

**Location Map**  
Zone Atlas Map No. C-19-Z

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 1.6043 ACRES±  
 ZONE ATLAS INDEX NO: C-19-Z  
 NO. OF TRACTS CREATED: 0  
 NO. OF LOTS CREATED: 2  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: JULY 2004, FIELD VERIFIED NOVEMBER 2005.

**Notes:**

- MISC. DATA: ZONING SU-2/MIXED USE
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE LOT INTO TWO NEW LOTS.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2005203722

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
  - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
  - QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
  - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

RECORDING STAMP

**Legal Description**

LOT NUMBERED ONE--A--ONE--A (1-A-1-A) IN BLOCK NUMBERED TEN (10), NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 26, 2005, IN PLAT BOOK 2005C, FOLIO 289, CONTAINING 1.6043 ACRES, (69,881 SQUARE FEET) MORE OR LESS, NOW COMPRISING LOTS 1-A-1-A-1 AND 1-A-1-A-2, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3.

**Disclosure Statement:**

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE LOT INTO TWO NEW LOTS.

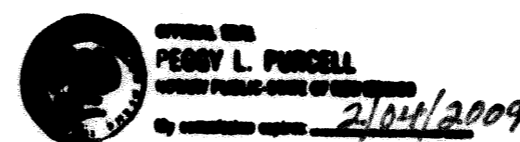
**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

*[Signature]*  
 TIMOTHY HOGSETT, PRESIDENT  
 DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION  
 11/28/05  
 DATE

**Acknowledgment**

STATE OF NEW MEXICO ) SS  
 COUNTY OF BERNALILLO )  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 28th DAY OF November 2005 BY TIMOTHY HOGSETT, PRESIDENT, DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION  
 BY *[Signature]* NOTARY PUBLIC COMMISSION EXPIRES: 2/04/2009

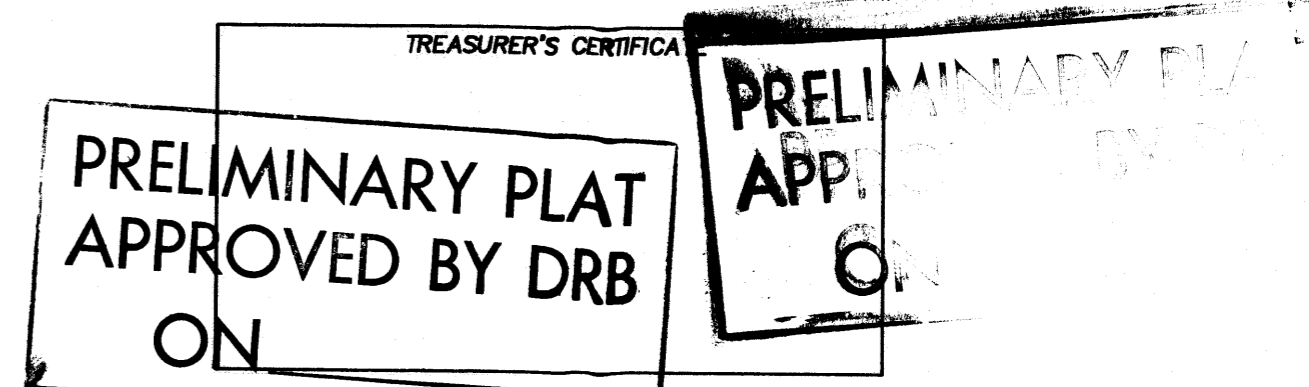


Plat of  
 Lots 1-A-1-A-1 & 1-A-1-A-2  
 Block 10  
**North Albuquerque Acres**  
 Tract 2, Unit 3  
 Albuquerque, Bernalillo County, New Mexico  
 November 2005

Project No. 1003364  
 Application No. 05DRB-

**Utility Approvals**

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
<b>City Approvals</b>	
<i>[Signature]</i> CITY SURVEYOR	11-28-05 DATE
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*[Signature]* 11/28/05  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993  
 DATE

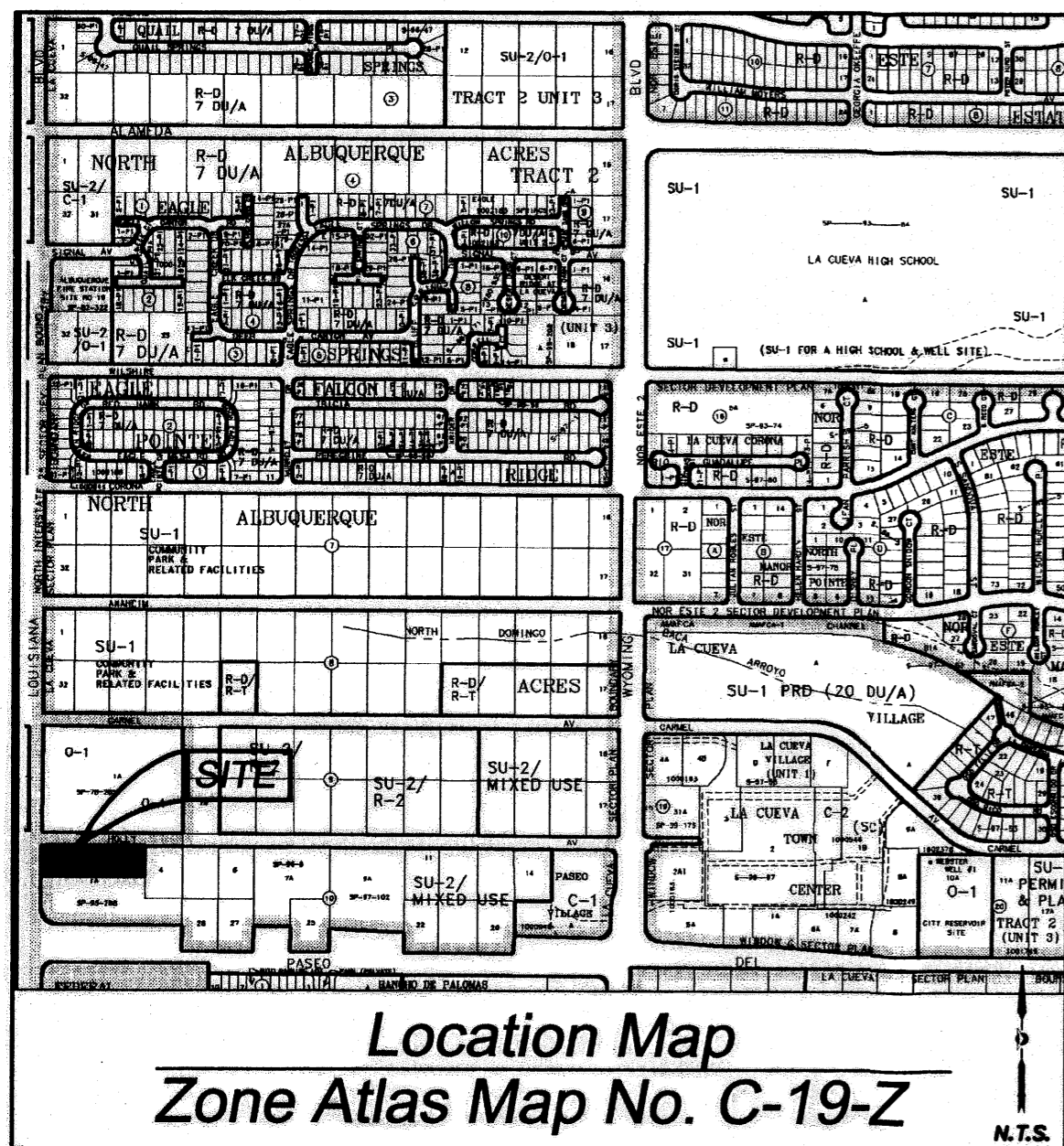


**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900







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- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE LOT INTO TWO NEW LOTS. AND TO GRANT A PRIVATE ACCESS EASEMENT.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2005203722

**Easements**

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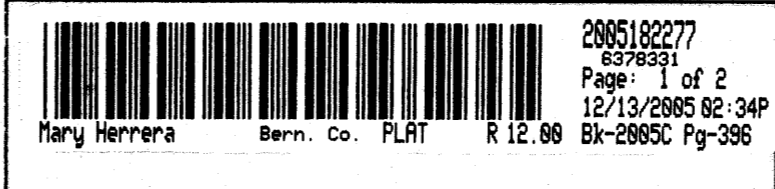
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Plat of  
 Lots 1-A-1-A-1 & 1-A-1-A-2  
 Block 10

**North Albuquerque Acres  
 Tract 2, Unit 3**

Albuquerque, Bernalillo County, New Mexico  
 November 2005

Project No. 1003364  
 Application No. 05DRB-01789

**Utility Approvals**

Jean D. Mule	12-9-05
PNM ELECTRIC SERVICES	DATE
Jean D. Mule	12-9-05
PNM GAS SERVICES	DATE
Sonia Sique	12/09/05
QWEST TELECOMMUNICATIONS	DATE
Rita S. Nichols	12/09/05
COMCAST	DATE

**City Approvals**

[Signature]	11-28-05
CITY SURVEYOR	DATE
[Signature]	12-7-05
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
William J. Welch	12-7-05
UTILITY DEVELOPMENT	DATE
Christine Sandoval	12/7/05
PARKS AND RECREATION DEPARTMENT	DATE
Bradley D. Bingham	12/7/05
AMAFCA	DATE
Bradley D. Bingham	12/7/05
CITY ENGINEER	DATE
Andrew Conna	12/7/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

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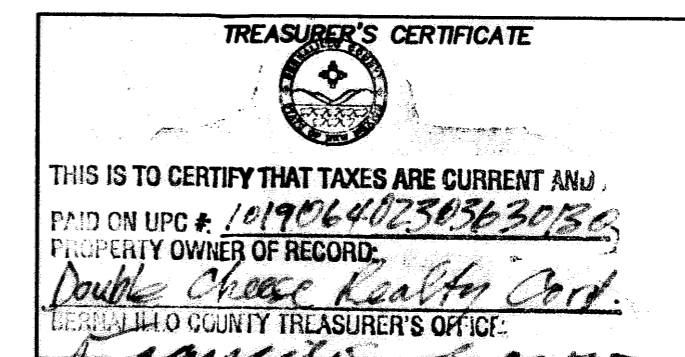
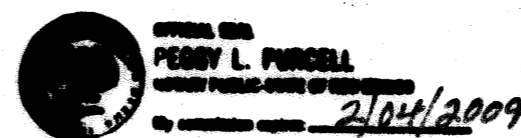
SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

[Signature]  
 TIMOTHY HOGSETT, PRESIDENT  
 DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION

**Acknowledgment**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

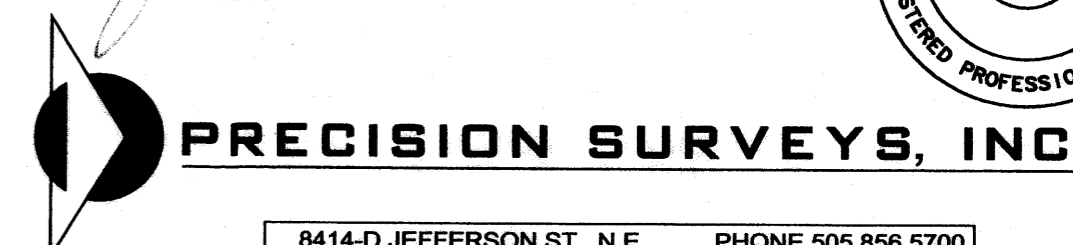
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 28<sup>th</sup> DAY OF November 2005 BY TIMOTHY HOGSETT, PRESIDENT, DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION BY Peggy L. Purcell, Notary Public. MY COMMISSION EXPIRES: 2/04/2009



**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature]  
 LARRY W. MEDRANO  
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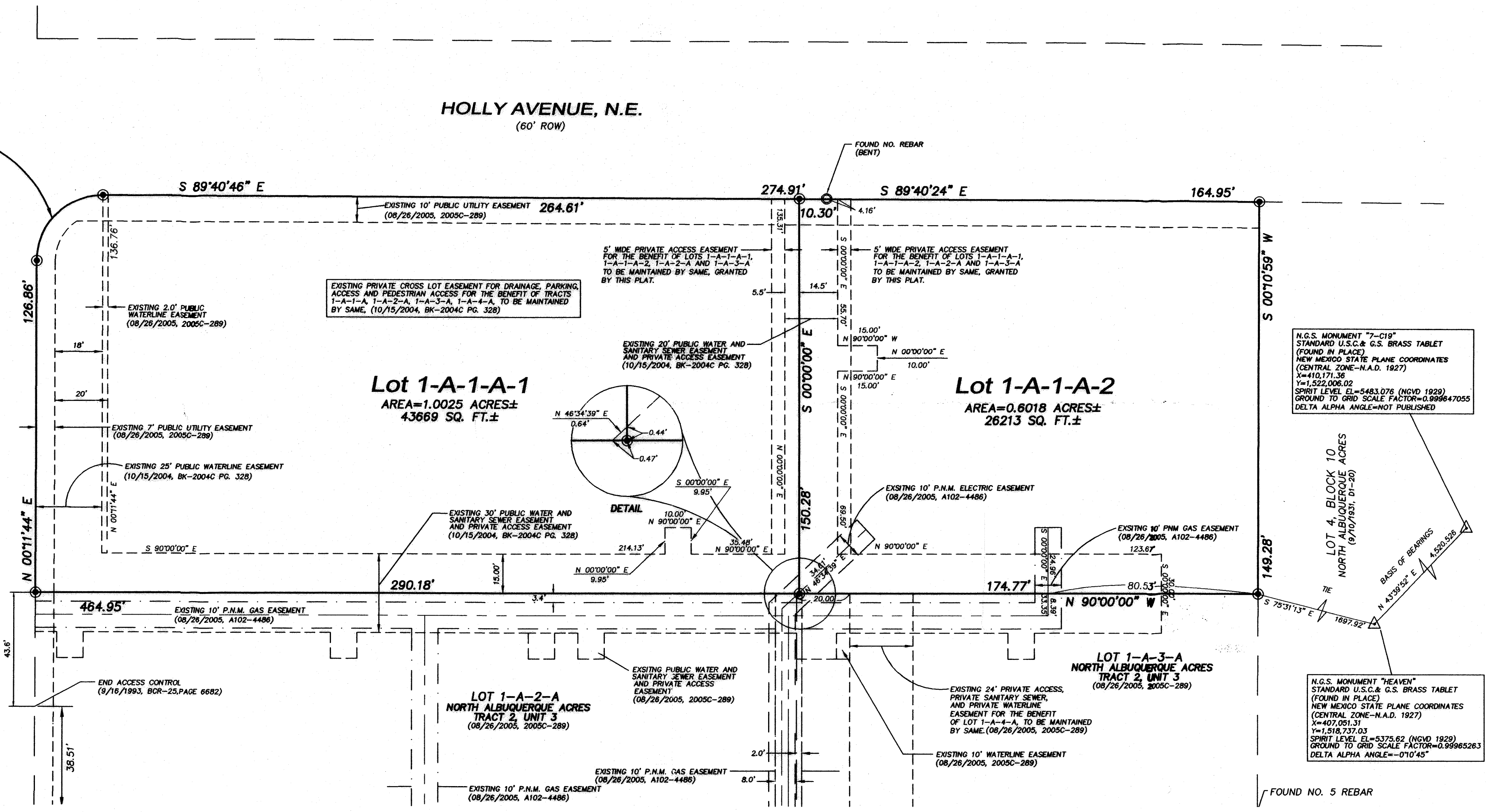
DEPARTMENT OF REVENUE  
 2885182277  
 8378331  
 Page: 2 of 2  
 12/13/2005 02:34P  
 Mary Herrera Bern. Co. PLRT R 12.00 BK-2885C Pg-396

Plat of  
 Lots 1-A-1-A-1 & 1-A-1-A-2  
 Block 10  
 North Albuquerque Acres  
 Tract 2, Unit 3  
 Albuquerque, Bernalillo County, New Mexico  
 November 2005

R=25.00'  
 L=39.31'  
 Δ=90°05'50"  
 T=25.04'  
 CH=N 45°16'12" E  
 35.39'

LOUISIANA BOULEVARD, N.E.  
 (ROW VARIES)

HOLLY AVENUE, N.E.  
 (60' ROW)

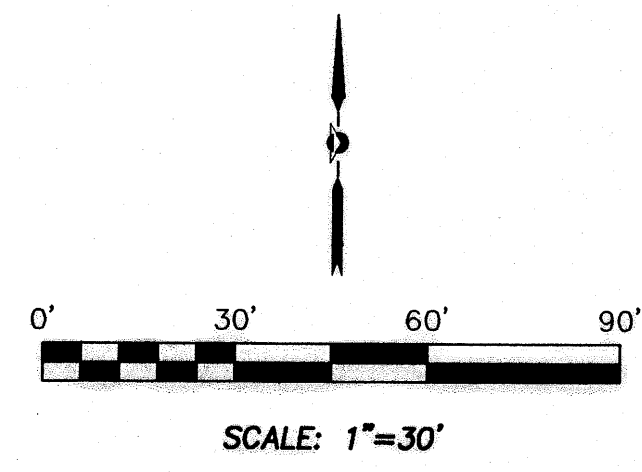


N.G.S. MONUMENT "7-C19"  
 STANDARD U.S.C. & G.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=410,171.36  
 Y=1,522,006.02  
 SPIRIT LEVEL EL.=5483.076 (NGVD 1929)  
 GROUND TO GRID SCALE FACTOR=0.999647055  
 DELTA ALPHA ANGLE=NOT PUBLISHED

N.G.S. MONUMENT "HEAVEN"  
 STANDARD U.S.C. & G.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=407,051.31  
 Y=1,518,737.03  
 SPIRIT LEVEL EL.=5375.62 (NGVD 1929)  
 GROUND TO GRID SCALE FACTOR=0.99965263  
 DELTA ALPHA ANGLE=-0°10'45"

Legend

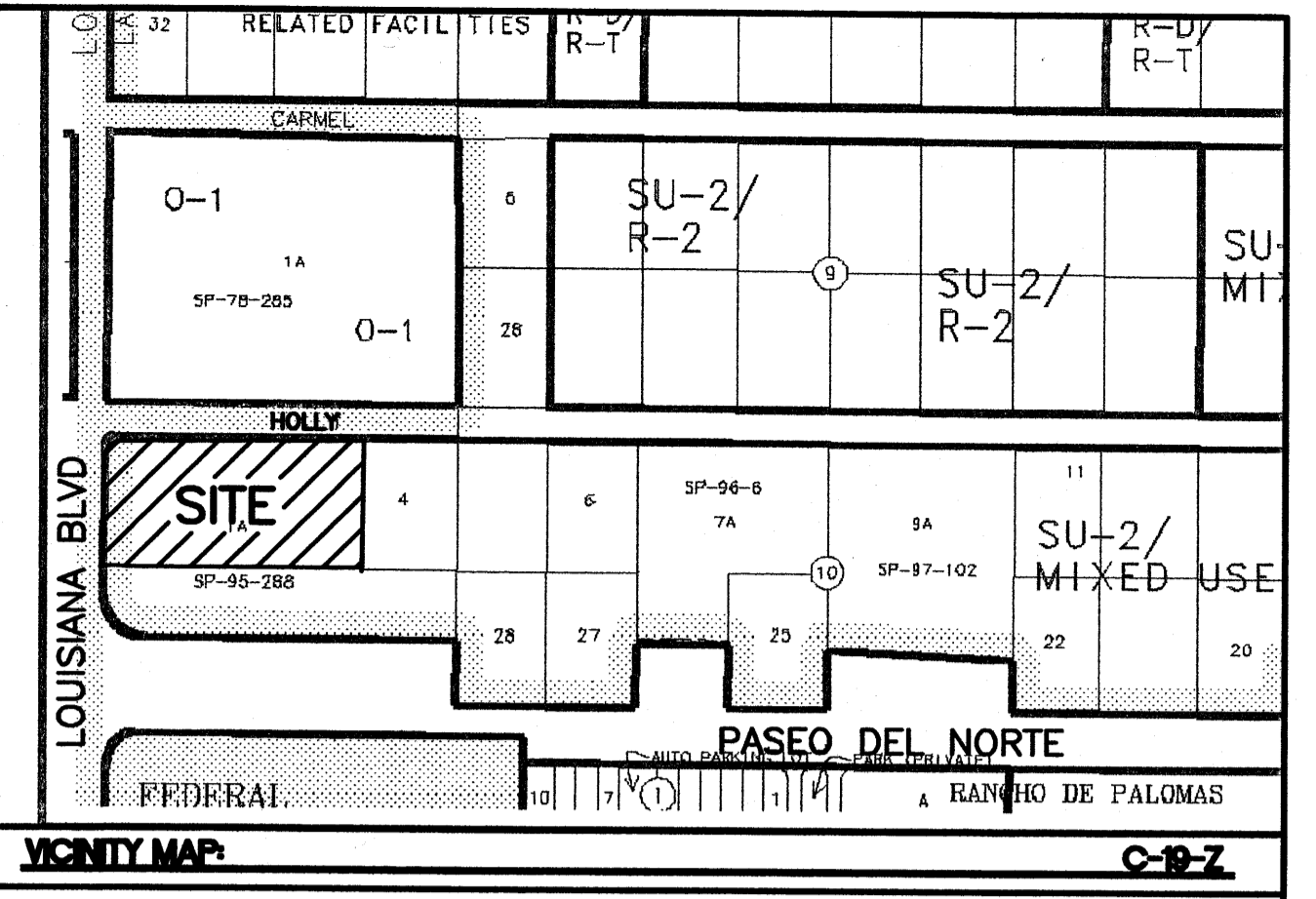
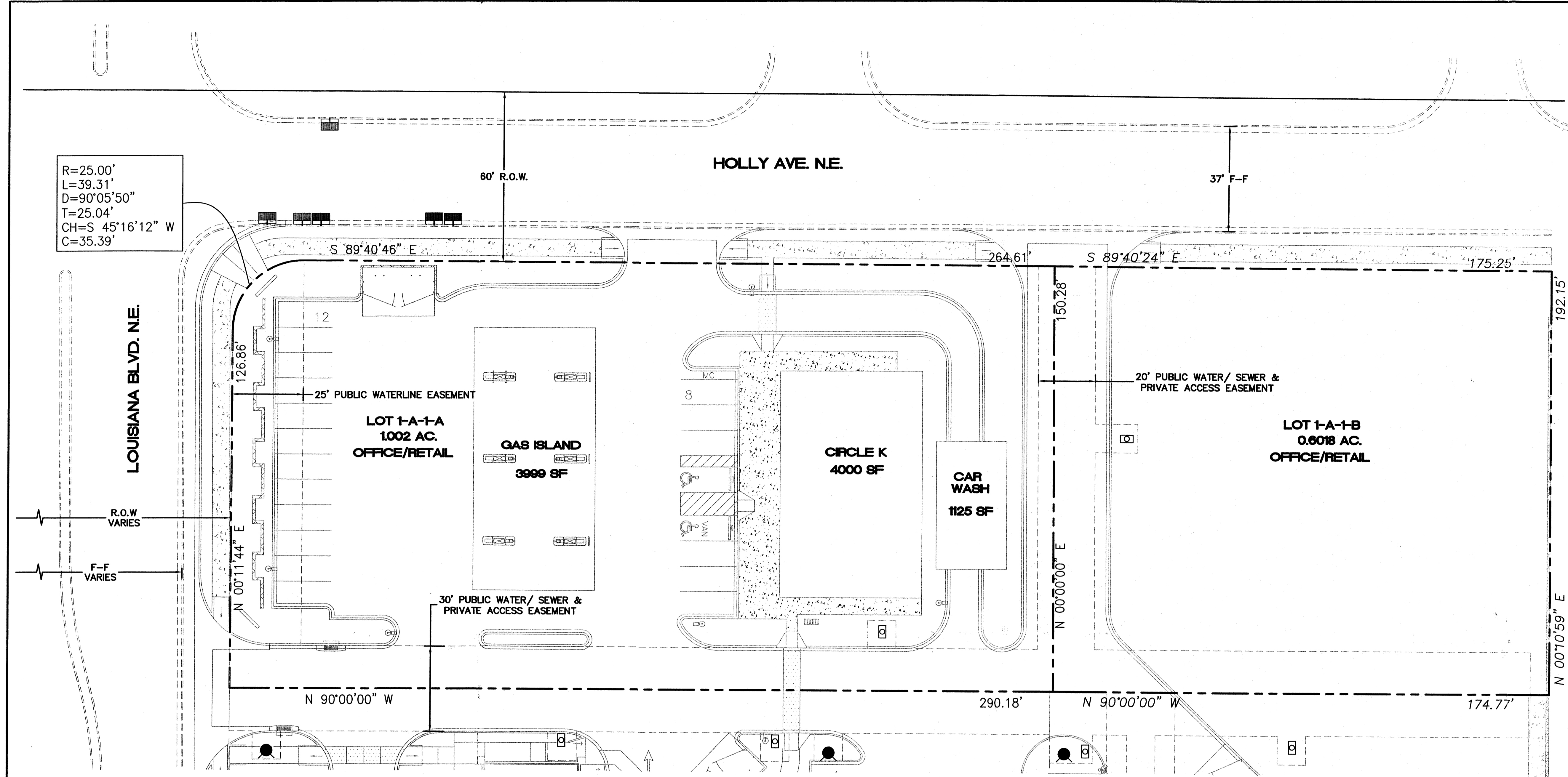
- N 90°00'00" E FIELD MEASUREMENTS MATCH RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY.



**PRECISION SURVEYS, INC.**  
 8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



R=25.00'  
L=39.31'  
D=90°05'50"  
T=25.04'  
CH=S 45°16'12" W  
C=35.39'



LEGAL DESCRIPTION:  
TRACT 1A, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3

**LEGEND**

	CENTERLINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	RIGHT-OF-WAY
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	STRIPING
	PROPOSED BUILDING
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	PROPOSED CROSSWALK
	PROPOSED BIKERACK
	PROPOSED RETAINING WALL
	PROPOSED SCREEN WALL
	PROPOSED VALLEY GUTTER
	BENCH MARK
	PERMANENT STRIPING
	FIRE HYDRANT
	WATER SERVICE METER

**PROJECT NUMBER:** 10033164  
**APPLICATION NUMBER:** \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 10/16/03, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes (X) No. If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

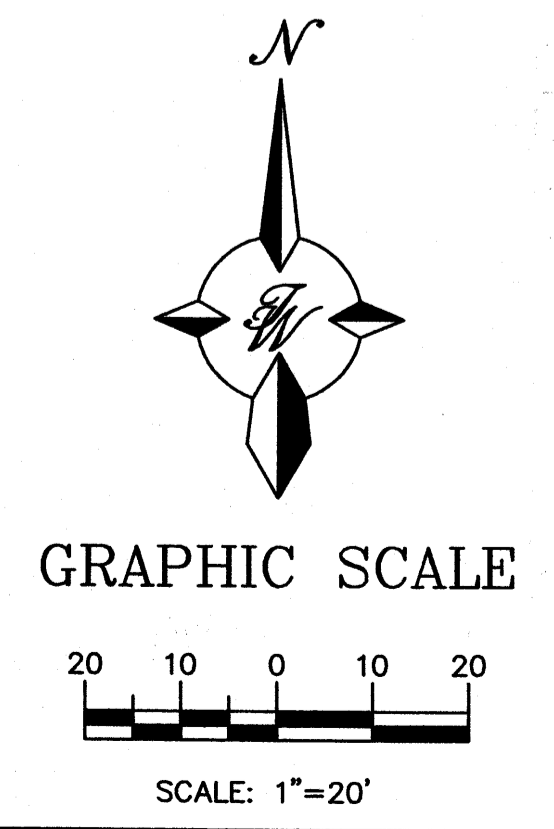
Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary  
12/16/03

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR SUBDIVISION
  - ~~C2. SITE PLAN FOR BUILDING PERMIT~~
  - ~~C3. LANDSCAPING PLAN~~
  - ~~C4. GRADING AND DRAINAGE PLAN~~
  - ~~C5. MASTER UTILITY PLAN~~
  - ~~C6. ELEVATIONS~~
  - ~~C7. ELEVATIONS~~
  - ~~C8. ELEVATIONS~~
  - ~~C9. DETAILS~~

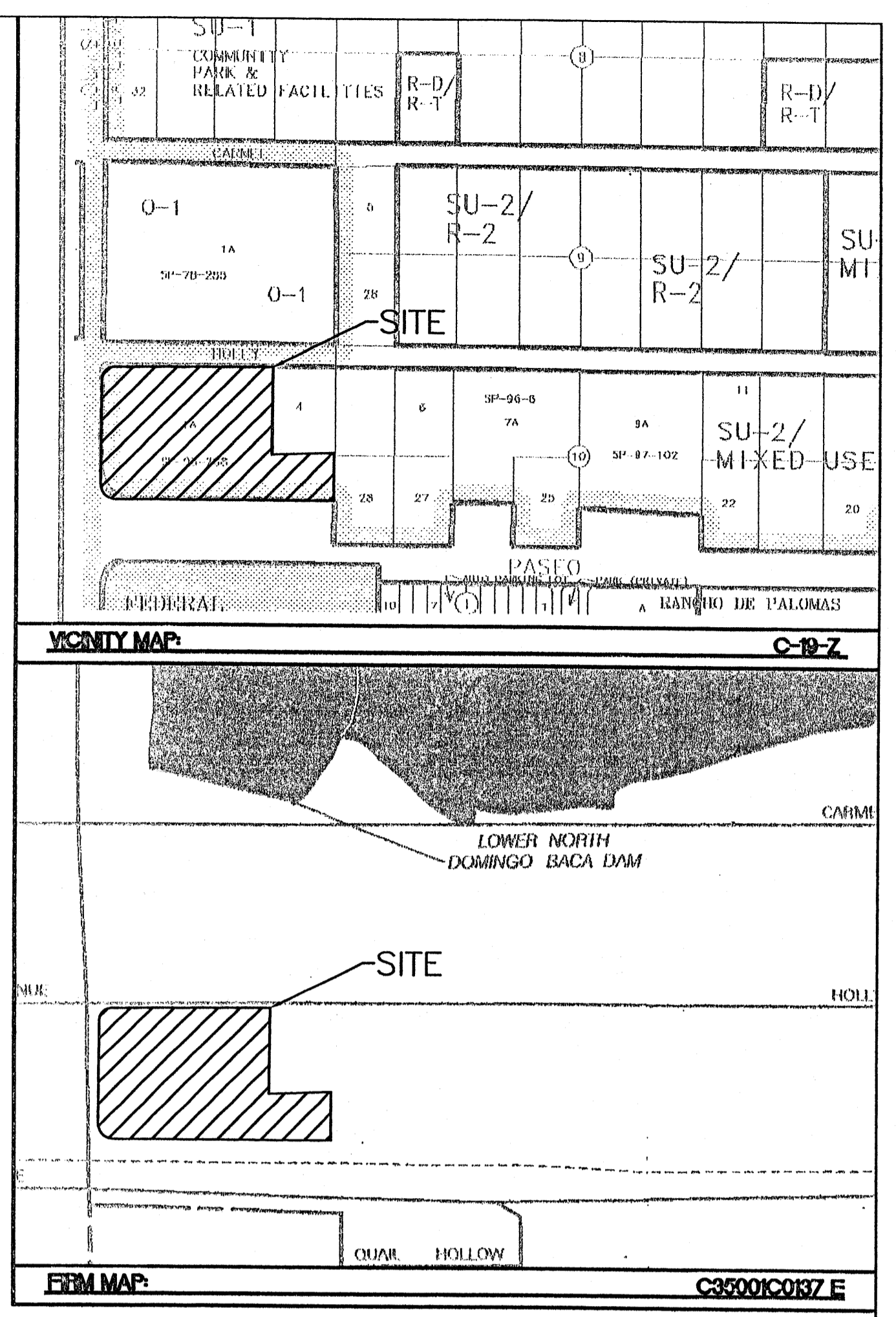
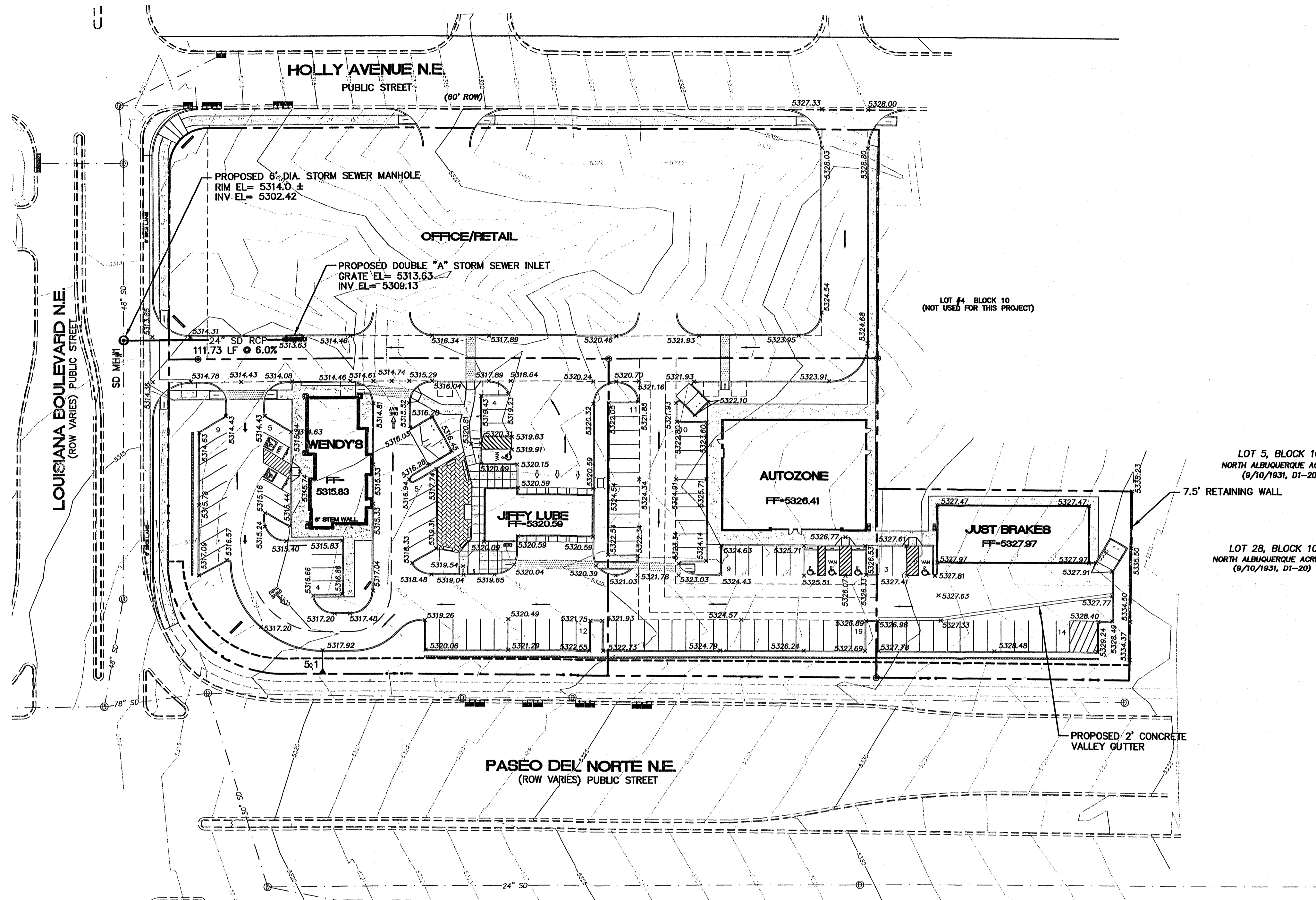
- GENERAL NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
  - ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACTS THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
  - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
  - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
  - LIGHT POLES SHALL BE A MAXIMUM OF 16' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 16' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
  - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
  - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
  - SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
  - BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED IN THE C2 ZONE OF THE COMPREHENSIVE CITY ZONING CODE.

SITE DATA TABLE		
	LOT 1-A-1A	LOT 1-A-1B
TOTAL ACREAGE:	1.002 AC.	.6018 AC.
EXISTING ZONING:	SU-2/MIXED USE	SU-2/MIXED USE
PROPOSED ZONING:	SU-2/MIXED USE	SU-2/MIXED USE
BUILDING SIZE:	N/A	N/A
MAX FAR:	.33	.33
PROPOSED USE:	RETAIL/CARWASH/GASOLINE SALES	OFFICE/RETAIL
TOTAL PARKING PROVIDED:	20	N/A
TOTAL PARKING REQUIRED:	20	N/A
HC PROVIDED:	2	N/A
HC REQUIRED:	1	N/A
BIKE SPACES PROVIDED:	4	N/A
BIKE SPACES REQUIRED:	1	N/A
MOTORCYCLE SPACES (MC):	1	N/A
BUILDING HEIGHT:	26'-4"	N/A
LANDSCAPE PROVIDED:	9617 SF	N/A
LANDSCAPE REQUIRED:	5947 SF	N/A
15% OF NET LOT AREA		



	<b>CIRCLE K</b>	DRAWN BY AB
	<b>SITE PLAN FOR SUBDIVISION</b>	DATE 06-01-05
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2467SPSE-06-01-05
		SHEET # C1
		JOB # 24067





**GENERAL NOTES:**

1. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.

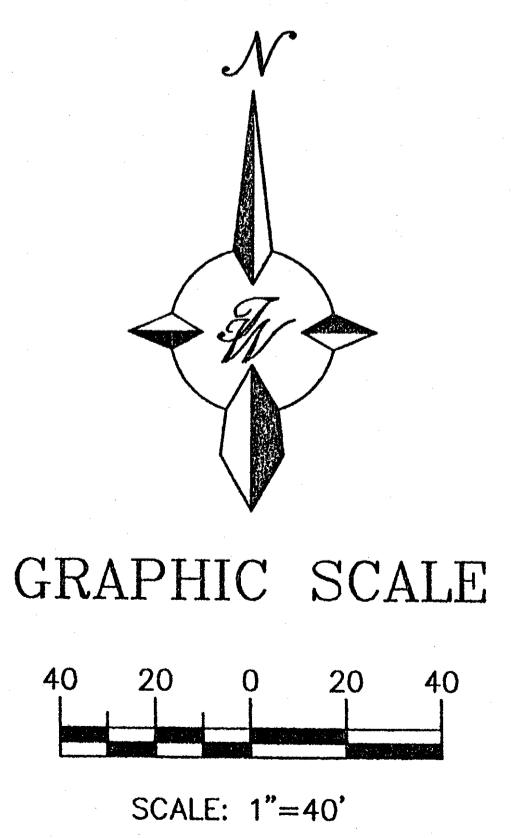
**LEGEND**

	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER DOUBLE "A" INLET
	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	NEW CURB
	FLOW ARROW
	PROPOSED SPOT ELEVATION
	PROPOSED VALLEY GUTTER
	PERMANENT STRIPING

**EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**

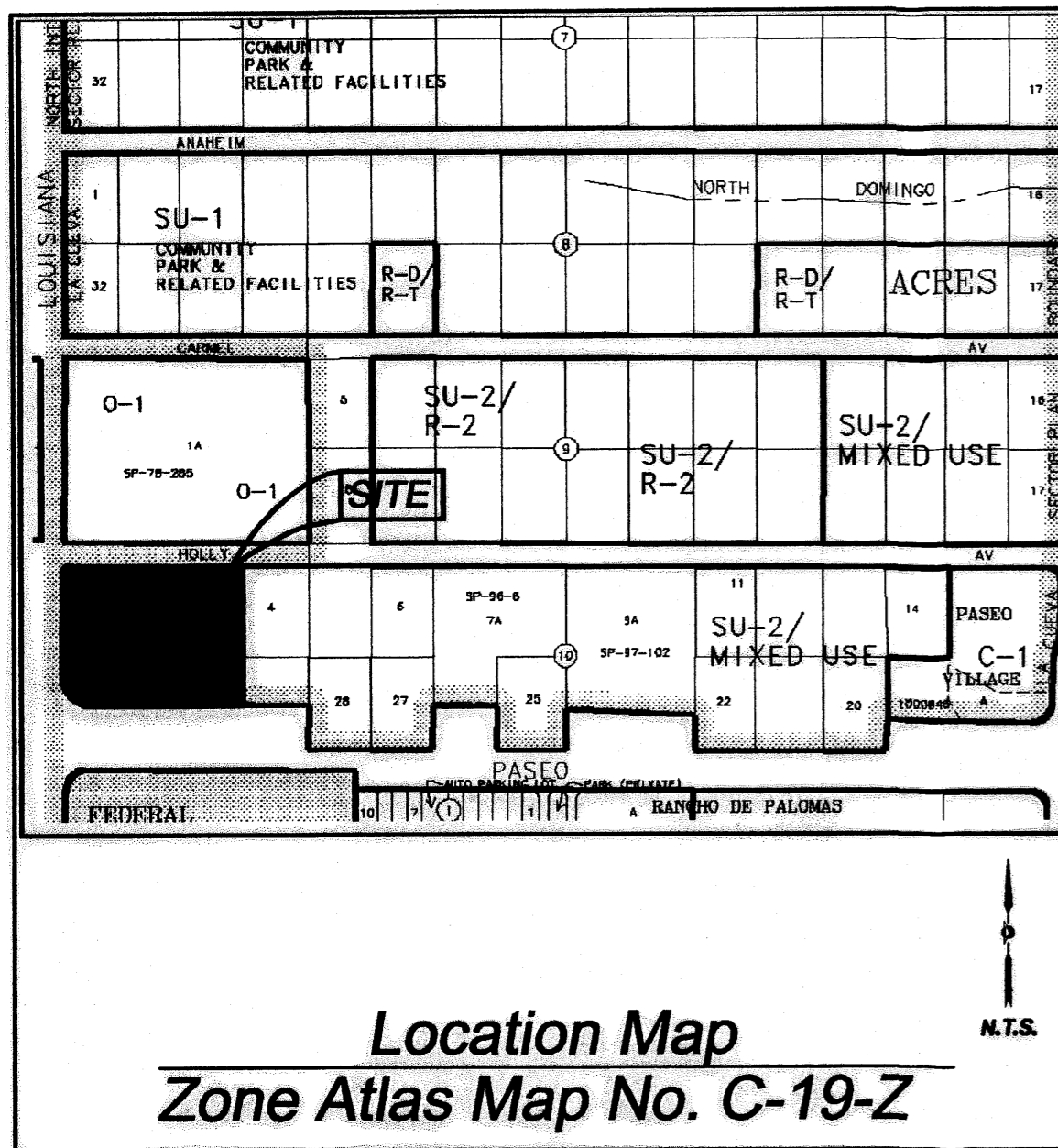
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



<b>ROUGH GRADING APPROVAL</b>		
ENGINEER'S SEAL 	<b>LOUISIANA/PASEO</b>	DRAWN BY AB
	<b>GRADING AND DRAINAGE PLAN</b>	DATE 9/14/04
	<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>C4</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 230073





RECORDING STAMP

Plat of  
 Lots 1-A-1-A, 1-A-2-A, and 1-A-3-A,  
 Block 10  
**North Albuquerque Acres**  
**Tract 2, Unit 3**  
 Albuquerque, Bernalillo County, New Mexico  
 June 2005

**Legal Description**

LOTS NUMBERED ONE-A-ONE (1-A-1), ONE-A-TWO (1-A-2) AND ONE-A-THREE (1-A-3), BLOCK NUMBERED TEN (10), NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 15, 2004, IN PLAT BOOK 2004C, FOLIO 328, CONTAINING 3.8387 ACRES, (165,648 SQUARE FEET) MORE OR LESS, NOW COMPRISING LOTS 1-A-1-A, 1-A-2-A, AND 1-A-3-A, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3.

Project No. 1003364

Application No. 05DRB-

Utility Approvals **PRELIMINARY PLAT APPROVED BY DRB**  
 ON 8/03/05 DATE

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
<b>City Approvals</b> <i>[Signature]</i>	<u>7-21-05</u> DATE
CITY SURVEYOR	DATE
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFGA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 3.8387 ACRES±  
 ZONE ATLAS INDEX NO: C-19-Z  
 NO. OF TRACTS CREATED: 0  
 NO. OF LOTS CREATED: 3  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: JULY 2004, FIELD VERIFIED MAY 2005.

**Notes:**

- MISC. DATA: ZONING SU-2/MIXED USE
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING THREE LOTS INTO THREE NEW LOTS, TO VACATE EASEMENTS AND TO GRANT EASEMENTS.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2005203722

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

*[Signature]*  
 TIM HAGSETT, PRESIDENT  
 DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION

7/14/05  
 DATE

**Acknowledgment**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11th DAY OF July, 2005 BY  
 TIM HAGSETT, PRESIDENT, DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION

BY *[Signature]* MY COMMISSION EXPIRES: 8-5-08  
 NOTARY PUBLIC



OFFICIAL SEAL  
 KAREN KLINE  
 NOTARY PUBLIC-STATE OF NEW MEXICO  
 My commission expires: 8-5-08

**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*[Signature]* 8/3/05  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993  
 DATE



**PRECISION SURVEYS, INC.**

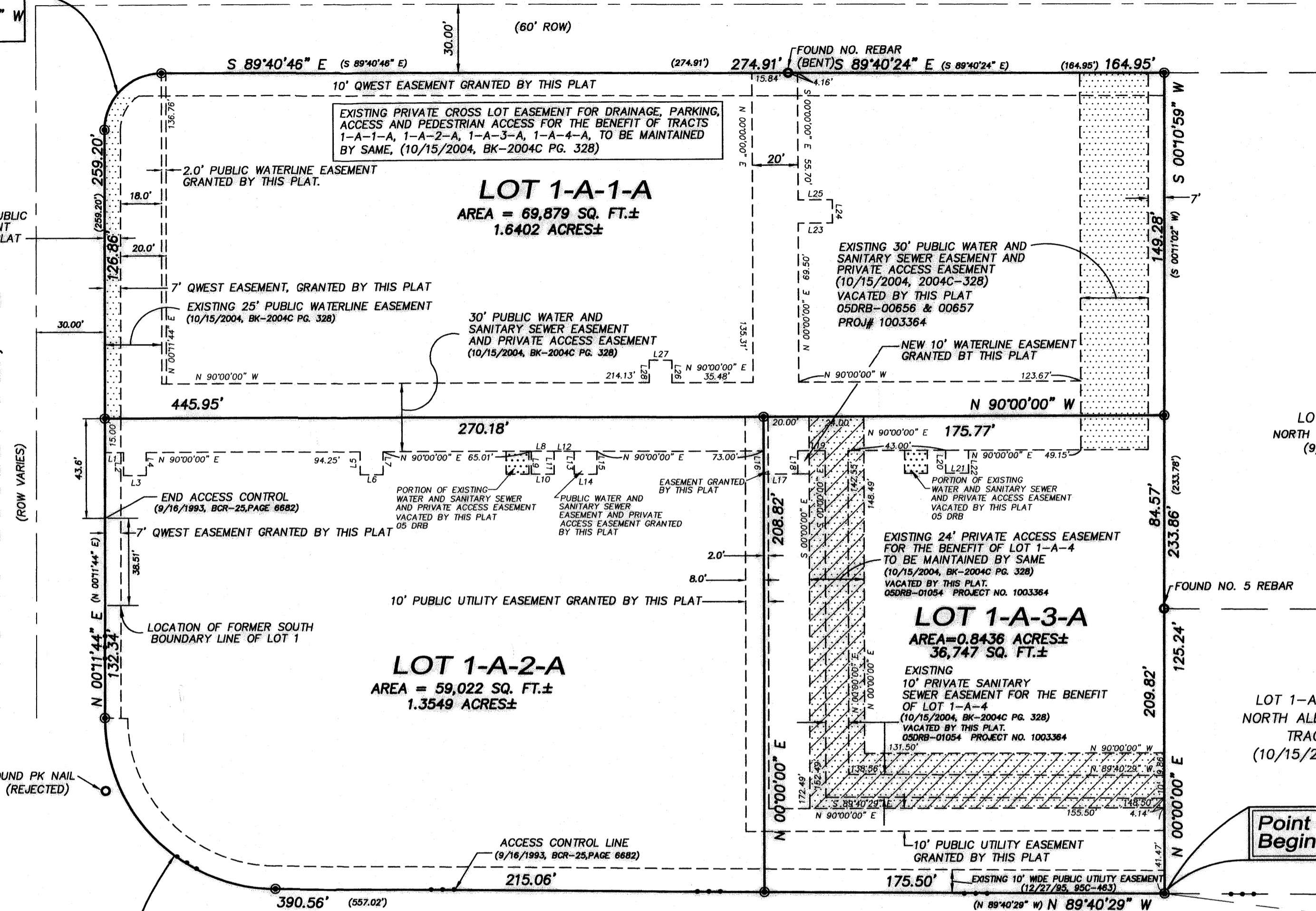
8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Plat of  
 Lots 1-A-1-A, 1-A-2-A, and 1-A-3-A  
 Block 10  
**North Albuquerque Acres**  
 Tract 2, Unit 3  
 Albuquerque, Bernalillo County, New Mexico  
 June 2005

R=25.00'  
 L=39.31'  
 Δ=90°05'50"  
 T=25.04'  
 CH=S 45°16'12" W  
 35.39'

HOLLY AVENUE, N.E.

LOUISIANA BOULEVARD, N.E.



7' WIDE EXISTING PUBLIC WATERLINE EASEMENT VACATED BY THIS PLAT  
 05 DRB-00867  
 PROJ# 1003364

2.0' PUBLIC WATERLINE EASEMENT GRANTED BY THIS PLAT.

EXISTING PRIVATE CROSS LOT EASEMENT FOR DRAINAGE, PARKING, ACCESS AND PEDESTRIAN ACCESS FOR THE BENEFIT OF TRACTS 1-A-1-A, 1-A-2-A, 1-A-3-A, 1-A-4-A, TO BE MAINTAINED BY SAME, (10/15/2004, BK-2004C PG. 328)

**LOT 1-A-1-A**  
 AREA = 69,879 SQ. FT.±  
 1.6402 ACRES±

EXISTING 30' PUBLIC WATER AND SANITARY SEWER EASEMENT AND PRIVATE ACCESS EASEMENT (10/15/2004, 2004C-328) VACATED BY THIS PLAT 05DRB-00866 & 00867 PROJ# 1003364

NEW 10' WATERLINE EASEMENT GRANTED BY THIS PLAT

EXISTING 25' PUBLIC WATERLINE EASEMENT (10/15/2004, BK-2004C PG. 328)

30' PUBLIC WATER AND SANITARY SEWER EASEMENT AND PRIVATE ACCESS EASEMENT (10/15/2004, BK-2004C PG. 328)

END ACCESS CONTROL (9/16/1993, BCR-25, PAGE 6682)

PORTION OF EXISTING WATER AND SANITARY SEWER AND PRIVATE ACCESS EASEMENT VACATED BY THIS PLAT 05 DRB

PUBLIC WATER AND SANITARY SEWER EASEMENT AND PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT

EXISTING 24' PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF LOT 1-A-4 TO BE MAINTAINED BY SAME (10/15/2004, BK-2004C PG. 328) VACATED BY THIS PLAT. 05DRB-01054 PROJECT NO. 1003364

**LOT 1-A-2-A**  
 AREA = 59,022 SQ. FT.±  
 1.3549 ACRES±

**LOT 1-A-3-A**  
 AREA = 0.8436 ACRES±  
 36,747 SQ. FT.±

EXISTING 10' PRIVATE SANITARY SEWER EASEMENT FOR THE BENEFIT OF LOT 1-A-4 (10/15/2004, BK-2004C PG. 328) VACATED BY THIS PLAT. 05DRB-01054 PROJECT NO. 1003364

LOT 1-A-4-A, BLOCK 10 NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3 (10/15/2004, 2004C-328)

N.G.S. MONUMENT "7-C19" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=410,171.36 Y=1,522,008.02 SPIRIT LEVEL EL.=5483.076 (NGVD 1929) GROUND TO GRID SCALE FACTOR=0.999647055 DELTA ALPHA ANGLE=NOT PUBLISHED

Point of Beginning

R=75.00'  
 L=117.64'  
 Δ=89°52'10"  
 T=74.83'  
 CH=N 44°44'14" W  
 105.95'

PASEO DEL NORTE, N.E. (NMP TPU-4054(3))  
 (ROW VARIES)

24' PRIVATE ACCESS, PRIVATE SANITARY SEWER, AND PRIVATE WATERLINE EASEMENT FOR THE BENEFIT OF LOT 1-A-4-A, TO BE MAINTAINED BY SAME, GRANTED BY THIS PLAT.

**Line Table**

LINE	BEARING	DISTANCE
L1	N 90°00'00" E	8.08'
L2	S 00°00'00" E	10.00'
L3	N 90°00'00" E	10.00'
L4	N 00°00'00" E	10.00'
L5	S 00°00'00" E	10.00'
L6	N 90°00'00" E	10.00'
L7	N 00°00'00" E	10.00'
L8	S 00°00'00" E	10.00'
L9	N 90°00'00" E	10.00'
L10	N 00°00'00" E	10.00'
L11	S 00°00'00" E	10.00'
L12	N 90°00'00" E	10.00'
L13	N 00°00'00" E	10.00'
L14	S 00°00'00" E	10.00'
L15	N 90°00'00" E	10.00'
L16	N 00°00'00" E	10.00'
L17	N 90°00'00" E	8.00'
L18	S 00°00'00" E	10.00'
L19	N 90°00'00" E	10.00'
L20	N 00°00'00" E	10.00'

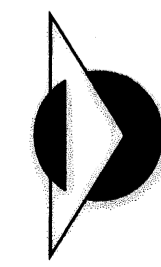
**Legend**

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET BY THIS SURVEY
- ACCESS CONTROL LINE

GRAPHIC SCALE



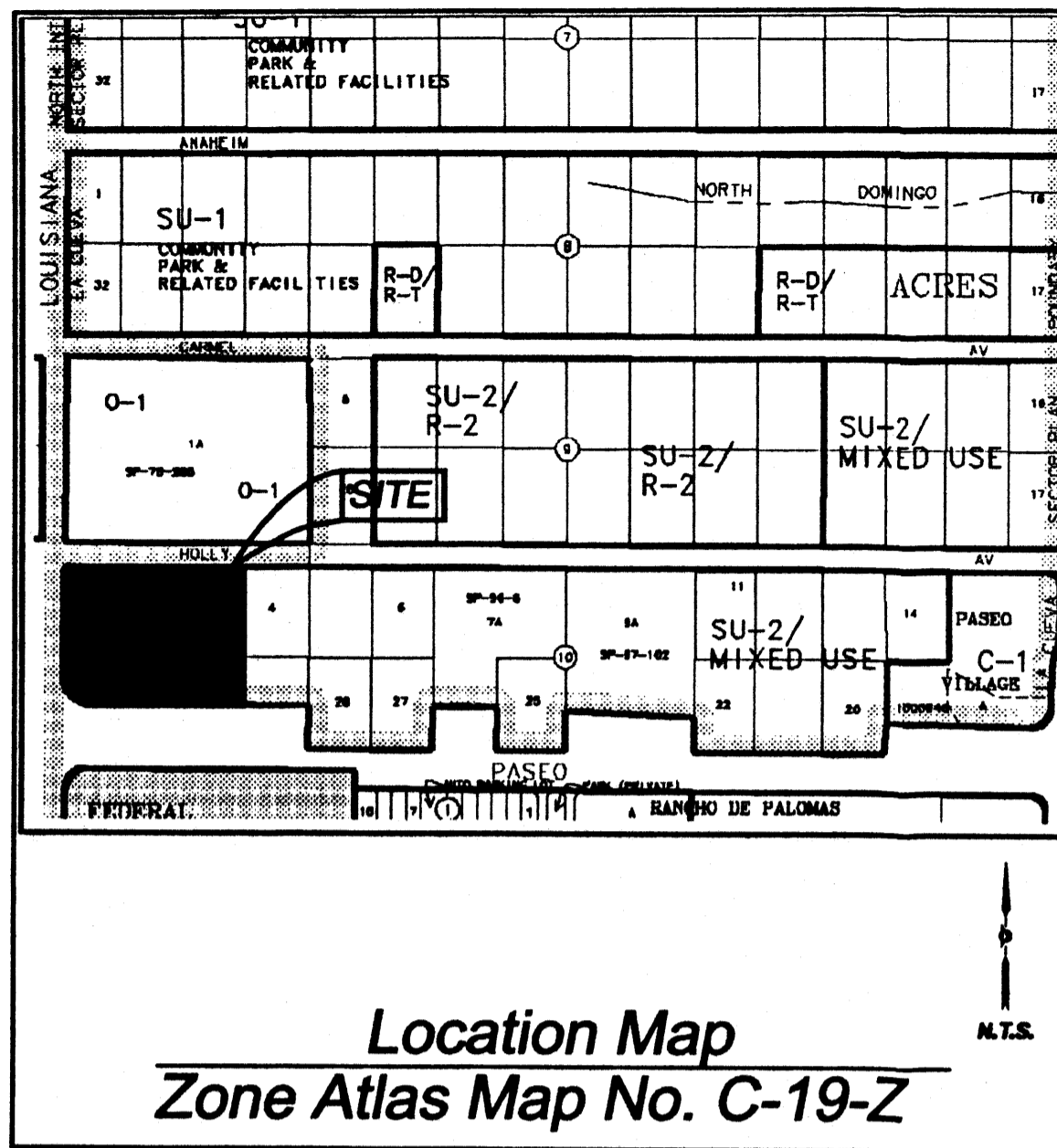
( IN FEET )  
 1 inch = 40 ft.



**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900





Location Map  
Zone Atlas Map No. C-19-Z

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 3.8387 ACRES±  
 ZONE ATLAS INDEX NO: C-19-Z  
 NO. OF TRACTS CREATED: 0  
 NO. OF LOTS CREATED: 3  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: JULY 2004, FIELD VERIFIED MAY 2005.

**Notes:**

- MISC. DATA: ZONING SU-2/MIXED USE
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
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- THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING THREE LOTS INTO THREE NEW LOTS, TO VACATE EASEMENTS AND TO GRANT EASEMENTS.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2005203722.

**Easements**

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PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DO NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



**Legal Description**

LOTS NUMBERED ONE-A-ONE (1-A-1), ONE-A-TWO (1-A-2) AND ONE-A-THREE (1-A-3), BLOCK NUMBERED TEN (10), NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 15, 2004, IN PLAT BOOK 2004C, FOLIO 328, CONTAINING 3.8387 ACRES, (165,648 SQUARE FEET) MORE OR LESS, NOW COMPRISING LOTS 1-A-1-A, 1-A-2-A, AND 1-A-3-A, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3.

Plat of  
 Lots 1-A-1-A, 1-A-2-A, and 1-A-3-A,  
 Block 10  
 North Albuquerque Acres  
 Tract 2, Unit 3  
 Albuquerque, Bernalillo County, New Mexico  
 June 2005

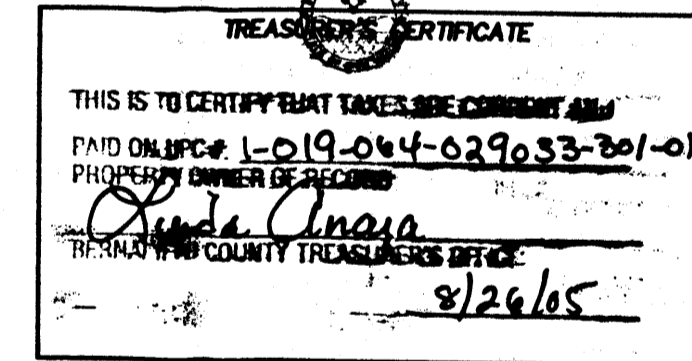
Project No. 1003364  
 Application No. 05DRB-01210

**Utility Approvals**

PNM ELECTRIC SERVICES	8-24-05
PNM GAS SERVICES	8-24-05
QWEST TELECOMMUNICATIONS	8-24-05
COMCAST	8-24-05

**City Approvals**

CITY SURVEYOR	7-21-05
TRANSPORTATION DIVISION	8-3-05
UTILITY DEVELOPMENT	8-3-05
PARKS AND RECREATION DEPARTMENT	8/3/05
AMAFCA	8/3/05
CITY ENGINEER	8/26/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	8/26/05



**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO 8/7/05  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

TIM HAGSETT, PRESIDENT  
 DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION

**Acknowledgment**

STATE OF NEW MEXICO ) SS.  
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11th DAY OF July, 2005 BY TIM HAGSETT, PRESIDENT, DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION

BY Karen Kline MY COMMISSION EXPIRES: 8-5-08  
 NOTARY PUBLIC



OFFICIAL SEAL  
 KAREN KLINE  
 NOTARY PUBLIC-STATE OF NEW MEXICO  
 My commission expires: 8-5-08

Plat of  
 Lots 1-A-1-A, 1-A-2-A, and 1-A-3-A  
 Block 10  
 North Albuquerque Acres  
 Tract 2, Unit 3  
 Albuquerque, Bernalillo County, New Mexico  
 June 2005

2885125872  
 53e11g1  
 Page: 2 of 3  
 88/28/2885 61:15P  
 Mary Herrera Bern. Co. PLRT R 17.88 BK-2885C Pg-289

R=25.00'  
 L=39.31'  
 Δ=90°05'50"  
 T=25.04'  
 CH=S 45°16'12" W  
 35.39'

LOUISIANA BOULEVARD, N.E.  
 (ROW VARIES)

HOLLY AVENUE, N.E.

PASEO DEL NORTE, N.E. (NMP TPU-4054(3))  
 (ROW VARIES)

LOT 1-A-1-A  
 AREA = 69,879 SQ. FT.±  
 1.6402 ACRES±

LOT 1-A-2-A  
 AREA = 59,021 SQ. FT.±  
 1.3549 ACRES±

LOT 1-A-3-A  
 AREA = 0.8436 ACRES±  
 36,747 SQ. FT.±

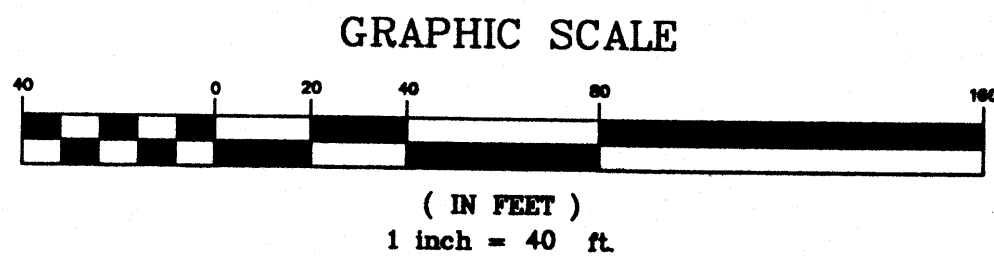
LOT 4, BLOCK 10  
 NORTH ALBUQUERQUE ACRES  
 (9/10/1931, D1-20)

LOT 1-A-4-A, BLOCK 10  
 NORTH ALBUQUERQUE ACRES  
 TRACT 2, UNIT 3  
 (10/15/2004, 2004C-328)

Line Table

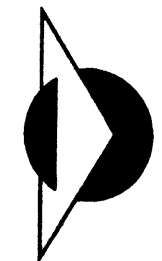
LINE	BEARING	DISTANCE
L1	N 90°00'00" E	8.08'
L2	S 00°00'00" E	10.00'
L3	N 90°00'00" E	10.00'
L4	N 00°00'00" E	10.00'
L5	S 00°00'00" E	10.00'
L6	N 90°00'00" W	10.00'
L7	S 00°00'00" E	10.00'
L8	N 90°00'00" E	1.03'
L9	S 00°00'00" E	10.01'
L10	N 90°00'00" W	10.00'
L11	S 00°00'00" E	10.01'
L12	N 90°00'00" W	8.83'
L13	N 00°00'00" E	10.00'
L14	N 90°00'00" W	10.00'
L15	S 00°00'00" E	10.00'
L16	N 00°00'00" E	10.05'
L17	N 90°00'00" E	15.00'
L18	S 00°00'00" E	10.05'
L19	N 90°00'00" W	12.00'
L20	N 00°00'00" E	10.00'
L21	N 90°00'00" W	10.00'
L22	S 00°00'00" E	10.00'
L23	N 90°00'00" E	10.00'
L24	S 00°00'00" E	10.00'
L25	N 90°00'00" E	10.00'
L26	S 00°00'00" E	9.95'
L27	N 90°00'00" E	10.00'
L28	N 00°00'00" E	9.95'
L29	N 24°27'24" W	73.12'
L30	S 56°17'46" E	12.26'
L31	N 77°21'48" W	60.97'
L32	N 84°27'21" E	48.90'
L33	S 89°22'54" E	69.89'
L34	N 88°48'32" E	41.19'
L35	S 89°15'55" E	37.15'
L36	N 89°58'49" E	52.61'
L37	S 86°56'21" E	33.61'
L38	S 87°26'20" E	65.64'
L39	S 88°11'59" E	10.29'

R=75.00'  
 L=117.64'  
 Δ=89°52'10"  
 T=74.83'  
 CH=N 44°44'14" W  
 105.95'



Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR W/ YELLOW PLASTIC CAP "PS 11883" SET BY THIS SURVEY
- ACCESS CONTROL LINE



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

N.G.S. MONUMENT "7-C19"  
 STANDARD U.S.C. & G.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=410,171.38  
 Y=1,522,008.02  
 SPIRIT LEVEL EL.=5483.078 (NGVD 1929)  
 GROUND TO GRID SCALE FACTOR=0.999847055  
 DELTA ALPHA ANGLE=NOT PUBLISHED

N.G.S. MONUMENT "HEAVEN"  
 STANDARD U.S.C. & G.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=407,051.31  
 Y=1,518,737.03  
 SPIRIT LEVEL EL.=5375.82 (NGVD 1929)  
 GROUND TO GRID SCALE FACTOR=0.99985283  
 DELTA ALPHA ANGLE=010'45"



Plat of  
 Lots 1-A-1-A, 1-A-2-A, and 1-A-3-A  
 Block 10  
 North Albuquerque Acres  
 Tract 2, Unit 3  
 Albuquerque, Bernalillo County, New Mexico  
 June 2005



R=25.00'  
 L=39.31'  
 Δ=90°05'50"  
 T=25.04'  
 CH=S 45°16'12" W  
 35.39'

HOLLY AVENUE, N.E.  
 (60' ROW)

LOUISIANA BOULEVARD, N.E.  
 (ROW VARIES)

**LOT 1-A-1-A**  
 AREA = 69,879 SQ. FT.±  
 1.6402 ACRES±

**LOT 1-A-3-A**  
 AREA=0.8436 ACRES±  
 36,747 SQ. FT.±

**LOT 1-A-2-A**  
 AREA = 59,021 SQ. FT.±  
 1.3549 ACRES±

LOT 1-A-4-A, BLOCK 10  
 NORTH ALBUQUERQUE ACRES  
 TRACT 2, UNIT 3  
 (10/15/2004, 2004C-32B)

N.G.S. MONUMENT "7-C19"  
 STANDARD U.S.C. & G.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=410,171.38  
 Y=1,522,008.02  
 SPIRIT LEVEL EL=5483.078 (NGVD 1929)  
 GROUND TO GRID SCALE FACTOR=0.999647056  
 DELTA ALPHA ANGLE=NOT PUBLISHED

N.G.S. MONUMENT "HEAVEN"  
 STANDARD U.S.C. & G.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=407,051.31  
 Y=1,518,737.03  
 SPIRIT LEVEL EL=5375.82 (NGVD 1929)  
 GROUND TO GRID SCALE FACTOR=0.99985283  
 DELTA ALPHA ANGLE=-01°45'

**Line Table**

LINE	BEARING	DISTANCE
L1	N 90°00'00" E	8.08'
L2	S 00°00'00" E	10.00'
L3	N 90°00'00" E	10.00'
L4	N 00°00'00" E	10.00'
L5	S 00°00'00" E	10.00'
L6	N 90°00'00" W	10.00'
L7	S 00°00'00" E	10.00'
L8	N 90°00'00" E	1.03'
L9	S 00°00'00" E	10.01'
L10	N 90°00'00" W	10.00'
L11	S 00°00'00" E	10.01'
L12	N 90°00'00" W	8.83'
L13	N 00°00'00" E	10.00'
L14	N 90°00'00" W	10.00'
L15	S 00°00'00" E	10.00'
L16	N 00°00'00" E	10.05'
L17	N 90°00'00" E	15.00'
L18	S 00°00'00" E	10.05'
L19	N 90°00'00" W	12.00'
L20	N 00°00'00" E	10.00'
L21	N 90°00'00" W	10.00'
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L26	S 00°00'00" E	9.95'
L27	N 90°00'00" E	10.00'
L28	N 00°00'00" E	9.95'
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L30	S 56°17'46" E	12.26'
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L32	N 84°27'21" E	48.90'
L33	S 89°22'54" E	69.69'
L34	N 88°48'32" E	41.19'
L35	S 89°15'55" E	37.15'
L36	N 89°58'49" E	52.61'
L37	S 86°56'21" E	33.61'
L38	S 87°26'20" E	65.64'

R=75.00'  
 L=117.64'  
 Δ=89°52'10"  
 T=74.83'  
 CH=N 44°44'14" W  
 105.95'

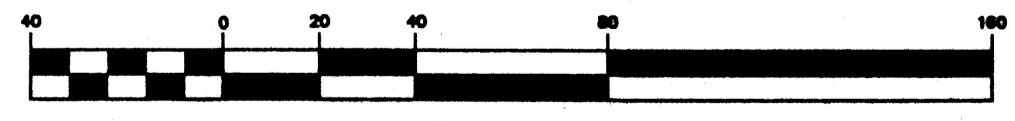
PASEO DEL NORTE, N.E. (NMP TPU-4054(3))  
 (ROW VARIES)

Point of Beginning

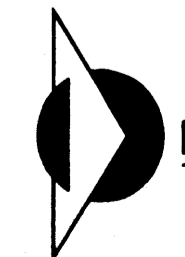
**Legend**

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR W/ YELLOW PLASTIC CAP "PS 11883" SET BY THIS SURVEY
- ACCESS CONTROL LINE

**GRAPHIC SCALE**



( IN FEET )  
 1 inch = 40 ft.



**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



VACATION EXHIBIT  
 Plat of  
 Lots 1-A-1, 1-A-2, 1-A-3, 1-A-4  
 and 1-A-5, Block 10  
 North Albuquerque Acres  
 Tract 2, Unit 3  
 Albuquerque, Bernalillo County, New Mexico  
 September 2004

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 6158876  
 Page: 2 of 2  
 18/15/2004 09:45A  
 Bk-2004C Pg-328

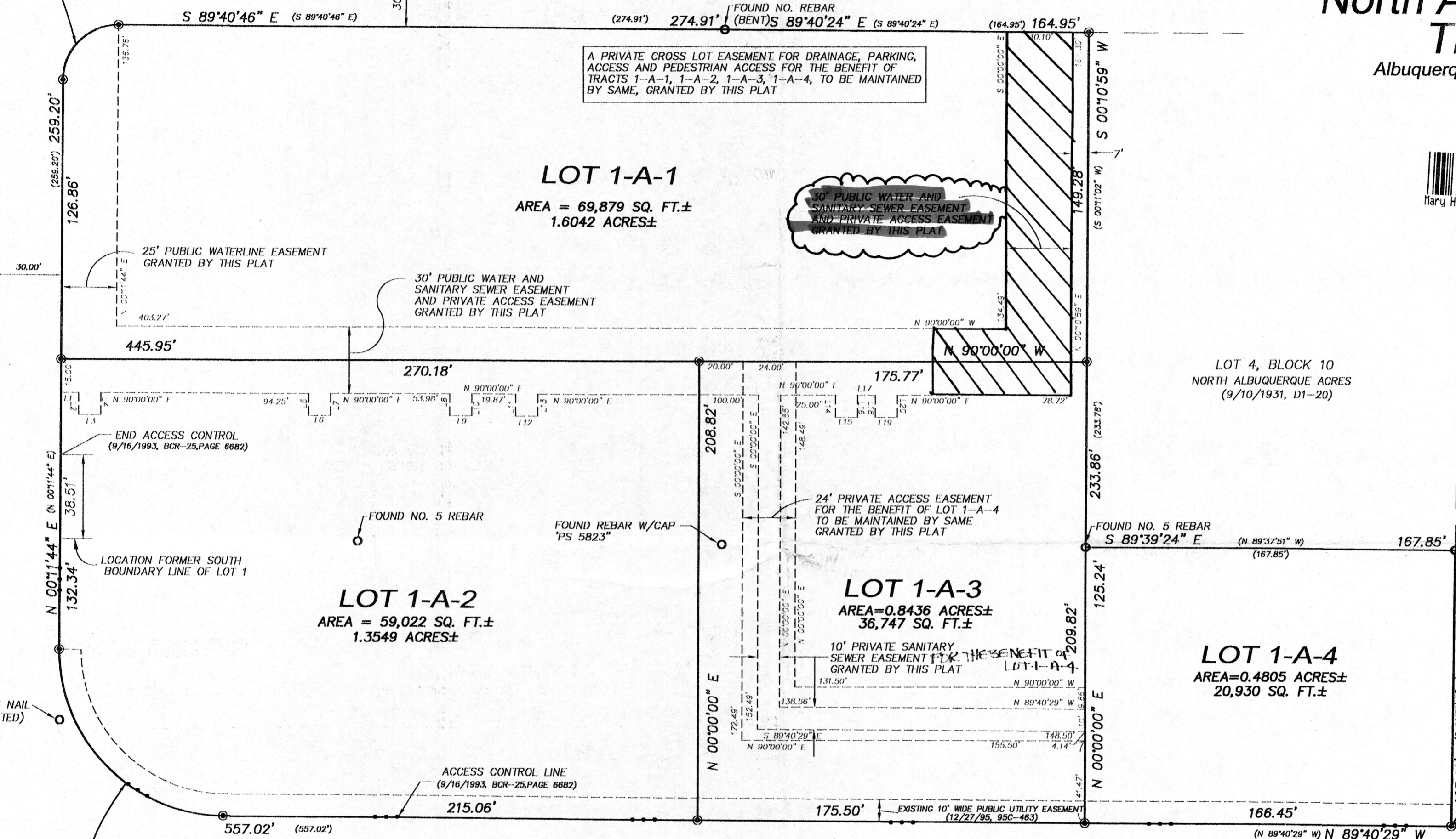
EXHIBIT B  
 Date 5/11/05

R=25.00'  
 L=39.31'  
 Δ=90°05'50"  
 T=25.04'  
 CH=S 45°16'12" W  
 35.39'

LOUISIANA BOULEVARD, N.E.  
 (ROW VARIES)

HOLLY AVENUE, N.E.

(60' ROW)



R=75.00'  
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 Δ=89°52'10"  
 T=74.83'  
 CH=N 44°44'14" W  
 105.95'

PASEO DEL NORTE, N.E. (NMP TPU-4054(3))  
 (ROW VARIES)

N.G.S. MONUMENT "7-C19"  
 STANDARD U.S.C. & G.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=410,171.36  
 Y=1,522,005.02  
 SPIRIT LEVEL EL.=5483.076 (NGVD 1929)  
 GROUND TO GRID SCALE FACTOR=0.998647055  
 DELTA ALPHA ANGLE=

N.G.S. MONUMENT "HEAVEN"  
 STANDARD U.S.C. & G.S. BRASS TABLET  
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 (CENTRAL ZONE-N.A.D. 1927)  
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 Y=1,518,737.03  
 SPIRIT LEVEL EL.=5375.82 (NGVD 1929)  
 GROUND TO GRID SCALE FACTOR=0.99865263  
 DELTA ALPHA ANGLE=-0°10'45"

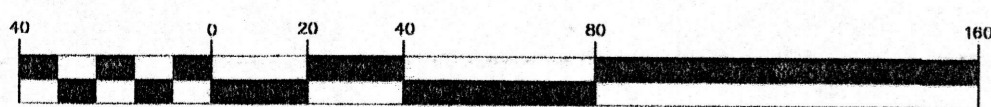
Line Table

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L3	N 90°00'00" E	10.00'
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L10	N 00°00'00" E	10.00'
L11	S 00°00'00" E	10.00'
L12	N 90°00'00" E	10.00'
L13	N 00°00'00" E	10.00'
L14	S 00°00'00" E	10.00'
L15	N 90°00'00" E	10.00'
L16	N 00°00'00" E	10.00'
L17	N 90°00'00" E	8.00'
L18	S 00°00'00" E	10.00'
L19	N 90°00'00" E	10.00'
L20	N 00°00'00" E	10.00'

Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET BY THIS SURVEY
- ACCESS CONTROL LINE

GRAPHIC SCALE



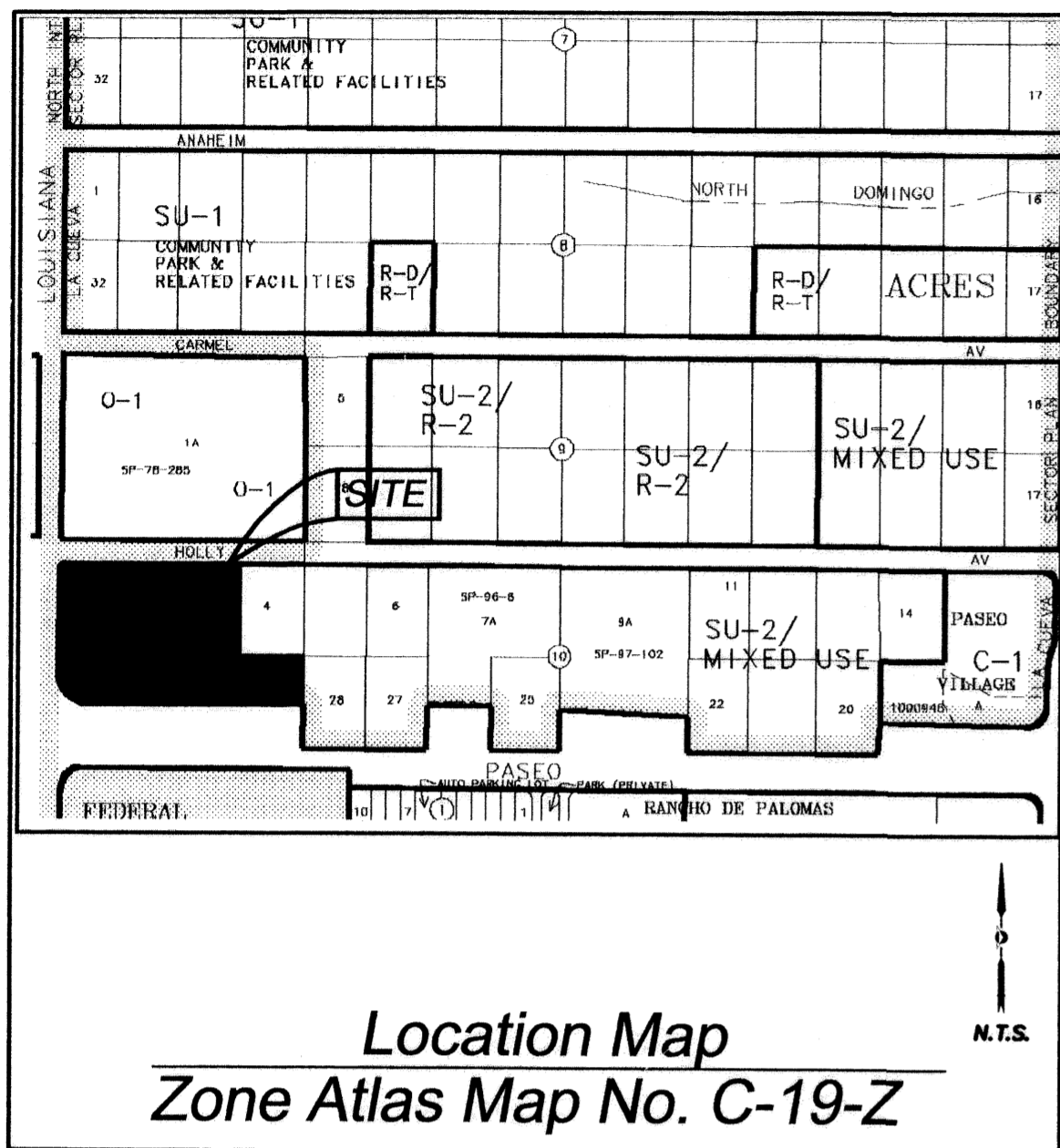
( IN FEET )  
 1 inch = 40 ft.



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900





Location Map  
Zone Atlas Map No. C-19-Z

**Subdivision Data:**

GROSS SUBDIVISION ACRES: 4.2833 ACRES±  
 ZONE ATLAS INDEX NO: C-19-Z  
 NO. OF TRACTS CREATED: 0  
 NO. OF LOTS CREATED: 4  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: JULY 2004

**Notes:**

- MISC. DATA: ZONING SU-2/MIXED USE
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE LOT INTO FOUR NEW LOTS, AND TO GRANT EASEMENTS.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2003340073.

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



**Legal Description**

LOT NUMBERED ONE-A (1-A), BLOCK NUMBERED TEN (10), NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, A SUBDIVISION IN ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING A REPLAT OF LOTS 1-3, INCLUSIVE AND 29-32, INCLUSIVE, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 27, 1995, IN PLAT BOOK 95C, FOLIO 463.

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED LOT, SAID POINT LYING ON THE NORTH RIGHT-OF-WAY LINE OF PASEO DEL NORTE, N.E., FROM WHENCE A TIE TO THE NATIONAL GEODETIC SURVEY MONUMENT "HEAVEN" BEARS S 81°40'29" E, A DISTANCE OF 1490.35 FEET, SAID MONUMENT HAVING NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE, NORTH AMERICAN DATUM OF 1927) OF X=407,051.31, Y=1,518,737.03, (U.S. SURVEY FOOT), A DELTA ALPHA ANGLE OF -0°10'45" AND A GROUND TO GRID FACTOR OF 0.99965263;

THENCE, FROM SAID POINT OF BEGINNING ALONG SAID NORTH RIGHT OF WAY LINE, N 89°40'29" W A DISTANCE OF 557.02 FEET TO A POINT OF CURVATURE;

THENCE, LEAVING SAID NORTH RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 117.64 FEET, A RADIUS OF 75.00 FEET, A CHORD BEARING OF N 44°44'14" W, A DISTANCE OF 105.95 FEET, AND A DELTA ANGLE OF 89°52'10", TO A POINT OF TANGENCY, SAID POINT LYING ON THE EAST RIGHT OF WAY LINE OF LOUISIANA BOULEVARD, NE; MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"

THENCE, ALONG SAID EAST RIGHT OF WAY LINE, N 00°11'44" E A DISTANCE OF 259.20 FEET TO A POINT OF CURVATURE; MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"

THENCE, LEAVING SAID EAST RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 39.31 FEET, A RADIUS OF 25.00 FEET, A CHORD BEARING OF N 45°16'12" E, A DISTANCE OF 35.39 FEET, AND A DELTA ANGLE OF 90°05'50", TO A POINT OF TANGENCY LYING ON THE SOUTH RIGHT OF WAY LINE OF HOLLY AVENUE, N.E.; MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "LS 11993"

THENCE, THE FOLLOWING TWO CALLS LYING ALONG SAID SOUTH RIGHT OF WAY LINE, S 89°40'46" E, A DISTANCE OF 274.91 FEET TO AN ANGLE POINT MARKED BY A FOUND 1/2" REBAR (BENT);

THENCE S 89°40'24" E, A DISTANCE OF 164.95 FEET TO THE NORTHEAST CORNER OF DESCRIBED LOT AN ANGLE POINT MARKED BY A SET REBAR WITH CAP STAMPED "PS 11993";

THENCE, LEAVING SAID SOUTH RIGHT OF WAY LINE, S 00°10'59" W A DISTANCE OF 233.86 FEET TO AN ANGLE POINT MARKED BY A FOUND 3/4" REBAR;

THENCE S 89°39'24" E, A DISTANCE OF 167.85 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW CAP STAMPED "PS 10856";

THENCE S 00°38'13" W, A DISTANCE OF 125.19 FEET THE POINT OF BEGINNING, HAVING AN AREA OF 4.2833 ACRES, (186580 SQUARE FEET), MORE OR LESS.

**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

*Tim Hogsett*  
 TIM HOGSETT, PRESIDENT  
 DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION  
 9/9/04  
 DATE

**Acknowledgment**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 9th DAY OF SEPTEMBER, 2004 BY  
 TIM HOGSETT, PRESIDENT, DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION

BY *Karen Kline* MY COMMISSION EXPIRES: AUGUST 5, 2008  
 NOTARY PUBLIC



OFFICIAL SEAL  
 KAREN KLINE  
 NOTARY PUBLIC-STATE OF NEW MEXICO  
 My commission expires: 8.5.08

Plat of  
 Lots 1-A-1, 1-A-2, 1-A-3, and  
 1-A-4 Block 10  
 North Albuquerque Acres  
 Tract 2, Unit 3  
 Albuquerque, Bernalillo County, New Mexico  
 September 2004

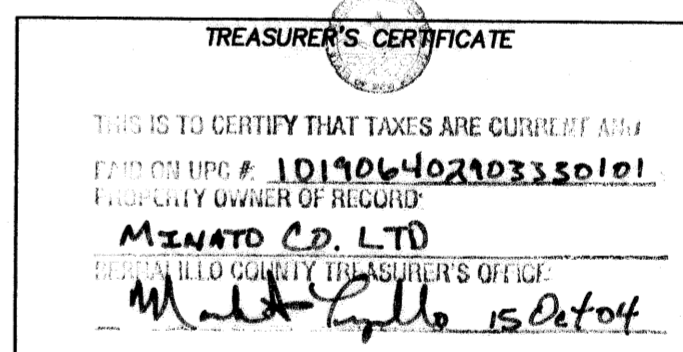
Project No. 1003364  
 Application No. 04DRB-01409

**Utility Approvals**

<i>Leon D. Mante</i>	10-13-04
PNM ELECTRIC SERVICES	DATE
<i>Leon D. Mante</i>	10-13-04
PNM GAS SERVICES	DATE
<i>Steve Anderson</i>	10-13-04
QWEST TELECOMMUNICATIONS	DATE
<i>Rita E. Sider</i>	10/11/04
COMCAST	DATE

**City Approvals**

<i>J. B. Faul</i>	9-10-04
CITY SURVEYOR	DATE
<i>John A. ...</i>	10-6-04
TRAFFIC ENGINEERING & TRANSPORTATION DIVISION	DATE
<i>Roger A. Sheen</i>	10/6/04
UTILITY DEVELOPMENT	DATE
<i>Christina Sandoval</i>	10/6/04
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley D. Bunyan</i>	10/6/04
AMAFCA	DATE
<i>Bradley D. Bunyan</i>	10/6/04
CITY ENGINEER	DATE
<i>Sheran Watson</i>	10/6/04
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



**Surveyor's Certificate**  
 I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*Larry W. Medrano* 09/08/04  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993  
 DATE



**PRECISION SURVEYS, INC.**  
 8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Plat of  
 Lots 1-A-1, 1-A-2, 1-A-3, 1-A-4  
 and 1-A-5, Block 10  
**North Albuquerque Acres  
 Tract 2, Unit 3**  
 Albuquerque, Bernalillo County, New Mexico  
 September 2004

2804145373  
 6158878  
 Page: 2 of 2  
 18/15/2004 09:45R  
 Bk-2804C Pg-328

R=25.00'  
 L=39.31'  
 $\Delta=90^{\circ}05'50''$   
 T=25.04'  
 CH=S 45°16'12" W  
 35.39'

LOUISIANA BOULEVARD, N.E.  
 (ROW VARIES)

HOLLY AVENUE, N.E.

(60' ROW)

FOUND NO. REBAR  
 (BENT) S 89°40'24" E (S 89°40'24" E)  
 (274.91') 274.91' (164.95') 164.95'

A PRIVATE CROSS LOT EASEMENT FOR DRAINAGE, PARKING,  
 ACCESS AND PEDESTRIAN ACCESS FOR THE BENEFIT OF  
 TRACTS 1-A-1, 1-A-2, 1-A-3, 1-A-4, TO BE MAINTAINED  
 BY SAME, GRANTED BY THIS PLAT

**LOT 1-A-1**  
 AREA = 69,879 SQ. FT.±  
 1.6042 ACRES±

30' PUBLIC WATER AND  
 SANITARY SEWER EASEMENT  
 AND PRIVATE ACCESS EASEMENT  
 GRANTED BY THIS PLAT

25' PUBLIC WATERLINE EASEMENT  
 GRANTED BY THIS PLAT

30' PUBLIC WATER AND  
 SANITARY SEWER EASEMENT  
 AND PRIVATE ACCESS EASEMENT  
 GRANTED BY THIS PLAT

LOT 4, BLOCK 10  
 NORTH ALBUQUERQUE ACRES  
 (9/10/1931, D1-20)

24' PRIVATE ACCESS EASEMENT  
 FOR THE BENEFIT OF LOT 1-A-4  
 TO BE MAINTAINED BY SAME  
 GRANTED BY THIS PLAT

LOT 5, BLOCK 10  
 NORTH ALBUQUERQUE ACRES  
 (9/10/1931, D1-20)

**LOT 1-A-2**  
 AREA = 59,022 SQ. FT.±  
 1.3549 ACRES±

**LOT 1-A-3**  
 AREA=0.8436 ACRES±  
 36,747 SQ. FT.±

**LOT 1-A-4**  
 AREA=0.4805 ACRES±  
 20,930 SQ. FT.±

N.G.S. MONUMENT "7-619"  
 STANDARD U.S.C. & G.S. BRASS TABLE  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=410,171.36  
 Y=1,522,006.02  
 SPIRIT LEVEL EL.=5483.076 (NGVD 1929)  
 GROUND TO GRID SCALE FACTOR=0.999647055  
 DELTA ALPHA ANGLE=

LOT 28, BLOCK 10  
 NORTH ALBUQUERQUE ACRES  
 (9/10/1931, D1-20)

Point of Beginning

PASEO DEL NORTE, N.E. (NMP TPU-4054(3))  
 (ROW VARIES)

R=75.00'  
 L=117.64'  
 $\Delta=89^{\circ}52'10''$   
 T=74.83'  
 CH=N 44°44'14" W  
 105.95'

**Line Table**

LINE	BEARING	DISTANCE
L1	N 90°00'00" E	8.08'
L2	S 00°00'00" E	10.00'
L3	N 90°00'00" E	10.00'
L4	N 00°00'00" E	10.00'
L5	S 00°00'00" E	10.00'
L6	N 90°00'00" E	10.00'
L7	N 00°00'00" E	10.00'
L8	S 00°00'00" E	10.00'
L9	N 90°00'00" E	10.00'
L10	N 00°00'00" E	10.00'
L11	S 00°00'00" E	10.00'
L12	N 90°00'00" E	10.00'
L13	N 00°00'00" E	10.00'
L14	S 00°00'00" E	10.00'
L15	N 90°00'00" E	10.00'
L16	N 00°00'00" E	10.00'
L17	N 90°00'00" E	8.00'
L18	S 00°00'00" E	10.00'
L19	N 90°00'00" E	10.00'
L20	N 00°00'00" E	10.00'

**Legend**

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET BY THIS SURVEY
- ACCESS CONTROL LINE

N.G.S. MONUMENT "HEAVEN"  
 STANDARD U.S.C. & G.S. BRASS TABLE  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=407,051.31  
 Y=1,518,737.03  
 SPIRIT LEVEL EL.=5375.62 (NGVD 1929)  
 GROUND TO GRID SCALE FACTOR=0.99965263  
 DELTA ALPHA ANGLE=-0°10'45"

GRAPHIC SCALE



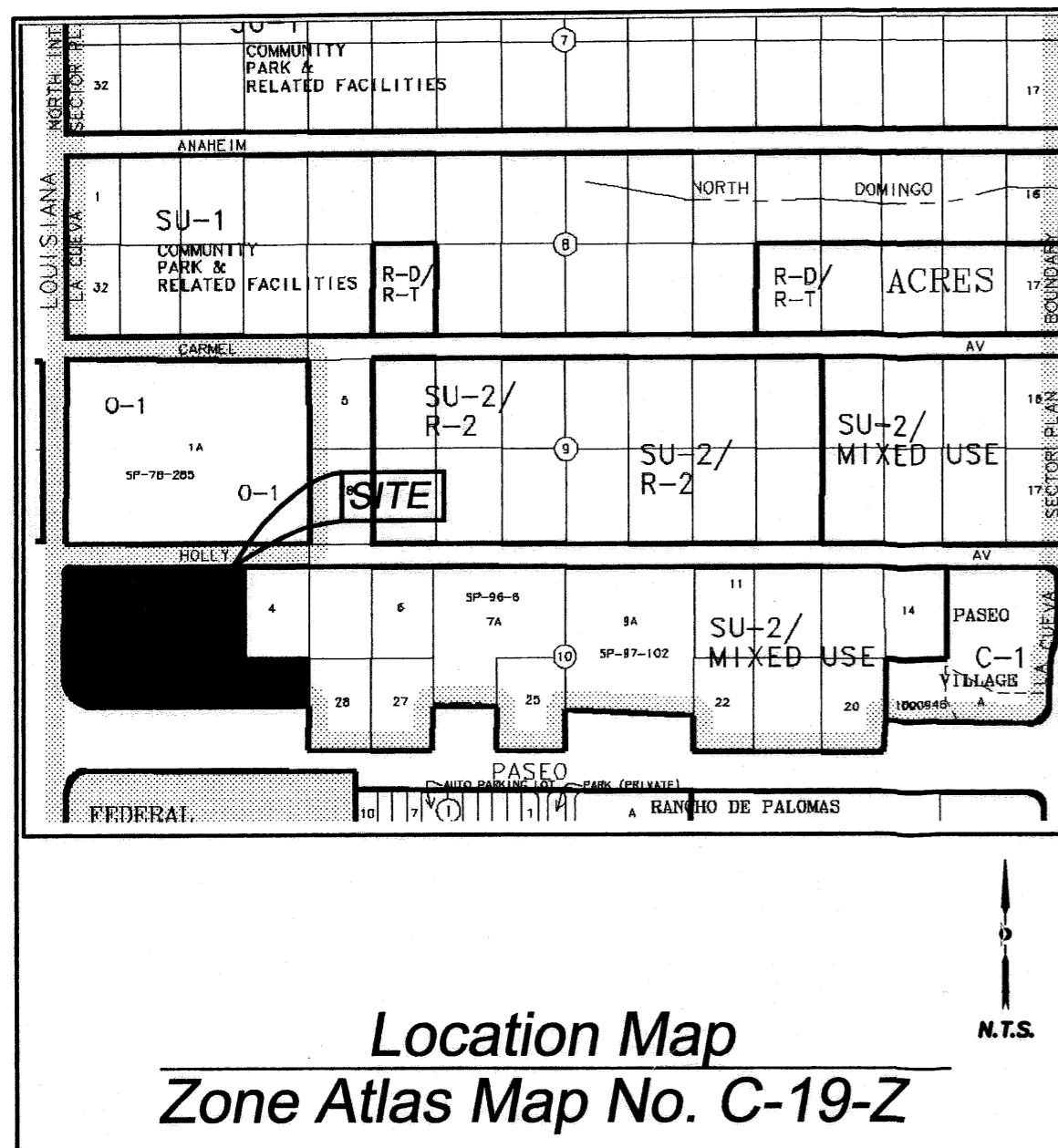
( IN FEET )  
 1 inch = 40 ft.



**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900





Location Map  
Zone Atlas Map No. C-19-Z

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 4.2833 ACRES±  
 ZONE ATLAS INDEX NO: C-19-Z  
 NO. OF TRACTS CREATED: 0  
 NO. OF LOTS CREATED: 4  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: JULY 2004

**Notes:**

- MISC. DATA: ZONING SU-2/MIXED USE
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE LOT INTO FOUR NEW LOTS, AND TO GRANT EASEMENTS.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2003340073.

**Easements**

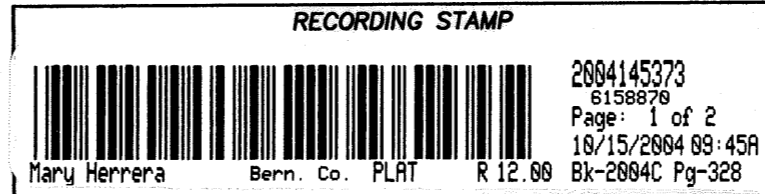
THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
  - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
  - QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
  - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



**Legal Description**

LOT NUMBERED ONE-A (1-A), BLOCK NUMBERED TEN (10), NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, A SUBDIVISION IN ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING A REPLAT OF LOTS 1-3, INCLUSIVE AND 29-32, INCLUSIVE, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 27, 1995, IN PLAT BOOK 95C, FOLIO 463.

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED LOT, SAID POINT LYING ON THE NORTH RIGHT-OF-WAY LINE OF PASEO DEL NORTE, N.E., FROM WHENCE A TIE TO THE NATIONAL GEODETIC SURVEY MONUMENT "HEAVEN" BEARS S 81°40'29" E, A DISTANCE OF 1490.35 FEET, SAID MONUMENT HAVING NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE, NORTH AMERICAN DATUM OF 1927) OF X=407,051.31, Y=1,518,737.03, (U.S. SURVEY FOOT), A DELTA ALPHA ANGLE OF -0°10'45" AND A GROUND TO GRID FACTOR OF 0.99965263;

THENCE, FROM SAID POINT OF BEGINNING ALONG SAID NORTH RIGHT OF WAY LINE, N 89°40'29" W A DISTANCE OF 557.02 FEET TO A POINT OF CURVATURE;

THENCE, LEAVING SAID NORTH RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 117.64 FEET, A RADIUS OF 75.00 FEET, A CHORD BEARING OF N 44°44'14" W, A DISTANCE OF 105.95 FEET, AND A DELTA ANGLE OF 89°52'10", TO A POINT OF TANGENCY, SAID POINT LYING ON THE EAST RIGHT OF WAY LINE OF LOUISIANA BOULEVARD, NE; MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"

THENCE, ALONG SAID EAST RIGHT OF WAY LINE, N 00°11'44" E A DISTANCE OF 259.20 FEET TO A POINT OF CURVATURE; MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"

THENCE, LEAVING SAID EAST RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 39.31 FEET, A RADIUS OF 25.00 FEET, A CHORD BEARING OF N 45°16'12" E, A DISTANCE OF 35.39 FEET, AND A DELTA ANGLE OF 90°05'50", TO A POINT OF TANGENCY LYING ON THE SOUTH RIGHT OF WAY LINE OF HOLLY AVENUE, N.E.; MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "LS 11993"

THENCE, THE FOLLOWING TWO CALLS LYING ALONG SAID SOUTH RIGHT OF WAY LINE, S 89°40'46" E, A DISTANCE OF 274.91 FEET TO AN ANGLE POINT MARKED BY A FOUND 1/2" REBAR (BENT);

THENCE S 89°40'24" E, A DISTANCE OF 164.95 FEET TO THE NORTHEAST CORNER OF DESCRIBED LOT AN ANGLE POINT MARKED BY A SET REBAR WITH CAP STAMPED "PS 11993";

THENCE, LEAVING SAID SOUTH RIGHT OF WAY LINE, S 00°10'59" W A DISTANCE OF 233.86 FEET TO AN ANGLE POINT MARKED BY A FOUND 3/4" REBAR;

THENCE S 89°39'24" E, A DISTANCE OF 167.85 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW CAP STAMPED "PS 10856";

THENCE S 00°38'13" W, A DISTANCE OF 125.19 FEET THE POINT OF BEGINNING, HAVING AN AREA OF 4.2833 ACRES, (186580 SQUARE FEET), MORE OR LESS.

**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

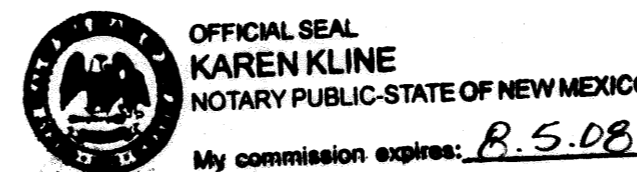
*Tim Hogsett*  
 TIM HOGSETT, PRESIDENT  
 DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION  
 DATE: 9/9/04

**Acknowledgment**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 9th DAY OF SEPTEMBER, 2004 BY  
 TIM HOGSETT, PRESIDENT, DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION

BY *Karen Kline*  
 KAREN KLINE, MY COMMISSION EXPIRES: August 5, 2008  
 NOTARY PUBLIC



Plat of  
 Lots 1-A-1, 1-A-2, 1-A-3, and  
 1-A-4 Block 10  
 North Albuquerque Acres  
 Tract 2, Unit 3  
 Albuquerque, Bernalillo County, New Mexico  
 September 2004

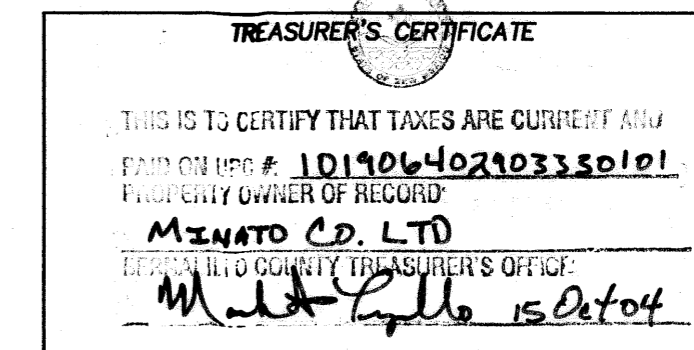
Project No. 1003364  
 Application No. 04DRB-01409

**Utility Approvals**

*Leand B. Mante* 10-13-04  
 PNM ELECTRIC SERVICES DATE  
*Leand B. Mante* 10-13-04  
 PNM GAS SERVICES DATE  
*Steve Anderson* 10-13-04  
 QWEST TELECOMMUNICATIONS DATE  
*Rita S. Wick* 10/14/04  
 COMCAST DATE

**City Approvals**

*John B. Jant* 9-10-04  
 CITY SURVEYOR DATE  
*John B. Jant* 10-6-04  
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 AMAFCA DATE  
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 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE



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*Larry W. Medrano* 09/08/04  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993  
 DATE



**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Plat of  
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 Albuquerque, Bernalillo County, New Mexico  
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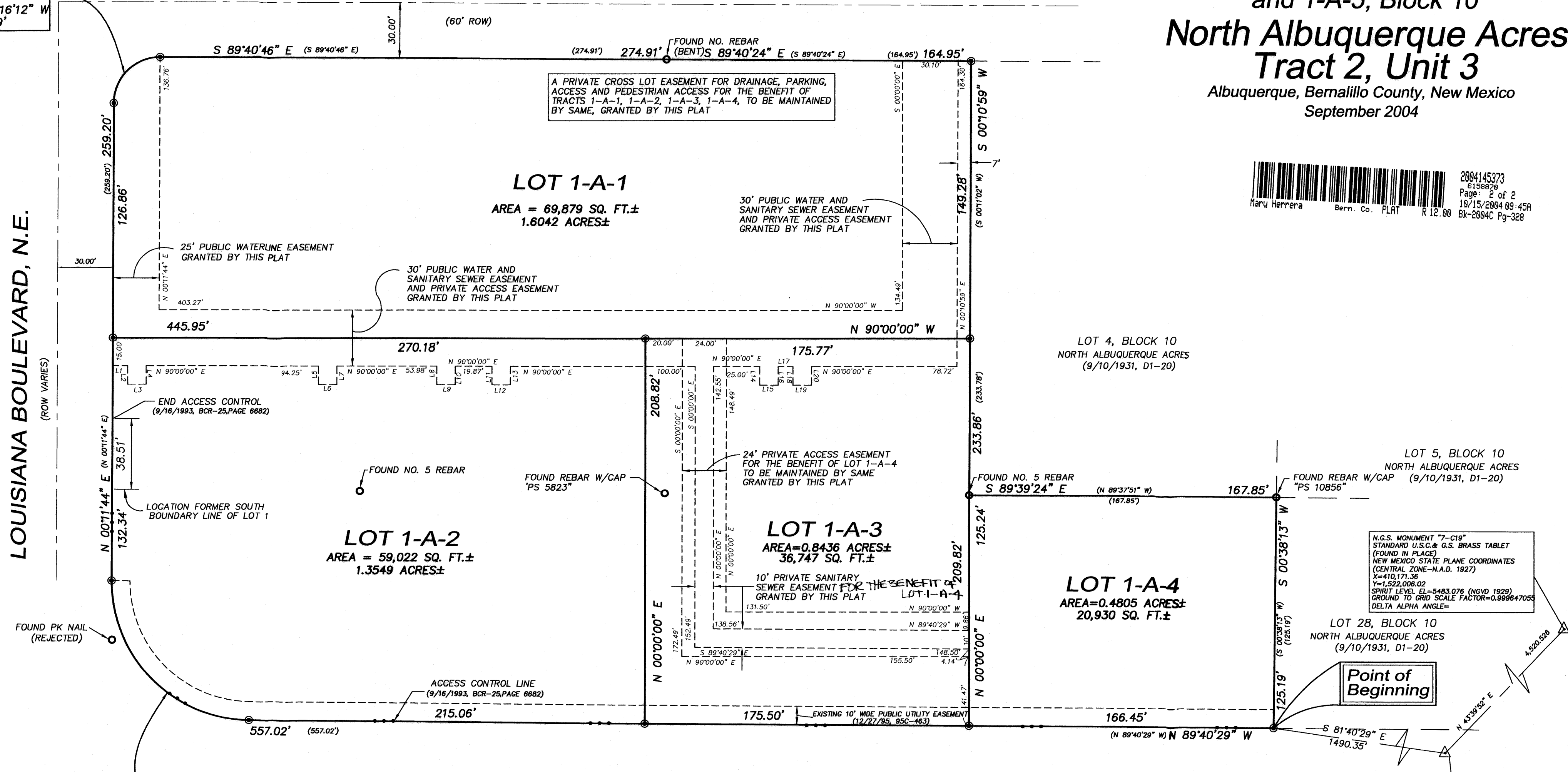
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LINE	BEARING	DISTANCE
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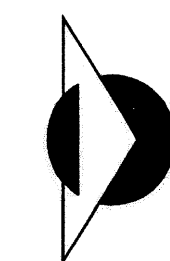
**Legend**

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11893" SET BY THIS SURVEY
- ACCESS CONTROL LINE

GRAPHIC SCALE



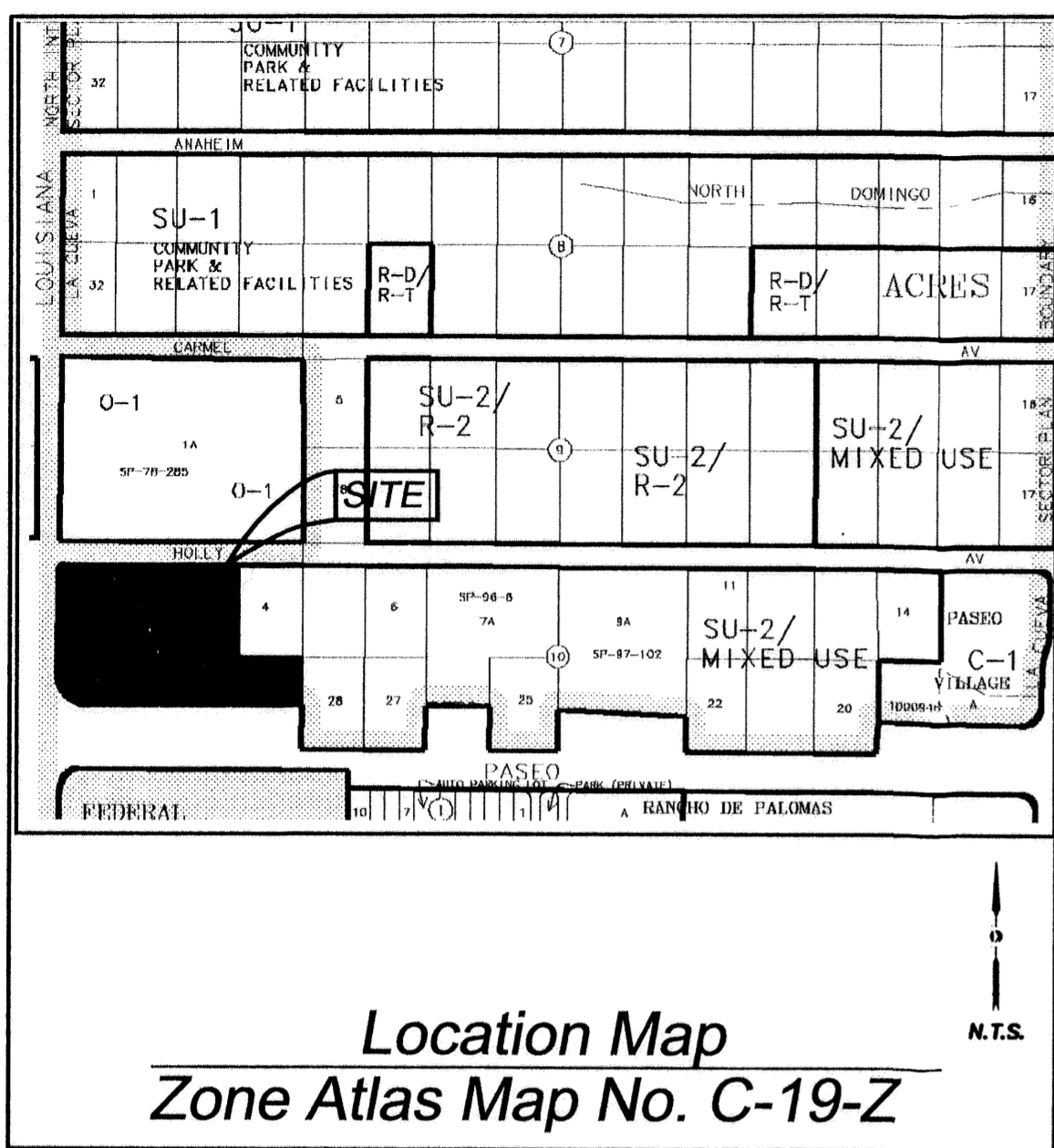
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**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
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RECORDING STAMP

Plat of  
 Lots 1-A-1, 1-A-2, 1-A-3, and  
 1-A-4 Block 10  
**North Albuquerque Acres**  
**Tract 2, Unit 3**  
 Albuquerque, Bernalillo County, New Mexico  
 September 2004

**Legal Description**

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BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED LOT, SAID POINT LYING ON THE NORTH RIGHT-OF-WAY LINE OF PASEO DEL NORTE, N.E., FROM WHENCE A TIE TO THE NATIONAL GEODETIC SURVEY MONUMENT "HEAVEN" BEARS S 81°40'29" E, A DISTANCE OF 1490.35 FEET, SAID MONUMENT HAVING NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE, NORTH AMERICAN DATUM OF 1927) OF X=407,051.31, Y=1,518,737.03, (U.S. SURVEY FOOT), A DELTA ALPHA ANGLE OF -0°10'45" AND A GROUND TO GRID FACTOR OF 0.99965263;

THENCE, FROM SAID POINT OF BEGINNING ALONG SAID NORTH RIGHT OF WAY LINE, N 89°40'29" W A DISTANCE OF 557.02 FEET TO A POINT OF CURVATURE,;

THENCE, LEAVING SAID NORTH RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 117.64 FEET, A RADIUS OF 75.00 FEET, A CHORD BEARING OF N 44°44'14" W, A DISTANCE OF 105.95 FEET, AND A DELTA ANGLE OF 89°52'10", TO A POINT OF TANGENCY, SAID POINT LYING ON THE EAST RIGHT OF WAY LINE OF LOUISIANA BOULEVARD, NE; MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"

THENCE, ALONG SAID EAST RIGHT OF WAY LINE, N 00°11'44" E A DISTANCE OF 259.20 FEET TO A POINT OF CURVATURE; MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"

THENCE, LEAVING SAID EAST RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 39.31 FEET, A RADIUS OF 25.00 FEET, A CHORD BEARING OF N 45°16'12" E, A DISTANCE OF 35.39 FEET, AND A DELTA ANGLE OF 90°05'50", TO A POINT OF TANGENCY LYING ON THE SOUTH RIGHT OF WAY LINE OF HOLLY AVENUE, N.E.; MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "LS 11993"

THENCE, THE FOLLOWING TWO CALLS LYING ALONG SAID SOUTH RIGHT OF WAY LINE, S 89°40'46" E, A DISTANCE OF 274.91 FEET TO AN ANGLE POINT MARKED BY A FOUND 1/2" REBAR (BENT);

THENCE S 89°40'24" E, A DISTANCE OF 164.95 FEET TO THE NORTHEAST CORNER OF DESCRIBED LOT AN ANGLE POINT MARKED BY A SET REBAR WITH CAP STAMPED "PS 11993";

THENCE, LEAVING SAID SOUTH RIGHT OF WAY LINE, S 00°10'59" W A DISTANCE OF 233.86 FEET TO AN ANGLE POINT MARKED BY A FOUND 3/4" REBAR;

THENCE S 89°39'24" E, A DISTANCE OF 167.85 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW CAP STAMPED "PS 10856";

THENCE S 00°38'13" W, A DISTANCE OF 125.19 FEET THE POINT OF BEGINNING, HAVING AN AREA OF 4.2833 ACRES, (186580 SQUARE FEET), MORE OR LESS.

Project No. 1003364  
 Application No. \_\_\_\_\_

**Utility Approvals**

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
<b>City Approvals</b>	
CITY SURVEYOR	DATE <u>9-10-04</u>
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

\_\_\_\_\_  
 TREASURER'S CERTIFICATE

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 4.2833 ACRES±  
 ZONE ATLAS INDEX NO: C-19-Z  
 NO. OF TRACTS CREATED: 0  
 NO. OF LOTS CREATED: 4  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: JULY 2004

**Notes:**

- MISC. DATA: ZONING SU-2/MIXED USE
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE LOT INTO FOUR NEW LOTS, AND TO GRANT EASEMENTS.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2003340073.

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE. CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

Tim Hogsett 9/9/04  
 TIM HOGSETT, PRESIDENT DATE  
 DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION

**Acknowledgment**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 9th DAY OF SEPTEMBER, 2004 BY TIM HOGSETT, PRESIDENT, DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION

By Karen Kline MY COMMISSION EXPIRES: AUGUST 5, 2008  
 NOTARY PUBLIC

OFFICIAL SEAL  
 KAREN KLINE  
 NOTARY PUBLIC-STATE OF NEW MEXICO  
 My commission expires: 8.5.08

**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 09/09/04  
 LARRY W. MEDRANO DATE  
 N.M.P.S. No. 11993



**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Plat of  
 Lots 1-A-1, 1-A-2, 1-A-3, 1-A-4  
 and 1-A-5, Block 10  
**North Albuquerque Acres**  
 Tract 2, Unit 3  
 Albuquerque, Bernalillo County, New Mexico  
 September 2004

R=25.00'  
 L=39.31'  
 Δ=90°05'50"  
 T=25.04'  
 CH=S 45°16'12" W  
 35.39'

LOUISIANA BOULEVARD, N.E.  
 (ROW VARIES)

HOLLY AVENUE, N.E.

(60' ROW)

S 89°40'46" E (S 89°40'46" E) (274.91) 274.91' FOUND NO. REBAR (BENT) S 89°40'24" E (S 89°40'24" E) (164.95) 164.95'

**LOT 1-A-1**

AREA = 69,879 SQ. FT.±  
 1.6042 ACRES±

30' PUBLIC WATER AND  
 SANITARY SEWER EASEMENT  
 AND PRIVATE ACCESS EASEMENT  
 GRANTED BY THIS PLAT

25' PUBLIC WATERLINE EASEMENT  
 GRANTED BY THIS PLAT

30' PUBLIC WATER AND  
 SANITARY SEWER EASEMENT  
 AND PRIVATE ACCESS EASEMENT  
 GRANTED BY THIS PLAT

END ACCESS CONTROL  
 (9/16/1993, BCR-25, PAGE 6682)

LOCATION FORMER SOUTH  
 BOUNDARY LINE OF LOT 1

FOUND NO. 5 REBAR

FOUND REBAR W/CAP  
 'PS 5823"

**LOT 1-A-2**  
 AREA = 59,022 SQ. FT.±  
 1.3549 ACRES±

**LOT 1-A-3**  
 AREA = 0.8436 ACRES±  
 36,747 SQ. FT.±

10' PRIVATE SANITARY  
 SEWER EASEMENT  
 GRANTED BY THIS PLAT

**LOT 1-A-4**  
 AREA = 0.4805 ACRES±  
 20,930 SQ. FT.±

LOT 4, BLOCK 10  
 NORTH ALBUQUERQUE ACRES  
 (9/10/1931, D1-20)

LOT 5, BLOCK 10  
 NORTH ALBUQUERQUE ACRES  
 (9/10/1931, D1-20)

LOT 28, BLOCK 10  
 NORTH ALBUQUERQUE ACRES  
 (9/10/1931, D1-20)

Point of  
 Beginning

N.G.S. MONUMENT "7-C19"  
 STANDARD U.S.C. & G.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=410,171.36  
 Y=1,522,006.02  
 SPIRIT LEVEL EL=5483.076 (NGVD 1929)  
 GROUND TO GRID SCALE FACTOR=0.999647055  
 DELTA ALPHA ANGLE=

N.G.S. MONUMENT "HEAVEN"  
 STANDARD U.S.C. & G.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=407,051.31  
 Y=1,516,737.03  
 SPIRIT LEVEL EL=5375.62 (NGVD 1929)  
 GROUND TO GRID SCALE FACTOR=0.99965263  
 DELTA ALPHA ANGLE=0°10'45"

FOUND PK NAIL  
 (REJECTED)

ACCESS CONTROL LINE  
 (9/16/1993, BCR-25, PAGE 6682)

EXISTING 10' WIDE PUBLIC UTILITY EASEMENT  
 (12/27/93, BCC-463)

PASEO DEL NORTE, N.E. (NMP TPU-4054(3))  
 (ROW VARIES)

R=75.00'  
 L=117.64'  
 Δ=89°52'10"  
 T=74.83'  
 CH=N 44°44'14" W  
 105.95'

**Legend**

(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
N 90°00'00" E	MEASURED BEARING AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP 'PS 11993' SET BY THIS SURVEY
—●—●—●—	ACCESS CONTROL LINE

GRAPHIC SCALE



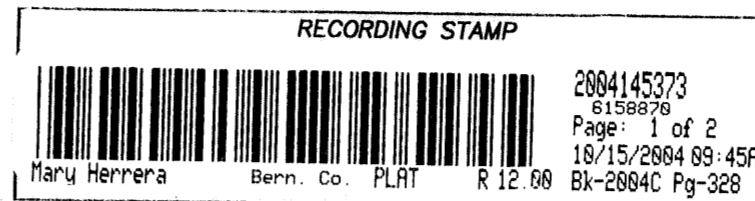
( IN FEET )  
 1 inch = 40 ft.



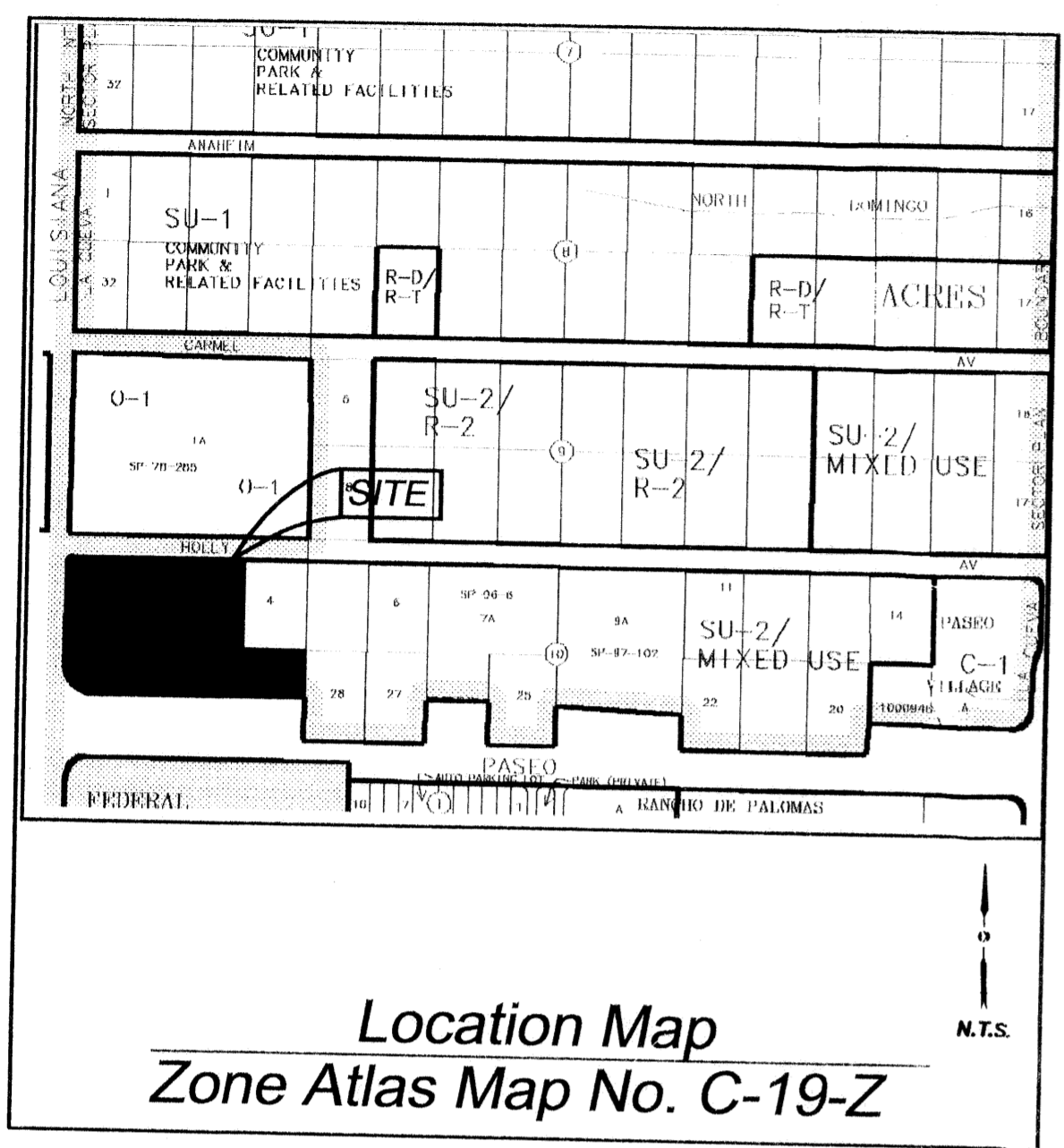
**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900





Plat of  
Lots 1-A-1, 1-A-2, 1-A-3, and  
1-A-4 Block 10  
**North Albuquerque Acres  
Tract 2, Unit 3**  
Albuquerque, Bernalillo County, New Mexico  
September 2004



**Legal Description**

LOT NUMBERED ONE-A (1-A), BLOCK NUMBERED TEN (10), NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, A SUBDIVISION IN ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING A REPLAT OF LOTS 1-3, INCLUSIVE, AND 29-32, INCLUSIVE, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 27, 1995, IN PLAT BOOK 95C, 10110 463.

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED LOT, SAID POINT LYING ON THE NORTH RIGHT-OF-WAY LINE OF PASEO DEL NORTE, N.E., FROM WHENCE A TIE TO THE NATIONAL GEODETIC SURVEY MONUMENT "HEAVEN" BEARS S 81°40'29" E, A DISTANCE OF 1490.35 FEET, SAID MONUMENT HAVING NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE, NORTH AMERICAN DATUM OF 1927) OF X=407,051.31, Y=1,518,737.03, (U.S. SURVEY FOOT), A DELTA ALPHA ANGLE OF -0°10'45" AND A GROUND TO GRID FACTOR OF 0.99965263;

THENCE, FROM SAID POINT OF BEGINNING ALONG SAID NORTH RIGHT OF WAY LINE, N 89°40'29" W A DISTANCE OF 557.02 FEET TO A POINT OF CURVATURE,;

THENCE, LEAVING SAID NORTH RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 117.64 FEET, A RADIUS OF 75.00 FEET, A CHORD BEARING OF N 44°44'14" W, A DISTANCE OF 105.95 FEET, AND A DELTA ANGLE OF 89°52'10", TO A POINT OF TANGENCY, SAID POINT LYING ON THE EAST RIGHT OF WAY LINE OF LOUISIANA BOULEVARD, NE; MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"

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THENCE S 89°40'24" E, A DISTANCE OF 164.95 FEET TO THE NORTHEAST CORNER OF DESCRIBED LOT AN ANGLE POINT MARKED BY A SET REBAR WITH CAP STAMPED "PS 11993";

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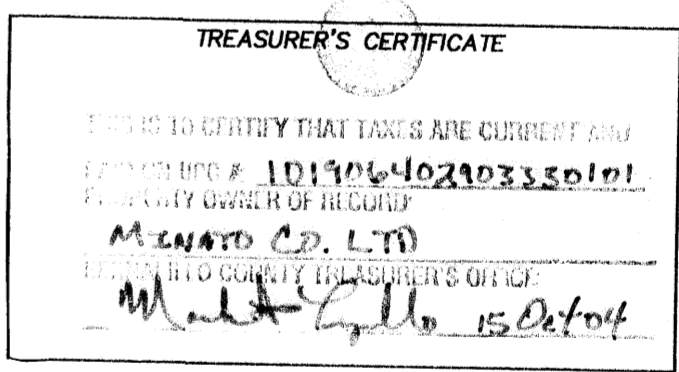
Project No. 1003364  
Application No. 04DRB-01409

**Utility Approvals**

<i>[Signature]</i>	10-13-04
PNM ELECTRIC SERVICES	DATE
<i>[Signature]</i>	10-13-04
PNM GAS SERVICES	DATE
<i>[Signature]</i>	10-13-04
QWEST TELECOMMUNICATIONS	DATE
<i>[Signature]</i>	10/11/04
COMCAST	DATE

**City Approvals**

<i>[Signature]</i>	9-10-04
CITY SURVEYOR	DATE
<i>[Signature]</i>	10-6-04
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	10/6/04
UTILITY DEVELOPMENT	DATE
<i>[Signature]</i>	10/6/04
CHRISTINA SANDOVAL	DATE
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	10/6/04
AMAFCA	DATE
<i>[Signature]</i>	10/6/04
CITY ENGINEER	DATE
<i>[Signature]</i>	10/6/04
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 4.2833 ACRES.  
ZONE ATLAS INDEX NO: C-19-Z  
NO. OF TRACTS CREATED: 0  
NO. OF LOTS CREATED: 4  
MILES OF FULL-WIDTH STREETS CREATED: 0  
DATE OF SURVEY: JULY 2004

**Notes:**

- MISC. DATA: ZONING SU-2/MIXED USE
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE LOT INTO FOUR NEW LOTS, AND TO GRANT EASEMENTS.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2003340073

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

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- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
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INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

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IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

*[Signature]*  
TIM HOGSETT, PRESIDENT  
DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION  
9/9/04  
DATE

**Acknowledgment**

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 9th DAY OF SEPTEMBER, 2004 BY  
TIM HOGSETT, PRESIDENT, DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION

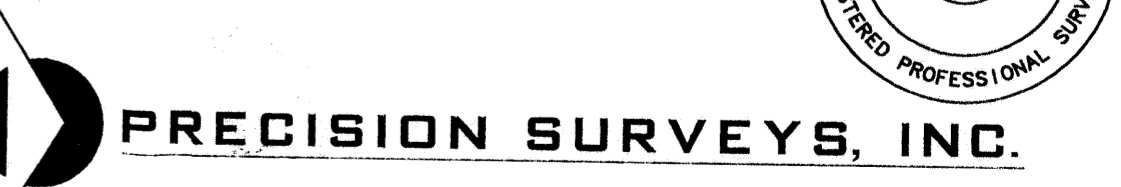
BY *[Signature]* MY COMMISSION EXPIRES: August 5, 2008  
KAREN KLINE NOTARY PUBLIC



**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*[Signature]*  
LARRY W. MEDRANO  
N.M.P.S. No. 11993  
DATE



8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



Plat of  
 Lots 1-A-1, 1-A-2, 1-A-3, 1-A-4  
 and 1-A-5, Block 10  
**North Albuquerque Acres**  
**Tract 2, Unit 3**  
 Albuquerque, Bernalillo County, New Mexico  
 September 2004

2004145373  
 8158978  
 Page: 2 of 2  
 10/15/2004 09:45A  
 Bk-2084C Pg-328

R=25.00'  
 L=39.31'  
 Δ=90°05'50"  
 T=25.04'  
 CH=S 45°16'12" W  
 35.39'

LOUISIANA BOULEVARD, N.E.  
 (ROW VARIES)

HOLLY AVENUE, N.E.  
 (60' ROW)

PASEO DEL NORTE, N.E. (NMP TPU-4054(3))  
 (ROW VARIES)

FOUND PK NAIL  
 (REJECTED)

R=75.00'  
 L=117.64'  
 Δ=89°52'10"  
 T=74.83'  
 CH=N 44°44'14" W  
 105.95'

A PRIVATE CROSS LOT EASEMENT FOR DRAINAGE, PARKING,  
 ACCESS AND PEDESTRIAN ACCESS FOR THE BENEFIT OF  
 TRACTS 1-A-1, 1-A-2, 1-A-3, 1-A-4, TO BE MAINTAINED  
 BY SAME, GRANTED BY THIS PLAT

**LOT 1-A-1**  
 AREA = 69,879 SQ. FT.±  
 1.6042 ACRES±

30' PUBLIC WATER AND  
 SANITARY SEWER EASEMENT  
 AND PRIVATE ACCESS EASEMENT  
 GRANTED BY THIS PLAT

25' PUBLIC WATERLINE EASEMENT  
 GRANTED BY THIS PLAT

30' PUBLIC WATER AND  
 SANITARY SEWER EASEMENT  
 AND PRIVATE ACCESS EASEMENT  
 GRANTED BY THIS PLAT

LOT 4, BLOCK 10  
 NORTH ALBUQUERQUE ACRES  
 (9/10/1931, D1-20)

LOT 5, BLOCK 10  
 NORTH ALBUQUERQUE ACRES  
 (9/10/1931, D1-20)

**LOT 1-A-2**  
 AREA = 59,022 SQ. FT.±  
 1.3549 ACRES±

**LOT 1-A-3**  
 AREA=0.8436 ACRES±  
 36,747 SQ. FT.±

24' PRIVATE ACCESS EASEMENT  
 FOR THE BENEFIT OF LOT 1-A-4  
 TO BE MAINTAINED BY SAME  
 GRANTED BY THIS PLAT

**LOT 1-A-4**  
 AREA=0.4805 ACRES±  
 20,930 SQ. FT.±

10' PRIVATE SANITARY  
 SEWER EASEMENT FOR THE BENEFIT OF  
 LOT 1-A-4  
 GRANTED BY THIS PLAT

N.G.S. MONUMENT "7-C19"  
 STANDARD U.S.C. & G.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=410,171.36  
 Y=1,522,006.02  
 SPIRIT LEVEL EL=5483.078 (NGVD 1929)  
 GROUND TO GRID SCALE FACTOR=0.999647055  
 DELTA ALPHA ANGLE=

LOT 28, BLOCK 10  
 NORTH ALBUQUERQUE ACRES  
 (9/10/1931, D1-20)

Point of Beginning

N.G.S. MONUMENT "HEAVEN"  
 STANDARD U.S.C. & G.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1927)  
 X=407,051.31  
 Y=1,518,737.03  
 SPIRIT LEVEL EL=5375.62 (NGVD 1929)  
 GROUND TO GRID SCALE FACTOR=0.999652263  
 DELTA ALPHA ANGLE=-0°10'45"

**Line Table**

LINE	BEARING	DISTANCE
L1	N 90°00'00" E	8.08'
L2	S 00°00'00" E	10.00'
L3	N 90°00'00" E	10.00'
L4	N 00°00'00" E	10.00'
L5	S 00°00'00" E	10.00'
L6	N 90°00'00" E	10.00'
L7	N 00°00'00" E	10.00'
L8	S 00°00'00" E	10.00'
L9	N 90°00'00" E	10.00'
L10	N 00°00'00" E	10.00'
L11	S 00°00'00" E	10.00'
L12	N 90°00'00" E	10.00'
L13	N 00°00'00" E	10.00'
L14	S 00°00'00" E	10.00'
L15	N 90°00'00" E	10.00'
L16	N 00°00'00" E	10.00'
L17	N 90°00'00" E	8.00'
L18	S 00°00'00" E	10.00'
L19	N 90°00'00" E	10.00'
L20	N 00°00'00" E	10.00'

**Legend**

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11993" SET BY THIS SURVEY
- ACCESS CONTROL LINE

GRAPHIC SCALE

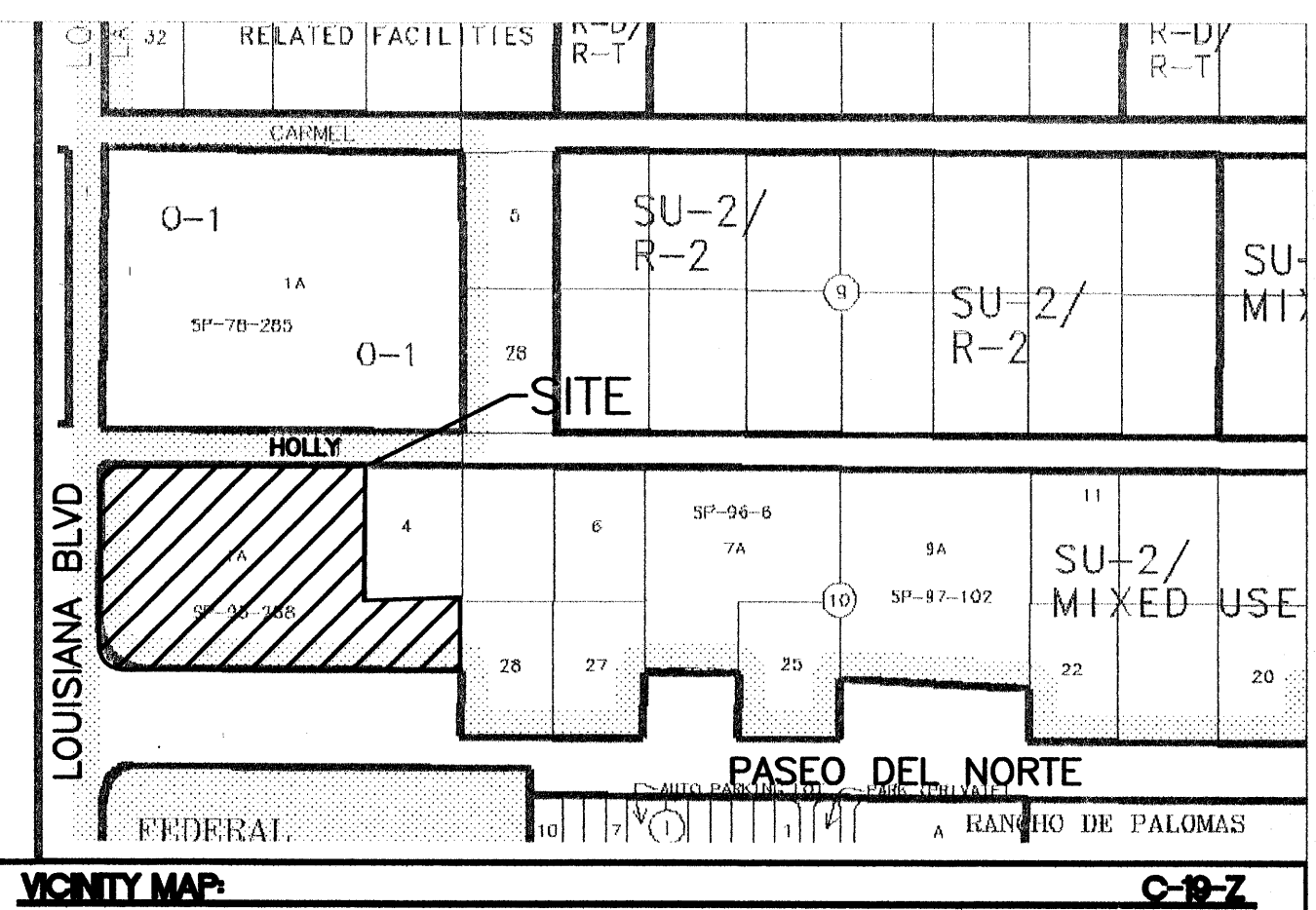
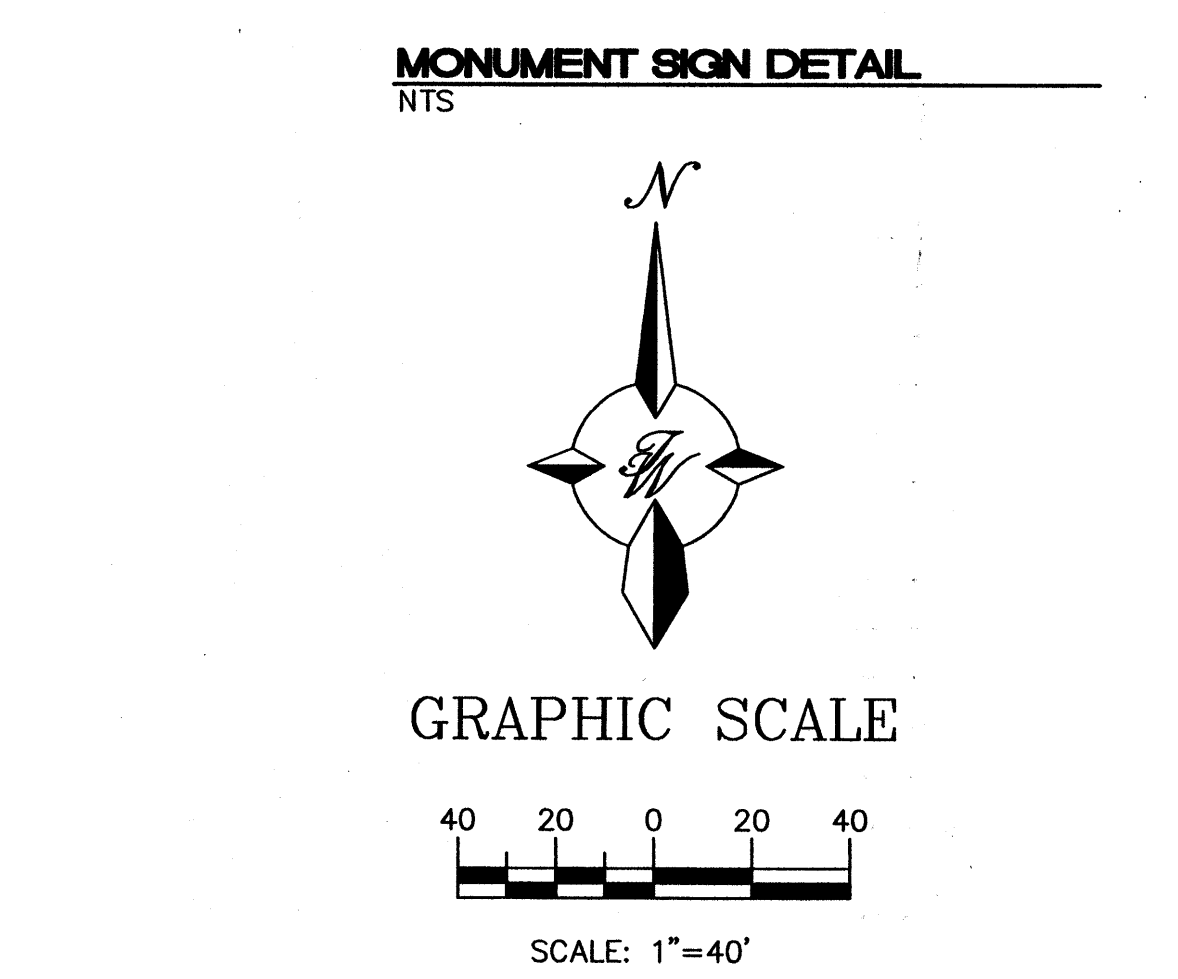
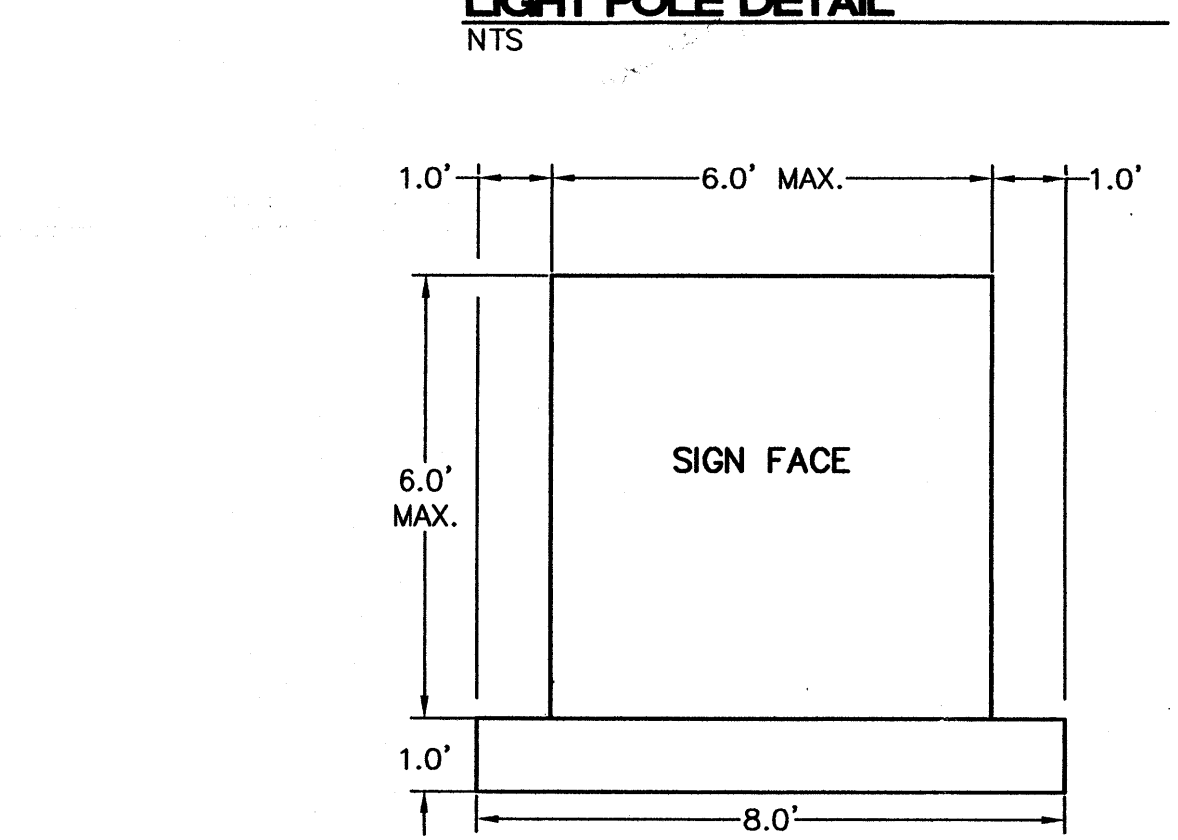
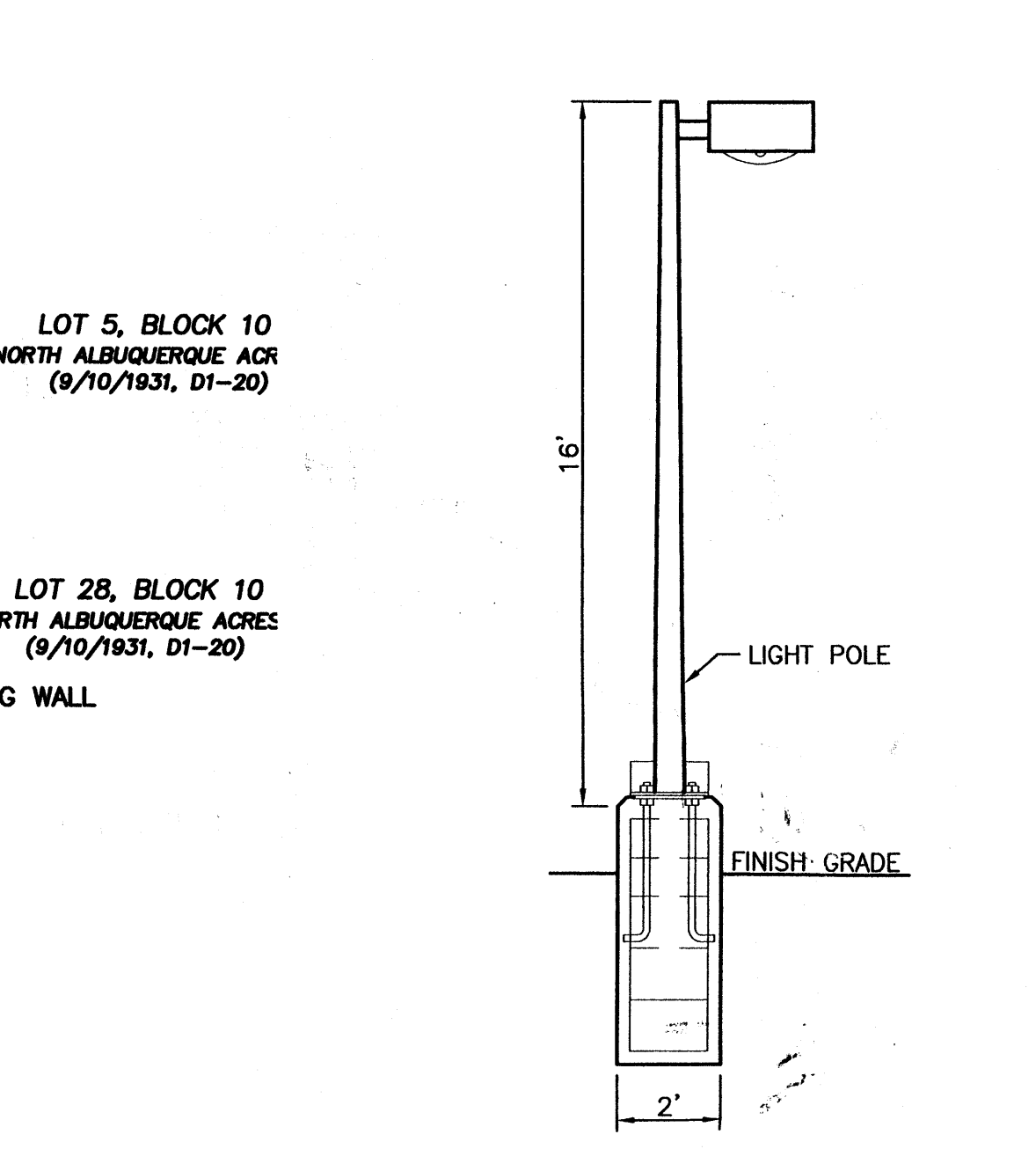
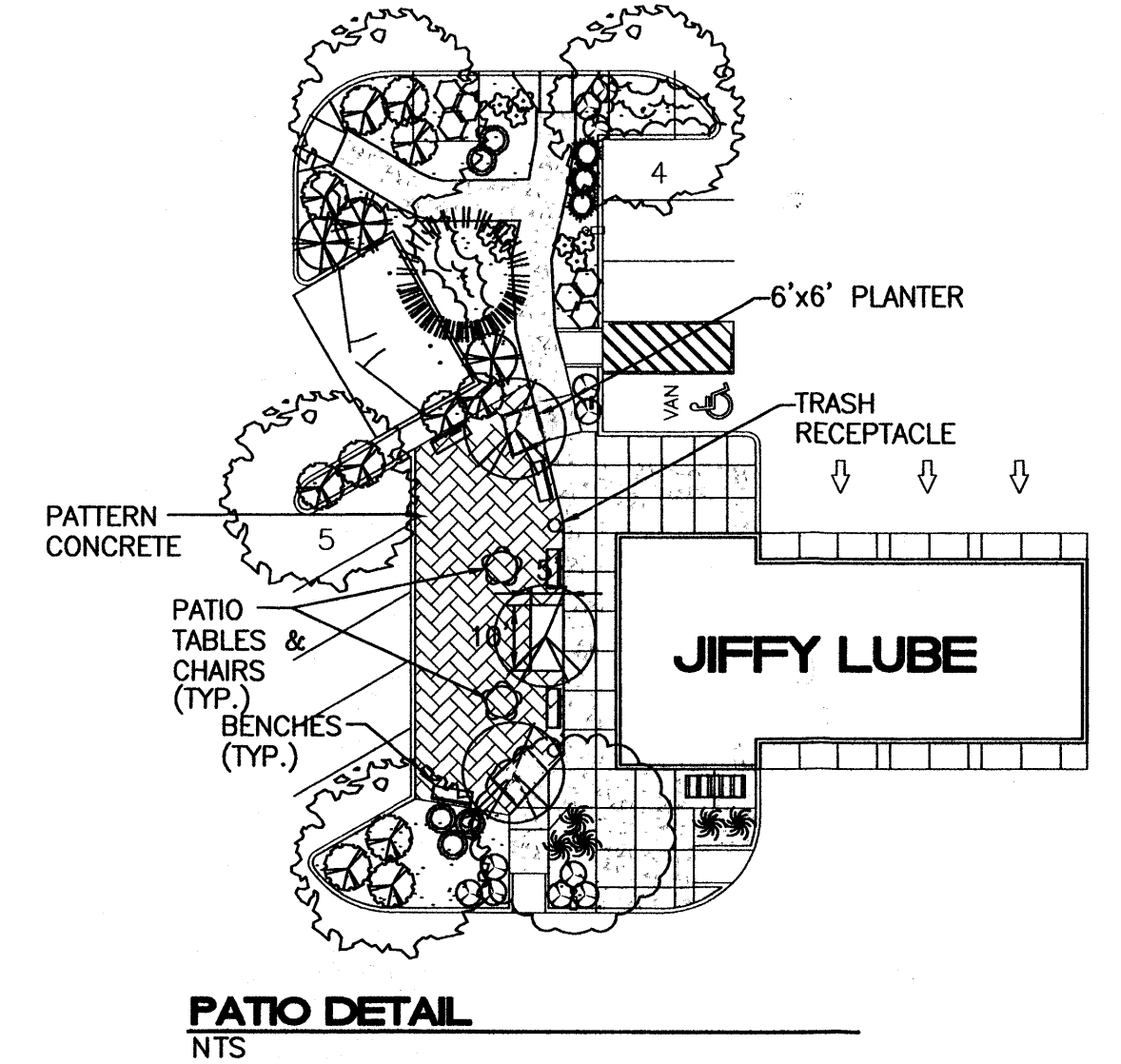
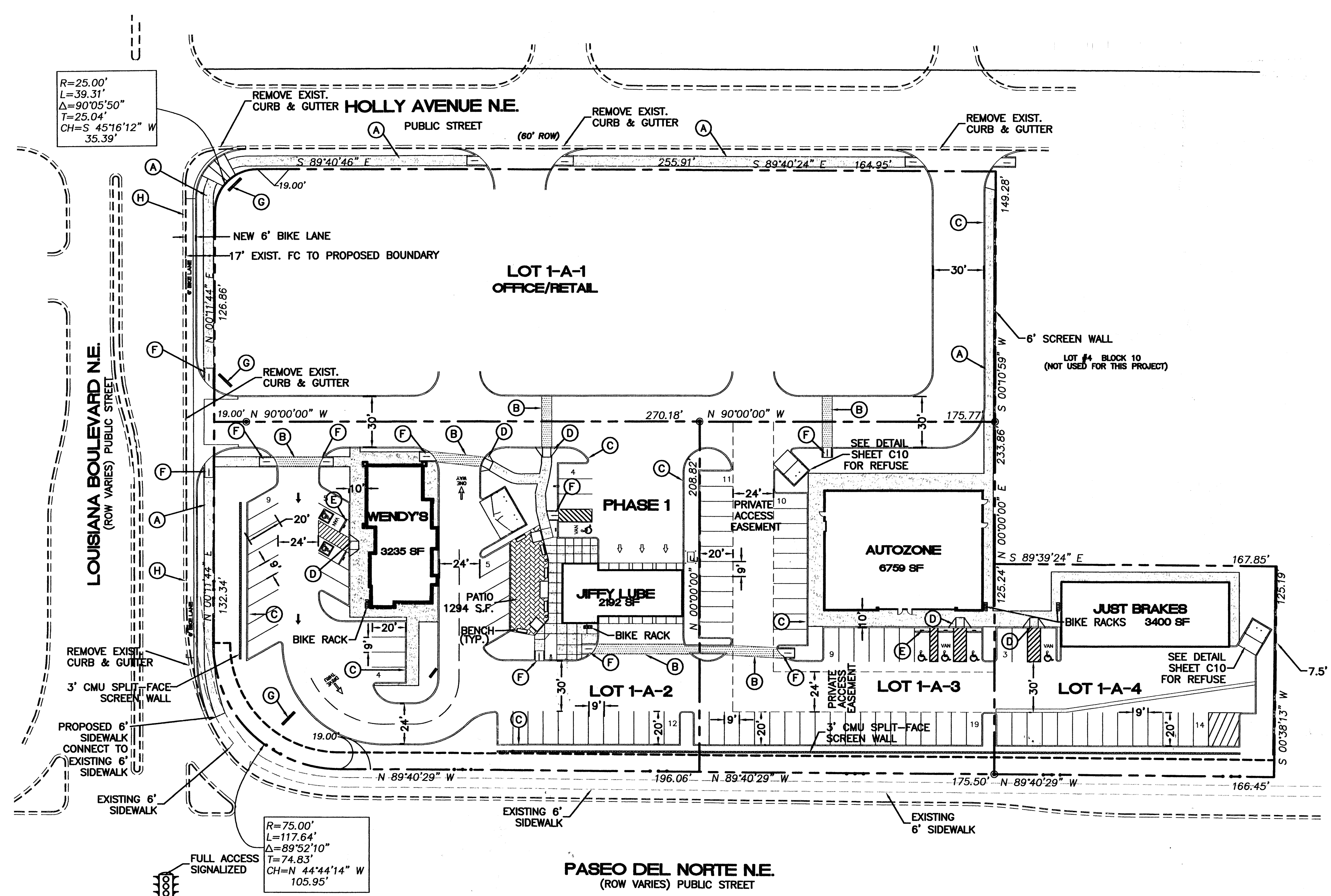


( IN FEET )  
 1 inch = 40 ft.



**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



**LEGAL DESCRIPTION:**  
TRACT 1A, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3

**LEGEND**

- CENTERLINE
- - - - - EXISTING CURB & GUTTER
- ==== PROPOSED CURB & GUTTER
- ==== RIGHT-OF-WAY
- BOUNDARY LINE
- - - - - EXISTING BOUNDARY LINE
- EASEMENT
- STRIPING
- PROPOSED BUILDING
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED CROSSWALK
- PROPOSED BIKERACK
- PROPOSED RETAINING WALL
- PROPOSED SCREEN WALL
- PROPOSED VALLEY GUTTER
- \* PROPOSED PARKING LOT LIGHTING
- △ BENCH MARK
- PERMANENT STRIPING

- KEYED NOTE:**
- (A) 6' SW PER C.O.A. STD DWG #2430
  - (B) 6' PEDESTRIAN ACCESS (MATERIAL TO BE CONCRETE)
  - (C) 6" HEADER CURB PER C.O.A. STD DWG #2415
  - (D) HC RAMP PER C.O.A. STD DWG #2441
  - (E) INSTALL NEW WHEEL BUMPER (TYPICAL)
  - (F) UNI-DIRECTIONAL HC RAMP PER C.O.A. STD DWG #2441
  - (G) INSTALL 1 - MONUMENT SIGN (50 SQ.FT. MAX.); SEE ARCH DWG FOR DETAILS
  - (H) 6' BIKE LANE

SITE DATA TABLE					
	LOT 1-A-1	LOT 1-A-2	LOT 1-A-3	LOT 1-A-4	TOTAL
TOTAL ACREAGE:	1.604 AC.	1.355 AC.	.8436 AC.	0.4805 AC.	4.28 AC.
EXISTING ZONING:	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE
PROPOSED ZONING:	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE
BUILDING SIZE:	N/A	5,427 SF	6,759 SF	3,400 SF	15,586 SF
MAX FAR:	.33	.25	.25	.25	
PROPOSED USE:	OFFICE/RETAIL	RETAIL/SERVICE/DRIVE-UP	RETAIL/SERVICE	RETAIL/SERVICE	
TOTAL PARKING PROVIDED:	N/A	39 SPACES	49 SPACES	17 SPACES	112 SPACES
TOTAL PARKING REQUIRED:	N/A	* 38 SPACES	34 SPACES	17 SPACES	91 SPACES
HC PROVIDED:	N/A	4 SPACES	3 SPACES	1 SPACE	8 SPACES
HC REQUIRED:	N/A	3 SPACES	3 SPACES	1 SPACE	7 SPACES
BIKE SPACES PROVIDED:	N/A	4 SPACES	4 SPACES	4 SPACES	12 SPACES
BIKE SPACES REQUIRED:	N/A	2 SPACES	3 SPACES	1 SPACES	6 SPACES
BUILDING HEIGHT:	26'	26'	26'	26'	26'
LANDSCAPE PROVIDED:	N/A	-	-	-	- SF
LANDSCAPE REQUIRED:	N/A	-	-	-	- SF

\* 96 SEATS/4 = 24 SPACES (WENDY'S)  
\* 2192 SF/200 = 11 SPACES (JIFFY LUBE)

- GENERAL NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
  - ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACTS THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
  - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
  - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
  - LIGHT POLES SHALL BE A MAXIMUM OF 16' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 16' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
  - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
  - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.

**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

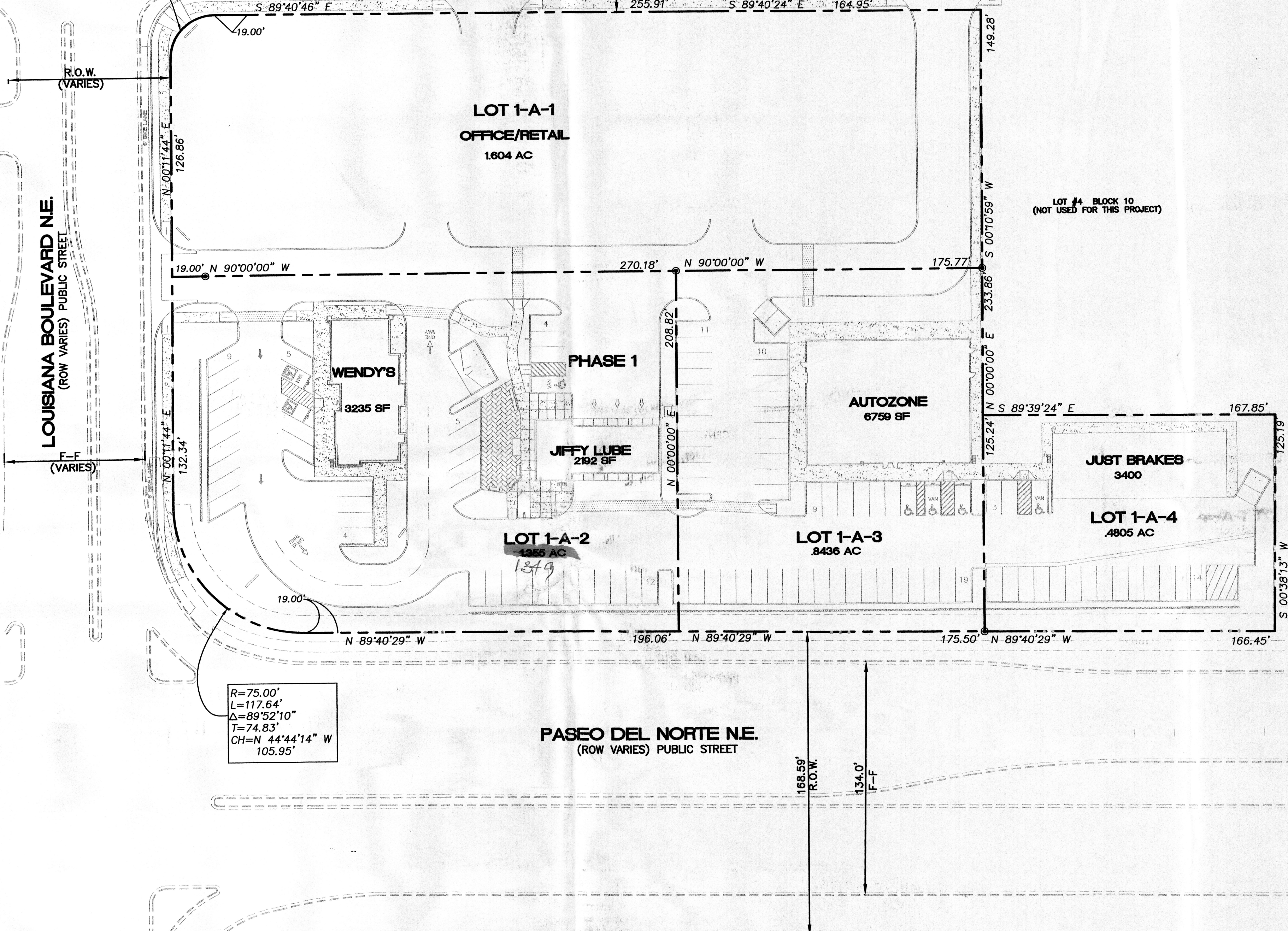
Traffic Engineer, Transportation Division	_____	Date	_____
Utilities Development	_____	Date	_____
Parks & Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
* Environmental Health Department (conditional)	_____	Date	_____
Solid Waste Management	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

\* Environmental Health, if necessary  
12/16/03

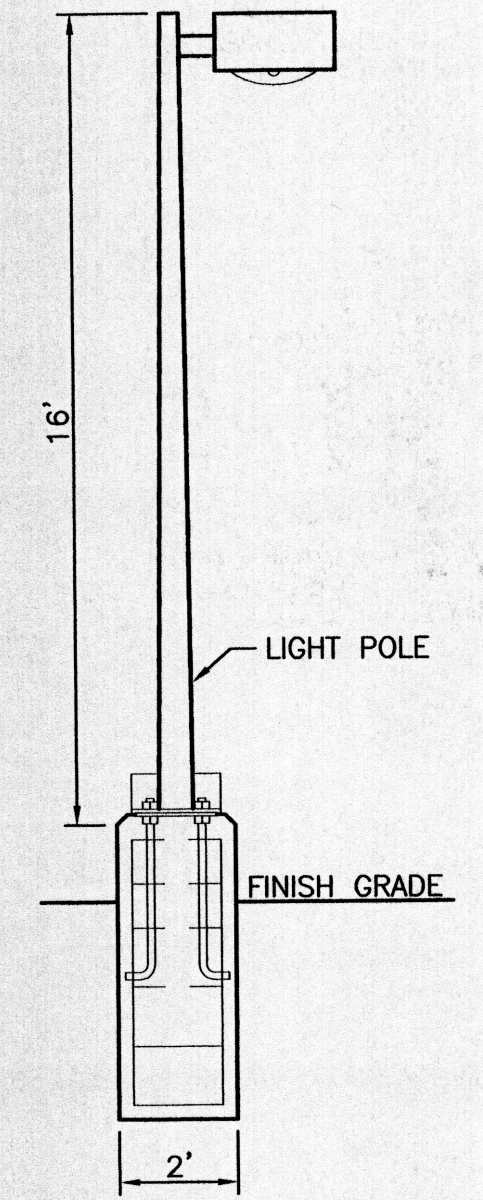
	<b>LOUISIANA/PASEO</b> <b>SITE PLAN FOR BUILDING PERMIT</b>	DRAWN BY AB DATE 09/14/04 02_2373SPE-9-14-04
	<b>TIERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>C2</b> JOB # 230073



R=25.00'  
L=39.31'  
Δ=90°05'50"  
T=25.04'  
CH=S 45°16'12" W  
35.39'



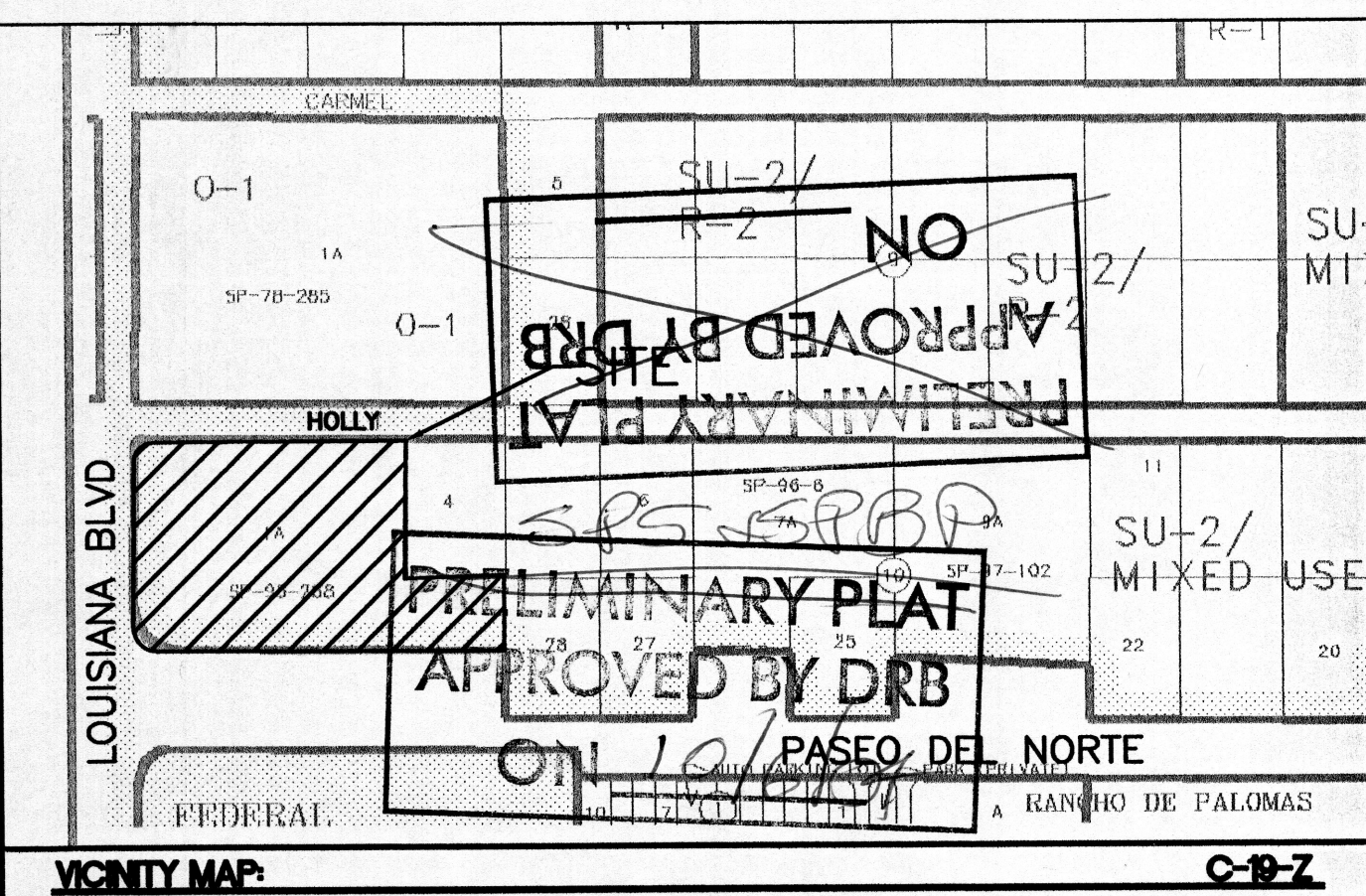
R=75.00'  
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Δ=89°52'10"  
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CH=N 44°44'14" W  
105.95'



LIGHT POLE DETAIL  
NTS

LEGEND

- CENTERLINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- RIGHT-OF-WAY
- BOUNDARY LINE
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LEGAL DESCRIPTION  
TRACT 1A, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3

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INDEX TO DRAWINGS

- C1. SITE PLAN FOR SUBDIVISION
- C2. SITE PLAN FOR BUILDING PERMIT
- C3. LANDSCAPING PLAN
- C4. GRADING AND DRAINAGE PLAN
- C5. MASTER UTILITY PLAN
- C6. ELEVATIONS
- C7. ELEVATIONS
- C8. ELEVATIONS
- C9. ELEVATIONS
- C10. DETAILS
- C11. DETAILS
- C12. DETAILS

SITE DATA TABLE					
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LANDSCAPE REQUIRED:	N/A	- SF	- SF	- SF	- SF
15% OF NET LOT AREA					

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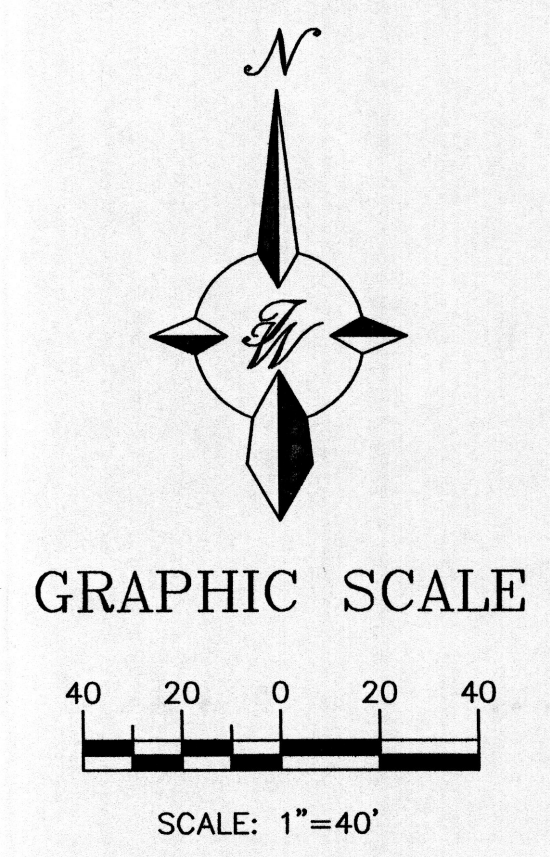
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APPLICATION NUMBER: \_\_\_\_\_

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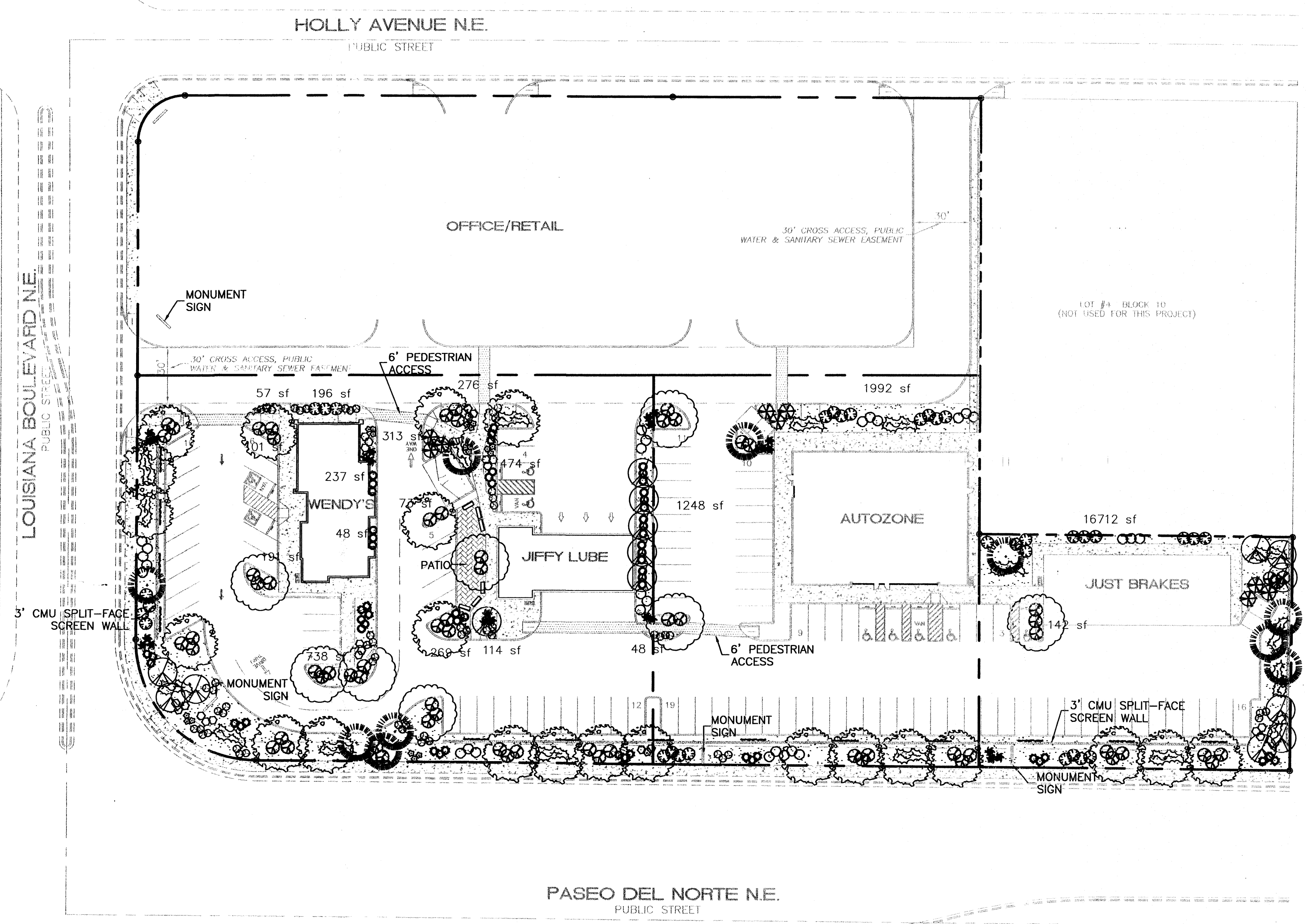
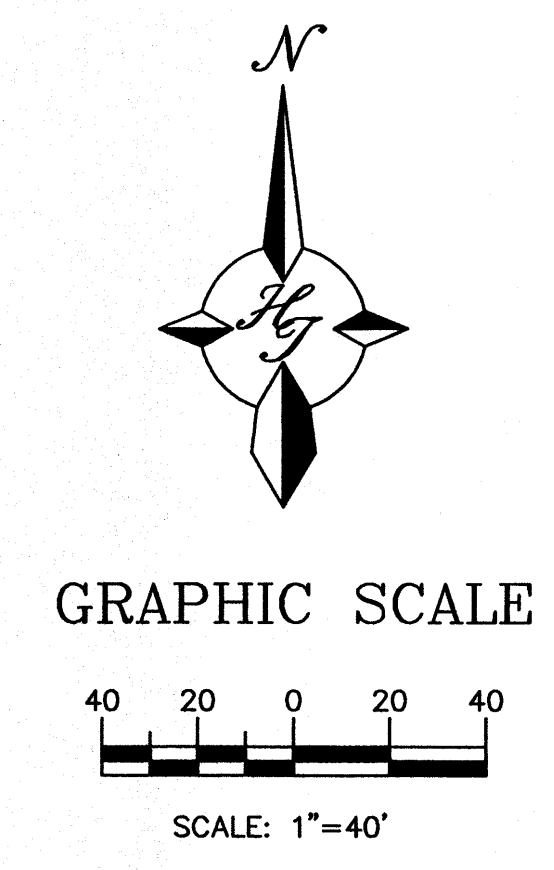
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	_____	Date	_____
Utilities Development	_____	Date	_____
Parks & Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
* Environmental Health Department (conditional)	_____	Date	_____
Solid Waste Management	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____



ENGINEER'S SEAL 	LOUISIANA/PASEO	DRAWN BY AB
	SITE PLAN FOR SUBDIVISION	DATE 9/14/04
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		01_2373SPSE-9-14-04
RONALD R. BOHANNAN P.E. #7868		SHEET # C1
		JOB # 230073





**PLANT LEGEND**

- ASH (H) OR HONEY LOCUST (H) 22  
*Fraxinus pennsylvanica*  
*Gleditsia triacanthos*  
2" Cal.
- PURPLE ROBE LOCUST (M) 7  
*Robinia ambigua*  
2" Cal.
- FLOWERING PEAR (H) 15  
*Pyrus calleryana*  
2" Cal.
- AUSTRIAN PINE (H) 10  
*Pinus nigra*  
6-8'
- SILVERBERRY (M) 9  
*Elaeagnus pungens*  
5 Gal. 100sf
- APACHE PLUME (L) 28  
*Fallugia paradoxa*  
5 Gal. 25sf
- LANAS/ SCOTCH BROOM (M) 27  
*Cytisus scoparius*/  
*Genista hispanica*  
5 Gal.
- GREYLEAF COTONEASTER 51  
*Cotoneaster buxifolius*  
5 Gal.
- MAIDENGRASS (M) 23  
*Miscanthus sinensis*  
5 Gal. 16sf
- ROSEMARY (M) 30  
*Rosmarinus officinalis*  
2 Gal. 36sf
- POTENTILLA (M) 21  
*Potentilla fruticosa*  
2 Gal.
- AUTUMN SAGE (M) 24  
*Salvia greggii*  
2 Gal. 9sf
- HONEYSUCKLE (M) 66  
*Lonicera sempervirens*  
1 Gal. 200sf  
Unstaked-Groundcover
- CHAMISA (L) 33  
*Chrysothamnus nauseosus*  
1 Gal. 25sf
- WILDFLOWER 55  
1 Gal. 4sf
- TRUMPET VINE 13  
*Campsis radicans*  
1 Gal.
- SANTA FE BROWN GRAVEL  
WITH FILTER FABRIC

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	114249	square feet
TOTAL BUILDINGS AREA	15809	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	98440	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	14766	square feet
TOTAL BED PROVIDED	23229	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	17412	square feet
TOTAL GROUNDCOVER PROVIDED	20499	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet
TOTAL LANDSCAPE PROVIDED	23229	square feet

**STREET TREE REQUIREMENTS**

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Louisiana Blvd.	Required 7	Provided 7
Paseo Del Norte	Required 19	Provided 20



Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmd@hilltoplandscaping.com

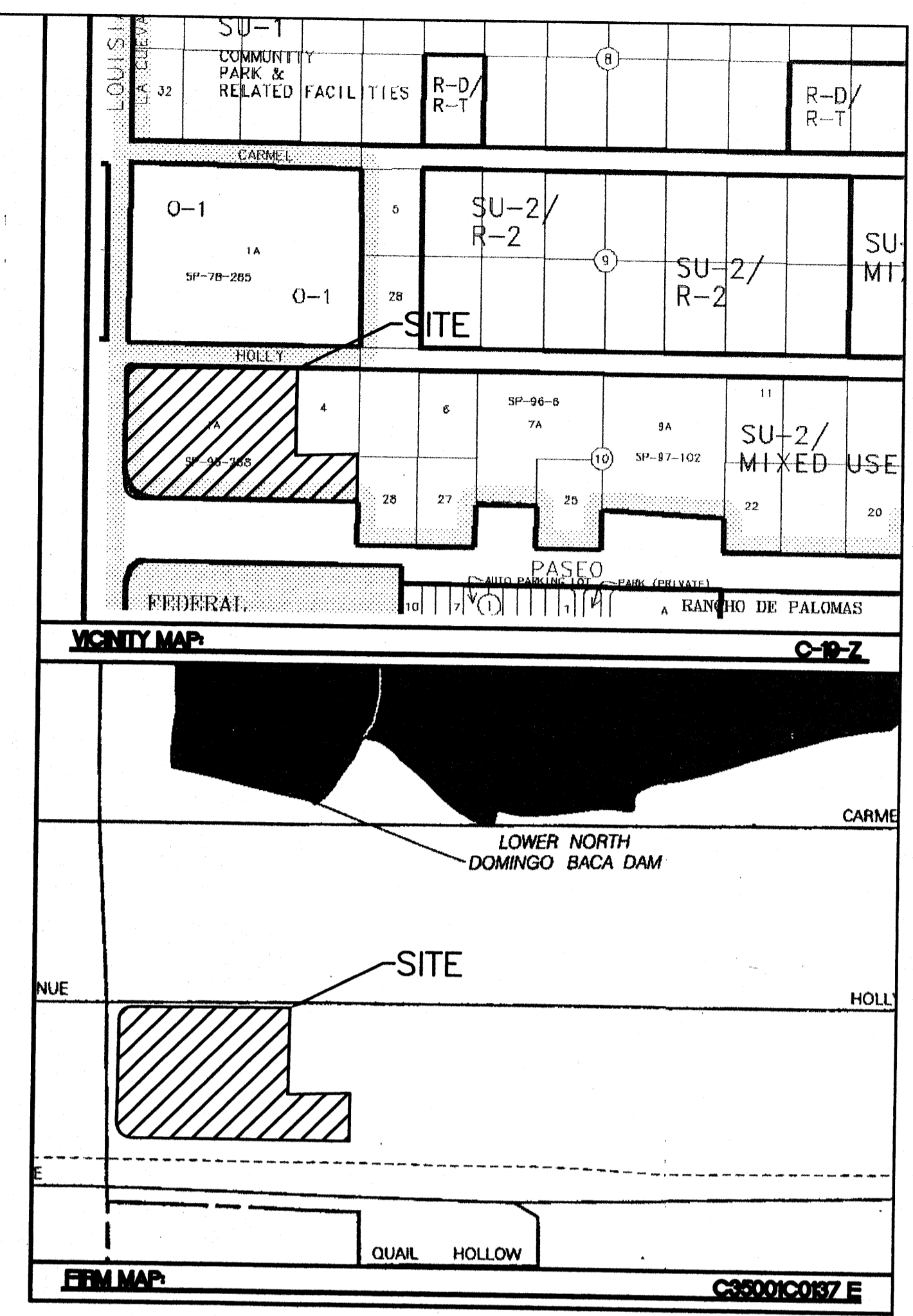
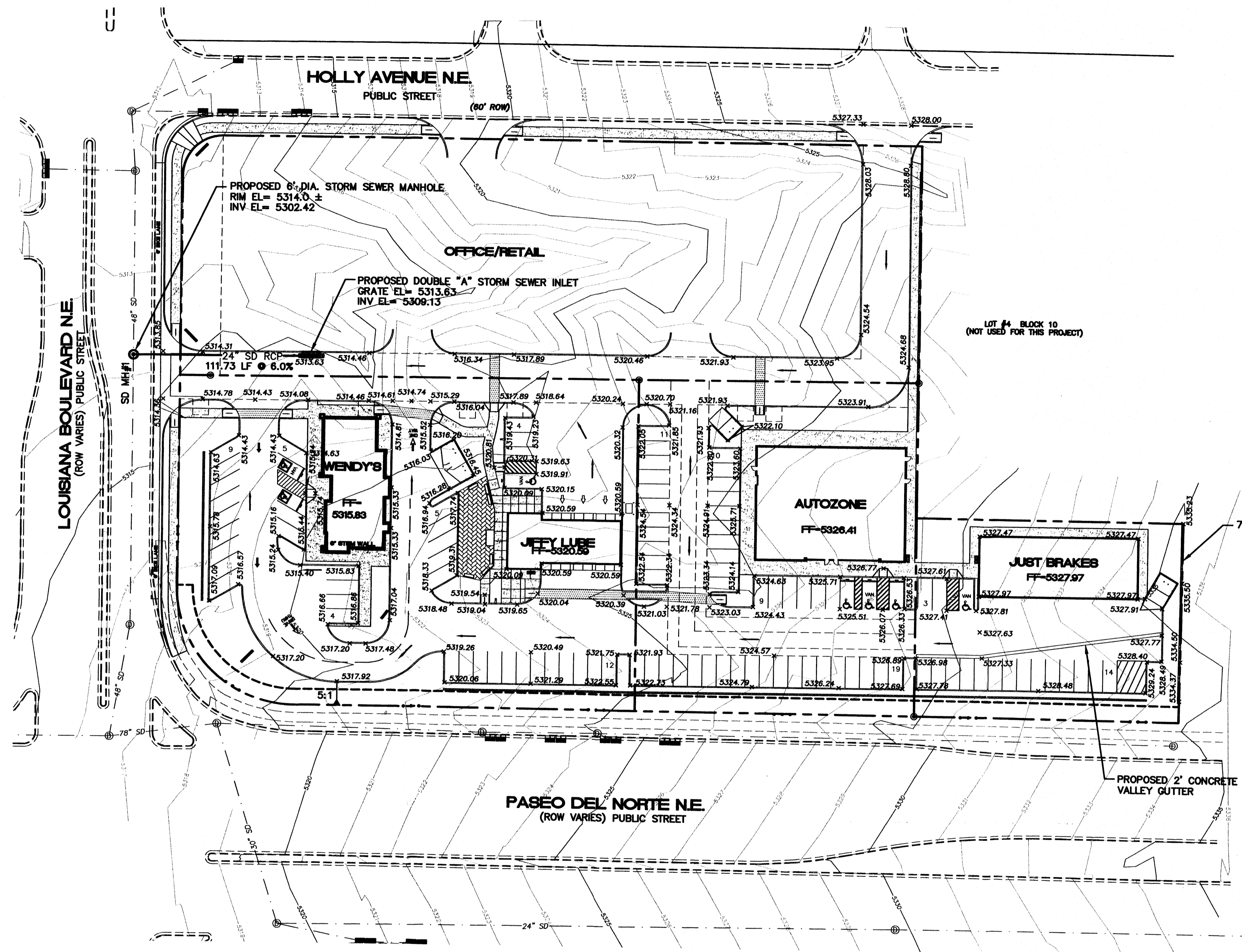
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reprinted or copied unless applicable fees have been paid or job order placed.

ENGINEER'S SEAL	LOUISIANA/PASEO	DRAWN BY SJ
	LANDSCAPE PLAN	DATE 4/15/04
		2373HT-LS-01
		SHEET # C3
		JOB # 230073

**TERRA WEST, LLC**  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

RONALD R. BOHANNAN  
P.E. #7868





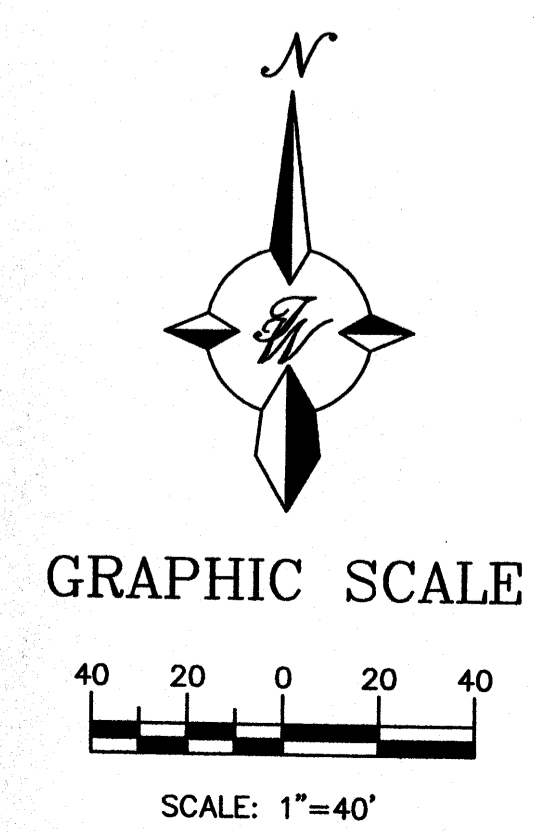
**GENERAL NOTES:**  
 1. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.

LEGEND	
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER DOUBLE "A" INLET
	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	NEW CURB
	FLOW ARROW
	PROPOSED SPOT ELEVATION
	PROPOSED VALLEY GUTTER
	PERMANENT STRIPING

**EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

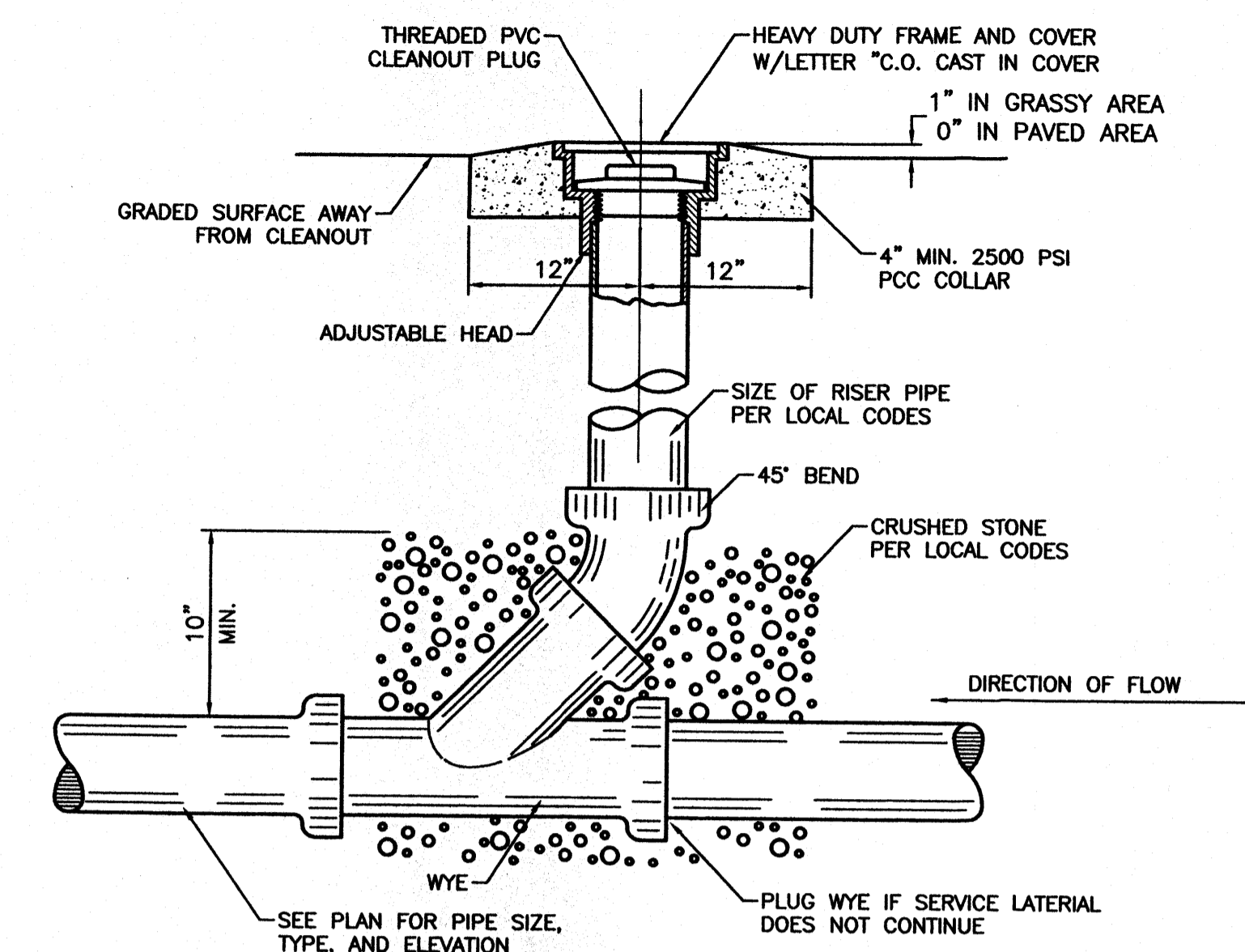
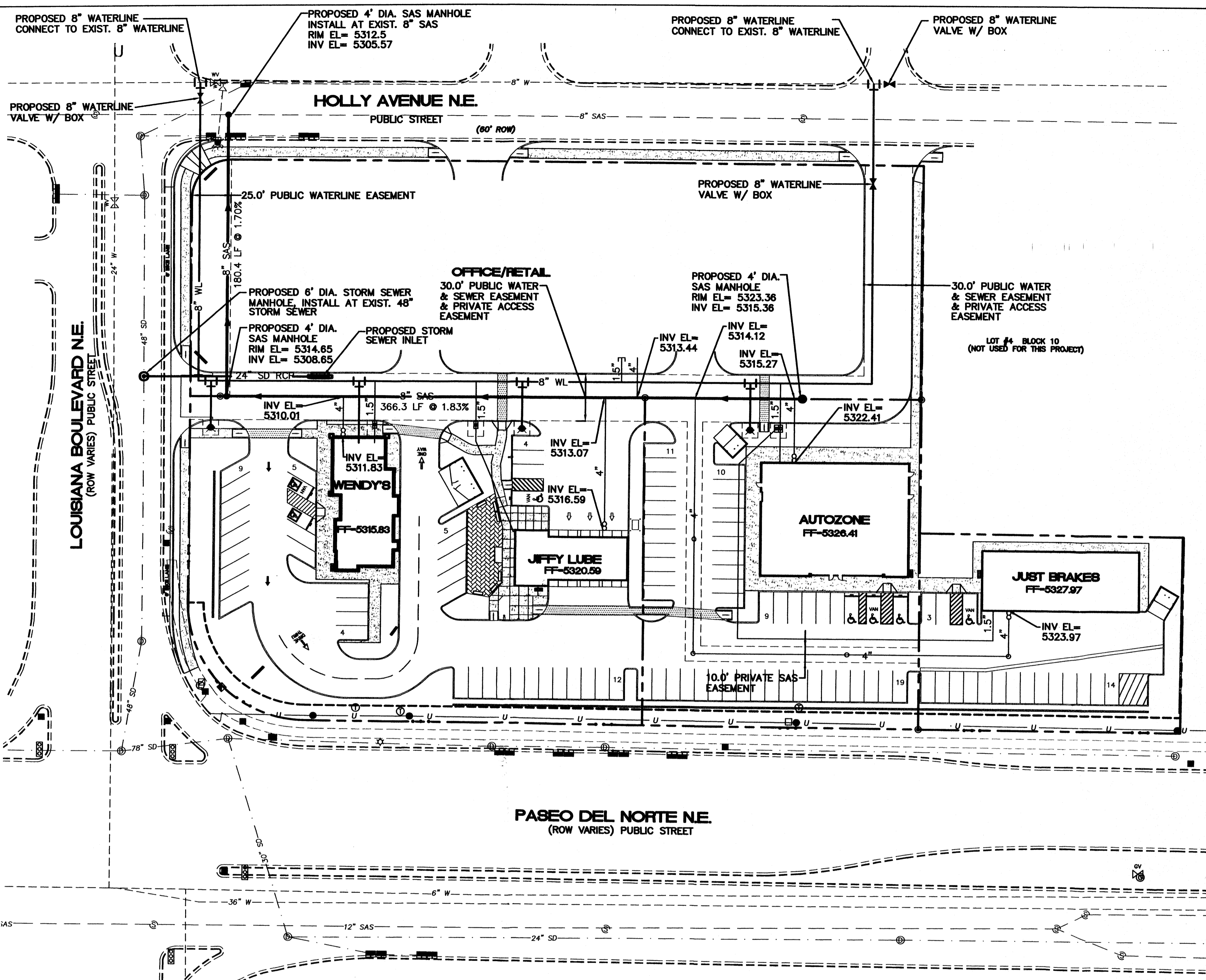
**CAUTION:**  
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



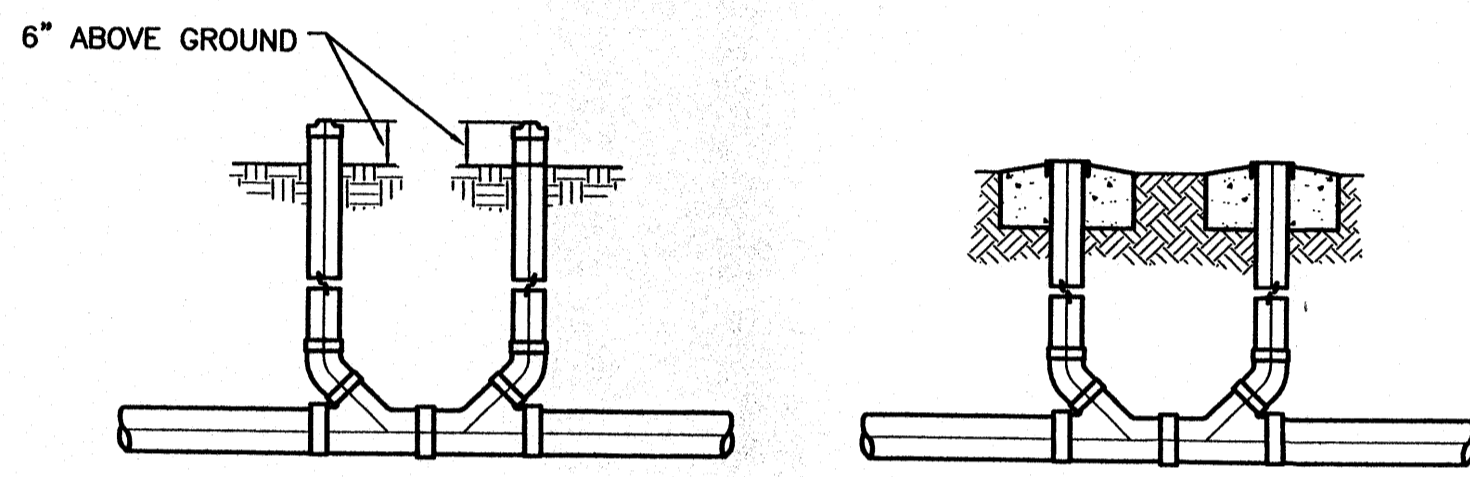
**ROUGH GRADING APPROVAL**

 RONALD R. BOHANNAN P.E. #7868	<b>LOUISIANA/PASEO</b>  <b>GRADING AND DRAINAGE PLAN</b>	DRAWN BY AB DATE 9/14/04 04_23736RB-9-14-04
	<b>TIERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>C4</b>  JOB # 230073





**SANITARY SEWER CLEAN-OUT**  
NTS



**SANITARY SEWER DOUBLE CLEAN-OUTS**  
NTS

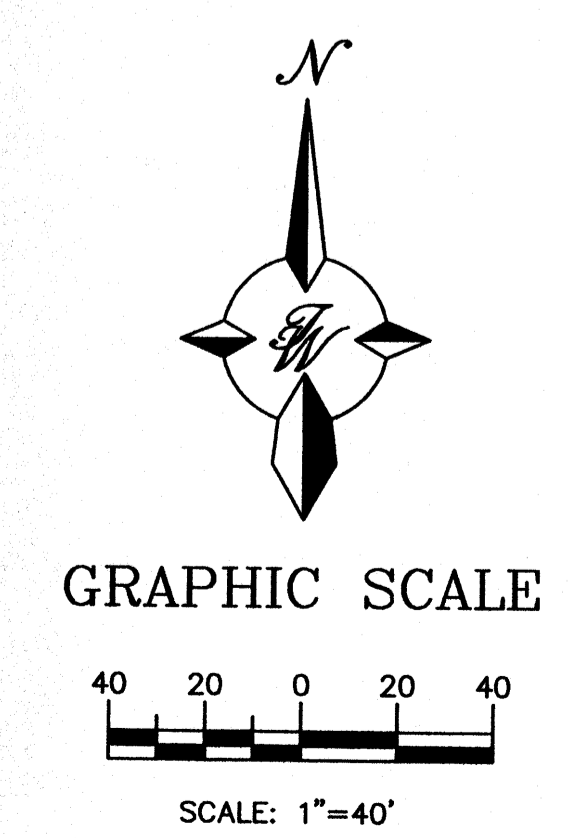
**LEGEND**

	GAS VALVE
	TRAFFIC SIGNAL BOX
	CONTROL VALVE BOX
	ANCHOR
	OVERHEAD UTILITY LINES
	ACCESS CONTROL LINE
	GAS MANHOLE
	UTILITY PEDESTAL
	TELEPHONE MANHOLE
	ELECTRIC MANHOLE
	EXISTING POWER POLE
	EXISTING SAS MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	PROPOSED SAS CLEAN-OUT
	PROPOSED SAS DOUBLE CLEAN-OUT
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED METER
	PROPOSED VALVE W/BOX
	PROPOSED SANITARY SEWER LINE
	PROPOSED STORM SEWER LINE
	PROPOSED WATER LINE
	BOUNDARY LINE
	EASEMENT
	STREET LIGHTS
	PROPOSED VALLEY GUTTER
	PERMANENT STRIPING

- NOTICE TO CONTRACTORS:**
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
  - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (505)765-1234, FOR LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  - BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
  - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

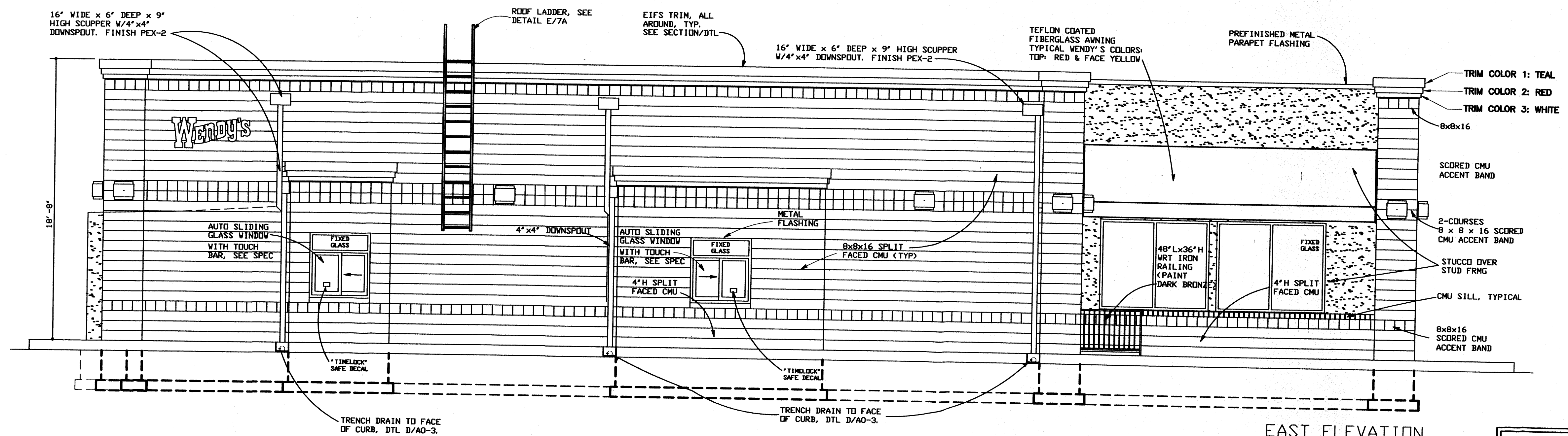
- GENERAL NOTES:**
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
  - ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  - CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  - SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL	<b>LOUISIANA/PASEO</b>	DRAWN BY: AB
		DATE: 9/14/04
		<b>MASTER UTILITY PLAN</b>
<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET # <b>C5</b>



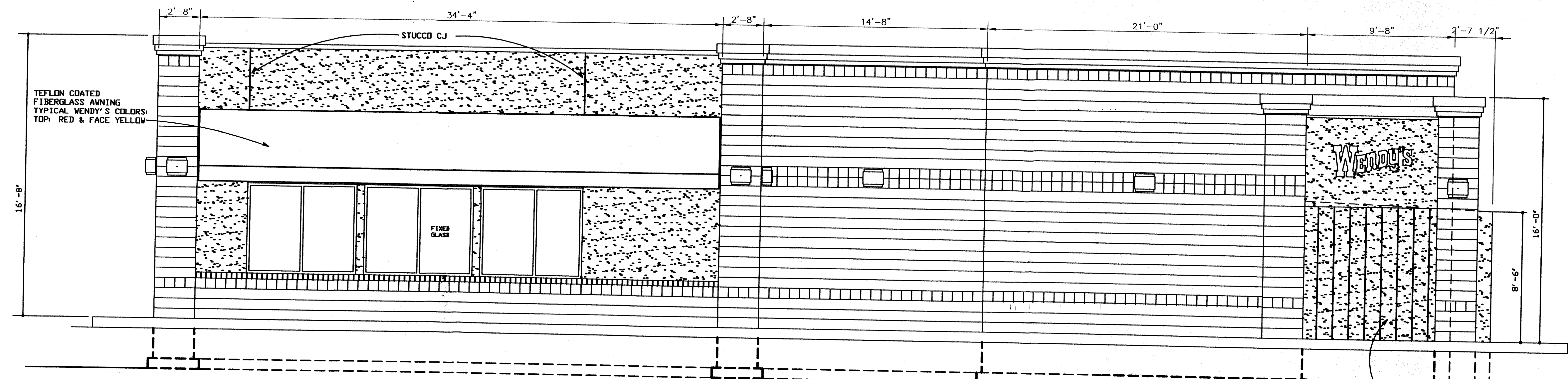
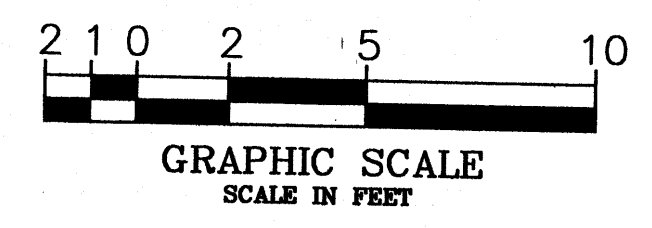


**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

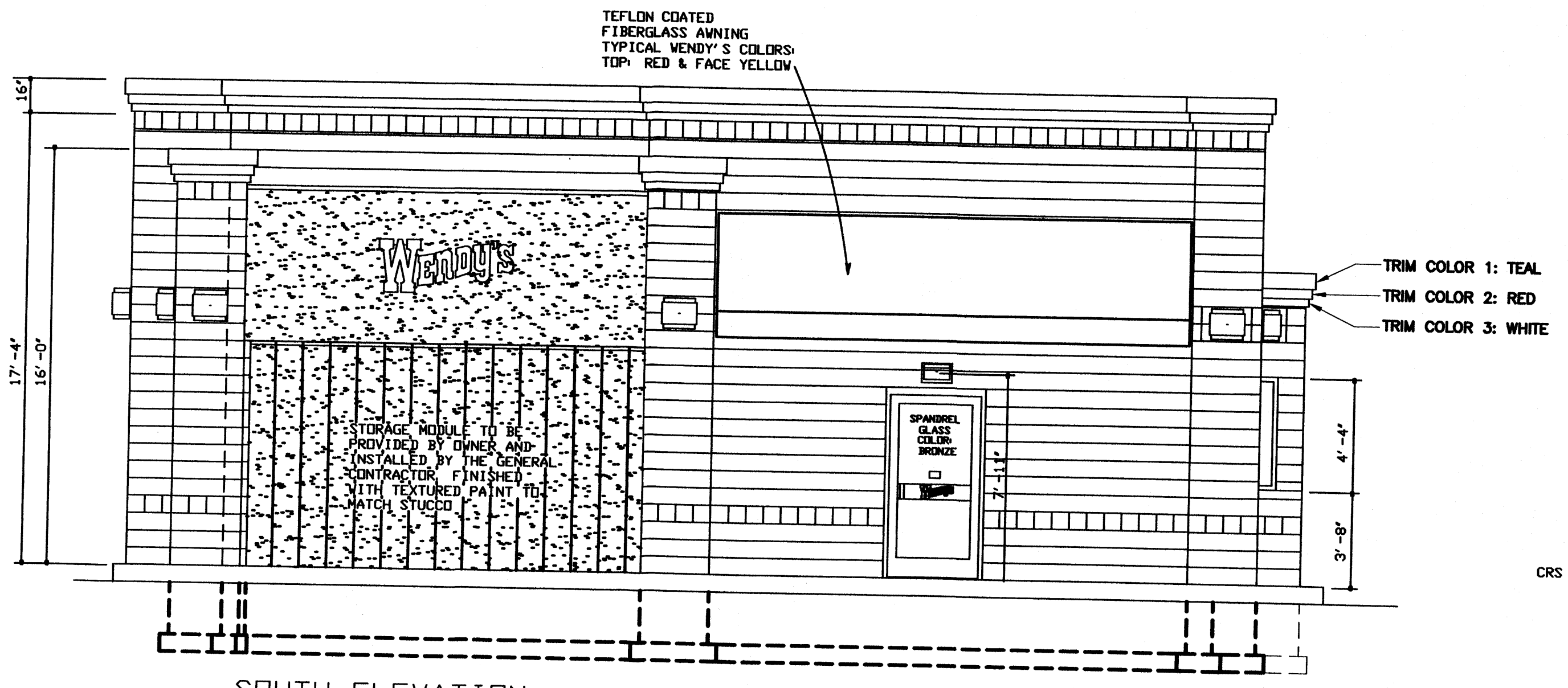
PARAPET SCREENING OF ROOF TOP MECHANICAL  
THE TOPS OF ROOF TOP HVAC EQUIPMENT SHALL BE LESS THAN OR EQUAL TO THE TOP OF THE PARAPET PER THE LA CUEVA SECTOR DEVELOPMENT PLAN REGULATION 11R-3.

**BUILDING COLOR**  
SPLIT FACED CONCRETE MASONRY SHALL BE INTEGRALLY COLORED "DESERT BEIGE" AS MANUFACTURED BY RINKER MATERIALS, ALBUQUERQUE. MORTAR COLOR SHALL MATCH THE CONCRETE MASONRY.  
STUCCO COLOR SHALL BE INTEGRAL OR FINISHED WITH BOND PAINT COMPANY, 3201 CANDELARIA, ALBUQUERQUE, 505-888-3737, COLOR REFERENCE: WENDY'S TAN 1001  
ALL COPINGS COLOR SHALL MATCH THE ADJOINING BUILDING COLOR.  
ALUMINUM STOREFRONT WINDOW AND DOOR FRAMES SHALL BE DARK BRONZE ANODIZED FINISH.

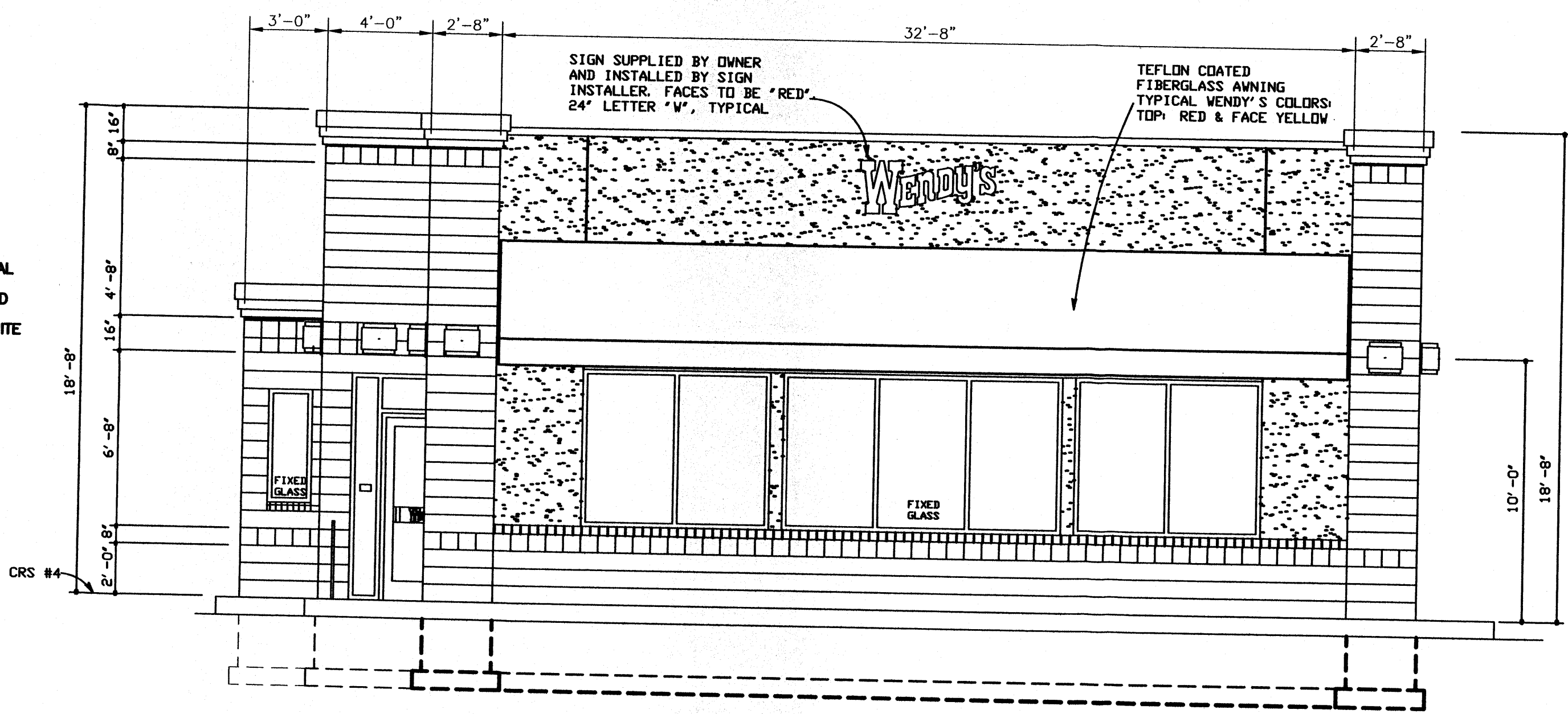
NOTE: ALL DIMENSIONS AND MATERIALS ON ALL SECTIONS ARE THE SAME UNLESS NOTED OTHERWISE.



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

SCALE: SHOWN	DATE	BY	REVISIONS

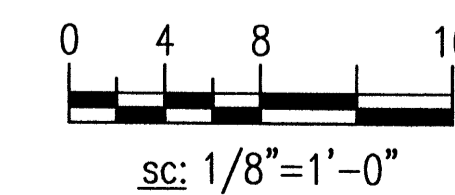
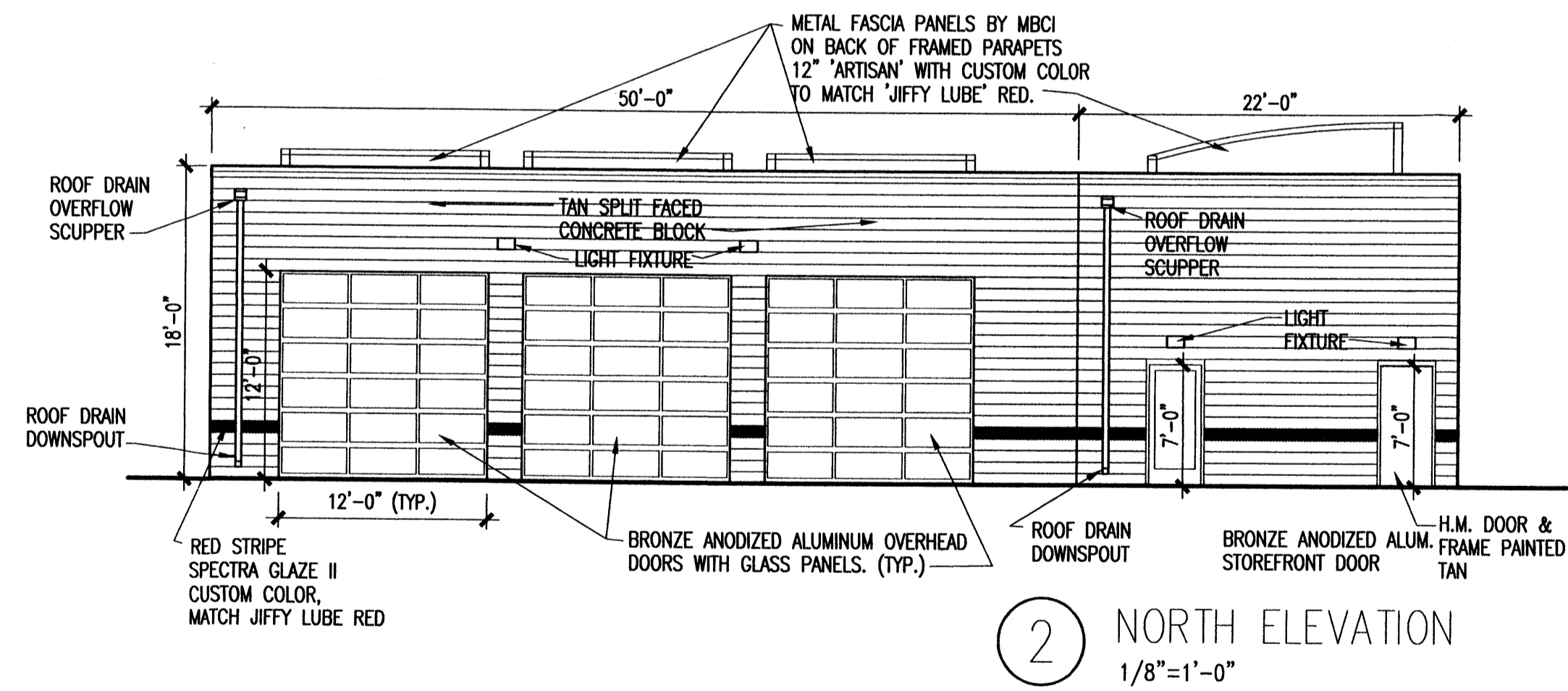
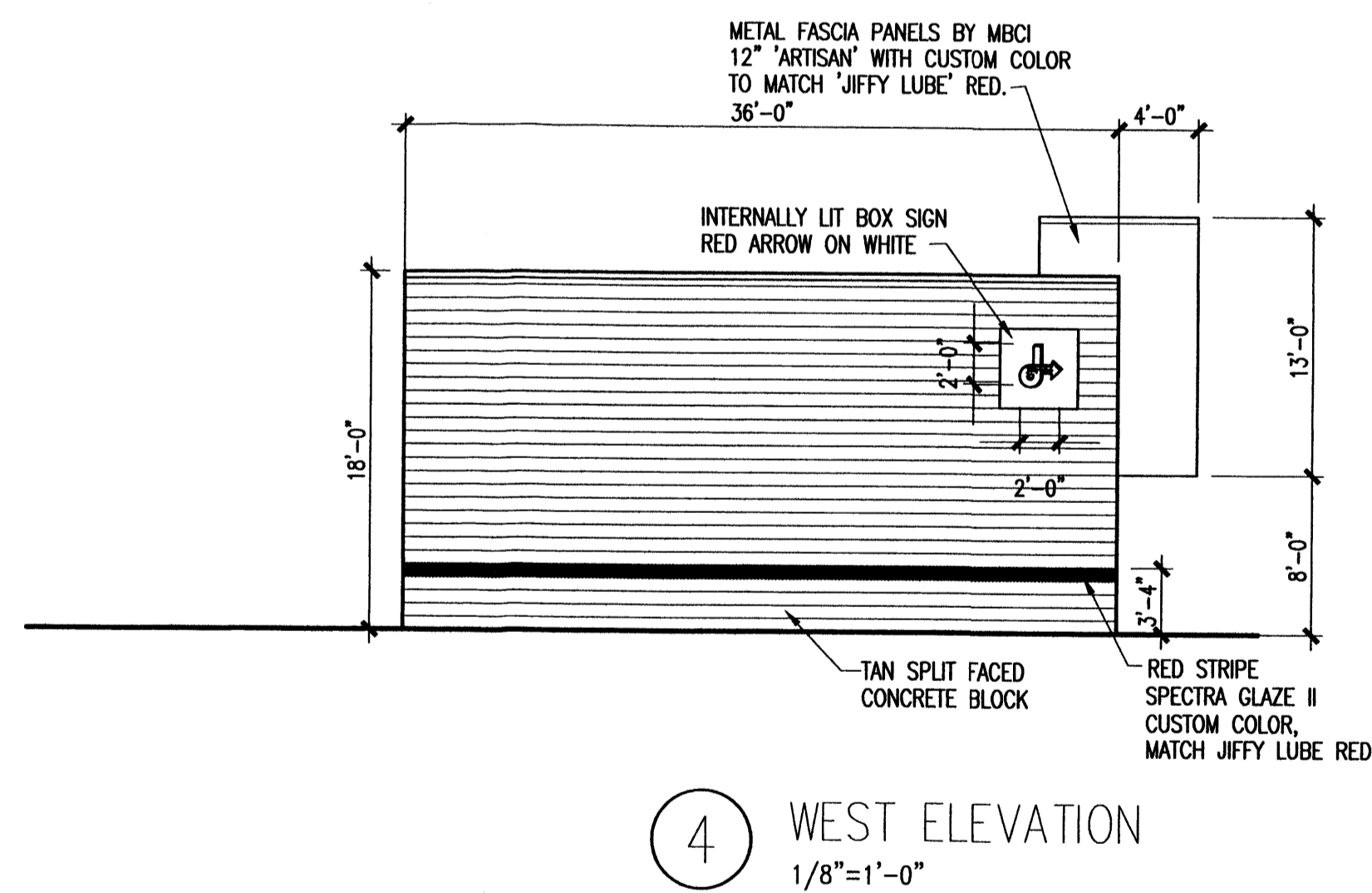
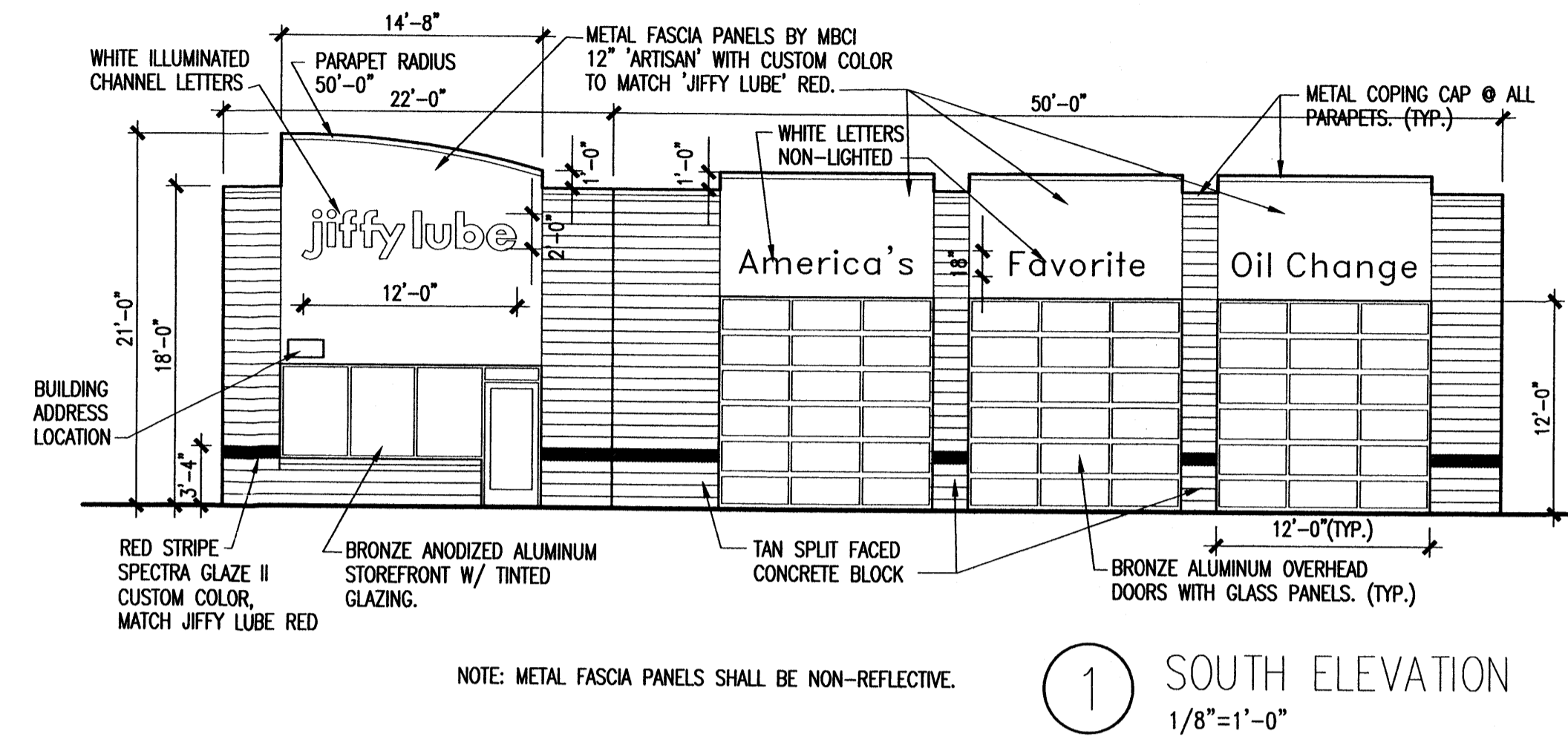
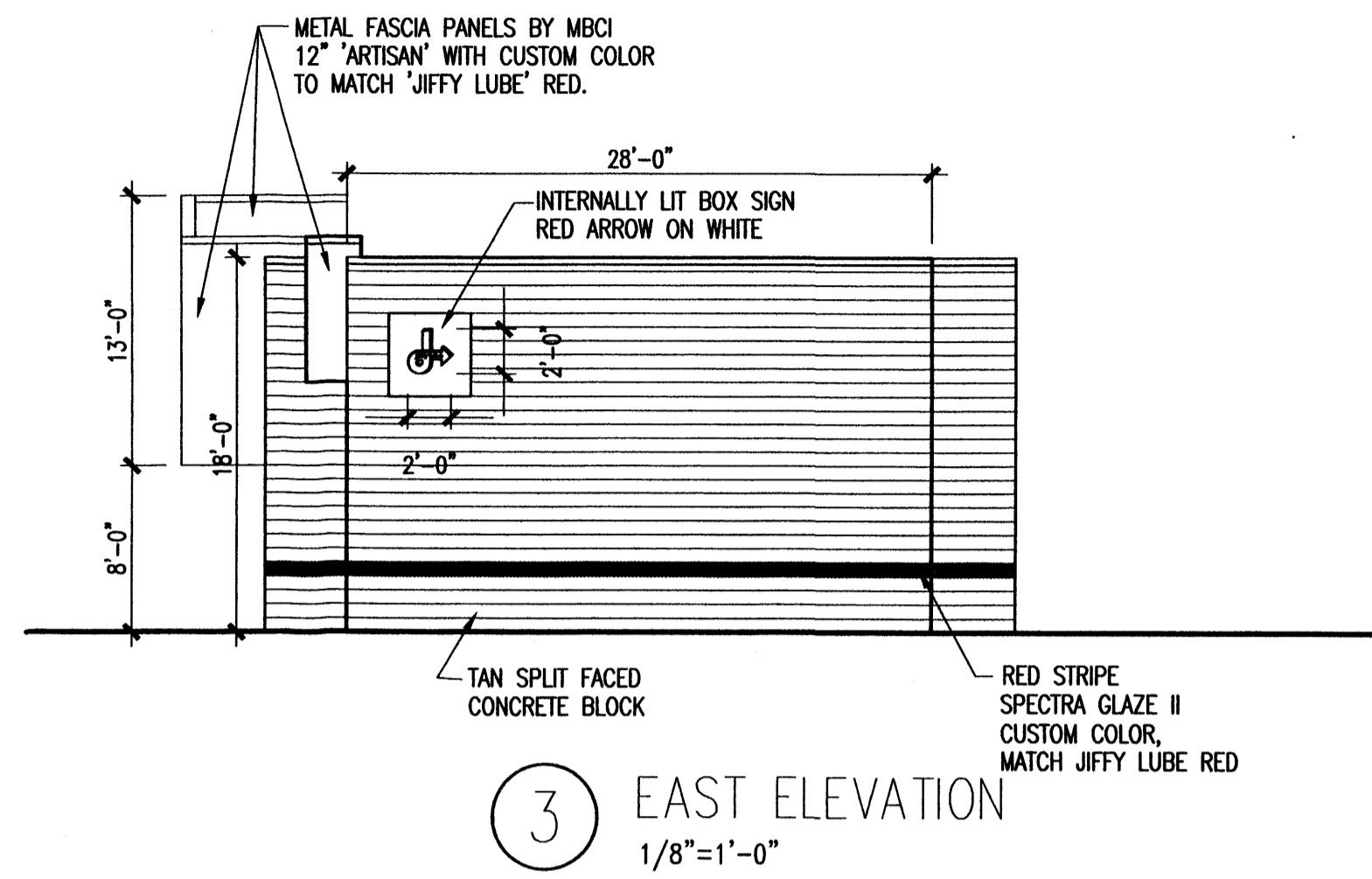
Date: APRIL 2004


**Wendy's**  
OLD FASHIONED HAMBURGERS  
ONE CORNER PASEO DEL NORTE AND LOUISIANA  
ALBUQUERQUE, NEW MEXICO

800 X 1768  
ALBUQUERQUE, NM 87106  
(505) 261-1050  
FILE: 1050  
aktarch@earthlink.net

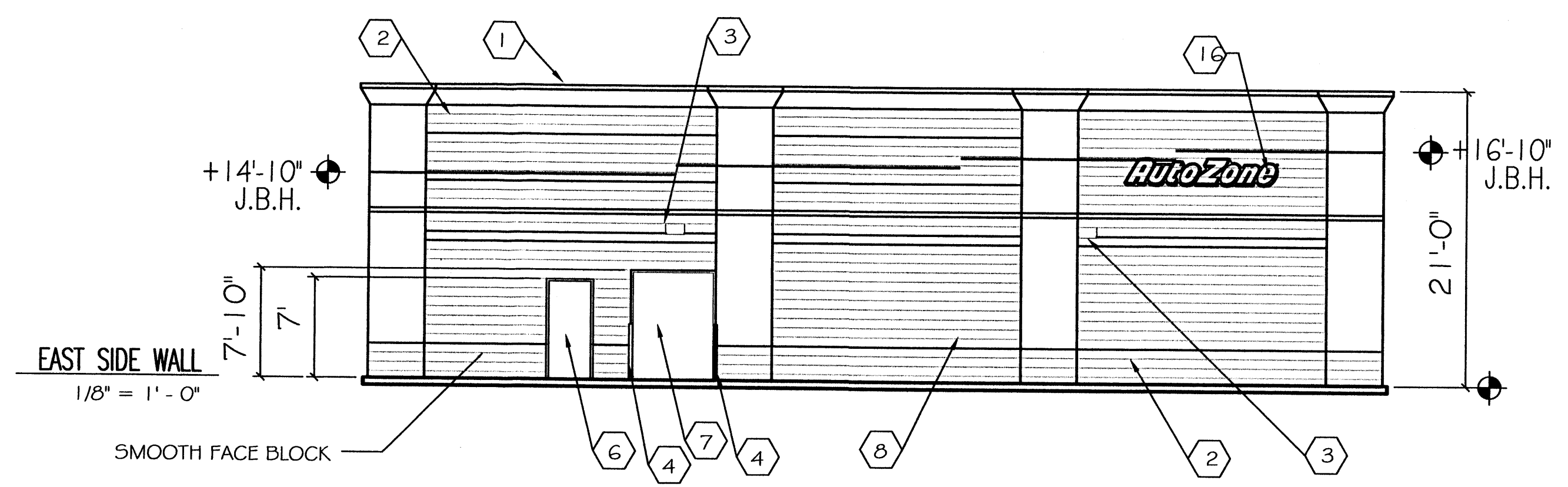
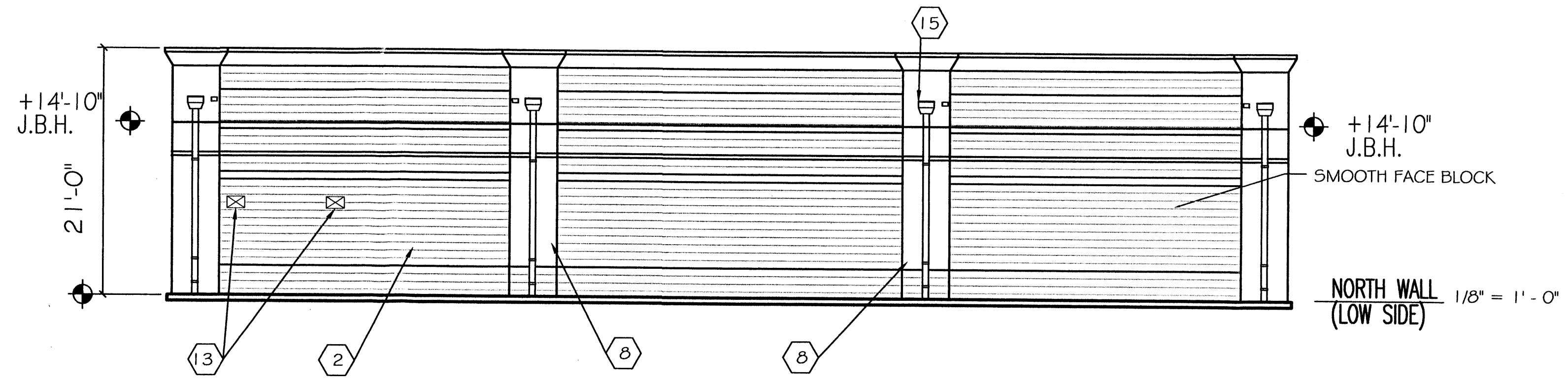
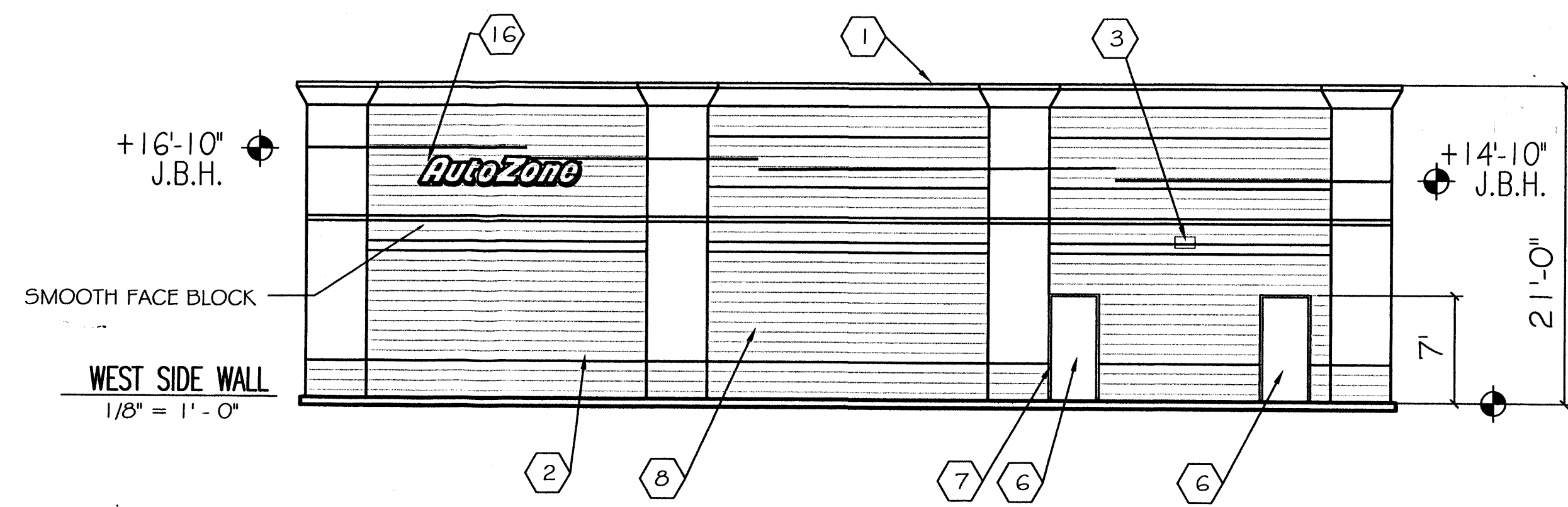
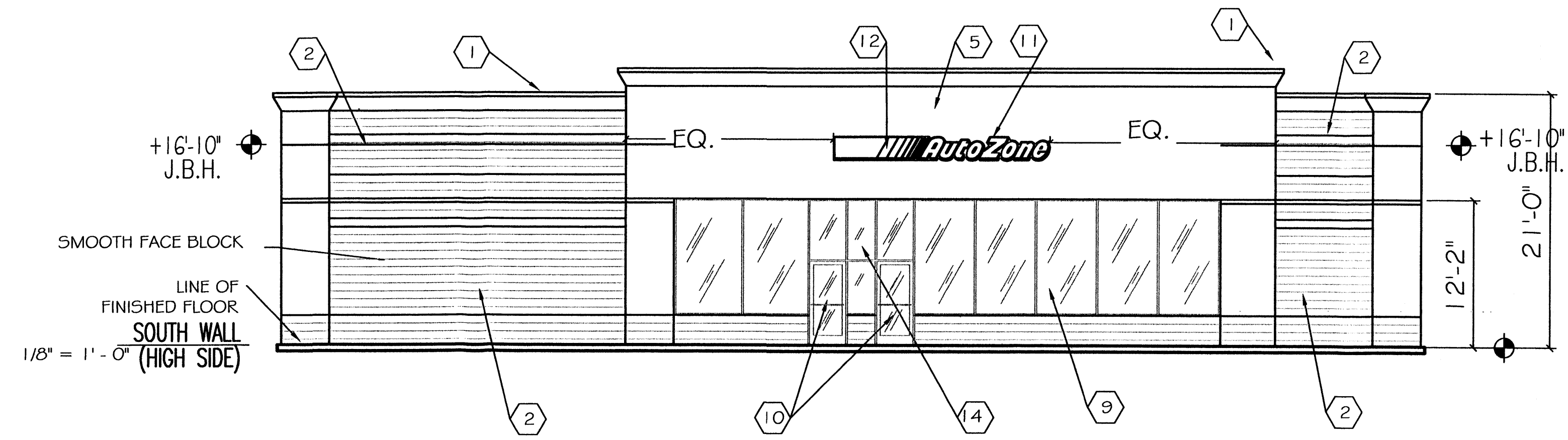


PLAN No. (REV #1)	E-2000
JOB No.	SHEET No.
9904B	C6



ENGINEER'S SEAL	LOUISIANA/PASEO	DRAWN BY DY
	ELEVATIONS FOR JIFFY LUBE	DATE 9/14/04
		07_2373ELEJIFFY_LUBE
		SHEET # C7
		JOB # 230073
RONALD R. BOHANNAN P.E. #7868	 <b>TIERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	



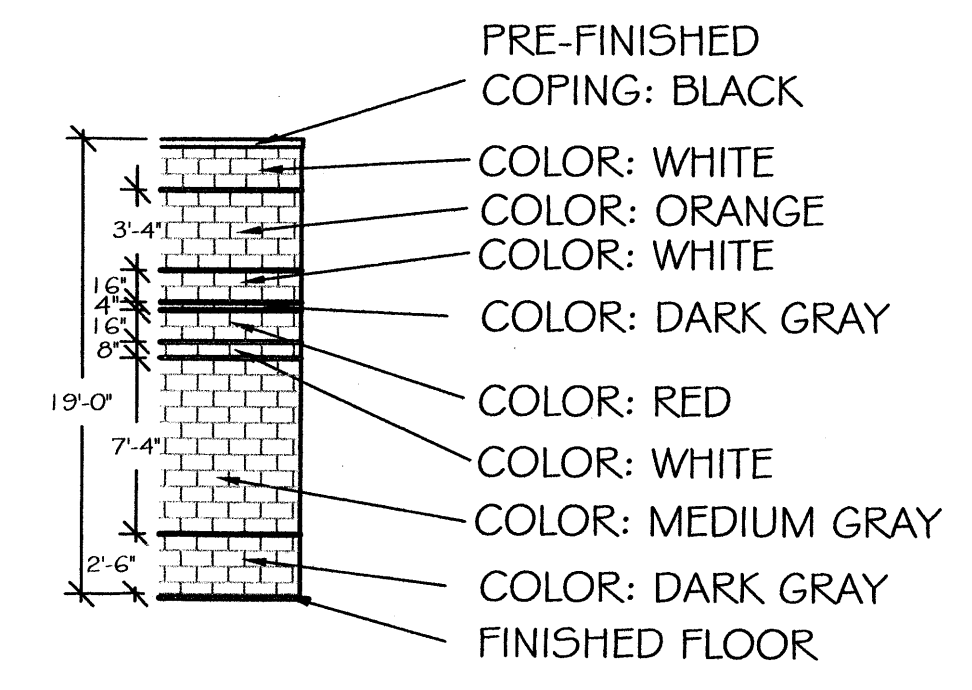


- 1 PREFINISHED ALUMINUM COPING COLOR: BLACK
- 2 CMU WALL SEE PAINT DETAIL SCHEME THIS SHEET
- 3 WALL MOUNTED LIGHT FIXTURE
- 4 PIPE GUARD PAINT RED
- 5 INTEGRAL COLOR EXTERIOR INSULATED FINISH - WHITE
- 6 PAINT HOLLOW METAL DOOR(S) RED AND FRAMES BLACK. PAINT SHALL BE LOW REFLECTIVE AND SHALL NOT CONTAIN FLECKS OF METAL
- 7 DO NOT PAINT OVERHEAD DOOR. PAINT ANGLE FRAMES BLACK
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 WALL SIGN - 24\"/>

NO SCALE AWN01AWU2

1 ELEVATION KEY NOTES

NOTE: CENTER ALL WALL SIGNAGE VERTICALLY ON THE ORANGE STRIPE. PAINT ORANGE STRIPE TO WITHIN 2\"/>



2 EXTERIOR WALL COLOR SCHEME

AWE0165W2

AutoZone, Inc.  
123 South Front Street  
Memphis, Tennessee 38103  
TEL: (901) 495-8424  
FAX: (901) 495-8424

Prepared For: PASEO @ LOUISIANA ALBUQUERQUE NM  
AutoZone STORE DEVELOPMENT  
EXTERIOR ELEVATIONS

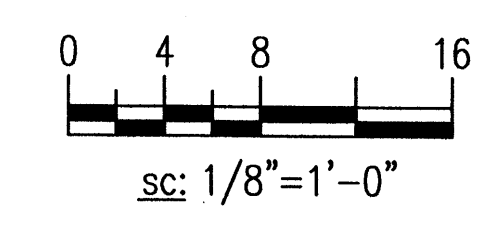
REVISIONS	DATE
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2.	
3.	
4.	

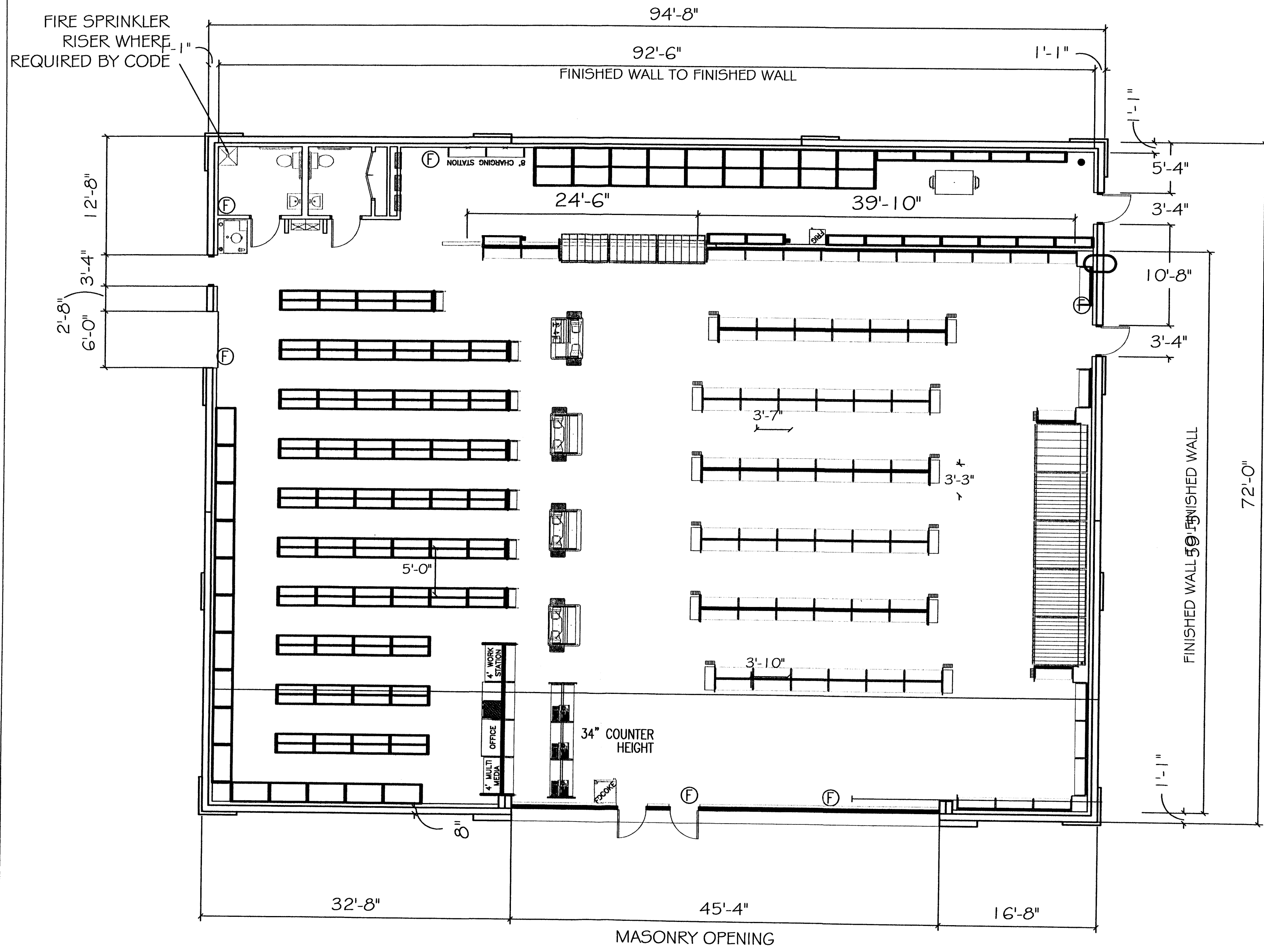
SCALE: 1/8" = 1'-0"

DATE  
07-20-04

PROTOTYPE SIZE  
65W2-LEFT

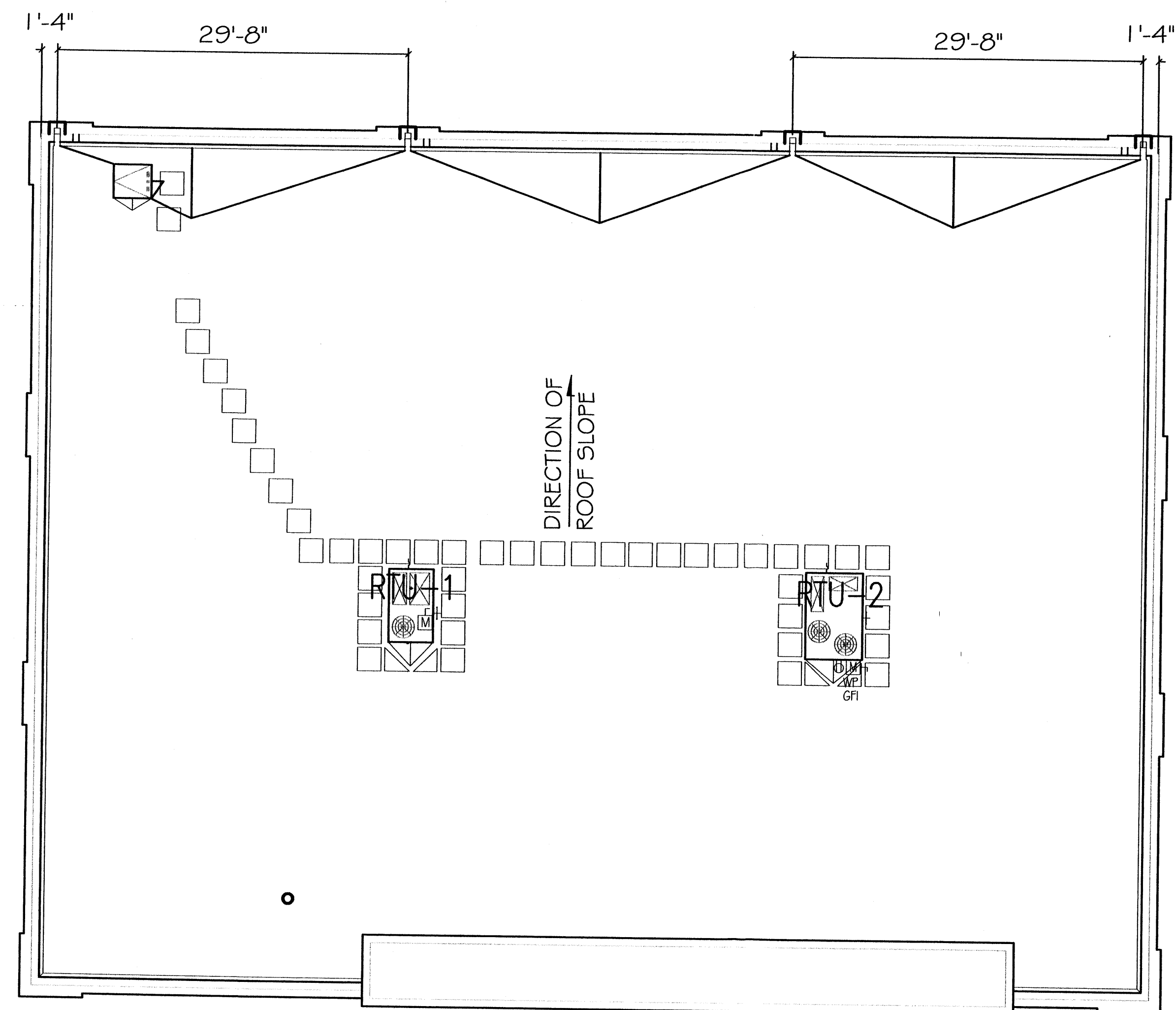
C8





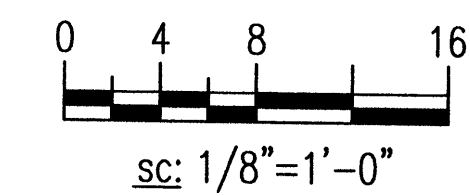
**FLOOR PLAN**

1/8" = 1' - 0"



**ROOF PLAN**

1/8" = 1' - 0"



**AutoZone STORE DEVELOPMENT**

AutoZone, Inc.  
 123 South Front Street  
 Memphis, Tennessee 38103  
 TEL: (901) 495-8424  
 FAX: (901) 495-8424

Prepared For: **AutoZone**  
 Store No. PASEO @ LOUISIANA  
 ALBUQUERQUE NM

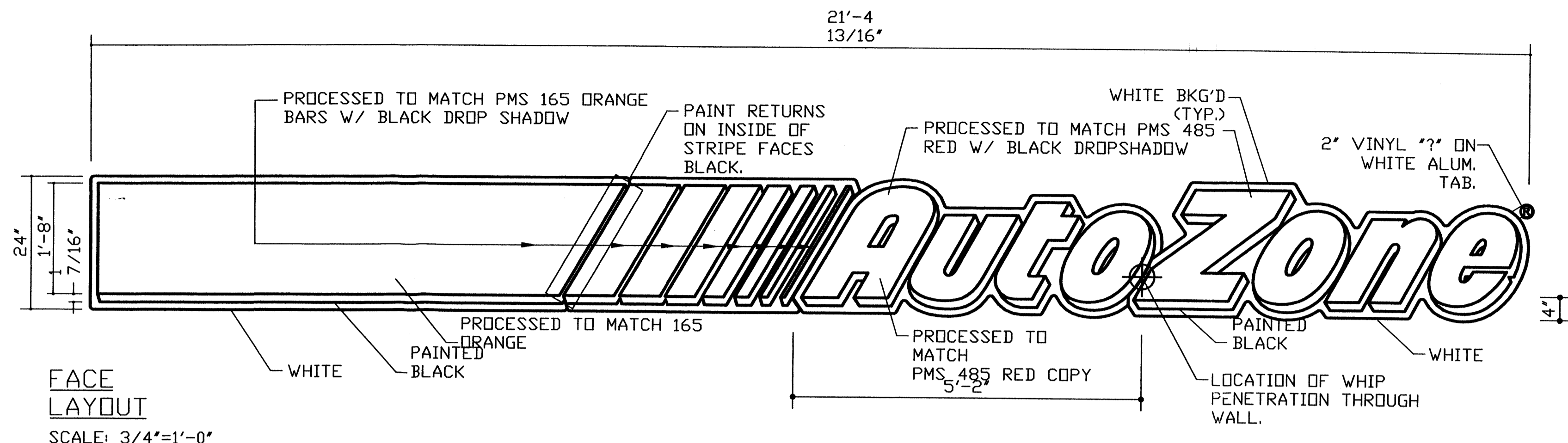
REVISIONS
1.
2.
3.
4.

SCALE: AS NOTED

DATE  
**07-20-04**  
 PROTOTYPE SIZE  
**65W2-LEFT**

**C9**

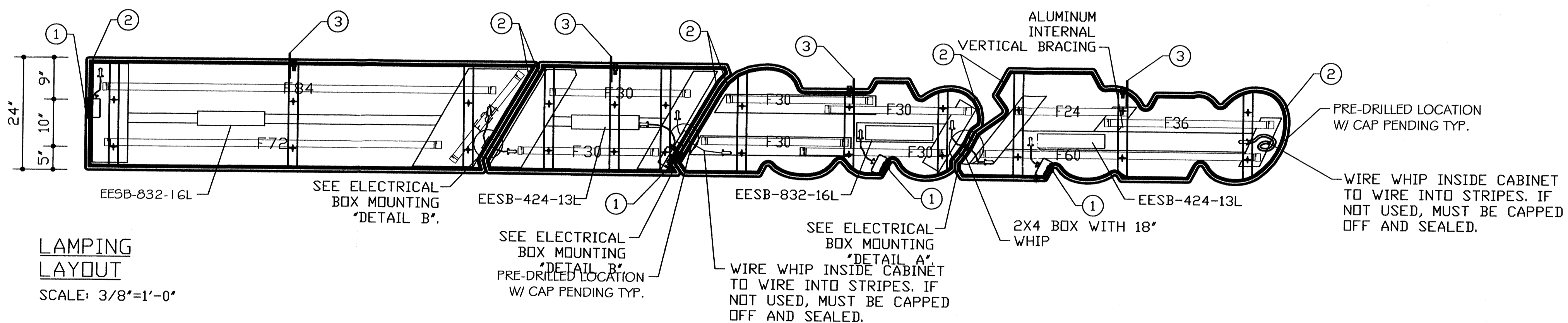




FACE LAYOUT  
SCALE: 3/4"=1'-0"

NOTE: ALL ELECTRICAL PENETRATIONS ARE TO BE ON SIDE OF CABINETS \*ONLY\*.

ALL SCREW FASTENERS FROM FACE TO FORMED BACK MUST BE AT TOP & BOTTOM.



LAMPING LAYOUT  
SCALE: 3/8"=1'-0"

- KEY NOTES:
- ① VISIBLE DISCONNECT SWITCH EXACT LOCATION CONTINGENT UPON UL REQUIREMENTS.
  - ② 1" ALUM. VENT TYP.
  - ③ PICKUP TYP.

COLORS:  
CLOUD BACKS-----WHITE  
FACE BACKGROUND-----WHITE  
AUTOZONE-----PROCESSED TO MATCH PMS 485 RED  
STRIPES-----PROCESSED TO MATCH PMS 165 ORANGE  
DROP SHADOW-----PAINTED BLACK  
"?"-----MATCH PMS 485 RED

SEE FACE DETAIL FOR CLARIFICATION.

WINDLOADS	PER SECTION	BOLT SIZE SPECS.
100 MPH	4	3/8" x 2 1/2" (MIN.) LAG BOLTS*
130 MPH	5	3/8" x 2 1/2" (MIN.) LAG BOLTS*
150 MPH	5	3/8" x 2 1/2" (MIN.) LAG BOLTS*

\*NOTE: FOR CONCRETE BLOCK APPLICATIONS, USE NON-CORROSIVE EXPANDING SHIELDS. MIN. 2" EMBEDDED INTO STRUCTURAL BLOCKING PER SECTION.

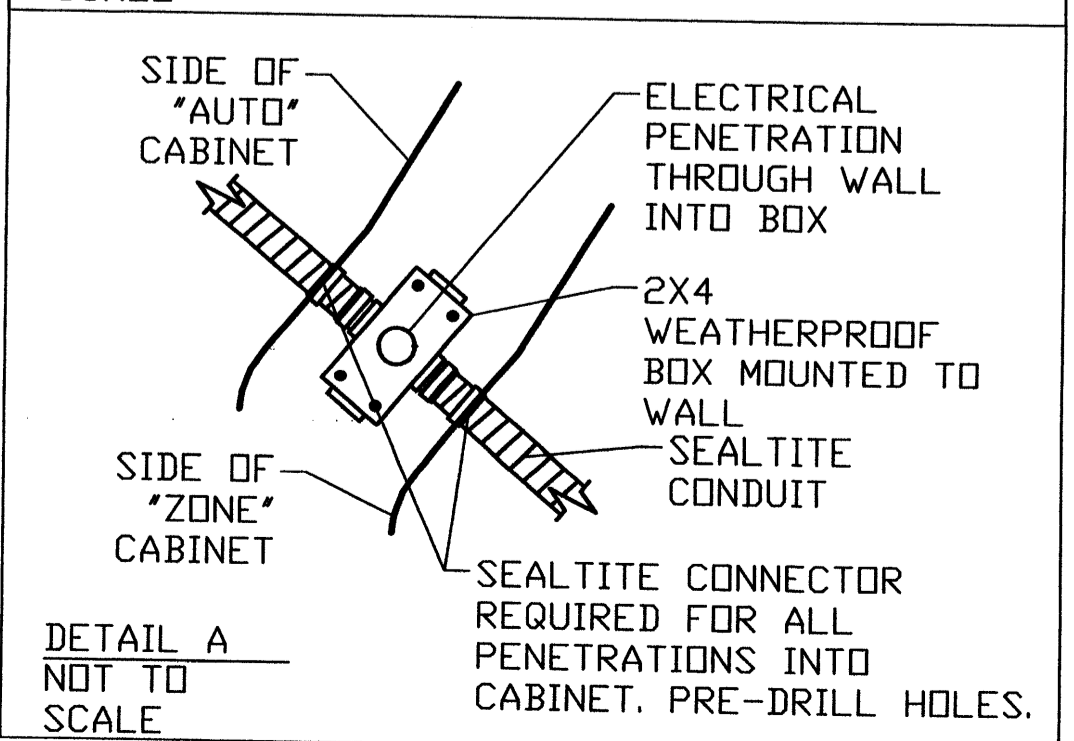
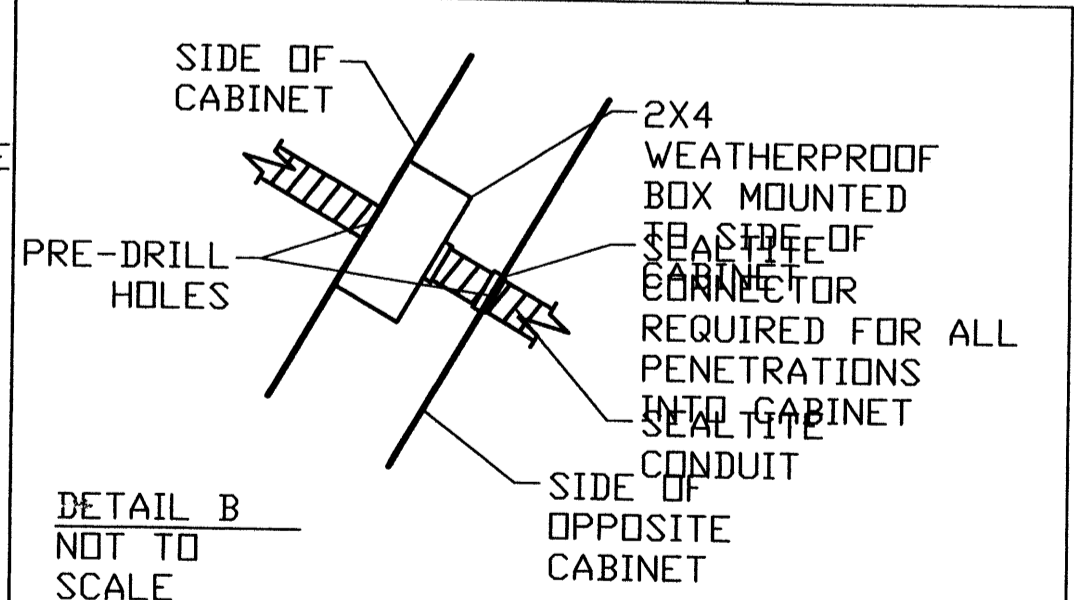
POLYFLEX ? 136 SINGLE COATED POLYETHYLENE TAPE  
TECHNICAL PROPERTIES:  
TOTAL THICKNESS (NOT INCLUDING LINER) 9.0 mils (0.229mm)  
ADHESIVE THICKNESS SYNTHETIC RUBBER 3.5 mils (0.089mm)

ADHESIVE TEST DATA:  
PEEL ADHESION (PSTC 1 MOD.) OZ./INCH (N/25mm) 70  
INITIAL TO S.S. (20 MIN @ RT)

BACKING ADHESION (PSTC 1 MOD.) INITIAL TO BACKING SUBSTRATE 35

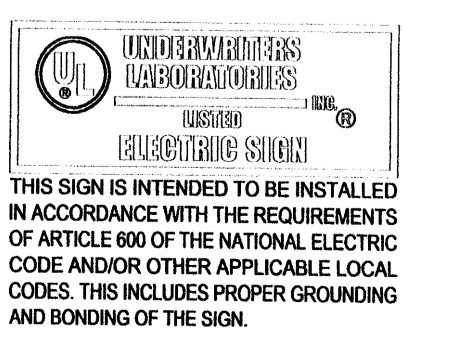
TENSILE STRENGTH (ASTM D-1000) (N/25mm) 22 96  
ELONGATION (ASTM D-1000) %

SQUARE FOOTAGES:  
TOTAL: 42.80 SQ. FT. W/SQUARE BOX  
TOTAL: 40.5970 SQ. FT. W/SECTION BOX

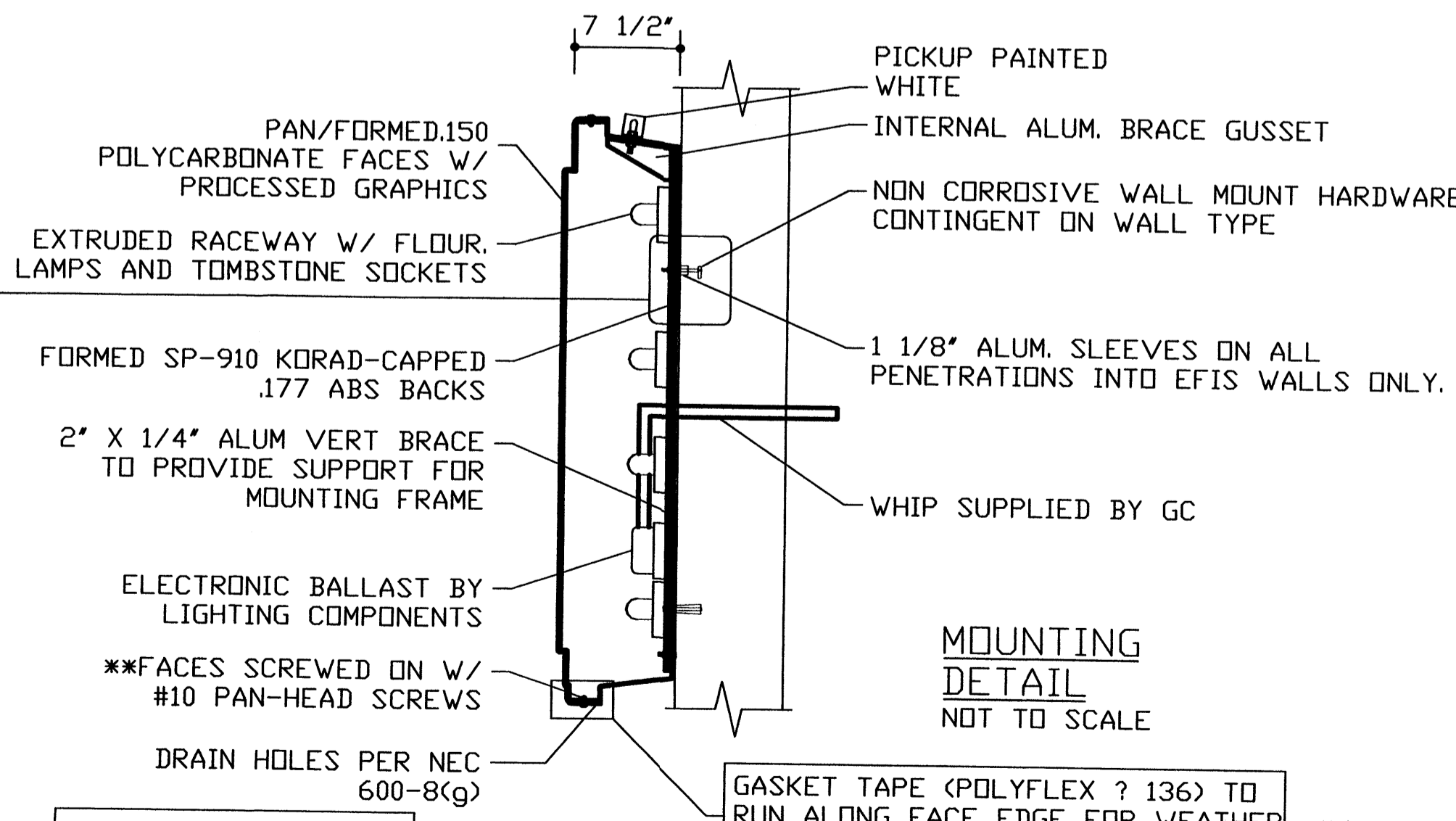
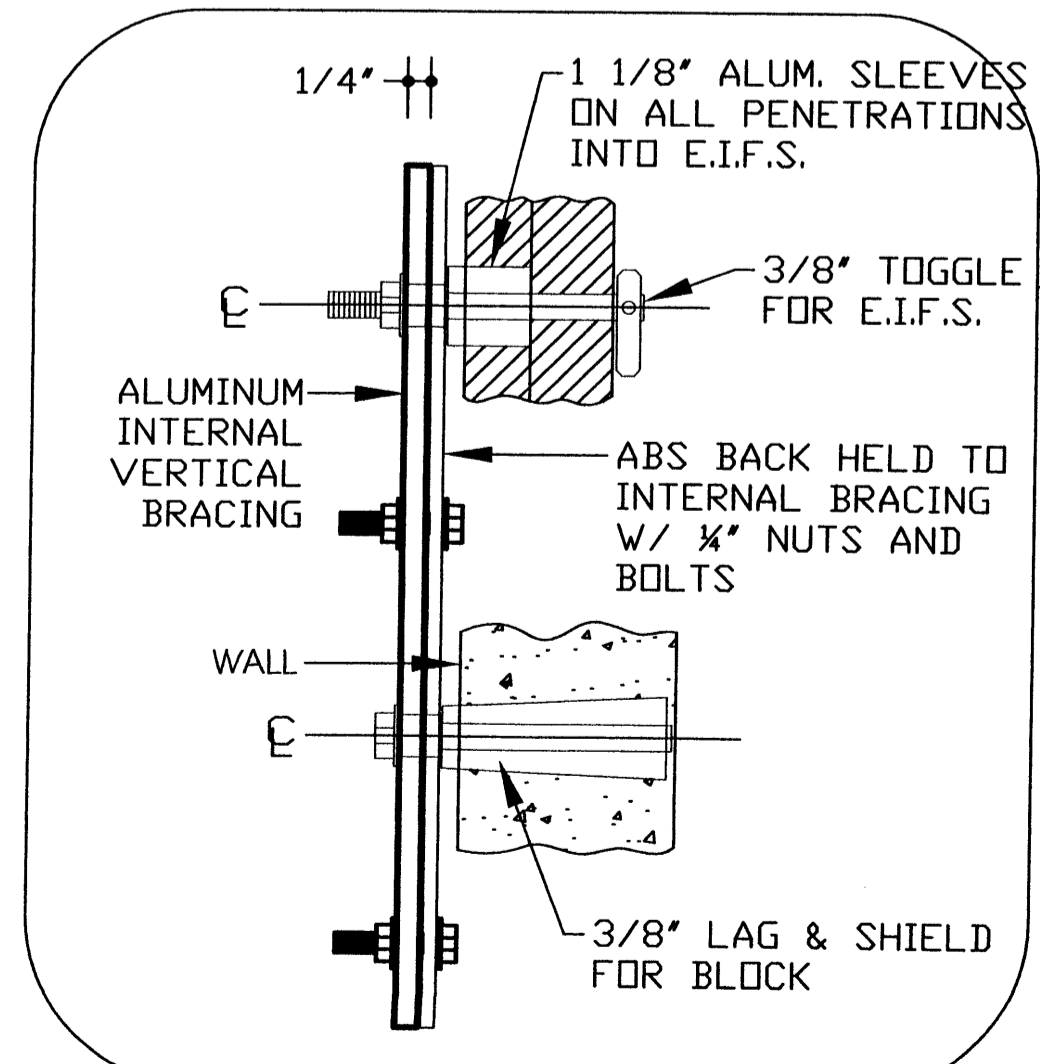


ELECTRONIC BALLASTS TOTAL

UNIT WEIGHTS:  
8TH STRIPE--- 90 LBS  
7-1 STRIPE--- 90 LBS  
"AUTO"--- 90 LBS  
"ZONE"--- 90 LBS



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



WIND LOADS ASCE 7-98  
STEEL - AISC IASD  
NINTH EDITION

\*\*NOTE: FOLLOW PLASTIC MANUFACTURERS PRODUCT INFORMATION GUIDE FOR HOLE SIZING IN REGARDS TO THERMAL EXPANSION.

AutoZone, Inc.  
123 South Front Street  
Memphis, Tennessee 38103  
TEL: (901) 495-8424

Prepared For: AutoZone STORE DEVELOPMENT  
Store No. 3408  
PASEO DEL NORTE  
ALBUQUERQUE NM 87111

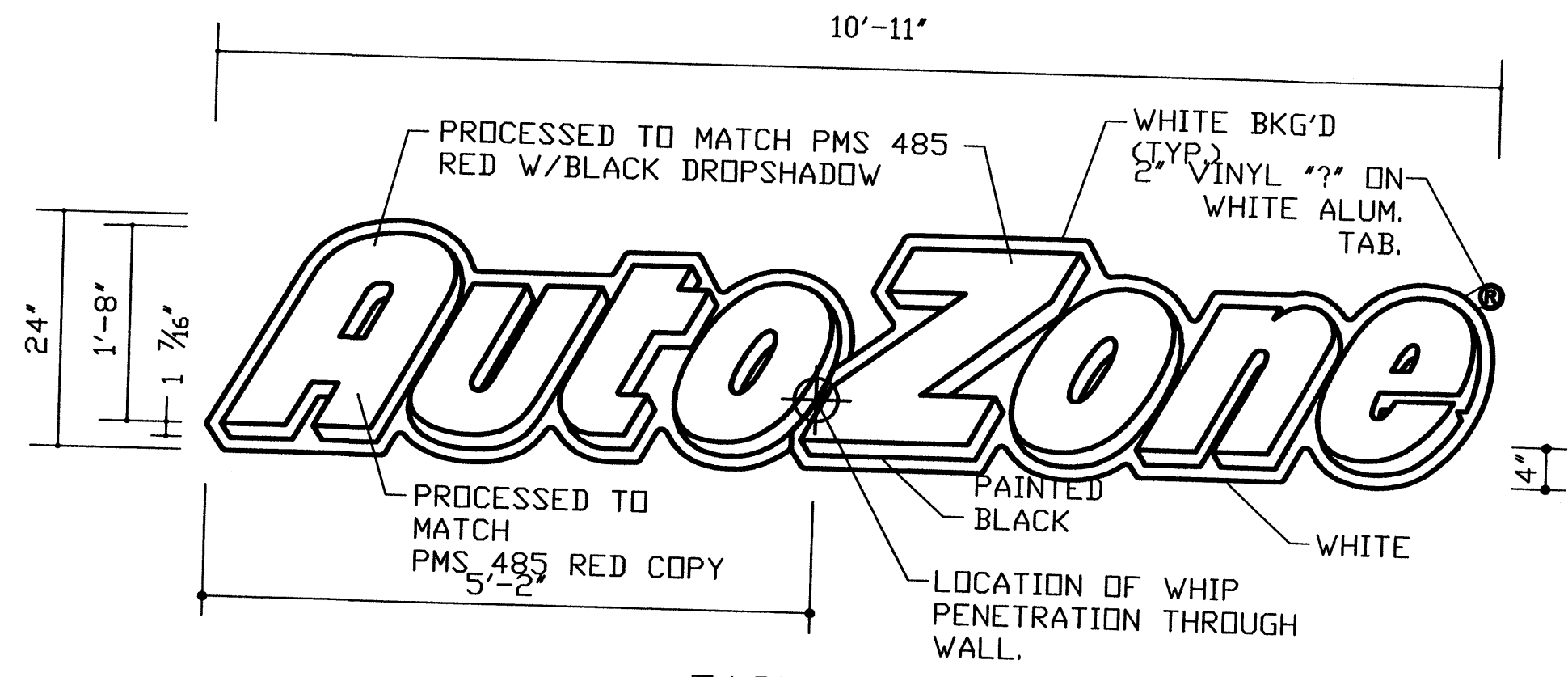
24" CLOUD SIGN WITH STRIPES ON LEFT

REVISIONS

1.	2.	3.	4.
----	----	----	----

SCALE: 3/4" = 1'-0"

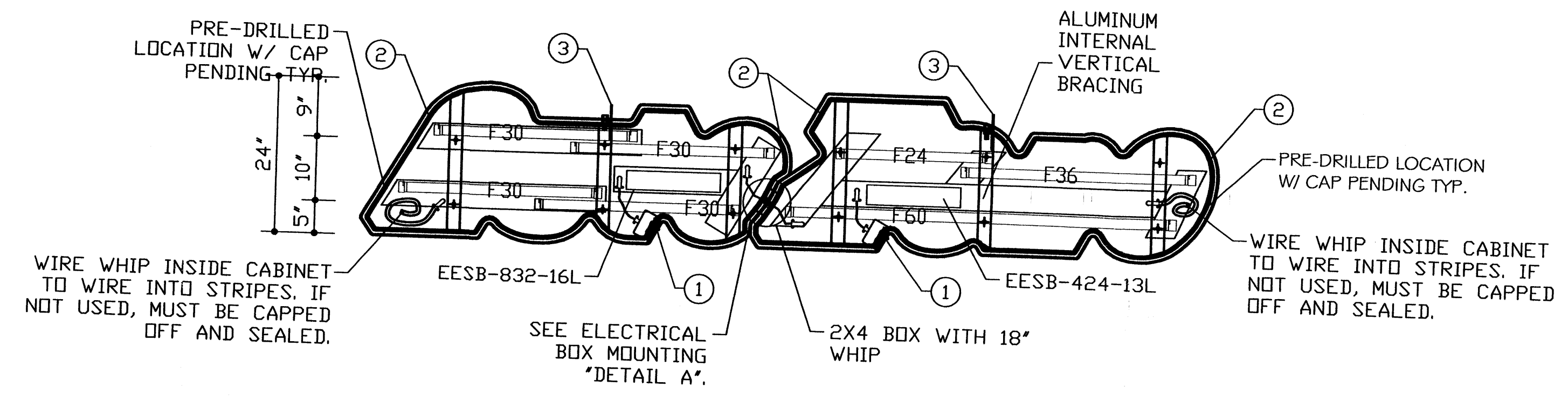
DATE: 09-02-04  
PROTOTYPE SIZE: 19  
C10  
100



FACE LAYOUT  
SCALE: 3/4"=1'-0"

NOTE: ALL ELECTRICAL PENETRATIONS ARE TO BE ON SIDE OF CABINETS \*ONLY\*.

ALL SCREW FASTENERS FROM FACE TO FORMED BACK MUST BE AT TOP & BOTTOM.



LAMPING LAYOUT  
SCALE: 3/4"=1'-0"

- \*AUTO\* CABINET (168 WATTS)**  
 (4) F30T12 D/HO FLUORESCENT LAMPS  
 (4) PAIR -TOMBSTONE SOCKETS  
 10' FT. OF 1' X 4' EXT. ALUM RACEWAY  
 (1) EESB-832-16L BALLAST 1.7 AMPS EA.
- \*ZONE\* CABINET (146 WATTS)**  
 (1) F60T12 D/HO FLUORESCENT LAMP  
 (1) F36T12 D/HO FLUORESCENT LAMP  
 (1) F24T12 D/HO FLUORESCENT LAMP  
 (3) PAIR -TOMBSTONE SOCKETS  
 10' FT. OF 1' X 4' EXT. ALUM RACEWAY  
 (1) EESB-424-13L BALLAST 1.1 AMPS EA.

- KEY NOTES:**
- ① VISIBLE DISCONNECT SWITCH EXACT LOCATION CONTINGENT UPON UL REQUIREMENTS.
  - ② 1" ALUM. VENT TYP.
  - ③ PICKUP TYP.

**COLORS:**  
 CLOUD BACKS-----WHITE  
 FACE BACKGROUND-----WHITE  
 AUTOZONE-----PROCESSED TO MATCH PMS 485 RED  
 STRIPES-----PROCESSED TO MATCH PMS 165 ORANGE  
 DROP SHADOW-----PAINTED BLACK  
 "?"-----MATCH PMS 485 RED

SEE FACE DETAIL FOR CLARIFICATION.

WINDLOADS	REPLICATIONS PER SECTION	BOLT SIZE SPECS.
100 MPH	4	3/8" x 2 1/2" (MIN.) LAG BOLTS*
130 MPH	5	3/8" x 2 1/2" (MIN.) LAG BOLTS*
150 MPH	5	3/8" x 2 1/2" (MIN.) LAG BOLTS*

\*NOTE: FOR CONCRETE BLOCK APPLICATIONS, USE NON-CORROSIVE EXPANDING SHIELDS. MIN. 2" EMBEDDED INTO STRUCTURAL BLOCKING PER SECTION.

**POLYFLEX ? 136 SINGLE COATED POLYETHYLENE TAPE**

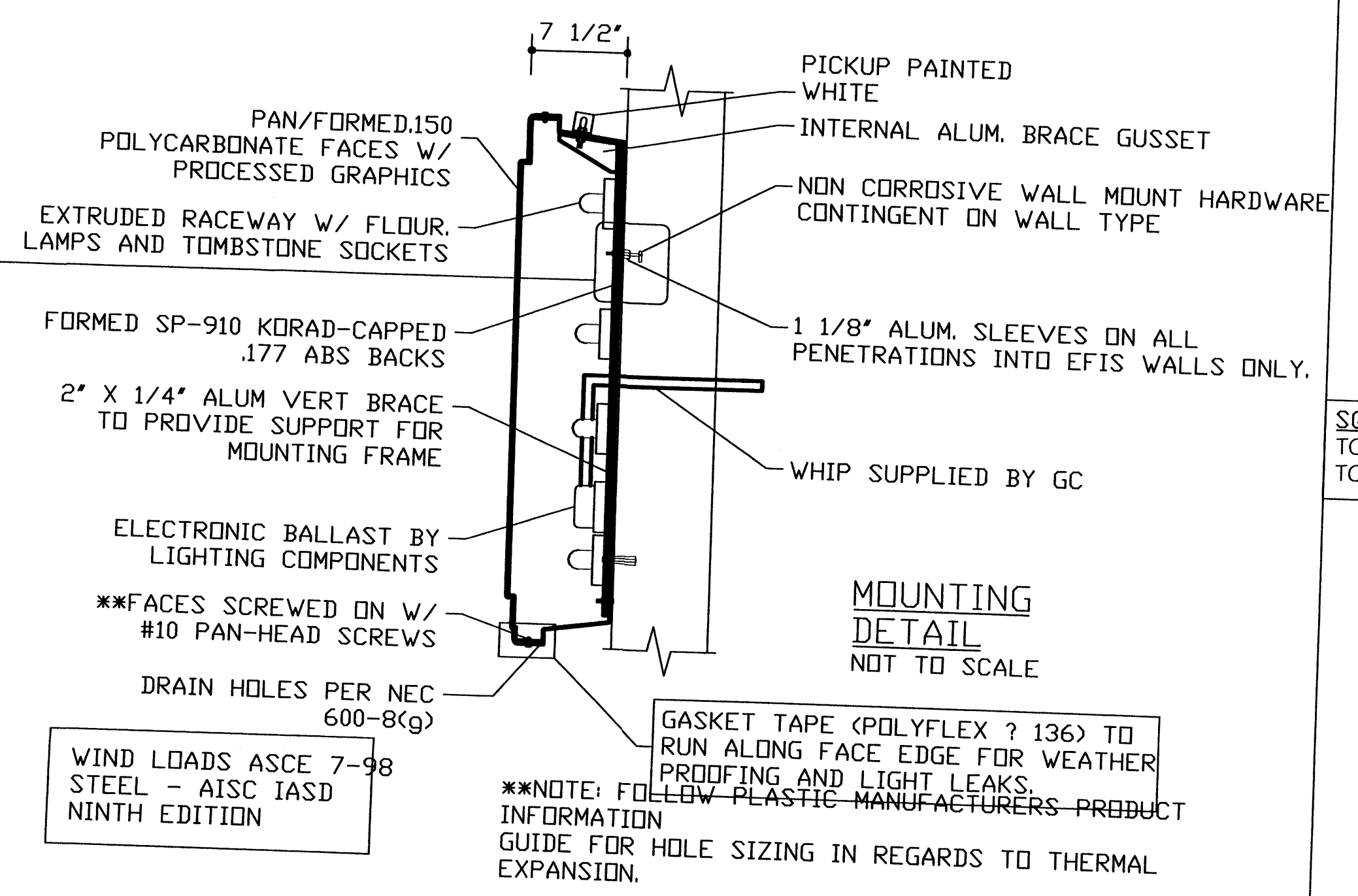
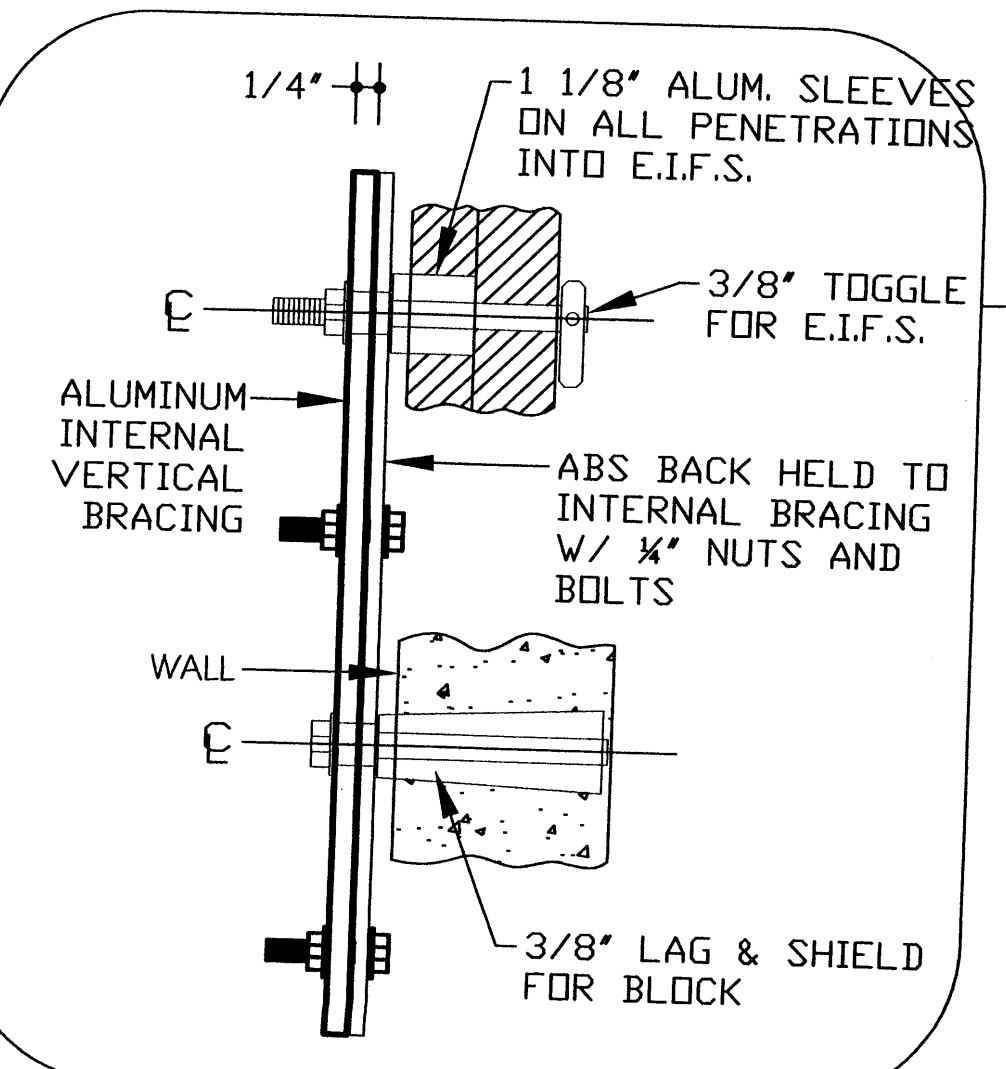
**TECHNICAL PROPERTIES:**  
 TOTAL THICKNESS (NOT INCLUDING LINER) 9.0 mils (229µm)  
 ADHESIVE THICKNESS SYNTHETIC RUBBER 3.5 mils (89µm)

**ADHESIVE TEST DATA:**  
 PEEL ADHESION (PSTC 1 MOD.) 70 OZ./INCH (N/25mm)  
 INITIAL TO S.S. (20 MIN @ RT)

**BACKING ADHESION (PSTC 1 MOD.)**  
 INITIAL TO BACKING SUBSTRATE 35

**TENSILE STRENGTH (ASTM D-3000) (N/25mm)**  
 22 96

**ELONGATION (ASTM D-1000)**  
 %

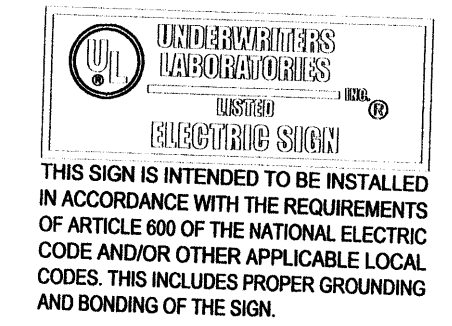
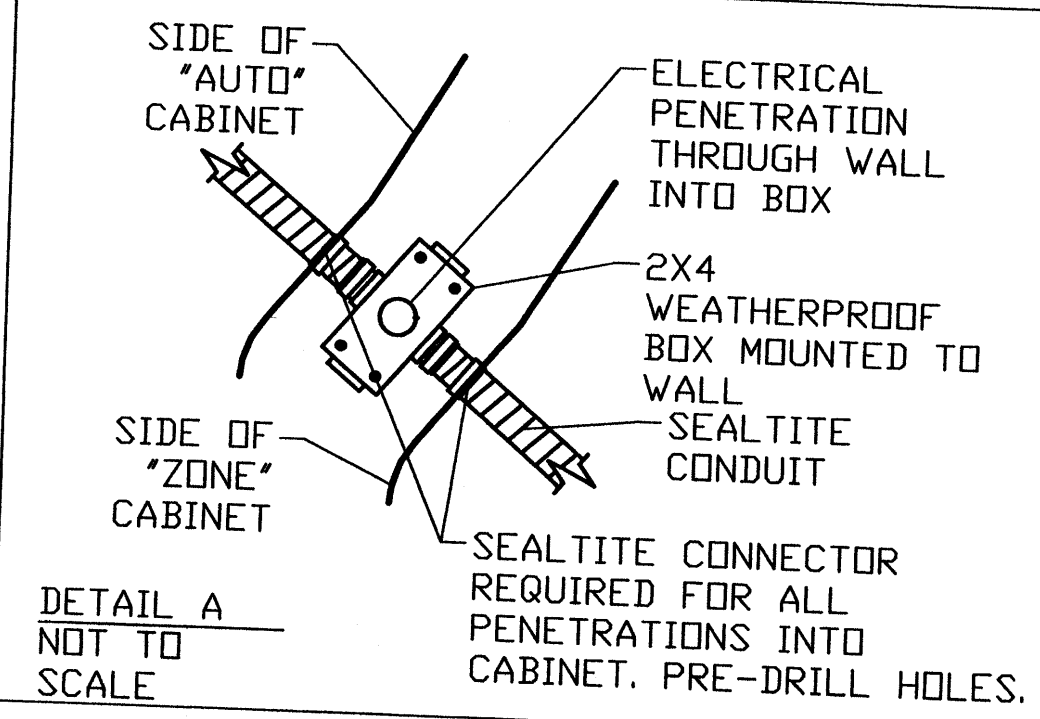


MOUNTING DETAIL  
NOT TO SCALE

**SQUARE FOOTAGES:**  
 TOTAL: 21.83 SQ. FT. W/SQUARE BOX  
 TOTAL: 19.6479 SQ. FT. W/SECTION BOX

**ELECTRONIC BALLASTS TOTAL**

**UNIT WEIGHTS:**  
 \*AUTO\* 90 LBS  
 \*ZONE\* 90 LBS



**AutoZone, Inc.**  
 123 South Front Street  
 Memphis, Tennessee 38103  
 TEL: (901) 495-8424

**AutoZone STORE DEVELOPMENT**  
 Prepared For: Store No. 3408  
 PASEO DEL NORTE  
 ALBUQUERQUE NM 87111

**24" CLOUD SIGN WITH NO STRIPES**

**REVISIONS**

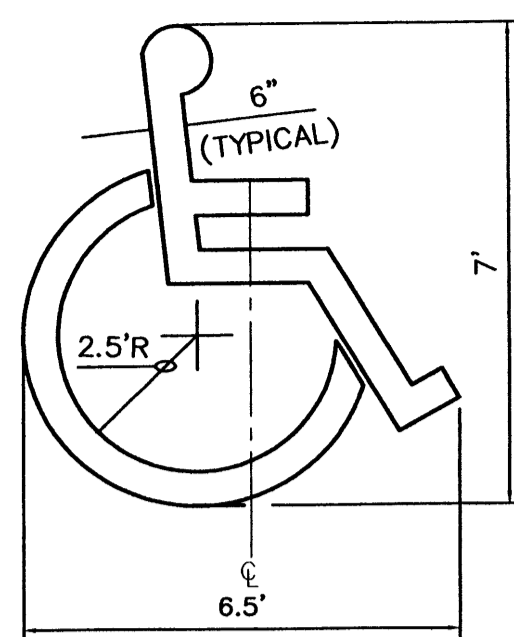
NO.	DATE	DESCRIPTION
1.		
2.		
3.		
4.		

SCALE: 3/4" = 1'-0"

**09-02-04**  
 PROTOTYPE SIZE 19

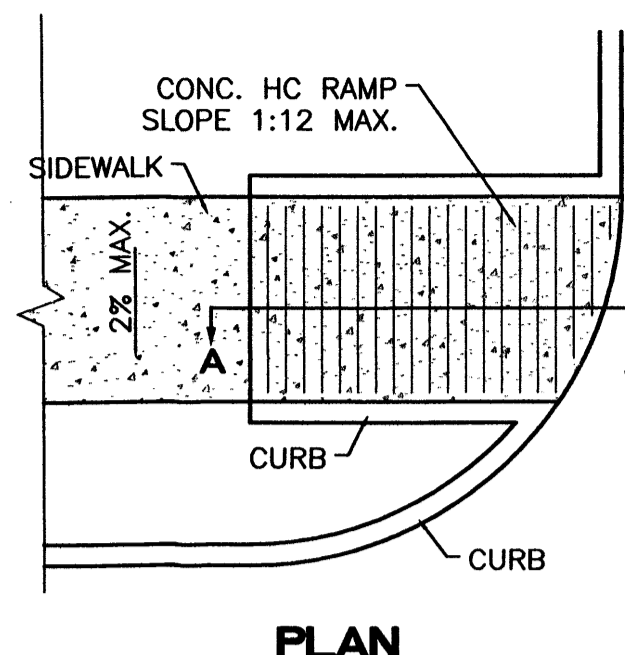
**C11**  
 9.6  
 100





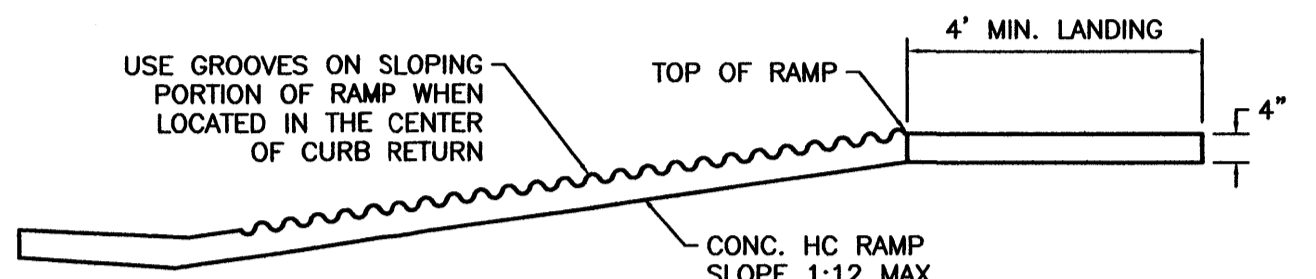
**ACCESSIBLE PARKING SYMBOL**

SCALE: NTS  
LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



**PLAN**

- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
  2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
  3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
  4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
  5. CONSTRUCT PER A.D.A. STANDARDS.

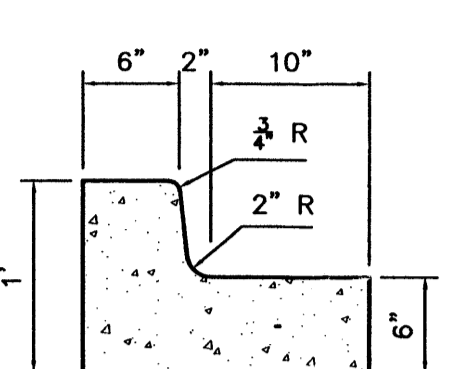


**SECTION A-A**

**UNIDIRECTIONAL HC RAMP**

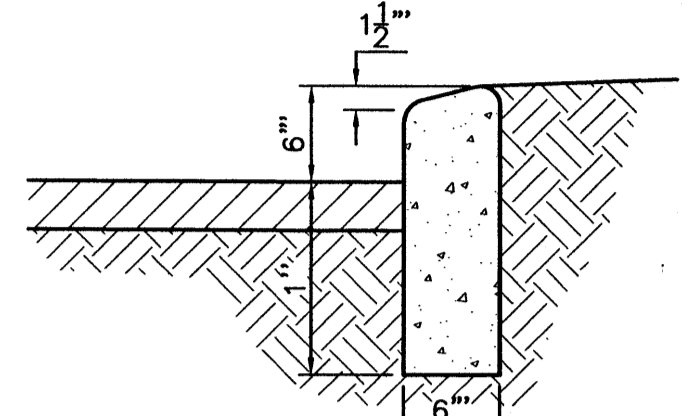
SCALE: NTS

- CURB GENERAL NOTES:**
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
  2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120" BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
  3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADUIS EDGING TOOL.
  4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.



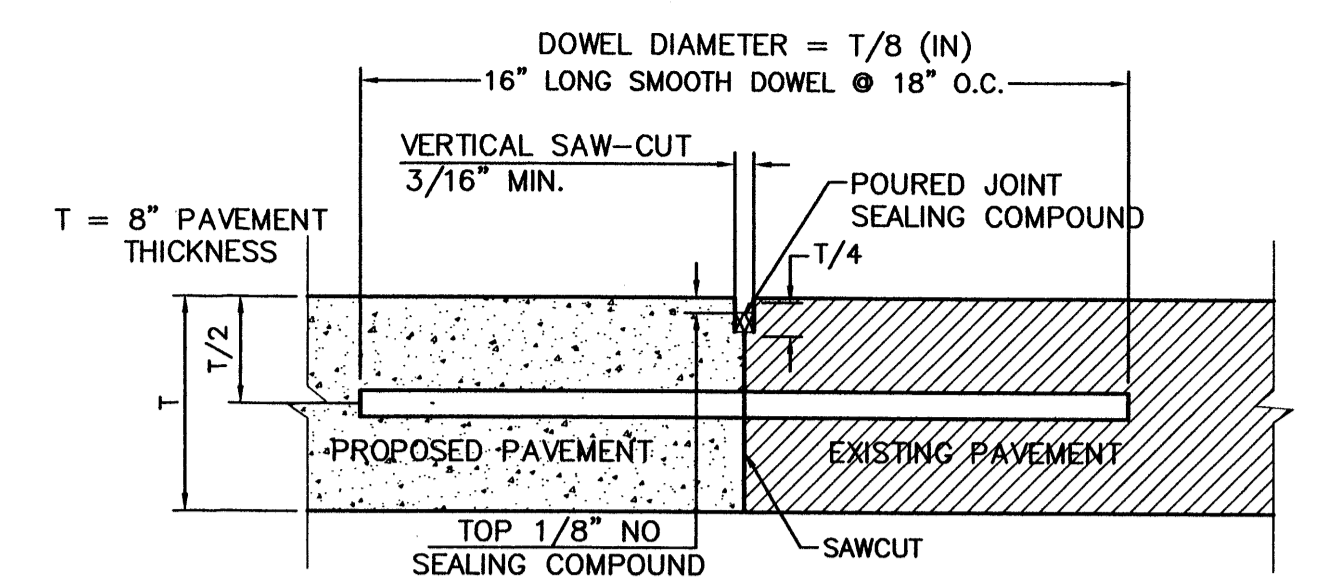
**6 IN. CURB AND GUTTER**

SCALE: 1"=1'



**6" HEADER CURB DETAIL**

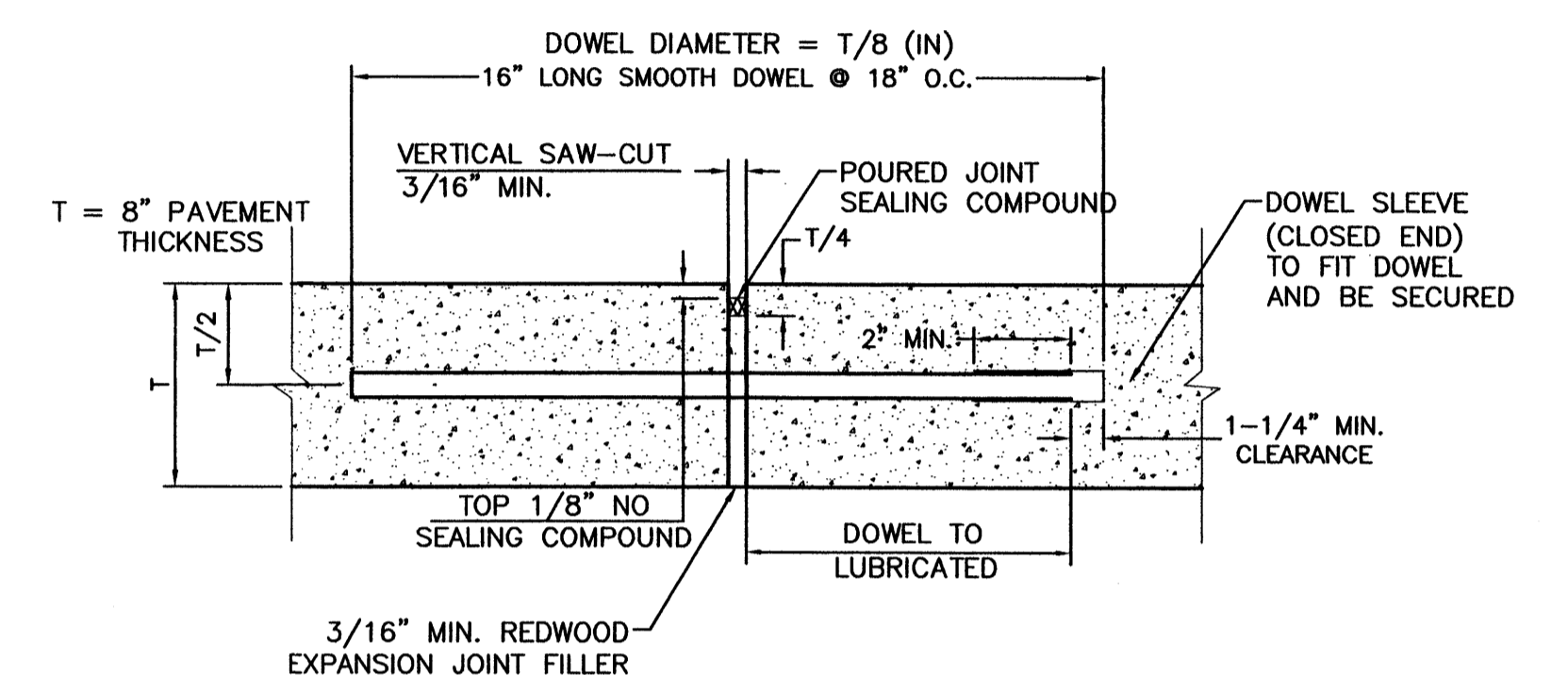
1"=1'



- NOTE:**
1. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
  2. DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

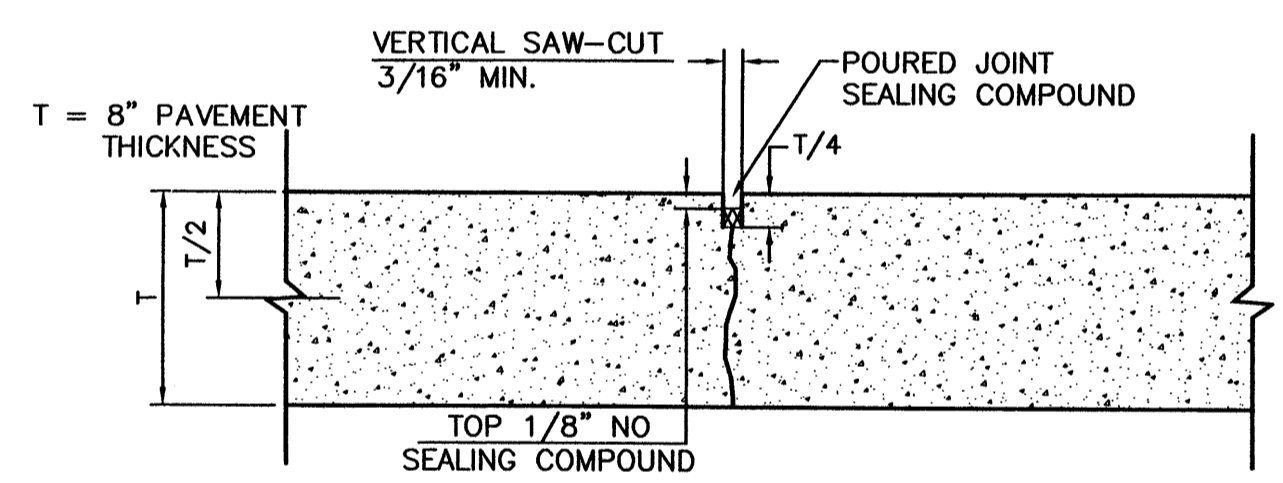
**BUTT JOINT**  
**CONCRETE JOINT DETAILS**

NTS

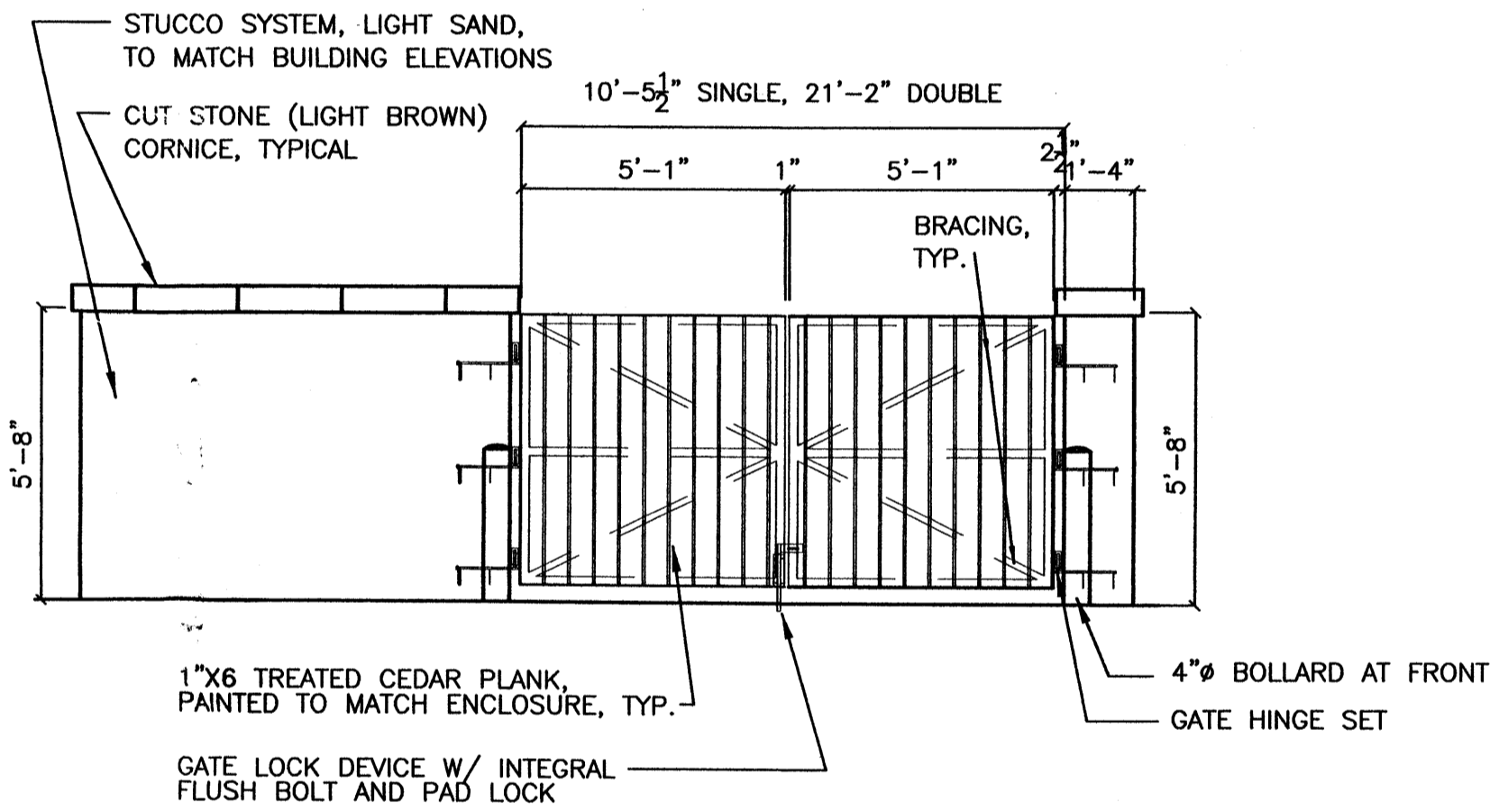


- NOTE:**
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

**TRANSVERSE EXPANSION JOINT**

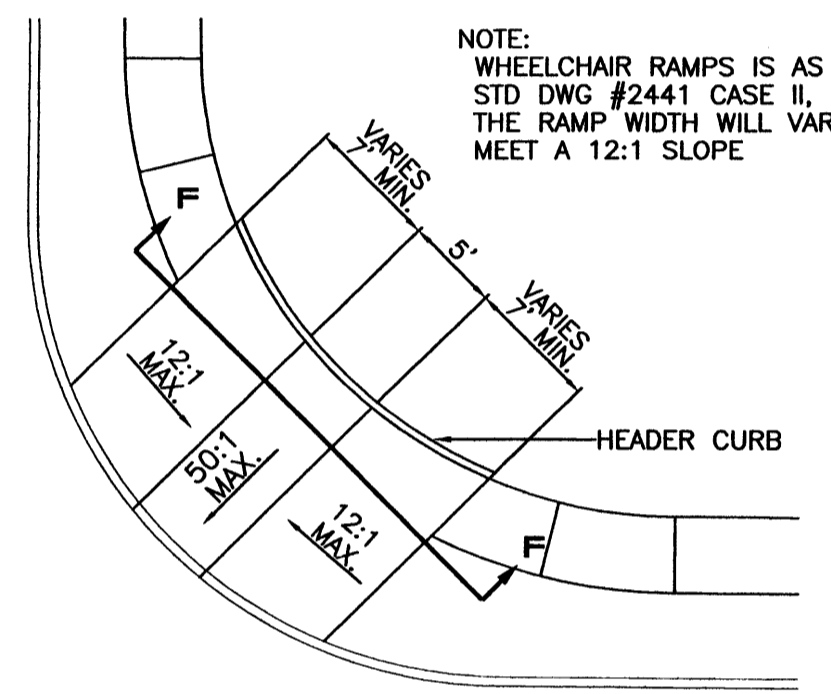


**CONTRACTION JOINT**



**REFUSE ENCLOSURE ELEVATION**

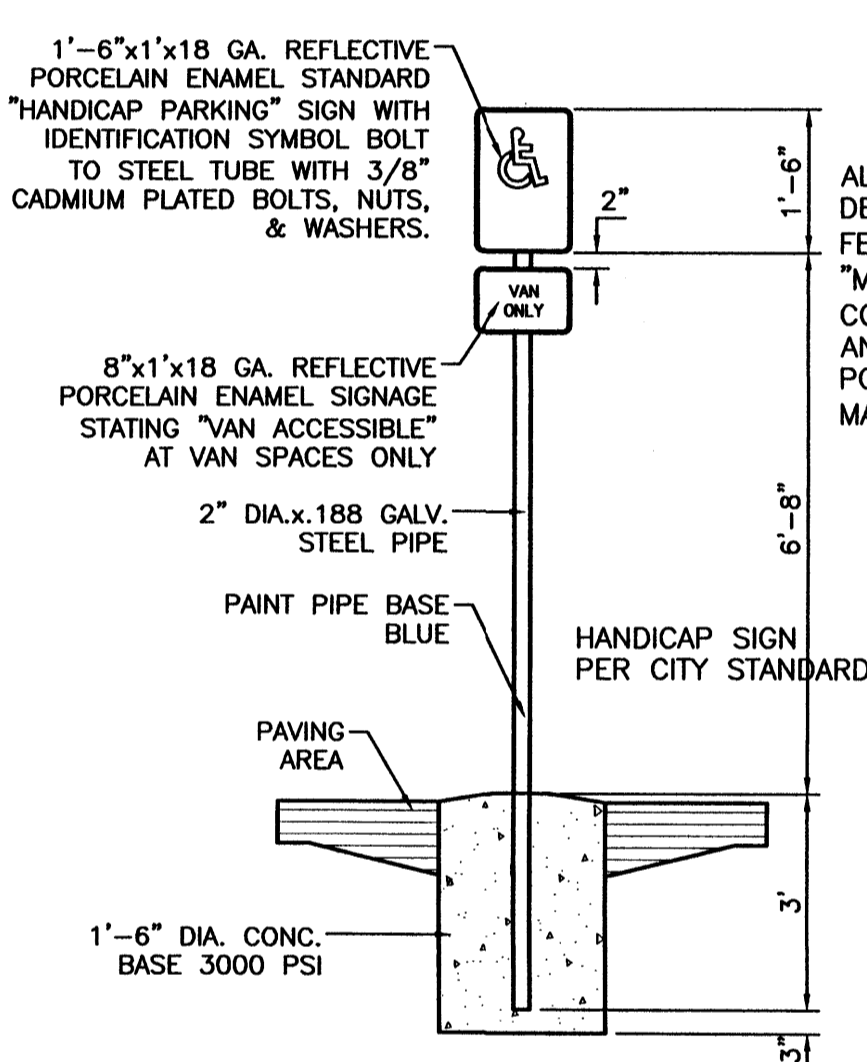
SCALE: 1"=10'



**NOTE:** WHEELCHAIR RAMP IS AS C.O.A. STD DWG #2441 CASE II, EXCEPT THE RAMP WIDTH WILL VARY TO MEET A 12:1 SLOPE

**WHEELCHAIR RAMP W/ HEADER CURB DETAIL (TYP.)**

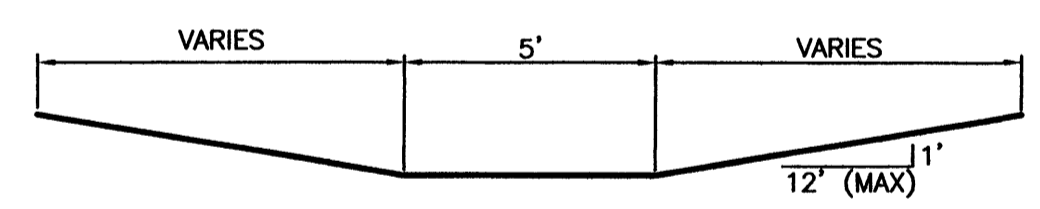
SCALE: NTS



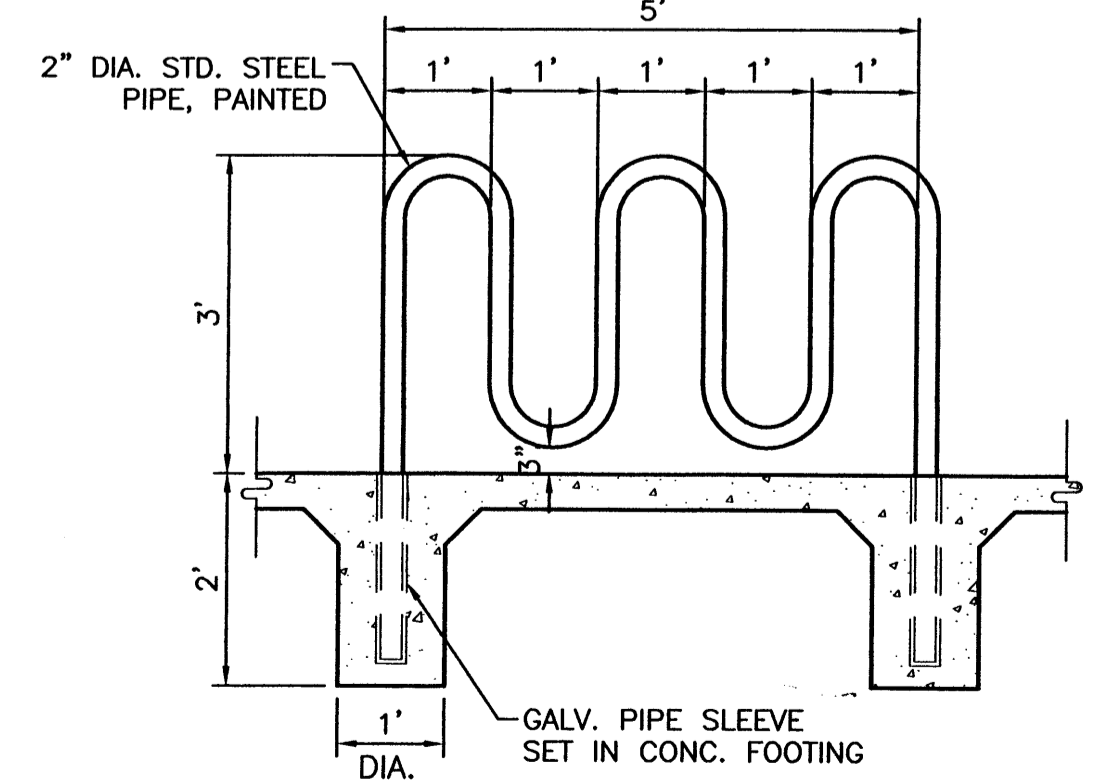
**HANDICAP SIGN**

SCALE: 1/2"=1'

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

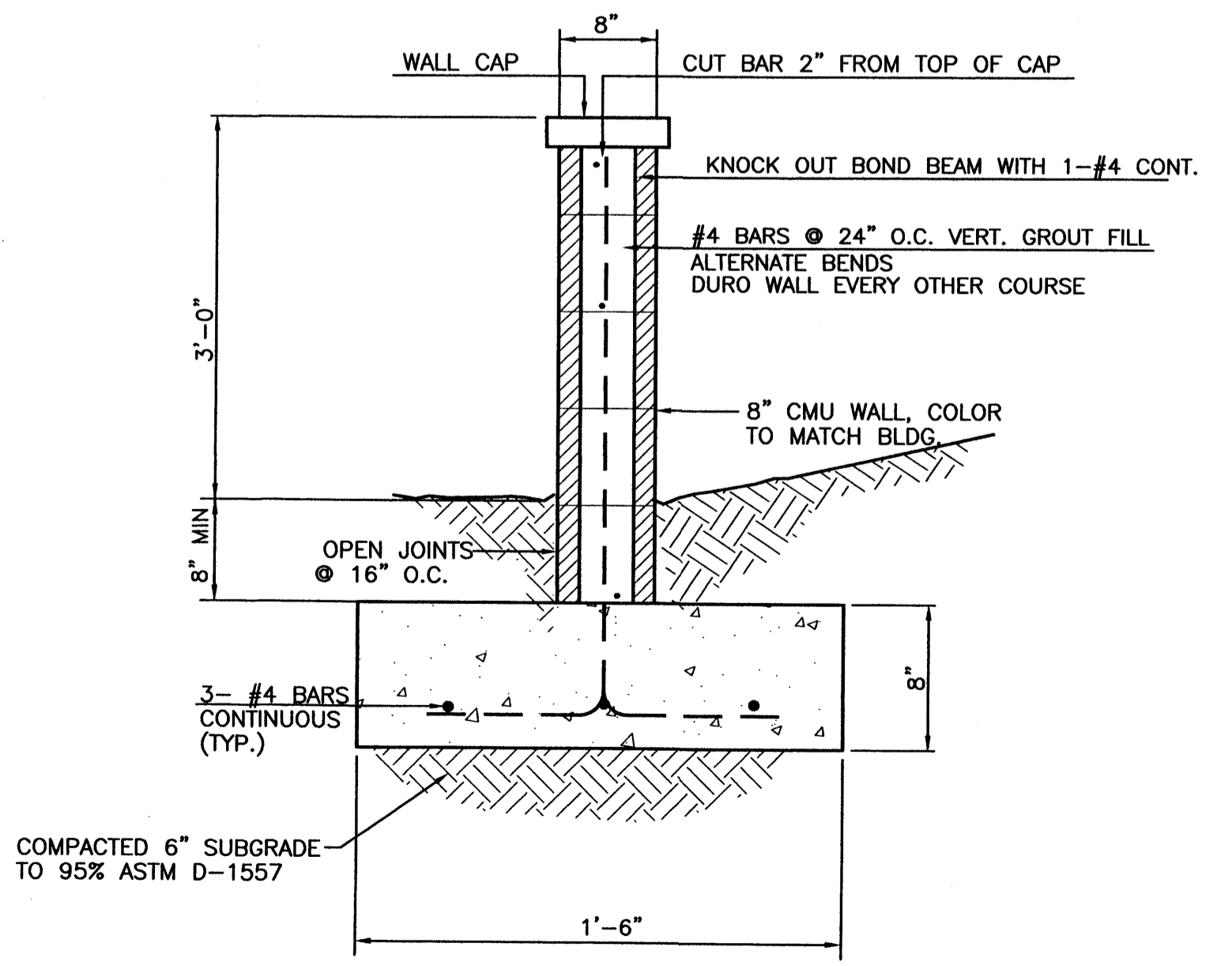


**SECTION F-F**



**BIKE RACK DETAIL**

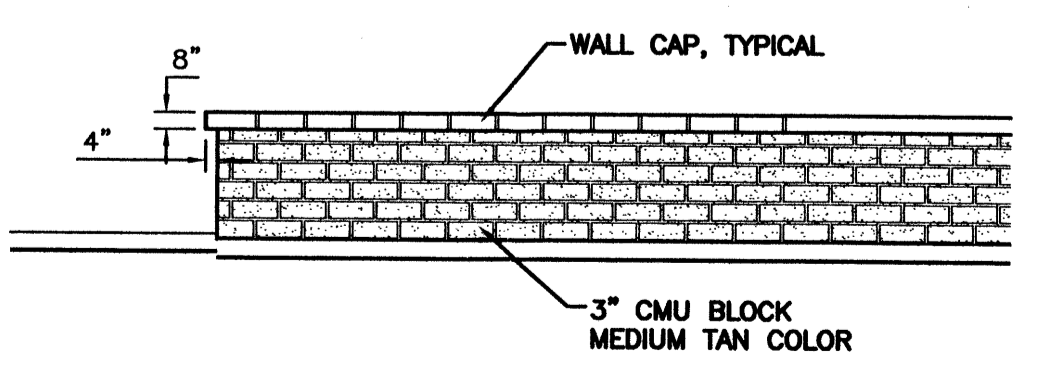
SCALE: 1/2"=1'



**3" SCREEN WALL SECTION**

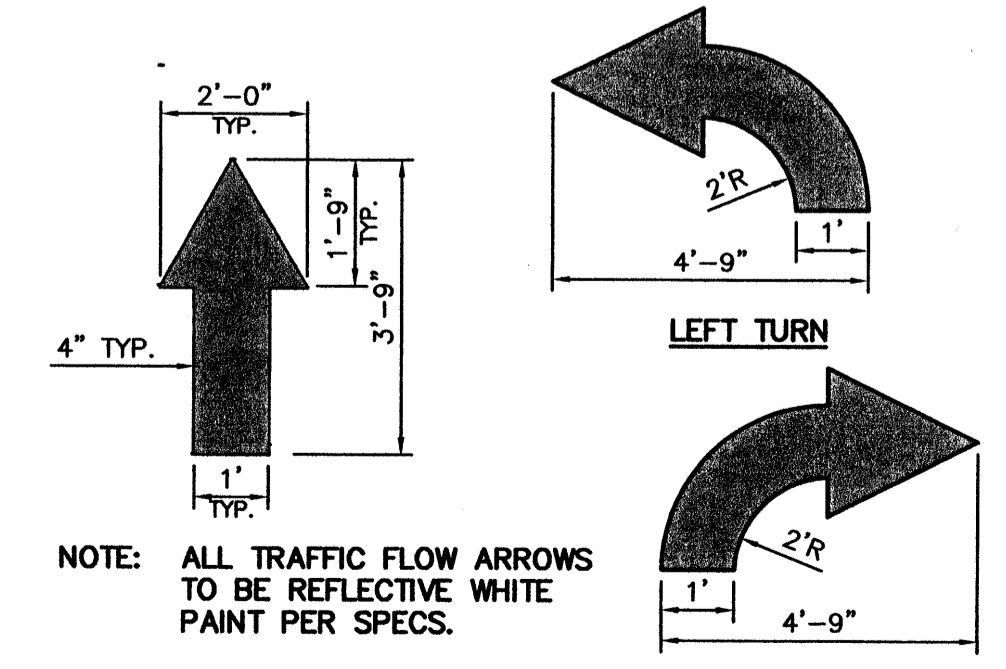
NTS

- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
  2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
  3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
  5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
  6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
  8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



**SCREEN WALL DETAIL (TYP.)**

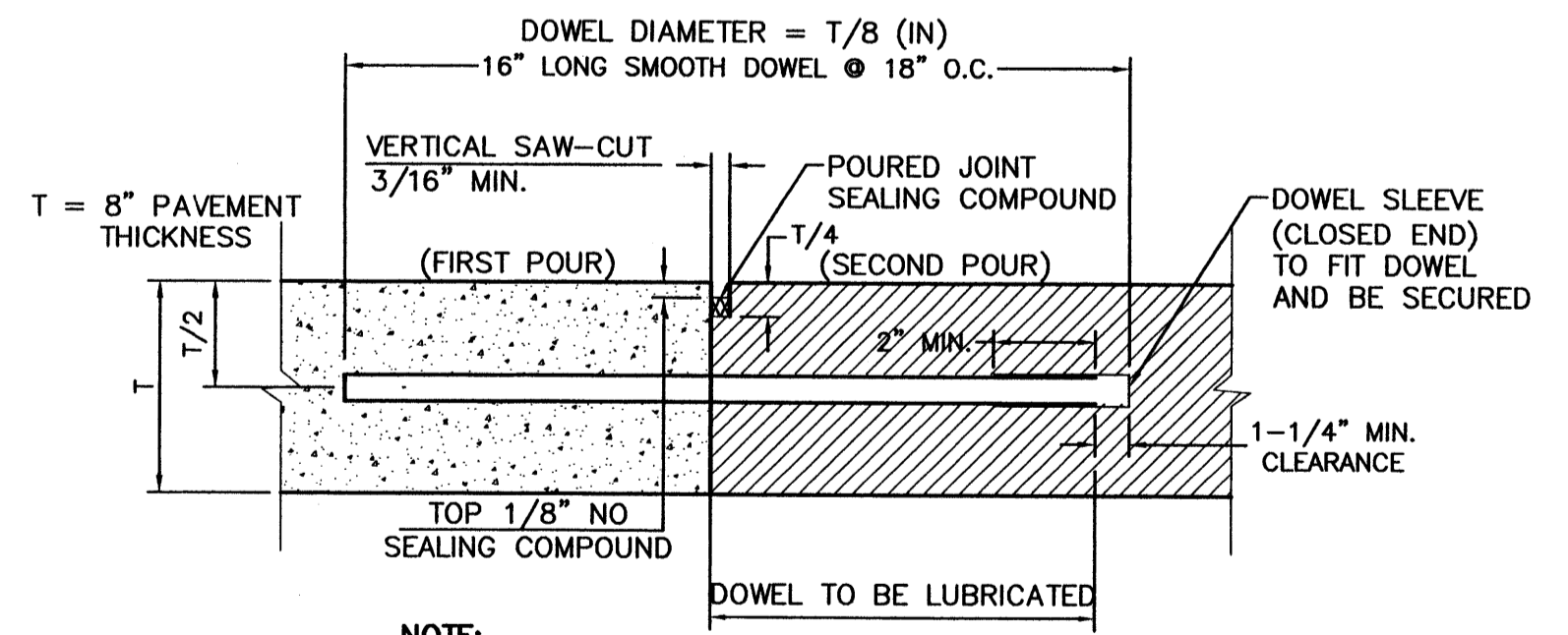
NTS



**NOTE:** ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE WHITE PAINT PER SPECS.

**DIRECTIONAL ARROWS**

NTS



- NOTE:**
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

**CONSTRUCTION JOINT**

ENGINEER'S SEAL	<b>LOUISIANA/PASEO</b>	DRAWN BY AB
	<b>DETAILS</b>	DATE 9/14/04
		12_2373DETAILS.DWG
	<b>TIERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>C12</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 230073