



#15

COMPLETED 09/01/05 Sjt DRB CASE ACTION LOG

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB-00478 (SBP)
Project Name: CLIFFORD INDUSTRIAL PARK
Agent: Ken Hovey

Project # 1003358
Phone No.: 259-8458

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/17/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): AEHD's signature
8/17/05

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

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**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 17, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:15 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001986**
05DRB-01194 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for RIO OESTE DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) D & E, **TAYLOR RANCH**, zoned R-1, located on COORS BLVD NW, between LA ORILLA NW and MONTANO PLAZA DR NW containing approximately 10 acre(s). [REF: 02DRB01927] (E-12) **A TWO-YEAR SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED.**

2. **Project # 1004162**
05DRB-01193 Major-Preliminary Plat
Approval
05DRB-01195 Minor-Subd Design (DPM)
Variance
05DRB-01197 Minor-Sidewalk Waiver
05DRB-01198 Minor-Temp Defer SDWK

JEFF MORTENSEN & ASSOCIATES agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 1-P1 through 31-P1, Tract(s) L-2, VISTA DEL NORTE (to be known as **AGAVE SUBDIVISION**) zoned SU-1 PRD, located on VISTA DEL NORTE DR NE, between OSUNA RD NE and CALLE DEL CAMPO NE containing approximately 6 acre(s). [REF: 1000490, 05EPC00742, 05DRB01139, 05DRB01140] (E-16) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/17/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/11/05 THE PRELIMINARY PLAT WAS APPROVED. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

- 05DRB-01275 Minor-SiteDev Plan
Subd/EPC

JEFF MORTENSEN & ASSOCIATES agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 1-P1 through 31-P1, Tract(s) L-2, VISTA DEL NORTE (to be known as **AGAVE SUBDIVISION**) zoned SU-1 PRD, located on VISTA DEL NORTE DR NE, between OSUNA RD NE and CALLE DEL CAMPO NE containing approximately 6 acre(s). [REF: 1000490, 05EPC00742, 05DRB01139, 05DRB01140] **[Russell Brito for Elvira Lopez, EPC Case Planner] (E-16) THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CORRECTION OF NORTH ARROW.**

3. **Project # 1003585**
05DRB-01191 Major-Vacation of Pub
Right-of-Way
05DRB-01190 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST, LTD. agent(s) for 3900 SILVER AVENUE LLC, request(s) the above action(s) for all or a portion of Lot(s) 1-20, **SILVER STREET TOWNHOMES**, zoned 0-R, located on SILVER AVE SE, between ALISO AVE SE and MORNINGSIDE AVE SE containing approximately 2 acre(s). [REF: 05DRB00737] *[Deferred from 8/17/05]* (K-17) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

4. **Project # 1002861**
05DRB-01202 Major-Preliminary Plat
Approval

ABQ ENGINEERING INC agent(s) for INFILL SOLUTIONS DEVELOPMENT request(s) the above action(s) for all or a portion of Block(s) 46, Lots(s) 17 through 24, NEW MEXICO TOWN COMPANY TOWNSITE (to be known as **SOUTHERN UNION GAS LOFTS UNIT II**) zoned SU-3 special center zone, located on 9TH ST SW, between SILVER AVE SW and 8TH ST SW [REF: 03DRB01299, 04DRB00002, 04DRB01137, 05DRB00718] [Deferred from 8/17/05] (K-13) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

5. **Project # 1004341**
05DRB-01203 Major-Vacation of Pub
Right-of-Way

RIO GRANDE ENGINEERING agent(s) for DAVID & JENNIFER SOULE request(s) the above action(s) for all or a portion of Tract(s) 180, AIRPORT UNIT, LANDS OF ATRISCO GRANT (to be known as **DEL RIO ESTATES**) zoned R-2 residential zone, located on 76TH STREET NW, between FORTUNA ROAD NW and GLEN RIO ROAD NW containing approximately 6 acre(s). (J-10) **WITHDRAWN AT THE AGENT'S REQUEST.**

6. **Project # 1003551**
05DRB-01183 Major-Preliminary Plat
Approval
05DRB-01184 Minor-Temp Defer SDWK

BRASHER & LORENZ agent(s) for DON K. NAYLOR request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) 1, Lot(s) 12, 13, 19, 20 & 21, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **LA CUEVA ESTATES**) zoned R-D residential and related uses zone, developing area, located on GLENDALE AVE NE, between WYOMING BLVD NE and BARSTOW ST NE containing approximately 5 acre(s). [REF: 04DRB01095] (B-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/17/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/19/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: A PERIMETER WALL DESIGN SHALL BE APPROVED PRIOR TO FINAL PLAT. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

7. **Project # 1004173**
05DRB-01192 Major-Vacation of Public Easements
05DRB-01196 Major-Preliminary Plat Approval
05DRB-01199 Minor-Sidewalk Waiver
05DRB-01200 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for SANDIA PROPERTIES LTD., CO., request(s) the above action(s) for all or a portion of Tract(s) 4, 5 and D-2, (to be known as **VENTANA VISTA SUBDIVISION @ VENTANA RANCH WEST**) zoned R-LT residential zone, located on VENTANA PARKWAY NW, between VENTANA RIDGE RD NW and IRVING BLVD NW containing approximately 31 acre(s). (B-8) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/17/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/10/05 THE PRELIMINARY PLAT WAS APPROVED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

- 05DRB-01281 Minor-Subd Design (DPM) Variance

BOHANNAN HUSTON INC agent(s) for SANDIA PROPERTIES LTD., CO., request(s) the above action(s) for all or a portion of Tract(s) 4, 5 and D-2, (to be known as **VENTANA VISTA SUBDIVISION @ VENTANA RANCH WEST**) zoned R-LT residential zone, located on VENTANA PARKWAY NW, between VENTANA RIDGE RD NW and IRVING BLVD NW containing approximately 31 acre(s). (B-8) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

8. **Project # 1004353**
05DRB-01119 Major-Preliminary Plat Approval
05DRB-01120 Minor-Temp Defer SDWK

SURV-TEK, INC agent(s) for LONGFORD AT THE TRAILS, LLS request(s) the above action(s) for all or a portion of Tract(s) 6, **THE TRAILS, UNIT 2**, zoned R-LT residential zone, located on OAKRIDGE ST NW, between WOODMONT AVE NW and TREELINE AVE NW containing approximately 17 acre(s). [REF: 04DRB01322] [*Listed under Project #1002962 in error*] [*Deferred from 8/3/05*] (C-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/17/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/7/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: USE OF A**

HAMMERHEAD REQUIRES FIRE AND SOLID WASTE APPROVAL. A PERIMETER WALL DESIGN SHALL BE APPROVED PRIOR TO FINAL PLAT. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

9. **Project # 1003189**
05DRB-01127 Major-Preliminary Plat
Approval
05DRB-01129 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for FULLER HOMES, INC request(s) the above action(s) for all or a portion of Tract(s) 355, 356 TRACTS A & B, LANDS OF HECTOR ROJO, TOWN OF ATRISCO GRANT (to be known as **AUTUMN VIEW SUBDIVISION**) zoned RD-R1, located on TOWER RD SW, between COORS BLVD SW and STINSON RD SW containing approximately 15 acre(s). *[Deferred from 8/3/05 & 8/17/05]* (L-10) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

10. **Project # 1004300**
05DRB-01080 Minor-SiteDev Plan
BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). *[Deferred from 7/27/05 and 8/10/05 & 8/17/05]* (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

- 05DRB-01286 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for ROBERT NAVARRETTE, ELITE DRI-WALL request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). [REF: 05DRB01080] *[Deferred from 8/17/05]* (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

11. Project # 1000631

05DRB-01287 Minor-SiteDev Plan
Subd/EPC

05DRB-01288 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART ARCHITECT & ASSOCIATES, agent(s) for JEROME BETTMAN request(s) the above action(s) for all or a portion of Tract(s) A-2B and B-1, **JEANNEDALE, UNIT 5**, zoned SU-3 special center zone, located on UPTOWN BLVD NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 5 acre(s). [REF: AA-96-118, Z-72-65, 03EPC02043, 03EPC02042, 1002442] [Carmen Marrone, EPC Case Planner] (H-18) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO SHOW WATERLINE EASEMENT AND TRANSPORTATION DEVELOPMENT FOR INTERNAL COMMENT SHEET MARKED UP AND ENTRANCE ON UPTOWN LOOP ROAD AND 3 COPIES OF THE SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO SHOW WATERLINE EASEMENT, TO SHOW NEW 2-INCH METERBOX WITHIN RIGHT-OF-WAY AND TO TRANSPORTATION DEVELOPMENT FOR INTERNAL COMMENT SHEET MARKED UP AND ENTRANCE ON UPTOWN LOOP ROAD AND 3 COPIES OF THE SITE PLAN.**

05DRB-01282 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST agent(s) for 6401 UPTOWN, LLC request(s) the above action(s) for all or a portion of Tract(s) A-2B and B-1, **DALE J BELLAMAH'S JEANNEDALE UNIT 5**, zoned SU-3 special center zone, located on AMERICAS PARKWAY NE, between UPTOWN BLVD NE and JEANNEDALE DR NE containing approximately 5 acre(s). [REF: AA-96-118 03EPC02043, 03EPC020] (H-18) **PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO ADD 20-FOOT WATERLINE EASEMENT, CHANGE STREET NAME, MAY NEED PRIVATE WATER/SEWER SERVICE EASEMENTS FOR BUILDING TO THE WEST AND TO TRANSPORTATION DEVLEOPMNT FOR RADIUS DEDICATION @ INTERSECTIONS, ADA EASEMENTS AND CROSS-ACCESS (WEST)(NORTH).**

12. **Project # 1003991**
05DRB-01293 Minor-SiteDev Plan
Subd/EPC
05DRB-01294 Minor-SiteDev Plan
BldPermit/EPC
- TIERRA WEST LLC agent(s) for WAL MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) A-1, **TOWN OF ATRISCO GRANT, UNIT 7**, zoned SU-1 FOR C-1 WITH DRIVE UP PHARMACY & RLT, located on SNOW VISTA BLVD SW, between SAGE RD SW and BENAVIDES RD SW containing approximately 14 acre(s). [REF: 05EPC00365, 05EPC00366, 05EPC00367] [**Russell Brito for Elvira Lopez, EPC Case Planner**] [*Deferred from 8/17/05*] (M-9) **DEFERRED AT THE AGENT'S REQUEST TO 8/31/05.**
13. **Project # 1004353**
05DRB-01285 Minor-SiteDev Plan
Subd/EPC
- CONSENSUS PLANNING agent(s) for LONGFORD HOMES request(s) the above action(s) for all or a portion of Tract(s) 6, **SANTA FE @ THE TRAILS UNIT 2**, zoned R-D residential and related uses zone, developing area, located on WOODMONT NW, between RAINBOW BLVD NW and OAKRIDGE NW containing approximately 20 acre(s). [Listed under Project #1002962 in error] (C-9) **SITE PLAN FOR SUBDIVISION WS APPROVED AND SIGNED OFF BY THE BOARD.**
14. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit
- DEKKER PERICH SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372; Z-1534] [*Deferred from 6/29/05 & 7/13/05 & 7/20/05 & 7/27/05 & 8/3/05 & indef deferred on a no show 8/17/05*] (D-18) **INDEFINITELY DEFERRED ON A NO SHOW.**

~~15. Project # 1003358~~
04DRB-00478 Minor-SiteDev Plan
BldPermit

KEN HOVEY agent(s) for COMMERCIAL ENTERPRISES INC request(s) the above action(s) for all or a portion of Tract(s) 49, **CLIFFORD INDUSTRIAL PARK**, zoned SU-2 / M-1, located on WASHINGTON PL NE and ANAHEIM NE and containing approximately 3 acre(s). *[Was Indef Deferred on 4/7/04 on a no show] [Deferred from 8/10/05]* (C-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO DETERMINE IF ENVIRONMENTAL HEALTH HAS APPROVED THE ABATEMENT MEASURES FOR THE LANDFILL.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

16. **Project # 1004177**
05DRB-01280 Minor-Subd Design (DPM)
Variance

BOHANNAN HUSTON INC agent(s) for SANDIA PROPERTIES LTD CO request(s) the above action(s) for all or a portion of Tract(s) 10-13, **VENTANA RANCH WEST**, zoned R-LT residential zone, located on IRVING BLVD NW, between VENTANA RIDGE RD NW and containing approximately 74 acre(s). [REF: 05DRB01122, 01123, 01124, 00783] (B-8) **INDEFINITELY DEFERRED ON A NO SHOW.**

17. **Project # 1002960**
05DRB-01284 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) K, **SUNDORO SOUTH, UNIT 2**, zoned SU-2 FOR RLT, located on 98TH STREET NW, between LADERA BLVD NW and I-40 NW containing approximately 6 acre(s). [REF: 05DRB-00109] (J-8/9) **FINAL PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EXCHANGE WITH NMDOT AND TO RECORD PLAT AND TO PARKS FOR MAINTENANCE OF PCD EASEMENT.**

18. **Project # 1003982**
05DRB-01283 Minor-Prelim&Final Plat
Approval

WILKS CO. agent(s) for TAIHI & MARYANN JONES request(s) the above action(s) for Tract(s) A-15-M5-17 and A-15-M5-16, **LANDS OF TAIHI & MARYANN JONES**, zoned SU-2 NCR, located on WALTER NE, between MOUNTAIN RD NE and KINLEY AVE NE containing approximately 1 acre(s). [REF: 05DRB00338] (J-15) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

19. **Project # 1004058**
05DRB-01268 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for SANDIA FOUNDATION, PATRICK GLENNON request(s) the above action(s) for all or a portion of Tract(s) A & B, LOMAS & BROADWAY and Tract(s) P-1, LANDS OF NEW MEXICO CREDIT CORP., UNIT 2 (to be known as **LANDS OF SANDIA FOUNDATION**) zoned SU-2 M-1, located on MARBLE AVE NE, between BROADWAY BLVD NE and LOMAS BLVD NE containing approximately 4 acre(s). [REF: ZA-87-241, DRB-93-164, DRB-90-186, 05DRB00486] (J-14) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

20. **Project # 1003672**
05DRB-00704 Minor-Final Plat Approval

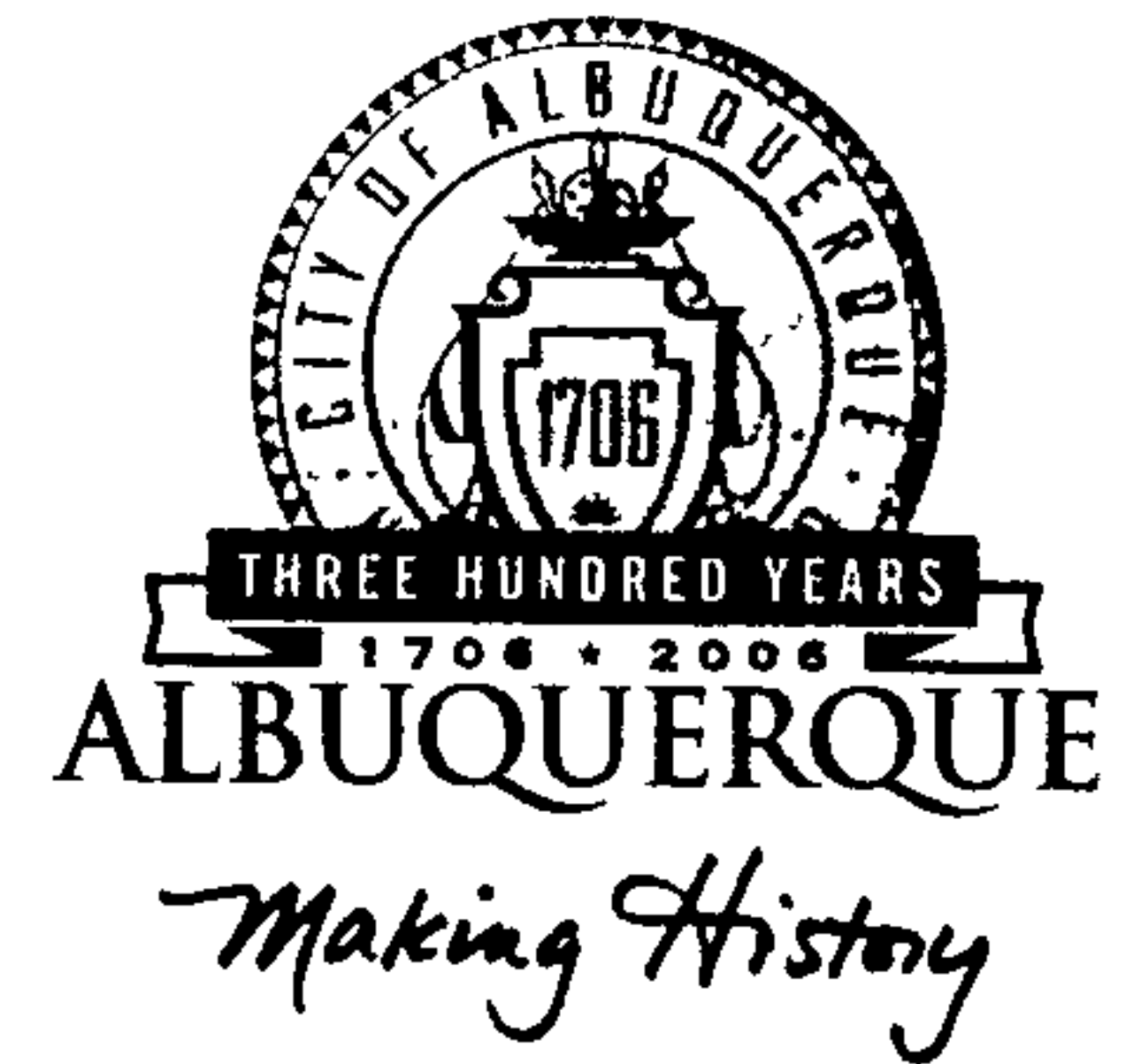
RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 6 & 7, Block(s) 3, Tract(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **ESTRADA COURT**) zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01423] (*Deferred from 5/4/05 & 5/18/05 & 5/25/05*) [*Final Plat Indef Deferred for SIA*] (C-20) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR EASEMENT LANGUAGE ACROSS LOT 6-P1 AND TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

21. **Project # 1004361**
05DRB-01247 Minor-Sketch Plat or Plan
- G. DONALD DUDLEY ARCHITECT agent(s) for RIVER HORSE INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 2, 3, 4 and 5, Block(s) 001, MONTGOMERY HEIGHTS (to be known as **TULANE TOWNHOUSES**) zoned R-3, located on TULANE NE, between CARLISLE NE and WELLESLY NE containing approximately 1 acre(s). (G-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
22. **Project # 1004369**
05DRB-01279 Minor-Sketch Plat or Plan
- RICHARD L GONZALES request(s) the above action(s) for all or a portion of Lot(s) 24-39, Block(s) 3, WEST PARK (to be known as **COUNTRY CLUB TOWNHOMES**) zoned C-2 community commercial zone, located on CENTRAL SW, between NEW YORK SW and GOLF COURSE containing approximately 2 acre(s). (J-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
23. Approval of the Development Review Board Minutes for August 3, 2005. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR AUGUST 3, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:15 P.M.

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003358

AGENDA ITEM NO: 15

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

RESOLUTION:

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

Albuquerque

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

New Mexico 87103 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

www.cabq.gov

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: August 17, 2005

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board

April 7, 2004

Comments

ITEM # 15

PROJECT # 1003358

APPLICATION # 04-00478

RE: Tract 49, Clifford Industrial Park/SPBP

1. The property is within 1000 feet of a landfill. Therefore, a disclaimer statement is needed on the site plan and approval by AEHD of a Landfill Gas Assessment Report, etc. is required before Planning signs the site plan.

THE DISCLAIMER IS SHOWN, ENVIRONMENTAL HEALTH HAS APPROVED THE PLAN.

2. The signature block should be replaced with the DRB Site Plan signature block. A copy is available at the front counter.

DONE

3. Each page of the site plan should be identified. The site plan sheet should say "Site Development Plan for Building Permit". The Elevations sheet is not identified. DONE

4. The refuse container and enclosure should have an elevation on the Elevations Sheet with details given. See page 53, C1a of North I25 SP.

DONE

5. Setbacks: The rear yard setback should be 20 feet per 14-14-2-19 of Zone Code.

??!! THE REAR SETBACK IS SHOWN, IT IS NO LESS THAN

6. Landscape Plan: 225'

▪ Needs a chart showing the square footage and percent of landscaping required and provided. DONE

▪ A 6' landscape buffer along the side and rear property lines of industrial development is required per Page 54 (3)(a)1 & 2 of the North I25 Sector Plan.

IT IS SHOWN ON THE SOUTH PROP. LINE, THERE IS A 10' PRASING BASEMENT AT NORTH PROP LINE AND A 45' DRAINAGE (OVER)

7. The property lines need clear identification on the site plan & the landscape plan sheets. DONE

8. Are there any walls or fences proposed? Identify location, height, type, length, color & materials.

PLAN SHOWS BOTH EXISTING AND PROPOSED FENCES

9. Site Lighting: Height & type required.

THERE ARE NO FREESTANDING AREA LIGHTS,

EASEMENT AT THE WEST PROPERTY LINE, THERE ARE EXISTING DRAINAGE CHANNELS AT BOTH THE NORTH AND WEST PROPERTY LINES.

14-16-3-10 (E) (1) (b) PROVIDES FOR PORTIONS OF A LOT, WHICH ARE NOT REQUIRED FOR OFF-STREET PARKING AND WHICH ARE SCREENED FROM THE PUBLIC R.O.W. BY AN OPAQUE FENCE AT LEAST 6 FEET HIGH, MAY BE DEDUCTED FROM THE NET LOT AREA.

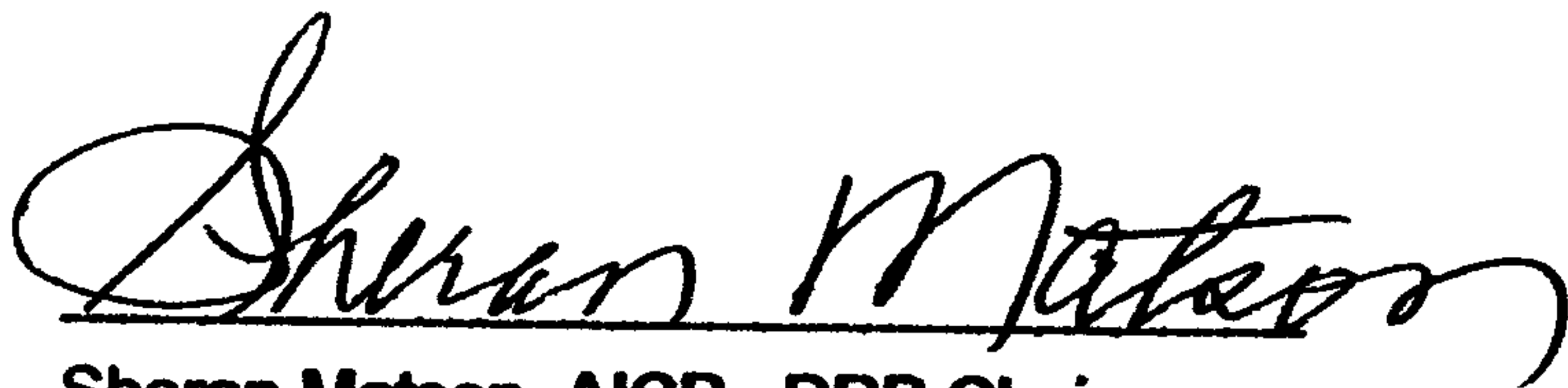
I HAVE SHOWN 13 FEET OF LANDSCAPING ON THE PUBLIC SIDE OF THE OPAQUE FENCES.

10. Calculation of parking spaces required & provided including handicapped spaces. **DONE**

11. Elevations of building: Overall width missing as is the color of the doors. **DONE**

12. Signage: See page 4 of SPBP Checklist under "B. Signage" for these requirements.

THERE IS NO NEW SIGNAGE - AN ELEVATION SHOWING THE APPEARANCE OF THE EXISTING SIGN HAS BEEN SHOWN ON THE ELEVATIONS SHEET.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov



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**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 10, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 10:15 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1002948**
05DRB-01171 Major-One Year SIA
05DRB-01172 Minor-Ext of SIA for Temp
Defer SDWK

ISAACSON & ARFMAN agent(s) for MS DEV ONE, LLC request(s) the above action(s) for all or a portion of **VISTA FAISAN SUBDIVISION**, zoned RA-2 residential and agricultural zone, located on ADOBE RD NW, between MONTANO RD NW and GUADALUPE TRAIL NW containing approximately 6 acre(s). (F-14) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED. A ONE-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

2. **Project # 1001081**
05DRB-01173 Major-Vacation of Pub
Right-of-Way
3. **Project # 1001628**
05DRB-01167 Major-Vacation of Public
Easements
05DRB-01166 Major-Preliminary Plat
Approval
05DRB-01170 Minor-Temp Defer SDWK
05DRB-01168 Minor-Subd Design (DPM)
Variance
05DRB-01169 Minor-Sidewalk Waiver

TIERRA WEST agent(s) for HOME DEPOT U.S.A. INC request(s) the above action(s) for all or a portion of Lot(s) 23, **SNOW HEIGHTS ADDITION**, zoned C-2 (SC) community commercial zone, located on SNOW HEIGHTS CIRCLE NE, between MENAUL BLVD NE and SNOW HEIGHTS BLVD NE. [Deferred from 8/10/05] (H-20) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

BOHANNAN HUSTON INC agent(s) for JUDE BACA request(s) the above action(s) for all or a portion of the EQUESTRIAN CENTER (to be known as **MESA RIDGE SUBDIVISION**) zoned SU-1 for PRD special use zone, located on MONTANO RD NW, between VISTA MONTANO NW and EQUESTRIAN CENTER NW containing approximately 8 acre(s). (E-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/10/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/7/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: NEED AMAFCA'S SIGNATURE. ALL STORM DRAIN EASEMENTS WILL BE GRANTED TO THE CITY OF ALBUQUERQUE AT FINAL PLAT. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

- 05DRB-01242 Minor-SiteDev Plan
Subd/EPC
05DRB-01251 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING, INC agent(s) for JUDE BACA request(s) the above action(s) for all or a portion of Tract(s) Z-1, SADDLE RIDGE, UNIT 2 (to be known as **MESA RIDGE SUBDIVISION**) zoned SU-1 PRD, located on MONTANO ROAD NW, between VISTA MONTANO NW and EQUESTRIAN DR NW [REF: 01-EPC-01759, 01-EPC-01760, 01-EPC-01761] [Russell Brito for Lola Bird, EPC Case Planner] (E-11) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR LABELING ALL STORM DRAINS AND TO PLANNING FOR 15-DAY**

APPEAL PERIOD AND RUSSELL BRITO'S COMMENTS ON EPC TRAIL ACCESS. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR LABELING ALL STORM DRAINS AND TO PLANNING FOR 15-DAY APPEAL PERIOD AND RUSSELL BRITO'S COMMENTS ON EPC TRAIL ACCESS.

4. **Project # 1004300**
05DRB-01080 Minor-SiteDev Plan
BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). [Deferred from 7/27/05 and 8/10/05] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/17/05.**

5. **Project # 1000650**
05DRB-01067 Major-SiteDev Plan
BldPermit

TIERRA WEST LLC agent(s) for DOUBLE CHEESE CORP request(s) the above action(s) for all or a portion of Tract(s) 1A2, **LANDS OF LAMONICA**, zoned SU-1/C-1 permissive use, located on COORS BLVD SW, between LAMONICA RD SW and RIO BRAVO BLVD SW containing approximately 2 acre(s). [Deferred from 7/20/05, Indef deferred on a no show on 8/10/05]] (P-10) **INDEFINITELY DEFERRED ON A NO SHOW.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1004343**
05DRB-01213 Minor-SiteDev Plan
BldPermit

BOHANNAN HUSTON INC. agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 22-27, **ALAMEDA BUSINESS PARK**,

zoned SU-2 IP-EP, located on EDITH BLVD NW, between ALAMEDA PARK DR NW and the AMAFCA DIVERSION CHANNEL containing approximately 12 acre(s). [REF: DRB-95423] [Deferred from 8/3/05 & 8/10/05] (C-16) **DEFERRED AT THE AGENT'S REQUEST TO 9/7/05.**

7. **Project # 1003358**
04DRB-00478 Minor-SiteDev Plan
BldPermit

KEN HOVEY agent(s) for COMMERCIAL ENTERPRISES INC request(s) the above action(s) for all or a portion of Tract(s) 49, **CLIFFORD INDUSTRIAL PARK**, zoned SJ-2 / M-1, located on WASHINGTON PL NE and ANAHEIM NE and containing approximately 3 acre(s). [Was Indef Deferred on 4/7/04 on a no show] [Deferred from 8/10/05] (C-17) **DEFERRED AT THE AGENT'S REQUEST TO 8/17/05.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project # 1002457**
05DRB-01226 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for MAINSTREET PROPERTIES, LLC request(s) the above action(s) for all or a portion of Tract(s) X-1-A, X-1-B, Block(s) 2, GLENWOOD HILLS, UNIT 1 (to be known as **GLENWOOD LOFTS**) zoned SU-1 / PRD, located on MONTGOMERY NE, between TRAMWAY NE and SPANISH BIT ST NE containing approximately 3 acre(s). [REF: 05DRB-00529] (G-23) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

9. **Project # 1003606**
05DRB-01211 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for WESTLAND DEVELOPMENT CO., INC. request(s) the above action(s) for Lot(s) 509-26 509-27, 19W, 12B, Row 7, Tract(s) L and B, Town of Atrisco Grant, Unit A, Westland North Subdivision, Sundoro South, Unit 1,

Painted Sky, Unit 1 (to be known as **SUNDORO SOUTH UNIT 5**, zoned SU-2 FOR RLT, located on LADERA DRIVE NW, between 94TH STREET NW and 90TH STREET NW containing approximately 23 acre(s). [REF: 04DRB-01693, 01692, 01691, 01690, 01689, 04DRB-01237] *[Deferred from 8/3/05]* (J-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO RESOLVE DEAD-END WATERLINE IN TEPHRA AND TO PLANNING TO RECORD PLAT AND SEE PROOF OF RECORDING OF EASEMENTS FOR KIPUKA DRIVE AND AMAFCA'S SIGNATURE.**

10. **Project # 1003247**
05DRB-01217 Minor-Temp Defer SDWK

QUICK DRAW ENGINEERING agent(s) for MARK VALENCIA request(s) the above action(s) for Lot(s) 1 & 2, CORONA DEL SOL (to be known as **VALENCIA SUBDIVISION**) zoned R-2 residential zone TOWNHOMES, located on ALAMAGORDO ST NW between COORS BLVD NW AND ST JOSEPH NW, containing approximately 1 acre(s). [REF: SV-98-52, DRB-98-18, Z-98-38, V-98-29, S-99-4] *[Listed under Project #1004347 in error] [Was Indef deferred on a no show]* (G-11) **TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

11. **Project # 1004360**
05DRB-01245 Minor-Sketch Plat or Plan

RIO GRANDE ENGINEERING agent(s) for WASHINGTON INVESTORS request(s) the above action(s) for all or a portion of Lot(s) 313-A-2-A, ACRES ADDITION (to be known as **ENTRADA DEL BOSQUE**) zoned RA-2, located on MOUNTAIN ROAD NW, between GALBADON NW and LULAC AVE NW containing approximately 3 acre(s). (J-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

12. **Project # 1004163**
05DRB-01219 Minor-Sketch Plat or Plan

JON E BOLTZ request(s) the above action(s) for all or a portion of Lot(s) 10, **SIERRA BONITA ADDITION**, zoned R-1, located on BELLROSE AVE NW, between GRIEGOS NW and FREEMAN NW containing approximately 1 acre(s). [REF: 05DRB-00743] (F-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. **Project # 1004359**
05DRB-01244 Minor-Sketch Plat or Plan

MICHAEL EAVES agent(s) for CALITERRA DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 17, **RICE'S DURANES ADDITION, UNIT 1**, zoned R-2, located on RICE NW, between RIO GRANDE BLVD NW and INDIAN SCHOOL RD NE containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. Approval of the Development Review Board Minutes for July 27, 2005. **THE DRB MINUTES FOR JULY 27, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:15 A.M.

CITY OF ALBUQUERQUE

8/17/05



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

Making History
[Signature]
8/11/05

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003358

AGENDA ITEM NO: 7

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

Minor Comments

P.O. Box 1293

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

Albuquerque

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

New Mexico 87103 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

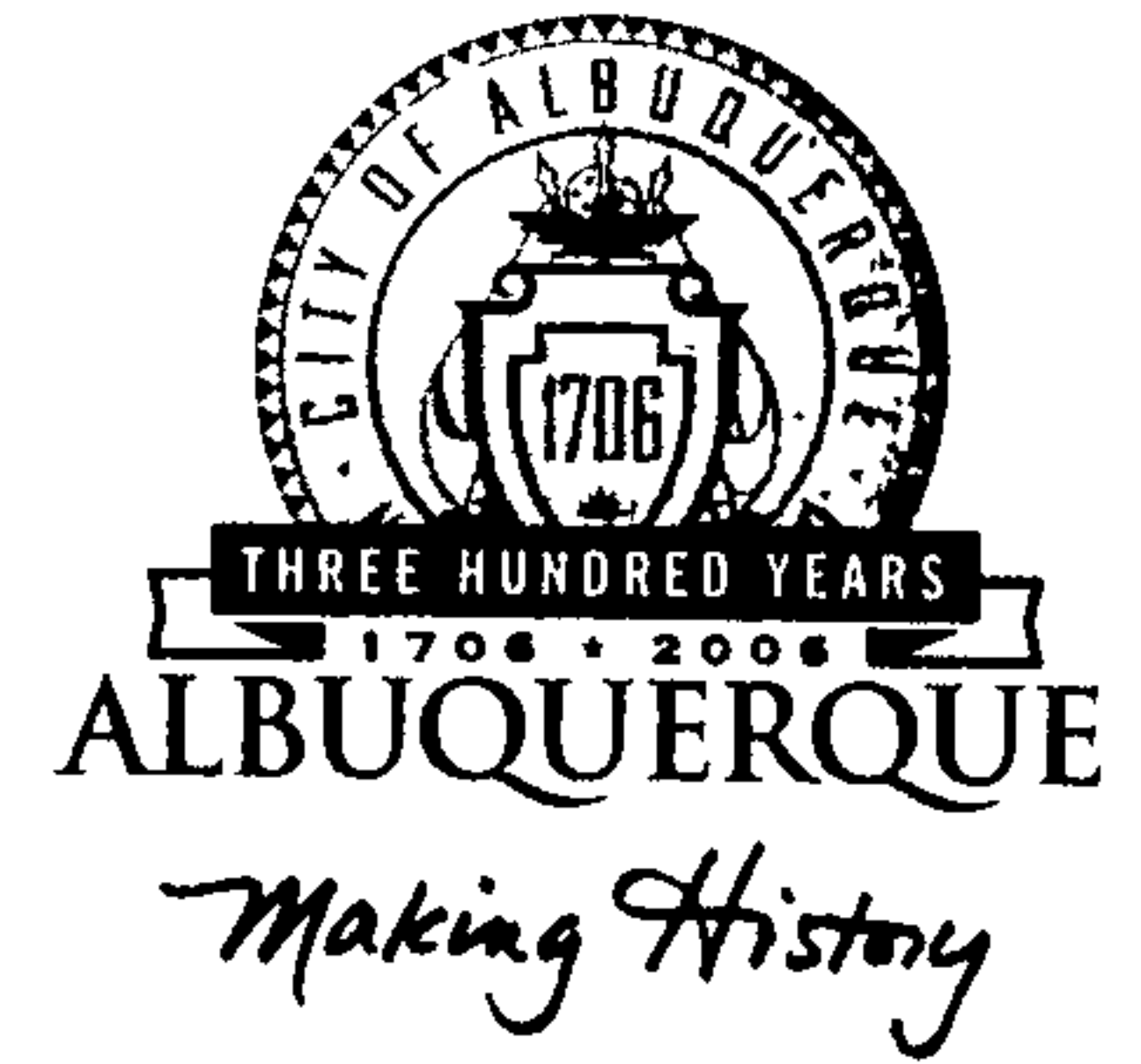
www.cabq.gov

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: August 10, 2005

CITY OF ALBUQUERQUE

for 254-0083



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1003358

AGENDA ITEM NO: 7

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

Minor Comments

P.O. Box 1293

RESOLUTION:

8-17-05

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

Albuquerque

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

New Mexico 87103 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

www.cabq.gov

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: August 10, 2005

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet

DRB- 1003358 Item No. 7 Zone Atlas C-17

DATE ON AGENDA 8-10-05

INFRASTRUCTURE REQUIRED (X)YES ()NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
() SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
(X) SITE PLAN FOR BUILDING PERMIT

No. Comment

- 1) Where is the sidewalk along Washington Place?
- 2) The drive needs to be modified (north return moved south) to align with aisle.
- 3) What is width of sidewalk along existing office? (8'?)
- 4) Has solid waste approved the refuse container location?

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

7. Project # 1003358

04DRB-00478 Minor-SiteDev Plan BldPermit

KEN HOVEY agent(s) for COMMERCIAL

ENTERPRISES INC request(s) the above action(s) for

all or a portion of Tract(s) 49, **CLIFFORD**

INDUSTRIAL PARK, zoned SU-2 / M-1, located on

WASHINGTON PL NE and ANAHEIM NE and

containing approximately 3 acre(s). *[Was Indef*

Deferred on 4/7/04 on a no show] (C-17)

Project # 1003358: The DRB and developer have been notified of the Interim Guidelines requirements in a memorandum to DRB dated April 6, 2004. The owner/developer, Mr. Eccher, has already obtained AEHD approval on the landfill gas assessment and building plans for this project.

Regards,

Jim Joseph

INTERA Inc.

One Park Square

6501 Americas Parkway NE

Suite 820

Albuquerque, NM 87110

505.246.1600 x209

This email may contain confidential information or material protected by the attorney-client privilege. If you are not the intended recipient, please inform the sender by calling the above telephone number.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 7, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

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A. Call to Order: 9:00 A.M.

Adjourned: 11:10 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- Project # 1002224**
04DRB-00335 Major-Vacation of Pub
Right-of-Way
ISAACSON & ARFMAN, P.A. agent(s) for CITY OF ALBUQUERQUE, OPEN SPACE DIVISION request(s) the above action(s) for all or a portion of Tract(s) 8-A1-2-B-1, M.R.G.C.D. MAP 31, **LOS POBLANOS RANCH**, zoned CITY OF ALBUQUERQUE, OPEN SPACE, located on CITY OPEN SPACE, between ADOBE ROAD NW and MONTANO ROAD NW containing approximately 7 acre(s). [REF: 1002634, 03DRB-01172, 03EPC-00695, 02EPC-01482, 02DRB-01425] [Deferred from 4/7/04] (F-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/28/04.**

2. **Project # 1003167**
04DRB-00336 Major-Bulk Land Variance
04DRB-00337 Minor-Prelim&Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES, INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) 18-22, **TOWN OF ATRISCO GRANT, UNIT 2**, zoned R-D/R-1, located on 86TH ST SW, between TOWER RD SW and EUCARIZ AVE SW containing approximately 25 acre(s). [REF:03DRB-02189] (L-9) **THE BULK LAND VARIANCE WAS APPROVED. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SAD 222 READJUSTMENT AND PLANNING FOR AGIS DXF FILE.**

3. **Project # 1003273**
04DRB-00338 Major-Vacation of Public
Easements

TIERRA WEST LLC agent(s) for ARC INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 5A - 13A, **VISTA**, zoned C-2 community commercial zone, located on CENTRAL AVE SW, between 94TH ST SW and 98TH ST SW containing approximately 2 acre(s). [REF: Z-85-93, Z-88-3, V-85-44, 04DRB-00279] (K-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1003293**
04DRB-00333 Major-Vacation of
Public Easements

JEFF HENRY agent(s) for JEFFERSON ONE, LLC request(s) the above action(s) for all or a portion of Lot(s) F-7, **ATRISCO BUSINESS PARK, UNIT 3**, zoned SU-1 special use zone, **PLANNED INDUSTRIAL PARK**, located on COORS BLVD NW, between LOS VOLCANOS NW and BLUEWATER NW containing approximately 3 acre(s). (J-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project # 1002051**
03DRB-02009 Major-Vacation of Public Easements
03DRB-02008 Major-Preliminary Plat
03DRB-02011 Minor-Temp Defer SDWK
03DRB-02010 Minor-Vacation of Private Easements
- TIERRA WEST LLC agent(s) for GELTMORE LAND LTD CO request(s) the above action(s) for all or a portion of Tract(s) A, **CHAMISA RIDGE UNIT 1**, zoned R-LT, located on PARADISE BLVD NW, between BIG SAGE DR NW and CONEFLOWER DR NW containing approximately 18 acre(s). [REF: 02DRB-00963] *[Deferred from 1/14/04 & 1/28/04 & 2/4/04 & 2/25/04 & 3/17/04 & 4/7/04]* (B-10) **DEFERRED AT THE AGENT'S REQUEST TO 4/28/04.**
6. **Project # 1003232**
04DRB-00254 Major-Vacation of Pub Right-of-Way
04DRB-00255 Major-Vacation of Public Easements
04DRB-00253 Minor-Prelim&Final Plat Approval
- COMMUNITY SCIENCES CORP. agent(s) for ENTRADA DEVELOPMENT LTD. CO. request(s) the above action(s) for all or a portion of Lot(s) 8-P2, **CAMPBELL FARM SUBDIVISION AND Tract(s) A, LANDS OF ANDREWS**, zoned RA-2 residential and agricultural zone, located on CAMPBELL LANE NW, between CAMPBELL RD NW and MATTHEW RD NW containing approximately 2 acre(s). [REF: DRB-98-195, 04DRB-00139] *[Deferred from 3/24/04 & 4/7/04]* (G-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/28/04.**
7. **Project # 1003231**
04DRB-00261 Major-Preliminary Plat Approval
04DRB-00263 Minor-Temp Defer SDWK
- WILSON & COMPANY INC agent(s) for LONGFORD @ ARROWWOOD LLC request(s) the above action(s) for all or a portion of Tract(s) 29A & 30A1, **LANDS OF SALAZAR/QUATRO/SJ HANNETT, (to be known as LONGFORD @ ARROWWOOD SUBDIVISION)** zoned R-LT residential zone, located on 98TH ST SW, between RIO BRAVO SW and BLAKE SW containing approximately 59 acre(s). [REF: 02DRB-01621, 01622, 04DRB-00137] *[Deferred from 3/24/04 & 4/7/04]* (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/28/04.**

8. **Project # 1002856**
04DRB-00230 Major-Preliminary Plat
Approval
04DRB-00231 Minor-Sidewalk Variance

MARK GOODWIN & ASSOCIATES, PA agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Lot(s) 1-5, **THE MEADOWS @ ANDERSON HILLS**, zoned RLT, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and 98TH SW containing approximately 49 acre(s). [REF:Z-99-58, 03DRB-00234, 03DRB-01891, 01892, 01893, 01894, 03DRB-01974] *[Deferred from 3/17/04 & 3/31/04]* (P-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/7/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/8/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT APPROVAL FROM UTILITIES DEVELOPMENT, THE OFFSITE 2W WATERLINE MUST BE OPERATIONAL AND PLANNING MUST RECEIVE PHOTOS OF ALREADY BUILT WALLS WITH PROJECT NUMBER, LOCATION AND NAME OF SUBDIVISION LISTED. THE SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

9. **Project # 1002857**
04DRB-00232 Major-Preliminary Plat
Approval
04DRB-00233 Minor-Sidewalk Variance

MARK GOODWIN & ASSOCIATES, PA agent(s) for ANDERSON HILLS, LLC request(s) the above action(s) for all or a portion of Tract(s) A & B, **HIGHLANDS @ ANDERSON HILLS, UNITS 2 & 3**, zoned RLT, located on 98TH ST SW, between DENNIS CHAVEZ BLVD SW and 98TH SW containing approximately 62 acre(s). [REF:Z-99-58, 03DRB-01200, 01201, 01202, 01203, 01204, 01205] *[Deferred from 3/17/04 & 3/31/04]* (P-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/7/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/22/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT APPROVAL FROM UTILITIES DEVELOPMENT, THE OFFSITE 2W WATERLINE MUST BE OPERATIONAL AND PLANNING MUST RECEIVE PHOTOS OF ALREADY BUILT WALLS WITH PROJECT NUMBER, LOCATION AND NAME OF SUBDIVISION LISTED. THE SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

10. **Project # 1002858**
04DRB-00234 Major-Preliminary Plat
Approval
04DRB-00235 Minor-Sidewalk Variance

MARK GOODWIN & ASSOCIATES, PA agent(s) for ANDERSON HILLS, LLC request(s) the above action(s) for all or a portion of Tract(s) G, H AND I, **MESA @ ANDERSON HILLS**, zoned SU-1/C-1 & R-2, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and GRACE VIGIL RD SW containing approximately 36 acre(s). [REF: Z-99-58, 03DRB-01206, 01207, 01208, 01209] *[Deferred from 3/17/04& 3/31/04]* (P-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/7/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/22/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT APPROVAL FROM UTILITIES DEVELOPMENT, THE OFFSITE 1W WATERLINE IN UNSER MUST BE OPERATIONAL AND PLANNING MUST RECEIVE PHOTOS OF ALREADY BUILT WALLS WITH PROJECT NUMBER, LOCATION AND NAME OF SUBDIVISION LISTED. THE SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

11. **Project # 1000766**
04DRB-00306 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, PA agent(s) for PULTE HOMES OF NEW MEXICO INC request(s) the above action(s) for all or a portion of Tract(s) 3A, **TOWN OF ATRISCO GRANT, UNIT 2**, zoned RD (9DU/AC), located on TOWER SW, between UNSER SW and 75TH ST SW containing approximately 20 acre(s). [REF:DRB-97-202] *[Deferred from 3/31/04]* (L-10) **A TWO-YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED.**

12. **Project # 1003279**
04DRB-00294 Major-Vacation of Public
Easements

MARK GOODWIN & ASSOCIATES PA agent(s) for D. R. HORTON CUSTOM HOMES request(s) the above action(s) for all or a portion of Lot(s) 13-P1, Block(s) 7, **VISTA SANDIA, UNIT 2**, zoned RD, located on EUCARIZ AVE SW, between 82ND ST SW and UNSER BLVD SW containing approximately 1 acre(s). *[Deferred from 3/31/04]* (L-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

13. **Project # 1002423**
04DRB-00302 Major-Vacation of Public
Easements

BOHANNAN HUSTON, INC agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) E-1, ALBUQUERQUE SOUTH, UNIT 3, (to be known as **EL RANCHO GRANDE, UNIT 10**, zoned R-2, located on VALLEY VIEW SW, between CARTAGENA AVE SW and DE ANZA DR SW containing approximately 20 acre(s). [REF: 03DRB-00749] [Deferred from 3/31/04] (N-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

14. **Project # 1003168**
04DRB-00475 Minor-SiteDev Plan
BldPermit/EPC

ISAAC BENTON & ASSOCIATES AIA agent(s) for AL SOTO request(s) the above action(s) for all or a portion of Block(s) 4, Tract(s) 29, **PALISADES ADDITION**, zoned R-1, located on LOMA ALTA CT NW, between PALISADES DR NW and ATRISCO DR NW containing approximately 2 acre(s). [REF: 03EPC-02191] [Elvira Lopez, EPC Case Planner] (J-11) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FIRE FLOW CALCULATION SHEET FROM THE FIRE MARSHAL.**

15. **Project # 1003358**
04DRB-00478 Minor-SiteDev Plan
BldPermit

KEN HOVEY agent(s) for COMMERCIAL ENTERPRISES INC request(s) the above action(s) for all or a portion of Tract(s) 49, **CLIFFORD INDUSTRIAL PARK**, zoned SU-2 / M-1, located on WASHINGTON PL NE and ANAHEIM NE and containing approximately 3 acre(s). (C-17) **INDEFINITELY DEFERRED ON A NO SHOW.**

\$50⁰⁰
8/10

16. **Project # 1003296**
04DRB-00341 Minor-SiteDev Plan
BldPermit

DAVID PACHECO, agent(s) for VERNON DORRIS, request(s) the above action(s) for all or a portion of Tract(s) 11, **ALAMEDA BUSINESS PARK**, zoned SU-2, IP-EP, located on ALAMEDA BLVD NE between EDITH NE and JEFFERSON NE containing approximately 1 acre(s). [REF: DRB-98-223, V-99-9, 10001321, 1003114] *[Deferred from 3/24/04]* (C-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

17. **Project # 1003299**
04DRB-00346 Minor-SiteDev Plan
BldPermit

STERLING CAPITAL DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 16A, Block(s) 18, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 special neighborhood zone, M-1, located on SAN PEDRO DR NE, between PASEO DEL NORTE NE and HOLLY AVE. NE containing approximately 2 acre(s). [REF: DRB-96-67] *[Deferred from 3/24/04]* (C-18) **THE INFRASTRUCTURE LIST DATED 4/7/04 WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR LANDFILL LANGUAGE ON SITE PLAN, MARCIA PINCUS SIGNATURE ON SITE PLAN, VERIFICATION THAT PLANNING COMMENTS HAVE BEEN ADDRESSED AND A VARIANCE PER NORTH I-25 LANDSCAPE SETBACK REQUIREMENT.**

18. **Project # 1002201**
04DRB-00395 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for LARRY H. MILLER GROUP request(s) the above action(s) for all or a portion of Tract(s) A & B, **AMERICAN TOYOTA**, zoned SU-2, SU-1 AUTO SALES SERV REP, located on ALAMEDA BLVD NE, between PAN AMERICAN FREEWAY NE and SAN PEDRO DR NE containing approximately 5 acre(s). [REF: Z-86-8, 03DRB-01382, 03EPC-02047, Project #1002848] **[Debbie Stover, EPC Case Planner]** *[Deferred from 3/31/04]* (C-18) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

19. **Project # 1000542**
04DRB-00468 Minor-Ext of SIA for Temp
Defer SDWK
- BOHANNAN HUSTON, INC. agent(s) for HIGH DESERT INVESTMENT CORP. request(s) the above action(s) for all or a portion of Lot(s) 42, 43, 46, 47, 48, 50, 51, 55, 56, 57, 58, 60, 61, 62, 63 and 64, **CANYONS @ HIGH DESERT**, zoned SU-2 special neighborhood zone, located on CANYON BLUFF TR NE, between JUNIPER CANYON TR NE and CANYON EDGE TR NE [REF: 02DRB-01289] (F-23) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**
20. **Project # 1003328**
04DRB-00422 Minor-Ext of SIA for Temp
Defer SDWK
- CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) 2A-1C-1A, **SOLTERRA AT HIGH DESERT, UNIT 1**, zoned SU-2/HD-RT, located on CORTADERIA ST NE, between IMPERATA ST NE and SPAIN RD NE containing approximately 9 acre(s). [REF: DRB-95-457] (E-23) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

21. **Project # 1001557**
04DRB-00443 Minor-Final Plat
Approval
04DRB-00541 Minor-Final Plat

MARK GOODWIN & ASSOCIATES, PA agent(s) for ASI ES, INC request(s) the above action(s) for all or a portion of Tract(s) A-1, **PUNO DE TIERRA ESTATES, UNIT 3 AND UNIT 4**, zoned R-LT, located on COORS BLVD SW, between ARENAL RD SW and EDUARDO RD SW containing approximately 13 acre(s). [REF: DRB-97-498] (M-10) **FINAL PLAT FOR UNIT 3 WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND TO ELIMINATE PUBLIC TRAIL RIGHT-OF-WAY IN UNIT 3 AND PLANNING FOR PHOTOS OF BUILT WALLS TO BE ID'D, AND A NEW AGIS DXF FILE FOR UNIT 3.**

THE FINAL PLAT FOR UNIT 4 WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PHOTOS OF BUILT WALLS TO BE ID'D.

A CONDITION OF FINAL PLAT FOR UNITS 3 & 4 IS THAT THE PLATS BE RECORDED AT THE SAME TIME.

22. **Project # 1002339**
04DRB-00449 Minor-Vacation of
Private Easements
04DRB-00450 Minor-Prelim&Final Plat
Approval

HOLLY ARROYO & RICHARD TARANGO request(s) the above action(s) for all or a portion of Tract(s) 10-A-2, **ALVARADO GARDENS UNIT 2**, zoned RA-2, M7, located on CAMPBELL RD NW, between RIO GRANDE BLVD NW and TRELIS DR NW containing approximately 1 acre(s). [REF:02DRB-01711, 02DRB-01958, 03DRB-00571, 03DRB-00769, 03DRB-01035] (G-12) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR THE BENEFICIARY OF EASEMENT SIGNATURE ON THE PLAT.**

23. **Project # 1002981**
03DRB-02132 Minor-Prelim&Final Plat
Approval

SURV-TEK, INC. agent(s) for 1224 BELLAMAH, LLC request(s) the above action(s) for all or a portion of Lot(s) B-1-A-3-A, **DUKE CITY LUMBER COMPANY ADDITION**, zoned S/M-1, located on BELLAMAH AVE. NW, between 12TH ST. and SAWMILL ROAD NW containing approximately 12 acre(s). [REF: 03ZHE 01596, DRB-95-360] *[Was indefinitely deferred on 1/21/04]* (J-13). **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/7/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 12/16/03 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

24. **Project # 1002531**
03DRB-01460 Minor- Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for WAYNE A. MCFADDEN request(s) the above action(s) for all or a portion of Lot(s) 33 & 34, ALVARADO GARDENS, (to be known as **CIELO SU TIERRA SUBDIVISION**) zoned RA-2 residential and agricultural zone, located on GRANDE BLVD NW, between WILMA RD NW and VILLA DORO WAY NW containing approximately 3 acre(s). [REF: 03DRB-00604 SK, ZA-97-249] *[Final plat was indefinitely deferred for the SIA]* (G-13) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND TRANSPORTATION DEVELOPMENT, THE WALL NEEDS TO BE MOVED TO NOT IMPEDED ACCESS.**

25. **Project # 1003229**
04DRB-00397 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for TOBY & DOROTHY DEVARGAS request(s) the above action(s) for all or a portion of Lot(s) 25, Block(s) NA, Tract(s) NA, **LINDA VISTA ADDITION**, zoned R-1 residential zone, located on HENDRIX AVE NW, between 4th ST NW and SANCHEZ AVE NW containing approximately 1 acre(s). [Project # changed from Project #1003322 now void] *[Deferred from 3/31/04]* (F-14) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

26. **Project # 1002743**
04DRB-00399 Minor-Final Plat Approval

BORDENAVE DESIGNS agent(s) for HARVEST HOMES, LLC request(s) the above action(s) for all or a portion of Tract(s) H, **LA LUZ DEL OESTE, UNIT 4**, zoned SU-1 special use zone, PRD, located on COORS BLVD NW, between WESTERN TRAILS NW and DELLYNE AVE NW containing approximately 2 acre(s). [REF: 03DRB-00989, 03DRB-01544, Z-77-28] *[Deferred from 3/31/04]* (F-11) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

27. **Project # 1003355**
04DRB-00466 Minor-Sketch Plat or Plan

WAYJOHN SURVEYING, INC. agent(s) for JOSEPH GREVEY request(s) the above action(s) for all or a portion of Lot(s) 162, 163, 164 & 165, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned C-1 (SC) & C-2, located on COORS BLVD NW, between GLENRIO RD NW and FORTUNA RD NW containing approximately 14 acre(s). (J-10/J-11) **INDEFINITELY DEFERRED ON A NO SHOW. LATER CAME IN AND REQUEST DEFERRAL TO 4/14/04.**

28. Approval of the Development Review Board Minutes for March 24, 2004. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR MARCH 24, 2004 WERE APPROVED.**

ADJOURNED: 11:10 A.M.




Intera Incorporated
One Park Square
6501 Americas Parkway NE
Suite 820
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: April 6, 2004

TO: Sheran Matson, Planning Department (DRB)

COPY: Marcia A. Pincus, Environmental Health Department
Kevin Curran, Legal Department
Charles Kolberg, Legal Department
Tom Burlison, Planning Department
Ken Hovey, Agent

FROM: Jim Joseph, P.E., INTERA Inc. 

SUBJECT: DRB Project No. 1003358: Clifford Industrial Park, Tract 49 at Washington Place
NE and Anaheim NE (April 7, 2004 DRB Agenda Item)

There is the potential for above named project to be impacted by the presence of landfill gas generated by a former City owned/operated landfill. The developers of this site are required to follow the most current version of the "Interim Guidelines for Development Within One Thousand Feet of a Landfill." A review of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division, Groundwater and Landfill Section.



One Park Square
6501 Americas Parkway NE, Suite 820
Albuquerque, NM 87110
Phone: (505) 246-1600
Fax: (505) 246-2600

FACSIMILE COVER SHEET

TO: <u>SHERAN MATSON</u>	FROM: <u>Jim JOSEPH</u>
COMPANY: <u>DRB</u>	NO. OF PAGES: <u>2</u> (Including cover page)
FAX #: <u>924-3864</u>	
PHONE #: <u>924-3880</u>	DATE: <u>4/5/04</u>

PLEASE MAKE COPIES FOR:

SUBJECT:

PLEASE SEE ATTACHED MEMO REGARDING

PRO # 1003358

If there are any problems with this transmission, please call (505) 246-1600

Thank You

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 1146
CONNECTION TEL 92540083
SUBADDRESS
CONNECTION ID
ST. TIME 04/05 07:47
USAGE T 00'52
PGS. 3
RESULT OK

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
FAX FORM**

TO: Ken Novey FAX # 254-0083

PAGES (INCLUDING COVER SHEET) 3

FROM: Sheran Matson, DRB Chair FAX # 924-3864 PHONE # 924-3880

COMMENTS:

Planning's comments
on 1003358.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
FAX FORM**

TO: Ken Noney **FAX #** 254-0083

PAGES (INCLUDING COVER SHEET) 3 4/5/04

FROM: Sheran Matson, DRB Chair **FAX #** 924-3864 **PHONE #** 924-3880

COMMENTS:

Planning's comments
on 1003358.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
April 7, 2004
Comments**

ITEM # 15

PROJECT # 1003358

APPLICATION # 04-00478

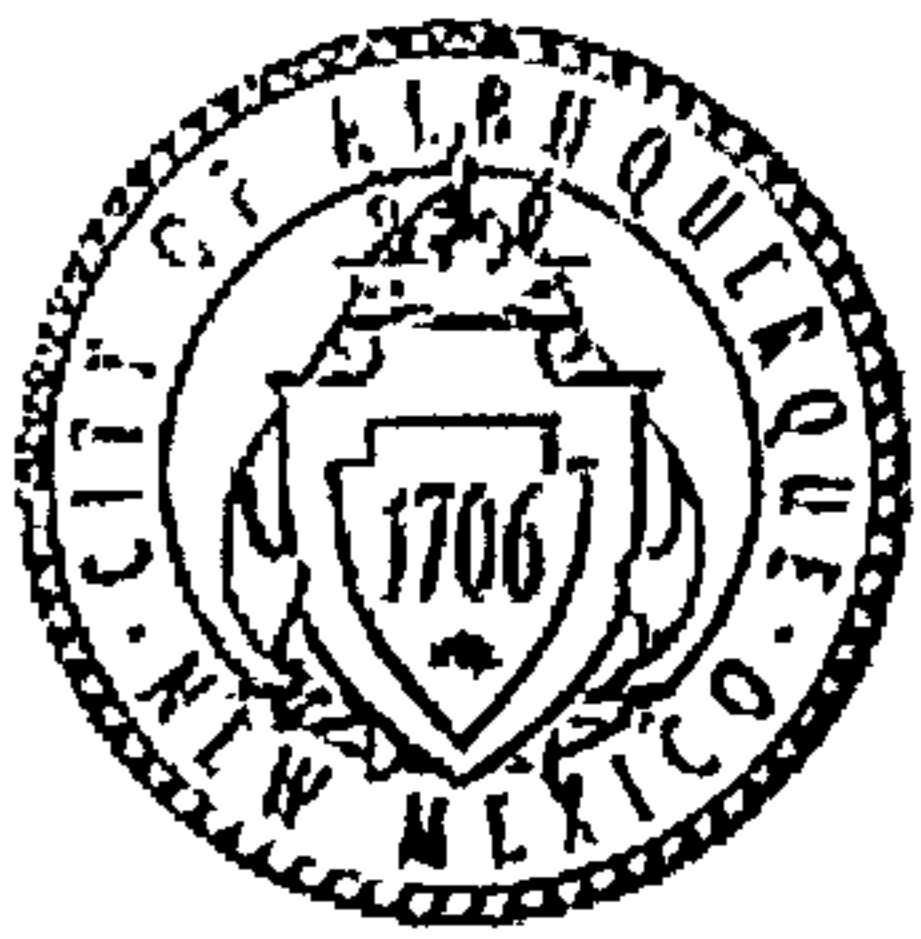
RE: Tract 49, Clifford Industrial Park/SPBP

1. The property is within 1000 feet of a landfill. Therefore, a disclaimer statement is needed on the site plan and approval by AEHD of a Landfill Gas Assessment Report, etc, is required before Planning signs the site plan.
2. The signature block should be replaced with the DRB Site Plan signature block. A copy is available at the front counter.
3. Each page of the site plan should be identified. The site plan sheet should say "Site Development Plan for Building Permit". The Elevations sheet is not identified.
4. The refuse container and enclosure should have an elevation on the Elevations Sheet with details given. See page 53, C1a of North I25 SP.
5. Setbacks: The rear yard setback should be 20 feet per 14-14-2-19 of Zone Code.
6. Landscape Plan:
 - Needs a chart showing the square footage and percent of landscaping required and provided.
 - A 6' landscape buffer along the side and rear property lines of industrial development is required per Page 54 (3)(a)1 & 2 of the North I25 Sector Plan.
7. The property lines need clear identification on the site plan & the landscape plan sheets.
8. Are there any walls or fences proposed? Identify location, height, type, length, color & materials.
9. Site Lighting: Height & type required.

10. Calculation of parking spaces required & provided including handicapped spaces.

11. Elevations of building: Overall width missing as is the color of the doors.

12. Signage: See page 4 of SPBP Checklist under "B. Signage" for these requirements.



Martin J. Chávez, Mayor

City of Albuquerque
Environmental Health Department



Alfredo R. Santistevan, Director

DATE: September 6, 2004
TO: Sheran Matson, Planning Department
FROM: Marcia A. Pincus, Environmental Health Department
SUBJECT: Proposed Construction at 8309 Washington Place NE, Commercial Enterprises, Inc.

The recommendations made Vinyard and Associates, Inc. in their report entitled "Landfill Gas Survey Commercial Enterprises, Inc. 8309 Washington Place, NE" dated May 13, 2004, and their follow up letter relative to this report dated August 23, 2004, and acceptance of these recommendations by Barry Eccher as stated in his letter dated August 20, 2004 in which Mr. Eccher agrees to:

- 1) implement Vinyard and Associates, Inc. recommendations, and
- 2) acknowledges that implementation of Vinyard and Associates, Inc. recommendations is a condition of obtaining a building permit

satisfies Albuquerque Environmental Health Department's concern that associated potential risk, both present and future from landfill gases has been addressed.

Albuquerque Environmental Health Department (AEHD) recommends that Mr. Eccher's project proceed through the Planning Department process. AEHD will require that the building plans be submitted to this office for our review, **PRIOR** to the plans being submitted to Building Permit and Plan Review Section. I will sign the Site Plan for Building Permit **AFTER** I have reviewed the Building Plans.

In addition, a **Certificate of Occupancy (CO)** should **NOT** be issued until Albuquerque Environmental Health Department has received and approved a certification letter from a professional engineer that states the proposed construction was built as designed relative to the landfill gas recommendations.

cc: Kevin Curran, Legal Department
Phyllis Villanueva, Planning Department
Ken Hovey, Ken Hovey Architect (fax 259.8458)
James Joseph, INTERA, Inc. (fax 505.246.2600)
File

100 3358

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME _____

AGENT

KEN HOVEY

ADDRESS _____

PROJECT & APP #

1003358 / 04 - DRB - 00478

PROJECT NAME

CLIFFORD BUSINESS PARK

\$ _____ 441032/3424000 Conflict Management Fee

\$ 50.⁰⁰ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***

() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 50.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

8/16/2005 3:02PM LOC: ANNX
RECEIPT# 00047885 WSH 007 TRANS# 0020
Account 441006 Fund 0110
Activity 4983000 TRSLJS
Trans Amt \$50.00
J24 Misc

\$50.00

CK \$50.00
CHANGE \$0.00

Thank You

August 9, 2005

#7

Ken Hovey, Architect
3808 Simms Avenue SE
Albuquerque, New Mexico 87108

City of Albuquerque
Planning Department
Development Review Board
600 2nd Street NE
Albuquerque, NM 87102

To Whom it May Concern,

This is request a one week deferral on Project No. 1003358 to August 17th. I will, of course pay the deferral fee prior to the hearing.

Sincerely,



Ken Hovey

#7

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME _____

AGENT

KEN HOVEY

ADDRESS

3808 SIMMS SE

PROJECT & APP #

ADDITION TO COMMERCIAL ENTERPRISES

PROJECT NAME

1003358/04DRB00478

\$ _____ 441032/3424000 Conflict Management Fee

\$ 50.00 441006/4983000 DRB Actions DEFERRAL

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 50.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

KEN HOVEY 5-92 3808 SIMMS S.E. ALBUQUERQUE, NM 87108 PH. 505-254-0083		Date <u>8-08-05</u>	1890 95-32/1070 NM 1102
Pay to the Order of	<u>CITY OF ALBUQ</u>	\$ <u>50.00</u>	
Bank of America		Dollars <u>FIFTY & NO/100</u>	SECURITY FEATURE ***
ACH R/T 107000327		City Of Albuquerque Treasury Division	
Cour For <u>DRB</u>		RECEIVED 8/8/2005 12:18PM RECEIPT# 00047329 USH 007	LOC: ANNX TRANSH 0040
⑆ 107000327⑆ 000119590784⑆ 1890		Account 441006 Fund 0110	TRSLJS
		Activity 4983000	
		Trans Amt \$50.00	

J24 Misc

\$50.00

CK
CHANGE

\$50.00
\$0.00

Thank You

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Claire

Date Submitted: March 26, 2004
Date Site Plan Approved: _____
Date Preliminary Plat Approved: 4/21/04
Date Preliminary Plat Expires: 4/21/05
DRB Project No.: 1003353
DRB Application No.: 04DRB-00452

① 6/24/04

HERITAGE AT THE TRAILS, UNIT 2

PROPOSED NAME OF PLAT

TRACT B, THE TRAILS

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Const Engineer
		28' F-F	Residential Paving	Edison Road	Battlecreek Street	Allegiance Street	/	/	/
		24' F-F	Residential Paving	Edison Road	Tract A	Battlecreek Street	/	/	/
		24' F-F	Residential Paving	Edison Road	Allegiance Street	Lot 19	/	/	/
		28' F-F	Residential Paving	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		28' F-F	Residential Paving	Hearthstone Road	Battlecreek Street	east property line	/	/	/
		50' F-F (incl Median)	Residential Paving	Hearthstone Road	Rainbow Blvd	Battlecreek Street	/	/	/
		31' F-F (half of full width)	Arterial Paving	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
			Modified Procedure "C" Arterial Paving	Paseo del Norte			/	/	/
		31' F-F (half of full width)	Arterial Paving	Paseo del Norte	Rainbow Blvd	East #	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Edison Road	Tract A	Lot 19	/	/	/

ORIGINAL

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		Std. or Mntbl	Curb and Gutter (6)	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		Std. or Mntbl	Curb and Gutter (6)	Hearthstone Road	Rainbow Blvd	east property line	/	/	/
		Median	Curb and Gutter	Hearthstone Road	Rainbow Blvd	E. of Battlecreek Street	/	/	/
		Std.	Curb and Gutter (7) (East Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		Median	Curb and Gutter (7) (West Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Edison Road	Tract A	Lot 19	/	/	/
		4'	PCC Sidewalk (1) (South Side Only)	Edison Road	Battlecreek Street	Allegiance Street	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (1) (Both Sides)	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		4'	PCC Sidewalk (North Side Only)	Hearthstone Road	Rainbow Blvd	Battlecreek Street	/	/	/
		4'	PCC Sidewalk (1) (North Side Only)	Hearthstone Road	Battlecreek Street	east property line	/	/	/
		4'	PCC Sidewalk (1) (South Side Only) <i>Both sides</i>	Hearthstone Road	Lot 34	east property line	/	/	/
		6'	PCC Sidewalk (7) (East Side Only)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
		10'	Asphalt Trail <i>UNIT 11</i>	Tract 05-2	West Pt	East Pt	/	/	/
		6"	Waterline	Edison Road	Battlecreek Street	Lot 19	/	/	/
		6"	Waterline	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		6"	Waterline	Allegiance Street	Edison Road	Hearthstone Road	/	/	/

ORIGINAL

SIA Sequence #	COA DRC Project #						Private Inspector	City Inspector	City Const Engineer
		8"	Waterline	Hearthstone Road	Rainbow Blvd	east property line	/	/	/
		8"	Waterline	Offsite easement	Hearthstone Road	Ladron Drive (Taos at the Trails)	/	/	/
		20"	Waterline (7)	Rainbow Blvd	Paseo del Norte	South Property Line	/	/	/
							/	/	/
		8"	SAS	Edison Road	Rainbow Blvd	Lot 19	/	/	/
		8"	SAS	Battlecreek Street	Edison Road	Hearthstone Road	/	/	/
		8"	SAS	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		8"	SAS	Hearthstone Road	Battlecreek Street	east property line	/	/	/
		8"	SAS	Offsite easement	Hearthstone Road	Ladron Drive (Taos at the Trails)	/	/	/
		8" - 12"	SAS (7)	Tracts D, F, & J	Ladron Drive (Taos at the Trails)	Universe Blvd	/	/	/
		750 gpm	Temp SAS Lift Station (7)	Tract J	Universe Blvd		/	/	/
		8"	Temporary SAS Force Main (7)	Universe Blvd	Tree Line Avenue	Paseo del Norte	/	/	/
							/	/	/
		18"-48"	RCP Storm Drain	Edison Road	Rainbow Blvd	Lot 19	/	/	/
		42"-48"	RCP Storm Drain	Allegiance Street	Edison Road	Hearthstone Road	/	/	/
		18"-48"	RCP Storm Drain	Hearthstone Road	Rainbow Blvd	Pond D	/	/	/
		6.46 Ac-Ft	Retention Pond on unplatted land east of Tract B, The Trails. (Pond D) w/ easmt, Covenant & Agreement, and emergency overflow				/	/	/

ORIGINAL

SIA Sequence #	COA DRC Project #
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#250,000 drainage mitigation contribution by Proc B' mod

~~Temporary Storm Drain Pump~~ ~~Univerec Blvd~~ ~~Pond L~~ ~~Las Ventanas Dam~~
~~Station & Force Main (0)~~

Private Inspector	City Inspector	City Const Engineer
----------------------	-------------------	------------------------

SIA Sequence #	COA DRC Project #	Description	Private Inspector	City Inspector	City Const Engineer
		Temporary Storm Drain Pump Univerec Blvd Pond L Las Ventanas Dam Station & Force Main (0)	/	/	/
		Perimeter Walls (not to be financially guaranteed)	/	/	/
		Water meter for landscaping	/	/	/
			/	/	/
			/	/	/
			/	/	/
			/	/	/
			/	/	/
			/	/	/

NOTES:

1. Sidewalks to be deferred where noted.
2. Residential lighting per DPM.
3. Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
4. All water to include fire hydrants, valves, and appurtenances per DPM.
5. Storm drain sizes are subject to change per final DRC determination.
6. Curb & gutter on both sides, unless otherwise noted. Type to be determined at final DRC.
7. Adjacent portions of Rainbow Blvd to be built by a separate project. (DRB Project#1002962, CPN#730081) ~~Rainbow Blvd not financially guaranteed with this project.~~
8. Offsite Traffic Mitigation Fees of \$565 per lot to be paid by Modified Procedure "C" (non-work order): \$565/lot x 50 lots = \$28,250
9.  ~~Includes removal and replacement of existing asphalt. To be deferred. Financial Guaranty amount to be reviewed and approved by the City of Albuquerque Hydrology Planning Department in addition to the standard DRC procedure review.~~
by Modified Procedure 'C' (non-work order) is an option (concurrence from DMD required)
10. Trail to be built by a separate project.
11. Landscape Maintenance Agreement between City and the HOA is required for landscaping in the public right-of-way.
- 12.

AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Genevieve Donart, PE NAME (print)	<i>William Watson</i> 4/21/04 DRB CHAIR - date	<i>Christina Sandoval</i> 4/21/04 PARKS & GENERAL SERVICES - date	
Isaacson & Arfman, P.A. FIRM	<i>Jeffrey</i> 1-21-04 TRANSPORTATION DEVELOPMENT - date		AMAFCA - date
<i>Genevieve Donart</i> 4/20/04 SIGNATURE - date	<i>Roger A Green</i> 4/21/04 UTILITY DEVELOPMENT - date		- date
	<i>Brad D. Biken</i> 4/21/04 CITY ENGINEER - date		- date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
1	6/29/04	<i>[Signature]</i>	<i>Brad Biken</i>	<i>Genevieve Donart</i>

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
___ Major Subdivision action		___ Annexation	
___ Minor Subdivision action		___ County Submittal	
___ Vacation	V	___ EPC Submittal	
___ Variance (Non-Zoning)		___ Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	___ Sector Plan (Phase I, II, III)	
___ ...for Subdivision Purposes		___ Amendment to Sector, Area, Facility or Comprehensive Plan	
<input checked="" type="checkbox"/> ...for Building Permit		___ Text Amendment (Zoning Code/Sub Regs)	
___ IP Master Development Plan			
___ Cert. of Appropriateness (LUCC)	L	APPEAL / PROTEST of...	A
		___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: COMMERCIAL ENTERPRISES MC, PHONE: 890-5300
 ADDRESS: 8309 WASHINGTON PLACE NE FAX: 890-5126
 CITY: ALBUQUERQUE STATE NM ZIP 87103 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): KEN HOVEY PHONE: 259-8458
 ADDRESS: 3808 SIMMS AVE. SE FAX: 254-0083
 CITY: ALBUQUERQUE STATE NM ZIP 87108 E-MAIL: kenhovey@comcast.net

DESCRIPTION OF REQUEST: APPROVAL OF SITE DEVELOPMENT PLAN SU-2/M-1 FOR
BUILDING PERMIT - ADD NEW WAREHOUSE STRUCTURES

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. ___ No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 49 Block: _____ Unit: _____
 Subdiv. / Addn. CLIFFORD INDUSTRIAL PARK
 Current Zoning: SU-2/M-1 Proposed zoning: N/A
 Zone Atlas page(s): C-17-2 No. of existing lots: ONE No. of proposed lots: ONE
 Total area of site (acres): 2.72 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No ___, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? _____
 UPC No. 101706410714730212 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: _____
 Between: WASHINGTON PLACE @ ANAHEIM and _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____
 SIGNATURE [Signature] DATE 30 MARCH 04
 (Print) KEN HOVEY _____ Applicant _____ Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<input checked="" type="checkbox"/> INTERNAL ROUTING <input checked="" type="checkbox"/> All checklists are complete <input checked="" type="checkbox"/> All fees have been collected <input checked="" type="checkbox"/> All case #s are assigned <input checked="" type="checkbox"/> AGIS copy has been sent <input checked="" type="checkbox"/> Case history #s are listed <input checked="" type="checkbox"/> Site is within 1000ft of a landfill? <input checked="" type="checkbox"/> F.H.D.P. density bonus <input checked="" type="checkbox"/> F.H.D.P. fee rebate	Application case numbers	Action	S.F.	Fees
	<u>CHDRB</u> - <u>00478</u>	<u>SBP</u>		\$ <u>385.00</u>
		<u>CMF</u>		\$ <u>20.00</u>
				\$ _____
				\$ _____
				\$ _____
	Hearing date <u>April 7, 2004</u>			Total \$ <u>405.00</u>
<u>MOS Duran</u>	<u>3-30-04</u>	Project # <u>1003358</u>		

Planner signature / date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
 - Solid Waste Management Department signature on Site Plan -
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB -
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

_____ Applicant name (print)

_____ Applicant signature / date



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 04DRB - - 00478

_____ 3-30-04
 Planner signature / date
Project # 1003358




Intera Incorporated
One Park Square
6501 Americas Parkway NE
Suite 820
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: April 6, 2004

TO: Sheran Matson, Planning Department (DRB)

COPY: Marcia A. Pincus, Environmental Health Department
Kevin Curran, Legal Department
Charles Kolberg, Legal Department
Tom Burlison, Planning Department
Ken Hovey, Agent

FROM: Jim Joseph, P.E., INTERA Inc. 

SUBJECT: DRB Project No. 1003358: Clifford Industrial Park, Tact 49 at Washington Place NE and Anaheim NE (April 7, 2004 DRB Agenda Item)

There is the potential for above named project to be impacted by the presence of landfill gas generated by a former City owned/operated landfill. The developers of this site are required to follow the most current version of the "Interim Guidelines for Development Within One Thousand Feet of a Landfill." A review of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division, Groundwater and Landfill Section.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
April 7, 2004
Comments**

ITEM # 15

PROJECT # 1003358

APPLICATION # 04-00478

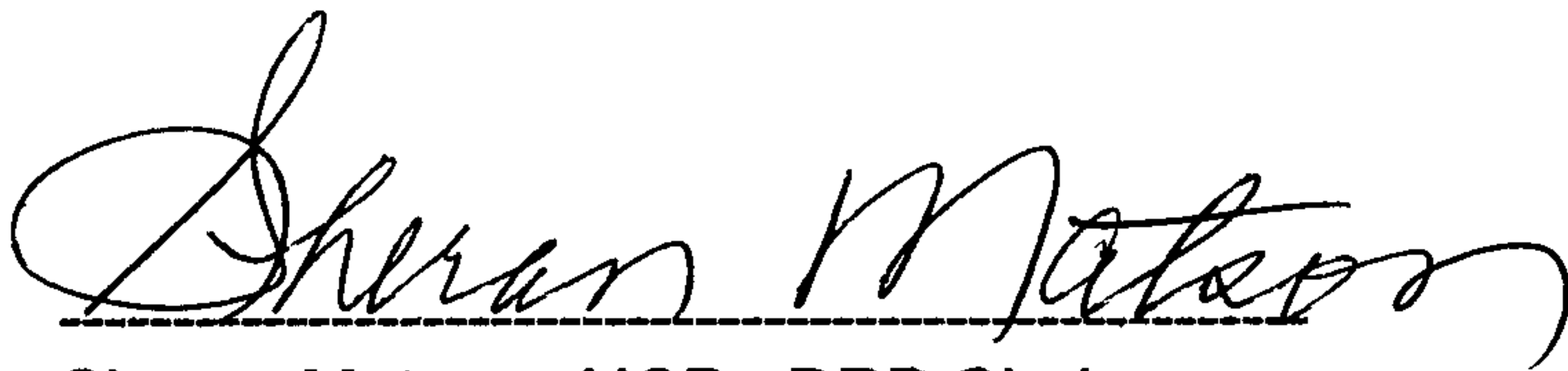
RE: Tract 49, Clifford Industrial Park/SPBP

1. The property is within 1000 feet of a landfill. Therefore, a disclaimer statement is needed on the site plan and approval by AEHD of a Landfill Gas Assessment Report, etc, is required before Planning signs the site plan.
2. The signature block should be replaced with the DRB Site Plan signature block. A copy is available at the front counter.
3. Each page of the site plan should be identified. The site plan sheet should say "Site Development Plan for Building Permit". The Elevations sheet is not identified.
4. The refuse container and enclosure should have an elevation on the Elevations Sheet with details given. See page 53, C1a of North I25 SP.
5. Setbacks: The rear yard setback should be 20 feet per 14-14-2-19 of Zone Code.
6. Landscape Plan:
 - Needs a chart showing the square footage and percent of landscaping required and provided.
 - A 6' landscape buffer along the side and rear property lines of industrial development is required per Page 54 (3)(a)1 & 2 of the North I25 Sector Plan.
7. The property lines need clear identification on the site plan & the landscape plan sheets.
8. Are there any walls or fences proposed? Identify location, height, type, length, color & materials.
9. Site Lighting: Height & type required.

10. Calculation of parking spaces required & provided including handicapped spaces.

11. Elevations of building: Overall width missing as is the color of the doors.

12. Signage: See page 4 of SPBP Checklist under "B. Signage" for these requirements.

A handwritten signature in black ink, reading "Sheran Matson". The signature is written in a cursive style with a large initial 'S' and a long, sweeping tail.

Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003358

AGENDA ITEM NO: 15

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Minor comments.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X *indof.*; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: April 7, 2004

March 30, 2004

Ken Hovey, Architect
3808 Simms Avenue SE
Albuquerque, NM 87108

City of Albuquerque Planning Dept.
P.O. Box 1293
Albuquerque, NM 87103

Gentlemen:

This is to request review and approval for a proposed warehouse structure to be located at 8309 Washington Place NE. The property is zoned SU-2 for M-1 uses. The lot has an existing office / warehouse structure. The Owner is a contractor and the warehouse will allow them to store steel framing studs, door frames, sheetrock and stucco materials which are essential to their business.

The height of the proposed structure is limited to less than 17 feet. The building materials used on the front and ends of the building are stucco and are compatible with the existing building on the site as well as buildings on neighboring properties.

Do not hesitate to contact me at 505.259.4858 if more discussion is required.

Sincerely,

A handwritten signature in black ink, appearing to read 'KEN HOVEY', with a stylized flourish at the end.

Ken Hovey

north -25- sector development plan

City of Albuquerque
Planning Department
January 1998



A. Residential Uses:

1. The SU-1/Planned Development Area zone for apartments including PRD) and mobile home parks and subdivisions. Residential uses designated in and regulated by an approved SU-1 zone and site development plan
2. The R-D zone allows the following, preferably in carefully designed planned unit developments:
 - a. House and other uses permissive in the R-1 zone.
 - b. Townhouse and apartment, provided:
 - (1) The density of a lot does not exceed 30 dwelling units per net acre, and
 - (2) The site is within 1,000 feet of the Louisiana Boulevard centering but not within 500 feet of the Paseo del Norte centerline, and
 - (3) A site development plan and a landscaping plan are approved by the Planning Director, controlling the development of the site.
 - c. Church or other place of worship, including incidental recreational and educational facilities, pursuant to a Site Development Plan and a Landscaping Plan approved by the Planning Director.

B. Mixed Use Development

SU-2/Mixed Use Development (MUD) allows the following uses, subject to approval of site development plan and landscaping plan by the Environmental Planning Commission. Uses allowed are as follows:

1. Mobile homes on sites developed on the effective date of this plan.
2. Sixteen gross acres located generally in the westerly part of the site shall be used for residences at a density which does not exceed 30 dwelling units per net acre.
3. The balance of the site may be used for IP zone except retail and service uses 24.A. 18 and 20 of the Zoning Code are acres; floor area ratio for such uses These three gross acres of retail and customer uses; no other retail or customer service uses are allowed permissively or conditionally, except as (a) provided in paragraph 4, below, and (b)employee-only retail uses.
4. Up to 15 gross acres of the area otherwise allowed for IP uses may be used for uses permissive in the C-2 zone, provided the Development Review Board determines (or another body determines on appeal that traffic operation is not impacted negatively by the land uses changing from industrial to commercial, a determination made at least in part based upon the following material submitted by the developer:
 - a. A detailed land use plan for all of site H which indicates square feet of floor area by land use category and provides an on-site circulation system adequate

- a. Site development plans and landscaping plans are required for permissive uses and shall be approved by the Planning Director.
- b. Commercial Retail and Services, as listed in Section 24.A.18 and 24.A.20 of the Zoning Code, are not permissive uses.
- c. Conditional uses shall be limited to:
1. Commercial Retail and Service as listed in Section 24.A.18 and 24.A.20 of the Zoning Code, and are to be approved by the zoning Hearing Examiner according to the criteria for decision established in Section 42.C.1 of the Zoning Code. Such uses shall be approved, if otherwise appropriate only on premises which have dedicated the requested public right-of-way for the widening of Alameda Boulevard or San Pedro Drive. Retail and customer service shall be at an intersection with Alameda Boulevard or San Pedro Drive, and preferably in sites of two to six net acres devoted to such uses. And
 2. Automotive sales, include 1ng related service and repair provided that the premises are developed consistent with an approved, attractive site development plan.
- d. Lot Size. No requirements, (but note setback requirements in Section VI).
- e. All site plans and landscaping plans shall incorporate the design standards contained in Section VI.
- f. Contractors yards which are legally nonconforming shall be made to conform within five years of the date they become nonconforming. This period includes the open storage, which would otherwise be required to conform within one year.
- g. Automotive dismantling as specified in the M-1 zone, if legally nonconforming shall be made to conform within 10 years of the date it becomes nonconforming. This period includes the open storage, which would otherwise be required to conform within one year.
- h. The manufacturing and retail sale of portable and modular buildings and mobile homes including outdoor storage and display, and outdoor storage of recreational vehicles (RV's) and boats (as defined in the Comprehensive City Zoning Code), which are new legally nonconforming or not in compliance and which shall be made to conform within six years of the date it becomes nonconforming or not in compliance.
3. SU-2/IP-EP (Industrial Park and Earth Products) zone allowing uses permissive and conditional in the SU-2/IP zone as regulated by the SU-2/IP zone with the following additions:

2 a. Conditional uses include concrete or cement products manufacturing batching plant, processing of stone, gravel, sand, or dirt including mining stockpiling, and distribution but not on-site retailing.

b. Conditional uses should generally be conducted in a completely enclosed building or within an area enclosed on all sides by a wall or fence at least six feet high which is maintained in a state of good repair and which must be solid when it faces or abuts public right-of-ways, or land not zoned SU-2/IP, IP, or SU-2/M-1.

c. Automotive sales and related service or repair is not a conditional use.

4. The SU-2/M-1 zone allowing uses permissive in the M-1 zone as regulated by the M-1 zone with the exception that all new industrial development zoned SU-2/M-1 shall require a landscaping plan incorporating the design standards contained in Section VI.

5. Conditional uses for retail and customer services shall total no more than 14 acres in all industrial use categories combined in the sector plan area.

6. Off-Premise signs are not allowed as permissive or conditional uses within 1,000 feet of Alameda Boulevard between I-25 and the North Diversion Channel for property zoned SU-2/IP, SU-2/IP-EP and SU-2/M-1.

F. Automotive Sales, Service and Repair:

The SU-2 Automotive Sales Service and Repair zone allowing only automotive sales service and repair as permissive uses, no conditional uses, otherwise as regulated by the IP zone with the following exceptions:

a. Lot Size. No requirements, (but note setback requirements in Section VI).

b. All site plans and landscaping plans shall incorporate the design standards contained in Section VII.

G. Hospital and Medical

SU-2 for Hospital and Medical zone allows hospitals medical office, and medical laboratories, and residential facility for medical treatment of humans. New development shall require a landscaping plan incorporating the design standards contained in Section VI.

H. Radio Studio, Office, Antenna:

SU-2 for Radio Studio Office, Antenna zone allows existing antenna and studio building which may be used as radio studio or any kind of office. Any additional construction, which shall be for the same uses, is allowed only after site plan approval by the

Design Data

LEGAL DESCRIPTION: LOT 49
CLIFTON INDUSTRIAL PARK
ALBUQUERQUE, NM

CURRENT ZONING: R208 WASHINGTON PLACE NE

CURRENT ZONING: SI-2, FORM M-1 USES

ZONE ADJUS PING: C-17.2

APPLICABLE BUILDING CODE: UBC-1997

SEismic ZONE: 2B

WIND DESIGN SPEED: 75 MPH

EXPOSURE: C

TYPE OF CONSTRUCTION: I-II

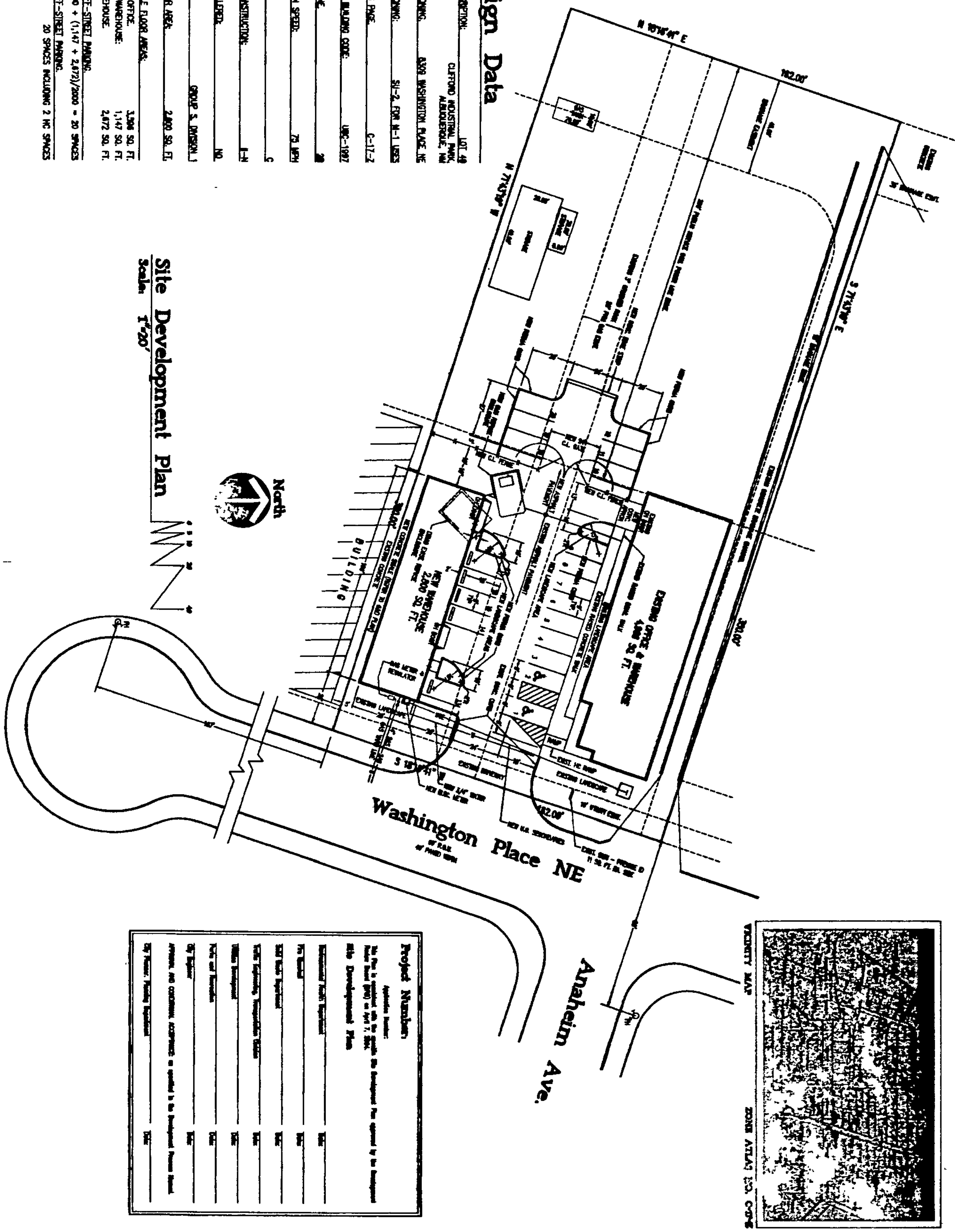
FIRE SPRINKLERED: NO

OCCUPANCY: GROUP S, DIVISION 1

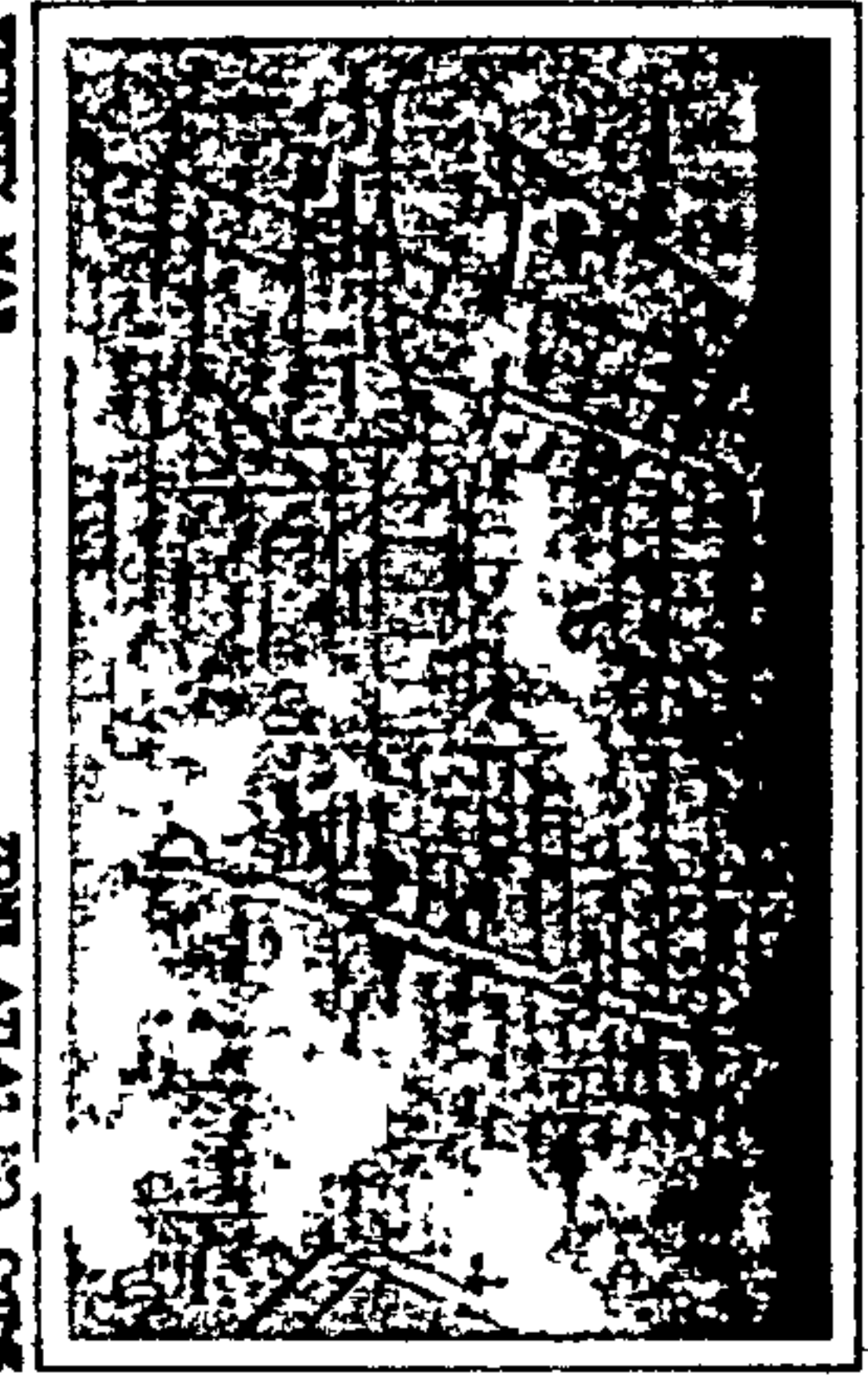
GROSS FLOOR AREA: 2000 SQ. FT.

NET LEASABLE FLOOR AREA:
EXISTING OFFICE: 1,147 SQ. FT.
EXISTING WAREHOUSE: 2,872 SQ. FT.
NEW WAREHOUSE: 2,872 SQ. FT.

REQUIRED OFF-STREET PARKING:
3,594/2000 + (1,147 + 2,872)/2000 = 20 SPACES
PROVIDED OFF-STREET PARKING:
20 SPACES INCLUDING 2 HC SPACES



Site Development Plan
Scale: 1"=20'



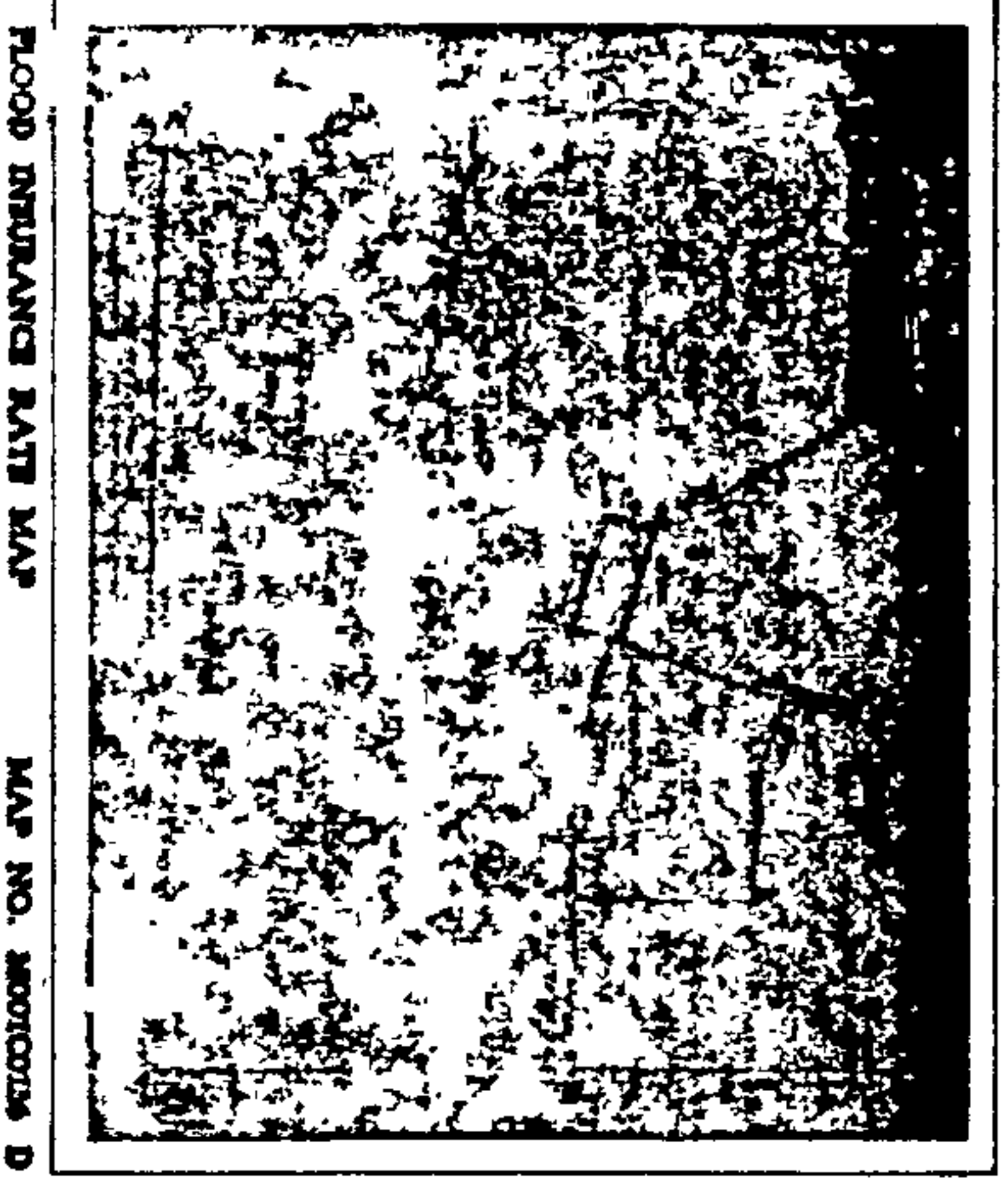
Project Number: _____

Application Number: _____

This Plan is submitted with the application for the development for approval by the development authority on April 7, 2004.

Site Development Plan

APPROVED FOR THE CITY:	DATE:
APPROVED FOR THE COUNTY:	DATE:
APPROVED FOR THE STATE:	DATE:
APPROVED FOR THE FEDERAL:	DATE:



FLOOD INSURANCE RATE MAP MAP NO. 58070015 D

GENERAL NOTES

1. CONTIGUOUS AREAS, TO ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. 73-C17, HAVING AN ELEVATION OF 5120.00.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE EXACT LOCATION AND DEPTH OF UTILITIES SHOWN ON THIS PLAN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION OR OTHER CONSTRUCTION.
4. THIS IS NOT A BOUNDARY SURVEY. BOUNDARIES AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

LEGEND

EXISTING	NEW	DESCRIPTION
—	—	CONTOUR
•	•	SPOT ELEVATION
—	—	PROPERTY LINE
—	—	SHALL
—	—	SHEET FLOW
—	—	ROOF FLOW
—	—	ROOF CUTTER
—	—	DOWNPOUT

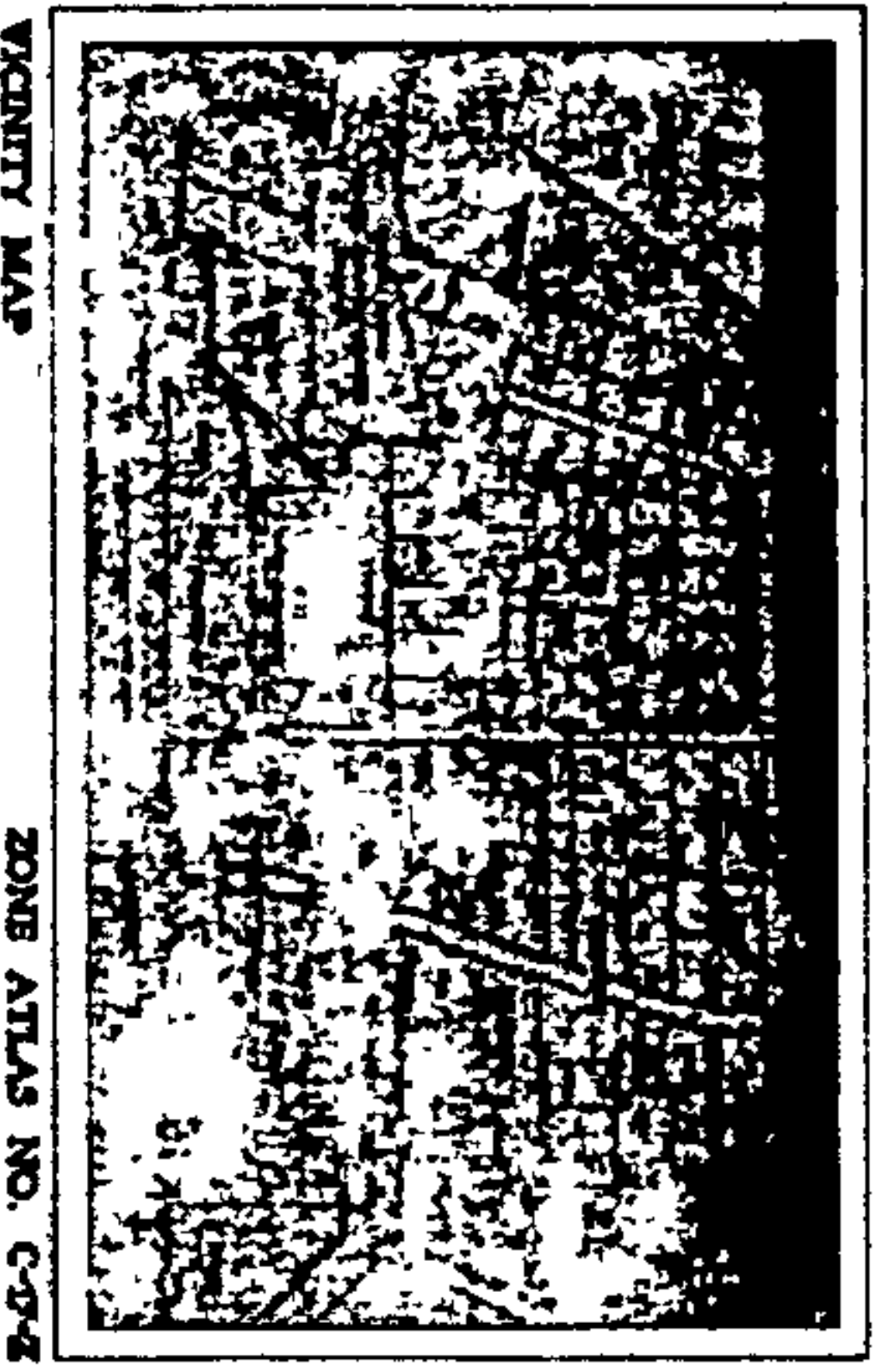
LEGEND

TC	TOP OF CONCRETE
TL	TOP OF LIME
TS	TOP OF GRADE
EW	END OF WALL

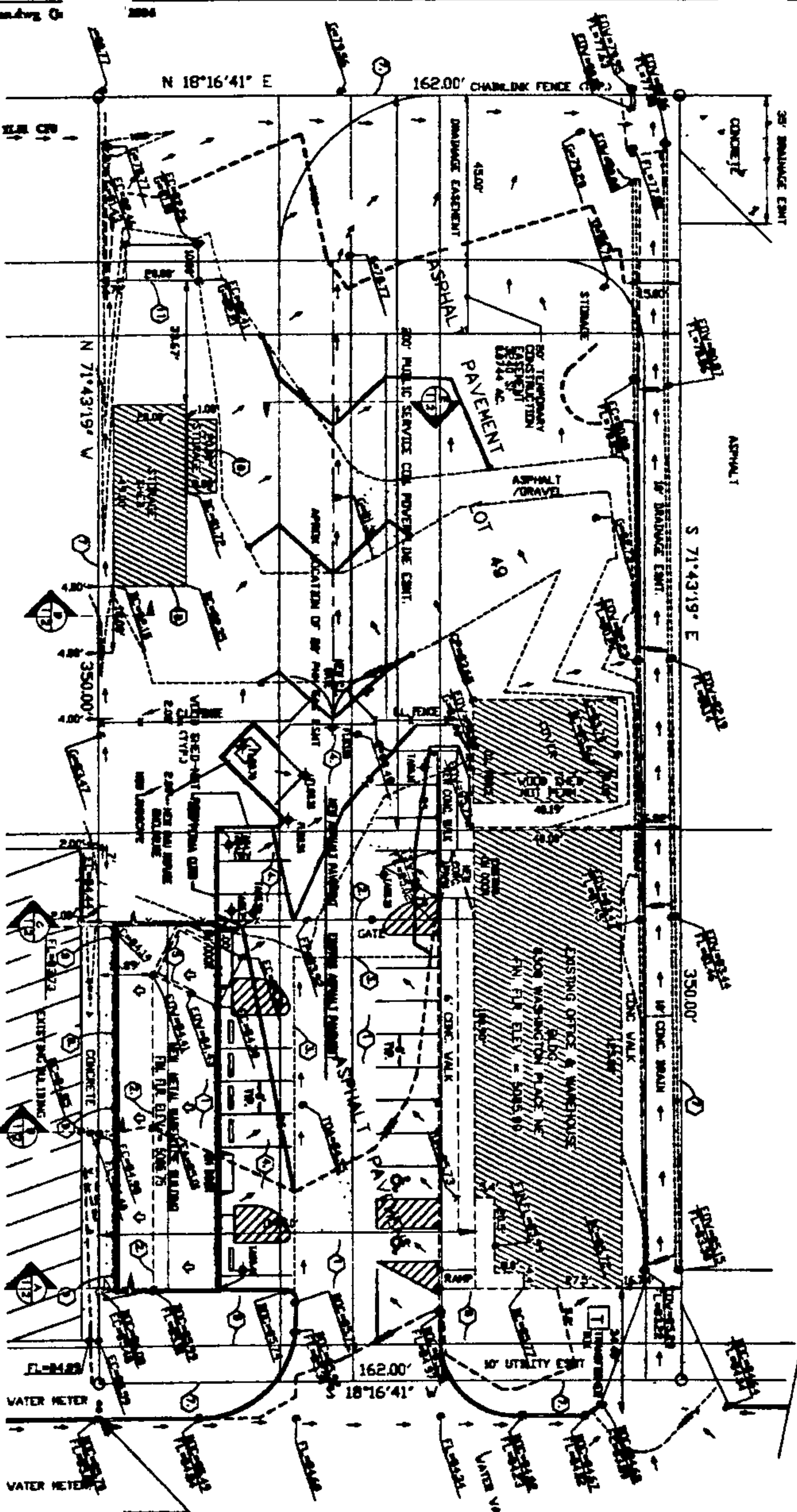
GENERAL CONTRACT NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE.
2. ALL EXCAVATIONS SHALL BE PROTECTED FROM THE CITY OF ALBUQUERQUE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE.

LOCAL DESCRIPTION
LOT 28, CLAYTON INDUSTRIAL PARK, ALBUQUERQUE, NEW MEXICO



VICINITY MAP ZONE ATLAS NO. C-9-D



Washington Place NE

TEMPORARY EROSION CONTROL MEASURES TO BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. SEE DRAWING - 01-01

Grading & Drainage Plan

Scale: 1"=20'



GENERAL NOTES

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE.
2. ALL EXCAVATIONS SHALL BE PROTECTED FROM THE CITY OF ALBUQUERQUE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE.

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1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE.
2. ALL EXCAVATIONS SHALL BE PROTECTED FROM THE CITY OF ALBUQUERQUE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE.

EXISTING NOTES

1. EXISTING ASPHALT PAVEMENT.
2. EXISTING ASPHALT DRIVEWAY.
3. EXISTING ASPHALT DRIVEWAY AND DRIVEWAY.
4. EXISTING ASPHALT DRIVEWAY AND DRIVEWAY.
5. EXISTING ASPHALT DRIVEWAY AND DRIVEWAY.
6. EXISTING ASPHALT DRIVEWAY AND DRIVEWAY.
7. EXISTING ASPHALT DRIVEWAY AND DRIVEWAY.
8. EXISTING ASPHALT DRIVEWAY AND DRIVEWAY.
9. EXISTING ASPHALT DRIVEWAY AND DRIVEWAY.
10. EXISTING ASPHALT DRIVEWAY AND DRIVEWAY.
11. EXISTING ASPHALT DRIVEWAY AND DRIVEWAY.

C.1.1

DATE: 10/15/2008

BY: [Signature]

PROJECT: WAREHOUSE FOR COMMERCIAL ENTERPRISES

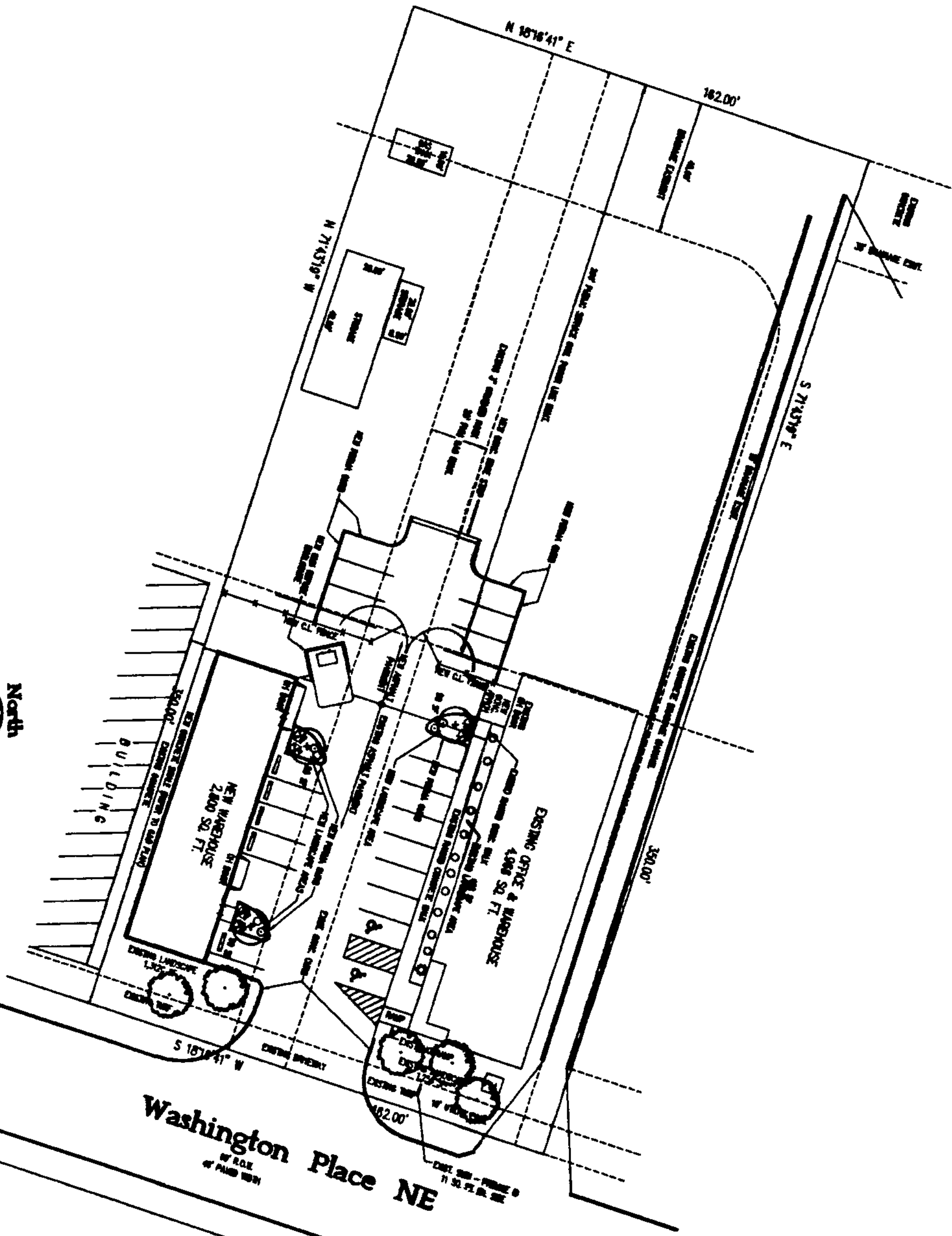
KEN HOVEY, ARCHITECT

505) 298-8458 • 3808 SMAS AVENUE SE • ALBUQUERQUE, NM • 87108

Warehouse for Commercial Enterprises

6504 WASHINGTON PLACE NE ALBUQUERQUE, NEW MEXICO

Professional Seal of Ken Hovey, Architect, No. 15,200, State of New Mexico, expires 1/15/2009.



Landscape Plan
Scale: 1"=20'

Plant Legend

- EXISTING ASH (H) 5
 8"-9" Cal.
- DESERT WILLOW (L) 3
 Chilopsis linearis
 15 Gal.
- SILVERBERRY (M) 6
 Elaeagnus pungens
 5 Gal.
- INDIAN HAWTHORN (M) 6
 Raphirolepis indica
 5 Gal.
- EXISTING PHOTINIA (M) 11
- EXISTING FORSYTHIA (M) 1

Landscape

Landscaping shall be the responsibility of the Property Owner. It is the intent of this plan to comply with the City of Albuquerque Water Conservation Ordinance and Water Waste Ordinance. Approval of this plan does not constitute an implied warranty from water waste provisions of the Water Conservation Ordinance and Water Waste Ordinance. Water management in the site responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Public Ordinance, and Water Conservation Ordinance. Landscaping and Water Waste Ordinance in general, water conservation, environmentally sound landscape practices will be followed in design and installation. Plant beds shall utilize 75% live ground cover at maturity. 3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native sand.

Irrigation

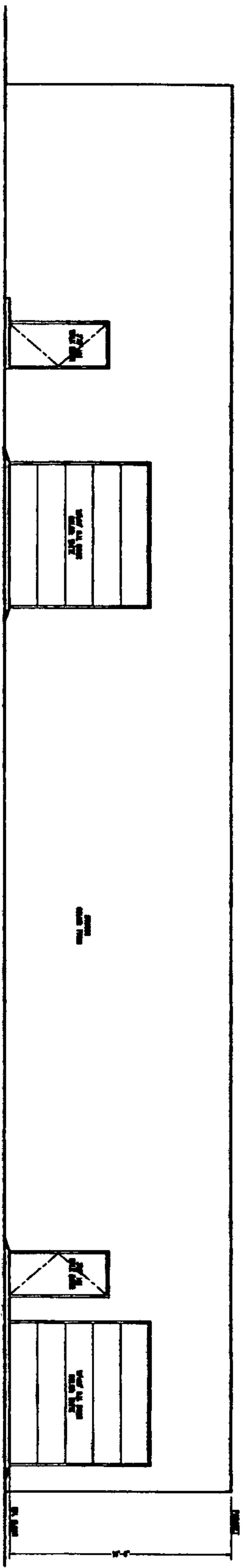
Irrigation shall be a complete underground system with Truex to receive (5) 1.0 GPH Dry Emitters and Stripes to receive (2) 1.0 GPH Dry Emitters. Dry and Bubble systems to be used in 1/2" poly pipe with flush caps at each end. Run time per each dry valve will be approximately 15 minutes per day, to be adjusted according to the season. Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others. Irrigation maintenance shall be the responsibility of the Property Owner.

KEN HOVEY, ARCHITECT
3025 258-8458 • 3008 SIMS AVENUE SE • ALBUQUERQUE, NM • 87108

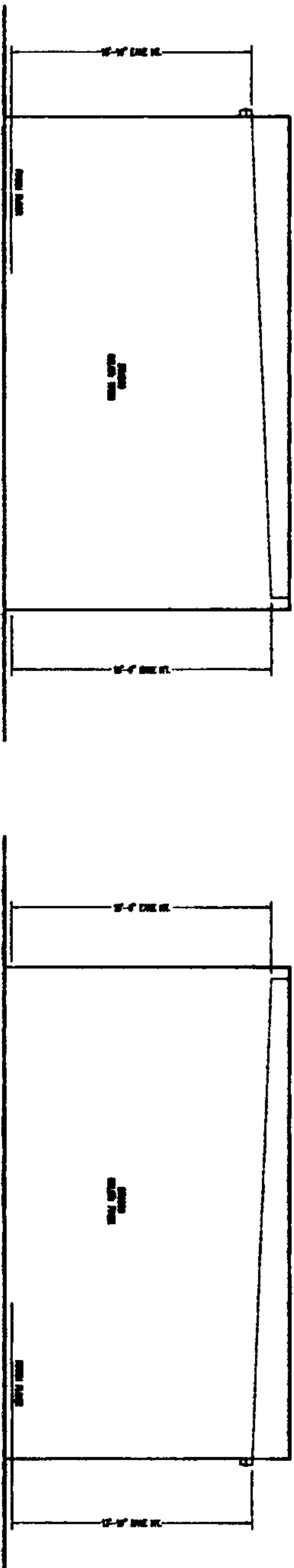
Warehouse for Commercial Enterprises
6309 WASHINGTON PLACE NE • ALBUQUERQUE, NM 87109



C:3

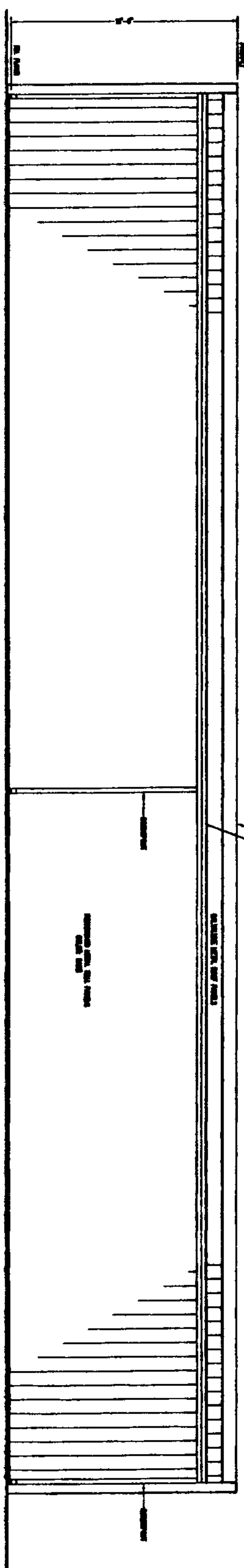


North Elevation
Scale: 1/8" = 1'-0"



East Elevation
Scale: 1/8" = 1'-0"

West Elevation
Scale: 1/8" = 1'-0"



South Elevation
Scale: 1/8" = 1'-0"



Warehouse for Commercial Enterprises
8004 WASHINGTON PLACE NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
808 251-8456 • 3608 58th AVE SE • ALBUQUERQUE, NM • 87108

NO. 0291	DATE
NO. 20	NOV 21 2004

A.2



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 19, 2004

Frank D. Lovelady P.E.
300 Alamosa Road NW
Albuquerque, NM 87107

**Re: Warehouse for Commercial Enterprises, 8309 Washington Pl. NE, Grading
and Drainage Plan**

Engineer's Stamp dated 1-15-04 (C17/D1E2)

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 1-16-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. This certification must verify that no pavement has been placed within the construction or drainage easements.

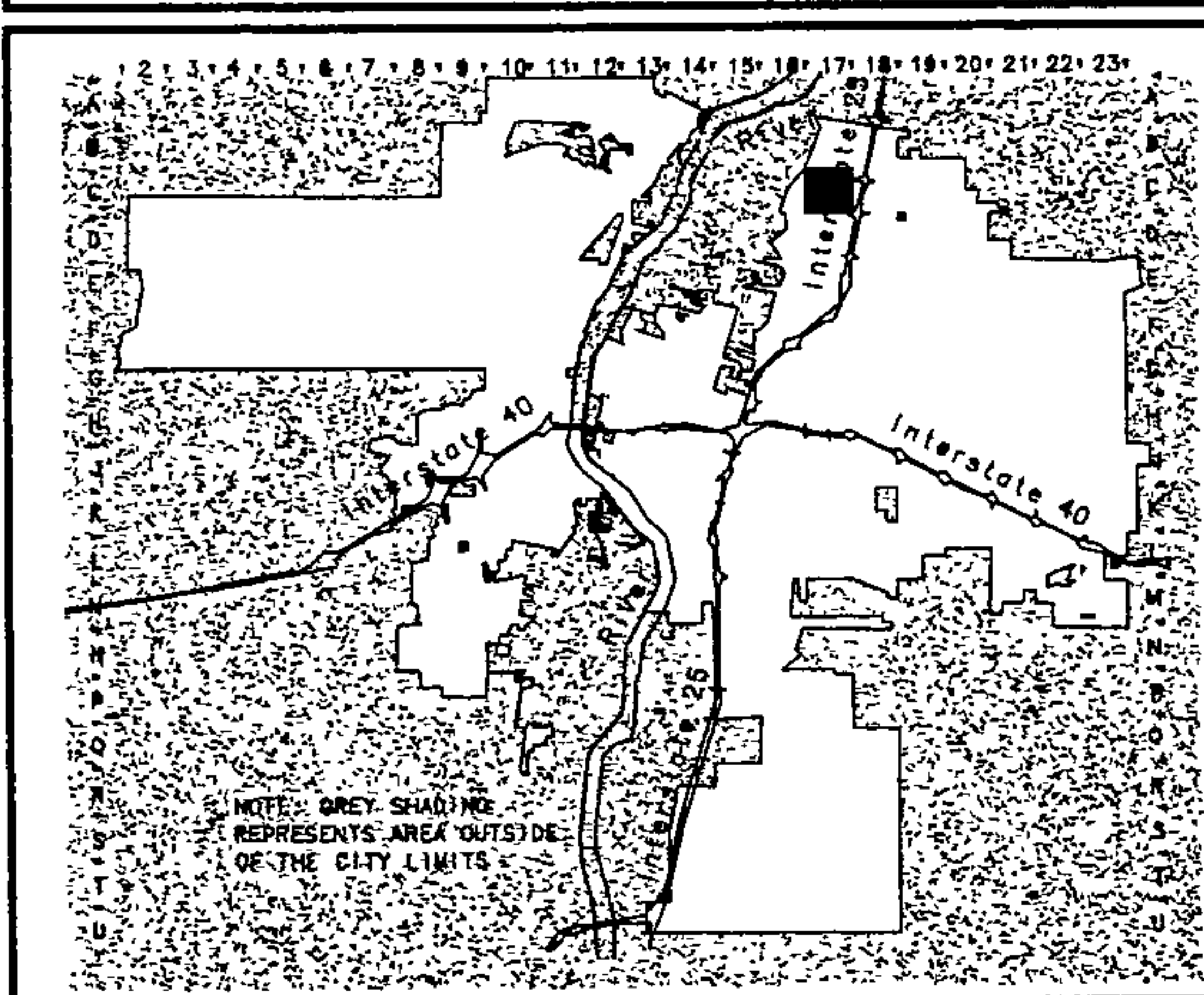
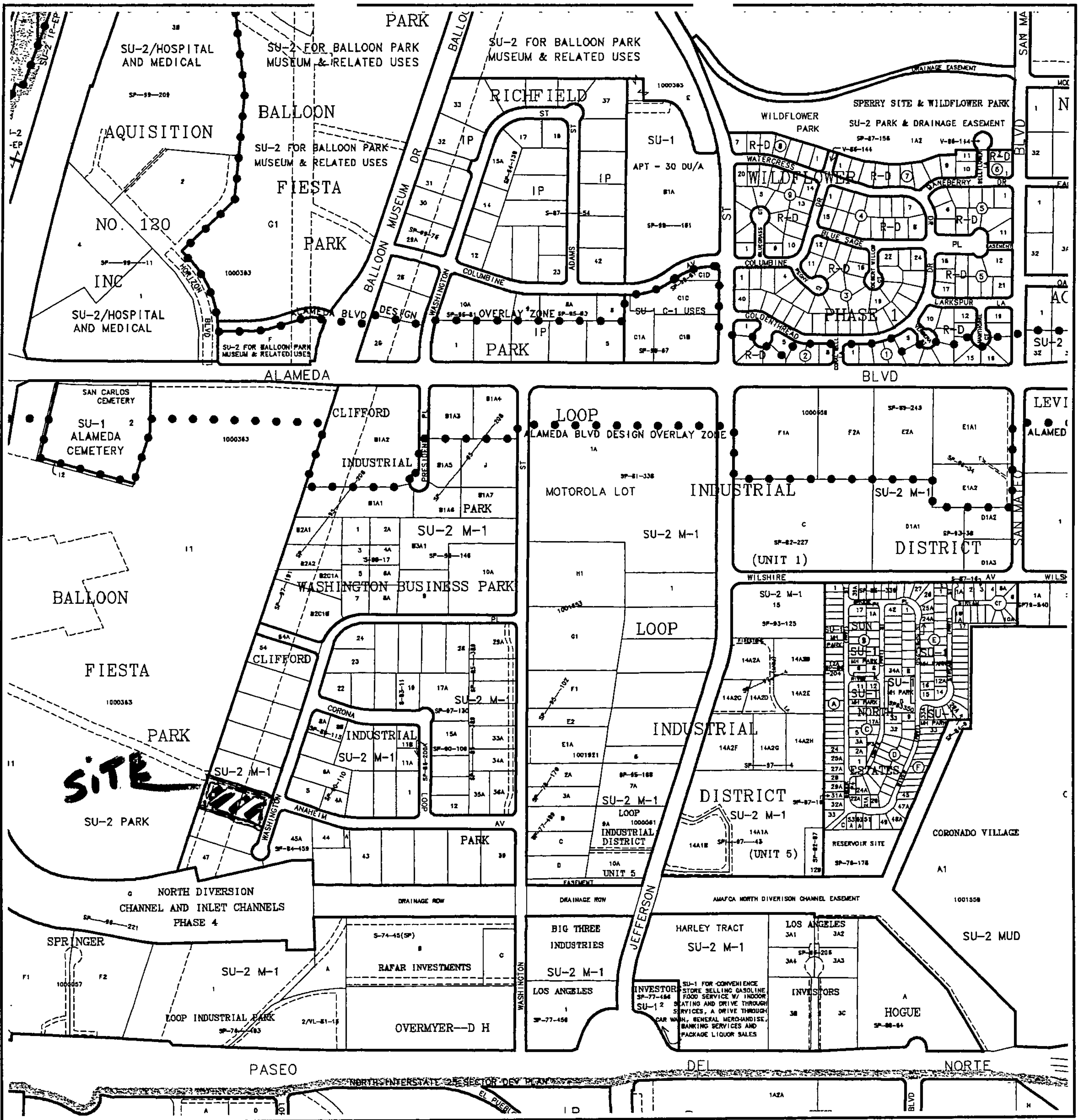
If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

BLB

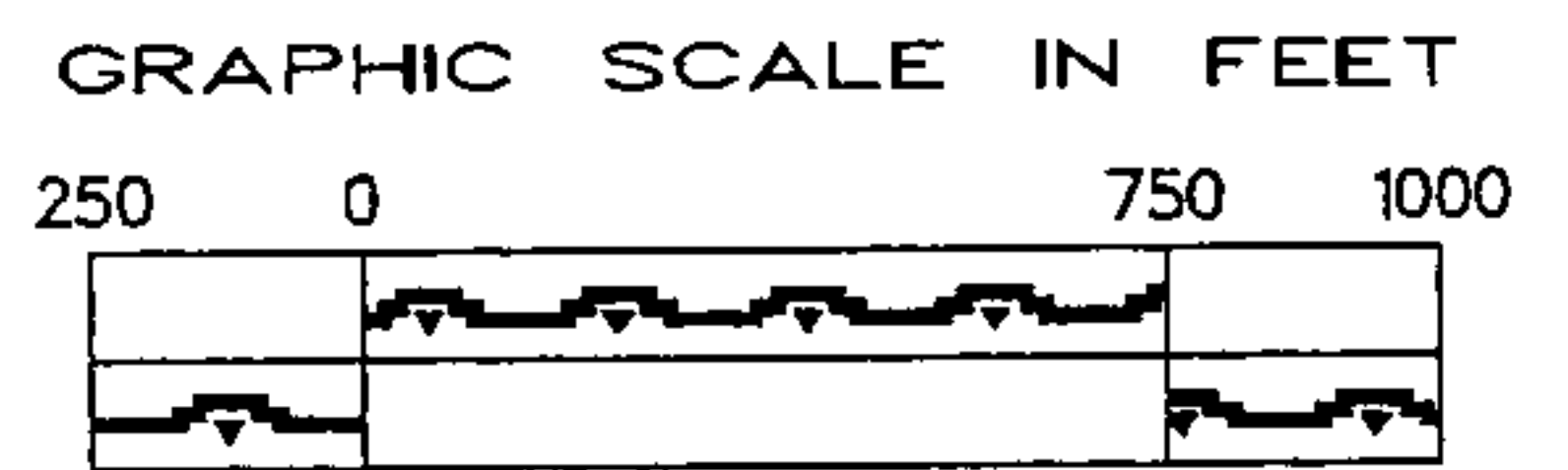
C: File



CITY OF Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

© Copyright 2003



Zone Atlas Page

C-17-Z

Map Amended through July 10, 2003

**COMMERCIAL
ENTERPRISES, Inc.**

8309 Washington Place NE
Albuquerque, NM 87113
Phone (505) 890-5300
Fax (505) 890-5126
Contractor's License 52729

March 29, 2004

To Whom It May Concern:

I, Barry Eccher, owner of Commercial Enterprises, Inc authorize architect, Ken Hovey, as my agent on matters in obtaining a site development plan approval at 8309 Washington Place NE.

Sincerely,



Barry Eccher
President, Commercial Enterprises, Inc

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 3/1/2004

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

[Handwritten Signature] *30 March 2004*

Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Existing structures on the site and within 20 feet of the site boundaries
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: _____ provided: _____
 Handicapped spaces required: _____ provided: _____
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: _____
 provided: _____
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 3/1/2004

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 3/1/2004

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- D. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME Commercial Enterprises Inc.
 AGENT Ken Hovey
 ADDRESS 3808 Simms Ave. SE
 PROJECT & APP # 1003358 04DRB-00478
 PROJECT NAME Clifford Industrial Park

\$ 20.00 469099/4916000 Conflict Management Fee
 \$ 385.00 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 405.00 TOTAL AMOUNT DUE

*****NOTE:** If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

03/30/2004 12:34PM LOC: ANN
 X
 RECEIPT# 00023255 WSH# 007 TRANSH# 0019
 Account 469099 Fund 0110
 Activity 4916000
 Trans Amt \$405.00
 J24 Misc \$20.00

*****DUPLICATE*****
 City Of Albuquerque
 Treasury Division

*****DUPLICATE*****
 City Of Albuquerque
 Treasury Division

03/30/2004 12:34PM LOC: ANN
 X
 RECEIPT# 00023256 WSH# 007 TRANSH# 0019
 Account 441006 Fund 0110
 Activity 4983000 TRSLJS
 Trans Amt \$405.00
 J24 Misc \$385.00
 CK \$405.00
 CHANGE \$0.00

Thank You




Intera Incorporated
One Park Square
6501 Americas Parkway NE
Suite 820
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: July 27, 2005

TO: Zoning Enforcement/Building Permit and Plan Review Section, Planning Department

COPY: Marcia A. Pincus, Environmental Health Department
Kevin Curran, Legal Department
Tom Burlison, Planning Department
Phyllis Villanueva, Building Section of Planning Department
Barry Eccher, Commercial Enterprises, Inc.

FROM: Jim Joseph, P.E., INTERA Inc. 

SUBJECT: Development at 8309 Washington Place NE (Tract 49 of the Clifford Industrial Park), Albuquerque, New Mexico

INTERA Incorporated (INTERA), in its role as the Albuquerque Environmental Health Department's (AEHD's) landfill gas contractor, has reviewed the plans provided by Commercial Enterprises, Inc. for the above-referenced development proposed at 8309 Washington Place NE. INTERA, under the direction of Ms. Pincus of the AEHD, has determined that the plans and attached specifications sufficiently meet requirements of the City's *Interim Guidelines* and that the project can proceed with the permit process if all other City requirements are met.

Any changes in the original design of the risk abatement measures (as approved by the AEHD) shall be coordinated with the landfill gas professional engineer and AEHD prior to construction of the change.

Please note that in accordance with the *Interim Guidelines*, a New Mexico professional engineer must inspect the construction of the landfill gas mitigation structures/devices and provide a stamped certification letter stating that the construction of the project has been completed in compliance with the risk abatement measures as detailed on approved construction plans. **A certificate of occupancy will not be issued without this certification.**

Copies of the landfill certification documentation will be submitted to the City Planning Department and maintained in its files.