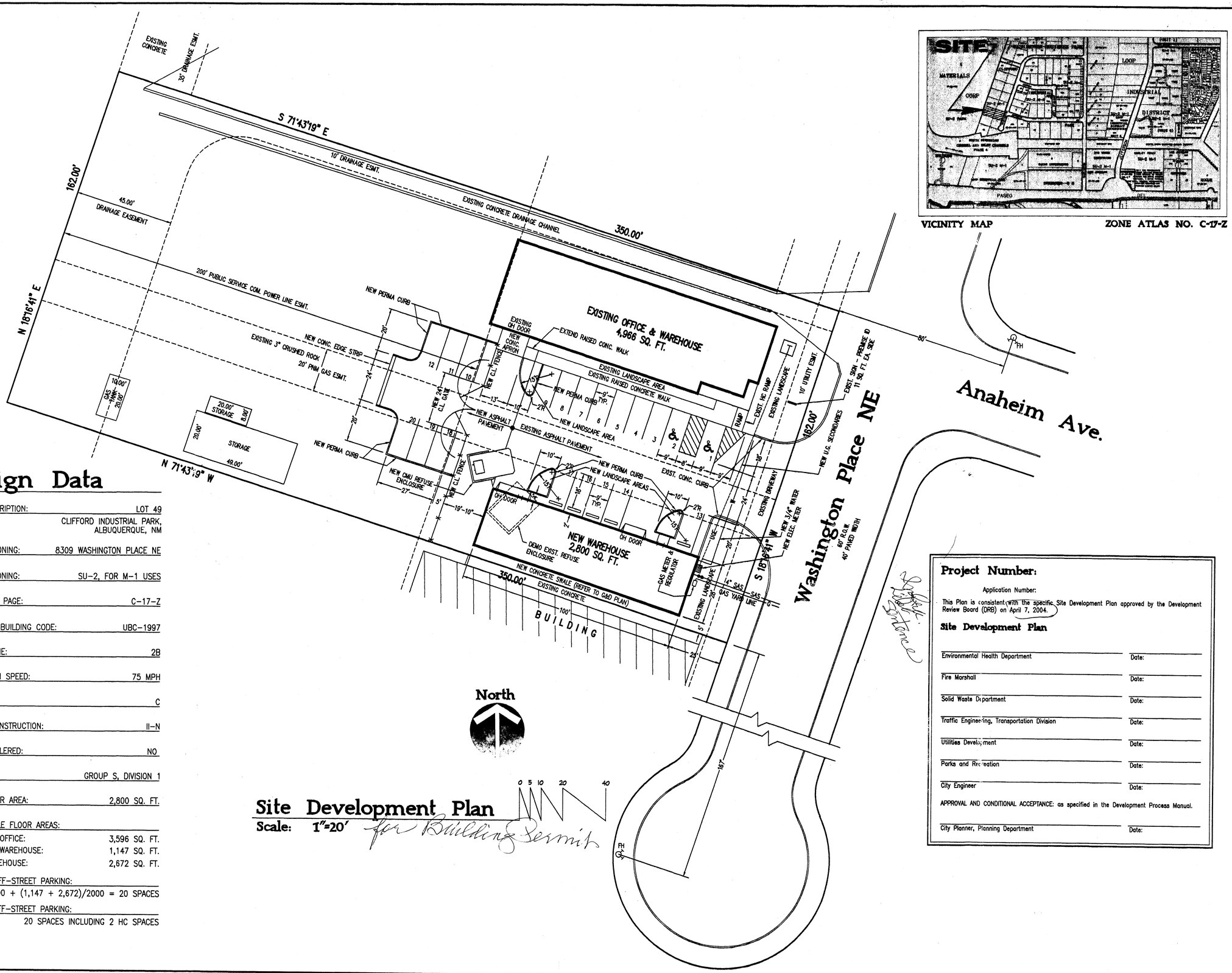


VICINITY MAP ZONE ATLAS NO. C-17-Z

Design Data

LEGAL DESCRIPTION:	LOT 49 CLIFFORD INDUSTRIAL PARK, ALBUQUERQUE, NM
CURRENT ZONING:	8309 WASHINGTON PLACE NE
CURRENT ZONING:	SU-2, FOR M-1 USES
ZONE ATLAS PAGE:	C-17-Z
APPLICABLE BUILDING CODE:	UBC-1997
SEISMIC ZONE:	2B
WIND DESIGN SPEED:	75 MPH
EXPOSURE:	C
TYPE OF CONSTRUCTION:	II-N
FIRE SPRINKLERED:	NO
OCCUPANCY:	GROUP S, DIVISION 1
GROSS FLOOR AREA:	2,800 SQ. FT.

NET LEASABLE FLOOR AREAS:

EXISTING OFFICE:	3,596 SQ. FT.
EXISTING WAREHOUSE:	1,147 SQ. FT.
NEW WAREHOUSE:	2,672 SQ. FT.

REQUIRED OFF-STREET PARKING:
3,596/200 + (1,147 + 2,672)/2000 = 20 SPACES

PROVIDED OFF-STREET PARKING:
20 SPACES INCLUDING 2 HC SPACES

Site Development Plan
Scale: 1"=20'

for Building Permit

Project Number:

Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Development Review Board (DRB) on April 7, 2004.

Site Development Plan

Environmental Health Department	Date:
Fire Marshall	Date:
Solid Waste Department	Date:
Traffic Engineering, Transportation Division	Date:
Utilities Development	Date:
Parks and Recreation	Date:
City Engineer	Date:

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified in the Development Process Manual.

City Planner, Planning Department	Date:

STATE OF NEW MEXICO
KENNETH R. HOVEY
NO. 1055
REGISTERED ARCHITECT

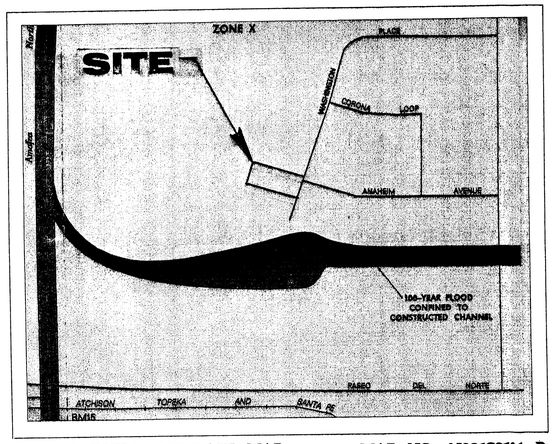
Warehouse for Commercial Enterprises

8309 WASHINGTON PLACE NE ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505) 259-8458 * 3808 SIMMS AVENUE SE * ALBUQUERQUE, NM * 87108

JOB NO: 0309
DATE: 30 MARCH 2004
REVISIONS

SHEET NO.
C.1



FLOOD INSURANCE RATE MAP MAP NO. 35001C0136 D

GENERAL NOTES:

1: CONTOUR INTERVAL IS ONE (1) FOOT.

2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "12-C17", HAVING AN ELEVATION OF 5107.95.

3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.

5: THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

LEGEND:

EXISTING	NEW	DESCRIPTION
5080	80	CONTOUR
80.00	80.00	SPOT ELEVATION
		PROPERTY LINE
		SWALE
		SHEET FLOW
		ROOF FLOW
		ROOF GUTTER
		DOWNSPOUT

LEGEND
TC = TOP OF CONCRETE
FL = FLOW LINE
TG = TOP OF GRADE
EOW = END OF WALL

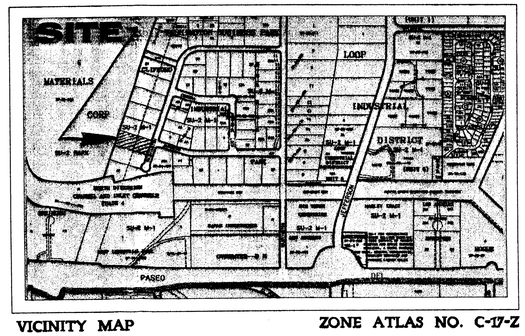
EROSION CONTROL NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE FOLLOWING

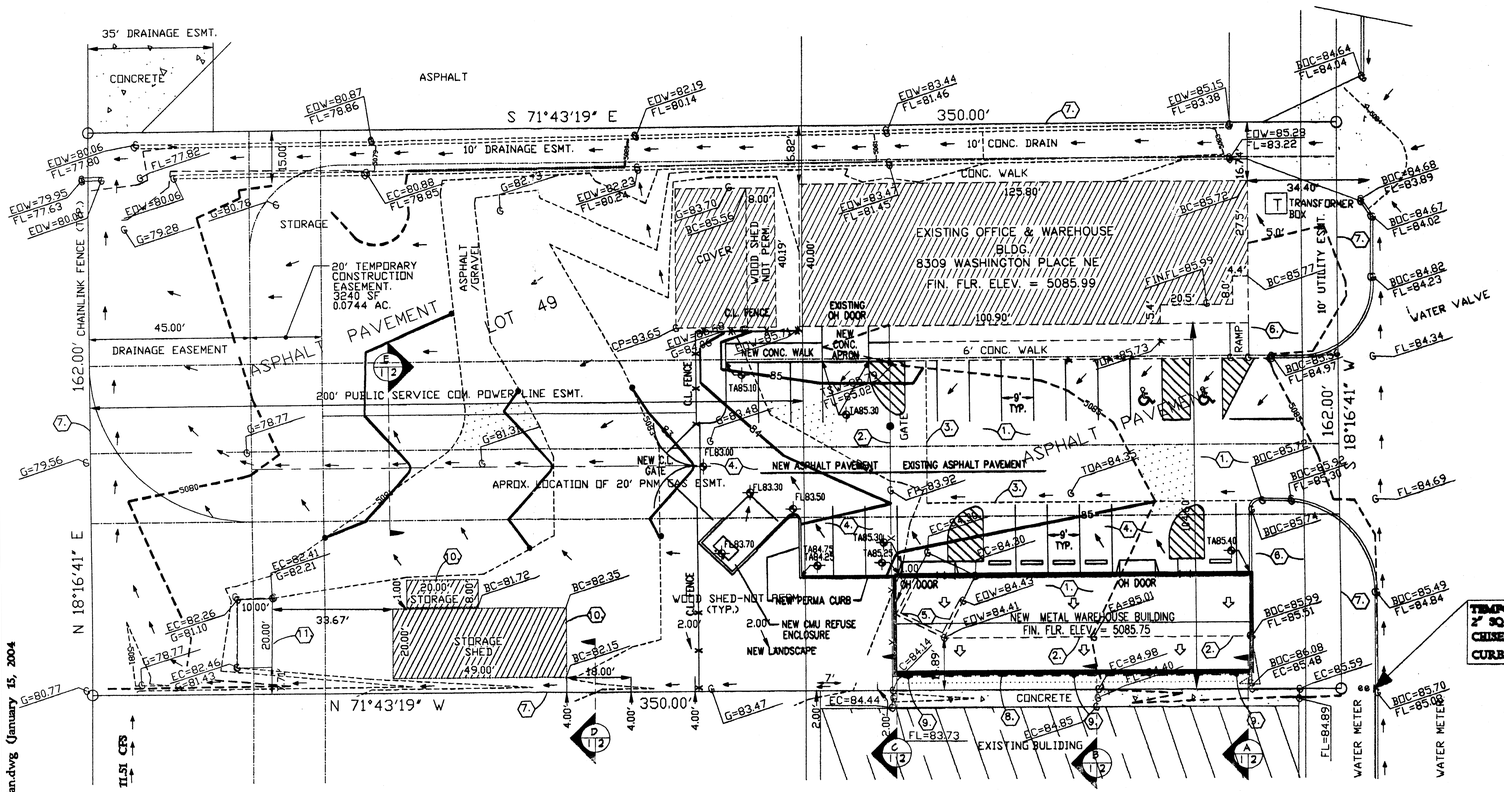
1. NO SEDIMENT-BEARING WATER SHALL BE ALLOWED TO DISCHARGE FROM THE SITE DURING CONSTRUCTION.
2. DURING GRADING OPERATIONS AND UNTIL THE PROJECT HAS BEEN COMPLETED, ALL ADJACENT PROPERTY, RIGHTS-OF-WAY, AND EASEMENTS SHALL BE PROTECTED FROM FLOODING BY RUNOFF FROM THE SITE.
3. SHOULD THE CONTRACTOR FAIL TO PREVENT SEDIMENT-BEARING WATER FROM ENTERING PUBLIC RIGHT-OF-WAY, HE SHALL PROMPLTY REMOVE FROM THE PUBLIC RIGHT-OF-WAY ANY AND ALL SEDIMENT ORIGINATING FROM THE SITE.
4. CONTROL OF SEDIMENT-LADEN WATERS WILL BE ACCOMPLISHED BY USE OF A COMPACTED EARTH BERM OF ADEQUATE HEIGHT. THE BERM SHALL BE LOCATED ALONG THE DOWNSTREAM PERIMETER OF THE PROPERTY.

LEGAL DESCRIPTION:

LOT 49, CLIFFORD INDUSTRIAL PARK, ALBUBQUERQUE, NEW MEXICO.



VICINITY MAP ZONE ATLAS NO. C-17-Z



TEMPORARY BENCH MARK (TBM)
2" SQUARE AND LETTERS "TBM" CHISELED ON TOP OF CONCRETE CURB. ELEVATION = 5085.70

GENERAL NOTES

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
2. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATIONS OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF OR DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHTS-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

KEYED NOTES

1. EXISTING ASPHALT PAVEMENT.
2. EDGE OF EXISTING ASPHALT PAVEMENT.
3. EDGE OF ASPHALT REMOVAL AND REPLACEMENT.
4. NEW ASPHALT PAVEMENT.
5. EXISTING REFUSE ENCLOSURE – DEMOLISH.
6. EXISTING LANDSCAPING.
7. PROPERTY LINE.
8. ROOF GUTTER
9. DOWNSPOUT.
10. EXISTING TEMPORARY BUILDINGS TO BE REMOVED, RELOCATED OR, LEFT IN PLACE, AS DETERMINED BY THE OWNER. NOTE: ALL TEMPORARY BUILDINGS WITHIN THE CHANNEL CONST. AREA HAVE BEEN REMOVED.
11. EXISTING CONCRETE PAD. CITY PLANS FOR CLIFFORD CHANNEL, REALIGNMENT CALL FOR REMOVAL AND DISPOSAL OF THIS PAD.

North

0 5 10 20 40

Grading & Drainage Plan

Scale: 1"=20'

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FRANK D. LOVE 12 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER

November 19, 2003
Revised 1/15/2004

Warehouse for Commercial Enterprises

8309 WASHINGTON PLACE NE ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505) 259-8458 • 3808 SIMMS AVENUE SE • ALBUQUERQUE, NM • 87108

JOB NO:	0309
DATE:	15 JANUARY 2004
REVISIONS	
1	TBM RELOCATED, TEMP.
	CONST. EASEMENT ADDED.

SHEET NO.

C.1.1

DRAINAGE CALCULATIONS:

EXISTING CONDITIONS:

The site is located on the west side of Washington Place NE, the third lot north of the Domingo Baca Channel. There is a drainage concrete channel along the north edge of the site. The existing building roof has an east-west ridge and the north side of the building drains directly into the drainage channel via splash blocks that extend over the channel wall. The parking lot is paved and there are several non-permanent buildings on the site. drainage is from east to west. At the NW corner of the site the drainage channel continues west into the old baloon fiesta area. The lots north and south of the site are also developed. (See aerial photo, Sheet C.1.2)

DEVELOPED CONDITIONS:

It is proposed to construct a new metal storage building on the site as shown. The building will be constructed in an area which is now partially paved. The pavement will be extended to the west as shown. All runoff will continue to flow to the west and then north into the existing easement as it presently does.

FUTURE IMPROVEMENTS:

The City of Albuquerque proposes to construct "Clifford Channel Realignment at Former Los Angeles Landfill". Construction plans have been prepared and a reduced set will be submitted with this grading and drainage submittal. No attempt has been made to show the channel grades on this plan.

DRAINAGE CRITERIA:

The calculations shown on this plan were prepared in accordance with Section 22.2, Hydrology, of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque in cooperation with Bernalillo County, New Mexico and the Metropolitan Arroyo Flood Control Authority, January, 1993.

PRECIPITATION ZONE:

The site is between the Rio Grande River and San Mateo Blvd. and is, therefore, in Precipitation Zone 2.

LAND TREATMENT "D":

SURFACE	EXISTING	DEVELOPED
CONCRETE	4,095	5,236
ASPHALT PAVING	8,623	9,698
BUILDING	8,369	11,169
TOTAL	21,087	26,103

LAND TREATMENT AREAS:

The peak discharge per acre and excess precipitation are shown for the four land treatments in Zone 2 in the table below, and the values shown are from the City of Albuquerque D.P.M. Also shown are the existing and proposed land treatment areas.

LAND TREAT	q(cfs/ac) 100-yr.	q(cfs/ac) 10-yr.	E (in) 100-yr.	E (in) 10-yr.	Existing Site Areas %	Existing Site Areas Sq.Ft.	Existing Site Areas Acres	Developed Site Areas %	Developed Site Areas Sq.Ft.	Developed Site Areas Acres
A	1.56	0.38	0.53	0.13	0.0	0	0.0000	0.0	0	0.0000
B	2.28	0.95	0.78	0.28	4.8	2,720	0.0624	4.8	2,720	0.0624
C	3.14	1.71	1.13	0.52	58.0	32,893	0.7551	49.2	27,877	0.6400
D	4.70	3.14	2.12	1.34	32.2	21,087	0.4841	46.0	26,103	0.5992
Totals					100.0	56,700	1.3016	100.0	56,700	1.3016

PEAK DISCHARGE:

EXISTING CONDITIONS:

Q100 = 0.0624 * 2.28 + 0.7551 x 3.14 + 0.4841 * 4.70 = 4.79 cfs
Q10 = 0.0624 * 0.95 + 0.7551 * 1.71 + 0.4841 * 3.14 = 2.87 cfs

DEVELOPED CONDITIONS:

Q100 = 0.0624 * 2.28 + 0.6400 x 3.14 + 0.5992 * 4.70 = 4.97 cfs
Q10 = 0.0624 * 0.95 + 0.6400 * 1.71 + 0.5992 * 3.14 = 3.04 cfs

VOLUME, 100-YEAR AND 10-YEAR, 6-HOUR:

EXISTING CONDITIONS:

V100 = (2,720 * 0.78 + 32,893 * 1.13 + 21,087 * 2.12) / 12 = 7,000 cf
V10 = (2,720 * 0.28 + 32,893 * 0.52 + 21,087 * 1.34) / 12 = 3,844 cf

DEVELOPED CONDITIONS:

V100 = (2,720 * 0.78 + 27,877 * 1.13 + 26,103 * 2.12) / 12 = 7,413 cf
V10 = (2,720 * 0.28 + 27,877 * 0.52 + 26,103 * 1.34) / 12 = 4,186 cf

SUMMARY OF ON-SITE VOLUMES AND PEAK DISCHARGE RATES:

	V100(CF)	V10(CF)	Q100(CFS)	Q10(CFS)
DEVELOPED	7,413	4,186	4.97	3.04
EXISTING	7,000	3,844	4.79	2.87
INCREASE	413	342	0.18	0.17

NEW BUILDING ROOF RUNOFF:

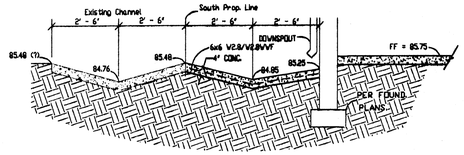
AREA = 3300 SF

Q100 = (3300 / 43,560) X 4.7 = 0.36 CFS

CAPACITY OF SWALE (SECTION D):

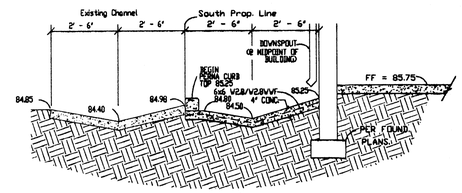
SWALE 5' VIDE X 0.5' DEEP

AREA= 1.25 SF
P = 5.1 SLOPE = 4.14 ÷ 200 = 0.0207
R = A/P = 1.25 / 5.1 = 0.25 N = 0.035 (GRAVEL)
V = (1.486 / 0.035) (0.25)$^{2/3}$ (0.0207)$^{1/2}$ = 2.4 FPS
Q = AV = 1.25 X 2.4 = 3.00 CFS
3.00 CFS > 0.36 CFS ADEQUATE



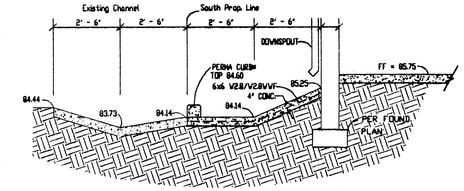
A 1/2 3/8" = 1'-0"

NOTE:
TOTAL DISTANCE BETWEEN SECTIONS 'A' & 'B' IS 43.6'
SLOPE = (84.85 - 84.50) / 43.6 = 0.0080 FT./FT.



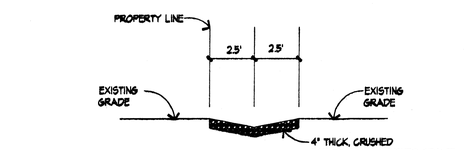
B 1/2 3/8" = 1'-0"

NOTE:
TRANSITION FROM 'V' SHAPED CHANNEL TO FLAT BOTTOMED CHANNEL BETWEEN SECTIONS 'B' AND 'C'. TOTAL DISTANCE IS 56.0'. SLOPE = (84.5 - 84.14) / 56 = 0.0064 FT./FT.

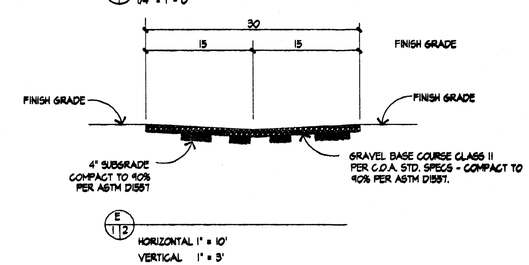


* CONTINUE CONCRETE AND PERMA CURB 3' WEST OF BUILDING AND TRANSITION TO GRAVEL SWALE.

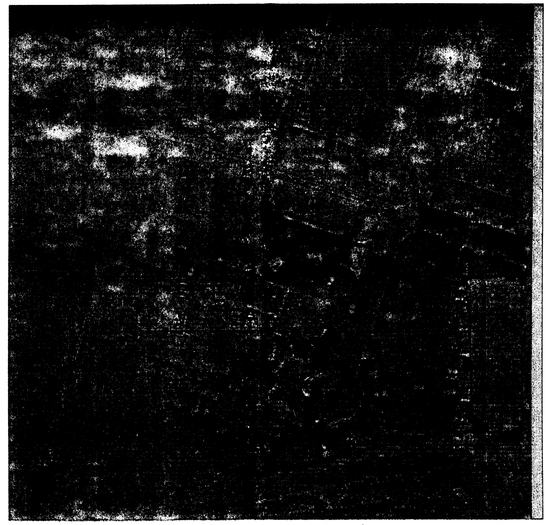
C 1/2 3/8" = 1'-0"



D 1/2 1/4" = 1'-0"



E 1/2 HORIZONTAL 1" = 10'
VERTICAL 1" = 5'



AERIAL PHOTO OF SITE AREA
APPROX. SCALE 1" = 100'

OFF-SITE FLOW CALCULATIONS:

AREA = 2.72 ACRES - SEE ABOVE MAP.
PER TABLE A-5 OF THE DPM, LIGHT INDUSTRIAL IS 70% TREATMENT D.
ASSUME 30 PERCENT TREATMENT C.
WEIGHTED 100-YEAR PEAK DISCHARGE PER ACRE:
q w = 0.3 * 3.14 + 0.7 * 4.70 = 4.23 CFS PER ACRE.
Q 100 = 4.23 CFS PER ACRE * 2.72 ACRES = 11.51 CFS

FRANK D. LOVE, NEW MEXICO 5641/2 REGISTERED PROFESSIONAL ENGINEER
November 19, 2003
Revised 1/15/04

GRADING AND DRAINAGE CALCULATIONS
Warehouse for Commercial Enterprises
8309 WASHINGTON PLACE NE ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505) 259-8458 * 3808 SIMMS AVENUE SE * ALBUQUERQUE, NM * 87108

JOB NO: 0309
DATE: 15 JANUARY 2004

REVISIONS	
1.	OFF-SITE FLOW AREA & CALCS

SHEET NO.
C.1.2

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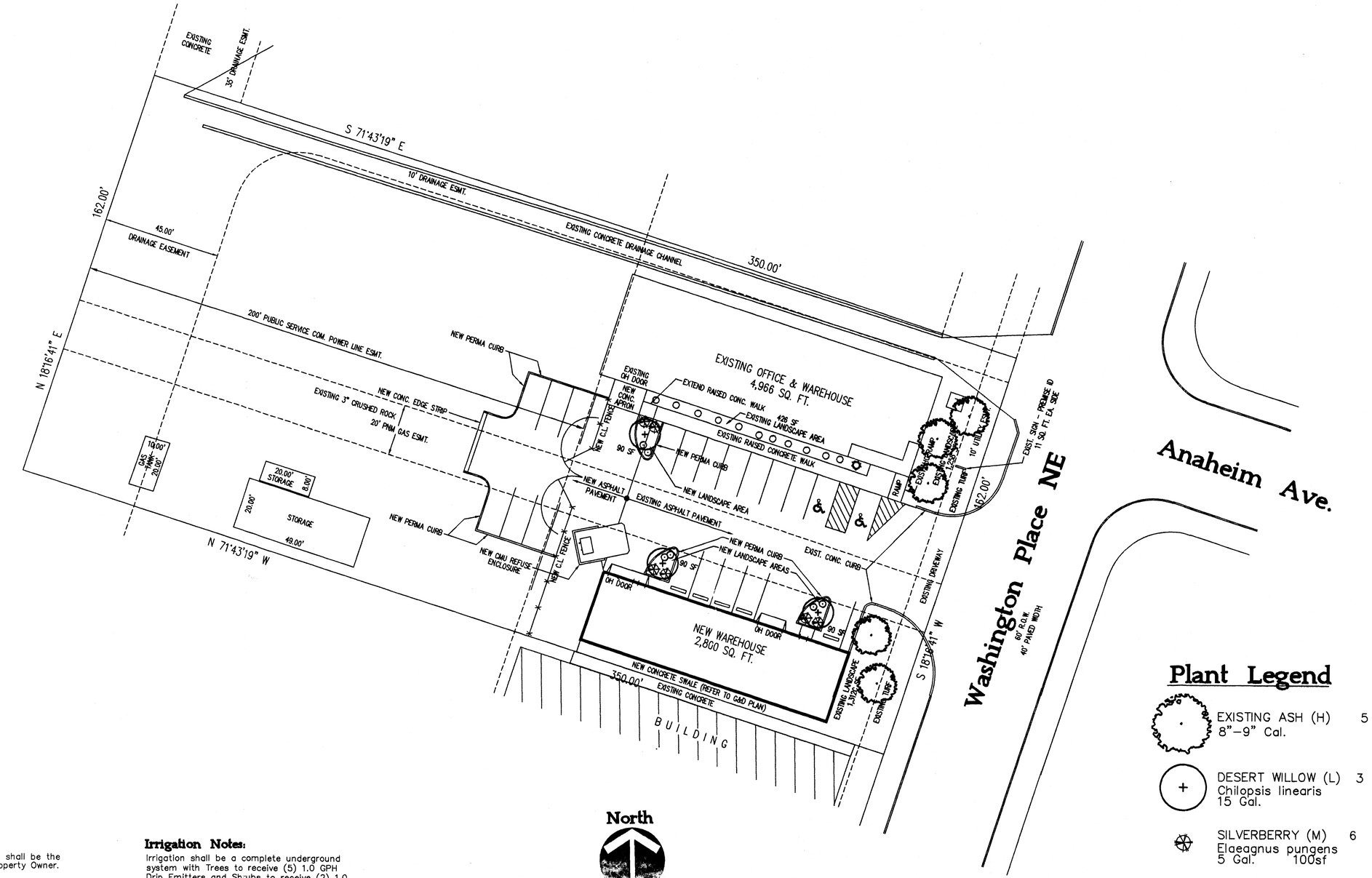


North

Landscape Plan

Scale: 1"=20'

0 5 10 20 40

Plant Legend

	EXISTING ASH (H) 8"–9" Cal.	5
+	DESERT WILLOW (L) Chilopsis linearis 15 Gal.	3
	SILVERBERRY (M) Elaeagnus pungens 5 Gal. 100sf	6
	INDIAN HAWTHORN (M) Raphiolepis indica 5 Gal.	6
	EXISTING PHOTINIA (M)	11
	EXISTING FORSYTHIA (M)	1

Landscape Notes:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

Irrigation Notes:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polypipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

STATE OF NEW MEXICO
KENNETH R. HOVEY
NO. 1055
REGISTERED ARCHITECT

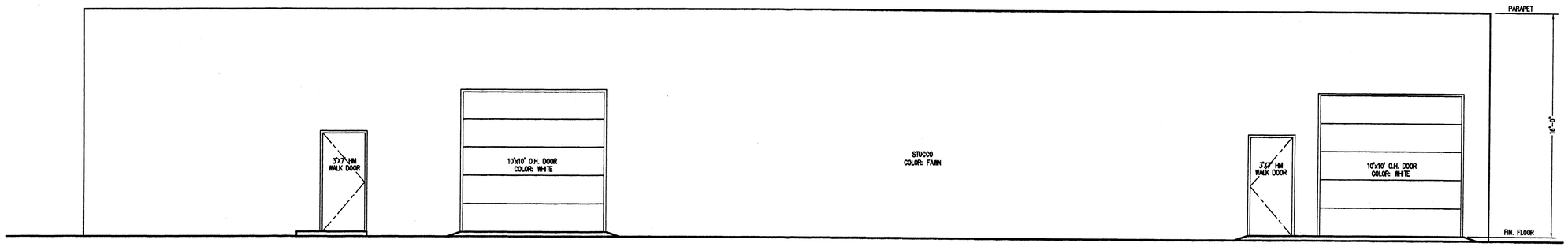
Warehouse for Commercial Enterprises

8309 WASHINGTON PLACE NE ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505) 259-8458 * 3808 SIMMS AVENUE SE * ALBUQUERQUE, NM * 87108

JOB NO: 0309
DATE: 30 MARCH 2004
REVISIONS

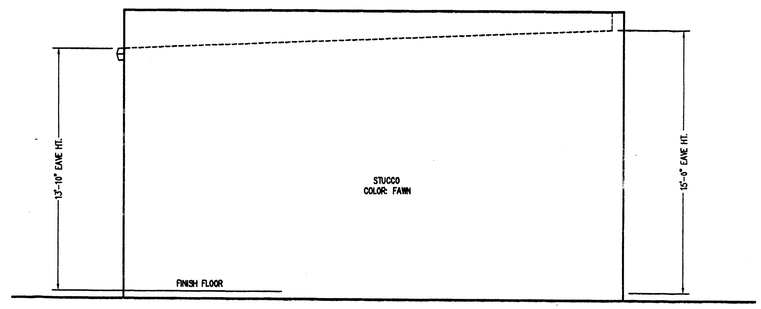
SHEET NO.
C.3



North Elevation

Scale: 1/4"=1'-0"

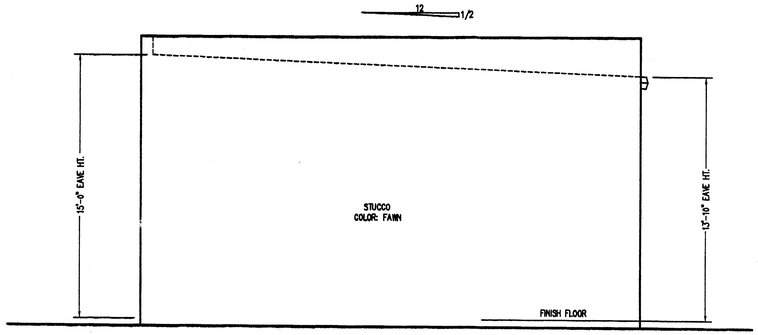
0 1' 2' 4' 8'



East Elevation

Scale: 1/4"=1'-0"

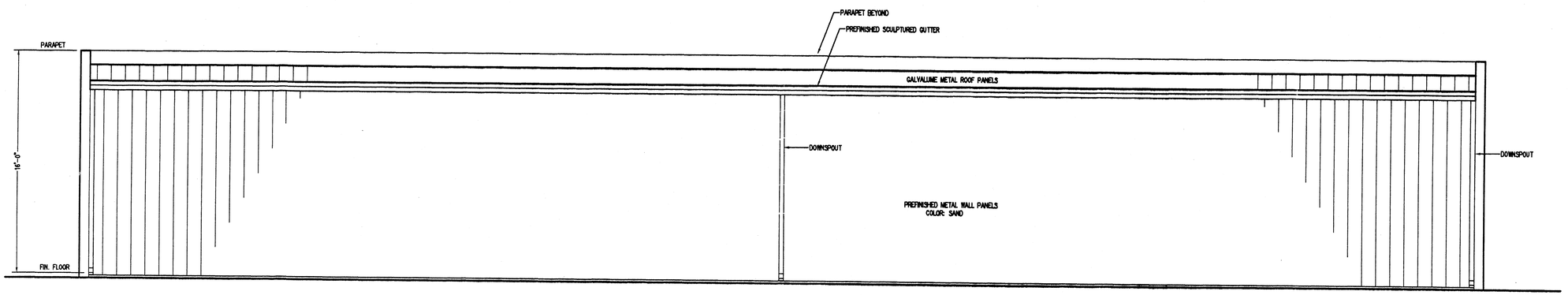
0 1' 2' 4' 8'



West Elevation

Scale: 1/4"=1'-0"

0 1' 2' 4' 8'



South Elevation

Scale: 1/4"=1'-0"

0 1' 2' 4' 8'

STATE OF NEW MEXICO
KENNETH R. HOVEY
NO. 1056
REGISTERED ARCHITECT

Warehouse for Commercial Enterprises

3804 WASHINGTON PLACE NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
(505) 251-6456 • 3808 SIMMS AVE SE • ALBUQUERQUE, NM • 87108

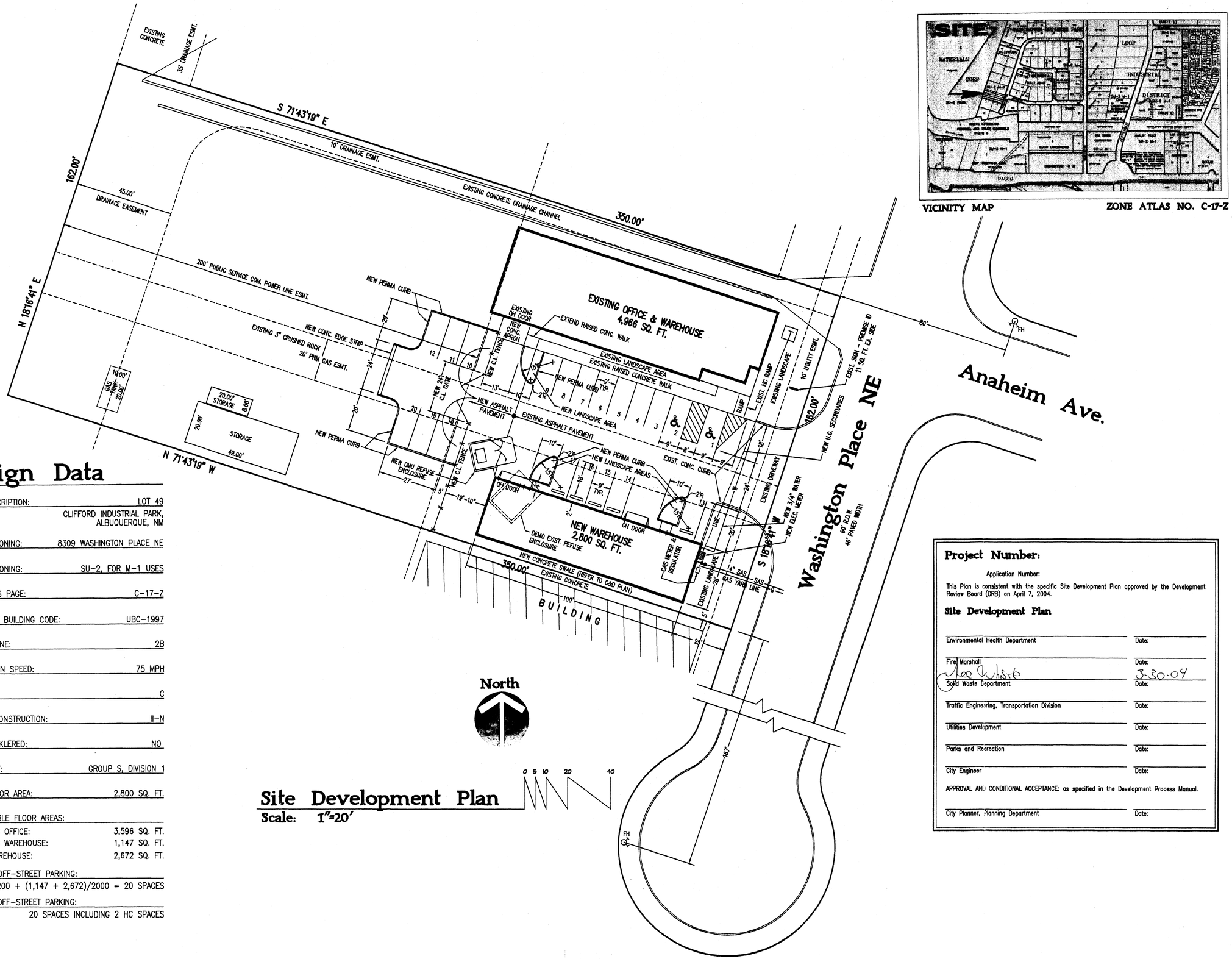
JOB NO: 0309

DATE: 30 MARCH 2004

REVISIONS

SHEET NO.

A.2



VICINITY MAP

ZONE ATLAS NO. C-17-Z

Site Development Plan

Scale: 1"=20'

Design Data

LEGAL DESCRIPTION:	LOT 49
	CLIFFORD INDUSTRIAL PARK, ALBUQUERQUE, NM
CURRENT ZONING:	8309 WASHINGTON PLACE NE
CURRENT ZONING:	SU-2, FOR M-1 USES
ZONE ATLAS PAGE:	C-17-Z
APPLICABLE BUILDING CODE:	UBC-1997
SEISMIC ZONE:	2B
WIND DESIGN SPEED:	75 MPH
EXPOSURE:	C
TYPE OF CONSTRUCTION:	II-N
FIRE SPRINKLERED:	NO
OCCUPANCY:	GROUP S, DIVISION 1
GROSS FLOOR AREA:	2,800 SQ. FT.
NET LEASABLE FLOOR AREAS:	
EXISTING OFFICE:	3,596 SQ. FT.
EXISTING WAREHOUSE:	1,147 SQ. FT.
NEW WAREHOUSE:	2,672 SQ. FT.
REQUIRED OFF-STREET PARKING:	
3,596/200 + (1,147 + 2,672)/2000 = 20 SPACES	
PROVIDED OFF-STREET PARKING:	
20 SPACES INCLUDING 2 HC SPACES	

Project Number:

Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Development Review Board (DRB) on April 7, 2004.

Site Development Plan

Environmental Health Department	Date:
Fire Marshall	Date:
Solid Waste Department Joe White	Date: 3-30-04
Traffic Engineering, Transportation Division	Date:
Utilities Development	Date:
Parks and Recreation	Date:
City Engineer	Date:

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified in the Development Process Manual.

City Planner, Planning Department	Date:

STATE OF NEW MEXICO
KENNETH R. HOVEY
NO. 1055
REGISTERED ARCHITECT

Warehouse for Commercial Enterprises

8309 WASHINGTON PLACE NE ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505) 259-8458 * 3808 SIMMS AVENUE SE * ALBUQUERQUE, NM * 87108

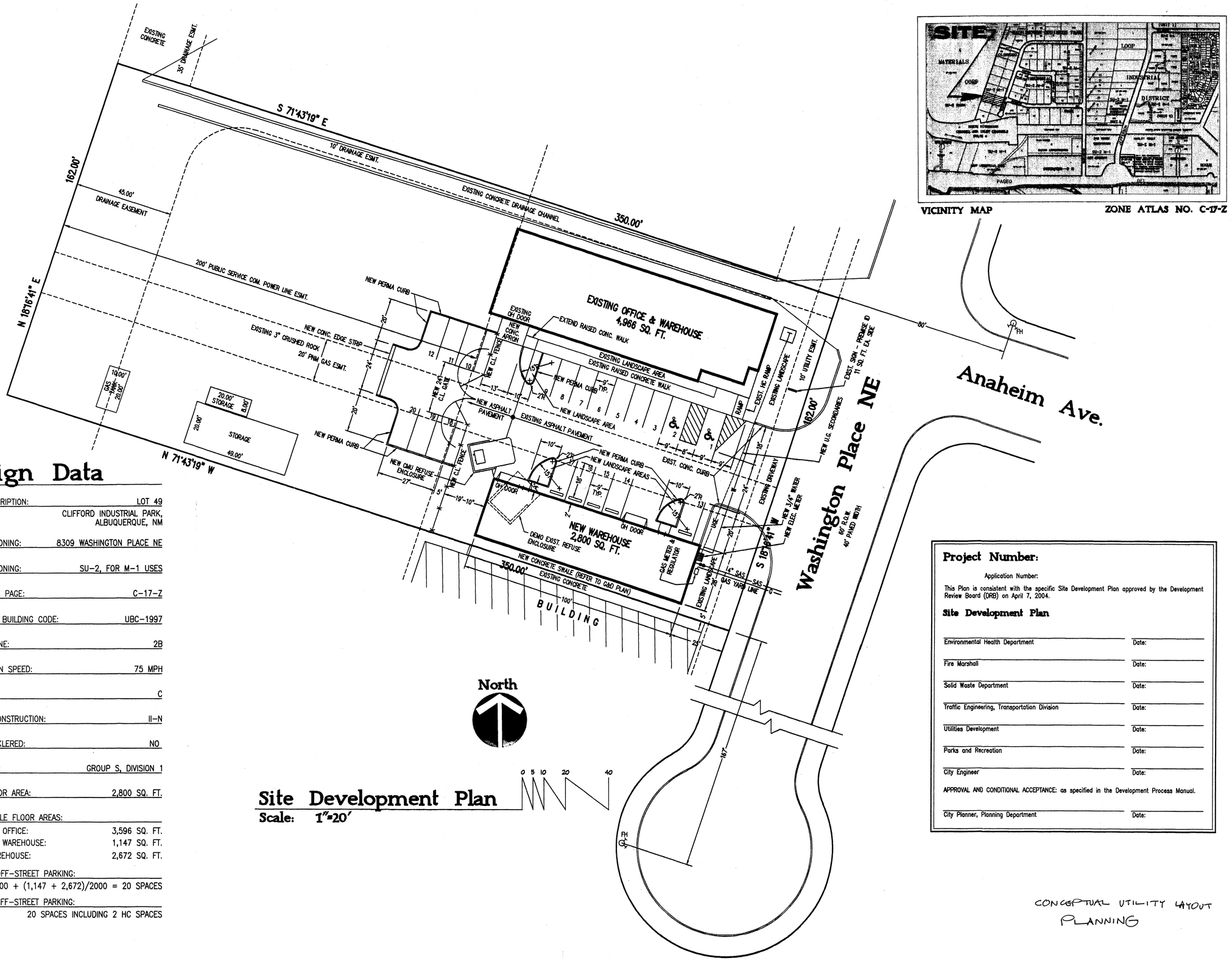
JOB NO: 0309

DATE: 30 MARCH 2004

REVISIONS

SHEET NO.

C.1



Site Development Plan
Scale: 1"=20'

VICINITY MAP ZONE ATLAS NO. C-17-Z

Design Data

LEGAL DESCRIPTION:	LOT 49 CLIFFORD INDUSTRIAL PARK, ALBUQUERQUE, NM
CURRENT ZONING:	8309 WASHINGTON PLACE NE
CURRENT ZONING:	SU-2, FOR M-1 USES
ZONE ATLAS PAGE:	C-17-Z
APPLICABLE BUILDING CODE:	UBC-1997
SEISMIC ZONE:	2B
WIND DESIGN SPEED:	75 MPH
EXPOSURE:	C
TYPE OF CONSTRUCTION:	II-N
FIRE SPRINKLERED:	NO
OCCUPANCY:	GROUP S, DIVISION 1
GROSS FLOOR AREA:	2,800 SQ. FT.
NET LEASABLE FLOOR AREAS:	
EXISTING OFFICE:	3,596 SQ. FT.
EXISTING WAREHOUSE:	1,147 SQ. FT.
NEW WAREHOUSE:	2,672 SQ. FT.
REQUIRED OFF-STREET PARKING:	
3,596/200 + (1,147 + 2,672)/2000 = 20 SPACES	
PROVIDED OFF-STREET PARKING:	
20 SPACES INCLUDING 2 HC SPACES	

Project Number:

Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Development Review Board (DRB) on April 7, 2004.

Site Development Plan

Environmental Health Department	Date:
Fire Marshall	Date:
Solid Waste Department	Date:
Traffic Engineering, Transportation Division	Date:
Utilities Development	Date:
Parks and Recreation	Date:
City Engineer	Date:

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified in the Development Process Manual.

City Planner, Planning Department	Date:

CONCEPTUAL UTILITY LAYOUT
PLANNING

STATE OF NEW MEXICO
KENNETH R. HOVEY
NO. 1055
REGISTERED ARCHITECT

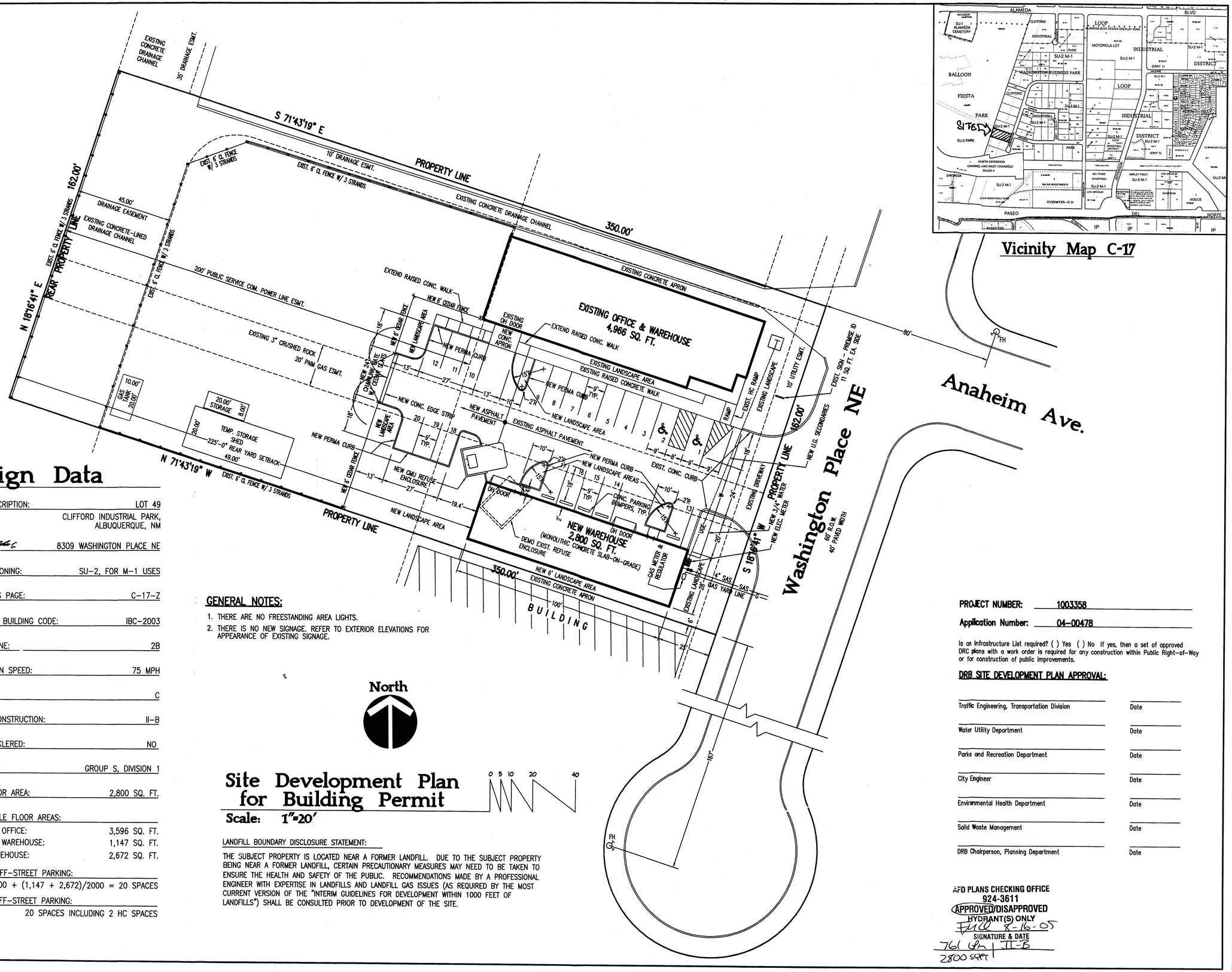
Warehouse for Commercial Enterprises

8309 WASHINGTON PLACE NE ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505) 259-8458 * 3808 SIMMS AVENUE SE * ALBUQUERQUE, NM * 87108

JOB NO: 0309
DATE: 30 MARCH 2004
REVISIONS

SHEET NO.
C.1



Vicinity Map C-17

Design Data

LEGAL DESCRIPTION:	LOT 49 CLIFFORD INDUSTRIAL PARK, ALBUQUERQUE, NM
ADDRESS:	8309 WASHINGTON PLACE NE
CURRENT ZONING:	SU-2, FOR M-1 USES
ZONE ATLAS PAGE:	C-17-Z
APPLICABLE BUILDING CODE:	IBC-2003
SEISMIC ZONE:	2B
WIND DESIGN SPEED:	75 MPH
EXPOSURE:	C
TYPE OF CONSTRUCTION:	II-B
FIRE SPRINKLERED:	NO
OCCUPANCY:	GROUP S, DIVISION 1
GROSS FLOOR AREA:	2,800 SQ. FT.

NET LEASABLE FLOOR AREAS:

EXISTING OFFICE:	3,596 SQ. FT.
EXISTING WAREHOUSE:	1,147 SQ. FT.
NEW WAREHOUSE:	2,672 SQ. FT.

REQUIRED OFF-STREET PARKING:
3,596/200 + (1,147 + 2,672)/2000 = 20 SPACES

PROVIDED OFF-STREET PARKING:
20 SPACES INCLUDING 2 HC SPACES

GENERAL NOTES:

1. THERE ARE NO FREESTANDING AREA LIGHTS.
2. THERE IS NO NEW SIGNAGE. REFER TO EXTERIOR ELEVATIONS FOR APPEARANCE OF EXISTING SIGNAGE.

North

Site Development Plan for Building Permit

Scale: 1"=20'

0 5 10 20 40

LANDFILL BOUNDARY DISCLOSURE STATEMENT:

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

PROJECT NUMBER: 1003358

Application Number: 04-00478

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
FHCC 8-16-05
SIGNATURE & DATE
761 GPM | II-B
2800 SQFT

STATE OF NEW MEXICO
KENNETH R. HOVEY
NO. 10508
REGISTERED ARCHITECT

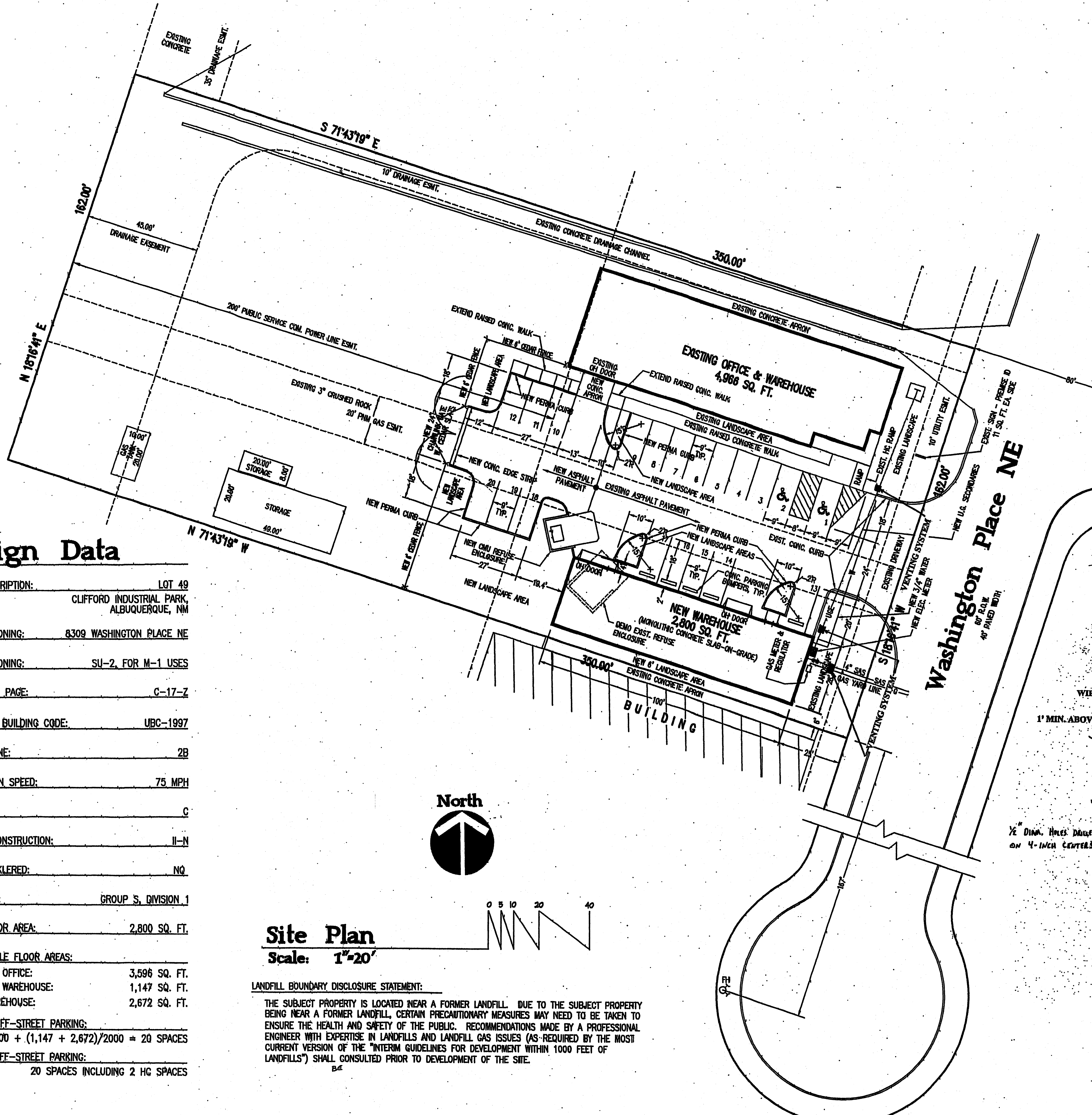
Warehouse for Commercial Enterprises

8309 WASHINGTON PLACE NE ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505) 259-8458 * 3808 SIMMS AVENUE SE * ALBUQUERQUE, NM * 87108

JOB NO: 0309
DATE: 12 AUGUST 2005
REVISIONS

SHEET NO.
SD.1



Design Data

LEGAL DESCRIPTION:	LOT 49 CLIFFORD INDUSTRIAL PARK, ALBUQUERQUE, NM
CURRENT ZONING:	8309 WASHINGTON PLACE NE
CURRENT ZONING:	SU-2, FOR M-1 USES
ZONE ATLAS PAGE:	C-17-Z
APPLICABLE BUILDING CODE:	UBC-1997
SEISMIC ZONE:	2B
WIND DESIGN SPEED:	75 MPH
EXPOSURE:	C
TYPE OF CONSTRUCTION:	II-N
FIRE SPRINKLERED:	NO
OCCUPANCY:	GROUP S, DIVISION 1
GROSS FLOOR AREA:	2,800 SQ. FT.

NET LEASABLE FLOOR AREAS:

EXISTING OFFICE:	3,596 SQ. FT.
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NEW WAREHOUSE:	2,672 SQ. FT.

REQUIRED OFF-STREET PARKING:
3,596/200 + (1,147 + 2,672)/2000 = 20 SPACES

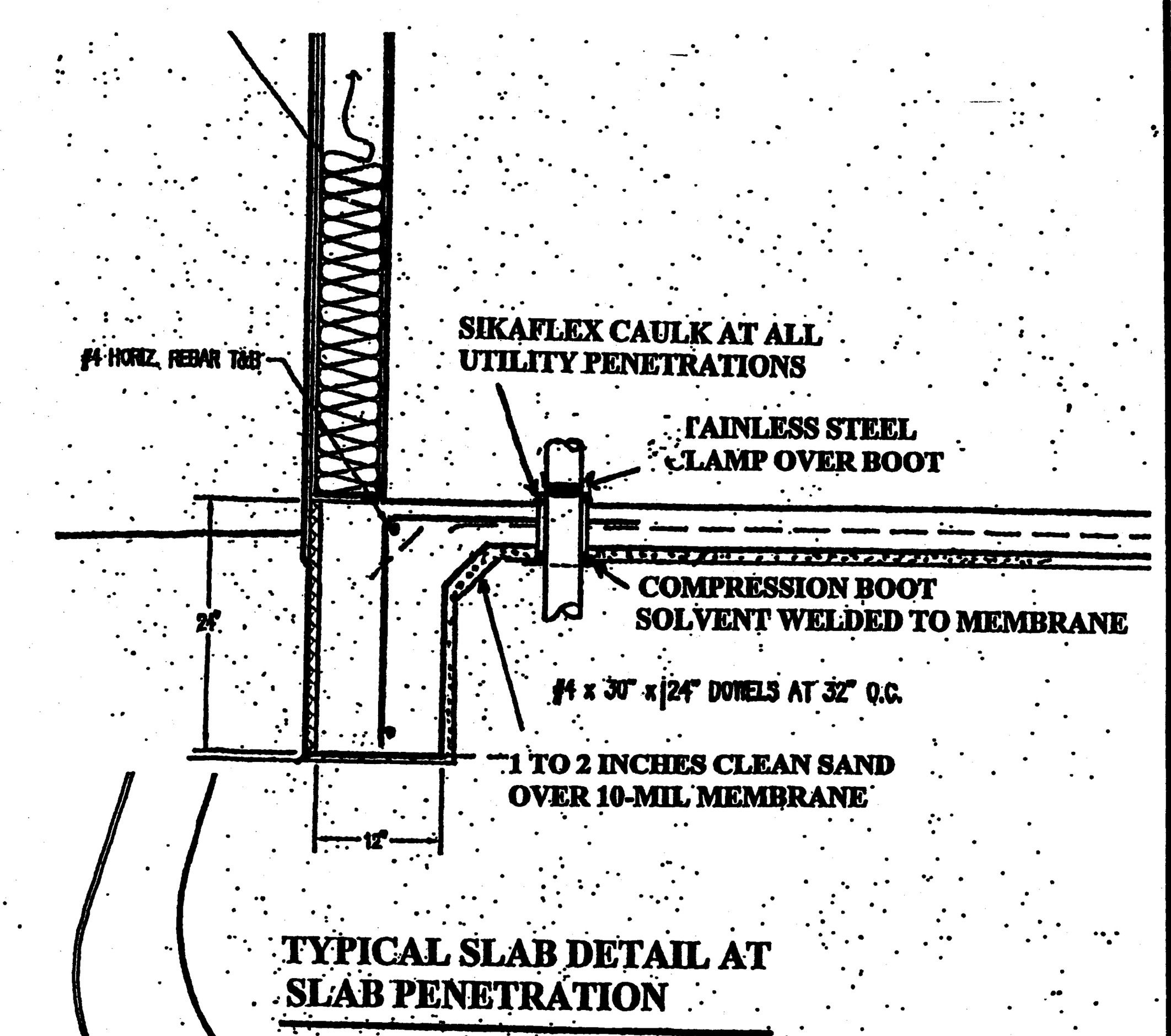
PROVIDED OFF-STREET PARKING:
20 SPACES INCLUDING 2 HC SPACES

Site Plan
Scale: 1"=20'

0 5 10 20 40

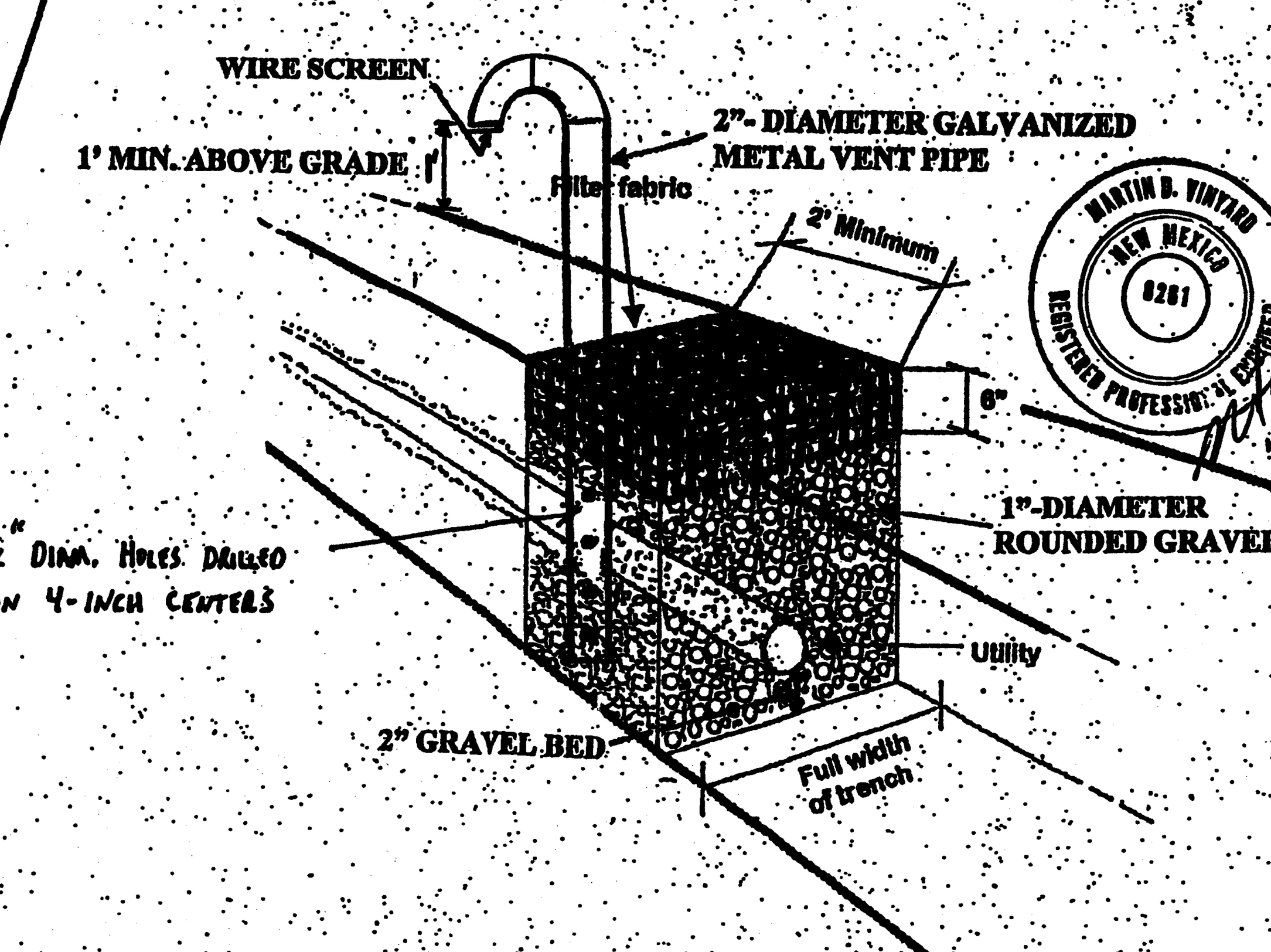
LANDFILL BOUNDARY DISCLOSURE STATEMENT:

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS") SHALL CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.



TYPICAL SLAB DETAIL AT SLAB PENETRATION

LANDSCAPE FABRIC SPECIFICATION CHART



LANDFILL GAS-UTILITY TRENCH INTERCEPT VENTING SYSTEM

AEHD DATE

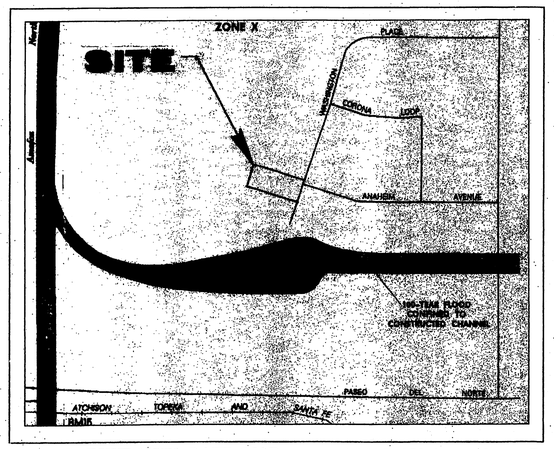
STATE OF NEW MEXICO REGISTERED ARCHITECT

Warehouse for Commercial Enterprises
8309 WASHINGTON PLACE NE ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505) 259-8458 * 3808 SIMMS AVENUE SE * ALBUQUERQUE, NM * 87108

JOB NO: 0309
DATE: 12 JULY 2004
REVISIONS

SHEET NO.
C.1



FLOOD INSURANCE RATE MAP MAP NO. 35001C0136 D

GENERAL NOTES:

1: CONTOUR INTERVAL IS ONE (1) FOOT.

2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "12-C17", HAVING AN ELEVATION OF 5107.95

3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.

5: THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

LEGEND:

EXISTING	NEW	DESCRIPTION
5080	80	CONTOUR
80.00	80.00	SPOT ELEVATION
		PROPERTY LINE
		SWALE
		SHEET FLOW
		ROOF FLOW
		ROOF GUTTER
		DOWNSPOUT

LEGEND
TC = TOP OF CONCRETE
FL = FLOW LINE
TG = TOP OF GRADE
EOW = END OF WALL

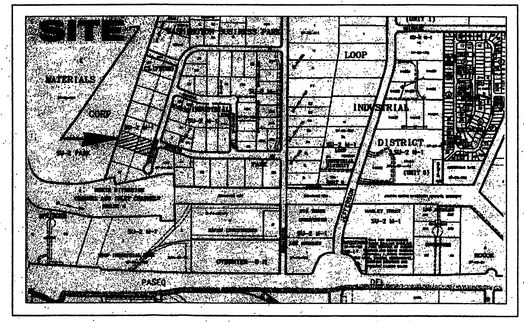
EROSION CONTROL NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE FOLLOWING:

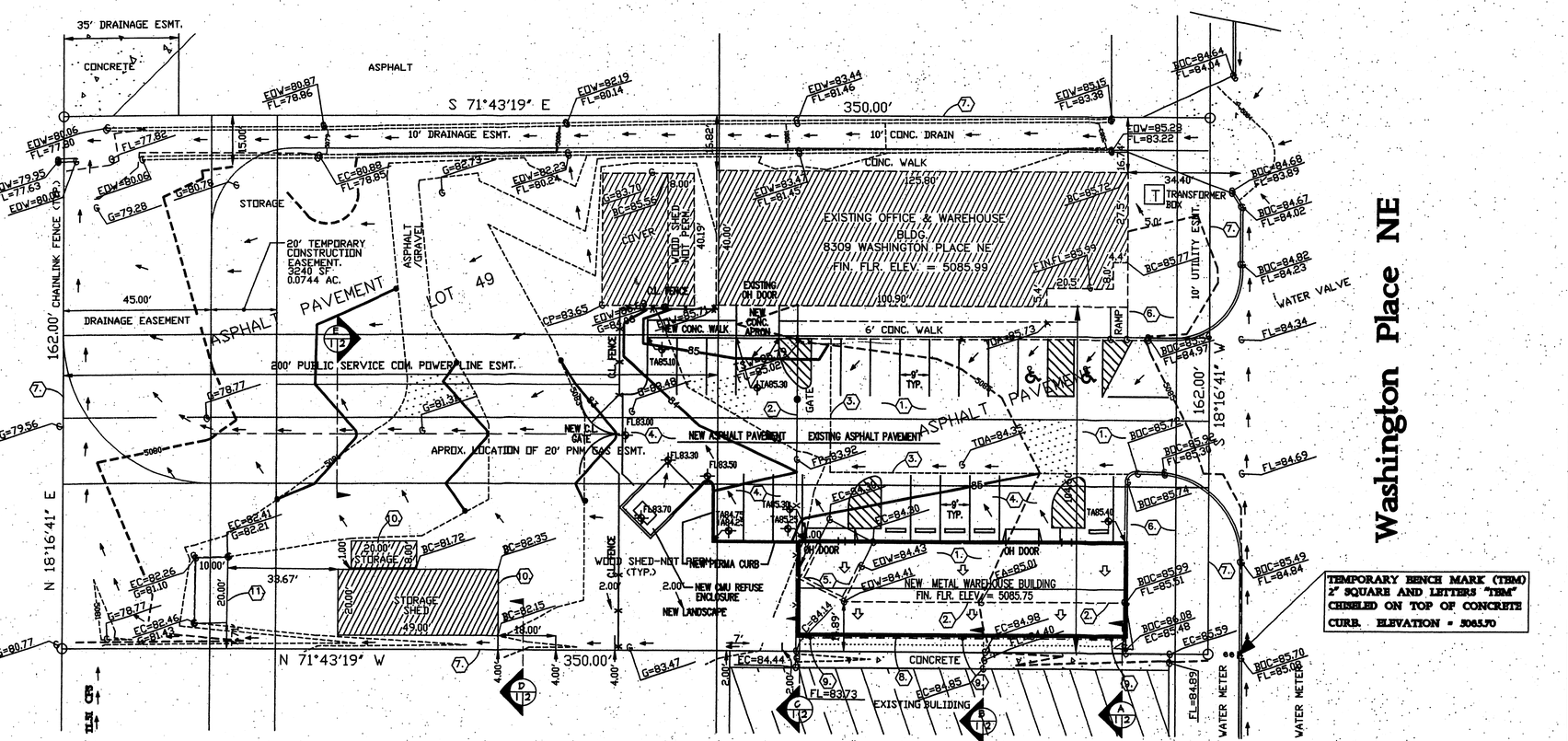
1. NO SEDIMENT-BEARING WATER SHALL BE ALLOWED TO DISCHARGE FROM THE SITE DURING CONSTRUCTION.
2. DURING GRADING OPERATIONS AND UNTIL THE PROJECT HAS BEEN COMPLETED, ALL ADJACENT PROPERTY, RIGHTS-OF-WAY, AND EASEMENTS SHALL BE PROTECTED FROM FLOODING BY RUNOFF FROM THE SITE.
3. SHOULD THE CONTRACTOR FAIL TO PREVENT SEDIMENT-BEARING WATER FROM ENTERING PUBLIC RIGHT-OF-WAY, HE SHALL PROMPLTY REMOVE FROM THE PUBLIC RIGHT-OF-WAY ANY AND ALL SEDIMENT ORIGINATING FROM THE SITE.
4. CONTROL OF SEDIMENT-LADEN WATERS WILL BE ACCOMPLISHED BY USE OF A COMPACTED EARTH BERM OF ADEQUATE HEIGHT. THE BERM SHALL BE LOCATED ALONG THE DOWNSTREAM PERIMETER OF THE PROPERTY.

LEGAL DESCRIPTION:

LOT 49, CLIFFORD INDUSTRIAL PARK, ALBUBQUERQUE, NEW MEXICO.



VICINITY MAP ZONE ATLAS NO. C-17-Z



Grading & Drainage Plan

Scale: 1"=20'

GENERAL NOTES

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
2. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATIONS OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF OR DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHTS-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

KEYED NOTES

1. EXISTING ASPHALT PAVEMENT.
2. EDGE OF EXISTING ASPHALT PAVEMENT.
3. EDGE OF ASPHALT REMOVAL AND REPLACEMENT.
4. NEW ASPHALT PAVEMENT.
5. EXISTING REFUSE ENCLOSURE – DEMOLISH.
6. EXISTING LANDSCAPING.
7. PROPERTY LINE.
8. ROOF GUTTER
9. DOWNSPOUT.
10. EXISTING TEMPORARY BUILDINGS TO BE REMOVED, RELOCATED OR, LEFT IN PLACE, AS DETERMINED BY THE OWNER. NOTE: ALL TEMPORARY BUILDINGS WITHIN THE CHANNEL CONST. AREA HAVE BEEN REMOVED.
11. EXISTING CONCRETE PAD. CITY PLANS FOR CLIFFORD CHANNEL, REALIGNMENT CALL FOR REMOVAL AND DISPOSAL OF THIS PAD.

FRANK D. LOVEY NEW MEXICO 5512 REGISTERED PROFESSIONAL ENGINEER
November 19, 2003
Revised 1/15/2004

Warehouse for Commercial Enterprises

8309 WASHINGTON PLACE NE ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505) 259-8458 * 3808 SIMMS AVENUE SE * ALBUQUERQUE, NM * 87108

JOB NO: 0309
DATE: 15 JANUARY 2004

REVISIONS
1 TBM RELOCATED, TEMP.
CONST. EASEMENT ADDED.

SHEET NO.
C.1.1

C:\All Projects\Grading_Plan.dwg (January 15, 2004

DRAINAGE CALCULATIONS:

EXISTING CONDITIONS:

The site is located on the west side of Washington Place NE, the third lot north of the Domingo Baca Channel. There is a drainage concrete channel along the north edge of the site. The existing building roof has an east-west ridge and the north side of the building drains directly into the drainage channel via splash blocks that extend over the channel wall. The parking lot is paved and there are several non-permanent buildings on the site. drainage is fron east to west. At the NW corner of the site the drainage channel continues west into the old baloon fiesta area. The lots north and south of the site are also developed. (See aerial photo, Sheet C. 1. 2)

DEVELOPED CONDITIONS:

It is proposed to construct a new metal storage building on the site as shown. The building will be constructed in an area which is now partially paved. The pavement will be extended to the west as shown. All runoff will continue to flow to the west and then north into the existing easement as it presently does.

FUTURE IMPROVEMENTS:

The City of Albuquerque proposes to construct 'Clifford Channel Realignment at Former Los Angeles Landfill'. Construction plans have been prepared and a reduced set will be submitted with this grading and drainage submittal. No attempt has been made to show the channel grades on this plan.

DRAINAGE CRITERIA:

The calculations shown on this plan were prepared in accordance with Section 22.2, Hydrology, of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque in cooperation with Bernalillo County, New Mexico and the Metropolitan Arroyo Flood Control Authority, January, 1993.

PRECIPITATION ZONE:

The site is between the Rio Grande River and San Mateo Blvd. and is, therefore, in Precipitation Zone 2.

LAND TREATMENT 'D':

SURFACE	EXISTING	DEVELOPED
CONCRETE	4,095	5,236
ASPHALT PAVING	8,623	9,698
BUILDING	8,369	11,169
TOTAL	21,087	26,103

LAND TREATMENT AREAS:

The peak discharge per acre and excess precipitation are shown for the four land treatments in Zone 2 in the table below, and the values shown are from the City of Albuquerque D.P.M. Also shown are the existing and proposed land treatment areas.

LAND TREAT.	q(cfs/ac) 100-yr.	10-yr.	E (in) 100-yr.	10-yr.	Existing Site Areas %	Sq.Ft.	Acres	Developed Site Areas %	Sq.Ft.	Acres
A	1.56	0.38	0.53	0.13	0.0	0	0.0000	0.0	0	0.0000
B	2.28	0.95	0.78	0.28	4.8	2,726	0.0624	4.8	2,720	0.0624
C	3.14	1.71	1.13	0.52	58.0	32,893	0.7551	49.2	27,877	0.6400
D	4.70	3.14	2.12	1.34	32.2	21,087	0.4841	46.0	26,103	0.5992
Totals					100.0	56,700	1.3016	100.0	56,700	1.3016

PEAK DISCHARGE:

EXISTING CONDITIONS:

Q100 = 0.0624 * 2.28 + 0.7551 x 3.14 + 0.4841 * 4.70 = 4.79 cfs
Q10 = 0.0624 * 0.95 + 0.7551 * 1.71 + 0.4841 * 3.14 = 2.87 cfs

DEVELOPED CONDITIONS:

Q100 = 0.0624 * 2.28 + 0.6400 x 3.14 + 0.5992 * 4.70 = 4.97 cfs
Q10 = 0.0624 * 0.95 + 0.6400 * 1.71 + 0.5992 * 3.14 = 3.04 cfs

VOLUME, 100-YEAR AND 10-YEAR, 6-HOUR:

EXISTING CONDITIONS:

V100 = (2,720 * 0.78 + 32,893 * 1.13 + 21,087 * 2.12) / 12 = 7,000 cf
V10 = (2,720 * 0.28 + 32,893 * 0.52 + 21,087 * 1.34) / 12 = 3,844 cf

DEVELOPED CONDITIONS:

V100 = (2,720 * 0.78 + 27,877 * 1.13 + 26,103 * 2.12) / 12 = 7,413 cf
V10 = (2,720 * 0.28 + 27,877 * 0.52 + 26,103 * 1.34) / 12 = 4,186 cf

SUMMARY OF ON-SITE VOLUMES AND PEAK DISCHARGE RATES:

	V100(CF)	V10(CF)	Q100(CFS)	Q10(CFS)
DEVELOPED	7,413	4,186	4.97	3.04
EXISTING	7,000	3,844	4.79	2.87
INCREASE	413	342	0.18	0.17

NEW BUILDING ROOF RUNOFF:

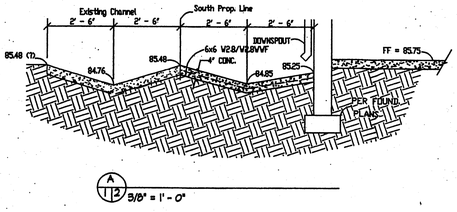
AREA = 3300 SF

Q100 = (3300 / 43,560) X 4.7 = 0.36 CFS

CAPACITY OF SWALE (SECTION D):

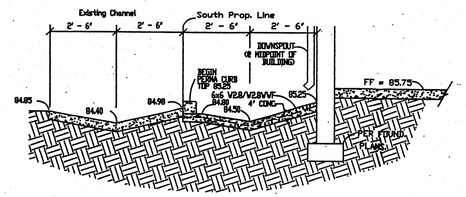
SWALE 5' WIDE X 0.5' DEEP

AREA= 1.25 SF
P = 5.1 SLOPE = 4.14 - 2.00 = 0.0207
R = A/P = 1.25 / 5.1 = 0.25 N = 0.035 (GRAVEL)
V = (1.486 / 0.035) (0.25)$^{2/3}$ (0.0207)$^{1/2}$ = 2.4 FPS
Q = AV = 1.25 X 2.4 = 3.00 CFS
3.00 CFS > 0.36 CFS ADEQUATE



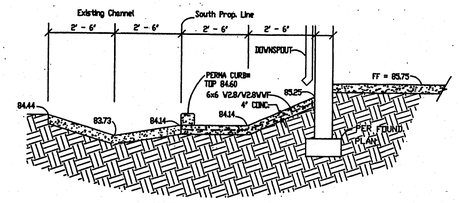
A
1 | 2
3/8" = 1'-0"

NOTE:
TOTAL DISTANCE BETWEEN SECTIONS 'A' & 'B' IS 43.6'
SLOPE = (84.85 - 84.50) / 43.6 = 0.0080 FT./FT.



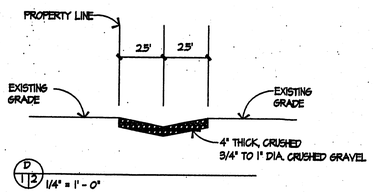
B
1 | 2
3/8" = 1'-0"

NOTE:
TRANSITION FROM 'V' SHAPED CHANNEL TO FLAT BOTTOMED CHANNEL BETWEEN SECTIONS 'B' AND 'C'. TOTAL DISTANCE IS 56.0'. SLOPE = (84.5 - 84.14) / 56 = 0.0064 FT./FT.

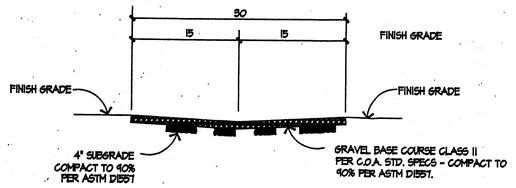


* CONTINUE CONCRETE AND PERMA CURB 5' WEST OF BUILDING AND TRANSITION TO GRAVEL SWALE.

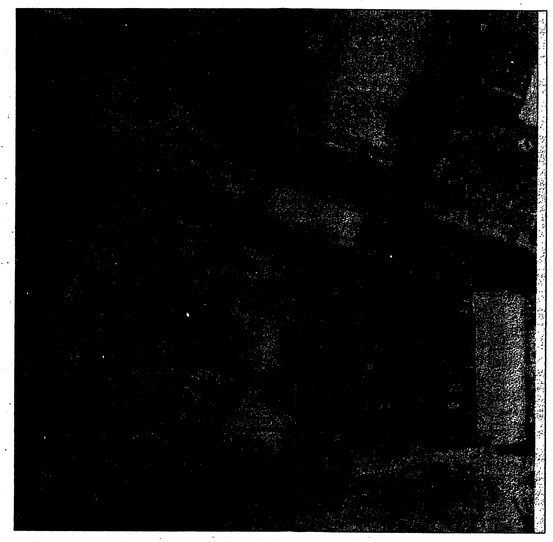
C
1 | 2
3/8" = 1'-0"



D
1 | 2
1/4" = 1'-0"



E
1 | 2
HORIZONTAL 1" = 10'
VERTICAL 1" = 5'



AERIAL PHOTO OF SITE AREA
APPROX. SCALE 1" = 100'

OFF-SITE FLOW CALCULATIONS:

AREA = 2.72 ACRES - SEE ABOVE MAP.
PER TABLE A-5 OF THE DPM, LIGHT INDUSTRIAL IS 70% TREATMENT D.
ASSUME 30 PERCENT TREATMENT C.
WEIGHTED 100-YEAR PEAK DISCHARGE PER ACRE:
q w = 0.3 * 3.14 + 0.7 * 4.70 = 4.23 CFS PER ACRE.
Q 100 = 4.23 CFS PER ACRE * 2.72 ACRES = 11.51 CFS

REGISTERED FRANK D. LOVELADY NEW MEXICO 12302 PROFESSIONAL ENGINEER
November 19, 2003
Revised 1/15/04

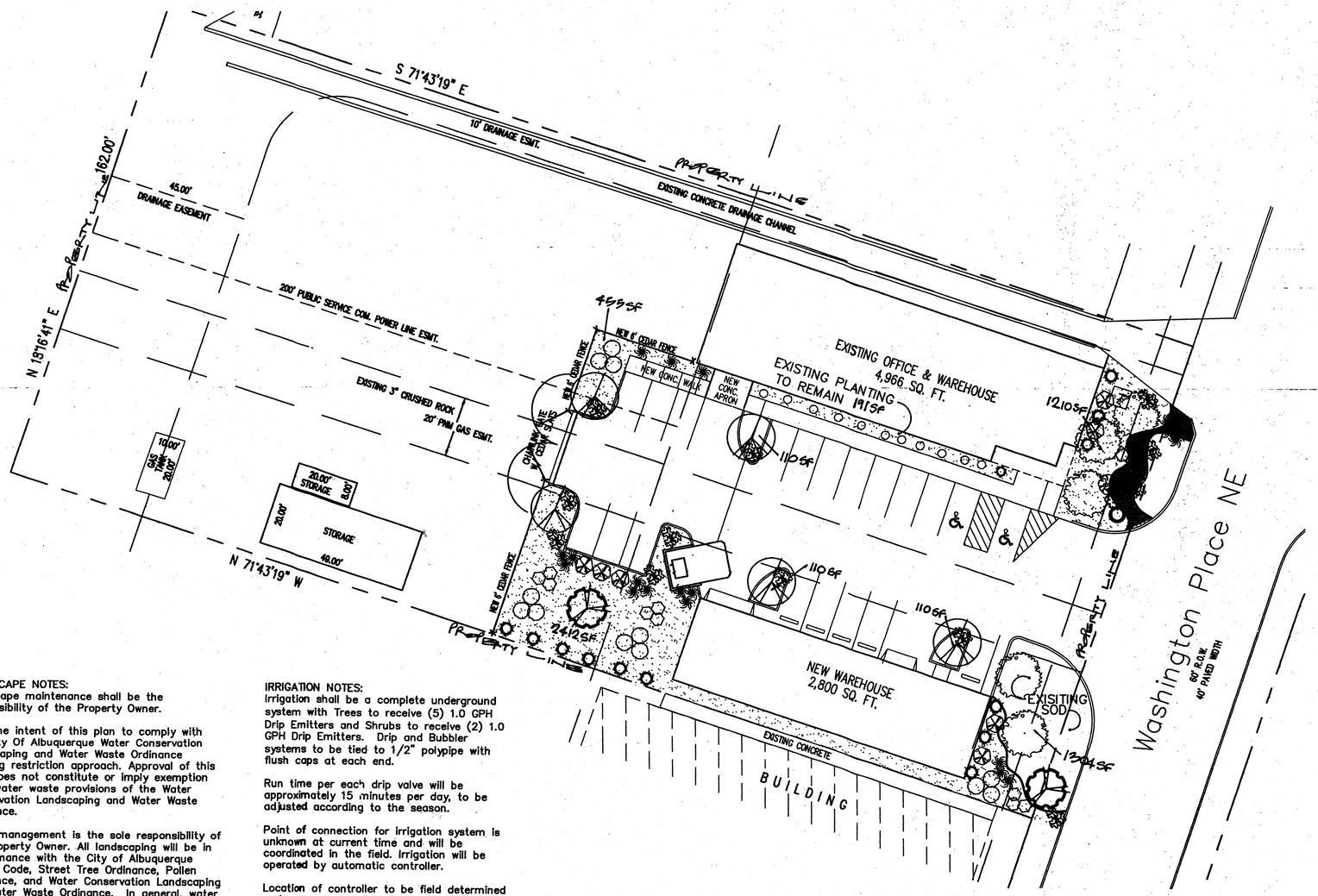
GRADING AND DRAINAGE CALCULATIONS
Warehouse for Commercial Enterprises
8309 WASHINGTON PLACE NE ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505) 259-8458 * 3808 SIMMS AVENUE SE * ALBUQUERQUE, NM * 87108

JOB NO:	0309
DATE:	15 JANUARY 2004
REVISIONS	
1.	OFF-SITE FLOW AREA & CALCS

SHEET NO.
C.1.2

C:\All Proj\Proj282\Calcs.dwg January 15, 2004



PLANT LEGEND

- FLOWERING PEAR (M+)
  Pyrus calleryana
  2" Cal.
- PURPLE-LEAF PLUM (M)
  Prunus spp.
  1 1/2" Cal.
- MUGO PINE (M)
  Pinus mugo
  5 Gal.
- APACHE PLUME (L)
  Fallugia paradoxa
  5 Gal. 25sf
- AMERICAN ARBORVITAE
  Cytisus scoparius/
  5 Gal. 9sf
- AUTUMN SAGE (M)
  Salvia greggii
  2 Gal. 9sf
- CRIMSON PIGMY BARBERRY (M) 19
  Berberis thunbergii "Atropur. Nana'
  1 Gal. 4sf
- CHAMISA (L)
  Chrysothamnus nauseosus
  1 Gal. 25sf
- MAIDENGRASS (M)
  Miscanthus sinensis
  5 Gal. 16sf
- THREADGRASS (M)
  Stipa tennuisima
  1 Gal. 4sf
- PRICKLY PEAR (L)
  Opuntia macrocentra
  9 sf
- NATURAL EDGE
- OVERSIZED GRAVEL & BOULDERS
- 3/4" CRUSHED GRAY GRAVEL WITH FILTER FABRIC
- SANTA FE BROWN CRUSHER FINES WITH FILTER FABRIC

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polypipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

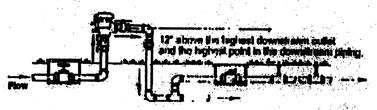
Irrigation maintenance shall be the responsibility of the Property Owner.

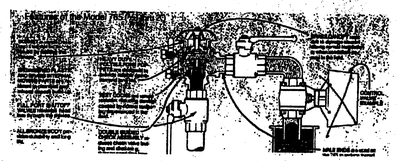
Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE AREA REQUIREMENTS:

TOTAL SITE AREA:	56,700 SF
LESS BUILDING AREAS:	(7,766 SF)
LESS NON-PUBLIC SITE AREA NOT USED FOR REQUIRED PARKING:	(28,662 SF)
NET SITE AREA:	20,272 SF
REQ'D LANDSCAPE AREA: 72,532 SF x 15 PERCENT =	3,041 SF
PROVIDED LANDSCAPE AREA:	5,902 SF

Febco Model 765





BACKFLOW PREVENTOR DETAIL
no scale

GRAPHIC SCALE
20 10 0 10 20
SCALE: 1"=20'

N

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cjohnson@hilltoplandscaping.com

STATE OF NEW MEXICO
JAMES DE FLON
0007
REGISTERED LANDSCAPE ARCHITECT
3-28-05

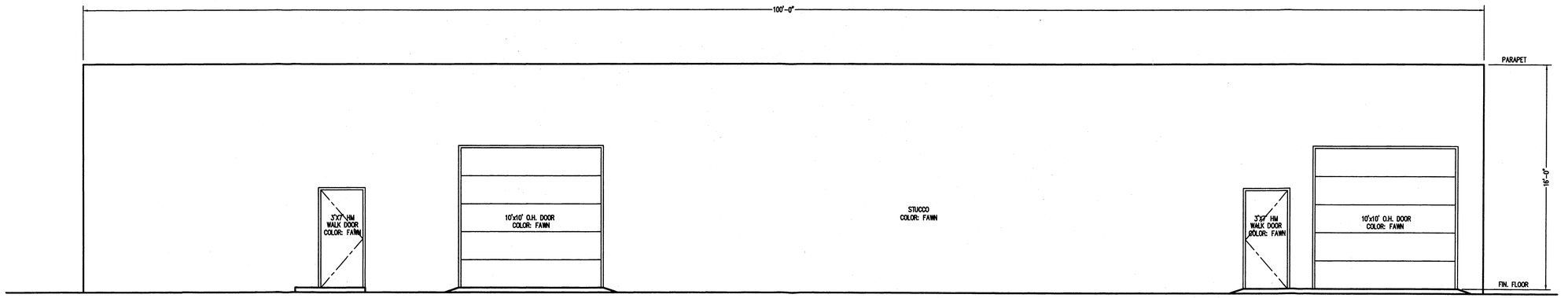
Warehouse for Commercial Enterprises
8309 WASHINGTON PLACE NE ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505) 259-8458 • 3808 SIMMS AVENUE SE • ALBUQUERQUE, NM • 87108

JOB NO: 0309
DATE: 25 MARCH 2005
REVISIONS

SHEET NO. L.1

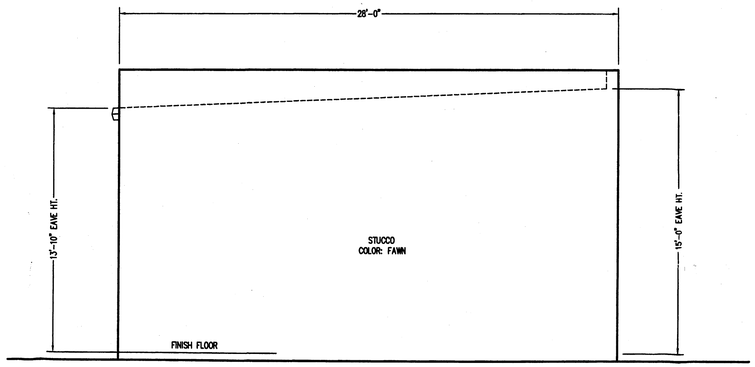
3/25/05 drr



North Elevation

Scale: 1/4"=1'-0"

0 1' 2' 4' 8'



East Elevation

Scale: 1/4"=1'-0"

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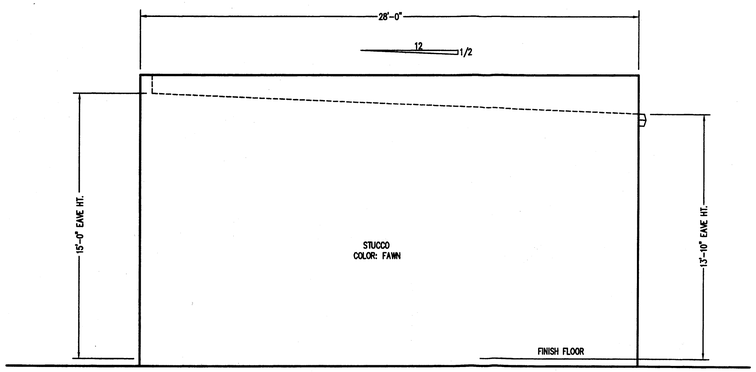
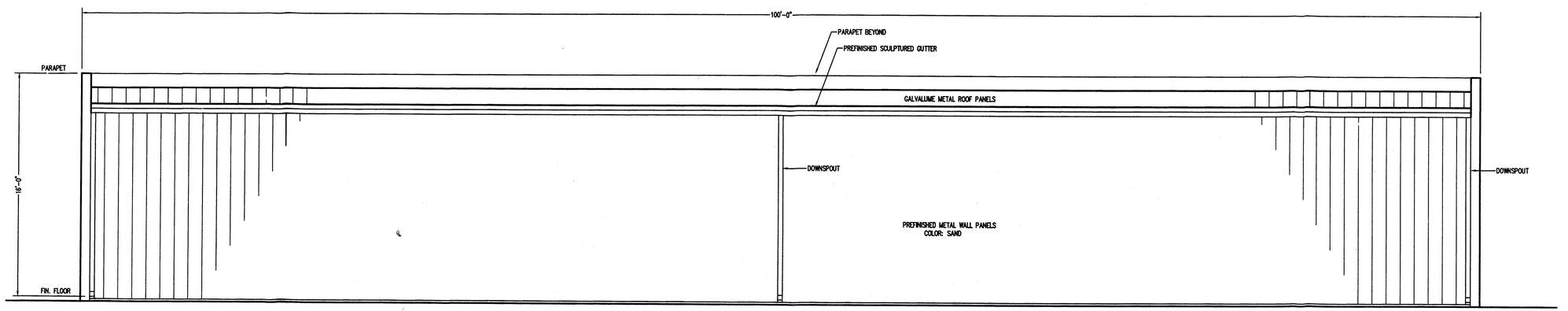


West Elevation

Scale: 1/4"=1'-0"

0 1' 2' 4' 8'



South Elevation

Scale: 1/4"=1'-0"

0 1' 2' 4' 8'

Exterior Building Elevations

STATE OF NEW MEXICO
KENNETH R. HOVEY
No. 7103
REGISTERED ARCHITECT

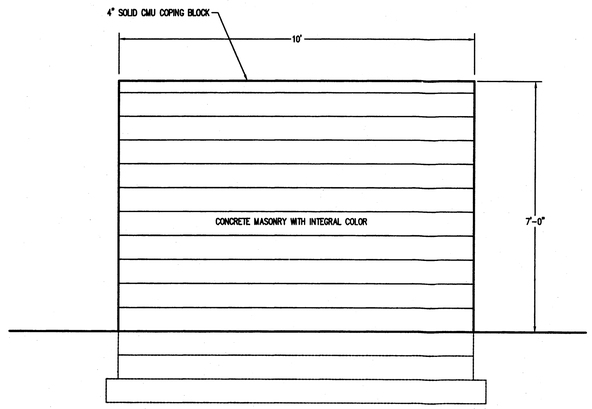
Warehouse for Commercial Enterprises

2804 WASHINGTON PLACE NE, ALBUQUERQUE, NEW MEXICO

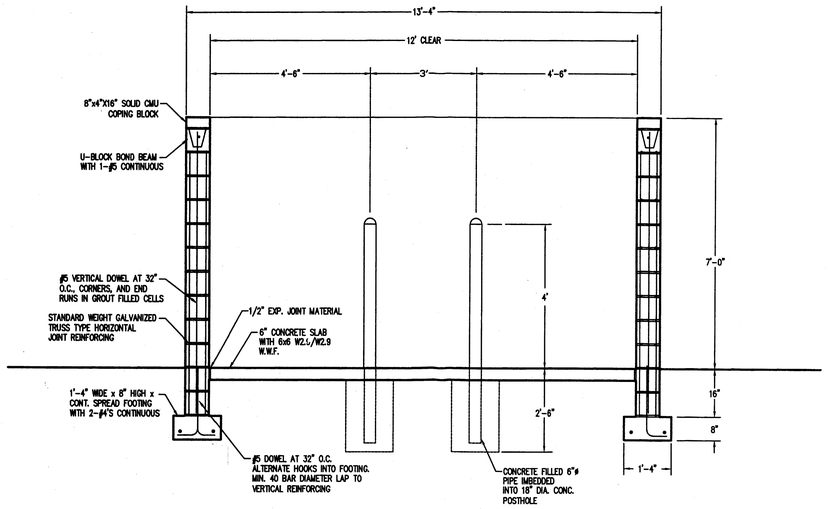
KEN HOVEY, ARCHITECT
(505) 251-8458 • 3808 SIMMS AVENUE. SE • ALBUQUERQUE, NM • 87108

JOB NO: 0309
DATE: 30 MARCH 2004
REVISIONS

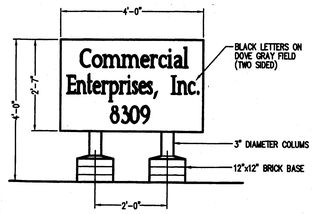
SHEET NO.
A.2



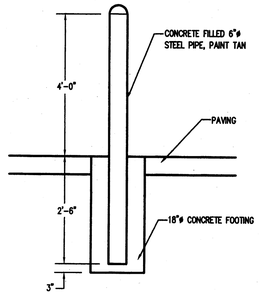
Side Elevation
Scale 1/2"=1'-0"



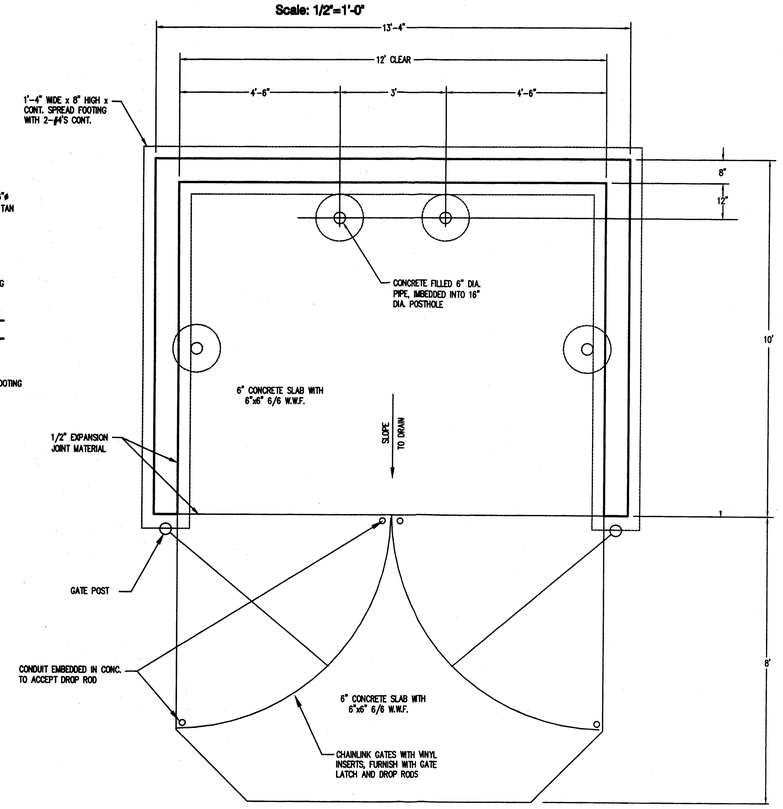
Section
Scale: 1/2"=1'-0"



Existing Sign Elevation
Scale 1/2"=1'-0"



Bollard Detail
Scale: 1/2"=1'-0"



Plan
Scale: 1/2"=1'-0"

Refuse Enclosure Detail

Refuse Enclosure & Sign Elevations

STATE OF NEW MEXICO
KENNETH M. HOVEY
NO. 10558
REGISTERED ARCHITECT

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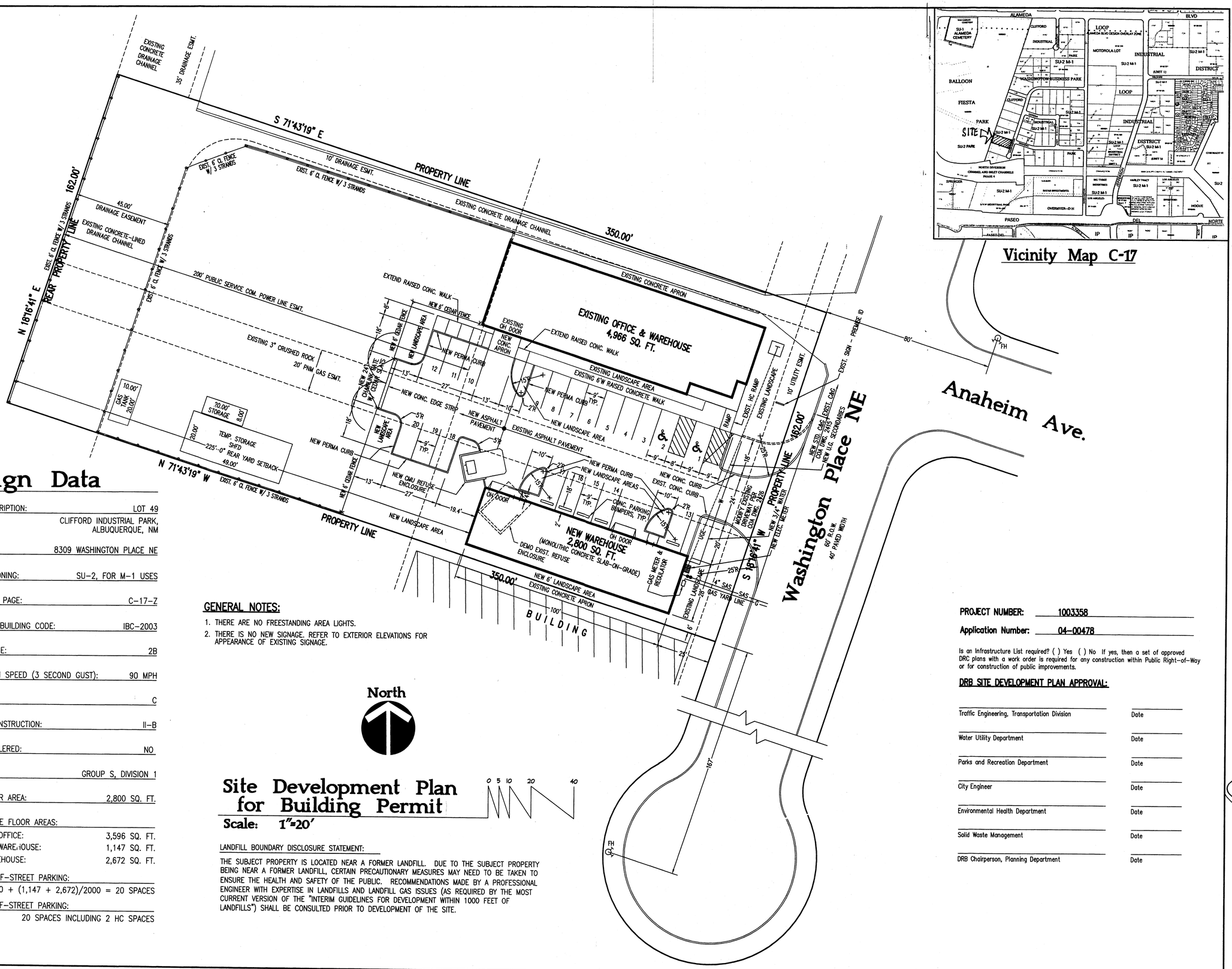
Warehouse for Commercial Enterprises

8309 WASHINGTON PLACE NE, ALBUQUERQUE, NEW MEXICO

JOB NO: 0309
DATE: 12 AUGUST 2005
REVISIONS

SHEET NO.
A.3



Vicinity Map C-17

Design Data

LEGAL DESCRIPTION:	LOT 49 CLIFFORD INDUSTRIAL PARK, ALBUQUERQUE, NM
ADDRESS:	8309 WASHINGTON PLACE NE
CURRENT ZONING:	SU-2, FOR M-1 USES
ZONE ATLAS PAGE:	C-17-Z
APPLICABLE BUILDING CODE:	IBC-2003
SEISMIC ZONE:	2B
WIND DESIGN SPEED (3 SECOND GUST):	90 MPH
EXPOSURE:	C
TYPE OF CONSTRUCTION:	II-B
FIRE SPRINKLERED:	NO
OCCUPANCY:	GROUP S, DIVISION 1
GROSS FLOOR AREA:	2,800 SQ. FT.

NET LEASABLE FLOOR AREAS:

EXISTING OFFICE:	3,596 SQ. FT.
EXISTING WAREHOUSE:	1,147 SQ. FT.
NEW WAREHOUSE:	2,672 SQ. FT.

REQUIRED OFF-STREET PARKING:
3,596/200 + (1,147 + 2,672)/2000 = 20 SPACES

PROVIDED OFF-STREET PARKING:
20 SPACES INCLUDING 2 HC SPACES

GENERAL NOTES:

1. THERE ARE NO FREESTANDING AREA LIGHTS.
2. THERE IS NO NEW SIGNAGE. REFER TO EXTERIOR ELEVATIONS FOR APPEARANCE OF EXISTING SIGNAGE.

North

Site Development Plan for Building Permit

Scale: 1"=20'

0 5 10 20 40

LANDFILL BOUNDARY DISCLOSURE STATEMENT:

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

PROJECT NUMBER: 1003358

Application Number: 04-00478

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

STATE OF NEW MEXICO
KENNETH D. HOVEY
NO. 1058
REGISTERED ARCHITECT

Warehouse for Commercial Enterprises

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JOB NO: 0309
DATE: 16 AUGUST 2005
REVISIONS

SHEET NO.
SD.1