



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, June 16, 2010, beginning at 9:00 a.m.** for the purpose of considering the following:

- Project# 1003353**
10DRB-70145 MAJOR - 2 YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR SIA) LONGFORD HOMES request(s) the referenced/ above action(s) for all or a portion of **HERITAGE AT THE TRAILS UNIT 2**, zoned RD, located on the east side of RAINBOW BLVD NW between HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 9.4494 acre(s). (B-9, C-9)
- Project# 1003354**
10DRB-70144 MAJOR - 2 YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR SIA) LONGFORD HOMES request(s) the referenced/ above action(s) for all or a portion of **HERITAGE AT THE TRAILS Unit(s) 1**, zoned RD, located on the west side of RAINBOW BLVD NW between HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 13.8660 acre(s). (B-9, C-9)
- Project# 1006520**
10DRB-70141 MAJOR - 2 YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR SIA) GARCIA/KRAEMER & ASSOC. agent(s) for PROTESTANT EPISCOPAL CHURCH IN NM request(s) the referenced/ above action(s) for all or a portion of **HOPE PLAZA** zoned SU-2/ O-1 & R-T, located on the south side of ALAMEDA BLVD NE between BARSTOW ST NE and VENTURA ST NE containing approximately 6.1928 acre(s). (C-20)
- Project# 1007081**
10DRB-70142 VACATION OF PUBLIC
RIGHT-OF-WAY DAC ENTERPRISES, INC agent(s) for PULLMAN INVESTMENTS LLC request(s) the referenced/ above action(s) for all or a portion of **WILLIS PLACE SW** adjacent to Tract C, **SHELL SUBDIVISION NUMBER ONE** located on WILLIS PL SW east of RIO GRANDE BLVD SW (south of CENTRAL AVE SW). (J-13)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Jack Cloud, AICP, DRB Chair
Development Review Board

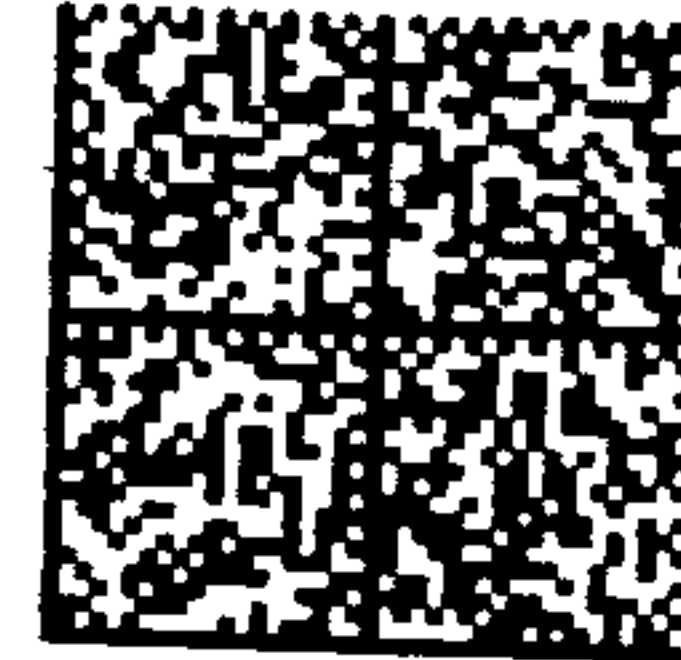
TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 31, 2010.

CITY OF ALBUQUERQUE

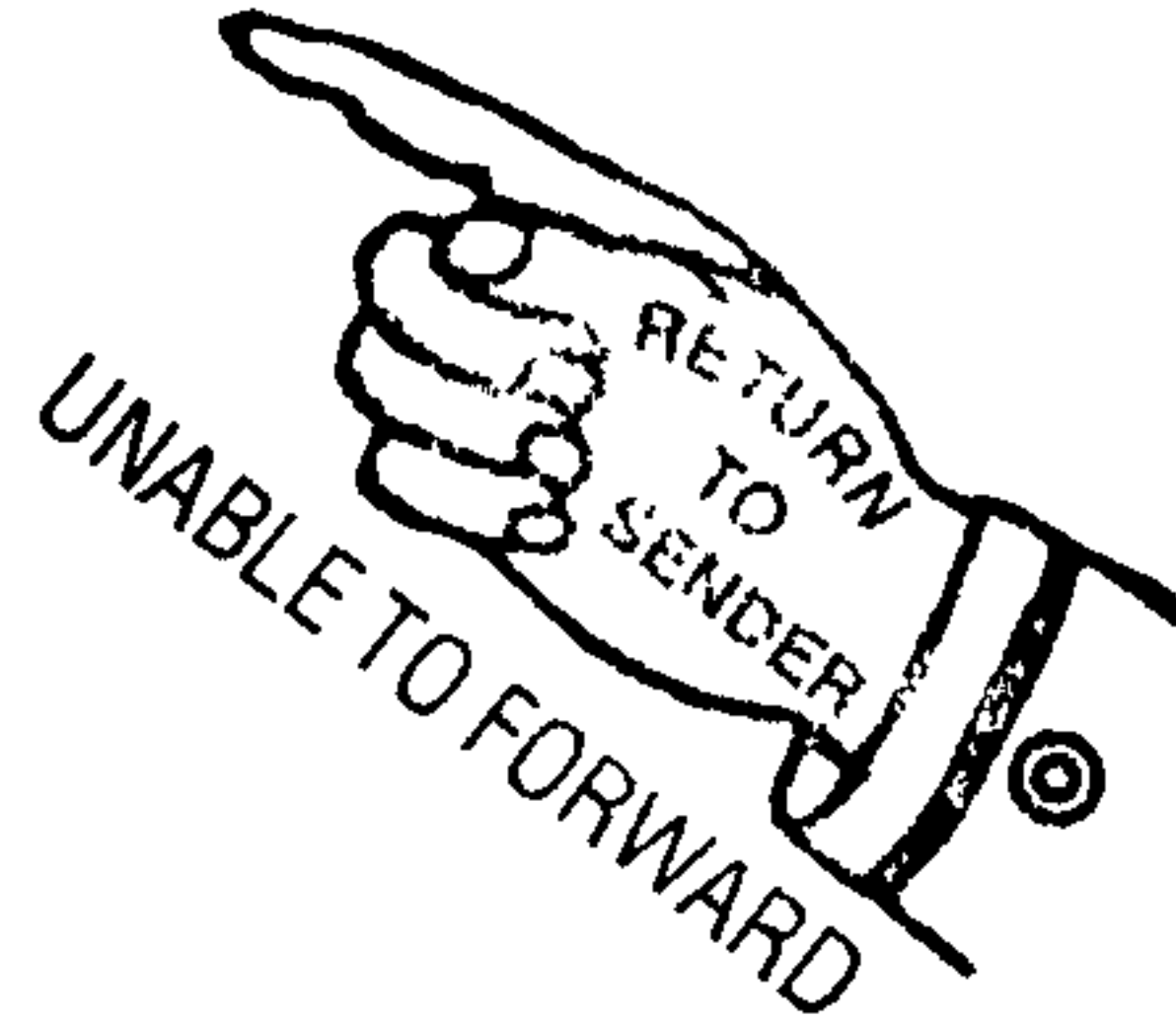


Planning Department

DRB



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OR CURRENT RESIDENT
100906419546121333
THE TRAILS COMMUNITY ASSOCIATI
ON INC
7007 JEFFERSON BLVD NE SUITE A
ALBUQUERQUE NM 87109

NIXIE 871 CC 1 84 06/07/10

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

*0958-03370-28-38

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OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 16, 2010

Project# 1003354

10DRB-70144 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR SIA)

LONGFORD HOMES request(s) the referenced/ above action(s) for all or a portion of **HERITAGE AT THE TRAILS Unit(s) 1**, zoned RD, located on the west side of RAINBOW BLVD NW between HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 13.8660 acre(s). (B-9, C-9)

At the June 16, 2010 meeting, the Development Review Board made a determination to recommend approval of the referenced extension of the Subdivision Improvements Agreement to City Council.

If you wish to appeal this decision, you must do so by July 1, 2010, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, AICP, DRB Chair

Cc: Longford Homes – 3077 East Warm Springs Rd – Las Vegas, NV 89120
Marilyn Maldonado
File



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 16, 2010

Project# 1003354

10DRB-70144 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS
AGREEMENT (2YR SIA)

LONGFORD HOMES request(s) the referenced/ above action(s) for all or a portion of **HERITAGE AT THE TRAILS Unit(s) 1**, zoned RD, located on the west side of RAINBOW BLVD NW between HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 13.8660 acre(s). (B-9, C-9)

AMAFCA

No comments.

COG

MPO Project ID 531.0 "Rainbow Blvd Reconstruction & Widening" has been identified in the 2030 MTP as a privately-funded project to widen Rainbow Blvd from 2 to 4 lanes. This project includes bike lanes and trail. Since the project is privately-funded, there is no programming information available. Coordination with City of Albuquerque-DMD is recommended to insure infrastructure development consistent with development in the area.

MPO Project ID 470.0 "Paseo del Norte Improvements" has been identified in the 2030 MTP as a privately-funded project to reconstruct and widen Paseo del Norte from 2 to 4 lanes from Rainbow Blvd to Calle Nortena. This project includes bike lanes and trail as a part of Stage II. Coordination with City of Albuquerque-DMD is recommended to insure infrastructure development consistent with development in the area.

MPO Project ID 529.0 "Paseo del Norte Improvements (Westside)" has been identified in the 2030 MTP as a privately-funded project to reconstruct and widen Paseo del Norte from 2 to 4 lanes from Double Eagle (PDV) to Rainbow Blvd. This project includes bike lanes and trail. Coordination with City of Albuquerque-DMD is recommended to insure infrastructure development consistent with development in the area.

MPO Project ID 560.1 "Paseo del Norte Corridor Transportation Study" has been identified in the 2030 MTP as a MRCOG funded project to study the Paseo del Norte Corridor to identify various alternatives to improve transportation (transit, managed lanes, etc).

Paseo del Norte is a limited-access urban principal arterial. Full access is provided at Rainbow Bd. Additional access to Paseo del Norte would require the consent of NMDOT and the MRCOG.

Paseo del Norte Blvd and Rainbow Blvd have been identified as ITS Corridors in the AMPA Regional ITS Architecture and ITS Corridor Map. Please contact DMD at 291-6220 for ITS enhancement planning and programming information.

For informational purposes, Rainbow Blvd is classified as an urban minor arterial as per the Current Roadway Functional Classification System Map. Paseo del Norte is classified as a principal arterial east of Rainbow Blvd and is classified as an urban minor arterial west of Rainbow Blvd.

TRANSIT

Project # 1003354
10DRB-70144

MAJOR – 2 YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (2YR. SIA)

Adjacent and nearby routes

- Nearest route is Route #162, Vantana Ranch Commuter route, located on Rainbow Blvd., passing through the subdivision.

Adjacent bus stops

- Two bus stops for the above-mentioned routes are located on Rainbow Blvd. south of Hearthstone, serving the northbound and southbound.

Site plan requirements None

Large site TDM suggestions None.

Other information None.

ZONING ENFORCEMENT

No comments.

NEIGHBORHOOD COORDINATION

Letters sent to: **Ventana Ranch NA (R)**

APS

Heritage at the Trails Unit 1, is located on the west side of Rainbow Blvd NW between Hearthstone Rd NW and Paseo Del Norte NW. The owner of the above property requests a Major Two Year Extension of Subdivision Improvements Agreement (2 YR SIA) for a development that consists of 71 residential units. This will impact Ventana Ranch Elementary School, James Monroe Middle School, and Volcano Vista High School. Ventana Ranch Elementary and James Monroe Middle School are exceeding capacity, Volcano Vista High School currently has excess capacity.

Loc No	School	2009-10 40th Day	2009-10 Capacity	Space Available
264	Ventana Ranch	1,523	750	-773
490	James Monroe	1,519	1,417	-102
575	Volcano Vista	482	750	268

Residential Units: 51

Est. Elementary School Students: 13

Est. Middle School Students: 6

Est. High School Students: 6

Est. Total # of Students from Project: 25

*The estimated number of students from the proposed project is based on an average student generation rate for the entire APS district.

Tierra Antigua Elementary School opened in the Fall of 2009 and is relieving overcrowding at

Ventana Ranch Elementary.

Tony Hillerman Middle School opened in the fall of 2009 and is relieving overcrowding at James Monroe Middle School.

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
 - Construct new schools or additions
 - Add portables
 - Use of non-classroom spaces for temporary classrooms
 - Lease facilities
 - Use other public facilities
- Improve facility efficiency (short term solution)
 - Schedule Changes
 - Double sessions
 - Multi-track year-round
 - Other
 - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
 - Boundary Adjustments / Busing
 - Grade reconfiguration
- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval.

POLICE DEPARTMENT

No comments.

FIRE DEPARTMENT

No comments.

PNM ELECTRIC & GAS

No comments.

COMCAST

No comments.

QWEST

Concerning the subject case number(s), Qwest has no adverse comments at this time provided all utility easement rights are maintained. Prior to any final plat approval, we will need a copy for review.

ENVIRONMENTAL HEALTH

No comments.

M.R.G.C.D

No Adverse Comments.

OPEN SPACE DIVISION

Open Space has no adverse comments

CITY ENGINEER

The Hydrology section defers to Transportation.

TRANSPORTATION DEVELOPMENT

Prior to any recommendation being issued by the Development Review Board, the Department of Municipal Development requests additional information regarding what infrastructure has been

built, what has not yet been built, and an approximate timeline.

PARKS AND RECREATION

No comments.

ABCWUA

No comments.

PLANNING DEPARTMENT

Refer to comments from affected agencies plus any public hearing comments regarding proposed extension. Based on the 2009 revision to the Subdivision Ordinance, approval of this request must be by the City Council.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1003354 AGENDA# 2 DATE: 6/16/10

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: Wednesday, June 16, 2010
Zone Atlas Page: (C-9)
Notification Radius: 100 Ft.

Project# 1003354
App# 10DRB-70144

Cross Reference and Location: located on PASEO DEL NORTE BETWEEN
UNIVERSE BLVD AND WOODMONT AVE

Applicant: LONGFORD HOMES
7007 JEFFERSON ST NE SUITE A
ALBUQUERQUE NM 87109

Agent: RICK BELTRAMO
LONGFORD HOMES
7007 JEFFERSON ST NE SUITE A
ALBUQUERQUE NM 87109

Special Instructions:
**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: May 28, 2010
SIGNATURE: Anita Tavasci

OR CURRENT RESIDENT
100906421846721206
ALBO ORESTES L JR & PATTY A
7224 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906420951820821
ARMIJO SANDRA
7235 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87120

OR CURRENT RESIDENT
100906418451820826
AVILA ANTONIO M & YAISELYN
829 RIDGECREST CT
BURLESON TX 76028

OR CURRENT RESIDENT
100906420948521009
BAGLEY CHRISTOPHER G & MELISSA
K
9309 WEST HAVEN ST NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906418249221004
BANKS ALLEN J & TAMARA D
7315 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906418350221017
BARRIE JON ROSS
7316 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906418951820825
BEAUCHAMP JEAN L % MCGUIRE MAT
THEW L & KNAACK JUSTIN M
6941 WHITE PINE PL NE
ALBUQUERQUE NM 87109

OR CURRENT RESIDENT
100906420747121204
BOWERS DARRELL C & PETRA H CO-
TRUSTEES BOWERS RVT
7232 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906420247321203
CAMPBELL NOEL ANTHONY
163 FRANKFORD LN
PALM COAST FL 32137

OR CURRENT RESIDENT
100906421550121011
CHAVEZ MATTHEW L & PAULINE
7232 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906415350021104
CHAVEZ PAUL E & MONICA M
9319 JAMESON ST NW
ALBUQUERQUE NM 87121

OR CURRENT RESIDENT
100906422446521207
CONKLIN RYAN E & BRANDI L
7220 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906415348421101
COSMAN MARK GOODRICH TRUSTEE
COSMAN TRUST
9305 JAMESON ST NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906423748320905
DAVIDSON THOMAS E
PO BOX 67021
ALBUQUERQUE NM 87193

OR CURRENT RESIDENT
100906422951820817
DRACKERT EMANUEL F & DORIS S
7219 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906422748920913
ENNIS MERLIN M & DOROTHY R
9001 CORONA AVE NE
ALBUQUERQUE NM 87122

OR CURRENT RESIDENT
100906421149121010
EVANS TIMOTHY W & DEBRA J
9315 WEST HAVEN ST NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906419850221014
FELLOWS MONIQUE N
7300 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906419147821201
HARRIS ROBERT B & LAVONNE N
7300 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906417451820828
HAYES MICHAEL T & JEAN M
7323 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906416749021001
HELLMAN PATRICIA A & LARRY
4932 E WINDROSE DR
SCOTTSDALE AZ 85254

OR CURRENT RESIDENT
100906422850020911
HERNSTED JULIE
9328 WEST HAVEN ST NW
ALBUQUERQUE NM 87120

OR CURRENT RESIDENT
100906423949820908
HILLIARD JOSH & GWEN
9327 NATIONWIDE ST NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906421951820819
HUGHES LAWRENCE MAX & ELIZABE
TH ANN GONZALES-HUGHES
7227 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87120

OR CURRENT RESIDENT
100906415851820831
HULIHAN MARK G & FLOWER
909 MOUNTAIN AVE
MARYVILLE TN 37803

OR CURRENT RESIDENT
100906423949320907
JARAMILLO RUDY E & MEREDITH C M
9323 NATIONWIDE ST NW
ALBUQUERQUE NM 87120

OR CURRENT RESIDENT
100906417249021002
JORGENSEN AARON & CHELSEY
7323 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906419951820823
KHUU NGUYET & PHAM JOHNNY
9104 LADRON DR NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906420350221013
KILPATRICK ROGER L & RAMONA S
7240 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906419849121007
LENTZ WALLACE W
7301 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906423451820816
LEWIS RONALD & MAGAN
7215 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906422447920901
LUJAN BERNARD & CAROLYN R MAR
KLAND
9312 WEST HAVEN ST NW
ALBUQUERQUE NM 87120

OR CURRENT RESIDENT
100906416951820829
MESKE DUANE D & ANGELA C
7327 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906429351820822
NGUYEN BRYAN H & NHUNG PHAM
7239 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906416750121020
POWERS KEVIN & FLORIDALBA
7328 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906420950221012
SANCHEZ MANUEL R & PATRICIA L
7236 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906422451820818
SCHANCER KORY J & SHELLY M NOSB
ISCH
7223 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87120

OR CURRENT RESIDENT
100906415349021102
SHERIDAN MICHAEL J & SANDRA J
9309 JAMESON ST NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906420349021008
SULLIVAN PATRICK E & GRACIELA V
7239 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906419747521202
TRAMMELL KAREN H & WILLIAM H
7240 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906417951820827
LOPEZ MICHAEL M & OGAZ SUZANNE
C
7319 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906422548420914
MARES LAWRENCE M & ANNA A
9316 WEST HAVEN ST NW
ALBUQUERQUE NM 87120

OR CURRENT RESIDENT
100906419349221006
MORGAN WILLIAM CHAD & STORMY
L
7305 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906417749121003
ODOMS JAMES T & DEORA TRUSTEES
ODOMS LVT
7319 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906419450221015
ROSTRO MARC A & CHRISTINA M
7304 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906421451820820
SANCHEZ SIMON & YVONNE
7231 WILLIAMSBURG RD NE
ALBUQUERQUE NM 87120

OR CURRENT RESIDENT
100906423848820906
SCHMIDLEY JAMES III & DAWN
9319 NATIONWIDE ST NW
ALBUQUERQUE NM 87120

OR CURRENT RESIDENT
100906418749321005
SHERRIE MICHAEL D & GLORIA F
7309 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906419546121333
THE TRAILS COMMUNITY ASSOCIATI
ON INC
7007 JEFFERSON BLVD NE SUITE A
ALBUQUERQUE NM 87109

OR CURRENT RESIDENT
100906415151820832
TRUJILLO ANDY R & CARMEN V
7339 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906418950221016
LOVE DAMON A & LORENA G
7308 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906416451820830
MAREZ ANTHONY R TRUSTEE MAREZ
RVT
7331 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906417850221018
MORRISON KEITH & TERESA
7320 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906419451820824
PHAM DENISE
7305 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906415350521105
SANCHEZ KERRIANNE
9323 JAMESON ST NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906417350221019
SAYLOR CLIFFORD B & DONNA E
7324 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87120

OR CURRENT RESIDENT
100906415349521103
SEAGRIST THOMAS A
9315 JAMESON ST NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906421346921205
SIAO-PAO WILIA M
7228 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906412249822304
TRAILS LLC
3077 E WARM SPRINGS RD
LAS VEGAS NV 89120

OR CURRENT RESIDENT
100906422749420912
ULIBARRI ROBERT & KIMBERLY A
9324 WEST HAVEN ST NW
ALBUQUERQUE NM 87114

OR CURRENT RESIDENT
100906423950420909
WILLIAMS LAWRENCE & PAMELA L
9331 NATIONWIDE ST NW
ALBUQUERQUE NM 87120

OR CURRENT RESIDENT
100906422850520910
YANCY MICHAEL E & KASIE
9332 WEST HAVEN ST NW
ALBUQUERQUE NM 87114

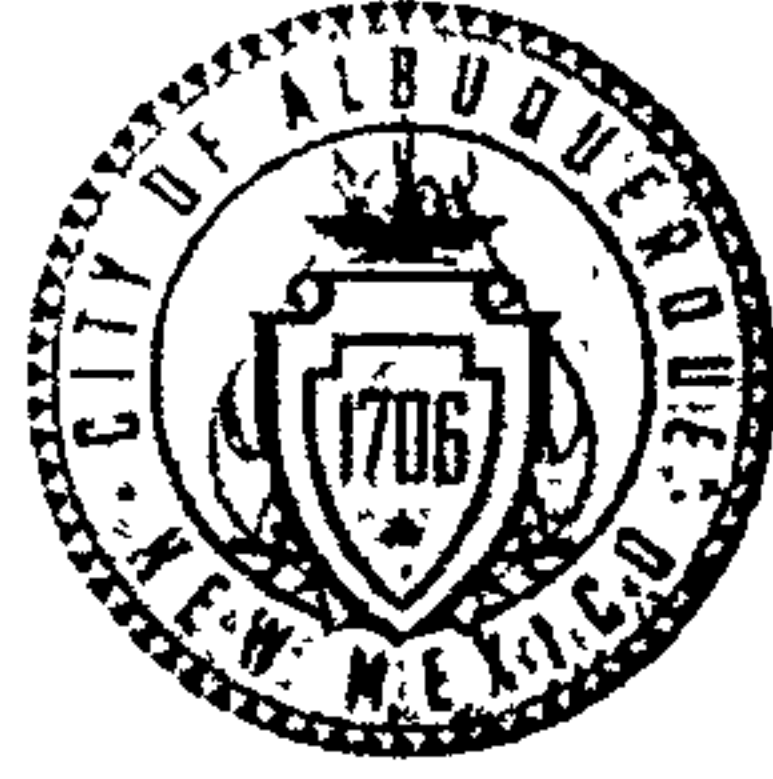
LONGFORD HOMES
3077 EAST WARM SPRINGS RD
LAS VEGAS, NV 89120
PROJECT #1003354

Rec	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP CODE	PROPERTY CLASS	TAX DISTRICT	LEGAL	ACRES
1	100906 418451 820826	AVILA ANTONIO M & Y AISELYN	829 RIDGE HILL CT	BUR LES ON	TX	76 02 8	R	A1 A	LT 7 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1205 AC	0.1 204 480 1
2	100906 419849 121007	LENTZ WALLACE W	7301 HEAR THSTONE R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A	LT 64 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1323 AC	0.1 323 254 5
3	100906 421451 820820	SANCHEZ SIMON & YV ONNE	7231 WILLIA MSBURG R D NE	ALB UQU ERQ UE	N M	87 12 0	R	A1 A	LT 13 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1205 AC	0.1 204 520 3
4	100906 418950 221016	LOVE DAMON A & LOR ENA G	7308 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A	LT 55 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1278 AC	0.1 276 608 3
5	100906 423848 820906	SCHMIDLEY JAMES III & DAWN	9319 NATIO NWIDE ST NW	ALB UQU ERQ UE	N M	87 12 0	R	A1 A	LT 34 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1382 AC	0.1 379 155 5
6	100906 423451 820816	LEWIS RONALD & MA GAN	7215 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A	LT 17 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1205 AC	0.1 204 515 3
7	100906 422447 920901	LUJAN BERNARD & CA ROLYN R MARKLAND	9312 WEST HAVEN ST NW	ALB UQU ERQ UE	N M	87 12 0	R	A1 A	LT 43 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1486 AC	0.1 485 703 8
8	100906 417749 121003	ODOMS JAMES T & DE ORA TRUSTEES ODO MS LVT	7319 HEAR THSTONE R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A	LT 68 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1247 AC	0.1 246 627
9	100906 415349 021102	SHERIDAN MICHAEL J & SANDRA J	9309 JAME SON ST NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A	LT 72 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1206 AC	0.1 205 969 8
10	100906 417850 221018	MORRISON KEITH & T ERESA	7320 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A	LT 53 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1371 AC	0.1 369 978 3
11	100906 416749 021001	HELLMAN PATRICIA A & LARRY	4932 E WIN DROSE DR	SCO TTS DAL E	AZ	85 25 4	R	A1 A	LT 70 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1490 AC	0.1 487 924 2
12	100906 422451 820818	SCHANCER KORY J & SHELLY M NOSBISCH	7223 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 12 0	R	A1 A	LT 15 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1205 AC	0.1 204 480 1
13	100906 423949 320907	JARAMILLO RUDY E & MEREDITH C M	9323 NATIO NWIDE ST NW	ALB UQU ERQ UE	N M	87 12 0	R	A1 A	LT 35 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1354 AC	0.1 351 235
14	100906 416750 121020	POWERS KEVIN & FLO RIDALBA	7328 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A	LT 51 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1693 AC	0.1 690 910 6
15	100906 429351 820822	NGUYEN BRYAN H & N HUNG PHAM	7239 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A	LT 11 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1205 AC	0.1 204 494 9
16	100906 420247 321203	CAMPBELL NOEL ANT HONY	163 FRANK FORD LN	PAL M C OAS T	FL	32 13 7	R	A1 A	LT 48 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1326 AC	0.1 324 684 7
17	100906 420349	SULLIVAN PATRICK E & GRACIELA V	7239 HEAR THSTONE R	ALB UQU	N M	87 11	R	A1 A	LT 63 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT	0.1 340

	021008		D NW	ERQ UE		4				OF TRACT A THE TRAILS CONT .1341 AC	459 6
1 8	100906 419951 820823	KHUU NGUYET & PHA M JOHNNY	9104 LADR ON DR NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A		LT 10 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1205 AC	0.1 204 482 5
1 9	100906 419850 221014	FELLOWS MONIQUE N	7300 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A		LT 57 FOR HERITAGE AT THE TRAILS SU BDIVISION UNIT 1BEING A REPLAT OF TR ACT A THE TRAILS CONT .1292 AC	0.1 291 066 5
2 0	100906 420950 221012	SANCHEZ MANUEL R & PATRICIA L	7236 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A		LT 59 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1465 AC	0.1 464 233
2 1	100906 421550 121011	CHAVEZ MATTHEW L & PAULINE	7232 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A		LT 60 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .2034 AC	0.2 028 081 5
2 2	100906 416451 820830	MAREZ ANTHONY R T RUSTEE MAREZ RVT	7331 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A		LT 3 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1205 AC	0.1 204 465 9
2 3	100906 417350 221019	SAYLOR CLIFFORD B & DONNA E	7324 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 12 0	R	A1 A		LT 52 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1444 AC	0.1 443 209 8
2 4	100906 421846 721206	ALBO ORESTES L JR & PATTY A	7224 HEAR THSTONE R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A		LT 45 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1253 AC	0.1 251 675 5
2 5	100906 423748 320905	DAVIDSON THOMAS E	PO BOX 670 21	ALB UQU ERQ UE	N M	87 19 3	R	A1 A		LT 33 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1393 AC	0.1 390 522
2 6	100906 421149 121010	EVANS TIMOTHY W & DEBRA J	9315 WEST HAVEN ST NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A		LT 61 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1483 AC	0.1 480 274
2 7	100906 418249 221004	BANKS ALLEN J & TAM ARA D	7315 HEAR THSTONE R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A		LT 67 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1191 AC	0.1 190 281
2 8	100906 415151 820832	TRUJILLO ANDY R & C ARMEN V	7339 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A		LT 1 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1208 AC	0.1 206 987
2 9	100906 417951 820827	LOPEZ MICHAEL M & OGAZ SUZANNE C	7319 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A		LT 6 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1205 AC	0.1 204 501 9
3 0	100906 422748 920913	ENNIS MERLIN M & DO ROTHY R	9001 CORO NA AVE NE	ALB UQU ERQ UE	N M	87 12 2	R	A1 A		LT 41 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1267 AC	0.1 267 134 3
3 1	100906 419450 221015	ROSTRO MARC A & C HRISTINA M	7304 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A		LT 56 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1278 AC	0.1 276 709 1
3 2	100906 422850 020911	HERNSTED JULIE	9328 WEST HAVEN ST NW	ALB UQU ERQ UE	N M	87 12 0	R	A1 A		LT 39 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1292 AC	0.1 291 838 2
3 3	100906 422548 420914	MARES LAWRENCE M & ANNA A	9316 WEST HAVEN ST NW	ALB UQU ERQ UE	N M	87 12 0	R	A1 A		LT 42 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1247 AC	0.1 246 788 4
3 4	100906 419349 221006	MORGAN WILLIAM CH AD & STORMY L	7305 HEAR THSTONE R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A		LT 65 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1269 AC	0.1 270 392 6
3 5	100906 420747 121204	BOWERS DARRELL C & PETRA H CO- TRUSTEES BOWERS RVT	7232 HEAR THSTONE R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A		LT 47 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1326 AC	0.1 324 690 6

36	100906 415350 021104	CHAVEZ PAUL E & MONICA M	9319 JAMESON ST NW	ALB UQU ERQUE	N M	87 12 1	R	A1 A	LT 74 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1207 AC	0.1 206 514 7
37	100906 419147 821201	HARRIS ROBERT B & LAVONNE N	7300 HEARTHSTONE RD NW	ALB UQU ERQUE	N M	87 11 4	R	A1 A	LT 50 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1684 AC	0.1 683 802 6
38	100906 419451 820824	PHAM DENISE	7305 WILLIAMSBURG RD NW	ALB UQU ERQUE	N M	87 11 4	R	A1 A	LT 9 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1205 AC	0.1 204 534 5
39	100906 415851 820831	HULIHAN MARK G & FLOWER	909 MOUNTAIN AVE	MAR YVIL LE	T N	37 80 3	R	A1 A	LT 2 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1808 AC	0.1 806 816 7
40	100906 422446 521207	CONKLIN RYAN E & BRANDI L	7220 HEARTHSTONE RD NW	ALB UQU ERQUE	N M	87 11 4	R	A1 A	LT 44 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1679 AC	0.1 674 050 3
41	100906 415350 521105	SANCHEZ KERRIANNE	9323 JAMESON ST NW	ALB UQU ERQUE	N M	87 11 4	R	A1 A	LT 75 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1298 AC	0.1 296 731 6
42	100906 419747 521202	TRAMMELL KAREN H & WILLIAM H	7240 HEARTHSTONE RD NW	ALB UQU ERQUE	N M	87 11 4	R	A1 A	LT 49 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1326 AC	0.1 324 722 8
43	100906 420350 221013	KILPATRICK ROGER L & RAMONA S	7240 WILLIAMSBURG RD NW	ALB UQU ERQUE	N M	87 11 4	R	A1 A	LT 58 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1362 AC	0.1 361 391
44	100906 412249 822304	TRAILS LLC	3077 E WARMS SPRINGS RD	LAS VEG AS	N V	89 12 0	V	A1 A	TR 5 BULK LAND PLAT OF THE TRAILS UNIT 3A (BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 & OS-2 THE TRAILS UNIT 3 & TRACT 12 THE TRAILS UNIT 2) CONT 7.7343 AC	7.7 310 609 7
45	100906 423949 820908	HILLIARD JOSH & GWEN	9327 NATIONWIDE ST NW	ALB UQU ERQUE	N M	87 11 4	R	A1 A	LT 36 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1363 AC	0.1 360 217 1
46	100906 415349 521103	SEAGRIST THOMAS A	9315 JAMESON ST NW	ALB UQU ERQUE	N M	87 11 4	R	A1 A	LT 73 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1206 AC	0.1 205 598 6
47	100906 418951 820825	BEAUCHAMP JEAN L % MCGUIRE MATTHEW L & KNAACK JUSTIN M	6941 WHITE PINE PL NE	ALB UQU ERQUE	N M	87 10 9	R	A1 A	LT 8 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1205 AC	0.1 204 527 7
48	100906 420948 521009	BAGLEY CHRISTOPHER G & MELISSA K	9309 WEST HAVEN ST NW	ALB UQU ERQUE	N M	87 11 4	R	A1 A	LT 62 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1794 AC	0.1 791 440 4
49	100906 417249 021002	JORGENSEN AARON & CHELSEY	7323 HEARTHSTONE RD NW	ALB UQU ERQUE	N M	87 11 4	R	A1 A	LT 69 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1304 AC	0.1 303 106 5
50	100906 418749 321005	SHERRIE MICHAEL D & GLORIA F	7309 HEARTHSTONE RD NW	ALB UQU ERQUE	N M	87 11 4	R	A1 A	LT 66 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1150 AC	0.1 150 671
51	100906 423950 420909	WILLIAMS LAWRENCE & PAMELA L	9331 NATIONWIDE ST NW	ALB UQU ERQUE	N M	87 12 0	R	A1 A	LT 37 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1712 AC	0.1 707 846 6
52	100906 417451 820828	HAYES MICHAEL T & JEAN M	7323 WILLIAMSBURG RD NW	ALB UQU ERQUE	N M	87 11 4	R	A1 A	LT 5 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1205 AC	0.1 204 531 9
53	100906 420951 820821	ARMIJO SANDRA	7235 WILLIAMSBURG RD NW	ALB UQU ERQUE	N M	87 12 0	R	A1 A	LT 12 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1205 AC	0.1 204 529 5
5	100906	YANCY MICHAEL E & K	9332 WEST	ALB	N	87	R	A1	LT 38 PLAT FOR HERITAGE AT THE TRAIL	0.1

4	422850 520910	ASIE	HAVEN ST NW	UQU ERQ UE	M	11 4		A	S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1294 AC	292 849 8
5 5	100906 416951 820829	MESKE DUANE D & AN GELA C	7327 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A	LT 4 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1205 AC	0.1 204 520 3
5 6	100906 421951 820819	HUGHES LAWRENCE MAX & ELIZABETH AN N GONZALES- HUGHES	7227 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 12 0	R	A1 A	LT 14 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1205 AC	0.1 204 522 7
5 7	100906 422951 820817	DRACKERT EMANUEL F & DORIS S	7219 WILLIA MSBURG R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A	LT 16 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1205 AC	0.1 204 466 1
5 8	100906 421346 921205	SIAO-PAO WILIA M	7228 HEAR THSTONE R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A	LT 46 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1398 AC	0.1 397 021 3
5 9	100906 418350 221017	BARRIE JON ROSS	7316 WILLIA MSBERG R D NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A	LT 54 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1300 AC	0.1 298 619 1
6 0	100906 422749 420912	ULIBARRI ROBERT & K IMBERLY A	9324 WEST HAVEN ST NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A	LT 40 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1275 AC	0.1 274 88
6 1	100906 415348 421101	COSMAN MARK GOOD RICH TRUSTEE COSM AN TRUST	9305 JAME SON ST NW	ALB UQU ERQ UE	N M	87 11 4	R	A1 A	LT 71 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1BEING A REPLAT OF TRACT A THE TRAILS CONT .1592 AC	0.1 591 464 4
6 2	100906 419546 121333	THE TRAILS COMMUNI TY ASSOCIATION INC	7007 JEFFE RSON BLVD NE SUITE A	ALB UQU ERQ UE	N M	87 10 9	V	A1 A	TR OS- 1 BULK PLAT OF THE TRAILS A REPLAT OF A PORTION OFTRACT 4 BLACK RANC H CONT 4.2991 AC	4.3 071 821 1

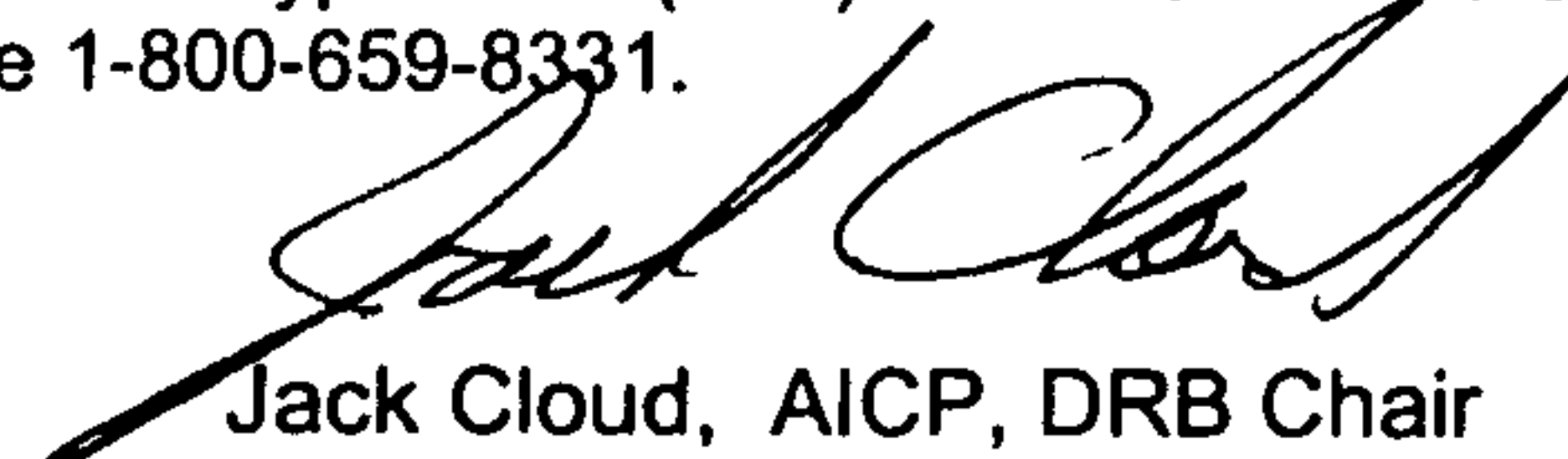


**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

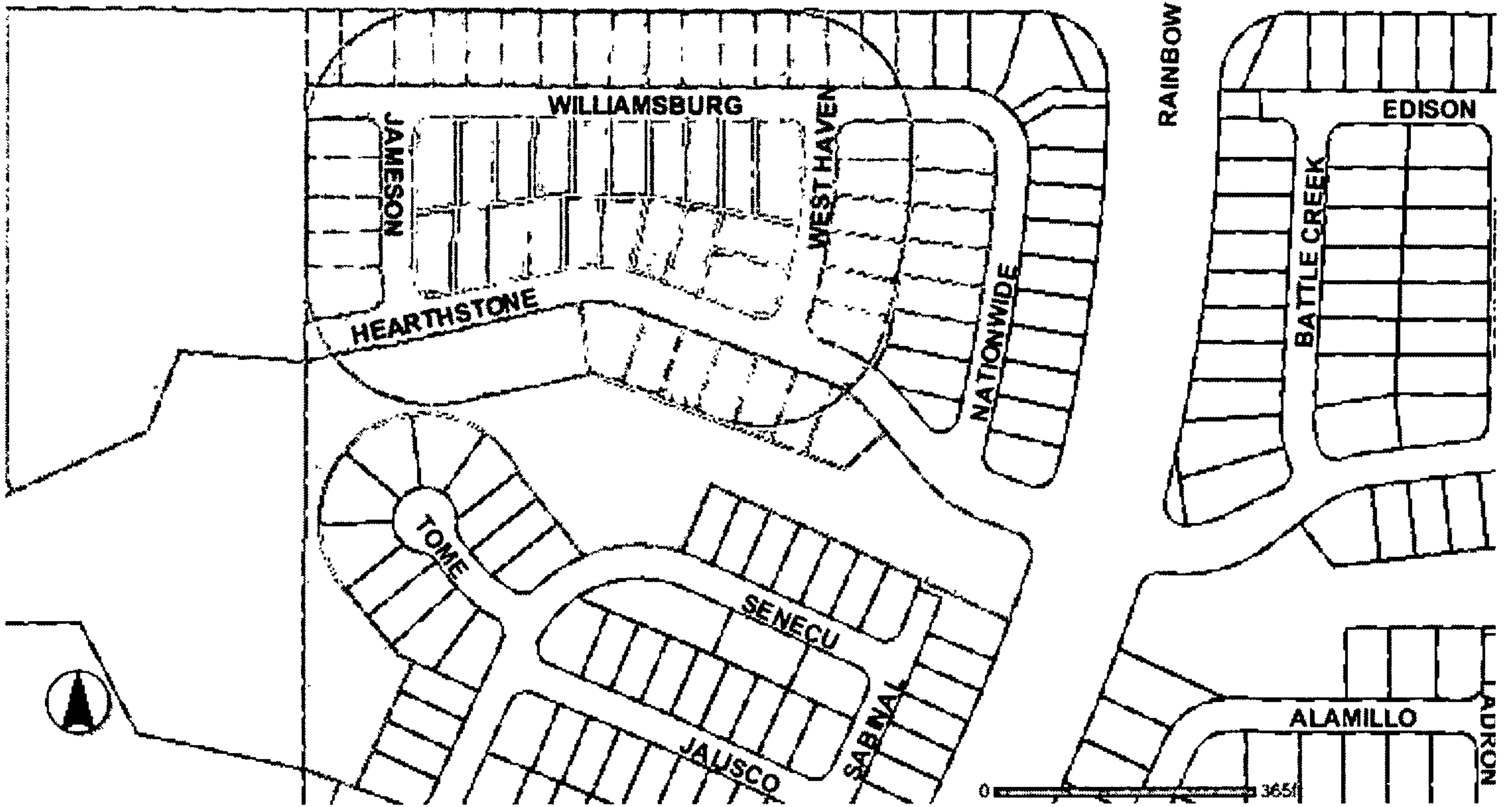
Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, June 16, 2010, beginning at 9:00 a.m. for the purpose of considering the following:

- Project# 1003353**
10DRB-70145 MAJOR - 2 YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR SIA) LONGFORD HOMES request(s) the referenced/ above action(s) for all or a portion of **HERITAGE AT THE TRAILS UNIT 2**, zoned RD, located on the east side of RAINBOW BLVD NW between HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 9.4494 acre(s). (B-9, C-9)
- Project# 1003354**
10DRB-70144 MAJOR - 2 YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR SIA) LONGFORD HOMES request(s) the referenced/ above action(s) for all or a portion of **HERITAGE AT THE TRAILS Unit(s) 1**, zoned RD, located on the west side of RAINBOW BLVD NW between HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 13.8660 acre(s). (B-9, C-9)
- Project# 1006520**
10DRB-70141 MAJOR - 2 YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR SIA) GARCIA/KRAEMER & ASSOC. agent(s) for PROTESTANT EPISCOPAL CHURCH IN NM request(s) the referenced/ above action(s) for all or a portion of **HOPE PLAZA** zoned SU-2/ O-1 & R-T, located on the south side of ALAMEDA BLVD NE between BARSTOW ST NE and VENTURA ST NE containing approximately 6.1928 acre(s). (C-20)
- Project# 1007081**
10DRB-70142 VACATION OF PUBLIC
RIGHT-OF-WAY DAC ENTERPRISES, INC agent(s) for PULLMAN INVESTMENTS LLC request(s) the referenced/ above action(s) for all or a portion of **WILLIS PLACE SW** adjacent to Tract C, **SHELL SUBDIVISION NUMBER ONE** located on WILLIS PL SW east of RIO GRANDE BLVD SW (south of CENTRAL AVE SW). (J-13)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 31, 2010.



City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102 Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): _____ PHONE: _____

ADDRESS _____ FAX: _____

CITY _____ STATE _____ ZIP _____ E-MAIL: _____

APPLICANT LONGFORD HOMES PHONE: (505) 620-5822 ALB

ADDRESS: 3077 EAST WARM SPRINGS RD. FAX: (505) 761-9922 ALB

CITY L.V. STATE NV ZIP 89120 E-MAIL: rbeltramo@longfordgray.com

Proprietary interest in site OWNER List all owners THE TRAILS, LLC

DESCRIPTION OF REQUEST: EXTENSION OF SIA

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No: Unit 1 (Lots 1-75) and 2 (Lots 76-90) Block: _____ Un _____

Subdiv/Addn/TBKA: HERITAGE AT THE TRAILS UNIT 1 A/R

Existing Zoning: R-D Proposed zoning: R-D

Zone Atlas page(s): C-9 UPC Code: _____ MRGCD Map No _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj, App, DRB, AX, Z, V, S, etc).

COA PROJ # 738484, #1003354, 06-025-00633, 06-025-00633, 06-025-00633, 06-025-00633

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No

No of existing lots 125 No of proposed lots: 125 Total area of site (acres): 23.316

LOCATION OF PROPERTY BY STREETS: On or Near: PASEO DEL NORTE

Between: UNIVERSE BLVD. and WOODMONT AVE.

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE RICK BELTRAMO DATE 5/20/2010

(Print) _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	SF	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>10DRB</u>	<u>SIA</u>		<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>70144</u>	<u>ADY</u>		<u>\$ 75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input checked="" type="checkbox"/> F H D P density bonus				\$
<input checked="" type="checkbox"/> F H D P fee rebate				\$
	Hearing date <u>June 16, 2010</u>			Total <u>\$ 145.00</u>

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions

RICK BELTRAMO
 Applicant name (print)
[Signature] 5/20/2010
 Applicant signature / date

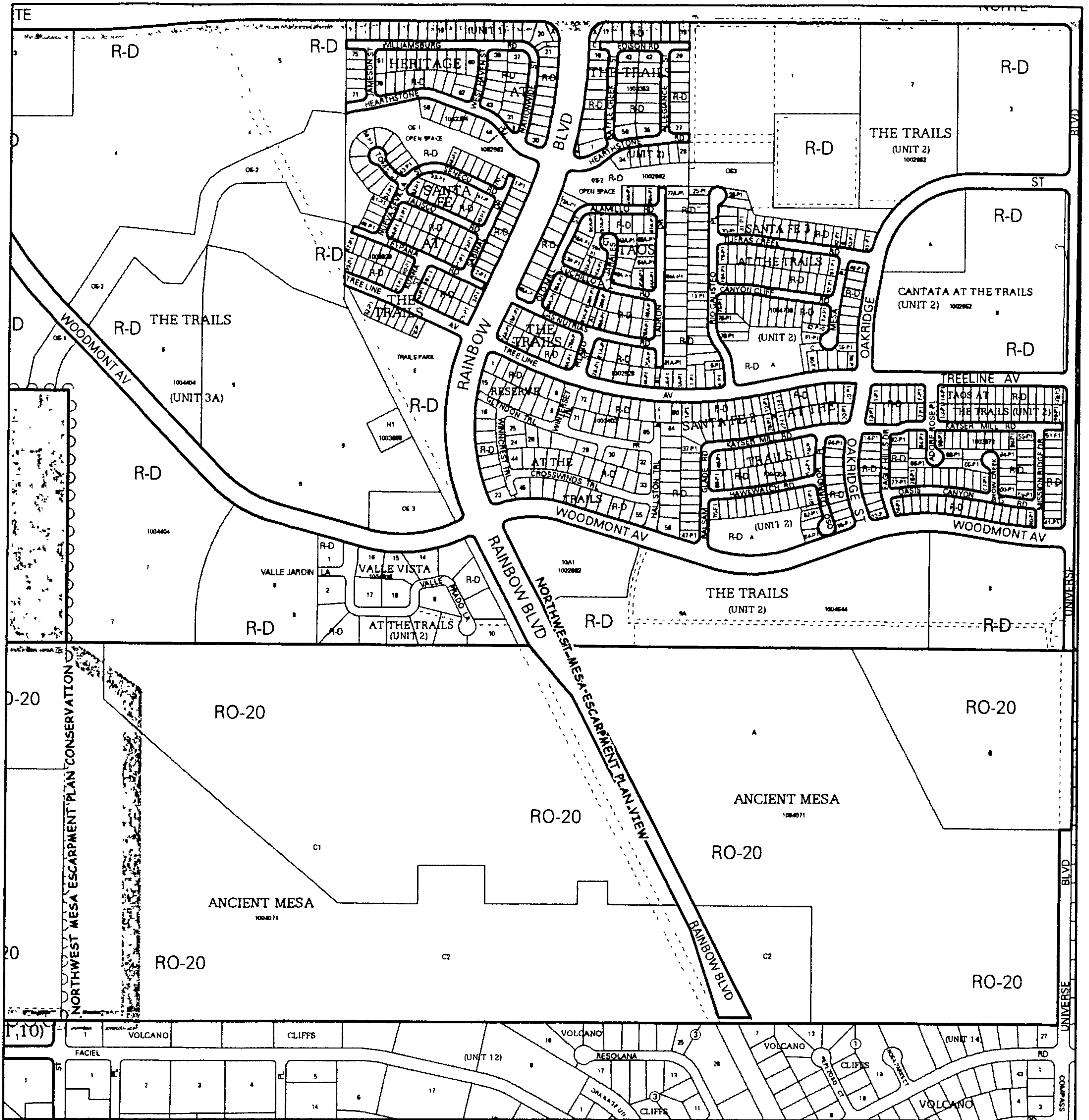


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 10DRB - 70144

[Signature] 5-21-10
 Planner signature / date
 Project # 1003354



For more current information and more details visit <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-09-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon		

0 750 1500 Feet

Map amended through: 2/4/2010



May 21, 2010

Mr. Jack Cloud
Development Review Board
City Of Albuquerque
PO Box 1293
Albuquerque, New Mexico, 87103
[Hand Delivered]

Re: Extension of Subdivision Improvements Agreements
Units 1 and 2 of Heritage at The Trails
#1003353/1003354, 04DRB-01415/01416, 08DRB-70154

Dear Mr. Cloud:

Submitted for Development Review Board review and approval is this request for extension of the Subdivision Improvements Agreement (SIA) for The Trails Unit 1, Tracts A-F. Longford Homes respectfully requests a 1 Year extension to the SIA.

More specifically an extension is requested to the SIA for off-site roadway improvements to Paseo Del Norte Blvd. adjacent to units 1 and 2.

Enclosed is the following:

- Application to DRB
- Reduced copy of recorded plat
- Zone Atlas sheet showing project area
- Letter requesting DRB review and approval(this letter)
- Last Official DRB Notice of the approval
- Approved Infrastructure List
- Neighborhood Notification
- Application Fee

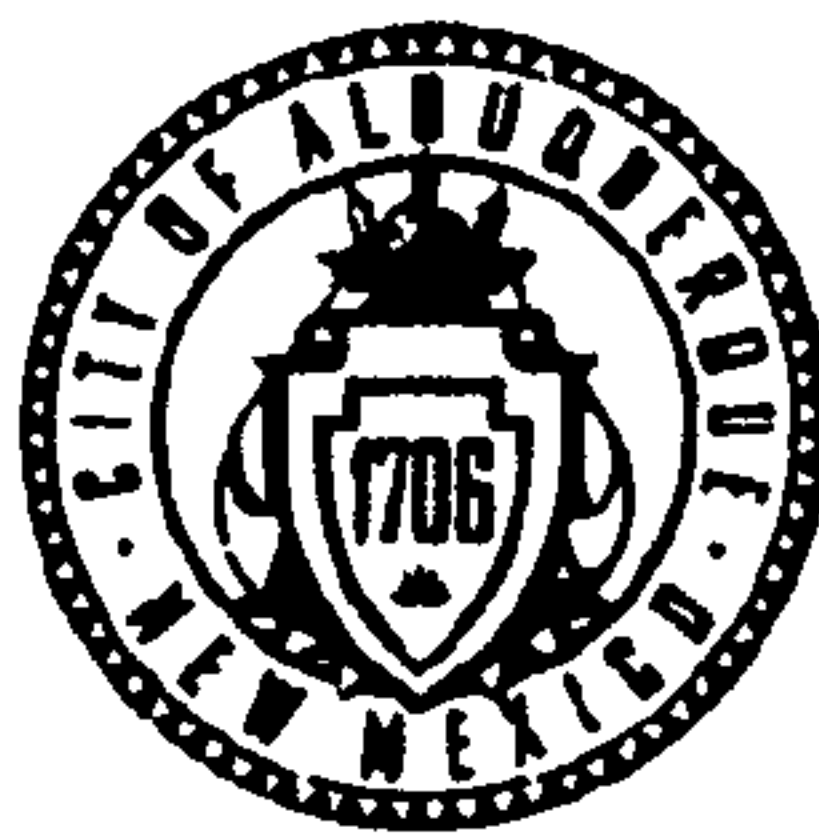
Sincerely,

A handwritten signature in black ink, appearing to read "Rick Beltramo".

Rick Beltramo

Longford Homes

Attachments



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: 5-20-10

TO CONTACT NAME: RICK BELTRAN
COMPANY/AGENCY: LONWORTH HOMES
ADDRESS/ZIP: 7023 Tree Line Ave. 87114
PHONE/FAX #: 505-532-2222 761-9922

Thank you for your inquiry of 5-20-10 (date) requesting the names of **ALL Affected**

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Casa del Norte and Universe Blvd. Heritage Units 142 at the Courts zone map page(s) C-9.

Our records indicate that the **Affected Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

Verlana Ranch

Neighborhood or Homeowner Association

Contacts: _____

See attached

Neighborhood or Homeowner Association

Contacts: _____

See reverse side for additional Neighborhood and/or Homeowner Associations

Information:

YES { } NO ~~X~~

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Patrick Moran
OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

NOTICE TO APPLICANTS - SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify **ALL AFFECTED NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS** PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood and/or homeowner associations may contact someone with questions or comments.

INFORMATION FROM THE OFFICE OF NEIGHBORHOOD COORDINATION

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

(Below this line for ONC use only)

Date of Inquiry: 5/20/10 Time Entered: 3:45 PM ONC Rep. Initials: ce

VENTANA RANCH N.A. (VTR) "R"

***Jay Jones** e-mail: vtjman@yahoo.com

P.O. Box 65446/87193 890-3996 (h) 400-1751 (c)

Kevin Patton e-mail: jj3kpatton@comcast.net

10422 Borrego Creek Dr. NW/87114 238-2857 (h)

Website: www.ventanaranch.org

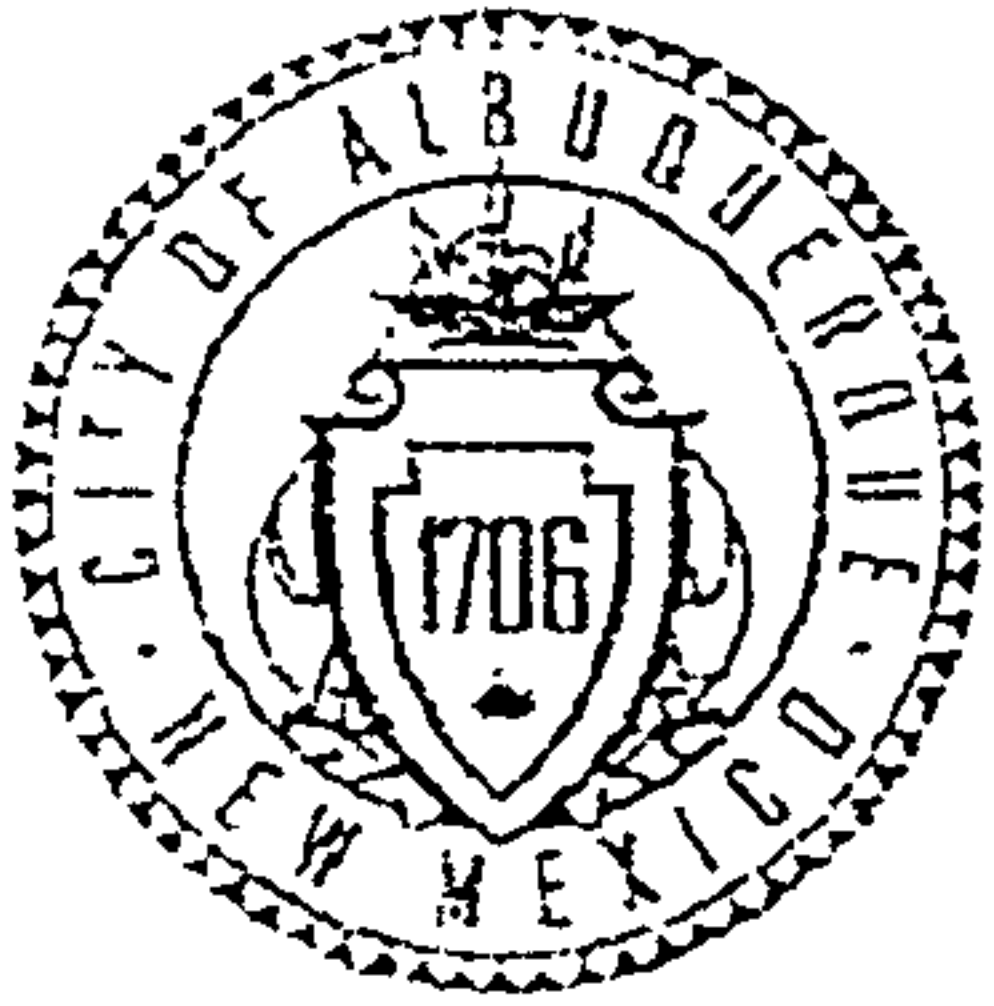
NA E-mail: contact@ventanaranch.org

Council District: 5

County District: 1

Police Beat: 616/NW

Zone Map: A-C-9-10



DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 – will need the following information **BEFORE** neighborhood and/or homeowner association information will be released to the applicant/agent on any project being presented to the Planning Department of the City of Albuquerque. If you have any questions, please feel free to contact our office at (505) 924-3914. Your Developer Inquiry is for the following:

Cell Tower & Type: Free-Standing Tower -OR- Concealed Tower

Private Development EPC DRB LUCC Liquor Submittal

Administrative Amendments (AA's)

City Project

Special Exception Application (ZHE)

CONTACT NAME: RICK BELTRAMO

COMPANY NAME: LONGFORD HOMES

ADDRESS/ZIP: 7023 TREE LINE AVE / 87114

PHONE: 620-5322 FAX: 761-9922

LEGAL DESCRIPTION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION IN THE AREA OF THE PROPERTY DESCRIBED BELOW:

HERITAGE UNITS 1 & 2 at THE TRAILS

LEGAL DESCRIPTION

LOCATED ON PASEO DEL NORTE

STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN UNIVERSE BLVD. AND

STREET NAME OR OTHER IDENTIFYING LANDMARK

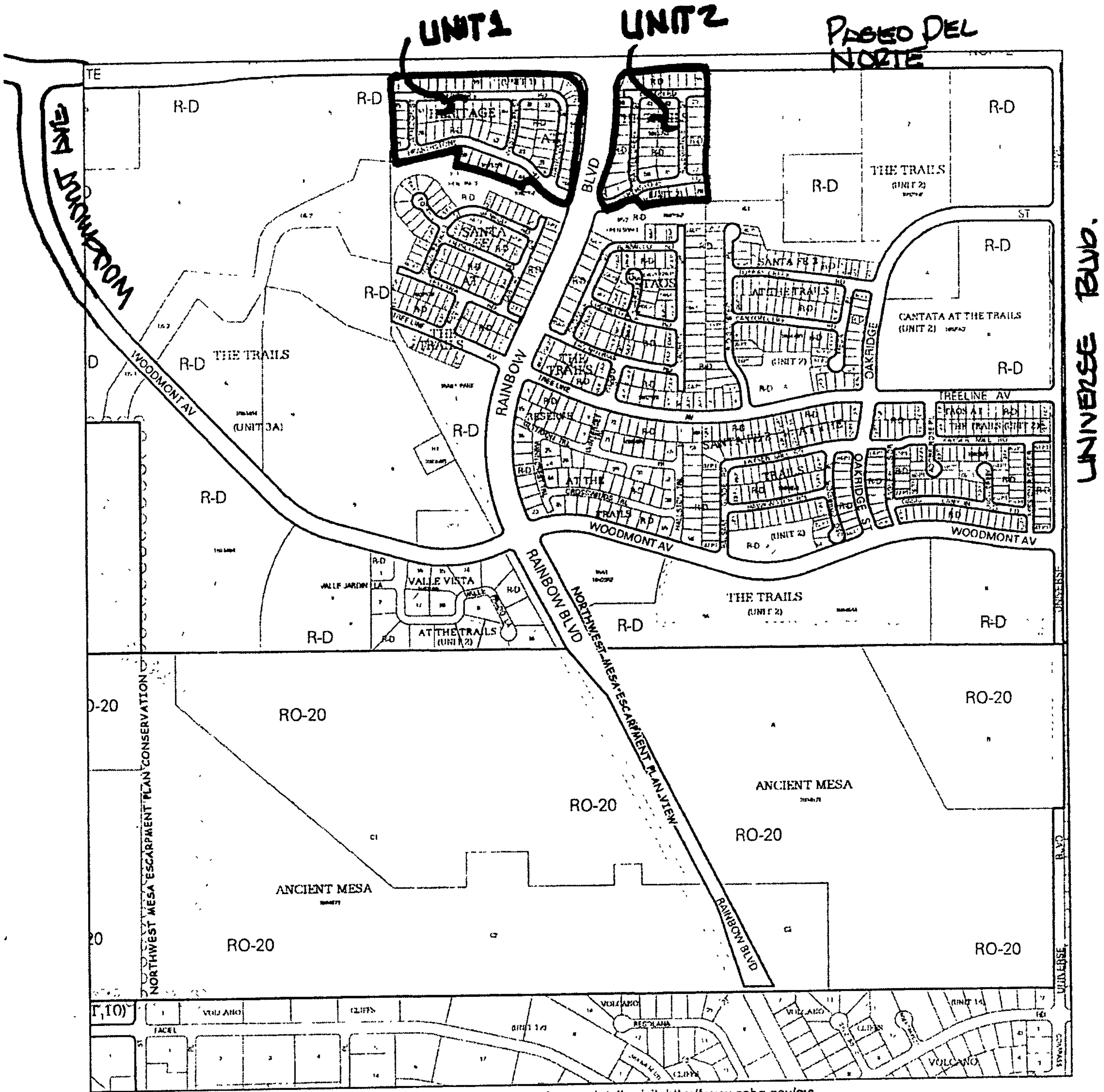
WOODMONT AVE.

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (C-9).

(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)

(Zone Map **MUST** be provided with request)



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/4/2010

Zone Atlas Page.

C-09-Z

Selected Symbols

SECTOR PLANS		Escarpment
Design Overlay Zones		2 Mile Airport Zone
City Historic Zones		Airport Noise Contours
11-1 Buffer Zone		Wall Overlay Zone
Petroglyph Mon		

Note: Grey Shading Represents Area Outside of the City Limits



May 20, 2010

Mr. Kevin Patton
Representative of Ventana Ranch N.A.
10422 Borrego Creek Dr. NW
Albuquerque, New Mexico, 87114

Re: Extension of Subdivision Improvements Agreements
Unit 1 and 2 of Heritage at The Trails

Dear Mr. Patton:

The city of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Ventana Ranch Neighborhood Association.

This letter notifies you, as that Longford homes is requesting a 1 year extensions of the Subdivision Improvements Agreement. More specifically the extension is requested for Paseo Del Norte adjacent to Units 1 and 2 of Heritage at The Trails.

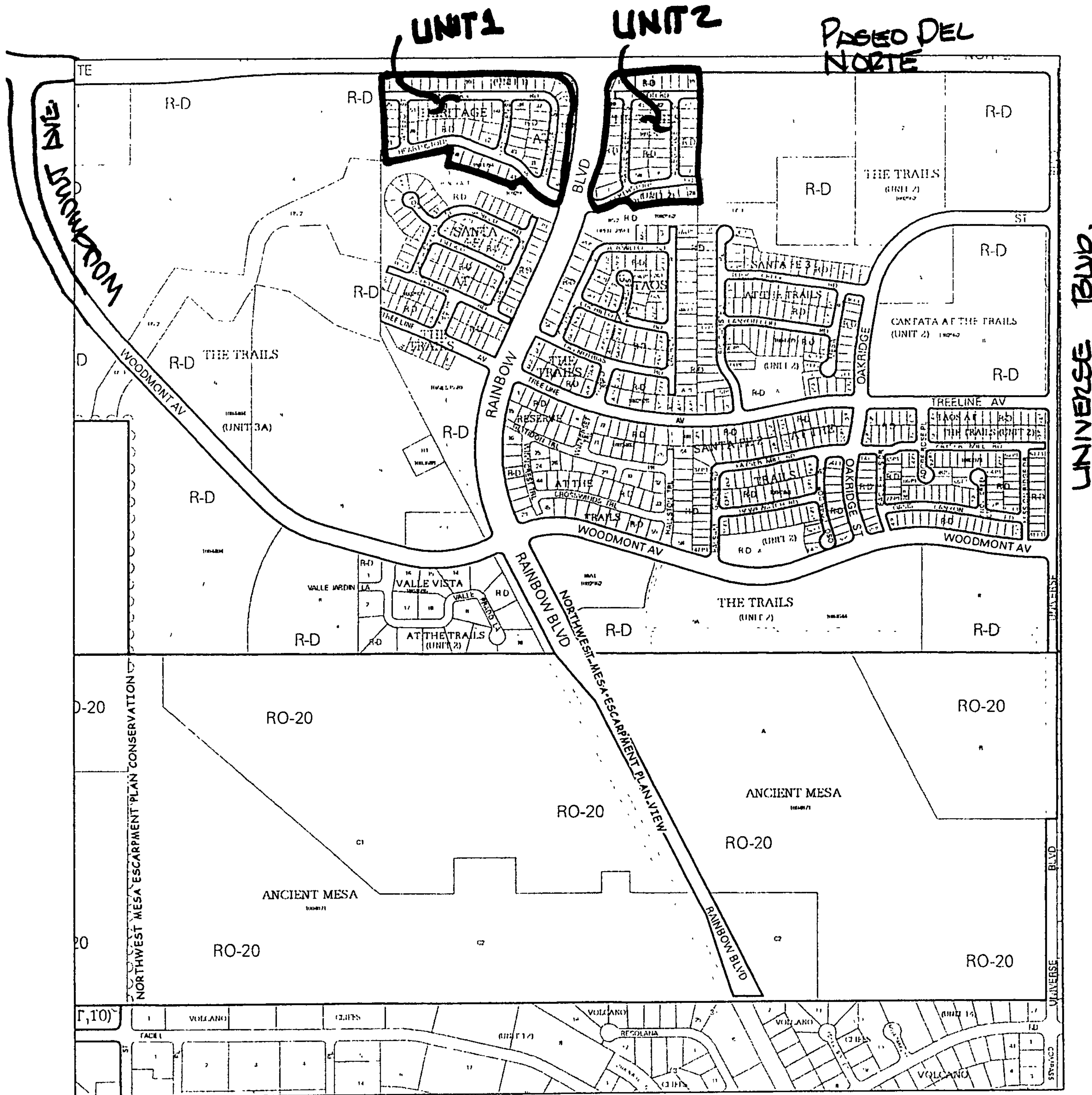
Attached is a copy of the zone atlas page showing unit 1 of The Trails. Should you need additional information or have any questions please call me at 620-5322.

Sincerely,

A handwritten signature in black ink, appearing to read "Rick Beltramo".

Rick Beltramo
Longford Homes

Attachments



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page.

C-09-Z

Selected Symbols

SECTOR PLANS	Sector Plans
Design Overlay Zones	Design Overlay Zones
City Historic Zones	City Historic Zones
H-1 Buffer Zone	H-1 Buffer Zone
Petroglyph Mon	Petroglyph Mon
	Escarpment
	2 Mile Airport Zone
	Airport Noise Contours
	Wall Overlay Zone

0 750 1 500 Feet



May 20, 2010

Mr. Jay Jones
Representative of Ventana Ranch N.A.
P.O. Box 65446/87193
Albuquerque, New Mexico, 87193

Re: Extension of Subdivision Improvements Agreements
Units 1 and 2 of Heritage at The Trails

Dear Mr. Jones:

The city of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Ventana Ranch Neighborhood Association.

This letter notifies you, as that Longford homes is requesting a 1 year extensions of the Subdivision Improvements Agreement. More specifically the extension is requested for Paseo Del Norte adjacent to Units 1 and 2 of heritage at The Trails.

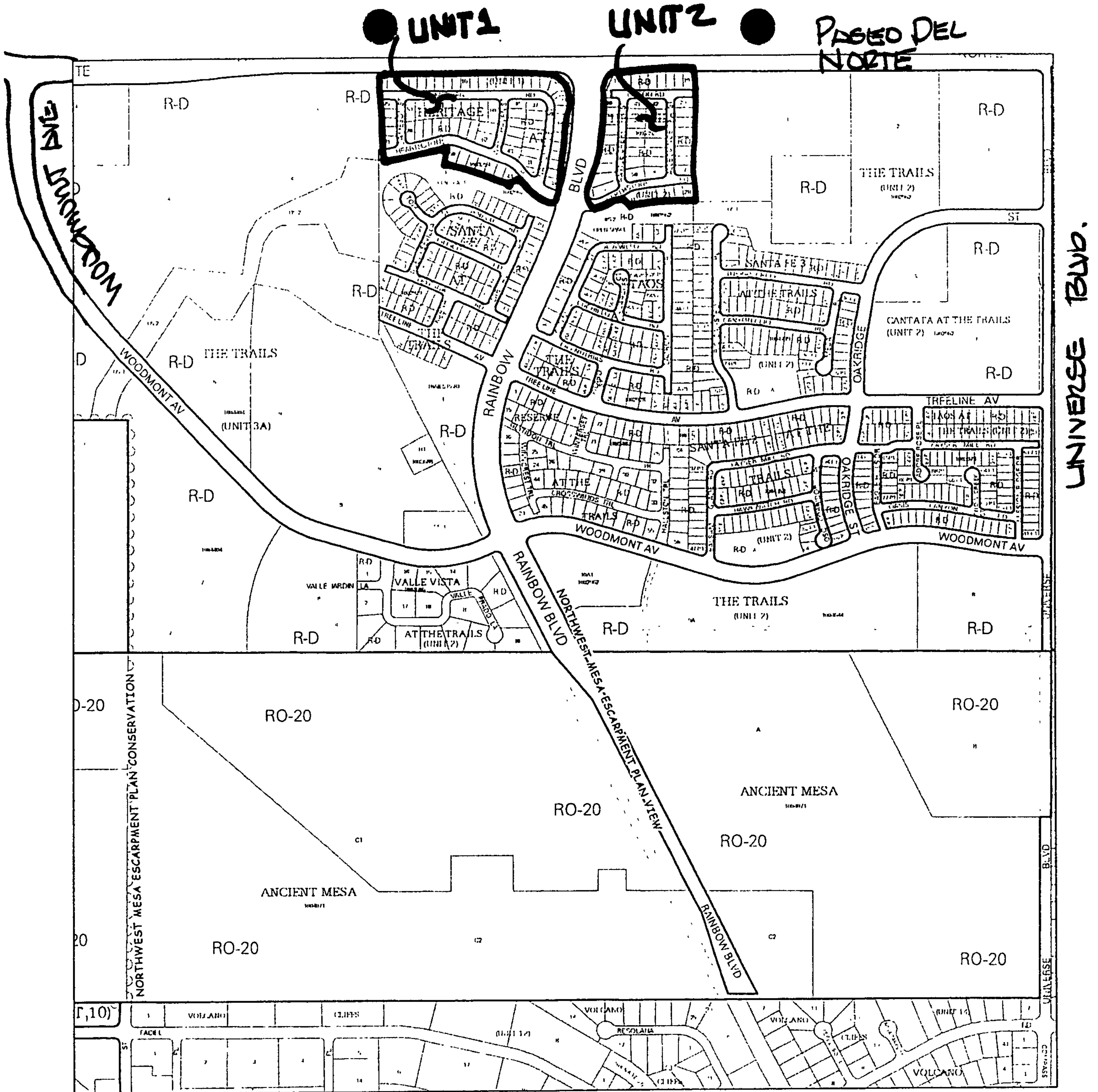
Attached is a copy of the zone atlas page showing unit 1 of The Trails. Should you need additional information or have any questions please call me at 620-5322.

Sincerely,

A handwritten signature in black ink, appearing to read "Rick Beltramo", with a long horizontal line extending to the right.

Rick Beltramo
Longford Homes

Attachments



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-09-Z

Selected Symbols

SECTOR PLANS		Escarpment
Design Overlay Zones		2 Mile Airport Zone
City Historic Zones		Airport Noise Contours
H-1 Buffer Zone		Wall Overlay Zone
Petroglyph Mon		

0 750 1500 Feet

7009 1680 0000 3406 3665

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.44	0118 MAY 20 09 POSTMARK HERE 05/21/2010
Certified Fee	\$2.80	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.54	

Sent To **KEVIN PATTON**
 Street, Apt. No., or PO Box No. **10422 BORRERO GREEK DR.**
 City, State, ZIP+4 **ALB. NM 87114**

9596 9046 0000 3406 3656

U.S. Postal Service™
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OFFICIAL USE

Postage	\$ 0.44	0118 MAY 20 09 POSTMARK HERE 05/21/2010
Certified Fee	\$2.80	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.54	

Sent To **RAY JONES**
 Street, Apt. No., or PO Box No. **P.O. BOX 05446 | 87193**
 City, State, ZIP+4 **ALB. NM 87193**

HEARINGS DATE 6-16-10 (SIA)



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

April 23, 2008

- Project# 1003354**
08DRB-70155 MAJOR - 2YR EXTENSION OF SUBDIVISION
IMPROVEMENTS

BOHANNAN HUSTON, INC. agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **HERITAGE AT THE TRAILS Unit(s) 1**, zoned SU-2/ RD, located on the west side of RAINBOW BLVD NW BETWEEN HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 9 acre(s). (C-9)

At the April 23, 2008 Development Review Board meeting, the 2 year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by May 8, 2008, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, AICP, DRB Chair

Cc: Bohannan Huston Inc. – 7500 Jefferson NE – Albuquerque, NM 87109

Cc: The Trails LLC – 7007 Jefferson NE – Albuquerque, NM 87109



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 23, 2008 9:00AM

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

**Kristal Metro, P.E. , Transportation Development
Brad Bingham, P.E., Hydrology/Alt. City Engineer**

**Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Christina Sandoval, Parks/Municipal Development**

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1000364**
08DRB-70156 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA) BRET OR DEBRA A TABOR request(s) the above action(s) for all or a portion of Lot(s) 1-B-1, Block(s) 1, **CHANSLOR'S REPLAT OF GALLAGHER ADDITION**, zoned C-2, located on CENTRAL AVE BETWEEN GLENRIDGE PARK L NE AND BURMA DR NE (L-22) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

2. **Project# 1003353**
08DRB-70154 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA) BOHANNAN HUSTON INC agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **HERITAGE AT THE TRAILS UNIT 2** zoned RD, located on RAINBOW BLVD NW BETWEEN PASEO DEL NORTE NW AND HEARTHSTONE NW containing approximately 14 acre(s). (C-9) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

3. ~~**Project# 1003354**~~
08DRB-70155 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA) BOHANNAN HUSTON, INC. agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **HERITAGE AT THE TRAILS Unit(s) 1**, located on RAINBOW BLVD NW BETWEEN PASEO DEL NORTE NW AND HEARTHSTONE NW containing approximately 9 acre(s). (C-9) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

4. **Project# 1006760**
08DRB-70180 AMENDED SDP FOR BP
YOLANDA MONTOYA agent(s) for MICHAEL RAJOLA request(s) the above action(s) for all or a portion of Lot(s) 28, Block(s) 27, Tract(s) 1, **NAA Unit(s) B**, zoned SU-2/IP, located on OAKLAND NE BETWEEN SAN PEDRO NE AND LOUISIANA NE containing approximately 0.89 acre(s). (C-18) **DEFERRED TO 5/7/08 AT THE AGENT'S REQUEST.**

5. **Project# 1005210**
08DRB-70174 EPC APPROVED SDP FOR BUILD PERMIT
CONSENSUS PLANNING agent(s) for WERNER GILCHRIST LLC request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Block(s) 10, **UNIVERSITY HEIGHTS ADDITION** zoned SU-2/SU-1 FOR DR OFFICE, LIBRARY AND/OR MUSEUM, located on CORNELL DR SE BETWEEN SILVER AVE SE AND LEAD AVE SE containing approximately 0.3 acre(s). (K-16) *Planner – Maryellen Hennessy* **WITH AN APPROVED GRADING AND DRAINAGE PLAN DATED 9/10/08, THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR COMMENTS. 3 COPIES OF SITE PLAN MUST BE PROVIDED TO PLANNING.**

6. **Project# 1000163**
08DRB-70167 EPC APPROVED SDP FOR BUILD PERMIT
JAMES B CLARK MASTERWORKS ARCHITECTS INC agent(s) for MIKE WINKELJOHN request(s) the above action(s) for all or a portion of Lot(s) D, **LA CUEVA VILLAGE Unit(s) 1**, zoned C-2 (SC), located on CARMEL AVE NE BETWEEN WYOMING NE AND BARSTOW NE containing approximately 0.8864 acre(s). (C-19) *[Deferred from 4/16/08]*. **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR COMMENTS. 3 COPIES OF SITE PLAN MUST BE PROVIDED TO PLANNING.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project# 1000983**
08DRB-70175 MINOR -
PRELIMINARY/ FINAL PLAT
APPROVAL
JAMES F CRABTREE request(s) the above action(s) for all or a portion of Lot(s) 9-A & 9-H, **MOJAVE TOWNHOMES**, zoned R-T, located on ATRISCO BETWEEN MOJAVE NW AND SANTO DOMINGO NW containing approximately 0.38 acre(s). (E-10) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 30 FT RADIUS ON MOHAVE AND UNSER, FOR CURRENT TAX RECEIPTS, AND TO RECORD.**

8. **Project# 1007054**
08DRB-70178 MINOR -
PRELIMINARY/ FINAL PLAT
APPROVAL

WAYJOHN SURVEYING INC agent(s) for RED ROCK CAPITAL LLC request(s) the above action(s) for all or a portion of Lot(s) 15-19, Block(s) 31, **HEIGHTS RESERVOIR ADDITION** zoned R-3, located on ADAMS ST NE BETWEEN LOMAS BLVD NE AND ROMA AVE NE containing approximately .7717 acre(s). (K-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR A COPY OF SPECIAL EXCEPTION, AND FOR BUILDING CODE CERTIFICATION.**

9. **Project# 1007056**
08DRB-70179 MINOR -
PRELIMINARY/ FINAL PLAT
APPROVAL

WAYJOHN SURVEYING INC agent(s) for RED ROCK CAPITAL LLC request(s) the above action(s) for all or a portion of Lot(s) 24-28, Block(s) 32, **HEIGHTS RESERVOIR ADDITION** zoned R-3, located on ADAMS ST NE BETWEEN LOMAS BLVD NE AND ROMA AVE NE containing approximately .7717 acre(s). (K-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR A COPY OF SPECIAL EXCEPTION, AND FOR BUILDING CODE CERTIFICATION.**

10. **Project# 1006989**
08DRB-70150 MINOR -
PRELIMINARY/ FINAL PLAT
APPROVAL

CARTESIAN SURVEYS INC agent(s) for TIMOTHY AND CHRISTINE HELMICK request(s) the above action(s) for all or a portion of Lot(s) 16-A, Block(s) 16, **NORTH ALBUQUERQUE ACRES TRACT A, UNIT B** zoned SU-2 FOR I-P, located on SAN PEDRO DR AND ANAHEIM AVE containing approximately 0.9994 acre(s). (C-18) *[Deferred from 4/2/08]*. **DEFERRED TO 4/30/08 AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

11. **Project# 1003188**
08DRB-70176 SKETCH PLAT REVIEW
AND COMMENT

TOM PATRICK/COMMUNITY SCIENCES agent(s) for ANGELA & MARIO GARCIA request(s) the above action(s) for all or a portion of Tract(s) 145-A, 145-A2, 144-B., **LOT 26, LUKE ADDITION** zoned RA-2, located on GRIEGOS NW BETWEEN RIO GRANDE NW AND SAN ISIDRO NW containing approximately 1.2415 acre(s). (F-13) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

12. **Project# 1007246**
08DRB-70177 SKETCH PLAT REVIEW
AND COMMENT

TOM PATRICK/ COMMUNITY SCIENCES agent(s) for THE DANIELS COMPANY LLC request(s) the above action(s) for all or a portion of Tract(s) B-1, **LESTER TRACT B-1** zoned SU-1 FOR MORTURARY, located on SCOTTS PL NE BETWEEN WYOMING NE AND LOUISIANA NE containing approximately 2.4155 acre(s). (D-19) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. Approval of the Development Review Board Minutes for February 20, 2008.

Other Matters: None

Adjourned: 9:45

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1003354 AGENDA# 3 DATE: 4/23/08

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

April 23, 2008

Project# 1003354

08DRB-70155 MAJOR - 2YR EXTENSION OF SUBDIVISION IMPROVEMENTS

BOHANNAN HUSTON, INC. agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **HERITAGE AT THE TRAILS Unit(s) 1**, zoned SU-2/ RD, located on the west side of RAINBOW BLVD NW BETWEEN HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 9 acre(s). (C-9)

AMAFCA

No comment.

COG

Paseo del Norte is designated for the following ITS deployments as part of ITS Project 6: Fiberoptic Cable, Pavement Sensors, Remote Traffic Monitoring Station. Coordination with City representative on the ITS Subcommittee is recommended to insure development consistent with this project.

MPO Project ID 531.0 has been identified in the 2030 MTP as a privately-funded project to widen Rainbow Bd from 2 to 4 lanes. This project includes bike lanes and trail. Since the project is privately-funded, there is no programming information available. Coordination with DMD is recommended to insure infrastructure development consistent with development in the area.

MPO Project ID 529.0 has been identified in the 2030 MTP as a privately-funded project to reconstruct and widen Paseo del Norte from 2 to 4 lanes and construct bike lanes and trail. Since this project is privately funded, there is no programming information available. Coordination with DMD is recommended to insure infrastructure development consistent with development in the area.

Paseo del Norte is a limited-access urban principal arterial. Full access is provided at Rainbow Bd. Additional access to Paseo del Norte would require the consent of NMDOT (as future owner of the facility under the road exchange agreement between NMDOT and City dated Feb. 2 1989) and the MTB.

Rainbow Bd north of Paseo del Norte has a functional classification of urban minor arterial. South of Paseo del Norte, Rainbow Bd has a functional classification of urban local road. City may wish to consider changing the functional classification of this roadway as development in the surrounding area occurs.

TRANSIT

No comments received

ZONING ENFORCEMENT

No adverse comments

NEIGHBORHOOD COORDINATION**Letters sent Sent: Ventana Ranch NA (R)****Ventana Ranch Community Assoc.****APS**

Heritage at the Trails Unit 1 is located on the west side of Rainbow Blvd NW between Hearthstone Rd NW and Paseo Del Norte NW. The owner of the above property requests a 2YR Extension of Subdivision Improvements for a development that consists of 71 existing single family units. This development impacts Ventana Ranch Elementary School, James Monroe Middle School, and Volcano Vista High School. Ventana Ranch Elementary and James Monroe Middle School are exceeding capacity, Volcano Vista has excess capacity.

Loc No	School	2007-08 40th Day	2007-08 Capacity	Space Available
264	Ventana Ranch	1,523	750	-773
490	James Monroe	1,519	1,417	-102
575	Volcano Vista	482	750	268

Two new northwest elementary schools are planned to open in 2009. This will relieve overcrowding at Ventana Ranch Elementary School.

Two new northwest elementary schools are planned to open in 2009. This will relieve overcrowding at Ventana Ranch Elementary School.

A new northwest middle school is planned to open in 2009. This will relieve overcrowding at James Monroe.

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
 - Construct new schools or additions
 - Add portables
 - Use of non-classroom spaces for temporary classrooms
 - Lease facilities
 - Use other public facilities
- Improve facility efficiency (short term solution)
 - Schedule Changes
 - Double sessions
 - Multi-track year-round
 - Other
 - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
 - Boundary Adjustments / Busing
 - Grade reconfiguration
- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer app

POLICE DEPARTMENT

No comments received

FIRE DEPARTMENT

No comments received

PNM ELECTRIC & GAS

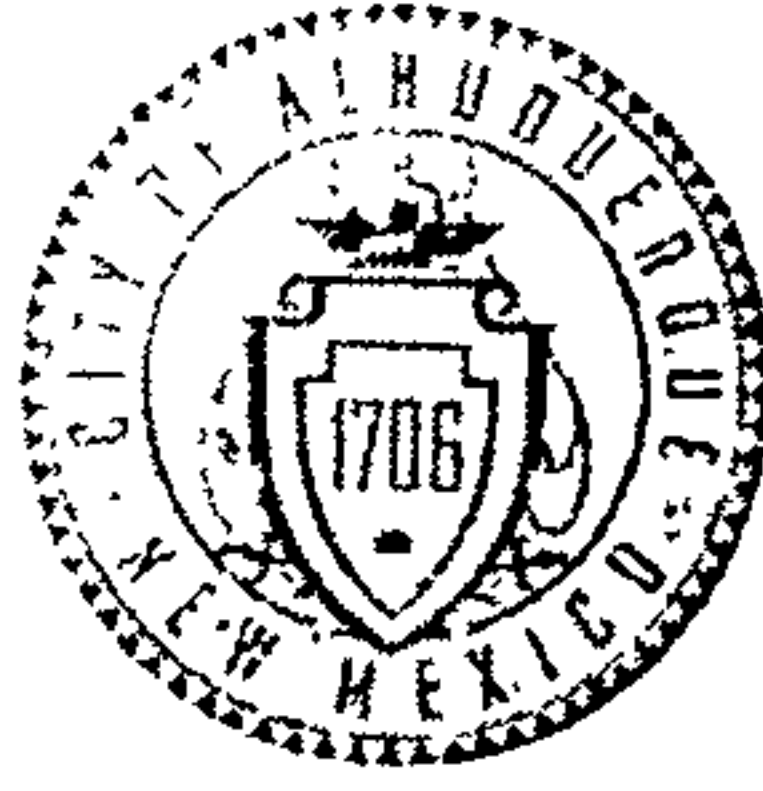
No comments received

COMCAST No comments received
QWEST No comments received
ENVIRONMENTAL HEALTH No comments received
M.R.G.C.D No Adverse Comments.
OPEN SPACE DIVISION Open Space has no adverse comments
CITY ENGINEER The Hydrology section has no objection to the extension request.
TRANSPORTATION DEVELOPMENT No adverse comments.
PARKS AND RECREATION Defer to transportation.
ABCWUA No objection to Extension request.
PLANNING DEPARTMENT Refer to comments from affected divisions regarding proposed extension.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: Bohannon Huston Inc. – 7500 Jefferson NE – Albuquerque, NM 87109

Cc: The Trails LLC – 7007 Jefferson NE – Albuquerque, NM 87109



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, April 23, 2008**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project# 1000364

08DRB-70156 MAJOR - 2YR EXTENSION
OF SUBDIVISION IMPROVEMENTS

BRET or DEBRA A. TABOR request(s) the above action(s) for all or a portion of Lot(s) 1-B-1, Block(s) 1, **CHANSLOR'S REPLAT OF GALLAGHER ADDITION**, zoned C-2, located on the north side of CENTRAL AVE NE BETWEEN GLENRIDGE PARK NE AND BURMA DR NE, containing approximately 1 acre(s). (L-22)

Project# 1003353

08DRB-70154 MAJOR - 2YR EXTENSION
OF SUBDIVISION IMPROVEMENTS

BOHANNAN HUSTON INC agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **HERITAGE AT THE TRAILS UNIT 2**, zoned SU-2/ RD, located on the east side of RAINBOW BLVD NW BETWEEN HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 14 acre(s). (C-9)

Project# 1003354

08DRB-70155 MAJOR - 2YR EXTENSION
OF SUBDIVISION IMPROVEMENTS

BOHANNAN HUSTON, INC. agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **HERITAGE AT THE TRAILS Unit(s) 1**, zoned SU-2/ RD, located on the west side of RAINBOW BLVD NW BETWEEN HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 9 acre(s). (C-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, APRIL 7, 2008.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: April 23, 2008
Zone Atlas Page: C-9
Notification Radius: 100 Ft.

Project# 1003354
App#08ZHE-70155

Cross Reference and Location: RAINBOW BLVD NW BETWEEN PASEO DEL NORTE NW AND HEARTHSTONE NW

Applicant: THE TRAILS LLC
7007 JEFFERSON NE
ALBUQUERQUE, NM 87109

Agent: BOHANNAN HUSTON INCE
7500 JEFFERSON NE
ALBUQUERQUE, NM 87109

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: APRIL 4, 2008
Signature: ERIN TREMLIN

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	D	APPEAL / PROTEST of...
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal
STORM DRAINAGE (Form D)		
<input type="checkbox"/> Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bohannon Huston, Inc. PHONE: (505) 823-1000
 ADDRESS: 7500 Jefferson NE FAX: (505) 898-7988
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

APPLICANT: The Trails, LLC PHONE 761-9911
 ADDRESS: 7007 Jefferson NE FAX _____
 CITY Albuquerque STATE NM ZIP 87109
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: 2nd SIA Extension

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No _____ Block _____ Unit _____
 Subdiv/Addn/TBKA Heritage at the Trails Unit 1
 Existing Zoning RD Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): C-9 UPC Code: 100906423848820906

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj, App., DRB-, AX, Z, V, S, etc) _____
1003354, 06DRB-00633

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No of existing lots: _____ No. of proposed lots: _____ Total area of site (acres): +/- 9 Acres
 LOCATION PROPERTY BY STREETS: On or Near: Rainbow Blvd NW
 Between Paseo Del Norte NW and Hearthstone NW
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review _____

SIGNATURE Scott Steffer, P.E. DATE 03/28/2008
 (Print) _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>08 DRB - 70155</u>	<u>SFA</u>	<u>5(2)</u>	<u>\$ 50.⁰⁰</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMP</u>	_____	<u>\$ 20.⁰⁰</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>Adv</u>	_____	<u>\$ 75.⁰⁰</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>April 23, 2008</u>	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 145.⁰⁰</u>

Andrew Garcia 3/27/08
 Planner signature / date

Project # 100 3354

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D R B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Scott Steffen, P.E.
 Applicant name (print)
[Signature] 3-28-08
 Applicant signature / date



Form revised October 2007

[Signature] 3/27/08
 Planner signature / date
 Project # 1003554

- | | |
|---|--------------------------|
| <input checked="" type="checkbox"/> Checklists complete | Application case numbers |
| <input checked="" type="checkbox"/> Fees collected | 08 DRB - - 70155 |
| <input checked="" type="checkbox"/> Case #s assigned | - - - |
| <input checked="" type="checkbox"/> Related #s listed | - - - |

R e c	UPC CODE	OWNER	OWNER ADDRESS	OWNE R CITY	OW NE R ST AT E	OW NE R ZIP CO DE	PR OP ERT Y CLA SS	TA X DIS TRI CT	LEGAL
1	100906 521801 630680	HARPER MINNIE	7220 GROS VENTRE CT N W	ALBU QUER QUE	N M	871 14 3 446	R	A1 A	LT 35- P1 BLK 1 PLAT OF VENTANA POINTE CONT 0. 1214 AC M/L OR 5,290 SF M/L
1	100906 428350 520711	GREENWOOD A ARON JOHN & S USAN L ISLEY	9327 BATTL E CREEK ST NW	ALBU QUER QUE	N M	871 14	V	A1 A	LT 10 PLAT FOR HERITAGE AT THE TRAILS S UBDIVISION UNIT 2 BEING A REPLAT OF TRA CT B THE TRAILS CONT .1331 AC
1	100906 430044 221647	THE TRAILS CO MMUNITY ASSO CIATION	7007 JEFFE RSON BLVD NE SUITE A	ALBU QUER QUE	N M	871 09	V	A1 A	TR OS- 2 BULK PLAT OF THE TRAILS A REPLAT OF A PORTION OF TRACT 4 BLACK RANCH CONT 2.0903 AC
1	100906 422344 421328	MURAYOSHI KIM IYASU	11038 CAMA RILLO ST	TOCU LA LA KE	CA	916 02	R	A1 A	LT 98- P1 PLAT FOR SANTA FE AT THE TRAILS CON T .1033 AC
1	100906 421944 621329	PASZKO JOLA & ANNA M PARIAS ZEVSKI	7223 SENEC URD NW	ALBU QUER QUE	N M	871 14	R	A1 A	LT 97- P1 PLAT FOR SANTA FE AT THE TRAILS CON T .1038 AC
1	100906 421544 821330	BUSH ANNYA	6010 AVENI DA VAQUERO	SAN C LEME NTE	CA	926 73	R	A1 A	LT 96- P1 PLAT FOR SANTA FE AT THE TRAILS CON T .1038 AC
1	100906 421145 021331	KAMAL MOHAM MADR	6435 PEINA DO	SAN D IEGO	CA	921 21	R	A1 A	LT 95- P1 PLAT FOR SANTA FE AT THE TRAILS CON T .1038 AC
1	100906 420745 221332	LO LAWRENCE	3138 WATER S WAY	SUGA R LAN D	TX	774 78	R	A1 A	LT 94- P1 PLAT FOR SANTA FE AT THE TRAILS CON T .1035 AC
1	100906 418244 621334	FEVOLA ZENAID A & MICHAEL	7301 TOME CT NW	ALBU QUER QUE	N M	871 14	R	A1 A	LT 63- P1 PLAT FOR SANTA FE AT THE TRAILS CON T .1291 AC
1	100906 417945 021335	WESTNEY BRIAN M & HEATHER L	7305 TOME CT NW	ALBU QUER QUE	N M	871 14	R	A1 A	LT 62- P1 PLAT FOR SANTA FE AT THE TRAILS CON T .1222 AC
1	100906 417445 821337	RICO LESLEY L	7315 TOME CT NW	ALBU QUER QUE	N M	871 14	R	A1 A	LT 60- P1 PLAT FOR SANTA FE AT THE TRAILS CON T .1326 AC
1	100906 416946 221338	LEHMAN RUDOL PH H & ELVA C S UITE 202-406	5115 N DYSA RT RD	LITCH FIELD PARK	AZ	853 40	R	A1 A	LT 59- P1 PLAT FOR SANTA FE AT THE TRAILS CON T .1651 AC
1	100906 416246 121339	STONE DEVRA K	24701 RAYM OND WAY 1 84	LAKE FORE ST	CA	926 30	R	A1 A	LT 58- P1 PLAT FOR SANTA FE AT THE TRAILS CON T .1651 AC
1	100906 415745 621340	CERTAIN JUAN C ARLOS	7320 TOME CT NW	ALBU QUER QUE	N M	871 14	R	A1 A	LT 57- P1 PLAT FOR SANTA FE AT THE TRAILS CON T .1651 AC

R e c	UPC CODE	OWNER	OWNER ADDRESS	OWN ER CITY	OW NE R S T A T E	OW NE R Z I P C O D E	PR O P E R T Y C L A S S	TA X D I S T R I C T	LEGAL
1	10090 65233 01630 683	LEWIS JOSHUA S & KIER L V ANDERFORD	7208 GR OS VENT RE CT N W	ALBU QUE RQU E	N M	871 14 344 6	R	A1 A	LT 38- P1 BLK 1 PLAT OF VENTANA POINTE CON T 0.1200 AC M/L OR 5,227 SF M/L
2	10090 65228 01630 682	ROMERO NORA & BERG JO HN MICHAEL	7212 GR OS VENT RE CT N W	ALBU QUE RQU E	N M	871 14 344 6	R	A1 A	LT 37- P1 BLK 1 PLAT OF VENTANA POINTE CON T 0.1205 AC M/L OR 5,250 SF M/L
3	10090 65224 01630 681	CORACI JACK N	7216 GR OS VENT RE CT N W	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 36- P1 BLK 1 PLAT OF VENTANA POINTE CON T 0.1205 AC M/L OR 5,250 SF M/L
4	10090 65160 02030 635	CHAPMAN ELON B	9404 TO UCAN PL NW	ALBU QUE RQU E	N M	871 14 361 2	R	A1 A	LT 35 PLAT OF LAS CASITAS SUBD AT VE NTANA RANCH (REPL OF TR 3A VENTANA RANCH) CONT 0.1263 AC M/L OR 5,502 SF M/L
5	10090 65188 02030 662	GALINDO JESSICA D	9404 SA NTALA PL NW	ALBU QUE RQU E	N M	871 14 349 4	R	A1 A	LT 17- P1 BLK 1 PLAT OF VENTANA POINTE CON T 0.1308 AC M/L OR 5,697 SF M/L
6	10090 65172 01930 659	GALLEGOS PABLO & MARIA B	9405 SA NTALA PL NW	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 14- P1 BLK 1 PLAT OF VENTANA POINTE CON T 0.1261 AC M/L OR 5,495 SF M/L
7	10090 65200 02030 677	WELCH JAMES E & CHRISTI N	9405 VE RVAIN DR NW	ALBU QUE RQU E	N M	871 09	R	A1 A	LT 32- P1 BLK 1 PLAT OF VENTANA POINTE CON T 0.1536 AC M/L OR 6,692 SF M/L
8	10090 65213 01530 679	PACHECO KIM L	7224 GR OS VENT RE CT N W	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 34- P1 BLK 1 PLAT OF VENTANA POINTE CON T 0.1461 AC M/L OR 6,365 SF M/L
9	10090 65146 02430 632	CAMPBELL COLIN M & ELIZ ABETH A	7400 CE RROS PL NW	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 32 PLAT OF LAS CASITAS SUBD AT VE NTANA RANCH (REPL OF TR 3A VENTANA RANCH) CONT 0.1943 AC M/L OR 8,464 SF M/L
10	10090 65139 02230 631	MARTINEZ JENNY R	7404 CE RROS PL NW	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 31 PLAT OF LAS CASITAS SUBD AT VE NTANA RANCH (REPL OF TR 3A VENTANA RANCH) CONT 0.1263 AC M/L OR 5,502 SF M/L
11	10090 65134 02230 630	LANGLAND LAYLA L	7408 CE RROS PL NW	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 30 PLAT OF LAS CASITAS SUBD AT VE NTANA RANCH (REPL OF TR 3A VENTANA RANCH) CONT 0.1263 AC M/L OR 5,502 SF M/L
12	10090 65129 02230 629	SANDOVAL GARY P	7412 CE RROS PL NW	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 29 PLAT OF LAS CASITAS SUBD AT VE NTANA RANCH (REPL OF TR 3A VENTANA RANCH) CONT 0.1263 AC M/L OR 5,502 SF M/L
13	10090 64280 46920 704	DOUGHTY RANDOLPH MAT THEW & CARRIANNE	9305 BA TTLE CRE EK ST NW	ALBU QUE RQU E	N M	871 14	V	A1 A	LT 3 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .1606 AC
14	10090 64279 46520 703	CENTEX HOMES	5120 MA STHEAD NE	ALBU QUE RQU E	N M	871 09	V	A1 A	LT 2 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .2040 AC

15	10090 64280 45720 702	CENTEX HOMES	5120 MA STHEAD NE	ALBU QUE RQU E	N M	871 09	V	A1 A	LT 1 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .2189 AC
16	10090 64271 45520 701	CENTEX HOMES	5120 MA STHEAD NE	ALBU QUE RQU E	N M	871 09	V	A1 A	TR B PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .0367 AC
17	10090 65200 01530 678	LANDAVAZO MARK ELIAS	9401 VE RVAIN DR NW	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 33- P1 BLK 1 PLAT OF VENTANA POINTE CON T 0.1939 AC M/L OR 8,446 SF M/L
18	10090 65172 01430 660	MARTINEZ JOHN B & MARG ARET G	9401 SA NTALA PL NW	ALBU QUE RQU E	N M	871 14 349 7	R	A1 A	LT 15- P1 BLK 1 PLAT OF VENTANA POINTE CON T 0.1497 AC M/L OR 6,523 SF M/L
19	10090 65160 01530 634	BEXFIELD KAREN LEE	9400 TO UCAN PL NW	ALBU QUE RQU E	N M	871 14 361 2	R	A1 A	LT 34 PLAT OF LAS CASITAS SUBD AT VE NTANA RANCH (REPL OF TR 3A VENTANA RANCH) CONT 0.1499 AC M/L OR 6,530 SF M/L
20	10090 65122 01430 626	LANDES LANCE M & KATHL EEN	9400 SP ANISH PO INTE PL N W	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 26 PLAT OF LAS CASITAS SUBD AT VE NTANA RANCH (REPL OF TR 3A VENTANA RANCH) CONT 0.1917 AC M/L OR 8,350 SF M/L
21	10090 65139 01530 633	HERMAN JOSEPH J & JAMIE L	9401 TO UCAN PL NW	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 33 PLAT OF LAS CASITAS SUBD AT VE NTANA RANCH (REPL OF TR 3A VENTANA RANCH) CONT 0.1951 AC M/L OR 8,499 SF M/L
22	10090 64083 43020 212	TRAILS LLC	3077 E W ARM SPRI NGS RD	LAS VEG AS	N V	891 20	V	A1 A	T11N R2E SEC 16 W1/2 NW1/4
23	10090 65245 02030 685	DEUTSCHE BANK NATIONAL TRUST COMPANY TRUST EE VENDEE MORTGAGE TR UST	155 VAN GORDON ST	DEN VER	C O	802 25	R	A1 A	LT 40- P1 BLK 1 PLAT OF VENTANA POINTE CON T 0.1602 AC M/L OR 6,979 SF M/L
24	10090 65239 01630 684	GOMEZ GEORGE A JR & MA RIA D	7204 GR OS VENT RE CT N W	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 39- P1 BLK 1 PLAT OF VENTANA POINTE CON T 0.1629 AC M/L OR 7,095 SF M/L
25	10090 64254 51020 811	CENTEX HOMES	5120 MA STHEAD NE	ALBU QUE RQU E	N M	871 09	V	A1 A	TR C PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .0771 AC
26	10090 64083 43020 212	TRAILS LLC	3077 E W ARM SPRI NGS RD	LAS VEG AS	N V	891 20	V	A1 A	T11N R2E SEC 16 W1/2 NW1/4
27	10090 64280 47420 705	ARMENDARIZ MONIQUE D	9307 BA TTLE CRE EK ST NW	ALBU QUE RQU E	N M	871 14	V	A1 A	LT 4 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .1419 AC
28	10090 64223 43021 410	CHINTAWAT SATIT B	9911 PA SEO MON TRIL	SAN DIEG O	C A	921 29	R	A1 A	LT 91- P1 PLAT FOR SANTA FE AT THE TRAILS C ONT .1553 AC
29	10090 64241 43321 324	WATTS BENJAMIN J & SAMU EL N WATTS	9140 SA BINAL DR NE	ALBU QUE RQU E	N M	871 20	R	A1 A	LT 2- P1 PLAT FOR SANTA FE AT THE TRAILS C ONT .1048 AC
30	10090 64214 43521 411	LAW DAKKI WING SZE	2 KITTA NSETT LP	HEN DER SON	N V	890 52	R	A1 A	LT 92- P1 PLAT FOR SANTA FE AT THE TRAILS C ONT .1864 AC
31	10090 64243	HERNANDEZ KENNETH L & KATHARINE A	9144 SA BINAL DR	ALBU QUE	N M	871 14	R	A1 A	LT 1- P1 PLAT FOR SANTA FE AT THE TRAILS C

	43821 325		NW	RQUE						ONT .1480 AC
3 2	10090 64200 44021 412	MENDOZA ERNEST & SANDRA LONG-MENDOZA	7232 SE NECU RD NW	ALBU QUE RQUE E	N M	871 14	R	A1 A		LT 93- P1 PLAT FOR SANTA FE AT THE TRAILS C ONT .2644 AC
3 3	10090 64232 44121 326	LESTER STEPHEN F & L ST EPHANIE WU TRUSTEES LESTER FAMILY TRUST & ETAL	5295 WI NIFREED DR	CAST RC V ALLE Y	C A	945 46	R	A1 A		LT 100- P1 PLAT FOR SANTA FE AT THE TRAILS C ONT .1173 AC
3 4	10090 64227 44321 327	CHINTAWAT SATIT B	9911 PA SEO MON TIL	SAN DIEG O	C A	921 29	R	A1 A		LT 99- P1 PLAT FOR SANTA FE AT THE TRAILS C ONT .1033 AC
3 5	10090 64281 48020 706	BACA FRANK M & LUZ M	9309 BA TTLE CRE EK ST NW	ALBU QUE RQUE E	N M	871 14	V	A1 A		LT 5 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .1354 AC
3 6	10090 64282 48420 707	DURAN JOHN PAUL & MARIE E	9311 BA TTLE CRE EK ST NW	ALBU QUE RQUE E	N M	871 14	V	A1 A		LT 6 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B THE TRAILS CONT .1303 AC
3 7	10090 64268 42821 632	LONGFORD AT THE TRAILS LLC	3077 E W ARM SPRI NGS RD	LAS VEG AS	N V	891 20	V	A1 A		LT 73A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CON T .2056 AC
3 8	10090 64254 51020 811	CENTEX HOMES	5120 MA STHEAD NE	ALBU QUE RQUE E	N M	871 09	V	A1 A		TR C PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .0771 AC
3 9	10090 64257 51720 812	CENTEX HOMES	5120 MA STHEAD NE	ALBU QUE RQUE E	N M	871 09	V	A1 A		TR A PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .0848 AC
4 0	10090 64234 51820 816	BATIN DAISY BAUTISTA & FERDINAND SILVERIO	321 RIES LING WAY	SALI NAS	C A	939 06	R	A1 A		LT 17 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1205 AC
4 1	10090 64229 51820 817	DRACKERT EMANUEL F & DORIS S	7219 WIL LIAMSBU RG RD N W	ALBU QUE RQUE E	N M	871 14	R	A1 A		LT 16 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT 1205 AC
4 2	10090 64248 46120 801	CENTEX HOMES	5120 MA STHEAD NE	ALBU QUE RQUE E	N M	871 09	V	A1 A		LT 30 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1348 AC
4 3	10090 64250 46620 802	CENTEX HOMES	5120 MA STHEAD NE	ALBU QUE RQUE E	N M	871 09	R	A1 A		LT 29 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1224 AC
4 4	10090 64236 46820 902	CENTEX HOMES	5120 MA STHEAD NE	ALBU QUE RQUE E	N M	871 09	V	A1 A		TR B PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .0666 AC
4 5	10090 64224 46521 207	CONKLIN RYAN E & BRANDI L	7220 HE ARTHSTO NE RD N W	ALBU QUE RQUE E	N M	871 14	V	A1 A		LT 44 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1679 AC
4 6	10090 64218 46721 206	ALBO ORESTES L & PATTY	7224 HE ARTHSTO NE RD N W	ALBU QUE RQUE E	N M	871 14	V	A1 A		LT 45 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1253 AC
4 7	10090 64251 47120 803	CENTEX HOMES	5120 MA STHEAD NE	ALBU QUE RQUE E	N M	871 09	R	A1 A		LT 28 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1224 AC

48	10090 64213 46921 205	SIAO-PAO WILIAM	7228 HE ARTHSTO NE RD N W	ALBU QUE RQU E	N M	871 14	V	A1 A	LT 46 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1398 AC
49	10090 64235 47320 903	DEAN NEIL & R DI LEEN BAS S-DEAN	9305 NA TIONWID E ST NW	ALBU QUE RQU E	N M	871 20	R	A1 A	LT 31 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1508 AC
50	10090 64207 47121 204	BOWERS DARRELL	7232 HE ARTHSTO NE RD N W	ALBU QUE RQU E	N M	871 14	V	A1 A	LT 47 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1326 AC
51	10090 64239 49320 907	JARAMILLO RUDY E & MERE DITH C M	9323 NA TIONWID E ST NW	ALBU QUE RQU E	N M	871 20	R	A1 A	LT 35 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1354 AC
52	10090 64203 49021 008	CENTEX HOMES	5120 MA STHEAD NE	ALBU QUE RQU E	N M	871 09	V	A1 A	LT 63 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1341 AC
53	10090 64177 49121 003	CENTEX HOMES	5120 MA STHEAD NE	ALBU QUE RQU E	N M	871 09	V	A1 A	LT 68 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1247 AC
54	10090 64198 49121 007	LENTZ WALLACE W	7301 HE ARTHSTO NE RD N W	ALBU QUE RQU E	N M	871 14	V	A1 A	LT 64 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1323 AC
55	10090 64153 49521 103	SEAGRIST THOMAS A & MIC HIYO	9315 JA MESON S T NW	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 73 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1206 AC
56	10090 64255 49620 808	SETAYESH HAMID & FLORA	9328 NA TIONWID E ST NW	ALBU QUE RQU E	N M	871 20	R	A1 A	LT 23 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1224 AC
57	10090 64239 49820 908	COCKERHAM JAMES M	9327 NA TIONWID E ST NW	ALBU QUE RQU E	N M	871 20	R	A1 A	LT 36 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1363 AC
58	10090 64228 50020 911	HERNSTED JULIE	9328 WE ST HAVE N ST NW	ALBU QUE RQU E	N M	871 20	R	A1 A	LT 39 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1292 AC
59	10090 64153 50021 104	CHAVEZ PAUL E & MONICA M	9319 JA MESON S T NW	ALBU QUE RQU E	N M	871 21	R	A1 A	LT 74 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1207 AC
60	10090 64255 50120 809	KLINT STEVEN A & BONITA J	9332 NA TIONWID E ST	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 22 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1203 AC
61	10090 64239 50420 909	WILLIAMS LAWRENCE & PA MELA L	9331 NA TIONWID E ST NW	ALBU QUE RQU E	N M	871 20	R	A1 A	LT 37 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1712 AC
62	10090 64228 50520 910	YANCY MICHAEL E & KASIE	9332 WE ST HAVE N ST NW	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 38 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .1294 AC
63	10090 64215 50121 011	CHAVEZ MATTHEW L & PAU LINE	7232 WIL LIAMSBU RG RD N W	ALBU QUE RQU E	N M	871 14	V	A1 A	LT 60 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A THE TRAILS CONT .2034 AC
64	10090 64209	SANCHEZ MANUEL R & PAT RICIA L	7236 WIL LIAMSBU	ALBU QUE	N M	871 14	V	A1 A	LT 59 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT O

	50221 012		RG RD N W	RQU E					F TRACT A THE TRAILS CONT .1465 AC
6 5	10090 64203 50221 013	MOYERS JAMES A & DEBOR AH	7240 WIL LIAMSBU RG RD N W	ALBU QUE RQU E	N M	871 14	V	A1 A	LT 58 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1362 AC
6 6	10090 64198 50221 014	PALAZZO MARK A & FELLO WS MONIQUE N	7300 WIL LIAMSBU RG RD N W	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 57 FOR HERITAGE AT THE TRAILS SUB DIVISION UNIT 1 BEING A REPLAT OF TRA CT A THE TRAILS CONT .1292 AC
6 7	10090 64194 50221 015	ROSTRO MARC A & CHRISTI NA M	7304 WIL LIAMSBU RG RD N W	ALBU QUE RQU E	N M	871 14	V	A1 A	LT 56 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1278 AC
6 8	10090 64189 50221 016	LOVE DAMON A & LORENA G	7308 WIL LIAMSBU RG RD N W	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 55 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1278 AC
6 9	10090 64183 50221 017	ELLIOTT JENNIFER B	7316 WIL LIAMSBU RG RD N W	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 54 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1300 AC
7 0	10090 64178 50221 018	MORRISON KEITH & TERES A	7320 WIL LIAMSBU RG RD N W	ALBU QUE RQU E	N M	871 14	V	A1 A	LT 53 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1371 AC
7 1	10090 64173 50221 019	SAYLOR CLIFFORD B & DON NA E	7324 WIL LIAMSBU RG RD N W	ALBU QUE RQU E	N M	871 20	R	A1 A	LT 52 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1444 AC
7 2	10090 64167 50121 020	POWERS KEVIN & FLORIDA LBA	7328 WIL LIAMSBU RG RD N W	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 51 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1693 AC
7 3	10090 64153 50521 105	GONZALEZ KERRIANNE	9323 JA MESON S T NW	ALBU QUE RQU E	N M	871 14	R	A1 A	LT 75 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1298 AC
7 4	10090 64256 50720 810	WHITE DAVID & ANDREA	9336 NA TIONWID E ST NW	ALBU QUE RQU E	N M	871 20	R	A1 A	LT 21 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1400 AC
7 5	10090 64224 51820 818	SCHANCER KORY J & SHEL LY M NOSBISCH	7223 WIL LIAMSBU RG RD N W	ALBU QUE RQU E	N M	871 20	R	A1 A	LT 15 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1205 AC
7 6	10090 64219 51820 819	HUGHES LAWRENCE MAX & ELIZABETH ANN GONZALE S-HUGHES	7227 WIL LIAMSBU RG RD N W	ALBU QUE RQU E	N M	871 20	R	A1 A	LT 14 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1205 AC
7 7	10090 64214 51820 820	SANCHEZ SIMON & YVONN E	7231 WIL LIAMSBU RG RD NE	ALBU QUE RQU E	N M	871 20	R	A1 A	LT 13 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1205 AC
7 8	10090 64209 51820 821	ARMIJO SANDRA	7235 WIL LIAMSBU RG RD N W	ALBU QUE RQU E	N M	871 20	R	A1 A	LT 12 PLAT FOR HERITAGE AT THE TRAIL S SUBDIVISION UNIT 1 BEING A REPLAT O F TRACT A THE TRAILS CONT .1205 AC

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WATTS
9140 SABINAL DR NE
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT
100906520002030677
WELCH JAMES E & CHRISTIN
9405 VERVAIN DR NW
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
100906425650720810
WHITE DAVID & ANDREA
9336 NATIONWIDE ST NW
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT
100906423950420909
WILLIAMS LAWRENCE & PAMELA L
9331 NATIONWIDE ST NW
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT
100906422850520910
YANCY MICHAEL E & KASIE
9332 WEST HAVEN ST NW
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT
100906417945021335
WESTNEY BRIAN M & HEATHER L
7305 TOME CT NW
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT
100906421544821330
BUSH ANNYA
6010 AVENIDA VAQUERO
SAN CLEMENTE, CA 92673

OR CURRENT RESIDENT
100906415745621340
CERTAIN JUAN CARLOS
7320 TOME CT NW
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT
100906418244621334
FEVOLA ZENAIDA & MICHAEL
7301 TOME CT NW
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT
100906428350520711
GREENWOOD AARON JOHN & SUSAN L
ISLEY
9327 BATTLE CREEK ST NW
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT
100906521801630680
HARPER MINNIE
7220 GROS VENTRE CT NW
ALBUQUERQUE, NM 87114 3446

OR CURRENT RESIDENT
100906421145021331
KAMAL MOHAMMAD R
6435 PEINADO
SAN DIEGO, CA 92121

OR CURRENT RESIDENT
100906416946221338
LEHMAN RUDOLPH H & ELVA C SUITE
202-406
5115 N DYSART RD
LITCHFIELD PARK, AZ 85340

OR CURRENT RESIDENT
100906420745221332
LO LAWRENCE
3138 WATERS WAY
SUGAR LAND, TX 77478

OR CURRENT RESIDENT
100906422344421328
MURAYOSHI KIMIYASU
11038 CAMARILLO ST
TOCULA LAKE, CA 91602

OR CURRENT RESIDENT
100906421944621329
PASZKO JOLA & ANNA M PARIASZEWSKI
7223 SENEUCU RD NW
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT
100906417445821337
RICO LESLEY L
7315 TOME CT NW
ALBUQUERQUE, NM 87114

OR CURRENT RESIDENT
100906416246121339
STONE DEVRA K
24701 RAYMOND WAY 184
LAKE FOREST, CA 92630

Project# 1003354
100906430044221647
THE TRAILS COMMUNITY ASSOCIATION
7007 JEFFERSON BLVD NE SUITE A
ALBUQUERQUE, NM 87109

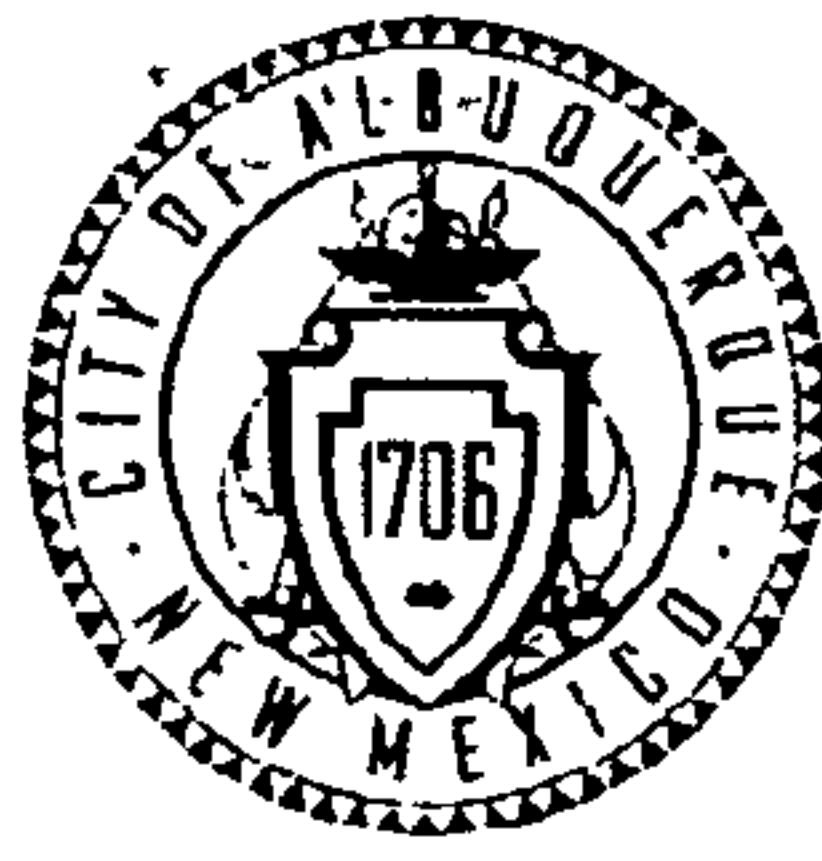
Project# 1003354
MICHAEL ROEHM
Ventana Ranch Comm. Assoc. Inc.
10039 VISTA CANTERA LN NW
ALBUQUERQUE, NM 87114

Project# 1003354
BOHANNAN HUSTON INC.
7500 JEFFERSON NE
ALBUQUERQUE, NM 87109

Project# 1003354
LAURA HORTON
Ventana Ranch NA
7224 CASCADA RD NW
ALBUQUERQUE, NM

Project# 1003354
KEVIN PATTON
Ventana Ranch NA
10422 BERREGO CREEK DR NW
ALBUQUERQUE, NM 87114

Project# 1003354
PAULINE WAYLAND
Ventana Ranch Comm. Assoc. Inc.
7719 BRIAR RIDGE AVE NW
ALBUQUERQUE, NM 87114



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

March 27, 2008

Sally Salazar-Cass
Bohannan Huston Inc.
7500 Jefferson NE/87109
Phone: 798-7988/Fax: 798-7988
E-mail: ssalazar-cass@bhinc.com

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Sally:

Thank you for your inquiry of March 27, 2008 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **HERITAGE AT THE TRAILS SUBDIVISION, UNIT 1, LOCATED ON RAINBOW BOULEVARD NW BETWEEN PASEO DEL NORTE NW AND HEARTHSTONE NW** zone map **C-9**

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

VENTANA RANCH N.A. (VTR) "R"
*Laura Horton ✓
7224 Cascada Rd. NW/87114 898-8103 (h) 710-0646 (c)
Kevin Patton ✓
10422 Borrego Creek Dr. NW/87114 238-2857 (c)

VENTANA RANCH COMM. ASSOC. INC. (VRA)
Pauline Wayland ✓
7719 Briar Ridge Ave. NW/87114 899-5989 (h)
Michael Roehm ✓
10039 Vista Cantera Ln. NW/87114 890-4120 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD AND/OR
HOMEOWNER ASSOCIATION.**

planningrnaform(12/06/07)

ORIGINAL

NOTES:

1. Sidewalks to be deferred where noted.
2. Residential lighting per DPM.
3. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
4. All water to include fire hydrants, valves, and appurtenances per DPM.
5. Storm drain sizes are subject to change per final DRC determination.
6. Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.
7. Not used
8. Adjacent portions of Rainbow Blvd to be built by a separate project. (DRB Project#1002962, CPN#730081) ~~Rainbow Blvd not financially guaranteed with this project.~~
9. Offsite Traffic Mitigation Fees of \$565 per lot to be paid by Modified Procedure "C" (non-work order): \$565/lot x 75 lots = \$42,375

10. ~~Includes removal and replacement of existing asphalt. To be deferred. Financial Guaranty amount to be reviewed and approved by the City of Albuquerque Hydrology Planning Department in addition to the standard DRG procedure review.~~

11. *by Modified Procedure 'c' (non-work order) is an option (concourse from AMD required)*

12. *Trail to be built by a separate project*

AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Genevieve Donart, PE NAME (print)	<i>Deron Watson</i> DRB CHAIR - date 4-21-04	<i>Christina Dandora</i> PARKS & GENERAL SERVICES - date 4/21/04	
Isaacson & Arfman, P.A. FIRM	<i>Jeffrey</i> TRANSPORTATION DEVELOPMENT - date 4-21-04		AMAFCA - date
<i>Genevieve Donart</i> SIGNATURE - date 4/21/04	<i>Roger Albee</i> UTILITY DEVELOPMENT - date 4/21/04		- date
	<i>Brad L. Bigham</i> CITY ENGINEER - date 4-21-04		- date

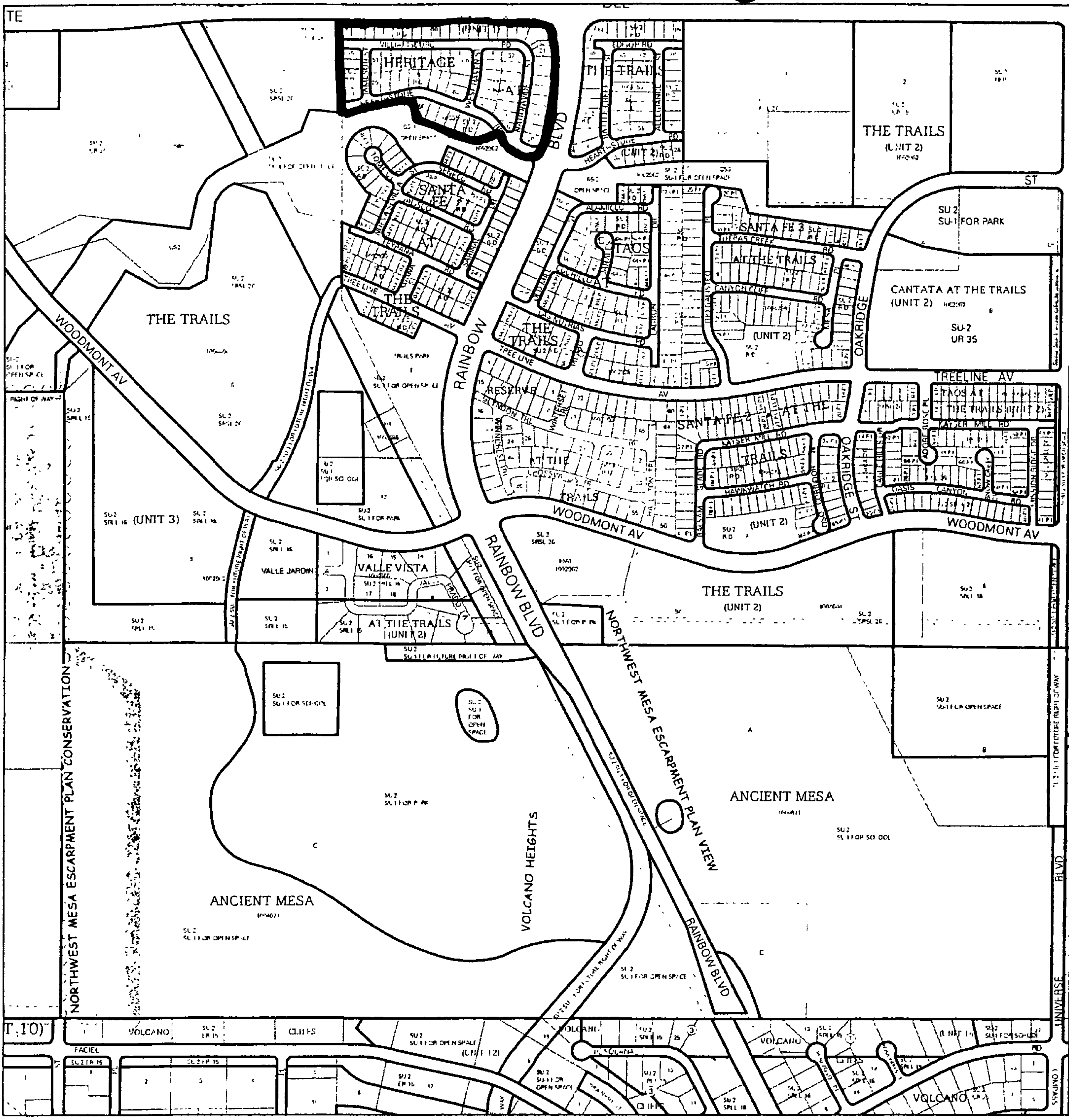
MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
<i>1</i>	<i>6/24/04</i>	<i>[Signature]</i>	<i>Brad Bigham</i>	<i>Genevieve Donart</i>
<i>2</i>	<i>9/3/04</i>	<i>[Signature]</i>	<i>Jeffrey</i>	<i>Genevieve Donart</i>

13. *landscape Maintenance Agreement between city and the H.O.A. is required for landscaping in the public right-of-way.*

080101
Unit 1



For more current information and more details visit <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-09-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

Map amended through: 1/4/2008

0 750 1,500 Feet

March 28, 2008

Jack Cloud, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, New Mexico 87103

Courtyard
7500 Jefferson St. NE
Albuquerque, NM
87109-4336

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

Re: Subdivision Improvements Agreement Extension (Procedure B)
Heritage at the Trails, Unit 1 - DRB #1003354

Dear Mr. Cloud:

Submitted for DRB review and approval is a request for an extension to the Subdivision Improvements Agreement for the above referenced project.

Enclosed is the following information:

- Applications for Development Review
- Reduced layout of subdivision plat
- Zone Atlas sheet showing the project area
- Letter briefly describing, explaining, and justifying the request
- Official Notice from the Development Review Board
- Approved Infrastructure List
- Original SIA and Previous SIA extensions
- Neighborhood Notification information
- DRB Fee

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the offsite infrastructure improvements for the above referenced project. We are requesting the extension because the required Paseo del Norte pavement improvements for Heritage Units 1 and 2 would provide limited benefit to drivers in the area at this time. About 1800 feet of improvements are required across the Heritage Units 1 and 2 frontage. This would result in a 4 lane roadway section across the frontage of the Trails Unit 1. However, a 2000 foot section of Paseo del Norte across the Trails Unit 2 frontage would remain a 2 lane roadway section between the east boundary of Heritage Unit 2 and Universe Boulevard. The public would be better served by a single construction project along Paseo del Norte from Universe Boulevard to the west end of Heritage Unit 1 when the Trails Unit 2 develops. Therefore, we are requesting the approval of a two year extension.

Please place this item on the DRB agenda to be heard on April 23, 2008. If you have any questions, or require further information, please call me.

Sincerely,



Scott J. Steffen, P.E.
Vice President and Senior Project Manager
Community Development and Planning

SJS/ssc
Enclosures

ENGINEERING >

SPATIAL DATA >



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

May 31, 2006

3. Project # 1003354
06DRB-00633 Major-Two Year SIA

WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for THE TRAILS, (to be known as **HERITAGE @ THE TRAILS, UNIT 1**, zoned RD, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and HEARTHSTONE NW containing approximately 9 acre(s). [REF: 04DRB-01416] (C-9)

At the May 31, 2006, Development Review Board meeting, a two-year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by June 15, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Sheran Matson, AICP, DRB Chair

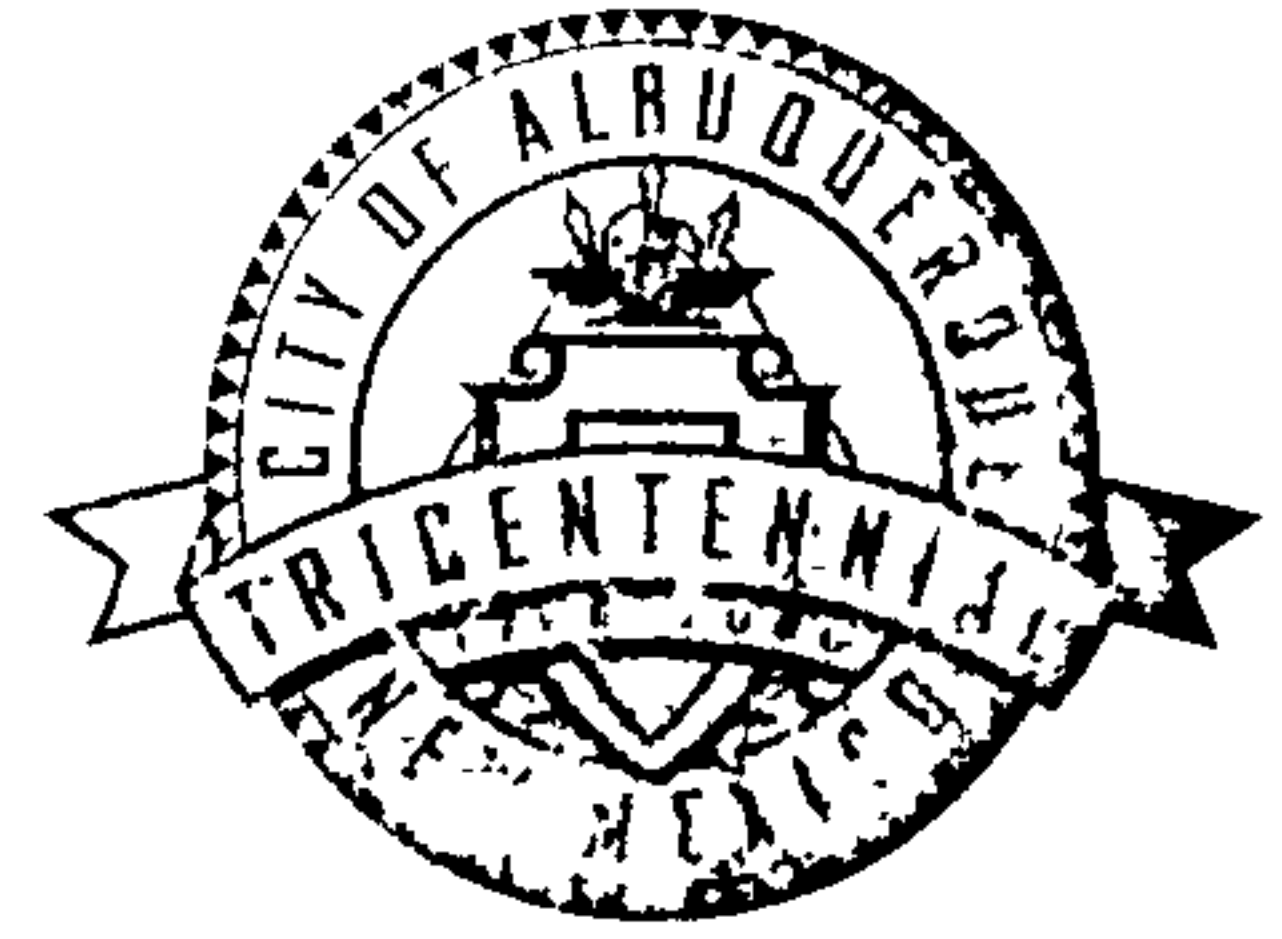
Cc: The Trails LLC, Attn: Rick Beltramo, PE, 7007 Jefferson St NE, Suite A, 87109
Wilson & Company, Attn: Steve Salazar, 2600 The American Rd, Suite #100, Rio Rancho, NM 87124
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003354 AGENDA#: 3 DATE: 5-31-06

1. Name: Steve Solano Address: ShoTrads LLC Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003354

AGENDA ITEM NO: 3

SUBJECT:

SIA Extension

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:() EXTN:(x) AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the extension request.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

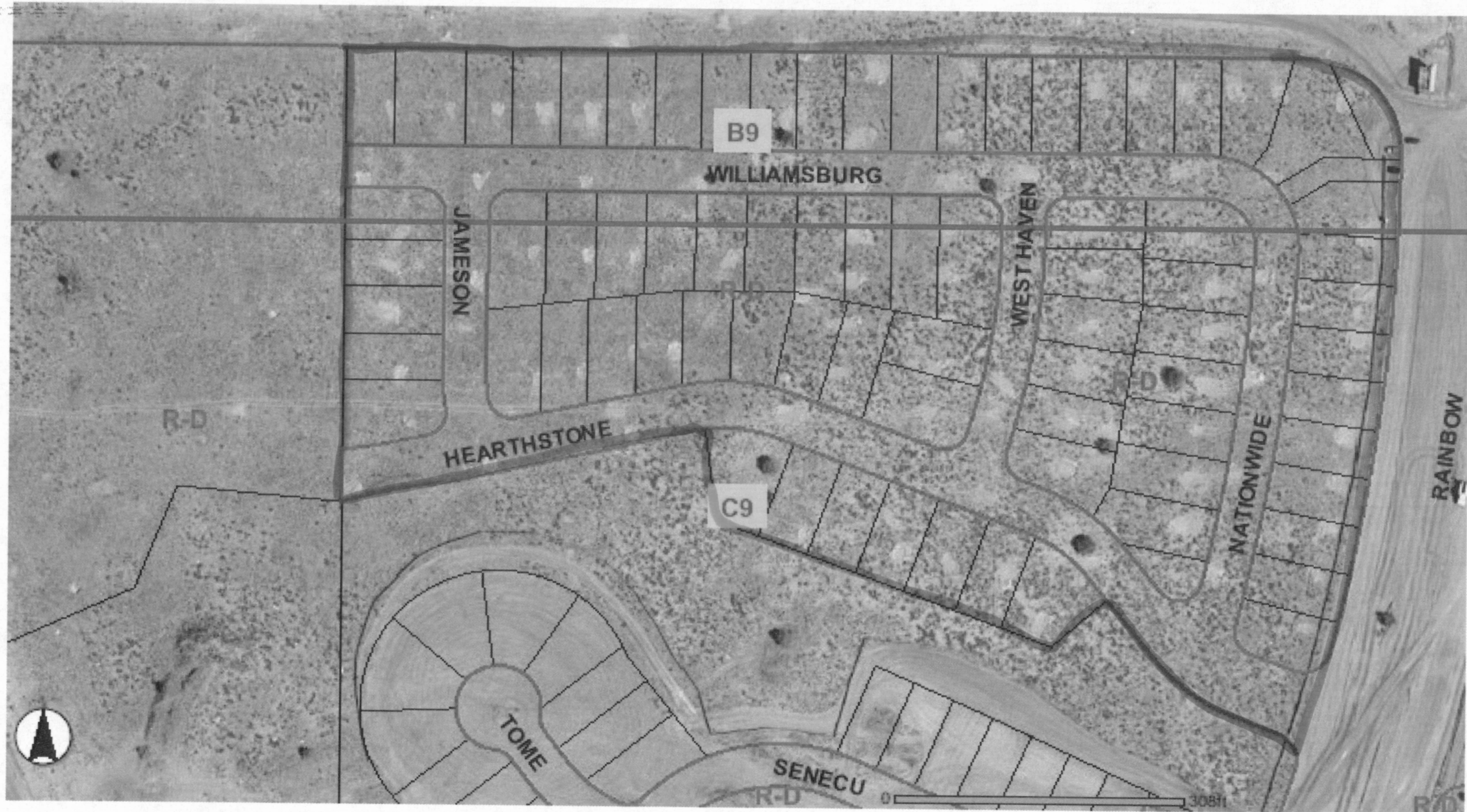
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: May 31, 2006



#100 3354.



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

May 31, 2006

Project # 1003354
 06DRB-00633 Major-Two Year SIA

WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for THE TRAILS, (to be known as **HERITAGE @ THE TRAILS, UNIT 1**, zoned RD, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and HEARTHSTONE NW containing approximately 9 acre(s). [REF: 04DRB-01416] (C-9)

- AMAFCA No adverse comments.
- COG No adverse comments.
- Transit No objection to the request.
- Zoning Enforcement No adverse comments.
- Neighborhood Coordination Letter sent to Ventana Ranch NA (R).

APS The request for an extension of Subdivision Improvements Agreement for **Heritage at the Trails, Unit 2**, is part of a larger development project known as the Trails. Over the next 4 years, the Trails plan to build approximately 2,000 residential units. **This will have a significant impact to the APS district.** Specifically, the schools that will be impacted include Ventana Ranch Elementary School, James Monroe Middle School, and Cibola High School. **Currently all three schools are exceeding capacity.**

School	2006-07 Projections	2006-07 Prelim Cap	Space Available
VENTANA RANCH	1,130	850	-280
MONROE MS	1,520	1,250	-270
CIBOLA HS	3,071	2,200	-871

A new northwest high school will open with a 9th grade academy in 2007 with the remainder of the school to open in 2008. These dates are contingent upon available funding. The new northwest high school will relieve overcrowding at Cibola HS.

APS

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

Provide new capacity (long term solution)
Construct new schools or additions
Add portables
Use of non-classroom spaces for temporary classrooms
Lease facilities
Use other public facilities
Improve facility efficiency (short term solution)
Schedule Changes
Double sessions
Multi-track year-round
Other
Float teachers (flex schedule)
Shift students to Schools with Capacity (short term solution)
Boundary Adjustments / Busing
Grade reconfiguration
Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval.

Police Department	No crime prevention or CPTED comments at this time.
Fire Department	No adverse comments.
PNM Electric & Gas	No adverse comments.
Comcast	No comments received.
QWEST	No comments received.
Environmental Health	No comments received.
M.R.G.C.D.	No comments received.
Open Space Division	No adverse comments.
City Engineer	The Hydrology section has no objection to the extension request.
Transportation Development	
	Is Paseo Del Norte under construction? What is the timing for completion?

Parks & Recreation

Letter to Transportation.

Utilities Development

No objection to Extension request.

Planning Department

No objection to the requested SIA extension.

Impact Fee Administrator

No comment on extension of SIA.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc: The Trails LLC, Attn: Rick Beltramo, PE, 7007 Jefferson St NE, Suite A, 87109
Wilson & Company, Attn: Steve Salazar, 2600 The American Rd, Suite #100, Rio
Rancho, NM 87124



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, May 31, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1002455
06DRB-00610 Major-Two Year SIA

TIM OTT agent(s) for J GROUP request(s) the above action(s) for all or a portion of Lot(s) 1-7, **J J SUBDIVISION**, zoned SU-1 for C-1 uses, located on SAN ANTONIO DR NE, between I-25 and SAN PEDRO DR NE containing approximately 10 acre(s). [REF: 04DRB-00984, 03DRB-01899, 03DRB-01654] (E-18)

Project # 1003353
06DRB-00631 Major-Two Year SIA

WILSON & COMPANY INC agent(s) for THE TRAILS LLC request(s) the above action(s) for THE TRAILS (to be known as **HERITAGE @ THE TRAILS, UNIT 2**) zoned RD, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and HEARTHSTONE NW containing approximately 14 acre(s). [REF: 04DRB-01415] (C-9)

Project # 1003354
06DRB-00633 Major-Two Year SIA

WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for THE TRAILS, (to be known as **HERITAGE @ THE TRAILS, UNIT 1**, zoned RD, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and HEARTHSTONE NW containing approximately 9 acre(s). [REF: 04DRB-01416] (C-9)

Project # 1002858
06DRB-00629 Major-Vacation of Public Easements
06DRB-00630 Minor-Prelim&Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Lot(s) 28, Block(s) 13, **MESA @ ANDERSON HILLS, UNIT 2**, zoned SU-1 for C-1 uses & R-2, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and GRACE VIGIL RD SW containing approximately 35 acre(s). [REF: 05DRB-00488, 04DRB-01744, 04DRB-01683] (P-9)

Project # 1004877
06DRB-00634 Major-Vacation of Pub Right-of-Way
06DRB-00635 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES INC agent(s) for THE BOARD OF EDUCATION FOR THE CITY OF ALBUQUERQUE (APS REAL ESTATE OFFICE) request(s) the above action(s) for all or a portion of Lot(s) 1-10, Block(s) 3 and Lot(s) 1-9, Block(s) 4, **MANDELL ADDITION NO 2**, zoned M-1, located on WOODLAND AVE NW, between 4TH ST NW and 2ND STNW containing approximately 4 acre(s). (H-14)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 15, 2006.

286
Beltramo

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: MAY 31, 2006
Zone Atlas Page: C-9-Z
Notification Radius: 100 Ft.

Project# 1003354
App#06DRB-00633

Cross Reference and Location: RAINBOW BLVD BETWEEN PASEO DEL NORTE
AND HEARTHSTONE

Applicant: THE TRAILS, LLC ATTN: RICK BELTRAMO, PE
Address: 7007 JEFFERSON STREET NE STE # A
ALBUQUERQUE, NM 87109

Agent: STEVE SALAZZR, PE-WILSON AND COMPANY
2600 THE AMERICAN RD STE # 100
RIO RANCHO, NM 87124

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: MAY 12, 2006
Signature: YVONNE SAAVEDRA

RECORDS WITH ELS

PAGE 1

RECORD ID	LEGAL DESCRIPTION	PROPERTY ADDR	OWNER NAME	OWNER ADDR	LAND USE	APPLICABLE ZONING
100906408343020212	LEGAL: T11N R2E SEC 16 W1/2 NW1/4	00000 UNKNOWN	TRAILS LLC	03077 WARM SPRINGS	RD LAS VEGAS NV	89120
100906415151820832	LEGAL: LT 1 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U	00000 WILLIAMSBURG	TRUJILLO ANDY R & CARMEN Y	07339 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87114
100906415851820831	LEGAL: LT 2 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U	00000 WILLIAMSBURG	GILBERT MITCHELL C & DOROTHY K	07335 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87114
100906416451820830	LEGAL: LT 3 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U	00000 WILLIAMSBURG	MAREZ ANTHONY R & GRACE M	07331 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87114
100906416951820829	LEGAL: LT 4 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U	00000 WILLIAMSBURG	CENTEX HOMES	05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906417451820828	LEGAL: LT 5 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U	00000 WILLIAMSBURG	GILBERT MITCHELL C & DOROTHY K	07323 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87114
100906417951820827	LEGAL: LT 6 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U	00000 WILLIAMSBURG	CENTEX HOMES	05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906418451820826	LEGAL: LT 7 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U	00000 WILLIAMSBURG	AVILA ANTONIO M & YAISELYN	07315 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87114
100906418951820825	LEGAL: LT 8 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U	00000 WILLIAMSBURG	BEAUCHAMP JEAN L	07309 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87114
100906419451820824	LEGAL: LT 9 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U	00000 WILLIAMSBURG	PHAM DENISE	07305 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87114
100906419951820823	LEGAL: LT 10 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION	00000 WILLIAMSBURG	HUYNH PHUOC	07301 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87120

RECORDS WITH LABELS

PAGE 2

RECORD ID	LEGAL DESCRIPTION	PROPERTY ADDR	OWNER NAME	OWNER ADDR	LAND USE	APPLICABLE ZONING
100906429351820822	LEGAL: LT 1 1 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION	00000 WILLIAMSBURG	HUYNH PHUOC	07239 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87121
100906420951820821	LEGAL: LT 1 2 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION	00000 WILLIAMSBURG	ARMIGO SANDRA	07235 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87120
100906421451820820	LEGAL: LT 1 3 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION	00000 WILLIAMSBURG	SANCHEZ SIMON & YVONNE	07231 WILLIAMSBURG	RD NE ALBUQUERQUE NM	87120
100906421951820819	LEGAL: LT 1 4 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION	00000 WILLIAMSBURG	HUGHES LAWRENCE MAX & ELIZABET	07227 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87120
100906422451820818	LEGAL: LT 1 5 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION	00000 WILLIAMSBURG	SCHANCER KORY J & SHELLY M NOS	07223 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87120
100906422951820817	LEGAL: LT 1 6 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION	00000 WILLIAMSBURG	DRACKERT EMANUEL F & DORIS S	07219 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87114
100906423451820816	LEGAL: LT 1 7 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION	00000 WILLIAMSBURG	CASNER ERIN L	07215 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87120
100906423951820815	LEGAL: LT 1 8 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION	00000 WILLIAMSBURG	K VENTURES LLC	07209 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87120
100906424451820814	LEGAL: LT 1 9 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION	00000 WILLIAMSBURG	MAXWELL DANNY L & ABIGAIL T	07205 WILLIAMSBURG	RD NW ALBUQUERQUE NM	87114
100906425151520813	LEGAL: LT 2 0 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION	00000 WILLIAMSBURG	GALLEGOS ROBERT N & VERONICA L	03581 E SANTA FE	LN GILBERT AZ	85297
100906428651720714	LEGAL: LT 1 1 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION	00000 EDISON	CENTEX HOMES	05120 MASTHEAD	NE ALBUQUERQUE NM	87109

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100906429351720715	LEGAL: LT 1 2 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 EDISON OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906429751720716	LEGAL: LT 1 3 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 EDISON OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906430351720717	LEGAL: LT 1 4 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 EDISON OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906430851720718	LEGAL: LT 1 5 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 EDISON OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906432851720722	LEGAL: LT 1 9 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 EDISON OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906437149310104	LEGAL: TR 1 BUL K LAND PLAT OF THE TRAILS UNIT 2 (BEING A PROPERTY ADDR: 00000 OWNER NAME: PARADISE WEST INC OWNER ADDR: 05016 LA FIESTA	LAND USE: DR NE ALBUQUERQUE NM	87109
100906431251720719	LEGAL: LT 1 6 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 EDISON OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906431851720720	LEGAL: LT 1 7 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 EDISON OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906432351720721	LEGAL: LT 1 8 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 EDISON OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906425751720812	LEGAL: TR A PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U PROPERTY ADDR: 00000 OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906428151220713	LEGAL: TR A PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U PROPERTY ADDR: 00000 OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109

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100906425451020811	LEGAL: TR C PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U PROPERTY ADDR: 00000 OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906428151020712	LEGAL: TR C PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U PROPERTY ADDR: 00000 OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906425650720810	LEGAL: LT 2 1 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: WHITE DAVID & ANDREA OWNER ADDR: 09336 NATIONWIDE	LAND USE: ST NW ALBUQUERQUE NM	87120
100906428350520711	LEGAL: LT 1 0 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906432550420508	LEGAL: LT 2 0 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906415350521105	LEGAL: LT 7 5 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 JAMESON OWNER NAME: GONZALEZ KERRIANNE OWNER ADDR: 09323 JAMESON	LAND USE: ST NW ALBUQUERQUE NM	87114
100906416750121020	LEGAL: LT 5 1 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 WILLIAMSBURG OWNER NAME: POWERS KEVIN & FLORIDALBA OWNER ADDR: 07328 WILLIAMSBURG	LAND USE: RD NW ALBUQUERQUE NM	87114
100906417350221019	LEGAL: LT 5 2 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 WILLIAMSBURG OWNER NAME: SAYLOR CLIFFORD B & DONNA E OWNER ADDR: 07324 WILLIAMSBURG	LAND USE: RD NW ALBUQUERQUE NM	87120
100906417850221018	LEGAL: LT 5 3 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 WILLIAMSBURG OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906418350221017	LEGAL: LT 5 4 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 WILLIAMSBURG OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906418950221016	LEGAL: LT 5 5 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 WILLIAMSBURG OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109

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100906419450221015	LEGAL: LT 5 6 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 WILLIAMSBURG OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906419850221014	LEGAL: LT 5 7 FD R HERITAGE AT THE TRAILS SUBDIVISION UNIT LAND USE: PROPERTY ADDR: 00000 WILLIAMSBURG OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906420350221013	LEGAL: LT 5 8 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 WILLIAMSBURG OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906420950221012	LEGAL: LT 5 9 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 WILLIAMSBURG OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906421550121011	LEGAL: LT 6 0 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 WILLIAMSBURG OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906422850520910	LEGAL: LT 3 8 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 WEST HAVEN OWNER NAME: YANCY MICHAEL E & KASIE OWNER ADDR: 09332 WEST HAVEN	ST NW ALBUQUERQUE NM	87114
100906423950420909	LEGAL: LT 3 7 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: WILLIAMS LAWRENCE & PAMELA L OWNER ADDR: 09331 NATIONWIDE	ST NW ALBUQUERQUE NM	87120
100906429750420610	LEGAL: LT 4 3 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906430950420609	LEGAL: LT 4 2 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906425550120809	LEGAL: LT 2 2 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: KLINT STEVEN A & BONITA J OWNER ADDR: 09332 NATIONWIDE	ST ALBUQUERQUE NM	87114
100906428250020710	LEGAL: LT 9 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109

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100906415350021104	LEGAL: LT 7 4 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION... LAND USE: PROPERTY ADDR: 00000 JAMESON OWNER NAME: CHAVEZ PAUL E & MONICA M OWNER ADDR: 09319 JAMESON	ST NW ALBUQUERQUE NM	87121
100906422850020911	LEGAL: LT 3 9 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 WEST HAVEN OWNER NAME: HERMSTED JULIE OWNER ADDR: 09328 WEST HAVEN	ST NW ALBUQUERQUE NM	87120
100906432549920507	LEGAL: LT 2 1 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906429749920611	LEGAL: LT 4 4 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906430949920608	LEGAL: LT 4 1 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906423949820908	LEGAL: LT 3 6 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: COCKERHAM JAMES M OWNER ADDR: 09327 NATIONWIDE	ST NW ALBUQUERQUE NM	87120
100906425549620808	LEGAL: LT 2 3 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: SETAYESH HAMID & FLORA OWNER ADDR: 09328 NATIONWIDE	ST NW ALBUQUERQUE NM	87120
100906428249520709	LEGAL: LT 8 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906415349521103	LEGAL: LT 7 3 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 JAMESON OWNER NAME: SEAGRIST THOMAS A & MICHIO OWNER ADDR: 09315 JAMESON	ST NW ALBUQUERQUE NM	87114
100906422749420912	LEGAL: LT 4 0 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 WEST HAVEN OWNER NAME: SINGH VIKAS & ANITA B RAWAT OWNER ADDR: 09324 WEST HAVEN	ST NW ALBUQUERQUE NM	87120
100906418249221004	LEGAL: LT 6 7 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109

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100906418749321005	LEGAL: LT 6 6 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906419349221006	LEGAL: LT 6 5 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906419849121007	LEGAL: LT 6 4 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906417749121003	LEGAL: LT 6 8 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906432549320506	LEGAL: LT 2 2 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906420349021008	LEGAL: LT 6 3 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906423949320907	LEGAL: LT 3 5 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: JARAMILLO RUDY E & MEREDITH C OWNER ADDR: 09323 NATIONWIDE	ST NW ALBUQUERQUE NM	87120
100906417249021002	LEGAL: LT 6 9 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906429749320612	LEGAL: LT 4 5 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906430949320607	LEGAL: LT 4 0 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906416749021001	LEGAL: LT 7 0 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109

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100906421149121010	LEGAL: LT 6 1 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 WEST HAVEN OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906425449120807	LEGAL: LT 2 4 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: K VENTURES LLC OWNER ADDR: 09324 NATIONWIDE	ST NW ALBUQUERQUE NM	87114
100906422748920913	LEGAL: LT 4 1 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 WEST HAVEN OWNER NAME: ENNIS MERLIN M & DOROTHY R OWNER ADDR: 09320 WEST HAVEN	ST NW ALBUQUERQUE NM	87120
100906428249020708	LEGAL: LT 7 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906415349021102	LEGAL: LT 7 2 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 JAMESON OWNER NAME: SHERIDAN MICHAEL J & SANDRA J OWNER ADDR: 09309 JAMESON	ST NW ALBUQUERQUE NM	87114
100906423848820906	LEGAL: LT 3 4 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: SCHMIDLEY JAMES III & DAWN OWNER ADDR: 09319 NATIONWIDE	ST NW ALBUQUERQUE NM	87120
100906432548820505	LEGAL: LT 2 3 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906429648820613	LEGAL: LT 4 6 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906430848820606	LEGAL: LT 3 9 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906420948521009	LEGAL: LT 6 2 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 WEST HAVEN OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906425348620806	LEGAL: LT 2 5 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: ENNIS MERLIN M & DOROTHY R OWNER ADDR: 09320 NATIONWIDE	ST NW ALBUQUERQUE NM	87120

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100906422548420914	LEGAL: LT 4 2 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 WEST HAVEN OWNER NAME: MARES LAURENCE M & ANNA A OWNER ADDR: 09316 WEST HAVEN	ST NW ALBUQUERQUE NM	87120
100906415348421101	LEGAL: LT 7 1 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 JAMESON OWNER NAME: COSMAN MARK GOODRICH TRUSTEE OWNER ADDR: 09305 JAMESON	ST NW ALBUQUERQUE NM	87114
100906428248420707	LEGAL: LT 6 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906423748320905	LEGAL: LT 3 3 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: DAVIDSON THOMAS E OWNER ADDR: 09315 NATIONWIDE	ST NW ALBUQUERQUE NM	87120
100906432548320504	LEGAL: LT 2 4 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906429648320614	LEGAL: LT 4 7 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906430848320605	LEGAL: LT 3 8 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906425348120805	LEGAL: LT 2 6 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: BROHN CAROLEE M & CHERYL A BRO OWNER ADDR: 09316 NATIONWIDE	ST ALBUQUERQUE NM	87120
100906422447920901	LEGAL: LT 4 3 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 WEST HAVEN OWNER NAME: LUJAN BERNARD & CAROLYN R MARK OWNER ADDR: 09312 WEST HAVEN	ST NW ALBUQUERQUE NM	87120
100906419147821201	LEGAL: LT 5 0 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906419546121333	LEGAL: TR 0 S-1 BULK PLAT OF THE TRAILS A REPLAY OF A PORT LAND USE: PROPERTY ADDR: 00000 OWNER NAME: TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	RD LAS VEGAS NV	89120

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100906428148020706	LEGAL: LT 5 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906423647820904	LEGAL: LT 3 2 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: BENTLEY PATRICK M & MADELYN F OWNER ADDR: 09309 NATIONWIDE	ST NW ALBUQUERQUE NM	87114
100906419747521202	LEGAL: LT 4 9 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906432547820503	LEGAL: LT 2 5 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906429647820615	LEGAL: LT 4 8 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906430847820604	LEGAL: LT 3 7 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906425247620804	LEGAL: LT 2 7 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906420247321203	LEGAL: LT 4 8 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906420747121204	LEGAL: LT 4 7 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906428047420705	LEGAL: LT 4 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906423547320903	LEGAL: LT 3 1 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: DEAN NEIL & R DI LEEN BASS-DEA OWNER ADDR: 09305 NATIONWIDE	ST NW ALBUQUERQUE NM	87120

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100906432547220502	LEGAL: LT 2 6 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906429647220616	LEGAL: LT 4 9 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906430847220603	LEGAL: LT 3 6 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906421346921205	LEGAL: LT 4 6 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906425147120803	LEGAL: LT 2 8 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906421846721206	LEGAL: LT 4 5 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906428046920704	LEGAL: LT 3 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906422446521207	LEGAL: LT 4 4 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906423646820902	LEGAL: TR B PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U LAND USE: PROPERTY ADDR: 00000 OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906432546520501	LEGAL: LT 2 7 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906429646520601	LEGAL: LT 5 0 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109

RECORDS WITH LABELS

PAGE 12

100906430846520602	LEGAL: LT 3 5 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 ALLEGIANCE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906425046620802	LEGAL: LT 2 9 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906416946221338	LEGAL: LT 5 9-P1 PLAT FOR SANTA FE AT THE TRAILS CONT .16 LAND USE: PROPERTY ADDR: 00000 TOME OWNER NAME: LEHMAN RUDOLPH H & ELVA C OWNER ADDR: 05741 W CINNEBAR	GLENDALE AZ	85302
100906416246121339	LEGAL: LT 5 8-P1 PLAT FOR SANTA FE AT THE TRAILS CONT .16 LAND USE: PROPERTY ADDR: 00000 TOME OWNER NAME: STONE DEVRA K OWNER ADDR: 24701 RAYMOND	WA LAKE FOREST CA	92630
100906427946520703	LEGAL: LT 2 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906424846120801	LEGAL: LT 3 0 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 NATIONWIDE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906428045720702	LEGAL: LT 1 PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U LAND USE: PROPERTY ADDR: 00000 BATTLE CREEK OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906427145520701	LEGAL: TR B PLA T FOR HERITAGE AT THE TRAILS SUBDIVISION U LAND USE: PROPERTY ADDR: 00000 OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906432745520407	LEGAL: LT 2 8 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906432245520406	LEGAL: LT 2 9 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109
100906431745420405	LEGAL: LT 3 0 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION LAND USE: PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	NE ALBUQUERQUE NM	87109

RECORDS WITH LABELS

PAGE 13

100906431245420404	LEGAL: LT 3 1 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906430745320403	LEGAL: LT 3 2 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906430245220402	LEGAL: LT 3 3 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906420745221332	LEGAL: LT 9 4-P1 PLAT FOR SANTA FE AT THE TRAILS CONT .10 PROPERTY ADDR: 00000 SENEUC OWNER NAME: LO LAWRENCE OWNER ADDR: 03138 WATERS	LAND USE: WA SUGAR LAND TX	77478
100906429545120401	LEGAL: LT 3 4 PL AT FOR HERITAGE AT THE TRAILS SUBDIVISION PROPERTY ADDR: 00000 HEARTHSTONE OWNER NAME: CENTEX HOMES OWNER ADDR: 05120 MASTHEAD	LAND USE: NE ALBUQUERQUE NM	87109
100906421145021331	LEGAL: LT 9 5-P1 PLAT FOR SANTA FE AT THE TRAILS CONT .10 PROPERTY ADDR: 00000 SENEUC OWNER NAME: KAMAL MOHAMMAD R OWNER ADDR: 06435 PEINADO	LAND USE: SAN DIEGO CA	92121
100906421544821330	LEGAL: LT 9 6-P1 PLAT FOR SANTA FE AT THE TRAILS CONT .10 PROPERTY ADDR: 00000 SENEUC OWNER NAME: BUSH ANNYA OWNER ADDR: 06010 AVENIDA VAQUERO	LAND USE: SAN CLEMENTECA	92673
100906430044221647	LEGAL: TR 0 S-2 BULK PLAT OF THE TRAILS A REPLAT OF A PORT PROPERTY ADDR: 00000 OWNER NAME: TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	LAND USE: RD LAS VEGAS NV	89120
100906421944621329	LEGAL: LT 9 7-P1 PLAT FOR SANTA FE AT THE TRAILS CONT .10 PROPERTY ADDR: 00000 SENEUC OWNER NAME: LO LAWRENCE OWNER ADDR: 03138 WATERS WAY	LAND USE: DR SUGAR LAND TX	77478
100906422344421328	LEGAL: LT 9 8-P1 PLAT FOR SANTA FE AT THE TRAILS CONT .10 PROPERTY ADDR: 00000 SENEUC OWNER NAME: MURAYOSHI KIMIYASU OWNER ADDR: 11038 CAMARILLO	LAND USE: ST TOCULA LAKE CA	91602
100906436943210103	LEGAL: TR 0 S-3 BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING PROPERTY ADDR: 00000 OWNER NAME: THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	LAND USE: RD LAS VEGAS NV	89120

RECORDS WITH LABELS

PAGE 14

100906422744321327	LEGAL: LT 9 9-P1 PLAT FOR SANTA FE AT THE TRAILS CONT .10 PROPERTY ADDR: 00000 SENEUC OWNER NAME: CHINTAWAT SATIT B OWNER ADDR: 09911 PASEO MONTIL	LAND USE: SAN DIEGO CA	92129
100906429843321646	LEGAL: LT 9 3-P1 PLAT FOR TAOS AT THE TRAILS CONT .1148 A PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	LAND USE: RD LAS VEGAS NV	89120
100906430343321645	LEGAL: LT 9 2-P1 PLAT FOR TAOS AT THE TRAILS CONT .1034 A PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	LAND USE: RD LAS VEGAS NV	89120
100906430743321644	LEGAL: LT 9 1-P1 PLAT FOR TAOS AT THE TRAILS CONT .1034 A PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	LAND USE: RD LAS VEGAS NV	89120
100906431143321643	LEGAL: LT 9 0-P1 PLAT FOR TAOS AT THE TRAILS CONT .1118 A PROPERTY ADDR: 00000 ALAMILLO OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	LAND USE: RD LAS VEGAS NV	89120
100906432343521642	LEGAL: LT 1 30-P 1 PLAT FOR TAOS AT THE TRAILS CONT .1328 PROPERTY ADDR: 00000 LADRON OWNER NAME: LONGFORD AT THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	LAND USE: RD LAS VEGAS NV	89120
100906437638010102	LEGAL: TR 4 BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A PROPERTY ADDR: 00000 OWNER NAME: THE TRAILS LLC OWNER ADDR: 03077 WARM SPRINGS	LAND USE: RD LAS VEGAS NV	89120

"Attachment A"

Ruth Lozano, Isaacson and Arfman, PA
Zone Map: C-9

VENTANA RANCH N.A. (R)

***Laura Horton**

7224 Cascada Rd. NW/87114 898-8103 (h) 710-0646 (cell)

Bruce Nyberg

6824 Brushfield Rd. NW/87114 890-6559 (h)

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

March 18, 2004

Ruth Lozano
Isaacson and Arfman, P.A.
128 Monroe St. NE/87108
Phone: 268-8828/Fax: 268-2632

Dear Ruth:

Thank you for your inquiry of March 18, 2004 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **HERITAGE AT THE TRAILS UNIT 1 AND HERITAGE AT THE TRAILS, UNIT 2 - TRACTS A AND B, THE TRAILS**, zone map C-9.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

**SEE "ATTACHMENT A" FOR NEIGHBORHOOD
INFORMATION.**

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani I. Winklepleck

Stephani I. Winklepleck
Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(03/09/04)

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Project # 1003353 & 1003354

THE TRAILS, LLC ATTN. RICK BELTRAMO
7007 JEFFERSON STREET NE STE # A
ALBUQUERQUE, NM 87109

Project # 1003354 & 1003354

STEVE SALAZAR, PE-WILSON & COMPANY
2600 THE AMERICAN RD STE # 100
RIO RANCHO, NM 87124

Project # 1003353 & 1003354

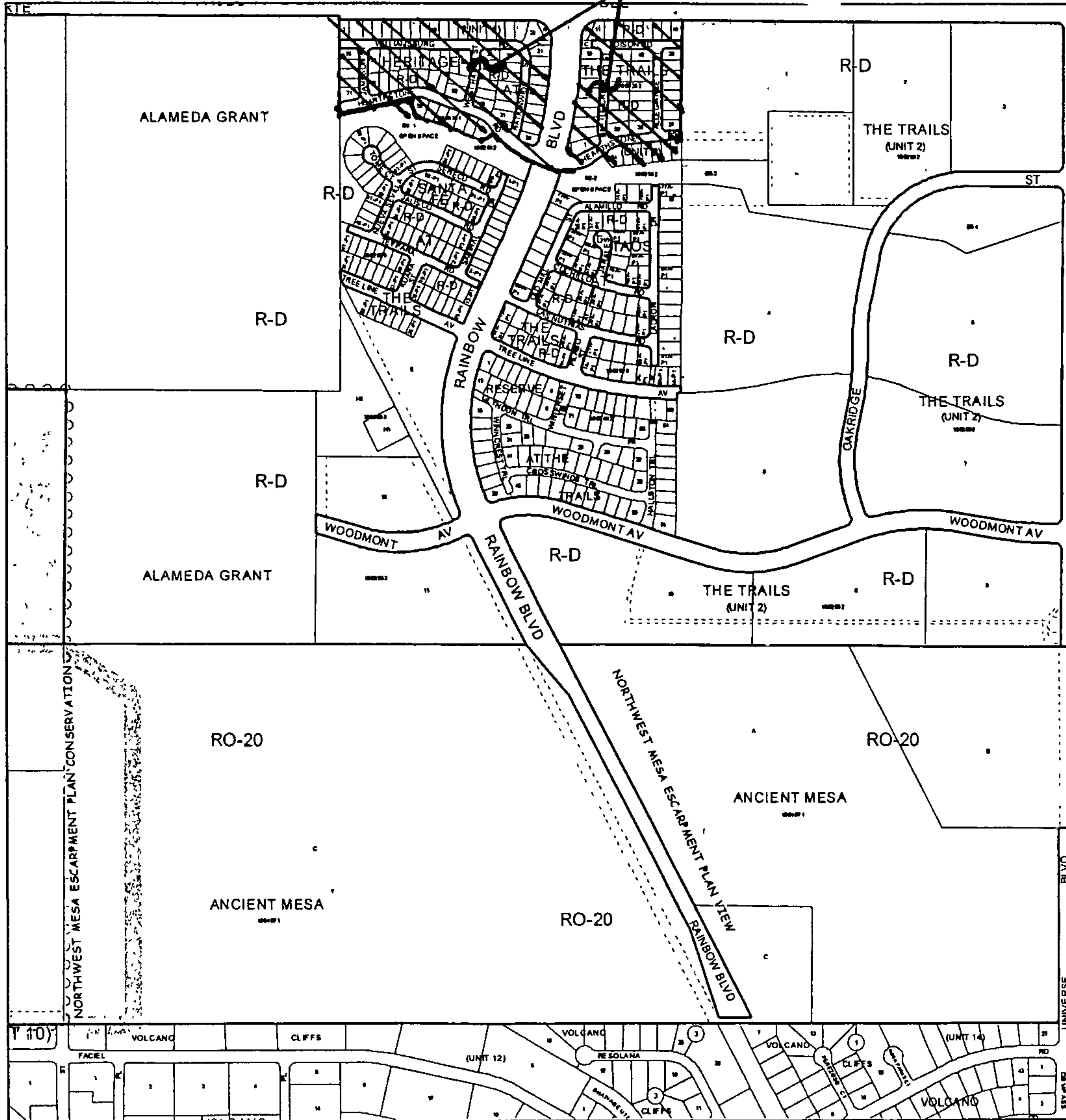
LAURA HORTON
Ventana Ranch N.A.
7224 CASCADA RD NW
ALBUQUERQUE, NM 87114

Project # 1003353 & 1003354

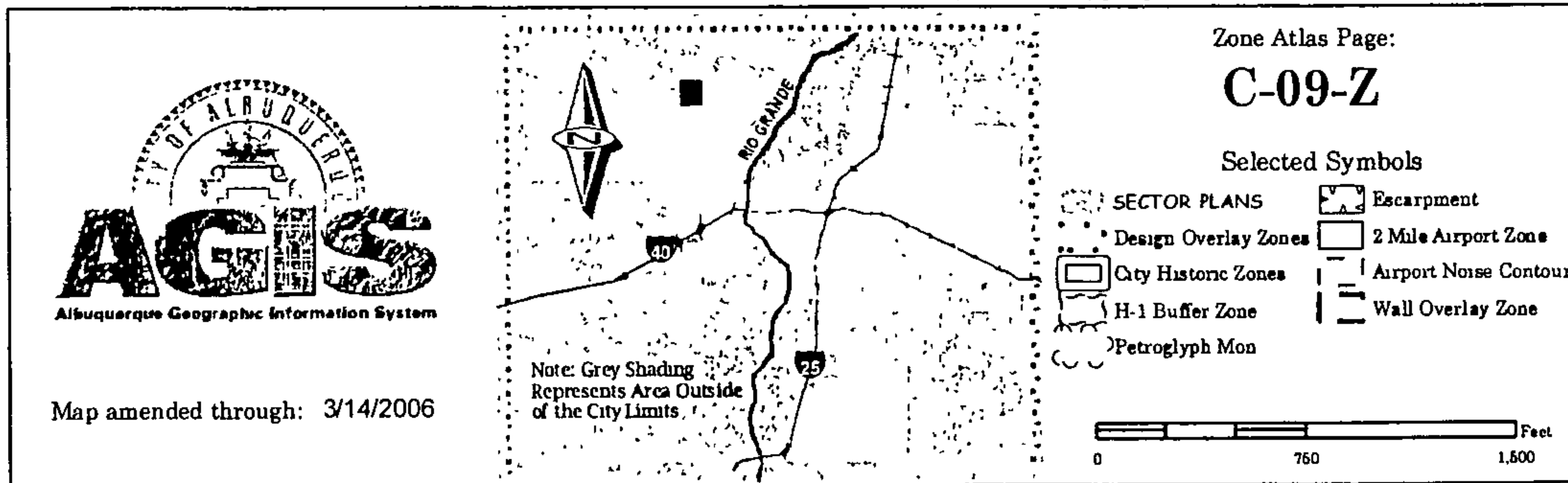
BRUCE NYBERG
Ventana Ranch N.A.
6824 BRUSHFIELD RD NW
ALBUQUERQUE, NM 87114

SITE LOCAT

(HERITAGE of THE TRAILS) UNITS 1 & 2



For more current information and more details visit: <http://www.cabq.gov/gis>




Zone Atlas Page:
C-09-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

Note: Grey Shading Represents Area Outside of the City Limits.

NOTES:

- 1. Sidewalks to be deferred
- 2. Residential lighting per DF
- 3. Grading and Drainage Cer
- 4. All water to include fire hydr
- 5. Storm drain sizes are subj
- 6. Curb & gutter on both side
- 7. Adjacent portions of Rainb
- 8. Offsite Traffic Mitigation Fi
- 9.  Includes removal and repla
Planning Department in ad
- 10. *by Modified Proc*
- 11. *Trail to be built*
- 12. *Landscape Main
in the public ric*

Seq

AGENT/OWNER

Genevieve Donart, PE
NAME (print)

Isaacson & Arfman, P.A.
FIRM

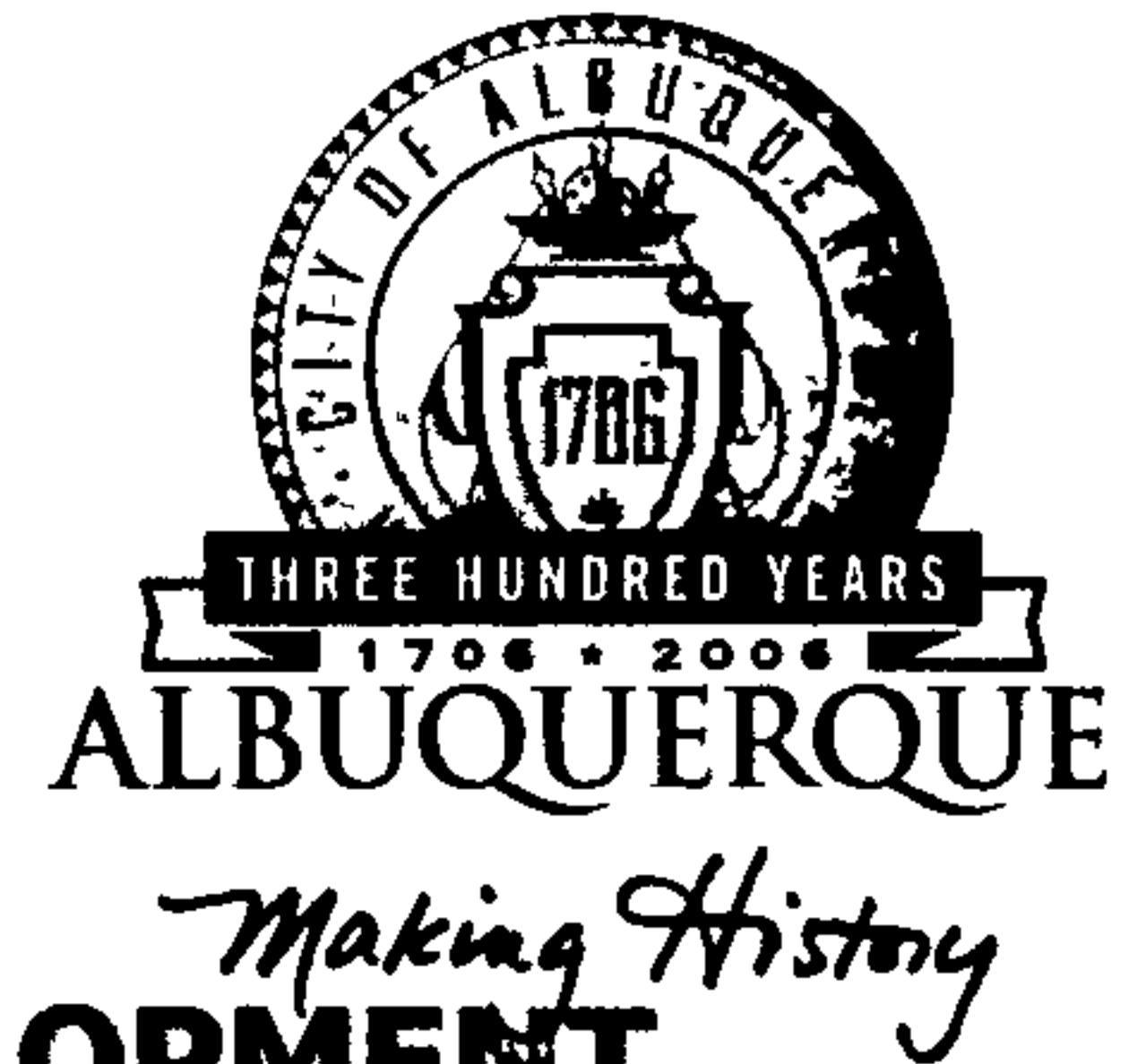
Genevieve Donart 4/20/10
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
PERMISSION: _____

REVISION	DATE
1	6/24/10

CITY OF ALBUQUERQUE

FYI



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

May 18, 2006

TO: Laura Horton and Bruce Nyberg, Ventana Ranch Neighborhood Association

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Requests the following for approximately nine (9) acre(s) - Major Two Year Subdivision Improvement Agreement for Heritage @ the Trails, Unit 1.**

Proposed by: Steve J. Salazar, Wilson and Company at 505-898-8021

Agent for: The Trails, LLC

For property located: On or near Rainbow Boulevard NW between Paseo del Norte NW and Hearthstone Road NW.

P.O. Box 1293

The case number(s) assigned is: 06DRB- 00633, Project # 1003354

City Planning accepted application for this request on **May 5, 2006.**

Albuquerque

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

New Mexico 87103

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at **9 a.m. on Wednesday, May 31, 2006** in the **Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.**

www.cabq.gov

You should contact **Claire Senova** at **924-3946** to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at **924-3902** or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

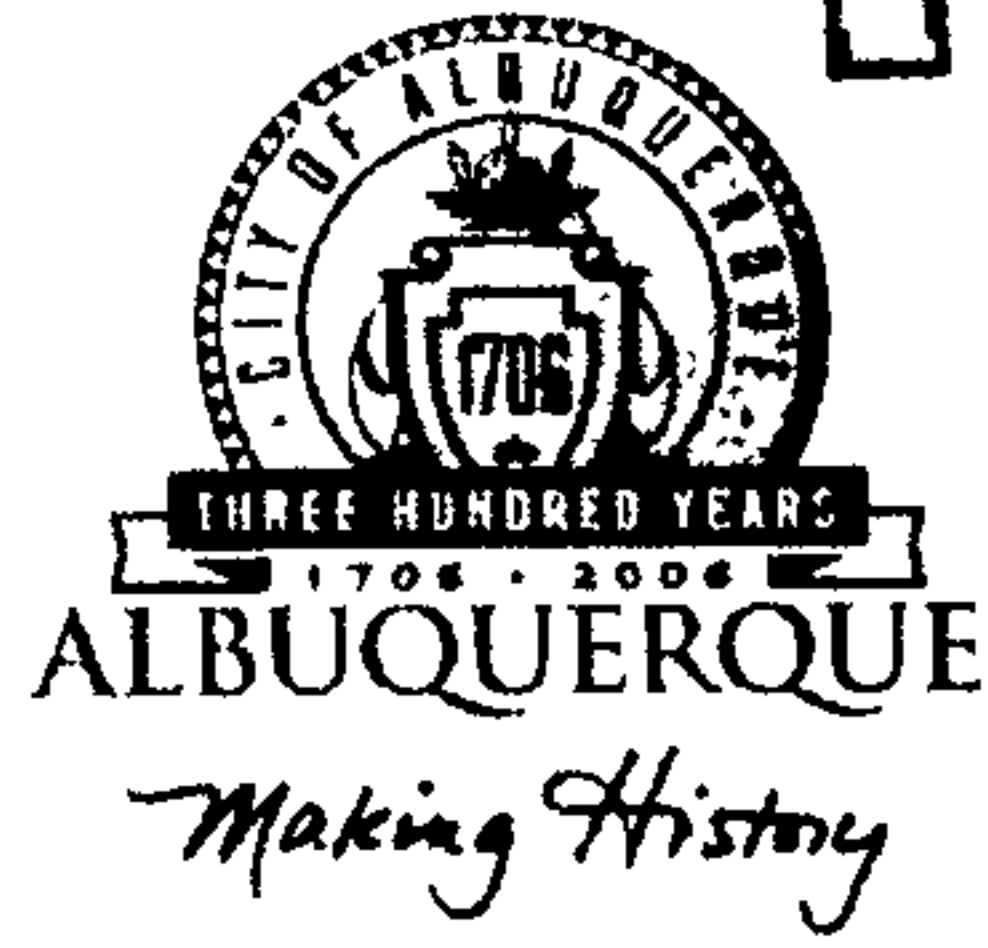
Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**

F Y I



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

May 16, 2006

Steve J. Salazar, PE
Wilson and Company
2600 The American Road, Suite 100/87124
Phone: 898-8021/Fax: 898-8501

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Steve:

Thank you for your inquiry of May 16, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **HERITAGE AT THE TRAILS, UNITS 1 AND 2, LOCATED ON RAINBOW BOULEVARD NW BETWEEN PASEO DEL NORTE NW AND WOODMONT AVENUE NW** zone map **C-9**

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

VENTANA RANCH N.A. (VTR) "R"
***Laura Horton**
7224 Cascada Rd. NW/87114 898-8103 (h) 710-0646 (c)
Bruce Nyberg
6824 Brushfield Rd. NW/87114 890-6559 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,
Stephani Winklepleck
Stephani I. Winklepleck
Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD ASSOCIATION.

planningrnaform(10/08/05)



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 22, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:30 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002250**
04DRB-01314 Major-Preliminary Plat Approval
04DRB-01315 Major-Vacation of Public Easements
04DRB-01316 Minor-Sidewalk Waiver
04DRB-01317 Minor-Temp Defer SDWK

04DRB-01412 Minor- Amended SiteDev Plan Subd
04DRB-01413 Minor-SiteDev Plan BldPermit/EPC
- BOHANNAN HUSTON INC agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) A-1-B, **VENTANA TOWNHOMES @ VENTANA RANCH**, zoned SU-1, R-2, located on UNIVERSE BLVD NW, between VENTANA RD NW and UNIVERSE BLVD NW containing approximately 7 acre(s). [REF: 04DRB00926, 04EPC01046, 04EPC01045] (B-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/22/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/19/04 THE PRELIMINARY PLAT WAS APPROVED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
- CONSENSUS PLANNING INC agent(s) for SANDIA PROPERTIES LTD CO request(s) the above action(s) for all or a portion of Tract(s) A-1-B, A-1-A, A-1-C AND A-2, **VENTANA TOWNHOMES @ VENTANA RANCH**, zoned SU-1 FOR R-2, SU-1 FOR CHURCH, located on UNIVERSE BLVD NW, between VENTANA RD NW and IRVING BLVD NW containing approximately 28 acre(s). [REF: 04EPC-00926, 04EPC-01046, 04EPC-01045] [Elvira Lopez, EPC Case Planner] (B-10) **AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO CHECK COMMENTS FROM EPC CASE PLANNER.**

2. **Project # 1002962**
04DRB-01319 Major-Bulk Land Variance
04DRB-01320 Major-Vacation of Pub Right-of-Way
04DRB-01321 Major-Vacation of Public Easements
04DRB-01322 Minor-Prelim&Final Plat Approval
- WILSON & CO. agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of Tract(s) 1-14 and OS-3 & OS-4, **THE TRAILS, UNIT 2**, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 190 acre(s). [REF: 04DRB-00929, 03DRB-01528] **(C-9) BULK LAND VARIANCE WAS APPROVED. VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD AND AGIS DXF FILE.**
3. **Project # 1003610**
04DRB-01251 Major-Preliminary Plat Approval
04DRB-01252 Minor-Temp Defer SDWK
04DRB-01469 Minor-Sidewalk Waiver
- WILSON & CO. agent(s) for CURB INC. request(s) the above action(s) for all or a portion of Tract(s) 29A, LANDS OF SALAZAR/QUATRO/JSJ/ HANNETT (to be known as **ARROWWOOD HILLS SUBDIVISION, UNIT 1**), zoned R-LT residential zone, located on 98TH ST SW, between RIO BRAVO SW and BLAKE RD SW containing approximately 29 acre(s). [REF: 1001594, 02DRB-01621 & 01622, 1003231, 04DRB-00137, 04DRB-00261, 00262 & 00263] *[Deferred from 9/8/04 & 9/22/04]* **(N-9) DEFERRED AT THE AGENT'S REQUEST TO 9/29/04.**
4. **Project # 1003629**
04DRB-01288 Major-Vacation of Public Easements
- ARMIJO SURVEYING GROUP LLC agent(s) for DONALD VASQUEZ request(s) the above action(s) for all or a portion of Lot(s) 1, **PARKSITO SUBDIVISION**, zoned R-D residential and related uses zone, developing area, 9 DU/AC, located on 97TH ST SW, between FIRMAN CT SW and SAN YGNACIO RD SW containing approximately 1 acre(s). [REF: DRB-96-529, S-98-83, S-97-55]*[Deferred from 9/15/04]* **(L-9) VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS, AMENDED PLANS AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

5. **Project # 1003364**
04DRB-01407 Minor-SiteDev Plan
Subd/EPC
04DRB-01408 Minor-SiteDev Plan
BldPermit/EPC
04DRB-01409 Minor-Prelim&Final Plat
Approval
- TIERRA WEST, LLC agent(s) for DOUBLE CHEESE CORPORATION request(s) the above action(s) for all or a portion of Block(s) 10, Tract(s) 1A, **NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3**, zoned SU-2 MIXED USES, located on LOUISIANA BLVD NE, between HOLLY AVE NE and PASEO DEL NORTE NE containing approximately 5 acre(s). [REF: DRB-95-478, 04EPC-00495, 04EPC-00494] [**Carmen Marrone, EPC Case Planner**] [*Deferred from 9/22/04*] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 10/6/04.**
6. **Project # 1003637**
04DRB-01302 Minor-SiteDev Plan
BldPermit
- OPUS WEST CONSTRUCTION CORP request(s) the above action(s) for all or a portion of Lot(s) 12, Block(s) 2, Unit(s) 1, **JOURNAL CENTER PHASE 2**, zoned IP industrial park zone, located on MASTHEAD ST NE, between MASTHEAD ST NE and TIBURON ST NE containing approximately 5 acre(s). [REF: AX-79-13, Z-79-80-2, 1000633] [*Deferred from 9/1/04*] [*Deferred on 9/8/04 on a no show*] (D-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RADII AND NOTES AND TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project # 1000658**
04DRB-01421 Minor-Prelim&Final Plat
Approval
- MARK GOODWIN & ASSOCIATES agent(s) for OTONO PARTNERS LLC request(s) the above action(s) for all or a portion of Tract(s) F-1-A-1, Unit(s) 1, **LOOP INDUSTRIAL DISTRICT**, zoned SU-1, M-1, located on ALAMEDA NE, between JEFFERSON NE and SAN MATEO NE containing approximately 2 acre(s). [*Deferred from 9/22/04*] (C-17) **DEFERRED AT THE AGENT'S REQUEST TO 9/29/04.**

8. **Project # 1002668**
04DRB-01419 Minor-Final Plat Approval
- MARK GOODWIN & ASSOCIATES agent(s) for VISTA MAGNIFICA LLC request(s) the above action(s) for all or a portion of Tract(s) C, Block(s) 5, Tract(s) E & F, Block(s) 2, **VISTA MAGNIFICA** and Lot(s) B, Block(s) 8, **PALISADES ADDITION**, zoned R-LT residential zone, located on ATRISCO DR NW, between I-40 and CLIFFSIDE DR NW containing approximately 7 acre(s). [REF: 02EPC-01089, 03DRB-00811] (H-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU.**
9. **Project # 1000739**
04DRB-01382 Minor-Ext of SIA for
Temp Defer SDWK
- SANDIA PROPERTIES LTD CO agent(s) for SANDIA PROPERTIES LTD. request(s) the above action(s) for all or a portion of Lot(s) 73, Tract(s) Y-1-B, **MESA VISTA @ VENTANA RANCH**, zoned R-LT residential zone, located on LAS VENTANAS RD NW, between BANYON AVE NW and EAGLE AVE NW. [REF: 01DRB-00529, 01DRB-01478, DRB-95-252, S-98-52, S-95-27, V-98-52, SV-95-39] (B-9) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**
10. **Project # 1003542**
04DRB-01391 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD agent(s) for GEORGE & LULU SAGE-ALLISON request(s) the above action(s) for all or a portion of Lot(s) 23 & 24, Block(s) 31, **PEREA ADDITION**, zoned SU-2, TH, located on 15th ST NW, between ORCHARD PL NW and MARBLE AVE NW containing approximately 1 acre(s). [REF: 04DRB-01081] (J-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CERTIFICATION OF SIDEWALKS AND REAL PROPERTY SIGNATURE.**

11. **Project # 1002322**
04DRB-01396 Minor-Extension of Preliminary Plat
- ANGELO GINERIS agent(s) for ACME REAL ESTATE FUND, LLC request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) 23, **ORIGINAL TOWNSITE OF WESTLAND**, zoned SU-2 FOR IP, located on SUNSET GARDENS SW, between 90th ST SW and SUNSET GARDENS SW containing approximately 9 acre(s). [REF: 02DRB-01666, 03DRB-00420, 03DRB-00349] (L-9) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**
12. **Project # 1003665**
04DRB-01404 Minor-Prelim&Final Plat Approval
- WAYJOHN SURVEYING INC agent(s) for AMANDA MONTOYA request(s) the above action(s) for all or a portion of Lot(s) 12-16, Block(s) 8, **EAST CENTRAL BUSINESS ADDITION**, zoned C-3 heavy commercial zone, located on COCHITI RD SE, between SHIRLEY ST SE and JUAN TABO SE containing approximately 2 acre(s). (L-21) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR UTILITY SIGNATURES.**
13. **Project # 1003666**
04DRB-01405 Minor-Prelim&Final Plat Approval
- WAYJOHN SURVEYING INC agent(s) for AVALON INVESTMENTS, SCOTT WHITTINGTON, request(s) the above action(s) for all or a portion of Tract(s) B-2, **LANDS OF FREEWAY-OLD TOWN LTD**, zoned S-M1, located on 18TH ST NW, between MOUNTAIN RD NW and BELLAMAH AVE NW containing approximately 7 acre(s). [REF: SP-75-44] (J-13) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

14. **Project # 1003667**
04DRB-01406 Minor-Prelim&Final Plat Approval
- WAYJOHN SURVEYING INC agent(s) for DEBBIE LOBBEREGT request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) 25, **GLENWOOD HILLS, UNIT 2**, zoned R-1 residential zone, located on PASO DEL PUMA NE, between CEDAR BROOK AVE NE and SUNSET CANYON PL NE containing approximately 3 acre(s). (F-23) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
15. **Project # 1002511**
04DRB-01380 Minor-Final Plat Approval
- ISAACSON & ARFMAN PA agent(s) for GARRETT GROUP INC. request(s) the above action(s) for all or a portion of Tract(s) A (to be known as **SUNDANCE SUBDIVISION, UNIT 2**) zoned R-LT residential zone, located on BLUEWATER RD NW, between UNSER BLVD NW and THE UNSER DIVERSION CHANNEL containing approximately 15 acre(s). [REF: 04DRB-01118, 01119 & 01120, 03DRB-00858, 03DRB-01578, 03DRB-01805, 04DRB-00358 & 00359] (K-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU.**
16. **Project # 1003353**
04DRB-01415 Minor-Final Plat Approval
- ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) B, (to be known as **HERITAGE @ THE TRAILS, UNIT 2**, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 10 acre(s). [REF: 03DRB-01528, 04DRB-00452, 04DRB-00453, 04DRB-00454, 04DRB-00456] (C-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

17. **Project # 1003354**
04DRB-01416 Minor-Final Plat Approval
- ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) A, (to be known as **HERITAGE @ THE TRAILS, UNIT 1**, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 14 acre(s). [REF: 03DRB-01528, 04DRB-00457, 04DRB-00458, 04DRB-00459, 04DRB-00461] (C-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
18. **Project # 1002718**
04DRB-01410 Minor-Final Plat Approval
04DRB-01411 Minor-Sidewalk Waiver
- TIERRA WEST LLC agent(s) for TS MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 334B2A1, 334B2B & 334B1, **RIVERVIEW ACRES, UNIT 2**, zoned RA-1 residential and agricultural zone, semi-urban area, located on GABALDON RD SW, between RIVERSIDE DRAIN CANAL and GABALDON RD SW containing approximately 10 acre(s). [REF: 04DRB-00758, 04DRB-00759] *[Deferred from 9/22/04]* (H-12) **DEFERRED AT THE AGENT'S REQUEST TO 10/6/04.**
19. **Project # 1003573**
04DRB-01417 Minor-Prelim&Final Plat Approval
- RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 28, 29 & 30, Block(s) 2, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3, OAKLAND NORTH SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB-01138] *[Deferred from 9/22/04]* (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 10/6/04.**

20. **Project # 1003668**
04DRB-01414 Minor-Prelim&Final Plat
Approval
- TERRAMETRICS OF NEW MEXICO agent(s) for LLAVE CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 5, Block(s) 3, Tract(s) 3, Unit(s) 3, **NORTH ALBUQUERQUE ACRES**, zoned RD-3, located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). **(C-20) INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
21. **Project # 1003466**
04DRB-01420 Minor-Prelim&Final Plat
Approval
- CARTESIAN SURVEYS INC agent(s) for H & S INC., SHELDON BROMBERG request(s) the above action(s) for all or a portion of Tract(s) A & B, **EL CAMBIO PLAZA ADDITION**, zoned SU-2, C-2, located on BRIDGE BLVD SW, between 4TH ST SW and 8TH ST SW containing approximately 3 acre(s). **(L-14) PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**
22. **Project # 1002002**
04DRB-00805 Minor-Final Plat Approval
- ADVANCED ENGINEERING & CONSULTING LLC agent(s) for RETAIL DEVELOPMENT INC, LLC request(s) the above action(s) for a Portion of Drainage Easement, **BEAR CANYON ARROYO**, zoned C-3 heavy commercial zone, located on SAN MATEO BLVD NE, between SAN MATEO BLVD NE and I-25 containing approximately 5 acre(s). [REF: 03DRB-00168, 03DRB-00605, 02DRB-01743] *(Final Plat was indefinitely deferred)* **(E-17) FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

23. **Project # 1001409**
04DRB-01425 Minor-Sketch Plat or Plan
- ADVANCED ENGINEERING & CONSULTING LLC agent(s) for SAIFI TALEBREZE request(s) the above action(s) for all or a portion of Lot(s) 20-A, Block(s) 1, **CANDELIGHT FOOTHILLS , UNIT 1**, zoned R-1 residential zone, located on LOMAS BLVD NE, between MONTE LARGO DR NE and SUMMIT HILLS DR NE containing approximately 2 acre(s). [REF: 01DRB-01160, 01DRB-01819, 02DRB-01863, 03DRB-02032] (J-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
24. **Project # 1003675**
04DRB-01427 Minor-Sketch Plat or Plan
- AMBROSE CHAVEZ agent(s) for HOMES OF NEW MEXICO request(s) the above action(s) for all or a portion of Block(s) L-8, **ATRISCO GRANT**, zoned R-1 residential zone, located on CENTRAL AVE NW, between 57th ST NW and AVALON NW containing approximately 5 acre(s). (K-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
25. **Project # 1003671**
04DRB-01422 Minor-Sketch Plat or Plan
- KIRA SOWANICK agent(s) for SOUTHWEST GLASS & GLAZING request(s) the above action(s) for Tract(s) 27, **LADERA BUSINESS PARK**, zoned SU-1 LIGHT INDUSTRIAL, located on UNSER BLVD NW, between LADERA DR NW and 98th ST NW containing approximately 3 acre(s). [REF: PROJECT #1001523] (H-9/H-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

26. **Project # 1003669**
04DRB-01418 Minor-Sketch Plat or Plan
- MARVIN HARRIS request(s) the above action(s) for all or a portion of Lot(s) 17-20, Block(s) 3, **ROMERO ADDITION**, zoned SR-1, located on KINLEY ST NW, between 5th ST NW and 6th ST NW containing approximately 1 acre(s). (J-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
27. **Project # 1003672**
04DRB-01423 Minor-Sketch Plat or Plan
- RIO GRANDE ENGINEERING agent(s) for BOB KEERAN request(s) the above action(s) for all or a portion of Lot(s) 6 & 7, Block(s) 3, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on OAKLAND NE, between BARSTOW NE and VENTURA NE containing approximately 2 acre(s).(C-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
28. **Project # 1003673**
04DRB-01424 Minor-Sketch Plat or Plan
- RIO GRANDE ENGINEERING agent(s) for BOB KEERAN request(s) the above action(s) for all or a portion of Lot(s) 8 & 9, Block(s) 3, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on OAKLAND NE, between BARSTOW NE and VENTURA NE containing approximately 3 acre(s).(C-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

29. **Project # 1003674**
04DRB-01426 Minor-Sketch Plat or Plan

RIO GRANDE ENGINEERING agent(s) for BOB KEERAN request(s) the above action(s) for all or a portion of Lot(s) 25 & 26, Block(s) 3, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on OAKLAND NE, between BARSTOW NE and VENTURA NE containing approximately 2 acre(s).(C-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

30. Approval of the Development Review Board Minutes for September 8, 2004. **THE DRB MINUTES FOR SEPTEMBER 8, 2004 WERE APPROVED.**

ADJOURNED: 12:30 P.M.

#17



Completed 9/23/04
UNIT 1

DRB CASE ACTION LOG (FINAL PLAT)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>04DRB-01416 (FP)</u>	Project # <u>1003354</u>
Project Name: <u>HERITAGE @ THE TRAILS UN 1</u>	
Agent: <u>Isaacson & Arfman PA</u>	Phone No.: <u>268-8828</u>

Project Number

1003354

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 9/22/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

X

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required. *OK*
- Copy of recorded plat for Planning.

AGIS ELECTRONIC APPROVAL FORM

DRB Project Case #: 1003354

Subdivision Name: Heritage at the Trails Unit 1

Surveyor: Timothy Aldrich

Company/Agent: Isaacson & Arfman


Contact Person: Genny Donart E-mail: gennyd@mcleodusa.net

Phone: 268-8828 Fax: _____

DXF Received Date: 9/17/2004

Hard-Copy Date: 9/17/2004

Coordinate system: NMSP Grid (NAD 83) NMSP Grid (NAD 27) Ground rotated to NMSP Grid Other

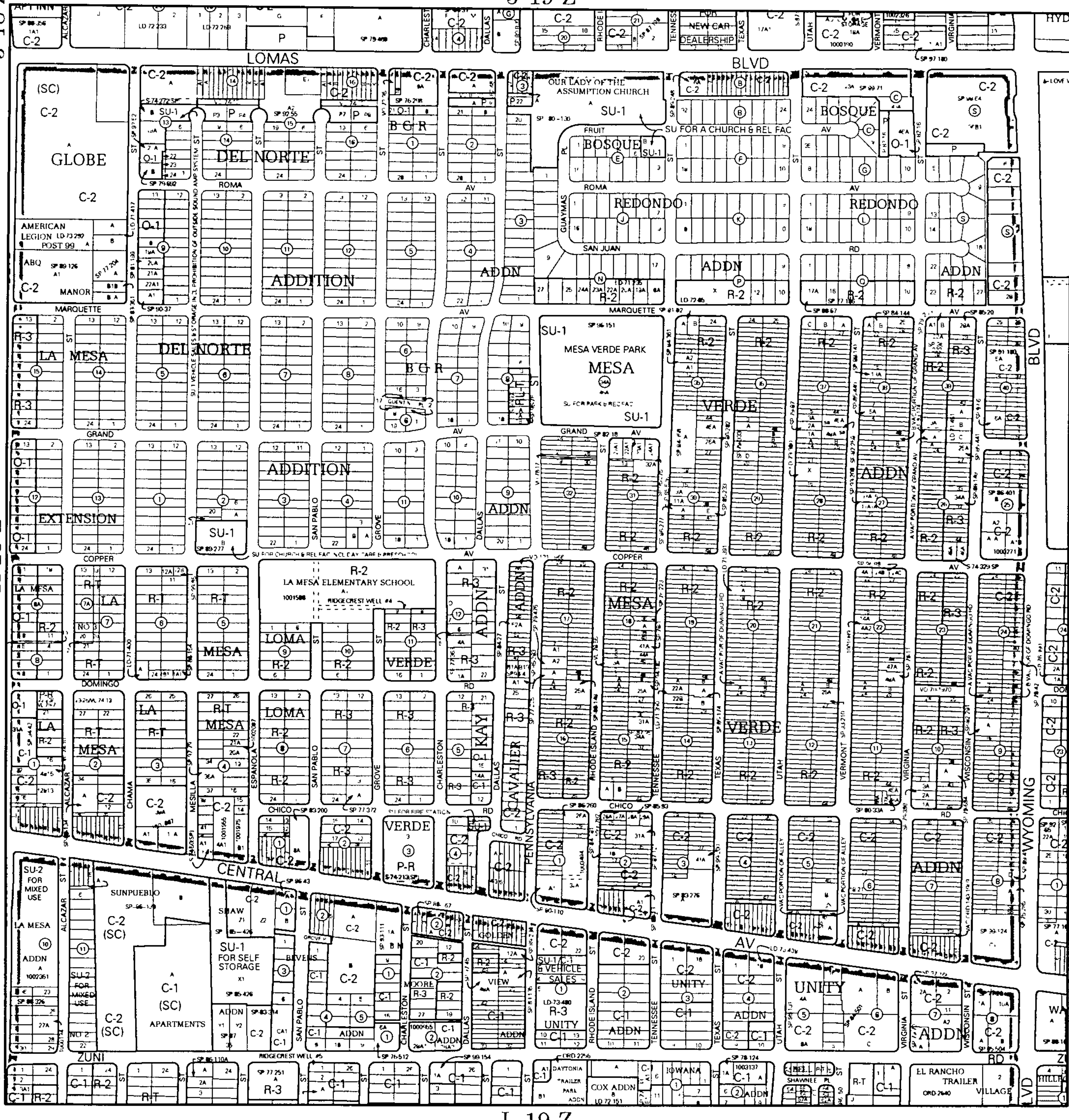

Approved

9/17/04
Date

*The dxf file cannot be accepted at this time for the following reason(s):

AGIS Use Only

Copied cov3354 to agiscov on 9/17/2004. Contact person notified on 9/17/2004

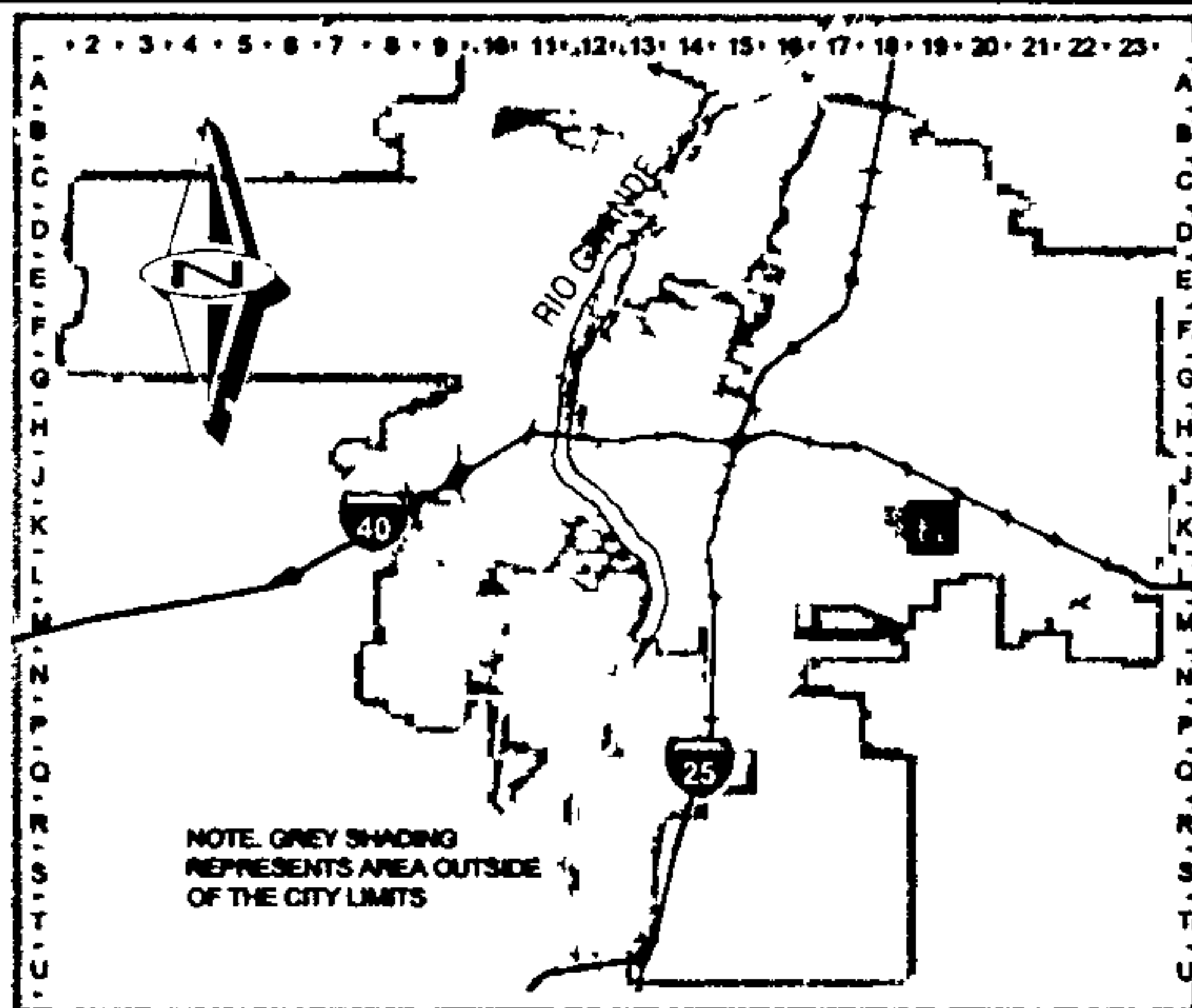
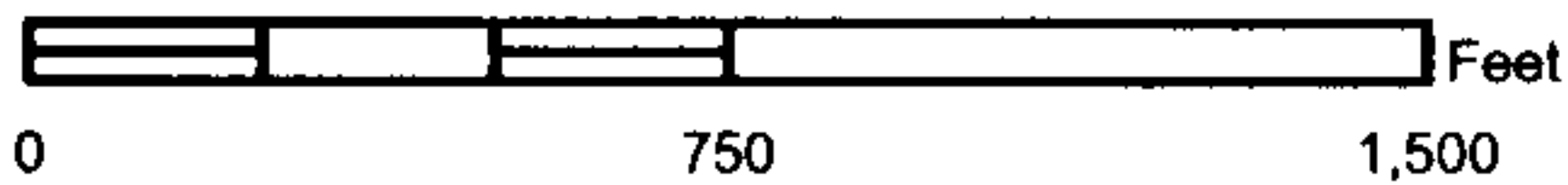


Zone Atlas Page: **K-19-Z**

Map ammended through: **Aug 05, 2004**

Selected Symbols

- Unincorporated Areas X — Grant Boundaries
- Sector Plan Boundaries ○ — Petroglyph
- Parcel Boundaries — — Old Town Boundary
- Easement Lines ~ ~ ~ Arroyos
- Freeway Lanes — — LDN Noise Level
- Jurisdictional Boundaries + — Airport Clearance Zone
- Westgate Wall • • • Design Overlay Zones
- Escarpment ▽ ▽



CITY OF ALBUQUERQUE
THREE HUNDRED YEARS
 1706 • 2006
ALBUQUERQUE
Haciendo Historia
AGIS
 Albuquerque Geographic Information System
PLANNING DEPARTMENT
 © Copyright 2004

#17



UNIT 1

DRB CASE ACTION LOG (FINAL PLAT)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-01416 (FP)

Project # 1003354

Project Name: HERITAGE @ THE TRAILS UN 1

Agent: Isaacson & Arfman PA

Phone No.: 268-8828

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 9/22/04 by the DRB with delegation of signature(s) to the following departments. OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: [checkbox] [lines]

UTILITIES: [checkbox] [lines]

CITY ENGINEER / AMAFCA: [checkbox] [lines]

PARKS / CIP: [checkbox] [lines]

PLANNING (Last to sign): [checkbox] [lines]

X

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
-Tax certificate from the County Treasurer.
-Recording fee (checks payable to the County Clerk). RECORDED DATE:
-Tax printout from the County Assessor.

- Include 3 copies of the approved site plan along with the originals.
County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
Property Management's signature must be obtained prior to Planning Department's signature.
AGIS DXF File approval required.
Copy of recorded plat for Planning.

Project Number

1003354

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
9/22/04 DRB
Comments**

ITEM # 17

PROJECT # 1003354

APPLICATION # 04-01416

RE: Heritage @ the Trails, Unit 1/final plat

The current zoning should be on the final plat.

The condition of final plat regarding perimeter walls is met.

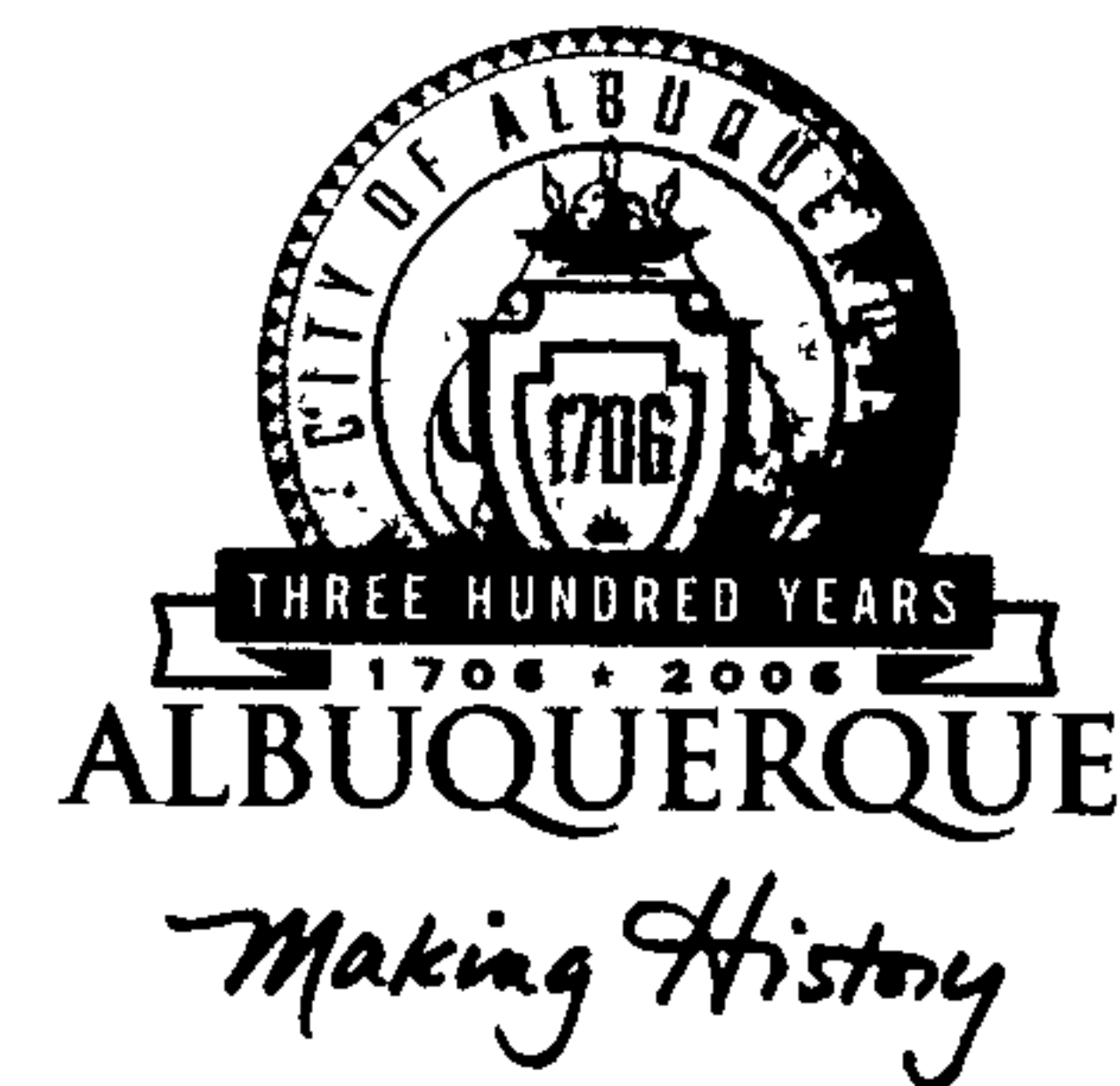
Are there any changes between the approved preliminary plat and the final plat?

Assuming not, Planning has no objection to final plat approval.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003354

AGENDA ITEM NO: 17

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

An executed Subdivision Improvements Agreement with financial guarantees is on file for Final Plat sign-off.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

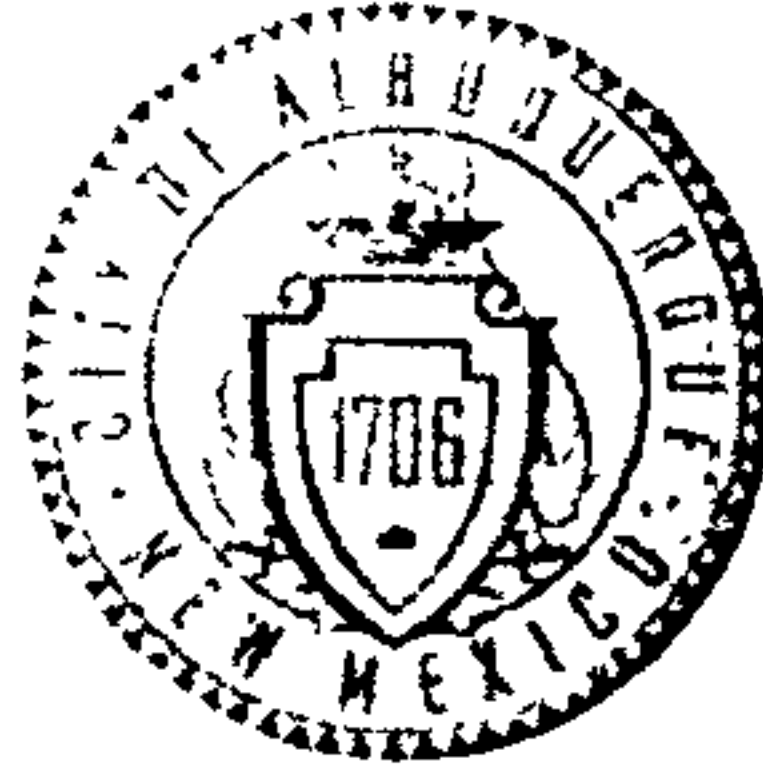
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) **(FP)** BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: September 22, 2004



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, April 23, 2008**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project# 1000364

08DRB-70156 MAJOR - 2YR EXTENSION
OF SUBDIVISION IMPROVEMENTS

BRET or DEBRA A. TABOR request(s) the above action(s) for all or a portion of Lot(s) 1-B-1. Block(s) 1, **CHANSLOR'S REPLAT OF GALLAGHER ADDITION**, zoned C-2, located on the north side of CENTRAL AVE NE BETWEEN GLENRIDGE PARK NE AND BURMA DR NE, containing approximately 1 acre(s). (L-22)

Project# 1003353

08DRB-70154 MAJOR - 2YR EXTENSION
OF SUBDIVISION IMPROVEMENTS

BOHANNAN HUSTON INC agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **HERITAGE AT THE TRAILS UNIT 2**, zoned SU-2/ RD, located on the east side of RAINBOW BLVD NW BETWEEN HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 14 acre(s). (C-9)

Project# 1003354

08DRB-70155 MAJOR - 2YR EXTENSION
OF SUBDIVISION IMPROVEMENTS

BOHANNAN HUSTON, INC. agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **HERITAGE AT THE TRAILS Unit(s) 1**, zoned SU-2/ RD, located on the west side of RAINBOW BLVD NW BETWEEN HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 9 acre(s). (C-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Jack Cloud, AICP, DRB Chair
Development Review Board

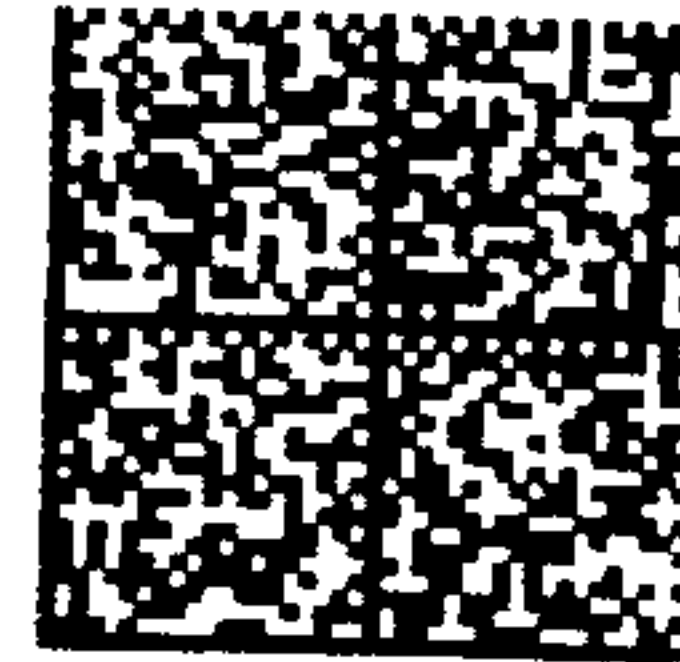
TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, APRIL 7, 2008.

CITY OF ALBUQUERQUE



Planning Department

OR CURRENT RESIDENT
100906427946520703
CENTEX HOMES
5120 MASTHEAD NE
ALBUQUERQUE, NM 87109



UNITED STATES POSTAGE
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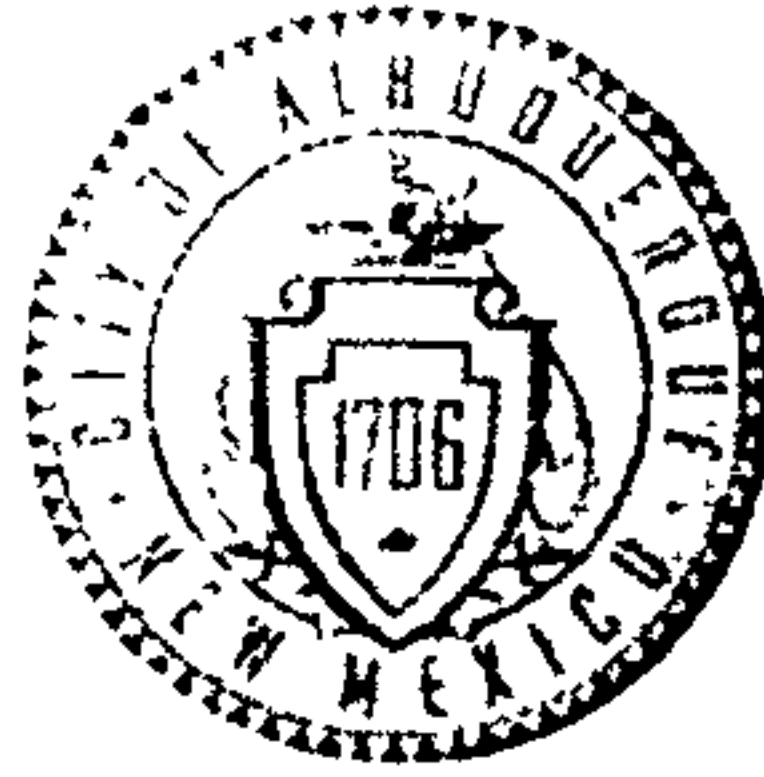
NMR

DRB

#710384366 0028



P O Box 1293 Albuquerque, New Mexico 87103



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, April 23, 2008**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project# 1000364

08DRB-70156 MAJOR - 2YR EXTENSION
OF SUBDIVISION IMPROVEMENTS

BRET or DEBRA A. TABOR request(s) the above action(s) for all or a portion of Lot(s) 1-B-1, Block(s) 1, **CHANSLOR'S REPLAT OF GALLAGHER ADDITION**, zoned C-2, located on the north side of CENTRAL AVE NE BETWEEN GLENRIDGE PARK NE AND BURMA DR NE, containing approximately 1 acre(s). (L-22)

Project# 1003353

08DRB-70154 MAJOR - 2YR EXTENSION
OF SUBDIVISION IMPROVEMENTS

BOHANNAN HUSTON INC agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **HERITAGE AT THE TRAILS UNIT 2**, zoned SU-2/ RD, located on the east side of RAINBOW BLVD NW BETWEEN HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 14 acre(s). (C-9)

Project# 1003354

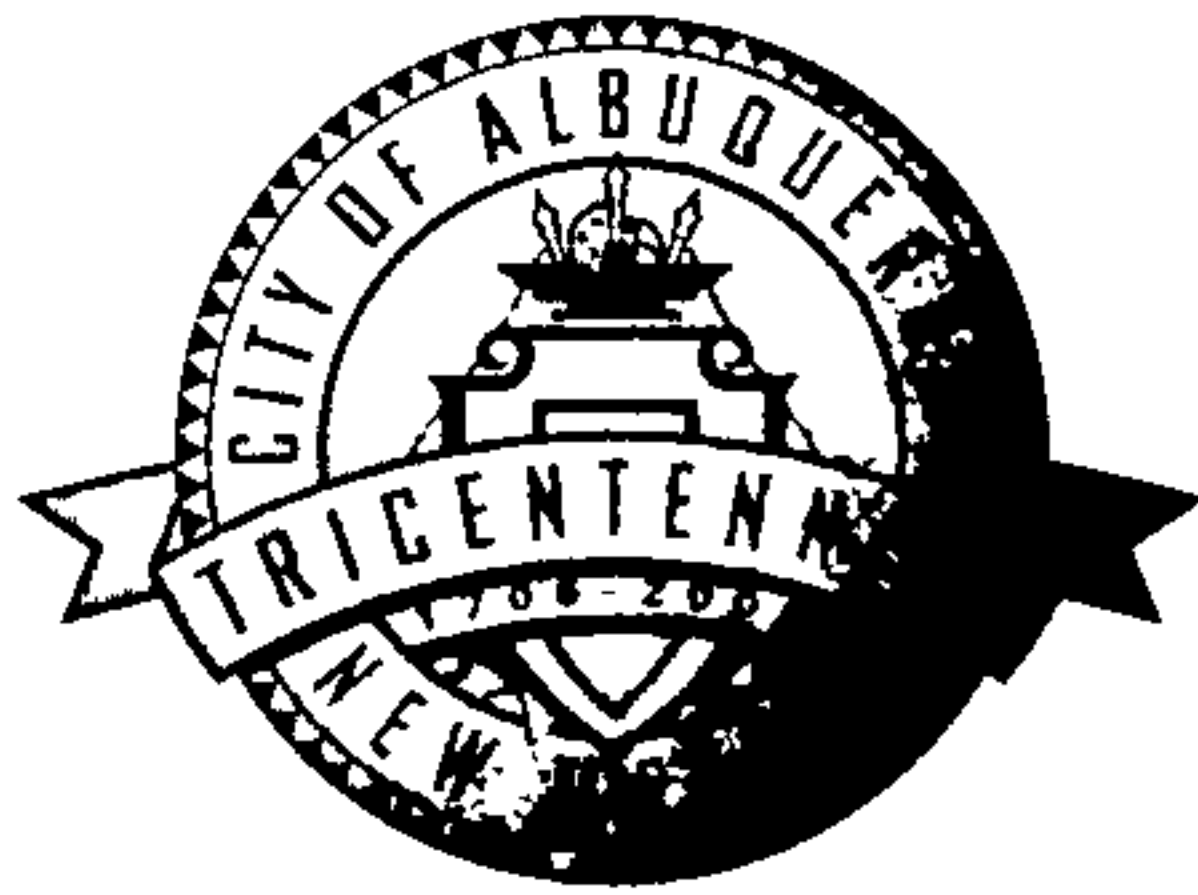
08DRB-70155 MAJOR - 2YR EXTENSION
OF SUBDIVISION IMPROVEMENTS

BOHANNAN HUSTON, INC. agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **HERITAGE AT THE TRAILS Unit(s) 1**, zoned SU-2/ RD, located on the west side of RAINBOW BLVD NW BETWEEN HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 9 acre(s). (C-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

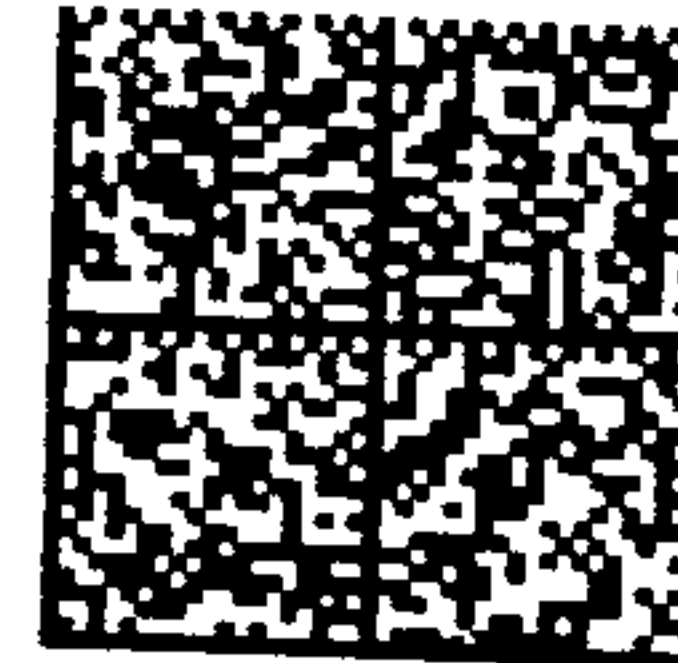
Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, APRIL 7, 2008.



Planning Department

CITY OF ALBUQUERQUE



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MAILED FROM ZIP CODE 87102

OR CURRENT RESIDENT
100906421145021331
KAMAL MOHAMMAD R
6435 PEINADO
SAN DIEGO, CA 92121

DRB

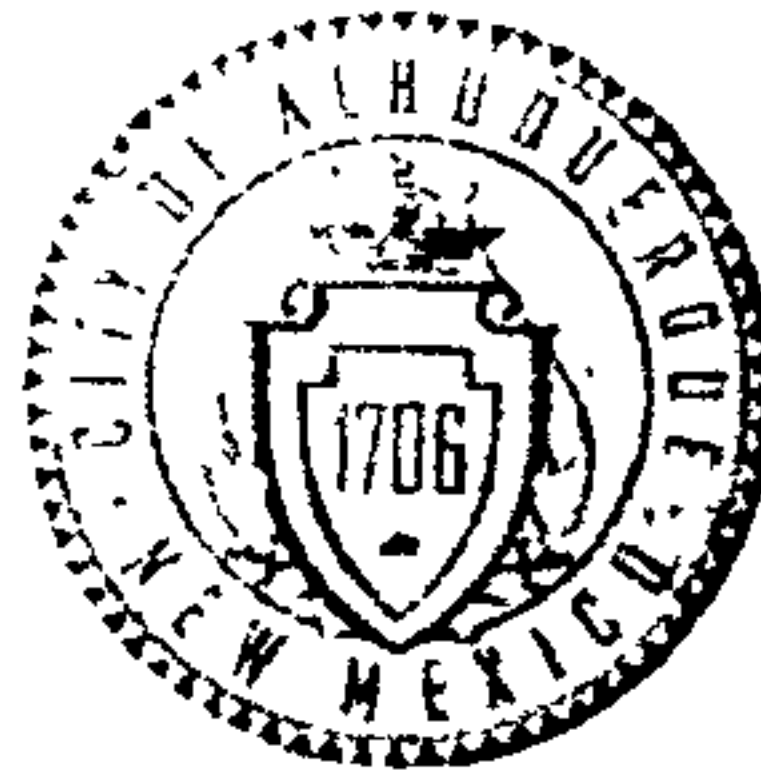
NIXIE 921 CE 1 72 04/12/08

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

BC: 87103129393 *0958-07358-04-38



P O BOX 1293 Albuquerque, New Mexico 87103



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, April 23, 2008, beginning at 9:00 a.m.** for the purpose of considering the following:

Project# 1000364
08DRB-70156 MAJOR - 2YR EXTENSION
OF SUBDIVISION IMPROVEMENTS

BRET or DEBRA A. TABOR request(s) the above action(s) for all or a portion of Lot(s) 1-B-1, Block(s) 1, **CHANSLOR'S REPLAT OF GALLAGHER ADDITION**, zoned C-2, located on the north side of CENTRAL AVE NE BETWEEN GLENRIDGE PARK NE AND BURMA DR NE, containing approximately 1 acre(s). (L-22)

Project# 1003353
08DRB-70154 MAJOR - 2YR EXTENSION
OF SUBDIVISION IMPROVEMENTS

BOHANNAN HUSTON INC agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **HERITAGE AT THE TRAILS UNIT 2**, zoned SU-2/ RD, located on the east side of RAINBOW BLVD NW BETWEEN HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 14 acre(s). (C-9)

Project# 1003354
08DRB-70155 MAJOR - 2YR EXTENSION
OF SUBDIVISION IMPROVEMENTS

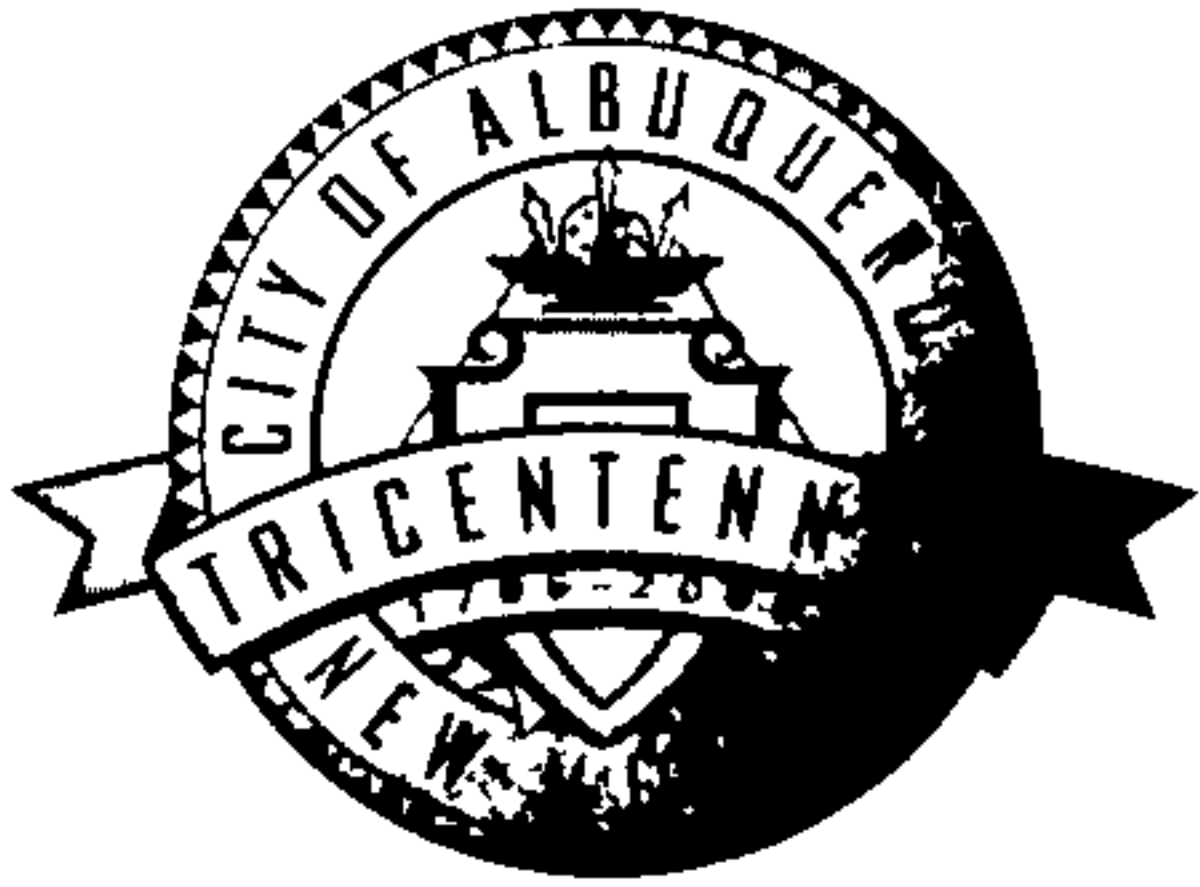
BOHANNAN HUSTON, INC. agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **HERITAGE AT THE TRAILS Unit(s) 1**, zoned SU-2/ RD, located on the west side of RAINBOW BLVD NW BETWEEN HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 9 acre(s). (C-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, APRIL 7, 2008.

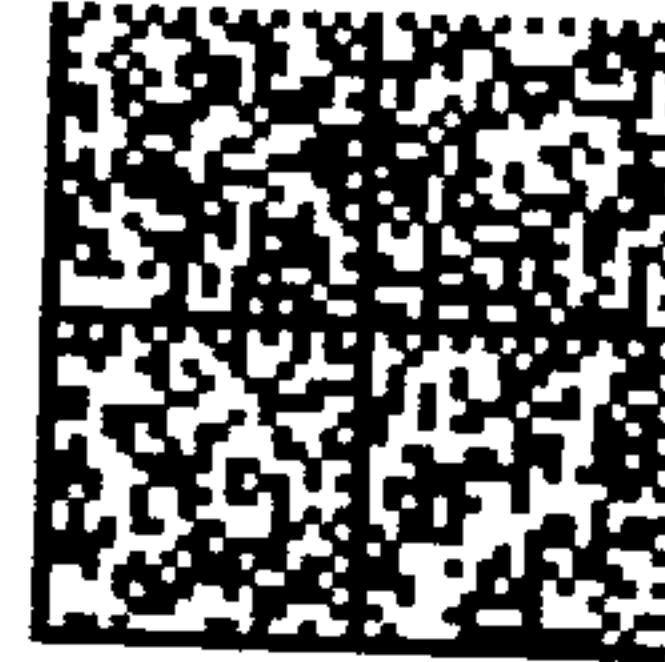
CITY OF ALBUQUERQUE



Planning Department

DRB

OR CURRENT RESIDENT
100906516001530634
BEXFIELD KAREN LEE
9400 TOUCAN PL NW
ALBUQUERQUE, NM 87114 3612



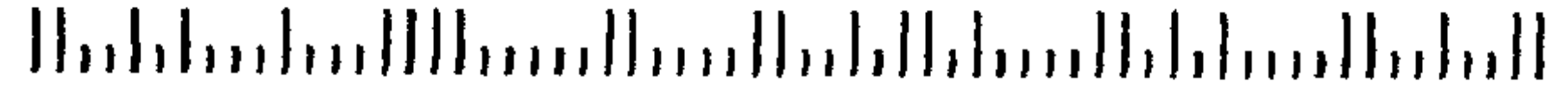
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RETURN TO SENDER
ATTEMPTED - NOT KNOWN
UNABLE TO FORWARD

BC: 87103129393 *0958-07341-04-38

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P O Box 1293 Albuquerque, New Mexico 87103

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DEVELOPMENT REVIEW BOARD
Action Sheet

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

February 29, 2012 9:00AM
MEMBERS:

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1003353**
12DRB-70035 MAJOR 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR
SIA)  THE TRAILS, LLC request(s) the referenced/ above
action(s) for **HERITAGE AT THE TRAILS UNIT 2**,
zoned RD, located on the east side of RAINBOW BLVD
NW between HEARTHSTONE RD NW and PASEO DEL
NORTE NW containing approximately 9.4494 acre(s). (C-
9) **DEFERRED TO 3/28/12 AT THE AGENT'S REQUEST.**
2. **Project# 1003354**
12DRB-70036 MAJOR - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR
SIA) THE TRAILS, LLC request(s) the referenced/ above
action(s) for **HERITAGE AT THE TRAILS Unit(s) 1**,
zoned RD, located on the west side of RAINBOW BLVD
NW between HEARTHSTONE RD NW and PASEO DEL
NORTE NW containing approximately 13.866 acre(s). (C-
9) **DEFERRED TO 3/28/12 AT THE AGENT'S REQUEST.**
3. **Project# 1004353**
12DRB-70037 MAJOR - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR
SIA) THE TRAILS, LLC request(s) the referenced/ above
action(s) for **SANTA FE 2 AT THE TRAILS UNIT 2**,
zoned R-D, located on the west side of OAKRIDGE ST
NW between TREE LINE AVE NW and WOODMONT
AVE NW containing approximately 17.0025 acre(s). (C-9)
DEFERRED TO 3/28/12 AT THE AGENT'S REQUEST.
4. **Project# 1004355**
12DRB-70034 MAJOR - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR
SIA) WILSON & COMPANY agent(s) for KB HOME NEW
MEXICO, INC. request(s) the referenced/ above action(s)
for **VISTA VIEJA Unit 2**, zoned RD, located on VISTA
DEL SOL DR NW between GO WEST RD NW and
SCENIC RD NW containing approximately 40.86 acre(s).
(D-9)**WITHDRAWN AT THE AGENT'S REQUEST.**
5. **Project# 1003359**
11DRB-70362 MAJOR - SDP FOR
BUILDING PERMIT  DAC ENTERPRISES, INC agent(s) for ALEEM KASSAM
request(s) the referenced/ above action(s) for all or a
portion of Lot(s) 8-10, Block 26, **NORTH
ALBUQUERQUE ACRES Tract A Unit B**, zoned IP/
SU-2 NC, located between EAGLE ROCK AVE NE and
MODESTO AVE NE, between SAN PEDRO DR NE and
LOUISIANA BLVD NE containing approximately 2.6853
acre(s). (C-18)[*Deferred from 1/18/12, 2/8/12*] **DEFERRED
TO 3/7/12 AT THE AGENT'S REQUEST.**

Unit 1



1003354

DEVELOPMENT/ PLAN REVIEW APPLICATION

- SUBDIVISION**
- Major subdivision action
 - Minor subdivision action
 - Vacation
 - Variance (Non-Zoning)
- SITE DEVELOPMENT PLAN**
- for Subdivision
 - for Building Permit
 - Administrative Amendment/Approval (AA)
 - IP Master Development Plan
 - Cert. of Appropriateness (LUCC)
- STORM DRAINAGE (Form D)**
- Storm Drainage Cost Allocation Plan
- & PLANNING**
- Annexation
 - V Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plan boundaries)
 - P Sector Plan (Phase I, II, III)
 - Amendment to Sector, Area, Facility or Comprehensive Plan
 - Text Amendment (Zoning Code/Sub Regs)
 - D Street Name Change (Local & Collector)
 - L A **APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): _____ PHONE: _____
ADDRESS: _____ FAX: _____
CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

APPLICANT: The Trails LLC PHONE: 505-761-9911
ADDRESS: 6330 Riverside Plaza Lane NW #100 FAX: 505-761-9922
CITY: Albuquerque STATE: NM ZIP: 87120 E-MAIL: rbeltramo@longfordgroup.com
Proprietary interest in site: Owner List all owners: The Trails, LLC

DESCRIPTION OF REQUEST: Extension of SIA

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Unit 1 (Lots 1-75) Block: _____ Unit: _____
Subdiv/Addn/TBKA: Heritage at The Trails, unit 1
Existing Zoning: R-D Proposed zoning: R-D MRGCD Map No _____
Zone Atlas page(s): C-9 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.):
Case Proj # 738484, 1003354, 06-623-00633, 08DRB-70155

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
No. of existing lots: 75 No. of proposed lots: 75 Total site area (acres): 13.8660
LOCATION OF PROPERTY BY STREETS: On or Near: Paseo Del Norte
Between: Universe Blvd and Woodmont Ave.

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 2/3/12
(Print Name) Rich Beltramo Applicant: Agent:

FOR OFFICIAL USE ONLY

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING	<u>12DRB-70036</u>	<u>SIA</u>		<u>\$50.00</u>
<input checked="" type="checkbox"/> All checklists are complete		<u>CME</u>		<u>\$20.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>ADV</u>		<u>\$75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input type="checkbox"/> AGIS copy has been sent				\$
<input type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$145.00</u>

Hearing date Feb 29, 2012
[Signature] 2-3-12 Project # 1003354
Staff signature & Date

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- ___ 5 Acres or more: Certificate of No Effect or Approval
- ___ Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- ___ Proposed Infrastructure List
- ___ Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- ___ Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Property owner's and City Surveyor's signature on the proposed plat
- ___ FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ **Signed** Pre-Annexation Agreement if Annexation required.
- ___ TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- ___ Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- ___ Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. *DRB*
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ List any original and/or related file numbers on the cover application
- ___ Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

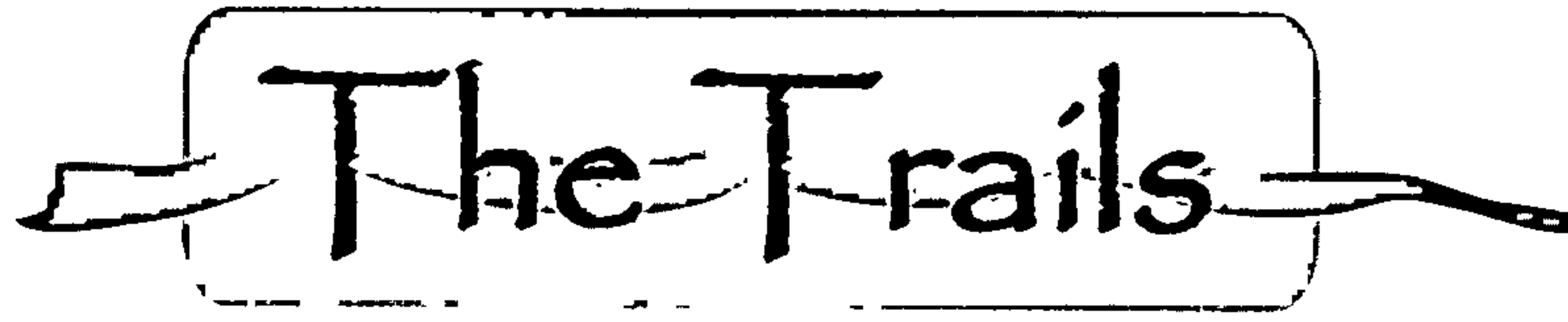
[Signature]
 Applicant name (print) ELIZABETH
 Applicant signature / date no 2/3/12



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
12 - DRB - 70036

[Signature] 2-3-12
 Planner signature / date
 Project # 1003354



February 3, 2012

Mr. Jack Cloud
Development Review Board
City Of Albuquerque
PO Box 1293
Albuquerque, New Mexico, 87103
[Hand Delivered]

Re: Extension of Subdivision Improvements Agreements
Unit 1 Heritage at The Trails
#/1003354, 06-DRB-00633, 08DRB-70155
COA Project# 738484

Dear Mr. Cloud:

Submitted for Development Review Board review and approval is this request for extension of the Subdivision Improvements Agreement (SIA) for Heritage at the Trails Unit 1. The Trails respectfully requests a 2 Year extension to the SIA.

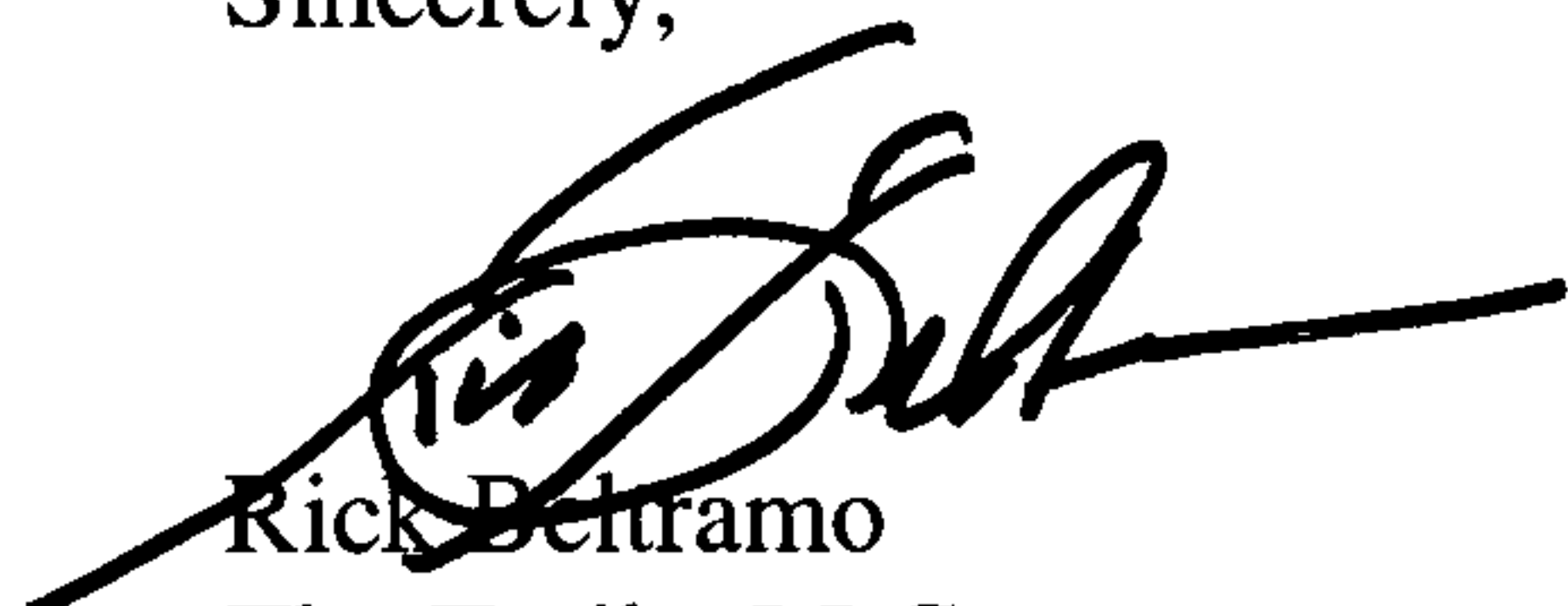
More specifically an extension is requested to the SIA for off-site roadway improvements to Paseo Del Norte Blvd. adjacent to Heritage at The Trails Unit 1.

The required improvements include the Paseo Del Norte/Rainbow intersection signal improvements. These improvements have been constructed. This request is to defer the construction of future eastbound lanes.

Enclosed is the following:

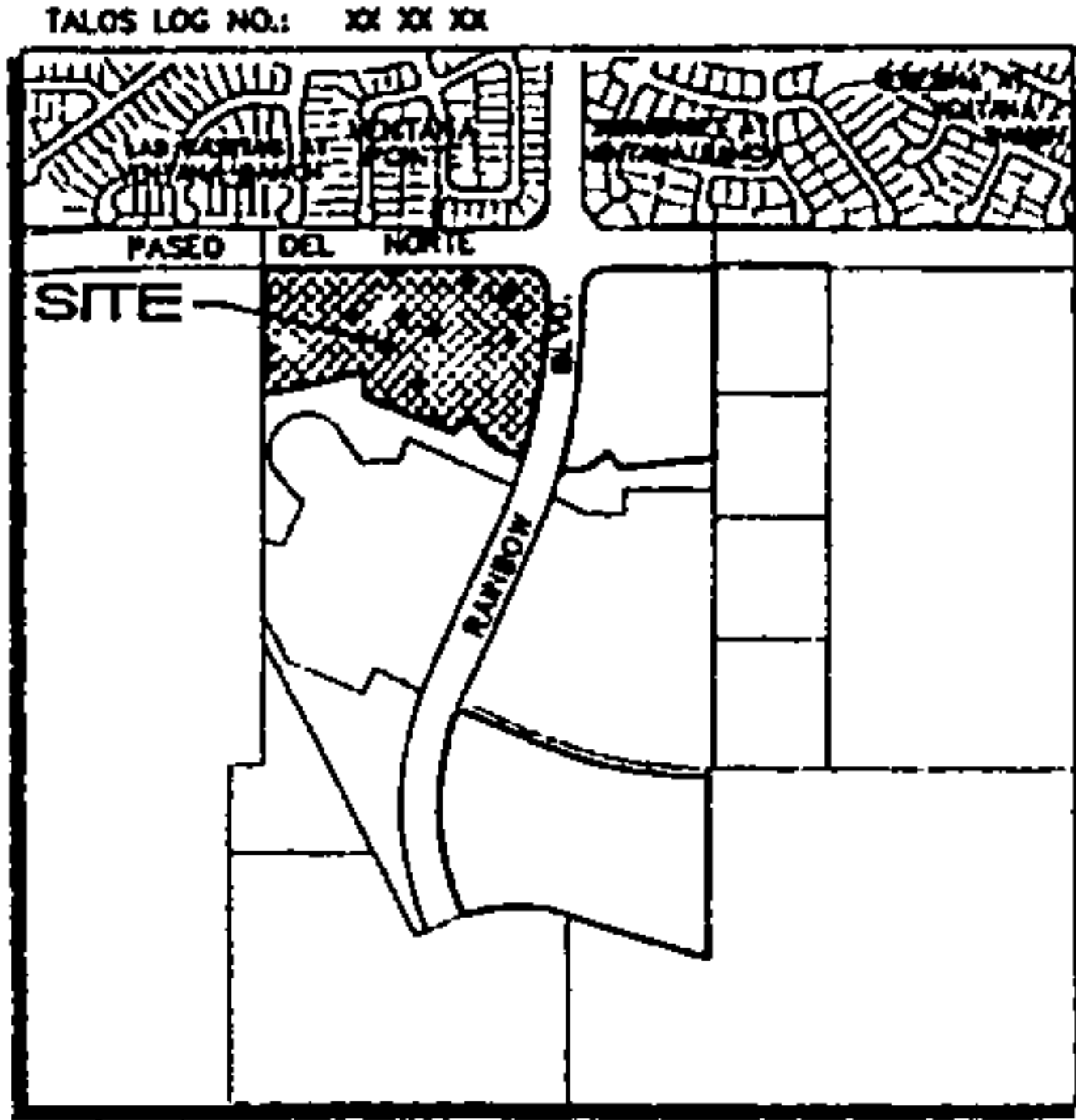
- Application to DRB
- Reduced copy of recorded plat
- Zone Atlas sheet showing project area
- Letter requesting DRB review and approval(this letter)
- Last Official DRB Notice of the approval
- Approved Infrastructure List
- Neighborhood Notification
- Application Fee

Sincerely,



Rick Beltramo
The Trails, LLC

Attachments



C-9-Z
VICINITY MAP
1"=750'

SUBMISSION DATA / NOTES

- Total Number of Existing Tracts: 1
- Total Number of Lots created: 75
- Total Number of Tracts created: 3
- Gross Subdivision Acreage: 13.8640 Ac.
- Total Mileage of Full Width Streets Created: 0.5982
- Bearings are New Mexico State Plane Grid Bearings (Central Zone)
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Books of boundary are the following plats (and documents) of record entitled:
- Field Survey performed on March, 2003.
- Title Report, None provided.
- This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.
- Books of boundary in from the plats of record entitled:
UNPLATTED LAND OF "VOLCANO SIX LIMITED"
TRACT OS-1 OPEN SPACE
TRACT OS-2 OPEN SPACE
UNPLATTED LAND OF "THE ARCHDEIOXIDE OF SANTA FE"
UNPLATTED LAND OF "PARADISE WEST INC."
PLAT OF "THE TRAILS, TRACT D"
(12-15-03, 03C-375)
PLAT OF "THE TRAILS, TRACT J"
(12-15-03, 03C-375)
PLAT OF "THE TRAILS, TRACT C"
(12-15-03, 03C-375)
all being records of Bernalillo County, New Mexico.
- Current Zoning: R-D
- City Standard Utility Note R.
"City of Albuquerque Water and Sanitary Sewer Service to XXXX must be verified and coordinated with the Public Works Department, City of Albuquerque."
- Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PTA's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "De Nel Disturb", "PLS 7719"
- All property corners to be set with 5/8" rebar with cap "ALS LS 7719"

ALDRICH LAND SURVEYING
P.O. BOX 30781, ALBU, N.M. 87180
505-864-1998

LEGAL DESCRIPTION

A tract of land situate within the Town of Alameda Grant, projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT A, THE TRAILS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 15, 2003 in Book 2003C, Page 375 and containing 13.8640 acres more or less.

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject tracts and the vacated easements into residential lots, to create 2 tracts (Tract A & Tract B) to dedicate public rights-of-way and to grant those easements necessary to serve the residential development.

FREE CONSENT AND DEDICATION

The subdivision shown herein is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown herein to the City of Albuquerque in fee simple with warranty covenants and do hereby grant all access utility and drainage easements shown herein including the right to construct, operate, inspect and maintain facilities thereon and all public utility easements shown herein for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

OWNER

HERITAGE AT THE TRAILS HOMEOWNERS ASSOCIATION

RICHARD BRESSAN Date
PRESIDENT

ACKNOWLEDGMENT

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO }
This instrument was acknowledged before me on _____, 2004, by Richard Bressan as President of Heritage at the Trails Homeowners Association, a New Mexico Non-Profit Corporation, on behalf of said Corporation.
My Commission Expires: _____

OWNER

CENTEX HOMES
NORMAN A. GREGORY Date
LAND DEVELOPMENT MANAGER

ACKNOWLEDGMENT

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO }
This instrument was acknowledged before me on _____, 2004, by Norman A. Gregory as Land Development Manager of Centex Homes, a X on behalf of said X.
My Commission Expires: _____

Notary Public

PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1
BEING A REPLAT OF TRACT A, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T. 11 N., R. 2 E., NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JUNE 2004

APPROVALS

APPROVALS	DATE
DRB PROJECT NO. 1803384 APPLICATION NO. Utility Approvals	
PNM ELECTRIC SERVICES DIVISION	
PNM GAS SERVICES DIVISION	
DNREST	
COMCAST	
NEW MEXICO UTILITIES City Approvals	
CITY SURVEYOR	
REAL PROPERTY DIVISION	
ENVIRONMENTAL HEALTH DEPARTMENT	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	
UTILITIES DEVELOPMENT	
PARKS AND RECREATION DEPARTMENT	
AMAFCA	
CITY ENGINEER	
DRB CHAIRPERSON, PLANNING DEPARTMENT	

SURVEYOR'S CERTIFICATION

I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown herein, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief.

Timothy Aldrich, P.S. No. 7719 Date
SHEET 1 OF 3

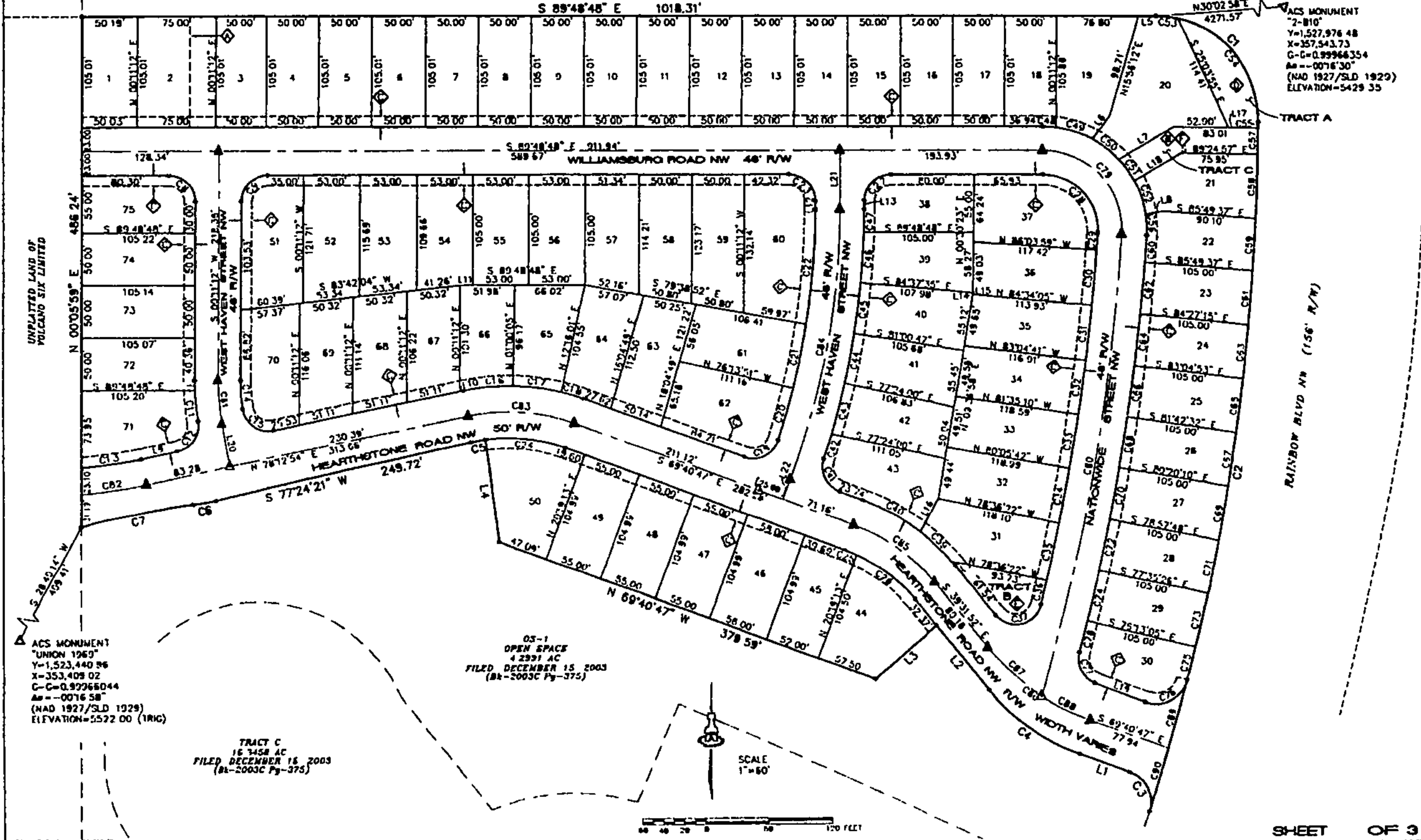
- NOTES:**
- SEE SHEET 3 FOR CURVE AND LINE TABLES.
 - SEE SHEET 3 FOR EASEMENT NOTES.
 - DISTANCES IN BRACKETS ARE MONUMENT DISTANCES.

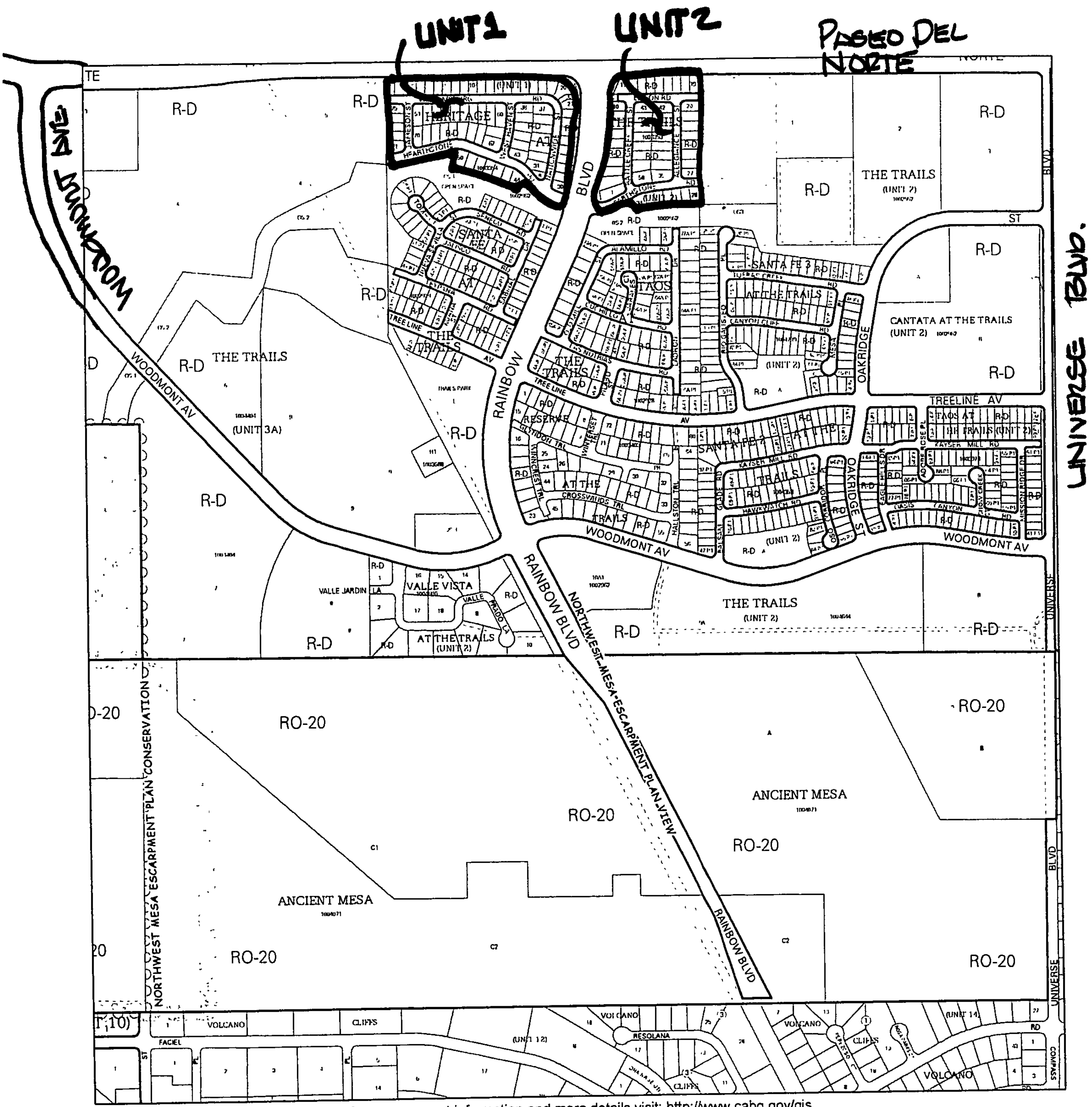
PASEO DEL NORTE NW (N/W VARIES) ASK ALDRICH

LEGEND

- FOUND 5/8" REBAR WITH CAP "LS 5978" (1"p)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (1"p)
- PROPERTY LINE
- ADJOINING PROPERTY LINE
- CENTERLINE MONUMENT

PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1
BEING A REPLAT OF TRACT A, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T. 11 N., R. 2 E., NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JUNE 2004





For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/4/2010

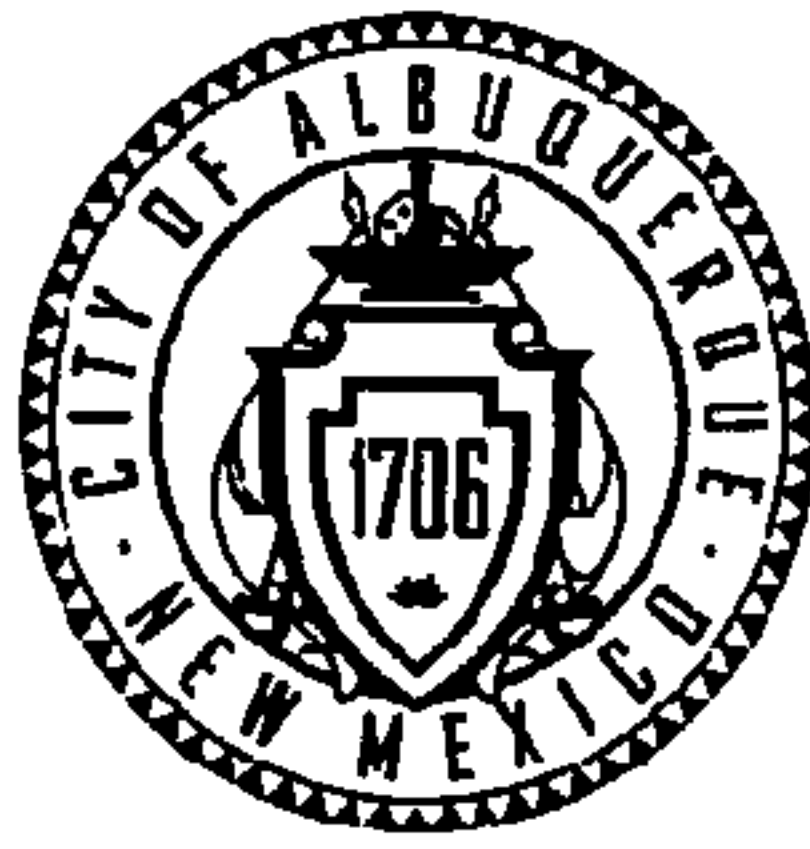
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

January 30, 2012

Rick Beltramo
The Trails, LLC
6330 Riverside Plaza Lane, Ste., 160/87120
Phone: 505-620-5322/Fax: 505-761-9922

Dear Rick

Thank you for your inquiry of **January 30, 2012** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – HERITAGE UNITS 1 & 2 AT THE TRAILS, LOCATED ON PASEO DEL NORTE NW BETWEEN UNIVERSE BOULEVARD NW AND WOODMONT AVENUE NW** zone map **C-9**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

VENTANA RANCH N.A. "R"

***Laura Horton**, 7224 Cascada NW/87114 710-0646 (c)
Kevin Patton, 10422 Borrego Creek Dr. NW/87114 289-3294 (h)

VOLCANO TRAILS N.A. "R"

***William Ek**, 8931 Winncrest Trail NW/87114 944-5525 (h)
Tim Goloversic, 7160 Tree Line Ave. NW/87114 554-5136 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck
Acting Division Manager
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

planningnaform(01/03/12)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **01/30/12** Time Entered: **4:05 p.m.** ONC Rep. Initials: **siw**



February 2, 2012

Mr. Kevin Patton
Representative of Ventana Ranch N.A.
10422 Borrego Creek Dr. NW
Albuquerque, New Mexico, 87114

Re: Extension of Subdivision Improvements Agreements
Units 1 and 2 of Heritage at The Trails

Dear Mr. Patton:

The city of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Ventana Ranch Neighborhood Association.

This letter notifies you that The Trails, LLC is requesting a 2 year extension of the Subdivision Improvements Agreement. More specifically the extension is requested for Paseo Del Norte adjacent to Units 1 and 2 of Heritage at The Trails.

Should you need additional information or have any questions please call me at 620-5322.

Sincerely,

Rick Beltramo
RB

Rick Beltramo
The Trails, LLC

The Trails

February 2, 2012

Ms. Laura Horton
Representative of Ventana Ranch N.A.
7224 Cascada NW
Albuquerque, New Mexico, 87114

Re: Extension of Subdivision Improvements Agreements
Units 1 and 2 of Heritage at The Trails

Dear Ms. Horton:

The city of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Ventana Ranch Neighborhood Association.

This letter notifies you that The Trails, LLC is requesting a 2 year extension of the Subdivision Improvements Agreement. More specifically the extension is requested for Paseo Del Norte adjacent to Units 1 and 2 of Heritage at The Trails.

Should you need additional information or have any questions please call me at 620-5322.

Sincerely,

Rick Beltramo
RLT

Rick Beltramo
The Trails, LLC

The Trails

February 2, 2012

Mr. William Ek
Representative of Volcano Trails, N.A.
8931 Winncrest Trail NW
Albuquerque, New Mexico, 87114

Re: Extension of Subdivision Improvements Agreements
Units 1 and 2 of Heritage at The Trails

Dear Mr. Ek:

The city of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Volcano Trails Neighborhood Association.

This letter notifies you that The Trails, LLC is requesting a 2 year extension of the Subdivision Improvements Agreement. More specifically the extension is requested for Paseo Del Norte adjacent to Units 1 and 2 of Heritage at The Trails.

Should you need additional information or have any questions please call me at 620-5322.

Sincerely,

Rick Beltramo
SB

Rick Beltramo
The Trails, LLC

The Trails

February 2, 2012

Mr. Tim Goloversic
Representative of Volcano Trails, N.A.
7160 Tree Line Ave. NW
Albuquerque, New Mexico, 87114

Re: Extension of Subdivision Improvements Agreements
Units 1 and 2 of Heritage at The Trails

Dear Mr. Goloversic:

The city of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Volcano Trails Neighborhood Association.

This letter notifies you that The Trails, LLC is requesting a 2 year extension of the Subdivision Improvements Agreement. More specifically the extension is requested for Paseo Del Norte adjacent to Units 1 and 2 of Heritage at The Trails.

Should you need additional information or have any questions please call me at 620-5322.

Sincerely,

Rick Beltramo
RH

Rick Beltramo
The Trails, LLC

U.S. Postal ServiceTM
CERTIFIED MAILTM RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage \$

Certified Fee

Return Receipt Fee (Endorsement Required)

Restricted Delivery Fee (Endorsement Required)

Total Postage & Fees \$

Postmark Here
 FEB 02 2012
 PINO STATION

Sent To *Tim Colvard*
 Street, Apt. No., or PO Box No. *7140 Tree Trce NW*
 City, State, ZIP+4 *ALB NM 87114*

PS Form 3800, August 2006

See Reverse for Instructions

7008 0150 0002 7110 3078

U.S. Postal ServiceTM
CERTIFIED MAILTM RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage \$

Certified Fee

Return Receipt Fee (Endorsement Required)

Restricted Delivery Fee (Endorsement Required)

Total Postage & Fees \$

Postmark Here
 FEB 02 2012

Sent To *William Eckert*
 Street, Apt. No., or PO Box No. *8931 Wincrest Tr. NW*
 City, State, ZIP+4 *ALB NM 87114*

PS Form 3800, August 2006

See Reverse for Instructions

7008 0150 0002 7110 3085

U.S. Postal ServiceTM
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 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage \$

Certified Fee

Return Receipt Fee (Endorsement Required)

Restricted Delivery Fee (Endorsement Required)

Total Postage & Fees \$

Postmark Here
 FEB 02 2012

Sent To *Laura Horton*
 Street, Apt. No., or PO Box No. *7140 Tree Trce NW*
 City, State, ZIP+4 *ALB NM 87114*

PS Form 3800, August 2006

See Reverse for Instructions

7008 0150 0002 7110 3054

U.S. Postal ServiceTM
CERTIFIED MAILTM RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

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OFFICIAL USE

Postage \$

Certified Fee

Return Receipt Fee (Endorsement Required)

Restricted Delivery Fee (Endorsement Required)

Total Postage & Fees \$

Postmark Here
 FEB 02 2012

Sent To *William Eckert*
 Street, Apt. No., or PO Box No. *8931 Wincrest Tr. NW*
 City, State, ZIP+4 *ALB NM 87114*

PS Form 3800, August 2006

See Reverse for Instructions

7008 0150 0002 7110 3061

U.S. Postal ServiceTM
CERTIFIED MAILTM RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage \$

Certified Fee

Return Receipt Fee (Endorsement Required)

Restricted Delivery Fee (Endorsement Required)

Total Postage & Fees \$

Postmark Here
 FEB 02 2012

Sent To *Kevin Patton*
 Street, Apt. No., or PO Box No. *10422 Borrego Creek Dr. NW*
 City, State, ZIP+4 *ALB NM 87114*

PS Form 3800, August 2006

See Reverse for Instructions

7008 0150 0002 7110 3047

U.S. Postal ServiceTM
CERTIFIED MAILTM RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage \$

Certified Fee

Return Receipt Fee (Endorsement Required)

Restricted Delivery Fee (Endorsement Required)

Total Postage & Fees \$

Postmark Here
 FEB 02 2012

Sent To *Tim Colvard*
 Street, Apt. No., or PO Box No. *7140 Tree Trce NW*
 City, State, ZIP+4 *ALB NM 87114*

PS Form 3800, August 2006

See Reverse for Instructions

7008 0150 0002 7110 3052

U.S. Postal ServiceTM
CERTIFIED MAILTM RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage \$

Certified Fee

Return Receipt Fee (Endorsement Required)

Restricted Delivery Fee (Endorsement Required)

Total Postage & Fees \$

Postmark Here
 FEB 02 2012

Sent To *William Eckert*
 Street, Apt. No., or PO Box No. *8931 Wincrest Tr. NW*
 City, State, ZIP+4 *ALB NM 87114*

PS Form 3800, August 2006

See Reverse for Instructions

7008 0150 0002 7110 3061

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from Feb. 14, 2012 To Feb. 29, 2012

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] (Applicant or Agent) 2/3/12 (Date)

I issued 2 signs for this application, 2-3-12 (Date) [Signature] (Staff Member)

DRB PROJECT NUMBER: 1003354



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 16, 2010

Project# 1003354

10DRB-70144 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR SIA)

LONGFORD HOMES request(s) the referenced/ above action(s) for all or a portion of **HERITAGE AT THE TRAILS Unit(s) 1**, zoned RD, located on the west side of RAINBOW BLVD NW between HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 13.8660 acre(s). (B-9, C-9)

At the June 16, 2010 meeting, the Development Review Board made a determination to recommend approval of the referenced extension of the Subdivision Improvements Agreement to City Council.

If you wish to appeal this decision, you must do so by July 1, 2010, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, AICP, DRB Chair

Cc: Longford Homes – 3077 East Warm Springs Rd – Las Vegas, NV 89120
Marilyn Maldonado
File

Current DRC Project Number

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

HERITAGE AT THE TRAILS, UNIT 1

PROPOSED NAME OF PLAT

TRACT A, THE TRAILS

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Submitted: March 24, 2004
Date Site Plan Approved: _____
Date Preliminary Plat Approved: 4/21/04
Date Preliminary Plat Expires: 4/21/05
DRB Project No.: 1005354
DRB Application No.: 04DRB-00457

⚠ 6/29/04

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Const Engineer
735481	24' F-F	Residential Paving	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
	25' F-F	Residential Paving	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/
	28' F-F	Residential Paving	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
	25' F-F	Residential Paving	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
	32' F-F	Residential Paving	Hearthstone Road	West Property Line	Nationwide Street Williamsburg Road	/	/	/
	50' F-F (incl Median)	Residential Paving	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/
735081	31' F-F (half of full width)	Arterial Paving (5)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
735481		Modified Procedure (11) - SEE NOTE 9	Paseo del Norte			/	/	/
738484	1300 31' F-F (half of full width)	Arterial Paving (11)	Paseo del Norte	W. Prop. Line	Rainbow Blvd	/	/	/
738484	Sid. or Mntbl	Curb and Gutter (5)	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
	Sid. or Mntbl	Curb and Gutter (5)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/

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 Page: 7 of 17
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ORIGINAL

SIA Sequence #	COA DRC Project #											Private Inspector	City Inspector	City Const Engineer
		Sid. or Medial	Curb and Gutter (5)	Jamison Street	Williamsburg Road	Hearthstone Road	/	/	/	/	/	/	/	/
		Sid. or Medial	Curb and Gutter (5)	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/	/	/	/	/	/
		Sid. or Medial	Curb and Gutter (5)	Hearthstone Road	West Property Line	Rainbow Blvd.	/	/	/	/	/	/	/	/
		Median	Curb and Gutter	Hearthstone Road	E. of Nationwide Street	Rainbow Blvd.	/	/	/	/	/	/	/	/
		Sid.	Curb and Gutter (3) (West Side Only)	Rainbow Blvd	Parco del Norte	South Property Line	/	/	/	/	/	/	/	/
		Median	Curb and Gutter (5) (East Side Only)	Rainbow Blvd	Parco del Norte	South Property Line	/	/	/	/	/	/	/	/
		Median	PCC Sidewalk (1) (Both Sides)	Williamsburg Road	West Property Line	Nationwide Street	/	/	/	/	/	/	/	/
		Median	PCC Sidewalk (1) (Both Sides)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/	/	/	/	/	/
		Median	PCC Sidewalk (1) (Both Sides)	Jamison Street	Williamsburg Road	Hearthstone Road	/	/	/	/	/	/	/	/
		Median	PCC Sidewalk (1) (Both Sides)	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/	/	/	/	/	/
		Median	PCC Sidewalk (1) (North Side Only)	Hearthstone Road	West Property Line	Nationwide Street	/	/	/	/	/	/	/	/
		Median	PCC Sidewalk (1) (North Side Only)	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/	/	/	/	/	/
		Median	PCC Sidewalk (1) (South Side Only)	Hearthstone Road	West Pl. - Lot 50	East Pl. - Lot 44	/	/	/	/	/	/	/	/
		Median	Asphalt Trail (5)	Rainbow Blvd	Parco del Norte	South Property Line	/	/	/	/	/	/	/	/
		10'	Asphalt Trail (5)	Rainbow Blvd	Parco del Norte	South Property Line	/	/	/	/	/	/	/	/
		5'	Waterline	Public Easement on Lot 2	Parco del Norte	Williamsburg Road	/	/	/	/	/	/	/	/
		5'	Waterline	Williamsburg Road	West Property Line	Nationwide Street	/	/	/	/	/	/	/	/
		5'	Waterline	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/	/	/	/	/	/

Map 2404 Tract A 246

PAGE 2 OF 5

4/1/2004

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 88/31/2884 82 88
 Pg 3288
 of 17

ORIGINAL

SIA Sequence #	COA DRC Project #					Private Inspector	City Inspector	City Const Engineer	
		8"	Waterline	Hearthstone Road	West Property Line	Rainbow Blvd.	/	/	/
		8"	Waterline	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		8"	Waterline	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		20"	Waterline (S)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
							/	/	/
		8"	SAS	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		8"	SAS	Hearthstone Road	West Property Line	Lot 44	/	/	/
		8"	SAS	Jameson Street	Lot 70 - South End	Williamsburg Road	/	/	/
		8"	SAS	West Haven Street	Hearthstone Road	Williamsburg Road	/	/	/
		8"	SAS	Nationwide Street	Williamsburg Road	Lot 30	/	/	/
		8"	SAS	Lot 21 Easement	Williamsburg Road	Rainbow Blvd.	/	/	/
		8" - 12"	SAS (S)	Tracts B, D, F, & J	Lot 21 Easement	Universe Blvd	/	/	/
		750 gpm	Temp SAS Lift Station (S)	Tract J	Universe Blvd		/	/	/
		8"	Temporary SAS Force Main (S)	Universe Blvd	Tree Line Avenue	Paseo del Norte	/	/	/
							/	/	/
		30"	RCP Storm Drain	Lot 2 Easement	Williamsburg Road	Paseo del Norte	/	/	/
16-1	738484	36" - 42"	RCP Storm Drain	Paseo Del Norte	Lot 2	Rainbow Blvd.	/	/	/
		24"	RCP Storm Drain	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/

HARRY HERRERA
 2004122814
 6137188
 Page 9 of 17
 89/31/2804 82:889
 BK-883 Pg-2888
 R 41.88
 Berrin, Co. RITE

ORIGINAL

SIA Sequence #	COA ORC Project #	30'	RCP Storm Drain	Lot 21 Easement	Williamsbury Road	Rainbow Blvd.	Private Inspector	City Inspector	City Const Engineer
		30'	RCP Storm Drain	Williamsbury Road	West Property Line	Lot 21 Easement			
		24'	RCP Storm Drain	Tract OS-1	Hearstone Road	Santa Fe at the Trails			
		24'	RCP Storm Drain	Rainbow Blvd (at Hearstone Road)	West right-of-way line	East right-of-way line			
		30'-48"	RCP Storm Drain	Rainbow Blvd (at Lot 21 Easement)	West right-of-way line	East right-of-way line			
		6.46 Ac-Ft	Retention Pond on unplatted land east of Tract B, The Trails. w/ easmt, Covenant & Agreement, and emergency overflow						
		0.77 Ac-Ft	Temporary Retention Pond on property west of Heritage at the Trails, Unit 1. w/ easmt, Covenant & Agreement, and emergency overflow \$250,000 drainage & mitigation contribution by Procedure's modified Temporary Storm Drain Pump Station & Force-Main (40)						
			Perimeter walls Landscaping water meter						

2004123614
 6137109
 Page: 18 of 17
 08/31/2004 02:59P
 BX-883 Pg-3288

ORIGINAL

NOTES:

1. Sidewalks to be deferred where noted.
2. Residential lighting per DPM.
3. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved plan.
4. All water to include fire hydrants, valves, and appurtenances per DPM.
5. Storm drain sizes are subject to change per final DRC determination.
6. Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.
7. Not used
8. Adjacent portions of Rainbow Blvd to be built by a separate project. (DRB Project#1002962, CPN#730081) Rainbow Blvd not financially guaranteed with this project.
9. Offsite Traffic Mitigation Fees of \$565 per lot to be paid by Modified Procedure "C" (non-work order): \$565/lot x 75 lots = \$42,375



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8137199
Page: 11 of 17
88/31/2894 82-89P
Blk-883 Pg-3288

Mary Herrera Bern. Co. ASRE R 41.00

10. ~~Includes removal and replacement of existing asphalt. To be deferred. Financial Guaranty amount to be reviewed and approved by the City of Albuquerque Hydrology Planning Department in addition to the standard DRG procedure review.~~
11. ~~by Modified Procedure "C" (non-work order) is an option (concurrence from AMD required).~~
12. Trail to be built by a separate project

AGENT/OWNER		DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Genevieve Donart, PE NAME (print)		<div style="display: flex; justify-content: space-between;"> <div> <p><i>Sharon Watson</i> 4/21/04 DRB CHAIR - date</p> </div> <div> <p><i>Christina Dandoul</i> 4/21/04 PARKS & GENERAL SERVICES - date</p> </div> </div>		
Isaacson & Arman, P.A. FIRM		<div style="display: flex; justify-content: space-between;"> <div> <p><i>[Signature]</i> 4-21-04 TRANSPORTATION DEVELOPMENT - date</p> </div> <div> <p>AMAFCA - date</p> </div> </div>		
<p><i>Genevieve Donart</i> 4/21/04 SIGNATURE - date</p>		<div style="display: flex; justify-content: space-between;"> <div> <p><i>Roger Alvarado</i> 4/21/04 UTILITY DEVELOPMENT - date</p> </div> <div> <p>- date</p> </div> </div>		
		<div style="display: flex; justify-content: space-between;"> <div> <p><i>Brad L. Bigham</i> 4-21-04 CITY ENGINEER - date</p> </div> <div> <p>- date</p> </div> </div>		

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRG CHAIR	USER DEPARTMENT	AGENT/OWNER
1	6/24/04	<i>[Signature]</i>	<i>Brad Bigham</i>	<i>Genevieve Donart</i>

13. Landscape Maintenance Agreement between City and the H.O.A. is required for landscaping in the public right-of-way.



DEVELOPER INQUIRY SHEET

To obtain NA/HOA Contact Information for Application Submittal to the Planning Department.

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 -OR- you can e-mail the Zone Map and Developer Inquiry Sheet to: Stephani Winklepleck, e-mail: swinklepleck@caba.gov. ONC will need the following information **BEFORE** NA/HOA Contact Information will be released to the Applicant/Agent on any Project being presented to the Planning Department. If you have any questions, please feel free to contact our office at (505) 924-3914.

Zone Map and this Developer Inquiry Sheet MUST be provided with request.
Please mark/hatch Zone Map where Property is located.

Your Developer Inquiry is for the following:

- Cell Tower Submittal: Free-Standing Tower -OR- Concealed Tower
- EPC Submittal DRB Submittal LUCC Submittal Liquor Submittal
- Administrative Amendments (AA's) Submittal City Project Submittal

CONTACT NAME: Rick Beltramo

COMPANY NAME: The Trails, LLC

ADDRESS/ZIP: 6330 Riverside Plaza Lane, Ste. 160 / 87120

PHONE: 620-5322 FAX: 761-9922

LEGAL DESCRIPTION INFORMATION

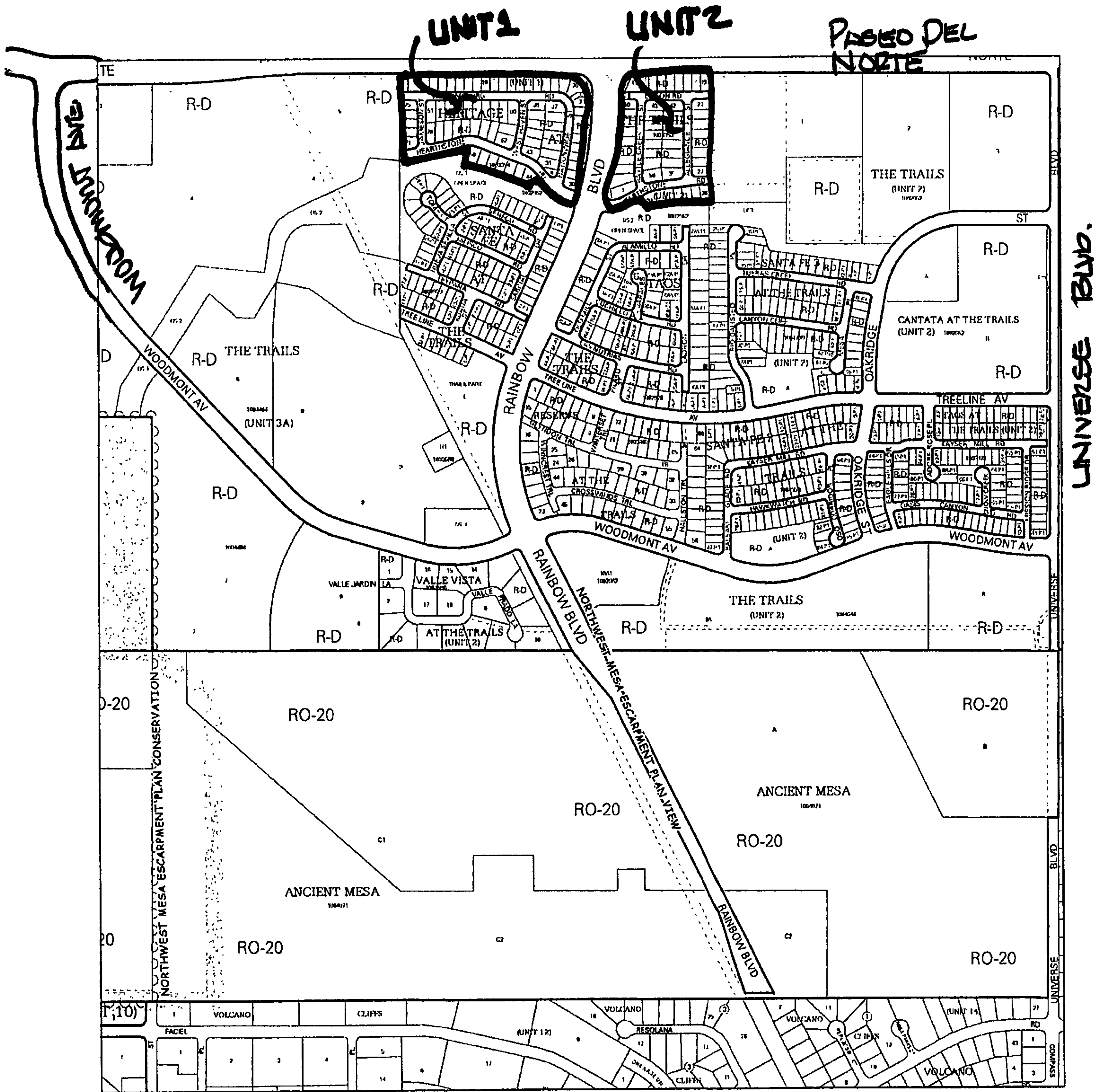
LEGAL DESCRIPTION OF THE SUBJECT SITE FOR THIS PROJECT SUBMITTAL IS DESCRIBED BELOW (i.e., Lot A, Block A, of the For Your Information Subdivision):

Heritage Units 1+2 at The Trails

LOCATED ON Paseo Del Norte
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN Universe Blvd. AND Woodmont Ave.
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE (C-9).



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST

Meeting Date: February 2 2011

Project# 1004353

Zone Atlas Page: C-9

App# 11DRB 70004

Notification Radius: 250'

Cross Reference and Location: Oakridge St NW Between

Tree Line Ave and Woodmont

Applicant: Longford Homes

3077 E Warm Springs Rd

Las Vegas NV 89120

Agent: SAME

Special Instructions:

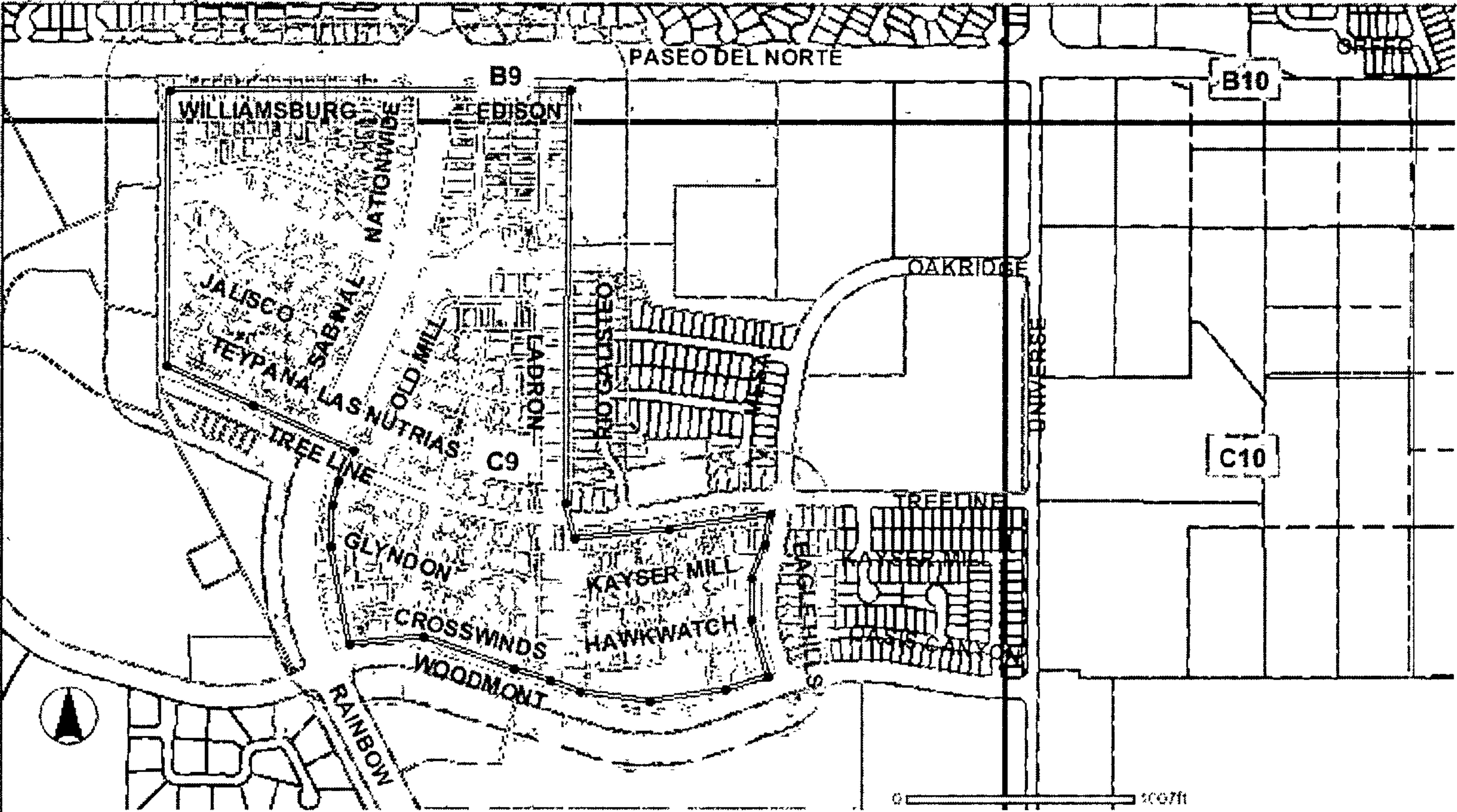
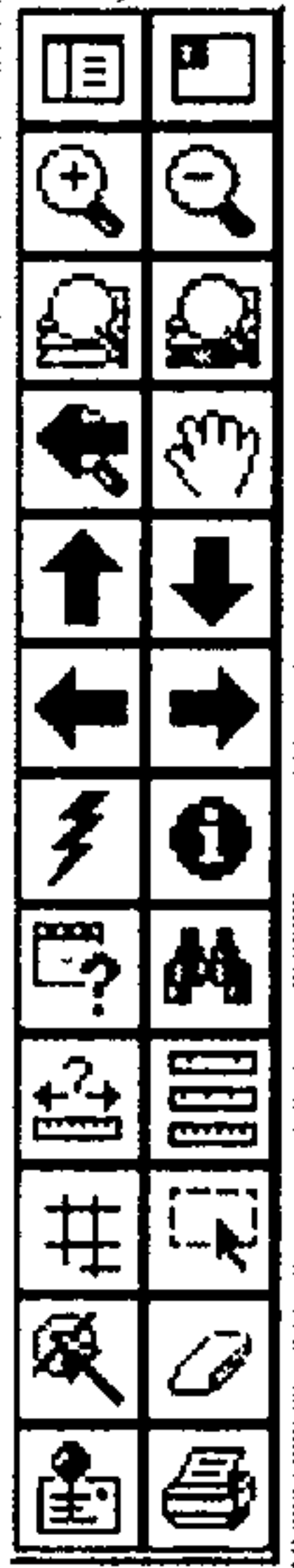
Notice must be mailed from the
City's 15 day's prior to the meeting.

Date Mailed: 1-14-11

Signature:



CITY OF ALBUQUERQUE
www.cabq.gov
ALBUQUERQUE GIS DATA WEBSITE



- LAYERS**
- STREETS
 - BASEMAP
 - PARCELS
 - LOT NUMBERS
 - METRO ADDRESS
 - ZONING
 - OWNERSHIP
 - 2FT CONTOUR
 - ADDRESS POINTS
 - LANDUSE
 - EASEMENTS
 - INFRASTRUCTURE
 - TRANSIT/SUNTRAN
 - BOUNDARIES
 - MUNICIPAL LIMITS
 - ZONE GRID
 - NEIGHBORHOODS
 - METRO REDEVELC
 - DASZ
 - DESIGN OVERLAY
 - POLICE BEATS
 - COUNCIL
 - PARKS
 - PETROGLYPH MNT
 - BOSQUE SECTORS
 - OPENSACE
 - COMP PLAN
 - AREA PLANS
 - SECTOR PLANS
 - MASTER DEVELOP
 - SENATE DISTRICT
 - REP. DISTRICTS
 - PLANNING AREAS
 - HISTORIC ZONES
 - CORRIDORS
 - ZIPCODES
 - POVERTY POCKET
 - 2000 CENSUS TRA
 - 2000 CENSUS BLO

OWNERSHIP

Rec	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIPCODE	P
601	100906426838421818	GONZALEZ CESAR A SR & JENNIFER S	7136 CUCHILLO RD NW	ALBUQUERQUE	NM	87114	R
602	100906426629422105	GOLDEN ROBERT J & LINDA L	7131 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R
603	100906428521222202	ELEISCHER ION & REMELY	DO BOY 67246	ALBUQUERQUE	NM	87102	

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Rec	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP	PROP CLASS	TAX DISTRICT	LEGAL	ACRES
1	1 00906E+17	MURAYOSHI KIMIKASU	7219 SENECA RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 96-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.10323766	
2	1 00906E+17	CHAVEZ JOSE M & GONZALEZ JULISSA	7223 TREE LINE AVE NW	ALBUQUERQUE	NM	87114R	A1A	LT 20-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1123 AC	0.11122593	
3	1 00907E+17	LEWIS JOSHUA S & KIER L VANDERFORD	7208 GROS VENTRE CT NW	ALBUQUERQUE	NM	87114R	A1A	LT 38-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1200 AC M/L OR 5 227 SF M/L	0.11987585	
4	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	A1A	LT 7-P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1618 AC	0.16104053	
5	1 00906E+17	SMITH GABRIEL M	9104 JARALES CT NW	ALBUQUERQUE	NM	87114R	A1A	LT 47A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1448 AC	0.14497626	
6	1 00906E+17	AVILA ANTONIO M & YASELYN	829 RIDGEHILL CT	BURLESON	TX	76028R	A1A	LT 17 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT AT THE TRAILS CONT 1205 AC)	0.12044801	
7	1 00906E+17	TRUJILLO ERIC J & USA D	9305 ALLEGANCE ST NW	ALBUQUERQUE	NM	87114R	A1A	LT 36 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 8 THE TRAILS CONT 1625 AC)	0.16242062	
8	1 00906E+17	THOMPSON NASHAUM M	7008 HAWKWATCH RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 75-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1098 AC	0.10977019	
9	1 00906E+17	BLASCHKE JARED P & CHRISTI A	9143 RIO GALISTEO PL NW	ALBUQUERQUE	NM	87114R	A1A	LT 24-P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1147 AC	0.11468229	
10	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	A1A	LT 15A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1604 AC	0.16028401	
11	1 00906E+17	GARVER PHILIP D & QUENDY L	9100 SABINAL DR NW	ALBUQUERQUE	NM	87114R	A1A	LT 12-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1331 AC	0.13277376	
12	1 00906E+17	D R HORTON INC	4400 B ALAMEDA NE	ALBUQUERQUE	NM	87113V	A1A	LT 53A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1498 AC	0.14953051	
13	1 00906E+17	LENTZ WALLACE W	7301 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 64 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT AT THE TRAILS CONT 1205 AC)	0.12212515	
14	1 00906E+17	MOUNT ROBERT A & MADELEINE J TRUSTEES MOUNT FR	6575 LOWER RIDGE RD	SANTA ROSA	CA	95404R	A1A	LT 52-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1351 AC	0.13499098	
15	1 00906E+17	SANCHEZ SIMON & YVONNE	7231 WILLIAMSBURG RD NE	ALBUQUERQUE	NM	87120R	A1A	LT 13 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT AT THE TRAILS CONT 1205 AC)	0.12045203	
16	1 00906E+17	FEDERAL NATL MTG ASSN	PO BOX 690043	DALLAS	TX	75265R	A1A	LT 17-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1137 AC	0.11345735	
17	1 00906E+17	LOVE DAMON A & LORENA G	7308 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 55 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT AT THE TRAILS CONT 1278 AC)	0.12766083	
18	1 00906E+17	TAOS AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	A1A	LT 78-P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 0938 AC	0.09378766	
19	1 00906E+17	CALDERON JUAN M & MERCEDES J	9320 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114R	A1A	LT 45 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 8 THE TRAILS CONT 1390 AC)	0.1389518	
20	1 00906E+17	ARTHUR BRENDON T	7031 TREE LINE AVE NW	ALBUQUERQUE	NM	87114R	A1A	LT 1 P1-G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1422 AC	0.14208884	
21	1 00906E+17	TAOS AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	A1A	LT 79-P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 0938 AC	0.09378764	
22	1 00906E+17	BOUNDS LINDSAY & AARON	9101 NUEVA SEVILLA ST NW	ALBUQUERQUE	NM	87114R	A1A	LT 48-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1210 AC	0.12099591	
23	1 00906E+17	PROVENCIO DANIEL M & DESIREE R	8928 OSO CORRIDOR PL NW	ALBUQUERQUE	NM	87114R	A1A	LT 92-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1131 AC	0.1132067	
24	1 00906E+17	BAID CHANDRA P	33017 CALISTOGA ST	UNION CITY	CA	94587R	A1A	LT 71-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.10324382	
25	1 00906E+17	SCHMIDLEY JAMES III & DAWN	9319 NATIONWIDE ST NW	ALBUQUERQUE	NM	87120R	A1A	LT 34 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT AT THE TRAILS CONT 1382 AC)	0.13791555	
26	1 00906E+17	D R HORTON INC	4400 B ALAMEDA NE	ALBUQUERQUE	NM	87113V	A1A	LT 56A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 2020 AC	0.20173342	
27	1 00906E+17	KAMAL MOHAMMAD R	15242 WINESPRINGS CT	SAN DIEGO	CA	92127R	A1A	LT 65-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1038 AC	0.10381794	
28	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	A1A	LT 58 P1-G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1284 AC	0.12858402	
29	1 00906E+17	ENNIS MERLIN M & DOROTHY R	9001 CORONA AVE NE	ALBUQUERQUE	NM	87122R	A1A	LT 25 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT AT THE TRAILS CONT 1224 AC)	0.12232384	
30	1 00906E+17	TAOS AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	A1A	LT 18-P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 1132 AC	0.11315346	
31	1 00906E+17	LEWIS RONALD & MAGAN	7215 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 17 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT AT THE TRAILS CONT 1205 AC)	0.12045153	
32	1 00907E+17	LUJAN MARY L	9400 SANTALA PL NW	ALBUQUERQUE	NM	87114R	A1A	LT 16-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1437 AC M/L OR 6 261 SF M/L	0.14419034	
33	1 00906E+17	WURSTER GREG	7304 TONE CT NW	ALBUQUERQUE	NM	87114R	A1A	LT 53-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1470 AC	0.14710631	
34	1 00906E+17	BOTTONE EUGENIO	1409 MANCHESTER RD	SAN MINAS	CA	91773R	A1A	LT 46-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1040 AC	0.10351546	
35	1 00906E+17	MARTINEZ SANDRA J	9304 ALLEGANCE ST NW	ALBUQUERQUE	NM	87114R	A1A	LT 26 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 8 THE TRAILS CONT 1212 AC)	0.12108029	

Rec	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP	PROP CLASS	TAX DISTRICT	LEGAL	ACRES
36	1 00906E+17	KENNEDY JOSEPH & JULIET	1087 MAXEY DR	SAN JOSE	CA	95132	R	A1A	LT 50-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0 1032344
37	1 00906E+17	LUJAN BERNARD & CAROLYN R MARKLAND	9312 WEST HAVEN ST NW	ALBUQUERQUE	NM	87120	R	A1A	LT 43 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1486 AC	0 14857038
38	1 00906E+17	D R HORTON INC	4400 B ALAMEDA NE	ALBUQUERQUE	NM	87113	V	A1A	LT 79- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1318 AC	0 13175225
39	1 00906E+17	THE TRAILS LLC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	TR OS- 3 BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS G & J THE TRAILS AND UNPLATTED DEED PARCELS)CONT 2 9758 AC	2 9679047
40	1 00906E+17	TORRES ANGEL A & AUDRA L	8908 HALLSTON TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 58 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1515 AC	0 15141551
41	1 00906E+17	SCHINDLER PATRICIA TR SCHINDLER RVT	7308 TOME CT NW	ALBUQUERQUE	NM	87114	R	A1A	LT 54-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1379 AC	0 13783767
42	1 00906E+17	MARTINEZ JOANA M	7216 TEYPANA RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 17-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0 10323161
43	1 00906E+17	BUCKNER BRANDON L & JESSICA D	7112 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 52 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1515 AC	0 15142083
44	1 00906E+17	D R HORTON INC	4400 ALAMEDA BLVD NE B	ALBUQUERQUE	NM	87113	V	A1A	LT 35A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1385 AC	0 13834898
45	1 00906E+17	ROMERO NICHOLAS R & LEAH K	9324 ALLEGIANCE ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 21 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT B T HE TRAILS CONT 1328 AC	0 13268644
46	1 00906E+17	TAOS AT THE TRAILS, INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 81- P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2)CONT 0938 AC	0 09378624
47	1 00906E+17	SAIZ FRED P	8919 BALSAM GLADE RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 43- P1CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1085 AC	0 10807147
48	1 00907E+17	SCHUMAN MICHAEL P & S KARLENE	9401 MONTARA CT NW	ALBUQUERQUE	NM	87114	R	A1A	LT 18 PLAT OF SOMMERSET SUBD AT VENTANA RANCH (REPL OF TRACT 2 VENTANA RANCH) CONT 0 2868 AC M/L OR 12 496 SF M/L	0 28831002
49	1 00906E+17	ODOMS JAMES T & DEORA TRUSTEES ODOMS LVT	7319 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 68 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1247 AC	0 1246627
50	1 00906E+17	ROCHE GABRIEL R & KELLIE SALAZAR	9315 ALLEGIANCE ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 39 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT B T HE TRAILS CONT 1396 AC	0 13953443
51	1 00906E+17	GARCIA ADAM A & SONYA M PEREA	7004 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 53- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1100 AC	0 10996937
52	1 00906E+17	TAOS AT THE TRAILS, INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 22- P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2)CONT 0946 AC	0 09458664
53	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 61- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1310 AC	0 13119972
54	1 00906E+17	SHERIDAN MICHAEL J & SANDRA J	9309 JAMESON ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 72 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1206 AC	0 12059698
55	1 00906E+17	D R HORTON INC	4400 B ALAMEDA NE	ALBUQUERQUE	NM	87113	V	A1A	LT 54A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1377 AC	0 13764328
56	1 00906E+17	D R HORTON INC	4400 B ALAMEDA NE	ALBUQUERQUE	NM	87113	V	A1A	LT 17 P1- G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1198 AC	0 11977824
57	1 00906E+17	HWANG RONG-JEN & MINGCHING H	7239 TEYPANA RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 65-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1039 AC	0 10374897
58	1 00906E+17	BARELA CHRISTINE	9115 OLD MILL ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 71A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1547 AC	0 15480343
59	1 00906E+17	PHAHLA SYNOD T	42937 CALLE LONDE	TEMECULA	CA	92592	R	A1A	LT 77-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1040 AC	0 10385249
60	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 65A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1597 AC	0 15949976
61	1 00906E+17	GOSE SCOTT A & JENNIFER	7123 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 38 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1515 AC	0 15141337
62	1 00906E+17	JIM DARRELL & LAWANDA	7216 JALISCO RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 74-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0 10324214
63	1 00906E+17	PICKETT CHAD L & ANNA E	7224 JALISCO RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 76-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1040 AC	0 10390463
64	1 00906E+17	FEDERAL NATIONAL MRTG ASSOC	PO BOX 650043	DALLAS	TX	75265	R	A1A	LT 15- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1137 AC	0 11356399
65	1 00906E+17	GILBERT ANTHONY & EVELYN SETH	972 DAISY ST	SAN MATEO	CA	94401	R	A1A	LT 82-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1504 AC	0 15010953
66	1 00906E+17	REARDON ANTHONY J & MARY-HELEN	1120 FLAMINGO	GLENDORA	CA	91741	R	A1A	LT 66-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1039 AC	0 10382514
67	1 00906E+17	NATIONSTAR MORTGAGE LLC	350 HIGHLAND DR	LEWISVILLE	TX	75067	R	A1A	LT 3 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1263 AC	0 12617123
68	1 00906E+17	CLARK JIMMY D	7101 EDISON RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 19 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT B T HE TRAILS CONT 1280 AC	0 12901147
69	1 00906E+17	MORRISON KEITH & TERESA	7320 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 53 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1371 AC	0 13699755
70	1 00906E+17	INCS IRINA	12670 MEADOWLARK AVE	GRANADA HILLS	CA	91344	R	A1A	LT 85-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1039 AC	0 10342235
71	1 00906E+17	PHAM GIA V & JESSICA N	1425 CARMINE WAY	SAN JOSE	CA	95131	R	A1A	LT 41-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1040 AC	0 10389756

Rec	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP	PROP CLASS	TAX DISTRICT	LEGAL	ACRES
72	1 00906E+17	CHINATAWAT SATTI B	9911 PASEO MONTEIL	SAN DIEGO	CA	92129		A1A	LT 91-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1553 AC	0.15641066
73	1 00907E+17	BEXFIELD KAREN LEE	9400 TOUCAN PL NW	ALBUQUERQUE	NM	87114R		A1A	LT 34 PLAT OF LAS CASITAS SUBD AT VENTANA RANCH (REPL OF TR34 VENTANA RANCH) CONT 0.1499 AC MIL OR 6.530 SF ML	0.14890772
74	1 00906E+17	HELLMAN PATRICIA A & LARRY	4932 E WINDROSE DR	SCOTTSDALE	AZ	85264R		A1A	LT 70 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A T	0.14879242
75	1 00906E+17	WEBB JASON & JESSICA	9319 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114R		A1A	LT 8 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B T	0.12360271
76	1 00906E+17	MILLER ALAN & VICKI	PO BOX 67264	ALBUQUERQUE	NM	87193R		A1A	LT 19-P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1147 AC	0.11469055
77	1 00906E+17	ROMAN RVLT	703 LARKSPUR AVE	CORONA DEL MAR	CA	92625R		A1A	LT 16-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.10419479
78	1 00906E+17	MILLER ALAN & VICKI	PO BOX 67264	ALBUQUERQUE	NM	87123R		A1A	LT 59A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1377 AC	0.13764482
79	1 00906E+17	GARCIA LOGAN & GEORGIA	9108 SABINAL DR NW	ALBUQUERQUE	NM	87114R		A1A	LT 10-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.10323476
80	1 00906E+17	BENAVIDEZ LEEROS	7112 ALAMILLO RD NW	ALBUQUERQUE	NM	87114R		A1A	LT 60A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1377 AC	0.13764732
81	1 00906E+17	MULLIKIN ROBERT P	7005 KAYSER MILL RD	ALBUQUERQUE	NM	87114R		A1A	LT 29-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1069 AC	0.11027804
82	1 00906E+17	SCHLICHTER MICHAEL & DANIELLE	8932 OSO CORRIDOR PL NW	ALBUQUERQUE	NM	87114R		A1A	LT 30-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1131 AC	0.11320477
83	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V		A1A	LT 60-P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1244 AC	0.12447914
84	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V		A1A	LT 16A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1604 AC	0.16027926
85	1 00906E+17	BLANSURE KERRI	7224 TREE LINE AVE NW	ALBUQUERQUE	NM	87114R		A1A	LT 28-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1116 AC	0.11090761
86	1 00906E+17	ALEXANDER IVORY C & SHIRLEY H	6916 HALLSTON TRL NW	ALBUQUERQUE	NM	87114R		A1A	LT 80 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1515 AC	0.15140807
87	1 00906E+17	SCHANCER KORY J & SHELLY M NOSBISCH	7223 WILLAMSBURG RD NW	ALBUQUERQUE	NM	87120R		A1A	LT 15 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A T	0.12044801
88	1 00906E+17	TRAILS COMMUNITY ASSOCIATION (THE)	7007 JEFFERSON BLVD NE SUITE A	ALBUQUERQUE	NM	87109V		A1A	TR A CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT B T HE TRAILS UNIT 2) CONT 2243 AC	2.23697002
89	1 00906E+17	JARAMILLO RUDY E & MEREDITH C M	9323 NATIONWIDE ST NW	ALBUQUERQUE	NM	87120R		A1A	LT 35 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A T	0.1351235
90	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V		A1A	LT 14 P1-G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1198 AC	0.11977801
91	1 00906E+17	CHAPMAN SOPHIA P & LINCOLN R	7019 HAWKWATCH RD NW	ALBUQUERQUE	NM	87114R		A1A	LT 67-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1089 AC	0.10890442
92	1 00906E+17	BURTON PATRICK D	7211 JALISCO RD NW	ALBUQUERQUE	NM	87114R		A1A	LT 90-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1268 AC	0.12667727
93	1 00906E+17	VU QUANG T	718 GIER CT	SAN JOSE	CA	95111R		A1A	LT 58A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1377 AC	0.13765149
94	1 00906E+17	TRAWINSKI BRIAN J & ALISON	9128 LADRON DR NW	ALBUQUERQUE	NM	87111R		A1A	LT 78A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1879 AC	0.17950421
95	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V		A1A	LT 14A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1448 AC	0.14460782
96	1 00906E+17	VALLEJOS MAXIMILIANO & ALICIA J	7164 TREE LINE AVE NW	ALBUQUERQUE	NM	87114R		A1A	LT 1 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1664 AC	0.1659157
97	1 00906E+17	FOSSA BRIAN L	8904 OSO CORRIDOR PL NW	ALBUQUERQUE	NM	87114R		A1A	LT 86-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1085 AC	0.10842863
98	1 00906E+17	MOUNT ROBERT A & MADELEINE J TRUSTEES MOUNT RIVERS	7575 LOWER RIDGE RD	SANTA ROSA	CA	95404R		A1A	LT 79-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1040 AC	0.10327413
99	1 00906E+17	TIMMONS JAMES & CYNTHIA	7023 HAWKWATCH RD NW	ALBUQUERQUE	NM	87114R		A1A	LT 66-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1089 AC	0.10879968
100	1 00906E+17	MCCAMEY JESSE & JENNIFER G	PO BOX 1376	NORTH FORK	CA	93843R		A1A	LT 3-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1048 AC	0.10460954
101	1 00906E+17	TRAILS LLC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V		A1A	TR 9 BULK LAND PLAT OF THE TRAILS UNIT 3A (BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 & OS-2 THE TRAILS UNIT 3 & TRACT 12 THE TRAILS UNIT 2) CONT 2463 AC	25.16594817
102	1 00906E+17	BACA JOHNNY H & MARIA A LOPEZ	8935 BALSAM GLADE DR NW	ALBUQUERQUE	NM	87114R		A1A	LT 39-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1065 AC	0.10807014
103	1 00906E+17	ABMONT JOSEPH C & DENISE M	17435 BLUE JAY DR	MORGAN HILL	CA	95037R		A1A	LT 24 P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.10323206

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104	1 00906E+17	MILLER ALAN & VICKI	PO BOX 67264	ALBUQUERQUE	NM	87193R	A1A		LT 15- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1147 AC	0.1167757
105	1 00906E+17	VO THUY V	PO BOX 53161	ALBUQUERQUE	NM	87192R	A1A		LT 18- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1147 AC	0.11468202
106	1 00906E+17	D R HORTON INC	4400 B ALAMEDA NE	ALBUQUERQUE	NM	87113V	A1A		LT 20 P1- G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1198 AC	0.11978016
107	1 00906E+17	ANDERSON APRIL	7116 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114R	A1A		LT 32 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1205 AC	0.1204234
108	1 00906E+17	POWERS KEVIN & FLORIDALBA	7328 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114R	A1A		LT 51 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 1) CONT 1693 AC	0.16909106
109	1 00907E+17	HARPER MINNIE	7220 GROS VENTRE CT NW	ALBUQUERQUE	NM	87114R	A1A		LT 35 P1 BLK 1 PLAT OF VENTANA POINTE CONT 0 1214 AC M/L ORS 290 SF M/L	0.12171697
110	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120R	A1A		LT 25- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1270 AC	0.12692823
111	1 00906E+17	RAYKOVICS MICHAEL A & DENISE A	7115 EDISON RD NW	ALBUQUERQUE	NM	87114R	A1A		LT 16 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1205 AC	0.12045017
112	1 00906E+17	RUDD DOUGLAS A & MARY LYNN	9136 RIO GALISTEO PL NW	ALBUQUERQUE	NM	87114R	A1A		LT 29- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1085 AC	0.10847313
113	1 00906E+17	LU LIVUE	7008 TREE LINE AVE NW	ALBUQUERQUE	NM	87114R	A1A		LT 8- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1102 AC	0.11012894
114	1 00906E+17	PHAM PHU V & SUSAN L	3371 GONZAGA PL	SANTA CLARA	CA	95051R	A1A		LT 33 P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1215 AC	0.12118575
115	1 00906E+17	LOVATO RUDY M & CARLA L	7112 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114R	A1A		LT 31 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1205 AC	0.12042632
116	1 00906E+17	MARQUEZ JOHN P & CHAVEZ STEVE	7120 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114R	A1A		LT 33 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1205 AC	0.12041436
117	1 00906E+17	SALAZAR MARTIN D & KRISTINA M	7124 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114R	A1A		LT 34 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1880 AC	0.18752767
118	1 00906E+17	SHARRAR JANEEN	9316 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114R	A1A		LT 46 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1264 AC	0.12631897
119	1 00906E+17	PHAM KEO THI	9104 LADRON DR NW	ALBUQUERQUE	NM	87114R	A1A		LT 44A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1692 AC	0.16912315
120	1 00906E+17	TRAILS COMMUNITY ASSOCIATION INC (THE)	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	A1A		TR OS-2 BULK LAND PLAT OF THE TRAILS UNIT 3A (BEING A REPLAT OF TRACTS 1 THRU 8 OF 1 & OS-2 THE TRAILS UNIT 3 & TRACT 12 THE TRAILS UNIT 2) CONT 8.8106 AC	9.13391517
121	1 00906E+17	MINIK GARY E & ELIZABETH A	7001 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114R	A1A		LT 28- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1093 AC	0.10822977
122	1 00906E+17	NUÑEZ LEO & MARTHA A	12716 SINGING ARROW AVE SE	ALBUQUERQUE	NM	87123R	A1A		LT 52- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1100 AC	0.1090631
123	1 00906E+17	BAKER GREGORY D	19201 DEE LN	CANYON	TX	79015R	A1A		LT 81 P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1475 AC	0.14752618
124	1 00906E+17	NGUYEN BRYAN H & NHUNG PHAM	7239 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114R	A1A		LT 11 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 1) CONT 1205 AC	0.12044945
125	1 00906E+17	WEELDREYER STEPHEN T & HEIDI M	9100 JARALES CT NW	ALBUQUERQUE	NM	87114R	A1A		LT 46A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1830 AC	0.18253737
126	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	A1A		LT 17A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1613 AC	0.16113321
127	1 00906E+17	D R HORTON INC	4400 B ALAMEDA NE	ALBUQUERQUE	NM	87113V	A1A		LT 27 P1- G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1582 AC	0.15826689
128	1 00906E+17	FEDERAL HOME LOAN MORTGAGE CORP	5000 PLANO PKWY	CARROLLTON	TX	75010R	A1A		LT 45A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1533 AC	0.1535092
129	1 00906E+17	CAMPBELL NOEL ANTHONY	163 FRANKFORD LN	PALM COAST	FL	32137R	A1A		LT 48 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 1) CONT 1326 AC	0.13246847
130	1 00906E+17	TAOS AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	A1A		LT 19- P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 1090 AC	0.10890193
131	1 00906E+17	CENTEX HOMES	7801 JEFFERSON ST NE SUITE 320	ALBUQUERQUE	NM	87109V	A1A		TR B PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 1) CONT 0666 AC	0.06753856
132	1 00906E+17	FEROZE HAMID & AMINA & FEROZE ABDULLAH H & FEROZE HAMZAH H & FEROZE ZAINAB H	400 W VISTA PKWY	ROSWELL	NM	88201R	A1A		LT 44A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1626 AC	0.16199869
133	1 00906E+17	TAOS AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	A1A		LT 3- P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 0938 AC	0.09377794
134	1 00907E+17	LUCERO MARK	7204 GROS VENTRE CT NW	ALBUQUERQUE	NM	87114R	A1A		LT 39 P1 BLK 1 PLAT OF VENTANA POINTE CONT 0 1629 AC M/L OR 7 095 SF M/L	0.16323369

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135	1 00906E+17	HIDEYOSHI COE & TAYLOR SHELLY J	6932 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 11- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1085 AC	0 10839956
136	1 00906E+17	SULLIVAN PATRICK E & GRACIELA V	7239 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 63 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1341 AC	0 13404596
137	1 00907E+17	DUENEZ OSCAR JR & CHERYLANN	7008 SENDERO RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 21 PLAT OF SOMMERSET SUBD AT VENTANA RANCH (REPL OF TRACT2 VENTANA RANCH) CONT 0 1715 AC M/L OR 7,471 SF M/L	0 17166323
138	1 00906E+17	GOLOVERVIC TIMOTHY E & CARMEN M	7160 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 2 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1263 AC	0 12617579
139	1 00906E+17	TAOS AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 11- P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2)CONT 1129 AC	0 11286919
140	1 00906E+17	WOODHOUSE STEVE M & CELESTE F	4 ARCHBAY ST	LAGUNA BEACH	CA	92677	R	A1A	LT 9-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0 1032331
141	1 00906E+17	KHUU NGUYET & PHAM JOHNNY	9104 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 10 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1205 AC	0 12044825
142	1 00906E+17	NGUYEN ANH THI-PHUNG & DINH LIEM D	3063 BAYBERRY LN	SAN JOSE	CA	95148	R	A1A	LT 37-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1039 AC	0 10389148
143	1 00906E+17	TAOS AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 16- P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2)CONT 1134 AC	0 11331253
144	1 00906E+17	MAJITHIA NARESH & VINA	9023 RIO GALISTEO PL	ALBUQUERQUE	NM	87114	R	A1A	LT 10- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1148 AC	0 11480777
145	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 5- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1012 AC	0 10115064
146	1 00906E+17	WHITE DAVID & ANDREA	9336 NATIONWIDE ST NW	ALBUQUERQUE	NM	87120	R	A1A	LT 21 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1400 AC	0 13963367
147	1 00906E+17	COCHRAN JEFFREY C	7219 TEYPANA RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 70-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1035 AC	0 10308165
148	1 00906E+17	HENDRICKS GWENDOLYN J	8927 BALSAM GLADE RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 41- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1085 AC	0 10807118
149	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 68A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1538 AC	0 15365257
150	1 00906E+17	HUMPHRIES DANTON B PSC 9	BOX 2332	APO	AE	9123	R	A1A	LT 32 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1388 AC	0 13854076
151	1 00906E+17	DEATHERAGE AMY F	8932 HALLSTON TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 64 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1768 AC	0 17665498
152	1 00906E+17	KHIMJI RISHMA	7027 HAWKWATCH RD NW	ALBUQUERQUE	NM	87121	R	A1A	LT 69- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1803 AC	0 18039225
153	1 00906E+17	TAOS AT THE TRAILS, INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 80- P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2)CONT 0938 AC	0 09378715
154	1 00906E+17	LO LAWRENCE	3138 WATERS WAY	SUGAR LAND	TX	77478	R	A1A	LT 94-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1035 AC	0 10392434
155	1 00906E+17	LEE IRWIN	4801 TAMPICO WAY	SAN JOSE	CA	95118	R	A1A	LT 21- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1134 AC	0 11306762
156	1 00906E+17	CALABRO RICHARD C	7000 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 54- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1087 AC	0 10867043
157	1 00906E+17	THE TRAILS COMMUNITY ASSOCIATION INC	7007 JEFFERSON BLVD NE SUITE A	ALBUQUERQUE	NM	87109	V	A1A	TR B CORRECTION PLAT OF VALLE VISTA AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 1 1 THE TRAILS UNIT 2)CONT 7309 AC	0 75217293
158	1 00906E+17	HOWARD DONALD HERBERT & MARGARET BRUCE HOWARD TRUSTEES HOWARD FAMILY TRUST	7115 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 36 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1515 AC	0 15141881
159	1 00906E+17	DOUGHTY RANDOLPH MATTHEW & CARRIANNE	9305 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 3 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT B T HE TRAILS CONT 1606 AC	0 16075597
160	1 00906E+17	FELLOWS MONIQUE N	7300 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 57 FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A THE T RAILS CONT 1292 AC	0 12910665
161	1 00906E+17	RUDOLPH DANIEL JR	6919 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 81- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1575 AC	0 15772946
162	1 00906E+17	COLEMAN LINDA S & EDWARD	7220 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 27-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1099 AC	0 10963376
163	1 00906E+17	D R HORTON INC	4400 ALAMEDA BLVD NE B	ALBUQUERQUE	NM	87113	V	A1A	LT 104- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1183 AC	0 11829827
164	1 00906E+17	SANCHEZ MANUEL R & PATRICIA L	7236 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 59 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1465 AC	0 1464232
165	1 00906E+17	TRUJILLO ANGELO M	7100 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 80 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1346 AC	0 13478076
166	1 00906E+17	NIXON AANA L	7131 CUCHILLO RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 52A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1318 AC	0 13154786
167	1 00906E+17	CHAVEZ MATTHEW L & PAULINE	7232 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 60 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 2034 AC	0 20280815

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166	1 00906E+17	MAREZ ANTHONY R TRUSTEE MAREZ RVT	7331 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 3 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A T HE TRAILS CONT 1205 AC	0 12044655	
169	1 00906E+17	NGUYEN BINH D & SUONG T	7200 TEYPANA RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 13-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1124 AC	0 11228907	
170	1 00906E+17	BROWN CAROLEE M & CHERYL A BROWN	9316 NATIONWIDE ST	ALBUQUERQUE	NM	87120R	A1A	LT 26 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT BEING A REPLAT OF TRACT A T HE TRAILS CONT 1224 AC	0 12227271	
171	1 00906E+17	HERNANDEZ KENNETH L & KATHARINE A	9144 SABINAL DR NW	ALBUQUERQUE	NM	87114R	A1A	LT 1-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1480 AC	0 14891072	
172	1 00906E+17	NGUYEN TU	4160 AREZZO POINTE CT	SAN JOSE	CA	95148R	A1A	LT 75-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1035 AC	0 10343729	
173	1 00906E+17	MAXWELL DANNY L & ABIGAIL T	7205 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 19 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT BEING A REPLAT OF TRACT A T HE TRAILS CONT 1542 AC	0 1542264	
174	1 00906E+17	LY TONG	766 SAINT TIMOTHY PL	MORGAN HILL	CA	95037R	A1A	LT 84-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1386 AC	0 13859997	
175	1 00906E+17	TAOS AT THE TRAILS, INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	A1A	LT 17-P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 1147 AC	0 11461121	
176	1 00906E+17	TRAILS COMMUNITY ASSOCIATION (THE)	7007 JEFFERSON BLVD NE SUITE A	ALBUQUERQUE	NM	87109V	A1A	TR B CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1205 AC	0 12044443	
177	1 00906E+17	TAOS AT THE TRAILS, INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	A1A	LT 82-P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 1350 AC	0 13511236	
178	1 00906E+17	SAYLOR CLIFFORD B & DONNA E	7324 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87120R	A1A	LT 52 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT BEING A REPLAT OF TRACT A T HE TRAILS CONT 1444 AC	0 14432096	
179	1 00906E+17	THOMAS CLEVON W & SHARAE LYNN	7240 TEYPANA RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 42-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1040 AC	0 10388954	
180	1 00906E+17	SAAL CHRISTIAN W	6920 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 58-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1695 AC	0 16064416	
181	1 00906E+17	JARAMILLO MICHAEL A & CINDY J	8924 HALLSTON TRL	ALBUQUERQUE	NM	87114R	A1A	LT 62 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1515 AC	0 15141527	
182	1 00906E+17	MAESTAS STEVE J & MAESTAS STEVE M	6931 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 27-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1085 AC	0 10839494	
183	1 00906E+17	GURUNG SHEILA	5335 MANSFIELD PL NW	ALBUQUERQUE	NM	87114R	A1A	LT 2-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1102 AC	0 11017097	
184	1 00906E+17	TURNER JEFFREY A & SUSAN A	7305 TONE CT NW	ALBUQUERQUE	NM	87114R	A1A	LT 62-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1222 AC	0 12201585	
185	1 00906E+17	TAOS AT THE TRAILS, INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	A1A	LT 2-P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 0938 AC	0 09377748	
186	1 00906E+17	D R HORTON INC	4400 ALAMEDA BLVD NE B	ALBUQUERQUE	NM	87113V	A1A	LT 77-P1-G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1833 AC	0 18311522	
187	1 00906E+17	HASENSTAB MICHAEL L & BARBARA	9304 NATIONWIDE ST NW	ALBUQUERQUE	NM	87114R	A1A	LT 29 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT BEING A REPLAT OF TRACT A T HE TRAILS CONT 1224 AC	0 12227426	
188	1 00906E+17	TAOS AT THE TRAILS, INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	A1A	LT 23-P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 1013 AC	0 10137499	
189	1 00906E+17	D R HORTON INC	4400 B ALAMEDA NE	ALBUQUERQUE	NM	87113V	A1A	LT 23-P1-G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1198 AC	0 11979212	
190	1 00906E+17	MONTANO CAROL L	9312 ALLEGANCE ST NW	ALBUQUERQUE	NM	87114R	A1A	LT 24 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS CONT 1210 AC	0 12089623	
191	1 00906E+17	ALBO ORESTES L JR & PATTY A	7224 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 45 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT BEING A REPLAT OF TRACT A T HE TRAILS CONT 1253 AC	0 12516755	
192	1 00906E+17	SALAZAR DOLORES M	7109 EDISON RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 17 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS CONT 1208 AC	0 1204556	
193	1 00906E+17	PHILLIPS LARRY D & CAROLINE M	1326 SARA WAY SE	RIO RANCHO	NM	87124R	A1A	LT 4 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS CONT 1419 AC	0 14198324	
194	1 00906E+17	TWEETEN EARL DARWIN	9105 NUEVA SEVILLA ST NW	ALBUQUERQUE	NM	87114R	A1A	LT 49-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0 10322717	
195	1 00906E+17	CHAMBERS TYRONE L	7024 TREE LINE AVE NW	ALBUQUERQUE	NM	87114R	A1A	LT 4-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1102 AC	0 11015834	
196	1 00906E+17	FERRINI REBECCA L & JEFFERY L KLEIN	10344 SPRUCE GROVE AVE	SAN DIEGO	CA	92131R	A1A	LT 68-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1039 AC	0 10300846	
197	1 00906E+17	GRIFFIN JAMES A & DELIA	343 MANOR DR	PACIFICA	CA	94044R	A1A	LT 14-P1 PLAT OF TAOS AT THE TRAILS BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1675 AC	0 16699377	
198	1 00906E+17	DAVIDSON THOMAS E	PO BOX 67021	ALBUQUERQUE	NM	87193R	A1A	LT 33 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT BEING A REPLAT OF TRACT A T HE TRAILS CONT 1393 AC	0 1390522	
199	1 00907E+17	CORACI GIOACCHINO & ROSARIA CO-TRUSTEES CORACI RVT	1933 FATHER SKY NE	ALBUQUERQUE	NM	87112R	A1A	LT 36-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0 1205 AC M/L ORS 250 SF M/L	0 12043981	
200	1 00906E+17	SILVA JOHNNY J & MONICA C	8900 OSO CORRIDOR PL NW	ALBUQUERQUE	NM	87114R	A1A	LT 85-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1469 AC	0 14665737	
201	1 00906E+17	THE TRAILS COMMUNITY ASSOCIATION	7007 JEFFERSON BLVD NE SUITE A	ALBUQUERQUE	NM	87109V	A1A	TR C PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 BEING AREPLAT OF TRACT 4 THE TRAILS UN IT 2) CONT 1825 AC	0 18271274	

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202	1 00906E+17	NGUYEN TAI T & MINH-THU T	9108 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 83A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1689 AC	0 16875706
203	1 00906E+17	GREENWOOD AARON JOHN & SUSAN L ISLEY	9327 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 10 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT 8 THE TRAILS) CONT 1331 AC	0 13324128
204	1 00907E+17	WAY TIMOTHY R & KELLEY N	9400 MONTARA CT NW	ALBUQUERQUE	NM	87114	R	A1A	LT 19 PLAT OF SOMMERSET SUBD AT VENTANA RANCH (REPL OF TRACT 2 VENTANA RANCH) CONT 0 2492 AC M/L OR 10,855 SF M/L	0 24982566
205	1 00906E+17	JENSON TERRY O & DENISE	7115 ALAMILLO RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 75A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1492 AC	0 14911876
206	1 00906E+17	TAOS AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 15-P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 1093 AC	0 10922115
207	1 00906E+17	NIELSEN HELEN V & JEREMY S	7116 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 51 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT 5 THE TRAILS) CONT 1515 AC	0 15141782
208	1 00906E+17	FREYENHAGEN JOEL & BECKY	9312 NATIONWIDE ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 27 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT 4 THE TRAILS) CONT 1224 AC	0 12240454
209	1 00906E+17	BROWN ROGER T & TERESA B	7123 EDISON RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 14 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT 8 THE TRAILS) CONT 1205 AC	0 12045043
210	1 00906E+17	RICHARDSON-VALDEZ SUSAN	7120 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 50 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT 5 THE TRAILS) CONT 1515 AC	0 15141741
211	1 00906E+17	RUDOLPH DANIEL JR % RENDON RANDY L & RENDON DONALD CO-TR RENDON RVT	6919 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 24-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1093 AC	0 10679513
212	1 00906E+17	HAUCK DANIEL & MELISSA	9319 ALLEGIANCE ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 40 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT 8 THE TRAILS) CONT 1505 AC	0 15040987
213	1 00906E+17	ARMENDARIZ DOMINIQUE D	7020 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 5-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1102 AC	0 11016285
214	1 00906E+17	LE CHARLES PHUC	610 WILORA LANDING RD	CHARLOTTE	NC	28212	R	A1A	LT 63-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1100 AC	0 1099101
215	1 00906E+17	AVERY HENRY H	7201 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 25-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 2011 AC	0 20535988
216	1 00906E+17	CENTEX HOMES	7601 JEFFERSON ST NE SUITE 320	ALBUQUERQUE	NM	87109	V	A1A	TR A PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT 8 THE TRAILS) CONT 0826 AC	0 08092225
217	1 00907E+17	GALLEGOS PABLO & MARIA B	9405 SANTALA PL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 14-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0 1261 AC M/L OR 5 495 SF M/L	0 12549315
218	1 00906E+17	EVANS TIMOTHY W & DEBRA J	9315 WEST HAVEN ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 61 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT 4 THE TRAILS) CONT 1483 AC	0 1480274
219	1 00906E+17	DANDERSON MANDY R	7232 JALISCO RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 78-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1040 AC	0 10361034
220	1 00906E+17	GONZALES THOMAS & SYLVIA GONZALES	7127 CUCHILLO RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 51A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1333 AC	0 13299531
221	1 00906E+17	MILLER ALAN	PO BOX 67264	ALBUQUERQUE	NM	87193	R	A1A	LT 8-P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1341 AC	0 13447627
222	1 00906E+17	WANG JIMMY M	1301 N PALMSPRINGS DR	GILBERT	AZ	85234	R	A1A	LT 30-P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1174 AC	0 11740457
223	1 00906E+17	HECHAVARRIA RAFAEL & VERONICA E	6909 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 22-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1134 AC	0 11287582
224	1 00906E+17	PADILLA DAVID R & DEBORAH A PHILIPS	8931 BALSAM GLADE RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 40-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1085 AC	0 10807062
225	1 00906E+17	HO ADELINE	2255 SHOWERS DR APT 394	MOUNTAIN VIEW	CA	94040	R	A1A	LT 60-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1085 AC	0 10840372
226	1 00906E+17	MARTINEZ LORRAINE B	7235 JALISCO RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 84-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1039 AC	0 1037804
227	1 00906E+17	BANKS ALLEN J & TAMARA D	7315 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 67 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT 4 THE TRAILS) CONT 1191 AC	0 11902931
228	1 00906E+17	TRUJILLO ANDY R & CARMEN V	7339 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 1 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT 4 THE TRAILS) CONT 1208 AC	0 1206987
229	1 00906E+17	ROBERTS NATHAN D	9332 NATIONWIDE ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 22 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT 4 THE TRAILS) CONT 1203 AC	0 12013154
230	1 00906E+17	LOPEZ MICHAEL M & OGAZ SUZANNE C	7319 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 6 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT 4 THE TRAILS) CONT 1205 AC	0 12045019
231	1 00906E+17	ENNIS MERLIN M & DOROTHY R	9001 CORONA AVE NE	ALBUQUERQUE	NM	87122	R	A1A	LT 41 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT 4 THE TRAILS) CONT 1267 AC	0 12671347
232	1 00906E+17	BAYLES TROY E SR	7035 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 36-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 2496 AC	0 24918808
233	1 00906E+17	ROSTRO MARC A & CHRISTINA M	7304 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 56 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT 4 THE TRAILS) CONT 1278 AC	0 12767091
234	1 00906E+17	HI INVESTMENTS LLC	20301 VENTURA BLVD 202	WOODLAND HILLS	CA	91364	R	A1A	LT 72-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1441 AC	0 14397707

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235	1 00906E+17	CANDELARIA ELOY JR	6919 HAWKWATCH RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 59- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1062 AC	0.16640166	
236	1 00907E+17	MARTINEZ JOHN B & MARGARET G	9401 SANTALA PL NW	ALBUQUERQUE	NM	87114R	A1A	LT 15- P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1497 AC M/L OR 6.523 SF M/L	0.14959083	
237	1 00906E+17	WALLI NAWAZ AKBAR & SHELIQA NAWAZ	9323 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114R	A1A	LT 9 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS CONT 1222 AC)	0.12228431	
238	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	A1A	LT 74- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1065 AC	0.10846213	
239	1 00906E+17	DARVASI ARIEL	29-3 HABOSSEM ST			R	A1A	LT 16- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1137 AC	0.11343353	
240	1 00906E+17	HERNSTED JULIE	9328 WEST HAVEN ST NW	ALBUQUERQUE	NM	87120R	A1A	LT 39 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT (BEING A REPLAT OF TRACT 6 TH E TRAILS CONT 1292 AC)	0.12918397	
241	1 00906E+17	HARRIS GREGORY L	7215 JALISCO RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 89- P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.10324546	
242	1 00906E+17	MARES LAWRENCE M & ANNA A	9316 WEST HAVEN ST NW	ALBUQUERQUE	NM	87120R	A1A	LT 42 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT (BEING A REPLAT OF TRACT 6 TH E TRAILS CONT 1247 AC)	0.12467694	
243	1 00906E+17	HARRIS STANLEY N & STEPHANIE H	7119 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114R	A1A	LT 37 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT 6 TH E TRAILS) CONT 1515 AC	0.15143538	
244	1 00906E+17	BUSH ANNVA	601 AVENIDA VAQUERO	SAN CLEMENTE	CA	92673R	A1A	LT 96- P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1038 AC	0.10377197	
245	1 00906E+17	HUCKABAY AMY L & DELBERT	9035 RIO GALISTEO PL NW	ALBUQUERQUE	NM	87114R	A1A	LT 13- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1147 AC	0.11468589	
246	1 00906E+17	CHINTAVAT SATIT B	9911 PASEO MONTIL	SAN DIEGO	CA	92129R	A1A	LT 99- P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.10323722	
247	1 00906E+17	MATA ROLDAN A	6900 TREE LINE AVE NW	ALBUQUERQUE	NM	87114R	A1A	LT 19- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1373 AC	0.14043033	
248	1 00906E+17	SCHIMA LIZ	9108 JARALES CT NW	ALBUQUERQUE	NM	87114R	A1A	LT 48A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1466 AC	0.14663812	
249	1 00906E+17	JONES BRADLEY R & SABRINA	7004 HAWKWATCH RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 76- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1099 AC	0.10976757	
250	1 00906E+17	CENTEX HOMES	7601 JEFFERSON ST NE SUITE 320	ALBUQUERQUE	NM	87109V	A1A	TR A PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT (BEING A REPLAT OF TRACT 6 TH E TRAILS CONT 0848 AC)	0.08399916	
251	1 00906E+17	NGUYEN CHO THI	3155 ANTONIO LP	TRACY	CA	95377R	A1A	LT 38- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1098 AC	0.10940516	
252	1 00906E+17	ZORA SALAM	3663 BONITA RANCH CT	BONITA	CA	91902R	A1A	LT 13- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1085 AC	0.10839894	
253	1 00906E+17	SANCHEZ AARON J & ANGELICA M	7127 EDISON RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 13 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS CONT 1205 AC)	0.12034957	
254	1 00906E+17	ALDERETE RAMON M & ANGEL A	7108 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 30 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS CONT 1328 AC)	0.13308037	
255	1 00906E+17	VECUSO THOMAS M	7009 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 39- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1104 AC	0.11027148	
256	1 00907E+17	LOPEZ TIMOTHY S & VERONICA E	9401 CALICO PL NW	ALBUQUERQUE	NM	87114R	A1A	LT 24 PLAT OF SOMMERSET SUBD AT VENTANA RANCH (REPL OF TRACT 2 VENTANA RANCH) CONT 0.2680 AC M/L OR 11.678 SF M/L	0.272203	
257	1 00906E+17	LUCERO SHANIE E & MELANIE D	7031 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 35- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1407 AC	0.14073012	
258	1 00906E+17	D R HORTON INC	4400 B ALAMEDA NE	ALBUQUERQUE	NM	87113V	A1A	LT 56- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1120 AC	0.11195969	
259	1 00906E+17	MILLER ALAN & VICKI	PO BOX 67264	ALBUQUERQUE	NM	87193R	A1A	LT 12A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1377 AC	0.13765311	
260	1 00906E+17	SINTON MARY L	9124 SABINAL DR NW	ALBUQUERQUE	NM	87114R	A1A	LT 6- P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.10323257	
261	1 00906E+17	STRENGTH RALPH EDWARD & WENDY JANELLE MARTIN- STRENGTH	9315 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114R	A1A	LT 7 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS CONT 1388 AC)	0.13842044	
262	1 00906E+17	NGUYEN HELEN	5588 FARMHOUSE CT	SAN JOSE	CA	95123R	A1A	LT 23- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1584 AC	0.16181403	
263	1 00907E+17	LANDES LANCE M & KATHLEEN	9400 SPANISH POINT PL NW	ALBUQUERQUE	NM	87114R	A1A	LT 26 PLAT OF LAS CASITAS SUBD AT VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CONT 0.1917 AC M/L OR 8.350 SF M/L	0.19187411	
264	1 00906E+17	MORGAN WILLIAM CHAD & STORMY L	7305 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 65 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT (BEING A REPLAT OF TRACT 6 TH E TRAILS CONT 1289 AC)	0.12702926	
265	1 00906E+17	LILLY VINSON P & LISA M ANGSTADT	8909 OSO CORRIDOR PL NW	ALBUQUERQUE	NM	87114R	A1A	LT 82- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1235 AC	0.12558852	
266	1 00906E+17	PEREA-WALKER TANYA P & ROBERT M WALKER	7124 ALAMILLO RD NW	ALBUQUERQUE	NM	87114R	A1A	LT 57A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1706 AC	0.17044614	

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267	1 00906E+17	CENTEX HOMES	7601 JEFFERSON ST NE SUITE 320	ALBUQUERQUE	NM	87109	V	A1A	TR B PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT B T HE TRAILS CONT 0367 AC	0 0365374
268	1 00906E+17	GURULE PAUL C	7227 JALISCO RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 86-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1039 AC	0 10416591
269	1 00906E+17	BOWERS DARRELL C & PETRA H CO-TRUSTEES BOWERS RVT	7232 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 47 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1326 AC	0 13246906
270	1 00906E+17	NG YING	2635 SCHOOL ST	OAKLAND	CA	94602	R	A1A	LT 6- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1102 AC	0 11015315
271	1 00906E+17	OSTLER JAY E	6927 HAWKWATCH RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 61- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1085 AC	0 10839158
272	1 00907E+17	DELEON PAUL R & JESSICA C	1526 JANLU ST	HACIENDA HEIGHTS	CA	91745	R	A1A	LT 40-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0 1602 AC M/L OR 979 SF M/L	0 16049639
273	1 00906E+17	HOANG YEN THI	12 VISTA LINDA RD	RANCHO DE TAOS	NM	87571	R	A1A	LT 44- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1085 AC	0 10806454
274	1 00907E+17	HERMAN JOSEPH J & JAMIE L	9401 TOUCAN PL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 33 PLAT OF LAS CASITAS SUBD AT VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CO NT 0 1951 AC M/L OR 8,499 SF M/L	0 19602316
275	1 00906E+17	DELEON DIANNE	9328 ALLEGIANCE ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 20 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT B T HE TRAILS CONT 1416 AC	0 14149423
276	1 00906E+17	THOMAS NONA V	9128 SABINAL DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 5-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0 10323661
277	1 00906E+17	CHAVEZ PAUL E & MONICA M	9319 JAMESON ST NW	ALBUQUERQUE	NM	87121	R	A1A	LT 74 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1207 AC	0 12065147
278	1 00906E+17	ZAFAR ZULFIQAR A & CARLEN	1720 ONYX COVE	WHITEHOUSE	TX	75791	R	A1A	LT 16- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1137 AC	0 11350283
279	1 00906E+17	TRUJILLO KRISTAL R	7016 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 50- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1100 AC	0 10998012
280	1 00906E+17	TRAILS COMMUNITY ASSOCIATION (THE)	7007 JEFFERSON BLVD NE SUITE A	ALBUQUERQUE	NM	87109	V	A1A	TR C CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT B THE TRAILS UNIT 2) CONT 0466 AC	0 04656057
281	1 00906E+17	D R HORTON INC	4400 ALAMEDA BLVD NE B	ALBUQUERQUE	NM	87113	V	A1A	LT 103 P1- G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1141 AC	0 11411731
282	1 00906E+17	WATTS BENJAMIN J & SAMUEL N WATTS	9140 SABINAL DR NE	ALBUQUERQUE	NM	87120	R	A1A	LT 2-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1048 AC	0 10470259
283	1 00907E+17	GARCIA ANTONIO I & GERALDINE J	9401 TRAVILLA RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 12 PLAT OF SOMMERSET SUBD AT VENTANA RANCH (REPL OF TRACT2 VENTANA RANCH) CONT 0 3241 AC M/L OR 14,121 SF M/L	0 3242473
284	1 00906E+17	HADGU TEKLU & TESFAY DORIT S	9119 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 62A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1405 AC	0 14040642
285	1 00906E+17	SANCHEZ PAUL A & ROSALIE S	PO BOX 67576	ALBUQUERQUE	NM	87193	R	A1A	LT 55- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1085 AC	0 10839417
286	1 00906E+17	HIGH VISIONS LIMITED PARTNERSHIP	6923 KAYSER MILL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 25- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1085 AC	0 10839649
287	1 00906E+17	HA BA MINH	10521 POTTS WAY	SAN JOSE	CA	95111	R	A1A	LT 32- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1104 AC	0 11025346
288	1 00906E+17	BORREGO DIEGO D & YVONNE K	8928 HALLSTON TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 63 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1515 AC	0 15141511
289	1 00906E+17	D R HORTON INC	4400 B ALAMEDA NE	ALBUQUERQUE	NM	87113	V	A1A	LT 67A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1536 AC	0 15345605
290	1 00906E+17	D R HORTON INC	4400 B ALAMEDA NE	ALBUQUERQUE	NM	87113	V	A1A	LT 80 P1- G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1157 AC	0 1157064
291	1 00906E+17	HINOJOSA GREGORY & FELICIA A	7104 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 29 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT B T HE TRAILS CONT 1230 AC	0 12293242
292	1 00907E+17	FEERER BRYAN C & ERIKA C	9400 TRAVILLA DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 13 PLAT OF SOMMERSET SUBD AT VENTANA RANCH (REPL OF TRACT2 VENTANA RANCH) CONT 0 2739 AC M/L OR 11,932 SF M/L	0 27439953
293	1 00906E+17	D R HORTON INC	4400 ALAMEDA BLVD NE B	ALBUQUERQUE	NM	87113	V	A1A	LT 78 P1- G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1685 AC	0 16835517
294	1 00906E+17	HARRIS ROBERT B & LAVONNE N	7300 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 50 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1684 AC	0 16838026
295	1 00906E+17	BOGDAN GARY L	7243 TREE LINE DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 36-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1039 AC	0 10389999
296	1 00906E+17	DAVILA JOSEPH R III & NIDIA I	9000 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 91A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1880 AC	0 18784243
297	1 00906E+17	MOUNT ROBERT A & MADELEINE TRUTEES MOUNT RVT	6575 LOWER RIDGE RD	SANTA ROSA	CA	95404	R	A1A	LT 31-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1118 AC	0 11110995
298	1 00906E+17	THE TRAILS COMMUNITY ASSOCIATION	7007 JEFFERSON BLVD NE SUITE A	ALBUQUERQUE	NM	87109	V	A1A	TR A PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UN IT 2) CONT 2 2160 AC	2 21599753
299	1 00906E+17	PHAM DENISE	7305 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 9 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1205 AC	0 12045345

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300	1 00907E+17	WELCH JAMES E & CHRISTIN	9405 VERVAIN DR NW	ALBUQUERQUE	NM	87109	A1A	LT 32-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1536 AC ML OR 6 692 SF ML	0.1541802	
301	1 00906E+17	HULLIHAN MARK G & FLOWER	909 MOUNTAIN AVE	MARVILLE	TN	37803	A1A	LT 2 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A HE TRAILS CONT 1808 AC	0.1808167	
302	1 00906E+17	SIMKO ISTVAN & MONICA	9308 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114	A1A	LT 48 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B HE TRAILS CONT 1284 AC	0.1283767	
303	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	A1A	LT 59-P1- G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1251 AC	0.12534904	
304	1 00906E+17	FULGENZI DENNIS	954 DURUM CT	WINDSOR	CO	80550	A1A	LT 73- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1090 AC	0.10975407	
305	1 00906E+17	MATI NAEH N	3604 BONITA RANCH CT	BONITA	CA	91902	A1A	LT 9- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1102 AC	0.11012152	
306	1 00906E+17	LEE BYUNG H & MYUNG LEE	7228 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	A1A	LT 29-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1122 AC	0.11137554	
307	1 00906E+17	SNOW DANIEL G & KIMBERLY A	8920 HALLSTON TRL NW	ALBUQUERQUE	NM	87114	A1A	LT 61 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1515 AC	0.15141205	
308	1 00906E+17	GURUNG SANDHYA & SHREE P	7012 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114	A1A	LT 51 P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1100 AC	0.10998807	
309	1 00906E+17	SEITAVESH HAMID & FLORA	9328 NATIONWIDE ST NW	ALBUQUERQUE	NM	87120	A1A	LT 23 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A HE TRAILS CONT 1224 AC	0.12230956	
310	1 00906E+17	BRYAN CHERYL C	PO BOX 92470	ALBUQUERQUE	NM	87199	A1A	LT 7-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.10324361	
311	1 00906E+17	KARAS BRIAN A & LESLIE I	9327 ALLEGANCE ST NW	ALBUQUERQUE	NM	87114	A1A	LT 42 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B HE TRAILS CONT 1539 AC	0.15379918	
312	1 00906E+17	VERUCCI ANTHONY T	2112 CAMELLA CT	PITTSBURG	CA	94665	A1A	LT 35-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1039 AC	0.10384819	
313	1 00906E+17	MENDOZA ERNEST & SANDRA LONG-MENDOZA	7232 SENEQU RD NW	ALBUQUERQUE	NM	87114	A1A	LT 93-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 2644 AC	0.26555467	
314	1 00906E+17	LESTER STEPHEN F & L STEPHANIE WU TRUSTEES LESTER R FAMILY TRUST & ETAL	5295 WINIFREED DR	CASTRO VALLEY	CA	94546	A1A	LT 100-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1173 AC	0.11677918	
315	1 00906E+17	CONKLIN RYAN E & BRANDIL	7220 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	A1A	LT 44 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A HE TRAILS CONT 1679 AC	0.16740503	
316	1 00906E+17	JOHNSON- NETTLES CAROLE H & CHRISTOPHER P NETTLES	7119 ALAMILLO RD NW	ALBUQUERQUE	NM	87114	A1A	LT 74A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1379 AC	0.13785515	
317	1 00906E+17	MASCARENAS LEONARD & PAULA	9016 LADRON DR NW	ALBUQUERQUE	NM	87114	A1A	LT 87A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1833 AC	0.18319518	
318	1 00906E+17	ROMERO EZEQUIEL P & DEBORAH E	9320 ALLEGANCE ST NW	ALBUQUERQUE	NM	87114	A1A	LT 22 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT B HE TRAILS CONT 1329 AC	0.13279815	
319	1 00906E+17	BUI CAMNHUNG T	3063 CRAY CT	SAN JOSE	CA	95121	A1A	LT 19-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1124 AC	0.11221722	
320	1 00906E+17	PEREZ ROCEL G	32458 JEAN DR	UNION CITY	CA	94587	A1A	LT 10- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1086 AC	0.10856684	
321	1 00906E+17	COGDILL ANN M AUBREY L	7301 TOME CT NW	ALBUQUERQUE	NM	87114	A1A	LT 63-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1291 AC	0.12922219	
322	1 00906E+17	SANCHEZ VERRIANNE	9323 JAMESON ST NW	ALBUQUERQUE	NM	87114	A1A	LT 75 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A HE TRAILS CONT 1299 AC	0.12967316	
323	1 00906E+17	BLACK GRANT E & ANNE MARIE	5800 CAMBRIA RD NW	ALBUQUERQUE	NM	87120	A1A	LT 82- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1085 AC	0.10840821	
324	1 00906E+17	MIMS MARCUS J	9112 LADRON DR NW	ALBUQUERQUE	NM	87114	A1A	LT 82A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1685 AC	0.16839211	
325	1 00906E+17	TRAMMELL KAREN H & WILLIAM H	7240 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	A1A	LT 49 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT A HE TRAILS CONT 1326 AC	0.13247228	
326	1 00907E+17	ROMERO NORA & BERG JOHN MICHAEL	7212 GROS VENTRE CT NW	ALBUQUERQUE	NM	87114	A1A	LT 37-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1205 AC ML OR 5 250 SF ML	0.12043978	
327	1 00906E+17	MCKINNON ROBERT B	7020 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114	A1A	LT 49- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1100 AC	0.10997516	
328	1 00906E+17	THIBODEAUX ROBERT K & TERESA H	7223 JALISCO RD NW	ALBUQUERQUE	NM	87114	A1A	LT 87-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1039 AC	0.10378572	
329	1 00906E+17	OFFERDAHL BARRY	7028 HAWKWATCH RD NW	ALBUQUERQUE	NM	87114	A1A	LT 70- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1368 AC	0.13657374	
330	1 00906E+17	TAOS AT THE TRAILS, INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	A1A	LT 14- P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 1130 AC	0.11329774	
331	1 00906E+17	TAOS AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	A1A	LT 12- P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 1124 AC	0.1124171	
332	1 00906E+17	TRAILS COMMUNITY ASSOCIATION INC (THE)	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	A1A	TR OS-3 BULK LAND PLAT OF THE TRAILS UNIT 3A (BEING A REPLAT OF TRACTS 1 THRU 8, OP 1 & OS-2 THE TRAILS UNIT 3 & TRACT 12) THE TRAILS UNIT 2) CONT 1.9999 AC	1.99792627	
333	1 00906E+17	NGO QUANG D & NGUYEN DAMIE O	2806 HARBOR VIEW LN	EIK GROVE	CA	95758	A1A	LT 73-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1442 AC	0.14400897	

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334	1 00906E+17	LINTHICUM TROES D & DEANNA M	9140 RIO GALISTEO PL NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 28- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1245 AC	0 12452956
335	1 00906E+17	D R HORTON INC	4400 B ALAMEDA NE	ALBUQUERQUE	NM	87113 V	A1A	A1A	LT 55A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1377 AC	0 13764891
336	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120 V	A1A	A1A	LT 76- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1354 AC	0 13545251
337	1 00906E+17	CENTEX HOMES	7601 JEFFERSON ST NE SUITE 320	ALBUQUERQUE	NM	87109 V	A1A	A1A	TR C PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT (BEING A REPLAT OF TRACT AT THE TRAILS CONT 0771 AC)	0 07703711
338	1 00906E+17	LIU JOSEPHINE	8908 OSO CORRIDOR PL NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 87- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1131 AC	0 11319879
339	1 00907E+17	CHAVEZ FRANK JR	4916 GOLDEN THREAD DR NE	ALBUQUERQUE	NM	87113 R	A1A	A1A	LT 34-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1461 AC M/L ORG 365 SF M/L	0 14525419
340	1 00906E+17	GRIEVE STEVE D & LAURA C	7239 JALISCO RD NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 83-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1039 AC	0 10379262
341	1 00906E+17	GUTERREZ MICHAEL L & LISA M	7009 HAWKWATCH RD NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 55- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1099 AC	0 10979842
342	1 00906E+17	KRUEGER JUNG CINDI K	7105 EDISON RD NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 18 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS CONT 1205 AC)	0 12045181
343	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120 V	A1A	A1A	LT 55- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1185 AC	0 11852665
344	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120 V	A1A	A1A	LT 6 P1- G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 2147 AC	0 21459196
345	1 00906E+17	PEREZ DANIEL & DIANA E	8909 BALSAM GLADE RD NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 45- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1085 AC	0 10806417
346	1 00907E+17	SANDOVAL GARY P	7412 CERROS PL NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 29 PLAT OF LAS CASITAS SUBD AT VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CONT 0.263 AC M/L OR 5,302 SF M/L	0 12825537
347	1 00906E+17	TANNENBAUM DAVID	2646 PALM DR APT 330	VENTURA	CA	93003 R	A1A	A1A	LT 51-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0 10323435
348	1 00906E+17	BARRETT JESSICA & VIGIL BENEDICT J	6924 HAWKWATCH RD NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 90- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1085 AC	0 10842592
349	1 00906E+17	VIGIL GILBERTO A	4949 SAN PEDRO DR NE APT 101	ALBUQUERQUE	NM	87109 R	A1A	A1A	LT 52-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0 10323298
350	1 00906E+17	TRINH KHANH	6163 HEATHERCREEK WAY	SAN JOSE	CA	95123 R	A1A	A1A	TR C PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS CONT 0924 AC)	0 10301613
351	1 00906E+17	CENTEX HOMES	7601 JEFFERSON ST NE SUITE 320	ALBUQUERQUE	NM	87109 V	A1A	A1A	LT 58 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT (BEING A REPLAT OF TRACT AT THE TRAILS CONT 1382 AC)	0 06264551
352	1 00906E+17	KILPATRICK ROGER L & RAMONA S	7240 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 35 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS CONT 1930 AC)	0 19264511
353	1 00906E+17	SALAZAR MATTHEW & LAURAL	9301 ALLEGIANCE ST NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 72- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1098 AC	0 10978863
354	1 00906E+17	DONG LAM	34288 PINNACLES DR	UNION CITY	CA	94587 R	A1A	A1A	LT 49 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS CONT 1619 AC)	0 16178585
355	1 00906E+17	STEPHENS JAMES S & CATHERINE A & TIMOTHY L & SHAR	9304 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 74- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1098 AC	0 10978231
356	1 00906E+17	CAMPBELL MATTHEW L	7012 HAWKWATCH RD NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 12- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1085 AC	0 10840017
357	1 00906E+17	SOBO FIRAS N SR	3122 CASA BONITA DR	BONITA	CA	91902 R	A1A	A1A	LT 32-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 2702 AC	0 2878052
358	1 00906E+17	RAYON KEILA TRUSTEE SANTE FE TRAILS 32P1 TRUST	PO BOX 92194	ALBUQUERQUE	NM	87199 R	A1A	A1A	LT 3- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1096 AC	0 11214426
359	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120 V	A1A	A1A	LT 7- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1102 AC	0 11014257
360	1 00906E+17	CHANNEY RONALD M & CINDY CO AYER ROBERT & LAURA	7012 TREE LINE AVE NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 23- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1134 AC	0 11297486
361	1 00906E+17	RAND BERNADETTE & ROBERT A ROWE	6915 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 90A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1846 AC	0 18446151
362	1 00906E+17	NGUYEN DAVID & HELENE TRAN	5381 EAGLE PARK CT	SAN JOSE	CA	95138 R	A1A	A1A	LT 56- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1085 AC	0 10839713
363	1 00906E+17	KERESTES JOHN W & JEANENE A	6928 KAYSER MILL RD NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 41 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS CONT 1473 AC)	0 14718229
364	1 00906E+17	MONTANO DOROTHY M	9323 ALLEGIANCE ST NW	ALBUQUERQUE	NM	87114 R	A1A	A1A		

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365	1 00906E+17	GONZALEZ JOSE A & EVELYN P	9012 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 88A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1837 AC	0.1836034
366	1 00906E+17	ROACH JEFFERY M & TRACEY L	9300 NATIONWIDE ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 30 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT A AT THE TRAILS) CONT 1348 AC	0.1345483
367	1 00907E+17	CHAPMAN ELON B	9404 TOUCAN PL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 35 PLAT OF LAS CASITAS SUBD AT VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CONT 0.1263 AC M/L OR 5,502 SF M/L	0.1254919
368	1 00906E+17	TRAILS LLC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	TR 5 BULK LAND PLAT OF THE TRAILS UNIT 3A (BEING A REPLAT OF TRACTS 1 THRU 8 OS-1 & OS-2 THE TRAILS UNIT 3 & TRACT 12 THE TRAILS UNIT 2) CONT 7.7343 AC	7.7310605
369	1 00906E+17	GONZALES MICHAEL D & PATRICIA	205 DUNDEE WAY	RIO RANCHO	NM	87124	R	A1A	LT 22-P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1147 AC	0.1140863
370	1 00906E+17	TAYLOR CHRISTOPHER & ELIZABETH	8916 OSO CORRIDOR PL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 89-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1131 AC	0.1131984
371	1 00906E+17	DESANTIS CHRISTOPHER F	7204 TEYPANA RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 14-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.1022825
372	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 11 P1-G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1198 AC	0.1197681
373	1 00906E+17	VU THUY LINH & DUC T DANG	380 S RAMSGATE DR	ANAHEIM	CA	92807	R	A1A	LT 69-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1039 AC	0.1028918
374	1 00907E+17	LANGLAND LAYLA L	7408 CERROS PL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 30 PLAT OF LAS CASITAS SUBD AT VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CONT 0.1263 AC M/L OR 5,502 SF M/L	0.1262031
375	1 00906E+17	HILLIARD JOSH & GWEN	9327 NATIONWIDE ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 36 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT A AT THE TRAILS) CONT 1363 AC	0.1360217
376	1 00906E+17	MARR ROBERT J & DIANE M	7304 TEYPANA RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 45-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1040 AC	0.1035606
377	1 00906E+17	THOMAS RONI	7216 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 26-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1085 AC	0.1083972
378	1 00906E+17	LOPEZ AGGIE LEIGH	7243 TEYPANA RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 64-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1472 AC	0.1469787
379	1 00906E+17	TAOS AT THE TRAILS, INC NGUYEN HUY MIKE & LIEN BICH NGUYEN TRUSTEES NGUYEN FAMILY LVT	3077 E WARM SPRINGS RD 1195 HAMILTON AVE	LAS VEGAS PALO ALTO	NV CA	89120 94301	V R	A1A	LT 1-P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 1334 AC LT 40-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1133 AC	0.1334509 0.1133040
380	1 00906E+17	NGUYEN HUY MIKE & LIEN BICH NGUYEN TRUSTEES NGUYEN FAMILY LVT	1195 HAMILTON AVE	PALO ALTO	CA	94301	R	A1A	LT 40-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1133 AC	0.1133040
381	1 00906E+17	THOMAS RONI	7219 JALISCO RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 88-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1034 AC	0.1032851
382	1 00906E+17	THE TRAILS LLC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	TR B PLAT OF TRACTS A, B AND C CANTATA AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT OS-4 THE TRAILS UNIT 2 & TRACT ATAOS AT THE TRAILS UNIT 2) CONT 17.0483 AC	17.0444028
383	1 00906E+17	SEAGRIST THOMAS A	9315 JAMESON ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 73 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT A AT THE TRAILS) CONT 1206 AC	0.1205598
384	1 00906E+17	DELEON DANIEL & CONTRERAS ALEJANDRO	7135 EDISON RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 11 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT B AT THE TRAILS) CONT .1636 AC	0.1644272
385	1 00907E+17	GALINDO JESSICA D	9404 SANTALA PL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 17-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1308 AC M/L OR 5,697 SF M/L	0.1305910
386	1 00906E+17	BEAUCHAMP JEAN L % MCGUIRE MATTHEW L & KNAACK JUSTIN M	6941 WHITE PINE PL NE	ALBUQUERQUE	NM	87109	R	A1A	LT 8 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT A AT THE TRAILS) CONT 1205 AC	0.1204527
387	1 00907E+17	ALVAREZ VICTOR & ARLENE	7012 SENDERO RD NW	ALBUQUERQUE	NM	87120	R	A1A	LT 20 PLAT OF SOMMERSET SUBD AT VENTANA RANCH (REPL OF TRACT 2 VENTANA RANCH) CONT 0.1846 AC M/L OR 8,041 SF M/L	0.1842314
388	1 00906E+17	TAOS AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 24-P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 1193 AC	0.1193007
389	1 00906E+17	SANCHEZ VICTOR E SR & SANTA SANCHEZ	9116 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 81A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1681 AC	0.1680167
390	1 00906E+17	ELLISON SHIRLEY A	9312 BATTLE CREEK TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 47 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT B AT THE TRAILS) CONT 1264 AC	0.1263095
391	1 00906E+17	BAGLEY CHRISTOPHER G & MELISSA K	9309 WEST HAVEN ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 62 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT A AT THE TRAILS) CONT 1794 AC	0.1791440
392	1 00906E+17	PASZKO JOLA & ANNA M PARIASZEWSKI	842 LAKEBIRD DR	SUNNYVALE	CA	94089	R	A1A	LT 97-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1038 AC	0.1037349
393	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 57-P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1120 AC	0.1122108
394	1 00906E+17	DECUNAE JANUS J & HELGA L GLADIK	7005 HAWKWATCH RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 64-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1099 AC	0.1098109
395	1 00906E+17	HAGAN TOM & FAWN R DOLAN	PO BOX 2033	CORRALES	NM	87048	R	A1A	LT 50A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 2138 AC	0.2140265
396	1 00906E+17	K VENTURES LLC	7209 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87120	R	A1A	LT 18 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT A AT THE TRAILS) CONT 1206 AC	0.1205785
397	1 00906E+17	TAYLOR JULIE ALENE	7109 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 35 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1515 AC	0.1514093
398	1 00906E+17	TRAILS LLC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	TR 10 BULK LAND PLAT OF THE TRAILS UNIT 3A (BEING A REPLAT OF TRACTS 1 THRU 8 OS-1 & OS-2 THE TRAILS UNIT 3 & TRACT 12 THE TRAILS UNIT 2) CONT 6.3980 AC	6.3966618
399	1 00906E+17	SORIANO SANDRA S	7150 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 2A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1661 AC	0.1657841

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400	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 54- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1123 AC	0.11222124
401	1 00906E+17	MOUNT ROBERT A & MADELEINE J TRUSTEES MOUNT RV	6575 LOWER RIDGE RD	SANTA ROSA	CA	95404	R	A1A	LT 30-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1122 AC	0.11147399
402	1 00906E+17	CENTEX HOMES	7601 JEFFERSON ST NE SUITE 320	ALBUQUERQUE	NM	87109	V	A1A	TR A PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 0192 AC	0.01922411
403	1 00906E+17	WILSON WILLIAM T & GALANIS TWILA M	9020 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 86A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1829 AC	0.18274676
404	1 00906E+17	TRUJILLO ALFONSO R & TANA A	8912 HALLSTON TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 59 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1515 AC	0.15141615
405	1 00906E+17	DEAN NEIL & R DI LEEN BASS-DEAN	9305 NATIONWIDE ST NW	ALBUQUERQUE	NM	87120	R	A1A	LT 31 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT A T HE TRAILS) CONT 1508 AC	0.14969686
406	1 00906E+17	ZHENG WEIFENG & LI YEE GUO	1005 SECRET GARDEN ST	LAS VEGAS	NV	89145	R	A1A	LT 34-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1039 AC	0.10389684
407	1 00906E+17	TAOS AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 4- P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 0938 AC	0.09377685
408	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 66A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1534 AC	0.15325201
409	1 00906E+17	MONTANO YOLANDA M	9115 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 63A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1405 AC	0.14039647
410	1 00906E+17	WELCH THOMAS D II % JOHNNY TAPIA & BEN CHAVEZ	2405 JANET ANNE LN	LAS CRUCES	NM	88007	R	A1A	LT 79- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1085 AC	0.10842254
411	1 00906E+17	TAOS AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 10- P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 1122 AC	0.11211016
412	1 00906E+17	MARQUEZ JOSEFITA T	8209 CALLE ENSUENO NW	ALBUQUERQUE	NM	87120	R	A1A	LT 16- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1147 AC	0.11468459
413	1 00906E+17	NGUYEN THO & PHUONG THAO	9120 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 80A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1678 AC	0.16764351
414	1 00906E+17	JORGENSEN AARON & CHELSEY	7323 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 69 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT A T HE TRAILS) CONT 1304 AC	0.13031065
415	1 00906E+17	JARRETT DANIEL J	9031 RIO GALISTEO PL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 12- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1147 AC	0.11467667
416	1 00906E+17	TAOS AT THE TRAILS, INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 20- P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 1148 AC	0.11476117
417	1 00906E+17	LLAVORE RUSSEL Z & MARIVIC S	5289 WESTPORT VIEW DR	SAN DIEGO	CA	92154	R	A1A	LT 44-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1040 AC	0.10380781
418	1 00906E+17	MARTINEZ DAMON G & BARBARA A	6932 HAWKWATCH RD NW	ALBUQUERQUE	NM	87120	R	A1A	LT 78- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1085 AC	0.108404
419	1 00906E+17	GORDON MICHAEL S & TAMARA R	9309 ALLEGIANCE ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 37 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 (BEING A REPLAT OF TRACT B T HE TRAILS) CONT 1449 AC	0.14485556
420	1 00906E+17	HOURIGAN NICOLE L & AARON K	8943 BALSAM GLADE RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 37- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1552 AC	0.15459243
421	1 00906E+17	SHORTRIDGE ROBERT G	7036 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 1- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1317 AC	0.13087966
422	1 00906E+17	PLEMMONS PAUL R JR & BROOKE M	7151 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 13A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1377 AC	0.13764418
423	1 00906E+17	MARTINEZ VERONICA M	9131 RIO GALISTEO PL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 21- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1147 AC	0.11468146
424	1 00906E+17	YAPOR LUIS & CECILIA	7027 KAYSER MILL RD	ALBUQUERQUE	NM	87104	R	A1A	LT 34- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1109 AC	0.11089912
425	1 00906E+17	SHERRIE MICHAEL D & GLORIA F	7309 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 66 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 (BEING A REPLAT OF TRACT A T HE TRAILS) CONT 1150 AC	0.1150671
426	1 00906E+17	BROOKS JAYSON & GAIL	9008 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 89A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1842 AC	0.18402776
427	1 00906E+17	SANTISTEVEN MICHAEL & JANET	PO BOX 3794	GRANTS	NM	87020	R	A1A	LT 31- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1104 AC	0.11024733

Rec	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP	OWNER R	OWNER R	PROP CLASS	TAX DISTRICT	LEGAL	ACRES
429	1 00906E+17	PHAM KEO	9100 LADRON DR NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 89A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1824 AC	0.18230986
429	1 00906E+17	ARREDONDO MICHELA	2258 AVENTURINE PL	CARLSBAD	CA	92009R	92009R		A1A	A1A	LT 23 P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.1041137
430	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	89120V		A1A	A1A	LT 72A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1575 AC	0.15775118
431	1 00906E+17	BACA FRANK M & LUZ M	9209 CLINTON ANDERSON DR NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 5 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT 6 BT HE TRAILS CONT 1354 AC	0.13553405
432	1 00906E+17	GO GEORGIANA C	8920 OSO CORRIDOR PL NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 90- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1131 AC	0.11320526
433	1 00906E+17	OATES MARIA	PO BOX 94417	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 73A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 2056 AC	0.20615297
434	1 00906E+17	LOPEZ ROBERT & JULIANNE VELARDE	8936 OSO CORRIDOR PL NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 94- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1439 AC	0.14396122
435	1 00906E+17	LUNA JESSICA A & CASTANEDA TENIA A	7015 HAWKWATCH RD NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 66- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1099 AC	0.10980225
436	1 00906E+17	TRAN TUAN & HA DORIS	3122 GLEN ALTO CT	SAN JOSE	CA	95148R	95148R		A1A	A1A	LT 26- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1085 AC	0.10819721
437	1 00906E+17	WILLIAMS LAWRENCE & PAMELA L	9331 NATIONWIDE ST NW	ALBUQUERQUE	NM	87120R	87120R		A1A	A1A	LT 37 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT 4 T HE TRAILS CONT 1712 AC	0.17078944
438	1 00906E+17	MILLER ALAN	PO BOX 67264	ALBUQUERQUE	NM	87193R	87193R		A1A	A1A	LT 26- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1272 AC	0.12741414
439	1 00906E+17	TAOS AT THE TRAILS, INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	89120V		A1A	A1A	LT 77- P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2) CONT 1126 AC	0.11280106
440	1 00906E+17	DIVETT SAMUEL & ROCHELLE	7219 TREE LINE AVE NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 21- P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.10323617
441	1 00906E+17	D R HORTON INC	4400 B ALAMEDA NE	ALBUQUERQUE	NM	87113V	87113V		A1A	A1A	LT 75- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1174 AC	0.11741585
442	1 00906E+17	YPLAO INVESTMENTS LLC	202 N CURRY ST 100	CARSON CITY	NV	89703R	89703R		A1A	A1A	LT 80- P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1040 AC	0.10340669
443	1 00906E+17	TAOS AT THE TRAILS HOMEOWNERS ASSOC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120V	89120V		A1A	A1A	TR B- 1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 0610 AC	0.06093907
444	1 00906E+17	HARDY MICHAEL & VERONICA MUNROE-HARDY	7108 ALAMILLO RD NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 61A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1461 AC	0.14601185
445	1 00906E+17	RUSHENBERG PATRICK C & VANESSA L	7027 TREE LINE AVE NW	ALBUQUERQUE	NM	87109R	87109R		A1A	A1A	LT 21- P1 G PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1446 AC	0.144522
446	1 00906E+17	DOMINGUEZ ROLAND A	9112 JARALEES CT NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 49A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1590 AC	0.15908254
447	1 00906E+17	BILLIAN JAMES S	9308 NATIONWIDE ST NW	ALBUQUERQUE	NM	87114P	87114P		A1A	A1A	LT 28 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT 4 T HE TRAILS CONT 1224 AC	0.12233326
448	1 00906E+17	MONIKA JEFFREY S	11936 E PRADEIRA RD	CAMARILLO	CA	93012R	93012R		A1A	A1A	LT 11- P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.10323756
449	1 00907E+17	MARTINEZ JENNY R	7404 CERROS PL NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 31 PLAT OF LAS CASITAS SUBD AT VENTANA RANCHO (REPL OF TR 3A VENTANA RANCHO) CO NT 0.1263 AC ML OR 5.502 SF ML	0.1262013
450	1 00906E+17	HUYNH LINDA	8721 FESTIVAL DR	ELK GROVE	CA	95624R	95624R		A1A	A1A	LT 91- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1131 AC	0.11329078
451	1 00906E+17	GILES ERIC S & MICHELLE D	7305 TREE LINE NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 38- P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1039 AC	0.10408036
452	1 00906E+17	CASTRO PEDRO & PATRICIA A	9116 SABINAL DR NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 6- P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.10323396
453	1 00906E+17	HAYES MICHAEL T & JEAN M	7323 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 5 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1 BEING A REPLAT OF TRACT 6 TH HE TRAILS CONT 1205 AC	0.12045319
454	1 00906E+17	SANCHEZ MARCUS JOHN & NANCY ANN	7459 SWAN LAKE DR	NEW PORT RICHEY FL	FL	34655R	34655R		A1A	A1A	LT 76A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1461 AC	0.14599053
455	1 00906E+17	BERRY DANNY L	3215 SCHUMACHER ST NW	ALBUQUERQUE	NM	87120R	87120R		A1A	A1A	LT 15 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT 9 T HE TRAILS CONT 1205 AC	0.12045745
456	1 00906E+17	DJO PAR MARIO & DANA	9300 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 50 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2 BEING A REPLAT OF TRACT 6 T HE TRAILS CONT 1939 AC	0.19369017
457	1 00906E+17	FONTES RAQUEL	7312 TEYAPANA RD NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 47 P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1774 AC	0.17707771
458	1 00907E+17	GINSBERG KARENA & LLOYD S	9405 MONTARA CT NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 17 PLAT OF SOMMERSET SUBD AT VENTANA RANCHO (REPL OF TRACT 2 VENTANA RANCHO) CONT 0.2215 AC ML OR 9.651 SF ML	0.22208021
459	1 00906E+17	MARTINEZ CLAUDIA P & ARTURO	8905 BALSAM GLADE RD NW	ALBUQUERQUE	NM	87114R	87114R		A1A	A1A	LT 46- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2 BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1085 AC	0.10808624

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460	1 00906E+17	ARMIJO SANDRA	7235 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87120	R	A1A	LT 12 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1205 AC	0 12045295
461	1 00906E+17	DURAN JOHN PAUL & MARIE E	9311 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 6 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT B T HE TRAILS CONT 1303 AC	0 13031342
462	1 00906E+17	NGUYEN XUAN T & DUNG X VO	9109 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 64A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1511 AC	0 15095277
463	1 00906E+17	SANCHEZ DAVID A	7028 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 3-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1102 AC	0 11010694
464	1 00906E+17	MCDONALD KEVIN C & JENNIFER L	8901 BALSAM GLADE RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 47-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1402 AC	0 13944859
465	1 00906E+17	COTTRELL DALE & DAWN	9132 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 77A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1792 AC	0 18777891
466	1 00906E+17	MIRELES ED E & JUANIS V	9316 ALLEGIANCE ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 23 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT B T HE TRAILS CONT 1209 AC	0 12081149
467	1 00906E+17	RODRIGUEZ JUAN & RAMOS MYRIAM	7024 HAWKWATCH RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 71-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1098 AC	0 10976742
468	1 00906E+17	FARVOUR GARY E & ELIZABETH B	7108 CROSSWINDS TRL	ALBUQUERQUE	NM	87114	R	A1A	LT 53 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1515 AC	0 15141666
469	1 00907E+17	LANDAVAZO MARK ELIAS	9401 VERVAIN DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 33-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0 1939 AC M/L OR 446 SF M/L	0 19377769
470	1 00906E+17	FORTUS BARRY L TRUSTEE FORTUS RVT	7102 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 79 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 2211 AC	0 22112516
471	1 00906E+17	YANCY MICHAEL E & KASIE	9332 WEST HAVEN ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 38 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1294 AC	0 12929479
472	1 00906E+17	MESKE DUANE D & ANGELA C	7327 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 4 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1205 AC	0 12045295
473	1 00906E+17	ROSSITER AARON R & SHEA R	9303 BATTLE CREEK TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 2 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT B T HE TRAILS CONT 2040 AC	0 20573194
474	1 00906E+17	TAOS AT THE TRAILS, INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 21-P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2)CONT 1107 AC	0 11078339
475	1 00906E+17	PARADISE WEST INC	7423 LANTERN RD NE	ALBUQUERQUE	NM	87109	V	A1A	TR 1 BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS G & J THE TRAILS AND UNPLATTED DEED PARCELS)CONT 12 3383 AC	12 33574594
476	1 00907E+17	BLOOD FAMILY TRUST	9403 TRAVILLA DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 11 PLAT OF SOMMERSET SUBD AT VENTANA RANCH (REPL OF TRACT 2 VENTANA RANCH) CONT 0 2251 AC M/L OR 9,808 SF M/L	0 23439947
477	1 00906E+17	NGUYEN HENRY	3405 PRINCE OF WALES LN	SAN JOSE	CA	95132	R	A1A	LT 33-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1104 AC	0 11023277
478	1 00906E+17	MCNEELY JAMES F & JEANETTE M	9324 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 44 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT B T HE TRAILS CONT 1390 AC	0 13894692
479	1 00906E+17	NEJO CHRISTOPHER A	7131 EDISON RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 12 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT B T HE TRAILS CONT 1205 AC	0 12045011
480	1 00906E+17	HOWIE DANIEL	9311 ALLEGIANCE ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 38 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT B T HE TRAILS CONT 1423 AC	0 14218944
481	1 00906E+17	NGUYEN KHOA	8571 BLACK KITE DR	ELK GROVE	CA	95624	R	A1A	LT 57-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1085 AC	0 10819521
482	1 00906E+17	HAUF MARIA FE Z	9132 SABINAL DR NW	ALBUQUERQUE	NM	87120	R	A1A	LT 4-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1037 AC	0 10365441
483	1 00906E+17	CITY OF ALBUQUERQUE	PO BOX 1293	ALBUQUERQUE	NM	87103	V	A1A	TR E BULK PLAT OF THE TRAILS A REPLAT OF A PORTION OF TRACT 4 BLACK RANCH CONT 5 7243 AC	5 61231322
484	1 00906E+17	REYES JANNA N & DANIEL P	8912 OSO CORRIDOR PL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 88-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1131 AC	0 11320613
485	1 00906E+17	K VENTURES LLC	9324 NATIONWIDE ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 24 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1224 AC	0 12228241
486	1 00906E+17	HUGHES LAWRENCE MAX & ELIZABETH ANN GONZALES-HUGHES	7227 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87120	R	A1A	LT 14 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1205 AC	0 12045227
487	1 00906E+17	MORENO ANA E	7000 HAWKWATCH RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 77-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 TH E TRAILS UNIT 2) CONT 1098 AC	0 10976306
488	1 00906E+17	WILLEY DAVID D & MARTI L	7100 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87120	R	A1A	LT 28 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT B T HE TRAILS CONT 1327 AC	0 13302093
489	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 70A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1542 AC	0 15405871
490	1 00906E+17	DRACKERT EMANUEL F & DORIS S	7219 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 16 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT A T HE TRAILS CONT 1205 AC	0 12044671
491	1 00906E+17	CITIMORTGAGE INC	1000 TECHNOLOGY DR	OFALLON	MO	63304	R	A1A	LT 48-P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT B T HE TRAILS UNIT 2) CONT 2045 AC	0 20417785
492	1 00906E+17	LAW DAKKI WINGSZE TRUSTEE ADIT TRUST	3512 WYNN RD	LAS VEGAS	NV	89103	R	A1A	LT 92-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1864 AC	0 18492977

Rec	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP	PROP CLASS	TAX DISTRICT	LEGAL	ACRES
493	1 00906E+17	GALLEGOS ROBERT N & VERONICA LYNN MARES	7201 WILLIAMSBURG RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 20 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT 4 THE TRAILS CONT 2130 AC	0.21311351
494	1 00906E+17	ARNOLD BEAU LEE	7309 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 39-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1368 AC	0.13666607
495	1 00906E+17	THE TRAILS COMMUNITY ASSOCIATION	7007 JEFFERSON BLVD NE SUITE A	ALBUQUERQUE	NM	87109	V	A1A	TR OS- 2 BULK PLAT OF THE TRAILS A REPLAT OF A POPTION OFTRACT 4 BLACK RANCH CONT 2 090 3 AC	2.09200448
496	1 00906E+17	SIAO-PAO WILIA M	7228 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 46 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT 4 THE TRAILS CONT 1398 AC	0.13970211
497	1 00906E+17	ONG WELLIVER TIU	9124 LADRON DR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 79A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT 1674 AC	0.16726692
498	1 00906E+17	SIERRA AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 4- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1131 AC	0.11034593
499	1 00906E+17	NOVELLO RONALD J JR & ELENA A	PO BOX 78352	CORONA	CA	92877	R	A1A	LT 18-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.10323998
500	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 69A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT 1540 AC	0.1538545
501	1 00906E+17	MORANT KEVIN C	9308 ALLEGIANCE ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 25 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT 6 THE TRAILS CONT 1332 AC	0.13309391
502	1 00906E+17	BARRIE JON ROSS	7316 WILLIAMSBERG RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 54 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT 4 THE TRAILS CONT 1300 AC	0.12986141
503	1 00906E+17	PATITSAS PAUL A	9300 ALLEGIANCE ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 27 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT 6 THE TRAILS CONT 1333 AC	0.133327
504	1 00906E+17	MARQUEZ CHARLIE	9019 RIO GALISTEO PL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 9- P1 PLAT OF SANTA FE 3 AT THE TRAILS UNIT 2 (BEING AREPLAT OF TRACT 4 THE TRAILS UNIT 2) CONT 1191 AC	0.11938152
505	1 00906E+17	ULIBARRI ROBERT & KIMBERLY A	9324 WEST HAVEN ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 40 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT 4 THE TRAILS CONT 1275 AC	0.127468
506	1 00906E+17	TRUJILLO STEPHEN R	8905 OSO CORRIDOR PL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 83- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1238 AC	0.12378157
507	1 00906E+17	NGUYEN LYNDA	1952 ROSENELFE CIR	SAN JOSE	CA	95148	R	A1A	LT 43-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1040 AC	0.10389420
508	1 00906E+17	COSMAN MARK GOODRICH TRUSTEE COSMAN TRUST	9305 JAMESON ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 71 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1(BEING A REPLAT OF TRACT 4 THE TRAILS CONT 1592 AC	0.15914644
509	1 00906E+17	TAOS AT THE TRAILS INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 13- P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2)CONT 1229 AC	0.12283899
510	1 00906E+17	AGUILAR ANTONIO & MARCY L AGUILAR	9328 BATTLE CREEK TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 43 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT 6 THE TRAILS CONT 1489 AC	0.14875826
511	1 00907E+17	CAMPBELL COLIN M & ELIZABETH A	7400 CERROS PL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 32 PLAT OF LAS CASITAS SUBD AT VENTANA RANCH (REPL OF TR3A VENTANA RANCH) CONT 0.1943 AC M/L OR 8,464 SF M/L	0.19426463
512	1 00906E+17	MCDANIEL JOHN & TAJUANA C	9301 BATTLE CREEK ST NW	ALBUQUERQUE	NM	87114	R	A1A	LT 1 PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2(BEING A REPLAT OF TRACT 6 THE TRAILS CONT 2189 AC	0.21731199
513	1 00906E+17	PASCUA BENJAMIN O	1666 WHEATLEY PL	SAN JOSE	CA	95121	R	A1A	LT 14- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1093 AC	0.10922351
514	1 00906E+17	D R HORTON INC	4400 ALAMEDA BLVD NE B	ALBUQUERQUE	NM	87113	V	A1A	LT 34A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT 1509 AC	0.1507488
515	1 00906E+17	CASTILLO RICHARD M JR & RENEE E	PO BOX 1844	ALBUQUERQUE	NM	87103	R	A1A	LT 42- P1 CORRECTION PLAT OF SANTA FE 2 AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACT 6 THE TRAILS UNIT 2) CONT 1085 AC	0.10805896
516	1 00906E+17	FEDERAL NATIONAL MORTGAGE ASSOCIATION	PO BOX 650043	DALLAS	TX	75265	R	A1A	LT 22-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1033 AC	0.10323524
517	1 00906E+17	TAOS AT THE TRAILS, INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 9- P1 SUBDIVISION PLAT OF TAOS AT THE TRAILS UNIT 2(BEING A REPLAT OF TRACTS 5 & 7 THE TRAILS UNIT 2)CONT 0989 AC	0.09909914
518	1 00906E+17	CENTEX HOMES	7601 JEFFERSON ST NE SUITE 320	ALBUQUERQUE	NM	87109	R	A1A	LT 46 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1610 AC	0.16107213
519	1 00906E+17	WEALE JOHN CHRISTOPHER	8900 HALLSTON TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 56 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 2510 AC	0.25080312
520	1 00906E+17	NIXON ERIC	7128 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 72 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 2033 AC	0.20318334
521	1 00906E+17	MCMANUS MARY E	7116 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 75 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1284 AC	0.12833892
522	1 00906E+17	BRUHN DAVID & IVY M	8947 SHELBURNE WAY	ZIONSVILLE	IN	46077	R	A1A	LT 61-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1204 AC	0.12151027
523	1 00906E+17	YORK REGINA	7316 TOME CT NW	ALBUQUERQUE	NM	87114	R	A1A	LT 56-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1568 AC	0.15623609
524	1 00906E+17	MORALES JESUS & ESTELA	7147 GLYNDON TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 12 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1543 AC	0.15440042
525	1 00906E+17	HOLLER JENNIFER M	8915 WINNCREST TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 20 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1572 AC	0.15695942
526	1 00906E+17	D R HORTON INC	4400 ALAMEDA BLVD NE B	ALBUQUERQUE	NM	87113	V	A1A	LT 23A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OFTAOS AT THE TRAILS) CONT 1497 AC	0.1498637

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527	1 00906E+17	HAMPTON ROBERT	7120 CUCHILLO RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 40A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1428 AC	0 1429235
528	1 00906E+17	MILLER ALAN & VICKI	PO BOX 67264	ALBUQUERQUE	NM	87193	R	A1A	LT 11A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1400 AC	0 13975734
529	1 00906E+17	PANG CHING & LINDA	8920 WINNCREST TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 24 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1783 AC	0 17823512
530	1 00906E+17	ALBO PATTY A	7224 HEARTHSTONE RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 71 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1656 AC	0 16566451
531	1 00906E+17	D R HORTON INC	4400 ALAMEDA BLVD NE B	ALBUQUERQUE	NM	87113	V	A1A	LT 31A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1449 AC	0 1448023
532	1 00906E+17	KREPFL MICHAEL J & SHELLEY R	8919 WINNCREST TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 19 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1572 AC	0 15697395
533	1 00906E+17	JOHNSTON GLEN L & DIANA L	8901 WINNCREST TRL NW	ALBUQUERQUE	NM	87121	R	A1A	LT 23 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1946 AC	0 19470533
534	1 00906E+17	NGUYEN PETE H & ROMETA J	7128 CUCHILLO RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 38A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1428 AC	0 14270839
535	1 00906E+17	DEMNY PATRICIA	7151 GLYNDON TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 13 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1524 AC	0 15193974
536	1 00906E+17	KANE THOMAS M	3679 E HYATT LN	GILBERT	AZ	85297	R	A1A	LT 31 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1752 AC	0 17534651
537	1 00906E+17	STETSON STUART C & TINA A	7132 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 47 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1610 AC	0 16108352
538	1 00906E+17	ANTEL TIMOTHY S & TERRIE D	7108 LAS NUTRIAS NW	ALBUQUERQUE	NM	87114	R	A1A	LT 25A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1638 AC	0 16363558
539	1 00906E+17	BENAVIDEZ LEEANN	1138 NORTH 198TH ST	SHORELINE	WA	98123	R	A1A	LT 6A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1629 AC	0 16291865
540	1 00906E+17	SMITH LARRY W & PRISCILLA	7155 GOLDEN TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 14 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1500 AC	0 14976567
541	1 00906E+17	NGUYEN SU	7660 TEA BERRY WAY	SACRAMENTO	CA	95828	R	A1A	LT 43A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1464 AC	0 14625547
542	1 00906E+17	MYERS DAVID J & DAWN N	2536 TIERRA GRANDE CT	LAS CRUCES	NM	88011	R	A1A	LT 66 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1543 AC	0 15422007
543	1 00906E+17	LOVATO NICK & CALLIE D	7132 CUCHILLO RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 37A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1428 AC	0 14295104
544	1 00906E+17	CPB CHURCH OF JESUS CHRIST OF LATTERDAY SAINTS	50 EAST NORTH TEMPLE ST	SALT LAKE CITY	UT	84105	C	A1A	TR 10-A-1 VACATION REQUEST & PLAT OF TRACT 10-A-1 THE TRAILS SUNIT 2 CONT 5 1021 AC	5 098309811
545	1 00906E+17	TORRES STEPHEN MATTHEW	7127 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 7A P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1605 AC	0 16058757
546	1 00906E+17	CAPRON ALAN	PO BOX 18063	ALBUQUERQUE	NM	87185	R	A1A	LT 15 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1784 AC	0 17776521
547	1 00906E+17	CARRASCO HEATHER L & JESUS L	7112 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 76 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1284 AC	0 12886545
548	1 00906E+17	LUCERO ROBERT & JUANITA M	7136 GLYNDON TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 27 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1501 AC	0 15049572
549	1 00906E+17	D R HORTON INC	4400 ALAMEDA BLVD NE B	ALBUQUERQUE	NM	87113	V	A1A	LT 21A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1564 AC	0 15628962
550	1 00906E+17	CROUCH RORY C & ANNE M	7140 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 7 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1284 AC	0 12843189
551	1 00906E+17	LEHMAN RUDOLPH H & ELVA C SUITE 202-406	5115 N DYSART RD	LITCHFIELD PARK	AZ	85340	R	A1A	LT 59-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1651 AC	0 16432761
552	1 00906E+17	NELSON LARRY D & ANN JANETTE	7123 GLYNDON TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 70 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1543 AC	0 15430525
553	1 00906E+17	MILLER ALAN	PO BOX 67264	ALBUQUERQUE	NM	87193	R	A1A	LT 5A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1629 AC	0 16291081
554	1 00906E+17	GONDEK CAROLYN A	7124 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 73 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1284 AC	0 12844214
555	1 00906E+17	BARRETT CHAD & MARISA	7139 GLYNDON TR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 10 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1544 AC	0 15436711
556	1 00906E+17	ULIBARRI KARLOS & IRMA L	7109 GLYNDON TRL NW	ALBUQUERQUE	NM	87121	R	A1A	LT 67 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1543 AC	0 15422709
557	1 00906E+17	GUEVARRA MARWIN R & LEILANI S	7139 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 42 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1581 AC	0 15802305
558	1 00906E+17	COELLO-PAGAN CHRISTINA	2540 SCHOOLEY DR	TUSTIN	CA	92782	R	A1A	LT 3A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1629 AC	0 16299721

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559	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 20A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1680 AC	0.16791625
560	1 00906E+17	WELCH BRIAN G & THERESA A	7101 GLYNDON TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 65 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1711 AC	0.17097676
561	1 00906E+17	GREGORY CHANG-HUN P & ELENA EUN-YOUNG CHAI	7147 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 44 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1904 AC	0.18987742
562	1 00906E+17	MORGAN SAMUEL D & MARY K	7140 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 45 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 2022 AC	0.20269072
563	1 00906E+17	CHOWDHURY SOHAIL A	7135 GLYNDON TR NW	ALBUQUERQUE	NM	87114	R	A1A	LT 9 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1657 AC	0.16591644
564	1 00906E+17	HAMBURGER AARON D & CHRISTA L	7104 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 78 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 2059 AC	0.20566026
565	1 00906E+17	ALVAREZ EDMUNDO P & SUSANA L	7125 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 4 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1276 AC	0.12750606
566	1 00906E+17	CRUZ PATSY	7112 LAS NUTRIAS NW	ALBUQUERQUE	NM	87114	R	A1A	LT 24A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1497 AC	0.14991284
567	1 00906E+17	GONZALES APRIL D	7128 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 48 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1610 AC	0.16135895
568	1 00906E+17	LEE TOM S & AMY G	34381 GRAND CANYON DR NW	UNION CITY	CA	94587	R	A1A	LT 34 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1598 AC	0.15971123
569	1 00906E+17	GALINDO RICARDO A JR & LISA M	7108 GLYNDON TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 30 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 2287 AC	0.22855906
570	1 00906E+17	BURNS JOHN P & MELISSA L	7100 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 55 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 2131 AC	0.21298344
571	1 00906E+17	MILLER ALAN	PO BOX 67264	ALBUQUERQUE	NM	87193	R	A1A	LT 39A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1428 AC	0.14285451
572	1 00906E+17	BOGUE RYAN C & TRACY L	7135 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 41 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1581 AC	0.1579353
573	1 00906E+17	MAESTAS RAMON	7143 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 43 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1581 AC	0.158003
574	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 19A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1650 AC	0.16500255
575	1 00906E+17	SAAVEDRA FERNANDO	7104 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 54 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1525 AC	0.15241696
576	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 10A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1403 AC	0.14003436
577	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120	V	A1A	LT 8A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1469 AC	0.14691653
578	1 00906E+17	MUSE JERRY L SR & BRENDA LEE	8905 WINNCREST TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 22 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1572 AC	0.15699254
579	1 00906E+17	VAUGHAN JAMES G & LEEANN D	7124 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 40 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1551 AC	0.15470042
580	1 00906E+17	GUTIERREZ ALBERT T & HOA	11450 ERIDANUS CT	SAN DIEGO	CA	92126	R	A1A	LT 57 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1663 AC	0.16620163
581	1 00906E+17	ROMERO MELVIN & ANGELA	7112 CUCHILLO RD NW	ALBUQUERQUE	NM	87114	R	A1A	LT 42A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1428 AC	0.1428384
582	1 00906E+17	MILLER ALAN & VICKI	PO BOX 67264	ALBUQUERQUE	NM	87193	R	A1A	LT 26A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1575 AC	0.15747431
583	1 00906E+17	STONE DEVRA K	24701 RAYMOND WAY 184	LAKE FOREST	CA	92630	R	A1A	LT 58-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1651 AC	0.16455321
584	1 00906E+17	GARAY-GAUNA LAURA	8931 WINNCREST TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 16 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 2117 AC	0.21090577
585	1 00906E+17	STRATTON CHRIS	7312 TOME CT NW	ALBUQUERQUE	NM	87114	R	A1A	LT 55-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1211 AC	0.1212018
586	1 00906E+17	THE TRAILS COMMUNITY ASSOCIATION INC	7007 JEFFERSON BLVD NE SUITE A	ALBUQUERQUE	NM	87109	V	A1A	TR OS-1 BULK PLAT OF THE TRAILS A REPLAT OF A PORTION OF TRACT 4 BLACK RANCH CONT 4 299 1 AC	4.30718211
587	1 00906E+17	CENTEX HOMES	7601 JEFFERSON ST NE SUITE 320	ALBUQUERQUE	NM	97109	V	A1A	TR PR PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 3 3121 AC	3.3110119
588	1 00906E+17	D R HORTON INC	4400 ALAMEDA BLVD NE B	ALBUQUERQUE	NM	87113	V	A1A	LT 22A-P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1497 AC	0.14987325
589	1 00906E+17	SAAVEDRA GILBERT & OLIVIA	7127 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 39 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1572 AC	0.15697139
590	1 00906E+17	HOWARD JOHN W & HEATHER A	7100 GLYNDON TRL NW	ALBUQUERQUE	NM	87114	R	A1A	LT 32 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1813 AC	0.18140511
591	1 00906E+17	LANDGRAF WILLIAM	7120 TREE LINE AVE NW	ALBUQUERQUE	NM	87114	R	A1A	LT 74 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F THE TRAILS) CONT 1284 AC	0.12844515

Rec	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP	PROP CLASS	TAX DISTRICT	LEGAL	ACRES
592	1 00906E+17	LA ROSSA MARIO A	7124 GLYNDON TRL NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 29 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1946 AC	0.19451611
593	1 00906E+17	RICO LESLEY L	7315 TOME CT NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 60-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1326 AC	0.1316716
594	1 00906E+17	CERTAIN JUAN CARLOS	7320 TOME CT NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 57-P1 PLAT FOR SANTA FE AT THE TRAILS CONT 1651 AC	0.16499731
595	1 00906E+17	PALENSCHAT ROBERT & NADIA	7136 TREE LINE AVE NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 8 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1772 AC	0.17712144
596	1 00906E+17	D R HORTON INC	4400 B ALAMEDA NE	ALBUQUERQUE	NM	87113 V	A1A	A1A	LT 29A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1449 AC	0.14462469
597	1 00906E+17	CURRAN JODY R & MELANIE W	7148 TREE LINE AVE NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 5 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1284 AC	0.1284429
598	1 00906E+17	CENTEX HOMES	7601 JEFFERSON ST NE SUITE 320	ALBUQUERQUE	NM	87109 R	A1A	A1A	LT 25 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 2181 AC	0.21791012
599	1 00906E+17	STOCK MARY L	7116 CUCHILLO RD NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 41A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1428 AC	0.14289829
600	1 00906E+17	D R HORTON INC	4400 ALAMEDA BLVD NE B	ALBUQUERQUE	NM	87113 V	A1A	A1A	LT 30A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1570 AC	0.15680014
601	1 00906E+17	GONZALEZ CESAR A SR & JENNIFER S	7136 CUCHILLO RD NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 36A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1428 AC	0.14284535
602	1 00906E+17	GOLDEN ROBERT J & LINDA L	7131 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 40 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1581 AC	0.15784076
603	1 00906E+17	FLEISCHER JON & REMELY	PO BOX 67346	ALBUQUERQUE	NM	87193 R	A1A	A1A	LT 69 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1543 AC	0.15429651
604	1 00906E+17	GENTILE STANLEY & BETTY	7115 GLYNDON TRL NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 68 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1543 AC	0.15422874
605	1 00906E+17	WILLIAMSON NUNRY T	6923 WINNCREST TRL NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 18 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1572 AC	0.1570014
606	1 00906E+17	EK REBECCA N & WILLIAM	7143 GLYNDON TRL NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 11 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1544 AC	0.15425291
607	1 00906E+17	BRETTI JEFFREY A & JODIE K	6909 WINNCREST TRL NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 21 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1572 AC	0.15699866
608	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120 V	A1A	A1A	LT 18A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1650 AC	0.16506158
609	1 00906E+17	LONGFORD AT THE TRAILS LLC % LONGFORD GROUP INC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120 V	A1A	A1A	LT 9A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1403 AC	0.14007335
610	1 00906E+17	FERNANDEZ SELSO & ANNA	7101 CROSSWINDS TRL NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 33 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1829 AC	0.18287836
611	1 00906E+17	INDUS DEVELOPMENT LTD CO	8224 CALLE PRIMERA NW	ALBUQUERQUE	NM	87120 V	A1A	A1A	TR 9-A BULK LAND PLAT OF TRACTS 9-A & 10-A THE TRAILS UNIT 2 (CONT 19 7656 AC) 19 75289945	0.1975289945
612	1 00906E+17	PHAM THUAN	696 QUINN AVE	SAN JOSE	CA	95112 R	A1A	A1A	LT 27A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1449 AC	0.14491787
613	1 00906E+17	IBARRA PRISCILLA	7144 TREE LINE AVE NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 6 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1284 AC	0.12829718
614	1 00906E+17	CARR RONALD W & DEBORAH A	7115 TREE LINE AVE NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 4A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1629 AC	0.16289921
615	1 00906E+17	D R HORTON INC	4400 ALAMEDA BLVD NE B	ALBUQUERQUE	NM	87113 V	A1A	A1A	LT 32A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1449 AC	0.14475128
616	1 00906E+17	FILUTZE TIMOTHY J & VICKIE J	7140 GLYNDON TRL NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 26 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1639 AC	0.16401654
617	1 00906E+17	THE TRAILS LLC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120 V	A1A	A1A	LT 13 CORRECTION PLAT OF VALLE VISTA AT THE TRAILS UNIT 2 (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 6034 AC	0.60453319
618	1 00906E+17	HEEREN ROBERT G	7108 TREE LINE AVE NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 77 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1284 AC	0.12781155
619	1 00906E+17	D R HORTON INC	4400 B ALAMEDA NE	ALBUQUERQUE	NM	87113 V	A1A	A1A	LT 28A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1449 AC	0.14464917
620	1 00906E+17	D R HORTON INC	4400 ALAMEDA BLVD NE B	ALBUQUERQUE	NM	87113 V	A1A	A1A	LT 30A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 1449 AC	0.14443027
621	1 00906E+17	LEE CELESTE	7126 GLYNDON TRL NW	ALBUQUERQUE	NM	87121 R	A1A	A1A	LT 28 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 2342 AC	0.2343354
622	1 00906E+17	TAOS AT THE TRAILS HOMEOWNERS ASSOC	3077 E WARM SPRINGS RD	LAS VEGAS	NV	89120 V	A1A	A1A	TR A- P1 PLAT OF TAOS AT THE TRAILS (BEING A REPLAT OF TAOS AT THE TRAILS) CONT 0890 AC	0.08885714
623	1 00906E+17	YOUNGMAN MATTHEW A	8927 WINNCREST TRL NW	ALBUQUERQUE	NM	87114 R	A1A	A1A	LT 17 PLAT FOR THE RESERVE AT THE TRAILS SUBDIVISION (BEING A REPLAT OF TRACT F TH E TRAILS) CONT 1572 AC	0.15736767

OR CURRENT OWNER
CITIMORTGAGE INC
1000 TECHNOLOGY DR
OFALLON, MO 63304

OR CURRENT OWNER
ZHENG WEIFENG & LI YEE GUO
1005 SECRET GARDEN ST
LAS VEGAS, NV 89145

OR CURRENT OWNER
FERRINI REBECCA L & JEFFERY L KLEIN
10344 SPRUCE GROVE AVE
SAN DIEGO, CA 92131

OR CURRENT OWNER
HA BA MINH
10521 POTTS WAY
SAN JOSE, CA 95111

OR CURRENT OWNER
KENNEDY JOSEPH & JULIET
1087 MAXEY DR
SAN JOSE, CA 95132

OR CURRENT OWNER
REARDON ANTHONY J & MARY-HELEN
1120 FLAMINGO
GLEN DORA, CA 91741

OR CURRENT OWNER
BENAVIDEZ LEEANN
1138 NORTH 198TH ST
SHORELINE, WA 98123

OR CURRENT OWNER
GUTIERREZ ALBERT T & HOA
11450 ERIDANUS CT
SAN DIEGO, CA 92126

OR CURRENT OWNER
MONKA JEFFREY S
11935 E PRADERA RD
CAMARILLO, CA 93012

OR CURRENT OWNER
NGUYEN HUY MIKE & LIEN BICH NGUYEN
TRUSTEES NGUYEN FAMILY LVT
1195 HAMILTON AVE
PALO ALTO, CA 94301

OR CURRENT OWNER
HOANG YEN THI
12 VISTA LINDA RD
RANCHO DE TAOS, NM 87571

OR CURRENT OWNER
INCS IRINA
12670 MEADOWLARK AVE
GRANADA HILLS, CA 91344

OR CURRENT OWNER
NUNEZ LEO & MARTHA A
12716 SINGING ARROW AVE SE
ALBUQUERQUE, NM 87123

OR CURRENT OWNER
WANG JIMMY M
1301 N PALMSPRINGS DR
GILBERT, AZ 85234

OR CURRENT OWNER
PHILLIPS LARRY D & CAROLINE M
1326 SARA WAY SE
RIO RANCHO, NM 87124

OR CURRENT OWNER
BOTTONE EUGENIO
1409 MANCHESTER RD
SAN MINAS, CA 91773

OR CURRENT OWNER
PHAM GIA V & JESSICA N
1425 CARMINE WAY
SAN JOSE, CA 95131

OR CURRENT OWNER
KAMAL MOHAMMAD R
15242 WINESPRINGS CT
SAN DIEGO, CA 92127

OR CURRENT OWNER
DELEON PAUL R & JESSICA C
1526 JANLU ST
HACIENDA HEIGHTS, CA 91745

OR CURRENT OWNER
CAMPBELL NOEL ANTHONY
163 FRANKFORD LN
PALM COAST, FL 32137

OR CURRENT OWNER
PASCUA BENJAMIN O
1666 WHEATLEY PL
SAN JOSE, CA 95121

OR CURRENT OWNER
ZAFAR ZULFIQAR A & CARLEN
1720 ONYX COVE
WHITEHOUSE, TX 75791

OR CURRENT OWNER
ABMONT JOSEPH C & DENISE M
17435 BLUE JAY DR
MORGAN HILL, CA 95037

OR CURRENT OWNER
BAKER GREGORY D
19201 DEE LN
CANYON, TX 79015

OR CURRENT OWNER
CORACI GIOACCHINO & ROSARIA CO-
TRUSTEES CORACI RVT
1933 FATHER SKY NE
ALBUQUERQUE, NM 87112

OR CURRENT OWNER
NGUYEN LYNDA
1952 ROSENELFE CIR
SAN JOSE, CA 95148

OR CURRENT OWNER
YPLAO INVESTMENTS LLC
202 N CURRY ST 100
CARSON CITY, NV 89703

OR CURRENT OWNER
HI INVESTMENTS LLC
20301 VENTURA BLVD 202
WOODLAND HILLS, CA 91364

OR CURRENT OWNER
GONZALES MICHAEL D & PATRICIA
205 DUNDEE WAY
RIO RANCHO, NM 87124

OR CURRENT OWNER
VERDUCCI ANTHONY T
2112 CAMELLA CT
PITTSBURG, CA 94565

OR CURRENT OWNER
HO ADELINE
2255 SHOWERS DR APT 394
MOUNTAIN VIEW, CA 94040

OR CURRENT OWNER
ARREDONDO MICHELA
2258 AVENTURINE PL
CARLSBAD, CA 92009

OR CURRENT OWNER
WELCH THOMAS D II % JOHNNY TAPIA & BLN
CHAVEZ
2405 JANET ANNE LN
LAS CRUCES, NM 88007

OR CURRENT OWNER
STONE DEVRA K
24701 RAYMOND WAY 184
LAKE FOREST, CA 92630

OR CURRENT OWNER
MYERS DAVID J & DAWN N
2536 TIERRA GRANDE CT
LAS CRUCES, NM 88011

OR CURRENT OWNER
COELLO-PAGAN CHRISTINA
2540 SCHOOLEY DR
TUSTIN, CA 92782

OR CURRENT OWNER
NG YING
2635 SCHOOL ST
OAKLAND, CA 94602

OR CURRENT OWNER
TANNENBAUM DAVID
2646 PALM DR APT 330
VENTURA, CA 93003

OR CURRENT OWNER
NGO QUANG D & NGUYEN DAMIE Q
2806 HARBOR VIEW LN
ELK GROVE, CA 95758

OR CURRENT OWNER
DARVASI ARIEL
29-3 HABOSSEM ST

OR CURRENT OWNER
NGUYEN ANH THI-PHUNG & DINH LIEM D
3063 BAYBERRY LN
SAN JOSE, CA 95148

OR CURRENT OWNER
BUI CAMNHUNG T
3063 CRAY CT
SAN JOSE, CA 95121

OR CURRENT OWNER
LONGFORD AT THE TRAILS LLC % LONGFORD
GROUP INC
3077 E WARM SPRINGS RD
LAS VEGAS, NV 89120

OR CURRENT OWNER
SIERRA AT THE TRAILS INC
3077 E WARM SPRINGS RD
LAS VEGAS, NV 89120

OR CURRENT OWNER
TAOS AT THE TRAILS HOMEOWNERS ASSOC
3077 E WARM SPRINGS RD
LAS VEGAS, NV 89120

OR CURRENT OWNER
THE TRAILS LLC
3077 E WARM SPRINGS RD
LAS VEGAS, NV 89120

OR CURRENT OWNER
TRAILS COMMUNITY ASSOCIATION INC (THE)
3077 E WARM SPRINGS RD
LAS VEGAS, NV 89120

OR CURRENT OWNER
SORO FIRAS N SR
3122 CASA BONITA DR
BONITA, CA 91902

OR CURRENT OWNER
TRAN TUAN & HA DORIS
3122 GLEN ALTO CT
SAN JOSE, CA 95148

OR CURRENT OWNER
LO LAWRENCE
3138 WATERS WAY
SUGAR LAND, TX 77478

OR CURRENT OWNER
NGUYEN CHO THI
3155 ANTONIO LP
TRACY, CA 95377

OR CURRENT OWNER
BERRY DANNY L
3215 SCHUMACHER ST NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
PEREZ ROCEL G
32458 JEAN DR
UNION CITY, CA 94587

OR CURRENT OWNER
BAID CHANDRA P
33017 CALISTOGA ST
UNION CITY, CA 94587

OR CURRENT OWNER
PHAM PHU V & SUSAN L
3371 GONZAGA PL
SANTA CLARA, CA 95051

OR CURRENT OWNER
NGUYEN HENRY
3405 PRINCE OF WALES LN
SAN JOSE, CA 95132

OR CURRENT OWNER
DONG LAM
34288 PINNACLES DR
UNION CITY, CA 94587

OR CURRENT OWNER
GRIFFIN JAMES A & DELIA
343 MANOR DR
PACIFICA, CA 94044

OR CURRENT OWNER
LEE TOM S & AMY G
34381 GRAND CANYON DR NW
UNION CITY, CA 94587

OR CURRENT OWNER
NATIONSTAR MORTGAGE LLC
350 HIGHLAND DR
LEWISVILLE, TX 75067

OR CURRENT OWNER
LAW DAKKI WINGSZE TRUSTFE ADIT TRUST
3512 WYNN RD
LAS VEGAS, NV 89103

OR CURRENT OWNER
MATI NAFEH N
3604 BONITA RANCH CT
BONITA, CA 91902

OR CURRENT OWNER
ZORA SALAM
3653 BONITA RANCH CT
BONITA, CA 91902

OR CURRENT OWNER
KANE THOMAS M
3679 E HYATT LN
GILBERT, AZ 85297

OR CURRENT OWNER
VU THUY LINH & DUC T DANG
380 S RAMSGATE DR
ANAHEIM, CA 92807

OR CURRENT OWNER
WOODHOUSE STEVE M & CELESTE F
4 ARCHBAY ST
LAGUNA BEACH, CA 92677

OR CURRENT OWNER
FEROZE HAMID & AMNA & FEROZE
ABDULLAH H & FEROZE HAMZA H & FEROZE
ZAINAB H
400 W VISTA PKWY
ROSWELL, NM 88201

OR CURRENT OWNER
NGUYEN TU
4160 AREZZO POINTE CT
SAN JOSE, CA 95148

OR CURRENT OWNER
PHAHLA SYNOD T
42937 CALLE LONDE
TEMECULA, CA 92592

OR CURRENT OWNER
D R HORTON INC
4400 ALAMEDA BLVD NE B
ALBUQUERQUE, NM 87113

OR CURRENT OWNER
LEE IRWIN
4801 TAMPICO WAY
SAN JOSE, CA 95118

OR CURRENT OWNER
CHAVEZ FRANK JR
4916 GOLDEN THREAD DR NE
ALBUQUERQUE, NM 87113

OR CURRENT OWNER
HELLMAN PATRICIA A & LARRY
4932 E WINDROSE DR
SCOTTSDALE, AZ 85254

OR CURRENT OWNER
VIGIL GILBERTO A
4949 SAN PEDRO DR NE APT 101
ALBUQUERQUE, NM 87109

OR CURRENT OWNER
CPB CHURCH OF JESUS CHRIST OF
LATTERDAY SAINTS
50 EAST NORTH TEMPLE ST
SALT LAKE CITY, UT 84105

OR CURRENT OWNER
FEDERAL HOME LOAN MORTGAGE CORP
5000 PLANO PKWY
CARROLLTON, TX 75010

OR CURRENT OWNER
LEHMAN RUDOLPH H & ELVA C SUITE 202-406
5115 N DYSART RD
LITCHFIELD PARK, AZ 85340

OR CURRENT OWNER
LLAVORE RUSSEL Z & MARIVIC S
5289 WESTPORT VIEW DR
SAN DIEGO, CA 92154

OR CURRENT OWNER
LESTER STEPHEN F & L STEPHANIE WU
TRUSTEES LESTER FAMILY TRUST & ETAL
5295 WINIFREED DR
CASTRO VALLEY, CA 94546

OR CURRENT OWNER
NGUYEN DAVID & HELENE TRAN
5381 EAGLE PARK CT
SAN JOSE, CA 95138

OR CURRENT OWNER
GURUNG SHIELA
5535 MANSFIELD PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
NGUYEN HELEN
5598 FARMHOUSE CT
SAN JOSE, CA 95123

OR CURRENT OWNER
BLACK GRANT E & ANNE MARIE
5800 CAMBRIA RD NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
BUSH ANNYA
601 AVENIDA VAQUERO
SAN CLEMENTE, CA 92673

OR CURRENT OWNER
LE CHARLES PHUC
610 WILORA LANDING RD
CHARLOTTE, NC 28212

OR CURRENT OWNER
TRINH KHANH
6163 HEATHERCREEK WAY
SAN JOSE, CA 95123

OR CURRENT OWNER
MOUNT ROBERT A & MADELEINE J TRUSTEES
MOUNT FRVT
6575 LOWER RIDGE RD
SANTA ROSA, CA 95404

OR CURRENT OWNER
MATA ROLDAN A
6900 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HECHAVARRIA RAFAEL & VERONICA E
6909 KAYSER MILL RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
RAND BERNADETTE & ROBERT A ROWE
6915 KAYSER MILL RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CANDELARIA ELOY JR
6919 HAWKWATCH RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
RUDOLPH DANIEL JR
6919 KAYSER MILL RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SAAL CHRISTIAN W
6920 KAYSER MILL RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HIGH VISIONS LIMITED PARTNERSHIP
6923 KAYSER MILL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BARRETT JESSICA & VIGIL BENEDICT J
6924 HAWKWATCH RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
OSTLER JAY E
6927 HAWKWATCH RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
KERESTES JOHN W & JEANENE A
6928 KAYSER MILL RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MAESTAS STEVE J & MAESTAS STEVE M
6931 KAYSER MILL RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MARTINEZ DAMON G & BARBARA A
6932 HAWKWATCH RD NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
HIDEYOSHI COE & TAYLOR SHELLY J
6932 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BEAUCHAMP JEAN L % MCGUIRE MATTHEW L
& KNAACK JUSTIN M
6941 WHITE PINE PL NE
ALBUQUERQUE, NM 87109

OR CURRENT OWNER
PHAM THUAN
695 QUINN AVE
SAN JOSE, CA 95112

OR CURRENT OWNER
MORENO ANA E
7000 HAWKWATCH RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CALABRO RICHARD C
7000 KAYSER MILL RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MINK GARY E & ELIZABETH A
7001 KAYSER MILL RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
JONES BRADLEY R & SABRINA
7004 HAWKWATCH RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GARCIA ADAM A & SONYA M PEREA
7004 KAYSER MILL RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
DECUNAE JANUS J & HELGA L GLADIK
7005 HAWKWATCH RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MULLIKIN ROBERT P
7005 KAYSER MILL RD
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
THE TRAILS COMMUNITY ASSOCIATION
7007 JEFFERSON BLVD NE SUITE A
ALBUQUERQUE, NM 87109

OR CURRENT OWNER
THOMPSON NASHAUM M
7008 HAWKWATCH RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
DUENEZ OSCAR JR & CHERYLANN
7008 SENDERO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LIU LIYUE
7008 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GUTIERREZ MICHAEL L & LISA M
7009 HAWKWATCH RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
VESCUSO THOMAS M
7009 KAYSER MILL RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CAMPBELL MATTHEW L
7012 HAWKWATCH RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GURUNG SANDHYA & SHREE P
7012 KAYSER MILL RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ALVAREZ VICTOR & ARLENE
7012 SENDERO RD NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
CHANEY RONALD M & CINDY C/O AYER
ROBERT & LAURA
7012 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LUNA JESSICA A & CASTANEDA TENIA A
7015 HAWKWATCH RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
TRUJILLO KRISTAL R
7016 KAYSER MILL RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CHAPMAN SOPHIA P & LINCOLN R
7019 HAWKWATCH RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MCKINNON ROBERT B
7020 KAYSER MILL RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ARMENDARIZ DOMINIQUE D
7020 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
TIMMONS JAMES & CYNTHIA
7023 HAWKWATCH RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
RODRIGUEZ JUAN & RAMOS MYRIAM
7024 HAWKWATCH RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CHAMBERS TYRONE L
7024 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
KHIMJI RISHMA
7027 HAWKWATCH RD NW
ALBUQUERQUE, NM 87121

OR CURRENT OWNER
YAPOR LUIS & CECILIA
7027 KAYSER MILL RD
ALBUQUERQUE, NM 87104

OR CURRENT OWNER
RUSHENBERG PATRICK C & VANESSA L
7027 TREE LINE AVE NW
ALBUQUERQUE, NM 87109

OR CURRENT OWNER
OFFERDAHL BARRY
7028 HAWKWATCH RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SANCHEZ DAVID A
7028 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ROMAN RVL T
703 LARKSPUR AVE
CORONA DEL MAR, CA 92625

OR CURRENT OWNER
LUCERO SHANE E & MELANIE D
7031 KAYSER MILL RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ARTHUR BRENDON T
7031 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BAYLES TROY E SR
7035 KAYSER MILL RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SHORTRIDGE ROBERT G
7036 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BURNS JOHN P & MELISSA L
7100 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HOWARD JOHN W & HEATHER A
7100 GLYNDON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
WILLEY DAVID D & MARTI L
7100 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
TRUJILLO ANGELO M
7100 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
FERNANDEZ SELSO & ANNA
7101 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CLARK JIMMY D
7101 EDISON RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
WELCH BRIAN G & THERESA A
7101 GLYNDON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
FORTUS BARRY L TRUSTEE FORTUS RVT
7102 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SAAVEDRA FERNANDO
7104 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HINOJOSA GREGORY & FELICIA A
7104 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HAMBURGER AARON D & CHRISTA L
7104 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
KRUEGER-UHING CINDI K
7105 EDISON RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HARDY MICHAEL & VERONICA MUNROE-
HARDY
7108 ALAMILLO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
FARVOUR GARY F & ELIZABETH B
7108 CROSSWINDS TRL
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GALINDO RICARDO A JR & LISA M
7108 GLYNDON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ALDERETE RAMON M & ANGEL A
7108 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ANTEL TIMOTHY S & TERRIE D
7108 LAS NUTRIAS NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HEEREN ROBERT G
7108 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
TAYLOR JULIE ALENE
7109 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SALAZAR DOLORES M
7109 EDISON RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ULIBARRI KARLOS & IRMA L
7109 GLYNDON TRL NW
ALBUQUERQUE, NM 87121

OR CURRENT OWNER
BENAVIDEZ LEEROS
7112 ALAMILLO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BUCKNER BRANDON L & JESSICA D
7112 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ROMERO MELVIN & ANGELA
7112 CUCHILLO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LOVATO RUDY M & CARLA L
7112 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CRUZ PATSY
7112 LAS NUTRIAS NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CARRASCO HEATHER L & JESUS L
7112 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
JENSON TERRY O & DENISE
7115 ALAMILLO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HOWARD DONALD HERBERT & MARGARET
BRUCE HOWARD TRUSTEES HOWARD FAMILY
TRUST
7115 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
RAYKOVICS MICHAEL A & DENISE A
7115 EDISON RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GENTILE STANLEY & BETTY
7115 GLYNDON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CARR RONALD W & DEBORAH A
7115 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
NIELSEN HELEN V & JEREMY S
7116 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
STOCK MARY L
7116 CUCHILLO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ANDERSON APRIL
7116 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MCMANUS MARY E
7116 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
JOHNSON-NETTLES CAROLE H &
CHRISTOPHER P NETTLES
7119 ALAMILLO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HARRIS STANLEY N & STEPHANIE H
7119 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
RICHARDSON-VALDEZ SUSAN
7120 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HAMPTON ROBERT
7120 CUCHILLO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MARQUEZ JOHN P & CHAVEZ STEVE
7120 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LANDGRAF WILLIAM
7120 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GOSE SCOTT A & JENNIFER
7123 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BROWN ROGER T & TERESA B
7123 EDISON RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
NELSON LARRY D & ANN JANETTE
7123 GLYNDON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
PEREA-WALKER TANYA P & ROBERT M
WALKER
7124 ALAMILLO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
VAUGHAN JAMES G & LEEANN D
7124 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LA ROSSA MARIO A
7124 GLYNDON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SALAZAR MARTIN D & KRISTINA M
7124 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GONDEK CAROLYN A
7124 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ALVAREZ EDMUNDO P & SUSANA L
7125 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SAAVEDRA GILBERT & OLIVIA
7127 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GONZALES THOMAS & SYLVIA GONZALES
7127 CUCHILLO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SANCHEZ AARON J & ANGELICA M
7127 EDISON RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
TORRES STEPHEN MATTHEW
7127 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GONZALES APRIL D
7128 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
NGUYEN PETE H & ROMETA J
7128 CUCHILLO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LEE CELESTE
7128 GLYNDON TRL NW
ALBUQUERQUE, NM 87121

OR CURRENT OWNER
NIXON ERIC
7128 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GOLDEN ROBERT J & LINDA L
7131 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
NIXON AANA L
7131 CUCHILLO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
NEJO CHRISTOPHER A
7131 EDISON RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
STETSON STUART C & TINA A
7132 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LOVATO NICK & CALLIE D
7132 CUCHILLO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BOGUE RYAN C & TRACY L
7135 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
DELEON DANIEL & CONTRERAS AL EJANDRO
7135 EDISON RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CHOWDHURY SOHAIL A
7135 GLYNDON TR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GONZALEZ CESAR A SR & JENNIFER S
7136 CUCHILLO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LUCERO ROBERT & JUANITA M
7136 GLYNDON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
PALENSCHAT ROBERT & NADIA
7136 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GUEVARRA MARWIN R & LEILANI S
7139 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BARRETT CHAD & MARISA
7139 GLYNDON TR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MORGAN SAMUEL D & MARY K
7140 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
FILLUTZE TIMOTHY J & VICKIE J
7140 GLYNDON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CROUCH RORY C & ANNE M
7140 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MAESTAS RAMON
7143 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
EK REBECCA N & WILLIAM
7143 GLYNDON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
IBARRA PRISCILLA
7144 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GREGORY CHANG-HUN P & ELENA EUN-
YOUNG CHAI
7147 CROSSWINDS TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MORALES JESUS & ESTELA
7147 GLYNDON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CURRAN JODY R & MELANIE W
7148 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SORIANO SANDRA S
7150 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
DEMNY PATRICIA
7151 GLYNDON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
PLEMMONS PAUL R JR & BROOKE M
7151 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SMITH LARRY W & PRISCILLA
7155 GOLDEN TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GOLOVERSIC TIMOTHY E & CARMEN M
7160 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
VALLEJOS MAXIMILIANO & ALICIA J
7164 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
VU QUANG T
718 GIER CT
SAN JOSE, CA 95111

OR CURRENT OWNER
NGUYEN BINH D & SUONG T
7200 TEYPANA RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
AVERY HENRY H
7201 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GALLEGOS ROBERT N & VERONICA LYNN
MARES
7201 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LUCERO MARK
7204 GROS VENTRE CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
DESANTIS CHRISTOPHER F
7204 TEYPANA RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MAXWELL DANNY L & ABIGAIL T
7205 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LEWIS JOSHUA S & KIER L VANDERFORD
7208 GROS VENTRE CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
K VENTURES LLC
7209 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
BURTON PATRICK D
7211 JALISCO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ROMERO NORA & BERG JOHN MICHAEL
7212 GROS VENTRE CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HARRIS GREGORY L
7215 JALISCO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LEWIS RONALD & MAGAN
7215 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
JIM DARRELL & LAWANDA
7216 JALISCO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MARTINEZ JOANA M
7216 TEYPANA RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
THOMAS RONI
7216 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
THOMAS NONI
7219 JALISCO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MURAYOSHI KIMIYASU
7219 SENECA RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
COCHRAN JEFFREY C
7219 TEYPANA RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
DIVEIT SAMUEL & ROCHELLE
7219 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
DRACKERT EMANUEL F & DORIS S
7219 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HARPER MINNIE
7220 GROS VENTRE CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CONKLIN RYAN E & BRANDI L
7220 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
COLEMAN LINDA S & EDWARD
7220 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
THIBODEAUX ROBERT K & TERESA H
7223 JALISCO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CHAVEZ JOSE M & GONZALEZ JULISSA
7223 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SCHANCER KORY J & SHELLY M NOSBISCH
7223 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
ALBO ORESTES L JR & PATTY A
7224 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ALBO PATTY A
7224 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
PICKETT CHAD L & ANNA E
7224 JALISCO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BLAISURE KERRI
7224 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GURULE PAUL C
7227 JALISCO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HUGHES LAWRENCE MAX & ELIZABETH ANN
GONZALES-HUGHES
7227 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
SIAO-PAO WILLIAM
7228 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LEE BYUNG H & MYUNG LEE
7228 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SANCHEZ SIMON & YVONNE
7231 WILLIAMSBURG RD NE
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
BOWERS DARRELL C & PETRA H CO-
TRUSTEES BOWERS RVT
7232 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
DANDERSON MANDY R
7232 JALISCO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MENDOZA ERNEST & SANDRA LONG-
MENDOZA
7232 SENECA RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CHAVEZ MATTHEW I. & PAULINE
7232 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MARTINEZ LORRAINE B
7235 JALISCO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ARMIJO SANDRA
7235 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
SANCHEZ MANUEL R & PATRICIA L
7236 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SULLIVAN PATRICK E & GRACIELA V
7239 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GRIEVE STEVE D & LAURA C
7239 JALISCO RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HWANG RONG-IEN & MINGCHING H
7239 TEYPANA RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
NGUYEN BRYAN H & NHUNG PHAM
7239 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
TRAMMELL KAREN H & WILLIAM H
7240 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
THOMAS CLEVON W & SHAREE LYNN
7240 TEYPANA RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
KILPATRICK ROGER L & RAMONA S
7240 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LOPEZ AGGIE LEIGH
7243 TEYPANA RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BOGDAN GARY L
7243 TREE LINE DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HARRIS ROBERT B & LAVONNE N
7300 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
FELLOWS MONIQUE N
7300 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LENTZ WALLACE W
7301 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
COGDILL ANN M AUBREY L
7301 TOME CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MARR ROBERT J & DIANE M
7304 TEYPANA RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
WURSTER GREG
7304 TOME CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ROSTRO MARC A & CHRISTINA M
7304 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MORGAN WILLIAM CHAD & STORMY L
7305 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
TURNER JEFFREY A & SUSAN A
7305 TOME CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GILES ERIC S & MICHELLE D
7305 TREE LINE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
PHAM DENISE
7305 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SCHINDLER PATRICIA TR SCHINDLER RVT
7308 TOME CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LOVE DAMON A & LORENA G
7308 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SHERRIE MICHAEL D & GLORIA F
7309 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ARNOLD BEAU LEE
7309 TREE LINE AVE NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
FONTES RAQUEL
7312 TEYPANA RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
STRATTON CHRIS
7312 TOME CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BANKS ALLEN J & TAMARA D
7315 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
RICO LESLEY L
7315 TOME CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
YORK REGINA
7316 TOME CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BARRIE JON ROSS
7316 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ODOMS JAMES T & DEORA TRUSTEES ODOMS
LVT
7319 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LOPEZ MICHAEL M & OGAZ SUZANNE C
7319 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CERTAIN JUAN CARLOS
7320 TOME CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MORRISON KEITH & TERESA
7320 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
JORGENSEN AARON & CHEI SEY
7323 HEARTHSTONE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HAYES MICHAEL T & JEAN M
7323 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SAYLOR CLIFFORD B & DONNA E
7324 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
MESKE DUANE D & ANGELA C
7327 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
POWERS KEVIN & FLORIDA LBA
7328 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MAREZ ANTHONY R TRUSTEE MAREZ RVT
7331 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
TRUJILLO ANDY R & CARMEN V
7339 WILLIAMSBURG RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CAMPBELL COLIN M & ELIZABETH A
7400 CERROS PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MARTINEZ JENNY R
7404 CERROS PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LANGLAND LAYLA L
7408 CERROS PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SANDOVAL GARY P
7412 CERROS PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
PARADISE WEST INC
7423 LANIERN RD NE
ALBUQUERQUE, NM 87109

OR CURRENT OWNER
SANCHEZ MARCUS JOHN & NANCY ANN
7459 SWAN LAKE DR
NEW PORT RICHEY, FL 34655

OR CURRENT OWNER
CENTEX HOMES
7601 JEFFERSON ST NE SUITE 320
ALBUQUERQUE, NM 87109

OR CURRENT OWNER
LY TONG
766 SAINT TIMOTHY PL
MORGAN HILL, CA 95037

OR CURRENT OWNER
NGUYEN SU
7660 TEA BERRY WAY
SACRAMENTO, CA 95828

OR CURRENT OWNER
MARQUEZ JOSEFITA T
8209 CALLE ENSUENO NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
INDUS DEVELOPMENT LTD CO
8224 CALLE PRIMERA NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
AVILA ANTONIO M & YAISELYN
829 RIDGEHILL CT
BURLESON, TX 76028

OR CURRENT OWNER
PASZKO JOLA & ANNA M PARIASZEVSKI
842 LAKEBIRD DR
SUNNYVALE, CA 94089

OR CURRENT OWNER
NGUYEN KHOA
8571 BLACK KITE DR
ELK GROVE, CA 95624

OR CURRENT OWNER
HUYNH LINDA
8721 FESTIVAL DR
ELK GROVE, CA 95624

OR CURRENT OWNER
WEALE JOHN CHRISTOPHER
8900 HALLSTON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SILVA JOHNNY J & MONICA C
8900 OSO CORRIDOR PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MCDONALD KEVIN C & JENNIFER L
8901 BALSAM GLADE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
JOHNSTON GLEN L & DIANA L
8901 WINNCREST TRL NW
ALBUQUERQUE, NM 87121

OR CURRENT OWNER
FOSSA BRIAN L
8904 OSO CORRIDOR PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MARTINEZ CLAUDIA P & ARTURO
8905 BALSAM GLADE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
TRUJILLO STEPHEN R
8905 OSO CORRIDOR PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MUSE JERRY L SR & BRENDA LEE
8905 WINNCREST TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
TORRES ANGEL A & AUDRA L
8908 HALLSTON TRI NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LIU JOSEPHINE
8908 OSO CORRIDOR PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
PEREZ DANIEL & DIANA E
8909 BALSAM GLADE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LILLY VINSON P & LISA M ANGSTADT
8909 OSO CORRIDOR PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BRETTI JEFFREY A & JODIE K
8909 WINNCREST TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
TRUJILLO ALFONSO R & TANA A
8912 HALLSTON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
REYES JANNA N & DANIEL P
8912 OSO CORRIDOR PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HOLLER JENNIFER M
8915 WINNCREST TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ALEXANDER IVORY C & SHIRLEY H
8916 HALLSTON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
TAYLOR CHRISTOPHER & ELIZABETH
8916 OSO CORRIDOR PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SAIZ FRED P
8919 BALSAM GLADE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
KREPFL MICHAEL J & SHELLEY R
8919 WINNCREST TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SNOW DANIEL G & KIMBERLY A
8920 HALLSTON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GO GEORGIANA C
8920 OSO CORRIDOR PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
PANG CHING & LINDA
8920 WINNCREST TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
WILLIAMSON NUNRY T
8923 WINNCREST TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
JARAMILLO MICHAEL A & CINDY J
8924 HALLSTON TRL
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HENDRICKS GWENDOLYN J
8927 BALSAM GLADE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
YOUNGMAN MATTHEW A
8927 WINNCREST TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BORREGO DIEGO D & YVONNE K
8928 HALLSTON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
PROVENCIO DANIEL M & DESIREE R
8928 OSO CORRIDOR PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
PADILLA DAVID R & DEBORAH A PHILIPS
8931 BALSAM GLADE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GARAY-GAUNA LAURA
8931 WINNCREST TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
DEATHERAGE AMY F
8932 HALLSTON TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SCHLICHTE MICHAEL & DANIELLE
8932 OSO CORRIDOR PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BACA JOHNNY H & MARIA A LOPEZ
8935 BALSAM GLADE DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LOPEZ ROBERT & JULIANNE VELARDE
8936 OSO CORRIDOR PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HOURIGAN NICOLE L & AARON K
8943 BALSAM GLADE RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BRUHN DAVID & IVY M
8947 SHELBURNE WAY
ZIONSVILLE, IN 46077

OR CURRENT OWNER
DAVILA JOSEPH R III & NIDIA I
9000 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ENNIS MERLIN M & DOROTHY R
9001 CORONA AVE NE
ALBUQUERQUE, NM 87122

OR CURRENT OWNER
BROOKS JAYSON & GAIL
9008 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GONZALEZ JOSE A & EVELYN P
9012 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MASCARENAS LEONARD & PAULA
9016 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MARQUEZ CHARLIE
9019 RIO GALISTEO PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
WILSON WILLIAM T & GALANIS TWILA M
9020 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MAJITHIA NARESH & VINA
9023 RIO GALISTEO PL
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
JARRETT DANIEL J
9031 RIO GALISTEO PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HUCKABAY AMY L & DELBERT
9035 RIO GALISTEO PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HULIHAN MARK G & FLOWER
909 MOUNTAIN AVE
MARYVILLE, TN 37803

OR CURRENT OWNER
WEELDREYER STEPHEN T & HEIDI M
9100 JARALES CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
PHAM KEO
9100 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GARVER PHILLIP D & QUENDY L
9100 SABINAL DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BOUNDS LINDSAY & AARON
9101 NUEVA SEVILLA ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SMITH GABRIEL M
9104 JARALES CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
KHUU NGUYET & PHAM JOHNNY
9104 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
PHAM KEO THI
9104 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
TWEETEN EARL DARWIN
9105 NUEVA SEVILLA ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SCHIMA LIZ
9108 JARALES CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
NGUYEN TAI T & MINH-THU T
9108 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GARCIA LOGAN & GEORGIA
9108 SABINAL DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
NGUYEN XUAN T & DUNG X VO
9109 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
DOMINGUEZ ROLAND A
9112 JARALES CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MIMS MARCUS J
9112 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MONTANO YOLANDA M
9115 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BARELA CHRISTINE
9115 OLD MILL ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SANCHEZ VICTOR E SR & SANTA SANCHEZ
9116 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CASTRO PEDRO & PATRICIA A
9116 SABINAL DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HADGU TEKLU & TESFAY DORIT S
9119 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
NGUYEN THO & PHUONG THAO
9120 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ONG WELLIVER TIU
9124 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SINTON MARY L
9124 SABINAL DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
TRAWINSKI BRIAN J & ALISON
9128 LADRON DR NW
ALBUQUERQUE, NM 87111

OR CURRENT OWNER
THOMAS NONA V
9128 SABINAL DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MARTINEZ VERONICA M
9131 RIO GALISTEO PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
COTTRELL DALE & DAWN
9132 LADRON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HAUF MARIA FE Z
9132 SABINAL DR NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
RUDD DOUGLAS A & MARY LYNN
9136 RIO GALISTEO PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LINTHICUM TROIES D & DEANNA M
9140 RIO GALISTEO PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
WATTS BENJAMIN J & SAMUEL N WATTS
9140 SABINAL DR NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
BLASCHKE JARED P & CHRISTI A
9143 RIO GALISTEO PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HERNANDEZ KENNETH L & KATHARINE A
9144 SABINAL DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BACA FRANK M & LUZ M
9209 CLINTON ANDERSON DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
PATTSAS PAUL A
9300 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
DJOPAR MARIO & DANA
9300 BATTLE CREEK ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ROACH JEFFERY M & TRACEY L
9300 NATIONWIDE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SALAZAR MATTHEW & LAURA L
9301 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MCDANIEL JOHN & TAJUANA C
9301 BATTLE CREEK ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ROSSITER AARON R & SHEA R
9303 BATTLE CREEK TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MARTINEZ SANDRA J
9304 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
STEPHENS JAMES S & CATHERINE A &
TIMOTHY L & SHARON STEPHENS
9304 BATTLE CREEK ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HASENSTAB MICHAEL L & BARBARA
9304 NATIONWIDE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
TRUJILLO ERIC J & LISA D
9305 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
DOUGHTY RANDOLPH MATTHEW &
CARRIANNE
9305 BATTLE CREEK ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
COSMAN MARK GOODRICH TRUSTEE COSMAN
TRUST
9305 JAMESON ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
DEAN NEIL & R DI LEEN BASS-DEAN
9305 NATIONWIDE ST NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
MORANT KEVIN C
9308 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SIMKO ISTVAN & MONICA
9308 BATTLE CREEK ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BILLIAN JAMES S
9308 NATIONWIDE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GORDON MICHAEL S & TAMARA R
9309 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SHERIDAN MICHAEL J & SANDRA J
9309 JAMESON ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BAGLEY CHRISTOPHER G & MELISSA K
9309 WEST HAVEN ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HOWIE DANIEL
9311 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
DURAN JOHN PAUL & MARIE E
9311 BATTLE CREEK ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MONTANO CAROL L
9312 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ELLISON SHIRLEY A
9312 BATTLE CREEK TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
FREYENHAGEN JOEL & BECKY
9312 NATIONWIDE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LUJAN BERNARD & CAROLYN R MARKLAND
9312 WEST HAVEN ST NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
ROCHE GABRIEL R & KELLIE SALAZAR
9315 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
STRENGTH RALPH EDWARD & WENDY
JANELLE MARTIN-STRENGTH
9315 BATTLE CREEK ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SEAGRIST THOMAS A
9315 JAMESON ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
EVANS TIMOTHY W & DEBRA J
9315 WEST HAVEN ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MIRELES ED E & JUANIS V
9316 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SHARRAR JANEEN
9316 BATTLE CREEK ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BROWN CAROLEE M & CHERYL A BROWN
9316 NATIONWIDE ST
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
MARES LAWRENCE M & ANNA A
9316 WEST HAVEN ST NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
HAUCK DANIEL & MELISSA
9319 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
WEBB JASON & JESSICA
9319 BATTLE CREEK ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CHAVEZ PAUL E & MONICA M
9319 JAMESON ST NW
ALBUQUERQUE, NM 87121

OR CURRENT OWNER
SCHMIDLEY JAMES III & DAWN
9319 NATIONWIDE ST NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
ROMERO EZEQUIEL P & DEBORAH E
9320 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CALDERON JUAN M & MERCEDES J
9320 BATTLE CREEK ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MONTANO DOROTHY M
9323 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
WALLI NAWAZ AKBAR & SHELINA NAWAZ
9323 BATTLE CREEK ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SANCHEZ KERRIANNE
9323 JAMESON ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
JARAMILLO RUDY E & MEREDITH C M
9323 NATIONWIDE ST NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
ROMERO NICHOLAS R & LEAH K
9324 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MCNEELY JAMES F & JEANETTE M
9324 BATTLE CREEK ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
K VENTURES LLC
9324 NATIONWIDE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
ULIBARRI ROBERT & KIMBLERY A
9324 WEST HAVEN ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
KARAS BRIAN A & LESLIE I
9327 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GREENWOOD AARON JOHN & SUSAN L ISLEY
9327 BATTLE CREEK ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HILLIARD JOSH & GWEN
9327 NATIONWIDE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
DELEON DIANNE
9328 ALLEGIANCE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
AGUILAR ANTONIO & MARCY L AGUILAR
9328 BATTLE CREEK TRL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SETAYESH HAMID & FLORA
9328 NATIONWIDE ST NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
HERNSTED JULIE
9328 WEST HAVEN ST NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
WILLIAMS LAWRENCE & PAMELA L
9331 NATIONWIDE ST NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
ROBERTS NATHAN D
9332 NATIONWIDE ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
YANCY MICHAEL E & KASIE
9332 WEST HAVEN ST NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
WHITE DAVID & ANDREA
9336 NATIONWIDE ST NW
ALBUQUERQUE, NM 87120

OR CURRENT OWNER
WAY TIMOTHY R & KELLY N
9400 MONTARA CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LUJAN MARY L
9400 SANTALA PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LANDES LANCE M & KATHLEEN
9400 SPANISH POINT PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BEXFIELD KAREN LEE
9400 TOUCAN PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
FEERER BRYAN C & ERIKA C
9400 TRAVILLA DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LOPEZ TIMOTHY S & VERONICA E
9401 CALICO PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
SCHUMAN MICHAEL P & S KARLENE
9401 MONTARA CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
MARTINEZ JOHN B & MARGARET G
9401 SANTALA PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
HERMAN JOSEPH J & JAMIE L
9401 TOUCAN PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GARCIA ANTONIO I & GERALDINE J
9401 TRAVILLA RD NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
LANDAVAZO MARK ELIAS
9401 VERVAIN DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
BLOOD FAMILY TRUST
9403 TRAVILLA DR NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GALINDO JESSICA D
9404 SANTALA PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
CHAPMAN ELON B
9404 TOUCAN PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GINSBERG KAREN A & LLOYD S
9405 MONTARA CT NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
GALLEGOS PABLO & MARIA B
9405 SANTALA PL NW
ALBUQUERQUE, NM 87114

OR CURRENT OWNER
WELCH JAMES E & CHRISTIN
9405 VERVAIN DR NW
ALBUQUERQUE, NM 87109

OR CURRENT OWNER
FULGENZI DENNIS
954 DURUM CT
WINDSOR, CO 80550

OR CURRENT OWNER
GILBERT ANTHONY & EVELYN SETH
972 DAISY ST
SAN MATEO, CA 94401

OR CURRENT OWNER
CHINTAWAT SATIT B
9911 PASEO MONTE
SAN DIEGO, CA 92129

OR CURRENT OWNER
CHINTAWAT SATIT B
9911 PASEO MONTE
SAN DIEGO, CA 92129

OR CURRENT OWNER
HUMPHRIES DANTON B PSC 9
BOX 2332
APO, AE 9123

OR CURRENT OWNER
MCCAMEY JLSSE & JENNIFER G
PO BOX 1378
NORTH FORK, CA 93643

OR CURRENT OWNER
CAPRON ALAN
PO BOX 18063
ALBUQUERQUE, NM 87185

OR CURRENT OWNER
CASTILLO RICHARD M JR & RENEE E
PO BOX 1844
ALBUQUERQUE, NM 87103

OR CURRENT OWNER
HAGAN TOM & FAWN R DOLAN
PO BOX 2033
CORRALES, NM 87048

OR CURRENT OWNER
SANTISTEVEN MICHAEL & JANET
PO BOX 3794
GRANTS, NM 87020

OR CURRENT OWNER
VO THUY V
PO BOX 53161
ALBUQUERQUE, NM 87192

OR CURRENT OWNER
FEDERAL NATIONAL MORTGAGE
ASSOCIATION
PO BOX 650043
DALLAS, TX 75265

OR CURRENT OWNER
DAVIDSON THOMAS E
PO BOX 67021
ALBUQUERQUE, NM 87193

OR CURRENT OWNER
MILLER ALAN & VICKI
PO BOX 67264
ALBUQUERQUE, NM 87193

OR CURRENT OWNER
FLEISCHER JON & REMELY
PO BOX 67346
ALBUQUERQUE, NM 87193

OR CURRENT OWNER
SANCHEZ PAUL A & ROSALIE S
PO BOX 67576
ALBUQUERQUE, NM 87193

OR CURRENT OWNER
NOVELLO RONALD J JR & ELENA A
PO BOX 78352
CORONA, CA 92877

OR CURRENT OWNER
RAYON KEILA TRUSTEE SANT FE TRAILS 32P1
TRUST
PO BOX 92194
ALBUQUERQUE, NM 87199

OR CURRENT OWNER
BRYAN CHERYL C
PO BOX 92470
ALBUQUERQUE, NM 87199

OR CURRENT OWNER
OATES MARIA
PO BOX 94417
ALBUQUERQUE, NM 87114

OR CURRENT OWNER

OR CURRENT OWNER

OR CURRENT OWNER

OR CURRENT OWNER

OR CURRENT OWNER

OR CURRENT OWNER

OR CURRENT OWNER

OR CURRENT OWNER

OR CURRENT OWNER

OR CURRENT OWNER

OR CURRENT OWNER

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): _____ PHONE: _____

ADDRESS: _____ FAX: _____

CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

APPLICANT: LONGFORD HOMES PHONE: (505) 620-5322 NB

ADDRESS: 3077 EAST WARM SPRINGS RD. FAX: (505) 761-9922 ALB.

CITY: L.V. STATE NV ZIP 89120 E-MAIL: rbeltramo@longfordgray.com

Proprietary interest in site: OWNER List all owners: THE TRAILS, LLC

DESCRIPTION OF REQUEST: EXTENSION OF SIA

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No: Unit 1 (Lots 1-75), Unit 2 (Lots 76-90) Block: _____ Un _____

Subdiv/Addn/TBKA: HERITAGE AT THE TRAILS UNIT 1 #112

Existing Zoning: R-D Proposed zoning: R-D

Zone Atlas page(s): C-9 UPC Code: _____ MRGCD Map No _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):

COA Proj # 738484, *1003358, 08-023-00633, 08-023-00633, 08-023-70153

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No

No. of existing lots: 125 No. of proposed lots: 125 Total area of site (acres): 23.316

LOCATION OF PROPERTY BY STREETS: On or Near: PASEO DEL NORTE

Between: UNIVERSE BLVD. and WOODMONT AVE.

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE RICK BELTRAMO DATE 5/20/2010

(Print) Rick Beltramo Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

10DRB 70144

Action

SIA

ADY

CMF

S.F.

Fees

\$ 50.00

\$ 75.00

\$ 20.00

\$ _____

\$ _____

Total

\$ 145.00

Hearing date June 16, 2010

[Signature]

5-21-10
Planner signature / date

Project # 1003354

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

RICK BELTRAMO
 Applicant name (print)
Rick Beltramo 5/20/2010
 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 10DRB - 70144

[Signature] 5-21-10
 Planner signature / date
 Project # 1003354

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from June 1, 2010 To June 16, 2010

5. REMOVAL

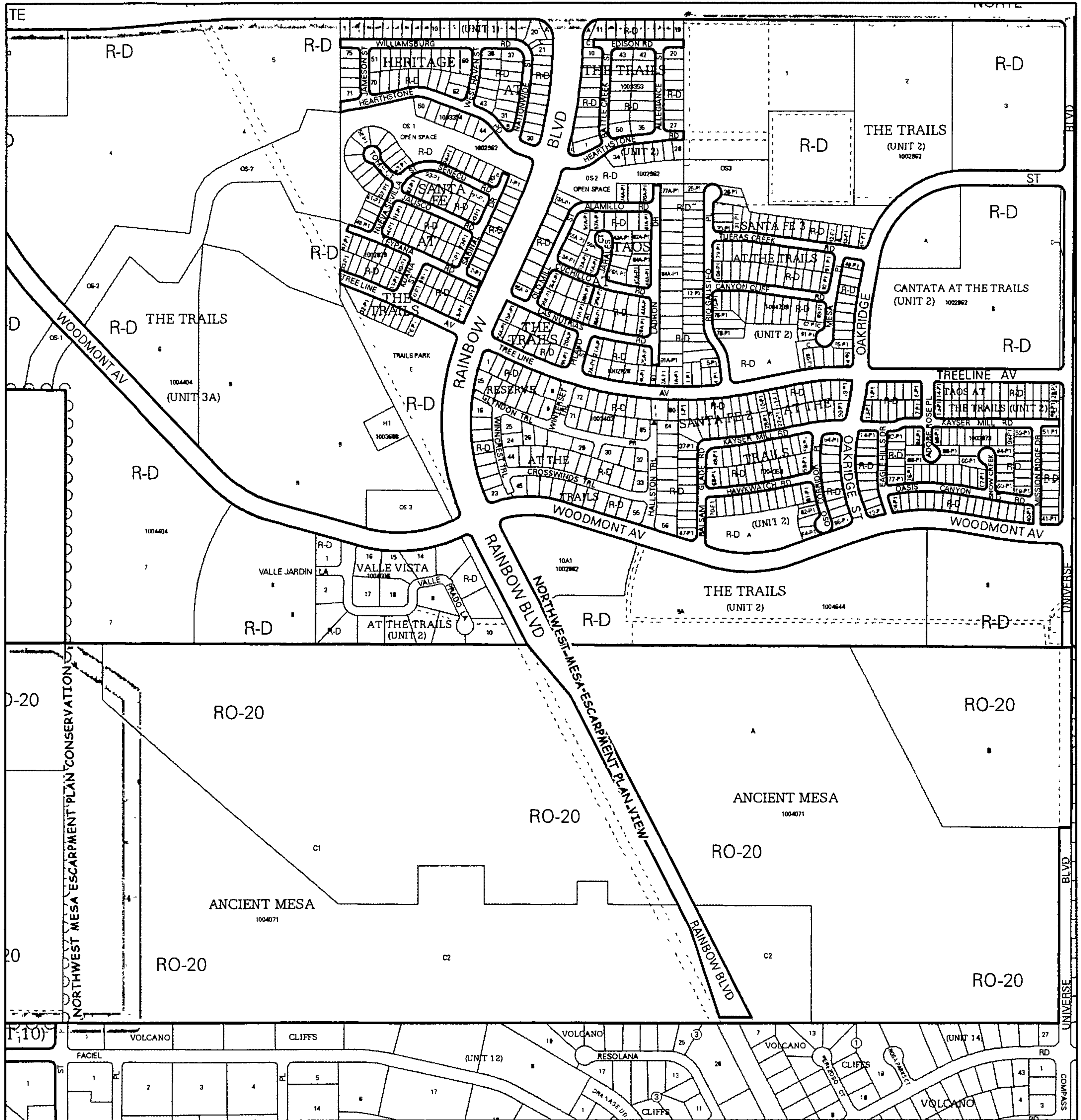
- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] (Applicant or Agent) 5/21/2010 (Date)

I issued 2 signs for this application, 5-21-10 (Date) [Signature] (Staff Member)

DRB PROJECT NUMBER: 1003354



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Map amended through: 2/4/2010



May 21, 2010

Mr. Jack Cloud
Development Review Board
City Of Albuquerque
PO Box 1293
Albuquerque, New Mexico, 87103
[Hand Delivered]

Re: Extension of Subdivision Improvements Agreements
Units 1 and 2 of Heritage at The Trails
#1003353/1003354, 04DRB-01415/01416, 08DRB-70154

Dear Mr. Cloud:

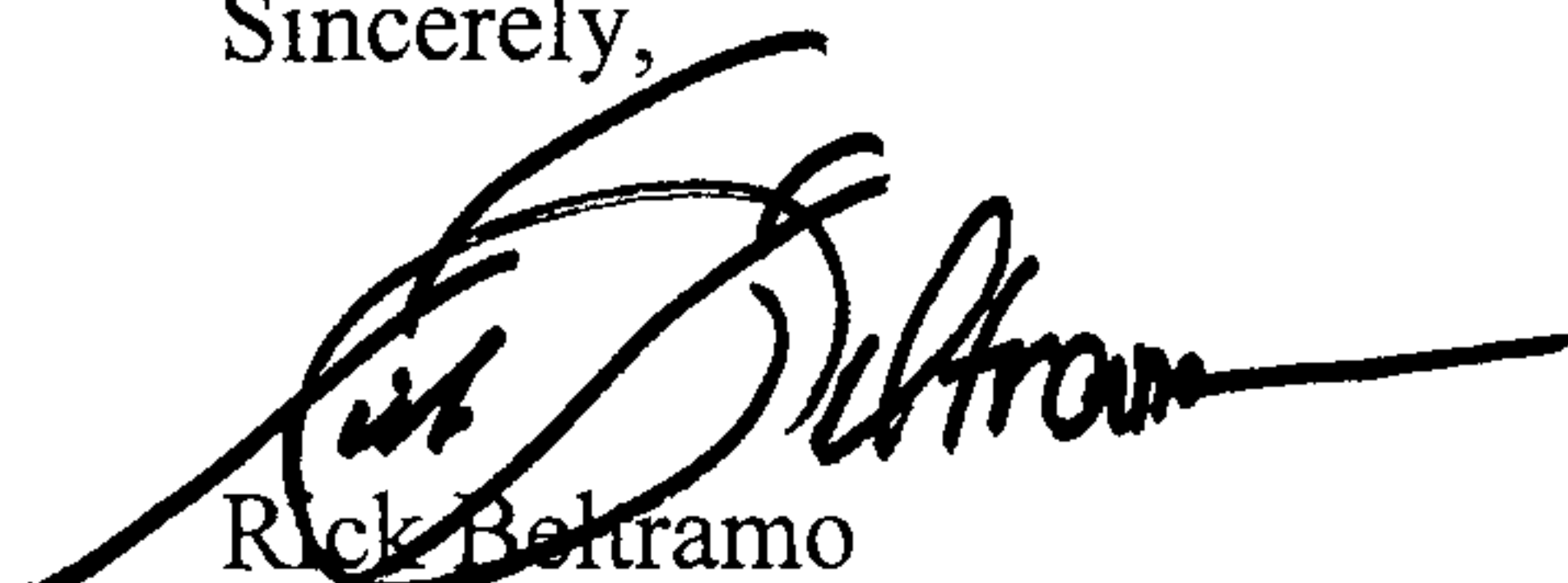
Submitted for Development Review Board review and approval is this request for extension of the Subdivision Improvements Agreement (SIA) for The Trails Unit 1, Tracts A-F. Longford Homes respectfully requests a 1 Year extension to the SIA.

More specifically an extension is requested to the SIA for off-site roadway improvements to Paseo Del Norte Blvd. adjacent to units 1 and 2.

Enclosed is the following:

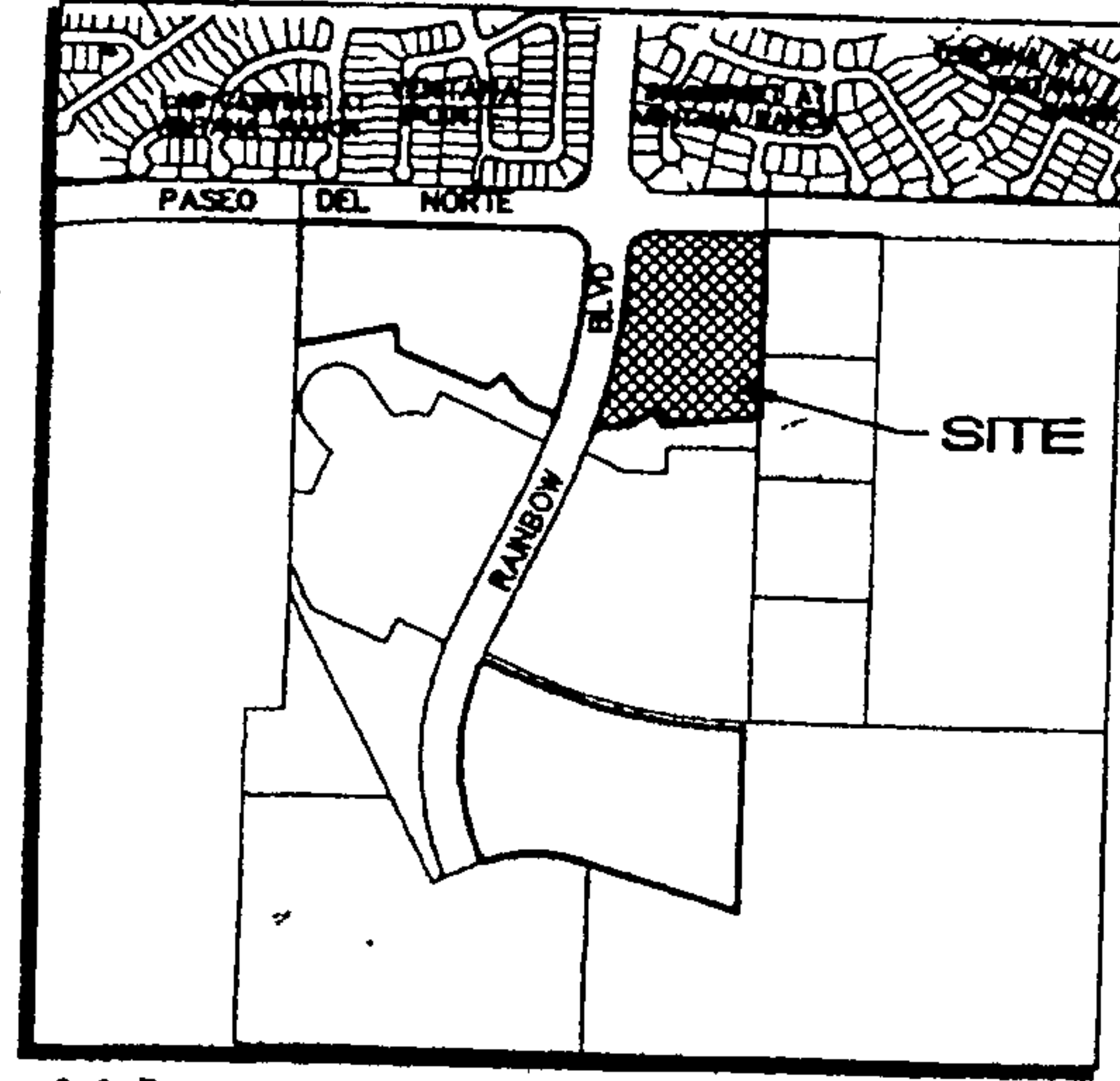
- Application to DRB
- Reduced copy of recorded plat
- Zone Atlas sheet showing project area
- Letter requesting DRB review and approval(this letter)
- Last Official DRB Notice of the approval
- Approved Infrastructure List
- Neighborhood Notification
- Application Fee

Sincerely,



Rick Beltramo
Longford Homes

Attachments



C-9-Z VICINITY MAP 1"=750'±

SUBDIVISION DATA / NOTES

1. Total Number of Existing Tracts: 1
2. Total Number of Lots created: 50
3. Total Number of Tracts created: 3
4. Gross Subdivision Acreage: 9.4494 Ac.
5. Total Mileage of Full Width Streets Created: 0.59
6. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
7. Distances are ground distances
8. Bearings and distances in parenthesis are record.
9. Basis of boundary are the following plats (and documents) of record entitled: PLAT OF "THE TRAILS (12-15-03, 03C-375)
10. Field Survey performed on March, 2003.
11. Title Report: None provided
12. This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report
13. Basis of boundary is from the plats of record entitled:
 UNPLATTED LAND OF "VOLCANO SIX LIMITED"
 TRACT OS-1 OPEN SPACE
 TRACT OS-2 OPEN SPACE
 UNPLATTED LAND OF "THE ARCHDIOCESE OF SANTA FE"
 UNPLATTED LAND OF "PARADISE WEST INC"
 PLAT OF "THE TRAILS, TRACT D"
 (12-15-03, 03C-375)
 PLAT OF "THE TRAILS, TRACT J"
 (12-15-03, 03C-375)
 PLAT OF "THE TRAILS, TRACT C"
 (12-15-03, 03C-375)
 all being records of Bernalillo County, New Mexico
14. Current Zoning: R-D
15. These properties are within the New Mexico Utilities, Inc. (NMU, Inc) franchise area, water and sanitary sewer system capabilities are based on the NMU, Inc. facilities, not the City of Albuquerque.
16. Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #7719"
16. All property corners to be set with 5/8" rebar with cap "ALS LS 7719"

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1880

LEGAL DESCRIPTION

A tract of land situate within the Town of Alameda Grant, projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT B, THE TRAILS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 15, 2003 in Book 2003C, Page 375 and containing 9.4494 acres more or less.

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject tract into residential lots, to create 3 tracts, to dedicate public rights-of-way, to grant those easements necessary to serve the residential development, and to vacate easements.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant, all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, and do hereby certify that this subdivision is their free act and deed.



PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2
 BEING A REPLAT OF TRACT B, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T. 11 N., R. 2 E., NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2004

APPROVALS

- DPB PROJECT NO. 1003353
 APPLICATION NO. 04-0415
 Utility Approvals
- Leand P. Muts PNM ELECTRIC SERVICES DIVISION 8-27-04 DATE
 - Leand P. Muts PNM GAS SERVICES DIVISION 8-27-04 DATE
 - David P. Muller QWEST 8-27-04 DATE
 - Rita S. Sicks COMCAST 8-27-04 DATE
 - [Signature] NEW MEXICO UTILITIES CITY APPROVALS 9-22-04 DATE
 - [Signature] CITY SURVEYOR 8-23-04 DATE
 - N/A REAL PROPERTY DIVISION 9-22-04 DATE
 - N/A ENVIRONMENTAL HEALTH DEPARTMENT 9/22/04 DATE
 - [Signature] TRAFFIC ENGINEERING, TRANSPORTATION DIVISION 9-22-04 DATE
 - [Signature] UTILITIES DEVELOPMENT 9-22-04 DATE
 - Christina Dandora PARKS AND RECREATION DEPARTMENT 9/22/04 DATE
 - Bradley D. Bingham AMAFCA 9/22/04 DATE
 - Bradley D. Bingham CITY ENGINEER 9/22/04 DATE
 - [Signature] DRB CHAIRPERSON, PLANNING DEPARTMENT 9-22-04 DATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1009 064 730487 20315 PROPERTY OWNER OF RECORD
Rainbow Six
 BERNALILLO COUNTY TREASURER'S OFFICE
Donny Vigil 22 Sept 04

OWNER
 CENTEX HOMES

Norman A. Gregory August 11, 2004
 NORMAN A. GREGORY Date
 LAND DEVELOPMENT MANAGER

ACKNOWLEDGMENT

STATE OF NEW MEXICO } SS
 COUNTY OF BERNALILLO }



This instrument was acknowledged before me on August 11, 2004 2004, by Norman A. Gregory as Land Development Manager of Centex Homes, a Nevada General Partnership, on behalf of said General Partnership.

My Commission Expires: May 3, 2005
[Signature]
 Notary Public

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief."



[Signature] Timothy Aldrich, P.S. No. 7719
 Date 08-11-04

PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2

BEING A REPLAT OF TRACT B, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T 11 N., R. 2 E., NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
AUGUST 2004

ACS MONUMENT
2-810'
Y=1,527,976.48
X=357,543.73
C-C=0.99966354
Aa=-0076'30"
(NAD 1927/NGVD 1929)
ELEVATION=5429.35
CENTRAL ZONE

PASEO DEL NORTE NW (R/W VARIES 156' MIN)

TRACT A

TRACT B

TRACT C

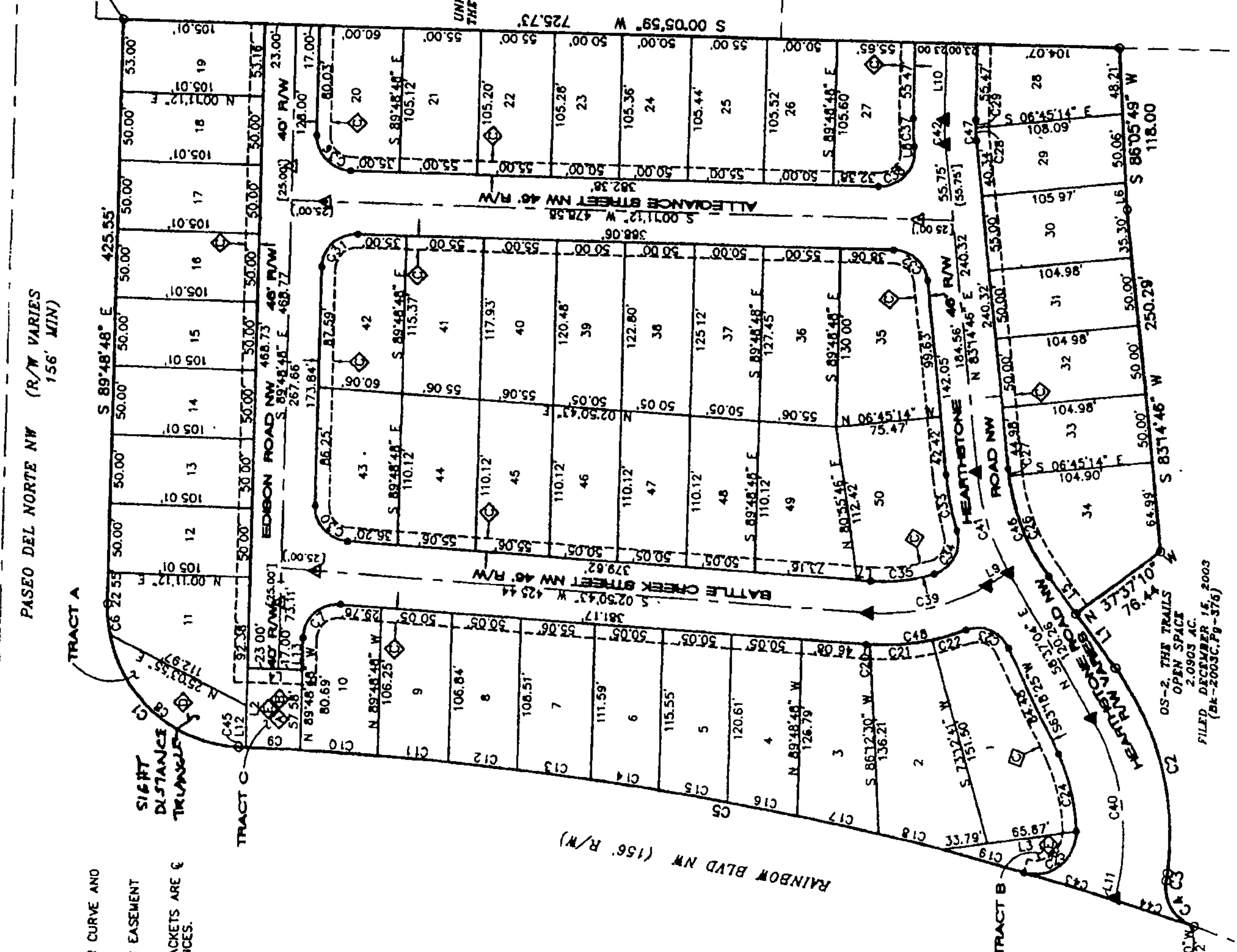
- NOTES:**
- SEE SHEET 3 FOR CURVE AND LINE TABLES
 - SEE SHEET 3 FOR EASEMENT NOTES
 - DISTANCES IN BRACKETS ARE MONUMENT DISTANCES.

SIGHT DISTANCE TRIANGLE

UNPLATTED LAND OF THE ARCHDIOCESE OF SANTA FE

UNPLATTED LAND OF PARADISE WEST INC.

20413373
814725
Page 2 of 3
08/22/2004 08:48
817.88
B-2003C-P3-25



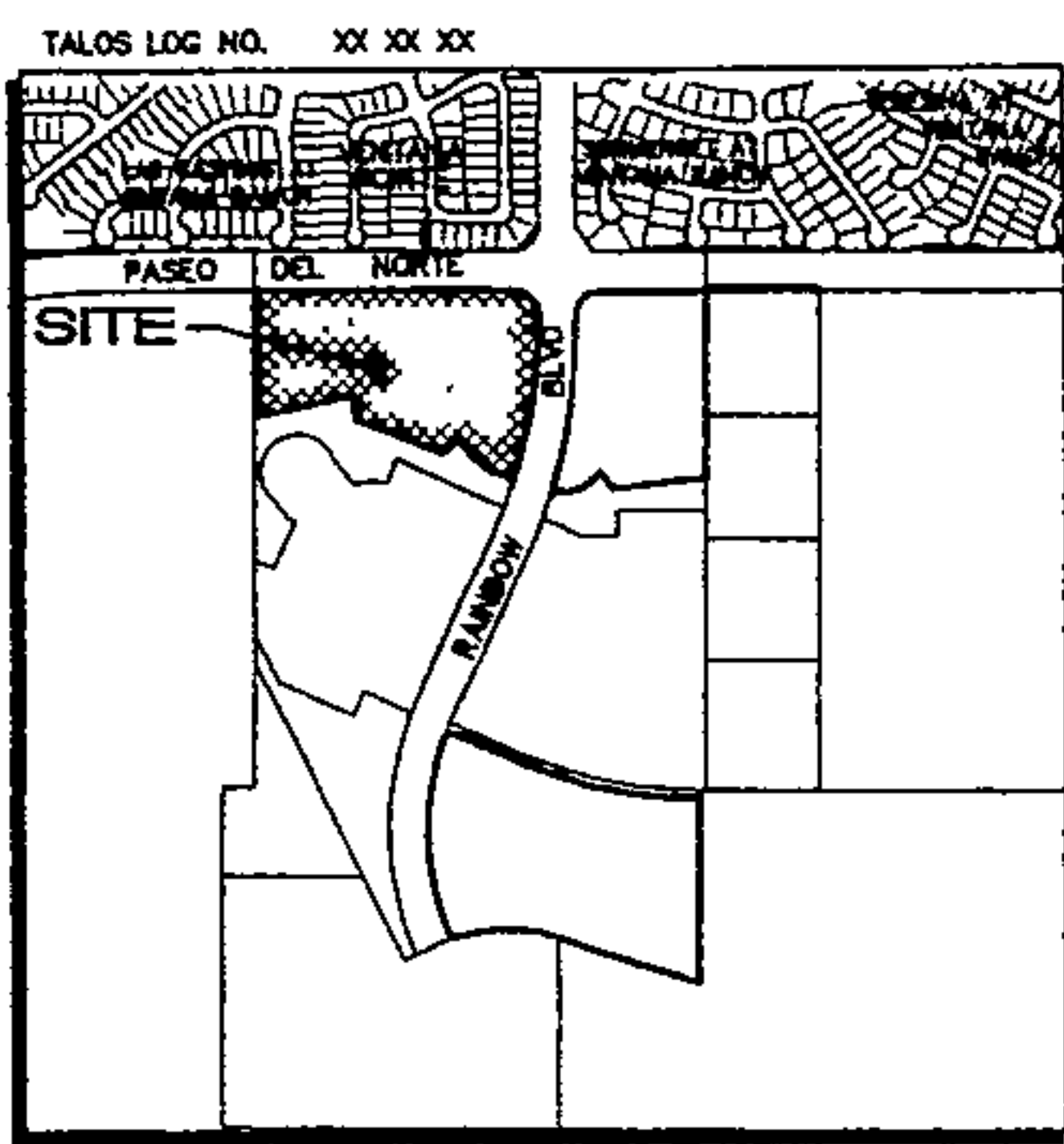
SCALE: 1"=60'

60 40 20 0 80 120 FEET

- LEGEND**
- FOUND 5/8" REBAR WITH CAP "LS 5978" (Typ.)
 - SET 5/8" REBAR WITH CAP "ALS LS 7719" (Typ.)
 - PROPERTY LINE
 - - - ADJOINING PROPERTY LINE
 - △ CENTERLINE MONUMENT

OS-2, THE TRAILS
OPEN SPACE
2.0903 AC.
FILED DECEMBER 15, 2003
(BK-2003C-P3-376)

ACS MONUMENT
UNION 1969
Y=1,523,440.96
X=353,409.02
C-C=0.99966044
Aa=-0076'58"
(NAD 1927)
CENTRAL ZONE
07/28/04



C-9-Z
VICINITY MAP
1"=750'±

SUBDIVISION DATA / NOTES

- Total Number of Existing Tracts: 1
- Total Number of Lots Created: 75
- Total Number of Tracts Created: 3
- Gross Subdivision Acreage: 13.8660 Ac
- Total Mileage of Full Width Streets Created: 0.5862
- Bearings are New Mexico State Plane Grid Bearings (Central Zone)
- Distances are ground distances.
- Bearings and distances in parentheses are record.
- Basis of boundary are the following plots (and documents) of record entitled:
- Field Survey performed on March, 2003
- Title Report, None provided.
- This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.
- Basis of boundary is from the plots of record entitled:
UNPLATTED LAND OF "VOLCANO SIX LIMITED"
TRACT OS-1 OPEN SPACE
TRACT OS-2 OPEN SPACE
UNPLATTED LAND OF "THE ARCHDIOCESE OF SANTA FE"
UNPLATTED LAND OF "PARADISE WEST INC."
PLAT OF "THE TRAILS, TRACT D"
(12-15-03, G3C-375)
PLAT OF "THE TRAILS, TRACT J"
(12-15-03, G3C-375)
PLAT OF "THE TRAILS, TRACT G"
(12-16-03, G3C-375)
as being records of Bernalillo County, New Mexico.
- Current Zoning: R-0
- City Standard Utility Note II
"City of Albuquerque Water and Sanitary Sewer Service to XXX must be verified and coordinated with the Public Works Department, City of Albuquerque."
- Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #7719"
- All property corners to be set with 5/8" rebar with cap "ALS LS 7719"



P.O. BOX 30761, ALBU, N.M. 87190
505-864-1898

LEGAL DESCRIPTION

A tract of land abuts within the Town of Alameda Grant, projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT A, THE TRAILS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 15 2003 in Book 2003C, Page 375 and containing 13.8660 acres more or less.

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject tracts and the veceled easements into residential lots, to create 2 tracts (Tract A & Tract B), to dedicate public rights-of-way and to grant these easements necessary to serve the residential development.

FREE CONSENT AND DEDICATION

The subdivision shown herein is with the free consent and in accordance with the desire of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities thereon, and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits and pipes for underground and/or overhead utilities where shown or indicated, and including the right to ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

OWNER

HERITAGE AT THE TRAILS HOMEOWNERS ASSOCIATION

RICHARD BRESSAN Date _____
PRESIDENT

ACKNOWLEDGMENT

STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO }

This instrument was acknowledged before me on _____ 2004, by Richard Bressan as President of Heritage at the Trails Homeowners Association, a New Mexico Non-Profit Corporation, on behalf of said Corporation.

My Commission Expires: _____

Notary Public

OWNER

CENTEX HOMES

NORMAN A. GREGORY Date _____
LAND DEVELOPMENT MANAGER

ACKNOWLEDGMENT

STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO }

This instrument was acknowledged before me on _____ 2004, by Norman A. Gregory as Land Development Manager of Centex Homes, a X, on behalf of said X.

My Commission Expires: _____

Notary Public

PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1

BEING A REPLAT OF TRACT A, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T 11 N., R 2 E., NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JUNE 2004

APPROVALS

DRB PROJECT NO. 1003384
APPLICATION NO. _____
UNITY Approvals

PNM ELECTRIC SERVICES DIVISION DATE _____

PNM GAS SERVICES DIVISION DATE _____

QWEST DATE _____

COMCAST DATE _____

NEW MEXICO UTILITIES City Approvals DATE _____

CITY SURVEYOR DATE _____

REAL PROPERTY DIVISION DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE _____

UTILITIES DEVELOPMENT DATE _____

PARKS AND RECREATION DEPARTMENT DATE _____

AMAFCA DATE _____

CITY ENGINEER DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE _____

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief"

Timothy Aldrich, P.S. No. 7719 Date _____

NOTES:

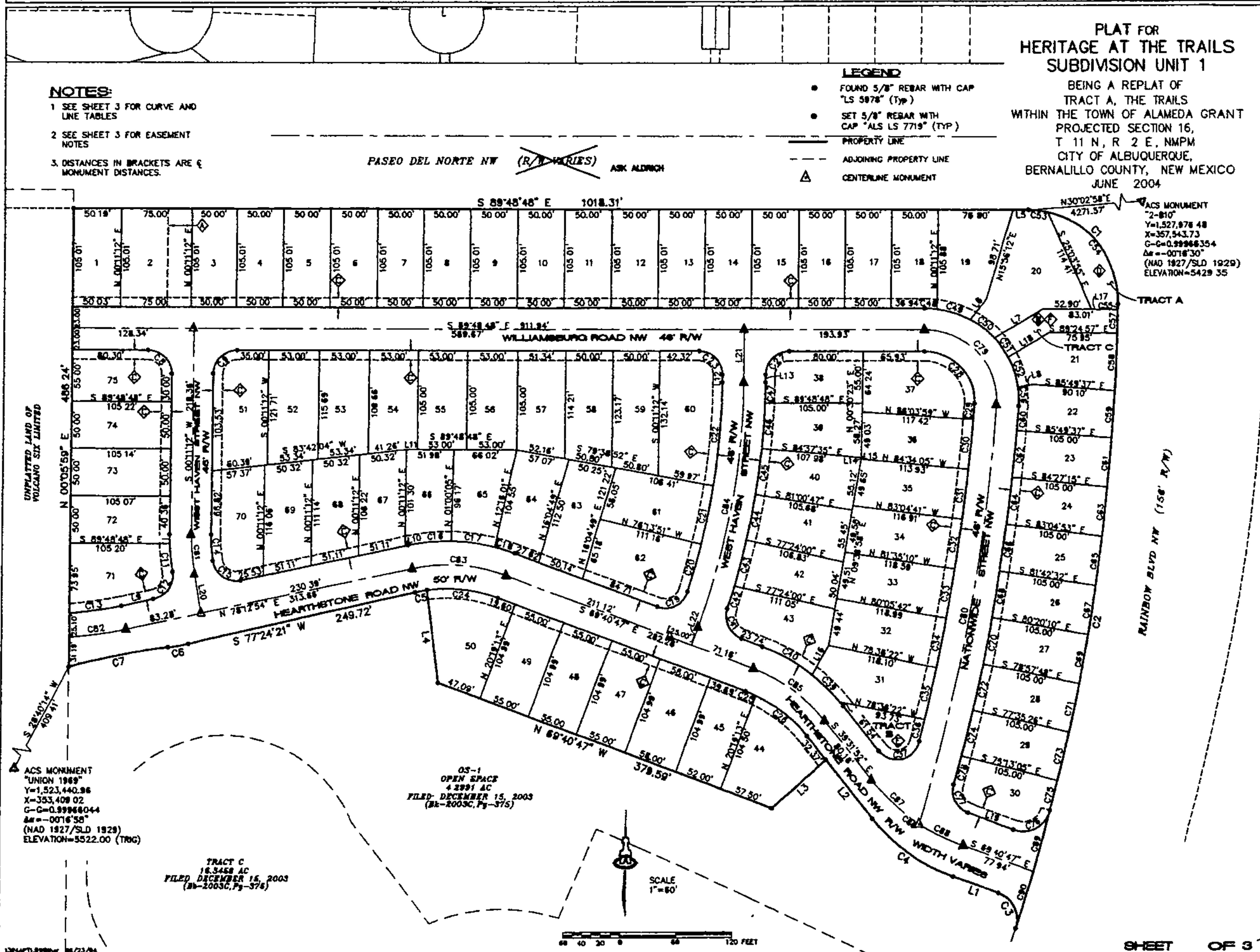
- SEE SHEET 3 FOR CURVE AND LINE TABLES
- SEE SHEET 3 FOR EASEMENT NOTES
- DISTANCES IN BRACKETS ARE MONUMENT DISTANCES.

LEGEND

- FOUND 5/8" REBAR WITH CAP "LS 5978" (TYP)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- PROPERTY LINE
- ADJOINING PROPERTY LINE
- CENTERLINE MONUMENT

PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1

BEING A REPLAT OF TRACT A, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T 11 N., R 2 E., NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JUNE 2004





OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

April 23, 2008

1. **Project# 1003354**
08DRB-70155 MAJOR - 2YR EXTENSION OF SUBDIVISION
IMPROVEMENTS

BOHANNAN HUSTON, INC. agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of **HERITAGE AT THE TRAILS Unit(s) 1**, zoned SU-2/ RD, located on the west side of RAINBOW BLVD NW BETWEEN HEARTHSTONE RD NW and PASEO DEL NORTE NW containing approximately 9 acre(s). (C-9)

At the April 23, 2008 Development Review Board meeting, the 2 year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by May 8, 2008, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, AICP, DRB Chair

Cc: Bohannan Huston Inc. – 7500 Jefferson NE – Albuquerque, NM 87109

Cc: The Trails LLC – 7007 Jefferson NE – Albuquerque, NM 87109



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, May 31, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1002455
06DRB-00610 Major-Two Year SIA

TIM OTT agent(s) for J GROUP request(s) the above action(s) for all or a portion of Lot(s) 1-7, J J SUBDIVISION, zoned SU-1 for C-1 uses, located on SAN ANTONIO DR NE, between I-25 and SAN PEDRO DR NE containing approximately 10 acre(s). [REF: 04DRB-00984, 03DRB-01899, 03DRB-01654] (E-18)

Project # 1003353
06DRB-00631 Major-Two Year SIA

WILSON & COMPANY INC agent(s) for THE TRAILS LLC request(s) the above action(s) for THE TRAILS (to be known as HERITAGE @ THE TRAILS, UNIT 2) zoned RD, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and HEARTHSTONE NW containing approximately 14 acre(s). [REF: 04DRB-01415] (C-9)

Project # 1003354
06DRB-00633 Major-Two Year SIA

WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for THE TRAILS, (to be known as HERITAGE @ THE TRAILS, UNIT 1, zoned RD, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and HEARTHSTONE NW containing approximately 9 acre(s). [REF: 04DRB-01416] (C-9)

Project # 1002858
06DRB-00629 Major-Vacation of Public Easements
06DRB-00630 Minor-Prelim&Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Lot(s) 28, Block(s) 13, MESA @ ANDERSON HILLS, UNIT 2, zoned SU-1 for C-1 uses & R-2, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and GRACE VIGIL RD SW containing approximately 35 acre(s). [REF: 05DRB-00488, 04DRB-01744, 04DRB-01683] (P-9)

Project # 1004877
06DRB-00634 Major-Vacation of Pub Right-of-Way
06DRB-00635 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES INC agent(s) for THE BOARD OF EDUCATION FOR THE CITY OF ALBUQUERQUE (APS REAL ESTATE OFFICE) request(s) the above action(s) for all or a portion of Lot(s) 1-10, Block(s) 3 and Lot(s) 1-9, Block(s) 4, MANDELL ADDITION NO 2, zoned M-1, located on WOODLAND AVE NW, between 4TH ST NW and 2ND STNW containing approximately 4 acre(s). (H-14)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

LONGFORD HOMES NEW MEXICO
RECEIVED

MAY 12 2006

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 15, 2006.

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBMISSION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: March 24, 2004

Date Site Plan Approved: 1/21/04

Date Preliminary Plat Approved: 1/21/04

Date Preliminary Plat Expires: 10/31/05

DRB Project No.: 04DRB-00457

DRB Application No: 6/29/04

HERITAGE AT THE TRAILS, UNIT 1

PROPOSED NAME OF PLAT

TRACT A, THE TRAILS

EXISTING LEGAL DESCRIPTION PRIOR TO PLATING ACTION

Following is a summary of PUBLIC PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/buyer. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
735481	28' F-F	Residential Paving	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
	28' F-F	Residential Paving	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/
	28' F-F	Residential Paving	Jameon Street	Williamsburg Road	Hearthstone Road	/	/	/
	28' F-F	Residential Paving	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
	32' F-F	Residential Paving	Hearthstone Road	West Property Line	Nationwide Street	/	/	/
	50' F-F (incl Median)	Residential Paving	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/
735081	31' F-F (half of full width)	Arterial Paving (B)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
735481	13'00	Modified Procedure (A) - SEE NOTE 9	Paseo del Norte			/	/	/
735484	31' F-F (half of full width)	Arterial Paving (C)	Paseo del Norte W. Prop. line		Rainbow Blvd.	/	/	/
735484	54' or More	Curb and Gutter (B)	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
	54' or More	Curb and Gutter (B)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/

ORIGINAL

SIA Sequence #	COA DRC Project #	Std. or Mntrl	Location	Material	Private Inspector	City Inspector	City Const Engineer
			Jarvison Street	Curb and Gutter (6)	/	/	/
			Williamsburg Road	Curb and Gutter (6)	/	/	/
			West Haven Street	Curb and Gutter (6)	/	/	/
			Hearthstone Road	Curb and Gutter (6)	/	/	/
			Hearthstone Road	Curb and Gutter	/	/	/
			Rainbow Blvd	Curb and Gutter (6) (West Side Only)	/	/	/
			Rainbow Blvd	Curb and Gutter (6) (East Side Only)	/	/	/
			Williamsburg Road	PCC Sidewalk (1) (Both Sides)	/	/	/
			Nationwide Street	PCC Sidewalk (1) (Both Sides)	/	/	/
			Jameson Street	PCC Sidewalk (1) (Both Sides)	/	/	/
			Williamsburg Road	PCC Sidewalk (1) (Both Sides)	/	/	/
			West Haven Street	PCC Sidewalk (1) (North Side Only)	/	/	/
			Hearthstone Road	PCC Sidewalk (1) (North Side Only)	/	/	/
			Hearthstone Road	PCC Sidewalk (1) (South Side Only)	/	/	/
			Rainbow Blvd	Asphalt Trail (8)	/	/	/
			Williamsburg Road	Asphalt Trail (8)	/	/	/
			Williamsburg Road	Waterline	/	/	/
			Williamsburg Road	Waterline	/	/	/
			Nationwide Street	Waterline	/	/	/

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SIA Sequence #	COA DRC Project #					Private Inspector	City Inspector	City Const Engineer	
		6"	Waterline	Hearthstone Road	West Property Line	Rainbow Blvd.	/	/	/
		6"	Waterline	Jameon Street	Williamsburg Road	Hearthstone Road	/	/	/
		6"	Waterline	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		20"	Waterline (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
							/	/	/
		6"	SAS	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		6"	SAS	Hearthstone Road	West Property Line	Lot 44	/	/	/
		6"	SAS	Jameon Street	Lot 70 - South End	Williamsburg Road	/	/	/
		6"	SAS	West Haven Street	Hearthstone Road	Williamsburg Road	/	/	/
		6"	SAS	Nationwide Street	Williamsburg Road	Lot 30	/	/	/
		6"	SAS	Lot 21 Easement	Williamsburg Road	Rainbow Blvd.	/	/	/
		6" - 12"	SAS (8)	Tracts B, D, F, & J	Lot 21 Easement	Universe Blvd	/	/	/
		750 gpm	Temp SAS Lift Station (8)	Tract J	Universe Blvd		/	/	/
		6"	Temporary SAS Force Main (8)	Universe Blvd	Tree Line Avenue	Paseo del Norte	/	/	/
							/	/	/
		30"	RCP Storm Drain	Lot 2 Easement	Williamsburg Road	Paseo del Norte	/	/	/
16-1	1738481	36" - 42"	RCP Storm Drain	Paseo Del Norte	Lot 2	Rainbow Blvd.	/	/	/
		24"	RCP Storm Drain	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/

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30'	RCP Storm Drain	Lot 21 Easement	Williamsburg Road	Williamsburg Road				
30'	RCP Storm Drain	West Property Line	Lot 21 Easement	Rainbow Blvd.				
24'	RCP Storm Drain	Tract OS-1	Hearthstone Road	Santa Fe at the Trails				
24'	RCP Storm Drain	Rainbow Blvd (at Hearthstone Road)	West right-of-way line	East right-of-way line				
30'-48"	RCP Storm Drain	Rainbow Blvd (at Lot 21 Easement)	West right-of-way line	East right-of-way line				
6.46 Ac-Ft		Retention Pond on unplatted land east of Tract B, The Trails. w/ esent. Covenant & Agreement, and emergency overflow						
0.77 Ac-Ft	△	Temporary Retention Pond on property west of Heritage at the Trails, Unit 1. w/ esent. Covenant & Agreement, and emergency overflow Temporary Storm Drain Pump (located) \$250,000 drainage & mitigation contribution by Producers' modified Station & Force Main (10)		Landscaping w/ after motor				
				Parameters (not subject to financial guaranty)				

City Const. Engineer
City Inspector
Private Inspector

ORIGINAL

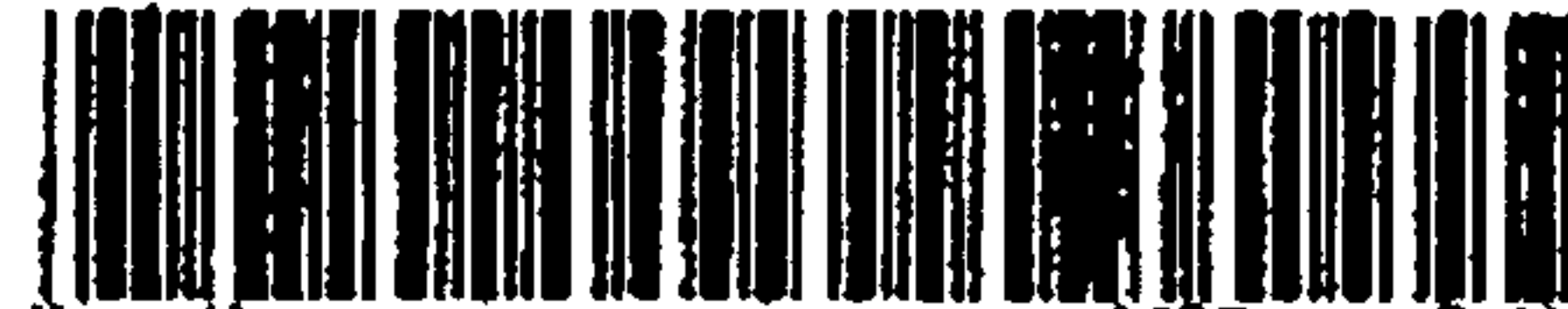
SIA
COA DRC
Project #

Sequence #

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Bern. Co. FERC
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ORIGINAL



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Mary Herrera Bern. Co. RERE R 41.08

NOTES:

1. Sidewalks to be deferred where noted.
2. Residential lighting per DPM.
3. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved plans.
4. All water to include fire hydrants, valves, and appurtenances per DPM.
5. Storm drain sizes are subject to change per final DRC determination.
6. Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.
7. Not used
8. Adjacent portions of Rainbow Blvd to be built by a separate project. (DRB Project#1002962, CPN#730081) Rainbow Blvd not financially guaranteed with this project.
9. Offsite Traffic Mitigation Fees of \$565 per lot to be paid by Modified Procedure "C" (non-work order): \$585/lot x 75 lots = \$42,375
10. ~~Includes removal and replacement of existing asphalt. To be deferred. Financial Guaranty amount to be reviewed and approved by the City of Albuquerque Hydrology Planning Department in addition to the standard DRG procedure review.~~
11. ~~by Modified Procedure 'C' (non-work order) is an option (concessions from AMD required).~~
12. Trail to be built by a separate project

AGENT/OWNER		DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Genevieve Donart, PE NAME (print)		<div style="display: flex; justify-content: space-between;"> <div> <p><i>[Signature]</i> 4/21/04 DRB CHAIR - date</p> </div> <div> <p><i>[Signature]</i> 4/21/04 PARKS & GENERAL SERVICES - date</p> </div> </div>		
Isaacson & Arman, P.A. FIRM		<div style="display: flex; justify-content: space-between;"> <div> <p><i>[Signature]</i> 4-21-04 TRANSPORTATION DEVELOPMENT - date</p> </div> <div> <p>AMAPCA - date</p> </div> </div>		
<p><i>[Signature]</i> 4/21/04 SIGNATURE - date</p>		<div style="display: flex; justify-content: space-between;"> <div> <p><i>[Signature]</i> 4/21/04 UTILITY DEVELOPMENT - date</p> </div> <div> <p>- date</p> </div> </div>		
<p><i>[Signature]</i> 4-21-04 CITY ENGINEER - date</p>		<div style="display: flex; justify-content: space-between;"> <div> <p>4-21-04</p> </div> <div> <p>- date</p> </div> </div>		

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRG CHAIR	USER DEPARTMENT	AGENT/OWNER
Δ	6/24/04	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>

13. Landscape Maintenance Agreement between City and the H.O.A. is required for landscaping in the public right-of-way.

Current DRC Project Number: **ORIGINAL**

FIGURE 12

INFRASTRUCTURE LIST

Date Submitted: March 26, 2004

Date Site Plan Approved: 4/21/04

Date Preliminary Plat Approved: 4/21/04

Date Preliminary Plat Expires: 4/21/05

DRB Project No.: 1003353

DRB Application No.: DCORB-00452

6/24/04

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

HERITAGE AT THE TRAILS, UNIT 2

PROPOSED NAME OF PLAT

TRACT B, THE TRAILS

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the Infrastructure listing, the DRC Chair may include those items in the listing and related financial items, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Council Engineer
133442	28' F-F	Residential Paving	Edison Road	Battlecreek Street	Allegiance Street	/	/	/
	24' F-F	Residential Paving	Edison Road	Tract A	Battlecreek Street	/	/	/
	24' F-F	Residential Paving	Edison Road	Allegiance Street	Lot 19	/	/	/
	28' F-F	Residential Paving	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
	28' F-F	Residential Paving	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
	28' F-F	Residential Paving	Hearthstone Road	Battlecreek Street	east property line	/	/	/
	50' F-F (incl Median)	Residential Paving	Hearthstone Road	Rainbow Blvd	Battlecreek Street	/	/	/
150051	31' F-F (half of full width)	Artificial Paving	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
133432	619	Modified Procedure (30' - 30' - 30')						
133434	31' F-F (half of full width)	Artificial Paving	Paseo del Norte	Rainbow Blvd	East #	/	/	/
133432	Sid. or Mntbl	Curb and Gutter (6)	Edison Road	Tract A	Lot 18	/	/	/

See note 9

Artificial Paving
Paseo del Norte
Rainbow Blvd
East #

ORIGINAL

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		Std. or Mntrl	Curb and Gutter (5)	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		Std. or Mntrl	Curb and Gutter (5)	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		Std. or Mntrl	Curb and Gutter (5)	Hearthstone Road	West Property Line	Rainbow Blvd.	/	/	/
		Median	Curb and Gutter	Hearthstone Road	E. of Nationwide Street	Rainbow Blvd.	/	/	/
		Std.	Curb and Gutter (8) (West Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		Median	Curb and Gutter (8) (East Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Hearthstone Road	West Property Line	Nationwide Street	/	/	/
		4'	PCC Sidewalk (North Side Only)	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/
		4'	PCC Sidewalk (1) (South Side Only)	Hearthstone Road	West PL - Lot 50	East PL - Lot 44	/	/	/
		10'	Asphalt Trail (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		10'	Asphalt Trail (2)	Tract as-1	West PL	East PL	/	/	/
		5'	Waterline	Public Easement on Lot 2	Paseo Del Norte	Williamsburg Road	/	/	/
		5'	Waterline	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		5'	Waterline	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/


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SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		8"	Waterline	Hearthstone Road	West Property Line	Rainbow Blvd.	/	/	/
		8"	Waterline	Jameon Street	Williamsburg Road	Hearthstone Road	/	/	/
		6"	Waterline	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		20"	Waterline (S)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
							/	/	/
		8"	SAS	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		8"	SAS	Hearthstone Road	West Property Line	Lot 44	/	/	/
		8"	SAS	Jameon Street	Lot 70 - South End	Williamsburg Road	/	/	/
		8"	SAS	West Haven Street	Hearthstone Road	Williamsburg Road	/	/	/
		8"	SAS	Nationwide Street	Williamsburg Road	Lot 30	/	/	/
		8"	SAS	Lot 21 Easement	Williamsburg Road	Rainbow Blvd.	/	/	/
		8" - 12"	SAS (S)	Tracts B, D, F, & J	Lot 21 Easement	Universe Blvd	/	/	/
		750 gpm	Temp SAS Lift Station (S)	Tract J	Universe Blvd		/	/	/
		8"	Temporary SAS Force Main (S)	Universe Blvd	Tree Line Avenue	Paseo del Norte	/	/	/
							/	/	/
		30"	RCP Storm Drain	Lot 2 Easement	Williamsburg Road	Paseo del Norte	/	/	/
16-1	738484	36" - 42"	RCP Storm Drain	Paseo Del Norte	Lot 2	Rainbow Blvd.	/	/	/
		24"	RCP Storm Drain	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/

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ORIGINAL

SIA Sequence #	COA ORC Project #	RCP Storm Drain	Lot 21 Easement	Williamsburg Road	Rainbow Blvd.	Private Inspector	City Inspector	City Const Engineer
		30"	Williamsburg Road	Williamsburg Road	Rainbow Blvd.	/	/	/
		30"	Williamsburg Road	West Property Line	Lot 21 Easement	/	/	/
		24"	Tract OS-1	Hearthstone Road	Santa Fe at the Trails	/	/	/
		24"	Rainbow Blvd (at Hearthstone Road)	West right-of-way line	East right-of-way line	/	/	/
		30"-48"	Rainbow Blvd (at Lot 21 Easement)	West right-of-way line	East right-of-way line	/	/	/
		6.46 Ac-Ft	Retention Pond on unplatted land east of Tract B, The Trails, w/ easmt, Covenant & Agreement, and emergency overflow			/	/	/
		0.77 Ac-Ft	Temporary Retention Pond on property west of Heritage at the Trails, Unit 1, w/ easmt, Covenant & Agreement, and emergency overflow			/	/	/
			\$250,000 drainage mitigation contribution by Proctor's modified Temporary Storm Drain Pump Station & Force-Main (40)			/	/	/
			Perimeter walls (not subject to financial guaranty)			/	/	/
			Landscaping water meter			/	/	/
						/	/	/
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ORIGINAL

NOTES:

1. Sidewalks to be deferred where noted.
2. Residential lighting per DPM.
3. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
4. All water to include fire hydrants, valves, and appurtenances per DPM.
5. Storm drain sizes are subject to change per final DRC determination.
6. Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.
7. Not used
8. Adjacent portions of Rainbow Blvd to be built by a separate project. (DRB Project#1002962, CPN#730081) Rainbow Blvd not financially guaranteed with this project.
9. Offsite Traffic Mitigation Fees of \$565 per lot to be paid by Modified Procedure "C" (non-work order): \$565/lot x 75 lots = \$42,375



2884123614
 8137168
 Page: 11 of 17
 08/31/2004 02:09P
 BK-R83 Pg-3298

10. ~~Includes removal and replacement of existing asphalt. To be deferred. Financial Guaranty amount to be reviewed and approved by the City of Albuquerque Hydrology Planning Department in addition to the standard DRG procedure review.~~
11. ~~by Modified Procedure 'C' (non-work order) is an option (concurrence from DMD required).~~
12. Trail to be built by a separate project

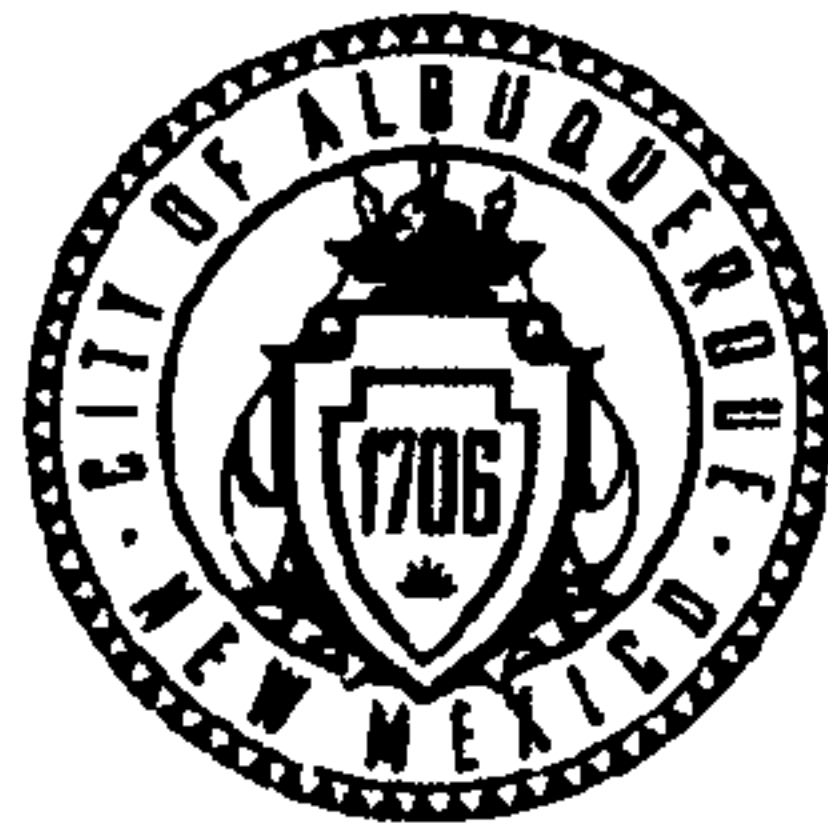
AGENT/OWNER		DEVELOPMENT REVIEW BOARD MEMBER APPROVALS			
Genevieve Donart, PE NAME (print)		<i>William Watson</i> 4/21/04 DRB CHAIR - date			
Isaacson & Arman, P.A. FIRM		<i>[Signature]</i> 4-21-04 TRANSPORTATION DEVELOPMENT - date		PARKS & GENERAL SERVICES - date	
<i>Genevieve Donart</i> 4/21/04 SIGNATURE - date		<i>Roger Albee</i> 4/21/04 UTILITY DEVELOPMENT - date		- date	
		<i>Brad L. Bijan</i> 4-21-04 CITY ENGINEER - date		- date	

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRG CHAIR	USER DEPARTMENT	AGENT/OWNER
1	6/24/04	<i>[Signature]</i>	<i>Brad Bijan</i>	<i>Genevieve Donart</i>

13. Landscape Maintenance Agreement between City and the H.O.A. is required for landscaping in the public right-of-way.



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: 5-20-10

TO CONTACT NAME: RICK BELTRAN
COMPANY/AGENCY: LONGFORD HOMES
ADDRESS/ZIP: 7023 Tree Line Ave. 87117
PHONE/FAX #: 505-5322 761-9922

Thank you for your inquiry of 5-20-10 (date) requesting the names of ALL Affected

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Paseo del Norte and Universe Blvd. Atorbe Units 142 at the Oculus zone map page(s) C-9.

Our records indicate that the Affected Neighborhood and/or Homeowner Associations affected by this proposal and the contact names are as follows:

Verlana Ranch
Neighborhood or Homeowner Association

Contacts: [Handwritten signature]

Neighborhood or Homeowner Association

Contacts:

See reverse side for additional Neighborhood and/or Homeowner Associations

Information:

YES { } NO [X]

Please note that according to O-92 you are required to notify each of these contact persons by CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE the Planning Department will accept your application filing. IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

[Handwritten signature]
OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

NOTICE TO APPLICANTS - SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify **ALL AFFECTED NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS** PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood and/or homeowner associations may contact someone with questions or comments.

INFORMATION FROM THE OFFICE OF NEIGHBORHOOD COORDINATION

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood and/or Homeowner Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

(Below this line for ONC use only)

Date of Inquiry: 5/20/10 Time Entered: 3:45 PM ONC Rep. Initials: [Signature]

VENTANA RANCH N.A. (VTR) "R"

***Jay Jones** e-mail: vtjman@yahoo.com

P.O. Box 65446/87193 890-3996 (h) 400-1751 (c)

Kevin Patton e-mail: jj3kpatton@comcast.net

10422 Borrego Creek Dr. NW/87114 238-2857 (h)

Website: www.ventanaranch.org

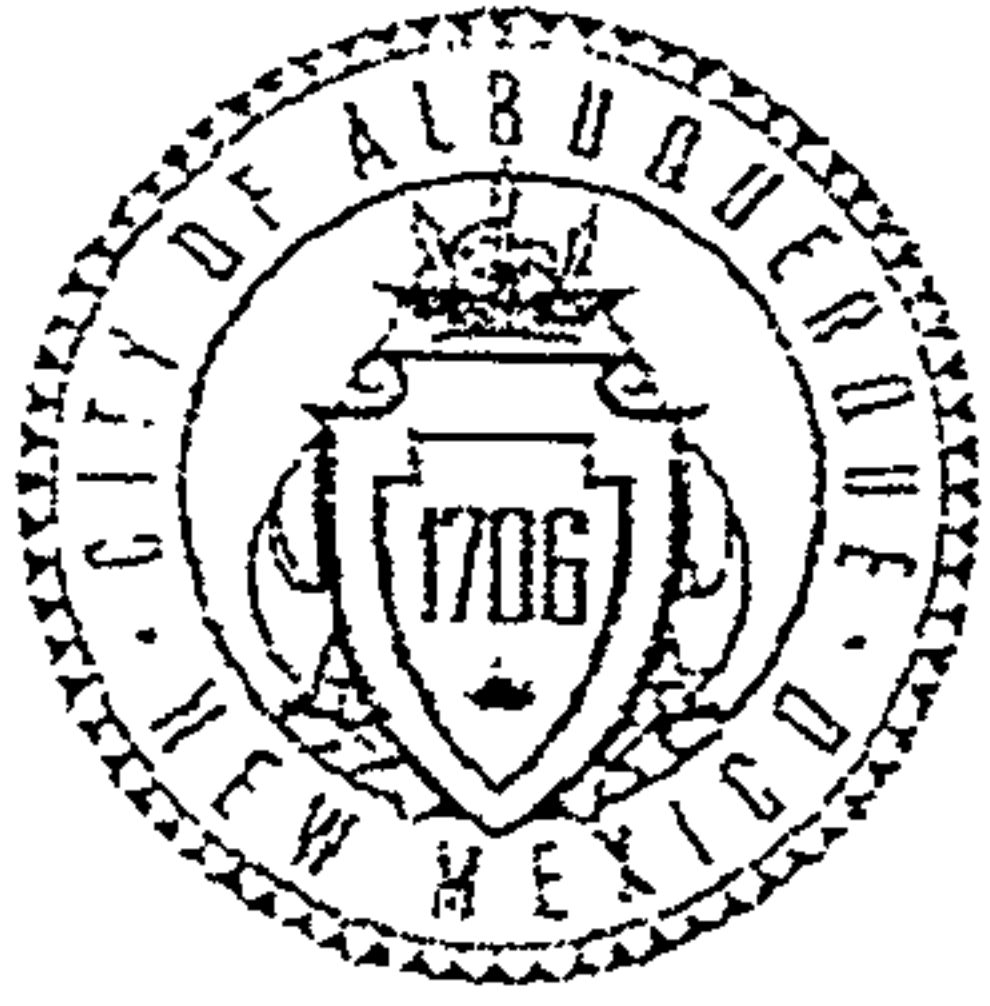
NA E-mail: contact@ventanaranch.org

Council District: 5

County District: 1

Police Beat: 616/NW

Zone Map: A-C-9-10



DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 – will need the following information **BEFORE** neighborhood and/or homeowner association information will be released to the applicant/agent on any project being presented to the Planning Department of the City of Albuquerque. If you have any questions, please feel free to contact our office at (505) 924-3914. Your Developer Inquiry is for the following:

Cell Tower & Type: Free-Standing Tower -OR- Concealed Tower
Private Development EPC DRB LUCC Liquor Submittal
 Administrative Amendments (AA's)

City Project Special Exception Application (ZHE)

CONTACT NAME: RICK BELTRAMO
COMPANY NAME: LONGFORD HOMES
ADDRESS/ZIP: 7023 TREE LINE AVE / 87114
PHONE: 620-5322 FAX: 761-9922

LEGAL DESCRIPTION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION IN THE AREA OF THE PROPERTY DESCRIBED BELOW:

HERITAGE UNITS 1 & 2 at THE TRAILS

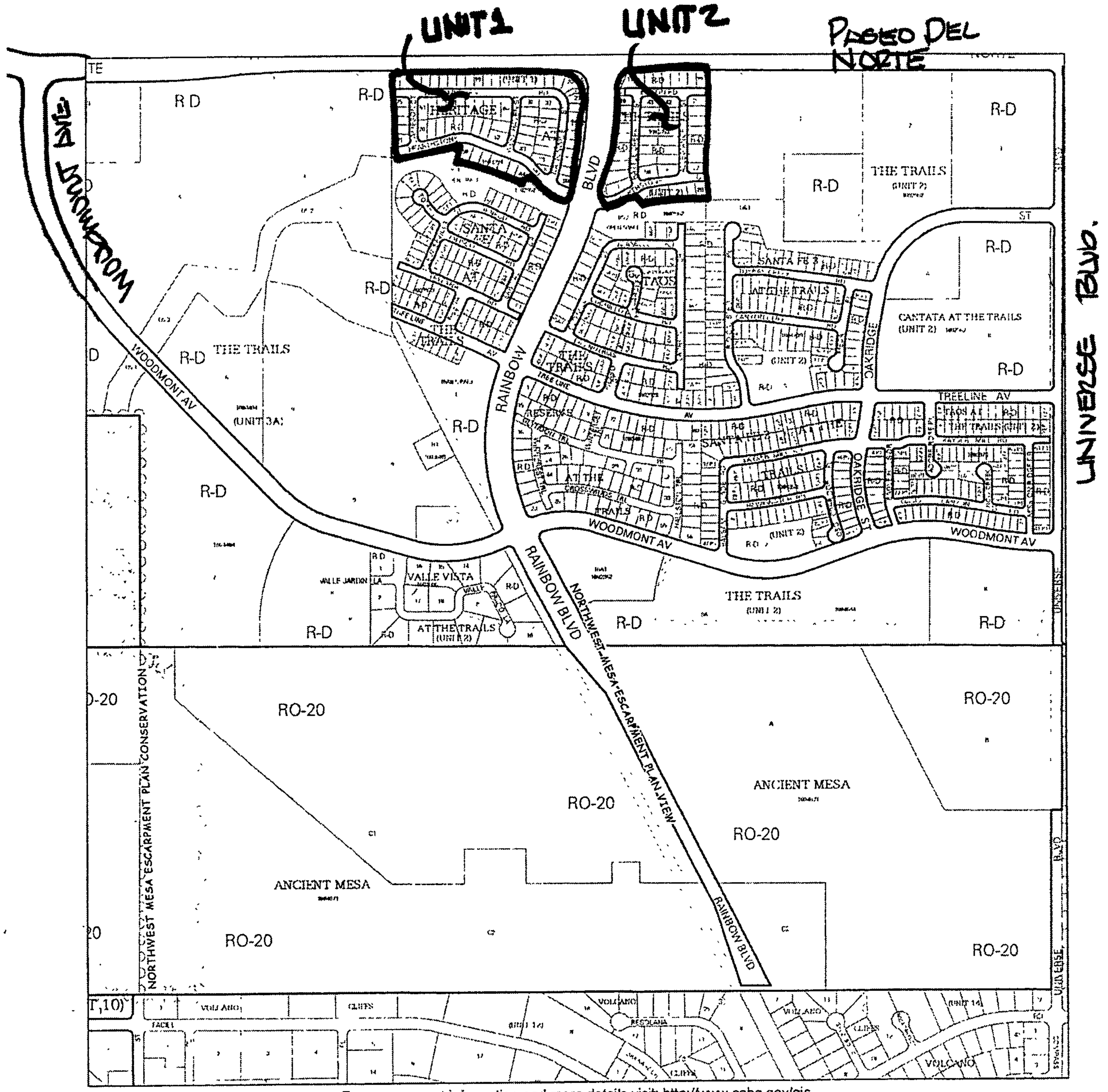
LEGAL DESCRIPTION

LOCATED ON PASEO DEL NORTE
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN UNIVERSE BLVD. AND
STREET NAME OR OTHER IDENTIFYING LANDMARK

WOODMONT AVE.
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (C-9).
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)
(Zone Map MUST be provided with request)



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits.

Zone Atlas Page:
C-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1500 Feet



May 20, 2010

Mr. Kevin Patton
Representative of Ventana Ranch N.A.
10422 Borrego Creek Dr. NW
Albuquerque, New Mexico, 87114

Re: Extension of Subdivision Improvements Agreements
Unit 1 and 2 of Heritage at The Trails

Dear Mr. Patton:

The city of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Ventana Ranch Neighborhood Association.

This letter notifies you, as that Longford homes is requesting a 1 year extensions of the Subdivision Improvements Agreement. More specifically the extension is requested for Paseo Del Norte adjacent to Units 1 and 2 of Heritage at The Trails.

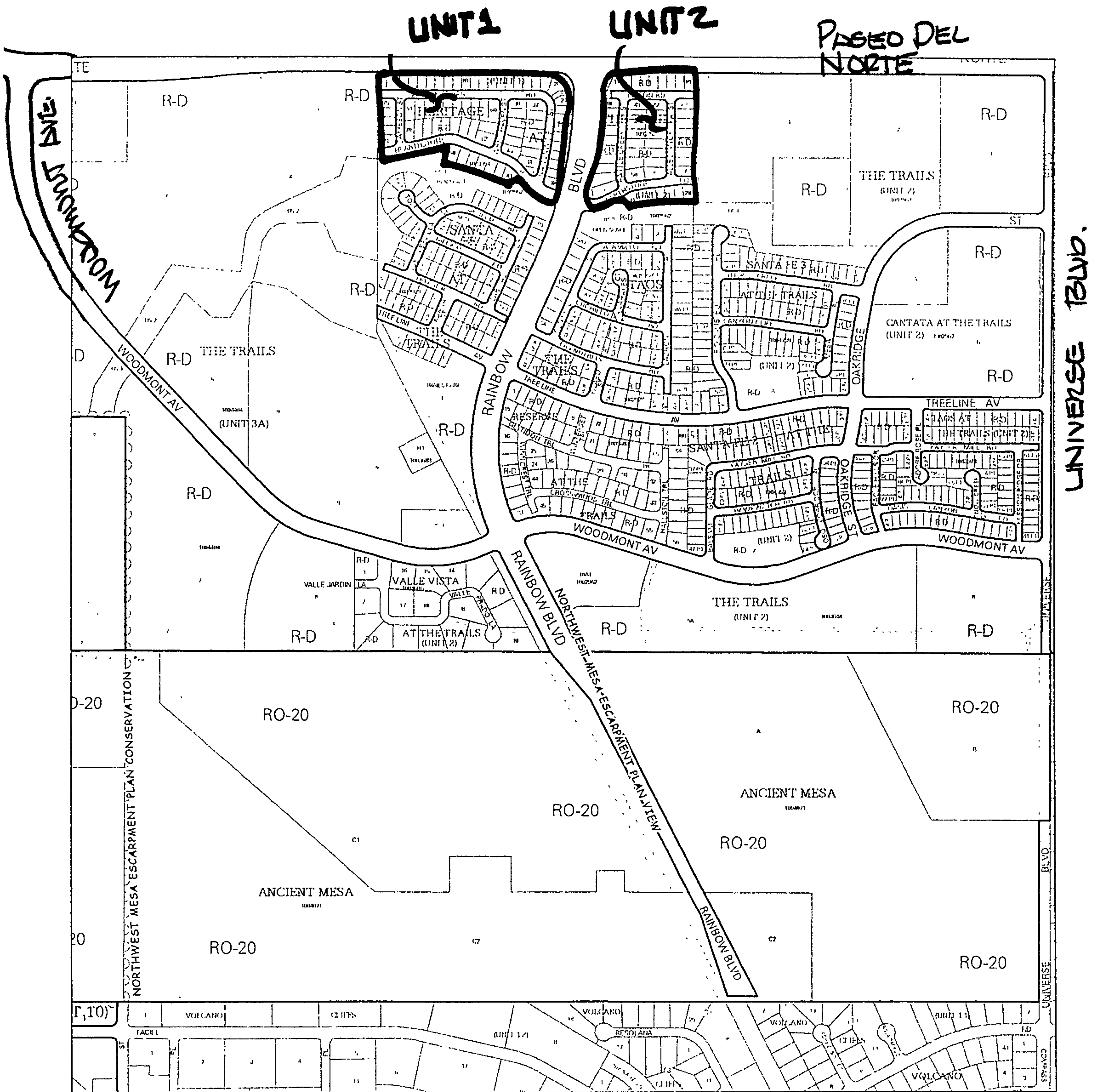
Attached is a copy of the zone atlas page showing unit 1 of The Trails. Should you need additional information or have any questions please call me at 620-5322.

Sincerely,

A handwritten signature in black ink, appearing to read "Rick Beltramo".

Rick Beltramo
Longford Homes

Attachments



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page.
C-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
IL-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon	

0 750 1500 Feet



May 20, 2010

Mr. Jay Jones
Representative of Ventana Ranch N.A.
P.O. Box 65446/87193
Albuquerque, New Mexico, 87193

Re: Extension of Subdivision Improvements Agreements
Units 1 and 2 of Heritage at The Trails

Dear Mr. Jones:

The city of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Ventana Ranch Neighborhood Association.

This letter notifies you, as that Longford homes is requesting a 1 year extensions of the Subdivision Improvements Agreement. More specifically the extension is requested for Paseo Del Norte adjacent to Units 1 and 2 of heritage at The Trails.

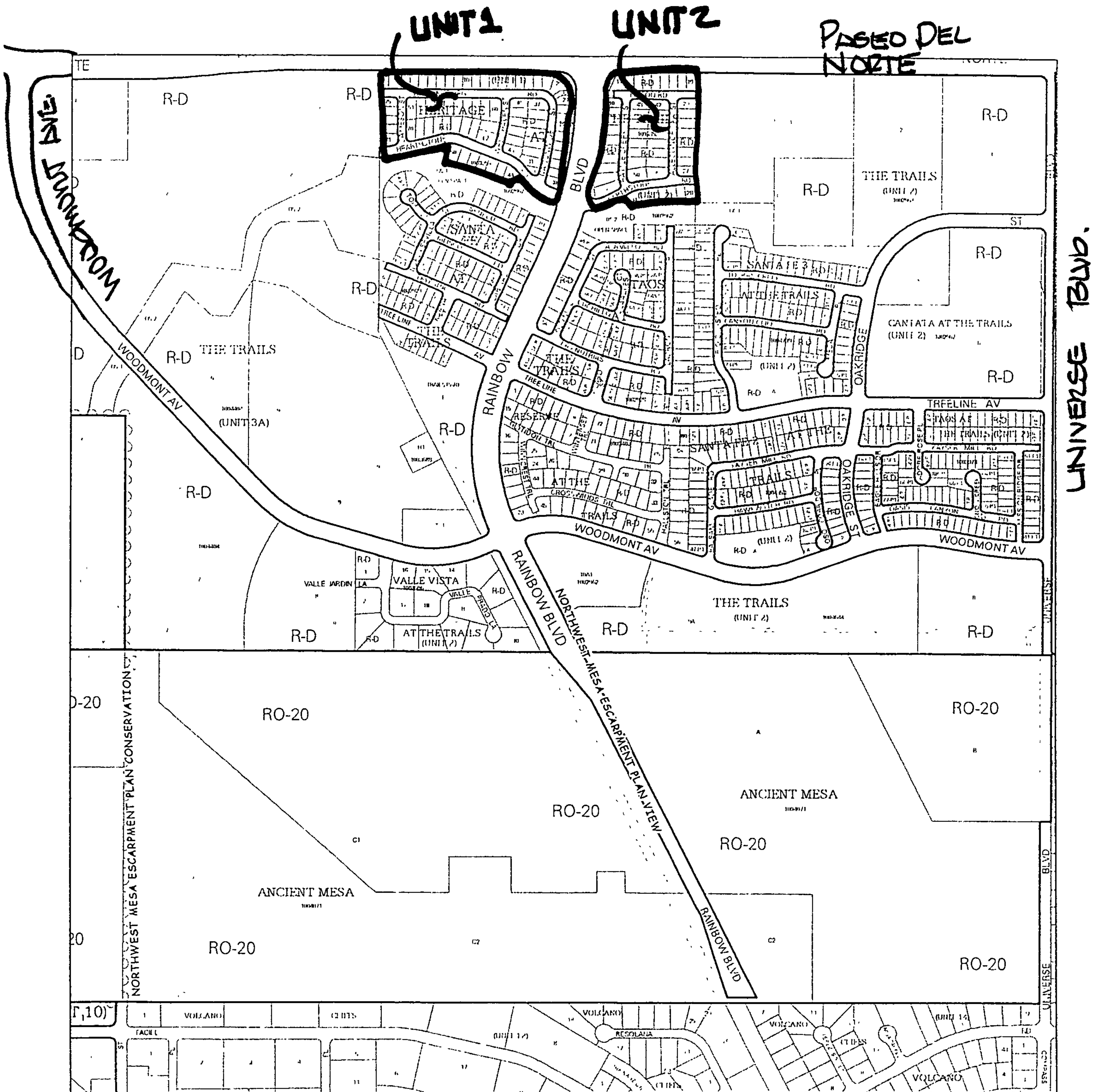
Attached is a copy of the zone atlas page showing unit 1 of The Trails. Should you need additional information or have any questions please call me at 620-5322.

Sincerely,

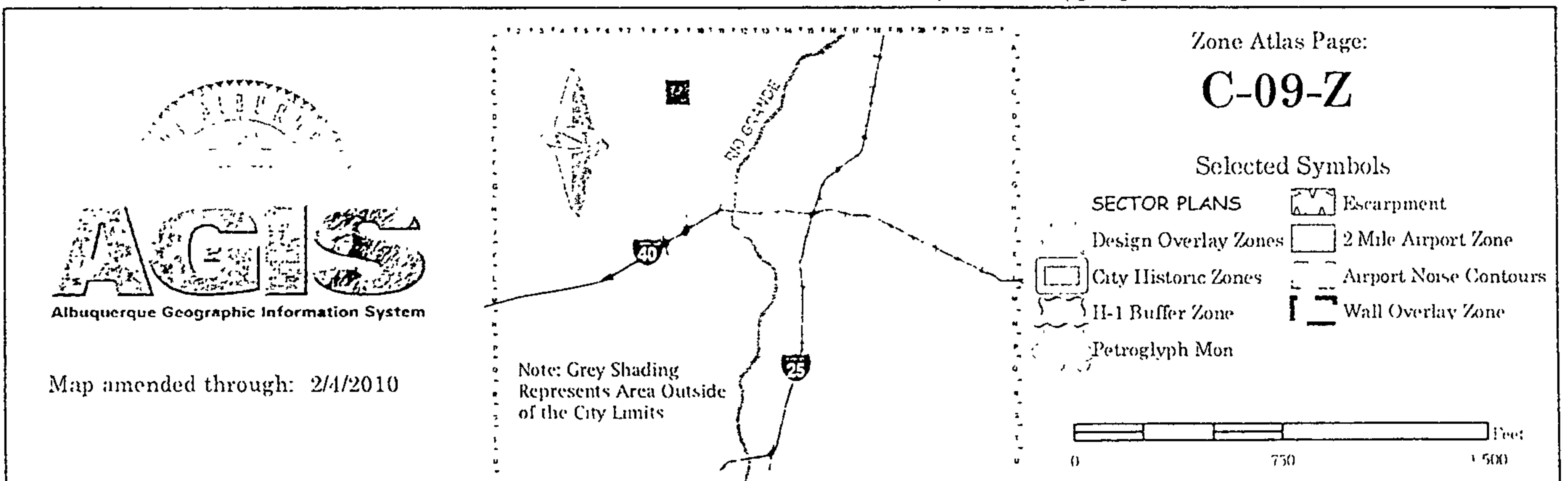
A handwritten signature in black ink, appearing to read "Rick Beltramo", with a long horizontal flourish extending to the right.

Rick Beltramo
Longford Homes

Attachments



For more current information and more details visit <http://www.cabq.gov/gis>



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Postage	\$ 0.44
Certified Fee	\$2.80
Return Receipt Fee (Endorsement Required)	\$2.30
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 5.54

0118
 MAY 21 2010
 POSTMARK
 HERE
 05/21/2010

Sent To **KEVIN PATTON**
 Street, Apt. No., or PO Box No. **10422 BORRERO GREEK DR.**
 City, State, ZIP+4 **ALB. NM 87114**

PS Form 3800 August 2006 See Reverse for Instructions

7009 1680 0000 099T 600L

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
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For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.44
Certified Fee	\$2.80
Return Receipt Fee (Endorsement Required)	\$2.30
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 5.54

0118
 MAY 21 2010
 POSTMARK
 HERE
 05/21/2010

Sent To **RAY JONES**
 Street, Apt. No., or PO Box No. **P.O. BOX 65446 | 87193**
 City, State, ZIP+4 **ALB. NM 87143**

PS Form 3800 August 2006 See Reverse for Instructions

7009 1680 0000 099T 600L



Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	D	APPEAL / PROTEST of...
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal
STORM DRAINAGE (Form D)		
<input type="checkbox"/> Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bohannon Huston, Inc. PHONE: (505) 823-1000
 ADDRESS: 7500 Jefferson NE FAX: (505) 898-7988
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

APPLICANT: The Trails, LLC PHONE: 761-9911
 ADDRESS: 7007 Jefferson NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87109
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: 2nd SIA Extension

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. _____ Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Heritage at the Trails Unit 1
 Existing Zoning: RD Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): C-9 UPC Code: 100906423848820906

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____
1003354, 06DRB-00633

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: _____ No. of proposed lots: _____ Total area of site (acres): +/- 9 Acres

LOCATION PROPERTY BY STREETS: On or Near: Rainbow Blvd NW
 Between: Paseo Del Norte NW and Hearthstone NW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Scott Steffen DATE 03/28/2008
 (Print) Scott Steffen, P.E. Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>08 DRB - 70155</u>	<u>SFA</u>	<u>5(2)</u>	<u>\$ 50.⁰⁰</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CME</u>	_____	<u>\$ 20.⁰⁰</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>Adv</u>	_____	<u>\$ 75.⁰⁰</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>April 23, 2008</u>			Total <u>\$ 145.⁰⁰</u>

Andrew Garcia 3/27/08
 Planner signature / date

Project # 1003354

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Scott Steffen, P.E.
 Applicant name (print)
3-28-08
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
08 DRB - 70155

Carleen Smua 3/27/08
 Planner signature / date
 Project # 1003554

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from April 8, 2008 To April 23, 2008

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

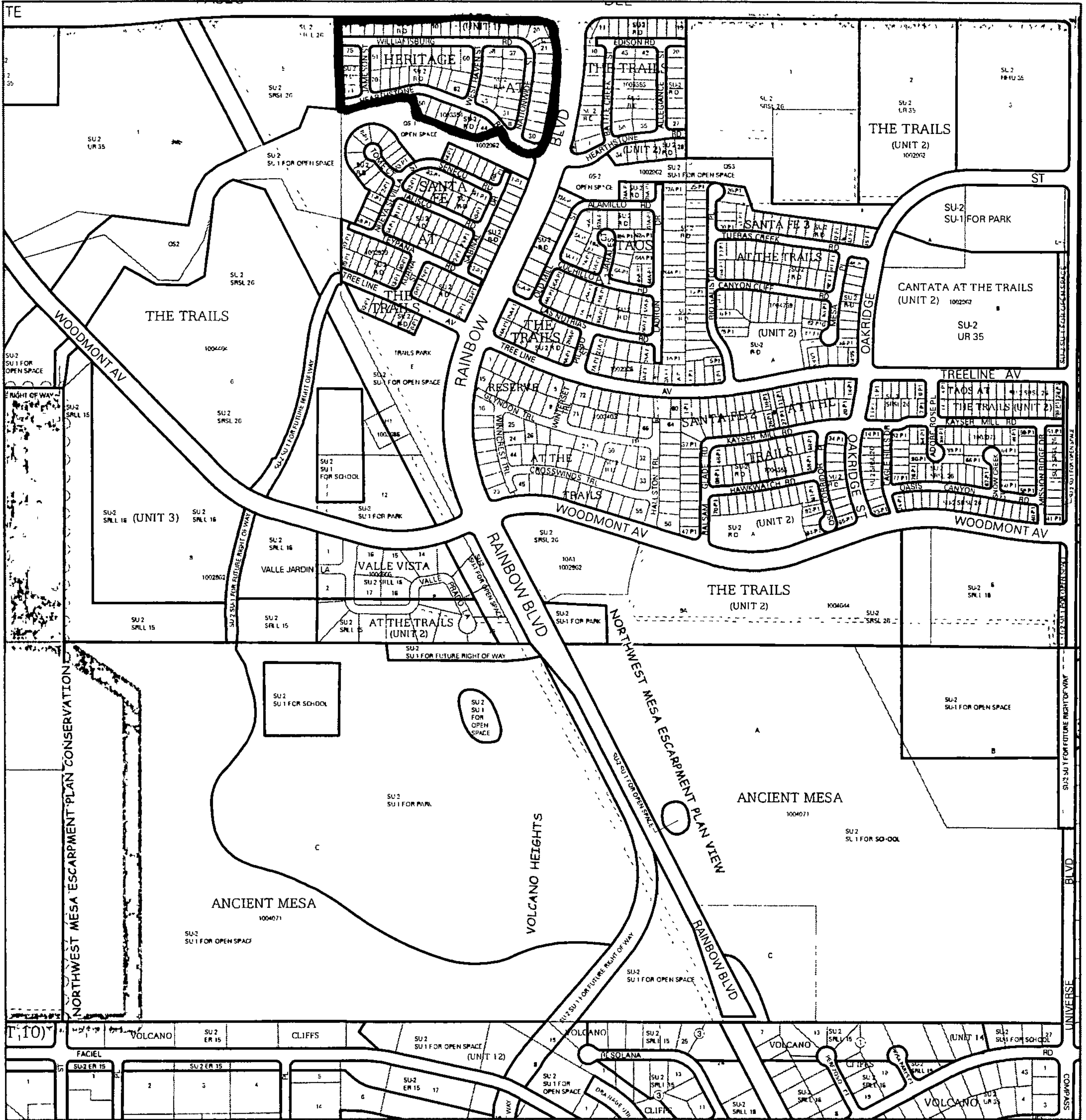
I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

S. Salazar (Applicant or Agent) 3-27-08 (Date)

I issued 4 signs for this application, 3/27/08 (Date) Andrew Garcia (Staff Member)

DRB PROJECT NUMBER: 1003354

080101
Unit 1



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 1/4/2008

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page.
C-09-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

March 28, 2008

Jack Cloud, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, New Mexico 87103

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800 877.5332

Re: Subdivision Improvements Agreement Extension (Procedure B)
Heritage at the Trails, Unit 1 - DRB #1003354

Dear Mr. Cloud:

Submitted for DRB review and approval is a request for an extension to the Subdivision Improvements Agreement for the above referenced project.

Enclosed is the following information:

- Applications for Development Review
- Reduced layout of subdivision plat
- Zone Atlas sheet showing the project area
- Letter briefly describing, explaining, and justifying the request
- Official Notice from the Development Review Board
- Approved Infrastructure List
- Original SIA and Previous SIA extensions
- Neighborhood Notification information
- DRB Fee

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the offsite infrastructure improvements for the above referenced project. We are requesting the extension because the required Paseo del Norte pavement improvements for Heritage Units 1 and 2 would provide limited benefit to drivers in the area at this time. About 1800 feet of improvements are required across the Heritage Units 1 and 2 frontage. This would result in a 4 lane roadway section across the frontage of the Trails Unit 1. However, a 2000 foot section of Paseo del Norte across the Trails Unit 2 frontage would remain a 2 lane roadway section between the east boundary of Heritage Unit 2 and Universe Boulevard. The public would be better served by a single construction project along Paseo del Norte from Universe Boulevard to the west end of Heritage Unit 1 when the Trails Unit 2 develops. Therefore, we are requesting the approval of a two year extension.

Please place this item on the DRB agenda to be heard on April 23, 2008. If you have any questions, or require further information, please call me.

Sincerely,



Scott J. Steffen, P.E.
Vice President and Senior Project Manager
Community Development and Planning

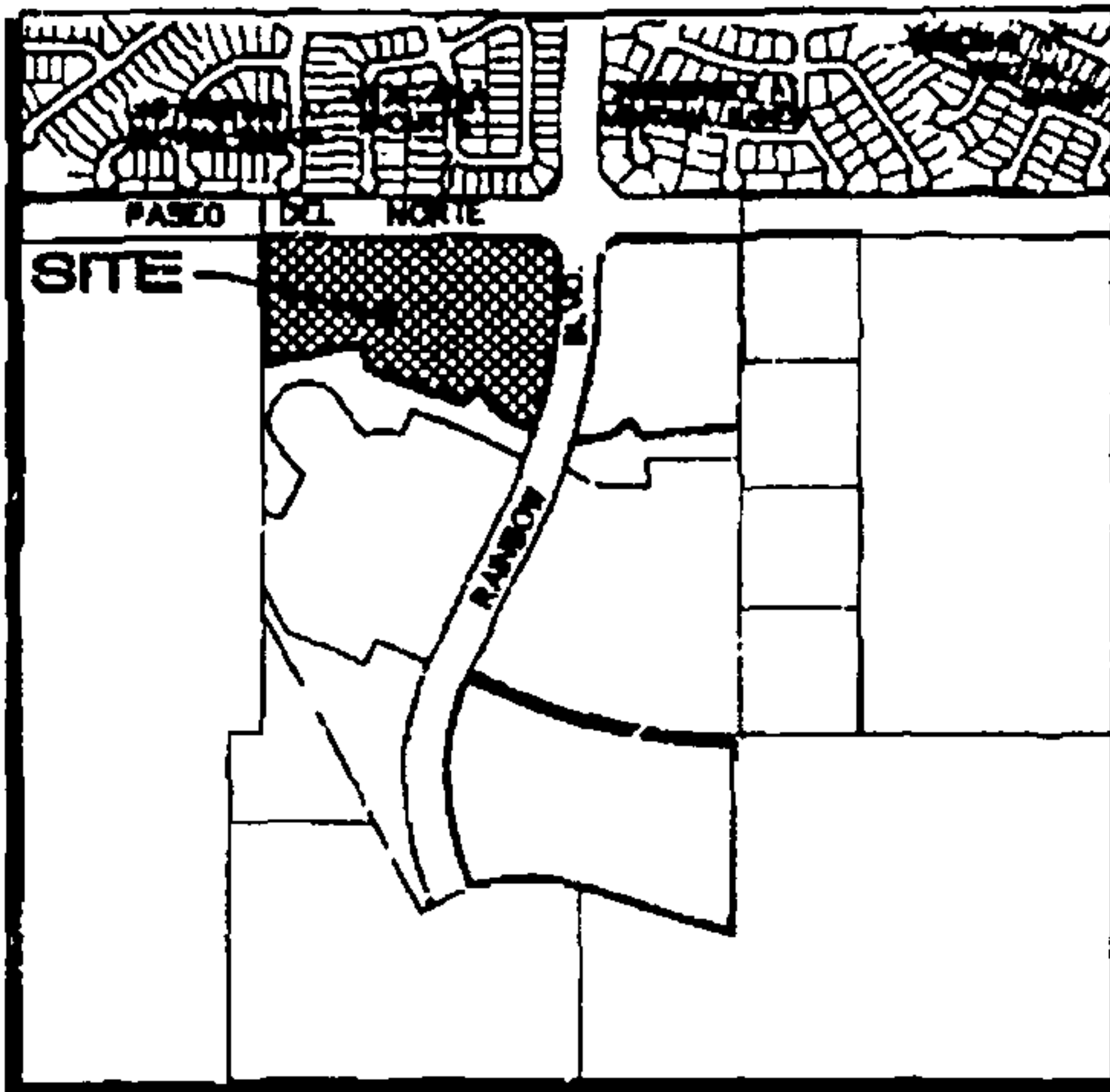
SJS/ssc
Enclosures

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

TALOS LOG NO.: 20 04 28 37 77



C-8-2 1"=750'

VICINITY MAP

SUBMISSION DATA / NOTES

- 1 Total Number of Existing Tracts: 1
- 2 Total Number of Lots created: 75
- 3 Total Number of Tracts created: 3
- 4 Gross Subdivision Acreage: 13.8660 Ac
- 5 Total Mileage of Full Width Streets Created: 0.5982
- 6 Bearings are New Mexico State Plane Grid Bearings (Central Zone)
- 7 Distances are ground distances.
- 8 bearings and distances in parenthesis are record
- 9 Basis of boundary are the following plats (and documents) of record entitled: PLAT OF "THE TRAILS" (12-15-03, O3C-375)
- 10 Field Survey performed on March, 2003
- 11 Title Report: None provided
- 12 This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report
- 13 Basis of boundary is from the plats of record entitled:
 - UNPLATTED LAND OF "VOLCANO SIX LIMITED"
 - TRACT 05-1 OPEN SPACE
 - TRACT 05-2 OPEN SPACE
 - UNPLATTED LAND OF "THE ARCHDIOCESE OF SANTA FE"
 - UNPLATTED LAND OF "PARADISE WEST INC"
 - PLAT OF "THE TRAILS, TRACT D" (12-15-03, O3C-375)
 - PLAT OF "THE TRAILS, TRACT F" (12-15-03, O3C-375)
 - PLAT OF "THE TRAILS, TRACT G" (12-15-03, O3C-375)
 all being records of Bernalillo County, New Mexico
- 14 Current Zoning: R-0.
- 15 These properties are within the New Mexico Utilities, Inc (NMU, inc.) franchise area, water and sanitary sewer system capabilities are based on the NMU, inc. facilities, not the City of Albuquerque.
- 16 Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stonpe: "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #7719"
- 17 All property corners to be set with 3/8" rebar with cap "ALS LS 7719".



P.O. BOX 30701, ALBU., N.M. 87190 505-884-1990

LEGAL DESCRIPTION

A tract of land situate within the Town of Alameda Grant, projected Section 16, Township 1 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT A, THE TRAILS as the same is shown and designated on said plat filed for records in the office of the County Clerk of Bernalillo County New Mexico on December 15 2003 in Book 2003C, Page 375 and containing 13.8660 acres more or less

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject tracts and the vacated easements into residential lots, to create 3 tracts, to dedicate public rights-of-way, and to grant those easements necessary to serve the residential development.

FREE CONSENT AND REDEMPTION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities thereon; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and in fee simple title in fee simple to the land subdivided, and do hereby certify that this subdivision is their free act and deed.



PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1

BEING A REPLAT OF TRACT A, THE TRAILS WITHIN THE TOWN OF ALAMEDA GRANT PROJECTED SECTION 16, T 11 N., R 2 E., NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AUGUST 2004

APPROVALS

- PNM ELECTRIC SERVICES DIVISION 8-27-04 DATE
- PNM GAS SERVICES DIVISION 8-27-04 DATE
- WEST 8-27-04 DATE
- COMCAST 8-27-04 DATE
- NEW MEXICO UTILITIES 9-22-04 DATE
- CITY SURVEYOR 8-23-04 DATE
- REAL PROPERTY DIVISION 9-22-04 DATE
- ENVIRONMENTAL HEALTH DEPARTMENT 9-22-04 DATE
- TRAFFIC ENGINEERING, TRANSPORTATION DIVISION 9/22/04 DATE
- UTILITIES DEVELOPMENT 9/22/04 DATE
- PARKS AND RECREATION DEPARTMENT 9/22/04 DATE
- AMAFCA 9/22/04 DATE
- CITY ENGINEER 9/22/04 DATE
- ORB CHAIRPERSON, PLANNING DEPARTMENT 9/22/04 DATE

I HEREBY CERTIFY THAT TAXES ARE PAID... 1009 04 230 04 3 7 203/5

OWNER CENTEX HOMES

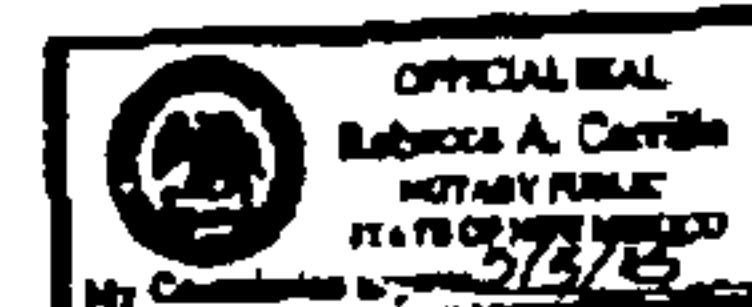
Norman A. Gregory August 11, 2004 Date LAND DEVELOPMENT MANAGER

ACKNOWLEDGMENT

STATE OF NEW MEXICO } 55 COUNTY OF BERNALILLO }

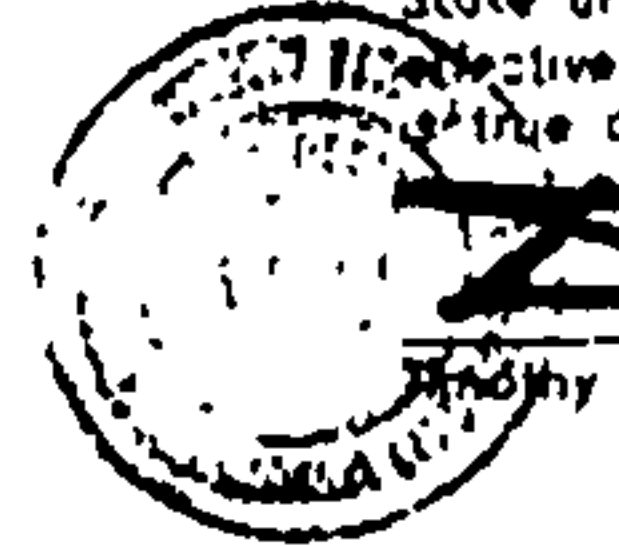
This instrument was acknowledged before me on August 11, 2004 2004, by Norman A. Gregory as Land Development Manager of Centex Homes, a Nevada General Partnership, on behalf of said General Partnership.

My Commission Expires May 3, 2005 Notary Public



SURVEYOR'S CERTIFICATION

I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991, February 2, 1994 and October 2000) and is true and correct to the best of my knowledge and belief.



Timothy Aldrich, P.S. No. 7719 08-11-04 Date

**PLAT FOR
HERITAGE AT THE TRAILS
SUBDIVISION UNIT 1**

BEING A REPLAT OF
TRACT A, THE TRAILS
WITHIN THE TOWN OF ALAMEDA, PLAN
PROJECTED SECTION 16,
T. 11 N., R. 2 E., NMPM,
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2004

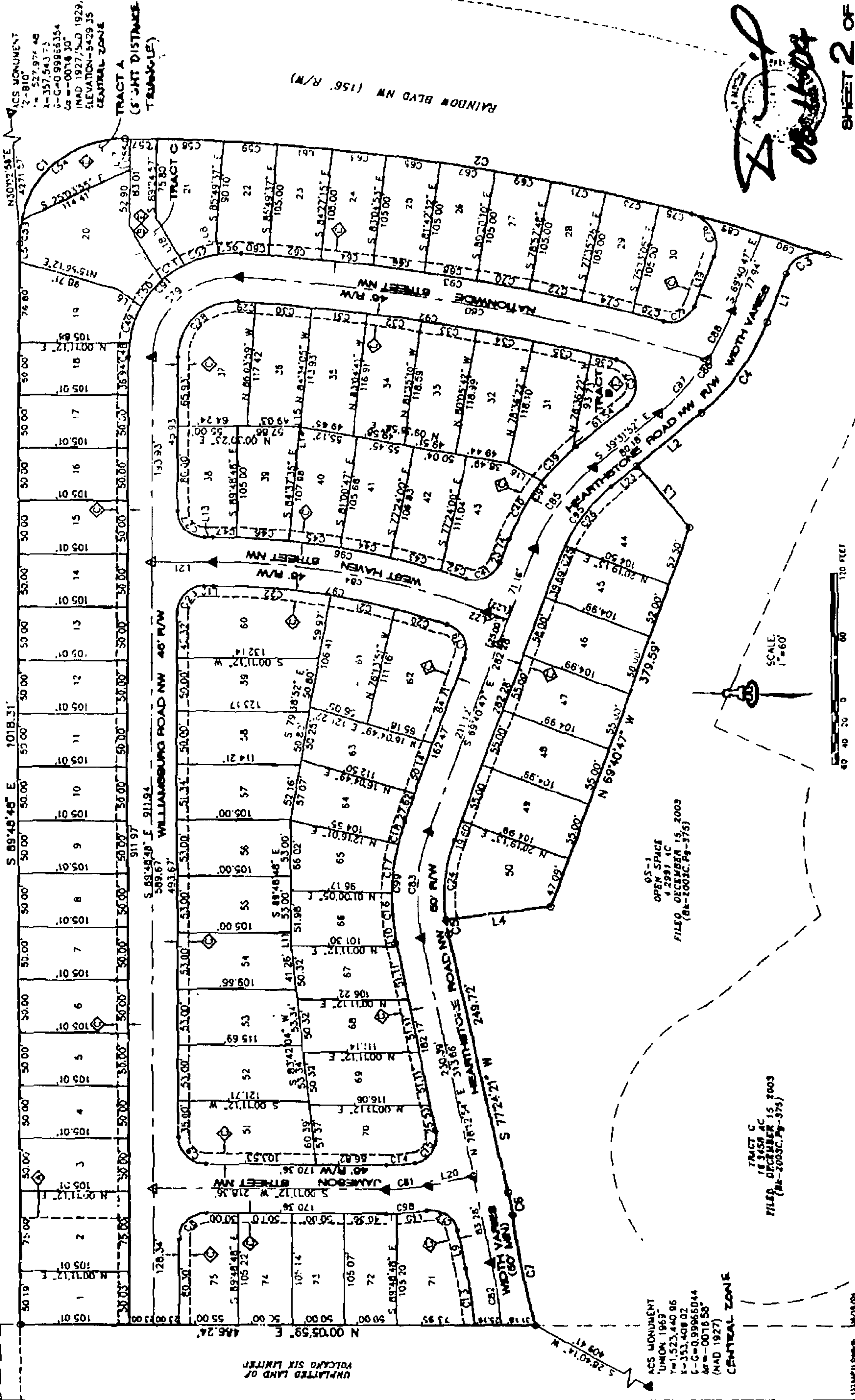
LEGEND

- FOUND 5/8" REBAR WITH CAP
"LS 5978" (TYP)
- SET 5/8" REBAR WITH
CAP "ALS LS 7719" (TYP)
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- △ CENTERLINE MONUMENT



- NOTES:**
- SEE SHEET 3 FOR CURVE AND LINE TABLES
 - SEE SHEET 3 FOR EASEMENT NOTES.
 - DISTANCES IN BRACKETS ARE CENTERLINE MONUMENT DISTANCES

PASEO DEL NORTE NW (R/W VARIES 156' MIN)



OS-1
OPEN SPACE
4.2997 AC
FILED DECEMBER 15, 2003
(BK-2003C, Pg-375)

TRACT C
18.3459 AC
FILED DECEMBER 15, 2003
(BK-2003C, Pg-375)

ACS MONUMENT
UNION 1969
Y=1523.440 95
X=153.408 02
C-C=0.99966044
Az=0076.58
(MAD 1927)
CENTRAL ZONE

Handwritten signature and initials

PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 1

BEING A REPLAT OF TRACT A THE TRAILS PROJECTED SECTION 16, T 11 N, R 2 E, NMPN CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AUGUST 2004

EASEMENT NOTES

- A. 25 PUBLIC WATERLINE EASEMENT GRANTED TO NEW MEXICO UTILITIES, INC AND THE CITY OF ALBUQUERQUE, AND PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
B. TRACT C SHALL BE COVERED BY A PUBLIC SANITARY SEWER EASEMENT GRANTED TO NEW MEXICO UTILITIES, INC AND THE CITY OF ALBUQUERQUE AND PUBLIC DRAINAGE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
C. 10' WIDE PUBLIC UTILITY EASEMENT (P.U.E.) TO BE GRANTED BY THIS PLAT.
D. TRACT A SHALL BE COVERED BY A PRIVATE LANDSCAPING EASEMENT AND SHALL BE OWNED AND MAINTAINED BY THE OWNER.
E. TRACTS B&C SHALL BE COVERED BY A PRIVATE LANDSCAPING EASEMENT AND SHALL BE OWNED AND MAINTAINED BY THE OWNER. A PUBLIC PEDESTRIAN ACCESS EASEMENT OVER TRACTS B&C TO BE GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT

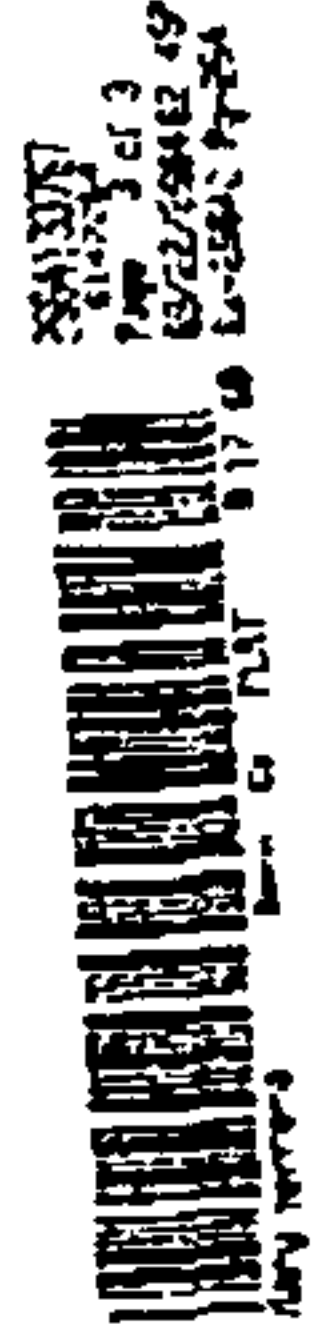


Table with columns: CURVE, RADIUS, LENGTH, TANGENT, CHORD, BEARING, DELTA. Contains curve data for C78 through C99.

Table with columns: LINE, BEARING, DISTANCE. Contains line data for L1 through L23.

Table with columns: LOT, AREA (SF), LOT, AREA (SF). Contains lot area data for lots 1 through 41.

Table with columns: CURVE, RADIUS, LENGTH, TANGENT, CHORD, BEARING, DELTA. Contains detailed curve data for C1 through C77.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

May 31, 2006

3. Project # 1003354
06DRB-00633 Major-Two Year SIA

WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for THE TRAILS, (to be known as **HERITAGE @ THE TRAILS, UNIT 1**), zoned RD, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and HEARTHSTONE NW containing approximately 9 acre(s). [REF: 04DRB-01416] (C-9)

At the May 31, 2006, Development Review Board meeting, a two-year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by June 15, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Sheran Matson, AICP, DRB Chair

Cc: The Trails LLC, Attn: Rick Beltramo, PE, 7007 Jefferson St NE, Suite A, 87109
Wilson & Company, Attn: Steve Salazar, 2600 The American Rd, Suite #100, Rio Rancho, NM 87124
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

HERITAGE AT THE TRAILS, UNIT 1

PROPOSED NAME OF PLAT

TRACT A, THE TRAILS

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Submitted: March 24, 2004
Date Site Plan Approved: _____
Date Preliminary Plat Approved: 4/21/04
Date Preliminary Plat Expires: 4/21/05
DRB Project No.: 1003354
DRB Application No.: 04DRB-00457

▲ 6/24/04
▲ 9/3/04

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Const Engineer
		28' F-F	Residential Paving	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		28' F-F	Residential Paving	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		32' F-F	Residential Paving	Hearthstone Road	West Property Line	Nationwide Street Williamsburg Road	/	/	/
		50' F-F (incl Median)	Residential Paving	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/
		31' F-F (half of full width)	Arterial Paving (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
			Modified Procedure "C" (8)	Paseo del Norte			/	/	/
		31' F-F (half of full width)	Arterial Paving (11) 6' SW. V, CSG SOUTHSIDE line	Paseo del Norte W. Prop.		Rainbow Blvd	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/



ORIGINAL

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		Std. or Mntbl	Curb and Gutter (6)	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Hearthstone Road	West Property Line	Rainbow Blvd.	/	/	/
		Median	Curb and Gutter	Hearthstone Road	E. of Nationwide Street	Rainbow Blvd.	/	/	/
		Std.	Curb and Gutter (8) (West Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		Median	Curb and Gutter (8) (East Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Hearthstone Road	West Property Line	Nationwide Street	/	/	/
		4'	PCC Sidewalk (North Side Only)	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/
		4'	PCC Sidewalk (1) (South Side Only)	Hearthstone Road	West PL - Lot 50	East PL - Lot 44	/	/	/
		10'	Asphalt Trail (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		10'	Asphalt Trail (12)	Tract as-1	West PL	East PL	/	/	/
		8"	Waterline	Public Easement on Lot 2	Paseo Del Norte	Williamsburg Road	/	/	/
		6"	Waterline	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		6"	Waterline	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/

ORIGINAL

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		8"	Waterline	Hearthstone Road	West Property Line	Rainbow Blvd.	/	/	/
		6"	Waterline	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		6"	Waterline	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		20"	Waterline (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
							/	/	/
		8"	SAS	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		8"	SAS	Hearthstone Road	West Property Line	Lot 44	/	/	/
		8"	SAS	Jameson Street	Lot 70 - South End	Williamsburg Road	/	/	/
		8"	SAS	West Haven Street	Hearthstone Road	Williamsburg Road	/	/	/
		8"	SAS	Nationwide Street	Williamsburg Road	Lot 30	/	/	/
		8"	SAS	Lot 21 Easement	Williamsburg Road	Rainbow Blvd.	/	/	/
		8" - 12"	SAS (8)	Tracts B, D, F, & J	Lot 21 Easement	Universe Blvd	/	/	/
		750 gpm	Temp SAS Lift Station (8)	Tract J	Universe Blvd		/	/	/
		8"	Temporary SAS Force Main (8)	Universe Blvd	Tree Line Avenue	Paseo del Norte	/	/	/
							/	/	/
		30"	RCP Storm Drain	Lot 2 Easement	Williamsburg Road	Paseo del Norte	/	/	/
		36" - 42"	RCP Storm Drain	Paseo Del Norte	Lot 2	Rainbow Blvd.	/	/	/
		24"	RCP Storm Drain	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/

ORIGINAL

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		30"	RCP Storm Drain	Lot 21 Easement	Williamsburg Road	Rainbow Blvd.	/	/	/
		30"	RCP Storm Drain	Williamsburg Road	West Property Line	Lot 21 Easement	/	/	/
		24"	RCP Storm Drain	Tract OS-1	Hearthstone Road	Santa Fe at the Trails	/	/	/
		24"	RCP Storm Drain	Rainbow Blvd (at Hearthstone Road)	West right-of-way line	East right-of-way line	/	/	/
		30"-48"	RCP Storm Drain	Rainbow Blvd (at Lot 21 Easement)	West right-of-way line	East right-of-way line	/	/	/
		6.46 Ac-Ft	Retention Pond on unplatted land east of Tract B, The Trails. w/ easmt, Covenant & Agreement, and emergency overflow				/	/	/
		0.77 Ac-Ft	Temporary Retention Pond on property west of Heritage at the Trails, Unit 1. w/ easmt, Covenant & Agreement, and emergency overflow				/	/	/
			Temporary Storm Drain Pump Station & Force Main (10)			Universe Blvd Pond L Las Ventanas Dam.	/	/	/
			Perimeter Walls (not subject to financial guaranty)				/	/	/
			Landscaping water meter				/	/	/
			25% SIGNIFICANT @ PDH/RAINBOW (PMS=0)				/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

NOTES:

1. Sidewalks to be deferred where noted.
2. Residential lighting per DPM.
3. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
4. All water to include fire hydrants, valves, and appurtenances per DPM.
5. Storm drain sizes are subject to change per final DRC determination.
6. Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.
7. Not used
8. Adjacent portions of Rainbow Blvd to be built by a separate project. (DRB Project#1002962, CPN#730081) ~~Rainbow Blvd not financially guaranteed with this project.~~
9. Offsite Traffic Mitigation Fees of \$565 per lot to be paid by Modified Procedure "C" (non-work order): \$565/lot x 75 lots = \$42,375
10. ~~Includes removal and replacement of existing asphalt. To be deferred. Financial Guaranty amount to be reviewed and approved by the City of Albuquerque Hydrology Planning Department in addition to the standard DRC procedure review.~~
11. *by Modified Procedure 'c' (non-work order) is an option (concurrency from AMD required)*
12. *Trail to be built by a separate project*

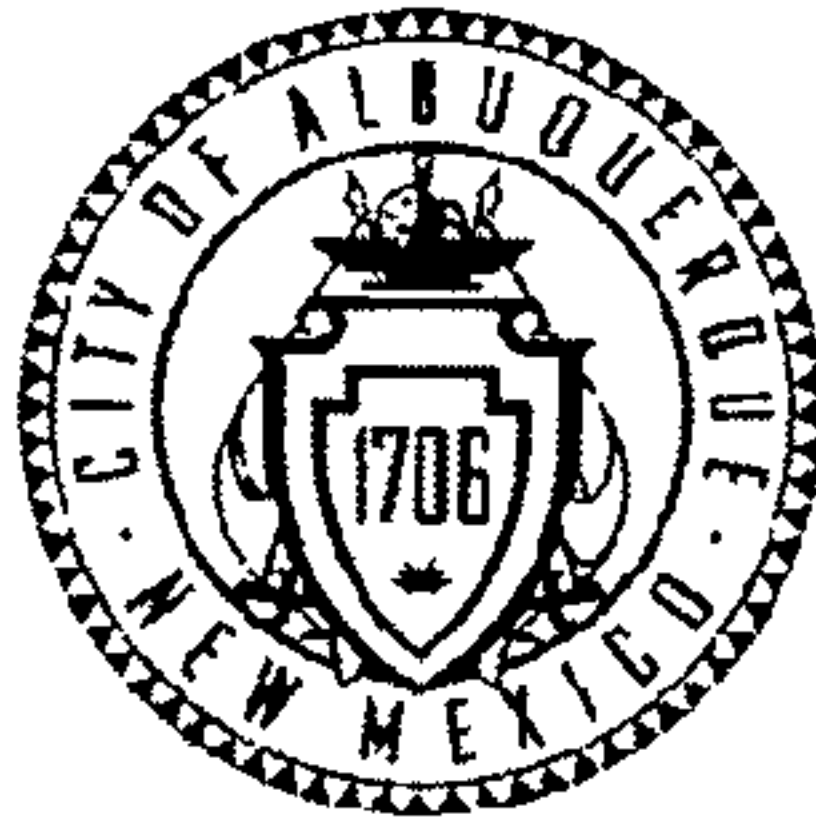
AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Genevieve Donart, PE NAME (print)	<i>Sharon Watson</i> DRB CHAIR - date	<i>4/21/04</i>	<i>Christina Dandora</i> PARKS & GENERAL SERVICES - date
Isaacson & Arfman, P.A. FIRM	<i>Jeffrey</i> TRANSPORTATION DEVELOPMENT - date	<i>4-21-04</i>	AMAFCA - date
<i>Genevieve Donart</i> SIGNATURE - date	<i>Roger Sheen</i> UTILITY DEVELOPMENT - date	<i>4/21/04</i>	- date
	<i>Brad L. Bigham</i> CITY ENGINEER - date	<i>4-21-04</i>	- date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
<i>1</i>	<i>6/24/04</i>	<i>[Signature]</i>	<i>Brad Bigham</i>	<i>Genevieve Donart</i>
<i>12</i>	<i>9/3/04</i>	<i>[Signature]</i>	<i>Jeffrey</i>	<i>Isaacson & Arfman</i>

13. *landscape Maintenance Agreement between City and the H.O.A. is required for landscaping in the public right-of-way.*



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

March 27, 2008

Sally Salazar-Cass
Bohannon Huston Inc.
7500 Jefferson NE/87109
Phone: 798-7988/Fax: 798-7988
E-mail: ssalazar-cass@bhinc.com

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Sally:

Thank you for your inquiry of March 27, 2008 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **HERITAGE AT THE TRAILS SUBDIVISION, UNIT 1, LOCATED ON RAINBOW BOULEVARD NW BETWEEN PASEO DEL NORTE NW AND HEARTHSTONE NW** zone map **C-9**

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

VENTANA RANCH N.A. (VTR) "R"

***Laura Horton** ✓

7224 Cascada Rd. NW/87114 898-8103 (h) 710-0646 (c)

Kevin Patton ✓

10422 Borrego Creek Dr. NW/87114 238-2857 (c)

VENTANA RANCH COMM. ASSOC. INC. (VRA)

Pauline Wayland ✓

7719 Briar Ridge Ave. NW/87114 899-5989 (h)

Michael Roehm ✓

10039 Vista Cantera Ln. NW/87114 890-4120 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD AND/OR
HOMEOWNER ASSOCIATION.**

planningrnaform(12/06/07)

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

March 28, 2008

Mr. Kevin Patton
10422 Borrego Creek Dr. NW
Albuquerque, New Mexico 87114

*Hand-Delivered
A. Salazar*

RE: Subdivision Improvements Agreement Extension
Heritage at the Trails, Unit 1 - DRB #1003354
Heritage at the Trails, Unit 2 - DRB #1003353

Dear Mr. Patton

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Ventana Ranch Neighborhood Association.

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the offsite infrastructure improvements for the above referenced project. We are requesting the extension because the required Paseo del Norte pavement improvements for Heritage Units 1 and 2 would provide limited benefit to drivers in the area at this time. About 1800 feet of improvements are required across the Heritage Units 1 and 2 frontage. This would result in a 4 lane roadway section across the frontage of the Trails Unit 1. However, a 2000 foot section of Paseo del Norte across the Trails Unit 2 frontage would remain a 2 lane roadway section between the east boundary of Heritage Unit 2 and Universe Boulevard. The public would be better served by a single construction project along Paseo del Norte from Universe Boulevard to the west end of Heritage Unit 1 when the Trails Unit 2 develops. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

S. Salazar

for Scott J. Steffen, P.E.
Vice President and Senior Project Manager
Community Development and Planning

SJS/ssc
Enclosures

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

March 28, 2008

Laura Horton
7224 Cascade Rd NW
Albuquerque, New Mexico 87114

RE: Subdivision Improvements Agreement Extension
Heritage at the Trails, Unit 1 - DRB #1003354
Heritage at the Trails, Unit 2 - DRB #1003353

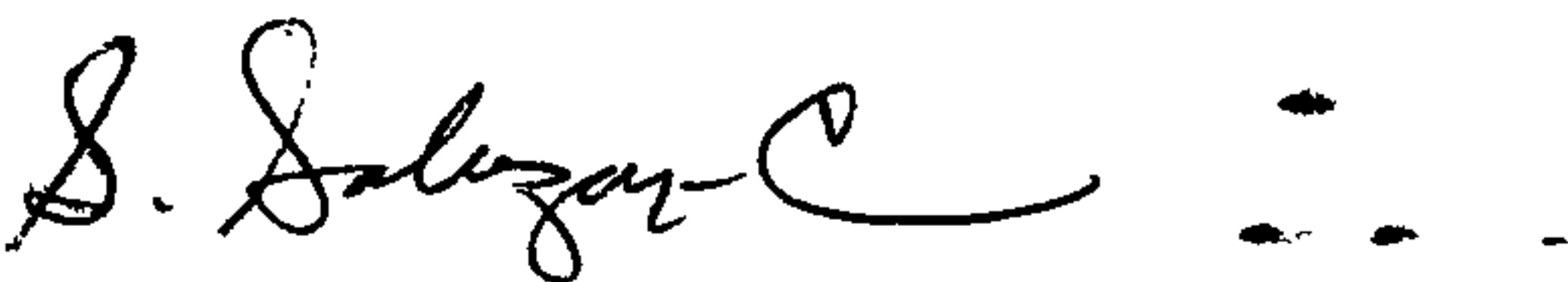
Dear Ms. Horton:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Ventana Ranch Neighborhood Association.

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the offsite infrastructure improvements for the above referenced project. We are requesting the extension because the required Paseo del Norte pavement improvements for Heritage Units 1 and 2 would provide limited benefit to drivers in the area at this time. About 1800 feet of improvements are required across the Heritage Units 1 and 2 frontage. This would result in a 4 lane roadway section across the frontage of the Trails Unit 1. However, a 2000 foot section of Paseo del Norte across the Trails Unit 2 frontage would remain a 2 lane roadway section between the east boundary of Heritage Unit 2 and Universe Boulevard. The public would be better served by a single construction project along Paseo del Norte from Universe Boulevard to the west end of Heritage Unit 1 when the Trails Unit 2 develops. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



for Scott J. Steffen, P.E.
Vice President and Senior Project Manager
Community Development and Planning

SJS/ssc
Enclosures

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

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toll free: 800.877.5332

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

March 28, 2008

Pauline Wayland
7719 Briar Ridge Ave.
Albuquerque, New Mexico 87114

RE: Subdivision Improvements Agreement Extension
Heritage at the Trails, Unit 1 - DRB #1003354
Heritage at the Trails, Unit 2 - DRB #1003353

Dear Ms. Horton:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Ventana Ranch Comm. Association, Inc.

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the offsite infrastructure improvements for the above referenced project. We are requesting the extension because the required Paseo del Norte pavement improvements for Heritage Units 1 and 2 would provide limited benefit to drivers in the area at this time. About 1800 feet of improvements are required across the Heritage Units 1 and 2 frontage. This would result in a 4 lane roadway section across the frontage of the Trails Unit 1. However, a 2000 foot section of Paseo del Norte across the Trails Unit 2 frontage would remain a 2 lane roadway section between the east boundary of Heritage Unit 2 and Universe Boulevard. The public would be better served by a single construction project along Paseo del Norte from Universe Boulevard to the west end of Heritage Unit 1 when the Trails Unit 2 develops. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



for Scott J. Steffen, P.E.
Vice President and Senior Project Manager
Community Development and Planning

SJS/ssc
Enclosures

ENGINEERING ▲

SPATIAL DATA ▲

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87109-4335

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voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

March 28, 2008

Michael Roehm
10039 Vista Cantera Lane NW
Albuquerque, New Mexico 87114

RE: Subdivision Improvements Agreement Extension
Heritage at the Trails, Unit 1 - DRB #1003354
Heritage at the Trails, Unit 2 - DRB #1003353

Dear Mr. Roehm:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Ventana Ranch Comm. Association, Inc.

We are requesting a two (2) year extension of the Subdivision Improvements Agreement (Procedure B) for the offsite infrastructure improvements for the above referenced project. We are requesting the extension because the required Paseo del Norte pavement improvements for Heritage Units 1 and 2 would provide limited benefit to drivers in the area at this time. About 1800 feet of improvements are required across the Heritage Units 1 and 2 frontage. This would result in a 4 lane roadway section across the frontage of the Trails Unit 1. However, a 2000 foot section of Paseo del Norte across the Trails Unit 2 frontage would remain a 2 lane roadway section between the east boundary of Heritage Unit 2 and Universe Boulevard. The public would be better served by a single construction project along Paseo del Norte from Universe Boulevard to the west end of Heritage Unit 1 when the Trails Unit 2 develops. Therefore, we are requesting the approval of a two year extension.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



for Scott J. Steffen, P.E.
Vice President and Senior Project Manager
Community Development and Planning

SJS/ssc
Enclosures

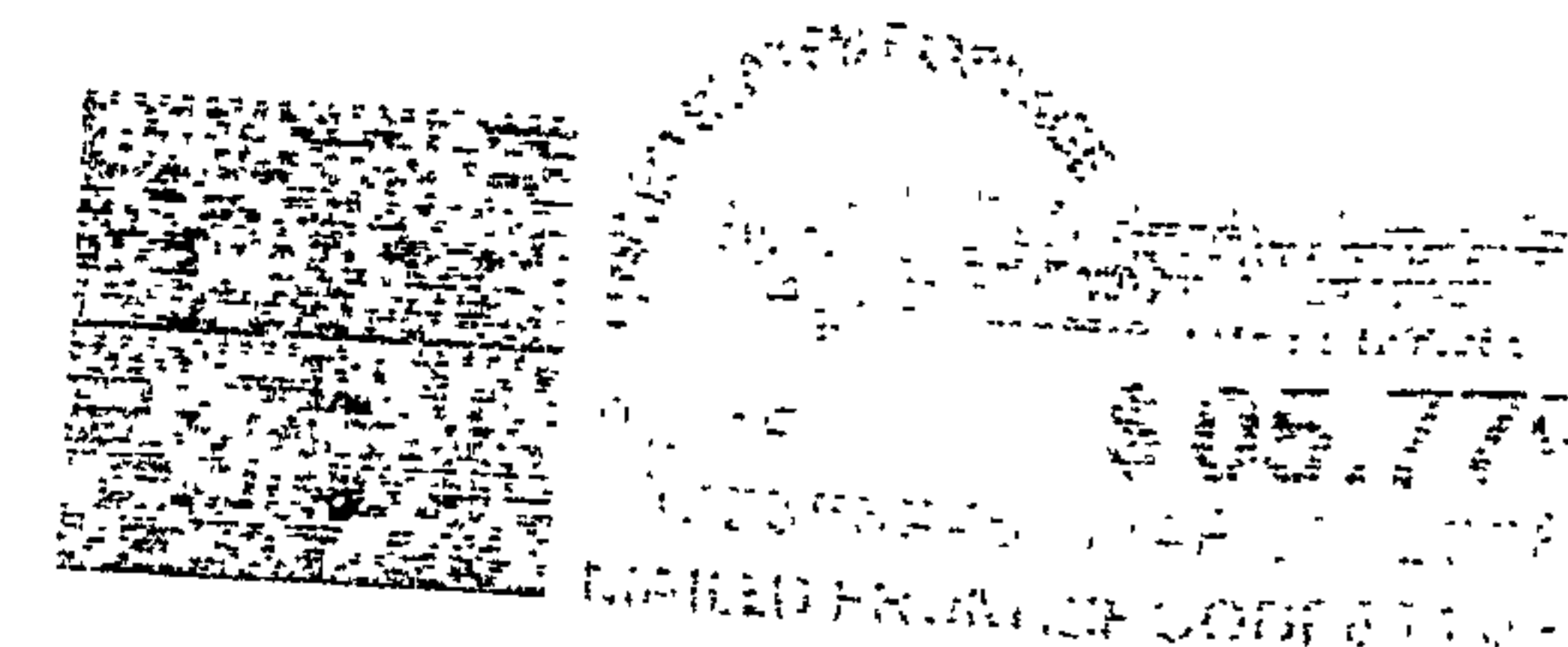
ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



91 7108 2133 3932 6773 5673



First Class Mail

First Class Mail

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Laura Horton
7224 Cascade Rd NW
ABQ NM 87114

2. Article Number
(Transfer from service label)

91 7108 2133 3932 6773 5673

PS Form 3811, February 2004

Domestic Return Receipt

080101

102595-02-M-1540

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

Agent

Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

Certified Mail Express Mail

Registered Return Receipt for Merchandise

Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

FIRST CLASS

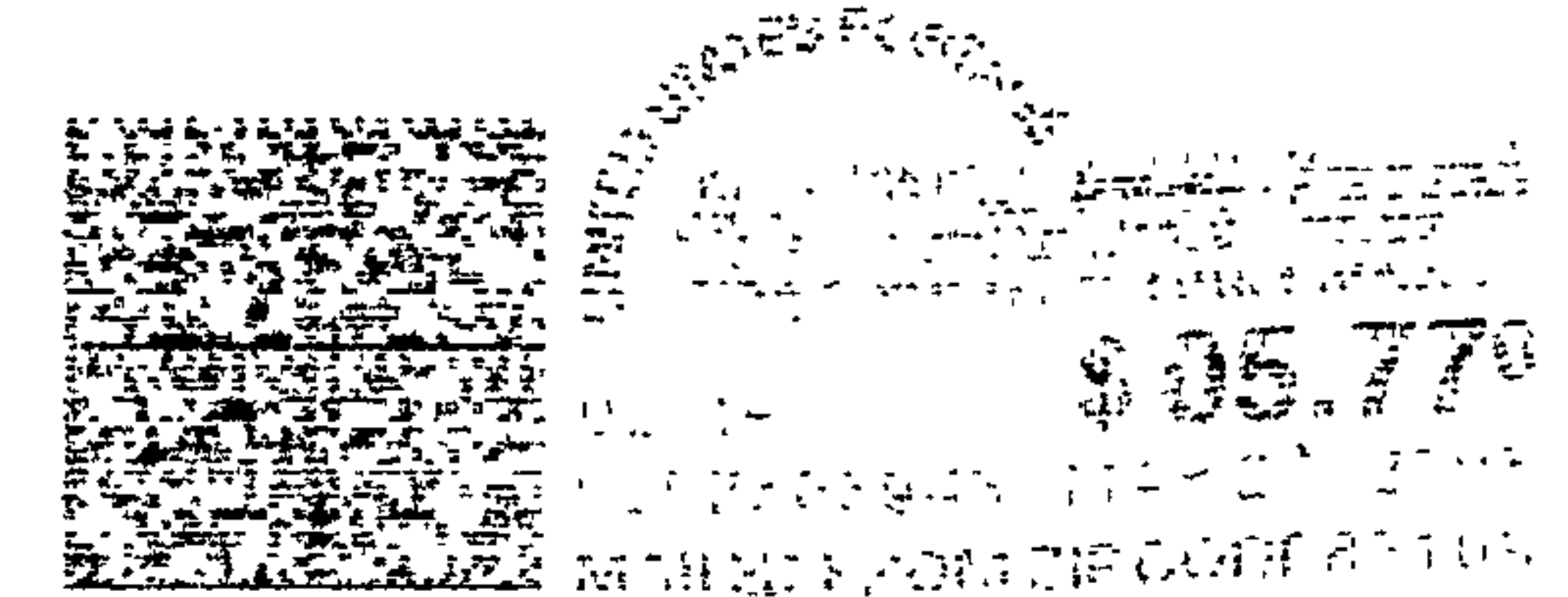
FIRST CLASS

FIRST

CERTIFIED MAIL



91 7108 2133 3932 6773 5659



First Class Mail

SENDER: COMPLETE THIS SECTION

- Complete Items 1, 2, and 3. Also complete Item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Pauline Wayland
 7719 Briar Ridge Ave NW
 APO NM 89114

2. Article Number
 (Transfer from service label)

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

Agent

Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from Item 1? Yes

If YES, enter delivery address below: No

3. Service Type

Certified Mail

Express Mail

Registered

Return Receipt for Merchandise

Insured Mail

C.O.D.

4. Restricted Delivery? (Extra Fee)

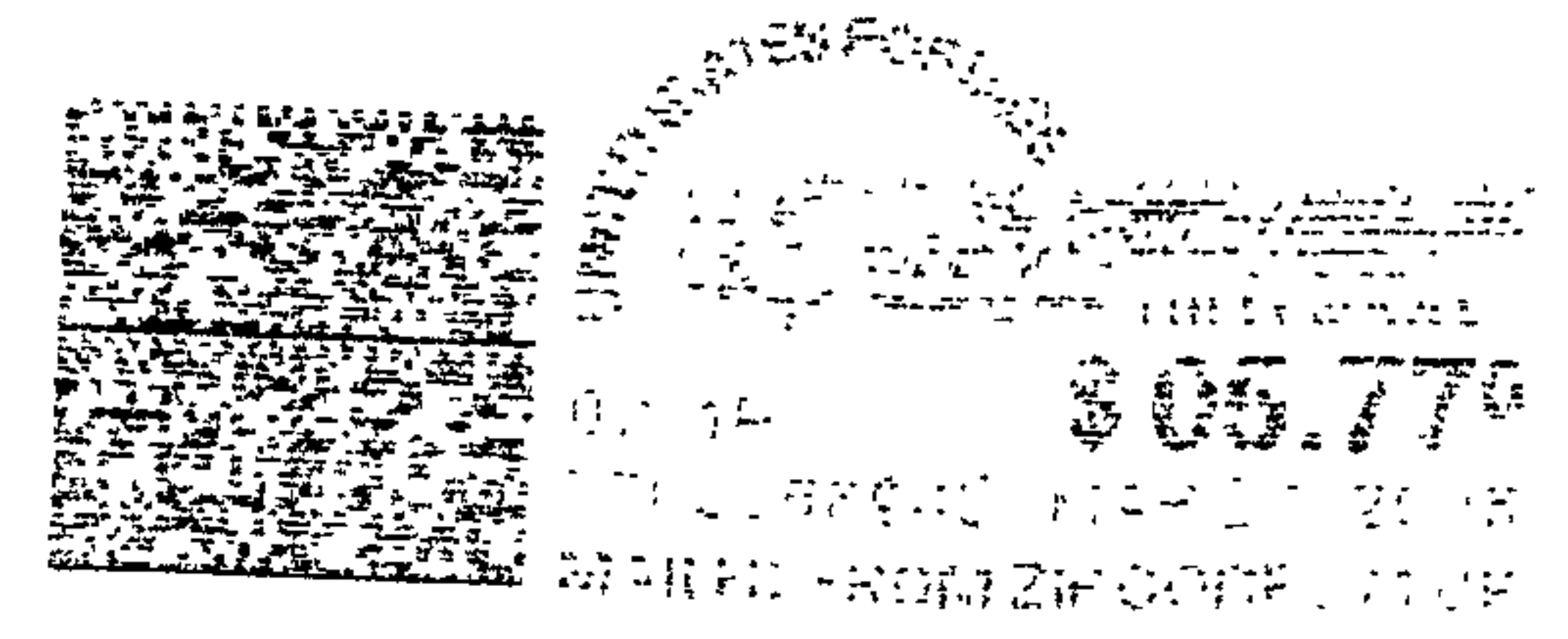
Yes

91 7108 2133 3932 6773 5659

PS Form 3811, February 2004

Domestic Return Receipt 080101

102595-02-M-1540



First Class Mail

Bohannon & Huston

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>X</p> <p>B. Received by (<i>Printed Name</i>) C. Date of Delivery</p>
<p>1. Article Addressed to:</p> <p>Michael Roehm 10039 Vista Canterra LN NW ABQ NM 87114</p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p> <p>3. Service Type</p> <p><input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input checked="" type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (<i>Extra Fee</i>) <input type="checkbox"/> Yes</p>
<p>2. Article Number (<i>Transfer from service label</i>)</p>	<p>91 7108 2133 3932 6773 5666</p>

FOR SIA
EXTENSION FOR
THE TRAILS
DRAINAGE FACILITY
ONLY SEE
PROJECT
1002962

WILSON & COMPANY

2600 THE AMERICAN ROAD SE, SUITE 100
 RIO RANCHO, NEW MEXICO 87124
 (505) 898-8021
 FAX (505) 898-8501

TRANSMITTAL

Date:	May 16, 2006
Job No.:	X4218008
Re:	Heritage Unit 1
DRB #	1003354
Neighborhood Notifications Letters	

To: Plaza Del Sol
600 2nd Street NW
Albuquerque, NM 87102

Attn: Claire Senova

WE ARE SENDING YOU Attached Under Separate Cover via _____ the following items:

Shop Drawings Prints Plans Samples Specifications

Copy of letter Change order _____

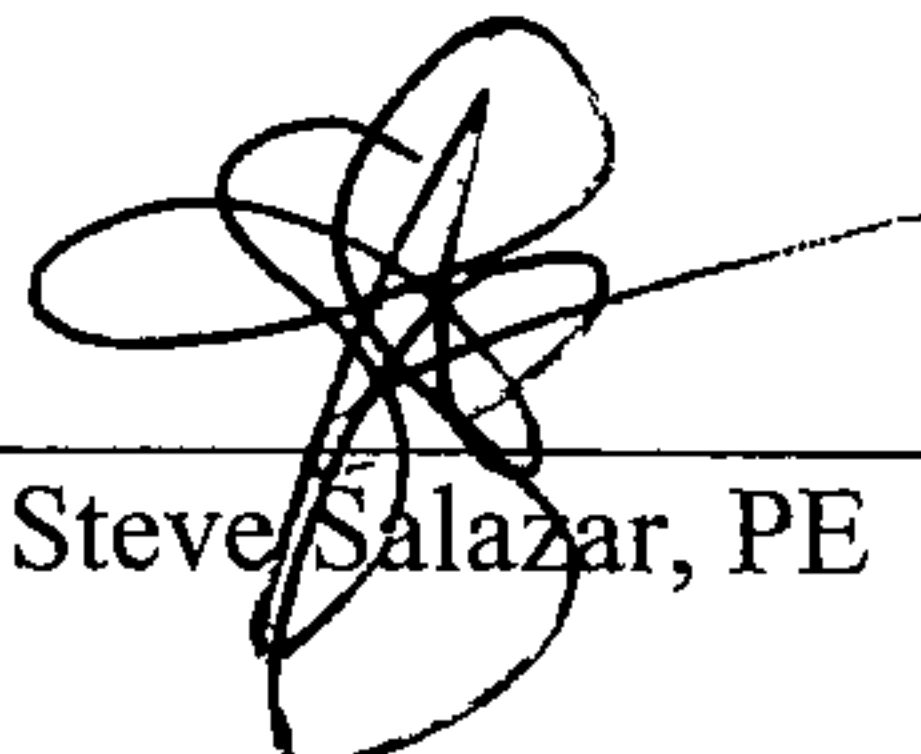
Copies	Date	Pages/Sheets	Description
1		2	Neighborhood Notification Letters (1003354) - Heritage - U-1

THESE ARE TRANSMITTED AS CHECKED BELOW:

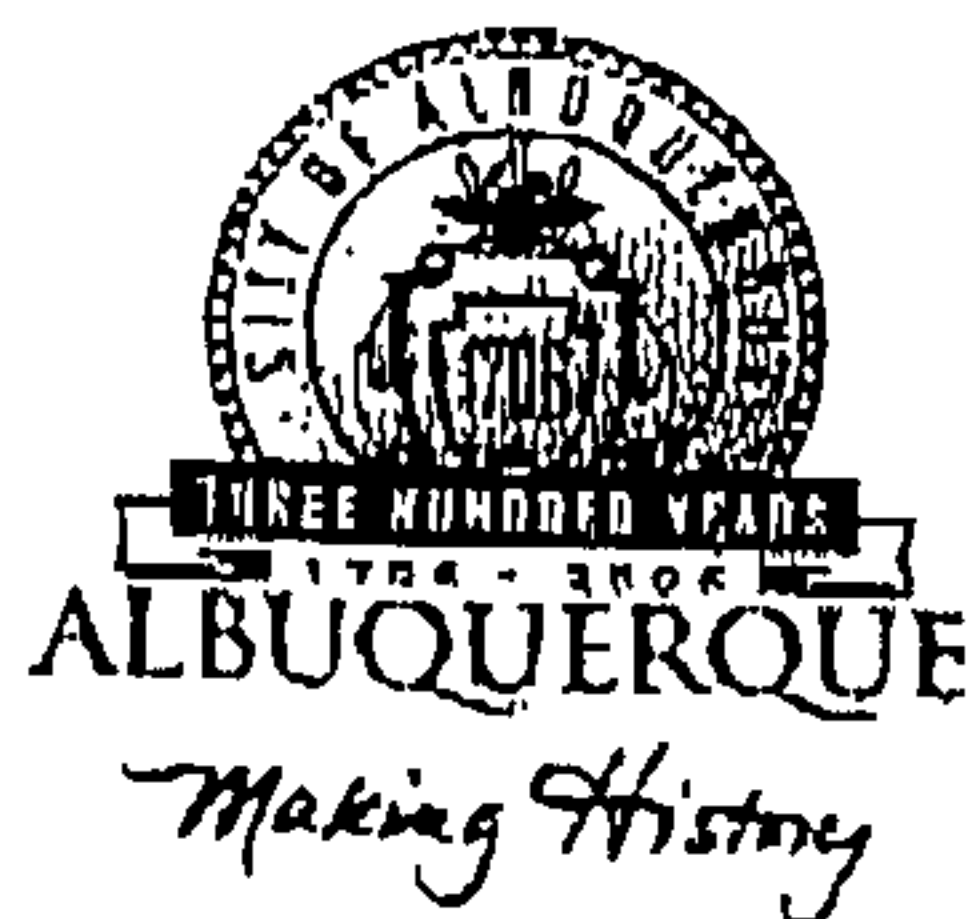
- For approval/signature
- For your use
- As requested
- For review and comment
- FOR BIDS DUE _____, 20__
- Approved as submitted
- Approved as noted
- Return _____ copies
- _____
- PRINTS ON LOAN - RETURN TO WCEA AFTER BID
- Resubmit _____ copies for approval
- Submit _____ copies for distribution
- Return _____ corrected prints

Remarks: Claire, Attached are the letters per your request. We had send these letters with the submittal.
I've attached the signed certified mail receipts for your use. In addition I've attached the
request letter from Stephanie. Call me if you have questions at 348-4178.

COPY TO: _____

SIGNED: 
 Steve Salazar, PE

RECEIVED BY: Sandy Handley
 DATE: 05/17/06



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

May 16, 2006

Steve J. Salazar, PE
Wilson and Company
2600 The American Road, Suite 100/87124
Phone: 898-8021/Fax: 898-8501

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Steve:

Thank you for your inquiry of May 16, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **HERITAGE AT THE TRAILS, UNITS 1 AND 2, LOCATED ON RAINBOW BOULEVARD NW BETWEEN PASEO DEL NORTE NW AND WOODMONT AVENUE NW** zone map **C-9**

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

VENTANA RANCH N.A. (VTR) "R"

***Laura Horton**

7224 Cascada Rd. NW/87114 898-8103 (h) 710-0646 (c)

Bruce Nyberg

6824 Brushfield Rd. NW/87114 890-6559 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD ASSOCIATION.

**WILSON
& COMPANY**

2600 American Rd.
Rio Rancho, NM 87108
505-898-8021
505-898-8501 Fax

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Ms. Laura Horton
Ventana Ranch Neighborhood
ASSOC.
7224 Cascada Rd. NW
Albuquerque, NM 87114

2. Article Number

(Transfer from service label)

7006 0100 0007 2239 0788

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

COMPLETE THIS SECTION ON DELIVERY

A. Signature


 Agent Addressee

B. Received by (Printed Name)

C. Date of Delivery

5/8/06

D. Is delivery address different from item 1?

 Yes

If YES, enter delivery address below:

 No

3. Service Type

 Certified Mail Express Mail Registered Return Receipt for Merchandise Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee)

 Yes

CERTIFIED MAIL

16 May 2006

Ms. Laura Horton
Ventana Ranch Neighborhood Association
7224 Cascada Road NW
Albuquerque, NM 87114
(505) 792-9227

Re: **Neighborhood Association Notification**
Heritage at The Trails Unit 1
Heritage at The Trails Unit 2
Extension of Subdivision Improvements Agreement

Dear Ms. Horton:

This letter is to inform the Ventana Ranch NA that Wilson & Company, Inc., acting as agents for The Trails, LLC, is requesting an extension of subdivision improvements agreements for the Paseo Del Norte Improvements.

Attached is a zone atlas map showing the location of this project for your reference.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, May 31st, 2006 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860.

If you have any questions concerning this project, please contact me at (505) 898-8021.

WILSON & COMPANY



Steve J. Salazar, P.E.

Project Manager

Email: sjsalazar@wilsonco.com

**WILSON
& COMPANY**

SENDER: COMPLETE THIS SECTION

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- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Mr. Bruce Nyberg
Ventana Ranch Neighborhood
Assoc.
6824 Brushfield Rd. NW
Albuquerque, NM 87114

2. Article Number
(Transfer from service label)

7006 010 0007 2239 0795

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X  Agent
 Addressee

B. Received by (Printed Name)

Bruce E Nyberg

C. Date of Delivery

5/16/06

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

- Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

CERTIFIED MAIL

16 May 2006

Mr. Bruce Nyberg
Ventana Ranch Neighborhood Association
6824 Brushfield Road NW
Albuquerque, NM 87114
(505) 792-9227

Re: **Neighborhood Association Notification**
Heritage at The Trails Unit 1
Heritage at The Trails Unit 2
Extension of Subdivision Improvements Agreement

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WILSON & COMPANY


Steve J. Salazar, P.E.

Project Manager

Email: sjsalazar@wilsonco.com

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		
		APPEAL / PROTEST of...	A
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: The Trails, LLC Attn: Rick Beltramo, PE PHONE: (505)761-9911
 ADDRESS: 7007 Jefferson Street NE Ste. A FAX: (505) 761-9922
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: rbeltramo@longfordgroup.com
 Proprietary interest in site: Owner List all owners: The Trails, LLC
 AGENT (if any): Steve Salazar, PE - Wilson and Company PHONE: (505) 348-4000
 ADDRESS: 2600 The American Rd. Suite 100 FAX: (505) 898-8501
 CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: sjsalazar@wilsonco.com

DESCRIPTION OF REQUEST: Requests Major - Two Year Extension of Subdivision Improvements Agreement

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRITICAL. ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Bulk Land Plat of The Trails Tract A Block: N/A Unit: N/A
 Subdiv. / Addn. Heritage at The Trails Units
 Current Zoning: RD Proposed zoning: No Change
 Zone Atlas page(s): C 9 Z No. of existing lots: 13.86 No. of proposed lots: 13.86
 Total area of site (acres): 2.4 Density if applicable: dwellings per gross acre: 5.35 dwellings per net acre: 5.35
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 100906422850020911 MRGCD Map No. N/A

LOCATION OF PROPERTY BY STREETS: On or Near: Rainbow Blvd.
 Between: Paseo Del Norte and Hearthstone

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): DRB #1003353, 1003354, 1002928, DRC# 730081, 738484

Check-off if project was previously reviewed by Sketch Plat/Plan, or Pre-application Review Team . Date of review:

SIGNATURE [Signature] DATE 5/5/06
 (Print) Steve J. Salazar, PE Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06 DRB - 20633</u>	<u>SIA</u>	<u>3(2)</u>	<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>ADV</u>		<u>\$ 75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				<u>\$</u>
<input checked="" type="checkbox"/> Case history #s are listed				<u>\$</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				<u>\$</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus				<u>\$</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				<u>\$</u>
	Hearing date <u>5-31-06</u>			Total <u>\$ 145.00</u>

[Signature] 5/5/06
 Planner signature / date

Project # 1003354

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
- Proposed Infrastructure List
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)

MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)

MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT

(Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

STEVE SALAZAR, P.E.
Applicant name (print)
[Signature]
Applicant signature / date



Form revised 9/01, 8/03 and 9/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

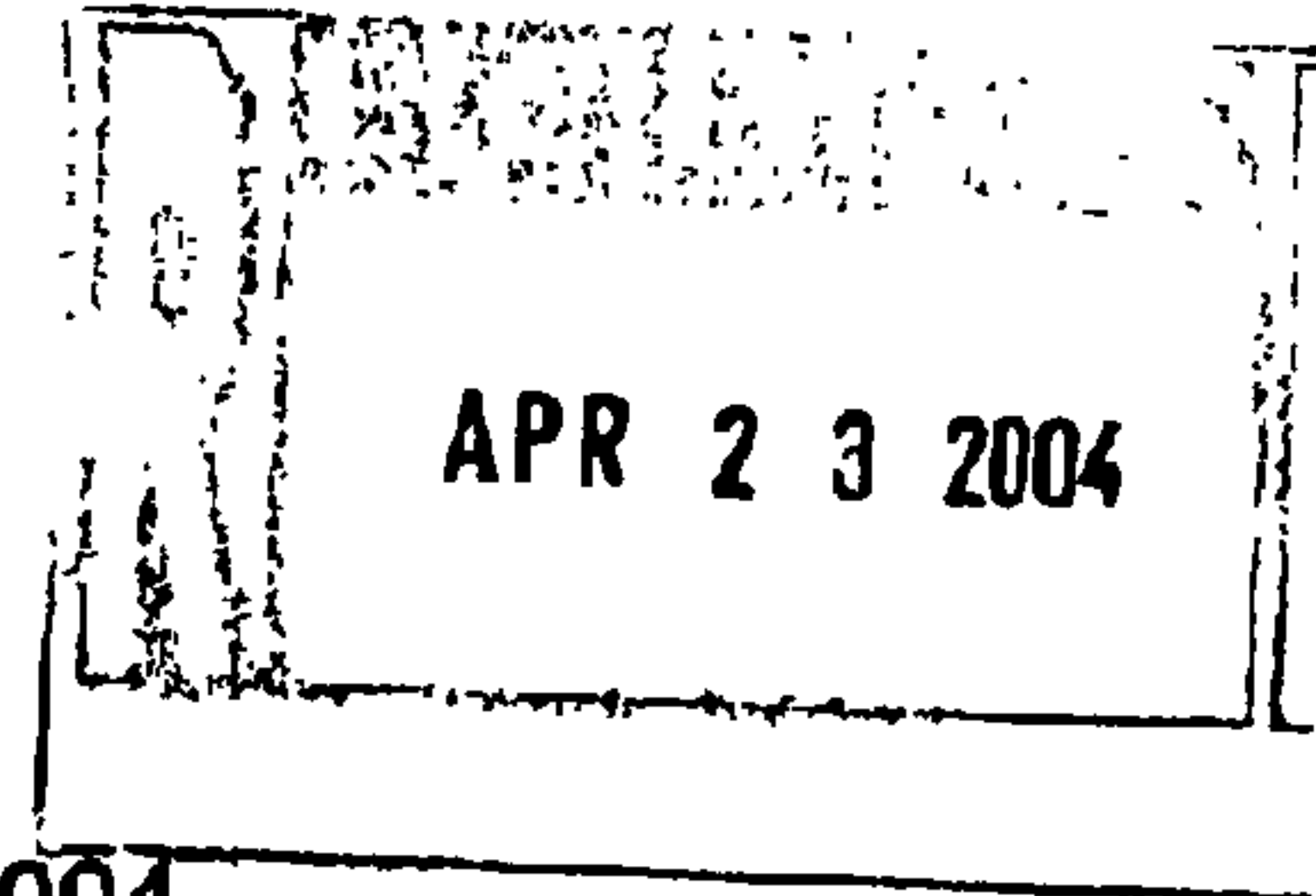
Application case numbers
06DRD - 00633

[Signature]
Planner signature / date
Project #1003354



OFFICIAL NOTICE OF DECISION

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD**



APRIL 21, 2004

- 4. Project # 1003354**
- 04DRB-00458 Major-Vacation of Public Easements
- 04DRB-00457 Major-Preliminary Plat Approval
- 04DRB-00459 Minor-Temp Defer SDWK
- 04DRB-00461 Minor-Sidewalk Waiver

ISAACSON & ARFMAN P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) A, THE TRAILS, (to be known as **HERITAGE @ THE TRAILS, UNIT 1**, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 14 acre(s). [REF: 1002962, 03DRB-01528] (C-9)

At the April 21, 2004, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

- 1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
- 2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

- 1. Final disposition shall be through the City Real Estate Office.
- 2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
- 3. Affected utility companies shall acknowledge the vacation by their signatures on the replat.

With the signing of the infrastructure list dated 4/21/04 and approval of the grading plan engineer stamp dated 3/24/04 the preliminary plat was approved with the following condition of final plat:



**OFFICIAL NOTICE OF DECISION
PAGE 2**

An approved perimeter wall submittal is required prior to construction taking place.

Temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by May 6, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)


Sheran Matson, AICP, DRB Chair

cc: Isaacson & Arfman PA, 128 Monroe St NE, 87108
Centex Homes, 5120 Masthead NE, 87109
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: March 26, 2004
Date Site Plan Approved: _____
Date Preliminary Plat Approved: 4/21/04
Date Preliminary Plat Expires: 4/21/05
DRB Project No.: 1003353
DRB Application No.: 04DRB-00452

⚠ 6/24/04

HERITAGE AT THE TRAILS, UNIT 2

PROPOSED NAME OF PLAT

TRACT B, THE TRAILS

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Const Engineer
		28' F-F	Residential Paving	Edison Road	Battlecreek Street	Allegiance Street	/	/	/
		24' F-F	Residential Paving	Edison Road	Tract A	Battlecreek Street	/	/	/
		24' F-F	Residential Paving	Edison Road	Allegiance Street	Lot 19	/	/	/
		28' F-F	Residential Paving	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	Hearthstone Road	Battlecreek Street	east property line	/	/	/
		50' F-F (incl Median)	Residential Paving	Hearthstone Road	Rainbow Blvd	Battlecreek Street	/	/	/
		31' F-F (half of full width)	Arterial Paving	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
			Modified Procedure "C" Arterial Paving	Paseo del Norte			/	/	/
		31' F-F (half of full width)	Arterial Paving	Paseo del Norte	Rainbow Blvd	East #	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Edison Road	Tract A	Lot 19	/	/	/

See note 9

Arterial Paving
Paseo del Norte
Rainbow Blvd

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P. 10

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		Std. or Mntbl	Curb and Gutter (6)	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Hearthstone Road	Rainbow Blvd	east property line	/	/	/
		Median	Curb and Gutter	Hearthstone Road	Rainbow Blvd	E. of Battlecreek Street	/	/	/
		Std.	Curb and Gutter (7) (East Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		Median	Curb and Gutter (7) (West Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Edison Road	Tract A	Lot 19	/	/	/
		4'	PCC Sidewalk (1) (South Side Only)	Edison Road	Battlecreek Street	Allegiance Street	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (North Side Only)	Hearthstone Road	Rainbow Blvd	Battlecreek Street	/	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Hearthstone Road	Battlecreek Street	east property line	/	/	/
		4'	PCC Sidewalk (1) (South Side Only) <i>Both sides</i>	Hearthstone Road	Lot 34	east property line	/	/	/
		6'	PCC Sidewalk (7) (East Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		10'	Asphalt Trail <i>Unit 11</i>	Tract 05-2	West Pt	East Pt	/	/	/
		6"	Waterline	Edison Road	Battlecreek Street	Lot 19	/	/	/
		6"	Waterline	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		6"	Waterline	Allegiance Street	Edison Road	Hearthstone Road	/	/	/

ORIGINAL


SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		8"	Waterline	Hearthstone Road	Rainbow Blvd	east property line	/	/	/
		8"	Waterline	Offsite easement	Hearthstone Road	Ladron Drive (Taos at the Trails)	/	/	/
		20"	Waterline (7)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
							/	/	/
		8"	SAS	Edison Road	Rainbow Blvd	Lot 19	/	/	/
		8"	SAS	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		8"	SAS	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		8"	SAS	Hearthstone Road	Battlecreek Street	east property line	/	/	/
		8"	SAS	Offsite easement	Hearthstone Road	Ladron Drive (Taos at the Trails)	/	/	/
		8" - 12"	SAS (7)	Tracts D, F, & J	Ladron Drive (Taos at the Trails)	Universe Blvd	/	/	/
		750 gpm	Temp SAS Lift Station (7)	Tract J	Universe Blvd		/	/	/
		8"	Temporary SAS Force Main (7)	Universe Blvd	Tree Line Avenue	Paseo del Norte	/	/	/
							/	/	/
		18"-48"	RCP Storm Drain	Edison Road	Rainbow Blvd	Lot 19	/	/	/
		42"-48"	RCP Storm Drain	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		18"-48"	RCP Storm Drain	Hearthstone Road	Rainbow Blvd	Pond D	/	/	/
		6.46 Ac-Ft	Retention Pond on unplatted land east of Tract B, The Trails. (Pond D) w/ easmt, Covenant & Agreement, and emergency overflow				/	/	/

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P. 12

NOTES:

- 1. Sidewalks to be deferred
- 2. Residential lighting per DF
- 3. Grading and Drainage Cer
- 4. All water to include fire hy
- 5. Storm drain sizes are subj
- 6. Curb & gutter on both side
- 7. Adjacent portions of Raint
- 8. Offsite Traffic Mitigation Fe
- 9.  Includes removal and repl
- 10. Planning Department in ad
- 11. *by Modified Proc*
- 12. *Trail to be built*
Landscape Main
in the public ric

Seq

AGENT/OWNER

Genevieve Donart, PE
NAME (print)

Isaacson & Arfman, P.A.
FIRM

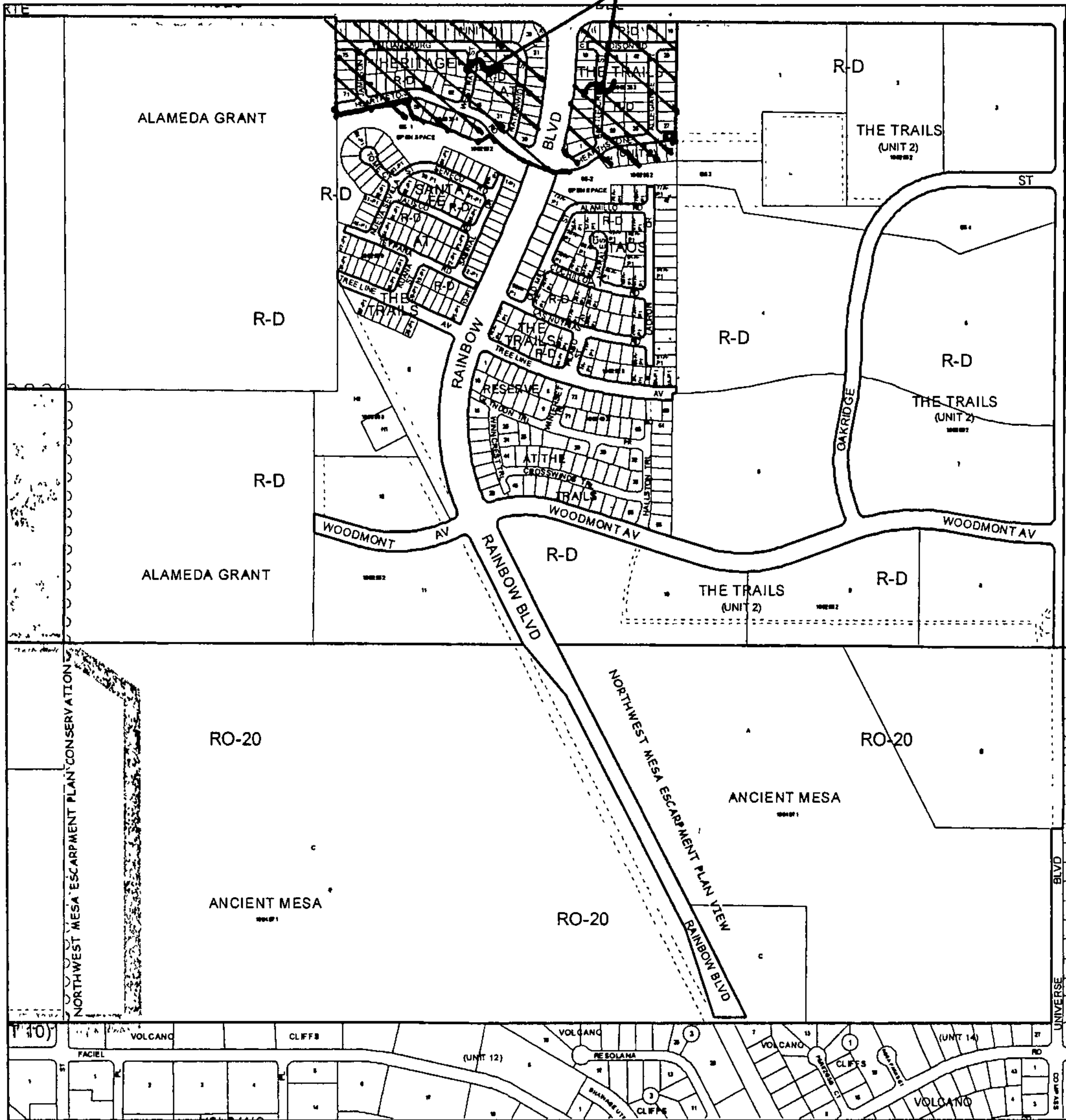
Genevieve Donart 6/20/10
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
SION: _____

REVISION	DATE
1	6/24/10

SITE LOCATIC

HERITAGE of THE TRAILS
UNITS 1 & 2



For more current information and more details visit <http://www.cabq.gov/gis>

Map amended through 3/14/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-09-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet



2600 American Rd. SE, Suite 100
Rio Rancho, NM 87124
505-898-8021
505-898-8501 Fax

Albuquerque
Arlington
Colorado Springs
Denver
El Paso
Fort Worth
Houston
Kansas City
Las Cruces
Lenexa
Los Angeles
Omaha
Phoenix
Rio Rancho
Salina
San Bernardino

4 May 2006

Sheran Matson, Chairperson
City of Albuquerque
Development Review Board
Plaza Del Sol
600 Second Street NW
Albuquerque, NM 87103

Re: *Paseo del Norte*
Extension of Subdivision Improvements Agreement
COA Project Number – 738484; WCI Project #X4218008

Dear Sheran:

This letter is to inform the **City of Albuquerque, Development Review Board** that Wilson & Company, Inc., acting as agents for The Trails LLC, is submitting an extension of Subdivision Improvements Agreement for the above subject property.

The following explanation is the reason for the extension of the subdivision improvements agreement. Longford is requesting extension of SIA to complete the construction of Paseo del Norte improvements per the COA infrastructure project 738484.

Attached are the items requested by the DRB for the extension of SIA.

If you have any questions concerning this proposed project, please contact me at (505) 898-8021.

WILSON & COMPANY

Steve J. Salazar, P.E.
Project Manager
Email: sjsalazar@wilsonco.com

sjs
Enclosure

WILSON & COMPANY, INC., ENGINEERS & ARCHITECTS



2004133768
 6147265
 Page: 1 of 3
 09/22/2004 02:48P
 Bk-2004C Pg-295

Mary Herrera Bernal Co. PLAT R 17.00

**PLAT FOR
 HERITAGE AT THE TRAILS
 SUBDIVISION UNIT 2**

BEING A REPLAT OF
 TRACT B, THE TRAILS
 WITHIN THE TOWN OF ALAMEDA GRANT
 PROJECTED SECTION 16,
 T. 11 N., R. 2 E., NMPM
 CITY OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2004

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 TRACT B, THE TRAILS
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 acres more or less.

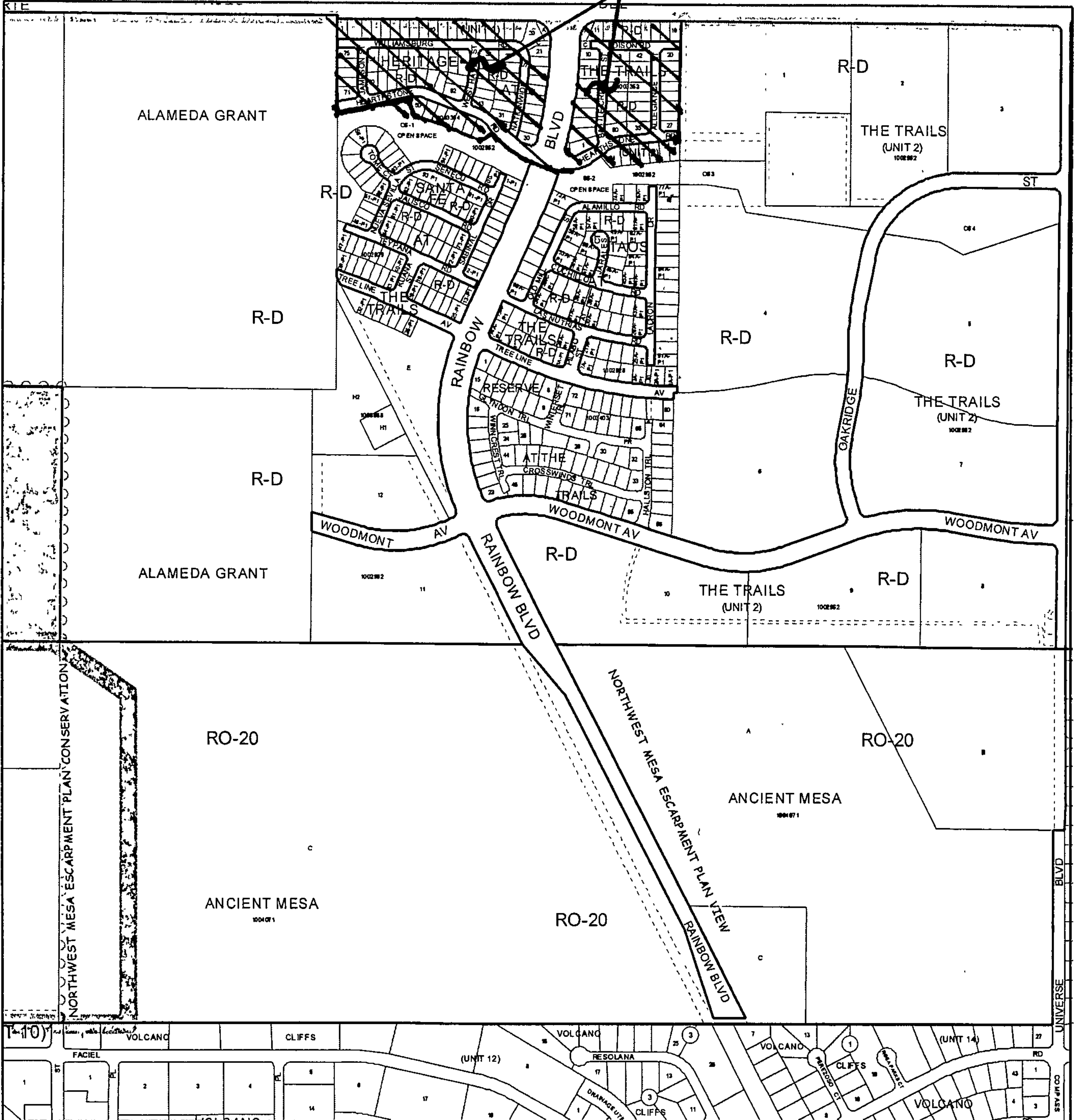
t into residential lots,
 to grant those
 ent, and to vacate

and in accordance with the
) thereof and said Owner(s)
 public rights-of-way shown
 warranty covenants and do
 ts shown hereon including the
 ies therein; and all public
 int use of gas, electrical power
 distribution lines, conduits, and
 shown or indicated, and
 ion and maintenance, and the
 (s) and/or Proprietor(s) do
 warrant that they hold among
 ie land subdivided, and do
 deed.

Utility Approval No. 04-0413

<u>Leon D. Marks</u>	8-27-04
PNM ELECTRIC SERVICES DIVISION	DATE
<u>Leon D. Marks</u>	8-27-04
PNM GAS SERVICES DIVISION	DATE
<u>David R. Muller</u>	8-27-04
QWEST	DATE
<u>Rita E. Hicks</u>	8-27-04
COMCAST	DATE
<u>[Signature]</u>	9-22-04
NEW MEXICO UTILITIES	DATE
City Approvals	

SITE LOCATION: (HERITAGE of THE TRAILS) UNITS 1 & 2



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 3/14/2006

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C-09-Z

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0 750 1,500 Feet

**WILSON
& COMPANY**

2600 American Rd. SE, Suite 100
Rio Rancho, NM 87124
505-898-8021
505-898-8501 Fax

Albuquerque
Arlington
Colorado Springs
Denver
El Paso
Fort Worth
Houston
Kansas City
Las Cruces
Lenexa
Los Angeles
Omaha
Phoenix
Rio Rancho
Salina
San Bernardino

4 May 2006

Sheran Matson, Chairperson
City of Albuquerque
Development Review Board
Plaza Del Sol
600 Second Street NW
Albuquerque, NM 87103

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Extension of Subdivision Improvements Agreement
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WILSON & COMPANY



Steve J. Salazar, P.E.
Project Manager
Email: sjsalazar@wilsonco.com

sjs
Enclosure

WILSON & COMPANY, INC., ENGINEERS & ARCHITECTS



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 6147265
 Page: 1 of 3
 09/22/2004 02:48P
 Bk-2004C Pg-295

Mary Herrera Bern. Co. PLAT R 17.00

PLAT FOR HERITAGE AT THE TRAILS SUBDIVISION UNIT 2

BEING A REPLAT OF
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 AUGUST 2004

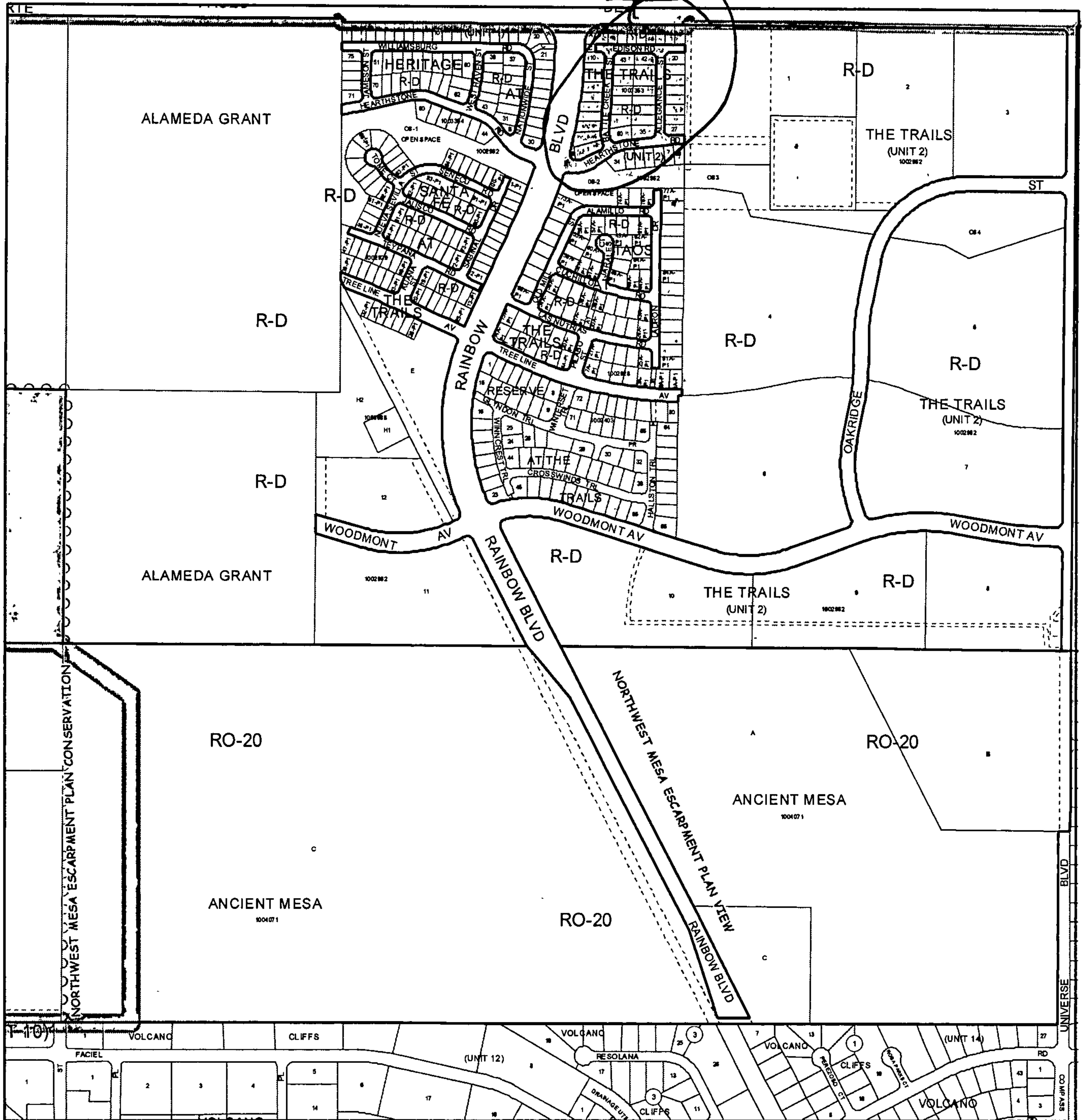
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 04-01418
 Utility Approvals

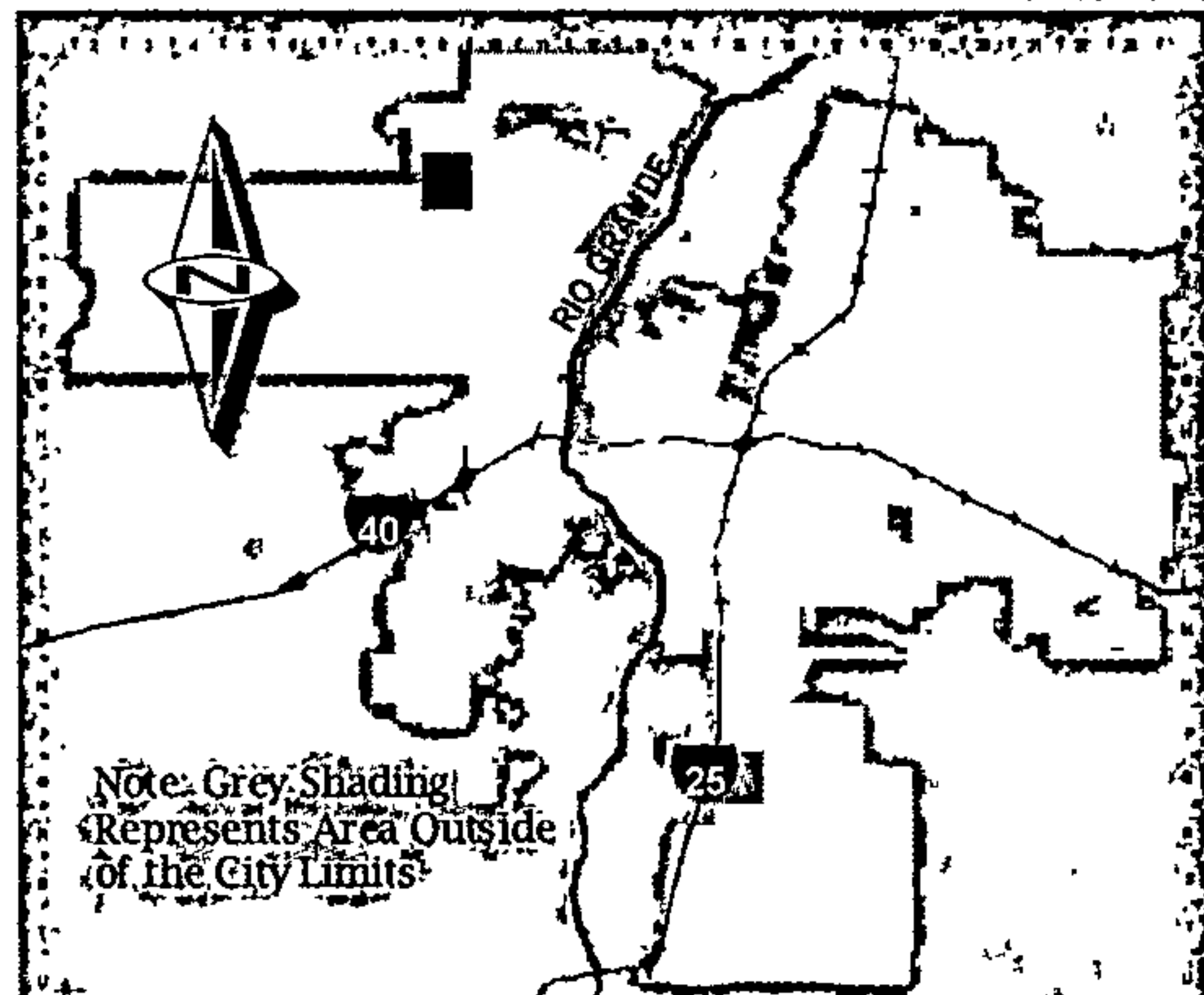
<u>Leon D. Marks</u>	<u>8-27-04</u>
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C-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

1302

Melody 761-9911
Jenny 268-8828

FIGURE 18

EXTENSION AGREEMENT
Procedure "B"
PROJECT NO. 738484

This Agreement made this 19th day of December, 2005, by and between the City of Albuquerque, New Mexico, a municipal corporation ("City") and (name of developer/subdivider:) The Trails LLC ("Developer"), whose address is 7007 Jefferson St NE Suite A-B and whose telephone number is (505) 761-9911 is made in Albuquerque, New Mexico and is entered into as of the date of final execution of this Agreement.

WHEREAS, the City and the Developer entered into an Agreement on the 27 day of August 2004 which was recorded in the office of the Clerk of Bernalillo County, New Mexico on 8/31/04, at Book Misc. A83, pages 3280 through 3290, ("Earlier Agreement"), by which the Developer agreed to complete the construction of certain infrastructure improvements on or before the 9 day of Nov 2005; and

WHEREAS, the Earlier Agreement was amended by an Extension Agreement dated _____ recorded _____, in Book Misc. _____, pages _____ through _____, records of Bernalillo County, New Mexico, extending the construction deadline to _____; and

WHEREAS, it appears that the Developer will be unable to complete construction of the improvements by the deadline specified in the Agreement; and

WHEREAS, the City is willing to grant Developer an extension of time in which to complete construction of all or part of the improvements, provided the Developer posts an acceptable financial guaranty, as required by the City's Subdivision Ordinance and the Development Process Manual; and

WHEREAS, the Developer is able to provide the required financial guaranty;

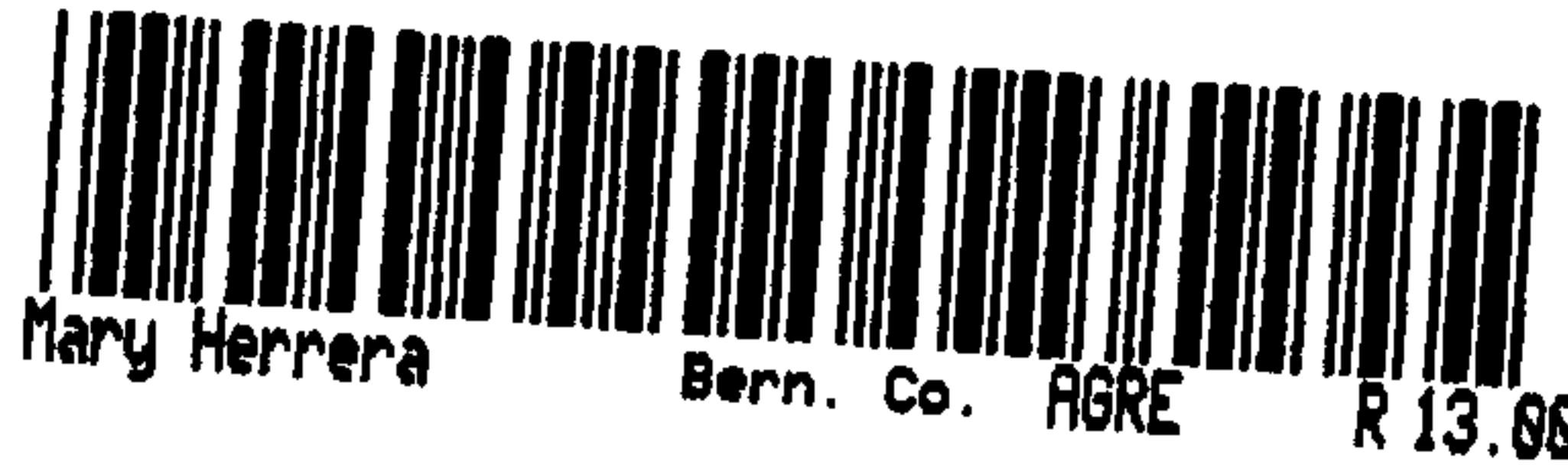
NOW THEREFORE in consideration of the above and the mutual promises contained herein, the parties agree:

1. The required completion date for construction of the improvements, as set forth in the attached Exhibit A, is extended (Complete either A or B:)

A. for all improvements, the 27 day of May, 2006.

B. on portions of the improvements as follows:

IMPROVEMENTS	COMPLETION DATE
_____	_____
_____	_____
_____	_____



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Page: 1 of 3
12/19/2005 03:30P
Bk-A108 Pg-4908

2. With this Extension Agreement, Developer has provided the City with the following financial guaranty:

Type of Financial Guaranty: Bond # 8235045
Amount: \$ 744,274.25 Name of Financial Institution or Surety
providing Guaranty: Developers Surety & Indemnity Company
Date City first able to call Guaranty (Construction Completion
Deadline): 27 May 06
If Guaranty other than a Bond, last day City able to call Guaranty
is: 27 July 06
Additional information: _____

3. The parties agree that all terms and conditions of the Earlier Agreement not in conflict with this Extension Agreement shall remain valid, in force, and binding upon the parties. By executing this Agreement, the parties only intention is to extend the construction completion deadline established in the Earlier Agreement and establish a revised financial guaranty for the benefit of the City.

Executed on the date stated in the first paragraph of this Agreement.

DEVELOPER: The Trails LLC

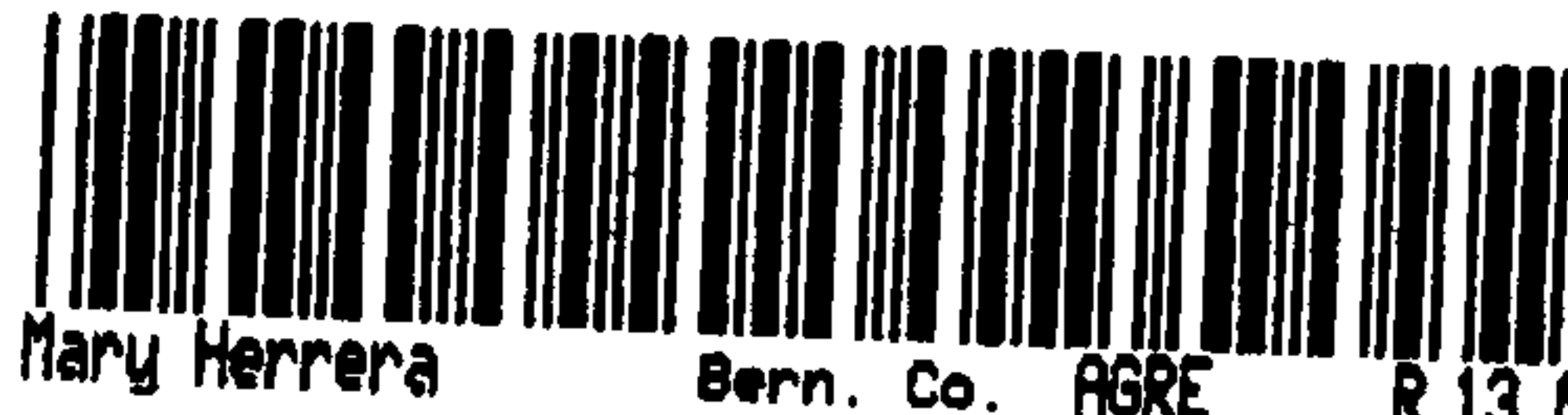
By (Signature): [Signature]
Name: Brian Anderson
Title: VP of The Trails LLC
Dated: 12/19/05

CITY OF ALBUQUERQUE:

Bradley L. Bingham
City Engineer
Dated: 12/19/05

[Signature] 12/19/05

[Signature]
12-7-05



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6381453
Page: 2 of 3
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DEVELOPER'S NOTARY

STATE OF New Mexico)
COUNTY OF Bernalillo) ss.

This instrument was acknowledged before me on 2nd day of December,
2005 by (name of person:) Brian Anderson (title or
capacity, for instance, "President" or "Owner") VP The Trails LLC
of (Developer:) The Trails LLC

My Commission Expires:
02/24/07

Nadine Tinagero
Notary Public
OFFICIAL SEAL
NADINE TINAGERO
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 02/24/07

CITY'S NOTARY


STATE OF New Mexico
COUNTY OF Bernalillo ss.

This instrument was acknowledged before me on 19th day of December
2005 by Bradley L. Bingham City Engineer of the City of
Albuquerque, a municipal corporation, on behalf of said corporation.

My Commission Expires:
11-25-2007

Gloria S. Saavedra
Notary Public

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6381453
Page: 3 of 3
12/19/2005 03:30P
Bk-A108 Pg-4908



Mary Herrera Bern. Co. AGRE R 13.00

FIGURE 16

CIRCLE ONE:
SUBDIVISION BOND FOR:
SIA, SW'S, SPCL. AGMT.

BOND NO. (SURETYS NO.): 823504S
CONTACT PERSON'S NAME: _____

SUBDIVISION IMPROVEMENTS BOND Premium: \$7,443.00/Two Years

KNOW ALL MEN BY THESE PRESENTS: That we The Trails, LLC

("SUBDIVIDER") a [state type of business entity, for instance, "New Mexico corporation," "general partnership", "joint venture", "individual", etc.:] Nevada limited liability company as "Principal", and Developers Surety and Indemnity Company ("NAME OF SURETY"), a corporation organized and existing under and by virtue of the laws of the State of Iowa and authorized to do business in the State of New Mexico, as "Surety," whose address is 17780 Fitch Suite 200 Irvine CA 92614 and whose telephone number is 949-263-3300, are held and firmly bound unto the CITY OF ALBUQUERQUE in the penal sum of (WRITTEN AMOUNT) Seven hundred forty four thousand two hundred seventy four and 26/100 Dollars, (AMOUNT OF FIGURES) \$ 744,274.26, as amended by change orders approved by the Surety or changes to the infrastructure list approved by the City Development Review Board, the payment of which is well and truly to be made, and each of us bind ourselves, our and each of our heirs, executors, administrators, successors and assigns, jointly and severally, and finally by these presents.

NOW, THEREFORE, the condition of the above obligation is such that:

WHEREAS, the Principal is the owner of and/or is interested in or is developing land and premises known as Heritage at the Trails, Unit 1 & Heritage at the Trails Unit 2/Paseo Del Norte ("NAME OF SUBDIVISION"), CITY PROJECT NO. 738484, and

WHEREAS, said Subdivision is subject to the provisions and conditions of the ordinance of the CITY OF ALBUQUERQUE known as the Subdivision Ordinance, the requirements of which include the installation of various other improvements by the Principal; and

WHEREAS, the Subdivision Ordinance also requires the Principal to install and construct the following improvements at the Subdivision: [list the improvements, e.g., water, sewer, pavement, sidewalks:] SIA Procedure - B - w/F.G. ("IMPROVEMENTS")

All construction shall be performed in accordance with the Agreement to Construct Public and/or Private Subdivision Improvements Agreement entered into between ("NAME OF SUBDIVIDER") The Trails, LLC and the CITY OF ALBUQUERQUE, as recorded in the office of the Clerk of Bernalillo County, New Mexico, in Book Misc. (leave blank), pages _____ through _____, as amended by change orders or amendments to the Agreement.

NOW, THEREFORE, if the Principal completes construction of the Improvements and facilitates and performs the work herein above specified to be performed, all on or before (Construction Completion Deadline established in Agreement or as amended:) October 31, 2006 ("the Construction Completion Deadline"), then this obligation shall be null and void; if the Principal does not complete construction by or before the Construction Completion Deadline, the City may call on this obligation until released by the City.

ALL-PURPOSE ACKNOWLEDGMENT

State of California

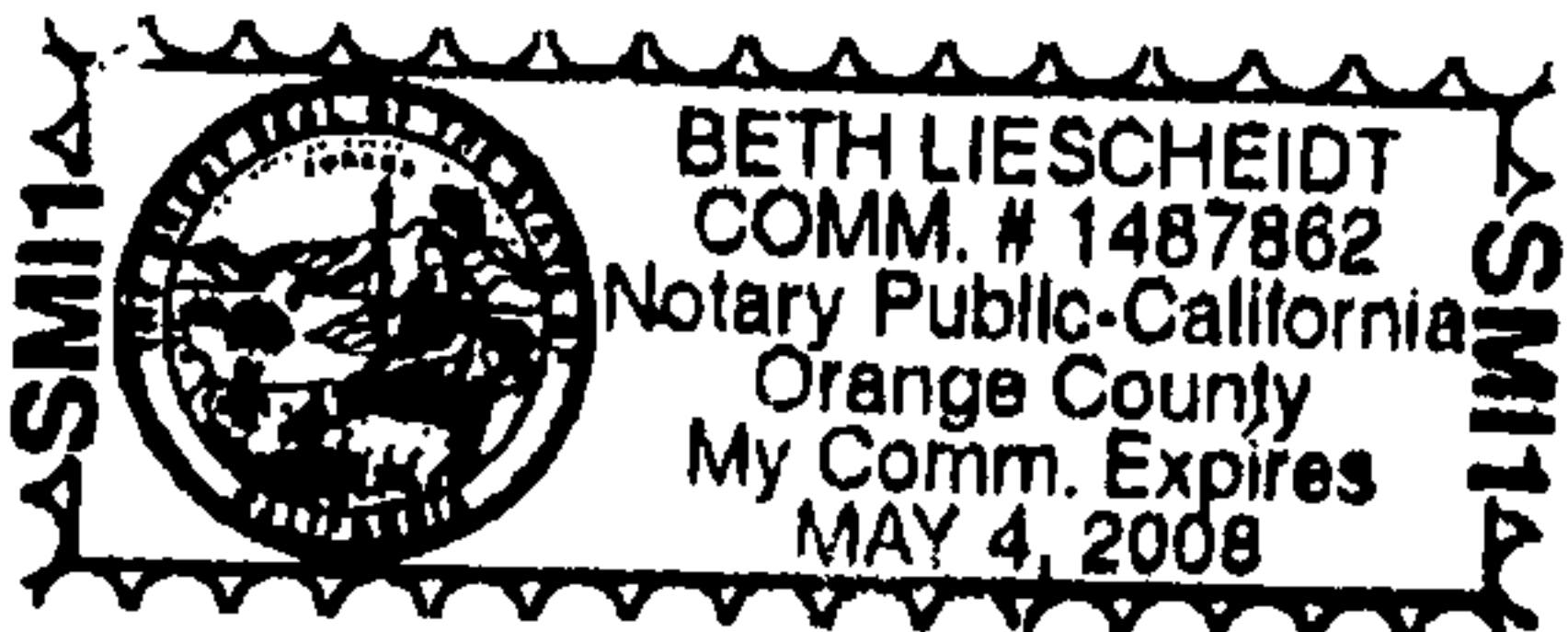
County of Orange

On Nov. 17, 2005 before me, Beth Liescheidt,

personally appeared Natalie Caicedo Lopez,

personally known to me -OR-

proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

Beth Liescheidt
Signature of Notary

Though the data below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent reattachment of this form.

CAPACITY CLAIMED BY SIGNER

DESCRIPTION OF ATTACHED DOCUMENT

- INDIVIDUAL
- CORPORATE OFFICER

- PARTNER(S) LIMITED
- ATTORNEY-IN-FACT
- TRUSTEE(S)
- GUARDIAN/CONSERVATOR

OTHER:

SIGNER IS REPRESENTING:
NAME OF PERSON(S) OR ENTITY(IES)

Developers Surety and Indemnity Company

**POWER OF ATTORNEY FOR
DEVELOPERS SURETY AND INDEMNITY COMPANY
INDEMNITY COMPANY OF CALIFORNIA**

PO BOX 19725, IRVINE, CA 92623 (949) 263-3300

KNOW ALL MEN BY THESE PRESENTS, that except as expressly limited, DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA, do each, hereby make, constitute and appoint:

Keith E. Sandrock, Patricia J. Sandrock, Natalie Caicedo Lopez, jointly or severally


as their true and lawful Attorney(s)-in-Fact, to make, execute, deliver and acknowledge, for and on behalf of said corporations, as sureties, bonds, undertakings and contracts of suretyship giving and granting unto said Attorney(s)-in-Fact full power and authority to do and to perform every act necessary, requisite or proper to be done in connection therewith as each of said corporations could do, but reserving to each of said corporations full power of substitution and revocation, and all of the acts of said Attorney(s)-in-Fact, pursuant to these presents, are hereby ratified and confirmed.

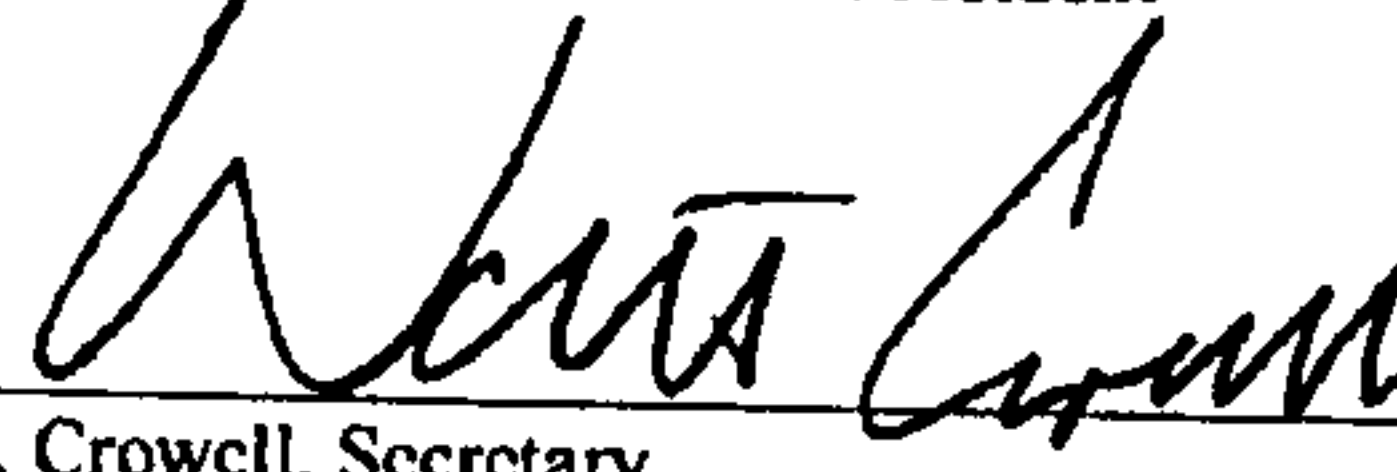
This Power of Attorney is granted and is signed by facsimile under and by authority of the following resolutions adopted by the respective Board of Directors of DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA, effective as of November 1, 2000:

RESOLVED, that the Chairman of the Board, the President and any Vice President of the corporation be, and that each of them hereby is, authorized to execute Powers of Attorney, qualifying the attorney(s) named in the Powers of Attorney to execute, on behalf of the corporations, bonds, undertakings and contracts of suretyship; and that the Secretary or any Assistant Secretary of the corporations be, and each of them hereby is, authorized to attest the execution of any such Power of Attorney;

RESOLVED, FURTHER, that the signatures of such officers may be affixed to any such Power of Attorney or to any certificate relating thereto by facsimile, and any such Power of Attorney or certificate bearing such facsimile signatures shall be valid and binding upon the corporation when so affixed and in the future with respect to any bond, undertaking or contract of suretyship to which it is attached.

IN WITNESS WHEREOF, DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA have severally caused these presents to be signed by their respective Executive Vice President and attested by their respective Secretary this 1st day of February, 2005.

By: 
David H. Rhodes, Executive Vice-President

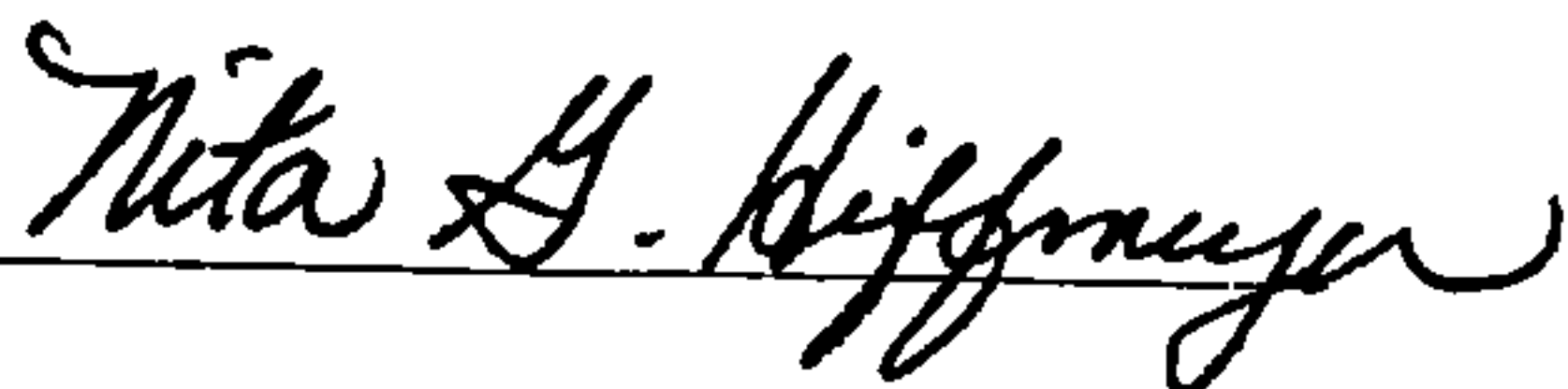
By: 
Walter A. Crowell, Secretary



STATE OF CALIFORNIA)
)SS.
COUNTY OF ORANGE)

On February 1, 2005, before me, Nita G. Hiffmeyer, personally appeared David H. Rhodes and Walter A. Crowell, personally known to me (or proved to me on the basis of satisfactory evidence) to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their authorized capacities, and that by their signatures on the instrument the entity upon behalf of which the persons acted, executed the instrument.

WITNESS my hand and official seal.

Signature 



CERTIFICATE

The undersigned, as Executive Vice-President, of DEVELOPERS SURETY AND INDEMNITY COMPANY and INDEMNITY COMPANY OF CALIFORNIA, does hereby certify that the foregoing Power of Attorney remains in full force and has not been revoked, and furthermore, that the provisions of the resolutions of the respective Boards of Directors of said corporations set forth in the Power of Attorney, are in force as of the date of this Certificate.

This Certificate is executed in the City of Irvine, California, the 17 day of November, 2005.

By: 
David L. Kerrigan, Executive Vice-President



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

March 18, 2004

Ruth Lozano
Isaacson and Arfman, P.A.
128 Monroe St. NE/87108
Phone: 268-8828/Fax: 268-2632

Dear Ruth:

Thank you for your inquiry of March 18, 2004 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **HERITAGE AT THE TRAILS UNIT 1 AND HERITAGE AT THE TRAILS, UNIT 2 - TRACTS A AND B, THE TRAILS**, zone map C-9.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

SEE "ATTACHMENT A" FOR NEIGHBORHOOD INFORMATION.

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani I. Winklepleck

Stephani I. Winklepleck
Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(03/09/04)

"Attachment A"

Ruth Lozano, Isaacson and Arfman, PA
Zone Map: C-9

VENTANA RANCH N.A. (R)

***Laura Horton**

7224 Cascada Rd. NW/87114 898-8103 (h) 710-0646 (cell)

Bruce Nyberg

6824 Brushfield Rd. NW/87114 890-6559 (h)

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

**WILSON
& COMPANY**

2600 American Rd. SE, Suite 100
Rio Rancho, NM 87124
505-898-8021
505-898-8501 Fax

CERTIFIED MAIL

5 May 2006

Ms. Laura Horton
Ventana Ranch Neighborhood Association
7224 Cascada Road NW
Albuquerque, NM 87114
(505) 792-9227

Re: **Neighborhood Association Notification**
Heritage at The Trails Unit 1
Heritage at The Trails Unit 2
Extension of Subdivision Improvements Agreement

Dear Ms. Horton:

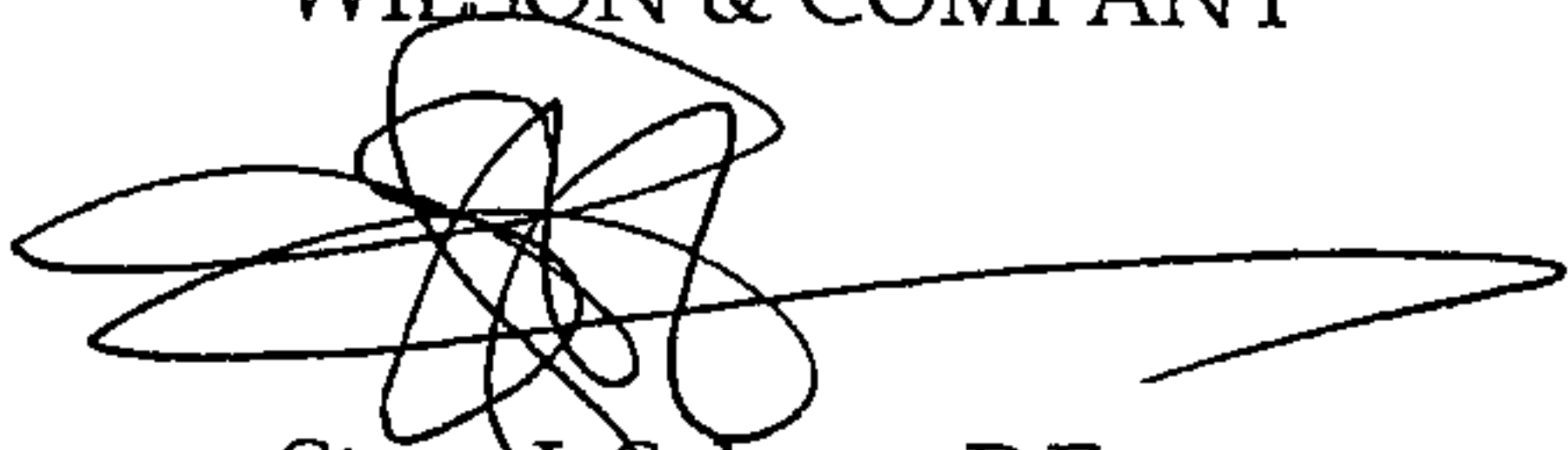
This letter is to inform the Ventana Ranch NA that Wilson & Company, Inc., acting as agents for The Trails, LLC, is requesting an extension of subdivision improvements agreements for the Paseo Del Norte Improvements.

Attached is a zone atlas map showing the location of this project for your reference.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, May 31st, 2006 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860.

If you have any questions concerning this project, please contact me at (505) 898-8021.

WILSON & COMPANY



Steve J. Salazar, P.E.
Project Manager
Email: sjsalazar@wilsonco.com

U.S. Postal Service™
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OFFICIAL USE

Postage \$ 0.39 UNIT ID: 0124
Certified Fee 254006
Return Receipt Fee (Endorsement Required) 1.85 Postmark Here
Restricted Delivery Fee (Endorsement Required) USPS Clerk: KPXEN5
Total Postage & Fees \$ 4.64 05/05/06

Sent To Ms. Laura Horton Ventana Ranch Neighborhood Assoc
Street, Apt. No.; or PO Box No. 7224 Cascada Rd. NW
City, State, ZIP+4 Albuquerque, NM 87114

PS Form 3800, June 2002

See Reverse for Instructions

WILSON & COMPANY, INC., ENGINEERS & ARCHITECTS

**WILSON
& COMPANY**

CERTIFIED MAIL

5 May 2006

Mr. Bruce Nyberg
Ventana Ranch Neighborhood Association
6824 Brushfield Road NW
Albuquerque, NM 87114
(505) 792-9227

Re: **Neighborhood Association Notification**
Heritage at The Trails Unit 1
Heritage at The Trails Unit 2
Extension of Subdivision Improvements Agreement

Dear Mr. Nyberg:

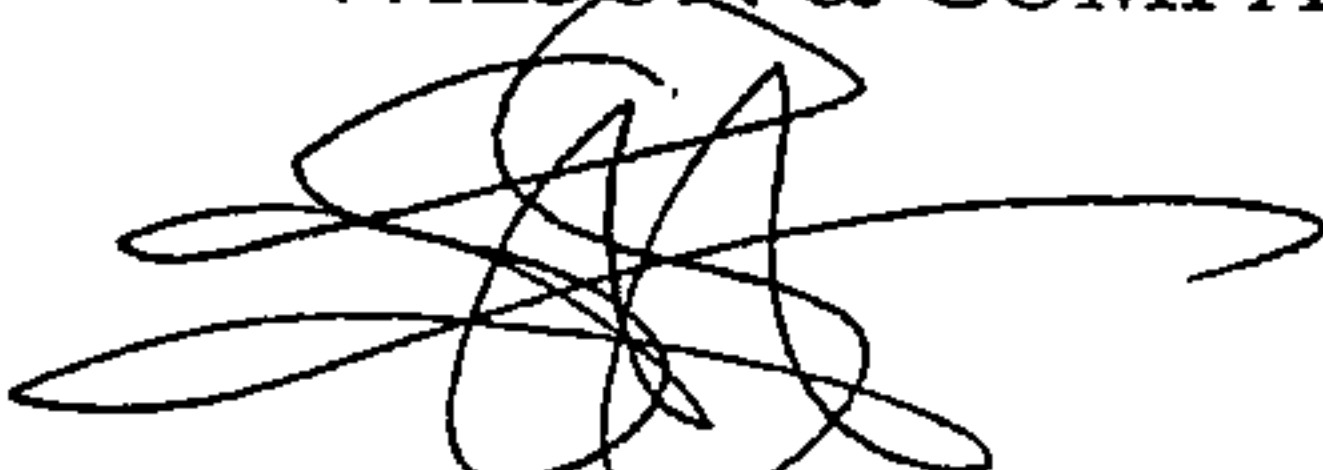
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If you have any questions concerning this project, please contact me at (505) 898-8021.

WILSON & COMPANY



Steve J. Salazar, P.E.
Project Manager
Email: sjsalazar@wilsonco.com

5620 6229 0795
2239 2000 0070
7006 0100 0007 9002

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OFFICIAL USE

ALBUQUERQUE, NM 87114

Postage	\$ 0.39	UNIT ID: 0124
Certified Fee	2.40	
Return Receipt Fee (Endorsement Required)	1.85	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.64	

Postmark Here
Clerk: KPXBNS
05/05/06

Sent To: Mr. Bruce Nyberg
Street, Apt. No.; or PO Box No.: 6824 Brushfield Rd. NW
City, State, ZIP+4: Albuquerque, NM 87114

PS Form 3800, June 2002 See Reverse for Instructions

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME THE TRAILS
 AGENT STEVE SALAZAR
 ADDRESS _____
 PROJECT & APP # 1003354 / 06DRB - 00633
 PROJECT NAME HERITAGE @ THE TRAILS #2

City Of Albuquerque
Treasury Division

5/5/2006 10:45AM LOC: ANNX
 RECEIPT# 00059700 WSH# 006 TRANSH# 0011
 Account 441018 Fund 0110 TRSEJA
 Activity 4971000 \$145.00
 Trans Amt
 J24 Misc \$75.00
 VI \$145.00
 CHANGE \$0.00
 Thank You

\$ 20.00 441032/3424000 Conflict Management Fee
 \$ 50.00 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ 75.00 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 145.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

5/5/2006 10:45AM LOC: ANNX
 RECEIPT# 00059699 WSH# 006 TRANSH# 0011
 Account 441006 Fund 0110
 Activity 4983000 TRSEJA
 Trans Amt \$145.00
 J24 Misc
 \$50.00
 Thank You

City Of Albuquerque
Treasury Division

City Of Albuquerque
Treasury Division

5/5/2006 10:45AM LOC: ANNX
 RECEIPT# 00059698 WSH# 006 TRANSH# 0011
 Account 441032 Fund 0110
 Activity 3424000 TRSEJA
 Trans Amt \$145.00
 J24 Misc

Counter Receipt # 6/21/04

\$20.00
Thank You

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

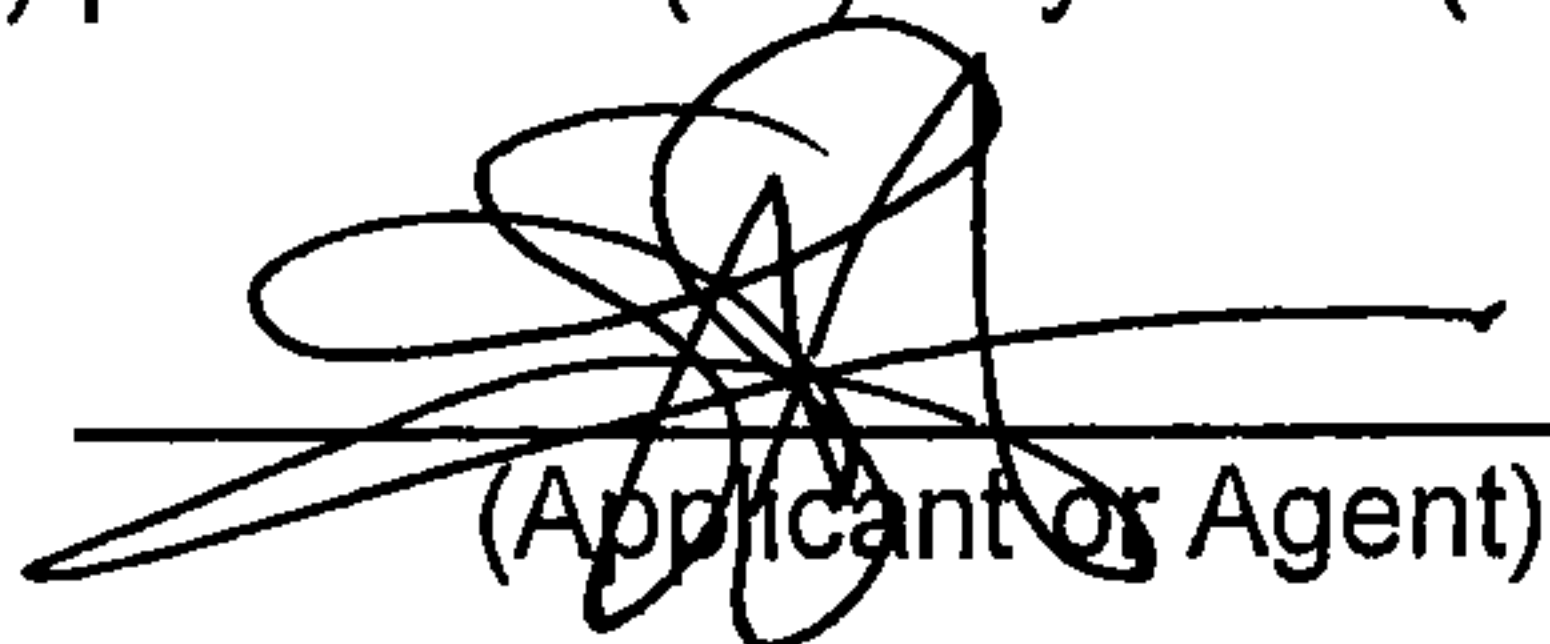
4. TIME

Signs must be posted from MAY 16, 2006 To MAY 31, 2006

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.


I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



(Applicant or Agent)

5/5/06

(Date)

I issued 2 signs for this application, 5/5/06 
(Date) (Staff Member)

DRB PROJECT NUMBER: 100 3354

HERITAGE AT THE TRAILS, UNIT 1 #1003357

Subdivision Perimeter Wall Submittal
 Conceptual Plant List
 October 6, 2003

The following is the conceptual plant list for the The Trails Subdivision Perimeter Wall Submittal. The applicant may make minor adjustments or additions to the plant materials with other similar low water use plant materials. The plants listed are in accordance with City of Albuquerque landscape and pollen control ordinances.

Trees:

<i>Botanical name</i>	<i>Common name</i>	<i>Water Use</i>	<i>Pollen</i>
<i>Chilopsis linearis</i>	Desert Willow	Low	Low
<i>Forestiera neomexicana</i>	New Mexico Privet	Medium	Low
<i>Gledistia tricanthos inermis</i>	Honeylocust	Medium	Low
<i>Populus acuminata</i>	Lanceleaf Cottonwood (cottonless)	High	Allowed species
<i>Robina neomexicana</i>	New Mexico Locust	Medium	Low

(only in water harvesting areas)

Shrubs:

<i>Botanical name</i>	<i>Common name</i>	<i>Water Use</i>	<i>Pollen</i>
<i>Artemisia frigida</i>	Fringed Sage	Low	Low
<i>Buddleia species</i>	Butterfly Bush	Low/Medium	Low
<i>Cercocarpus ledifolius</i>	Curl-leaf Mountain Mahogany	Low	Low
<i>Chrysothamnus 'Dwarf Blue'</i>	Dwarf Rubber Rabbitbrush	Low	Low
<i>Fallugia paradoxa</i>	Apache Plume	Low	Low
<i>Hesperaloe parviflora</i>	Red Flowering Aloe	Low	Low
<i>Opuntia imbricate</i>	Cholla	Low	Low
<i>Opuntia species</i>	Prickly Pear	Low	Low
<i>Rhus trilobata</i>	Three Leaf Sumac	Low	Low
<i>Santolina virens</i>	Green Santolina	Low	Low
<i>Yucca baccata</i>	Banana Yucca	Low	Low
<i>Yucca glauca</i>	Small Soapweed	Low	Low

Ornamental Grasses: (non-turf)

<i>Botanical name</i>	<i>Common name</i>	<i>Water Use</i>	<i>Pollen</i>
<i>Calamagrostis 'Karl Forester'</i>	Feather Reed Grass	Medium	Low
<i>Helictotrichon sempervirens</i>	Blue Avena Grass	Medium	Low
<i>Miscanthus s. 'Morning Light'</i>	Morning Light Maiden Grass	Medium	Low
<i>Oryzopsis hymenoides</i>	Indian Rice Grass	Low	Low
<i>Stipa tenuissima</i>	Mexican Feather Grass	Low	Low

Perennials

<i>Botanical name</i>	<i>Common name</i>	<i>Water Use</i>	<i>Pollen</i>
<i>Castilleja integra</i>	Indian Paintbrush	Low	Low
<i>Delosperma nubigenum</i>	Yellow Hardy Iceplant	Low	Low
<i>Gaillardia x grandiflora</i>	Gaillardia	Medium	Low
<i>Guara lindheimeri</i>	Guara	Medium	Low
<i>Hymenoxys acaulis</i>	Angelita Daisy	Low	Low
<i>Datura meteloides</i>	Sacred Datura	Low	Low
<i>Nepeta fassenisi</i>	Catmint	Low	Low
<i>Mirabilis multiflora</i>	Western Four-O'clock	Low	Low
<i>Oenothera caespitosa</i>	New Mexican Evening Primrose	Low	Low
<i>Penstemon species</i>	Penstemon	Low	Low
<i>Ratibida columnifera</i>	Prairie Coneflower	Low	Low
<i>Verbena rigida</i>	Sandpaper Verbena	Low	Low
<i>Zinnia grandiflora</i>	Desert Zinna	Low	Low

Irrigation System

A separate water meter will be provided for The Trails public landscaped areas. The irrigation systems will be automated low flow drip systems.

Water Harvesting

Shallow water harvesting area where natural rainfall can be collected to support plant growth will be designed where appropriate. These landscape zones will be 3-6 inches deep and will be finished with cobble, gravel or other appropriate mulches.

Tree Placement

Tree planted in the adjacent landscape to the subdivision perimeter walls will be placed to avoid conflicts with utilities. Water and sewer utilities are typically located within the road bed and the dry utilities typically between the back of roadway curb and the edge of the right-of-way. It is anticipated that utility lines will be located in the typical locations and all electrical lines are planned to be buried within The Trails development. The utility and the landscape plans will be coordinated to avoid planting over the utility lines. Final coordination and design between the landscape and utility lines will be submitted during the Design Review Committee plan review.

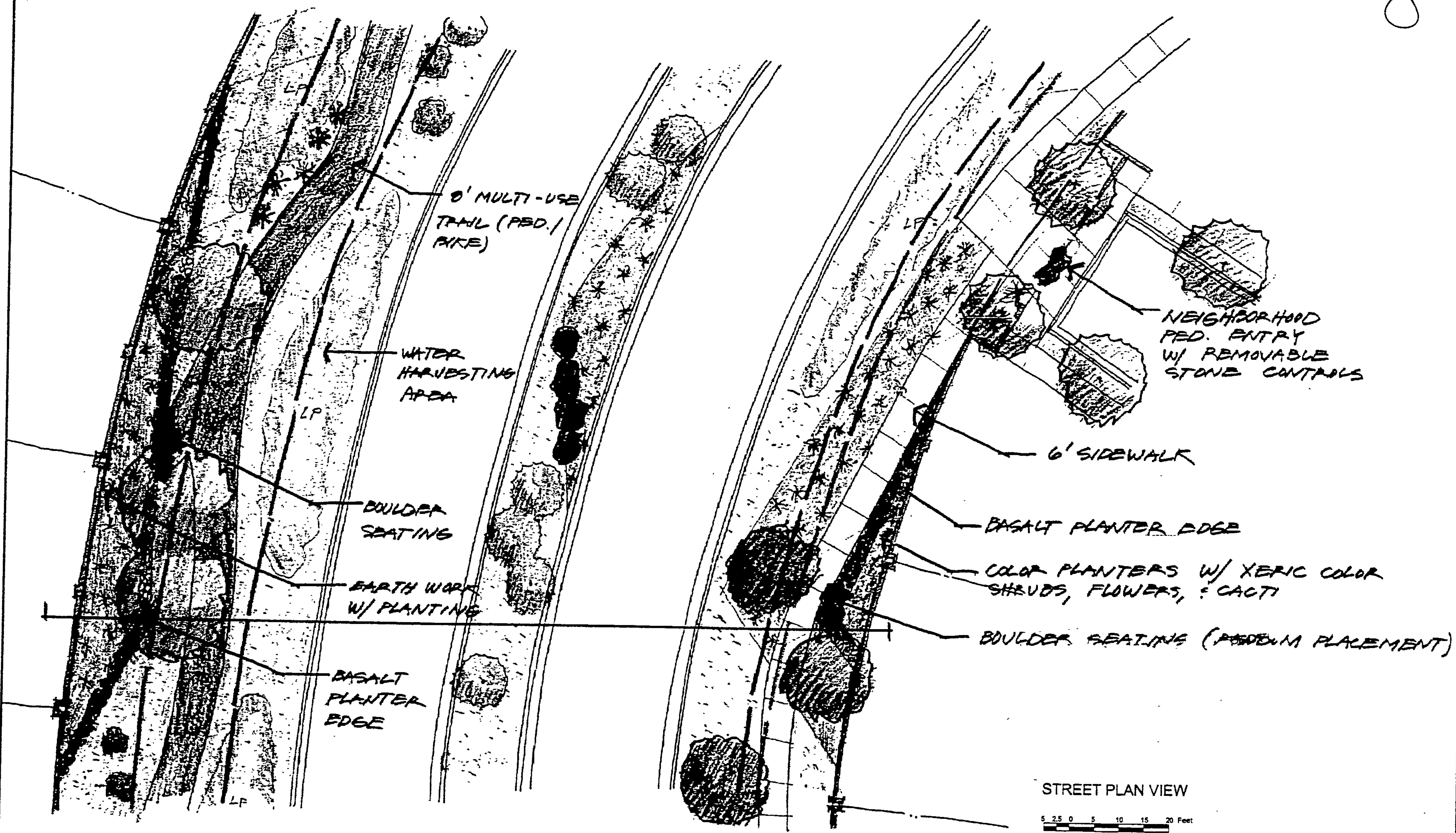
Wall Colors and Materials

The Trails subdivision perimeter wall colors and materials will be consistent with the requirements of the Northwest Mesa Escarpment Plan. The primary wall colors will be in the tans and brown tones. The wall will be integrally colored concrete masonry material. the wall piers and wall runs shall be differentiated in blocks style or color .

Landscape Maintenance

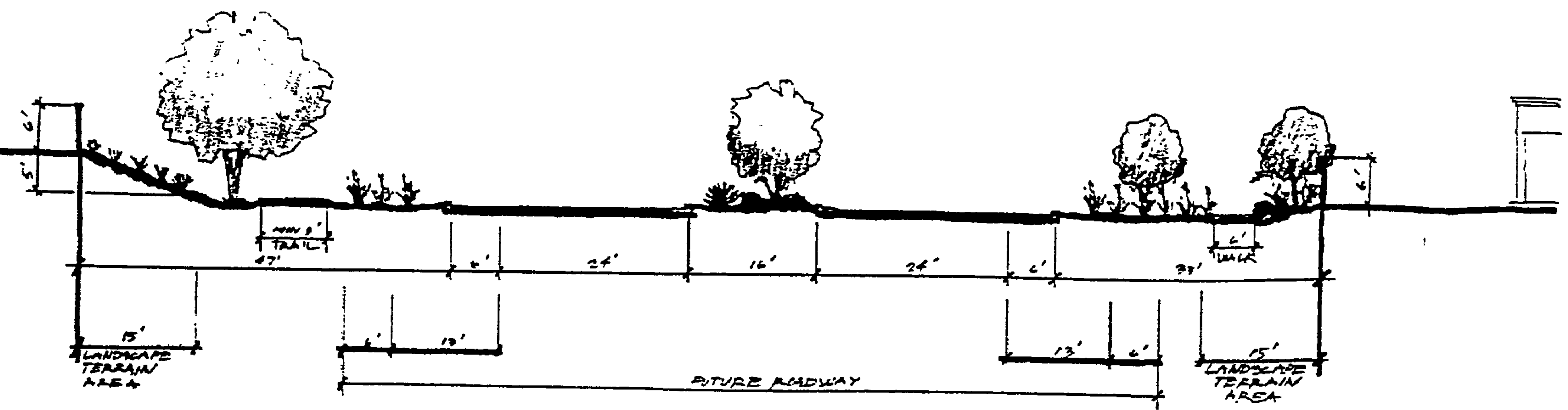
The Trails developer will maintain the public landscaped areas until such time as the maintenance responsibility is transferred to a community homeowners association ~~or other similar community entity~~

nl 12-31-03



STREET PLAN VIEW

5 2.5 0 5 10 15 20 Feet



STREET CROSS SECTION

5 2.5 0 5 10 15 20 Feet

PASEO DEL NORTE & RAINBOW BLVD
 ZONE ATLAS # C-9
 DRB PROJECT #1003354

GLD
 5/18/04

HERITAGE AT THE TRAILS, UNIT 1

Perimeter Wall approved
[Signature]
 DKB Chief
 6/2/04
 Date

THE TRAILS LLC.
 LAND DEVELOPER

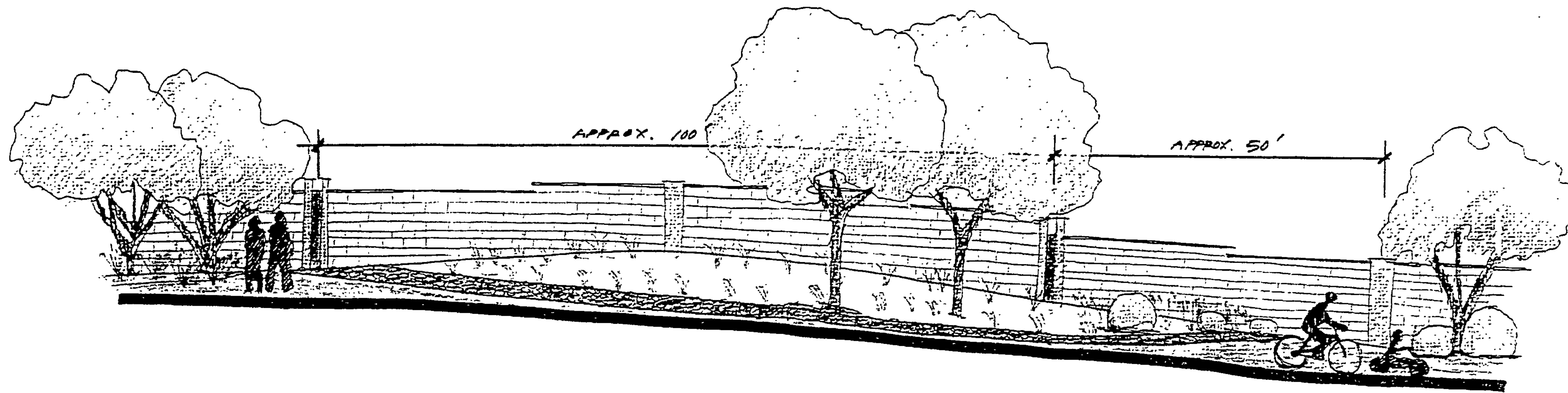
DENISH - KLINE & ASSOCIATES
 PLANNING CONSULTANTS

DESIGNWORKSHOP
 LAND PLANNING / LANDSCAPE ARCHITECTURE

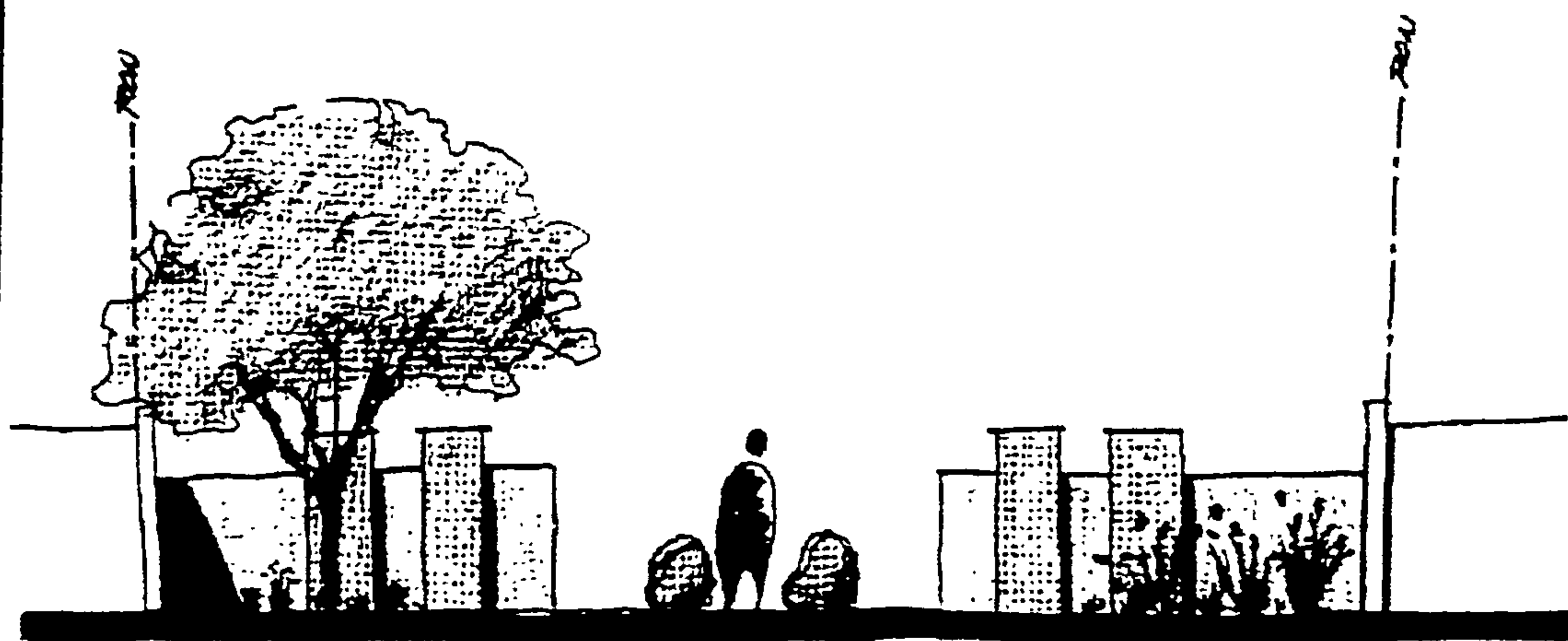
BOHANNAN HUSTON
 CIVIL ENGINEERING

Site Location
 Southeast Paseo del Norte / Rainbow Boulevard

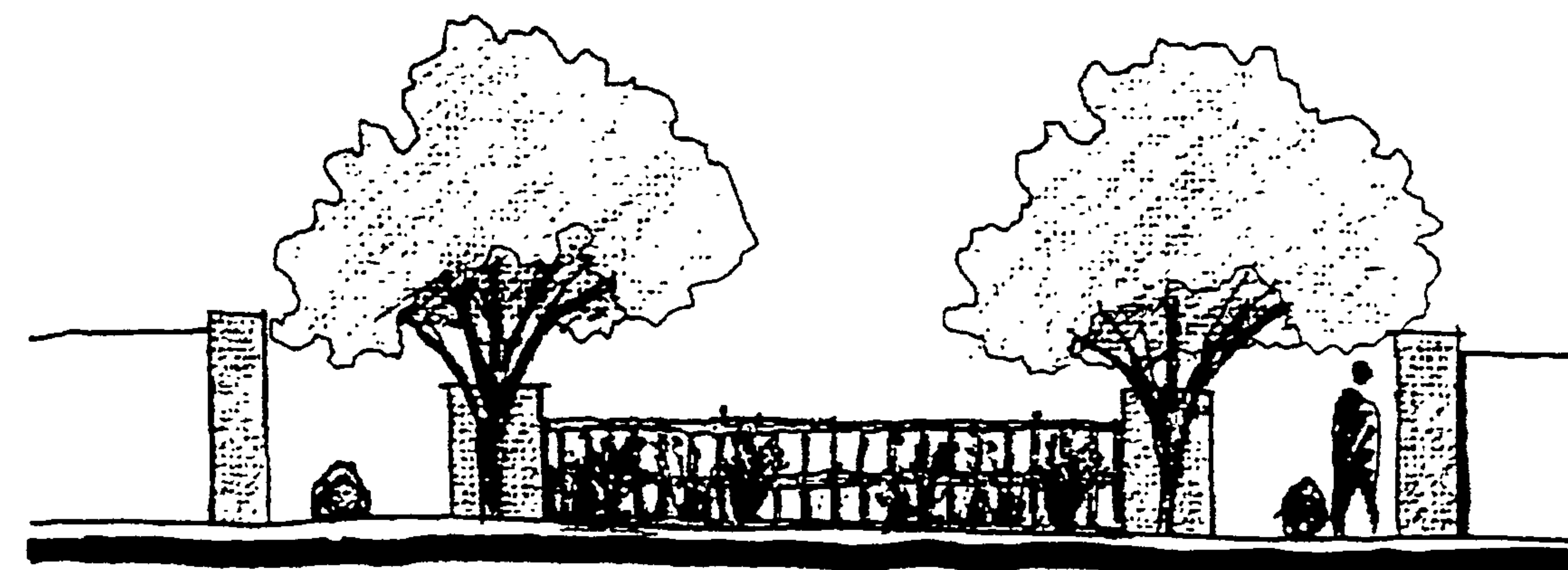
C-9 - Project Number
 The Trails #1003354



RAINBOW BOULEVARD - WEST EDGE
CONCEPTUAL LANDSCAPE AND WALL DESIGN
(NTS)



PEDESTRIAN OPENING ELEVATION alternative A



PEDESTRIAN OPENING ELEVATION alternative B



THE TRAILS LLC.
LAND DEVELOPER

DENISH - KLINE & ASSOCIATES
PLANNING CONSULTANTS

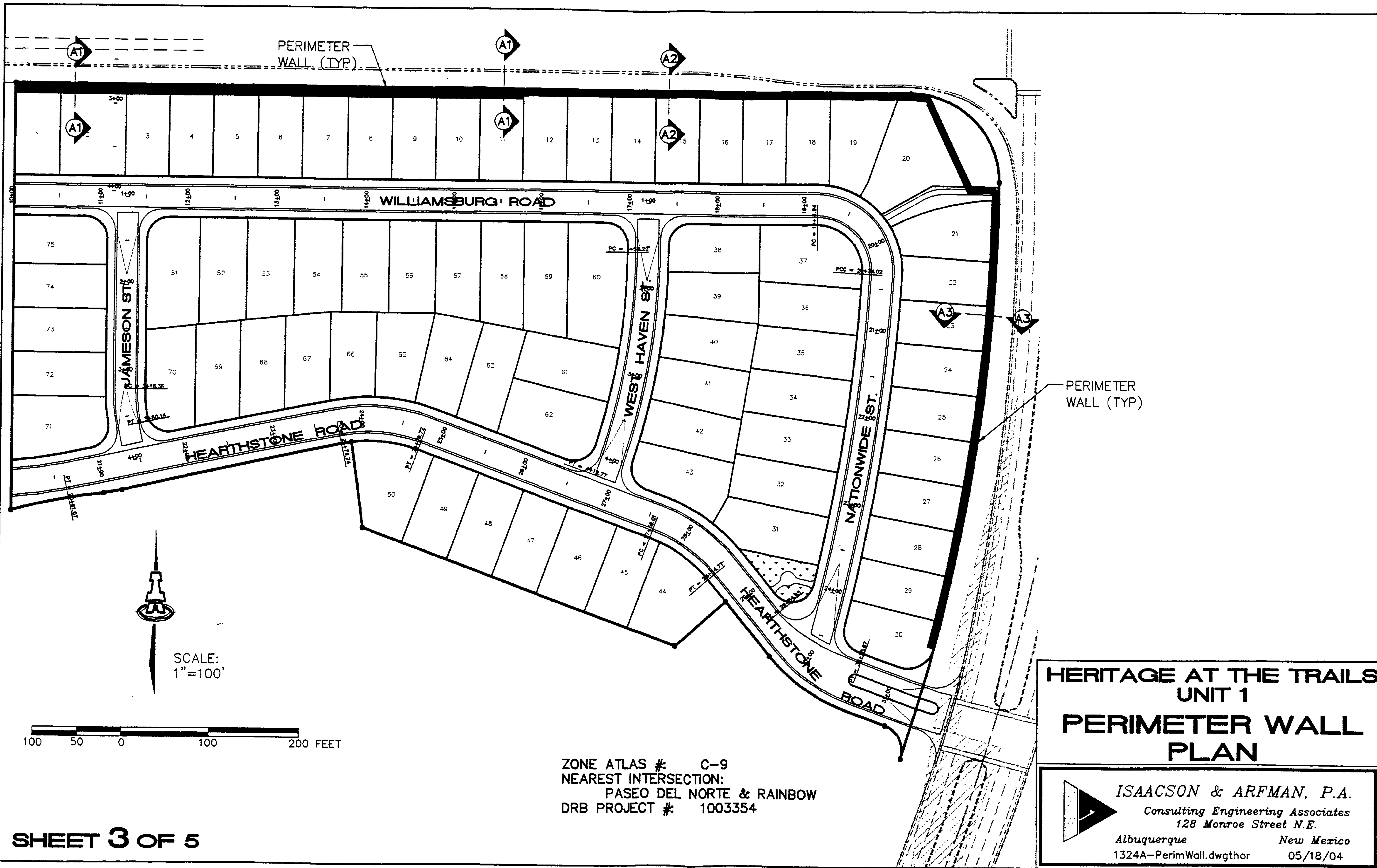
DESIGNWORKSHOP
LAND PLANNING / LANDSCAPE ARCHITECTURE

BOHANNAN HUSTON
CIVIL ENGINEERING

Site Location
South of Paseo del Norte/Rainbow Boulevard

C.O.A. Project Number
The Trails #1002928

DATE	PAGE
OCT. 06, 2003	2 OF 5

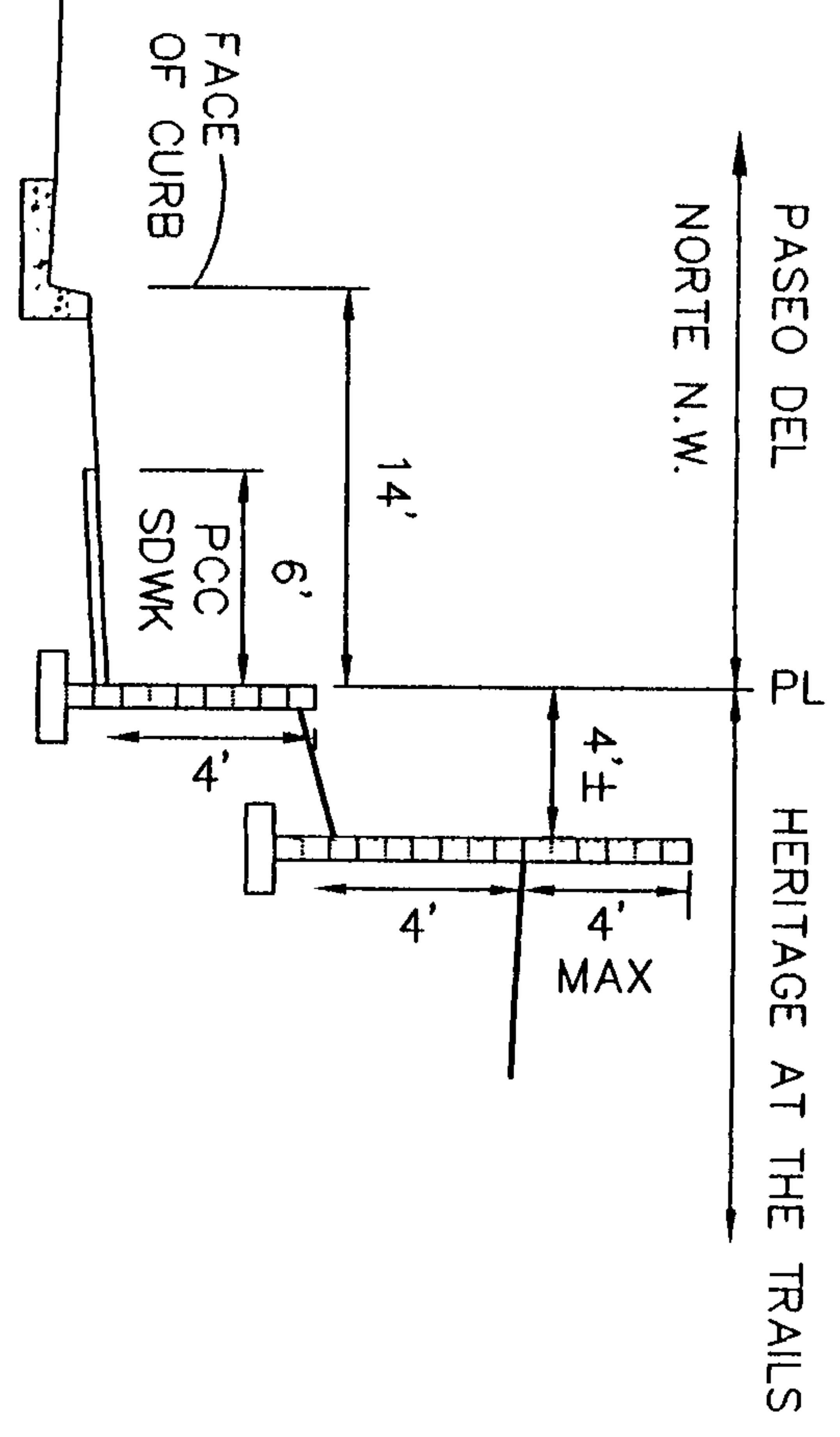


**HERITAGE AT THE TRAILS
UNIT 1
PERIMETER WALL
PLAN**

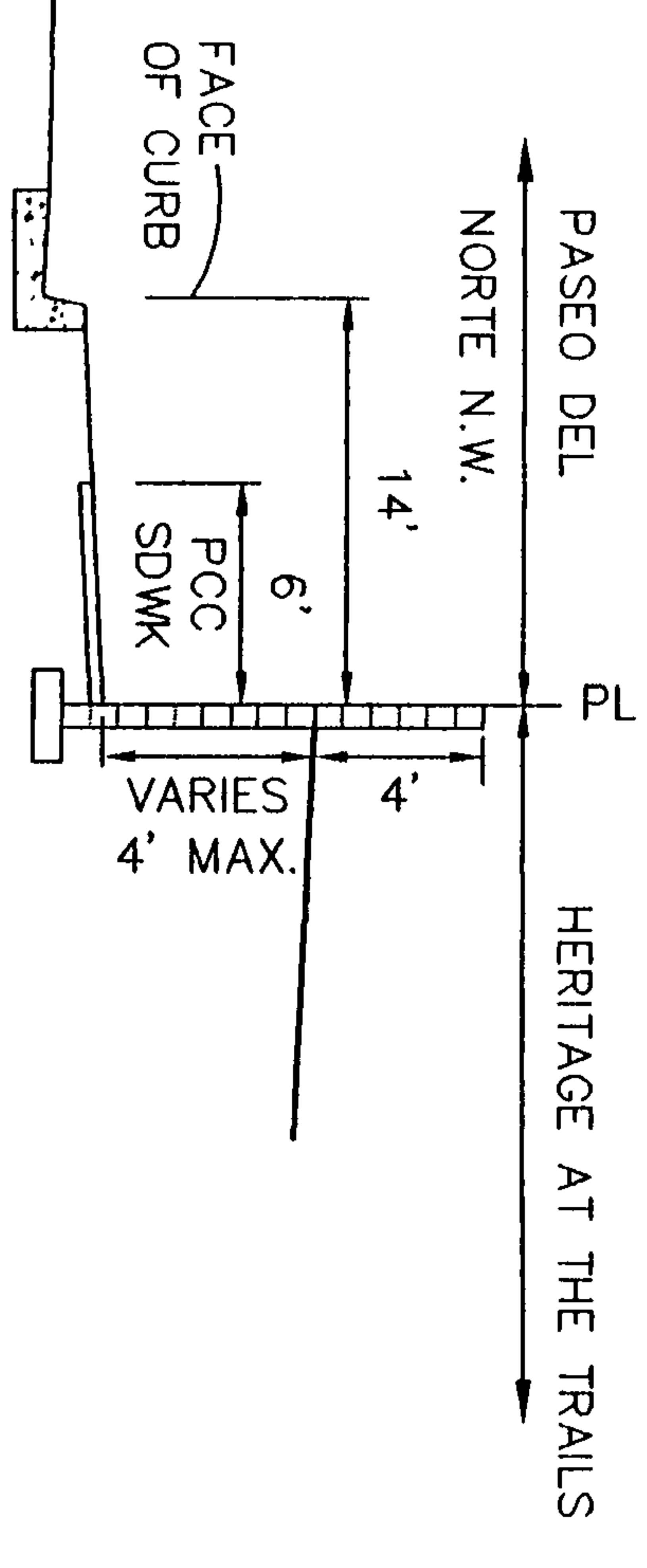
ZONE ATLAS #: C-9
 NEAREST INTERSECTION:
 PASEO DEL NORTE & RAINBOW
 DRB PROJECT #: 1003354



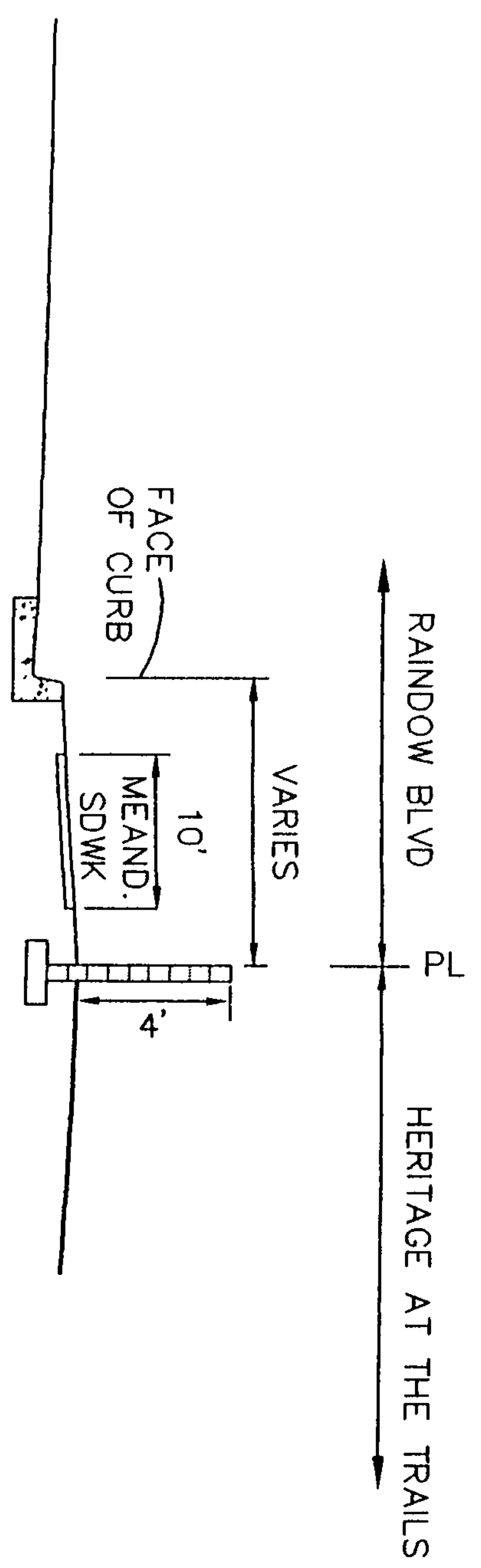
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico
 1324A-PerimWall.dwgthor 05/18/04



SECTION A1-A1
DOUBLE WALL
NTS



SECTION A2-A2
SINGLE WALL
NTS

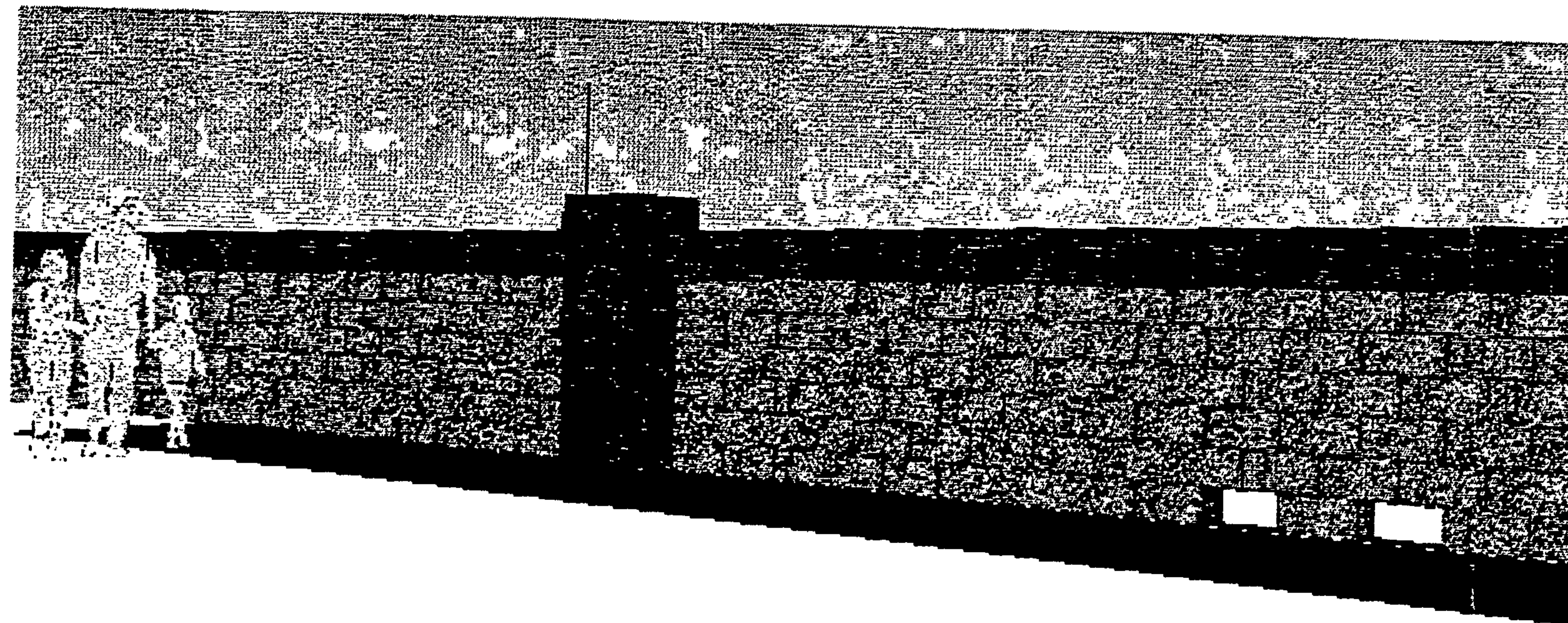
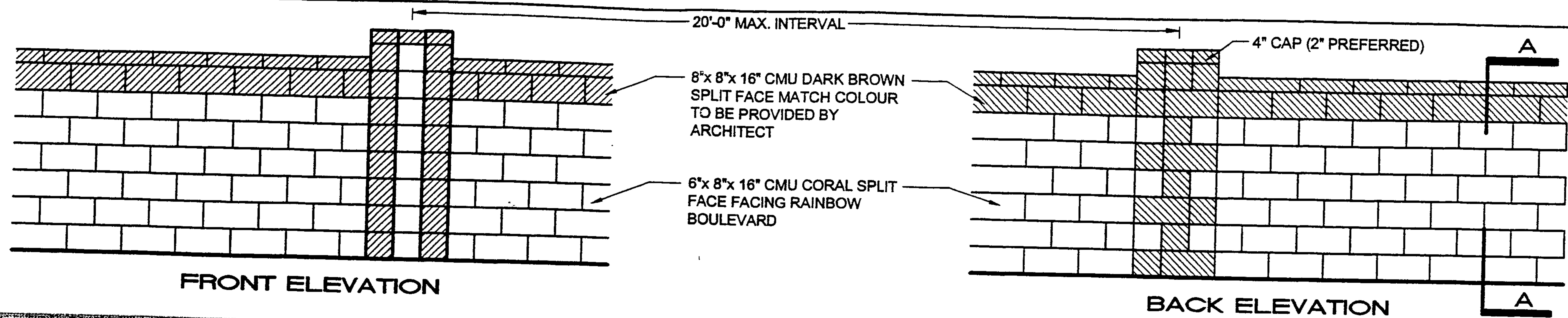


SECTION A3-A3
SINGLE WALL
NTS

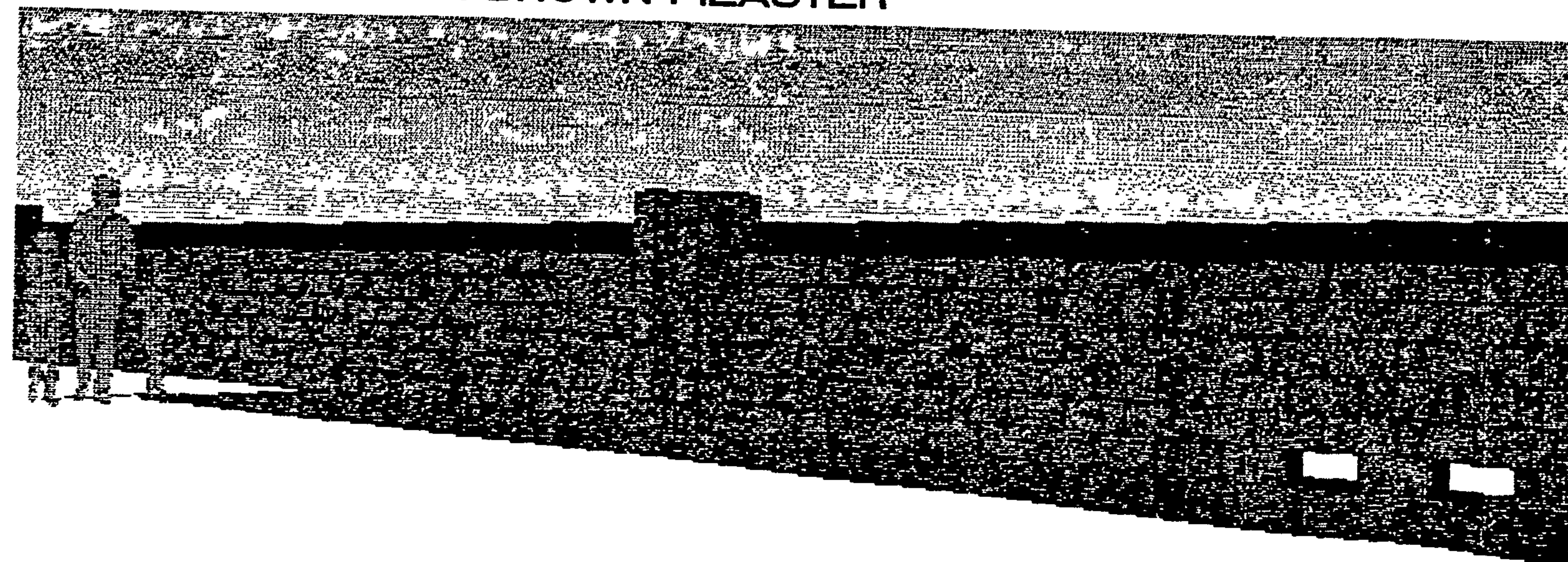
**HERITAGE AT THE TRAILS
UNIT 1
PERIMETER WALL
SECTIONS**

ZONE ATLAS # C-9
NEAREST INTERSECTION:
PASEO DEL NORTE & RAINBOW
DRB PROJECT #: 1003354

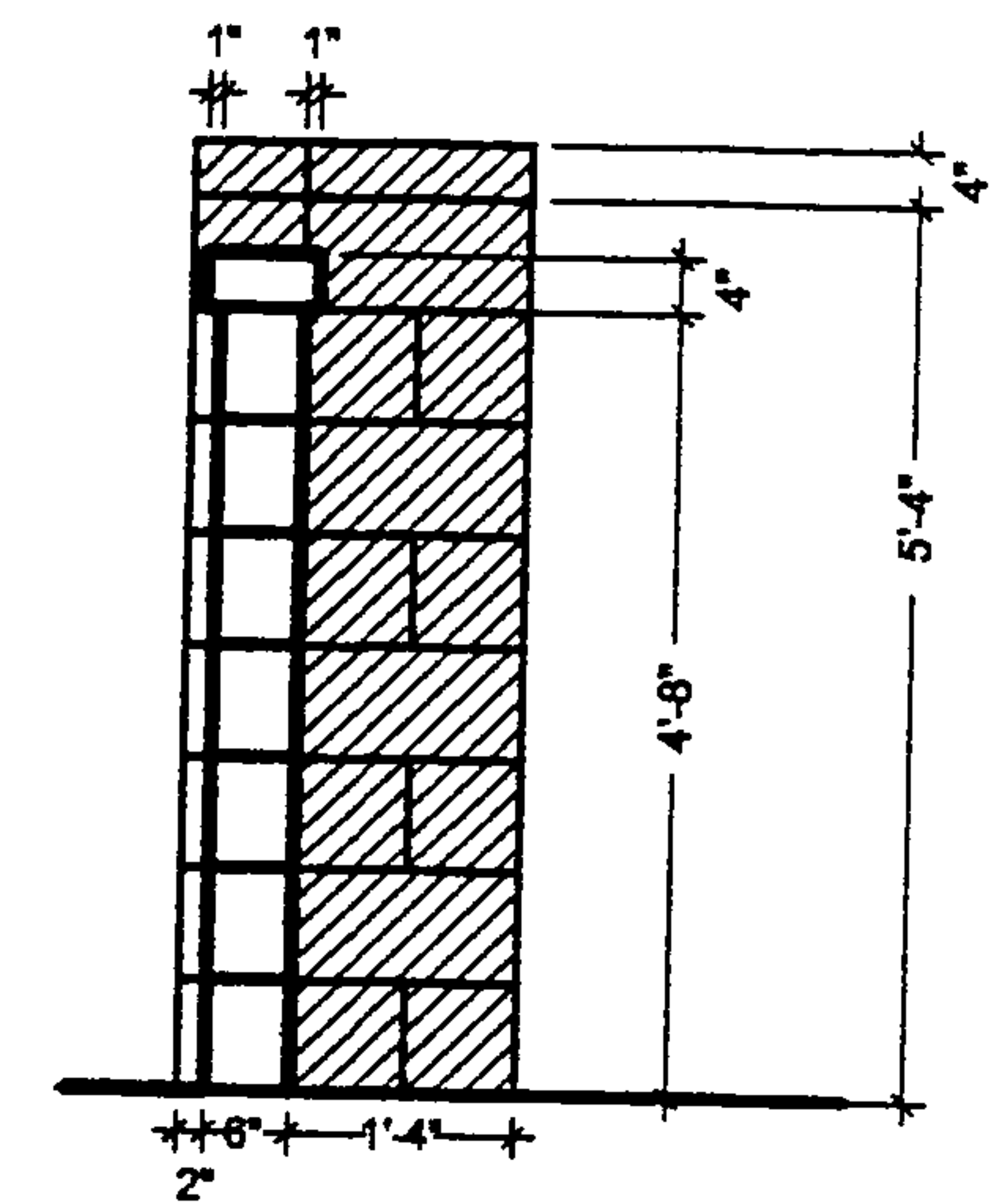
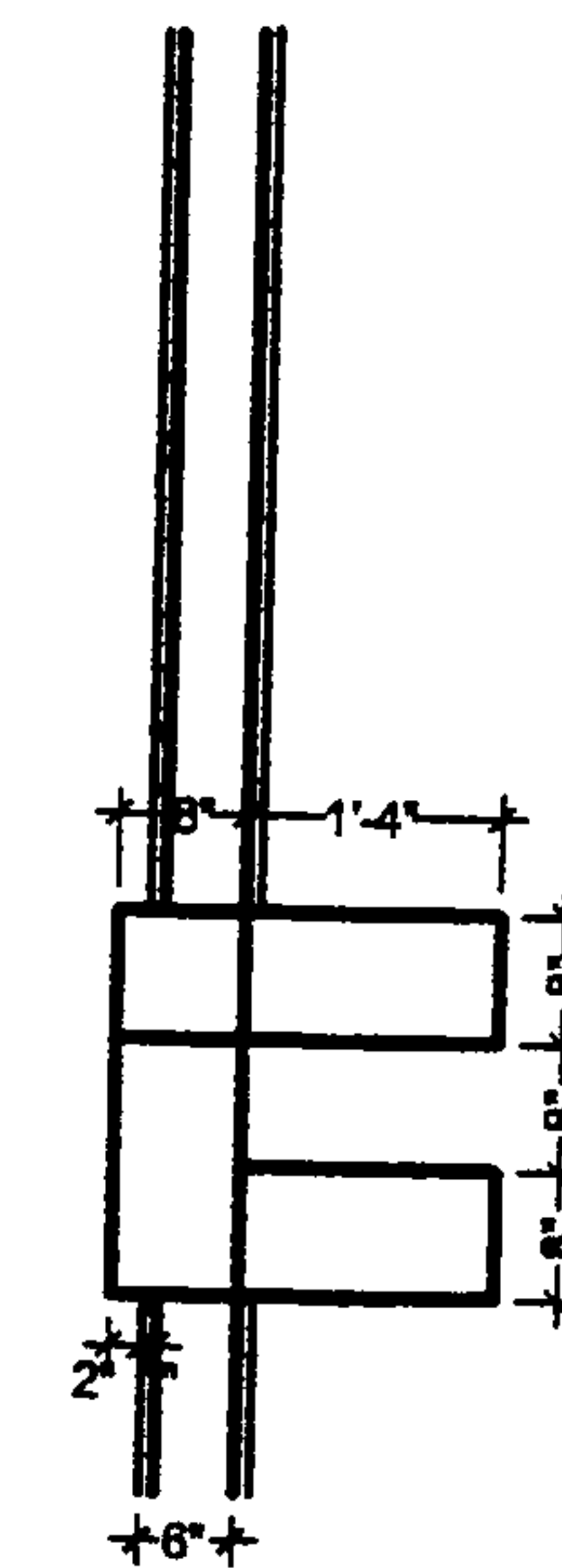
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico
1324A-PerimWall.dwgthor 03/19/04



PERSPECTIVE DARK BROWN PILASTER

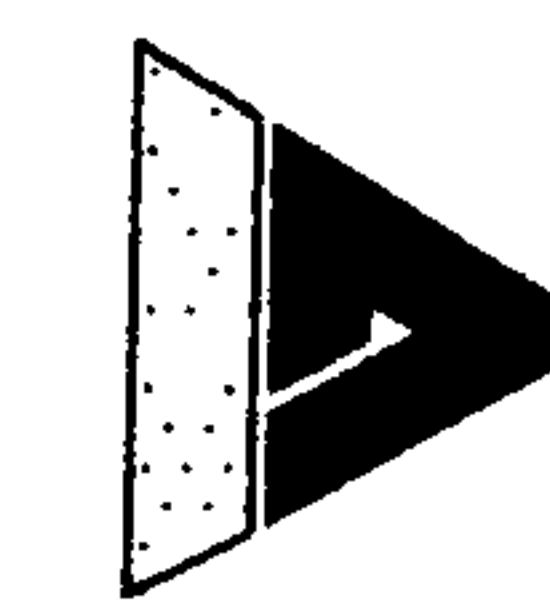


PERSPECTIVE CORAL PILASTER



ZONE ATLAS #: C-9
 NEAREST INTERSECTION:
 PASEO DEL NORTE & RAINBOW
 DRB PROJECT #: 1003354

HERITAGE AT THE TRAILS
 UNIT 1
 PERIMETER WALL
 DETAILS



ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico
 1324A-PerimWall.dwgthor 03/19/04

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Claire

Date Submitted: March 24, 2004
Date Site Plan Approved: _____
Date Preliminary Plat Approved: 4/21/04
Date Preliminary Plat Expires: 4/21/05
DRB Project No.: 1003354
DRB Application No.: 04DRB-00457

▲ 6/29/04

HERITAGE AT THE TRAILS, UNIT 1

PROPOSED NAME OF PLAT

TRACT A, THE TRAILS

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Const Engineer
		28' F-F	Residential Paving	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		28' F-F	Residential Paving	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		32' F-F	Residential Paving	Hearthstone Road	West Property Line	Williamsburg Road <i>Nationwide Street</i>	/	/	/
		50' F-F (incl Median)	Residential Paving	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/
		31' F-F (half of full width)	Arterial Paving (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
			Modified Procedure "C" <i>SEE NOTE 9</i>	Paseo del Norte			/	/	/
		31' F-F <i>(half of full width)</i>	Arterial Paving <i>(11)</i>	<i>Paseo del Norte</i>	<i>W. Prop. line</i>	<i>Rainbow Blvd</i>	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/


ORIGINAL

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		Std. or Mntbl	Curb and Gutter (6)	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Hearthstone Road	West Property Line	Rainbow Blvd.	/	/	/
		Median	Curb and Gutter	Hearthstone Road	E. of Nationwide Street	Rainbow Blvd.	/	/	/
		Std.	Curb and Gutter (8) (West Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		Median	Curb and Gutter (8) (East Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Hearthstone Road	West Property Line	Nationwide Street	/	/	/
		4'	PCC Sidewalk (North Side Only)	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/
		4'	PCC Sidewalk (1) (South Side Only)	Hearthstone Road	West PL - Lot 50	East PL - Lot 44	/	/	/
		10'	Asphalt Trail (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		10'	Asphalt Trail (12)	Tract as-1	West PL	East PL	/	/	/
		8"	Waterline	Public Easement on Lot 2	Paseo Del Norte	Williamsburg Road	/	/	/
		6"	Waterline	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		6"	Waterline	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/

ORIGINAL

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		8"	Waterline	Hearthstone Road	West Property Line	Rainbow Blvd.	/	/	/
		6"	Waterline	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		6"	Waterline	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		20"	Waterline (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
							/	/	/
		8"	SAS	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		8"	SAS	Hearthstone Road	West Property Line	Lot 44	/	/	/
		8"	SAS	Jameson Street	Lot 70 - South End	Williamsburg Road	/	/	/
		8"	SAS	West Haven Street	Hearthstone Road	Williamsburg Road	/	/	/
		8"	SAS	Nationwide Street	Williamsburg Road	Lot 30	/	/	/
		8"	SAS	Lot 21 Easement	Williamsburg Road	Rainbow Blvd.	/	/	/
		8" - 12"	SAS (8)	Tracts B, D, F, & J	Lot 21 Easement	Universe Blvd	/	/	/
		750 gpm	Temp SAS Lift Station (8)	Tract J	Universe Blvd		/	/	/
		8"	Temporary SAS Force Main (8)	Universe Blvd	Tree Line Avenue	Paseo del Norte	/	/	/
							/	/	/
		30"	RCP Storm Drain	Lot 2 Easement	Williamsburg Road	Paseo del Norte	/	/	/
		36" - 42"	RCP Storm Drain	Paseo Del Norte	Lot 2	Rainbow Blvd.	/	/	/
		24"	RCP Storm Drain	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/

ORIGINAL

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		30"	RCP Storm Drain	Lot 21 Easement	Williamsburg Road	Rainbow Blvd	/	/	/
		30"	RCP Storm Drain	Williamsburg Road	West Property Line	Lot 21 Easement	/	/	/
		24"	RCP Storm Drain	Tract OS-1	Hearthstone Road	Santa Fe at the Trails	/	/	/
		24"	RCP Storm Drain	Rainbow Blvd (at Hearthstone Road)	West right-of-way line	East right-of-way line	/	/	/
		30"-48"	RCP Storm Drain	Rainbow Blvd (at Lot 21 Easement)	West right-of-way line	East right-of-way line	/	/	/
		6.46 Ac-Ft	Retention Pond on unplatted land east of Tract B, The Trails. w/ easmt, Covenant & Agreement, and emergency overflow				/	/	/
		0.77 Ac-Ft	Temporary Retention Pond on property west of Heritage at the Trails, Unit 1. w/ easmt, Covenant & Agreement, and emergency overflow				/	/	/
			\$250,000 drainage mitigation contribution by Procedure B' modified				/	/	/
			Temporary Storm Drain Pump Station & Force Main (10)	Universe Blvd	Pond L	Las Ventanas Dam.	/	/	/
			Perimeter walls (not subject to financial guaranty)				/	/	/
			Landscaping water meter				/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

NOTES:

1. Sidewalks to be deferred where noted.
2. Residential lighting per DPM.
3. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
4. All water to include fire hydrants, valves, and appurtenances per DPM.
5. Storm drain sizes are subject to change per final DRC determination.
6. Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.
7. Not used
8. Adjacent portions of Rainbow Blvd to be built by a separate project. (DRB Project#1002962, CPN#730081) ~~Rainbow Blvd not financially guaranteed with this project.~~
9. Offsite Traffic Mitigation Fees of \$565 per lot to be paid by Modified Procedure "C" (non-work order): \$565/lot x 75 lots = \$42,375

10. ~~Includes removal and replacement of existing asphalt. To be deferred. Financial Guaranty amount to be reviewed and approved by the City of Albuquerque Hydrology Planning Department in addition to the standard DRC procedure review.~~

11. [⚠] by Modified Procedure 'c' (non-work order) is an option (concourse from DMD required)

12. Trail to be built by a separate project

AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Genevieve Donart, PE NAME (print)	<i>Sharon Watson</i> 4/21/04 DRB CHAIR - date	<i>Christina Dandora</i> 4/21/04 PARKS & GENERAL SERVICES - date	
Isaacson & Arfman, P.A. FIRM	<i>Jeffrey</i> 4-21-04 TRANSPORTATION DEVELOPMENT - date		AMAFCA - date
<i>Genevieve Donart</i> 4/21/04 SIGNATURE - date	<i>Roger Albee</i> 4/21/04 UTILITY DEVELOPMENT - date		- date
MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB DECISION: _____	<i>Brad L. Bigham</i> 4-21-04 CITY ENGINEER - date		- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
⚠	6/24/04	<i>[Signature]</i>	<i>Brad B.</i>	<i>Genevieve Donart</i>

13. Landscape Maintenance Agreement between city and the H.O.A. is required for landscaping in the public right-of-way.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
___ Major Subdivision action		___ Annexation	
___ Minor Subdivision action		___ County Submittal	
___ Vacation	V	___ EPC Submittal	
___ Variance (Non-Zoning)		___ Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	___ Sector Plan (Phase I, II, III)	
___ ...for Subdivision Purposes		___ Amendment to Sector, Area, Facility or Comprehensive Plan	
___ ...for Building Permit		___ Text Amendment (Zoning Code/Sub Regs)	
___ IP Master Development Plan			
___ Cert. of Appropriateness (LUCC)	L		
		APPEAL / PROTEST of...	A
		___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

761-9606

NAME: Centex Homes PHONE: ~~571-2505~~
 ADDRESS: 5120 Masthead NE FAX: 761-9850
 CITY: ABQ STATE NM ZIP 87109 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): ISAACSON + Arfman, P.A. PHONE: 268-8828
 ADDRESS: 128 Monroe Street NE FAX: 268-2632
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: _____

DESCRIPTION OF REQUEST: Major Final Plat approval (t/b ka Heritage at the Trails, Unit 1)

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A Block: _____ Unit: _____
 Subdiv / Addn. The Trails
 Current Zoning: R-D Proposed zoning: Same proposed tracts: 3
 Zone Atlas page(s): C-9 No. of existing lots: 1 No. of proposed lots: 75

Total area of site (acres): 13.8660 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No ____, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 100906423043720315 MRGCD Map No. NA

LOCATION OF PROPERTY BY STREETS: On or Near: Paseo del Norte Blvd. NW
 Between: Universe Blvd. NW and Rainbow Blvd. NW

CASE HISTORY: Proj # 1003354 03DRB-01528;
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 1002962;
04DRB-00457; 04DRB-00458; 04DRB-00459; 04DRB-00461

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Genny Donart DATE 9/13/04
 (Print) Genny Donart Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>04DRB - 01416</u>	<u>FP</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
				Total
				\$ <u>20.00</u>

Hearing date 9.22.04

Project # 1003354

Cheryl Larson 9/14/04
 Planner signature / date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

- SKETCH PLAT REVIEW AND COMMENT** **YOUR ATTENDANCE IS REQUIRED.**
- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application

- MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT** **Your attendance is required.**
- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Copy of previous D.R.B. approved infrastructure list
 - Copy of the Official D.R.B. Notice of approval
 - Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Design elevations & cross sections of perimeter walls *approved*
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - SIA financial guaranty verification
 - NA* Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Any original and/or related file numbers are listed on the cover application
 - DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.** *forthcoming*

- MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
 - Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**
 - DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- AMENDMENT TO PRELIMINARY PLAT (with minor changes)** **Your attendance is required.**
- AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**
- AMENDMENT TO GRADING PLAN (with minor changes)**
- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

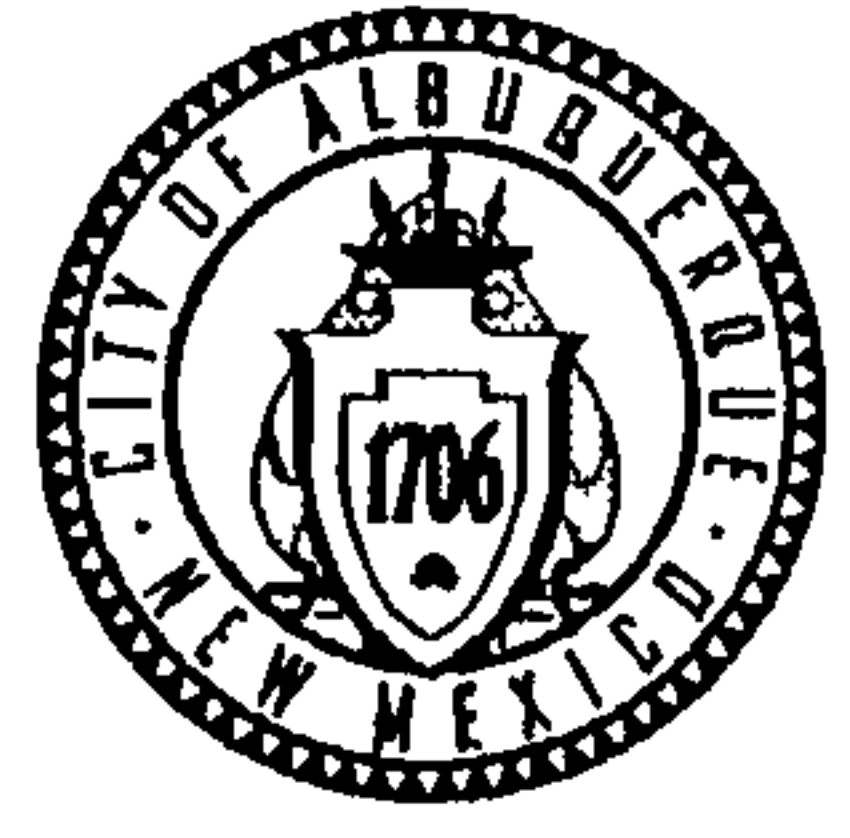
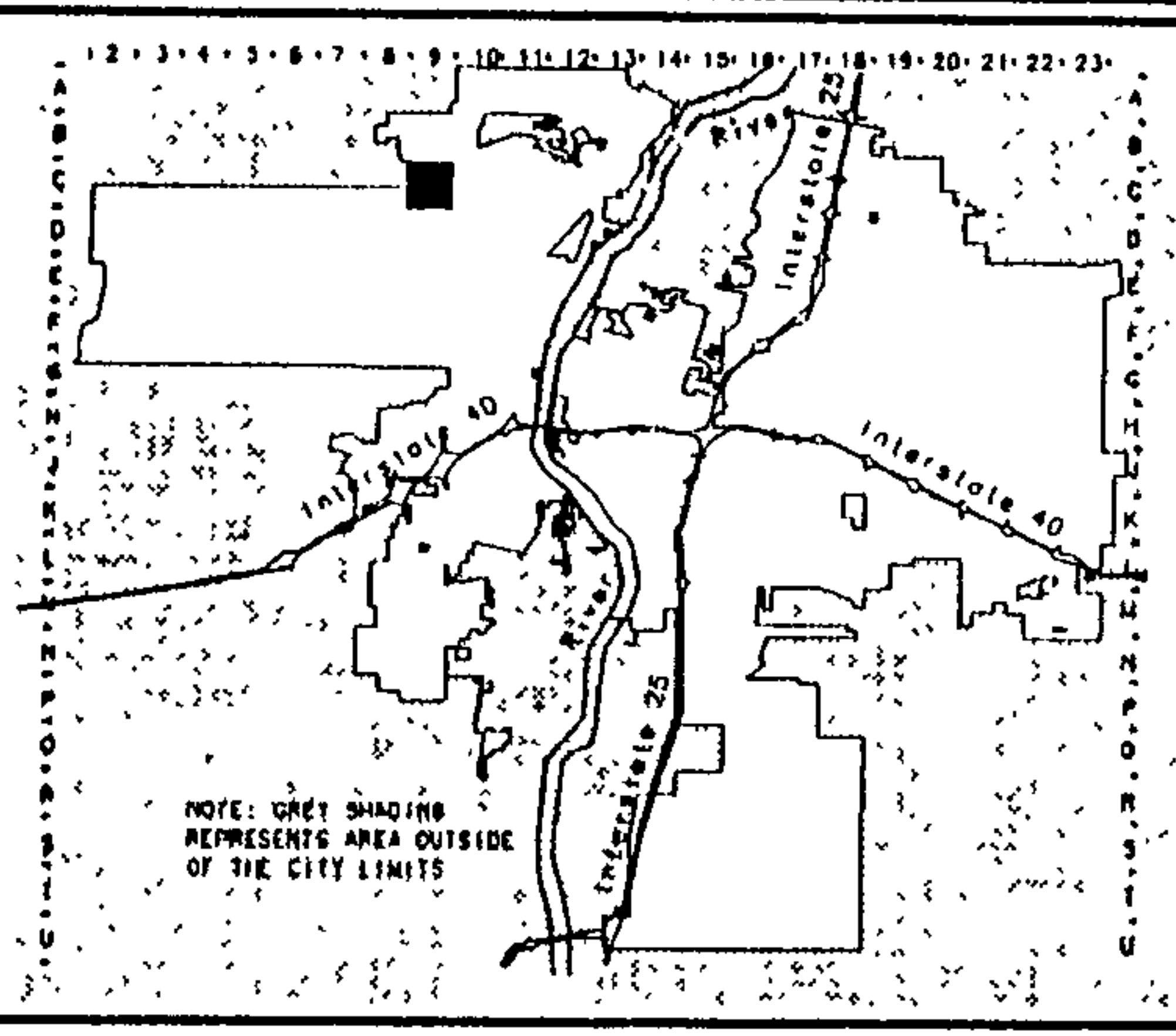
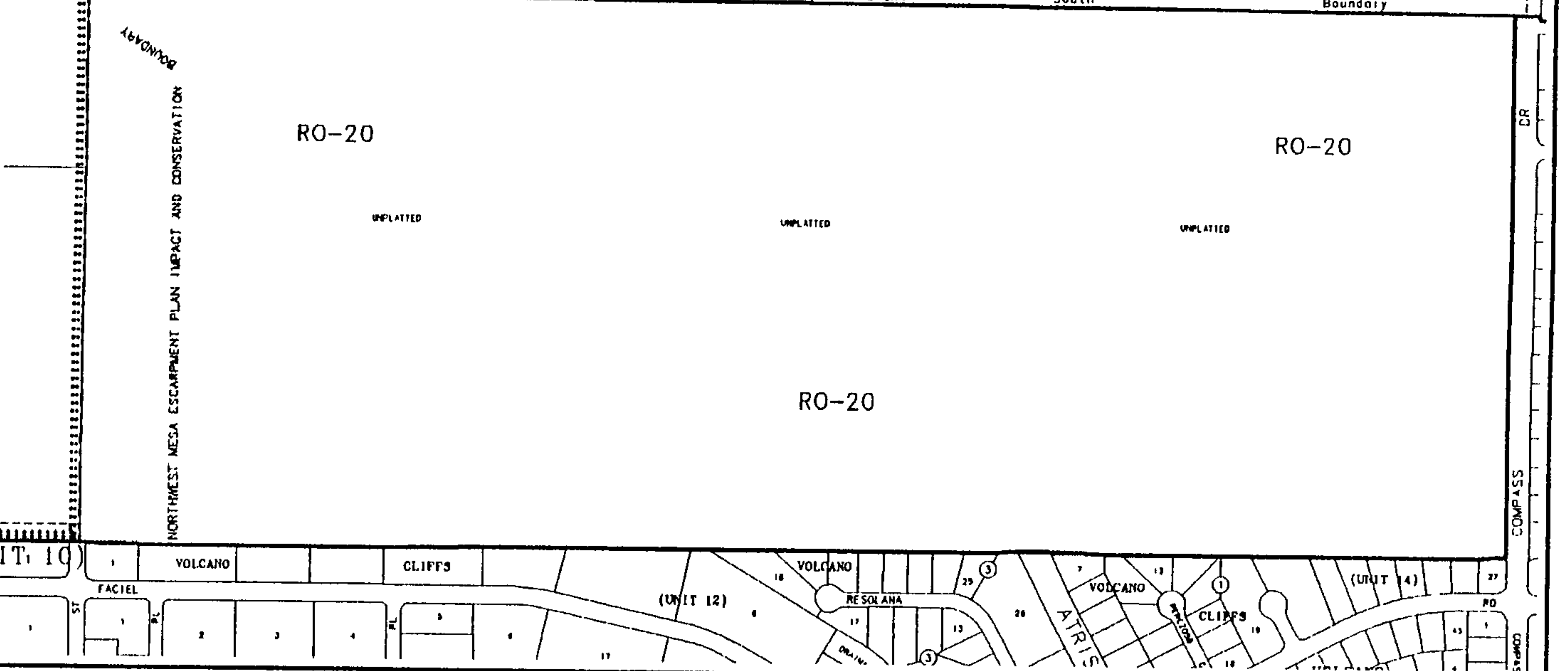
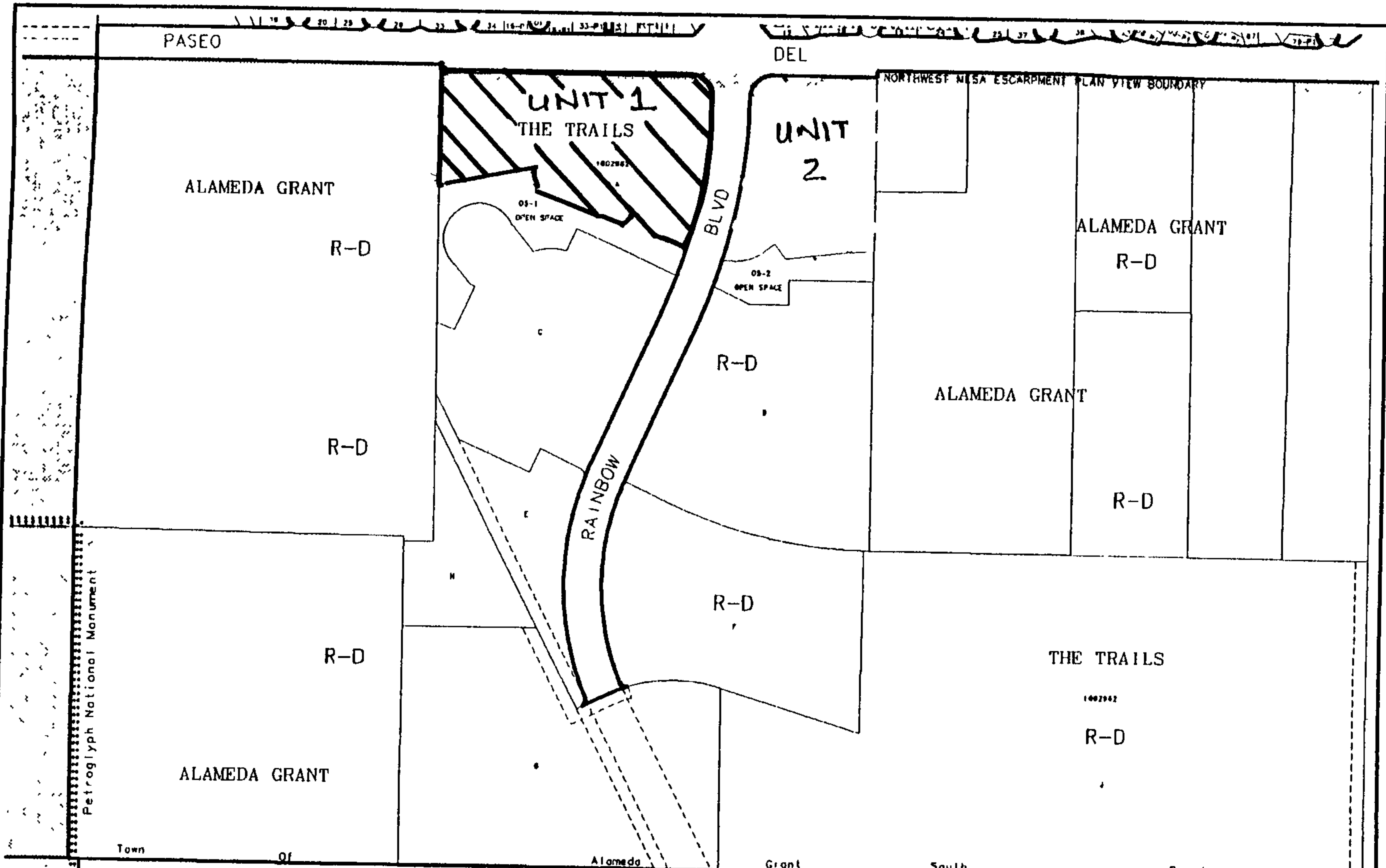
Genny Donart Applicant name (print)
Genny Donart Applicant signature / date
 9/13/04



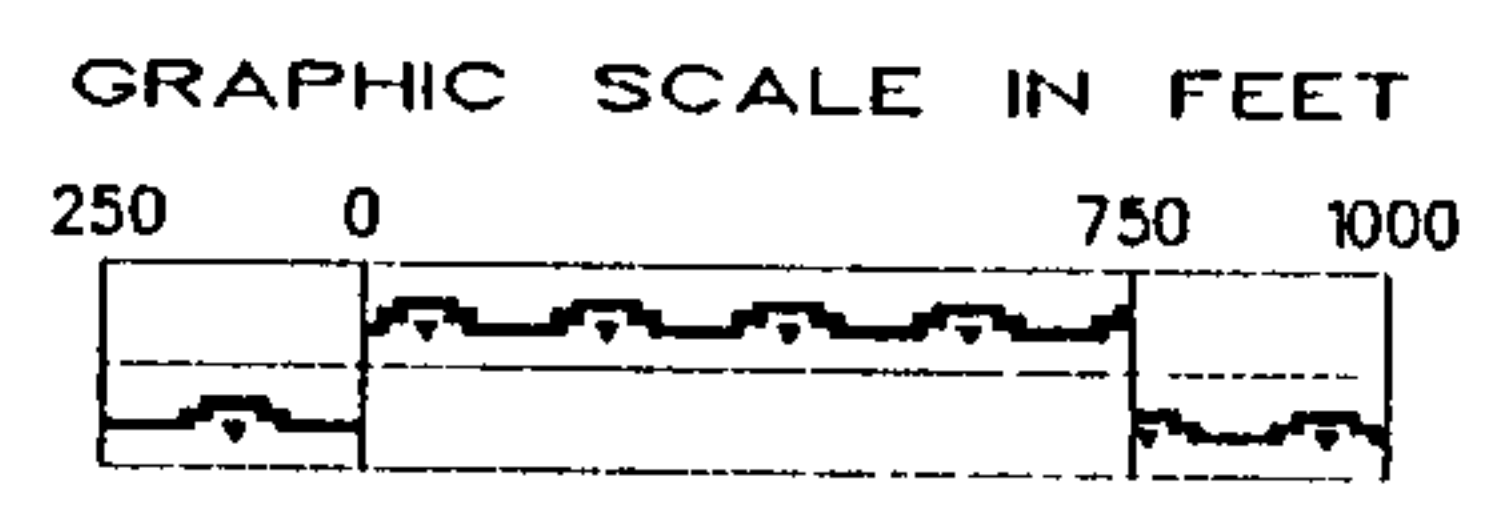
Form revised 3/03 and 8/03

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 0412B - 01416

Oliver Jernon 9/14/04
 Planner signature / date
Project # 1003354



Abuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT
 © Copyright 2004



Zone Atlas Page
C-9-Z
 Map Amended through March 01, 2004

FINANCIAL GUARANTY AMOUNT

06/30/2004

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

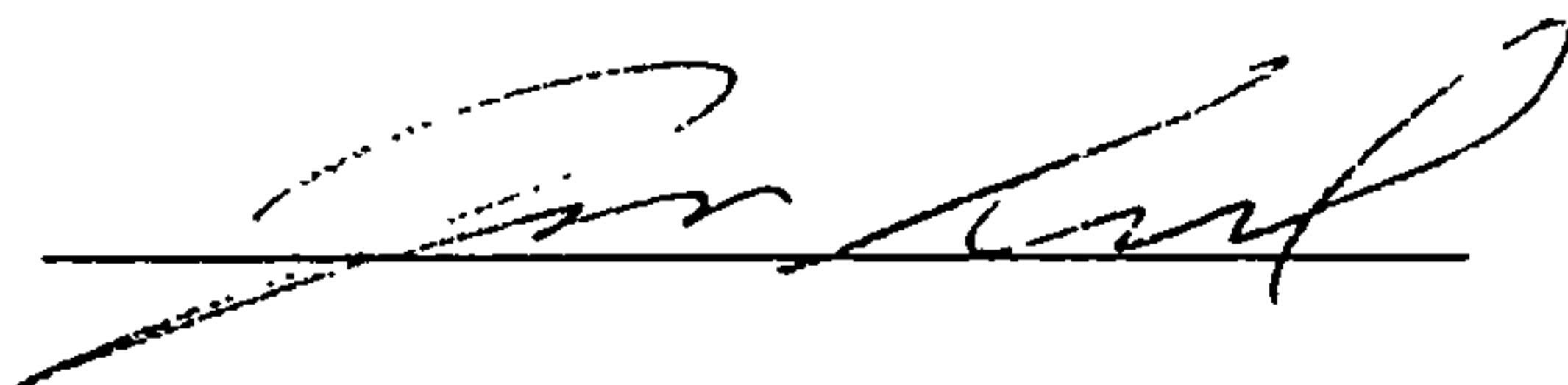
Project ID #: 738481, Heritage @ The Trails, Unit 1, Phase/Unit #: 1

Requested By: Genny Donart, PE w/ Isaacson & Arfman, P. A.

Approved estimate amount:		\$346,544.06
Contingency Amount:	10.00%	\$34,654.41
Subtotal:		\$381,198.47
NMGRT	5.8125%	\$22,157.16
Subtotal:		\$403,355.63
Engineering Fee	6.60%	\$26,621.47
Testing Fee	2.00%	\$8,067.11
Subtotal:		\$438,044.21
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$547,555.26</u>

APPROVAL:

DATE:



6-30-2004

Notes: 10% contingency plans not approved. Certification for grading & drainage including private retaining walls prior to release of FG. Wtr & SAS by NMUI & not in this FG. Rainbow imp's FG'ed w/ 730081.



Mary Herrera

Bern. Co. AGRE

R 31.00

2004123607

6137102

Page: 12 of 12

08/31/2004 02:07P

Bk-A83 Pg-3273

FINANCIAL GUARANTY AMOUNT

07/12/2004

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

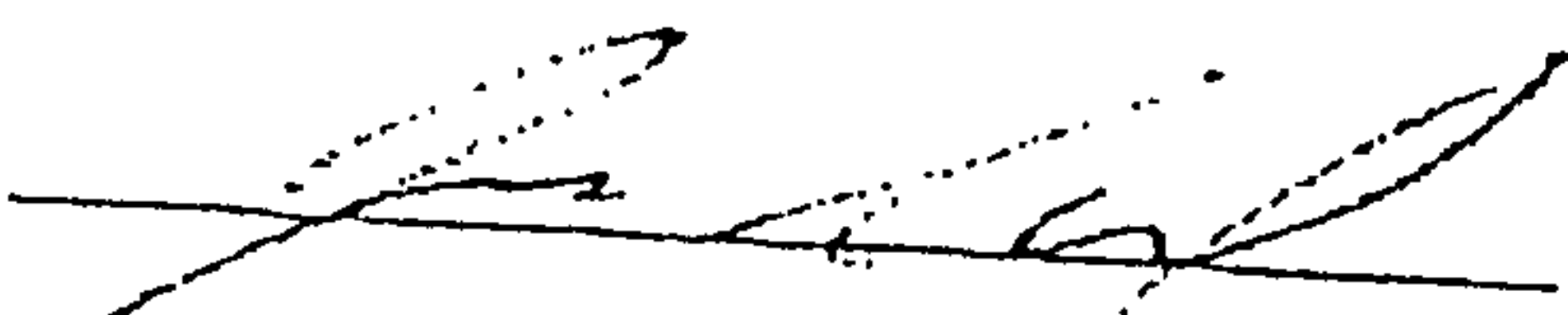
Project ID #: 738484, Paseo del Norte Near Heritage At The Trails, Phase/Un

Requested By: Genny Donart, PE w/ Isaacson & Arfman, P.A.

Approved estimate amount:		\$470,102.10
Contingency Amount:	10.00%	\$47,010.21
Subtotal:		\$517,112.31
NMGRT	6.025%	\$31,156.02
Subtotal:		\$548,268.33
Engineering Fee	6.60%	\$36,185.71
Testing Fee	2.00%	\$10,965.37
Subtotal:		\$595,419.41
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$.00
TOTAL FINANCIAL GUARANTY REQUIRED		\$744,274.26

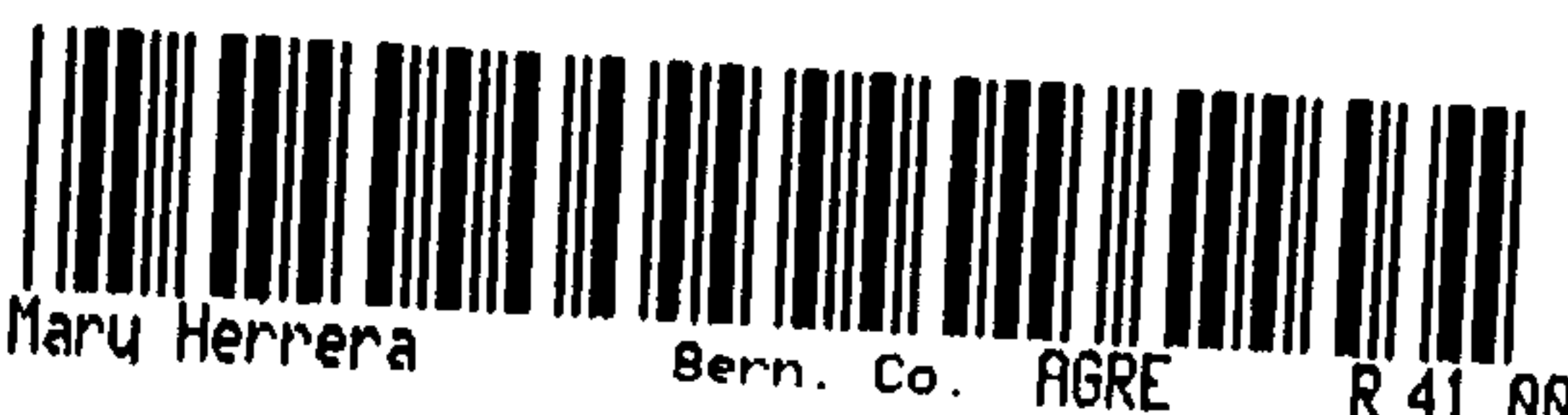
APPROVAL:

DATE:



7-12-2004

Notes: 10% contingency, plans not approved. This FG is for the SD inlets & paving improvements on Paseo del Norte fronting Heritage at the Trails, Unit 1 (738481) & Heritage at the Trails, Unit 2 (738482).



Maru Herrera

Bern. Co. AGRE

R 41.00

2004123614
6137109
Page: 17 of 17
08/31/2004 02:09P
Bk-A83 Pg-3280

FINANCIAL GUARANTY AMOUNT

06/30/2004

Type of Estimate: Sidewalk Deferral

Project Description:

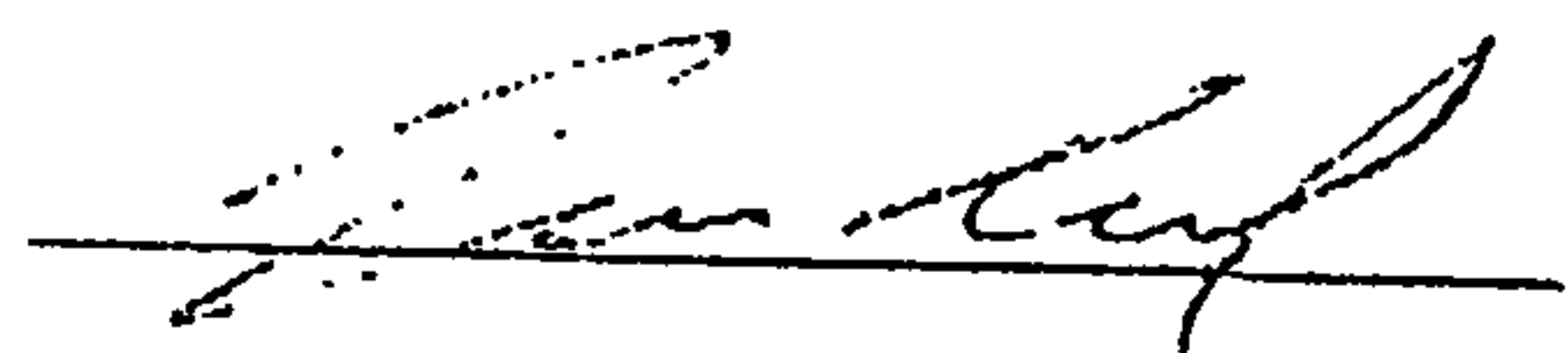
Project ID #: 738481, Heritage @ The Trails, Unit 1, Phase/Unit #: 1

Requested By: Genny Donart, PE w/ Isaacson & Arfman, P. A.

Approved estimate amount:		\$45,893.64
NMGRT	5.8125%	\$2,667.57
Subtotal:		\$48,561.21
125% FINANCIAL GUARANTY RATE		1.25
TOTAL FINANCIAL GUARANTY REQUIRED		\$60,701.51

APPROVAL:

DATE:



6-30-2004

Notes:





FINANCIAL GUARANTY AMOUNT

06/30/2004

Type of Estimate: SIA Procedure - C - Modified w/F.G.

Project Description:


Project ID #: 738481, Heritage @ The Trails, Unit 1, Phase/Unit #: 1

Requested By: Genny Donart, PE w/ Isaacson & Arfman, P. A.

TOTAL FINANCIAL GUARANTY REQUIRED \$42,375.00

APPROVAL:

DATE:



6-30-2004

Notes: offsite traffic mitigation: \$565/lot x 75 lots = \$42,375

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

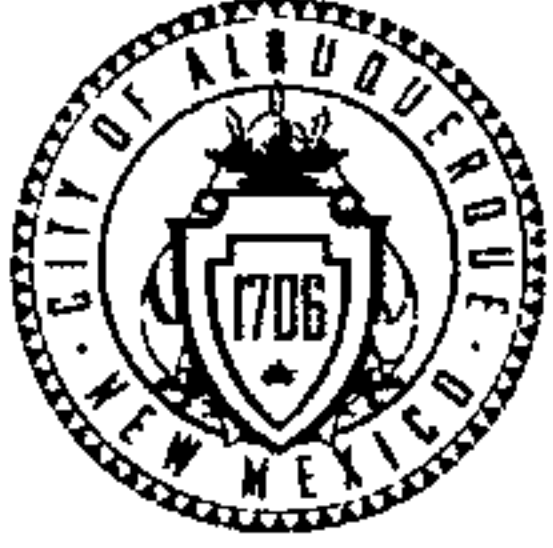
APPLICANT NAME Center Homes
AGENT James J. Engman
ADDRESS _____
PROJECT & APP # 1003354 / 040RB-01416
PROJECT NAME Heritage @ The Paul Unit 1

\$ 20.00 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 20.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

9/14/2004 11:02AM LOC: ANNX
RECEIPT# 00028952 WSH 008 TRANSH 0021
Account 441032 Fund 0110
Activity 3424000 TRSDMM
Trans Amt \$20.00
J24 Misc \$20.00
CK \$20.00
CHANGE \$0.00



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

APRIL 21, 2004

4. **Project # 1003354**
04DRB-00458 Major-Vacation of Public Easements
04DRB-00457 Major-Preliminary Plat Approval
04DRB-00459 Minor-Temp Defer SDWK
04DRB-00461 Minor-Sidewalk Waiver

ISAACSON & ARFMAN P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) A, THE TRAILS, (to be known as **HERITAGE @ THE TRAILS, UNIT 1**, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 14 acre(s). [REF: 1002962, 03DRB-01528] (C-9)

At the April 21, 2004, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
3. Affected utility companies shall acknowledge the vacation by their signatures on the replat.

With the signing of the infrastructure list dated 4/21/04 and approval of the grading plan engineer stamp dated 3/24/04 the preliminary plat was approved with the following condition of final plat:



**OFFICIAL NOTICE OF DECISION
PAGE 2**

An approved perimeter wall submittal is required prior to construction taking place.

Temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

A sidewalk variance for wavier of sidewalks was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by May 6, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)


Sheran Matson, AICP, DRB Chair

cc: Isaacson & Arfman PA, 128 Monroe St NE, 87108
Centex Homes, 5120 Masthead NE, 87109
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 21, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:50 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000131**
04DRB-00460 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, PA agent(s) for BROADWAY DEVELOPMENT CO. request(s) the above action(s) for all or a portion of **BROADWAY INDUSTRIAL CENTER, UNIT 2**, zoned SU-2 HM, located on SAN JOSE AVE, between BROADWAY BLVD and I-25 containing approximately 45 acre(s). [REF: DRB-97- 271, 04DRB-00383] (M-14) **TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1000364**
04DRB-00448 Major-Two Year SIA
- BRET OR DEBRA A TABOR request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) 1-B-1, **CHANSLOR'S REPLAT OF GALLAGHER ADDITION**, zoned C-2 community commercial zone, located on CENTRAL AVE NE, between BURMA NE and LINN AVE NE containing approximately 1 acre(s). [REF: DRB-97-396, 00410-00363] (L-22) **TWO-YEAR EXTENSION OF THE**
3. **Project # 1000515**
04DRB-00444 Major-Two Year SIA –
Procedure "B" Modified
- WESTLAND DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Tract(s) B, **MIREHAVEN ARROYO, THE CROSSING**, zoned SU-2/R-LT, located west of UNSER BLVD NW, between LADERA DR NW and TIERRA PINTADA ST containing approximately 50 acre(s). [REF: 00420-00632, 00440-00631, 02500-00159] (H-9) **TWO-YEAR EXTENSION OF**
4. **Project # 1003354**
04DRB-00458 Major-Vacation of Public
Easements
04DRB-00457 Major-Preliminary Plat
Approval
04DRB-00459 Minor-Temp Defer SDWK
04DRB-00461 Minor-Sidewalk Waiver
- ISAACSON & ARFMAN P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) A, **THE TRAILS**, (to be known as **HERITAGE @ THE TRAILS, UNIT 1**), zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 14 acre(s). [REF: 1002962, 03DRB-01528] (C-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/21/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/24/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: AN APPROVED PERIMETER WALL SUBMITTAL IS REQUIRED PRIOR TO CONSTRUCTION TAKING PLACE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAVIER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

5. **Project # 1003353**
04DRB-00454 Major-Vacation of Public Easements
04DRB-00452 Major-Preliminary Plat Approval
04DRB-00456 Minor-Sidewalk Waiver
04DRB-00453 Minor- Temp Deferral of Sidewalk

ISAACSON & ARFMAN, P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) B, THE TRAILS, (To be known as **HERITAGE @ THE TRAILS, UNIT 2**, zoned R-D, located on PASEO DEL NORTE BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 10 acre(s). [REF: 1002962, 03DRB-01528 (C-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/21/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/24/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: AN APPROVED PERIMETER WALL SUBMITTAL IS REQUIRED PRIOR TO CONSTRUCTION TAKING PLACE. A SIDEWALK VARIANCE FOR WAVIER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE SIDEWALK WAIVER EXHIBIT HAS BEEN REVISED TO SHOW LOT 27 IS NOT TO BE INCLUDED. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1001074**
04DRB-00564 Minor-SiteDev Plan
BldPermit/EPC

LEE GAMELSKY ARCHITECTS P.C. agent(s) for CITY OF ALBUQUERQUE, OPEN SPACE DIVISION request(s) the above action(s) for all or a portion of Tract(s) R-1A, C1, **ROBERSON RANCH** and Tract(s) F, **MARIAN ROCCO**, zoned SU-1 FOR MPOS, located on COORS BLVD NW, between BOSQUE MEADOWS NW and LA ORILLA NW containing approximately 56 acre(s). [REF: 04EPC-00129, Z-88-20, DRB-94-104, DRB-97-145, V-97-52, 01EPC-00244, 01DRB-00614] [**Debbie Stover, EPC Case Planner**] (D-13) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

7. **Project # 1002459**
04DRB-00566 Minor-SiteDev Plan
BldPermit/EPC
04DRB-00567 Minor- SitePlan Subd/EPC
- TIERRA WEST LLC agent(s) for SCM PROPERTY COMPANY LLC request(s) the above action(s) for all or a portion of Tract(s) 358 & 359 and a portion of Tract(s) A21, **W. H. BRUNELL ADDITION & UNIT 8 ATRISCO GRANT**, zoned SU-1 COMMUNITY DEVELOPMENT C-2 USES & TRUCK TERM, located on COORS BLVD NW, between OURAY RD NW and QUAIL RD NW containing approximately 8 acre(s). [REF: Z-71-204, Z-77-155, 03EPC-00159, 03EPC-00160, 03EPC-02187] [**Juanita Vigil, EPC Case Planner**] (H-11) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD. SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**
8. **Project # 1003378**
04DRB-00559 Minor-SiteDev Plan
BldPermit
- GORDON HALL ARCHITECT agent(s) for JOE GONZALES request(s) the above action(s) for all or a portion of Lot(s) 4, **VOLCANO BUSINESS PARK, PHASE 1**, zoned SU-1 special use zone, for C-1 & IP, located on TODOS SANTOS ST NW, between OURAY RD NW and LADERA DR NW containing approximately 1 acre(s). [REF:Z-80-87-6] [*Deferred from 4/21/04*] (G-10) **DEFERRED AT THE AGENT'S REQUEST TO 5/5/04.**
9. **Project # 1003383**
04DRB-00569 Minor-SiteDev Plan
BldPermit
- MULLEN HELLER ARCHITECTURE PC agent(s) for AVALON INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 3-C, **LANDS OF LOS ANGELES INVESTORS**, zoned SU-2, M1, located on PASEO DEL NORTE FRONTAGE RD NE, between JEFFERSON NE and INTERSTATE 25 containing approximately 2 acre(s). [*Deferred from 4/21/04*] (C-17) **DEFERRED AT THE AGENT'S REQUEST TO 4/28/04.**

10. **Project # 1003012**
04DRB-00523 Minor-SiteDev Plan
BldPermit/EPC

WILLIAM MCCONNELL ARCHITECT agent(s) for TOWER ROAD BAPTIST CHURCH, BILL PADILLA request(s) the above action(s) for all or a portion of Lot(s) 430, TOWER ROAD BAPTIST CHURCH, **TOWN OF ATRISCO GRANT, UNIT 3**, zoned SU-1 special use zone Church Facility, located on 86th STREET SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 2 acre(s). [REF: 03EPC-01675, 03EPC-01796] [Mary Piscitelli, EPC Case Planner] [Deferred from 4/14/04] (L-9) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1002423**
04DRB-00565 Minor-Final Plat Approval

BOHANNAN HUSTON, INC agent(s) for CENTEX HOMES, request(s) the above action(s) for all or a portion of Tract(s) E-1, **EL RANCHO GRANDE, UNIT 10**, zoned R-2 for R-T and R-LT, located on CARTAGENA AVE SW, between GIBSON BLVD SW and DE ANZA DR SW containing approximately 20 acre(s). [REF: 03DRB-00749] (N-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

12. **Project # 1002663**
04DRB-00552 Major-Final Plat Approval

GREATER ALBUQUERQUE HOUSING PARTNERSHIP, request(s) the above action(s) for all or a portion of Tract(s) E, NEW MEXICO CREDIT CORPORATION, **EL PORVENIR**, zoned C-3, located on BROADWAY NE, between LOMAS BLVD NE and MARBLE NE containing approximately 2 acre(s). (J-14) **FINAL PLAT WAS APPROVED AND DELEGATED TO PLANNING FOR REAL PROPERTY'S SIGNATURE.**

13. **Project # 1002798**
04DRB-00572 Minor-Vacation of Private Easements
- ADVANCED ENGINEERING & CONSULTING agent(s) for WILLIAM HOLLER request(s) the above action(s) for all or a portion of Tract(s) 83-A-2, M.R.G.C.D. MAP 34, Tract(s) A, **RIMA ADDITION**, and Tract(s) A-1, **LANDS OF CONRADO GARCIA**, zoned C-2, located on CANDELARIA RD NW, between 12TH ST NW and RIO GRANDE BLVD NW containing approximately 3 acre(s). [REF: Z-72-Z16, 03DRB-01122, 03EPC-01673, 03EPC-01674] (G-13) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**
14. **Project # 1003381**
04DRB-00561 Minor-Prelim&Final Plat Approval
- SURV-TEK, INC agent(s) for CUMMINS ROCKY MOUNTAIN, LLC request(s) the above action(s) for all or a portion of Block(s) 10-A, Tract(s) 6-A, **FRANCISCAN ACRES**, zoned SU-2 / M-1, located on INDIAN SCHOOL RD NE, between COMMERCIAL ST NE and BROADWAY BLVD NE containing approximately 6 acre(s). [REF: DRB-99-240, V-99-78] (H-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS SECTION TO EVALUATE DEDICATION REQUIREMENTS AND RADIUS DEDICATIONS AND PLANNING FOR AGIS DXF FILE.**
15. **Project # 1002848**
04DRB-00571 Minor-Final Plat Approval
- TIERRA WEST LLC agent(s) for PJ DEVELOPMENT COMMERCIAL CONSTRUCTION request(s) the above action(s) for all or a portion of Tract(s) A & B, **AMERICAN TOYOTA**, zoned SU-2, SU-1 AUTO SALES SERVICE REP, located on ALAMEDA BLVD NE, between PAN AMERICAN FWY NE and SAN PEDRO DRIVE NE containing approximately 5 acre(s). [REF: 1002201, DRB-95-74, 03DRB-01270] (C-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PERIMETER WALL SUBMITTAL AND PROPERTY MANAGEMENT'S SIGNATURE.**

16. **Project # 1003384**
04DRB-00570 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for RSF LAND & CATTLE COMPANY LLC request(s) the above action(s) for all or a portion of Tract(s) TR.MM-1, **SEVEN BAR RANCH**, zoned C-2 (SC), located on SEVEN BAR LOOP RD NW, between COTTONWOOD DR NW and OLD AIRPORT AVE NW containing approximately 7 acre(s). [REF: AX-85-28, Z-85-34-1(2 SD-78-3-2, Z-93-35, CZ-85-72] (B-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO CITY ENGINEER FOR CROSS LOT DRAINAGE EASEMENT AND NEW MEXICO UTILITIES INC. SIGNATURE ON THE PLAT.**

17. **Project # 1003291**
04DRB-00528 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for JOSEPH & KATHLEEN COWHAM request(s) the above action(s) for all or a portion of Tract(s) 14, M.R.G.C.D. MAP 35, **LANDS OF COWHAM-BOWEN**, zoned R-LT residential zone, located on RIO GRANDE BLVD NW, between CONTRERAS PL NW and MATTHEW AVE NW containing approximately 2 acre(s). [REF: 04DRB-00322] [*Deferred from 4/14/04*] (H-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

18. **Project # 1003260**
04DRB-00213 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for STEVEN KANIG request(s) the above action(s) for all or a portion of Lot(s) 2-A, **LANDS OF ALBUQUERQUE BOARD OF REALTORS**, zoned C-3, located on UNIVERSITY BLVD NE, between MENAUL BLVD NE and INDIAN SCHOOL BLVD NE containing approximately 3 acre(s). [*Was Indefinitely deferred at the agent's request on 2/24/04*] (H-15) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/21/04 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

19. **Project # 1003133**
03DRB-02076 Minor- Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for TRICOR SOUTHWEST CORP. request(s) the above action(s) for all or a portion of Lot(s) L-1, M,N,P, **FRANKLIN PLAZA**, zoned C-3/C-2 (SU), located on CENTRAL NE, between JUAN TABO NE and CENTRAL NE containing approximately 9 acre(s). [REF: Z-88-53] [Deferred from 1-7-04] *[The Final Plat was Indefinitely Deferred on 1/21/04]* (L-22) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

20. **Project # 1002798**
04DRB-00562 Minor-Sketch Plat or Plan

MARQUEZ SURVEYING, agent(s) for WILLIAM HOLLER request(s) the above action(s) for all or a portion of Tract(s) A, RIMA ADDITION AND Tract(s) A, **LANDS OF CONRADO GARCIA**, zoned C-2, RA-2, located on CANDELARIA NW, between SAN ISIDRO NW and LVA'S LANE NW containing approximately 3 acre(s). [REF: 03EPC-01673, 03EPC-01674] (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1003280**
04DRB-00568 Minor-Sketch Plat or Plan

TIERRA WEST LLC agent(s) for STILLBROOKE HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 168, **TOWN OF ATRISCO GRANT, UNIT 6**, zoned R-1, located on GONZALES RD SW, between OASIS DR SW and CORREGIDOR DR SW containing approximately 5 acre(s). (K-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **Project # 1003382**
04DRB-00563 Minor-Sketch Plat or Plan

ENCINO DEVELOPMENT & MANAGEMENT c/o MAC MANAGEMENT, request(s) the above action(s) for all or a portion of Tract(s) A-1, **LADERA HEIGHTS SUBDIVISION**, zoned R-3, located on the east side of LADERA RD NW, north of SEQUOIA NW and containing approximately 4 acre(s). (G-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. Approval of the Development Review Board Minutes for April 7, 2004. **THE APRIL 7, 2004 DEVELOPMENT REVIEW BOARD MINUTES WERE APPROVED.**

ADJOURNED: 11:50 A.M.

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003354 AGENDA#: 4 DATE: 4-21-04

1. Name: Fred Cudman Address: Isaacson Herdman Zip: _____

2. Name: Jenny Donast Address: " Zip: "

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



City of Albuquerque
 CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003354

AGENDA ITEM NO: 4

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report dated 3-24-04 is on file for Preliminary Plat approval.
 Comments on the infrastructure list.
 The Hydrology Section has no objection to the vacation request.

RESOLUTION:

signed I.L.

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: April 21, 2004



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

April 21, 2004

Project # 1003354

04DRB-00458 Major-Vacation of Public Easements
04DRB-00457 Major-Preliminary Plat Approval
04DRB-00459 Minor-Temp Defer SDWK
04DRB-00461 Minor-Sidewalk Waiver

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AMAFCA

No comment.

COG No adverse comment. For information, Paseo del Norte is shown on the Long Range Roadway System map as a limited access principal arterial and has a minimum right-of-way requirement of 156 feet. The Long Range Bicycle System map provides for both a proposed bicycle trail/path and a proposed bicycle lane for this portion of Paseo del Norte. Rainbow Boulevard is shown on the Long Range Roadway System as a principal arterial, again with a minimum right-of-way requirement of 156 feet. The Long Range Bicycle System map provides for both a proposed bicycle trail/path and a proposed bicycle lane for Rainbow, as well.

Transit

No comments received.

Zoning Enforcement

No comments received.

Neighborhood Coord.

Letter sent to Ventana Ranch (R) Neighborhood Assn.

APS

No comments received.

Police Department

A review of following case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Burglaries, maintenance of landscaping.

Fire Department

Fire Department is not approving street widths less than 32 feet at this time. Per Ray Sanchez, AFD. All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

PNM Gas

Approves.

PNM Electric

PNM approves drainage easement vacation and Pre-Plat. Before final plat sign off the developer needs to consider how the electric and gas in Paseo Del Norte are going to feed this development. I do not see any north-south easements allowing connection to the easements following the internal streets. The gas line may go in Rainbow Blvd R/W, but we prefer the electric lines to be in PUE's.

Comcast

No comments received

QWEST

No comments received

Environmental Health

Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D.

No comments received.

Open Space Division

The grading and drainage plan for these properties appears to require a significant amount of fill to achieve the finish grade. Please provide information about the type of fill and the source of the fill material, Open Space is concerned that fill not come from the southern sand dunes area, which is designated for Open Space acquisition. We have no objection to the sidewalk waiver.

City Engineer

An approved drainage report is required prior to Preliminary Plat approval. No objection to the vacation request.

Transportation Development

Will Hearthstone road become a major local? How wide is right-of-way at Rainbow? Provide traffic distribution map. Sidewalk should be built along south side or is trail being built with this project? Defer to utilities and hydrology regarding vacation of easement. Why is PDN being deferred with a modified "C"? List Rainbow and PDN on infra. list with widths required. Keep footnotes. West Haven should be 32' F-F. Look at infra. list with limits – some items have Williamsburg instead of Nationwide. Need to list the offsite mitigation fees per lot on the infrastructure list.

Parks & Recreation

Defer to affected agencies for vacation requests. The park dedication and development requirements have been met through an existing agreement.

Please provide an open space table for the file, showing how many credits will be used from the dedicated open space. Defer to Transportation regarding vacation requests.

Utilities Development

No objection to Vacation request. On plat, water and sanitary sewer public easements must also be dedicated to the City of Albuquerque. Some sidewalk waivers and deferrals may not be appropriate, defer to Transportation.

Planning Department

No objection to the vacation or sidewalk requests. On the preliminary plat, Easement Note E indicates that a public pedestrian easement is to be granted at final plat over Tract B. To what does this link and has Parks agreed to accept it?

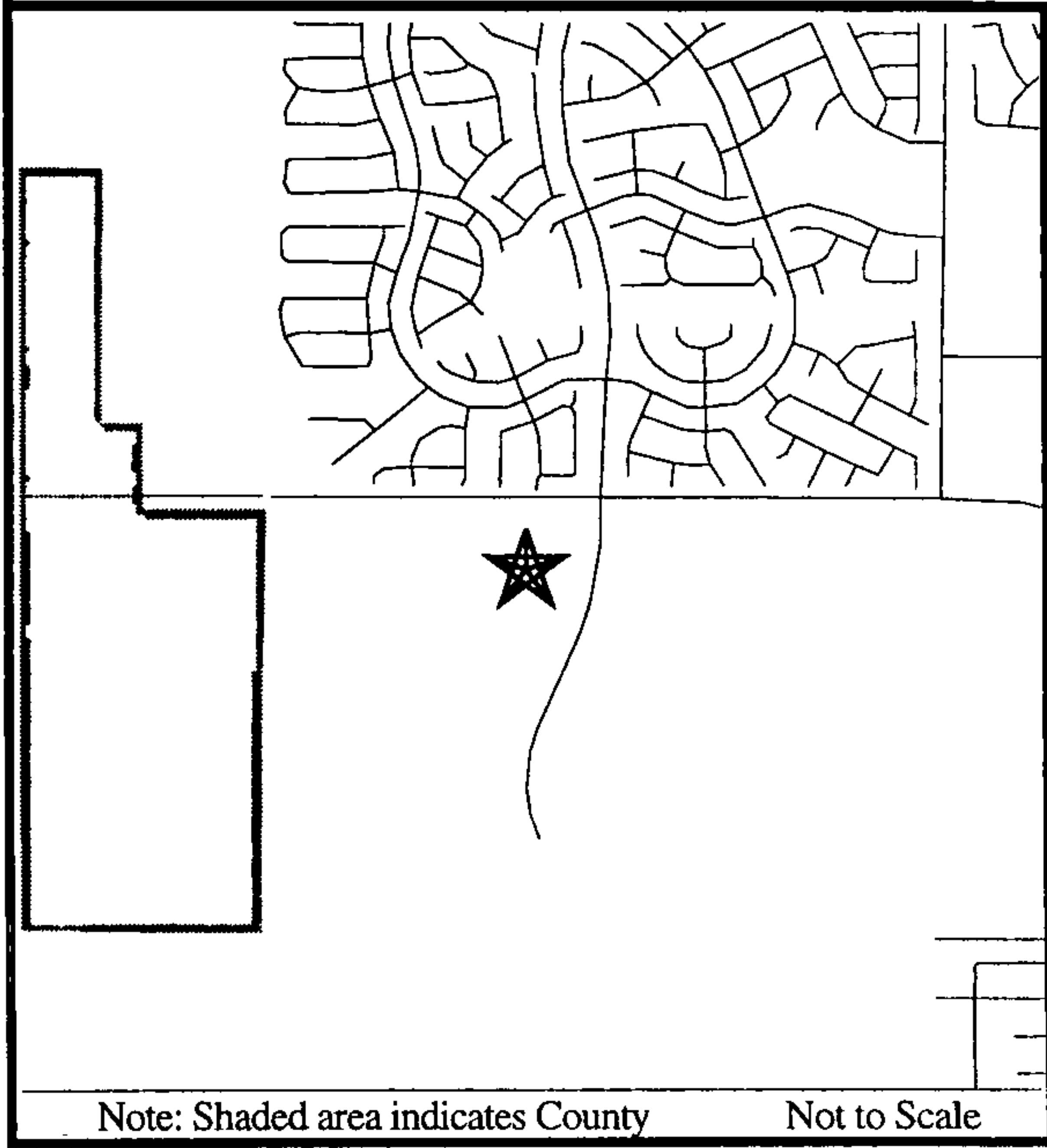
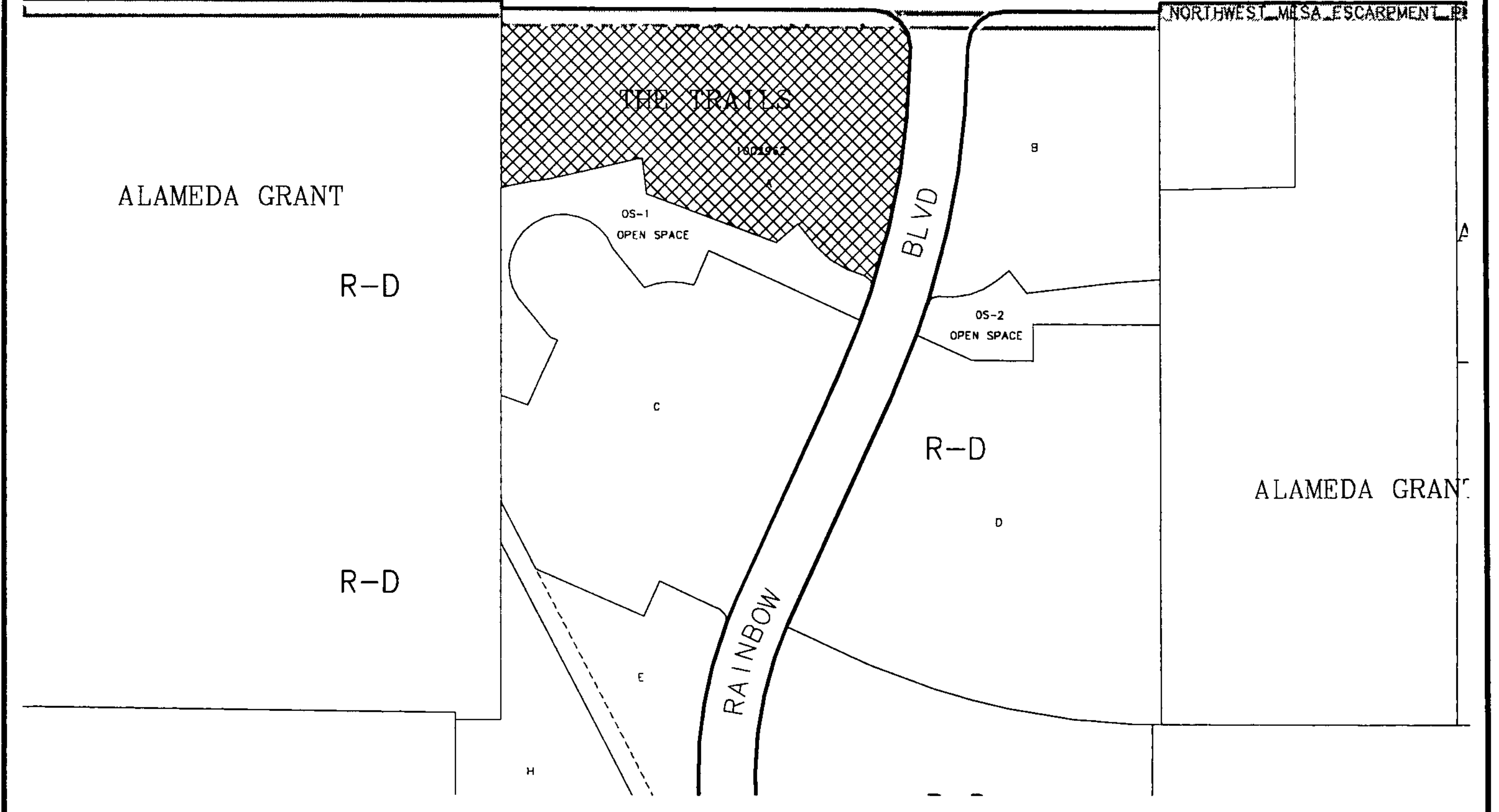
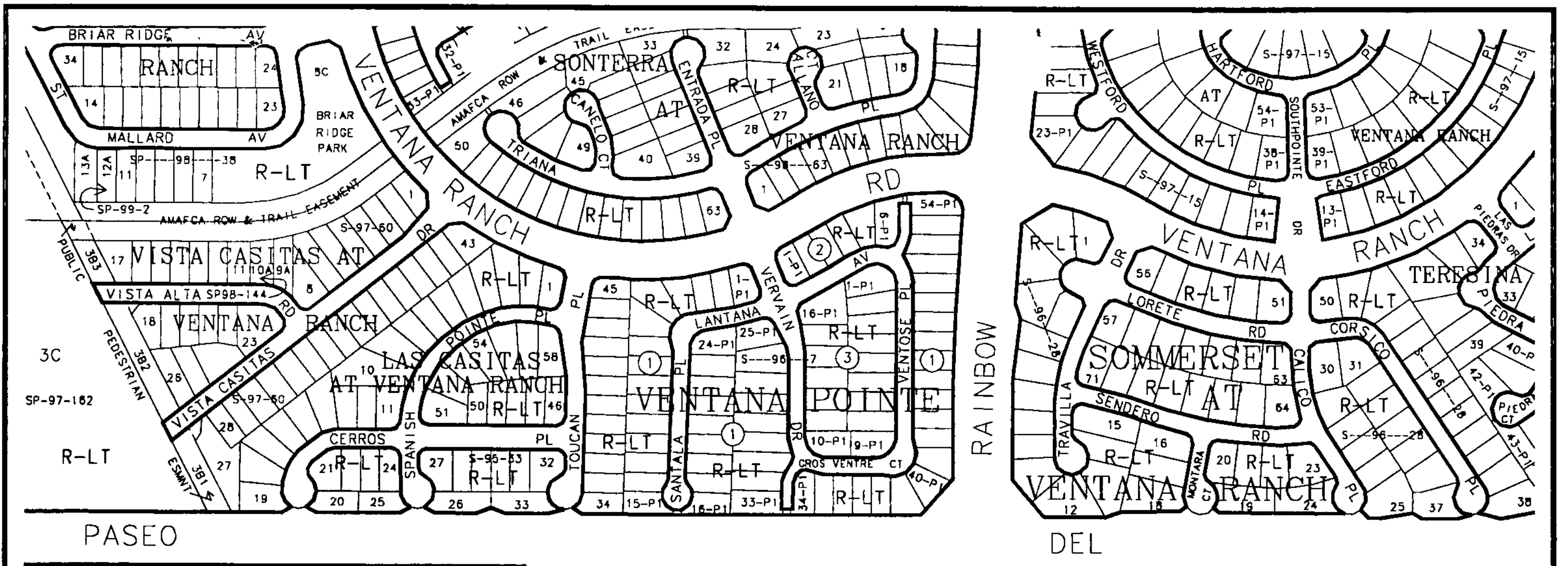
Is the zoning going to remain RD?

The perimeter wall submittal needs additional information as stated in the Perimeter Wall Design Submittal for Major Subdivisions. Other comments pending review by Juanita Vigil.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc: Centex Homes, 5120 Masthead NE, 87109

Isaacson & Arfman PA, 128 Monroe St NE, 87108



ZONING MAP



Scale 1" = 508'

PROJECT NO.
1003354

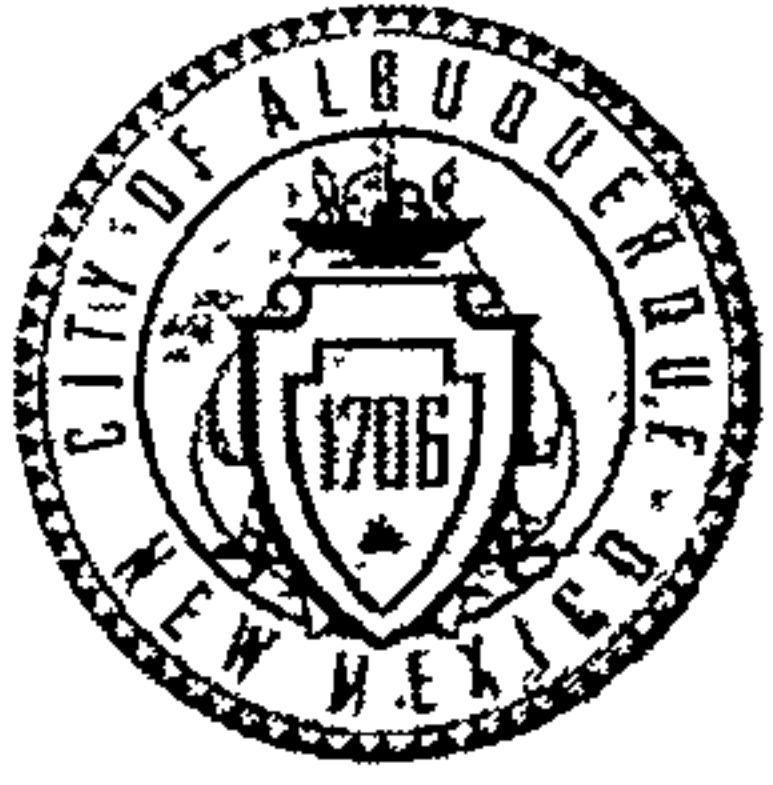
HEARING DATE
4-21-04

MAP NO.
C-9

ADDITIONAL CASE NUMBER(S)
04DRB-00457
04DRB-00458
04DRB-00459

04DRB-00461

Note: Shaded area indicates County Not to Scale



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, April 21, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1000131

04DRB-00460 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, PA agent(s) for BROADWAY DEVELOPMENT CO. request(s) the above action(s) for all or a portion of **BROADWAY INDUSTRIAL CENTER, UNIT 2**, zoned SU-2 HM, located on SAN JOSE AVE, between BROADWAY BLVD and I-25 containing approximately 45 acre(s). [REF: DRB-97- 271, 04DRB-00383] (M-14)

Project # 1000364

04DRB-00448 Major-Two Year SIA

BRET OR DEBRA A TABOR request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) 1-B-1, **CHANSLOR'S REPLAT OF GALLAGHER ADDITION**, zoned C-2 community commercial zone, located on CENTRAL AVE NE, between BURMA NE and LINN AVE NE containing approximately 1 acre(s). [REF: DRB-97-396, 00410-00363] (L-22)

Project # 1000515

04DRB-00444 Major-Two Year SIA –
Procedure "B" Modified

WESTLAND DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Tract(s) B, **MIREHAVEN ARROYO, THE CROSSING**, zoned SU-2/R-LT, located west of UNSER BLVD NW, between LADERA DR NW and TIERRA PINTADA ST containing approximately 50 acre(s). [REF: 00420-00632, 00440-00631, 02500-00159] (H-9)

~~**Project # 1003354**~~

04DRB-00458 Major-Vacation of Public
Easements

04DRB-00457 Major-Preliminary Plat
Approval

04DRB-00459 Minor-Temp Defer SDWK

04DRB-00461 Minor-Sidewalk Waiver

ISAACSON & ARFMAN P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) A, THE TRAILS, (to be known as **HERITAGE @ THE TRAILS, UNIT 1**), zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 14 acre(s). [REF: 1002962, 03DRB-01528] (C-9)

SEE PAGE 2 . . .



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1003353

04DRB-00454 Major-Vacation of Public Easements

04DRB-00452 Major-Preliminary Plat Approval

04DRB-00456 Minor-Sidewalk Waiver

04DRB-00453 Minor- Temp Deferral of Sidewalk

ISAACSON & ARFMAN, P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) B, THE TRAILS, (To be known as **HERITAGE @ THE TRAILS, UNIT 2**, zoned R-D, located on PASEO DEL NORTE BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 10 acre(s). [REF: 1002962, 03DRB-01528 (C-9)]

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, APRIL 5, 2004.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: APRIL 21, 2004
Zone Atlas Page: C-9-Z
Notification Radius: 100 Ft.

1003354
Project# ~~10003354~~
App# 04DRB-00457
App# 04DRB-00458
App# 04DRB-00459
App# 04DRB-00461

Cross Reference and Location: N/A

Applicant: CENTEX HOMES
Address: 5120 MASTHEAD NE
ALBUQUERQUE NM 87109



Agent: ISAACSON & ARFMAN, P.A.
Address: 128 MONROE ST NE
ALBUQUERQUE NM 87108

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: APRIL 2, 2004

Signature: KYLE TSEHLIKAI

100906524702530686 LEGAL: LT 4 1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1433 USE:
 PROPERTY ADDR: 00000 YENTOSE
 OWNER NAME: RASOLE VINCENT M
 OWNER ADDR: 09400 YENTOSE PL NW ALBUQUERQUE NM 87114

100906530502440817 LEGAL: LT 1 7 PL AT OF SOMMERSET SUBD AT VENTANA RANCH (REP LAND USE:
 PROPERTY ADDR: 00000 MONTARA
 OWNER NAME: GINSBERG KAREN A & LLOYD S
 OWNER ADDR: 09405 MONTARA CT NW ALBUQUERQUE NM 87114

100906512302230628 LEGAL: LT 2 8 PL AT OF LAS CASITAS SUBD AT VENTANA RANCH (R LAND USE:
 PROPERTY ADDR: 00000 CERROS
 OWNER NAME: ALLEN-DAVIS ADARYLL & LAURA
 OWNER ADDR: 07416 CERROS PL NW ALBUQUERQUE NM 87114

100906512902230629 LEGAL: LT 2 9 PL AT OF LAS CASITAS SUBD AT VENTANA RANCH (R LAND USE:
 PROPERTY ADDR: 00000 CERROS
 OWNER NAME: SANDOVAL GARY P
 OWNER ADDR: 07412 CERROS PL NW ALBUQUERQUE NM 87114

100906513402230630 LEGAL: LT 3 0 PL AT OF LAS CASITAS SUBD AT VENTANA RANCH (R LAND USE:
 PROPERTY ADDR: 00000 CERROS
 OWNER NAME: LANGLAND LAYLA L
 OWNER ADDR: 07408 CERROS PL NW ALBUQUERQUE NM 87114

100906513902230631 LEGAL: LT 3 1 PL AT OF LAS CASITAS SUBD AT VENTANA RANCH (R LAND USE:
 PROPERTY ADDR: 00000 CERROS
 OWNER NAME: MARTINEZ RICHARD R & JENNY R
 OWNER ADDR: 07404 CERROS PL NW ALBUQUERQUE NM 87114

100906514602430632 LEGAL: LT 3 2 PL AT OF LAS CASITAS SUBD AT VENTANA RANCH (R LAND USE:
 PROPERTY ADDR: 00000 CERROS
 OWNER NAME: CAMPBELL COLIN M & ELIZABETH A
 OWNER ADDR: 07400 CERROS PL NW ALBUQUERQUE NM 87114

100906527402240811 LEGAL: LT 1 1 PL AT OF SOMMERSET SUBD AT VENTANA RANCH (REP LAND USE:
 PROPERTY ADDR: 00000 TRAVILLA
 OWNER NAME: BLOOD FAMILY TRUST
 OWNER ADDR: 09403 TRAVILLA DR NW ALBUQUERQUE NM 87114

100906529201940813 LEGAL: LT 1 3 PL AT OF SOMMERSET SUBD AT VENTANA RANCH (REP LAND USE:
 PROPERTY ADDR: 00000 TRAVILLA
 OWNER NAME: DAY RONALD S & TAMMY
 OWNER ADDR: 09400 TRAVILLA DR NW ALBUQUERQUE NM 87114

100906524502030685 LEGAL: LT 4 0-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1602 LAND USE:
 PROPERTY ADDR: 00000 GROS VENTRE
 OWNER NAME: DEUTSCHE BANK NATIONAL TRUST C
 OWNER ADDR: 00155 VAN GORDON ST DENVER CO 80225

100906521301530679 LEGAL: LT 3 4-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1461 LAND USE:
 PROPERTY ADDR: 00000 GROS VENTRE
 OWNER NAME: PACHECO KIM L
 OWNER ADDR: 07224 GROS VENTRE CT NW ALBUQUERQUE NM 87114

100906520002030677 LEGAL: LT 3 2-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1536 LAND USE:
 PROPERTY ADDR: 00000 VERVAIN
 OWNER NAME: CORSEY BART W & AURORA
 OWNER ADDR: 09405 VERVAIN DR NW ALBUQUERQUE NM 87114

100906528201640812 LEGAL: LT 1 2 PL AT OF SOMMERSET SUBD AT VENTANA RANCH (REP LAND USE:
 PROPERTY ADDR: 00000 TRAVILLA
 OWNER NAME: GARCIA ANTONIO I & GERALDINE J
 OWNER ADDR: 09401 TRAVILLA RD NW ALBUQUERQUE NM 87114

100906517201930659 LEGAL: LT 1 4-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1261 LAND USE:
 PROPERTY ADDR: 00000 SANTALA
 OWNER NAME: CASTILLO ISIDRO & ISELA
 OWNER ADDR: 09405 SANTALA PL NW ALBUQUERQUE NM 87114

100906518802030662 LEGAL: LT 1 7-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1308 LAND USE:
 PROPERTY ADDR: 00000 SANTALA
 OWNER NAME: GALINDO JESSICA D
 OWNER ADDR: 09404 SANTALA PL NW ALBUQUERQUE NM 87114

100906516002030635 LEGAL: LT 3 5 PL AT OF LAS CASITAS SUBD AT VENTANA RANCH (R LAND USE:
 PROPERTY ADDR: 00000 TOUCAN
 OWNER NAME: ARAUJO OSCAR & DINA
 OWNER ADDR: 09404 TOUCAN PL NW ALBUQUERQUE NM 87114

100906530301640818 LEGAL: LT 1 8 PL AT OF SOMMERSET SUBD AT VENTANA RANCH (REP LAND USE:
 PROPERTY ADDR: 00000 MONTARA
 OWNER NAME: PEARSON JEROME M & PATRICIA J
 OWNER ADDR: 09401 MONTARA CT NW ALBUQUERQUE NM 87114

100906521801630680 LEGAL: LT 3 5-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1214 LAND USE:
 PROPERTY ADDR: 00000 GROS VENTRE
 OWNER NAME: HARPER MINNIE TRUSTEE
 OWNER ADDR: 07220 GROS VENTRE CT NW ALBUQUERQUE NM 87114

100906523901630684 LEGAL: LT 3 9-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1629 LAND USE:
 PROPERTY ADDR: 00000 GROS VENTRE
 OWNER NAME: GOMEZ GEORGE A JR & MARIA D
 OWNER ADDR: 07204 GROS VENTRE CT NW ALBUQUERQUE NM 87114

100906522401630681 LEGAL: LT 3 6-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1205 LAND USE:
 PROPERTY ADDR: 00000 GROS VENTRE
 OWNER NAME: SCHWARTZ JAY D
 OWNER ADDR: 07216 GROS VENTRE CT NW ALBUQUERQUE NM 87114

100906522801630682 LEGAL: LT 3 7-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1205 LAND USE:
 PROPERTY ADDR: 00000 GROS VENTRE
 OWNER NAME: ROMERO NORA &
 OWNER ADDR: 07212 GROS VENTRE CT NW ALBUQUERQUE NM 87114

100906523301630683 LEGAL: LT 3 8-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1200 LAND USE:
 PROPERTY ADDR: 00000 GROS VENTRE
 OWNER NAME: LEWIS JOSHUA S & KIER L VANDER
 OWNER ADDR: 07208 GROS VENTRE CT NW ALBUQUERQUE NM 87114

100906532801640819	LEGAL: LT 1 9 PL AT OF RSET SUBD AT VENTANA RANCH (REP LAND USE: PROPERTY ADDR: 00000 MONTARA OWNER NAME: WAY TIMOTHY R & KELLEY N OWNER ADDR: 09400 MONTARA	CT NW ALBUQUERQUE NM	87114
100906520001530678	LEGAL: LT 3 3-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1939 LAND USE: PROPERTY ADDR: 00000 VERVAIN OWNER NAME: BEARDEN CLAYTON & TERESA OWNER ADDR: 09401 VERVAIN	NW ALBUQUERQUE NM	87114
100906517201430660	LEGAL: LT 1 5-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1497 LAND USE: PROPERTY ADDR: 00000 SANTALA OWNER NAME: MARTINEZ JOHN B & MARGARET G OWNER ADDR: 09401 SANTALA	PL NW ALBUQUERQUE NM	87114
100906518801530661	LEGAL: LT 1 6-P1 BLK 1 PLAT OF VENTANA POINTE CONT 0.1437 LAND USE: PROPERTY ADDR: 00000 SANTALA OWNER NAME: PADILLA MARIO A OWNER ADDR: 09400 SANTALA	PL NW ALBUQUERQUE NM	87114
100906516001530634	LEGAL: LT 3 4 PL AT OF LAS CASITAS SUBD AT VENTANA RANCH (R LAND USE: PROPERTY ADDR: 00000 TOUCAN OWNER NAME: BEXFIELD KAREN LEE OWNER ADDR: 09400 TOUCAN	PL NW ALBUQUERQUE NM	87114
100906512201430626	LEGAL: LT 2 6 PL AT OF LAS CASITAS SUBD AT VENTANA RANCH (R LAND USE: PROPERTY ADDR: 00000 SPANISH POINTE OWNER NAME: SWANSON MARK ALLEN OWNER ADDR: 00000	ALBUQUERQUE NM	87193
100906513901530633	LEGAL: LT 3 3 PL AT OF LAS CASITAS SUBD AT VENTANA RANCH (R LAND USE: PROPERTY ADDR: 00000 TOUCAN OWNER NAME: MACHA ELOY FRANK & SANDRA OWNER ADDR: 09401 TOUCAN	PL NW ALBUQUERQUE NM	87114
100906408343020212	LEGAL: T11N R2E SEC 16 W1/2 NW1/4 PROPERTY ADDR: 00000 UNKNOWN OWNER NAME: VOLCANO SIX LIMITED PTN OWNER ADDR: 01815 CENTRAL	AV NW ALBUQUERQUE NM	87104
100906423043720315	LEGAL: TR 0 F LA ND IN T11N R2E SEC 16 BEING PORTION OF TR LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: RAINBOW SIX OWNER ADDR: 01815 CENTRAL	AV NW ALBUQUERQUE NM	87104
100906434840510120	LEGAL: TR 0 F LA ND IN SEC 16 T11N R2E CONT 5.0 AC LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: THE ARCHDIOCESE OF SANTA FE OWNER ADDR: 04000 ST JOSEPH	PL NW ALBUQUERQUE NM	87120
100906434845110105	LEGAL: SW/4 NW/ 4 NE/4 OF SEC 16 T11N R2E CONT 5.00 AC LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: PARADISE WEST INC OWNER ADDR: 05016 LA FIESTA	DR NE ALBUQUERQUE NM	87109

"Attachment A"

Ruth Lozano, Isaacson and Arfman, PA
Zone Map: C-9

VENTANA RANCH N.A. (R)

***Laura Horton**

7224 Cascada Rd. NW/87114 898-8103 (h) 710-0646 (cell)

Bruce Nyberg

6824 Brushfield Rd. NW/87114 890-6559 (h)

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

March 22, 2004

Certified Mail 7003 3110 0006 0554 2571

Ms. Laura Horton
Ventana Ranch Neighborhood Association
7224 Cascada Road NW
Albuquerque, NM 87114

**RE: Heritage at the Trails, Unit 1
Heritage at the Trails, Unit 2
(Legal Description -- Tracts A & B, The Trails)**

Dear Ms. Horton:

As the consulting engineers for the above referenced sites, we are writing this letter to inform the Ventana Ranch Neighborhood Association that two requests for approval of Preliminary Plat and vacation of an existing public drainage and utility easement will be submitted to the Development Review Board this week. See attached zone maps.

This project is for the same area as the letter you received a few days ago, but the project has been split into two projects. There will be two separate submittals made at the same time.

Please call our office at 268-8828 if you need additional information.

Sincerely,

ISAACSON & ARFMAN, P.A.

Genny Donart, PE

GD/rtl

Attachments

7003 3110 0006 0554 2571

128 Monroe St. NE • Albuquerque, NM 87108

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

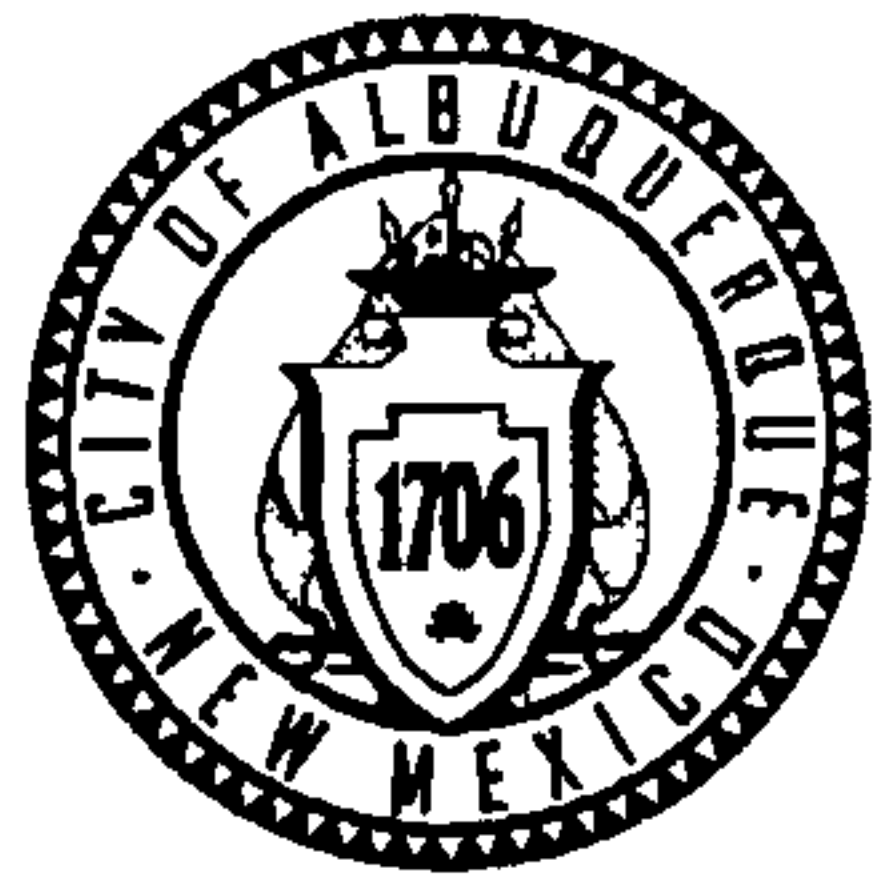
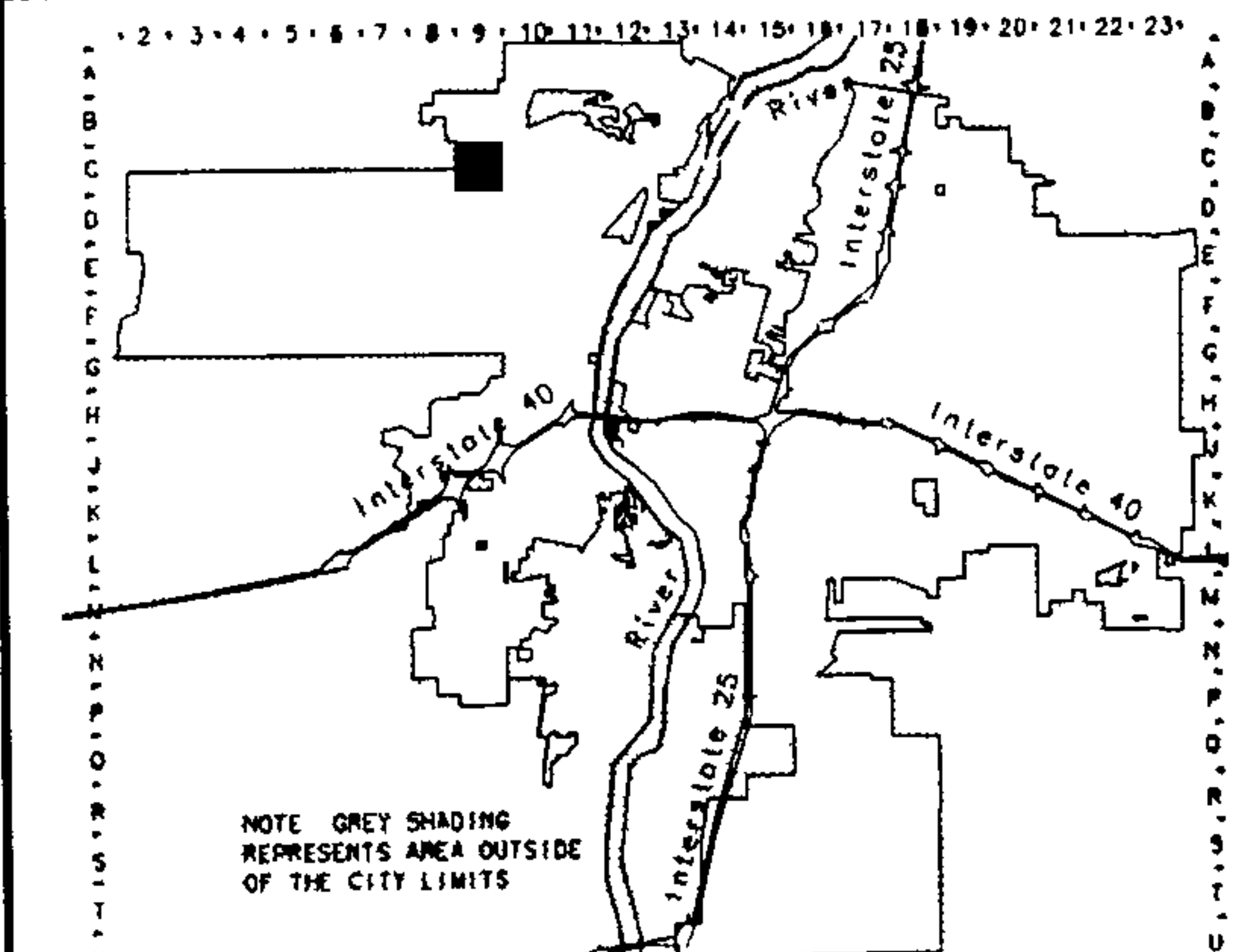
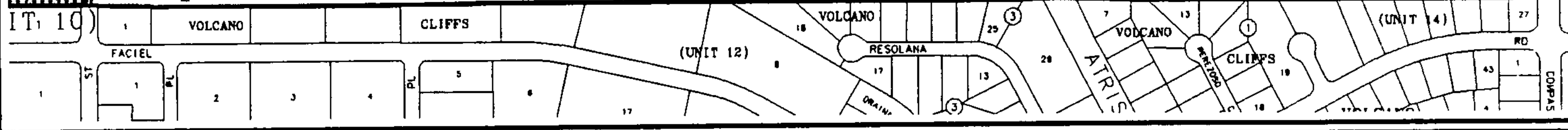
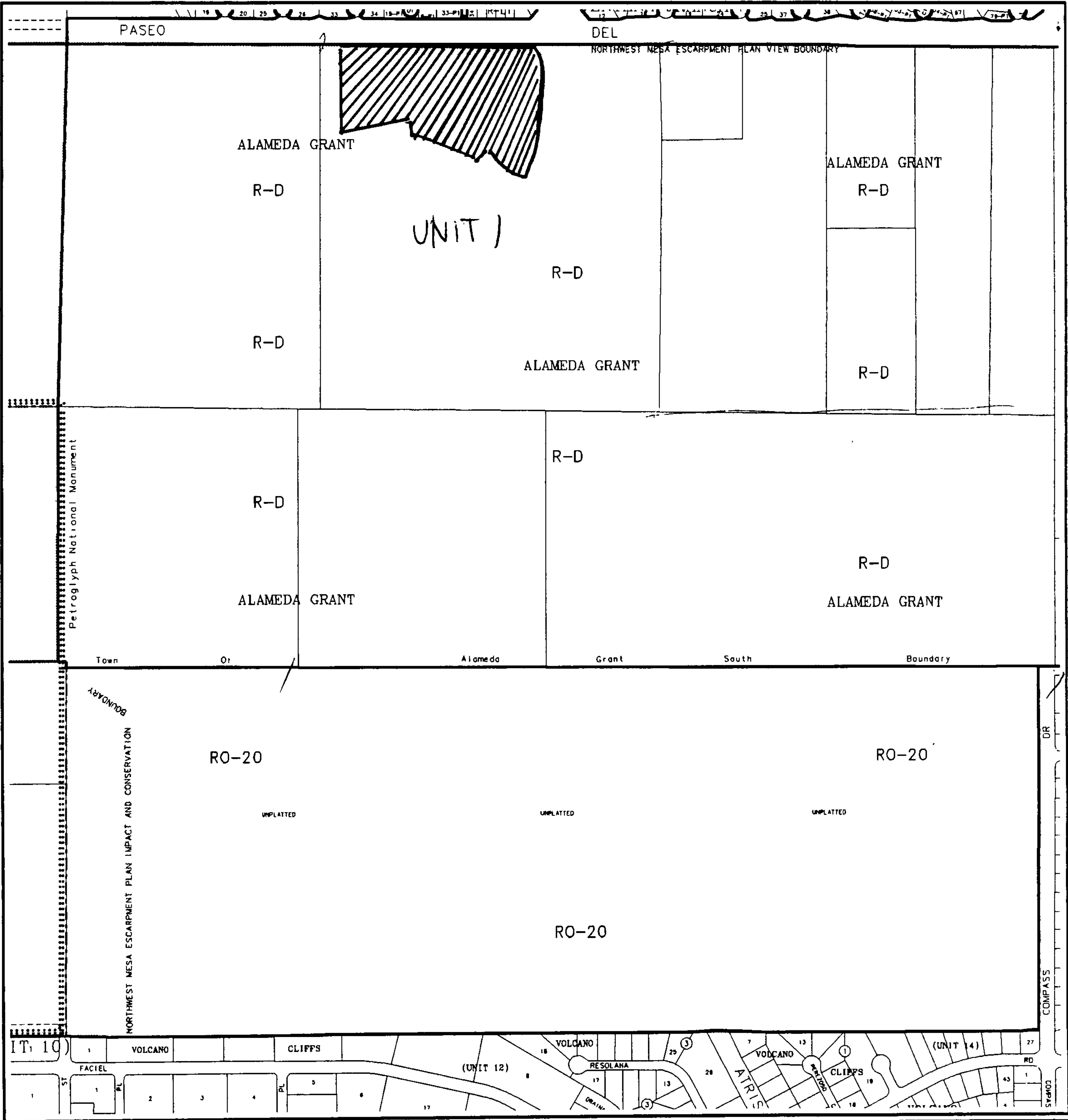
OFFICIAL USE
ALBUQUERQUE, NM 87114

Postage \$	0.60	UNIT ID: 0108
Registered Mail Fee	2.30	Postmark Here
Restricted Delivery Fee (Endorsement Required)	1.75	Clerk: KZ4YYX
Total Postage & Fees \$	4.65	03/23/04

Sent To **Laura Horton**
Ventana Ranch N.A.
Street, Apt. No.; or PO Box No. **7224 Cascada Road NW**
City, State, ZIP+4 **Albuquerque, NM 87114**

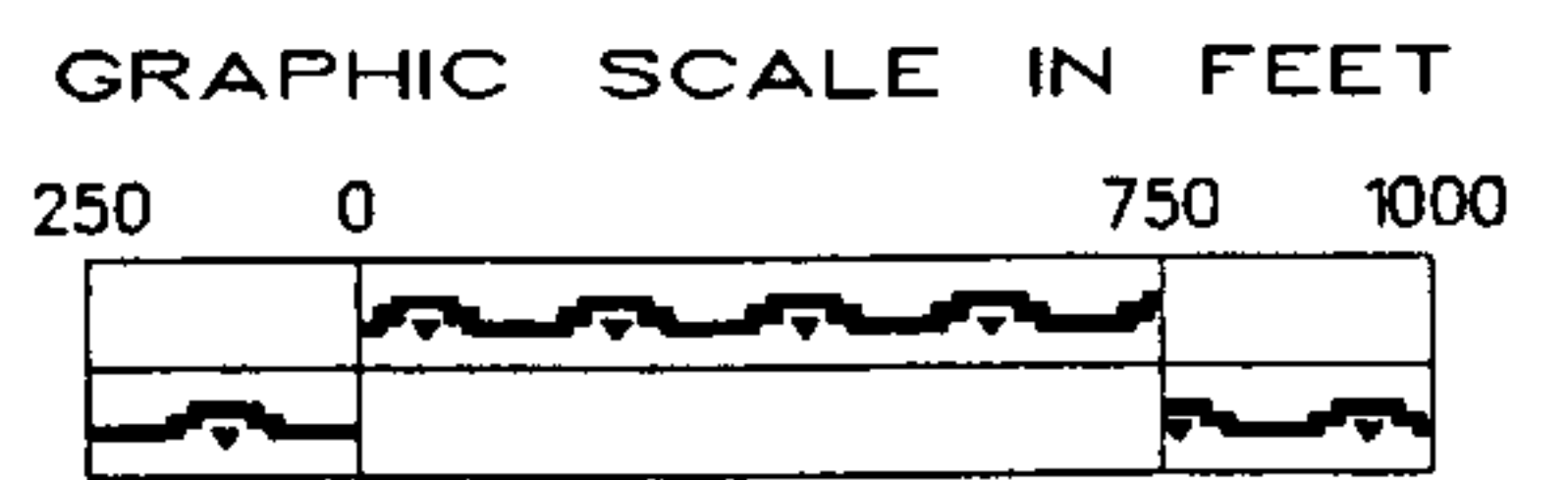
PS Form 3800, June 2002 See Reverse for Instructions

7003 3110 0006 0554 2571



Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT

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Zone Atlas Page

C-9-Z

Map Amended through January 02, 2004

NOTE GREY SHADING REPRESENTS AREA OUTSIDE OF THE CITY LIMITS

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE (Public Hearing Case)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements Variance and subdivision should be applied for simultaneously.
- Letter briefly describing and explaining the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies.
(Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies *on preliminary plat*
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule) *45*
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Genevieve Donart Applicant name (print)
Genevieve Donart Applicant signature / date 3/26/04



Form revised April 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
040RE - 00458
040RE - 00459
04DR13 - 00461

[Signature] 3/26/04
Planner signature / date
Project # 1003354



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, April 21, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1000131

04DRB-00460 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, PA agent(s) for BROADWAY DEVELOPMENT CO. request(s) the above action(s) for all or a portion of **BROADWAY INDUSTRIAL CENTER, UNIT 2**, zoned SU-2 HM, located on SAN JOSE AVE, between BROADWAY BLVD and I-25 containing approximately 45 acre(s). [REF: DRB-97-271, 04DRB-00383] (M-14)

Project # 1000364

04DRB-00448 Major-Two Year SIA

BRET OR DEBRA A TABOR request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) 1-B-1, **CHANSLOR'S REPLAT OF GALLAGHER ADDITION**, zoned C-2 community commercial zone, located on CENTRAL AVE NE, between BURMA NE and LINN AVE NE containing approximately 1 acre(s). [REF: DRB-97-396, 00410-00363] (L-22)

Project # 1000515

04DRB-00444 Major-Two Year SIA –
Procedure "B" Modified

WESTLAND DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Tract(s) B, **MIREHAVEN ARROYO, THE CROSSING**, zoned SU-2/R-LT, located west of UNSER BLVD NW, between LADERA DR NW and TIERRA PINTADA ST containing approximately 50 acre(s). [REF: 00420-00632, 00440-00631, 02500-00159] (H-9)

Project # 1003354

04DRB-00458 Major-Vacation of Public
Easements

04DRB-00457 Major-Preliminary Plat
Approval

04DRB-00459 Minor-Temp Defer SDWK

04DRB-00461 Minor-Sidewalk Waiver

ISAACSON & ARFMAN P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) A, THE TRAILS, (to be known as **HERITAGE @ THE TRAILS, UNIT 1**), zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 14 acre(s). [REF: 1002962, 03DRB-01528] (C-9).

SEE PAGE 2 . . .



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1003353

04DRB-00454 Major-Vacation of Public Easements

04DRB-00452 Major-Preliminary Plat Approval

04DRB-00456 Minor-Sidewalk Waiver

04DRB-00453 Minor- Temp Deferral of Sidewalk

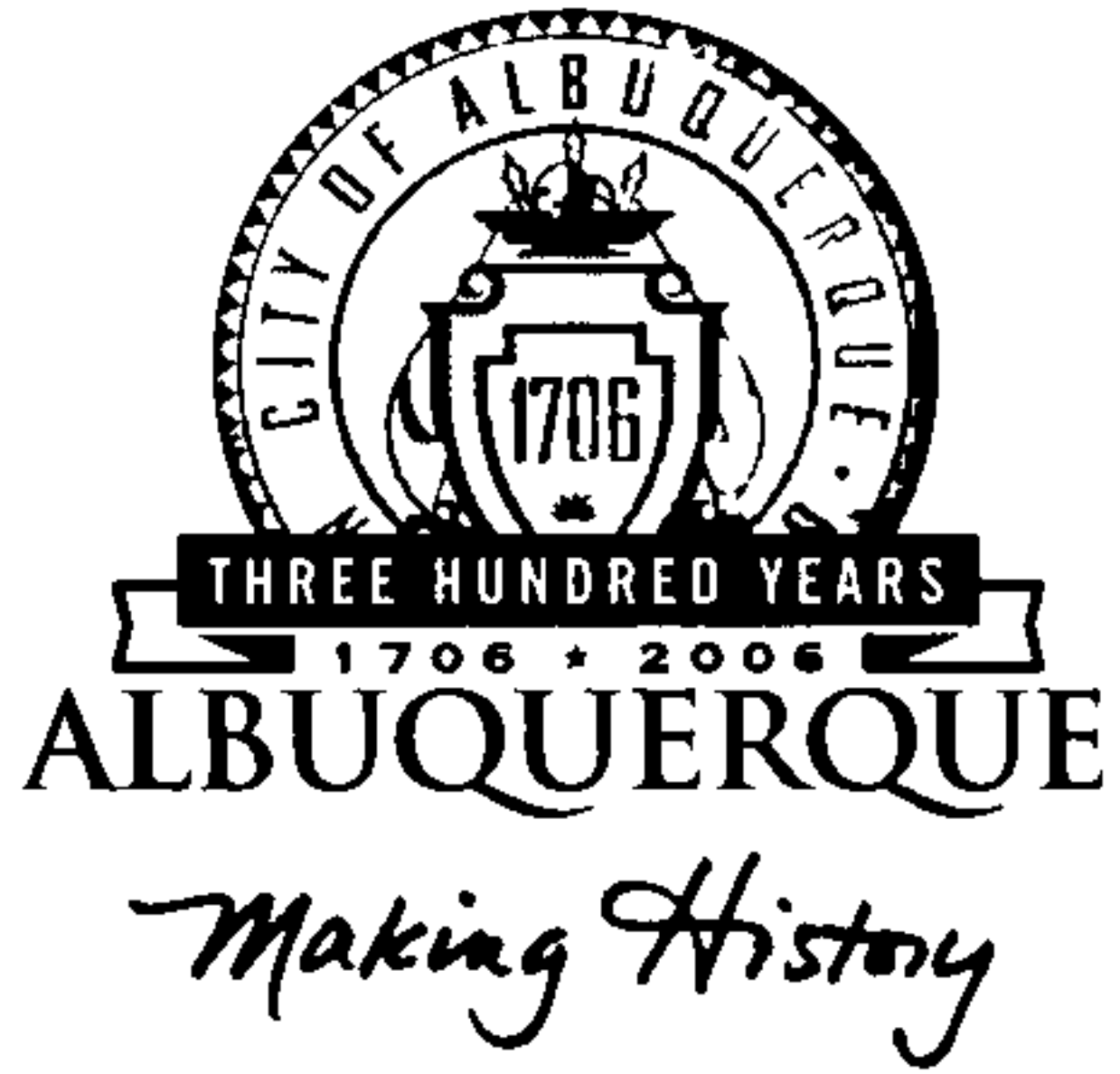
ISAACSON & ARFMAN, P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) B, THE TRAILS, (To be known as **HERITAGE @ THE TRAILS, UNIT 2**, zoned R-D, located on PASEO DEL NORTE BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 10 acre(s). [REF: 1002962, 03DRB-01528 (C-9)]

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, APRIL 5, 2004.

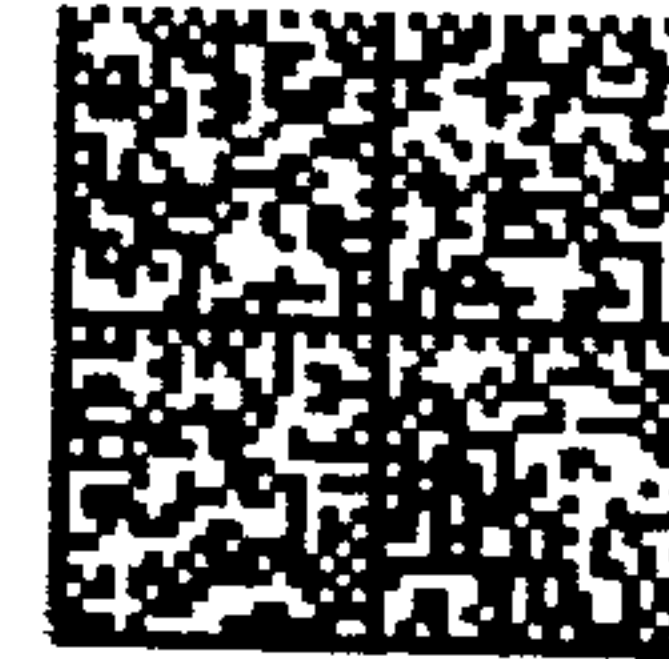
CITY OF ALBUQUERQUE



Planning Department

P.O. Box 1293

Albuquerque, NM 87103



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 MAILED FROM ZIP CODE 87102

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PADILLA MARIO A
 9400 SANTALA
 ALBUQUERQUE NM

PL NW
 87114

PADI400* 871143002 1203 20 04/09/04
 FORWARD TIME EXP RTN TO SEND
 PADILLA
 PO BOX 66808
 ALBUQUERQUE NM 87193-6808

RETURN TO SENDER



87114+3494 94



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, April 21, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1000131
04DRB-00460 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, PA agent(s) for BROADWAY DEVELOPMENT CO. request(s) the above action(s) for all or a portion of **BROADWAY INDUSTRIAL CENTER, UNIT 2**, zoned SU-2 HM, located on SAN JOSE AVE, between BROADWAY BLVD and I-25 containing approximately 45 acre(s). [REF: DRB-97- 271, 04DRB-00383] (M-14)

Project # 1000364
04DRB-00448 Major-Two Year SIA

BRET OR DEBRA A TABOR request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) 1-B-1, **CHANSLOR'S REPLAT OF GALLAGHER ADDITION**, zoned C-2 community commercial zone, located on CENTRAL AVE NE, between BURMA NE and LINN AVE NE containing approximately 1 acre(s). [REF: DRB-97-396, 00410-00363] (L-22)

Project # 1000515
04DRB-00444 Major-Two Year SIA –
Procedure "B" Modified

WESTLAND DEVELOPMENT CO., INC request(s) the above action(s) for all or a portion of Tract(s) B, **MIREHAVEN ARROYO, THE CROSSING**, zoned SU-2/R-LT, located west of UNSER BLVD NW, between LADERA DR NW and TIERRA PINTADA ST containing approximately 50 acre(s). [REF: 00420-00632, 00440-00631, 02500-00159] (H-9)

Project # 1003354
04DRB-00458 Major-Vacation of Public
Easements
04DRB-00457 Major-Preliminary Plat
Approval
04DRB-00459 Minor-Temp Defer SDWK
04DRB-00461 Minor-Sidewalk Waiver

ISAACSON & ARFMAN P.A. agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) A, THE TRAILS, (to be known as **HERITAGE @ THE TRAILS, UNIT 1**, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE BLVD NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 14 acre(s). [REF: 1002962, 03DRB-01528] (C-9)

SEE PAGE 2 . . .



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1003353

04DRB-00454 Major-Vacation of Public Easements

04DRB-00452 Major-Preliminary Plat Approval

04DRB-00456 Minor-Sidewalk Waiver

04DRB-00453 Minor- Temp Deferral of Sidewalk

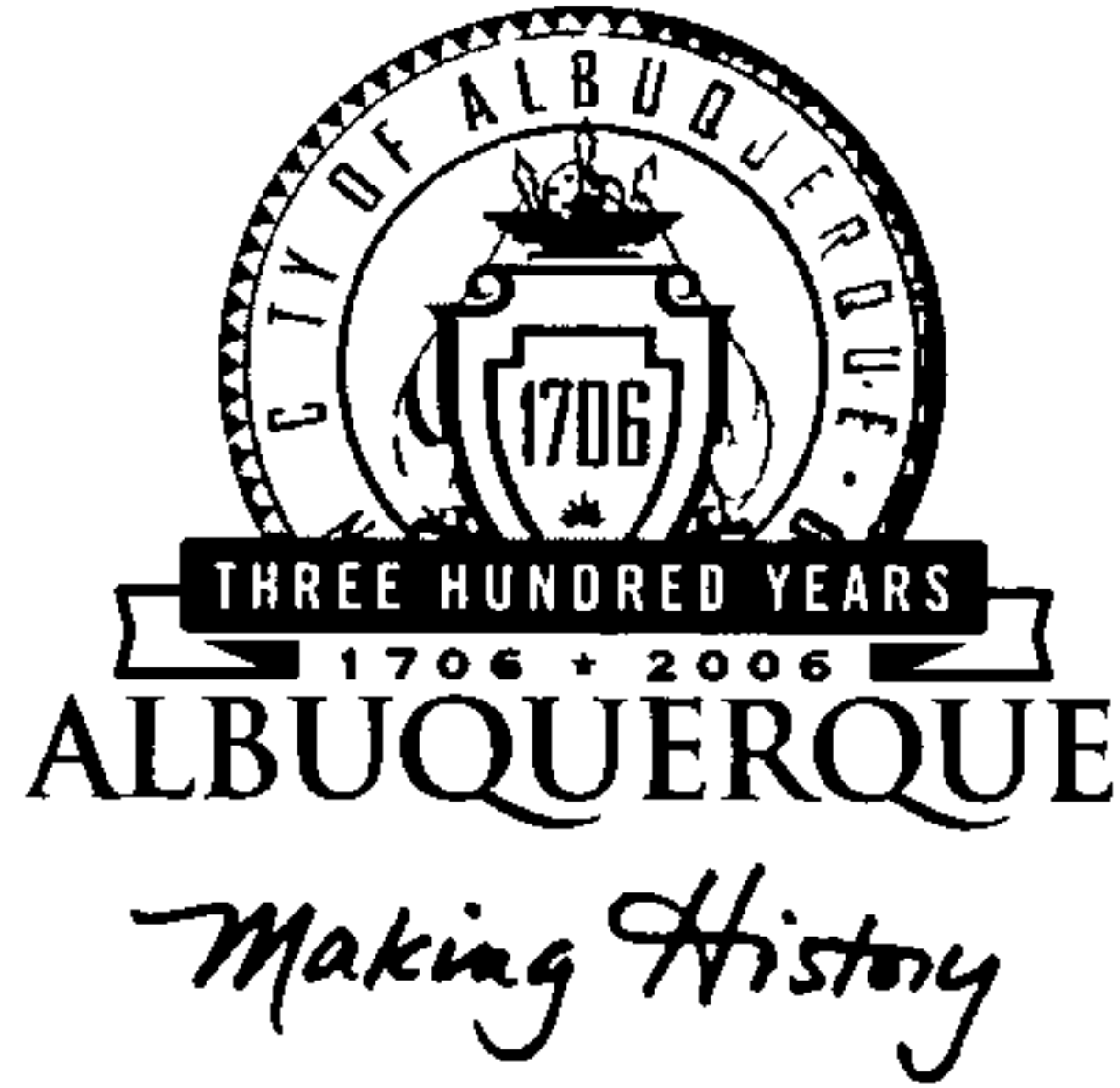
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Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, APRIL 5, 2004.

CITY OF ALBUQUERQUE



Planning Department

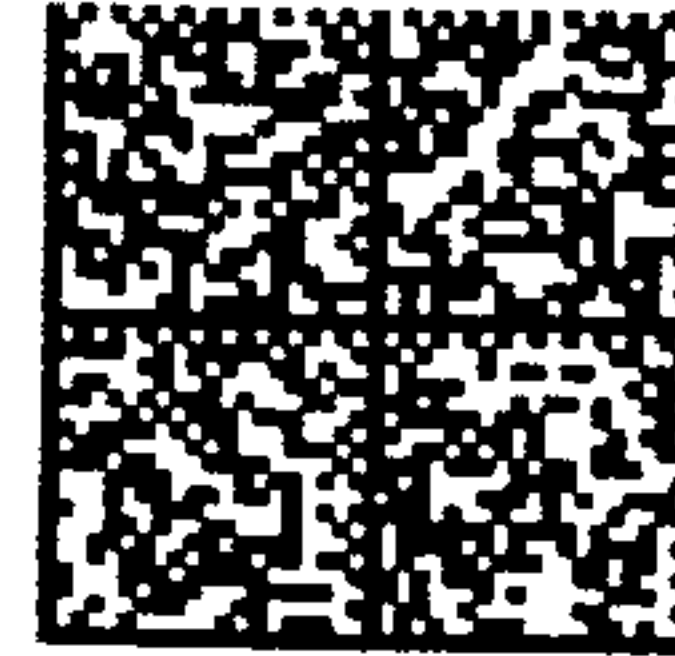
P.O. Box 1293

Albuquerque, NM 87103

100906520002030677

CORSEY BART W & AURORA
 9405 VERVAIN
 ALBUQUERQUE NM

DR NW
 87114



02 1A
 0004329277 APR 06 2004
 MAILED FROM ZIP CODE 87102

\$ 00.37⁰

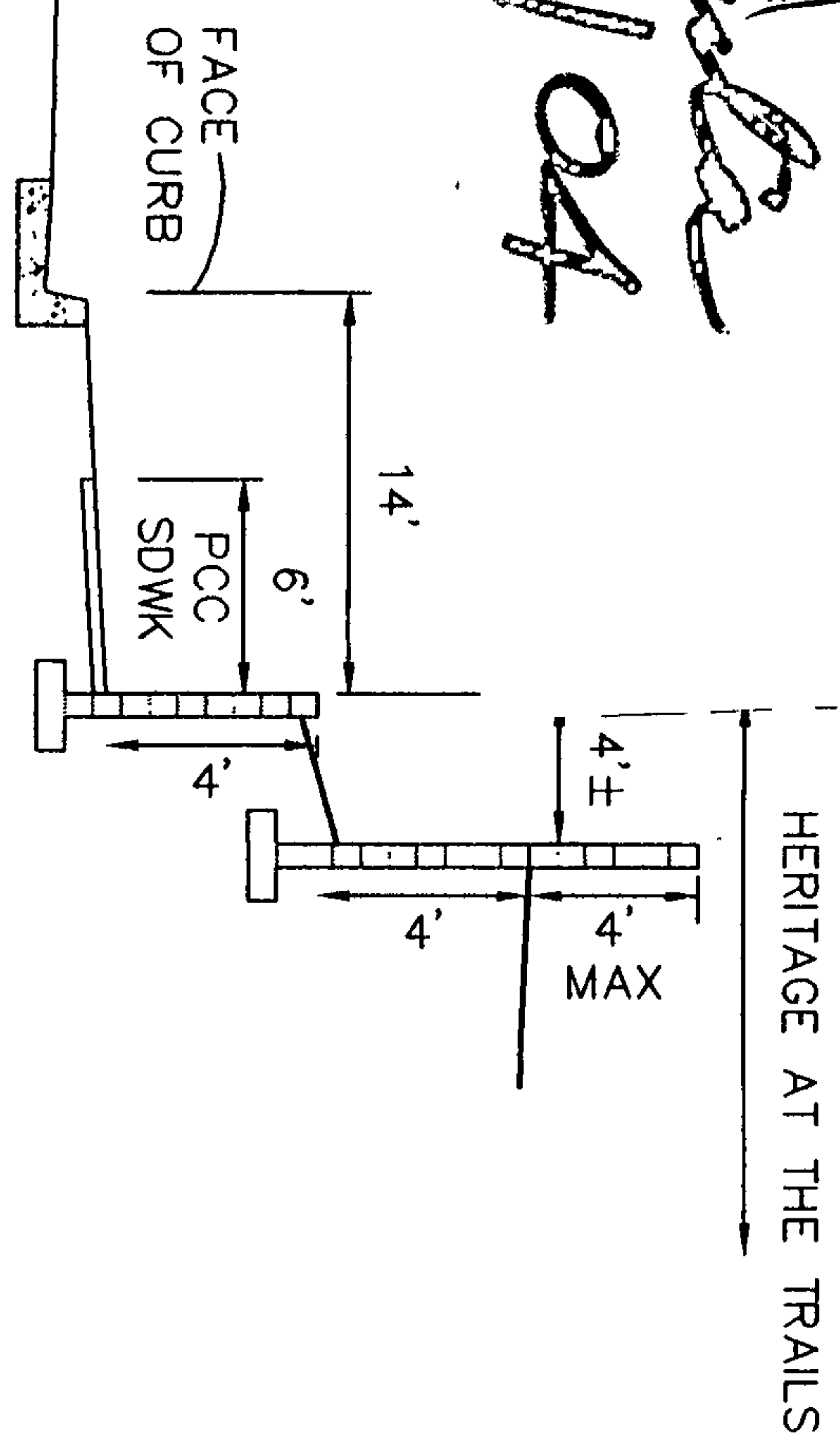
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87114+3636 34

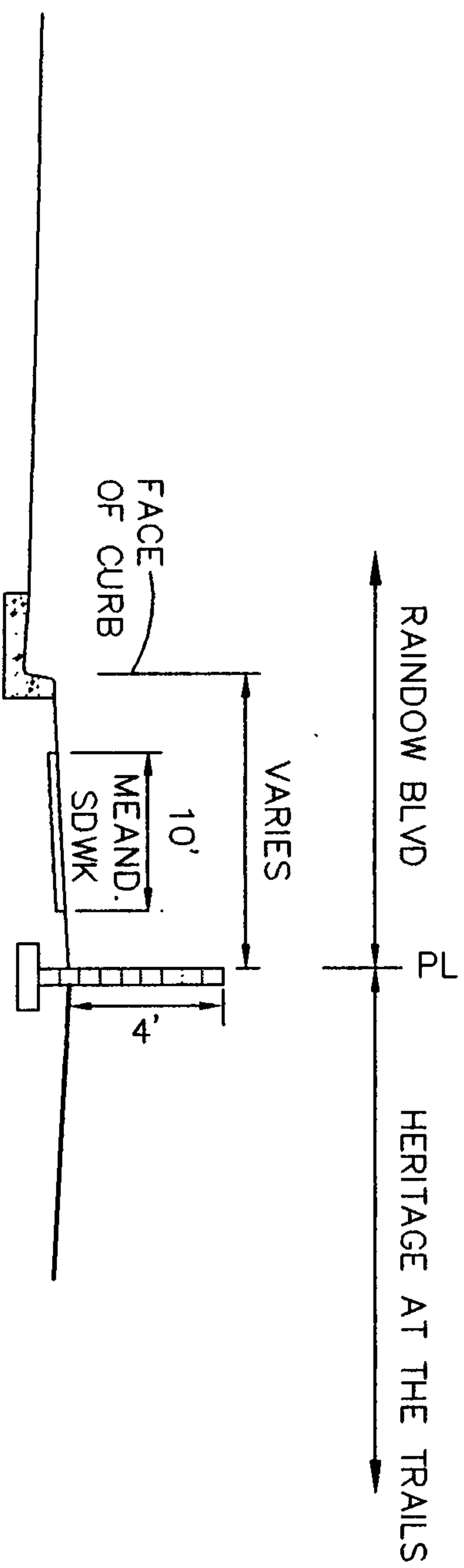
Conditions

needed

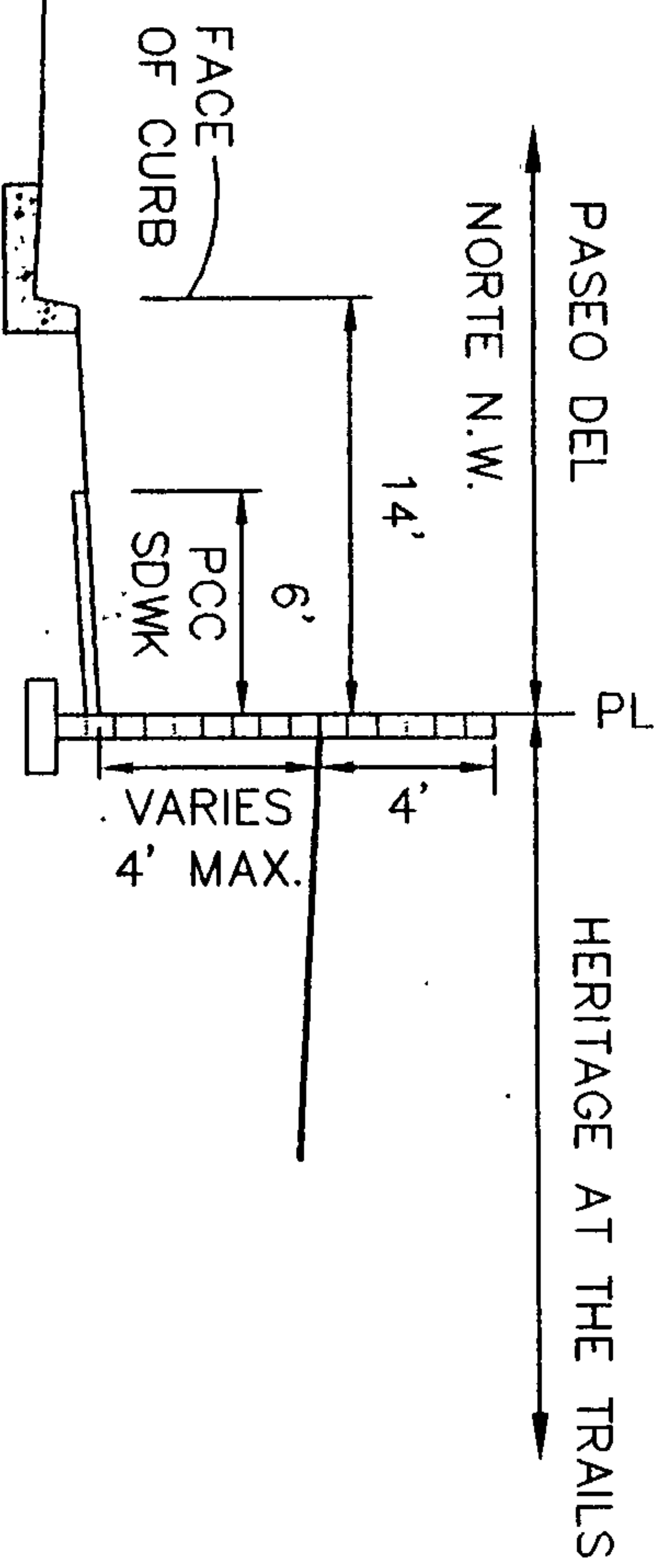
*To be made
12/15/04*



SECTION A1-A1
DOUBLE WALL
NTS



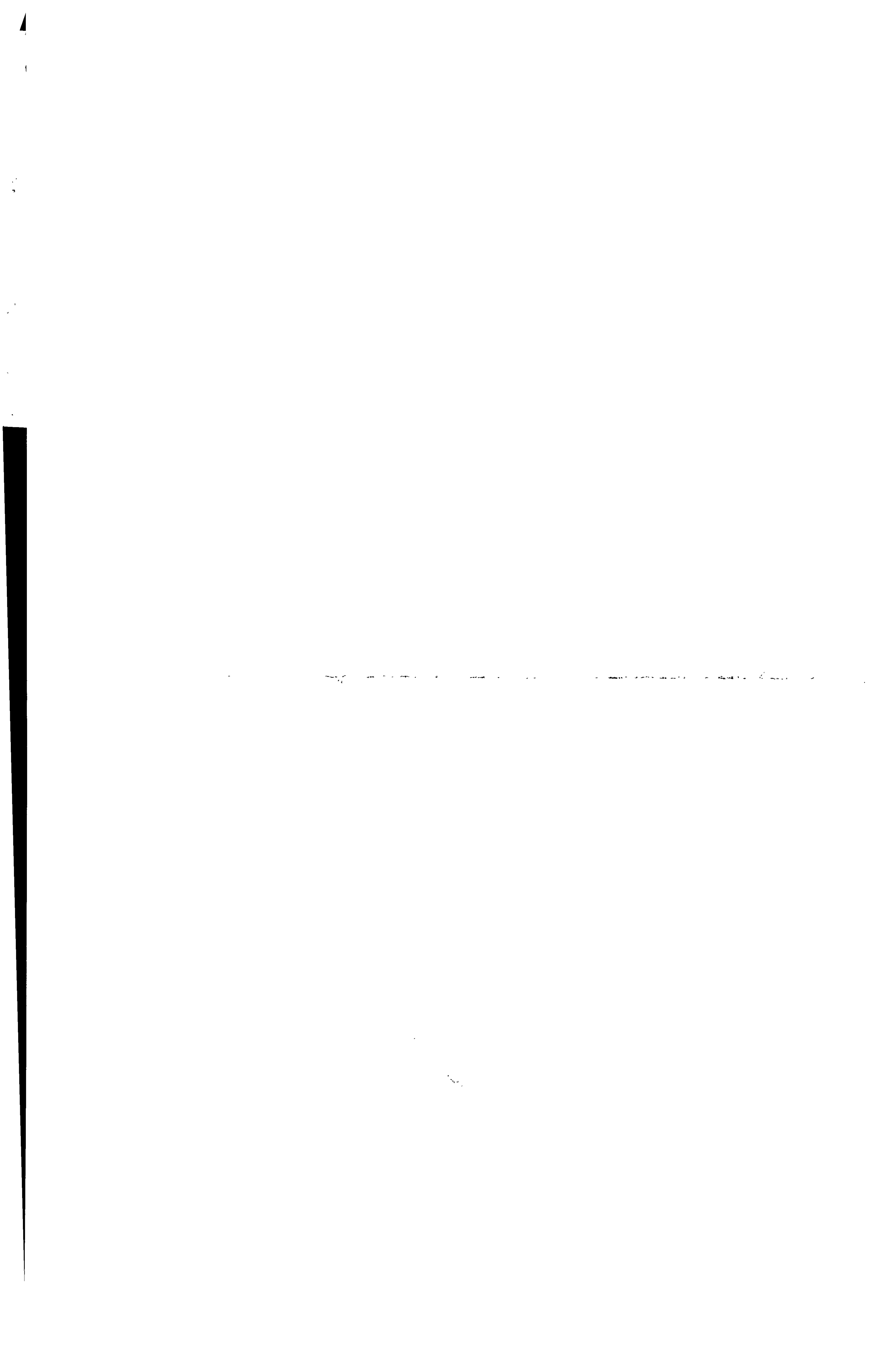
SECTION A3-A3
SINGLE WALL
NTS

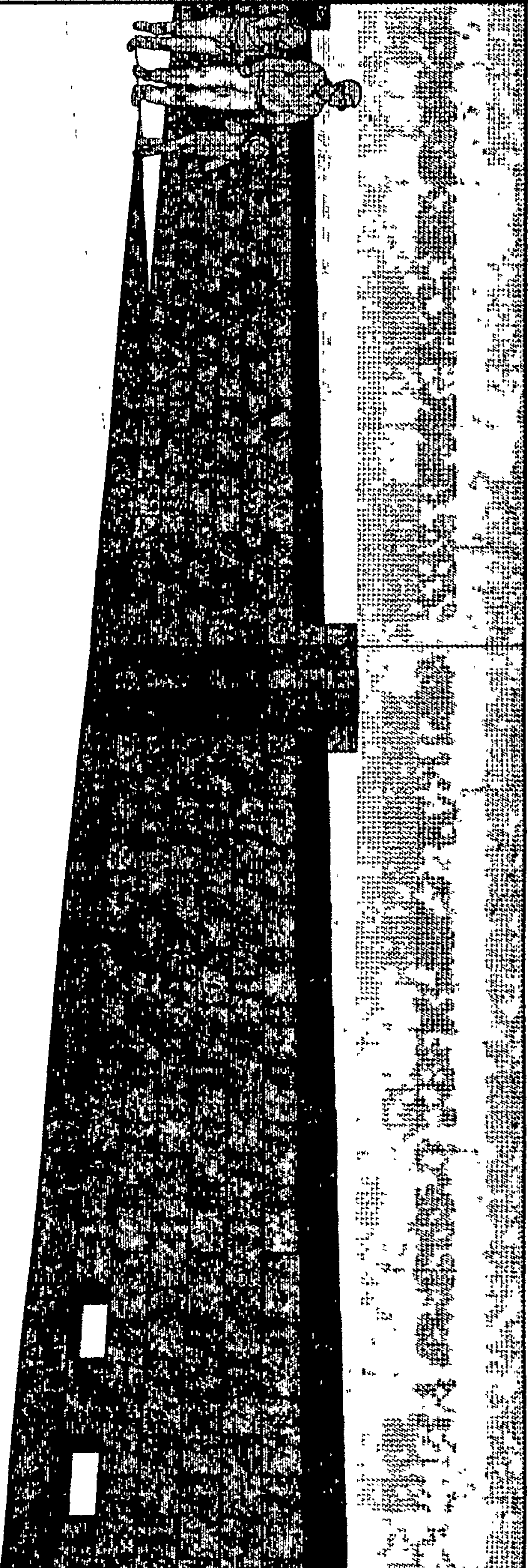
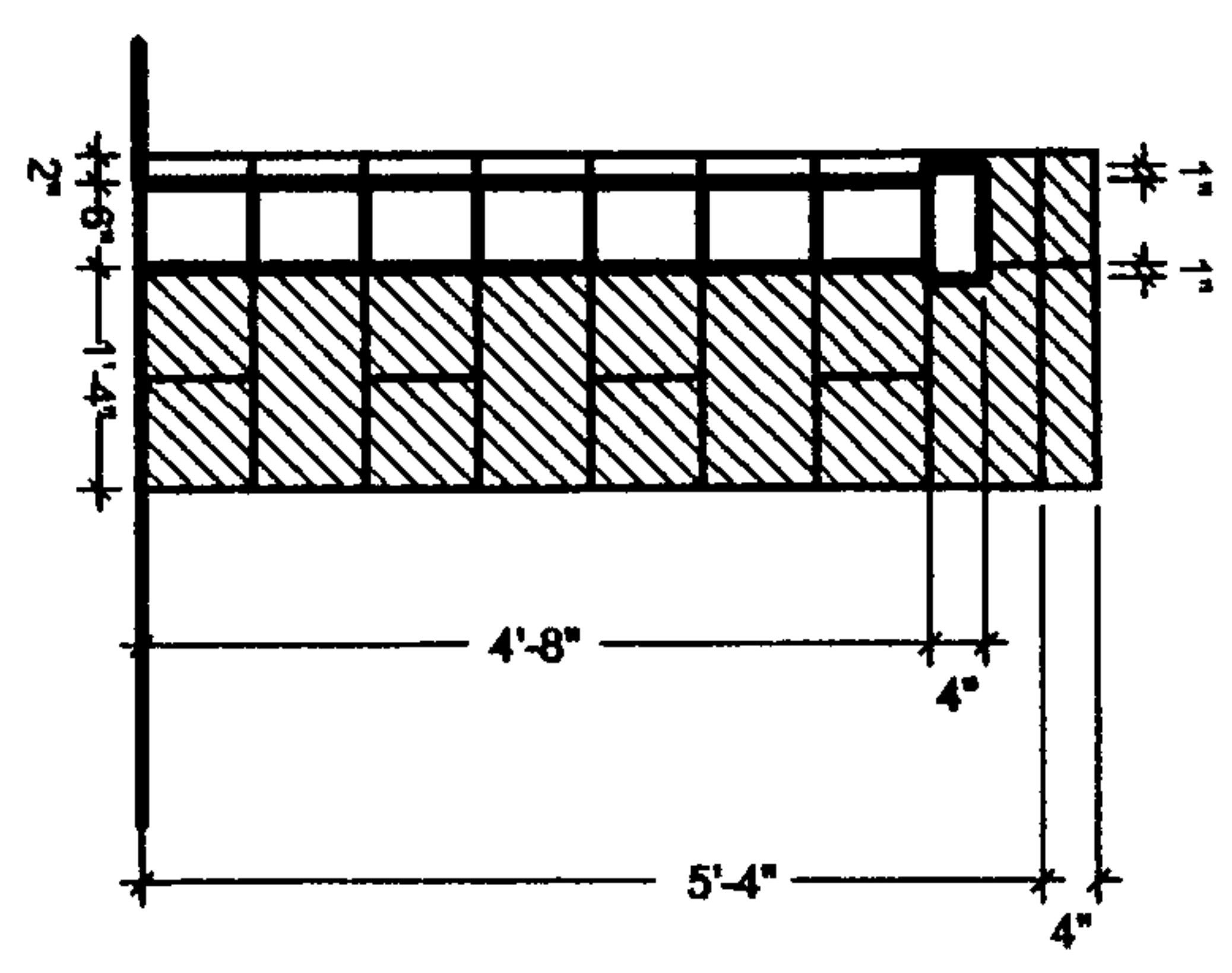
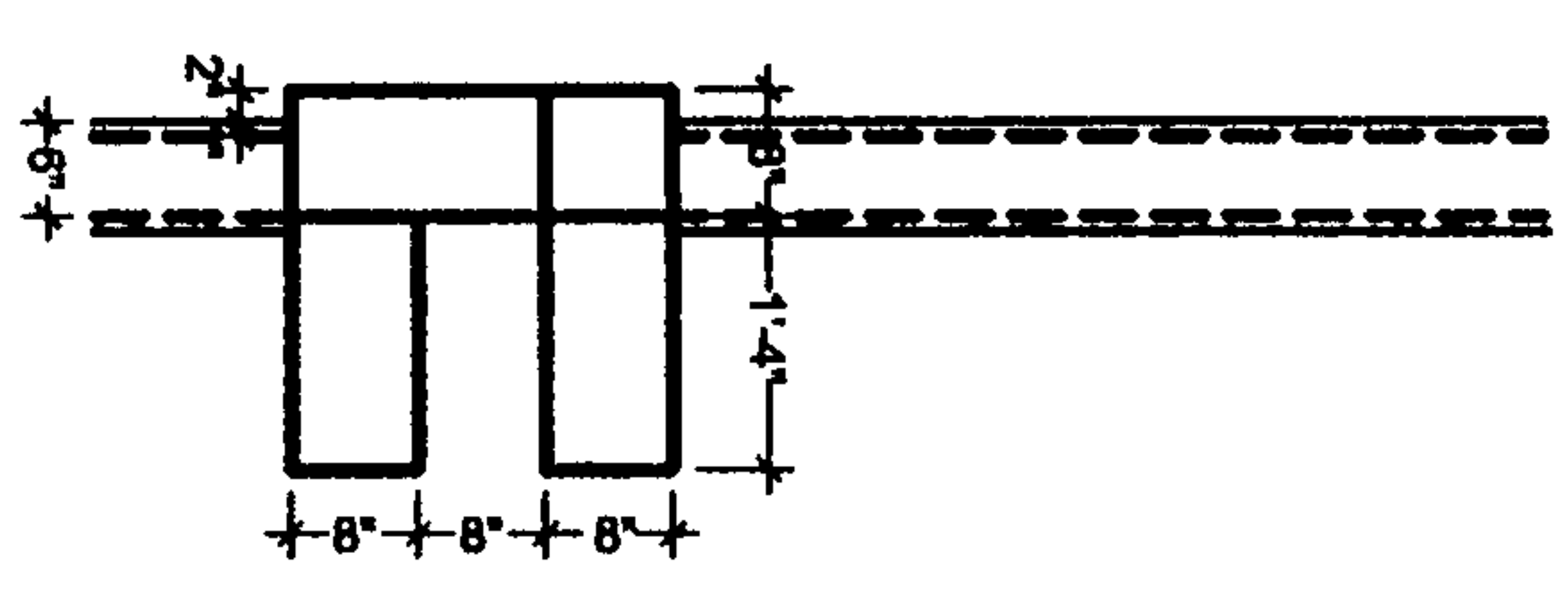
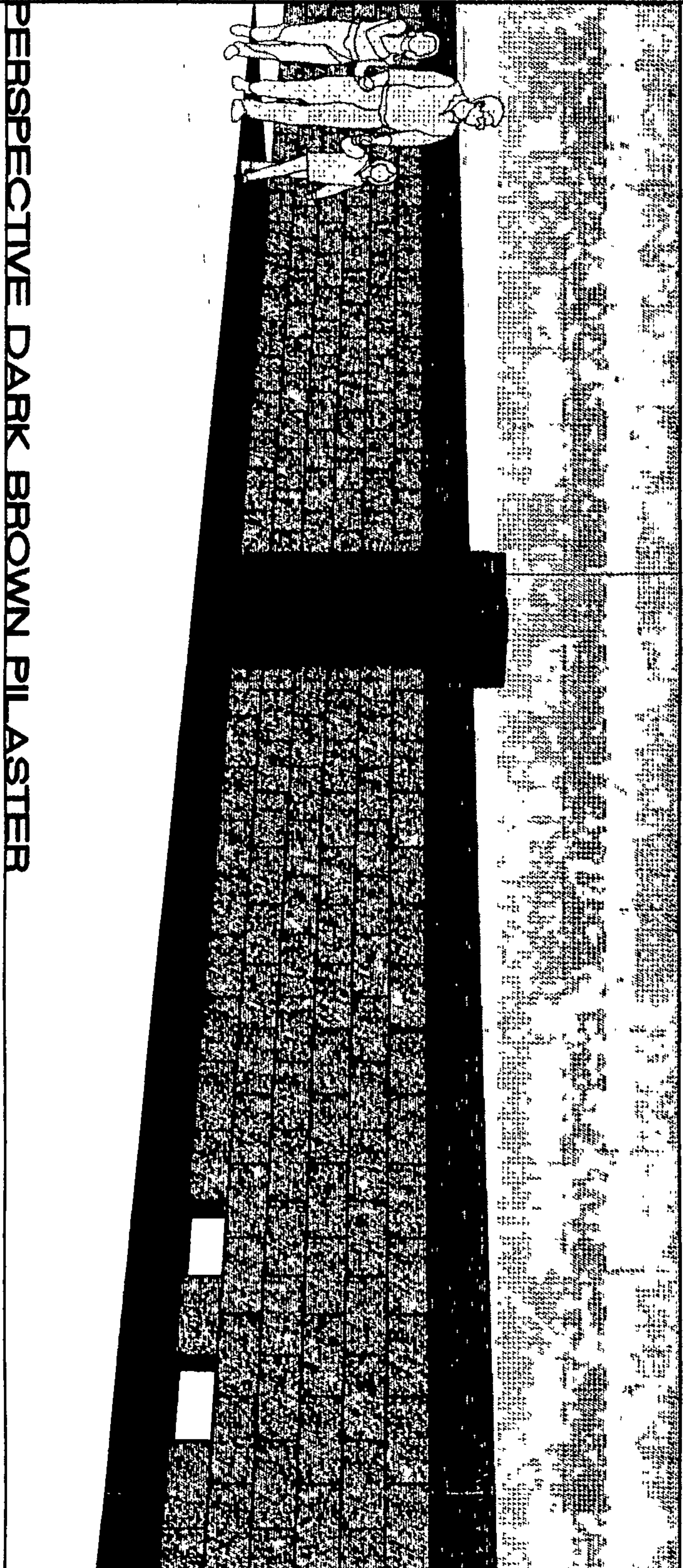
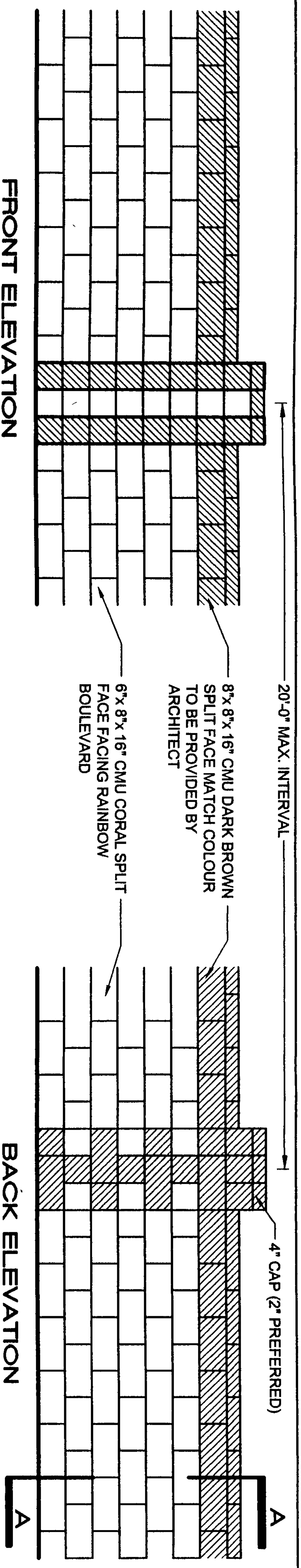


SECTION A2-A2
SINGLE WALL
NTS

**HERITAGE AT THE TRAILS
UNIT 1
PERIMETER WALL
SECTIONS**

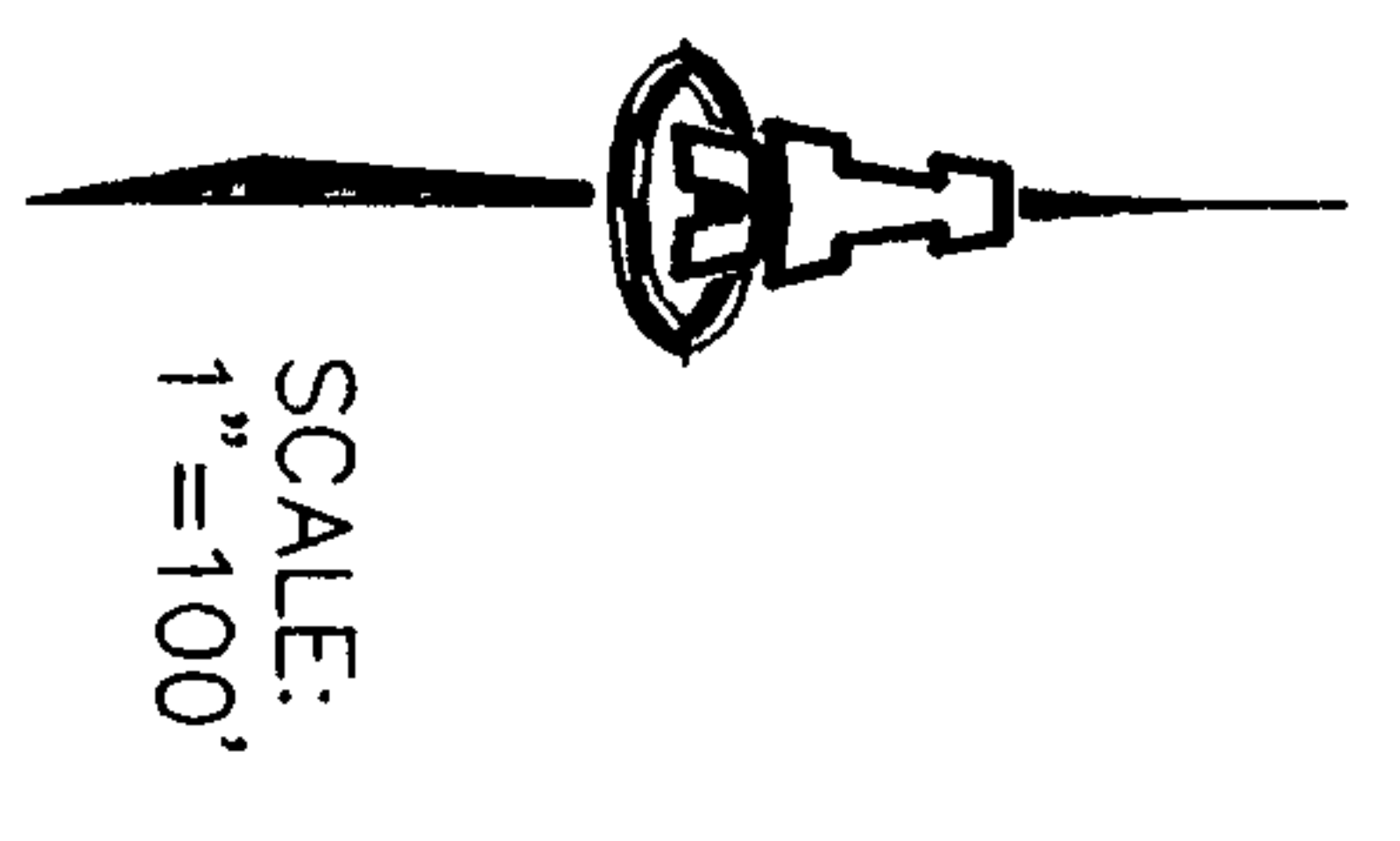
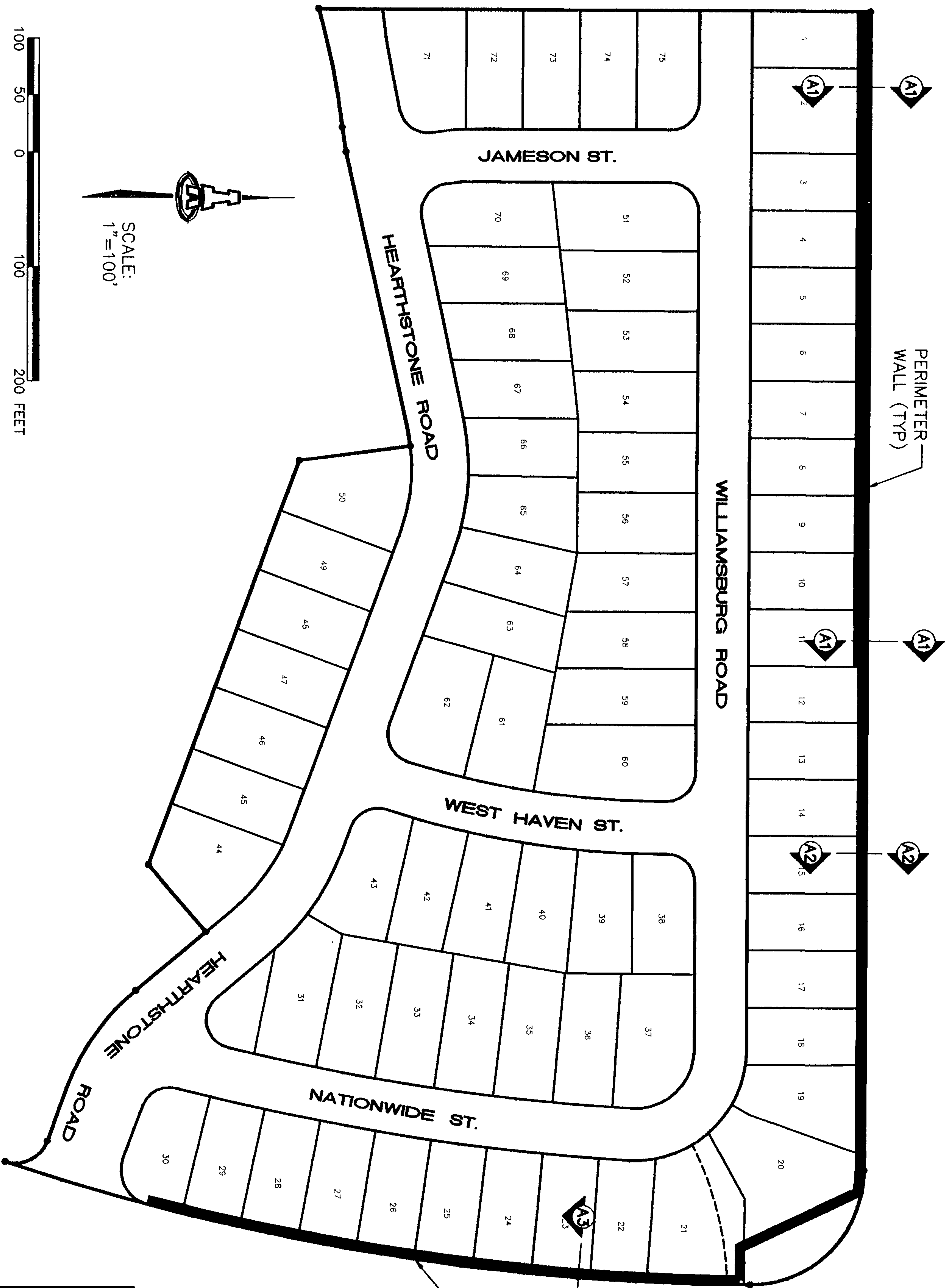
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico
1324A-PerimWall.dwgthor 03/19/04





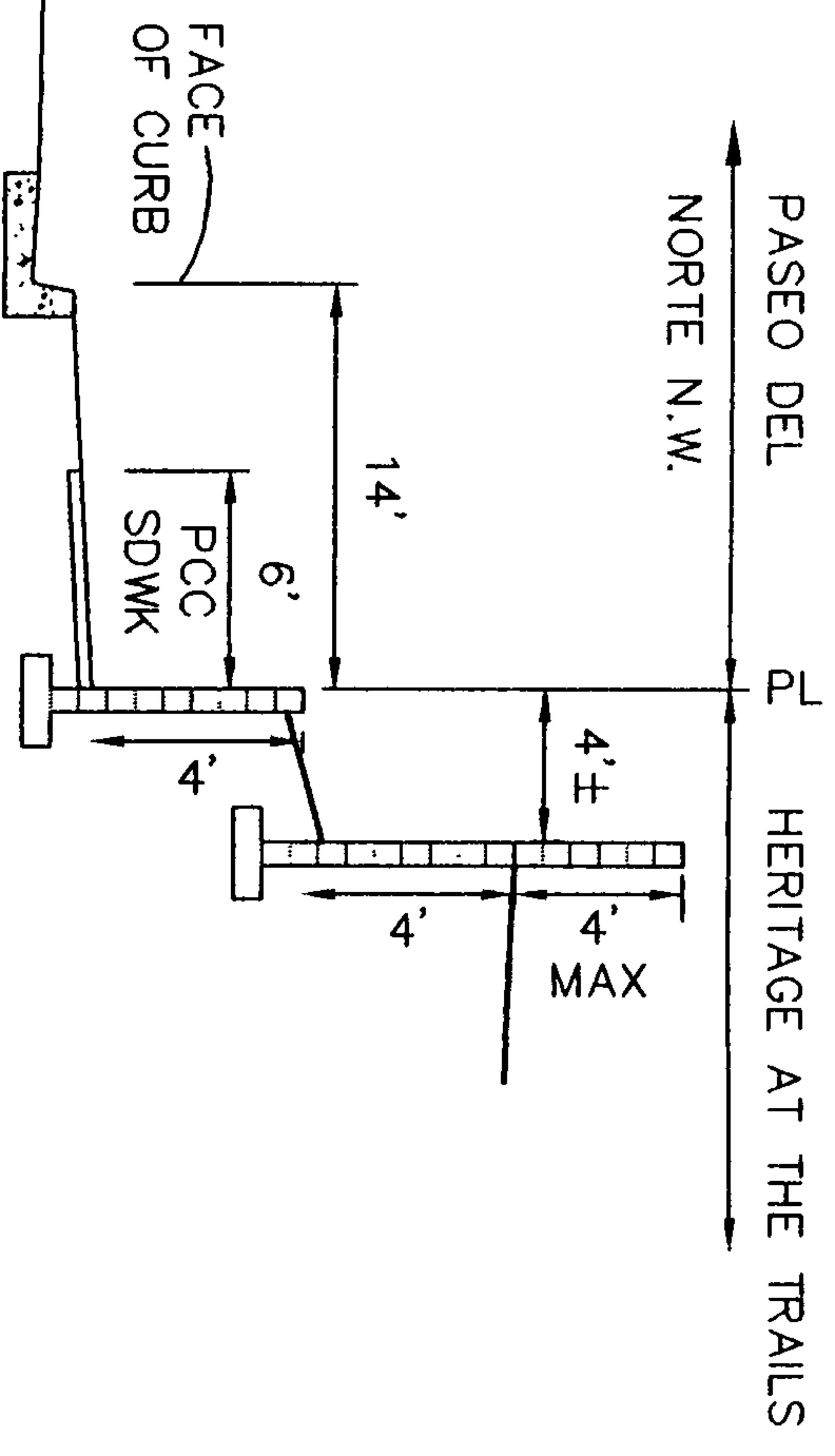
**HERITAGE AT THE TRAILS
UNIT 1
PERIMETER WALL
DETAILS**

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque
 New Mexico
 1324A-PerimWall.dwgthor 03/19/04

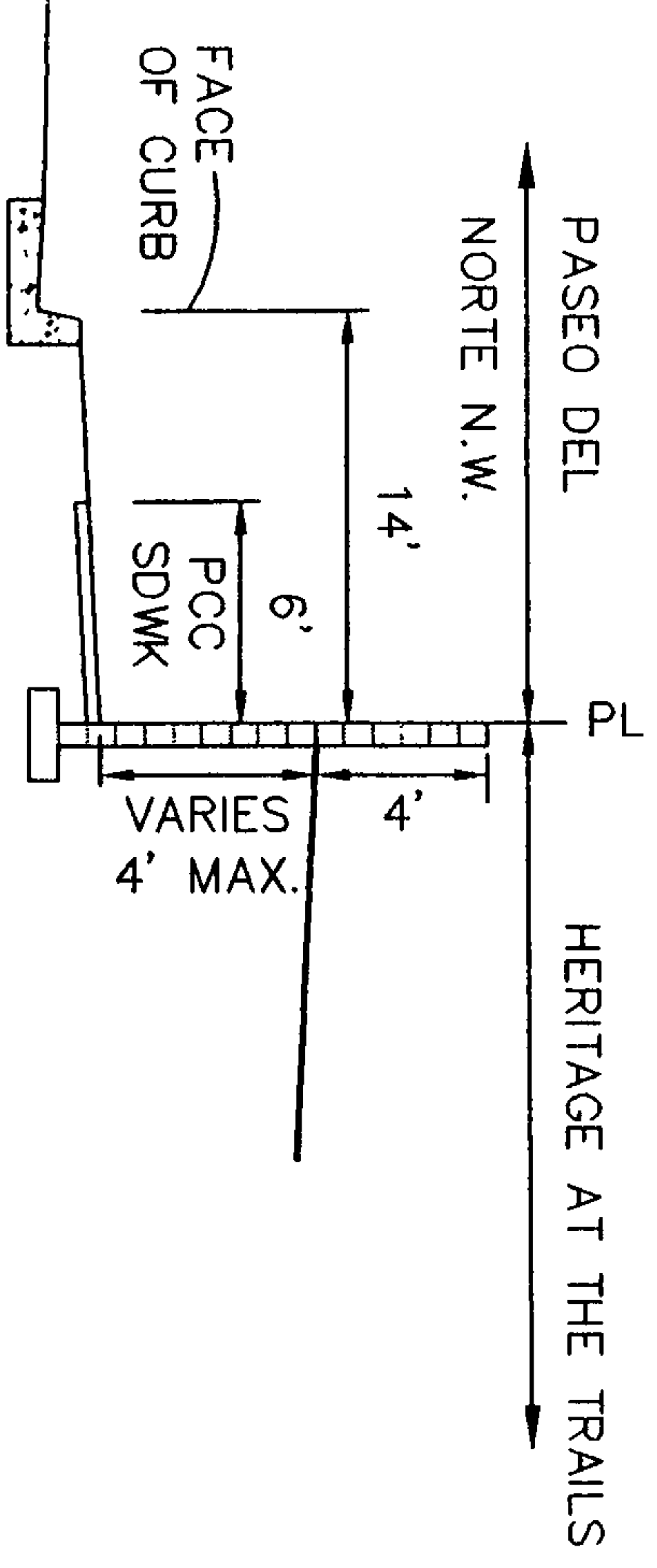


**HERITAGE AT THE TRAILS
UNIT 1
PERIMETER WALL
PLAN**

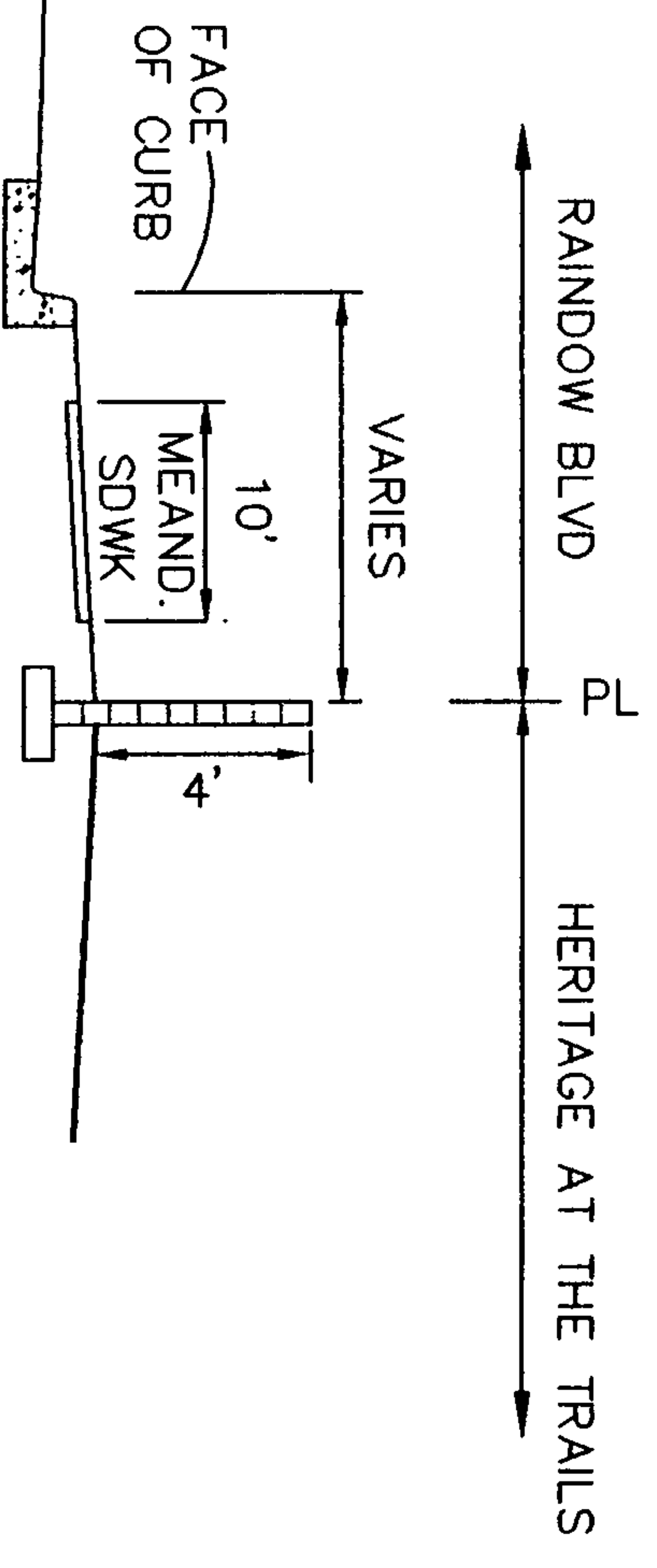
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico
 1324A-PerimWall.dwgthor 03/19/04



SECTION A1-A1
DOUBLE WALL
NTS



SECTION A2-A2
SINGLE WALL
NTS

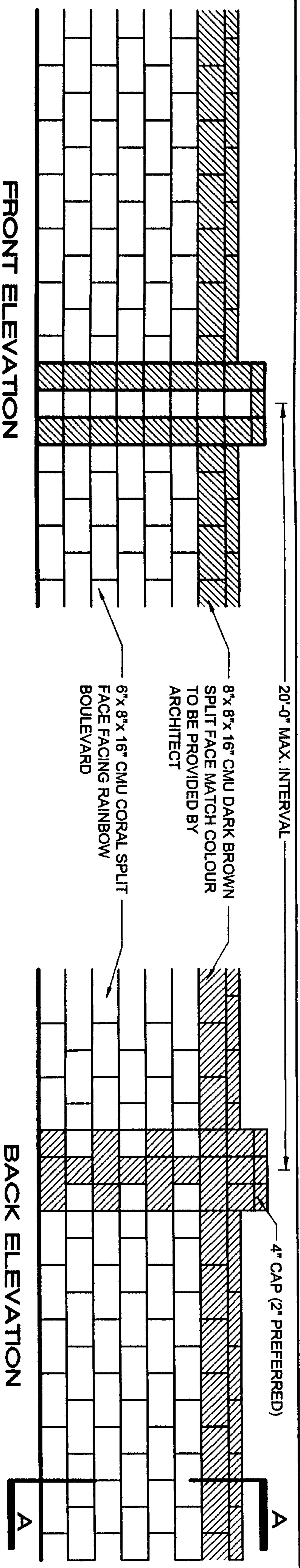


SECTION A3-A3
SINGLE WALL
NTS

**HERITAGE AT THE TRAILS
UNIT 1
PERIMETER WALL
SECTIONS**

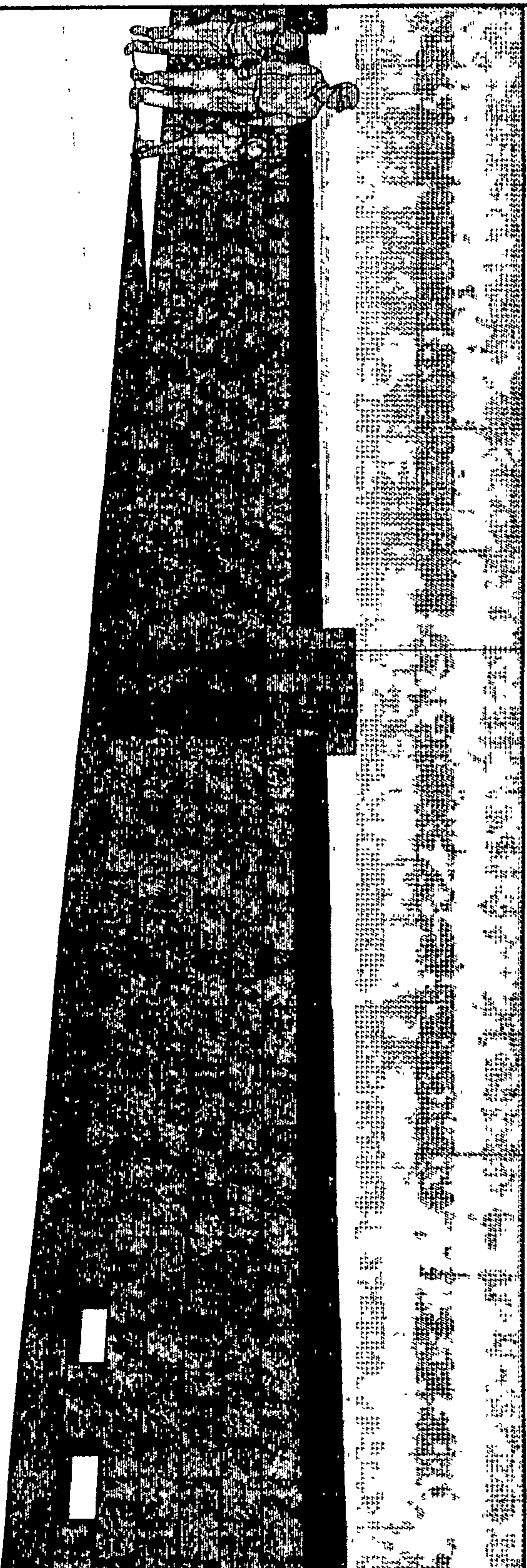
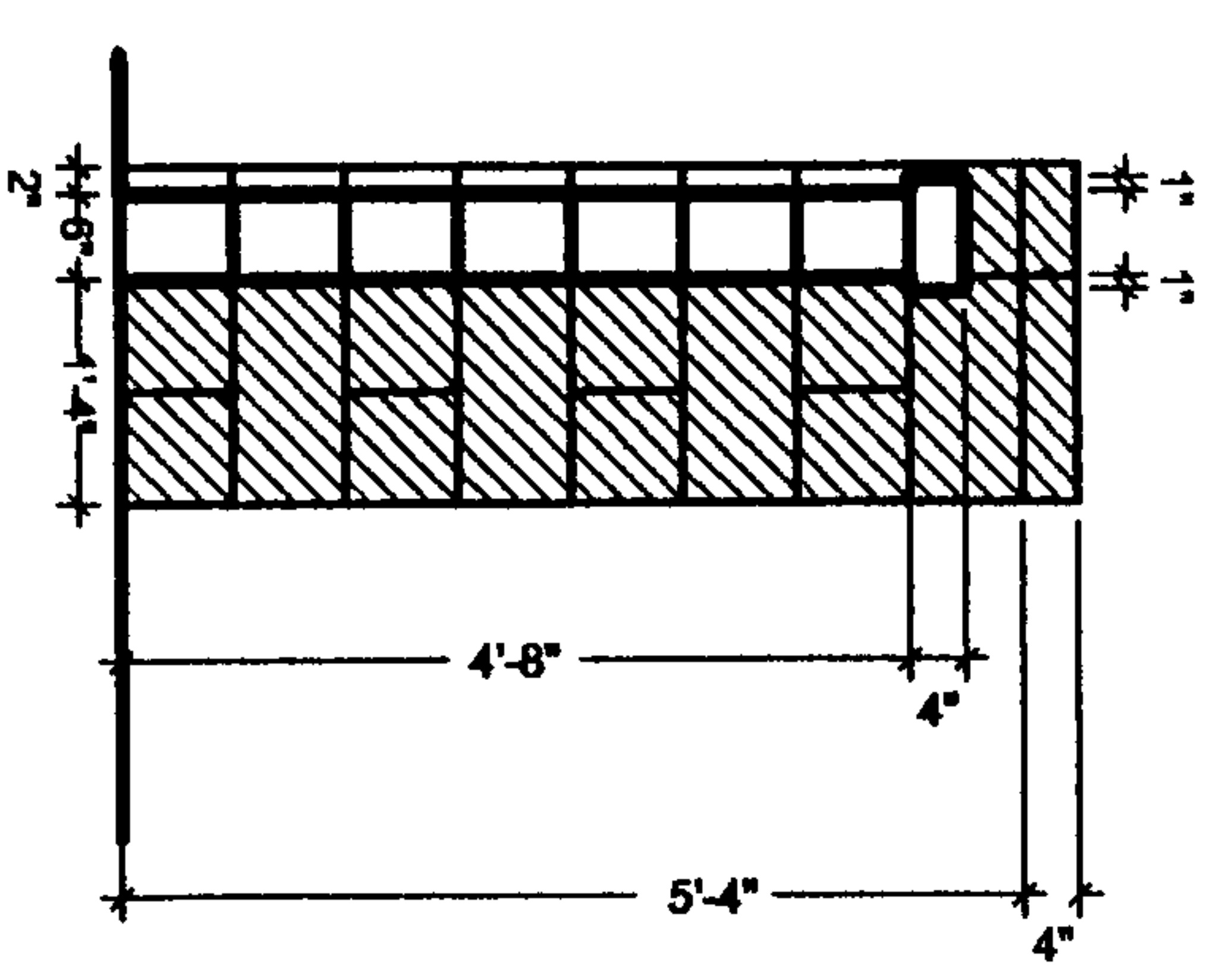
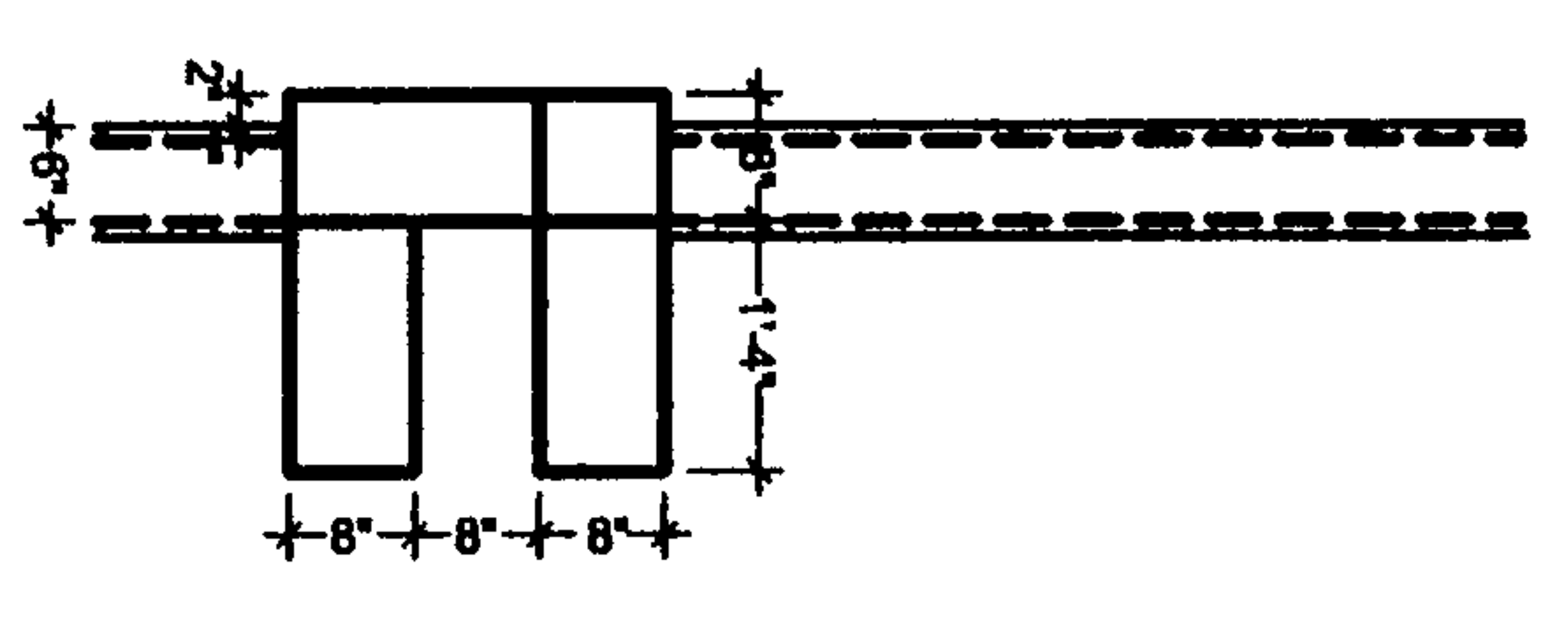
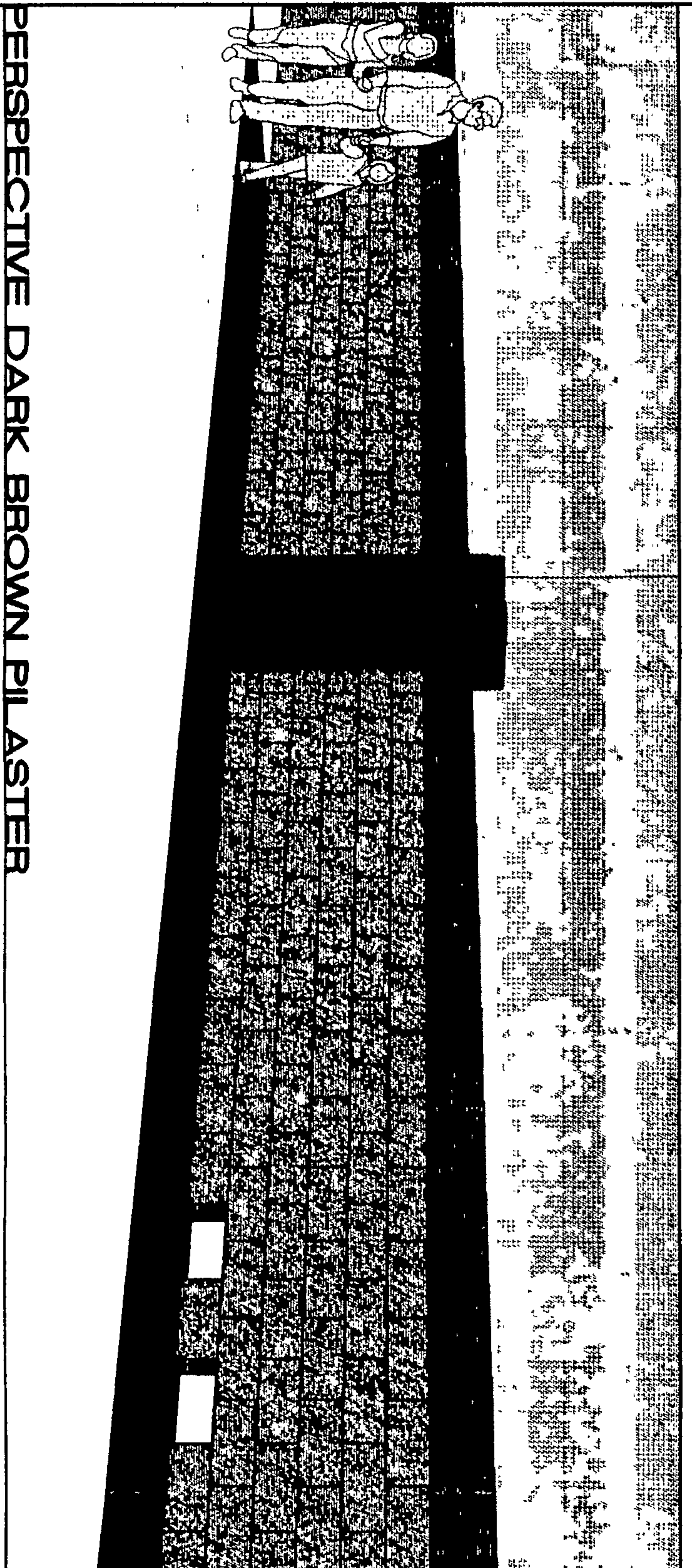
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque
New Mexico
1324A-PerimWall.dwgthor
03/19/04

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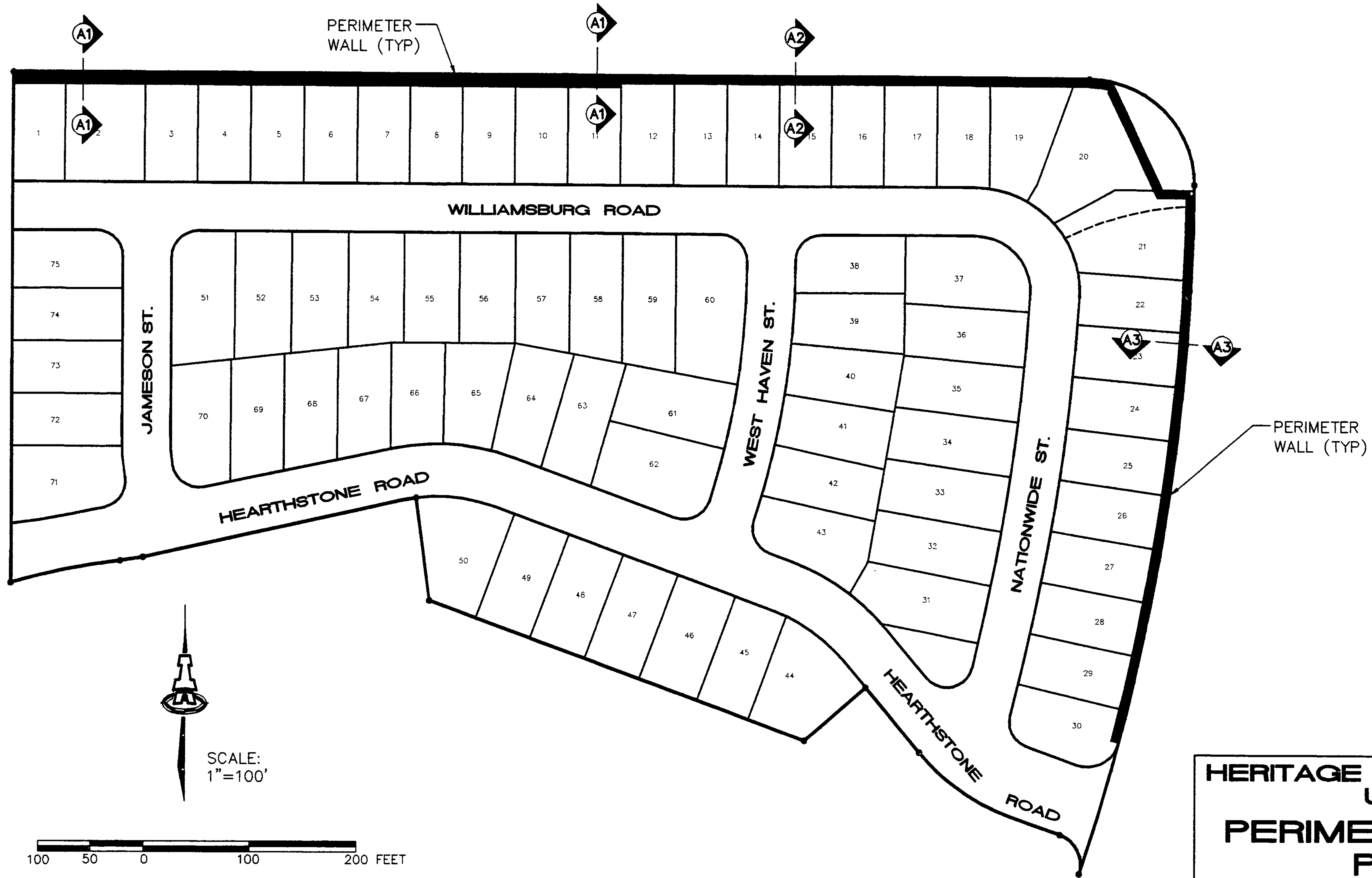
8" x 8" x 16" CMU DARK BROWN
SPLIT FACE MATCH COLOUR
TO BE PROVIDED BY
ARCHITECT

6" x 8" x 16" CMU CORAL SPLIT
FACE FACING RAINBOW
BOULEVARD

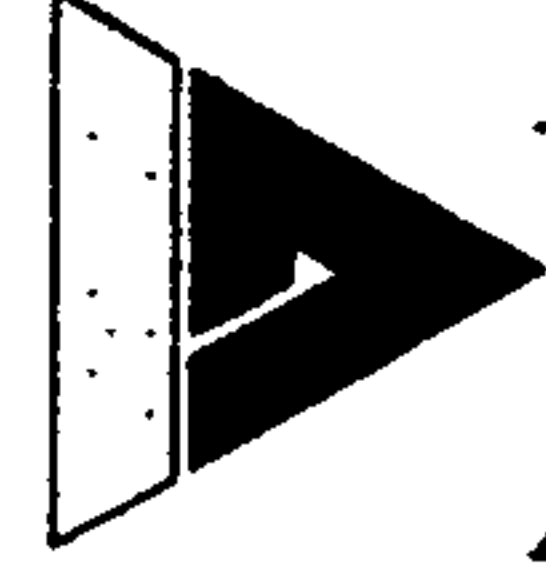


**HERITAGE AT THE TRAILS
UNIT 1
PERIMETER WALL
DETAILS**

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque
New Mexico
1324A-Perim Wall.dwgthor 03/19/04



**HERITAGE AT THE TRAILS
UNIT 1
PERIMETER WALL
PLAN**



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico
 1324A-PerimWall.dwgthor 03/19/04

Claire

Date Submitted: March 24, 2004
 Date Site Plan Approved: _____
 Date Preliminary Plat Approved: 4/21/04
 Date Preliminary Plat Expires: 4/21/05
 DRB Project No.: 1003354
 DRB Application No.: 04DRB-00457

INFRASTRUCTURE LIST
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

▲ 6/29/04
▲ 9/3/04

HERITAGE AT THE TRAILS, UNIT 1

PROPOSED NAME OF PLAT

TRACT A, THE TRAILS

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Const Engineer
		28' F-F	Residential Paving	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		28' F-F	Residential Paving	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		32' F-F	Residential Paving	Hearthstone Road	West Property Line	Williamsburg Road Nationwide Street	/	/	/
		50' F-F (incl Median)	Residential Paving	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/
		31' F-F (half of full width)	Arterial Paving (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
			Modified Procedure "C" <i>SLC NOTE 9</i>	Paseo del Norte			/	/	/
		31' F-F (half of full width)	Arterial Paving (11) 6' SW. V, C & G SOUTHSIDE	Paseo del Norte	W. Prop. line	Rainbow Blvd	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/



ORIGINAL

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		Std. or Mntbl	Curb and Gutter (6)	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Hearthstone Road	West Property Line	Rainbow Blvd.	/	/	/
		Median	Curb and Gutter	Hearthstone Road	E. of Nationwide Street	Rainbow Blvd.	/	/	/
		Std.	Curb and Gutter (8) (West Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		Median	Curb and Gutter (8) (East Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Hearthstone Road	West Property Line	Nationwide Street	/	/	/
		4'	PCC Sidewalk (North Side Only)	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/
		4'	PCC Sidewalk (1) (South Side Only)	Hearthstone Road	West PL - Lot 50	East PL - Lot 44	/	/	/
		10'	Asphalt Trail (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		10'	Asphalt Trail (12)	Tract 05-1	West PL	East PL	/	/	/
		8"	Waterline	Public Easement on Lot 2	Paseo Del Norte	Williamsburg Road	/	/	/
		6"	Waterline	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		6"	Waterline	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/

ORIGINAL

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		8"	Waterline	Hearthstone Road	West Property Line	Rainbow Blvd.	/	/	/
		6"	Waterline	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		6"	Waterline	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		20"	Waterline (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
							/	/	/
		8"	SAS	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		8"	SAS	Hearthstone Road	West Property Line	Lot 44	/	/	/
		8"	SAS	Jameson Street	Lot 70 - South End	Williamsburg Road	/	/	/
		8"	SAS	West Haven Street	Hearthstone Road	Williamsburg Road	/	/	/
		8"	SAS	Nationwide Street	Williamsburg Road	Lot 30	/	/	/
		8"	SAS	Lot 21 Easement	Williamsburg Road	Rainbow Blvd.	/	/	/
		8" - 12"	SAS (8)	Tracts B, D, F, & J	Lot 21 Easement	Universe Blvd	/	/	/
		750 gpm	Temp SAS Lift Station (8)	Tract J	Universe Blvd		/	/	/
		8"	Temporary SAS Force Main (8)	Universe Blvd	Tree Line Avenue	Paseo del Norte	/	/	/
							/	/	/
		30"	RCP Storm Drain	Lot 2 Easement	Williamsburg Road	Paseo del Norte	/	/	/
		36" - 42"	RCP Storm Drain	Paseo Del Norte	Lot 2	Rainbow Blvd.	/	/	/
		24"	RCP Storm Drain	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/

ORIGINAL

SIA Sequence #	COA DRC Project #					Private Inspector	City Inspector	City Const Engineer
		30"	RCP Storm Drain	Lot 21 Easement	Williamsburg Road	Rainbow Blvd	/	/
		30"	RCP Storm Drain	Williamsburg Road	West Property Line	Lot 21 Easement	/	/
		24"	RCP Storm Drain	Tract OS-1	Hearthstone Road	Santa Fe at the Trails	/	/
		24"	RCP Storm Drain	Rainbow Blvd (at Hearthstone Road)	West right-of-way line	East right-of-way line	/	/
		30"-48"	RCP Storm Drain	Rainbow Blvd (at Lot 21 Easement)	West right-of-way line	East right-of-way line	/	/
		6.46 Ac-Ft	Retention Pond on unplatted land east of Tract B, The Trails. w/ easmt, Covenant & Agreement, and emergency overflow				/	/
		0.77 Ac-Ft	Temporary Retention Pond on property west of Heritage at the Trails, Unit 1. w/ easmt, Covenant & Agreement, and emergency overflow				/	/
			\$250,000 drainage mitigation contribution by Procedure B' modified				/	/
			Temporary Storm Drain Pump Station & Force Main (10)	Universe Blvd	Pond L	Las Ventanas Dam.	/	/
			Perimeter Walls (not subject to financial guaranty)				/	/
			Landscaping water meter				/	/
			25% SIGNLIGHT @ PDH/RAINBOW (PMSO)				/	/
							/	/
							/	/
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							/	/
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NOTES:

1. Sidewalks to be deferred where noted.
2. Residential lighting per DPM.
3. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
4. All water to include fire hydrants, valves, and appurtenances per DPM.
5. Storm drain sizes are subject to change per final DRC determination.
6. Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.
7. Not used
8. Adjacent portions of Rainbow Blvd to be built by a separate project. (DRB Project#1002962, CPN#730081) ~~Rainbow Blvd not financially guaranteed with this project.~~
9. Offsite Traffic Mitigation Fees of \$565 per lot to be paid by Modified Procedure "C" (non-work order): \$565/lot x 75 lots = \$42,375

10. ~~Includes removal and replacement of existing asphalt. To be deferred. Financial Guaranty amount to be reviewed and approved by the City of Albuquerque Hydrology Planning Department in addition to the standard DRG procedure review.~~

11. ~~by Modified Procedure 'c' (non-work order) is an option (concurrent from AMD required)~~

12. Trail to be built by a separate project

AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Genevieve Donart, PE NAME (print)	<i>Ashram Watson</i> DRB CHAIR - date 4/21/04	<i>Christina Dandoval</i> PARKS & GENERAL SERVICES - date 4/21/04	
Isaacson & Arfman, P.A. FIRM	<i>Jeffrey</i> TRANSPORTATION DEVELOPMENT - date 4-21-04		AMAFCA - date
<i>Genevieve Donart</i> SIGNATURE - date 4/21/04	<i>Roger Alleen</i> UTILITY DEVELOPMENT - date 4/21/04		- date
	<i>Brad L. Bijan</i> CITY ENGINEER - date 4-21-04		- date

MAXIMUM TIME ALLOWED TO CONSTRUCT
TH
EX
ROVEMENTS WITHOUT A DRB
ION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
11	6/24/04	<i>[Signature]</i>	<i>Brad Bil</i>	<i>Genevieve Donart</i>
12	5/3/04	<i>[Signature]</i>	<i>Jeffrey</i>	<i>Genevieve Donart</i>

13. Landscape Maintenance Agreement between City and the H.O.A. is required for landscaping in the public right-of-way.

Claire

Current DRC Project Number

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: March 24, 2004
Date Site Plan Approved: _____
Date Preliminary Plat Approved: 4/21/04
Date Preliminary Plat Expires: 4/21/05
DRB Project No.: 1003354
DRB Application No.: 04DRB-00457

HERITAGE AT THE TRAILS, UNIT 1

PROPOSED NAME OF PLAT

TRACT A, THE TRAILS

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval of the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Const Engineer
		28' F-F	Residential Paving	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		28' F-F	Residential Paving	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		32' F-F	Residential Paving	Hearthstone Road	West Property Line	Williamsburg Road Nationwide Street	/	/	/
		50' F-F (incl Median)	Residential Paving	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/
		31' F-F (half of full width)	Arterial Paving (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
			Modified Procedure "C" <i>(11)</i>	Paseo del Norte			/	/	/
		31' F-F <i>(half of full width)</i>	Arterial Paving <i>(11)</i>	Paseo del Norte	W. Prop. line	Rainbow Blvd	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/

ORIGINAL

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		Std. or Mntbl	Curb and Gutter (6)	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Hearthstone Road	West Property Line	Rainbow Blvd.	/	/	/
		Median	Curb and Gutter	Hearthstone Road	E. of Nationwide Street	Rainbow Blvd.	/	/	/
		Std.	Curb and Gutter (8) (West Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		Median	Curb and Gutter (8) (East Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Hearthstone Road	West Property Line	Nationwide Street	/	/	/
		4'	PCC Sidewalk (North Side Only)	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/
		4'	PCC Sidewalk (1) (South Side Only)	Hearthstone Road	West PL - Lot 50	East PL - Lot 44	/	/	/
		10'	Asphalt Trail (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		10'	Asphalt Trail (12)	Tract 05-1	West PL	East PL	/	/	/
		8"	Waterline	Public Easement on Lot 2	Paseo Del Norte	Williamsburg Road	/	/	/
		6"	Waterline	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		6"	Waterline	Nationwide Street	Williamsburg Road	Hearthstone Road	/	/	/

ORIGINAL

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		8"	Waterline	Hearthstone Road	West Property Line	Rainbow Blvd.	/	/	/
		6"	Waterline	Jameson Street	Williamsburg Road	Hearthstone Road	/	/	/
		6"	Waterline	West Haven Street	Williamsburg Road	Hearthstone Road	/	/	/
		20"	Waterline (8)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
							/	/	/
		8"	SAS	Williamsburg Road	West Property Line	Nationwide Street	/	/	/
		8"	SAS	Hearthstone Road	West Property Line	Lot 44	/	/	/
		8"	SAS	Jameson Street	Lot 70 - South End	Williamsburg Road	/	/	/
		8"	SAS	West Haven Street	Hearthstone Road	Williamsburg Road	/	/	/
		8"	SAS	Nationwide Street	Williamsburg Road	Lot 30	/	/	/
		8"	SAS	Lot 21 Easement	Williamsburg Road	Rainbow Blvd.	/	/	/
		8" - 12"	SAS (8)	Tracts B, D, F, & J	Lot 21 Easement	Universe Blvd	/	/	/
		750 gpm	Temp SAS Lift Station (8)	Tract J	Universe Blvd		/	/	/
		8"	Temporary SAS Force Main (8)	Universe Blvd	Tree Line Avenue	Paseo del Norte	/	/	/
							/	/	/
		30"	RCP Storm Drain	Lot 2 Easement	Williamsburg Road	Paseo del Norte	/	/	/
		36" - 42"	RCP Storm Drain	Paseo Del Norte	Lot 2	Rainbow Blvd.	/	/	/
		24"	RCP Storm Drain	Hearthstone Road	Nationwide Street	Rainbow Blvd.	/	/	/

ORIGINAL

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		30"	RCP Storm Drain	Lot 21 Easement	Williamsburg Road	Rainbow Blvd.	/	/	/
		30"	RCP Storm Drain	Williamsburg Road	West Property Line	Lot 21 Easement	/	/	/
		24"	RCP Storm Drain	Tract OS-1	Hearthstone Road	Santa Fe at the Trails	/	/	/
		24"	RCP Storm Drain	Rainbow Blvd (at Hearthstone Road)	West right-of-way line	East right-of-way line	/	/	/
		30"-48"	RCP Storm Drain	Rainbow Blvd (at Lot 21 Easement)	West right-of-way line	East right-of-way line	/	/	/
		6.46 Ac-Ft	Retention Pond on unplatted land east of Tract B, The Trails. w/ easmt, Covenant & Agreement, and emergency overflow				/	/	/
		0.77 Ac-Ft	Temporary Retention Pond on property west of Heritage at the Trails, Unit 1. w/ easmt, Covenant & Agreement, and emergency overflow				/	/	/
			Temporary Storm Drain Pump Station & Force Main (10)	Universe Blvd	Pond L	Las Ventanas Dam	/	/	/
			Perimeter Walls (not subject to financial guaranty)				/	/	/
			Landscaping water meter				/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

NOTES:

1. Sidewalks to be deferred where noted.
2. Residential lighting per DPM.
3. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
4. All water to include fire hydrants, valves, and appurtenances per DPM.
5. Storm drain sizes are subject to change per final DRC determination.
6. Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.
7. Not used
8. Adjacent portions of Rainbow Blvd to be built by a separate project. (DRB Project#1002962, CPN#730081) ~~Rainbow Blvd not financially guaranteed with this project.~~
9. Offsite Traffic Mitigation Fees of \$565 per lot to be paid by Modified Procedure "C" (non-work order): \$565/lot x 75 lots = \$42,375
10. Includes removal and replacement of existing asphalt. To be deferred - Financial Guaranty amount to be reviewed and approved by the City of Albuquerque Hydrology Planning Department in addition to the standard DRC procedure review.
11. *by Modified Procedure 'c' (non-work order) is an option (concurrency from AMD required).*
12. *Trail to be built by a separate project*

AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Genevieve Donart, PE <small>NAME (print)</small>	<i>Sharon Watson</i> <small>DRB CHAIR - date</small>	<i>4/21/04</i>	<i>Christina Dandorval</i> <small>PARKS & GENERAL SERVICES - date</small>
Isaacson & Arfman, P.A. <small>FIRM</small>	<i>[Signature]</i> <small>TRANSPORTATION DEVELOPMENT - date</small>	<i>4-21-04</i>	<small>AMAFCA - date</small>
<i>Genevieve Donart</i> <small>SIGNATURE - date</small>	<i>Roger Althea</i> <small>UTILITY DEVELOPMENT - date</small>	<i>4/21/04</i>	<small>- date</small>
	<i>Brad L. Bylean</i> <small>CITY ENGINEER - date</small>	<i>4-21-04</i>	<small>- date</small>

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXT ON: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

13. *Landscape Maintenance Agreement between city and the H.O.A. is required for landscaping in the public right-of-way.*

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION **S**

Major Subdivision action PP

Minor Subdivision action

Vacation PUBLIC EASEMENT **V**

Variance (Non-Zoning) TNS

SITE DEVELOPMENT PLAN **P**

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

Supplemental form

ZONING & PLANNING **Z**

Annexation

County Submittal

EPC Submittal

Zone Map Amendment (Establish or Change Zoning)

Sector Plan (Phase I, II, III)

Amendment to Sector, Area, Facility or Comprehensive Plan

Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Centex Homes PHONE: 761-9606

ADDRESS: 5120 Masthead NE FAX: 761-9850

CITY: ABQ STATE NM ZIP 87109 E-MAIL: _____

Proprietary interest in site: Owner List all owners: Rainbow Six

AGENT (if any): Isaacson + Arfman, P.A. PHONE: 268-8828

ADDRESS: 128 Monroe Street NE FAX: 268-2632

CITY: ABQ STATE NM ZIP 87108 E-MAIL: iamengrse@swcp.com

DESCRIPTION OF REQUEST: Preliminary Plat Approval; Temporary Deferral + Waiver of Sidewalk; + Vacation of Public Easement + aka Heritage at the Trails, Unit 1

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A Block: _____ Unit: _____

Subdiv. / Addn. The Trails, Heritage @ The Trails Unit 1

Current Zoning: R-D Proposed zoning: Same proposed tracts 2

Zone Atlas page(s): C-9 No. of existing lots: 1 No. of proposed lots: 75

Total area of site (acres): 13.8660 Density if applicable: dwellings per gross acre: 5.41 dwellings per net acre: 5.41

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No

UPC No. 100906423043720315 MRGCD Map No. NA

LOCATION OF PROPERTY BY STREETS: On or Near: Paseo del Norte Blvd.

Between: Universe Blvd. and Rainbow Blvd.

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1002962; Application #03DRB-01528

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 3/26/04

SIGNATURE Genevieve Donart DATE 3/26/04

(Print) Genevieve Donart Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
04DRB - 00457	PP	5(2)	\$2260 ⁰⁰
04DRB - 00458	VPE	V	\$ 45
04DRB - 00459	TDSW	V	\$ 9
04DRB - 00461(SW)	NOTIF. FEE		\$ 75
	CMFG MG. FEE		\$ 28
			Total \$ 2400 ⁰⁰

Hearing date 4/21/04

Bob Penner 3/26/04 **Project #** 1003354

Planner signature / date

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Proposed Infrastructure List
 - Design elevations & cross sections of perimeter walls
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed plat
 - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.
DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)

MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)

MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.
DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT

(Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Genevieve Donart
Applicant name (print)
Genevieve Donart 3/26/04
Applicant signature / date



Form revised 9/01, 8/03 and 9/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
0ADR-00457

Robert 3/26/04
Planner signature / date
Project # 1003354

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(Public Hearing Case)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. Variance and subdivision should be applied for simultaneously.
- Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies *on preliminary plat*
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule) *45*
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. **DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. **DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Genevieve Donart
Applicant name (print)
Genevieve Donart
Applicant/signature / date
3/26/04

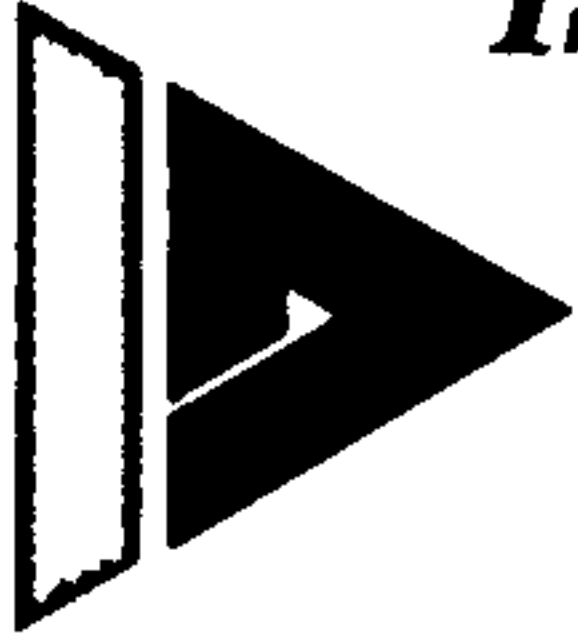


Form revised April 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
040RB - 00458
040RP - 00459
04DRB - 00461

[Signature] 3/26/04
Planner signature / date
Project # 1003354



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

March 26, 2004

Ms. Sheran Matson
DRB Chair
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102

RE: DRB Submittal for Heritage at the Trails, Unit 1

Dear Ms. Matson:

Isaacson & Arfman, P.A., as agents for Centex Homes, is submitting a request for Preliminary Plat approval, vacation of some blanket easements on the site, and sidewalk deferral and waiver for Heritage at the Trails, Unit 1, a single-family residential subdivision.

This subdivision is Tract A of The Trails Site Development Plan for Subdivision (DRB Project #1002962) that was approved at DRB on October 23, 2003, and follows the requirements of that Plan. The undeveloped land is adjacent to Paseo del Norte, south of Ventana Ranch. To the east, Rainbow Blvd is under design by Longford Homes, and grading of the site matches elevations determined in that design. The perimeter wall design matches one approved for other subdivisions within the Trails.

We are requesting vacation of a blanket public drainage, water, and sanitary sewer easement that covers the entirety of Tract A. This easement was granted with the bulk land plat as an interim method of allowing infrastructure that might be required for other tracts within the Trails, but it will be superceded with the dedication of public right-of-way and granting of individual easements as shown on the preliminary plat. There are no existing improvements within the easement, and the public welfare is in no way served by retaining it.

We are also requesting deferral of the majority of the sidewalk within the subdivision, as shown on the Sidewalk Exhibit. Some sidewalk will be waived along the Open Space tract to the south, as there will be a trails system within this Open Space, and a sidewalk would be redundant.

If you have any questions regarding this submittal, please call me at 268-8828.

Sincerely,
Isaacson & Arfman

Genny Donart, PE
GD/gld



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

March 1, 2004

Mr. Bob Gay
New Mexico Utilities, Inc
4700 Irving Blvd, NW
Albuquerque, NM 87114

Re: Tracts A, B, and F of The Trails

Dear Bob,

Isaacson & Arfman, P.A., as agents for the developer of the above mentioned parcels, would like to request a Water & Sanitary Sewer Availability Statement. Attached are our conceptual layouts of the single-family residential subdivisions, which have a proposed 75 lots for Tract A, 49 lots for Tract B, and 79 lots for Tract F.

If you have any questions about this request, please call me at 268-8828.
Thank you.

Sincerely,
Isaacson & Arfman, P.A.

Genny Donart, PE
GD/gld

Attachments

CENTEX HOMES

5120 Masthead NE
Albuquerque, NM 87109
Phone 505-761-9606
Fax 505-761-9850

March 26, 2004


City of Albuquerque
PO Box 1293
Albuquerque, New Mexico 87102

Re: Trails Subdivision

To Whom It May Concern:

This letter is authorization for Isaacson & Arfman Consulting Engineers to act as agent for Centex Homes in matters concerning the Trails Subdivision.

Cordially,



Norm Gregory
Land Development Manger



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

March 18, 2004

Ruth Lozano
Isaacson and Arfman, P.A.
128 Monroe St. NE/87108
Phone: 268-8828/Fax: 268-2632

Dear Ruth:

Thank you for your inquiry of March 18, 2004 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **HERITAGE AT THE TRAILS UNIT 1 AND HERITAGE AT THE TRAILS, UNIT 2 - TRACTS A AND B, THE TRAILS**, zone map C-9.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

SEE "ATTACHMENT A" FOR NEIGHBORHOOD INFORMATION.

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani I. Winklepleck

Stephani I. Winklepleck
Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(03/09/04)

"Attachment A"

Ruth Lozano, Isaacson and Arfman, PA
Zone Map: C-9

VENTANA RANCH N.A. (R)

***Laura Horton**

7224 Cascada Rd. NW/87114 898-8103 (h) 710-0646 (cell)

Bruce Nyberg

6824 Brushfield Rd. NW/87114 890-6559 (h)

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE

March 22, 2004

Certified Mail 7003 3110 0006 0554 2571

Ms. Laura Horton
Ventana Ranch Neighborhood Association
7224 Cascada Road NW
Albuquerque, NM 87114

**RE: Heritage at the Trails, Unit 1
Heritage at the Trails, Unit 2
(Legal Description -- Tracts A & B, The Trails)**

Dear Ms. Horton:

As the consulting engineers for the above referenced sites, we are writing this letter to inform the Ventana Ranch Neighborhood Association that two requests for approval of Preliminary Plat and vacation of an existing public drainage and utility easement will be submitted to the Development Review Board this week. See attached zone maps.

This project is for the same area as the letter you received a few days ago, but the project has been split into two projects. There will be two separate submittals made at the same time.

Please call our office at 268-8828 if you need additional information.

Sincerely,

ISAACSON & ARFMAN, P.A.

Genny Donart, PE

GD/rtl

Attachments

7003 3110 0006 0554 2571

128 Monroe St. NE • Albuquerque, NM 87108

7003 3110 0006 0554 2571

U.S. Postal Service™		CERTIFIED MAIL™ RECEIPT	
<i>(Domestic Mail Only; No Insurance Coverage Provided)</i>			
For delivery information visit our website at www.usps.com			
OFFICIAL USE			
ALBUQUERQUE, NM 87114		UNIT ID: 0108	
Postage	\$ 0.60	Postmark Here	
Applied Fee	2.30		
Restricted Delivery Fee (Endorsement Required)	1.75	Clerk: KZ4YYX	
Total Postage & Fees	\$ 4.65	03/23/04	
Sent To		Laura Horton	
		Ventana Ranch N.A.	
Street, Apt. No.; or PO Box No.		7224 Cascada Road, NW	
City, State, ZIP+4		Albuquerque, NM 87114	
PS Form 3800, June 2002		See Reverse for Instructions	



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

March 22, 2004

Certified Mail 7003 3110 0006 0554 2588

Mr. Bruce Nyberg
Ventana Ranch Neighborhood Association
6824 Brushfield Road NW
Albuquerque, NM 87114

**RE: Heritage at the Trails Unit 1
Heritage at the Trials Unit 2
(Legal Description -- Tracts A & B, The Trails)**

Dear Mr. Nyberg:

As the consulting engineers for the above referenced sites, we are writing this letter to inform the Ventana Ranch Neighborhood Association that two requests for approval of Preliminary Plat and vacation of an existing public drainage and utility easement will be submitted to the Development Review Board this week. See attached zone maps.

This project is for the same area as the letter you received a few days ago, but the project has been split into two projects. There will be two separate submittals made at the same time.

Please call our office at 268-8828 if you need additional information.

Sincerely,
ISAACSON & ARFMAN, P.A.

Genny Donart, PE
GD/rtl
Attachments

7003 3110 0006 0554 2588

128 Monroe St. NE • Albuquerque, NM 87108 •

9952 4550 9000 01TE 6001

7003 3110 0006 0554 2588

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Postage	\$ 0.60	UNIT ID: 0108
Certified Fee	\$ 2.30	
Return Receipt Fee (Receipt Required)	\$ 1.75	
Restricted Delivery Fee (Easement Required)	\$	
Total Postage & Fees	\$ 4.65	Postmark Here

Clerk: KZ4YYX
03/23/04

Sent To Bruce Nyberg
Ventana Ranch N.A.
Street, Apt. No.;
or PO Box No. 6824 Brushfield Road NW
City, State, ZIP+4 Albuquerque, NM 87114

PS Form 3800, June 2002 See Reverse for Instructions

FORM DRWS: DRAINAGE REPORT / WATER & SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME: THE HERITAGE AT THE TRAILS, UNIT ONE

AGIS MAP # C-9

LEGAL DESCRIPTION: THE TRAILS, TRACT A

 DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd floor Plaza del Sol) on 03.26.04 [date].

ISAACSON & ARFMAN, P.A. 03.26.04
Applicant / Agent Date

[Signature] 3/26/04
Hydrology Division representative Date

 WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested from ~~the City of Albuquerque Utilities Development Division (2nd floor Plaza del Sol)~~ on 3/1/04 [date]. New Mexico Utilities, Inc.

ISAACSON & ARFMAN, P.A. 03.26.04
Applicant / Agent Date

SEE ATTACHED
Utilities Division representative Date

DRB- _____ - _____

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

APPLICANT: CENTEX HOMES Date of request: 3/26/04 Zone atlas page(s): C-9

PERMIT:
Zoning R-D
Parcel Size (acres / sq.ft.) 9.45 Ac

Legal Description -
Lot or Tract # A Block # _____
Subdivision Name The Trails Unit 1

REQUESTED CITY ACTION(S):

Annexation []	Sector Plan []	Site Development Plan:	Building Permit []
Comp. Plan []	Zone Change []	a) Subdivision []	Access Permit []
Amendment []	Conditional Use []	b) Build'g Purposes []	Other [X]
		c) Amendment []	

PROPOSED DEVELOPMENT:

No construction / development []
New Construction [X]
Expansion of existing development []

GENERAL DESCRIPTION OF ACTION:

of units - 75
Building Size - 2500 (sq. ft.)

Prelim. Plat

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative Gwendolyn Dent Date 3/26/04
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES NO [] BORDERLINE []

PUBLIC WORKS DEPT. Transportation Development Div. 3rd Floor / Room 304 City Hall 768-2680

THRESHOLDS MET? YES [] NO [] Mitigating reasons for not requiring TIS: Previously studied: []

Notes: Submitted previously by BHZ:
BLACK MTN. RANCH TIS

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Tony Lyel
TRAFFIC ENGINEER

3-26-04
DATE

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES [] NO [] BORDERLINE []

ENVIRONMENTAL HEALTH DEPT. Air Quality Div. 3rd Floor / Rm. 3023 City/County Bldg. 768-2600

THRESHOLDS MET? YES [] NO [] Mitigating reasons for not requiring AQIA: Previously studied: []

Notes:

IF AN AQIA IS REQUIRED: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

ENVIRONMENTAL HEALTH

DATE

Required TIS and / or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS - SUBMITTED 2/14/03
- FINALIZED ___/___/___

Tony Lyel
TRAFFIC ENGINEER

3-26-04
DATE

AQIA - SUBMITTED ___/___/___
- FINALIZED ___/___/___

ENVIRONMENTAL HEALTH

DATE

TO BE COMPLETED BY APPLICANT

TRANSPORTATION DEVELOPMENT

ENVIRONMENTAL HEALTH

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

*****DUPLICATE***
City Of Albuquerque
Treasury Division**

03/26/2004 X 12:18PM LOC: ANN
RECEIPT# 00021554 WSH 008 TRANSH 0014
Account 441006 Fund 0110
Activity 4983000 TRSDMM
Trans Amt \$2,400.00
J24 Misc \$75.00
CK \$2,400.00
CHANGE \$0.00

APPLICANT NAME CENTEX HNS,
AGENT ISAACSON & Arfman PA
ADDRESS 128 Monroe ST, NE.
PROJECT & APP # 1003354 / 04DRB 00457 & 58
PROJECT NAME THE TRAILS, UNIT #1

\$ 20 469099/4916000 Conflict Management Fee
\$ 45 441006/4983000 DRB Actions
\$ 2260 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ 75 441018/4971000 Public Notification
\$ 2400⁰⁰ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 2400⁰⁰ TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

268-8828

ISAACSON AND ARFMAN, P.A.
128 MONROE ST. NE
ALBUQUERQUE, NM 87108

DATE 3/26/04 95-219-176
1070
1350743997

15675

\$ 2,400.00

DOLLARS

City of Albuquerque

Two thousand, Four hundred + 00/100

Wells Fargo Bank New Mexico, N.A.
200 Lomas NE
Albuquerque, NM 87102
www.wellsfargo.com

Proj # 1524 Unit A

Scott M. Mize
City Of Albuquerque
Treasury Division

03/26/2004 12:18PM LOC: ANN

RECEIPT# 00021554 WSH 008 TRANSH 0014
Account 441006 Fund 0110
Activity 4983000 TRSDMM
Trans Amt \$2,400.00
J24 Misc \$2,305.00

03/26/2004 12:18PM LOC: ANN

RECEIPT# 00021554 WSH 008 TRANSH 0014
Account 441006 Fund 0110
Activity 4983000 TRSDMM
Trans Amt \$2,400.00
J24 Misc \$2,305.00

Thank You

Thank You

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.50 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crosshairs or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from April 6th To April 21st '04

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

~~for~~ Ruth Lyons 3/26/04
(Applicant or Agent) (Date)
for Isaacson & Hoffman, P.A.

I issued 1 signs for this application, _____ (Date), Barbara 3/26/04 (Staff Member)

DRB PROJECT NUMBER: 1003354

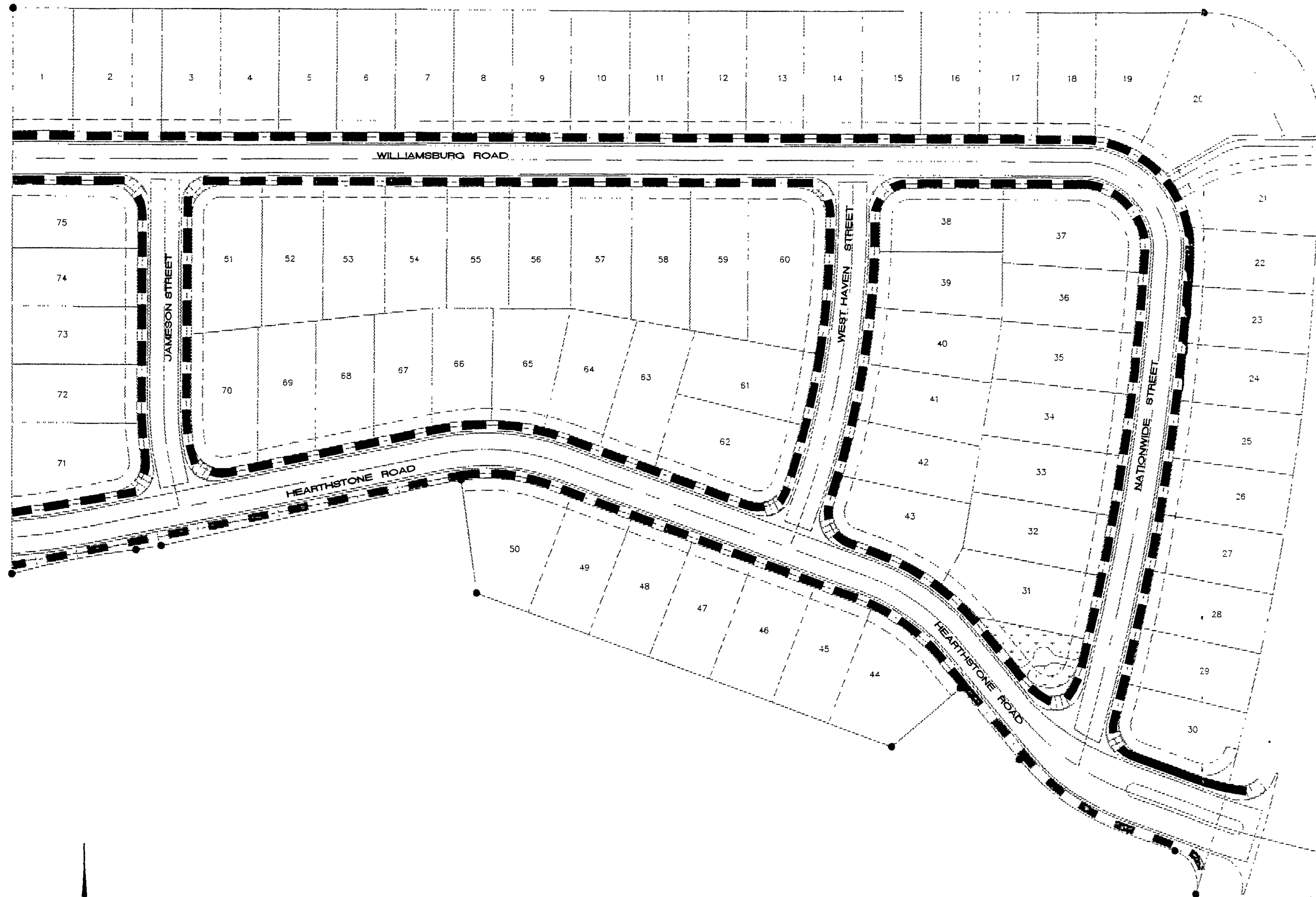


EXHIBIT C
Date 4/9/04


SIDEWALK EXHIBIT



SCALE:
1"=120'

LEGEND

- SIDEWALKS TO BE WAIVED
- SIDEWALKS TO BE CONSTRUCTED
- - - SIDEWALKS TO BE DEFERRED



ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico
 1324A-EXH-SDWK.DWGthor 03/25/04