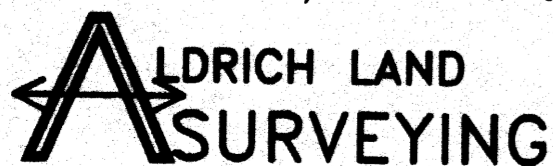


C-9-Z 1"=750'±

VICINITY MAP

SUBDIVISION DATA / NOTES

1. Total Number of Existing Tracts: 1
2. Total Number of Lots created: 50
3. Total Number of Tracts created: 3
4. Gross Subdivision Acreage: 9.4494 Ac.
5. Total Mileage of Full Width Streets Created: 0.59
6. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
7. Distances are ground distances.
8. Bearings and distances in parenthesis are record.
9. Basis of boundary are the following plats (and documents) of record entitled: PLAT OF "THE TRAILS (12-15-03, 03C-375)
10. Field Survey performed on March, 2003.
11. Title Report: None provided.
12. This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.
13. Basis of boundary is from the plats of record entitled:
 - UNPLATTED LAND OF "VOLCANO SIX LIMITED"
 - TRACT OS-1 OPEN SPACE
 - TRACT OS-2 OPEN SPACE
 - UNPLATTED LAND OF "THE ARCHDIOCESE OF SANTA FE"
 - UNPLATTED LAND OF "PARADISE WEST INC."
 - PLAT OF "THE TRAILS, TRACT D" (12-15-03, 03C-375)
 - PLAT OF "THE TRAILS, TRACT J" (12-15-03, 03C-375)
 - PLAT OF "THE TRAILS, TRACT G" (12-15-03, 03C-375)
 - all being records of Bernalillo County, New Mexico.
14. Current Zoning: R-D.
15. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area, water and sanitary sewer system capabilities are based on the NMU, inc. facilities, not the City of Albuquerque.
16. Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #7719".
16. All property corners to be set with 5/8" rebar with cap "ALS LS 7719".



P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

LEGAL DESCRIPTION

A tract of land situate within the Town of Alameda Grant, projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT B, THE TRAILS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 15, 2003 in Book 2003C, Page 375 and containing 9.4494 acres more or less.

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject tract into residential lots, to create 3 tracts, to dedicate public rights-of-way, to grant those easements necessary to serve the residential development, and to vacate easements.

FREE CONSENT AND DEDICATION

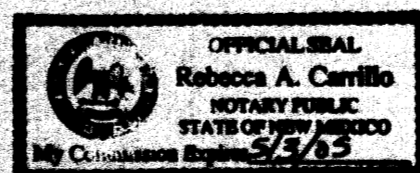
The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, and do hereby certify that this subdivision is their free act and deed.

OWNER
CENTEX HOMES

Norman A. Gregory August 11, 2004
NORMAN A. GREGORY Date
LAND DEVELOPMENT MANAGER

ACKNOWLEDGMENT

STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO }



This instrument was acknowledged before me on August 11, 2004, 2004, by Norman A. Gregory as Land Development Manager of Centex Homes, a Nevada General Partnership, on behalf of said General Partnership.

My Commission Expires: *May 3, 2005*
Rebecca A. Carrillo
Notary Public

PLAT FOR
HERITAGE AT THE TRAILS
SUBDIVISION UNIT 2

BEING A REPLAT OF
TRACT B, THE TRAILS
WITHIN THE TOWN OF ALAMEDA GRANT
PROJECTED SECTION 16,
T. 11 N., R. 2 E., NMPM
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO
San AUGUST 2004

PRELIMINARY PLAT

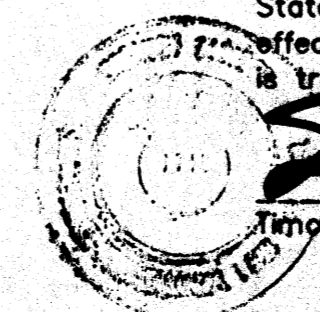
APPROVALS APPROVED BY DRB

DRB PROJECT NO. 1003353
APPLICATION NO. ON *9/22/04*
Utility Approvals

PNM ELECTRIC SERVICES DIVISION	DATE
PNM GAS SERVICES DIVISION	DATE
QWEST	DATE
COMCAST	DATE
NEW MEXICO UTILITIES City Approvals <i>[Signature]</i>	DATE <i>8-23-04</i>
CITY SURVEYOR	DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief."



[Signature]
Timothy Aldrich, P.S. No. 7719

08-11-04
Date

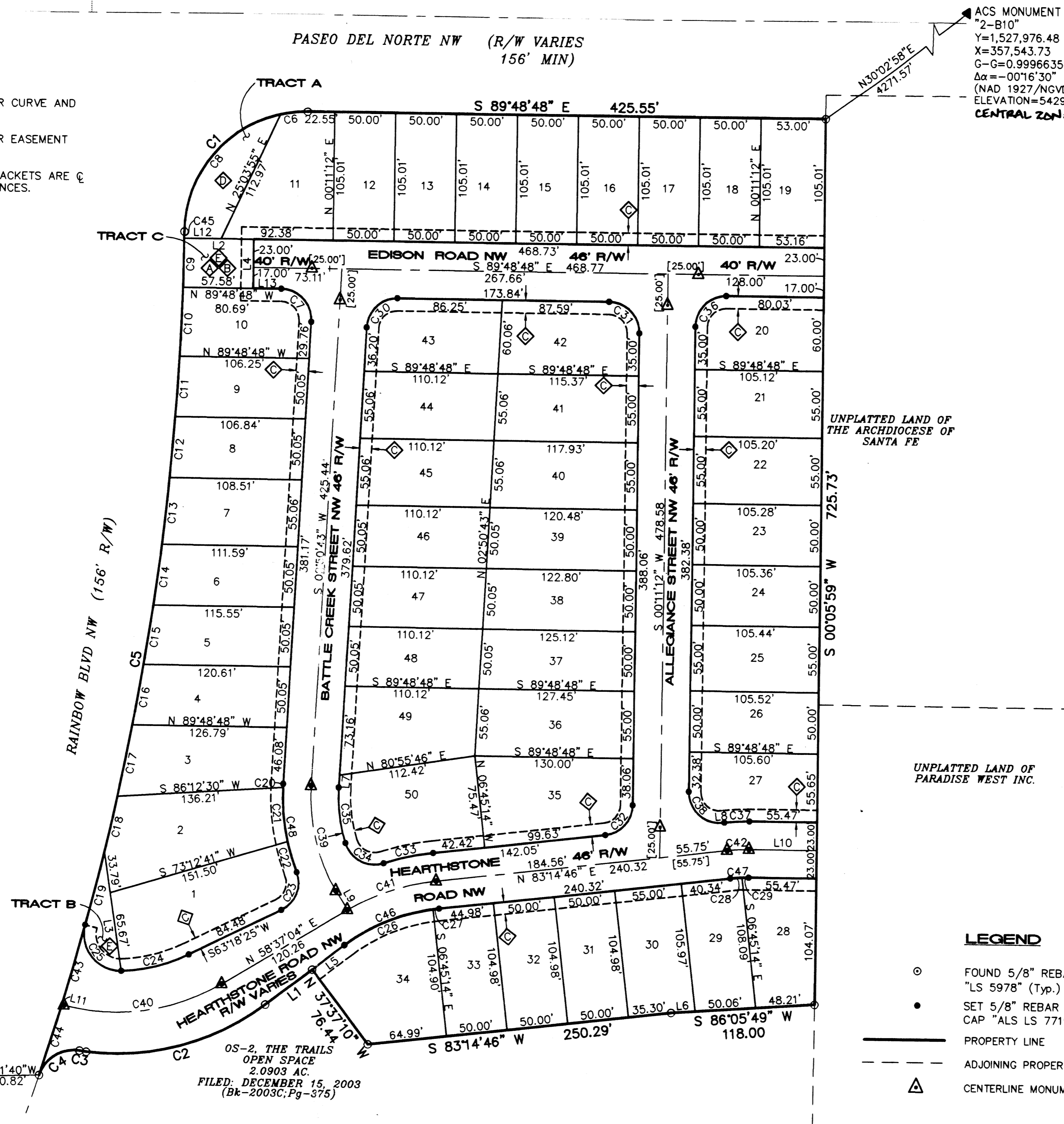
PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2

BEING A REPLAT OF
TRACT B, THE TRAILS
WITHIN THE TOWN OF ALAMEDA GRANT
PROJECTED SECTION 16,
T. 11 N., R. 2 E., NMPM
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2004

NOTES:

1. SEE SHEET 3 FOR CURVE AND LINE TABLES.
2. SEE SHEET 3 FOR EASEMENT NOTES.
3. DISTANCES IN BRACKETS ARE MONUMENT DISTANCES.

ACS MONUMENT
"2-B10"
Y=1,527,976.48
X=357,543.73
G-G=0.99966354
 $\Delta\alpha=-00^{\circ}16'30''$
(NAD 1927/NGVD 1929)
ELEVATION=5429.35
CENTRAL ZONE



ACS MONUMENT
"UNION 1969"
Y=1,523,440.96
X=353,409.02
G-G=0.99966044
 $\Delta\alpha=-00^{\circ}16'58''$
(NAD 1927)
CENTRAL ZONE

OS-2, THE TRAILS
OPEN SPACE
2.0903 AC.
FILED: DECEMBER 15, 2003
(Bk-2003C;Pg-375)

LEGEND

- FOUND 5/8" REBAR WITH CAP "LS 5978" (Typ.)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (Typ.)
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- △ CENTERLINE MONUMENT

08/11/04

SCALE:
1"=60'

**PLAT FOR
HERITAGE AT THE TRAILS
SUBDIVISION UNIT 2**

BEING A REPLAT OF
TRACT B, THE TRAILS
WITHIN THE TOWN OF ALAMEDA GRANT
PROJECTED SECTION 16,
T. 11 N., R. 2 E., NMPM
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2004

BOUNDARY CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	100.00	156.70	99.62	141.15	S 45°17'41" W	89°46'49"
C2	203.00	155.84	81.99	152.04	N 74°22'22" E	43°59'05"
C3	632.00	5.55	2.78	5.55	S 81°35'59" E	0°30'11"
C4	30.00	42.07	25.33	38.71	S 57°58'08" W	80°21'23"
C5	2328.00	706.41	355.94	703.70	N 09°05'45" E	17°23'09"
C6	100.00	22.49	11.29	22.44	S 83°44'33" W	12°53'06"
C7	25.00	40.43	26.19	36.17	N 43°29'03" W	92°39'31"
C8	100.00	134.21	79.39	124.36	S 38°51'08" W	76°53'44"
C9	2328.00	40.00	20.00	40.00	N 01°01'40" E	0°59'04"
C10	2328.00	55.92	27.96	55.92	N 02°12'30" E	1°22'35"
C11	2328.00	50.09	25.04	50.08	N 03°30'46" E	1°13'58"
C12	2328.00	50.16	25.08	50.16	N 04°44'47" E	1°14'04"
C13	2328.00	55.29	27.65	55.29	N 06°02'39" E	1°21'39"
C14	2328.00	50.39	25.20	50.39	N 07°20'40" E	1°14'25"
C15	2328.00	50.54	25.27	50.54	N 08°35'12" E	1°14'38"
C16	2328.00	50.72	25.36	50.72	N 09°49'53" E	1°14'54"
C17	2328.00	59.40	29.70	59.39	N 11°11'16" E	1°27'43"
C18	2328.00	46.69	23.35	46.69	N 12°29'36" E	1°08'57"
C19	2328.00	62.56	31.28	62.56	N 13°50'16" E	1°32'23"
C20	173.00	2.82	1.41	2.82	S 02°22'40" W	0°56'06"
C21	173.00	44.55	22.40	44.43	S 05°28'00" E	14°45'15"
C22	173.00	26.12	13.08	26.09	S 17°10'08" E	8°39'01"
C23	25.00	37.00	22.83	33.72	N 20°54'23" E	84°48'04"
C24	135.00	57.39	29.14	56.96	N 75°29'12" E	24°21'33"
C25	30.00	55.99	40.50	48.21	S 38°51'47" E	106°56'29"
C26	157.00	79.55	40.65	78.70	S 66°53'47" W	29°01'53"
C27	157.00	5.03	2.51	5.02	S 82°19'45" W	1°50'02"
C28	127.00	9.67	4.84	9.66	S 85°25'36" W	4°21'40"
C29	127.00	5.52	2.76	5.52	S 88°51'12" W	2°29'32"
C30	25.00	38.11	23.87	34.53	S 46°30'57" W	87°20'29"
C31	25.00	39.27	25.00	35.36	N 44°48'48" W	90°00'00"
C32	25.00	36.24	22.14	33.15	N 41°42'59" E	83°03'33"
C33	203.00	41.63	20.89	41.56	S 77°22'15" W	11°45'00"
C34	25.00	39.54	25.27	35.55	S 63°11'43" E	90°37'04"
C35	127.00	45.95	23.23	45.70	S 07°31'14" E	20°43'53"
C36	25.00	39.27	25.00	35.36	S 45°11'12" W	90°00'00"
C37	173.00	20.69	10.36	20.68	S 86°40'22" W	6°51'13"
C38	25.00	42.30	28.23	37.43	S 48°17'01" E	96°56'27"
C39	150.00	89.61	46.19	88.28	S 14°16'07" E	34°13'40"
C40	169.00	134.24	70.89	130.74	N 81°22'23" E	45°30'39"
C41	180.00	77.37	39.29	76.78	S 70°55'55" W	24°37'42"
C42	150.00	17.94	8.98	17.93	S 86°40'22" W	6°51'13"
C43	2328.00	68.58	34.29	68.57	N 15°27'05" E	1°41'16"
C44	2328.00	60.68	30.34	60.68	N 17°02'31" E	1°29'36"
C45	2328.00	5.39	2.69	5.39	N 00°28'09" E	0°07'57"
C46	157.00	84.58	43.34	83.56	S 67°48'48" W	30°51'55"
C47	127.00	15.19	7.60	15.18	S 86°40'22" W	6°51'13"
C48	173.00	73.49	37.31	72.94	S 09°19'28" E	24°20'22"

LOT AREA TABLE

LOT	AREA (SF)
1	9537
2	8885
3	6995
4	6180
5	5899
6	5674
7	6047
8	5379
9	5325
10	5800
11	7126
12	5250
13	5250
14	5250
15	5250
16	5250
17	5250
18	5250
19	5574
20	6170
21	5784
22	5788
23	5266
24	5270
25	5801
26	5278
27	5808
28	5780
29	5359
30	5784
31	5249
32	5249
33	5249
34	8191
35	8408
36	7080
37	6314
38	6198
39	6082
40	6556
41	6416
42	6705
43	6487
44	6057
45	6057
46	5506
47	5506
48	5506
49	7052
50	8448
TRACT A	3596
TRACT B	1600
TRACT C	2284

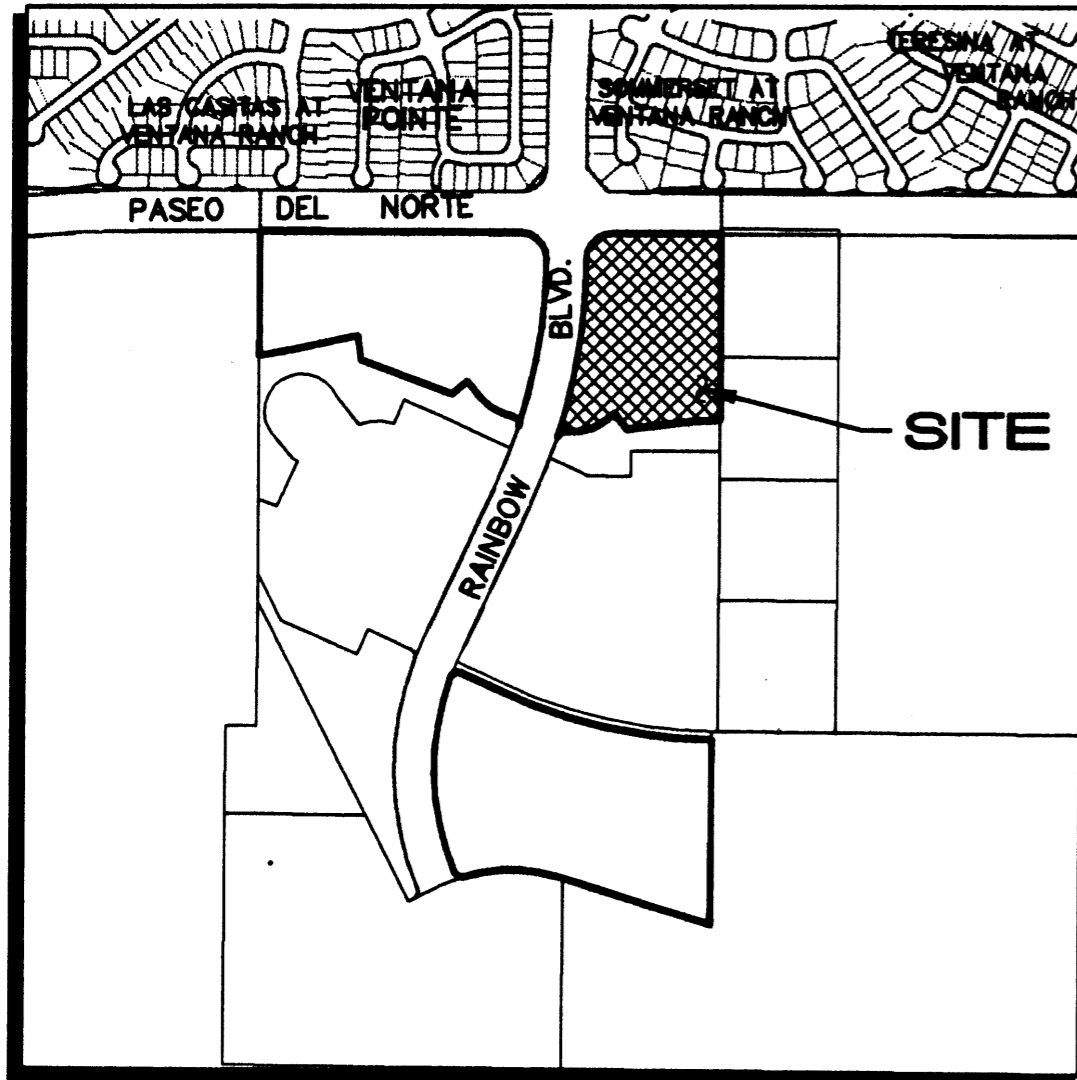
EASEMENT NOTES 

- A. TRACT C SHALL BE COVERED BY A PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT AND MAINTAINED BY THE OWNER.
- B. TRACT C SHALL BE COVERED BY A PUBLIC DRAINAGE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE AND A PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE AND NEW MEXICO UTILITIES, INC. BY THIS PLAT.
- C. 10' WIDE PUBLIC UTILITY EASEMENT (P.U.E.) TO BE GRANTED BY THIS PLAT.
- D. TRACT A SHALL BE COVERED BY A PRIVATE LANDSCAPING EASEMENT GRANTED BY THIS PLAT AND SHALL BE MAINTAINED BY THE OWNER.
- E. TRACT B & C SHALL BE COVERED BY A PRIVATE LANDSCAPING EASEMENT AND SHALL BE MAINTAINED BY THE OWNER. A PUBLIC PEDESTRIAN ACCESS OVER TRACTS B&C TO E GRANTED BY FINAL PLAT.
- F. EXISTING BLANKET PUBLIC ACCESS, DRAINAGE, WATER, AND SANITARY SEWER EASEMENT (12-15-03, BK. 2003C, PG. 375) VACATED BY THIS PLAT (APPL. #04DRB-00454)

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 52°22'50" W	48.21
L2	N 89°48'48" W	57.00
L3	N 08°50'35" W	99.46
L4	N 00°11'12" E	40.00
L5	N 52°23'36" E	33.41
L6	S 86°05'49" W	19.72
L7	N 02°50'43" E	9.98
L8	S 83°14'46" W	1.56
L9	S 31°22'56" E	18.46
L10	S 89°54'01" E	55.47
L11	N 75°52'18" W	1.83
L12	N 89°48'48" W	30.20
L13	S 89°48'48" E	23.10

TALOS LOG NO.: 20 04 28 37 76



C-9-Z 1"=750'

VICINITY MAP

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ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBU., N.M. 87190 505-884-1990

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FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, and do hereby certify that this subdivision is their free act and deed.

Barcode with text: 2004133768 6147265 Page: 1 of 3 09/22/2004 02:48P BL-2004C Pg-295

PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2

BEING A REPLAT OF TRACT B, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T. 11 N., R. 2 E., NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AUGUST 2004

APPROVALS

DRB PROJECT NO. 1003353 APPLICATION NO. 04-0415 Utility Approvals

- Signatures and dates for various utility and department approvals including PNM Electric Services Division, PNM Gas Services Division, Comcast, New Mexico Utilities City Approvals, City Surveyor, Real Property Division, Environmental Health Department, Traffic Engineering, Transportation Division, Utilities Development, Parks and Recreation Department, AMAFCA, City Engineer, and DRB Chairperson, Planning Department.

Notary seal for Rebecca A. Carrillo, Notary Public, State of New Mexico, My Commission Expires 5/3/05. Includes text: THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1009 064 230 487 20315 PROPERTY OWNER OF RECORD: Rainbow Six PER BERNALILLO COUNTY TREASURER'S OFFICE: Danny Vigil 22 Sept 04

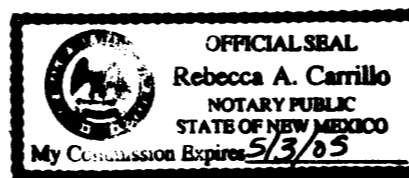
OWNER CENTEX HOMES

Signature of Norman A. Gregory, August 11, 2004, Land Development Manager

ACKNOWLEDGMENT

STATE OF NEW MEXICO } SS COUNTY OF BERNALILLO }

This instrument was acknowledged before me on August 11, 2004, by Norman A. Gregory as Land Development Manager of Centex Homes, a Nevada General Partnership, on behalf of said General Partnership.



My Commission Expires: May 3, 2005 Signature of Notary Public



SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief."

Signature of Timothy Aldrich, P.S. No. 7719, Date 08-11-04

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HERITAGE AT THE TRAILS
SUBDIVISION UNIT 2

BEING A REPLAT OF
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WITHIN THE TOWN OF ALAMEDA GRANT
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T. 11 N., R. 2 E., NMPM
CITY OF ALBUQUERQUE,
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AUGUST 2004

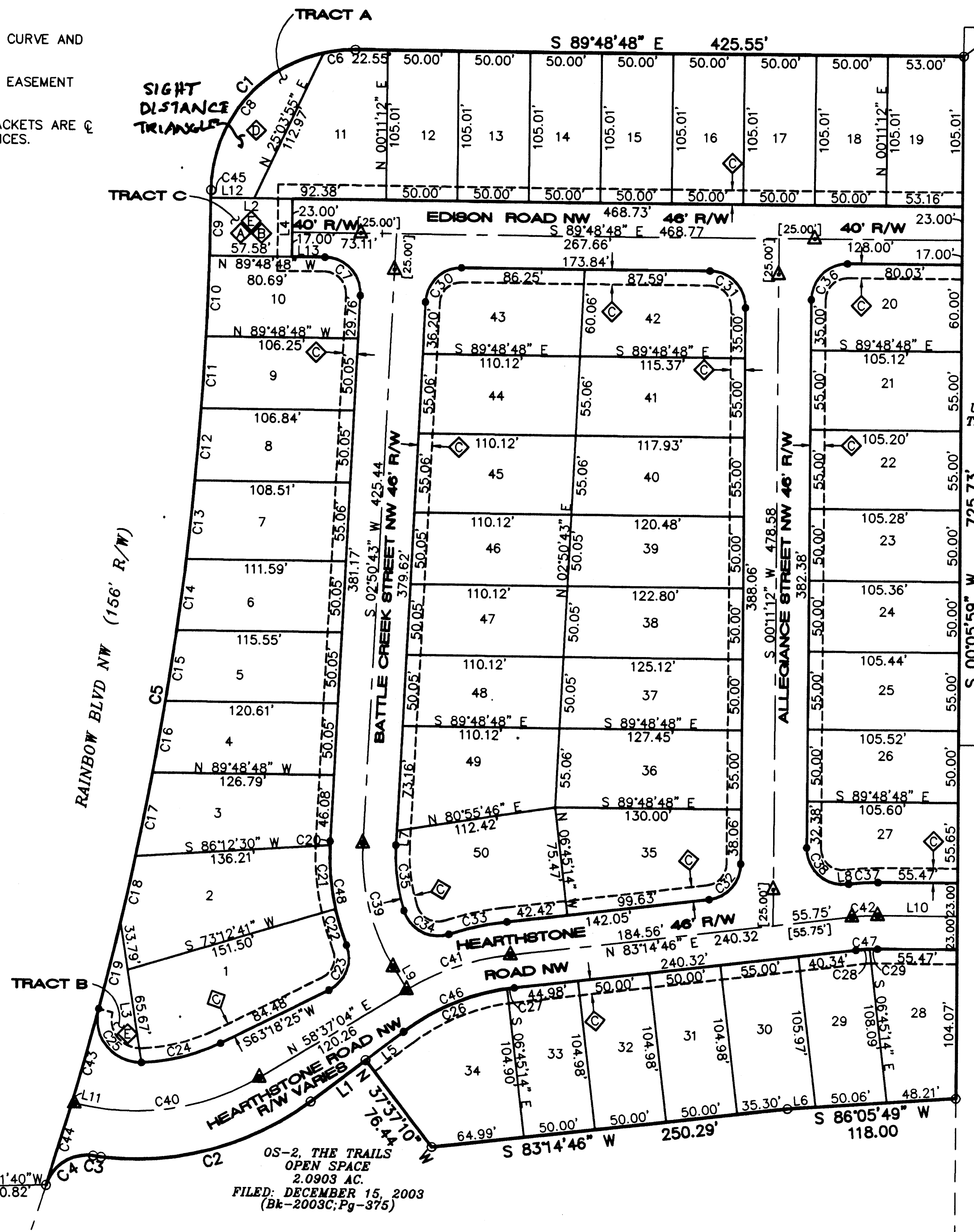
NOTES:

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2. SEE SHEET 3 FOR EASEMENT NOTES.
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(NAD 1927/NGVD 1929)
ELEVATION=5429.35
CENTRAL ZONE

2894133768
6147265
Page: 2 of 3
05/22/2004 02:48P
Bk-2004C Pg-295

Mary Herrera Bern. Co. PLRT R 17.00



UNPLATTED LAND OF
THE ARCHDIOCESE OF
SANTA FE

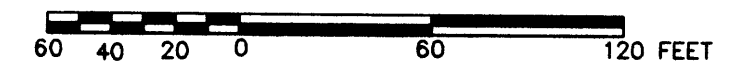
UNPLATTED LAND OF
PARADISE WEST INC.

LEGEND

- FOUND 5/8" REBAR WITH CAP "LS 5978" (Typ.)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- ▲ CENTERLINE MONUMENT



SCALE:
1"=60'



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G-G=0.99966044
 $\Delta\alpha=-00'16'58"$
(NAD 1927)
CENTRAL ZONE

OS-2, THE TRAILS
OPEN SPACE
2.0903 AC.
FILED: DECEMBER 15, 2003
(Bk-2003C;Pg-375)

**PLAT FOR
HERITAGE AT THE TRAILS
SUBDIVISION UNIT 2**

BEING A REPLAT OF
TRACT B, THE TRAILS
WITHIN THE TOWN OF ALAMEDA GRANT
PROJECTED SECTION 16,
T. 11 N., R. 2 E., NMPM
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2004



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CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	100.00	156.70	99.62	141.15	S 45°17'41" W	89°46'49"
C2	203.00	155.84	81.99	152.04	N 74°22'22" E	43°59'05"
C3	632.00	5.55	2.78	5.55	S 81°35'59" E	0°30'11"
C4	30.00	42.07	25.33	38.71	S 57°58'08" W	80°21'23"
C5	2328.00	706.41	355.94	703.70	N 09°05'45" E	17°23'09"
C6	100.00	22.49	11.29	22.44	S 83°44'33" W	12°53'06"
C7	25.00	40.43	26.19	36.17	N 43°29'03" E	92°39'31"
C8	100.00	134.21	79.39	124.36	S 38°51'08" W	76°53'44"
C9	2328.00	40.00	20.00	40.00	N 01°01'40" E	0°59'04"
C10	2328.00	55.92	27.96	55.92	N 02°12'30" E	1°22'35"
C11	2328.00	50.09	25.04	50.08	N 03°30'46" E	1°13'58"
C12	2328.00	50.16	25.08	50.16	N 04°44'47" E	1°14'04"
C13	2328.00	55.29	27.65	55.29	N 06°02'39" E	1°21'39"
C14	2328.00	50.39	25.20	50.39	N 07°20'40" E	1°14'25"
C15	2328.00	50.54	25.27	50.54	N 08°35'12" E	1°14'38"
C16	2328.00	50.72	25.36	50.72	N 09°49'58" E	1°14'54"
C17	2328.00	59.40	29.70	59.39	N 11°11'16" E	1°27'43"
C18	2328.00	46.69	23.35	46.69	N 12°29'36" E	1°08'57"
C19	2328.00	62.56	31.28	62.56	N 13°50'16" E	1°32'23"
C20	173.00	2.82	1.41	2.82	S 02°22'40" W	0°56'06"
C21	173.00	44.55	22.40	44.43	S 05°28'00" E	14°45'15"
C22	173.00	26.12	13.08	26.09	S 17°10'08" E	8°39'01"
C23	25.00	37.00	22.83	33.72	N 20°54'23" E	84°48'04"
C24	135.00	57.39	29.14	56.96	N 75°29'12" E	24°21'33"
C25	30.00	55.99	40.50	48.21	S 38°51'47" E	106°56'29"
C26	157.00	79.55	40.65	78.70	S 66°53'47" W	29°01'53"
C27	157.00	5.03	2.51	5.02	S 82°19'45" W	1°50'02"
C28	127.00	9.67	4.84	9.66	S 85°25'36" W	4°21'40"
C29	127.00	5.52	2.76	5.52	S 88°51'12" W	2°29'32"
C30	25.00	38.11	23.87	34.53	S 46°30'57" W	87°20'29"
C31	25.00	39.27	25.00	35.36	N 44°48'48" W	90°00'00"
C32	25.00	36.24	22.14	33.15	N 41°42'59" E	83°03'33"
C33	203.00	41.63	20.89	41.56	S 77°22'15" W	11°45'00"
C34	25.00	39.54	25.27	35.55	S 63°11'43" E	90°37'04"
C35	127.00	45.95	23.23	45.70	S 07°31'14" E	20°43'53"
C36	25.00	39.27	25.00	35.36	S 45°11'12" W	90°00'00"
C37	173.00	20.69	10.36	20.68	S 86°40'22" W	6°51'13"
C38	25.00	42.30	28.23	37.43	S 48°17'01" E	96°56'27"
C39	150.00	89.61	46.19	88.28	S 14°16'07" E	34°13'40"
C40	169.00	134.24	70.89	130.74	N 81°22'23" E	45°30'39"
C41	180.00	77.37	39.29	76.78	S 70°55'55" W	24°37'42"
C42	150.00	17.94	8.98	17.93	S 86°40'22" W	6°51'13"
C43	2328.00	68.58	34.29	68.57	N 15°27'05" E	1°41'16"
C44	2328.00	60.68	30.34	60.68	N 17°02'31" E	1°29'36"
C45	2328.00	5.39	2.69	5.39	N 00°28'09" E	0°07'57"
C46	157.00	84.58	43.34	83.56	S 67°48'48" W	30°51'55"
C47	127.00	15.19	7.60	15.18	S 86°40'22" W	6°51'13"
C48	173.00	73.49	37.31	72.94	S 09°19'28" E	24°20'22"

LOT AREA TABLE

LOT	AREA (SF)
1	9537
2	8885
3	6995
4	6180
5	5899
6	5674
7	6047
8	5379
9	5325
10	5800
11	7126
12	5250
13	5250
14	5250
15	5250
16	5250
17	5250
18	5250
19	5574
20	6170
21	5784
22	5788
23	5266
24	5270
25	5801
26	5278
27	5808
28	5780
29	5359
30	5784
31	5249
32	5249
33	5249
34	8191
35	8408
36	7080
37	6314
38	6198
39	6082
40	6556
41	6416
42	6705
43	6487
44	6057
45	6057
46	5506
47	5506
48	5506
49	7052
50	8448
TRACT A	3596
TRACT B	1600
TRACT C	2284

LINE TABLE

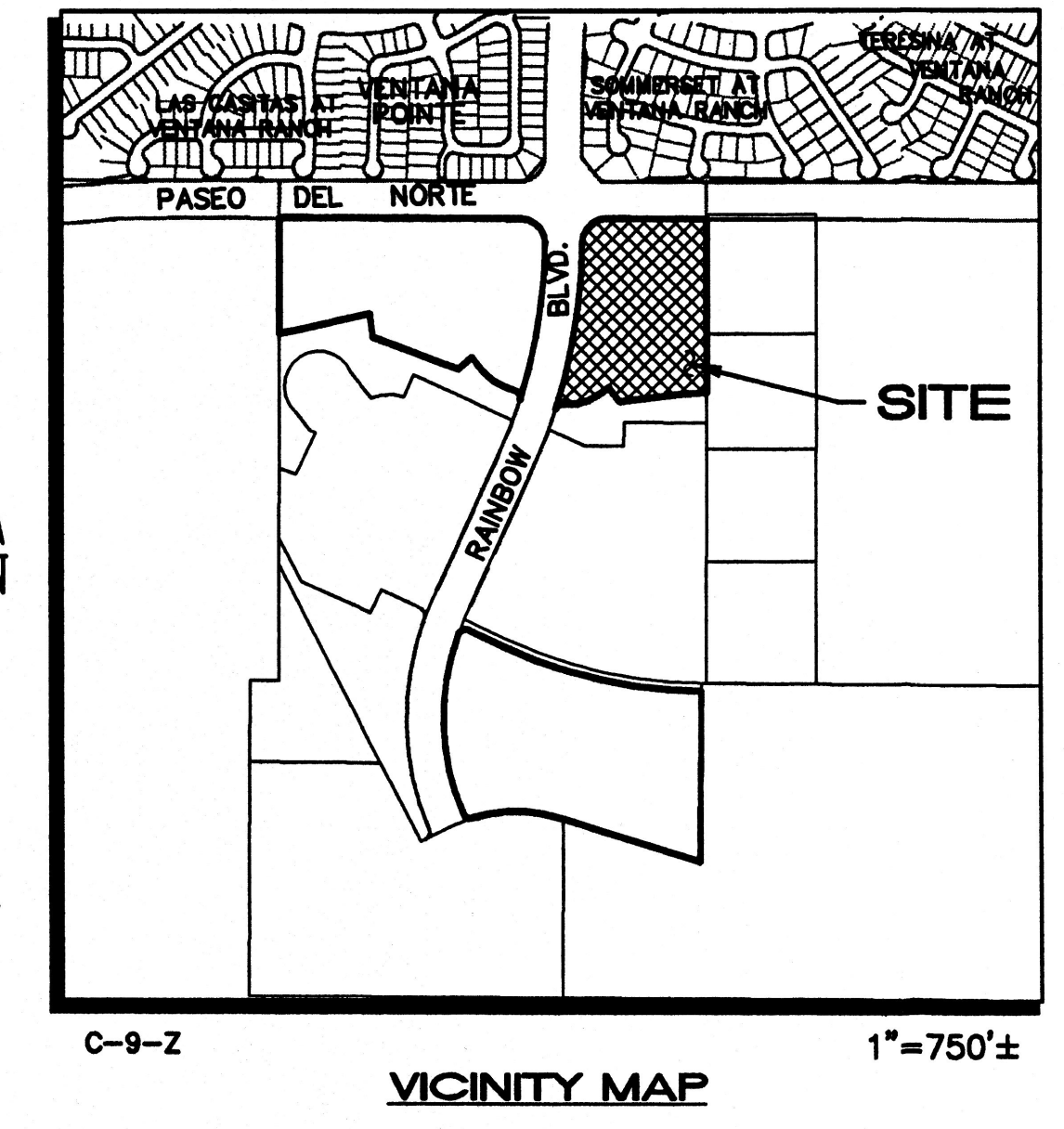
LINE	BEARING	DISTANCE
L1	S 52°22'50" W	48.21
L2	N 89°48'48" W	57.00
L3	N 08°50'35" W	99.46
L4	N 00°11'12" E	40.00
L5	N 52°23'36" E	33.41
L6	S 86°05'49" W	19.72
L7	N 02°50'43" E	9.98
L8	S 83°14'46" W	1.56
L9	S 31°22'56" E	18.46
L10	S 89°54'01" E	55.47
L11	N 75°52'18" W	1.83
L12	N 89°48'48" W	30.20
L13	S 89°48'48" E	23.10

EASEMENT NOTES

- A. TRACT C SHALL BE COVERED BY A PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT AND MAINTAINED BY THE OWNER.
- B. TRACT C SHALL BE COVERED BY A PUBLIC DRAINAGE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE AND A PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE AND NEW MEXICO UTILITIES, INC. BY THIS PLAT.
- C. 10' WIDE PUBLIC UTILITY EASEMENT (P.U.E.) TO BE GRANTED BY THIS PLAT.
- D. TRACT A SHALL BE COVERED BY A PRIVATE LANDSCAPING EASEMENT GRANTED BY THIS PLAT AND SHALL BE MAINTAINED BY THE OWNER.
- E. TRACT B & C SHALL BE COVERED BY A PRIVATE LANDSCAPING EASEMENT AND SHALL BE MAINTAINED BY THE OWNER. A PUBLIC PEDESTRIAN ACCESS OVER TRACTS B&C TO E GRANTED BY FINAL PLAT.
- F. EXISTING BLANKET PUBLIC ACCESS, DRAINAGE, WATER, AND SANITARY SEWER EASEMENT (12-15-03, BK. 2003C, PG. 375) VACATED BY THIS PLAT (APPL. #04DRB-00454)

PRELIMINARY PLAT FOR
HERITAGE AT THE TRAILS SUBDIVISION UNIT 2
 BEING A REPLAT OF TRACT B OF THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T. 11 N, R. 2 E, NMPM
 CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO
 MARCH 2004

PRELIMINARY PLAT APPROVED BY DRB ON 4/21/04



LEGAL DESCRIPTION
 TRACT B, THE TRAILS, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE BULK PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 15, 2003, IN VOLUME 2003C, FOLIO 375.

ACS BENCHMARK
 ACS MONUMENT "2-B-10" LOCATED 1 MI.± WEST OF PARADISE BLVD. AND LA PAZ.
 ELEVATION: 5429.35

SITE DATA

- TOTAL LAND AREA = 9.4495 ACRES.
- NUMBER OF EXISTING TRACTS IS 1.
- NUMBER OF PROPOSED RESIDENTIAL LOTS IS 50.
- NUMBER OF PROPOSED TRACTS IS 2.
- CURRENT ZONING: R-D.
- ALL STREETS WILL MEET CITY STANDARDS AND WILL BE PUBLIC BY PLAT DEDICATION AND BE MAINTAINED BY THE CITY OF ALBUQUERQUE. NO LOT SHALL HAVE DIRECT ACCESS TO PASEO DEL NORTE OR RAINBOW BLVD.
- ALL STREETS HAVE RIGHT-OF-WAY AND PAVING WIDTHS PER DPM STANDARDS.
- CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS #7719".
- ALL STREET CENTERLINE POINTS SHOWN THUS Δ WILL BE MARKED BY A 4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, PLS #7719".
- BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NMSP GRID BEARINGS. DISTANCES WILL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- OPEN SPACE AREA HAS BEEN MET BY DEDICATION OF TRACTS OS-1 AND OS-2 PER BULK PLAT OF THE TRAILS (12/15/03, 2003C-375).

APPROVED

[Signature] 3-26-04
 CITY SURVEYOR DATE

OWNERSHIP

[Signature] 3/25/04
 NORMAN A. GREGORY, LAND DEVELOPMENT MANAGER DATE
 CENTEX HOMES

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico

1324B-PLUM.DWG

SHEET 1 OF 1

BOUNDARY CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C7	203.00	155.84	81.99	152.04	N 74°22'22" E	43°59'04"
C8	632.00	5.55	2.77	5.55	N 81°35'59" W	0°30'10"
C9	30.00	42.08	25.33	38.71	S 57°58'08" W	80°21'37"
C10	2328.00	706.41	355.94	703.70	N 09°05'45" E	17°23'09"
C11	100.00	156.70	99.62	141.15	S 45°17'41" W	89°47'02"
C102	169.00	134.24	70.89	130.74	N 81°22'23" E	45°30'39"
C103	180.00	77.37	39.29	76.78	S 70°55'55" W	24°37'42"
C104	150.00	17.94	8.98	17.93	S 86°40'22" W	6°51'13"
C105	150.00	89.61	46.19	88.28	S 14°16'07" E	34°13'40"
C106	30.00	55.99	40.50	48.21	S 38°51'50" E	106°56'31"
C107	135.00	57.39	29.14	56.96	N 75°29'10" E	24°21'30"
C108	25.00	37.00	22.83	33.72	N 20°54'23" E	84°48'04"
C109	25.00	39.54	25.27	35.55	S 63°11'43" E	90°37'04"
C110	173.00	73.49	37.31	72.94	S 09°19'28" E	24°20'22"
C111	127.00	45.95	23.23	45.70	S 07°31'14" E	20°43'53"
C112	25.00	40.43	26.19	36.17	N 43°29'03" W	92°39'31"
C113	25.00	38.11	23.87	34.53	S 46°30'57" W	87°20'29"
C114	25.00	39.27	25.00	35.36	N 44°48'48" W	90°00'00"
C115	25.00	39.27	25.00	35.36	S 45°11'12" W	90°00'00"
C116	25.00	36.24	22.14	33.15	N 41°42'59" E	83°03'33"
C117	25.00	42.30	28.23	37.43	S 48°17'01" E	96°56'27"
C118	173.00	20.69	10.36	20.68	S 86°40'22" W	6°51'14"
C119	157.00	84.58	43.34	83.56	S 67°48'48" W	30°51'55"
C120	127.00	15.19	7.61	15.18	S 86°40'22" W	6°51'14"
C121	173.00	6.02	3.01	6.02	S 01°50'54" W	1°59'38"
C122	173.00	41.35	20.77	41.25	S 05°59'47" E	13°41'42"
C123	173.00	26.12	13.08	26.09	S 17°10'08" E	8°39'01"
C124	203.00	41.63	20.89	41.56	S 77°22'15" W	11°45'00"
C125	2328.00	62.56	31.28	62.55	N 13°50'14" E	1°32'23"
C126	2328.00	43.08	21.54	43.08	N 12°32'15" E	1°03'37"
C127	2328.00	57.93	28.97	57.93	N 11°17'40" E	1°25'32"
C128	2328.00	50.74	25.37	50.74	N 09°57'26" E	1°14'55"
C129	2328.00	50.56	25.28	50.56	N 08°42'38" E	1°14'40"
C130	2328.00	55.44	27.72	55.44	N 07°24'23" E	1°21'52"
C131	2328.00	55.29	27.65	55.29	N 06°02'37" E	1°21'39"
C132	2328.00	50.16	25.08	50.16	N 04°44'46" E	1°14'04"
C133	2328.00	50.09	25.04	50.08	N 03°30'45" E	1°13'58"
C134	2328.00	55.92	27.96	55.92	N 02°12'28" E	1°22'35"
C135	2328.00	45.38	22.69	45.38	N 00°57'41" E	1°07'01"
C136	100.00	134.21	79.40	124.36	S 38°51'03" W	76°53'47"
C137	100.00	22.49	11.29	22.45	S 83°44'34" W	12°53'15"
C138	157.00	79.55	40.65	78.70	S 66°53'47" W	29°01'53"
C139	157.00	5.03	2.51	5.02	S 82°19'45" W	1°50'02"
C140	127.00	9.67	4.84	9.66	S 85°25'36" W	4°21'40"
C141	127.00	5.53	2.76	5.52	S 88°51'12" W	2°29'33"

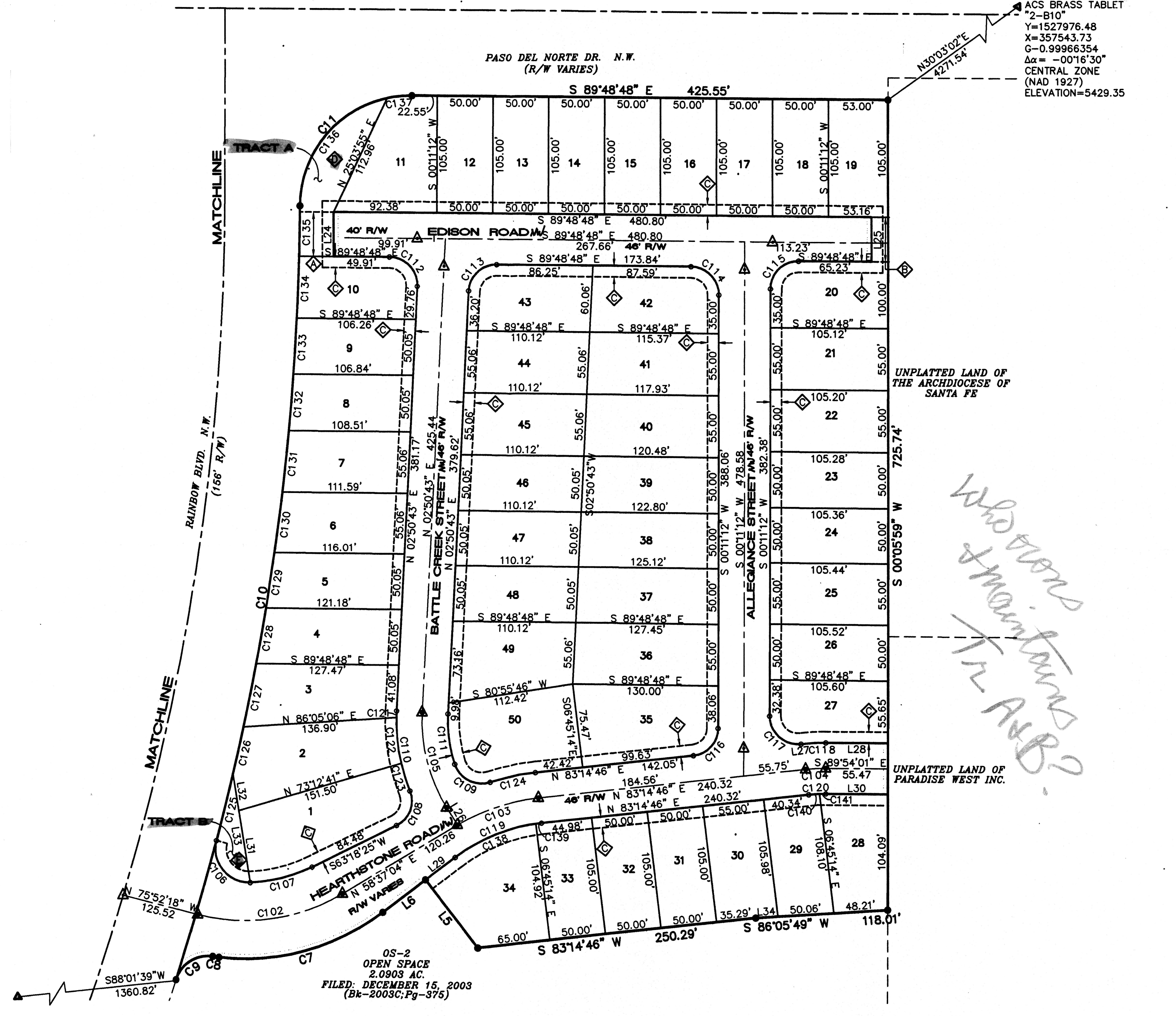
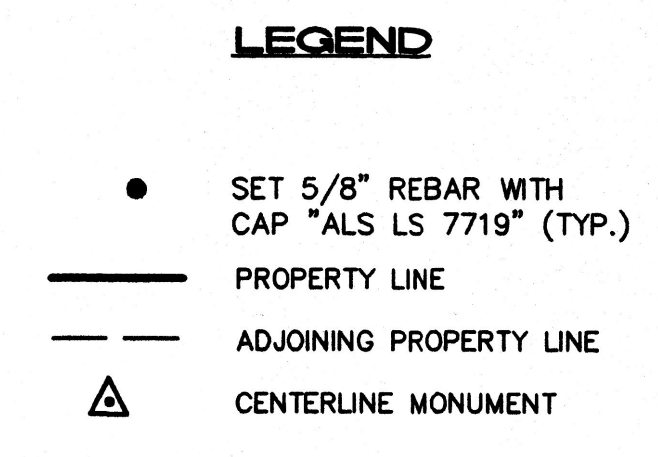
C1-C6 NOT USED
 C12-C101 NOT USED

EASEMENT NOTES

- 40' PUBLIC SANITARY SEWER EASEMENT GRANTED TO NEW MEXICO UTILITIES, INC. AND PUBLIC DRAINAGE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY FINAL PLAT.
- 40' DRAINAGE EASEMENT FOR EMERGENCY OVERFLOW GRANTED TO THE CITY OF ALBUQUERQUE BY FINAL PLAT.
- 10' WIDE PUBLIC UTILITY EASEMENT (P.U.E.) TO BE GRANTED BY FINAL PLAT.
- TRACT A SHALL BE COVERED BY A PRIVATE LANDSCAPING EASEMENT AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF HERITAGE AT THE TRAILS.
- TRACT B SHALL BE COVERED BY A PRIVATE LANDSCAPING EASEMENT AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF HERITAGE AT THE TRAILS.

LINE TABLE		
LINE	BEARING	DISTANCE
L5	N 37°37'10" W	76.44
L6	S 52°22'50" W	48.21
L24	S 00°11'12" W	40.00
L25	N 00°11'12" E	40.00
L26	S 31°22'56" E	18.46
L27	N 83°14'46" E	1.56
L28	S 89°54'01" E	55.47
L29	N 52°22'50" E	33.43
L30	S 89°54'01" E	55.47
L31	S 08°50'39" E	65.67
L32	N 08°50'39" W	33.79
L33	N 08°50'39" W	99.46
L34	N 86°05'49" E	19.73

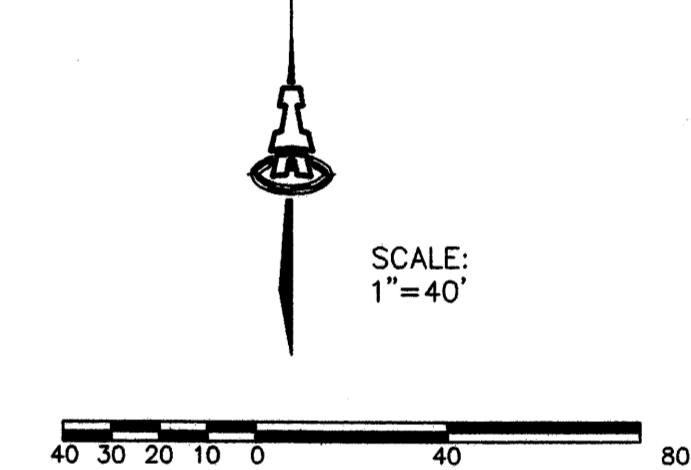
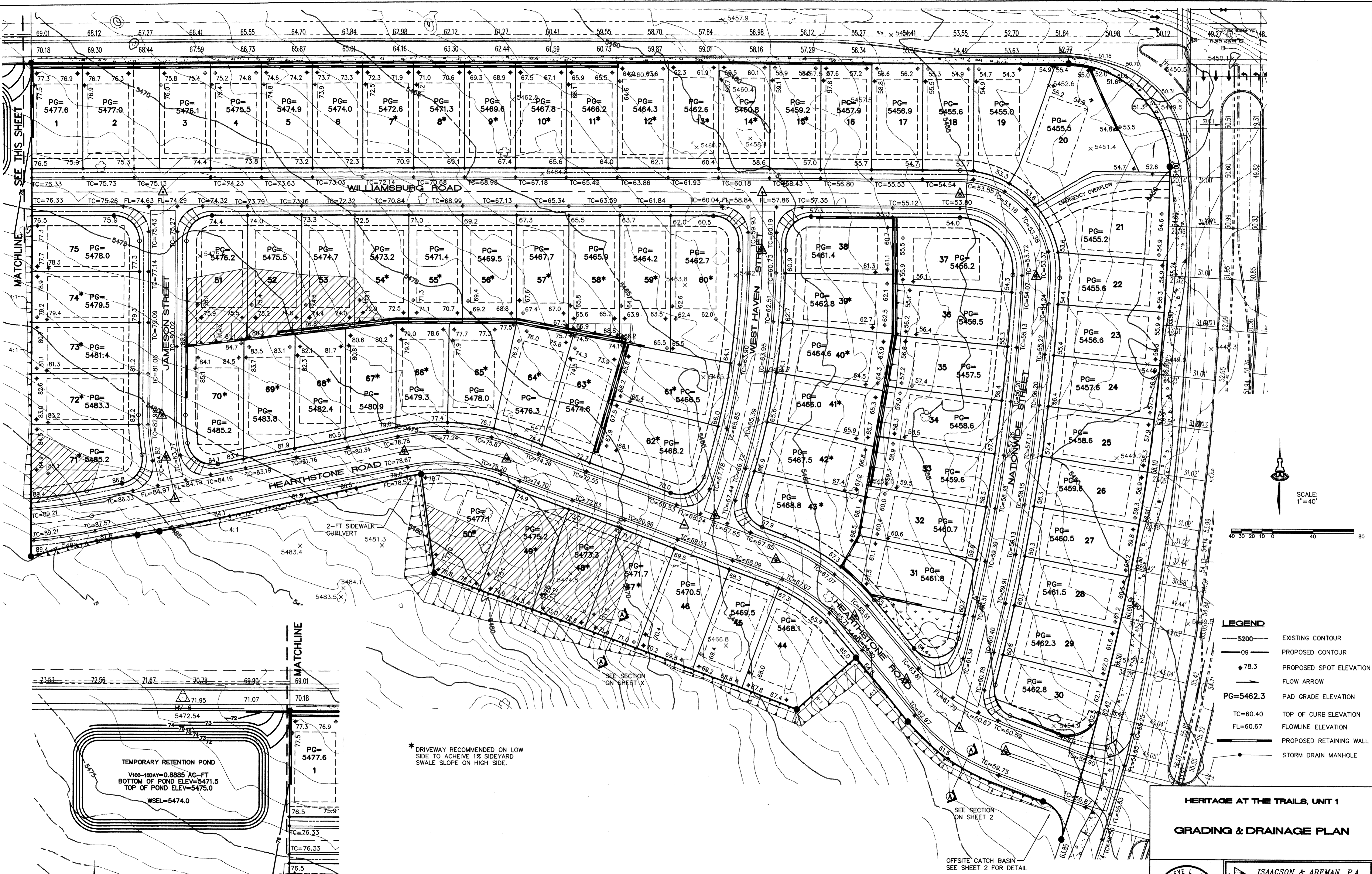
L1-L4 NOT USED
 L7-L23 NOT USED



ACS BRASS TABLE
 "UNION 1969"
 Y=1523440.96
 X=353409.02
 C=0.99966044
 Δα = -00°16'58"
 CENTRAL ZONE
 (NAD 1929)
 ELEVATION=5522.0

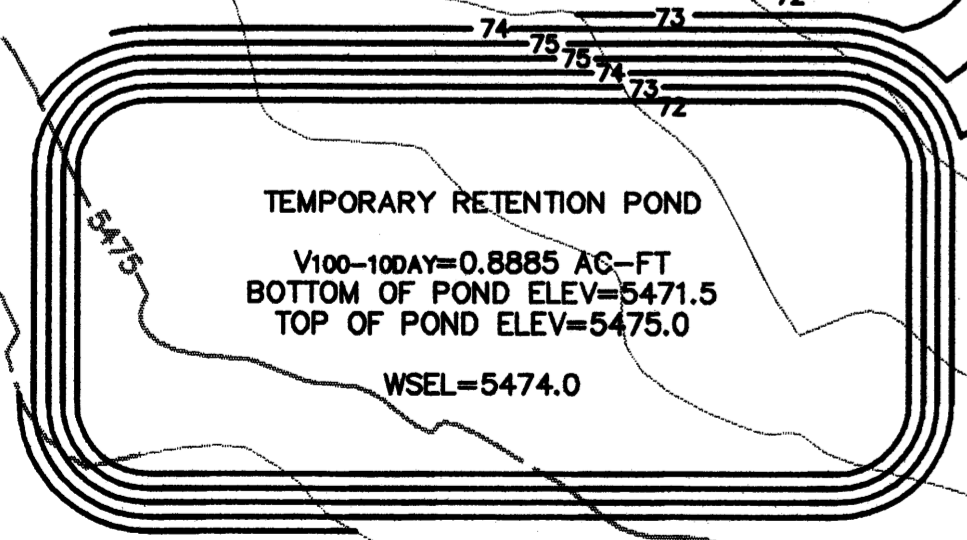
OS-2
 OPEN SPACE
 2.0908 AC.
 FILED: DECEMBER 15, 2003
 (Bk-2003C;Pg-375)

Who owns & maintains TRAILS AUB?



- LEGEND**
- 5200 — EXISTING CONTOUR
 - - - 09 - - - PROPOSED CONTOUR
 - ◆ 78.3 PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - PG=5462.3 PAD GRADE ELEVATION
 - TC=60.40 TOP OF CURB ELEVATION
 - FL=60.67 FLOWLINE ELEVATION
 - PROPOSED RETAINING WALL
 - STORM DRAIN MANHOLE

* DRIVEWAY RECOMMENDED ON LOW SIDE TO ACHIEVE 1% SIDEYARD SWALE SLOPE ON HIGH SIDE.

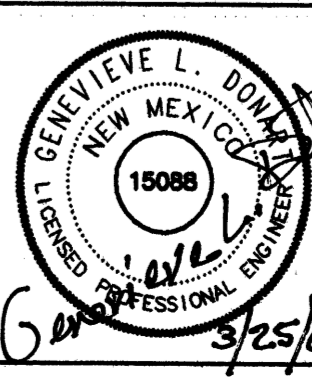


HERITAGE AT THE TRAILS, UNIT 1
GRADING & DRAINAGE PLAN

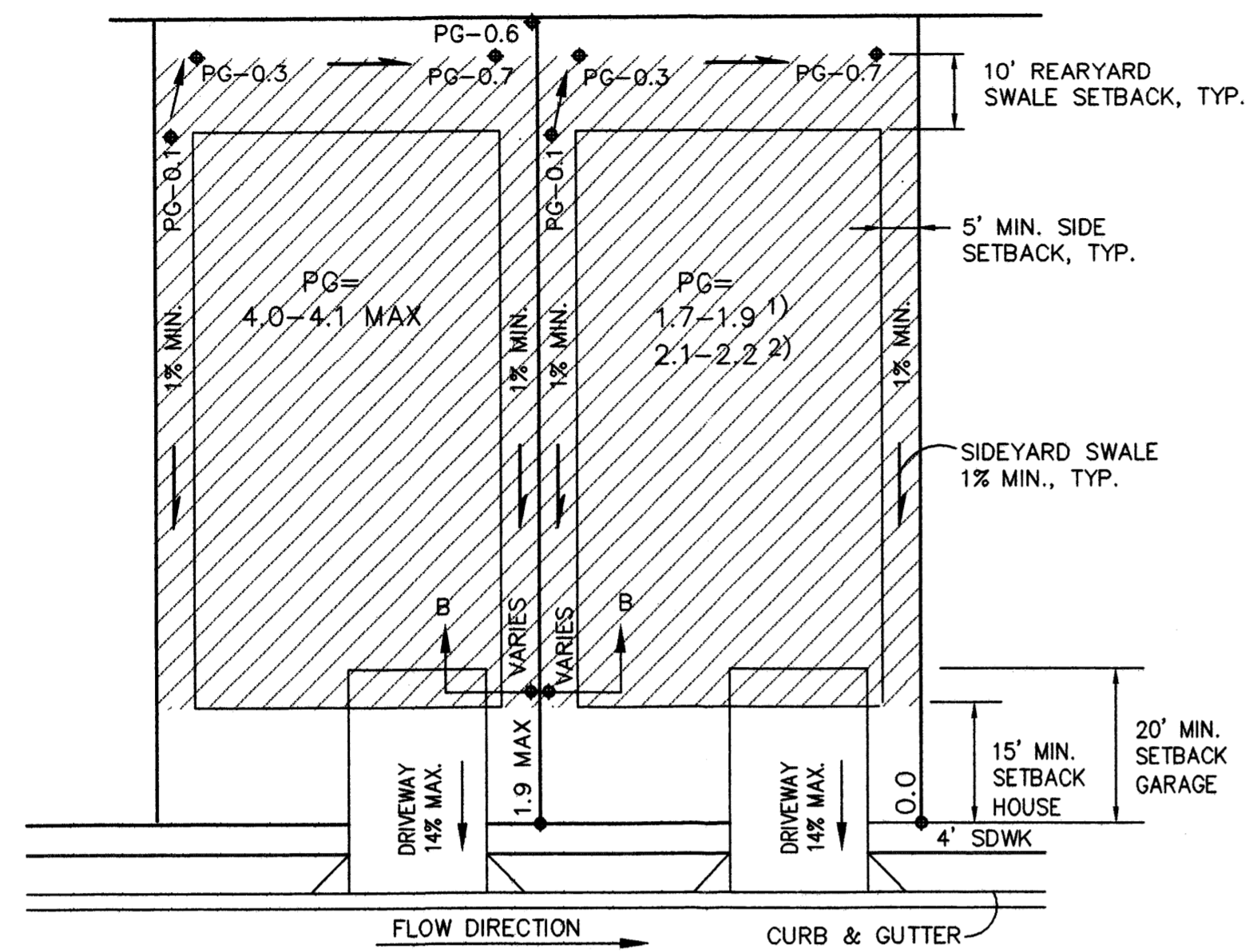
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico

1324AGRD.DWG108 03/25/04

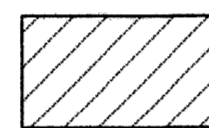
SHEET 1 OF 3



TEMPORARY RETENTION POND
 1"=40'



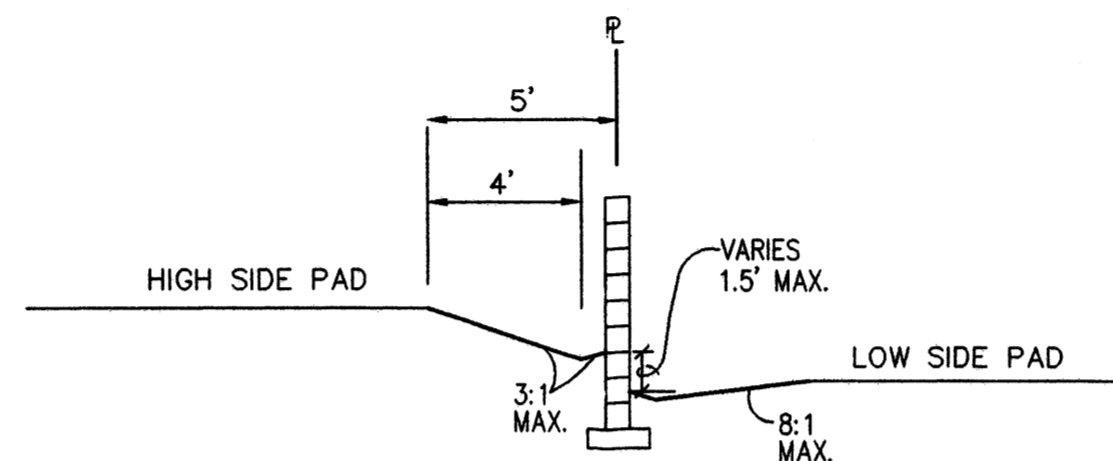
LOTS
TYPICAL LOT GRADING
 SCALE: 1"=20'



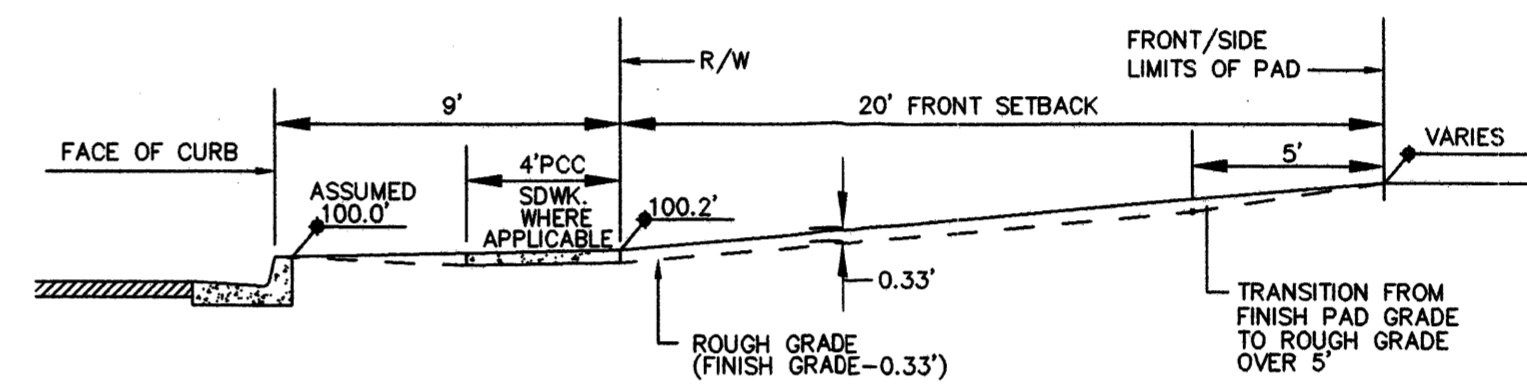
COMPACTION ZONE--CONTRACTOR SHALL COMPACT SOILS IN THIS AREA TO A MINIMUM OF 95% COMPACTION PER ASTM D698, FOR A DEPTH OF 12 INCHES.

- 1) LOTS 1-7, 18-19, 21-30, 38-43, 63-70
- 2) LOTS 8-17, 20, 31-37, 44-62, 71-75

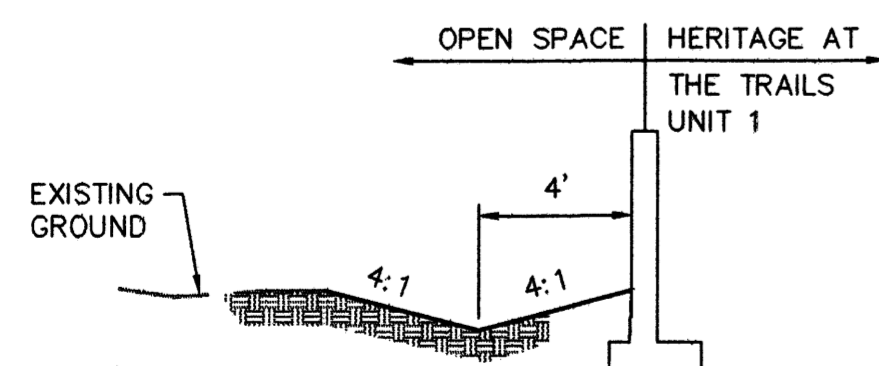
AN ASTERISK (*) NOTED BY THE LOT NUMBER ON THE PLANS INDICATES THAT THE DRIVEWAY IS RECOMMENDED TO BE PLACED ON THE LOW SIDE OF THE LOT TO ACHIEVE 1% SLOPE AT THE HIGH SIDE SIDEYARD SWALE.



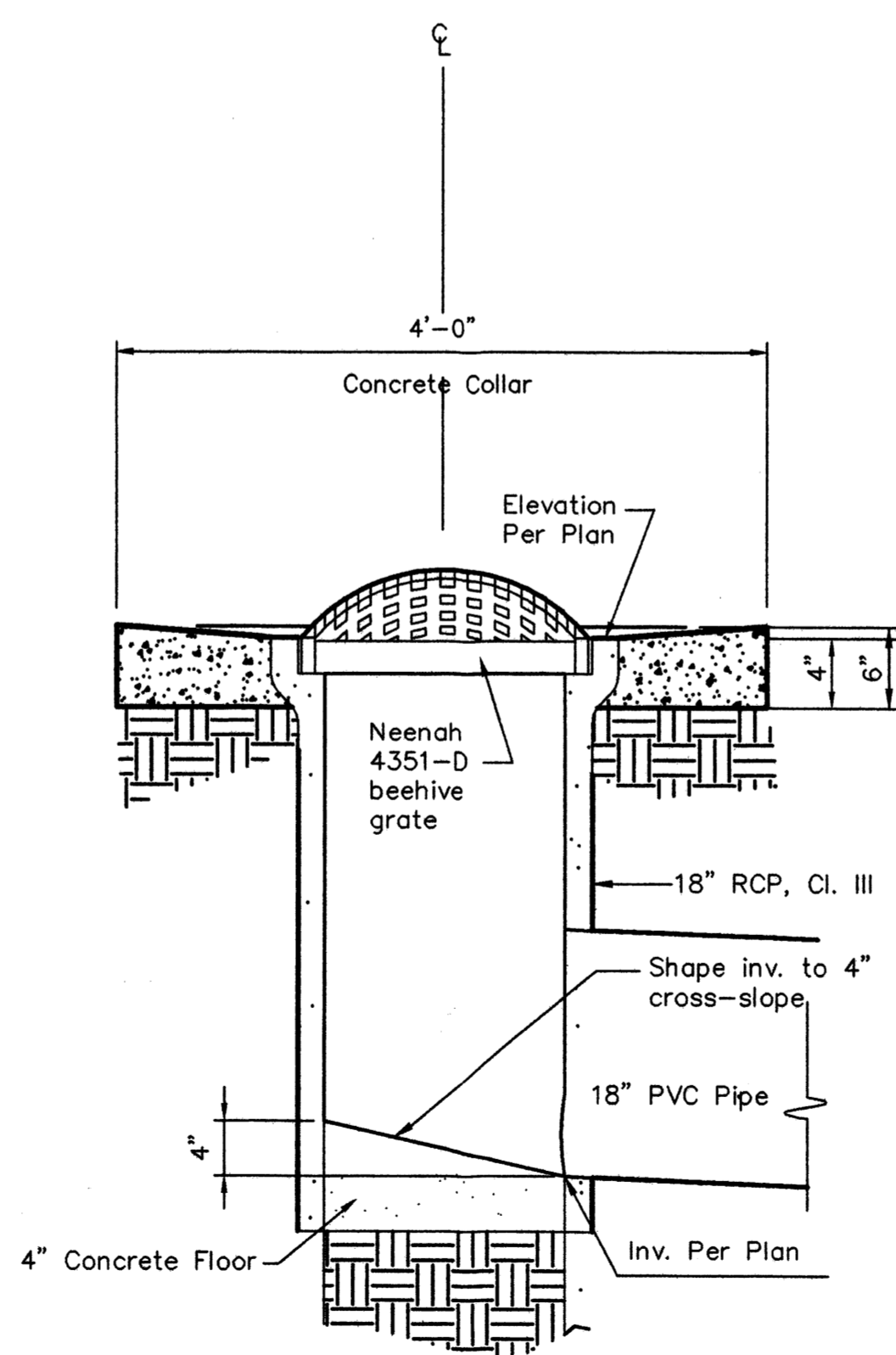
SECTION B-B
TYPICAL SIDEYARD GRADING
 SCALE: 1"=5'



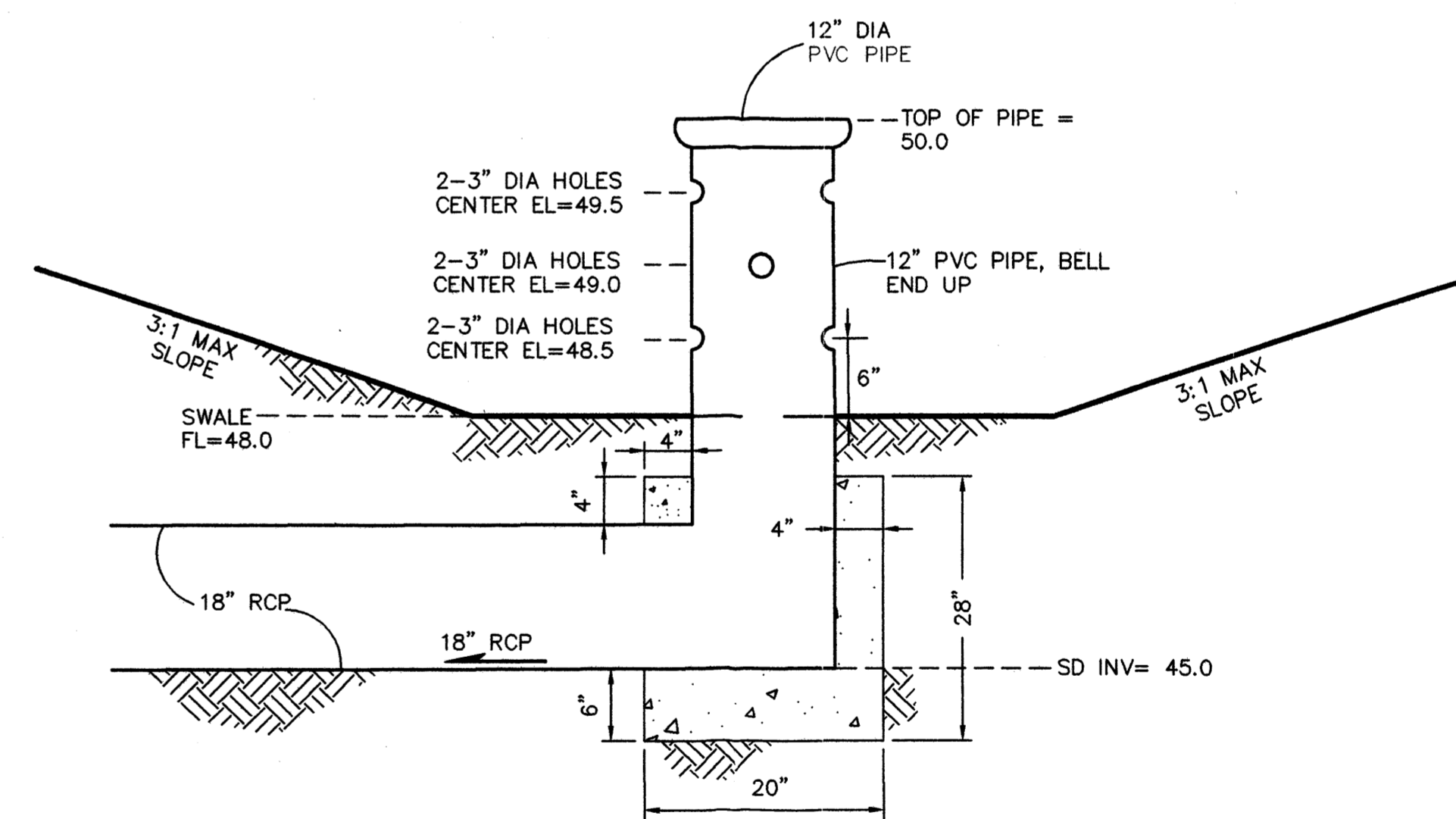
FRONT/SIDE YARD GRADING
 SCALE: 1"=5'-0"



SECTION A-A
OPEN SPACE SWALE
 SCALE: 1"=5'



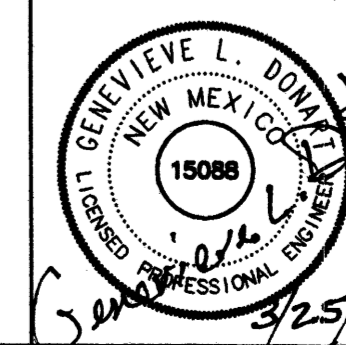
OFFSITE STORM WATER CATCH BASIN AND CONNECTOR PIPE
 1"=1'



TEMPORARY STANDPIPE INLET DETAIL
 NTS

HERITAGE AT THE TRAILS, UNIT 1

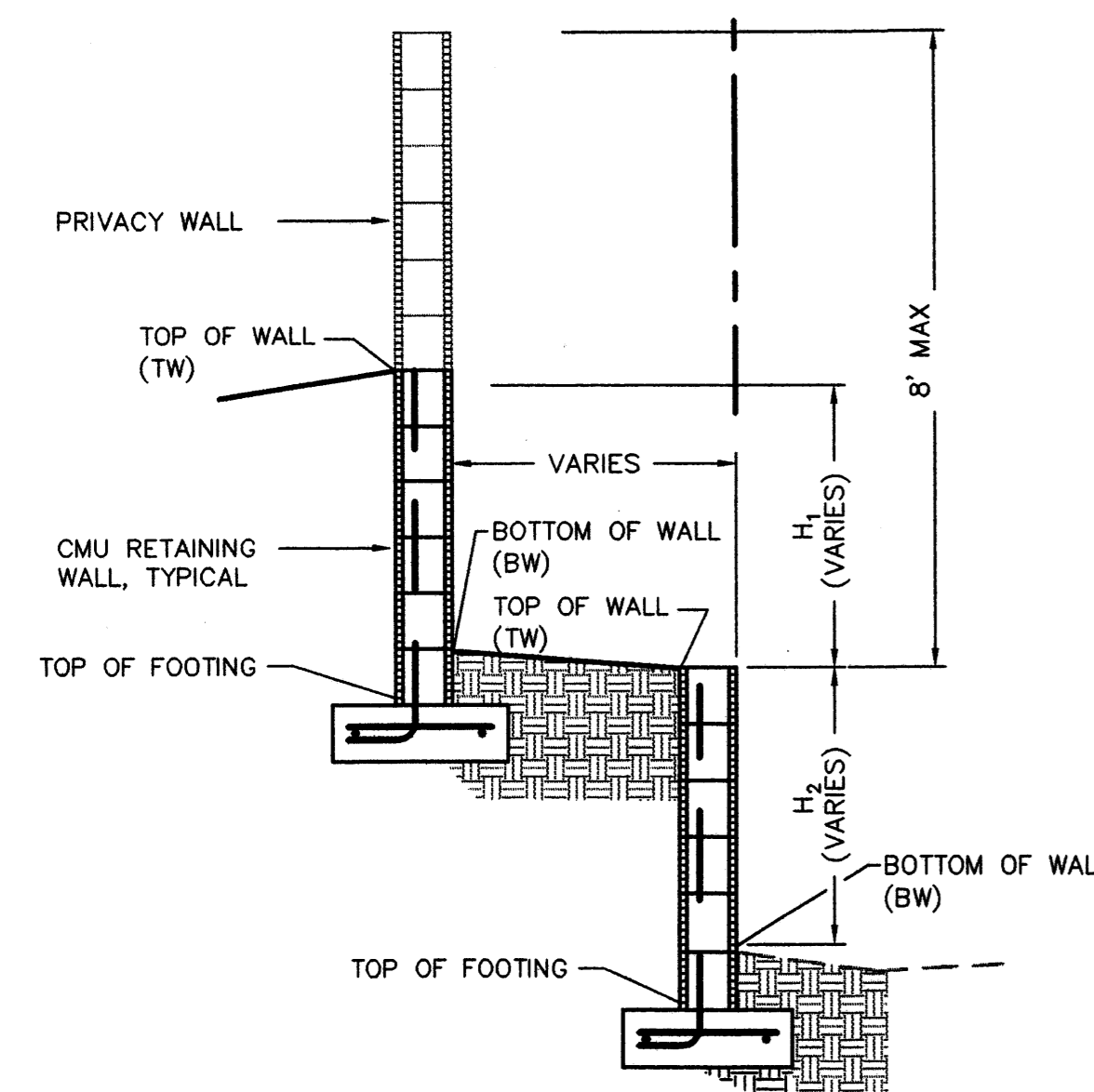
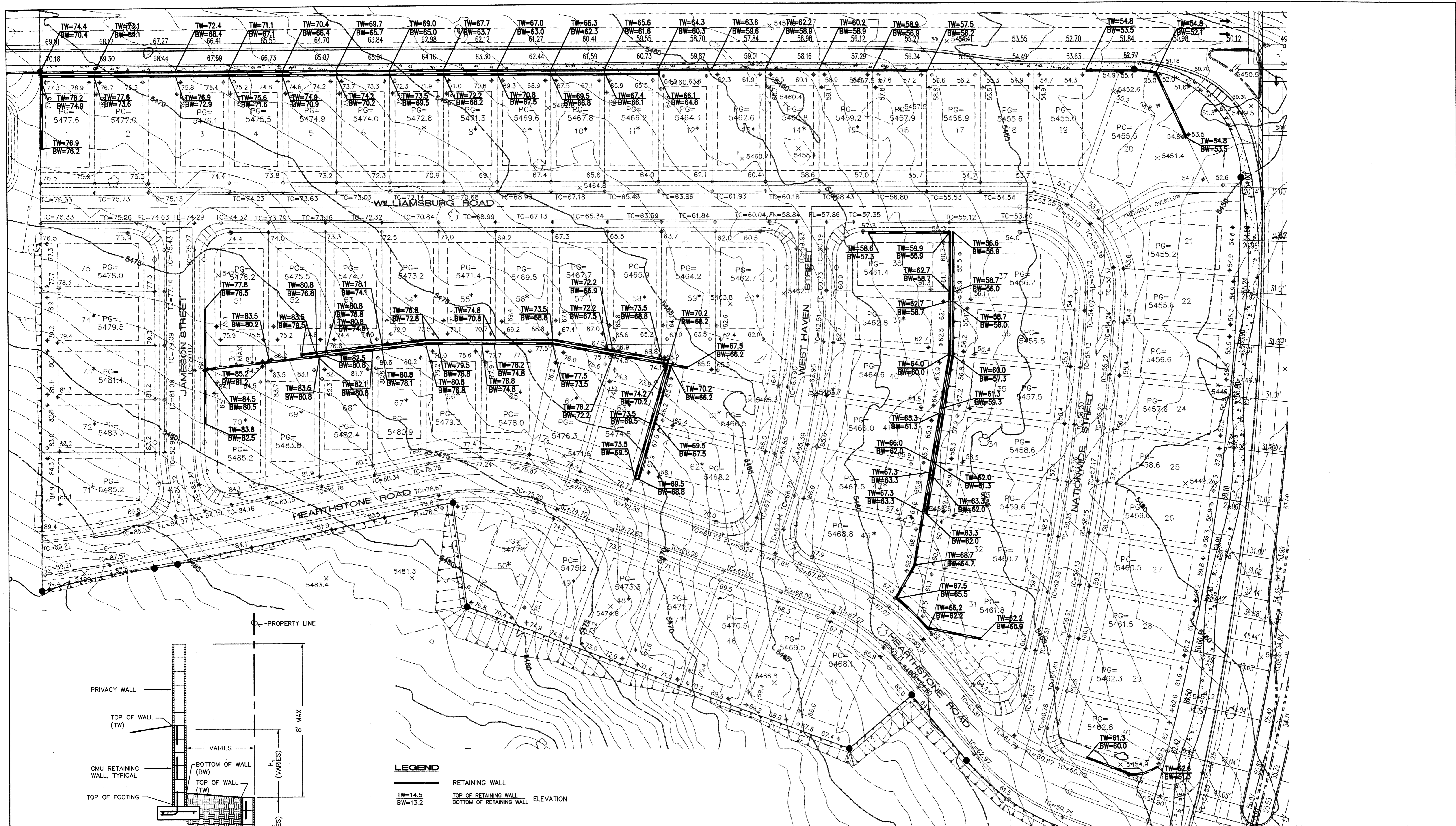
GRADING DETAILS



ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico

1324AGR.DWGrpm 03/24/04

SHEET 2 OF 3



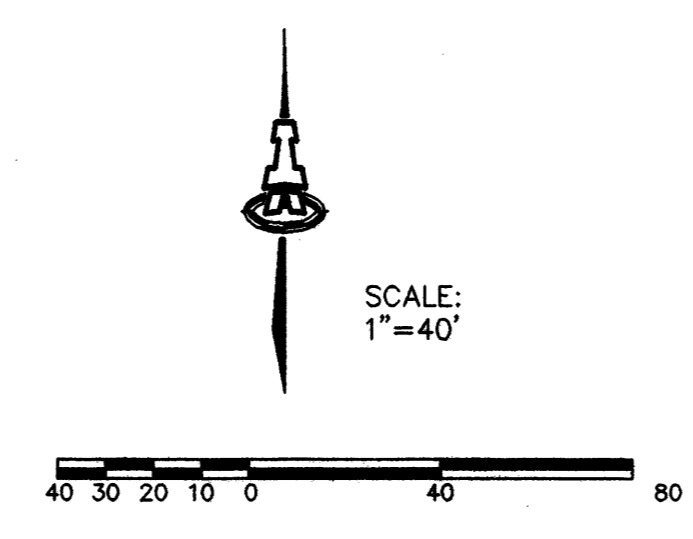
RETAINING WALL
NTS

NOTE: RETAINING WALL SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.

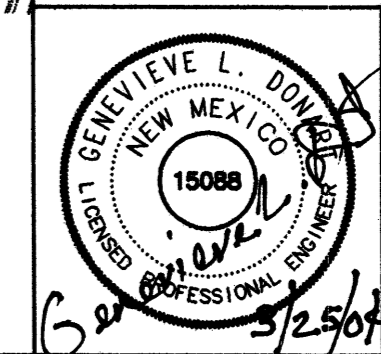
LEGEND

TW=14.5
BW=13.2

RETAINING WALL
TOP OF RETAINING WALL ELEVATION
BOTTOM OF RETAINING WALL ELEVATION



**HERITAGE AT THE TRAILS
UNIT 1
RETAINING WALL PLAN**



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