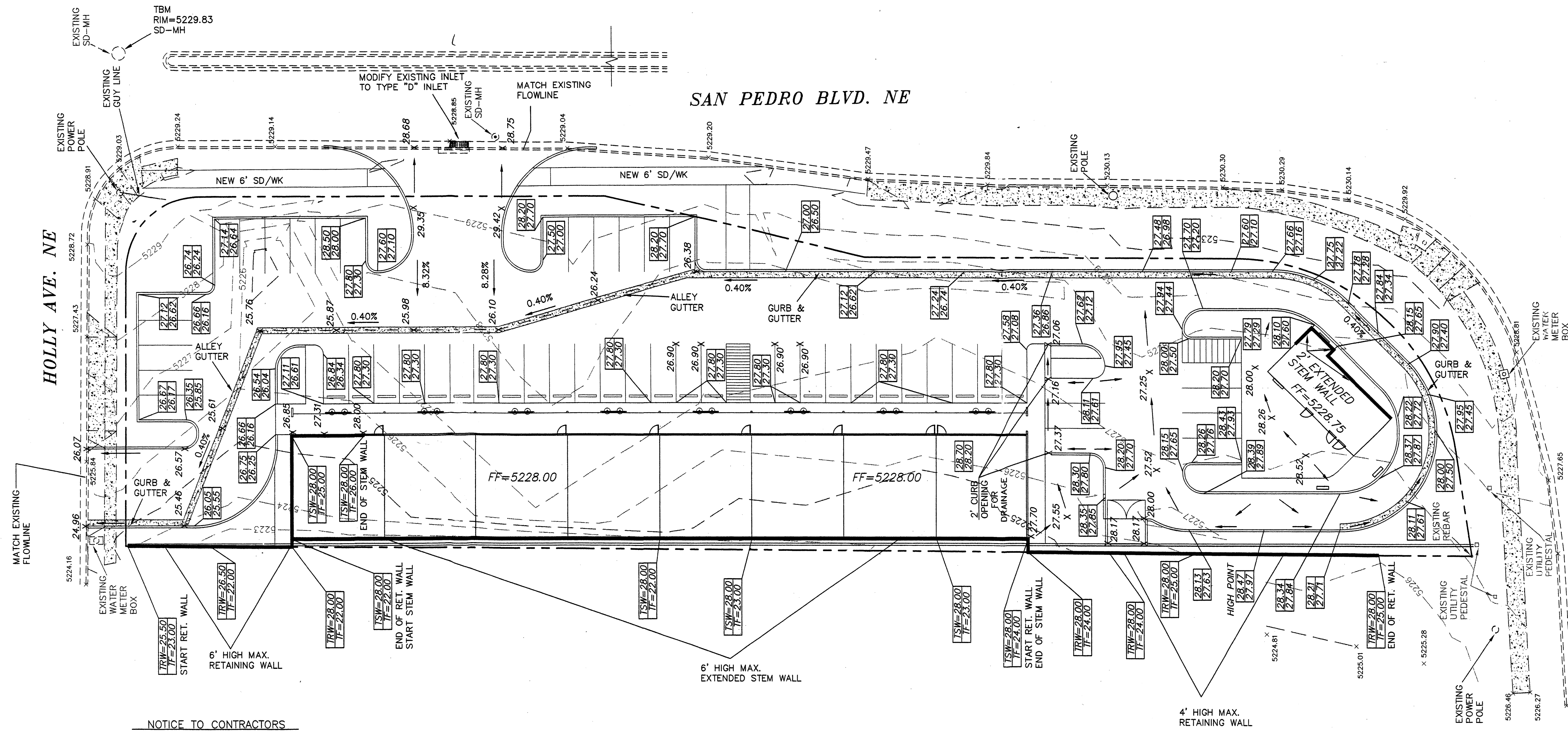
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



VICINITY MAP: C-18-Z

LEGAL DESCRIPTION:

LOT 16-A, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES CONTAINING ±1.0800 ACRES MORE OR LESS.



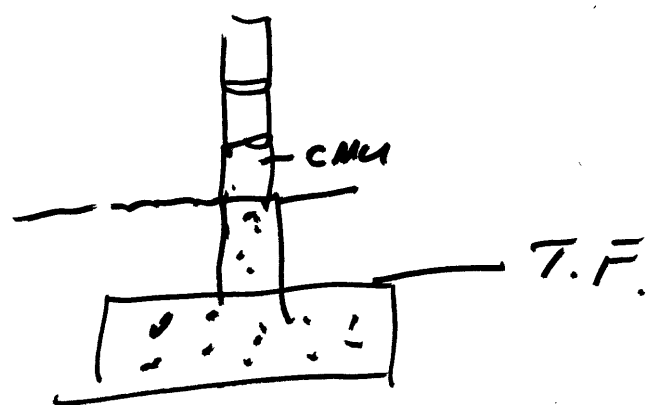
LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
- EX. 16" WL --- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- EXISTING CURB & GUTTER
- 5100 --- EXISTING CONTOUR (MAJOR)
- 5102 --- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- TC --- PROPOSED SIDEWALK
- FL --- PROPOSED GRADE
- X 70.28 --- PROPOSED SPOT ELEVATION
- x 5228.46 --- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- 100YR-VSEL --- 100-YEAR WSEL (FROM HEC-RAS OUTPUT)
- 100YR-EGL --- EXISTING FENCE
- FEMA --- FLOODPLAIN LIMITS FROM FEMA MAP
- EXISTING GARDEN WALL
- PROPOSED RETAINING WALL
- PROPOSED EXTENDED STEM WALL
- TRW=38.00 --- TOP OF RETAINING WALL
- TF=32.00 --- TOP OF FOOTING
- TSW=34.00 --- TOP OF EXTENDED STEM WALL
- TF=32.00 --- TOP OF FOOTING

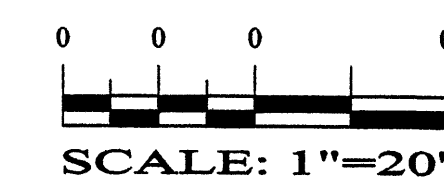
PASEO DEL NORTE

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



GRAPHIC SCALE

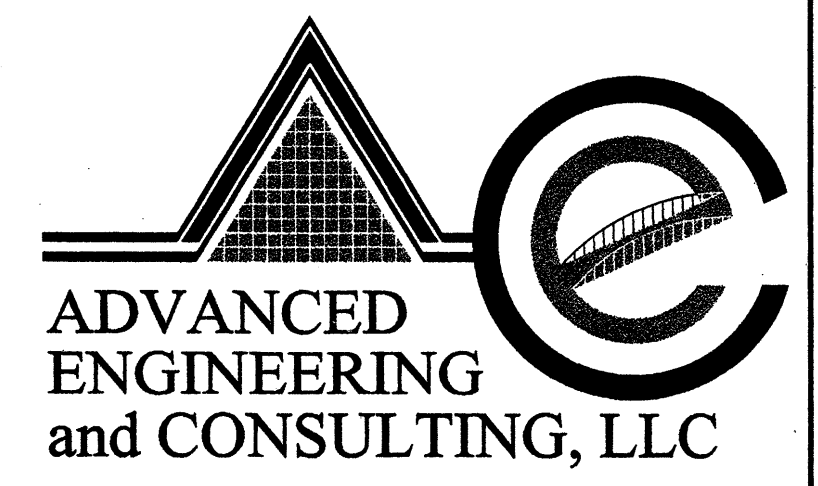


ROUGH GRADING APPROVAL _____ DATE _____

APPROVALS	NAME	DATE
INSPECTOR		



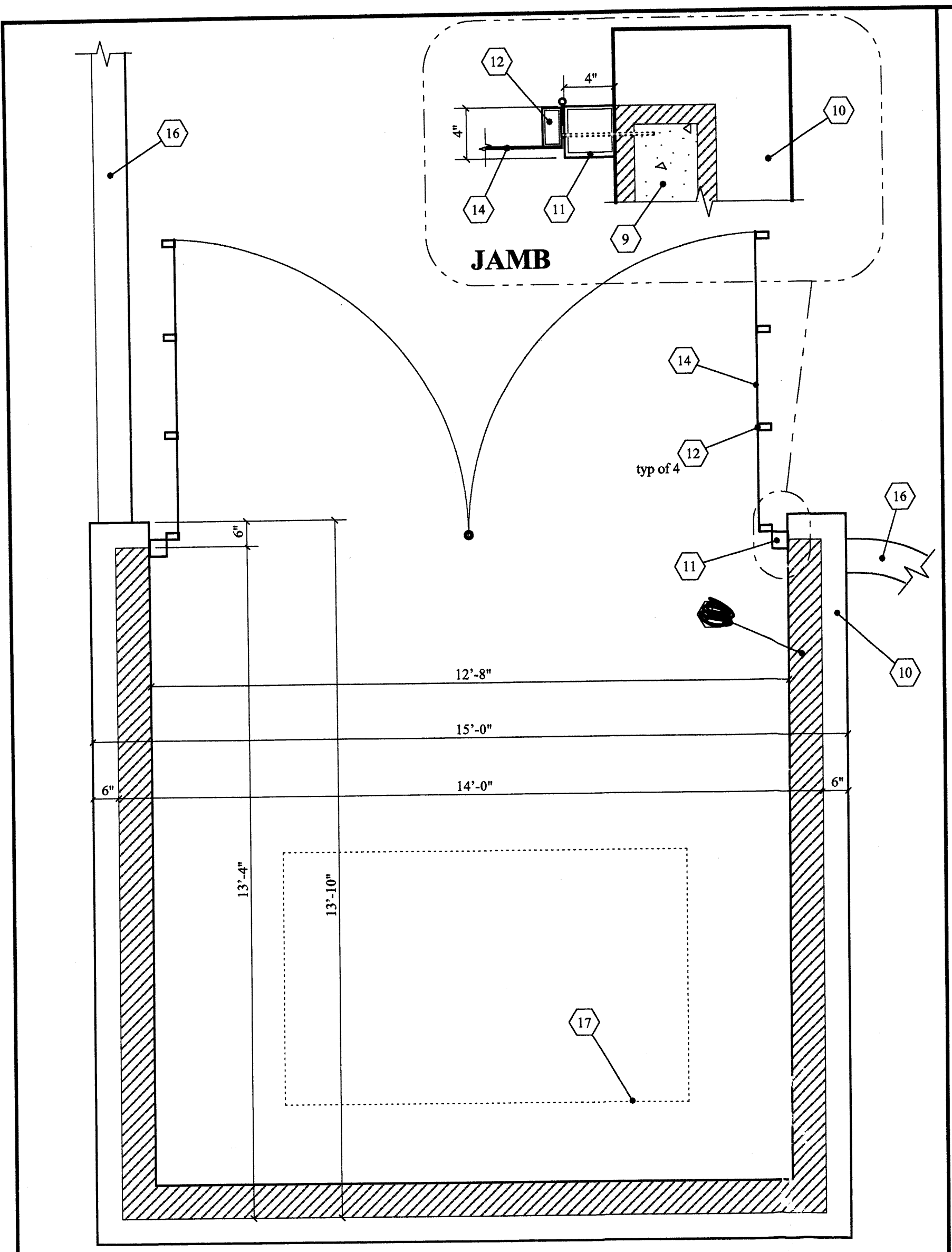
SHAHAB BIAZAR
P.E. #13479



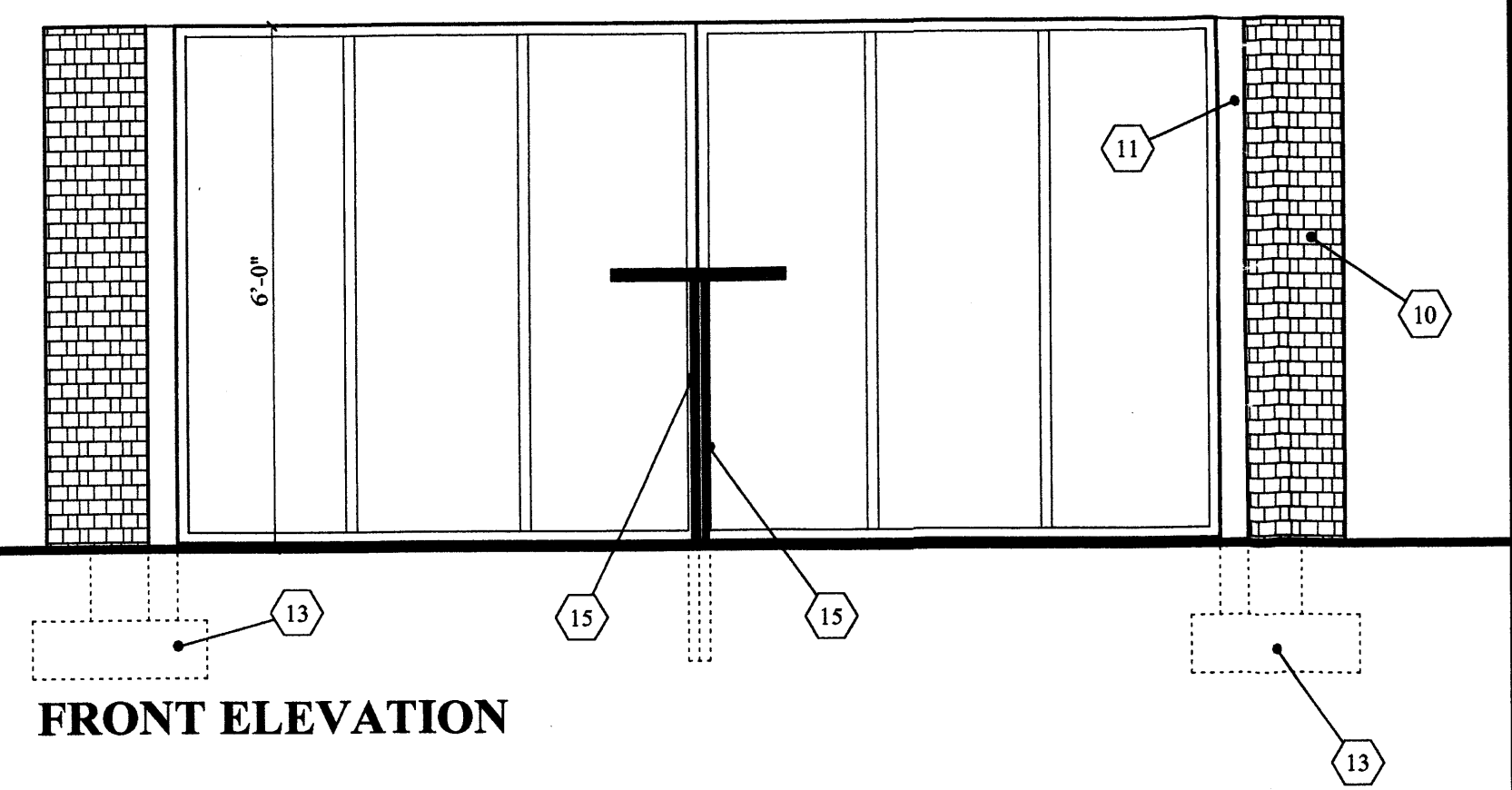
**ADVANCED
ENGINEERING
and CONSULTING, LLC**

LOT 16-A, BLK 18, TR A, UNIT B, NAA
GRADING AND DRAINAGE PLAN

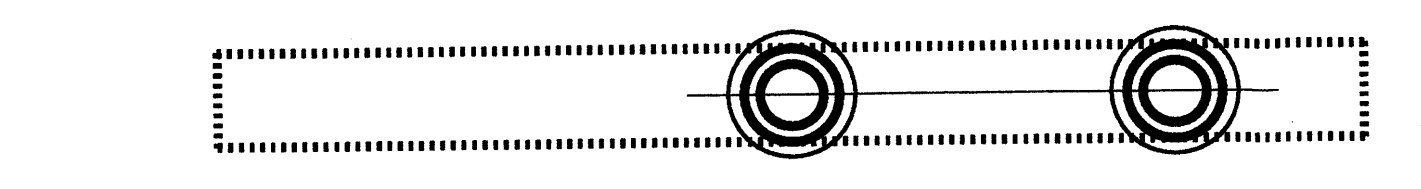
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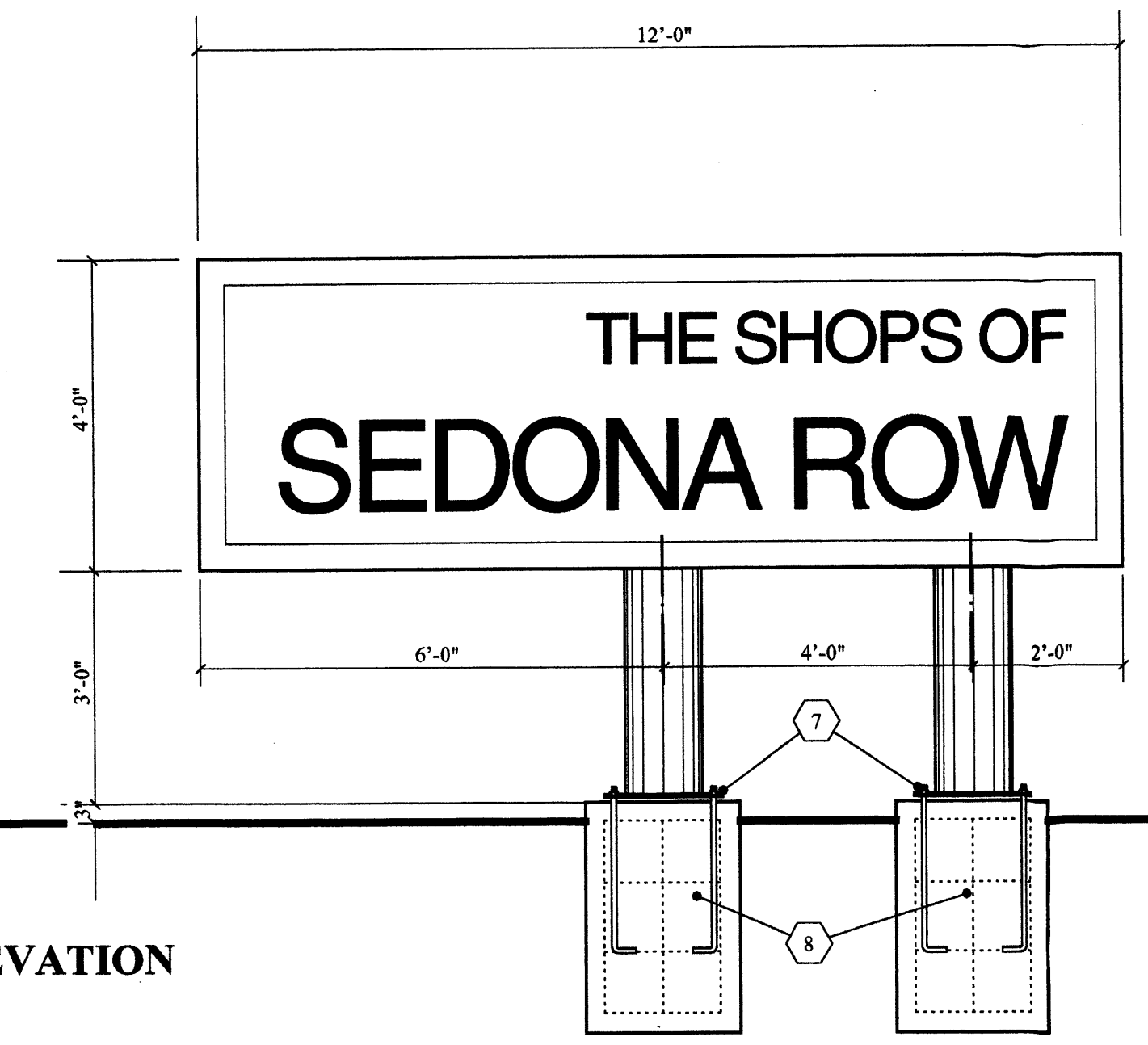
PLAN



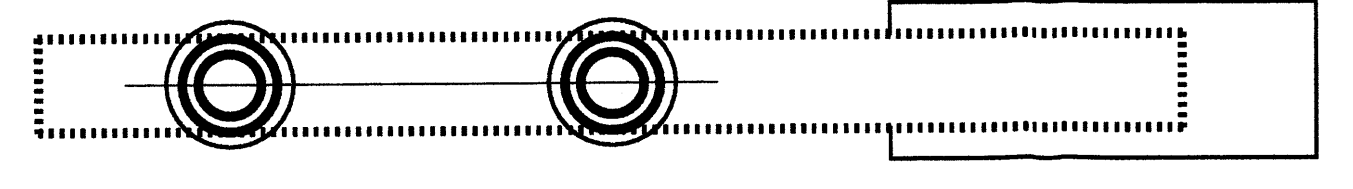
FRONT ELEVATION



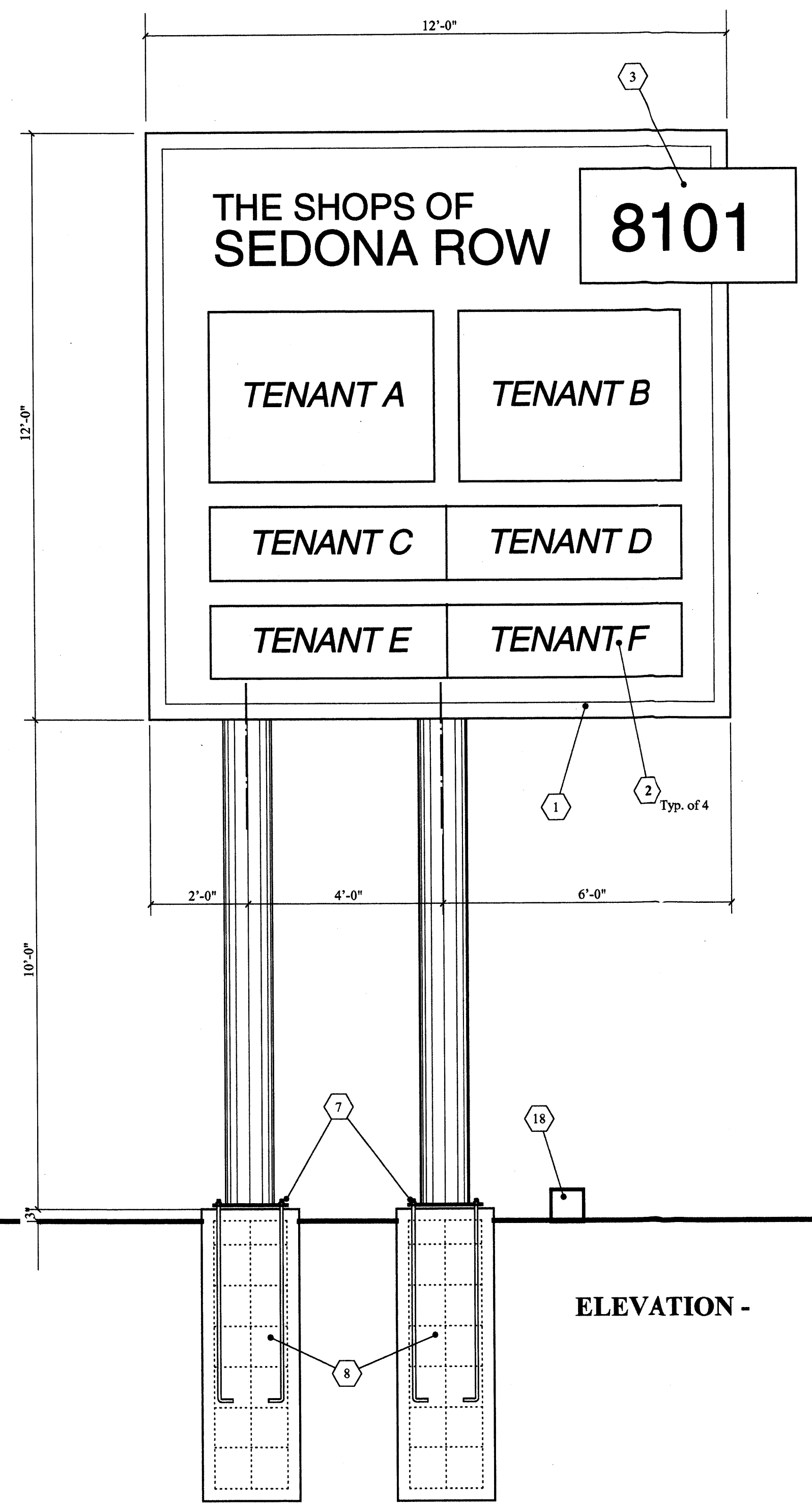
PLAN



ELEVATION



PLAN



ELEVATION -

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- KEYED NOTES**
- 144 sq. ft. internally illuminated sign provided by Owner.
 - Changeable lexan tenant signs provided by Owner.
 - Illuminated address box provided by Owner.
 - 48 sq. ft. internally illuminated sign provided by Owner.
 - 12 3/4" dia. x 1/4" steel support pole, painted. Weld to base plate continuously. See Architect for color.
 - 1' - 6" x 1' - 6" x 1/4" base plate with 1" hole in center to allow for electrical, paint to match pole.
 - Anchor bolt size and location to be designed and installed by sign manufacturer.
 - Concrete base and rebar to be designed and installed by sign manufacturer.
 - 8 x 8 x 16 CMU wall with #4 vertical rebar @ 16" o.c. and horizontal tie @ 24" o.c.
 - Cultured stone on CMU wall with ties @ ? o.c.
 - 4" X 4" X 1/4" steel tube jamb post with 1/4" welded cap plate. Secure post with 1/2" bolt to CMU wall. See structural for base foundation.
 - 3" x 1 1/2" x 3/16" steel tube perimeter frame, weld smooth and paint. Color to be selected by Architect, see elevations.
 - Concrete footing.
 - 1/8" steel plate welded to tube steel perimeter and intermediate supports. Grind welds smooth and paint. Color to be selected by Architect.
 - Flush bolt at each gate leaf, provide 3/4" steel pipe keeper set in 8" diameter x 1'4" deep concrete footing to receive each bolt at closed AND 120 degree hold open position.
 - New curb, see site plan.
 - Trash receptacle (NIC).
 - Stub up electrical, see electrical.

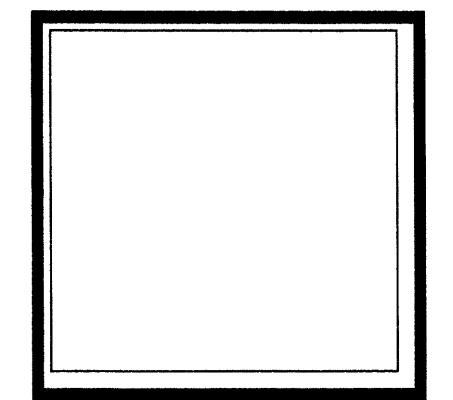
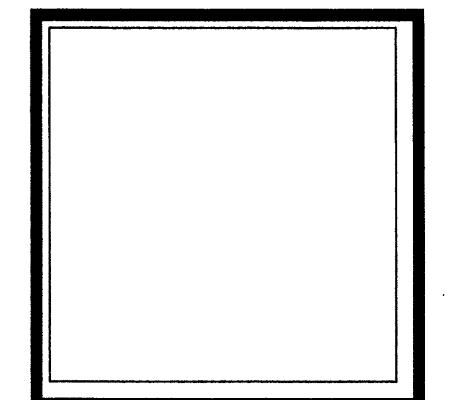
- Color A
- Color B
- Color C

TRASH ENCLOSURE

1 MONUMENT SITE SIGNAGE 1/2" = 1'-0"

2 POLE MOUNTED SITE SIGNAGE 1/2" = 1'-0"

3

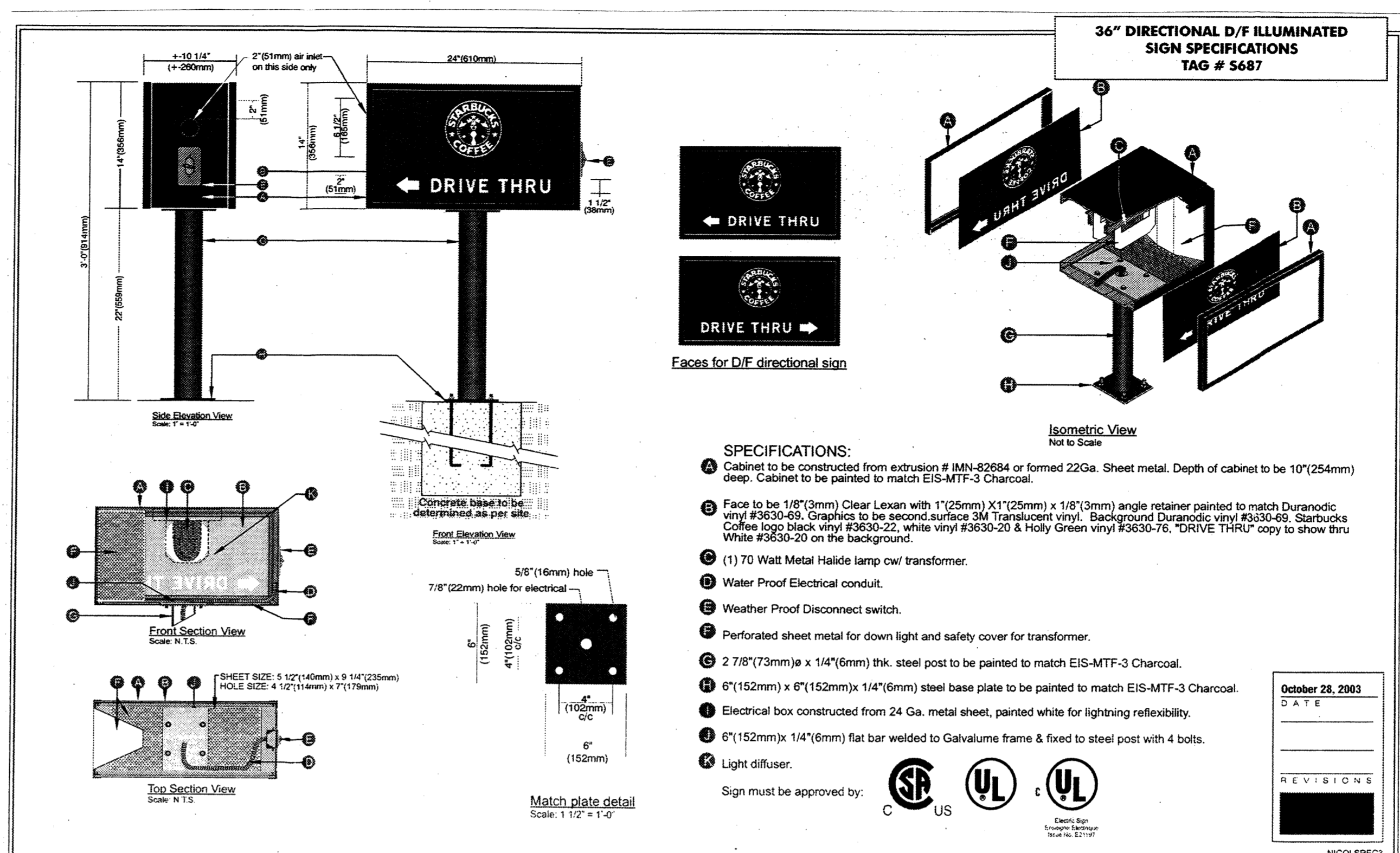
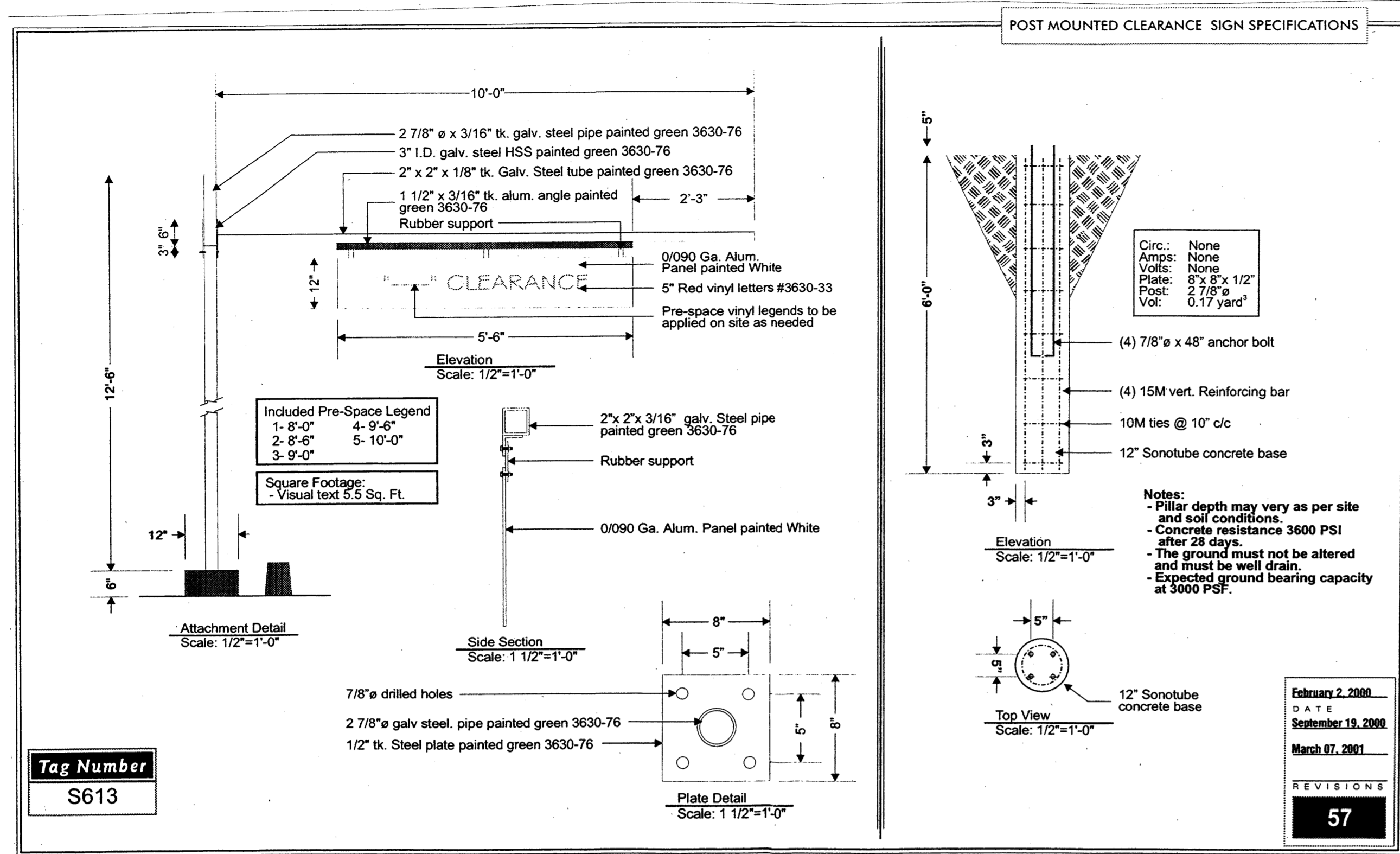


**EXTERIOR SIGNAGE
AND SITE DETAILS**

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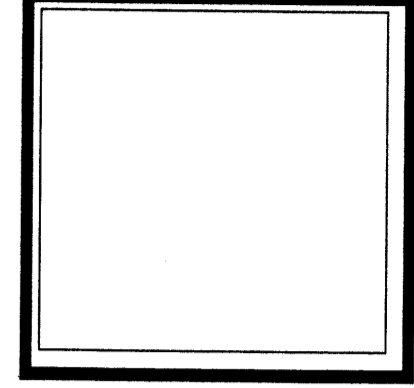
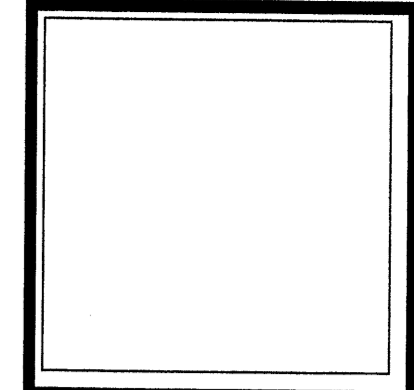
DRB
AS-4



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KEYED NOTES



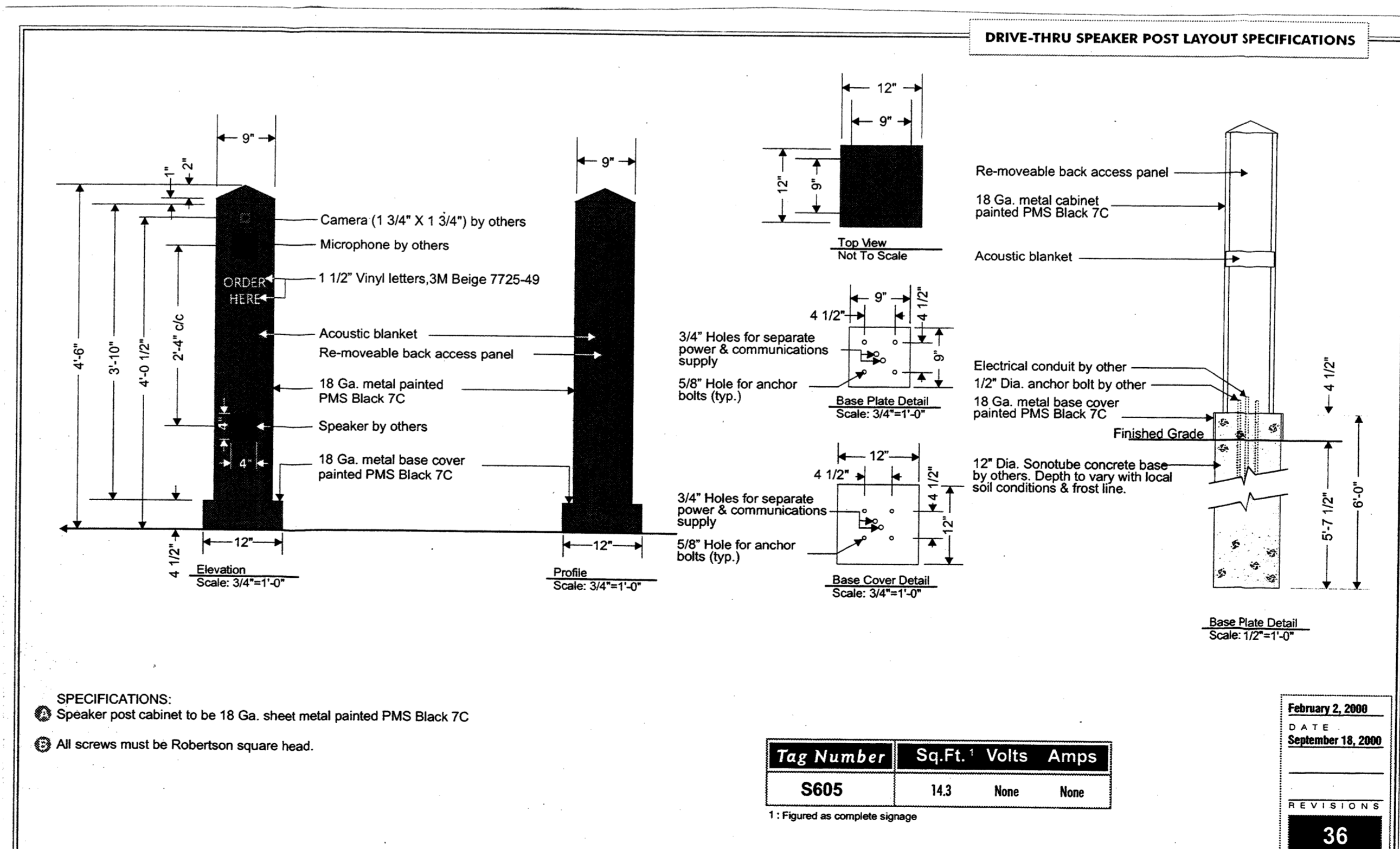
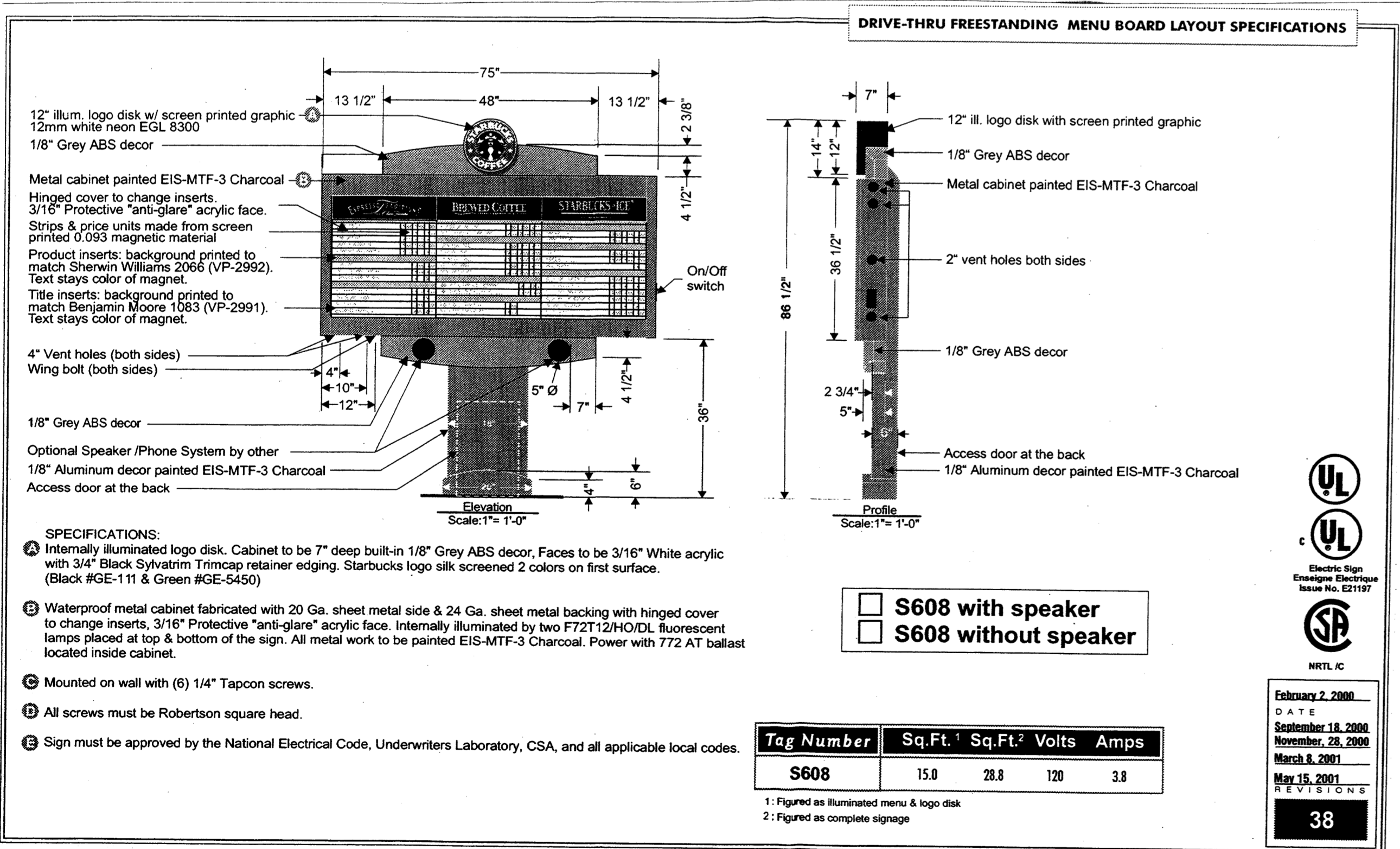
**STARBUCK'S
EXTERIOR SIGNAGE**

POST MOUNTED CLEARANCE SIGN

NTS **1**

ILLUMINATED DIRECTIONAL SIGN

NTS **2**



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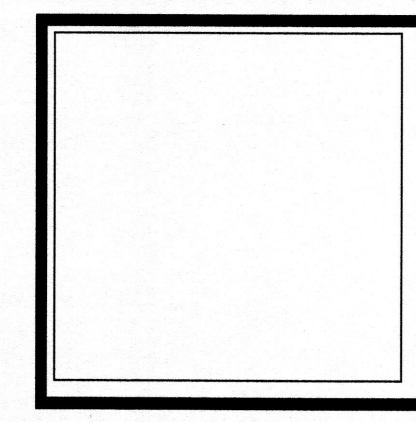
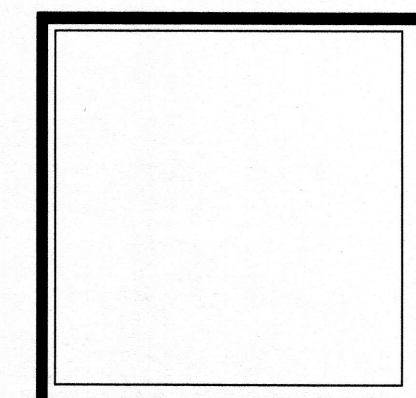
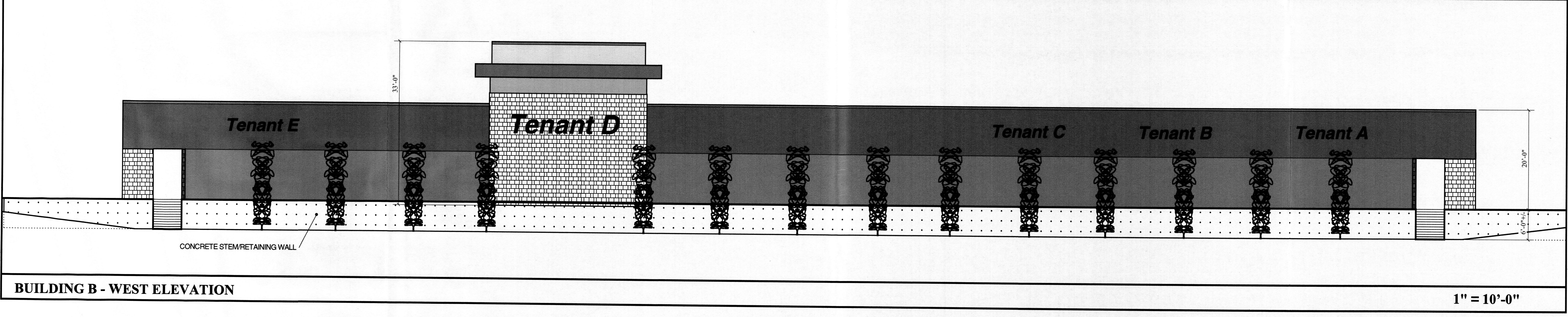
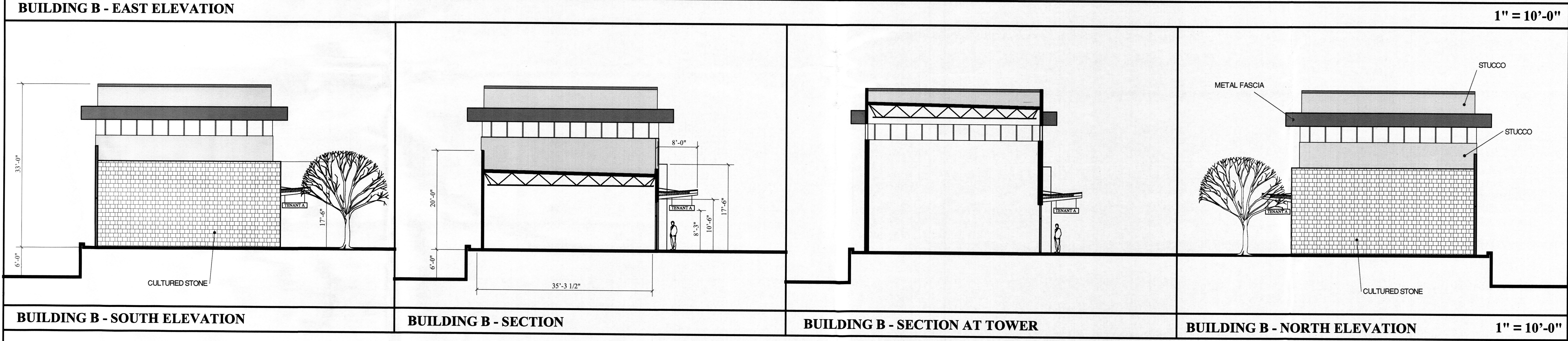
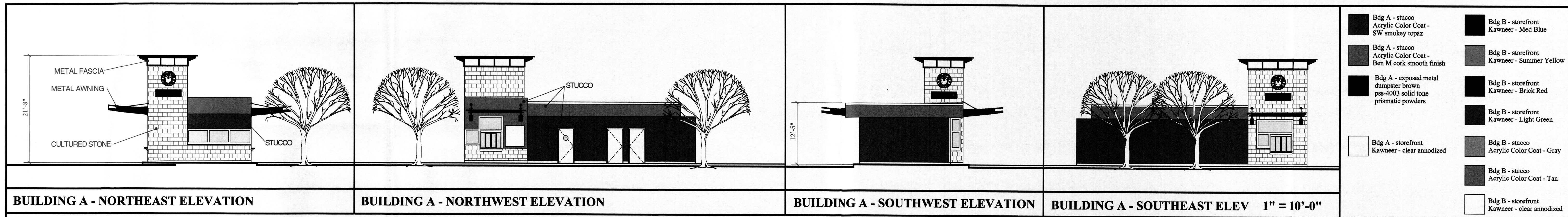
DRIVE-THRU FREESTANDING MENU

NTS **3**

DRIVE-THRU SPEAKER POST

NTS **4**

**DRB
AS-5**

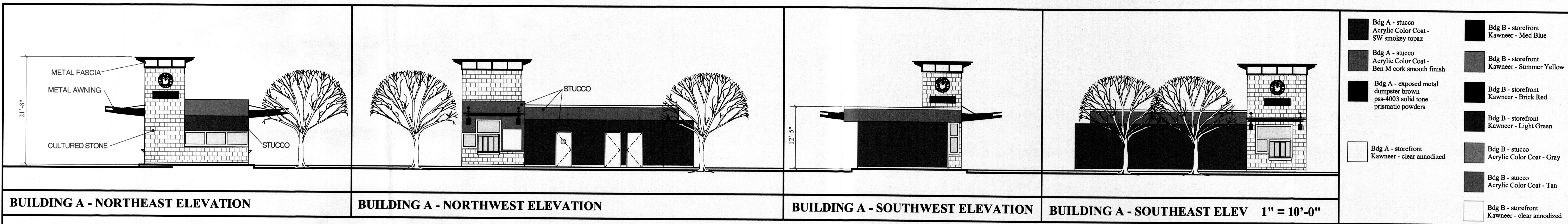


EXTERIOR COLOR ELEVATIONS

THE SHOPS ON SEDONA ROW
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STERLING CAPITAL DEVELOPMENT
 March, 2004

MAHLMAN & MILES ARCHITECTS
 206 BROADWAY SE
 ALBUQUERQUE, NEW MEXICO 87102 / 505-243-0101

DRB
AS-6



BUILDING A - NORTHEAST ELEVATION

BUILDING A - NORTHWEST ELEVATION

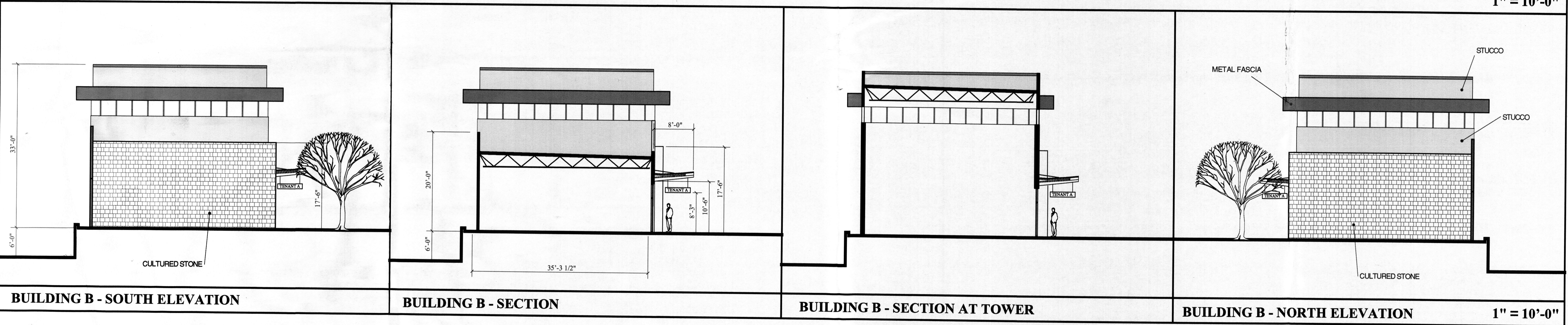
BUILDING A - SOUTHWEST ELEVATION

BUILDING A - SOUTHEAST ELEV 1" = 10'-0"



BUILDING B - EAST ELEVATION

1" = 10'-0"



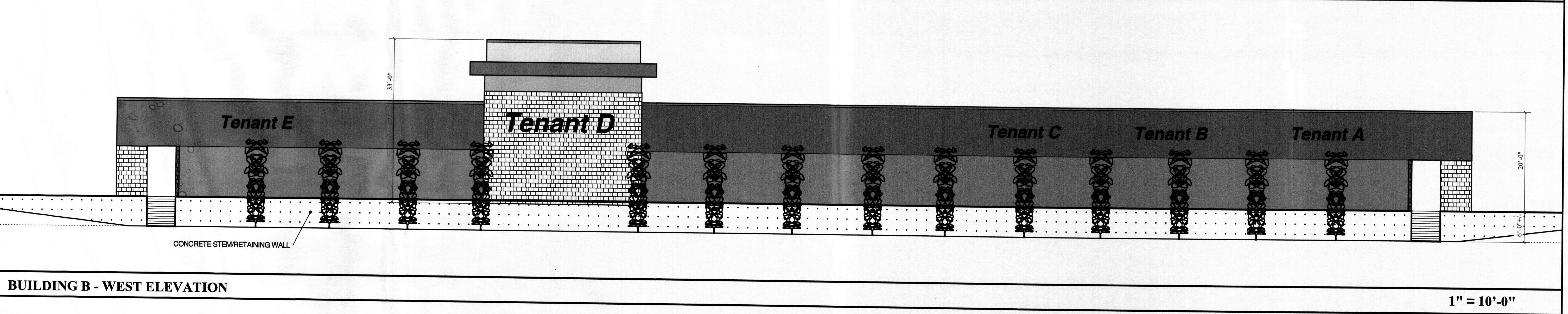
BUILDING B - SOUTH ELEVATION

BUILDING B - SECTION

BUILDING B - SECTION AT TOWER

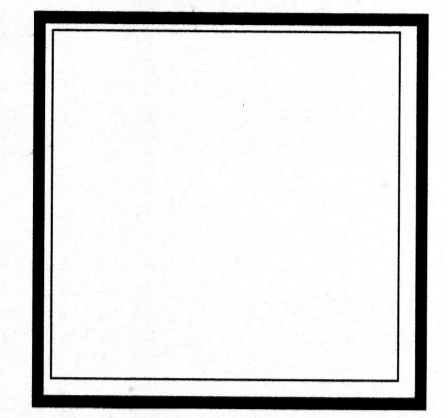
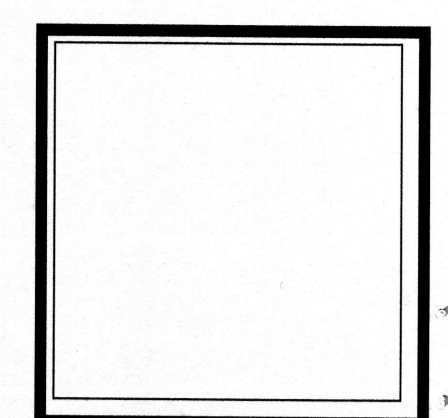
BUILDING B - NORTH ELEVATION

1" = 10'-0"



BUILDING B - WEST ELEVATION

1" = 10'-0"



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