

SEDONA POINT

8110 Louisiana NE
Albuquerque, NM
DRB-SUBMITTAL

APPROVED - AEHD	
SIGNATURE	DATE

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PROJECT DATA

AREA SUMMARY	
OFFICE SUITE 1	1,950 SF
OFFICE SUITE 2	1,376 SF
OFFICE SUITE 3	1,376 SF
OFFICE SUITE 4	1,376 SF
OFFICE SUITE 5	1,376 SF
OFFICE SUITE 6	1,376 SF
OFFICE SUITE 7	1,376 SF
OFFICE SUITE 8	1,950 SF
TOTAL GROSS BUILDING AREA	12,155 SF

CODE INFORMATION:

INTERNATIONAL BUILDING CODE, IBC-2003
ZONE: SU-2 MIXED USE
SEISMIC ZONE: 2B
OCCUPANCY GROUP: B
ZONE ATLAS: C-19-Z
LEGAL DESCRIPTION: LOT 1-A-1-A-1, BLOCK 10,
NORTH ALBUQUERQUE ACRES,
TRACT 2, UNIT 3

TYPE OF CONSTRUCTION: V-B
GROSS BUILDING AREA
OFFICE SUITE 1- 1,950 SF
OFFICE SUITE 2- 1,376 SF
OFFICE SUITE 3- 1,376 SF
OFFICE SUITE 4- 1,376 SF
OFFICE SUITE 5- 1,376 SF
OFFICE SUITE 6- 1,376 SF
OFFICE SUITE 7- 1,376 SF
OFFICE SUITE 8- 1,950 SF
TOTAL AREA = 12,155 SF

BASIC ALLOWABLE AREA = 10,057 SF

FIRST FLOOR= 12,155 SF > 10,057 SF
UNLIMITED AREA BUILDINGS PER IBC
2003, SECTION 507.1: NON-SPRINKLED
ONE STORY BUILDING HAS MORE THAN
60'-0" IN WITH SURROUNDING THE
BUILDING.

PARKING REQUIREMENTS

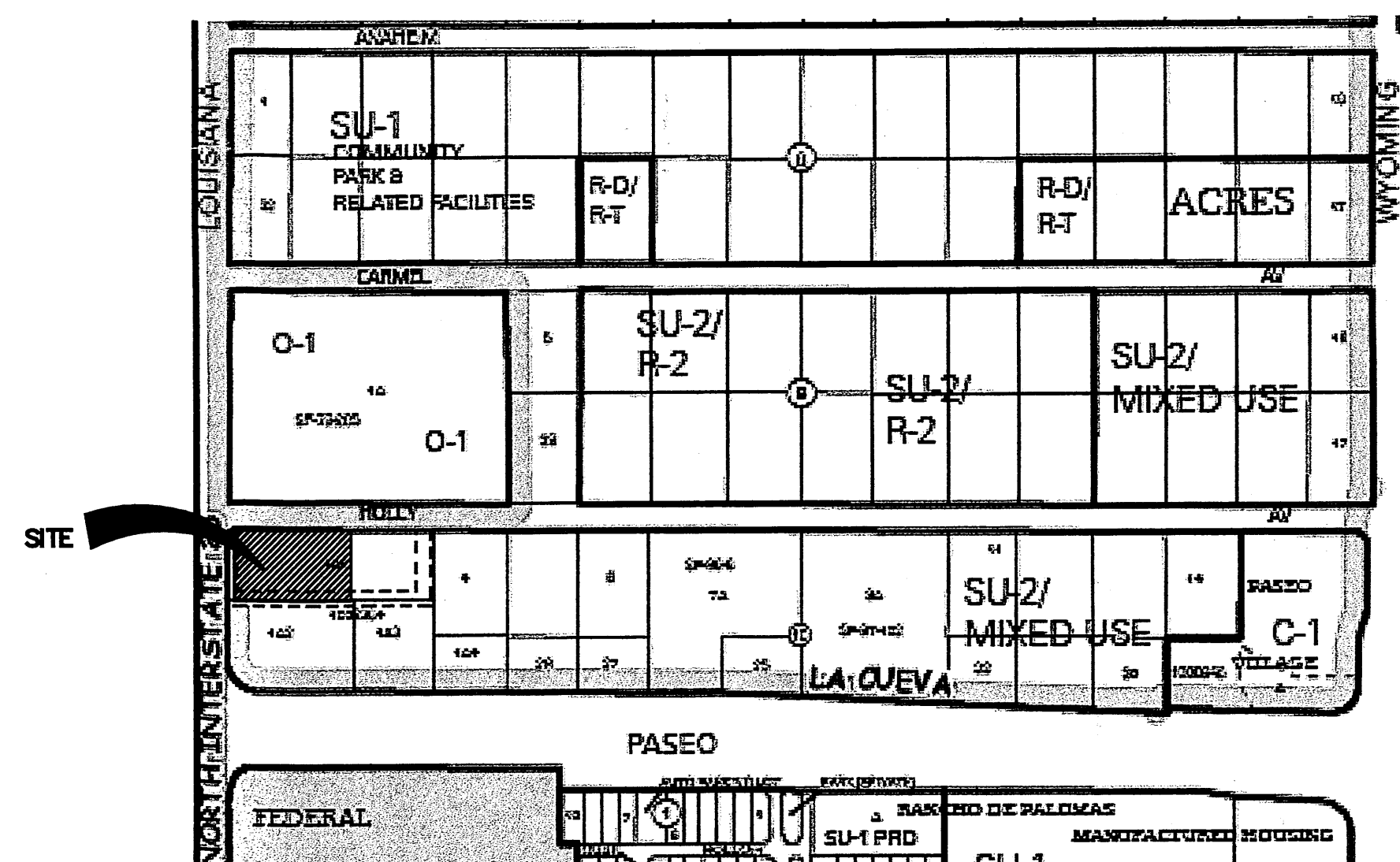
OFFICES: PARKING SPACES, REQUIRED-----46 PARKING SPACES
PARKING SPACES PROVIDED ----- 42 PARKING SPACES
CAR ACCESSIBLE----- 2 SPACES PROVIDED
VAN ACCESSIBLE----- 1 SPACE PROVIDED
TOTAL PARKING SPACES----- 42 SPACES PROVIDED
MOTORCYCLE SPACES----- 2 SPACES PROVIDED

PROJECT TEAM

ARCHITECT: TAFAZZUL HUSSAIN
AFRA CONSTRUCTION AND DESIGN
2501 YALE BLVD. SUITE 102
ALBUQUERQUE, NEW MEXICO 87106
CELL: (505) 315-1482
FAX: (505) 243-1561
CONTACT: TAFAZZUL HUSSAIN, AIA
email: thussain@egacy-hospitality.com

CIVIL: DAVE THOMPSON
THOMPSON ENGINEERING CONSULTANTS, INC.
P.O. BOX 65760
ALBUQUERQUE, NEW MEXICO 87193
TEL: (505) 271-2199
FAX: (505) 830-9248
CONTACT: DAVE THOMPSON
email: tecnm@yahoo.com

LANDSCAPE: HILLTOP
7909 EDITH NE
ALBUQUERQUE, NEW MEXICO 87184
TEL: (505) 898-9690
FAX: (505) 898-7737
email: cmd@hilltoplandscaping.com



LOCATION MAP
ZONE ATLAS: C-19-Z
SCALE: 1"=300'-0"

SRP
PRELIMINARY PLAT
APPROVED BY DRB
ON _____

COVER SHEET

SCALE: NTS

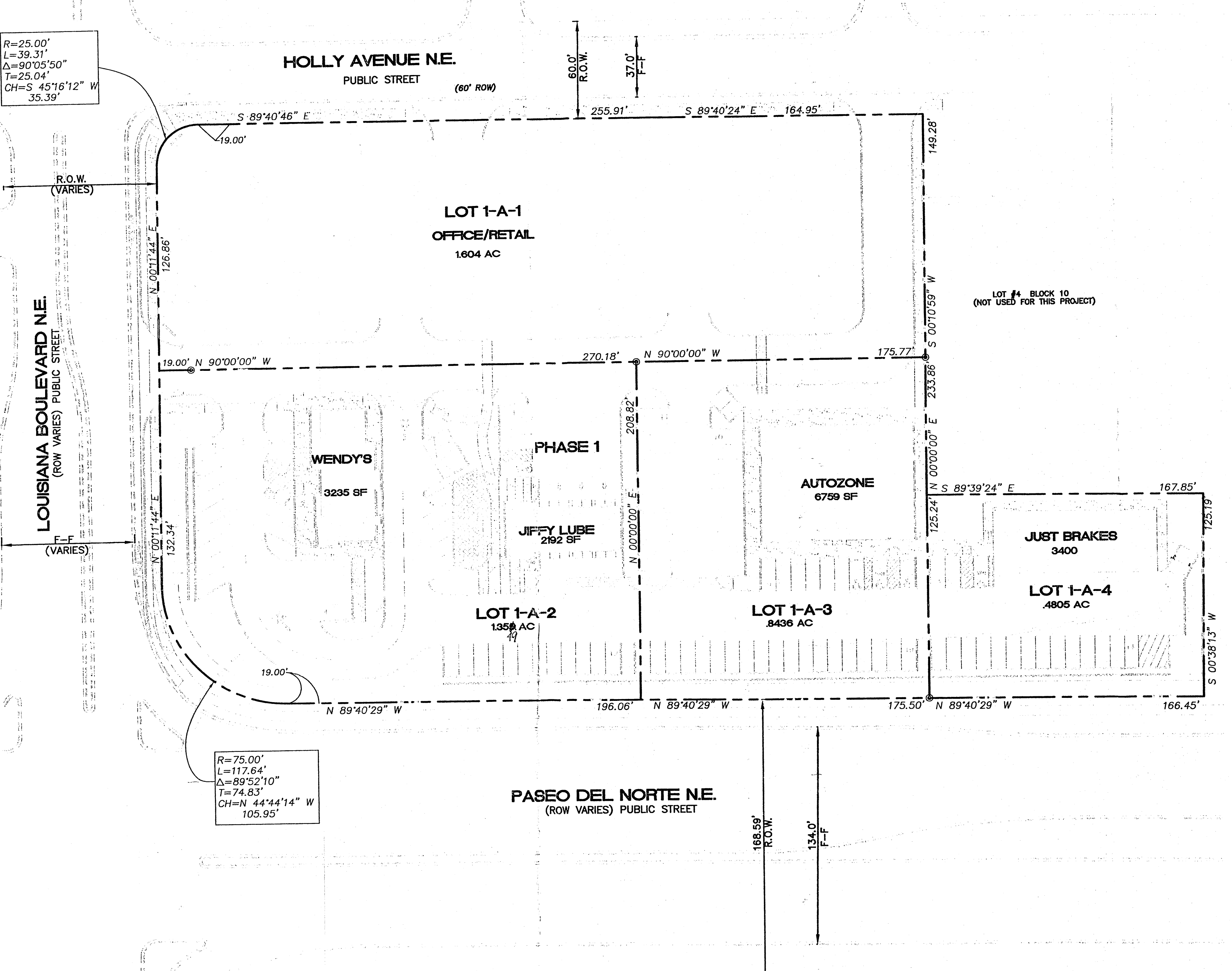
MAY 21, 2007

AFRA Construction & Design 2501 Yale Blvd. Suite 102 Albuquerque, New Mexico 87106 Tel 505.315.1482			
SEDONA POINT 8110 Louisiana NE Albuquerque, NM			
REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			
			CS-1
			05.21.07

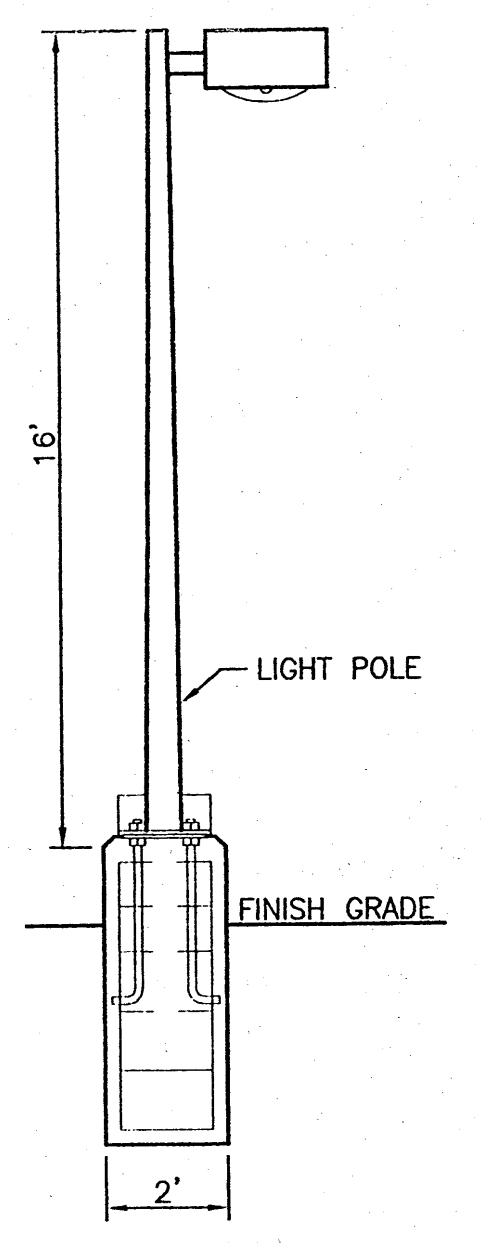
R=25.00'
L=39.31'
Δ=90°05'50"
T=25.04'
CH=S 45°16'12" W
35.39'

LOUISIANA BOULEVARD NE.
(ROW VARIES) PUBLIC STREET

R=75.00'
L=117.64'
Δ=89°52'10"
T=74.83'
CH=N 44°44'14" W
105.95'



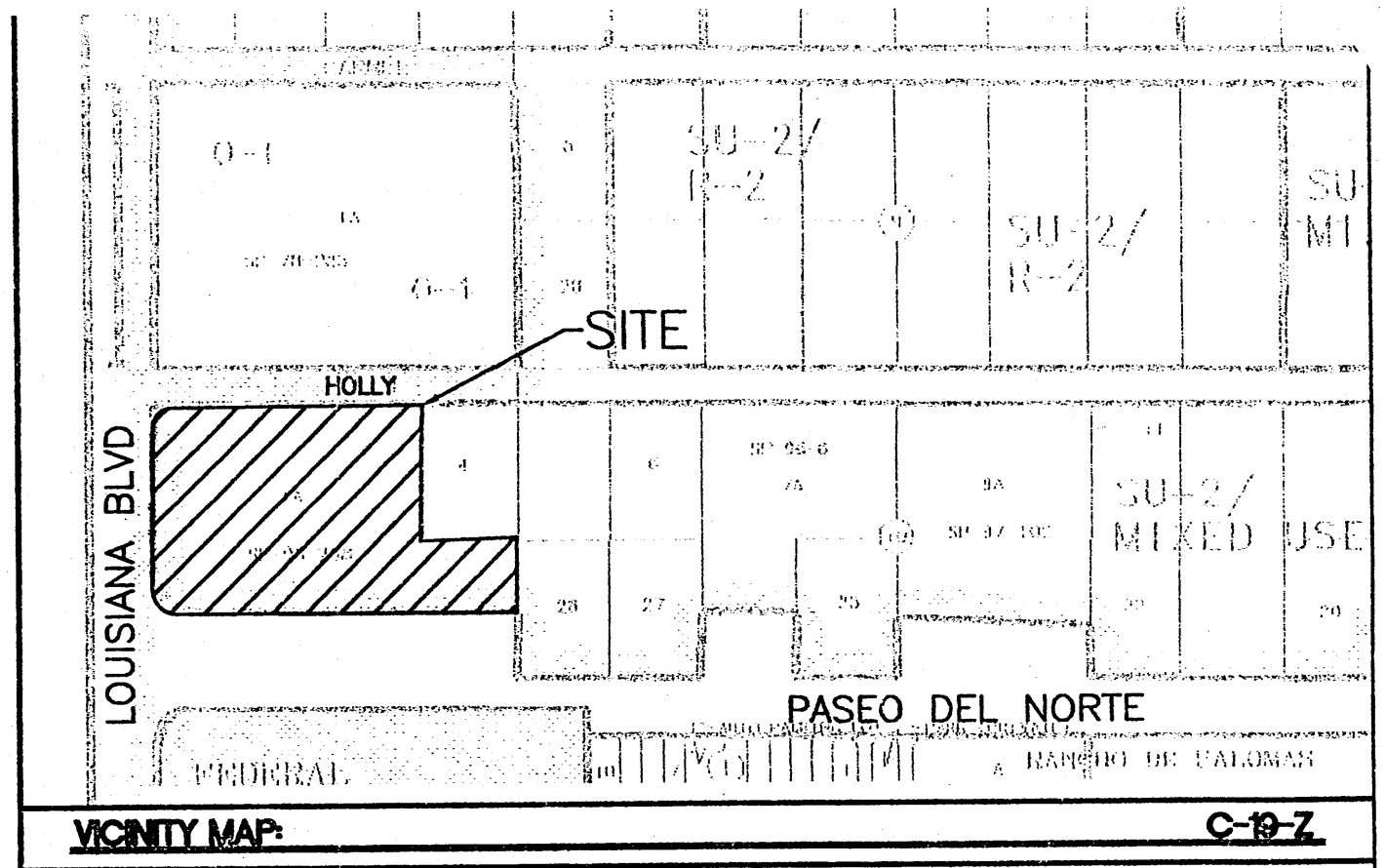
LOT #4 BLOCK 10
(NOT USED FOR THIS PROJECT)



LIGHT POLE DETAIL
NTS

LEGEND

- CENTERLINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- RIGHT-OF-WAY
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- STRIPING
- PROPOSED BUILDING
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED CROSSWALK
- PROPOSED BIKERACK
- PROPOSED RETAINING WALL
- PROPOSED SCREEN WALL
- PROPOSED VALLEY GUTTER
- PROPOSED PARKING LOT LIGHTING
- △ BENCH MARK
- PERMANENT STRIPING



LEGAL DESCRIPTION
TRACT 1A, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3

GENERAL NOTES:

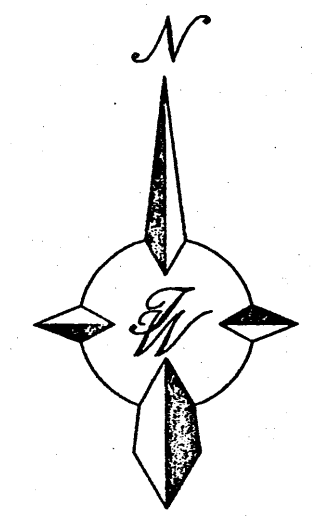
1. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
2. ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACTS THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
3. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
4. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
5. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
6. LIGHT POLES SHALL BE A MAXIMUM OF 16' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 16' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
7. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
8. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.

INDEX TO DRAWINGS

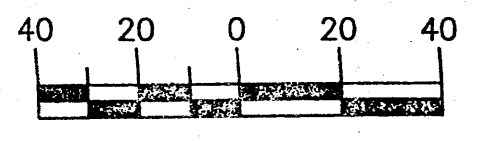
- C1. SITE PLAN FOR SUBDIVISION
- C2. SITE PLAN FOR BUILDING PERMIT
- C3. LANDSCAPING PLAN
- C4. GRADING AND DRAINAGE PLAN
- C5. MASTER UTILITY PLAN
- C6. ELEVATIONS
- C7. ELEVATIONS
- C8. ELEVATIONS
- C9. ELEVATIONS
- C10. DETAILS
- C11. DETAILS
- C12. DETAILS

SITE DATA TABLE					
	LOT 1-A-1	LOT 1-A-2	LOT 1-A-3	LOT 1-A-4	TOTAL
TOTAL ACREAGE:	1.604 AC.	1.358 AC.	.8436 AC.	0.4805 AC.	4.28 AC.
EXISTING ZONING:	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE
PROPOSED ZONING:	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE
BUILDING SIZE:	N/A	5,427 SF	6,759 SF	3,400 SF	15,586 SF
MAX FAR:	.33	.25	.25	.25	
PROPOSED USE:	OFFICE/RETAIL	RETAIL/SERVICE/DRIVE-UP	RETAIL/SERVICE	RETAIL/SERVICE	
TOTAL PARKING PROVIDED:	N/A	39 SPACES	49 SPACES	17 SPACES	112 SPACES
TOTAL PARKING REQUIRED:	N/A	* 38 SPACES	34 SPACES	17 SPACES	91 SPACES
HC PROVIDED:	N/A	4 SPACES	3 SPACES	1 SPACE	8 SPACES
HC REQUIRED:	N/A	3 SPACES	3 SPACES	1 SPACE	7 SPACES
BIKE SPACES PROVIDED:	N/A	4 SPACES	4 SPACES	4 SPACES	12 SPACES
BIKE SPACES REQUIRED:	N/A	2 SPACES	3 SPACES	1 SPACES	6 SPACES
BUILDING HEIGHT:	26'	26'	26'	26'	26'
LANDSCAPE PROVIDED:	N/A	-- SF	-- SF	-- SF	-- SF
LANDSCAPE REQUIRED: 15% OF NET LOT AREA	N/A	-- SF	-- SF	-- SF	-- SF

* 96 SEATS/4 = 24 SPACES (WENDY'S)
* 2192 SF/200 = 11 SPACES (JIFFY LUBE)



GRAPHIC SCALE



SCALE: 1"=40'

PROJECT NUMBER: 100391A
APPLICATION NUMBER: OADR-0401

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated April 22, 2004, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division: *[Signature]* Date: 10/16/04

Utilities Development: *[Signature]* Date: 10/16/04

Parks & Recreation Department: *[Signature]* Date: 10/16/04

City Engineer: *[Signature]* Date: 10/16/04

N/A Environmental Health Department (conditional) Date: _____

Solid Waste Management: *[Signature]* Date: 10/16/04

DRB Chairperson, Planning Department: *[Signature]* Date: 10/16/04

* Environmental Health, if necessary 12/16/03

ENGINEER'S SEAL	LOUISIANA/PASEO	DRAWN BY AB
	SITE PLAN FOR SUBDIVISION	DATE
		9/14/04
		01_2373SPSE-9-14-04
		SHEET #
		C1
		JOB #
		230073

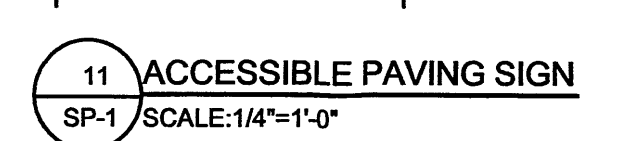
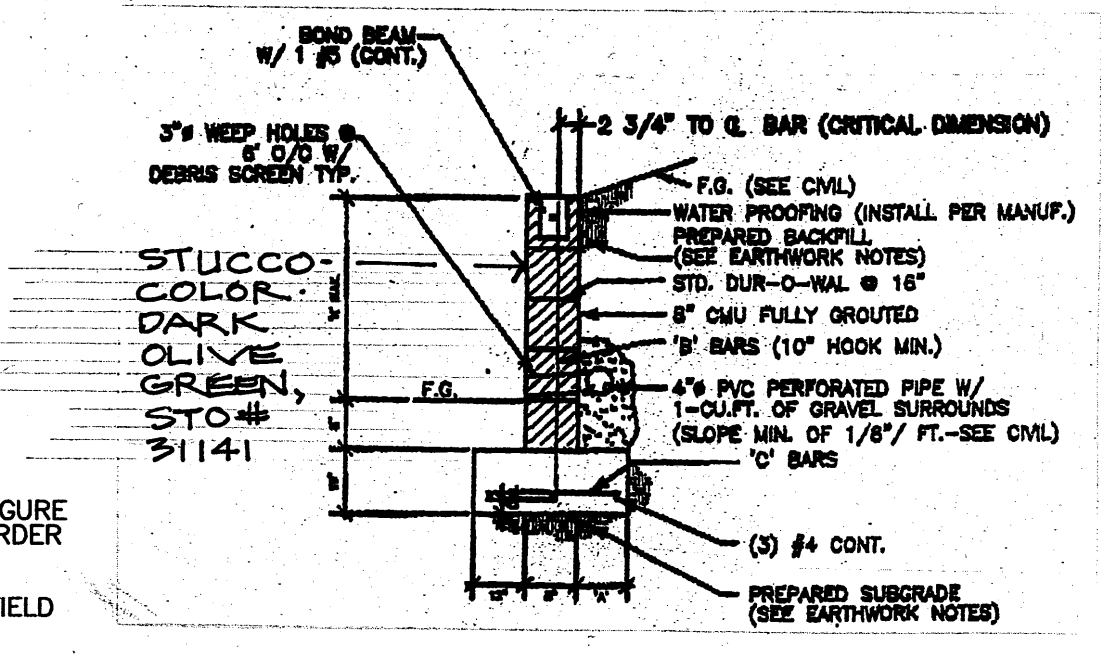
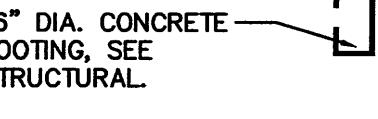
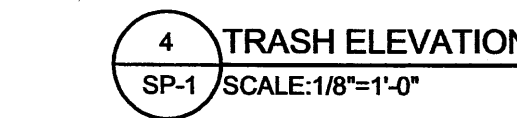
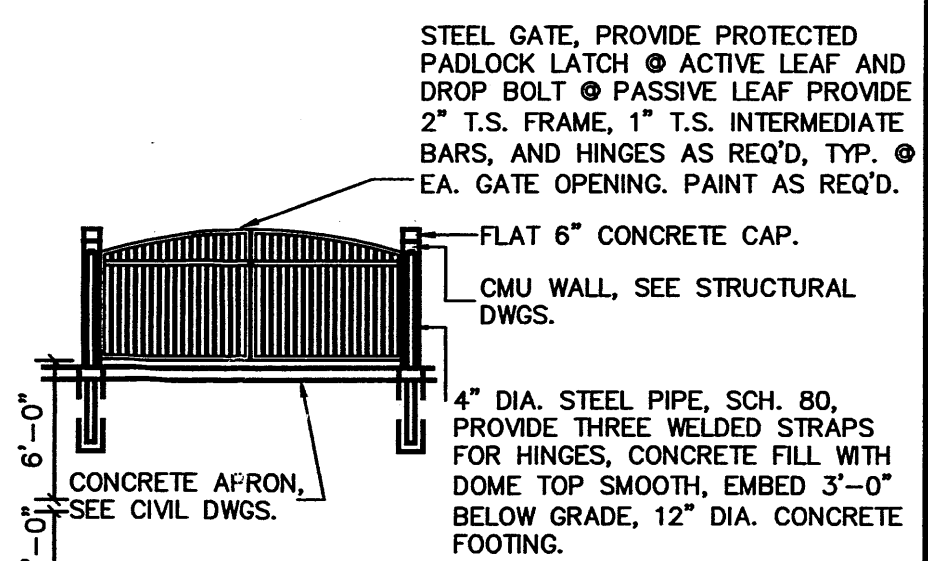
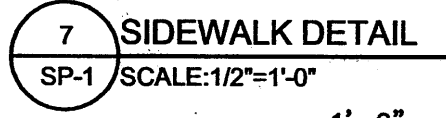
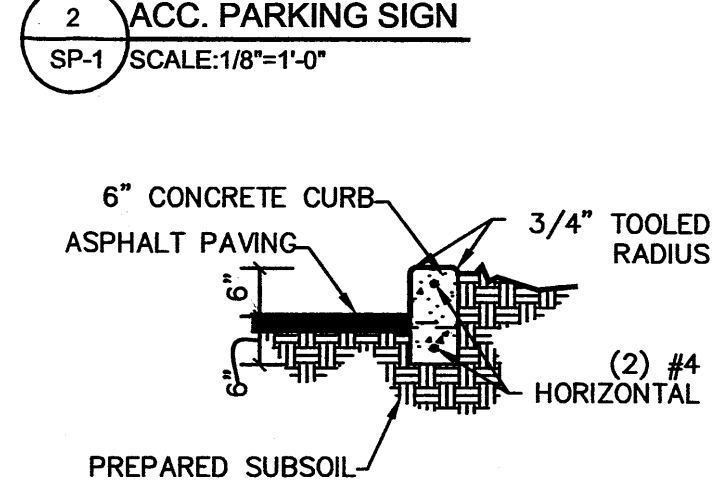
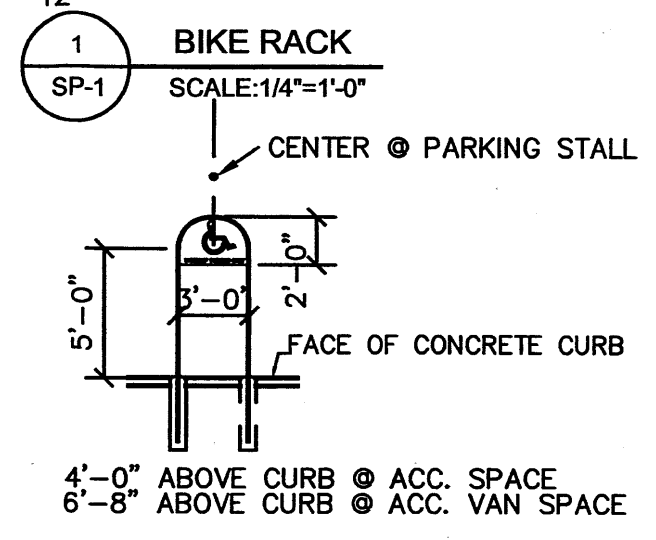
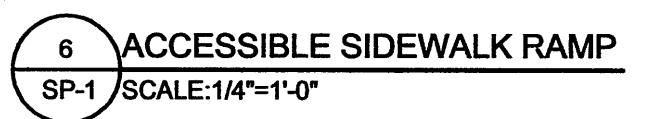
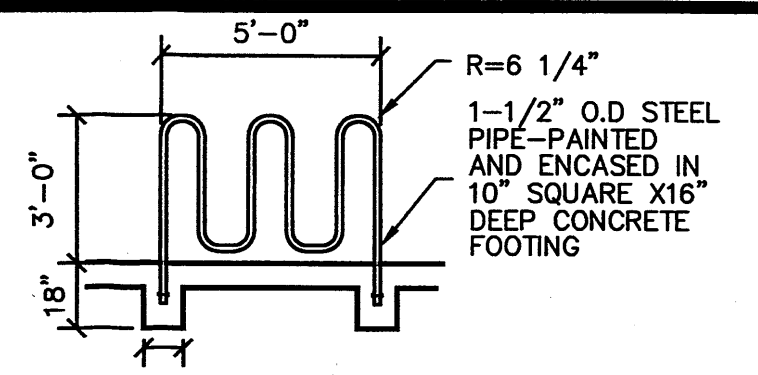
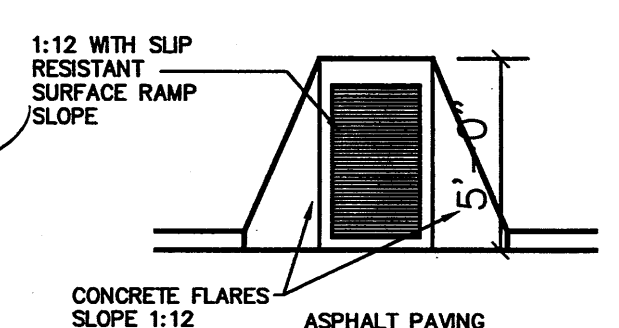
TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

RONALD R. BOHANNAN
P.E. #7868

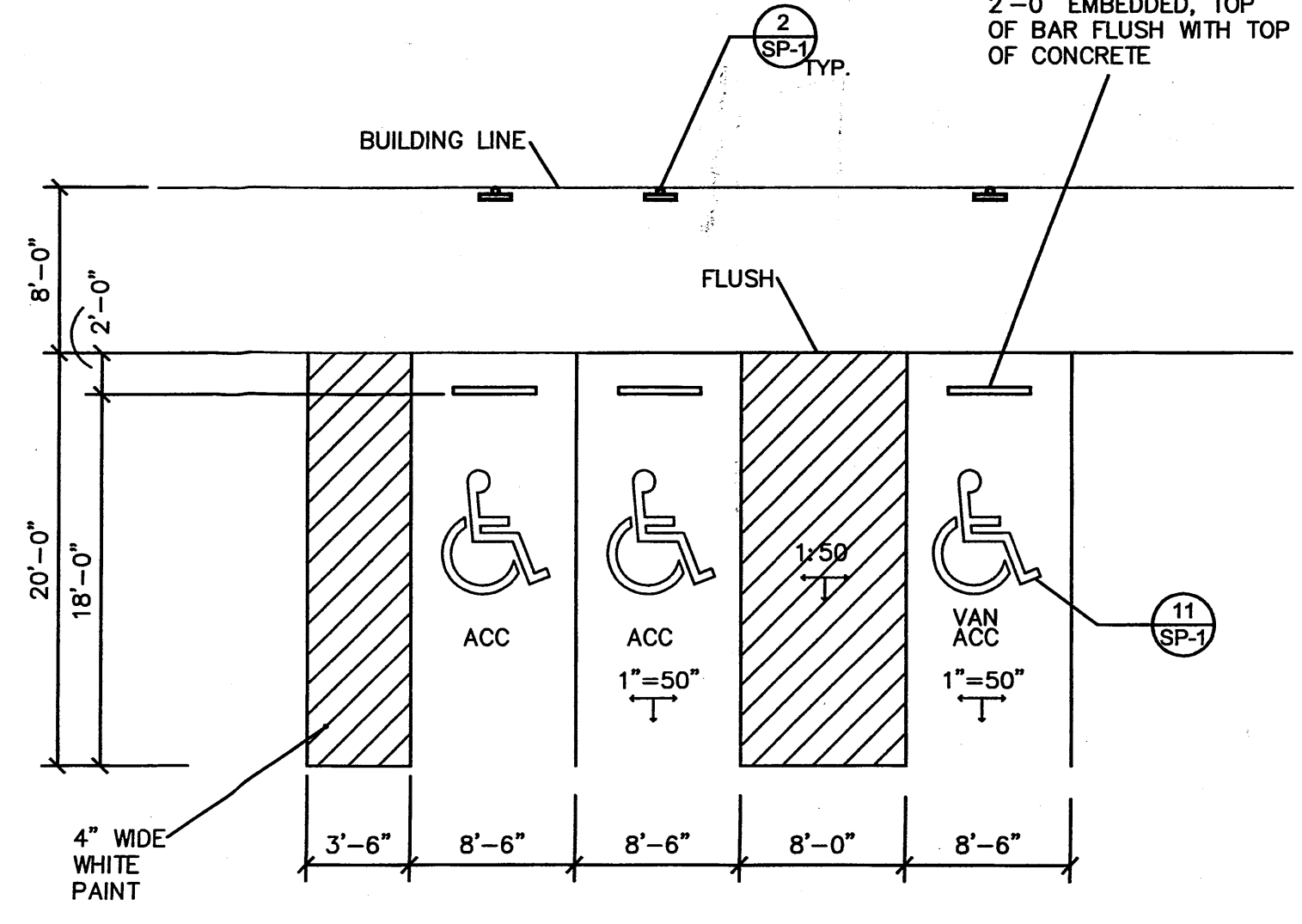
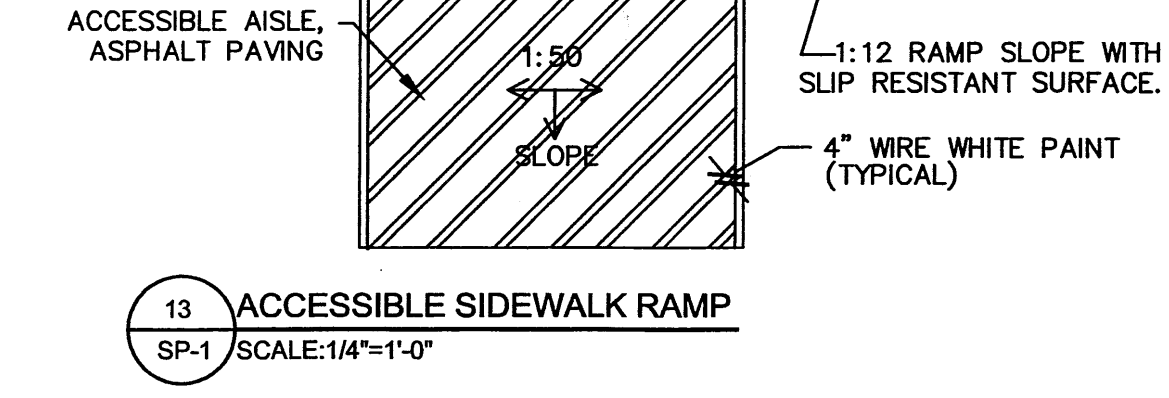
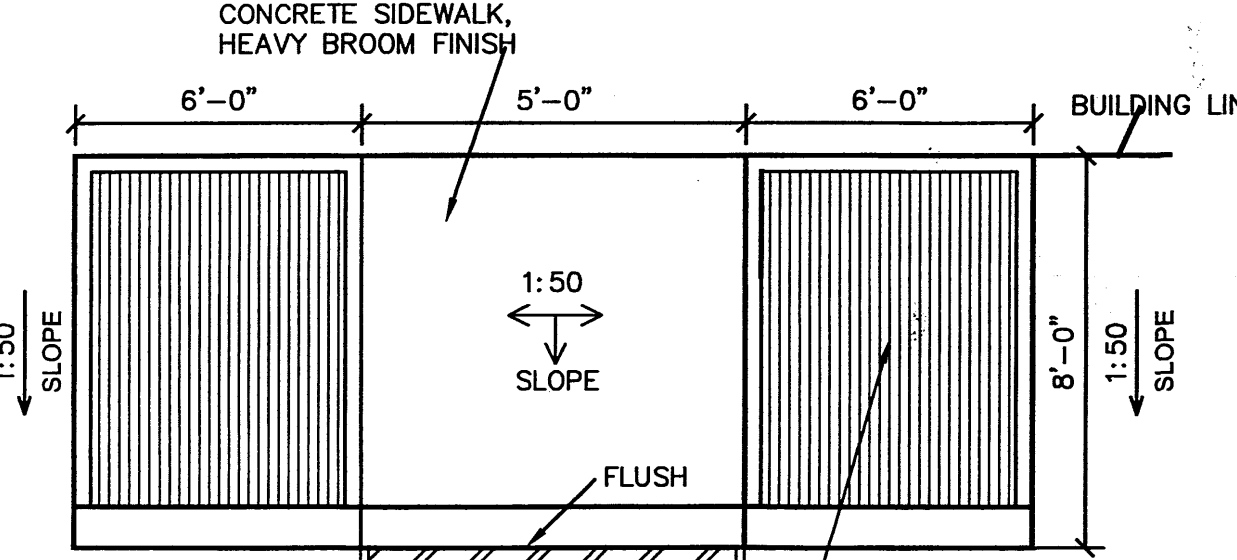
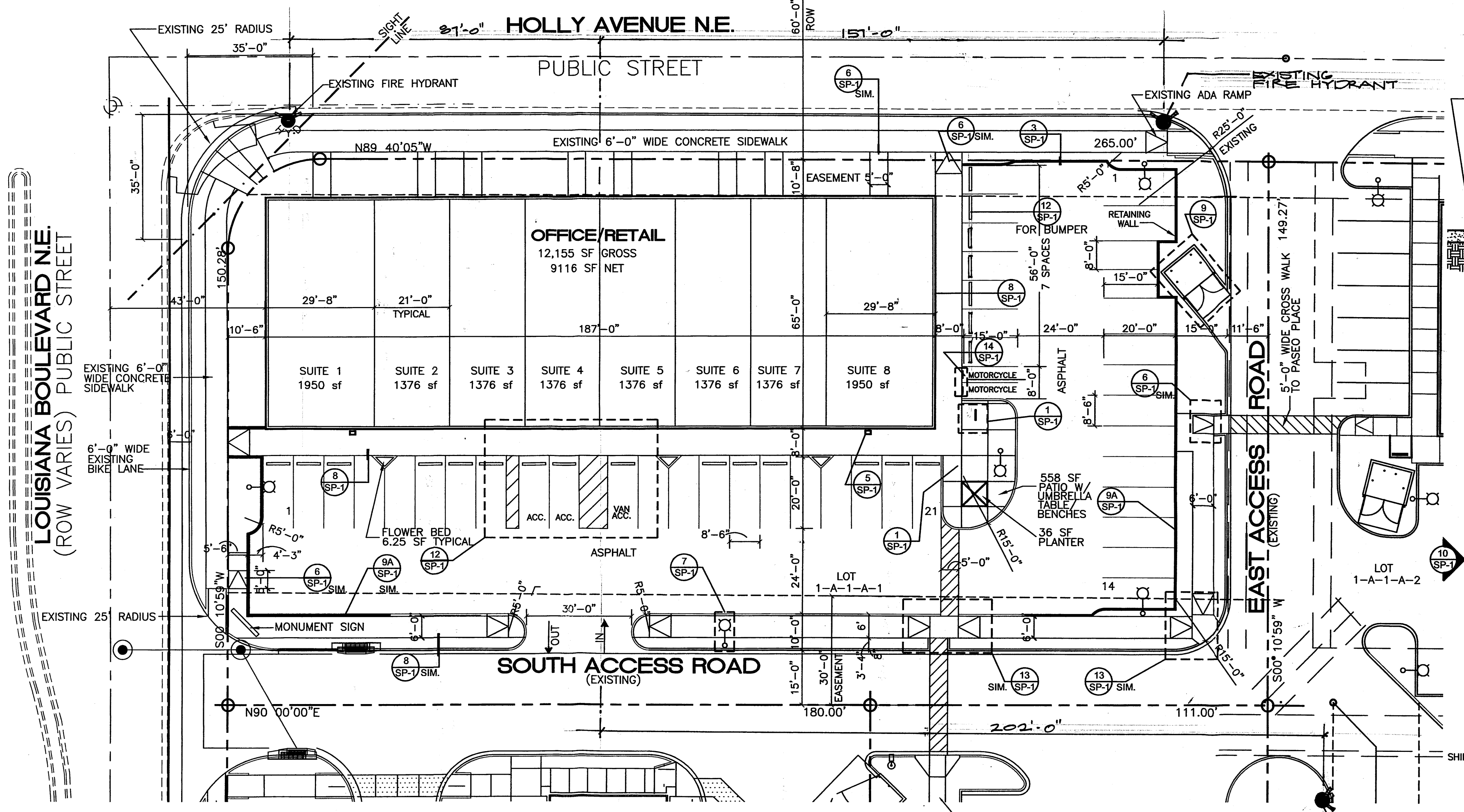
PROJ 1003364

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
SIGNATURE & DATE

FF 2976 GPM
3 hydrants



SITE PLAN FOR BUILDING PERMIT
SCALE: 1"=20'-0"



PROJECT DATA
LEGAL DESCRIPTION:
LOT 1-A-1-A-1, BLOCK 10, NORTH ALBUQUERQUE
ACRES, TRACT 2, UNIT 3, 1.0025 ACRE.

PROJECT NO. 1003364
(FORMALLY NO. 1004654)

CASE NUMBER 07 EPC 00094
PART OF PERMIT
UPC # 101906402303630130

ZONING: SU-2/MIXED USE
ZONE ATLAS MAP: C-19-Z

NOTE:
1. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT NOT LIMITED TO SIDEWALKS (STD. DWG. 2430), DRIVEWAYS (STD. DWG. 2425), PRIVATE ENTRANCES (STD. DWG. 2426) AND WHEEL CHAIR RAMPS (STD. DWG. 2441).
2. CROSS ACCESS AGREEMENT, SEE SITE PLAN FOR SUBDIVISION, PROJECT NO. 1003364, APT. NO. 04 DRB- 01407, GENERAL NOTE(1).
3. SITE PLAN SHALL COMPLY AND BE DESIGNED PER DPM STANDARDS.

TOTAL GROSS AREA 12,155 SF
PARKING TABULATION
TOTAL USABLE (USF) OR NET AREA:
12,155 SF X 75% = 9116 SF
9116 SF / 200 = 45.6 PARKING SPACES

TOTAL PARKING SPACES:
REQUIRED 46
PROVIDED 42

ACCESSIBLE PARKING SPACES:
REQUIRED 2
PROVIDED 3
2 STANDARD CAR
1 VAN

MOTORCYCLE SPACES:
REQUIRED 2
PROVIDED 2

BIKE TABULATION
1 BIKE PER 20 PARKING SPACES
2 BIKE RACKS REQUIRED
3 BIKE RACKS PROVIDED

04.20.07
PATIO SF TABULATION
REQUIRED:
9113 SF X 5.33 % = 486 SF

PROVIDED:
655 SF TOTAL- BIKE- TREE WELL= 5585 SF

SITE PLAN FOR BUILDING PERMIT
SCALE: 1" = 20'-0"

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE _____

WATER UTILITY DEPARTMENT DATE _____

PARKS AND RECREATION DEPARTMENT DATE _____

CITY ENGINEER DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE _____

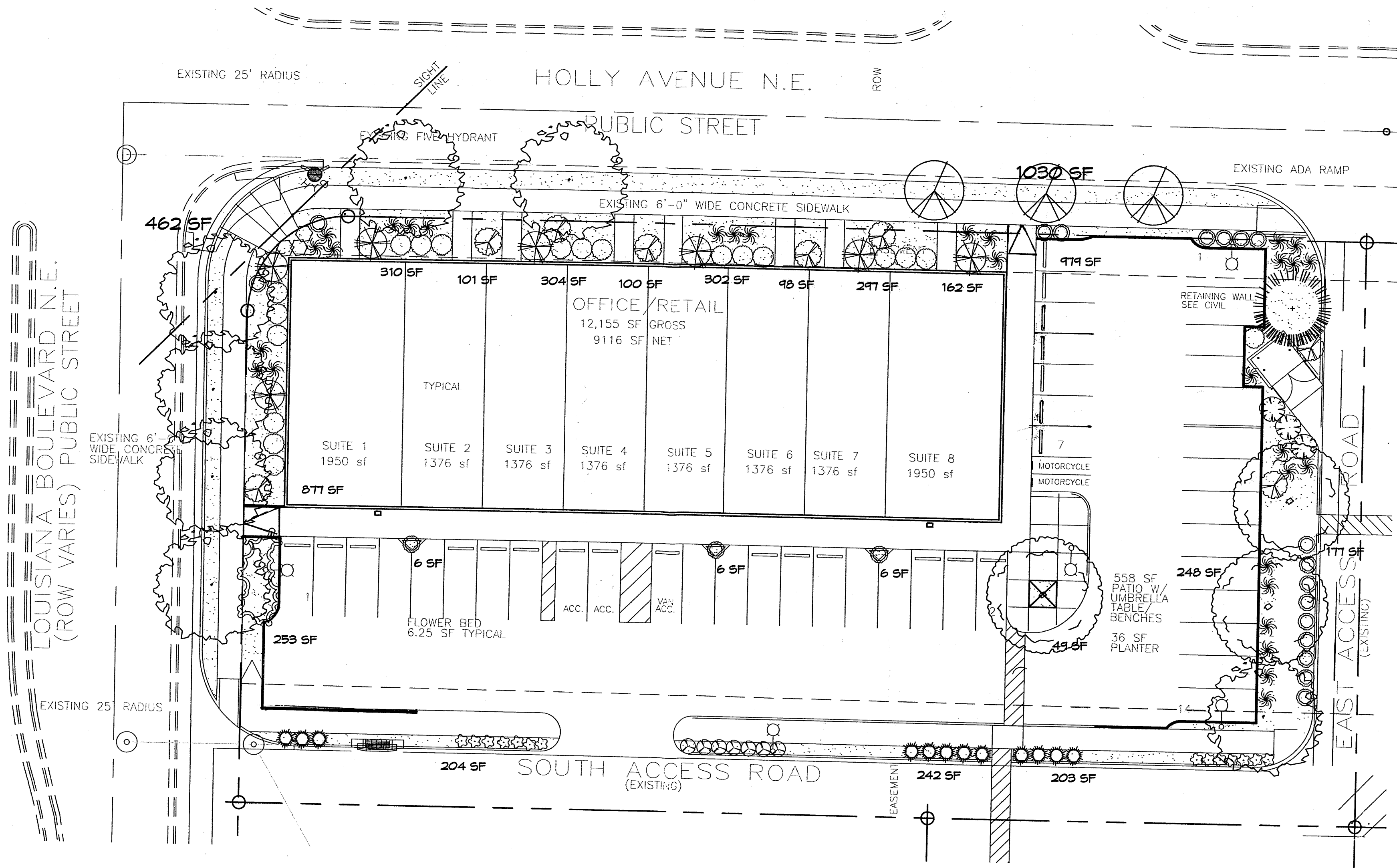
SOLID WASTE MANAGEMENT DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE _____

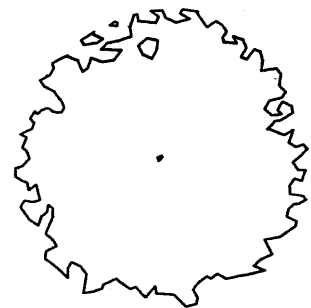
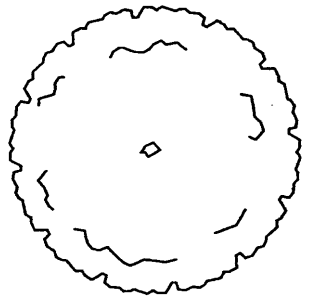
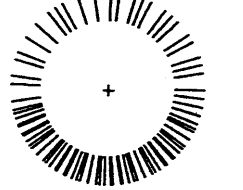
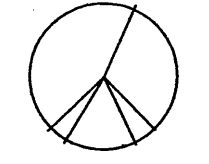







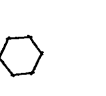


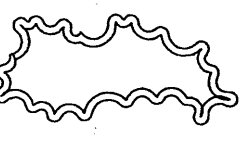
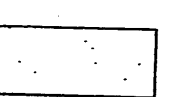
AFRA Construction & Design
2501 Yale Blvd. Suite 102
Albuquerque, New Mexico 87106
Tel 505.315.1482

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

SP-1
05.21.07



PLANT LEGEND

-  HONEY LOCUST (M) 7
Gleditsia triacanthos
2" Cal.
-  PURPLE ROBE LOCUST (M) 3
Robinia pseudoacacia
2" Cal.
-  AUSTRIAN PINE (M) 1
Pinus nigra
6'-8"
-  TEXAS REDBUD (M+) 3
Cercis spp.
2" Cal.
-  SILVERBERRY (M) 1
Elaeagnus pungens
5 Gal. 100sf
-  APACHE PLUME (L) 19
Fallugia paradoxa
5 Gal. 25sf
-  UPRIGHT ROSEMARY (M) 20
Rosmarinus officinalis
5 Gal. 25sf
-  LENAS BROOM (M) 12
Genista spp.
5 Gal. 16sf
-  MAIDEN GRASS (M) 30
Miscanthus sinensis
5 Gal. 16sf
-  CHAMISA (L) 3
Chrysothamnus nauseosus
1 Gal. 25sf
-  POTENTILLA (M) 14
Potentilla fruticosa
1 Gal. 4sf
-  AUTUMN SAGE (M) 3
Salvia greggii
1 Gal. 4sf
-  WILDFLOWER 7
1 Gal. 4sf
-  HONEYSUCKLE (M) 3
Lonicera japonica 'Halliana'
1 Gal. 200sf
Unstaked-Groundcover
-  GREYLEAF COTONEASTER (M) 3
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
-  SANTA FE BROWN GRAVEL
WITH FILTER FABRIC

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Louisiana
Required # 4 Provided # 4

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

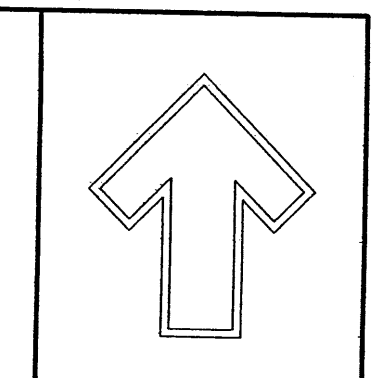
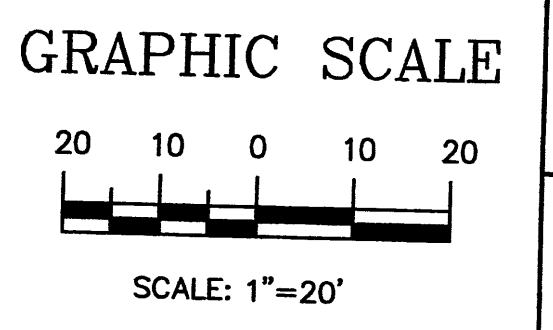
1 Shade tree per 10 spaces
Required # 4 Provided # 4

PROPOSED OFFICE/RETAIL 1
SCALE: 1"=20'-0"

LANDSCAPE CALCULATIONS

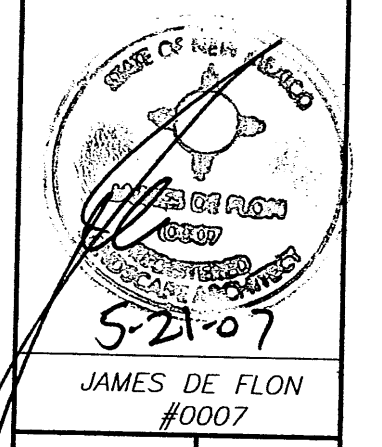
TOTAL LOT AREA	44070	square feet
TOTAL BUILDINGS AREA	12155	square feet
NET LOT AREA	31915	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4787	square feet
TOTAL BED PROVIDED	4924	square feet
GROUNDCOVER REQ.	80%	square feet
TOTAL GROUNDCOVER REQUIREMENT	3939	square feet
TOTAL GROUNDCOVER PROVIDED	4000 (80%)	square feet
OFFSITE AREA	1492	square feet
TOTAL LANDSCAPE PROVIDED	6434 (20%)	square feet

AFRA CONSTRUCTION & DESIGN LLC
2501 YALE BLVD SE SUITE 102
ALBUQUERQUE, NM 87106
TEL (505) 315-1482
FAX (505) 243-1561



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscape.com

LANDSCAPE ARCHITECT'S SEAL



SEDONA POINT
LOUISIANA AND HOLLY SEC
ALBUQUERQUE, NM
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and are protected by copyright laws. This is an original design and no part of it may be copied unless applicable fees have been paid or job order placed.

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY RMM
REVISION # 5/21/07
DATE 1-10-07

SHEET #
L1 OF L2

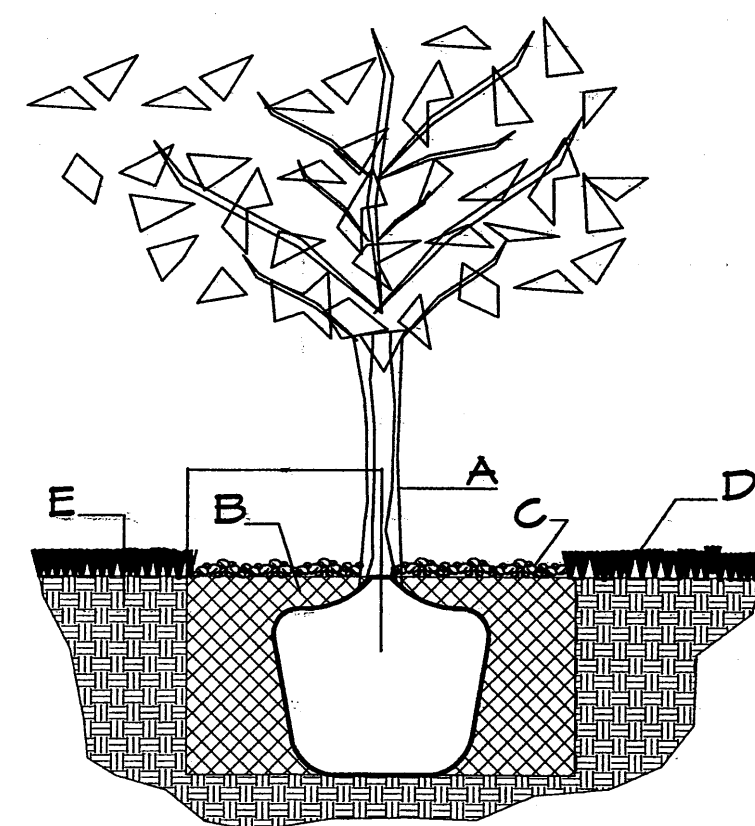
LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.



GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL..

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

TREE PLANTING DETAIL NTS

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

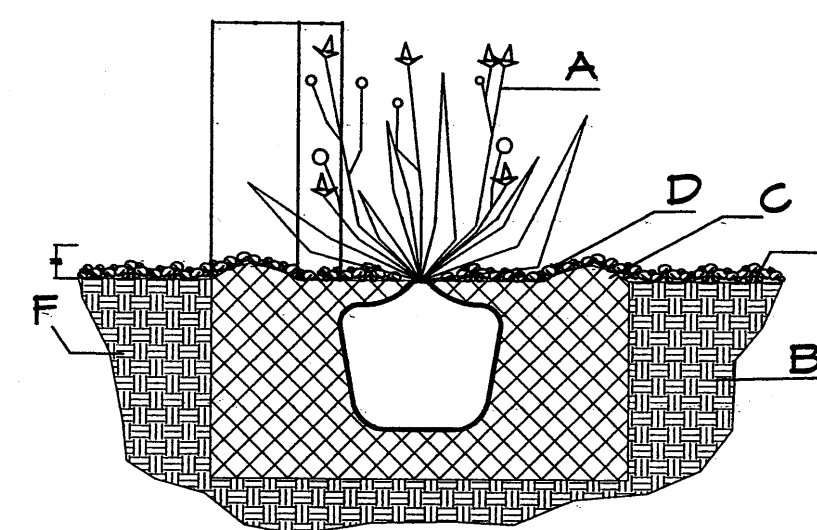
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



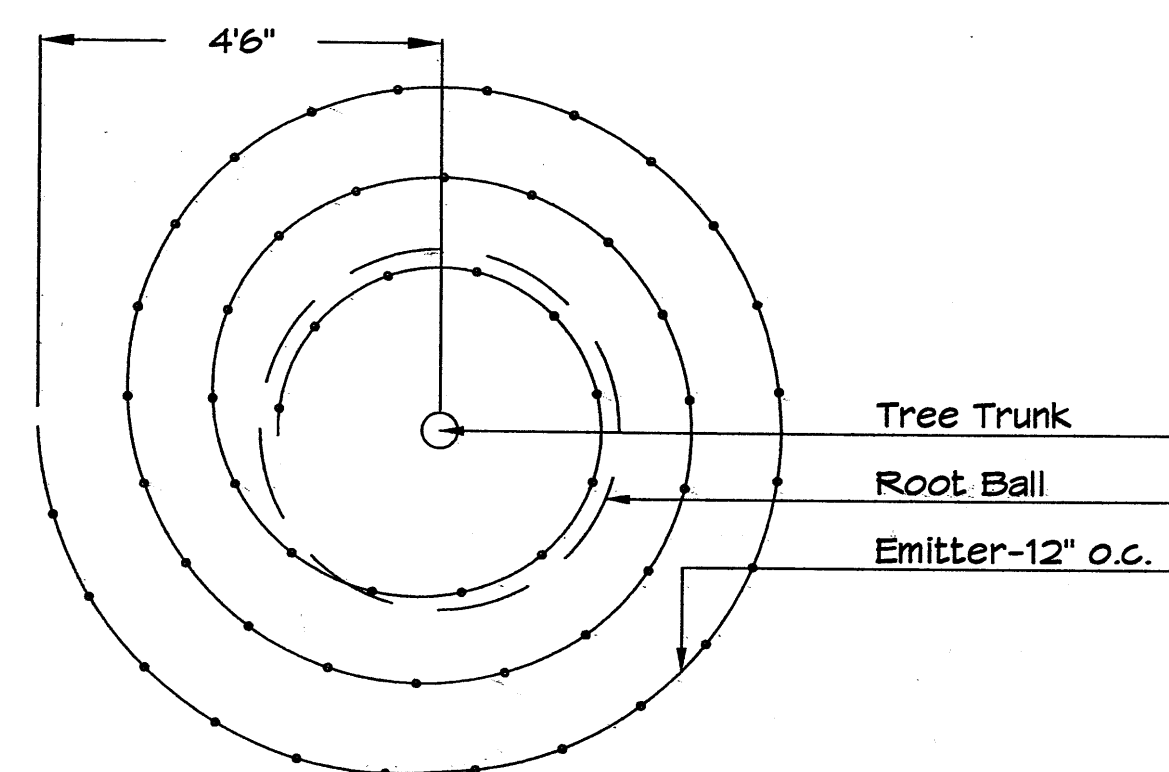
GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

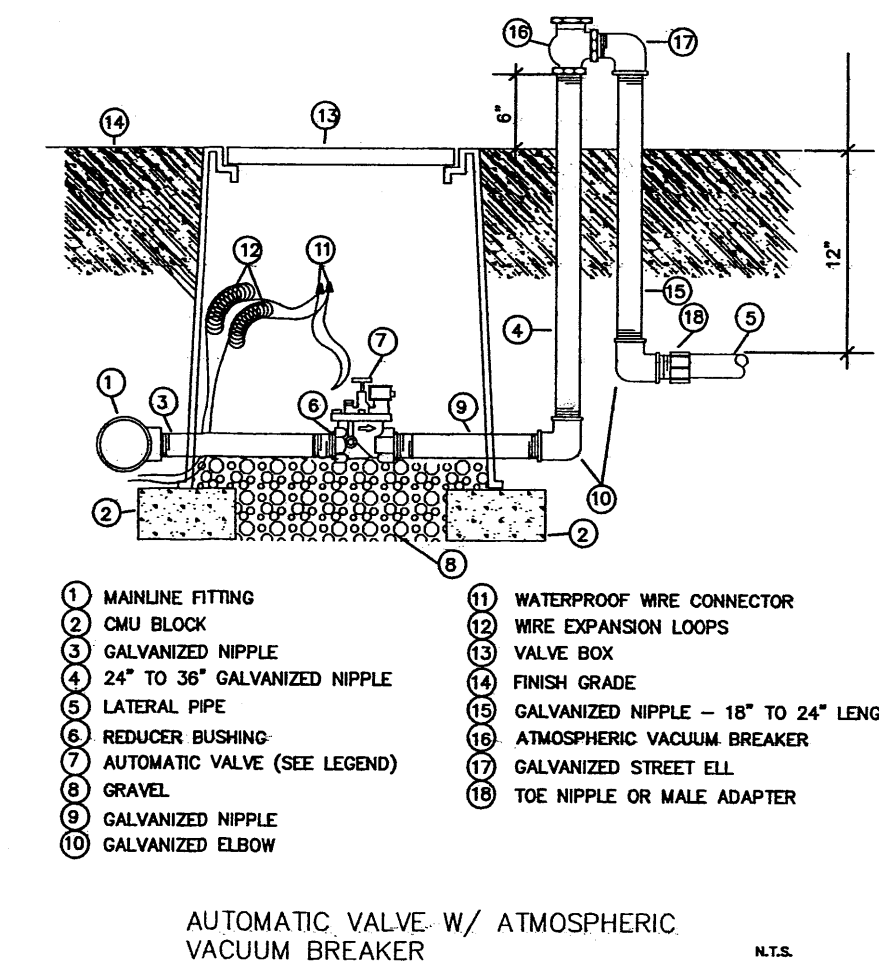
SHRUB PLANTING DETAIL NTS

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



Netafim Spiral Detail NTS



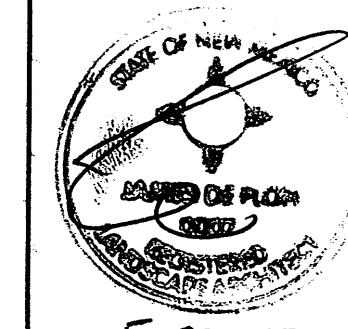
AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER N.T.S.

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

AFRA CONSTRUCTION & DESIGN LLC
2501 YALE BLVD SE SUITE 102
ALBUQUERQUE, NM 87106
TEL (505) 315-1482
FAX (505) 243-1561

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



5-21-07
JAMES DE FLON
#0007

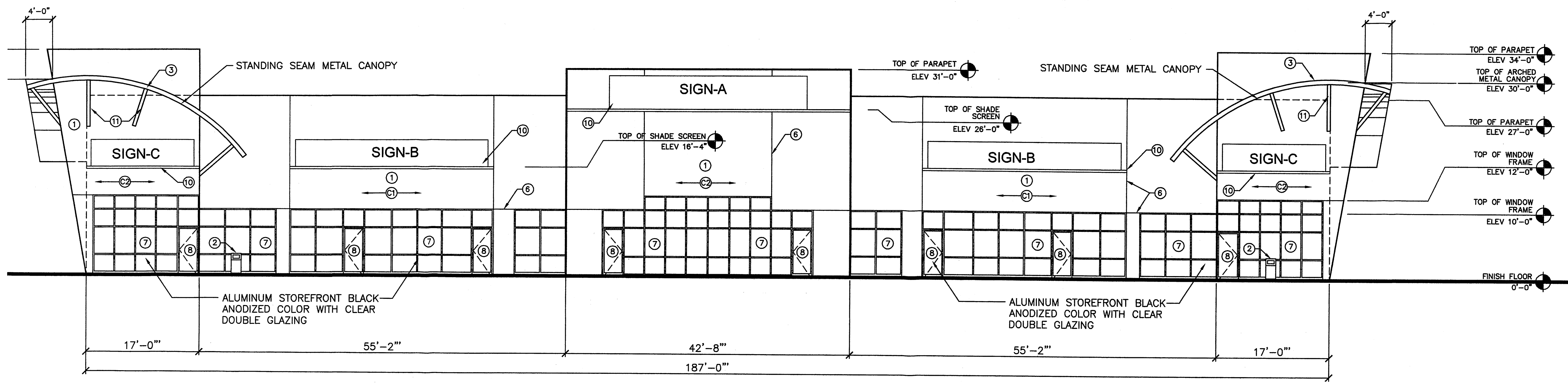
SEDONA POINT
LOUISIANA AND HOLLY SEC
ALBUQUERQUE, NM
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and are protected by copyright laws. This drawing and any other drawings or copied unless applicable fees have been paid or order placed.



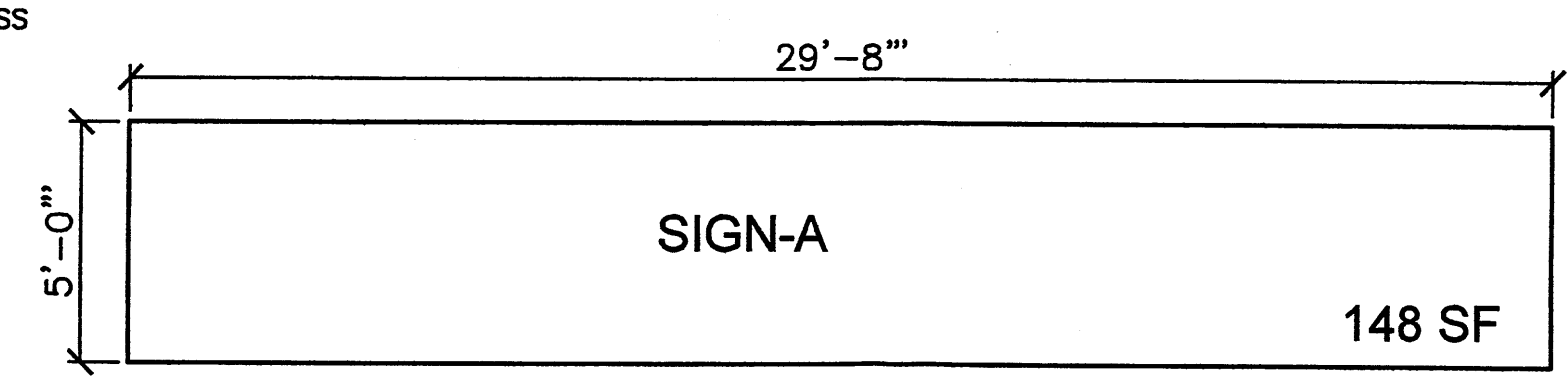
DRAWN BY: RMM
REVISION: 1-10-07
DATE: 1-10-07

SHEET #
L2 OF L2

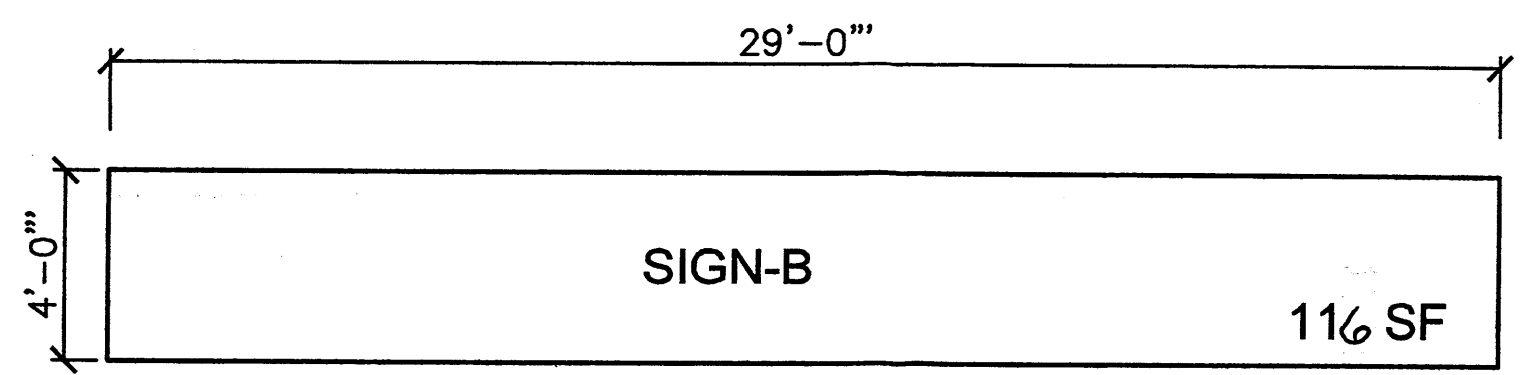


FRONT SOUTH ELEVATION
SCALE: 1/8"=1'-0"

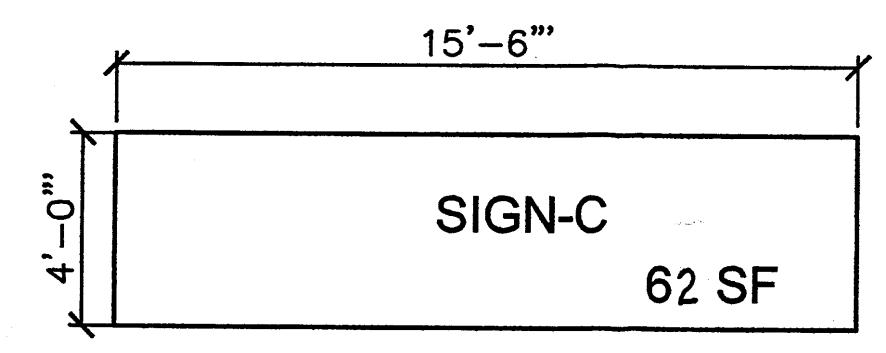
- EIFS COLOR LEGEND**
- ① STO #31141 - LIGHTNESS VALUE 19, C3 COLOR CLASS, DARK OLIVE GREEN.
 - ② STO #32141 - LIGHTNESS VALUE 25, C3 COLOR CLASS, MEDIUM BROWN.



BUILDING MOUNTED SIGN
SCALE: 1/4"=1'-0" SIGN AREA=148 SF

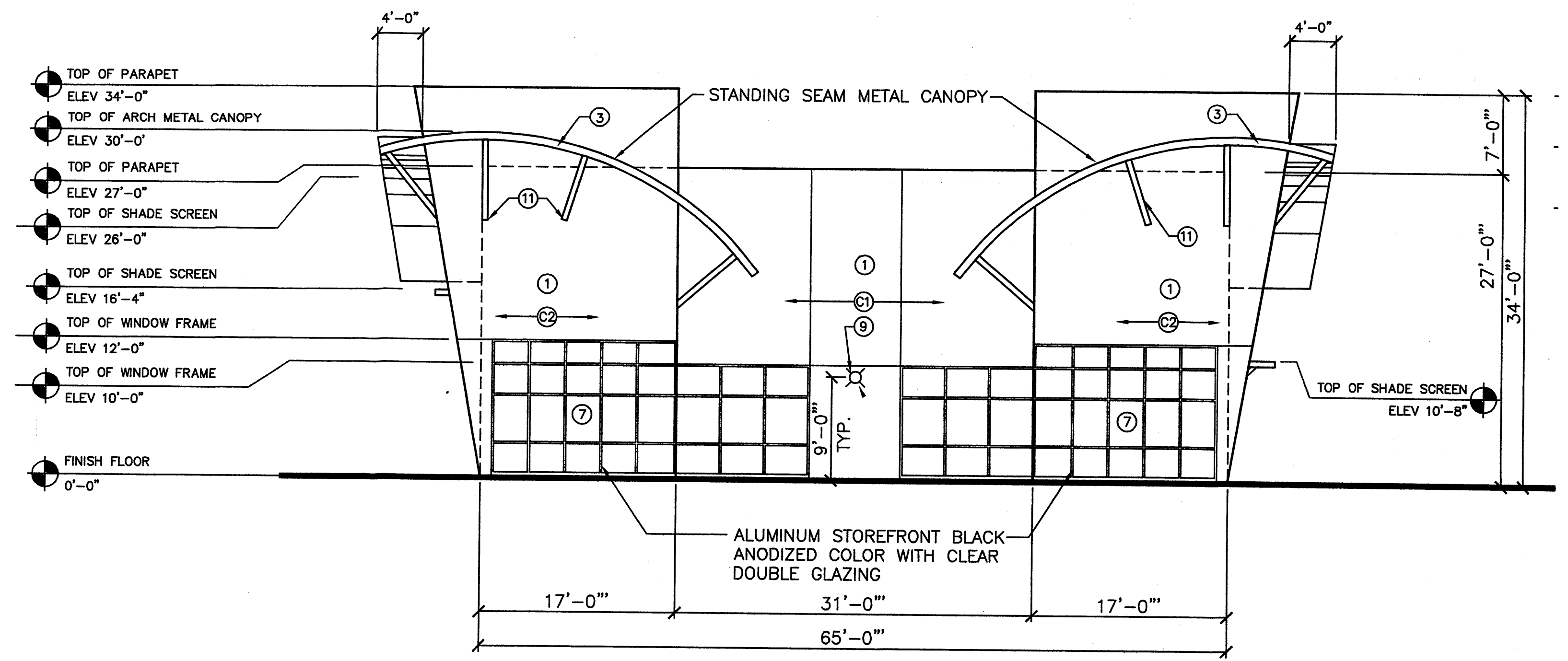
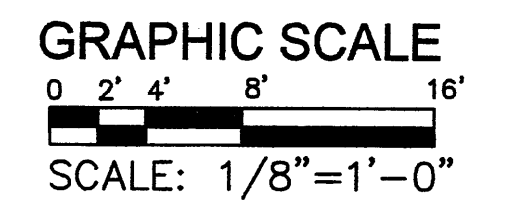


BUILDING MOUNTED SIGN
SCALE: 1/4"=1'-0" SIGN AREA=116 SF



BUILDING MOUNTED SIGN
SCALE: 1/4"=1'-0" SIGN AREA=62 SF

TOTAL FRONT ELEVATION AREA= 3421 SF
ALLOWABLE SIGN AREA (25%)= 856 SF
PROPOSED SIGN AREA= 324 SF < 856 SF



SIDE EAST ELEVATION
SCALE: 1/8"=1'-0"

KEYED NOTES

1. STUCCO SYSTEM - 3 COAT, 17 GA. STUCCO WIRE, #5 BUILDING PAPER, 7/16" APA RATED SHEATHING.
2. TRASH RECEPTACLE.
3. STANDING SEAM METAL CANOPY.
4. 8"x8" LEADER BOX WITH 2" OVERFLOW, 4"x4" METAL DOWN SPOUT, PAINT TO MATCH STUCCO COLOR.
5. CONCRETE SPLASH BLOCK, 18"x24".
6. 1/4" STUCCO REGLET.
7. ALUMINUM STOREFRONT BLACK ANODIZED WITH CLEAR DOUBLE GLAZING.
8. 3'-0"x7'-0" ALUMINUM DOOR, BLACK ANODIZED, COLOR WITH CLEAR DOUBLE GLAZING.
9. FULLY SHIELDED BUILDING LIGHT WITH PHOTO CELL, TYP.
10. METAL SHADE SCREEN, PRIME, PAINT.
11. METAL CANOPY SUPPORTS, PRIME, PAINT.

NOTE:
ALL SIGNAGE LETTERS ARE INDIVIDUALLY BACK LIGHTED AND 24" HIGH MAXIMUM, PER LA CUEVA SECTOR DEVELOPMENT PLAN, CHAPTER 5.4.6, GUIDELINE: 13 SIGNAGE, 13R-8 AND/OR 13R-9.

BUILDING ELEVATIONS

SCALE: 1/8"=1'-0"

AFRA Construction & Design

2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.315.1482

SEDONA POINT
8110 Louisiana NE
Albuquerque, NM

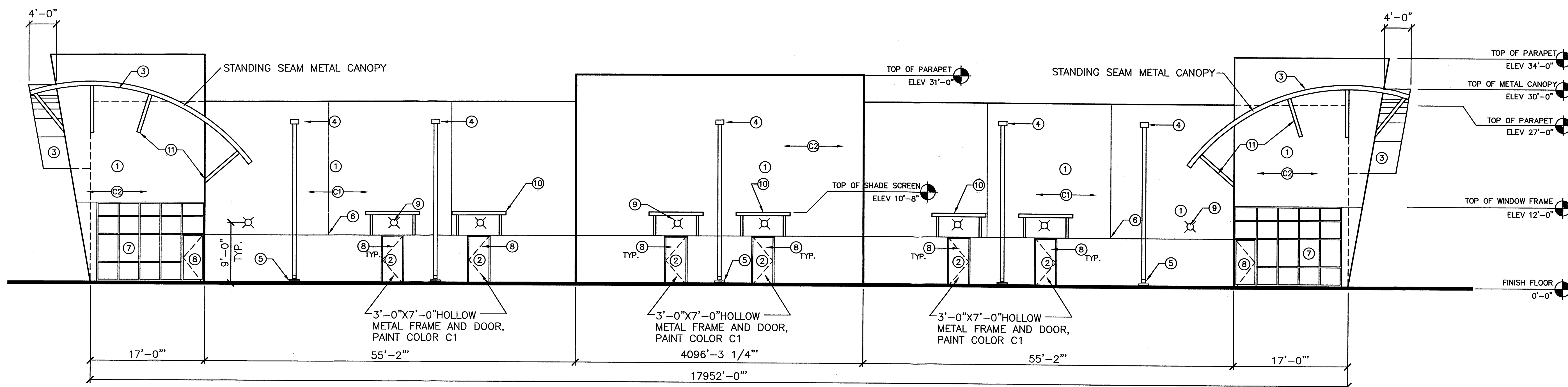
REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

A-1

05.14.07

KEYED NOTES

1. STUCCO SYSTEM - 3 COAT, 17 GA. STUCCO WIRE, 15# BUILDING PAPER, 7/16" APA RATED SHEATHING.
2. 3'-0"x7'-0" HOLLOW METAL INSULATED DOOR FRAME, PRIME, PAINT TO MATCH STUCCO COLOR.
3. STANDING SEAM METAL CANOPY.
4. 8"x8" LEADER BOX WITH 2" OVERFLOW, 4"x4" METAL DOWN SPOUT, PAINT TO MATCH STUCCO COLOR.
5. CONCRETE SPLASH BLOCK, 18"x24".
6. 1/4" STUCCO REGLET.
7. ALUMINUM STOREFRONT BLACK ANODIZED WITH CLEAR DOUBLE GLAZING.
8. 3'-0" X 7'-0" ALUMINUM DOOR, BLACK ANODIZED, COLOR WITH CLEAR DOUBLED GLAZING.
9. FULLY SHIELDED BUILDING LIGHT WITH PHOTO CELLS, TYP.
10. METAL SHADE SCREEN, PRIME, PAINT.
11. METAL CANOPY SUPPORTS, PRIME, PAINT.

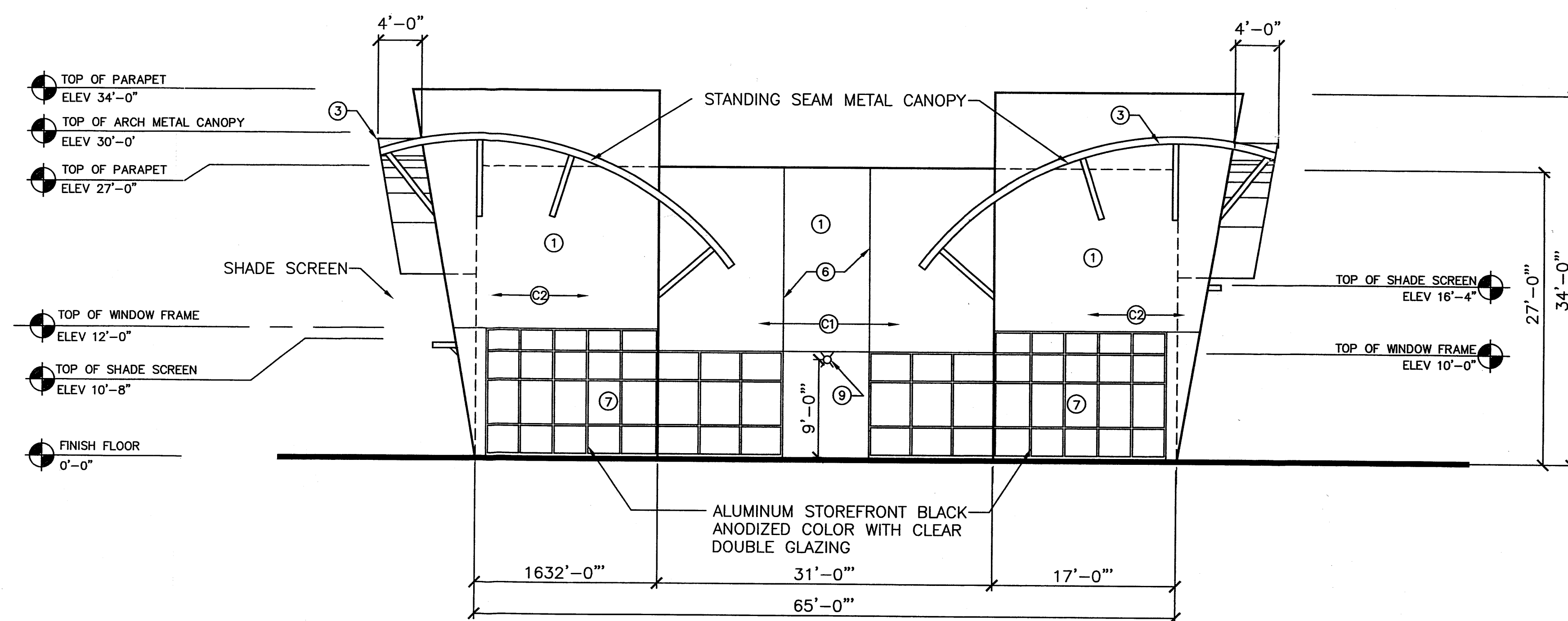


REAR NORTH ELEVATION

SCALE: 1/8" = 1'-0"

EIFS COLOR LEGEND

- (C1) STO #31141 - LIGHTNESS VALUE 19, C3 COLOR CLASS, DARK OLIVE GREEN.
- (C2) STO #32141 - LIGHTNESS VALUE 25, C3 COLOR CLASS, MEDIUM BROWN.



SIDE WEST ELEVATION

SCALE: 1/8" = 1'-0"

GRAPHIC SCALE



SCALE: 1/8" = 1'-0"

BUILDING ELEVATIONS

SCALE: 1/8" = 1'-0"

AFRA Construction & Design

2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.315.1482

SEDONA POINT
8110 Louisiana NE
Albuquerque, NM

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

A-2

05.14.07

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The **community map repository** should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **floodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures in this jurisdiction.

The **projection** used in the preparation of this map was Universal Transverse Mercator (UTM) zone 13. The **horizontal datum** was NAD 83, GRS80 spheroid. Differences in datum, spheroid, projection or UTM zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same **vertical datum**. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at www.ngs.noaa.gov or contact the National Geodetic Survey at the following address:

Spatial Reference System Division
National Geodetic Survey, NOAA
Silver Spring Metro Center
1315 East-West Highway
Silver Spring, Maryland 20910
(301) 713-3 91

To obtain current elevation, description, and/or location information about the **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713- 3242, or visit their website at www.ngs.noaa.gov.

Base map information shown on this FIRM was provided by Bernalillo County Public Works Division as digital data in New Mexico State Plane Coordinate System at a scale of 1:12,000 from photography dated 1996-1998.

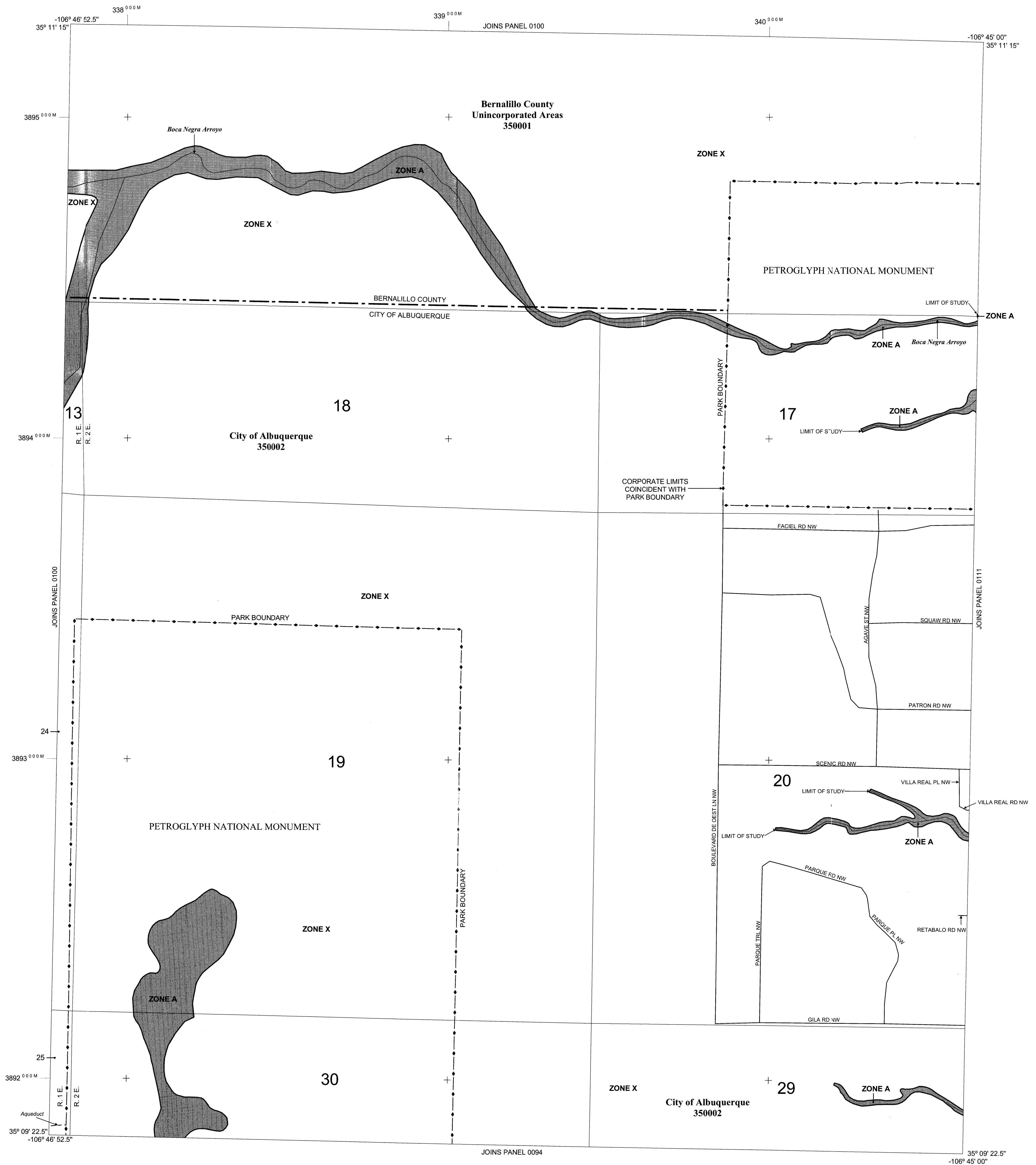
This map reflects more detailed up-to-date **stream channel configurations** than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

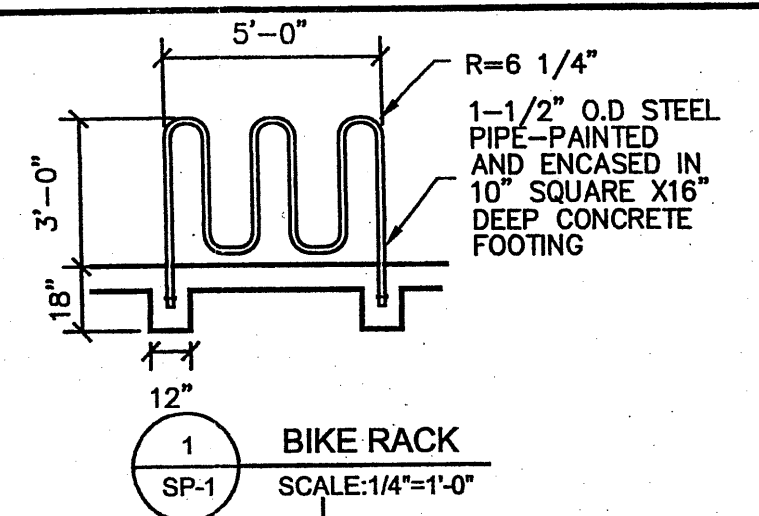
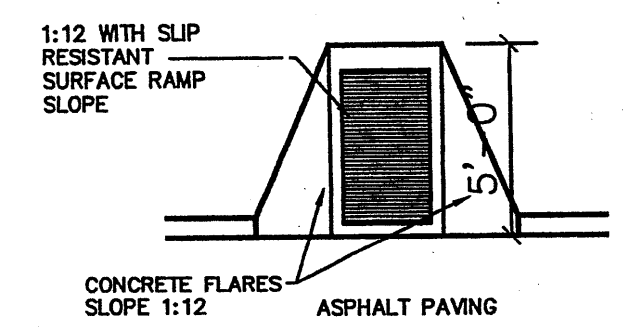
Contact the **FEMA Map Service Center** at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and their website at www.fema.gov/msc.

If you have **questions about this map** or questions concerning the National Flood Insurance Program in general, please call 1-877- FEMA MAP (1-877-336-2627) or visit the FEMA website at www.fema.gov.



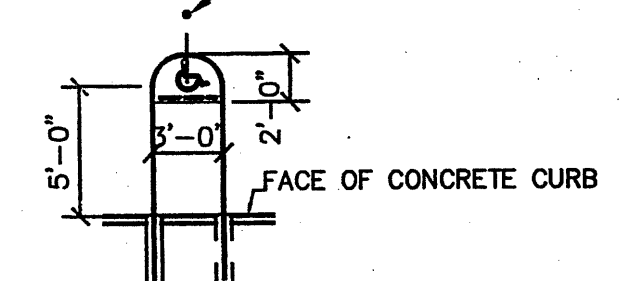
AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
SIGNATURE & DATE

APPROVED/DISAPPROVED
HYDRANT(S) ONLY
SIGNATURE & DATE

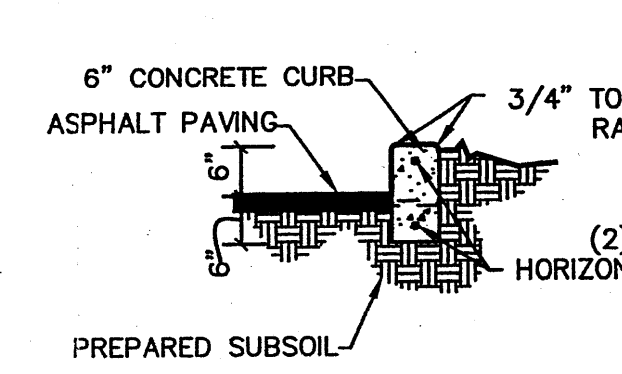


6 ACCESSIBLE SIDEWALK RAMP
SP-1 SCALE: 1/4"=1'-0"

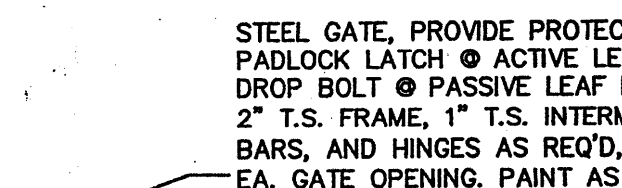
1 BIKE RACK
SCALE: 1/4"=1'-0"



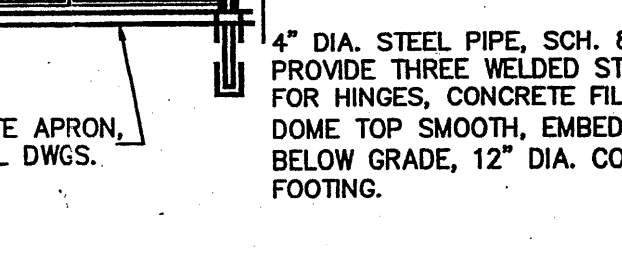
2 ACC. PARKING SIGN
SP-1 SCALE: 1/8"=1'-0"



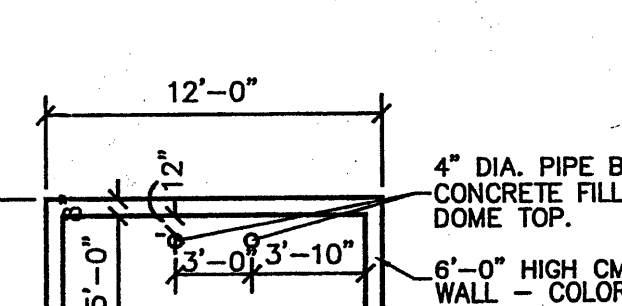
3 LANDSCAPE DETAIL
SP-1 SCALE: 1/2"=1'-0"



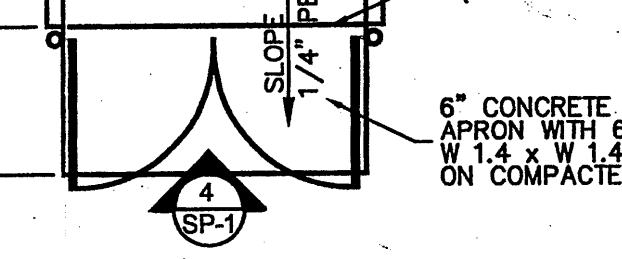
4 TRASH ELEVATION
SP-1 SCALE: 1/8"=1'-0"



5 TRASH ENCLOSURE
SP-1 SCALE: 1/8"=1'-0"

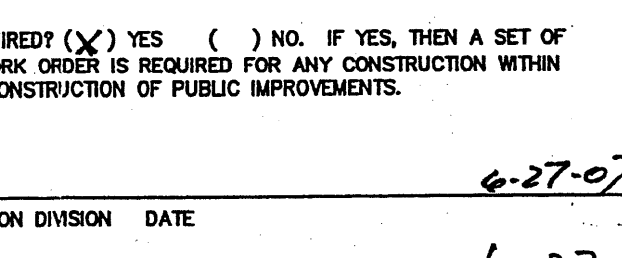


9 SITE LIGHT
SP-1 SCALE: 1/8"=1'-0"



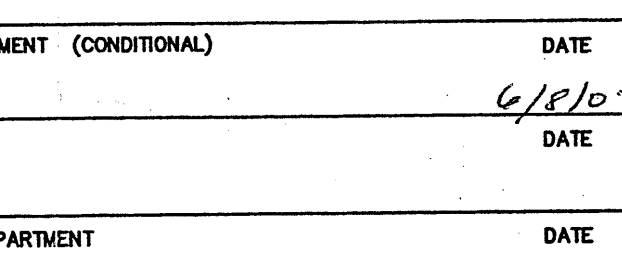
10 TYPICAL SIDE ELEVATION AT TRASH ENCLOSURE
SP-1 SCALE: 1/8"=1'-0"

11 ACCESSIBLE PAVING SIGN
SP-1 SCALE: 1/4"=1'-0"



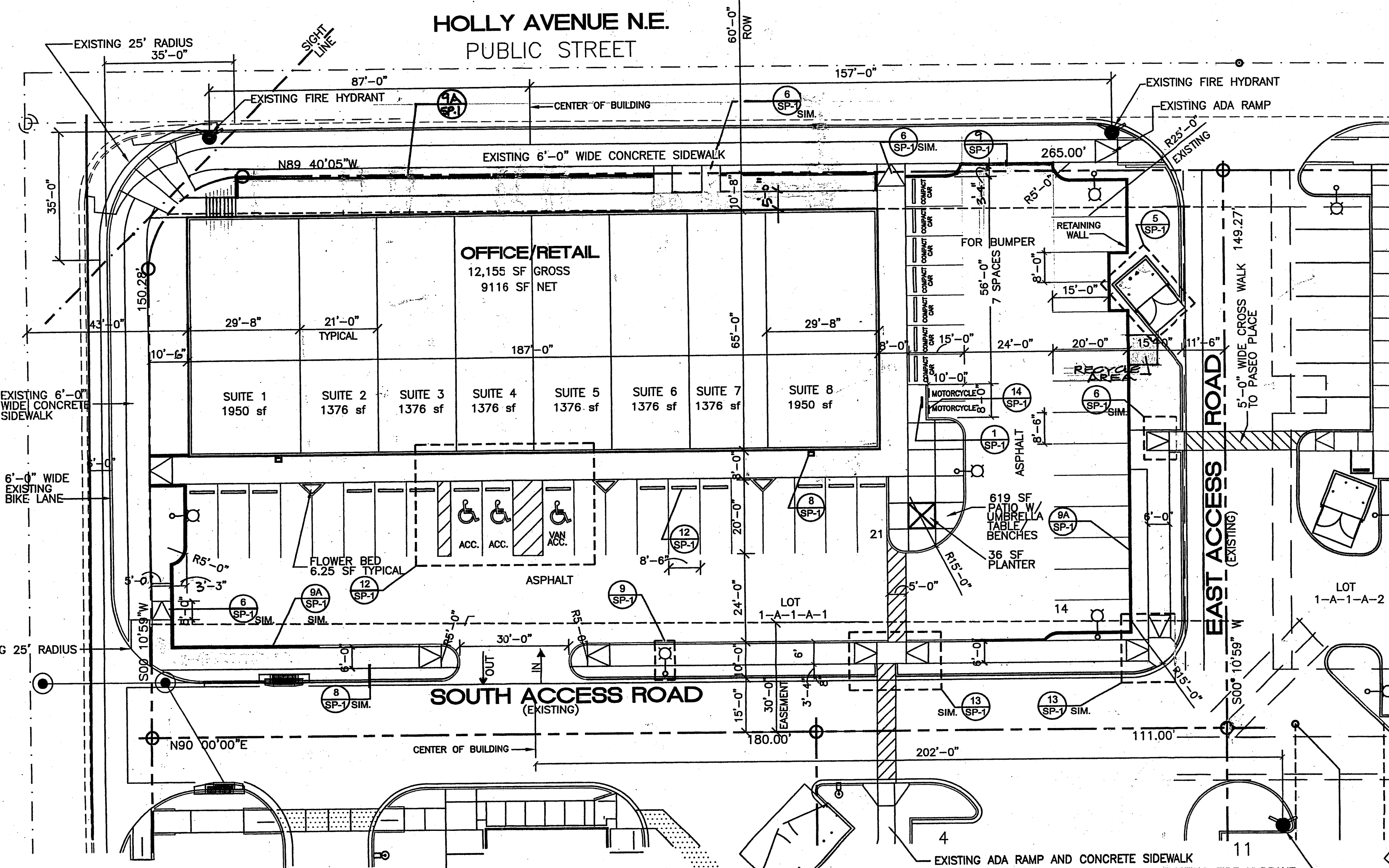
9A RETAINING WALL DETAILS
SP-1 SCALE: 1/4"=1'-0"

12 ACCESSIBLE STALLS
SP-1 SCALE: 1/8"=1'-0"

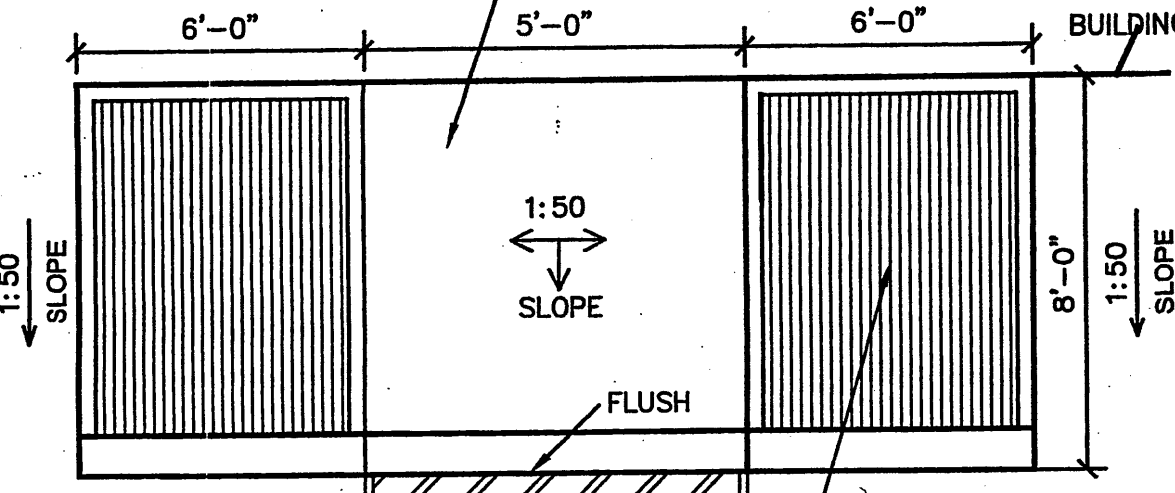


13 ACCESSIBLE SIDEWALK RAMP
SP-1 SCALE: 1/4"=1'-0"

14 MOTORCYCLE PARKING SIGN
SP-1 SCALE: 1/8"=1'-0"

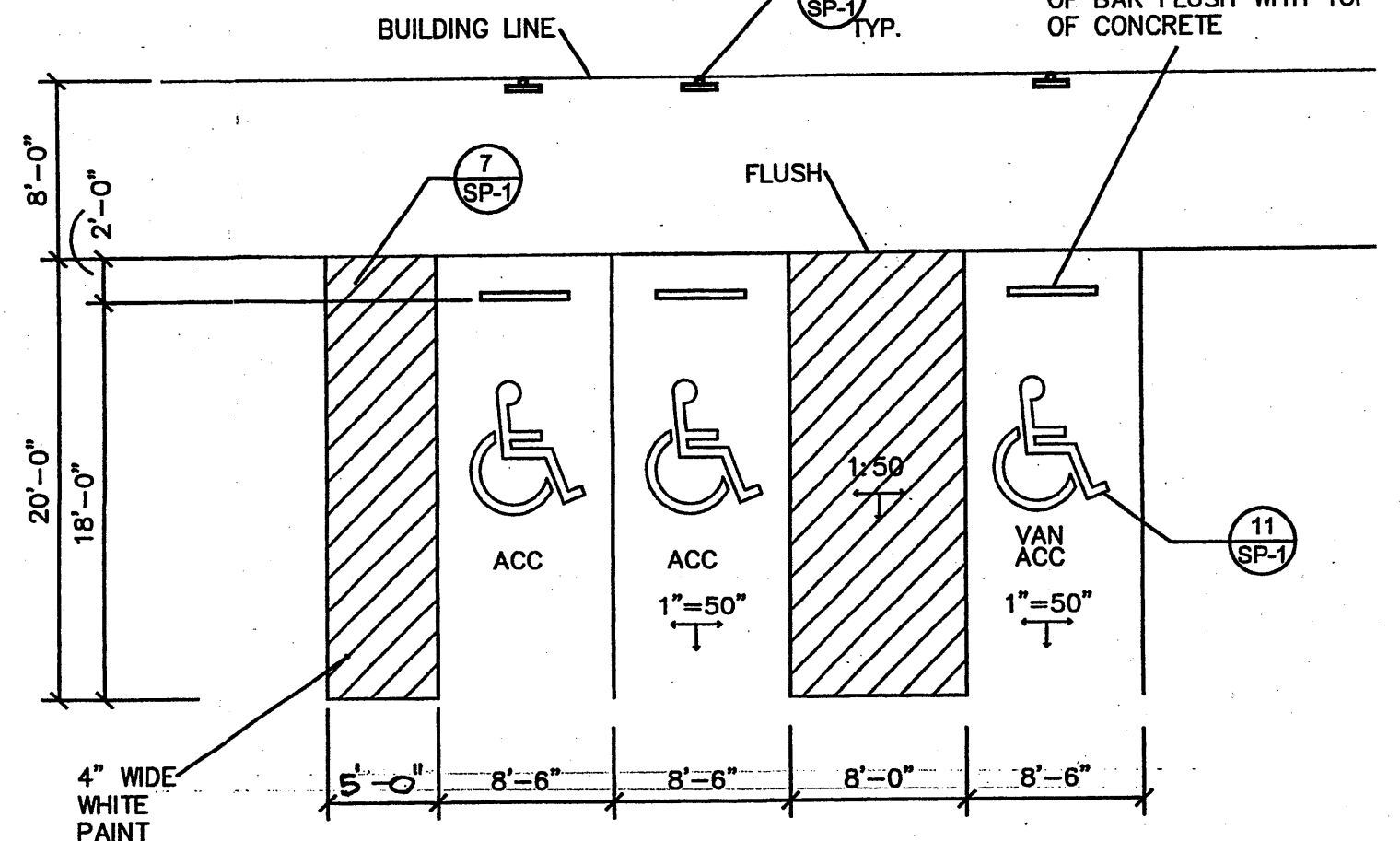


SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SCALE: 1"=20'-0"

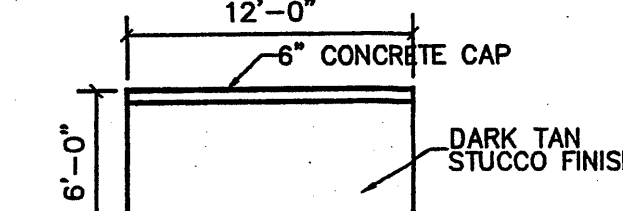


13 ACCESSIBLE SIDEWALK RAMP
SP-1 SCALE: 1/4"=1'-0"

14 MOTORCYCLE PARKING SIGN
SP-1 SCALE: 1/8"=1'-0"



12 ACCESSIBLE STALLS
SP-1 SCALE: 1/8"=1'-0"



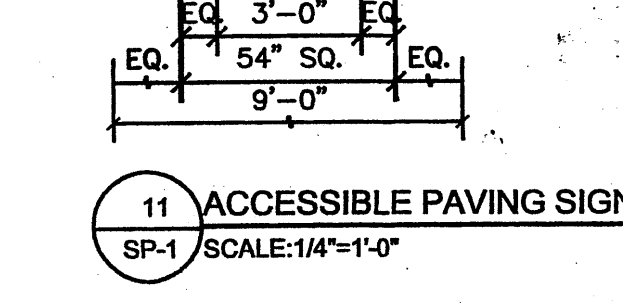
10 TYPICAL SIDE ELEVATION AT TRASH ENCLOSURE
SP-1 SCALE: 1/8"=1'-0"

11 ACCESSIBLE PAVING SIGN
SP-1 SCALE: 1/4"=1'-0"



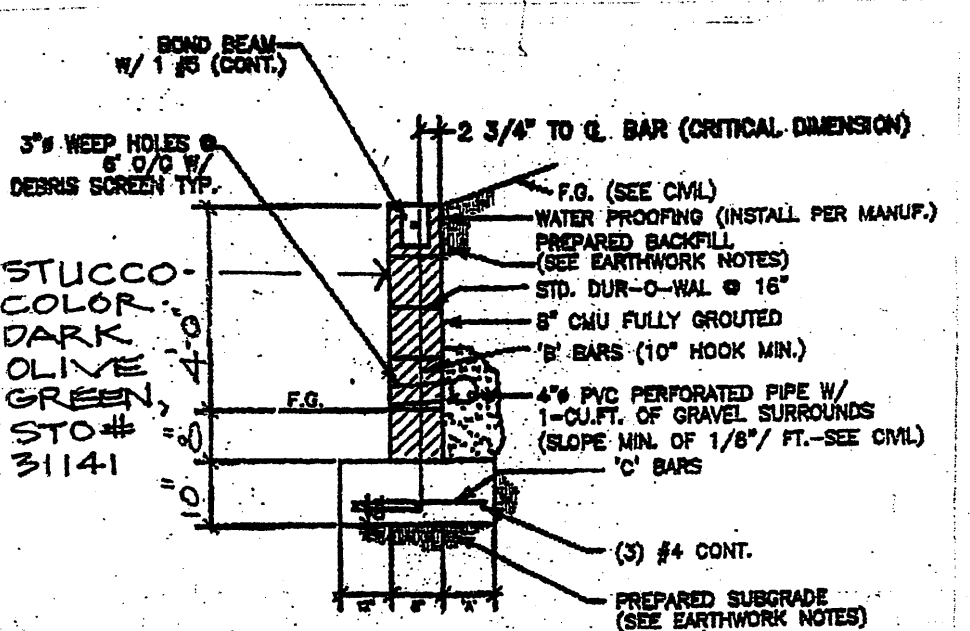
9A RETAINING WALL DETAILS
SP-1 SCALE: 1/4"=1'-0"

12 ACCESSIBLE STALLS
SP-1 SCALE: 1/8"=1'-0"



13 ACCESSIBLE SIDEWALK RAMP
SP-1 SCALE: 1/4"=1'-0"

14 MOTORCYCLE PARKING SIGN
SP-1 SCALE: 1/8"=1'-0"



9A RETAINING WALL DETAILS
SP-1 SCALE: 1/4"=1'-0"

12 ACCESSIBLE STALLS
SP-1 SCALE: 1/8"=1'-0"

13 ACCESSIBLE SIDEWALK RAMP
SP-1 SCALE: 1/4"=1'-0"

14 MOTORCYCLE PARKING SIGN
SP-1 SCALE: 1/8"=1'-0"

PROJECT NUMBER: 1003364
APPLICATION NUMBER: 07PR2-7003

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED 01/11/07 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE: 6-27-07
WATER UTILITIES DEPARTMENT DATE: 6-27-07
PARKS AND RECREATION DEPARTMENT DATE: 6/27/07
CITY ENGINEER DATE: 12/14/07

*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE: 6/27/07
SOLID WASTE MANAGER DATE: 6/27/07
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE:

PROJECT DATA
LEGAL DESCRIPTION:
LOT 1-A-1-A-1, BLOCK 10, NORTH ALBUQUERQUE ACRES,
TRACT 2, UNIT 3, 1.0025 ACRE.
PROJECT NO. 1003364
(FORMALLY NO. 1004654)
CASE NUMBER 07 EPC 00094
PART OF PERMIT
UPC # 101906402303690130
ZONING: SU-2/MIXED USE
ZONE ATLAS MAP: C-19-Z

NOTE:
1. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT NOT LIMITED TO SIDEWALKS (STD. DWG. 2420), DRIVEWAYS (STD. DWG. 2425), PRIVATE ENTRANCES (STD. DWG. 2426) AND WHEEL CHAIR RAMP (STD. DWG. 2441).
2. CROSS ACCESS AGREEMENT, SEE SITE PLAN FOR SUBDIVISION, PROJECT NO. 1003364, APT. NO. 04 DRB- 01407, GENERAL NOTE(1).
3. LEGAL:
LOT NUMBERED ONE-A-ONE-A-ONE(1-A-1-A-1), IN BLOCK NUMBERED TEN(10), NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 13, 2005, IN PLAT BOOK 2005C, FOLIO 396.

EASEMENT NOTES
19. LOT 1-A-1-A-1 IS AFFECTED BY A CROSS LOT EASEMENT FOR DRAINAGE, PARKING, ACCESS AND PEDESTRIAN ACCESS FOR THE BENEFIT OF TRACTS 1-A-1-A, 1-A-2-A, 1-A-3-A, AND 1-A-4-A TO BE MAINTAINED BY THE OWNERS. SEE PLAT AND PIPELINE PURPOSES AS NOTED ON THE DOCUMENTS SUPPORTING EXCEPTION 14.

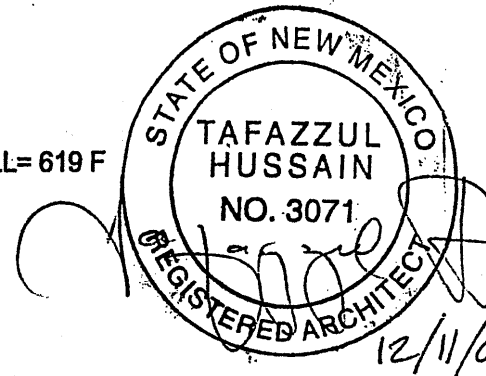
TOTAL GROSS BUILDING AREA 12,155 SF
PARKING TABULATION
TOTAL USABLE (USF) OR NET AREA:
12,155 SF X 75% = 9116 SF
9116 SF / 200 = 45.6 PARKING SPACES

TOTAL PARKING SPACES:
REQUIRED 46
PROVIDED 42 PER 04.20.07, EPC DECISION, #7
ACCESSIBLE PARKING SPACES:
REQUIRED 2
PROVIDED 3
2 STANDARD CAR
1 VAN

MOTORCYCLE SPACES:
REQUIRED 2
PROVIDED 2

BIKE TABULATION
1 BIKE PER 20 PARKING SPACES
2 BIKE RACKS REQUIRED
3 BIKE RACKS PROVIDED

PATIO SF TABULATION
REQUIRED:
9113 SF X 5.33% = 486 SF
PROVIDED:
655 SF TOTAL - TREE WELL= 619 SF



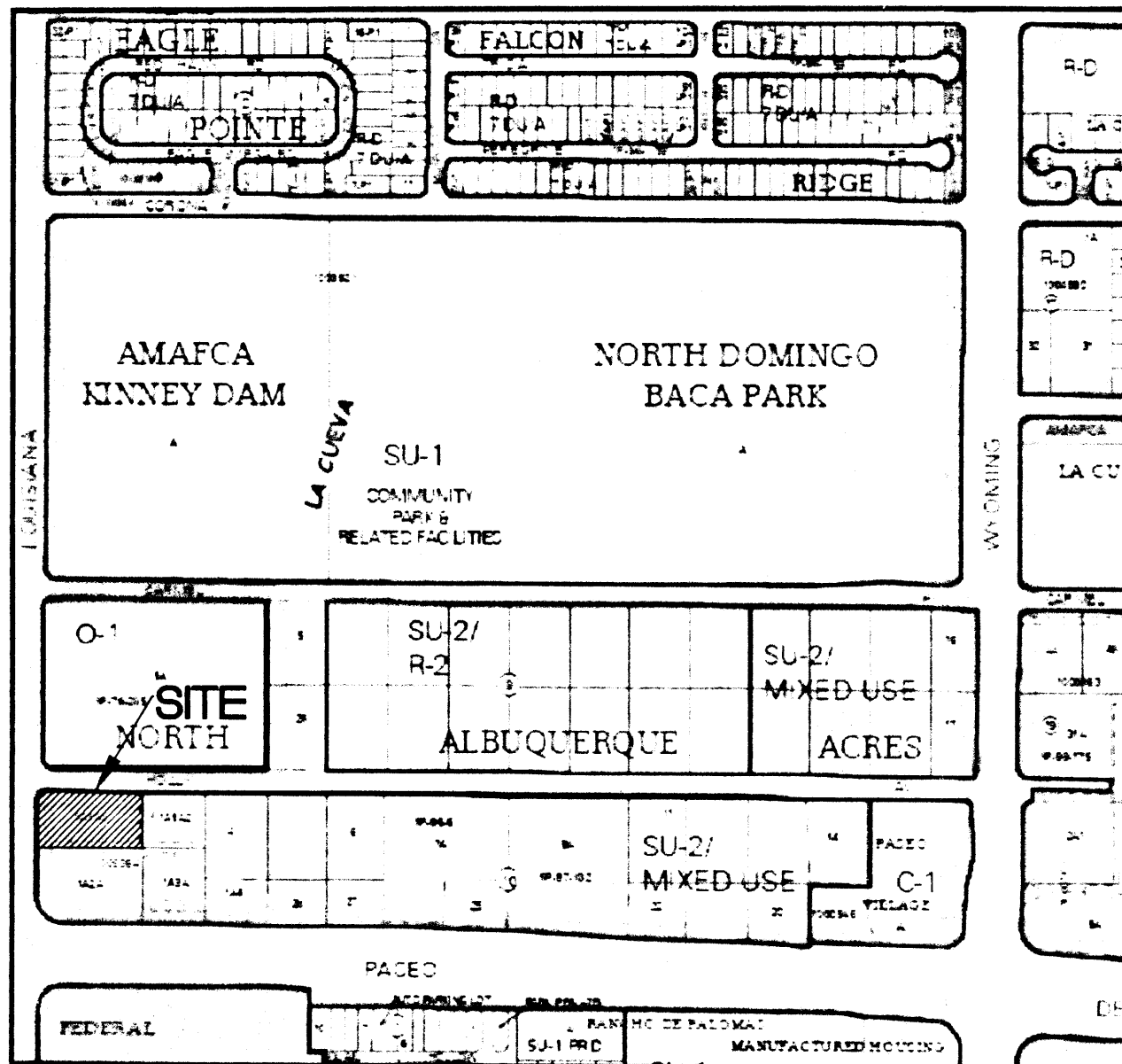
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SCALE: 1"=20'-0"

AFRA Construction & Design
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.315.1482

SEDONA POINT
810 Louisiana NE
Albuquerque, NM

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

SP-1
06.07.07



Vicinity Map Zone Atlas C-19-Z n.t.s.

Purpose of Plat

- VACATE EASEMENTS AS SHOWN ON SHEET 2.
- RETAIN ALL OTHER EASEMENTS CURRENTLY IN PLACE UNCHANGED.

Subdivision Data

GROSS ACREAGE.....1.0041 ACRES
 ZONE ATLAS PAGE NO.....C-19-Z
 NUMBER OF EXISTING TRACTS.....1 LOT
 NUMBER OF TRACTS CREATED.....1 LOT
 NUMBER OF TRACTS ELIMINATED.....0 LOTS
 MILES OF FULL WIDTH STREETS.....0.00
 MILES OF HALF WIDTH STREETS.....0.00
 STREETS ARE DEDICATED TO THE CITY OF ALBUQUERQUE.....0.00
 DATE OF SURVEY.....MARCH 2005
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER.....2008052199
 ZONING.....SU-1 FOR MIXED USES

Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER THEREOF AND SAID OWNER DOES HEREBY GRANT THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THEIR RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CONSENT TO ALL OF THE FOREGOING AND DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Philip L. Lindborg 2/4/08
 PHILIP L. LINDBORG, MEMBER, PR INVESTMENTS, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY

Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 9th of February 2008

BY: PHILIP L. LINDBORG
Philip Lindborg
 NOTARY PUBLIC
 MY COMMISSION EXPIRES march 8/2010

Notes

- FIELD SURVEY PERFORMED IN MARCH 2005 AND TIED TO ACS IN JANUARY 2008.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- BENCHMARK REFERENCES-ACS MONUMENT "9_C18" HAVING AN ELEVATION OF 5232.470. (NAVD 1988).
- THE BASIS OF BEARINGS IS NEW MEXICO STATE PLANE COORDINATES (NAD 83-GRID).
- THE SUBJECT PROPERTY IS LOCATED WITHIN PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, ELENA GALLEGOS GRANT.

Legal

LOT NUMBERED ONE-A-ONE-A-ONE (1-A-1-A-1), IN BLOCK NUMBERED TEN (10), NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 13, 2005, IN PLAT BOOK 2005C, FOLIO 396.

Solar Collection Note

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

Public Utility Easements:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF :

- THE PNM ELECTRIC SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- THE PNM GAS SERVICES DIVISION FOR INSTALLATION, MAINTENANCE AND SERVICES OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT. EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

THIS IS TO CERTIFY THAT TAXES ARE CURRENTLY PAID ON LOTS 1-107-004-0100-301-30
 COUNTY CLERK OF RECORD
 P. R. INVESTMENTS
 Jacob Chung 3-19-08

Plat of
 Lot 1-A-1-A-1-A
 Block 10
 North Albuquerque Acres
 Tract 2, Unit 3
 City of Albuquerque
 Bernalillo County, New Mexico
 February 2008

Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number 1003364

Application Number 08 DEB-70069

Plat approvals:

Michael B... 3/13/2008
 PNM Electric Services Date
Jacob Chung 3/13/2008
 PNM Gas Services Date
Quellth B... 3/12/08
 QWest Date
Konnie Berlan 3-12-08
 Comcast Date

City approvals:

John J... 2-11-08
 City Surveyor Date
L. A. S. 2-20-08
 Traffic Engineer Date
 N/A
 Real Property Division Date
Roger A. Green 3-18-08
 ABCWIA Date
Christina Sandoval 2/20/08
 Parks and Recreation Department Date
Bradley L. Bingham 2/20/08
 AMAFCA Date
Bradley L. Bingham 2/20/08
 City Engineer Date
Andrew Garcia 3/18/08
 DRB Chairperson, Planning Department Date

Surveyor's Certificate

"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECCRD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

Will Plotner Jr. 2/7/08
 WILL PLOTNER JR. DATE
 N.M.P.S. No. 14271
 CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244
 SHEET 1 OF 2
 052474

Easement Notes

- 1 EXISTING 10 FOOT UTILITY EASEMENT (8/26/05, 2005C-289)
- 2 EXISTING 5 FOOT PRIVATE ACCESS EASEMENT (12/13/05, 2005C-396)
- 3 EXISTING 20 FOOT PUBLIC WATER AND SANITARY SEWER EASEMENT AND PRIVATE ACCESS EASEMENT (10/15/04, 2004C-328)
- 4 EXISTING 10 FOOT PNM ELECTRIC EASEMENT (8/26/05, A102-4486)
- 5 EXISTING 30 FOOT PUBLIC WATER AND SANITARY SEWER EASEMENT (10/15/04, 2004C-328)
- 6 EXISTING 10 FOOT PNM GASLINE EASEMENT (8/26/05, A102-4486)
- 7 EXISTING 7 FOOT UTILITY EASEMENT (8/26/05, 2005C-289)
- 8 EXISTING 25 FOOT PUBLIC WATERLINE EASEMENT (10/15/04, 2004C-328) TO BE VACATED WITH THE FILING OF THIS PLAT V=
- 9 EXISTING 2 FOOT PUBLIC WATERLINE EASEMENT (8/26/05, 2005C-289) TO BE VACATED WITH THE FILING OF THIS PLAT V=

Plat of
Lot 1-A-1-A-1-A
Block 10
North Albuquerque Acres
Tract 2, Unit 3
City of Albuquerque
Bernalillo County, New Mexico
 March 2008

HOLLY AVENUE, N.E.
 (60' R/W)

DOCH 2008031009
 03/19/2008 10:05 AM Page 2 of 2
 PLAT R \$12.00 B 2008C P. 0050 M. Toulouse, Bernalillo County

ACS Monument "9_C18"
 NAD 1983 CENTRAL ZONE
 X=1542501.428
 Y=1521497.624
 Z=5232.470 (NAVD 1988)
 G-G=.999664563
 Delta Alpha=-0°11'19.69"

LOUISIANA BOULEVARD, N.E.
 (R/W Varies)

Lot 1-A-1-A-1-A
 43,737 sq. ft.
 1.0041 ACRES

Tract 1-A-1-A-2
 North Albuquerque Acres
 Tract 2, Unit 3
 (12/13/05, 2005C-396)

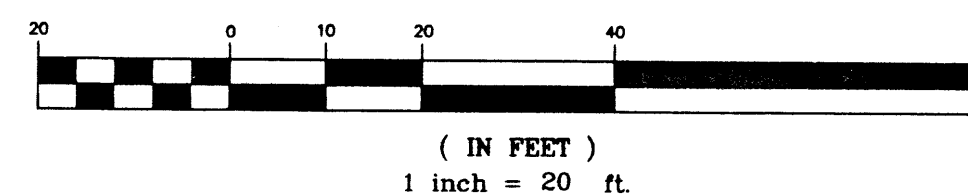


Legend

- FOUND MONUMENT AS INDICATED
- SET BATHEY MARKER WITH CAP "LS 14271"

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	25.00' (25.00')	39.35' (39.31')	90°10'41"	N 45°16'07" E	35.41'

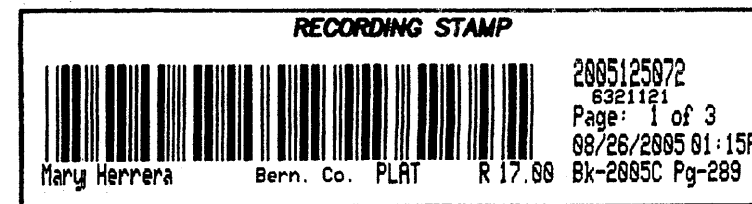
GRAPHIC SCALE



ACS Monument "HEAVEN"
 NAD 1983 CENTRAL ZONE
 X=1547297.190
 Y=1518799.510
 Z=5378.235 (NAVD 1988)
 G-G=.999655810
 Delta Alpha=-0°10'46.22"

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244



Plat of
 Lots 1-A-1-A, 1-A-2-A, and 1-A-3-A,
 Block 10
 North Albuquerque Acres
 Tract 2, Unit 3

Albuquerque, Bernalillo County, New Mexico
 June 2005

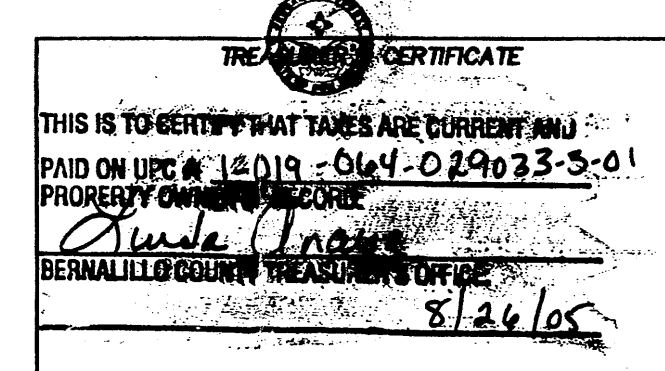
Project No. 1003364
 Application No. 05DRB-01210

Utility Approvals

<i>[Signature]</i> PNM ELECTRIC SERVICES	8-24-05 DATE
<i>[Signature]</i> PNM GAS SERVICES	8-24-05 DATE
<i>[Signature]</i> QWEST TELECOMMUNICATIONS	8-24-05 DATE
<i>[Signature]</i> COMCAST	8-24-05 DATE

City Approvals

<i>[Signature]</i> CITY SURVEYOR	7-21-05 DATE
<i>[Signature]</i> TRANSPORTATION ENGINEERING TRANSPORTATION DIVISION	8-3-05 DATE
<i>[Signature]</i> UTILITY DEVELOPMENT	8-3-05 DATE
<i>[Signature]</i> PARKS AND RECREATION DEPARTMENT	8/3/05 DATE
<i>[Signature]</i> AMAFCA	8/3/05 DATE
<i>[Signature]</i> CITY ENGINEER	8/26/05 DATE
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	8/26/05 DATE



Surveyor's Certificate

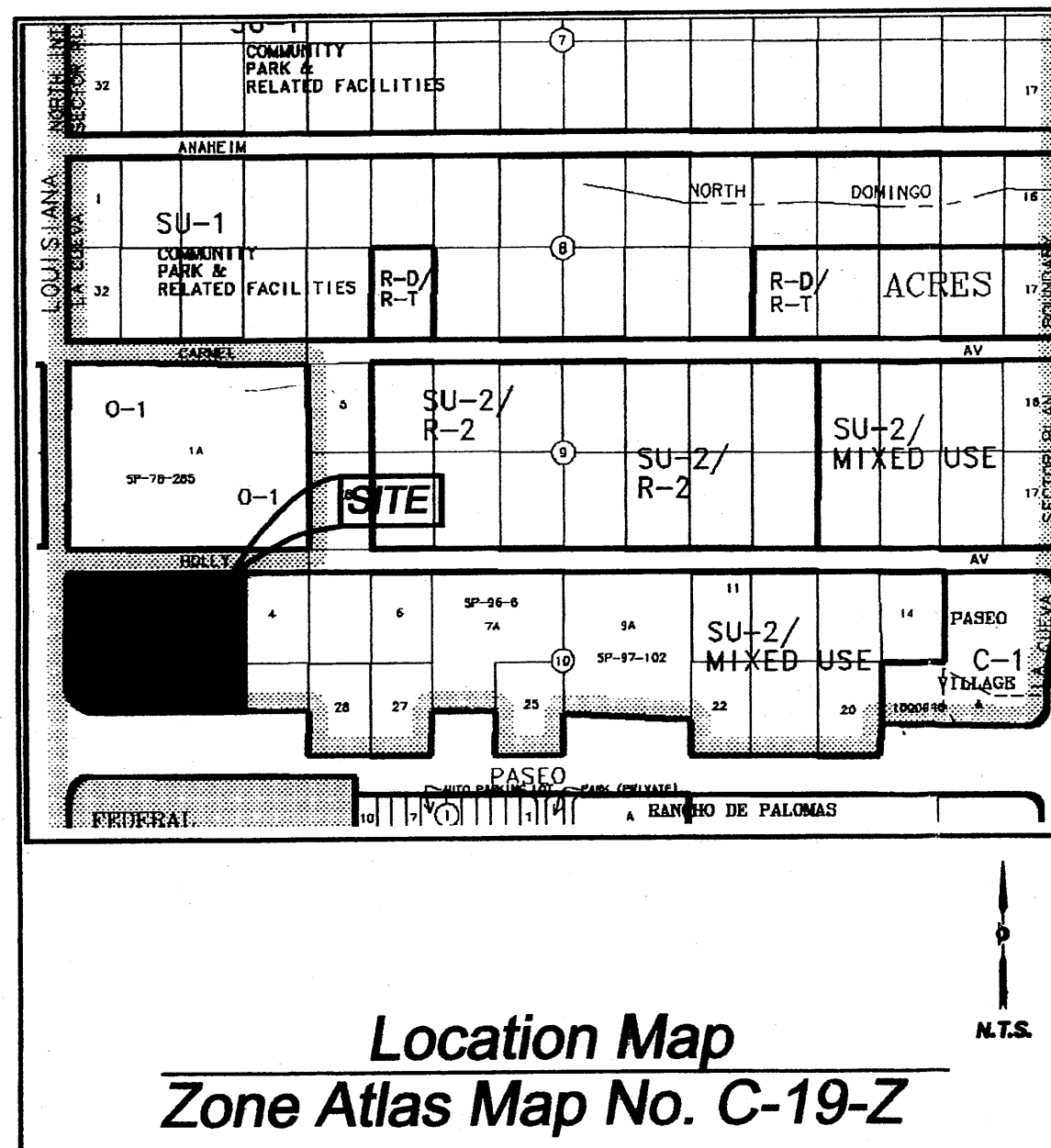
I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature]
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE 8/7/05



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



Legal Description

LOTS NUMBERED ONE-A-ONE (1-A-1), ONE-A-TWO (1-A-2) AND ONE-A-THREE (1-A-3), BLOCK NUMBERED TEN (10), NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 15, 2004, IN PLAT BOOK 2004C, FOLIO 328, CONTAINING 3.8387 ACRES, (165,648 SQUARE FEET) MORE OR LESS, NOW COMPRISING LOTS 1-A-1-A, 1-A-2-A, AND 1-A-3-A, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3.

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 3.8387 ACRES±
 ZONE ATLAS INDEX NO: C-19-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 3
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: JULY 2004, FIELD VERIFIED MAY 2005.

Notes:

- MISC. DATA: ZONING SU-2/MIXED USE
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING THREE LOTS INTO THREE NEW LOTS, TO VACATE EASEMENTS AND TO GRANT EASEMENTS.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2005203722.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEGARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHEGAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

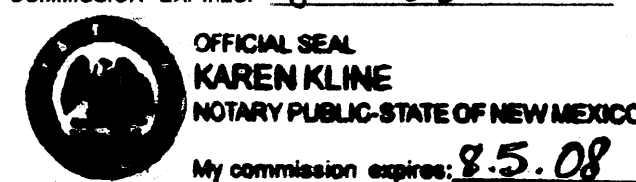
[Signature]
 TIM HAGSETT, PRESIDENT
 DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION

Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) ss.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11th DAY OF July, 2005 BY
 TIM HAGSETT, PRESIDENT, DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION

BY *[Signature]* MY COMMISSION EXPIRES: 8-5-08
 KAREN KLINE NOTARY PUBLIC



Plat of
 Lots 1-A-1-A, 1-A-2-A, and 1-A-3-A
 Block 10
North Albuquerque Acres
 Tract 2, Unit 3
 Albuquerque, Bernalillo County, New Mexico
 June 2005

2005125072
 6821121
 Page: 2 of 3
 08/26/2005 01:15P
 Mary Herrera Bern. Co. PLRT R 17.00 BK-2885C Pg-289

R=25.00'
 L=39.31'
 Δ=90°05'50"
 T=25.04'
 CH=S 45°16'12" W
 35.39'

HOLLY AVENUE, N.E.
 (60' ROW)

7' WIDE EXISTING PUBLIC WATERLINE EASEMENT VACATED BY THIS PLAT 05 DRB-00867 PROJ# 1003364

LOUISIANA BOULEVARD, N.E.
 (ROW VARIES)

LOT 1-A-1-A
 AREA = 69,879 SQ. FT.±
 1.6402 ACRES±

LOT 1-A-3-A
 AREA=0.8436 ACRES±
 36,747 SQ. FT.±

LOT 1-A-2-A
 AREA = 59,021 SQ. FT.±
 1.3549 ACRES±

LOT 4, BLOCK 10
 NORTH ALBUQUERQUE ACRES
 (9/10/1931, D1-20)

LOT 1-A-4-A, BLOCK 10
 NORTH ALBUQUERQUE ACRES
 TRACT 2, UNIT 3
 (10/15/2004, 2004C-328)

N.G.S. MONUMENT "7-C19"
 STANDARD U.S.C. & G.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=410,171.36
 Y=1,522,006.02
 SPIRIT LEVEL EL.=5483.076 (NGVD 1929)
 GROUND TO GRID SCALE FACTOR=0.999647055
 DELTA ALPHA ANGLE=NOT PUBLISHED

N.G.S. MONUMENT "HEAVEN"
 STANDARD U.S.C. & G.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=407,051.31
 Y=1,518,737.03
 SPIRIT LEVEL EL.=5375.82 (NGVD 1929)
 GROUND TO GRID SCALE FACTOR=0.99965263
 DELTA ALPHA ANGLE=-0°10'45"

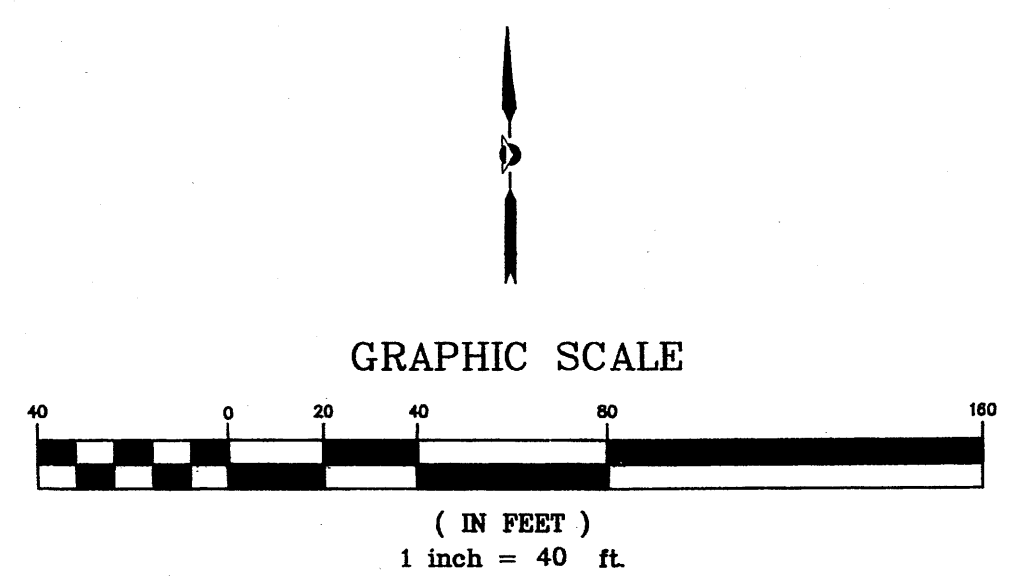
Line Table

LINE	BEARING	DISTANCE
L1	N 90°00'00" E	8.08'
L2	S 00°00'00" E	10.00'
L3	N 90°00'00" E	10.00'
L4	N 00°00'00" E	10.00'
L5	S 00°00'00" E	10.00'
L6	N 90°00'00" W	10.00'
L7	S 00°00'00" E	10.00'
L8	N 90°00'00" E	1.03'
L9	S 00°00'00" E	10.01'
L10	N 90°00'00" W	10.00'
L11	S 00°00'00" E	10.01'
L12	N 90°00'00" W	8.83'
L13	N 00°00'00" E	10.00'
L14	N 90°00'00" W	10.00'
L15	S 00°00'00" E	10.00'
L16	N 00°00'00" E	10.05'
L17	N 90°00'00" E	15.00'
L18	S 00°00'00" E	10.05'
L19	N 90°00'00" W	12.00'
L20	N 00°00'00" E	10.00'
L21	N 90°00'00" W	10.00'
L22	S 00°00'00" E	10.00'
L23	N 90°00'00" E	10.00'
L24	S 00°00'00" E	10.00'
L25	N 90°00'00" E	10.00'
L26	S 00°00'00" E	9.95'
L27	N 90°00'00" E	10.00'
L28	N 00°00'00" E	9.95'
L29	N 24°27'24" W	73.12'
L30	S 56°17'46" E	12.26'
L31	N 77°21'48" W	60.97'
L32	N 84°27'21" E	48.90'
L33	S 89°22'54" E	69.69'
L34	N 88°48'32" E	41.19'
L35	S 89°15'55" E	37.15'
L36	N 89°58'49" E	52.61'
L37	S 86°56'21" E	33.61'
L38	S 87°26'20" E	65.64'
L39	S 88°11'59" E	10.29'

R=75.00'
 L=117.64'
 Δ=89°52'10"
 T=74.83'
 CH=N 44°44'14" W
 105.95'

PASEO DEL NORTE, N.E. (NMP TPU-4054(3))
 (ROW VARIES)

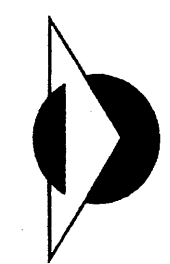
Point of Beginning



Legend

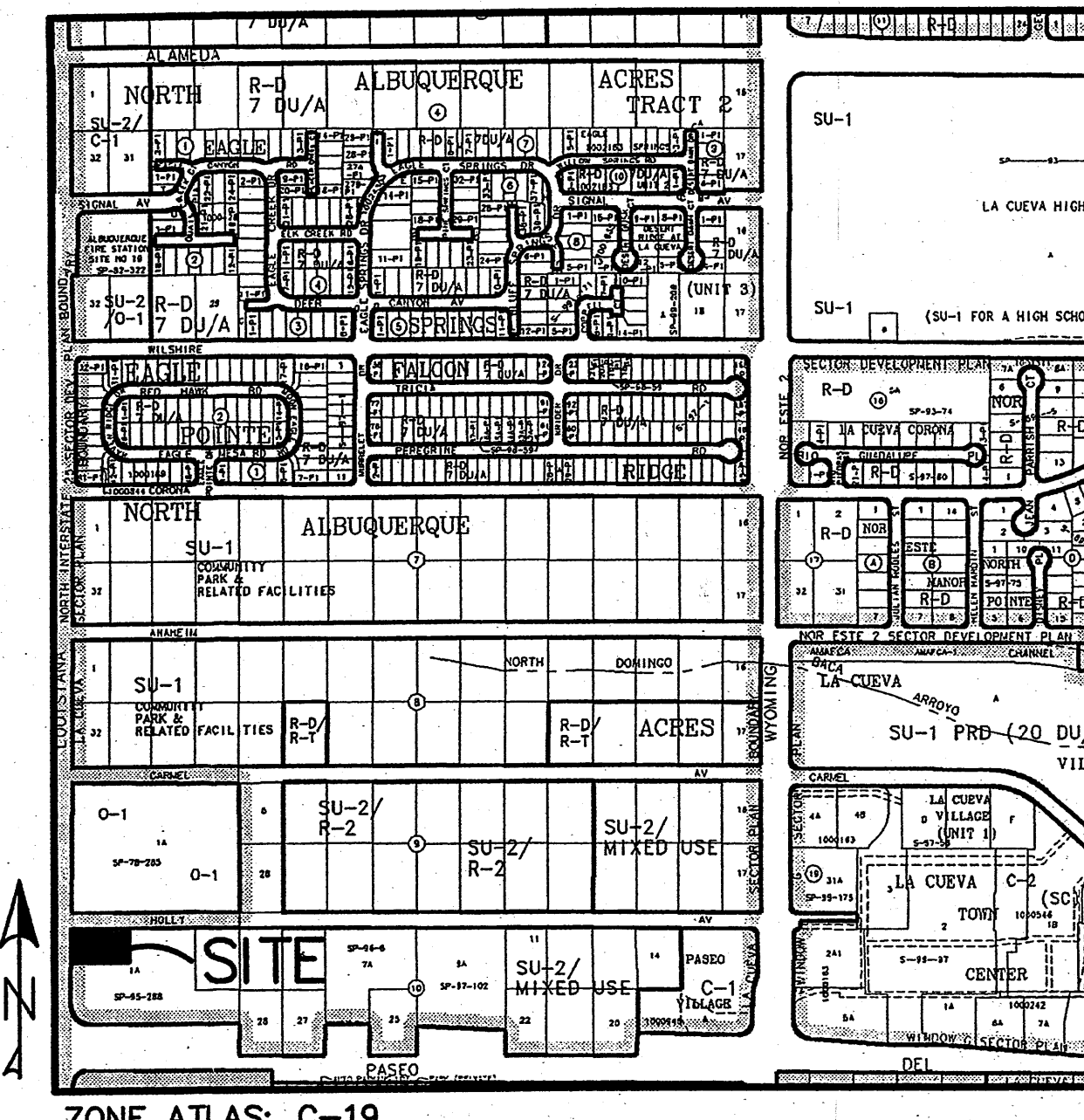
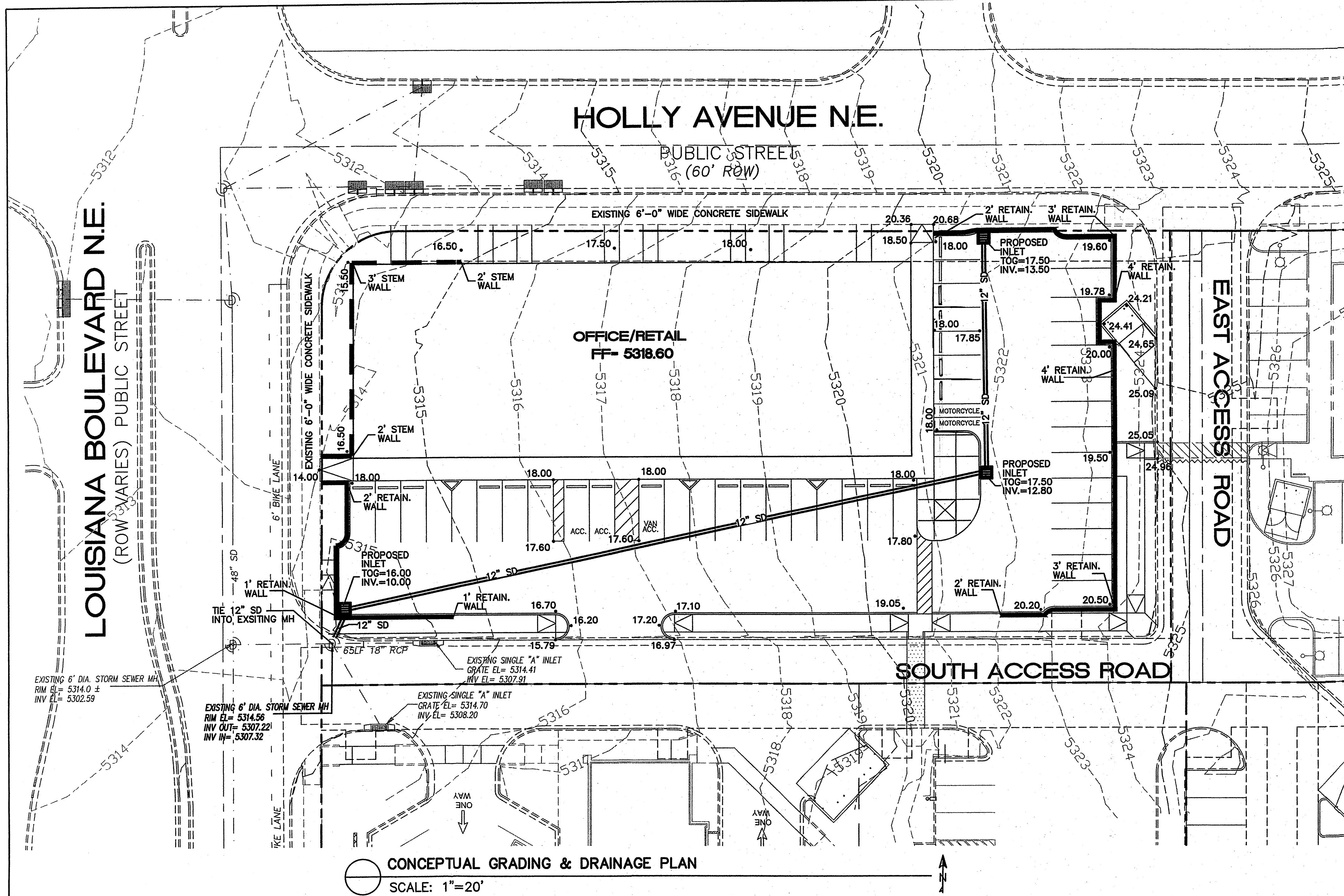
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR W/ YELLOW PLASTIC CAP "PS 11893" SET BY THIS SURVEY
- ACCESS CONTROL LINE

24' PRIVATE ACCESS, PRIVATE SANITARY SEWER, AND PRIVATE WATERLINE EASEMENT FOR THE BENEFIT OF LOT 1-A-4-A, TO BE MAINTAINED BY SAME, GRANTED BY THIS PLAT.

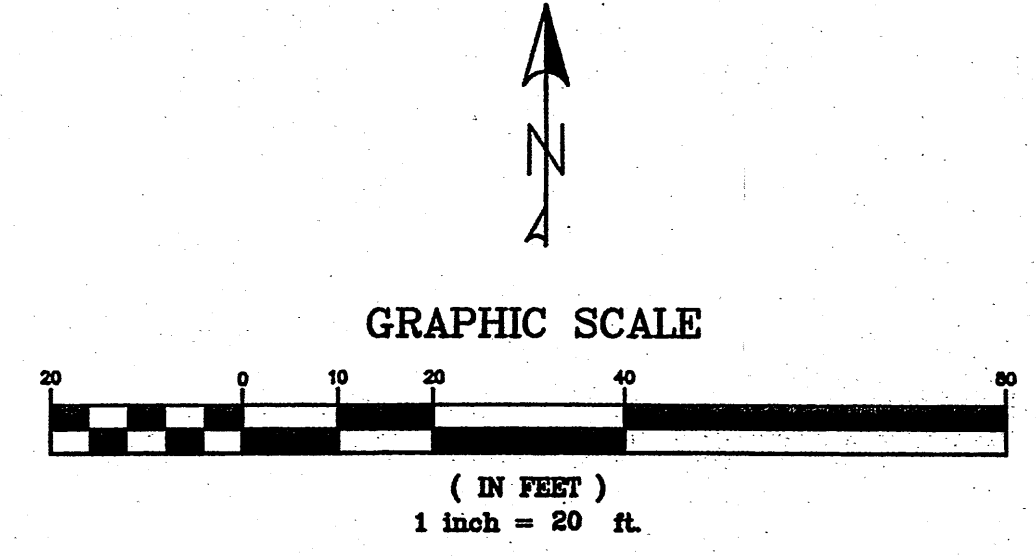


PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



- LEGEND**
- EXISTING INLET
 - EXISTING STORM DRAIN
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED STEM WALL
 - PROPOSED RETAINING WALL
 - PROPOSED STORM DRAIN
 - PROPOSED STORM INLET
 - PROPOSED SPOT ELEVATION
 - PROPOSED CURB & GUTTER



DRAINAGE PLAN:

LEGAL DESCRIPTION: LOT 1-A-1-A-1, BLOCK 10, NORTH ALBUQ. ACRES, TRACT 2, UNIT 3
 SITE AREA: 0.865 ACRE

FLOOD HAZARD STATEMENT: F.E.M.A. FLOODWAY BOUNDARY AND FLOODWAY MAP DATED NOVEMBER 19, 2003 (PANEL NO. C35001C0137 E) INDICATES A FLOOD HAZARD ZONE X WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

EXISTING DRAINAGE CONDITIONS:

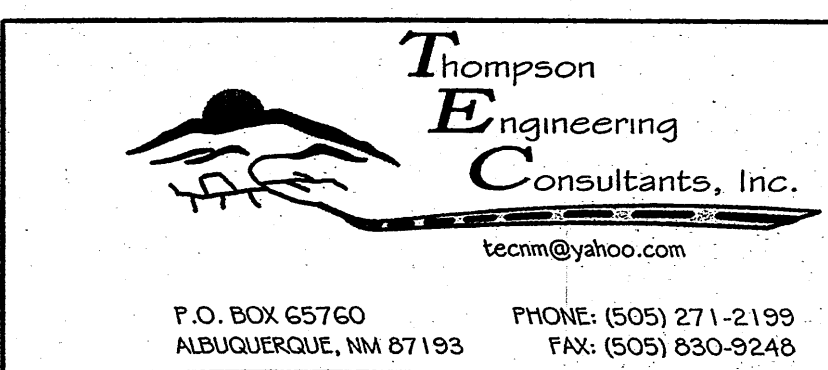
THE PROPERTY IS LOCATED ON HOLLY AVENUE JUST EAST OF LOUISIANA BOULEVARD. THE SITE IS INCLUDED IN THE DRAINAGE REPORT FOR THE WENDY'S AT LOUISIANA AND PASEO DEL NORTE (C19/D39). THE LOT GENERALLY DRAINS FROM EAST TO WEST.

THE DRAINAGE ANALYSIS FOR THIS SITE IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL SECTION 22.2, HYDROLOGY. THE PROPERTY IS LOCATED IN ZONE 3. THE 100-YEAR, 6-HOUR STORM IS 2.90 INCHES. UNDER EXISTING CONDITIONS THE LOT IS ALL LAND TREATMENT A.

DEVELOPED DRAINAGE CONDITIONS:

ACCORDING TO THE WENDY'S DRAINAGE REPORT, DATED SEPTEMBER 2004, BY TIERRA WEST, LLC, THIS SITE IS INCLUDED WITHIN DRAINAGE AREA THAT DRAINS TO TWO STORM INLETS LOCATED IN THE SOUTH ACCESS ROAD JUST EAST OF LOUISIANA BOULEVARD. THE HYDROLOGIC CALCULATIONS FOR THIS SITE AS SHOWN ON THE PLAN HAS A TOTAL RUNOFF OF 4.28 CFS. THIS RUNOFF WILL BE COLLECTED IN STORM INLETS AND CONVEYED TO THE STORM DRAIN MANHOLE IN THE SOUTH ACCESS ROAD JUST EAST OF LOUISIANA BOULEVARD VIA A 12-INCH STORM SEWER.

100-YEAR HYDROLOGIC CALCULATIONS											
BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	100-YEAR PRECIPITATION				Q (cfs)
		A (%)	B (%)	C (%)	D (%)		V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V (10 day) (acre-ft)	V (10 day) (cu-ft)	
EXISTING CONDITIONS											
SITE	0.8650	100.00	0.00	0.00	0.00	0.80	0.06	2,512	0.06	2,512	1.90
TOTAL RUNOFF	0.87						0.06	2512	0.06	2512	1.90
PROPOSED CONDITIONS											
SITE	0.8650	0.00	13.00	0.00	87.00	2.44	0.18	7,653	0.37	15,985	4.28
TOTAL RUNOFF	0.87						0.18	7653	0.37	15985	4.28
EXCESS PRECIP.		0.8	1.08	1.46	2.64	E _i (in)					
PEAK DISCHARGE		2.2	2.92	3.73	5.25	Q _{pi} (cfs)					
WEIGHTED E (in) = (E _a)(%A) + (E _b)(%B) + (E _c)(%C) + (E _d)(%D) ZONE = 4 V _{6-HR} (acre-ft) = (WEIGHTED E)(AREA)/12 P _{6-HR} (in.) = 2.90 V _{10DAY} (acre-ft) = V _{6-HR} + (A ₀)(P _{10DAY} - P _{6-HR})/12 P _{24-HR} (in.) = 3.65 Q (cfs) = (Q _{pi})(A _a) + (Q _{pi})(A _b) + (Q _{pi})(A _c) + (Q _{pi})(A _d) P _{30DAY} (in.) = 5.95 Pond Volume (cu-ft) = 2 * (V _{6-HR} dev-V _{6-HR} exist)											



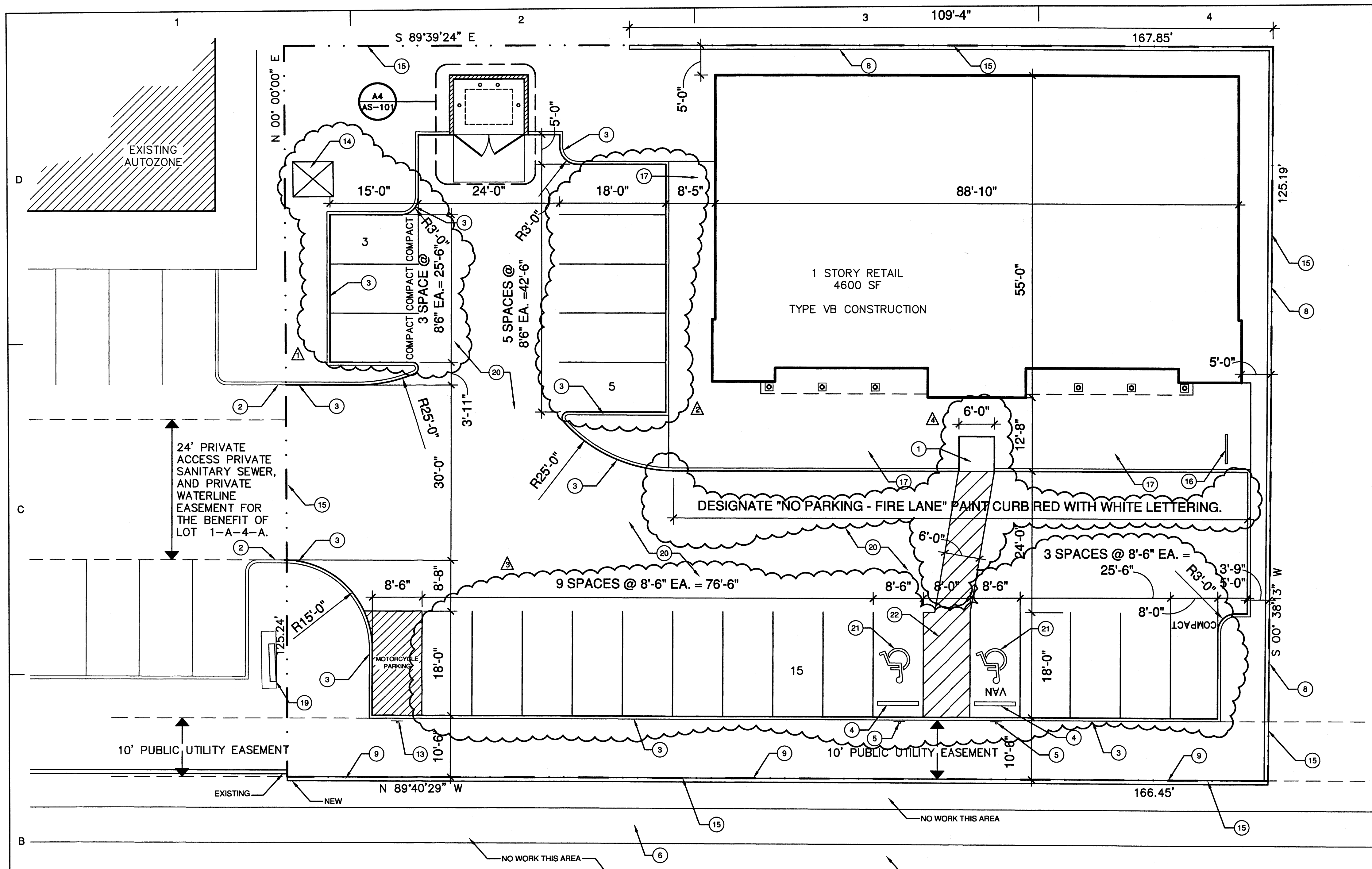
P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-2199 FAX: (505) 630-9248

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT TRANSPORTATION DEVELOPMENT

THE SHOPS @ SEDONA POINTE GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
City Project No. XXXX	Zone Map No. C-19-2	Sheet	C1

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	N.G.S. MONUMENT "HEAVEN"	NO.	NO.	DATE	NO.	DATE
INSPECTOR'S BY	DATE	STANDARD U.S.C. & G.S. BRASS TABLET	DATE	BY	DATE	REMARKS	DATE
FIELD REVISIONS BY	DATE	NM STATE PLANE COORDINATES	DATE	BY	DATE	DESIGN	DATE
REVISIONS BY	DATE	Central Zone N.A.D. 1927	DATE	BY	DATE	CHECKED BY DBT	DATE
		X=407,051.31				DRAWN BY DBM	DATE
		Y=1,518,737.03				CHECKED BY DBT	DATE
		G-C=0.9996263					
		Da = -00'10'45"					
		ELEV=5378.787 (NGVD29)					



KEYED NOTES

- HANDICAPPED RAMP PER C.O.A. STD DWG # 2441. 1:12 SLOPE MAX.
- EXISTING HEADER CURB.
- NEW 6" HEADER CURB PER C.O.A. STD DWG #2415
- CONCRETE WHEEL STOP.
- ACCESSIBLE PARKING SIGN TYPICAL ALL HANDICAPPED PARKING SPACES. SEE DETAIL A3 THIS SHEET.
- EXISTING SIDEWALK.
- CURB AT EDGE OF STREET.
- NEW 4'-0" SPLIT FACE CMU RETAINING WALL.
- NEW 34" HIGH SPLIT FACE CMU WALL.
- STEEL BOLLARD FILLED WITH CONCRETE, TYP.
- 8" SPLIT FACED CMU WALL. 7'-6" HIGH.
- 6" THICK CONCRETE APRON. 4,000 PSI, 3/4" AGGREGATE W/ 6X6-10/10 WWM OR EQUAL.
- MOTORCYCLE PARKING SIGN. SEE DETAIL A3 THIS SHEET.
- EXISTING ELECTRICAL TRANSFORMER.
- PROPERTY LINE.
- RIBBON BICYCLE RACK (4 SPACES).
- CONCRETE SIDEWALK PER C.O.A. STD DWG #2430.
- ENCLOSURE GATE.
- EXISTING SIGNAGE (SEE A1/AS-101)
- ASPHALT PAVING
- HANDICAP PARKING SYMBOL.
- 4" WIDE PAINTED STRIPES AT 12" O.C. COLOR WHITE.

NOTES:

REQUIRED PARKING:	23
PROVIDED:	23 (4 COMPACT)
REQUIRED ACCESSIBLE PARKING:	1
PROVIDED:	2 (BOTH VAN)
REQUIRED MOTORCYCLE PARKING:	1
PROVIDED:	1
REQUIRED BICYCLE PARKING:	2
PROVIDED:	4
TOTAL PREVIOUSLY APPROVED SITE PLAN BUILDING SQUARE FOOTAGE:	
WENDY'S	3235 SF
JIFFY LUBE	2192 SF
AUTOZONE	6759 SF
JUST BRAKES	3400 SF
TOTAL PREVIOUSLY APPROVED BLDG. SF:	15586 SF
10% ALLOWABLE INCREASE W/ADMINISTRATIVE AMENDMENT =	1559 SF
ACTUAL SQ. FT. INCREASE =	1200 SF

Fanning Bard Tatum Architects AIA, Ltd.
 6100 Indian School Rd. NE Ste 210
 Albuquerque NM 87110
 Phone 505/883.5200
 Facsimile 505/884.5390
 Web www.fbtarch.com

CONSULTANT

DRB ADMINISTRATIVE SITE PLAN AMENDMENT
 PROJECT NO. 1003364
 APPLICATION NO. 06DRB-01232
 DATE 9/22/06

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	9/20/06
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	9/20/06
WATER/UTILITY DEPARTMENT	DATE
<i>[Signature]</i>	9/20/06
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	9/20/06
CITY ENGINEER	DATE
N/A	9/22/06
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
<i>[Signature]</i>	9/20/06
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	9/22/06
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
PROJECT NUMBER	1003364
APPLICATION NUMBER	06DRB-01232

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List Required? () Yes () No
 If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

MARK	DATE	DESCRIPTION
▲	1/16/07	ADDITION OF NOTES FOR CLARIFICATION
▲	1/16/07	DIMENSION CHANGE
▲	1/16/07	FIRE LANE, ACCESSIBLE RAMP, ACCESSIBLE PATH
▲	1/16/07	RECONFIGURATION OF SPACES TO ALLOW FOR ADDITION OF 1 SPACE. RELOCATED ACCESSIBLE PARKING.
▲	1/16/07	ACCESSIBLE PARKING RELOCATED TO SOUTH OF BLDG.
▲	1/16/07	1 SPACE DELETED, 3 CHANGED TO COMPACT CAR

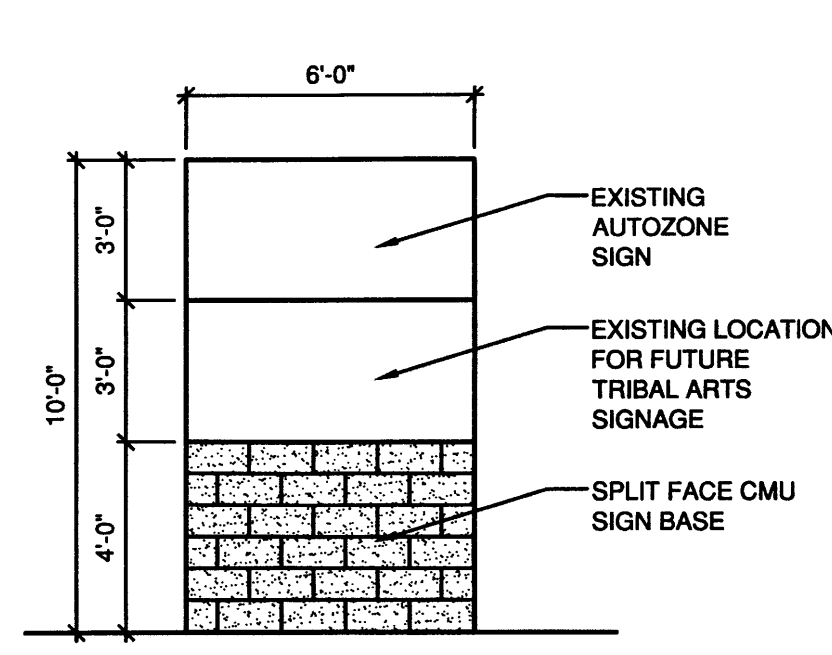
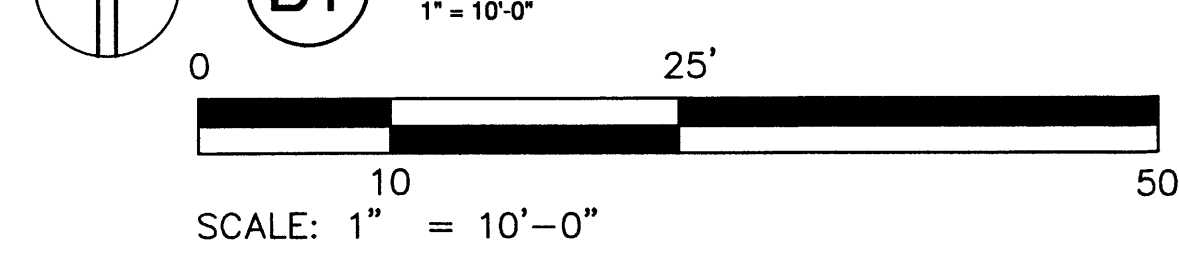
PROJECT NO:	
CAD DWG FILE:	AS-101.DWG
DRAWN BY:	JLL
CHECKED BY:	JLL

SHEET TITLE

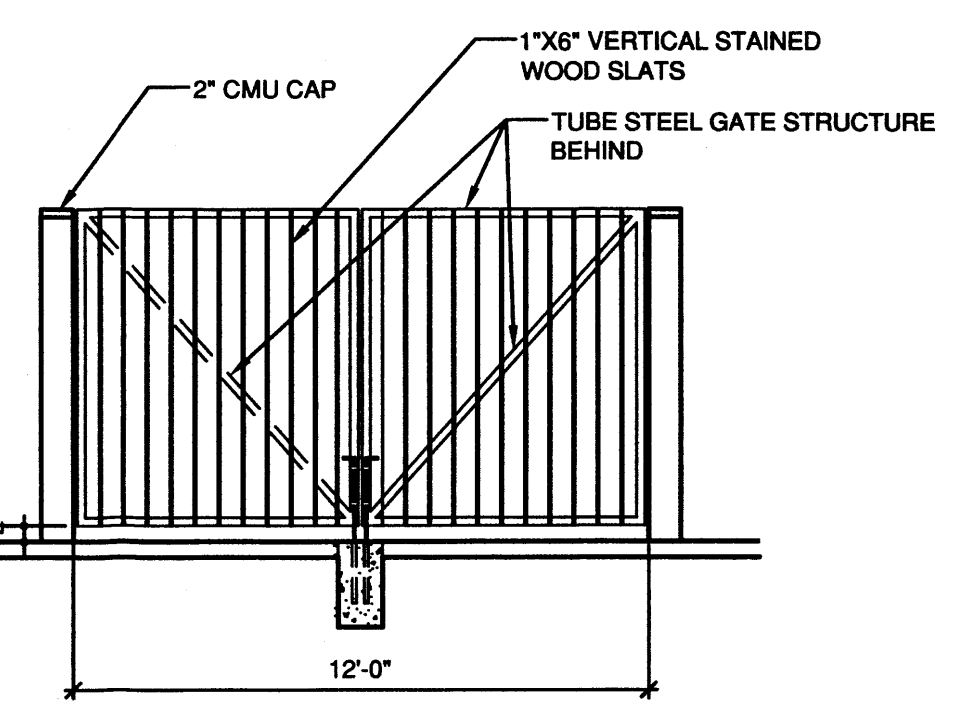
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AMENDED LOUISIANA/PASEO

AS-101

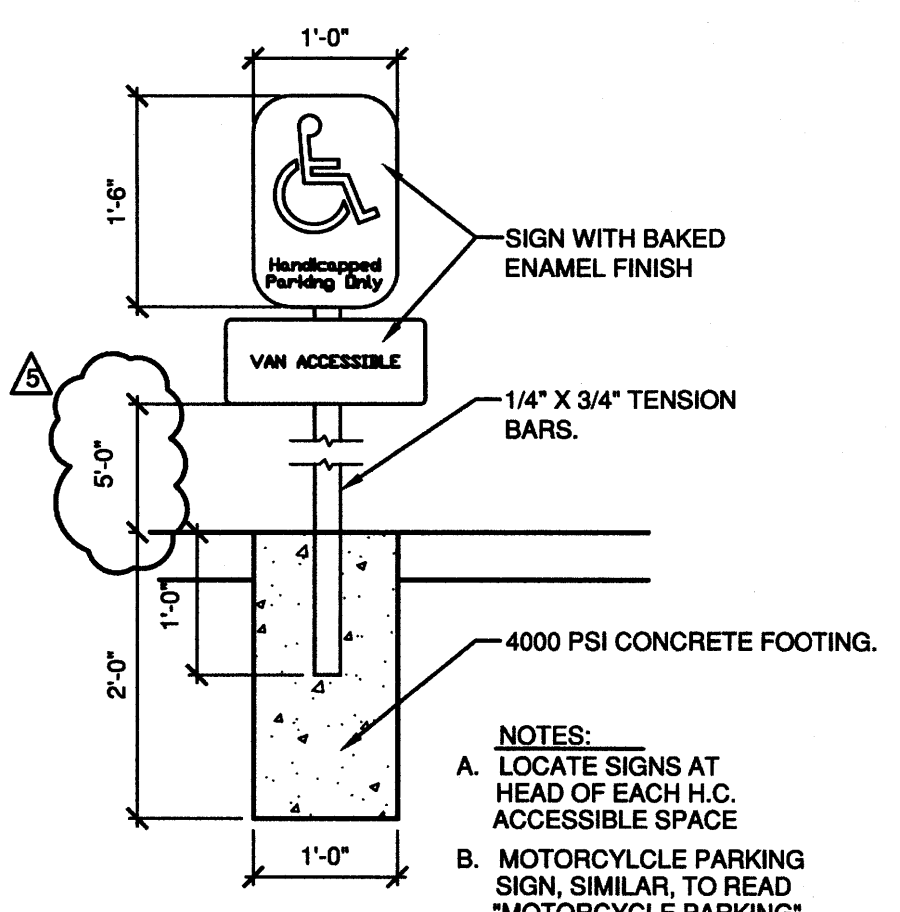
AMENDED SITE PLAN



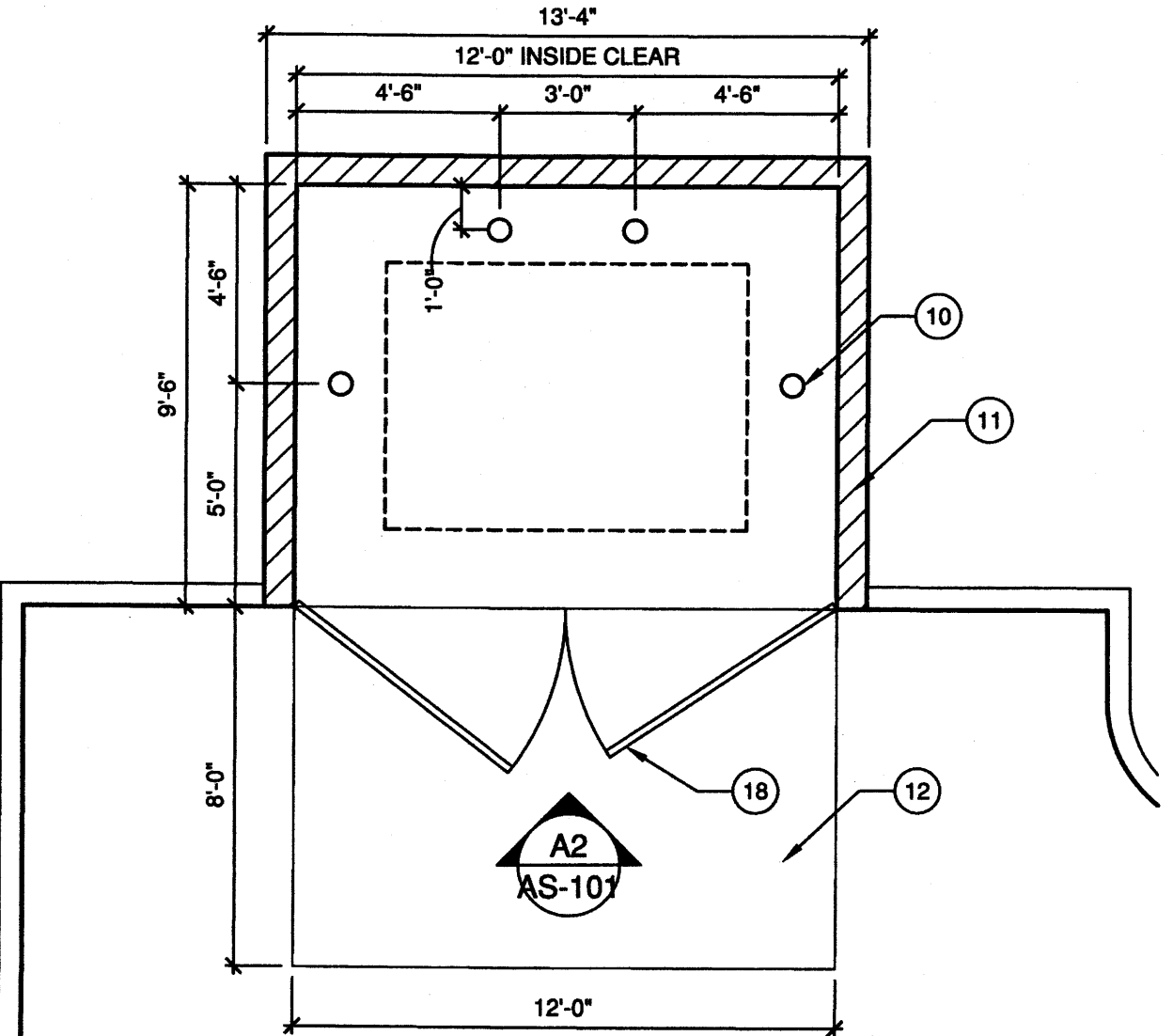
A1 EXISTING SIGNAGE ELEVATION
1/4" = 1'-0"



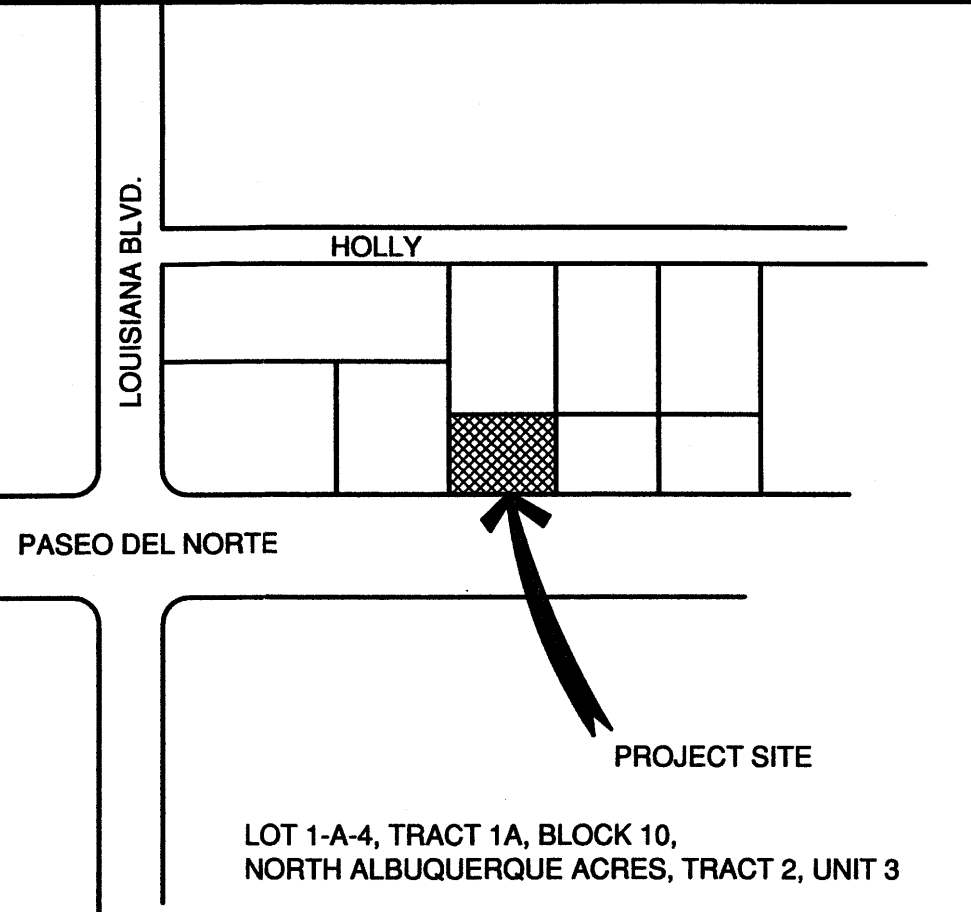
A2 DUMPSTER GATE ELEVATION
1/4" = 1'-0"



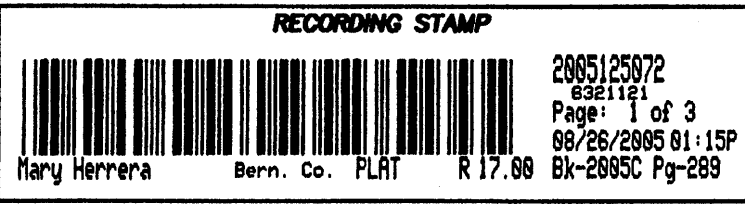
A3 ACCESSIBLE PARKING SIGN
3/4" = 1'-0"



A4 DUMPSTER ENCLOSURE
1/4" = 1'-0"



A5 VICINITY MAP
1" = 300'

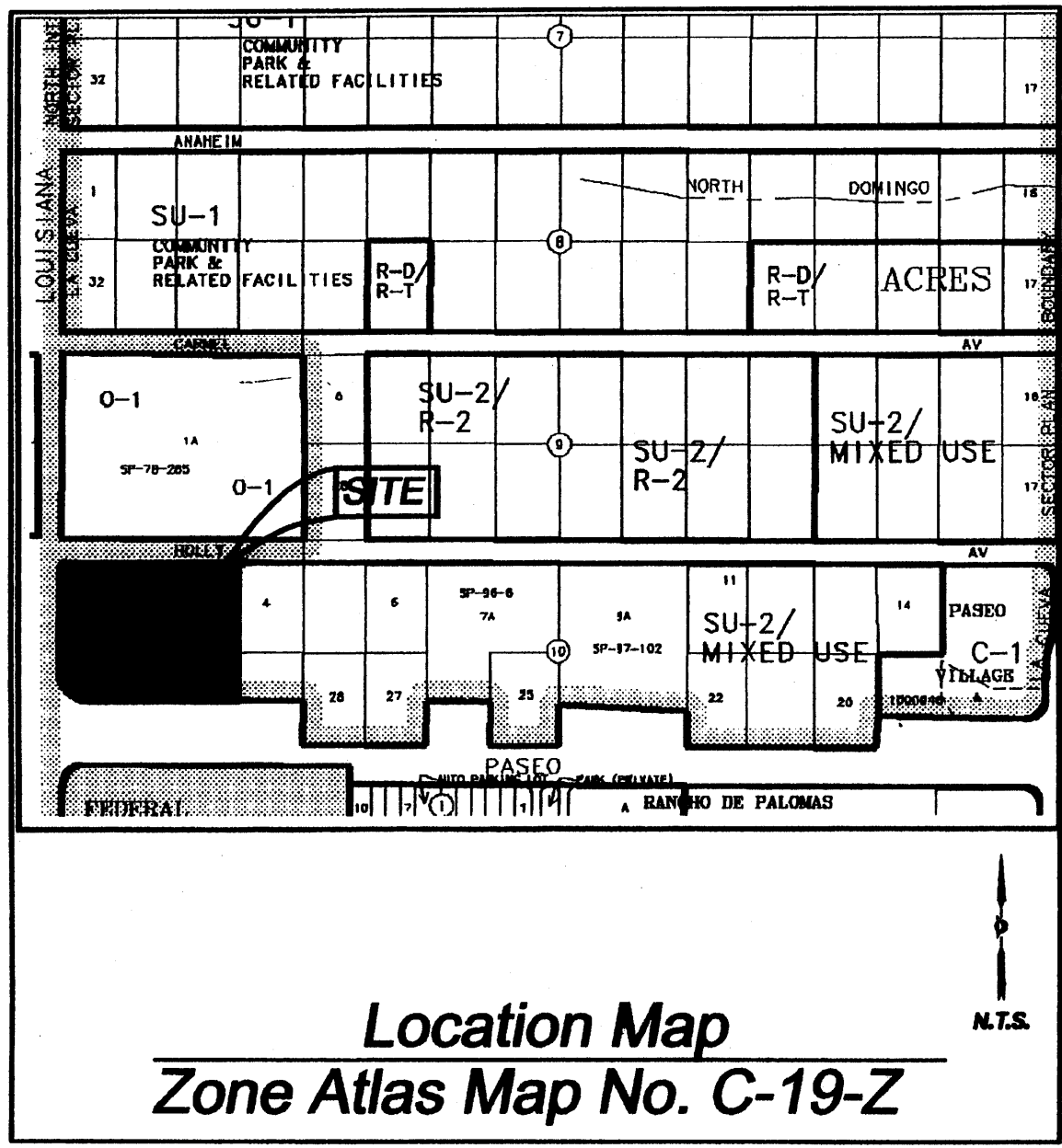


Plat of
 Lots 1-A-1-A, 1-A-2-A, and 1-A-3-A,
 Block 10

**North Albuquerque Acres
 Tract 2, Unit 3**

Albuquerque, Bernalillo County, New Mexico
 June 2005

Project No. 1003364
 Application No. 0505
**PRELIMINARY PLAT
 APPROVED BY DRB
 ON**



Legal Description

LOTS NUMBERED ONE-A-ONE (1-A-1), ONE-A-TWO (1-A-2) AND ONE-A-THREE (1-A-3), BLOCK NUMBERED TEN (10), NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 15, 2004, IN PLAT BOOK 2004C, FOLIO 328, CONTAINING 3.8387 ACRES, (165,648 SQUARE FEET) MORE OR LESS, NOW COMPRISING LOTS 1-A-1-A, 1-A-2-A, AND 1-A-3-A, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3.

Utility/Service	Signature	DATE
PNM ELECTRIC SERVICES	[Signature]	8-24-05
PNM GAS SERVICES	[Signature]	8-24-05
QWEST TELECOMMUNICATIONS	[Signature]	8-24-05
COMCAST	[Signature]	8-24-05
CITY SURVEYOR	[Signature]	7-21-05
CITY ENGINEERING TRANSPORTATION DIVISION	[Signature]	8-3-05
UTILITY DEVELOPMENT	[Signature]	8-3-05
PARKS AND RECREATION DEPARTMENT	[Signature]	8/3/05
AMAFCA	[Signature]	8/3/05
CITY ENGINEER	[Signature]	8/26/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	[Signature]	8/26/05

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 3.8387 ACRES±
 ZONE ATLAS INDEX NO: C-19-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 3
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: JULY 2004, FIELD VERIFIED MAY 2005.

Notes:

- MISC. DATA: ZONING SU-2/MIXED USE
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING THREE LOTS INTO THREE NEW LOTS, TO VACATE EASEMENTS AND TO GRANT EASEMENTS.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2005203722.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.
 PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 1. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

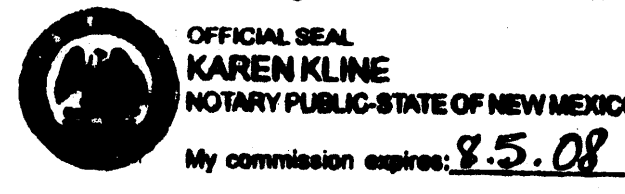
[Signature] 7/14/05
 TIM HAGSETT, PRESIDENT
 DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION

Acknowledgment

STATE OF NEW MEXICO) ss.
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11th DAY OF July, 2005 BY TIM HAGSETT, PRESIDENT, DOUBLE CHEESE REALTY CORPORATION, A NEW MEXICO CORPORATION

BY [Signature] KAREN KLINE MY COMMISSION EXPIRES: 8-5-08
 NOTARY PUBLIC



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] Larry W. Medrano 8/7/05
 LARRY W. MEDRANO
 N.M.P.S. No. 11993



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Plat of
 Lots 1-A-1-A, 1-A-2-A, and 1-A-3-A
 Block 10
 North Albuquerque Acres
 Tract 2, Unit 3
 Albuquerque, Bernalillo County, New Mexico
 June 2005

2005125072
 Page: 2 of 3
 08/26/2005 01:15P
 Bx-2805C Pg-288

R=25.00'
 L=39.31'
 Δ=90°05'50"
 T=25.04'
 CH=S 45°16'12" W
 35.39'

LOUISIANA BOULEVARD, N.E.
 (ROW VARIES)

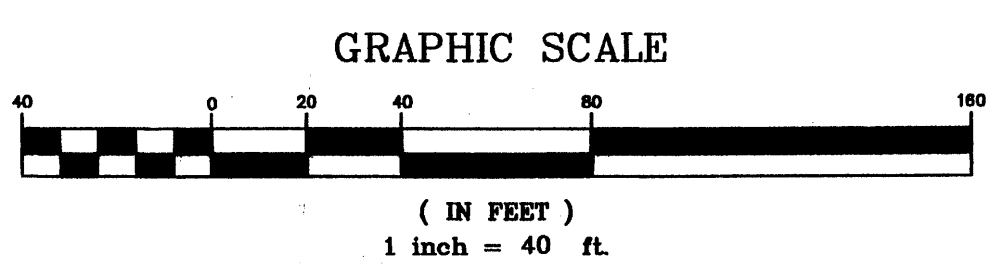
HOLLY AVENUE, N.E.
 (60' ROW)

Line Table

LINE	BEARING	DISTANCE
L1	N 90°00'00" E	8.08'
L2	S 00°00'00" E	10.00'
L3	N 90°00'00" E	10.00'
L4	N 00°00'00" E	10.00'
L5	S 00°00'00" E	10.00'
L6	N 90°00'00" W	10.00'
L7	S 00°00'00" E	10.00'
L8	N 90°00'00" E	1.03'
L9	S 00°00'00" E	10.01'
L10	N 90°00'00" W	10.00'
L11	S 00°00'00" E	10.01'
L12	N 90°00'00" W	8.83'
L13	N 00°00'00" E	10.00'
L14	N 90°00'00" W	10.00'
L15	S 00°00'00" E	10.00'
L16	N 00°00'00" E	10.05'
L17	N 90°00'00" E	15.00'
L18	S 00°00'00" E	10.05'
L19	N 90°00'00" W	12.00'
L20	N 00°00'00" E	10.00'
L21	N 90°00'00" W	10.00'
L22	S 00°00'00" E	10.00'
L23	N 90°00'00" E	10.00'
L24	S 00°00'00" E	10.00'
L25	N 90°00'00" E	10.00'
L26	S 00°00'00" E	9.95'
L27	N 90°00'00" E	10.00'
L28	N 00°00'00" E	9.95'
L29	N 24°27'24" W	73.12'
L30	S 56°17'46" E	12.26'
L31	N 77°21'48" W	60.97'
L32	N 84°27'21" E	48.90'
L33	S 89°22'54" E	69.69'
L34	N 88°48'32" E	41.19'
L35	S 89°15'55" E	37.15'
L36	N 89°58'49" E	52.61'
L37	S 86°56'21" E	33.61'
L38	S 87°26'20" E	65.64'
L39	S 88°11'59" E	10.29'

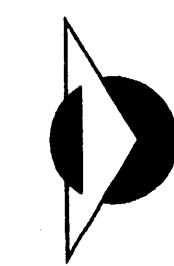
R=75.00'
 L=117.64'
 Δ=89°52'10"
 T=74.83'
 CH=N 44°44'14" W
 105.95'

PASEO DEL NORTE, N.E. (NMP TPU-4054(3))
 (ROW VARIES)



Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR W/YELLOW PLASTIC CAP "PS 11893" SET BY THIS SURVEY
- ACCESS CONTROL LINE

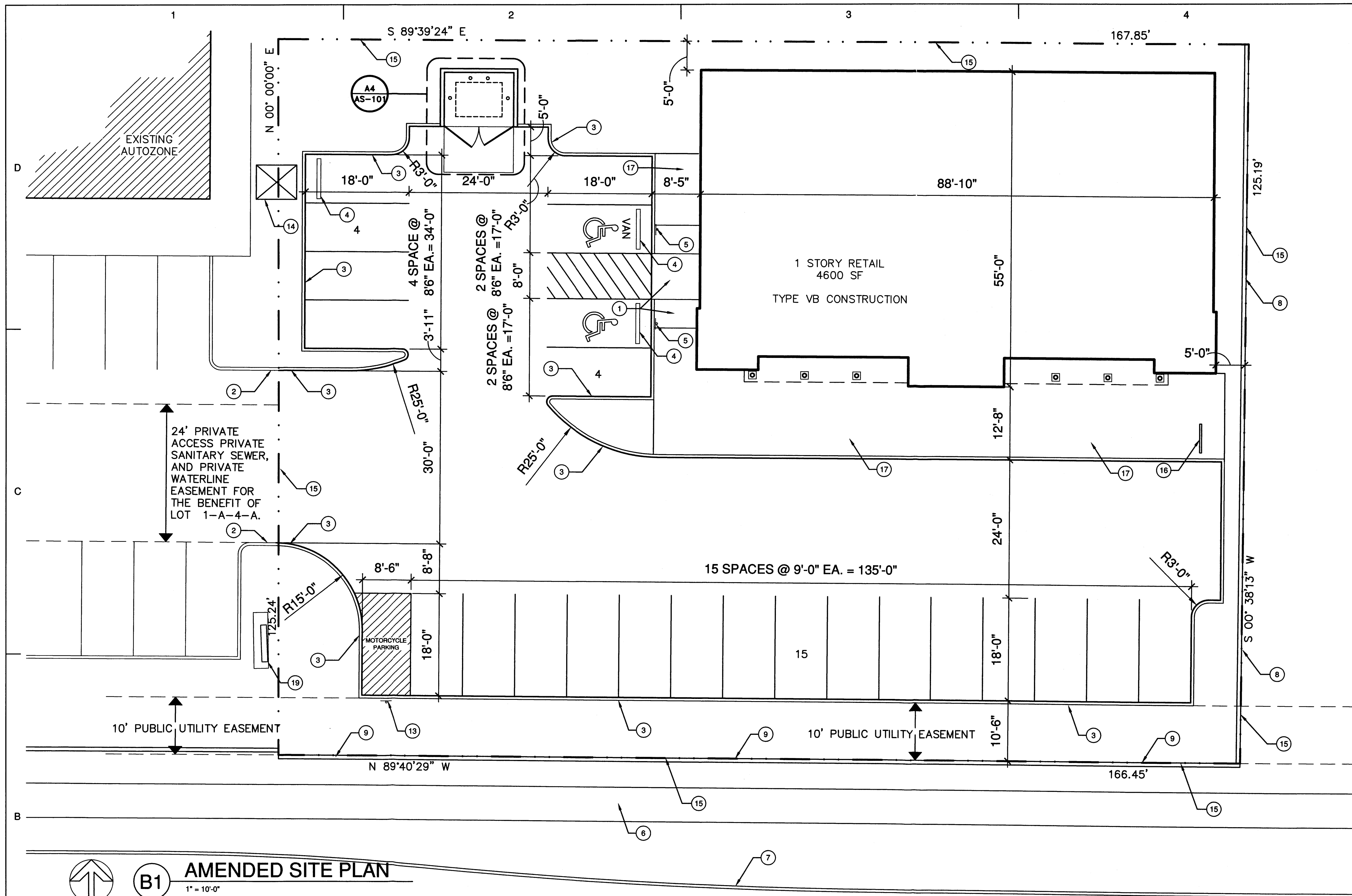


PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

N.G.S. MONUMENT "7-C19"
 STANDARD U.S.C. & G.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=410,171.36
 Y=1,522,006.02
 SPIRIT LEVEL EL.=5483.076 (NGVD 1929)
 GROUND TO GRID SCALE FACTOR=0.999647055
 DELTA ALPHA ANGLE=NOT PUBLISHED

N.G.S. MONUMENT "HEAVEN"
 STANDARD U.S.C. & G.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=407,051.31
 Y=1,518,737.03
 SPIRIT LEVEL EL.=5375.62 (NGVD 1929)
 GROUND TO GRID SCALE FACTOR=0.99965263
 DELTA ALPHA ANGLE=-0°10'45"



KEYED NOTES

- HANDICAPPED RAMP PER C.O.A. STD DWG # 2441
- EXISTING HEADER CURB.
- NEW 6" HEADER CURB PER C.O.A. STD DWG #2415
- CONCRETE WHEEL STOP.
- ACCESSIBLE PARKING SIGN TYPICAL ALL HANDICAPPED PARKING SPACES. SEE DETAIL A3 THIS SHEET.
- EXISTING SIDEWALK.
- CURB AT EDGE OF STREET.
- 4'-0" SPLIT FACE CMU RETAINING WALL.
- NEW 36" HIGH SPLIT FACE CMU WALL.
- STEEL BOLLARD FILLED WITH CONCRETE, TYP.
- 8" SPLIT FACED CMU WALL. 7'-0" HIGH.
- 6" THICK CONCRETE APRON. 4,000 PSI, 3/4" AGGREGATE W/ 6X6-10/10 WWM OR EQUAL.
- MOTORCYCLE PARKING SIGN. SEE DETAIL A3 THIS SHEET.
- EXISTING ELECTRICAL TRANSFORMER.
- PROPERTY LINE.
- RIBBON BICYCLE RACK (4 SPACES).
- CONCRETE SIDEWALK PER C.O.A. STD DWG #2430.
- ENCLOSURE GATE.
- EXISTING SIGNAGE (SEE A1/AS-101)

NOTES:

REQUIRED PARKING:	23
PROVIDED :	23
REQUIRED ACCESSIBLE PARKING:	1
PROVIDED:	2 (BOTH VAN)
REQUIRED MOTORCYCLE PARKING:	1
PROVIDED:	1
REQUIRED BICYCLE PARKING:	2
PROVIDED:	4
TOTAL PREVIOUSLY APPROVED SITE PLAN BUILDING SQUARE FOOTAGE:	
WENDY'S	3235 SF
JIFFY LUBE	2192 SF
AUTOZONE	6759 SF
JUST BRAKES	3400 SF
TOTAL PREVIOUSLY APPROVED BLDG. SF:	15586 SF
10% ALLOWABLE INCREASE W/ADMINISTRATIVE AMENDMENT =	1559 SF
ACTUAL SQ. FT. INCREASE =	1200 SF

ARCHITECTS
 Fanning Bard Tatum Architects AIA, Ltd.
 6100 Indian School Rd. NE Ste 210
 Albuquerque NM 87110
 Phone 505/883.5200
 Facsimile 505/884.5390
 Web www.fbtarch.com

CONSULTANT

--	--

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
<i>Michael Holton (owner)</i>	8/29/16
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
PROJECT NUMBER	1003364
APPLICATION NUMBER	

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

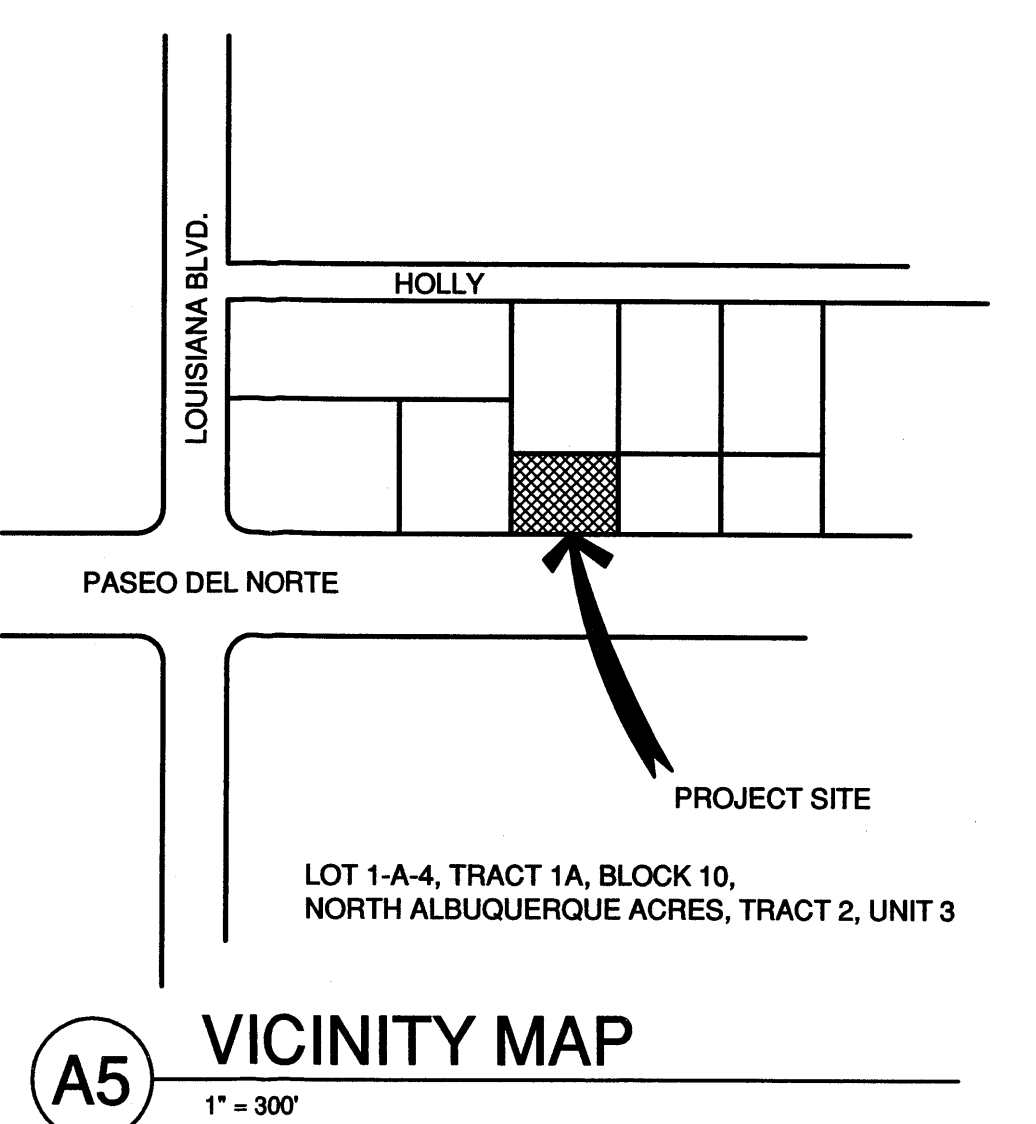
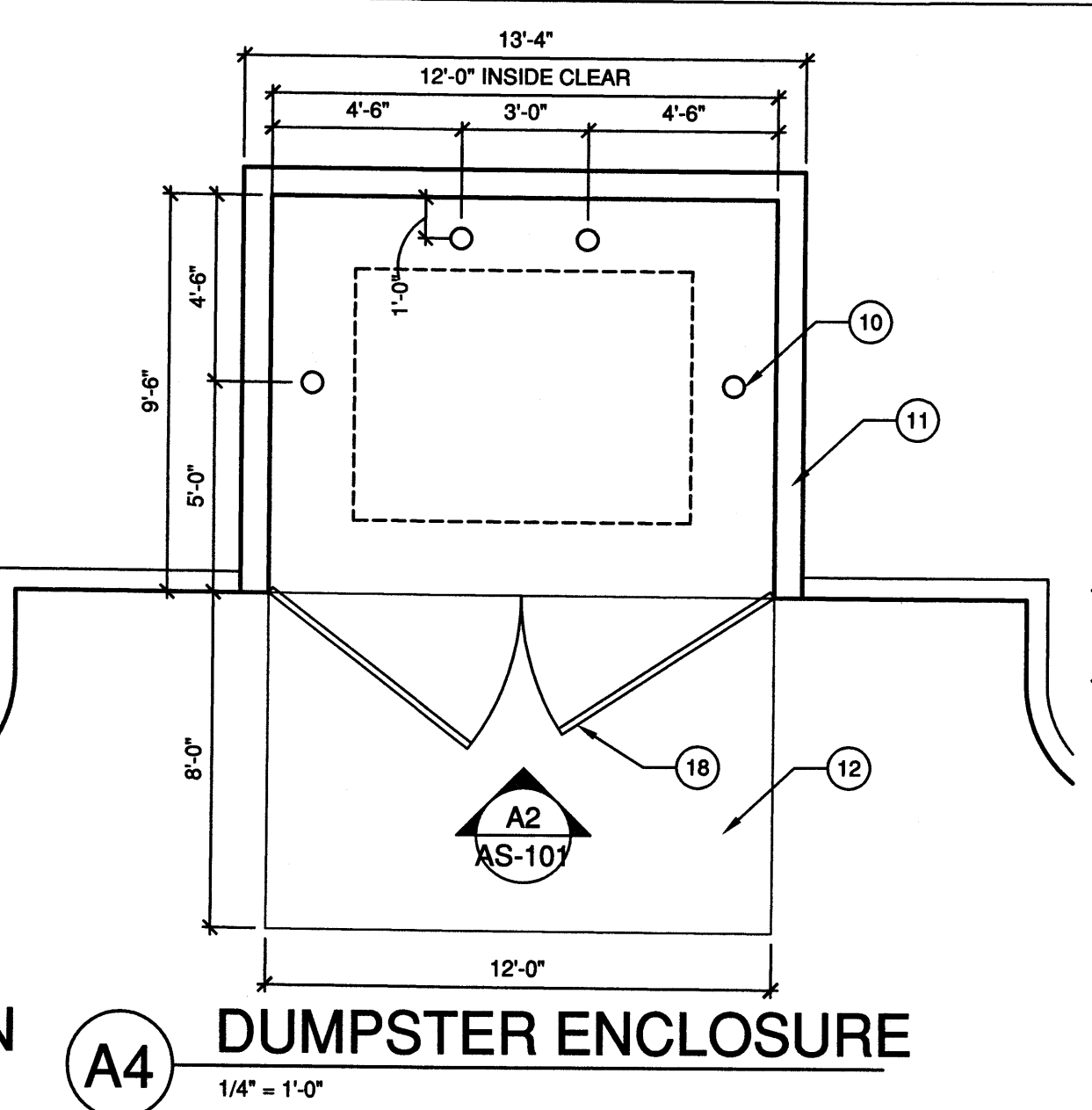
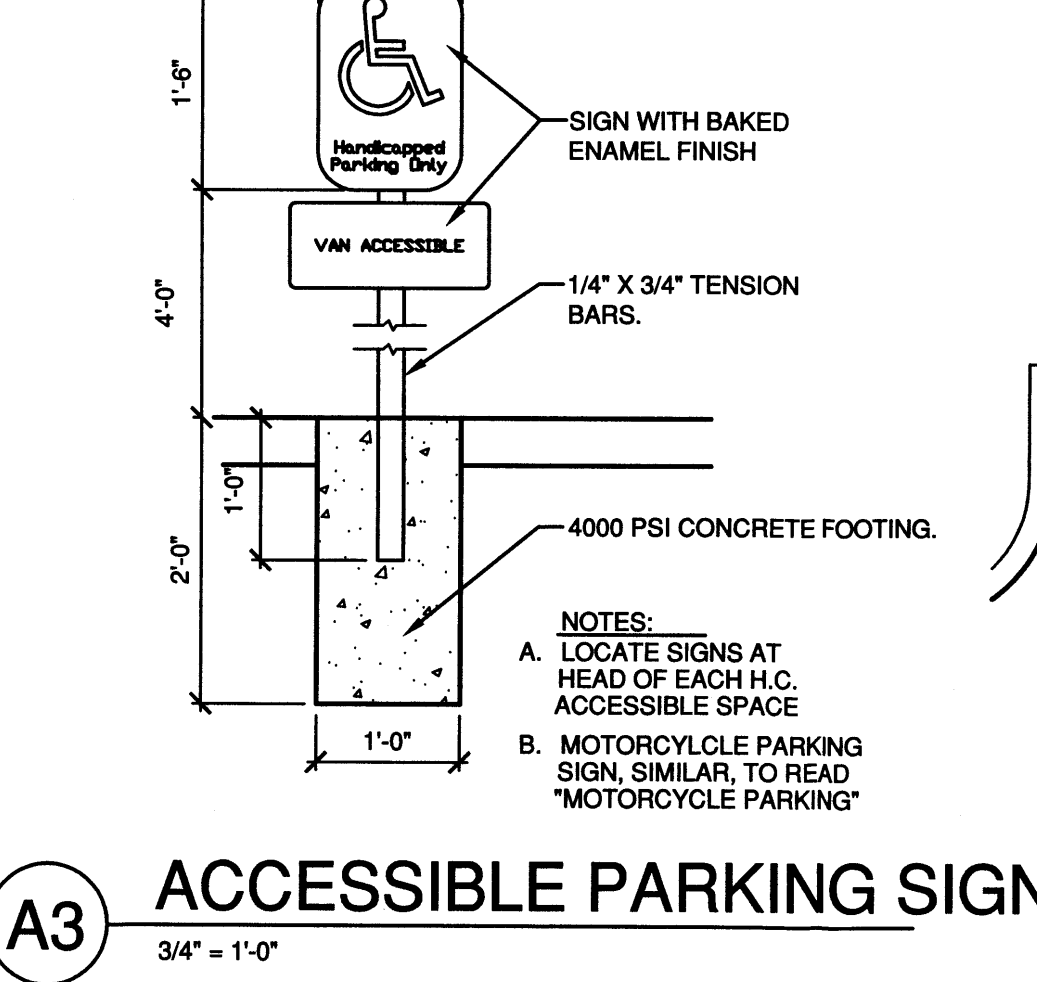
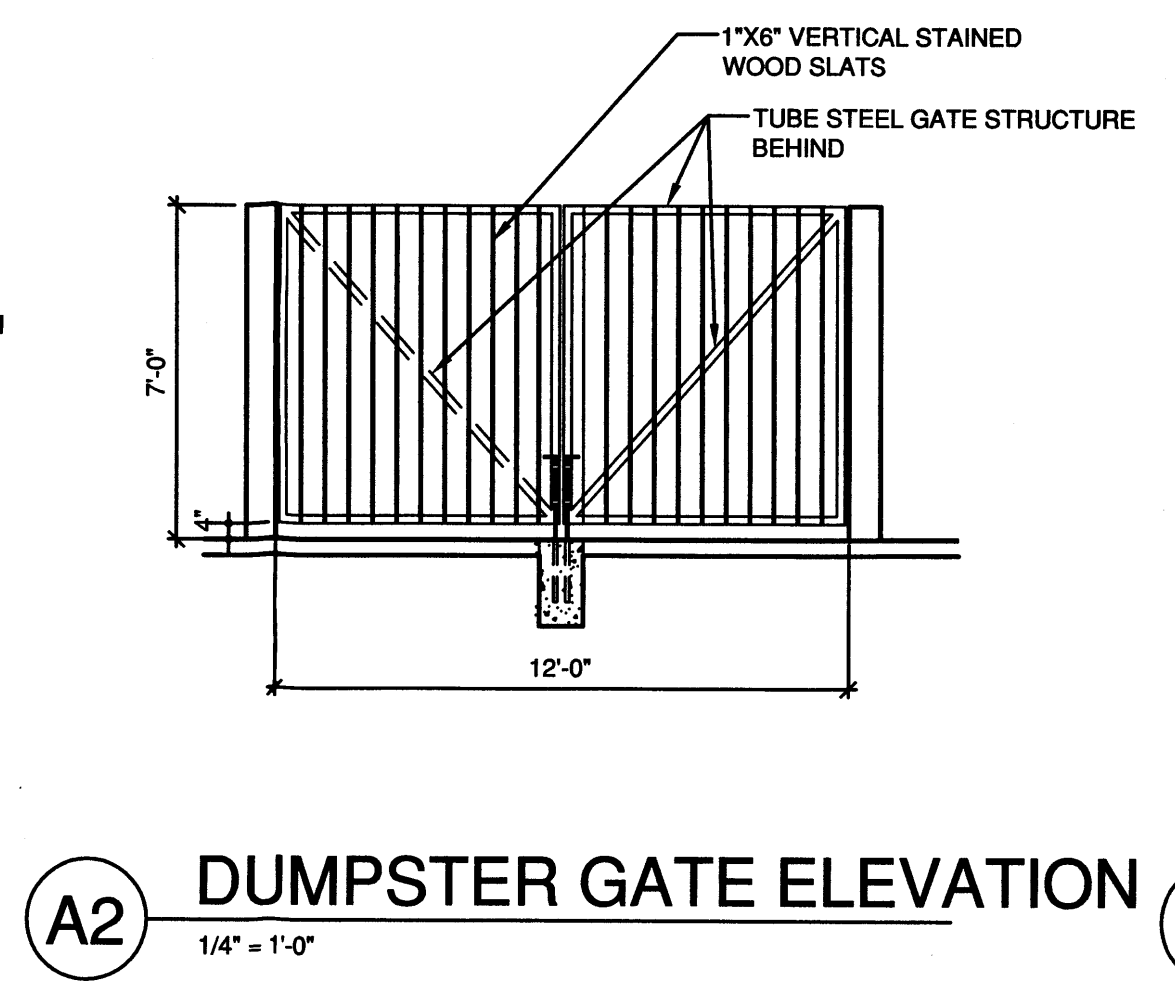
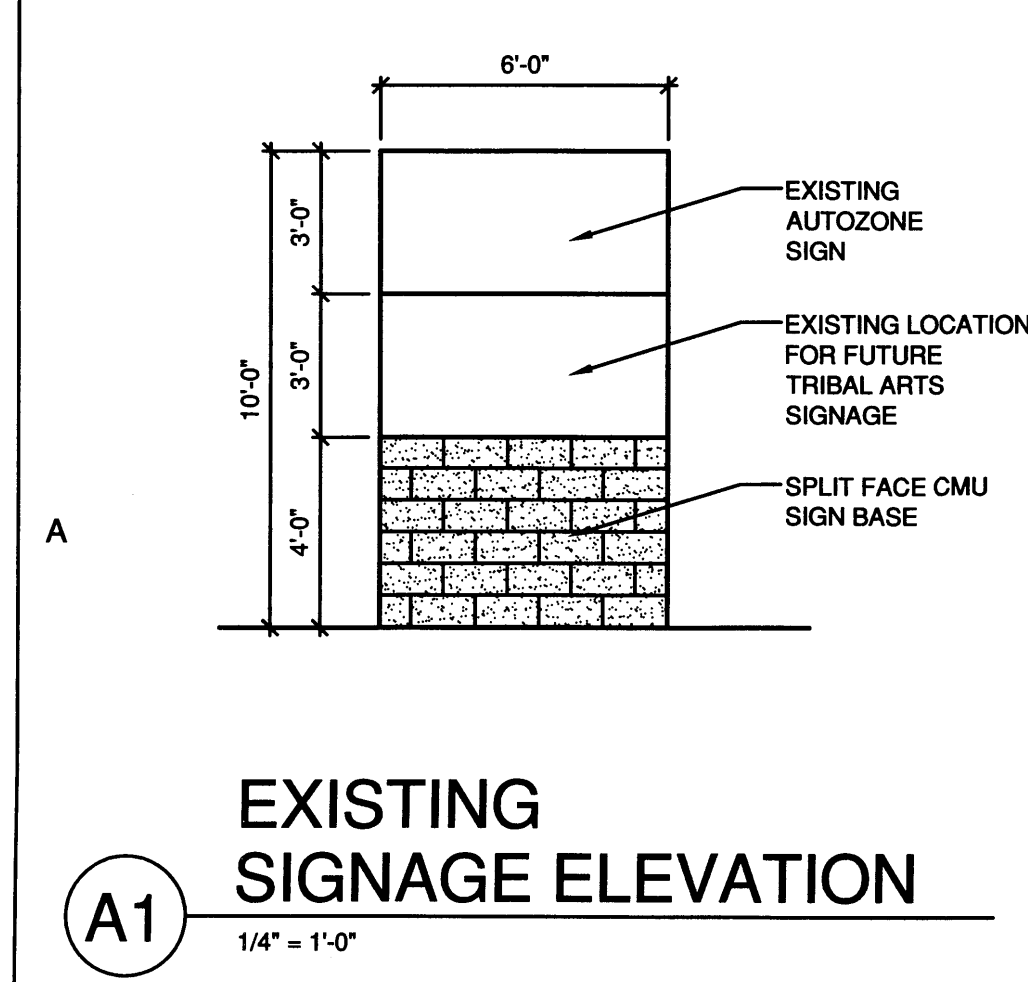
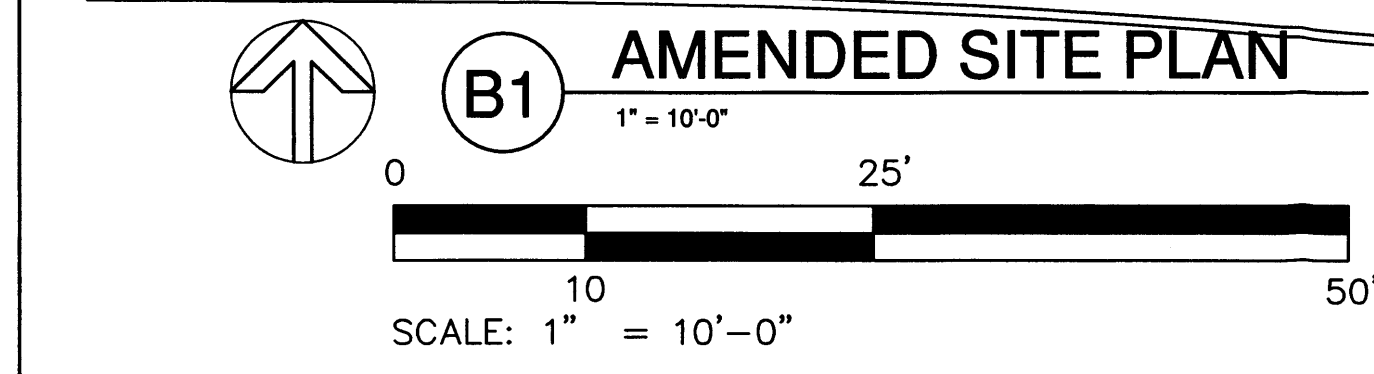
Is an Infrastructure List Required? () Yes () No
 If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

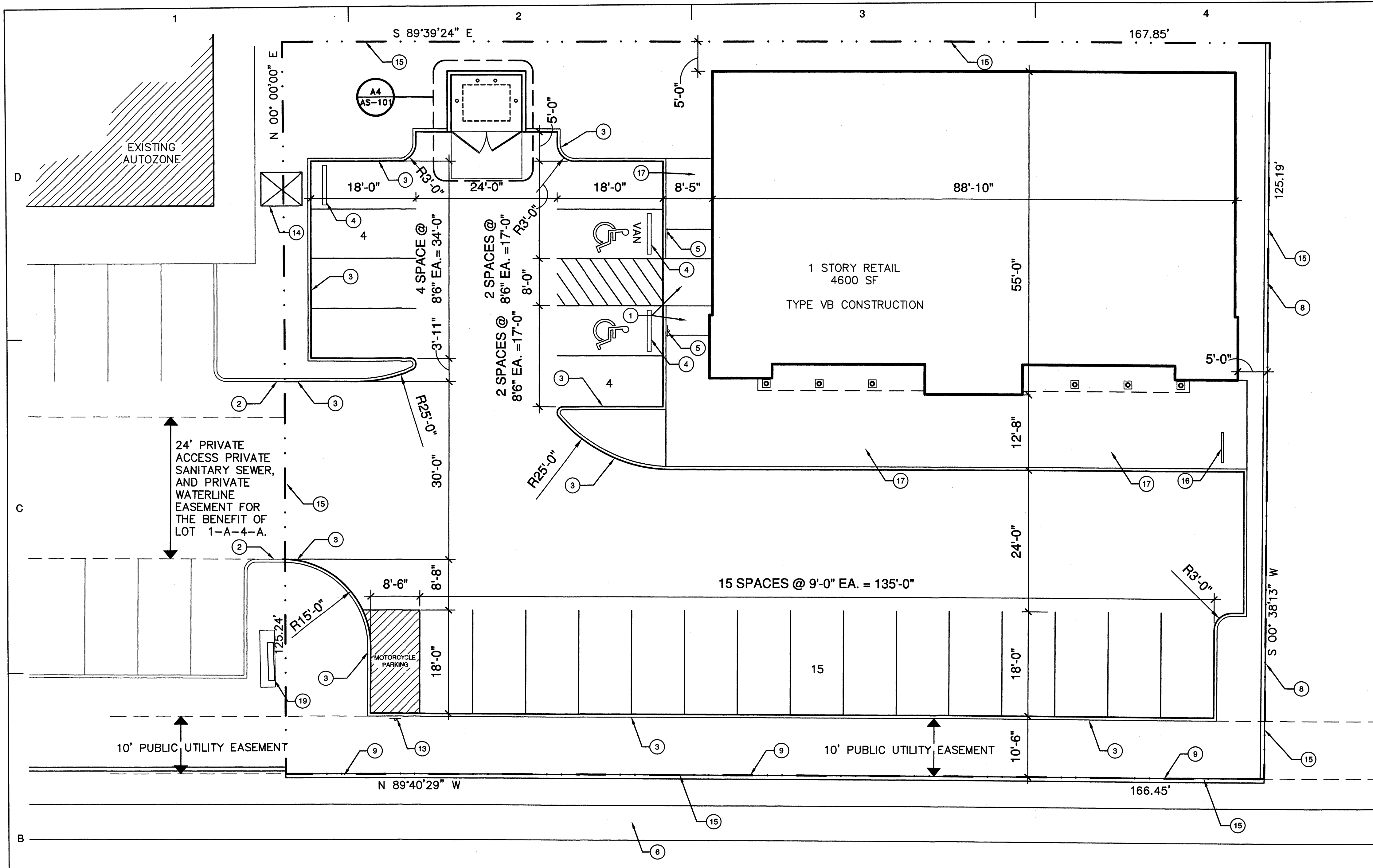
MARK	DATE	DESCRIPTION

PROJECT NO:	
CAD DWG FILE:	AS-101.DWG
DRAWN BY:	JLL
CHECKED BY:	JLL

SHEET TITLE
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 LOUISIANA/PASEO

AS-101



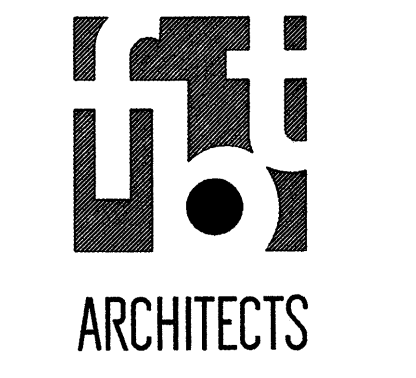


KEYED NOTES

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2. EXISTING HEADER CURB.
3. NEW 6" HEADER CURB PER C.O.A. STD DWG #2415
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13. MOTORCYCLE PARKING SIGN. SEE DETAIL A3 THIS SHEET.
14. EXISTING ELECTRICAL TRANSFORMER.
15. PROPERTY LINE.
16. RIBBON BICYCLE RACK (4 SPACES).
17. CONCRETE SIDEWALK PER C.O.A. STD DWG #2430.
18. ENCLOSURE GATE.
19. EXISTING SIGNAGE (SEE A1/AS-101)

NOTES:

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PROVIDED :	23
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CONSULTANT

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
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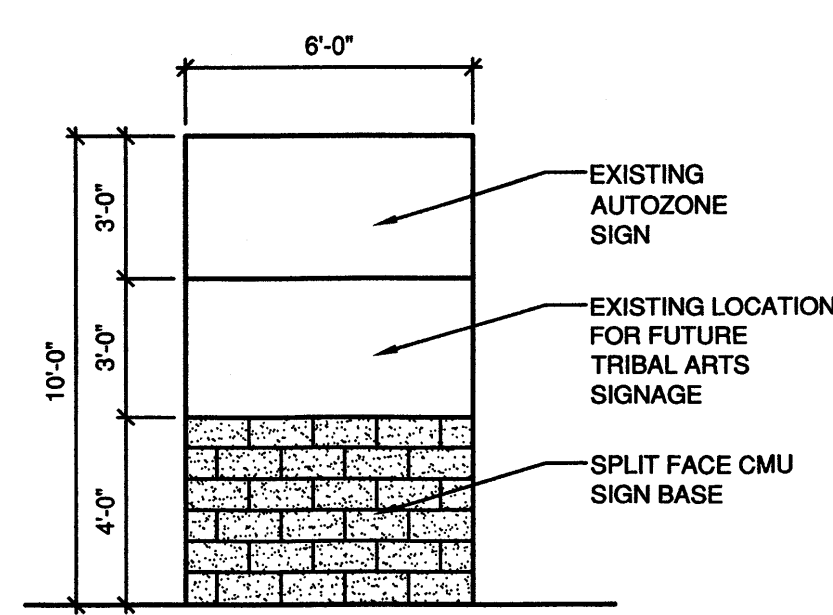
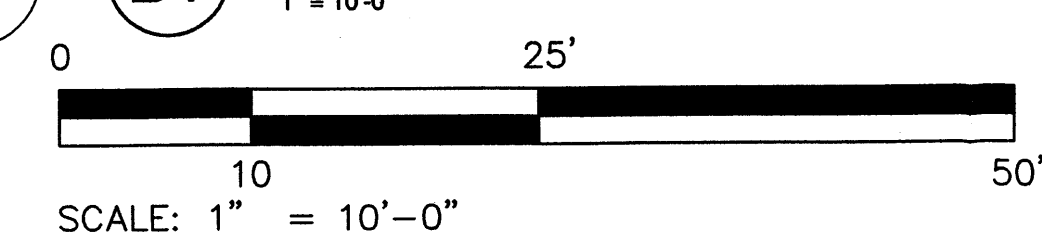
MARK	DATE	DESCRIPTION

PROJECT NO:	
CAD DWG FILE:	AS-101.DWG
DRAWN BY:	JLL
CHECKED BY:	JLL

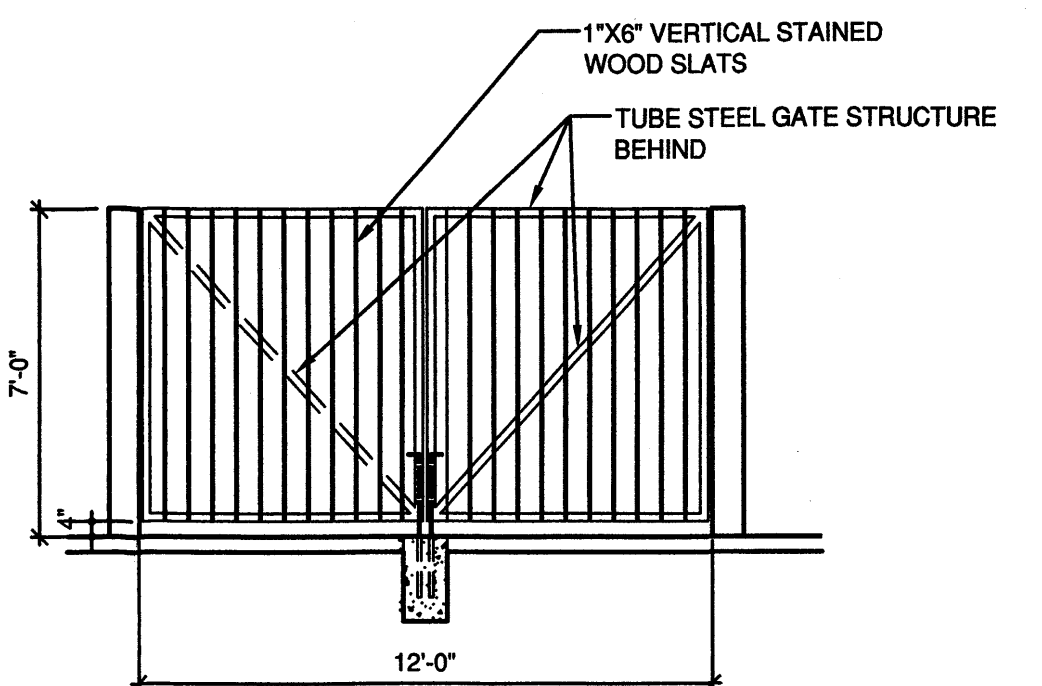
SHEET TITLE
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 LOUISIANA/PASEO

AS-101

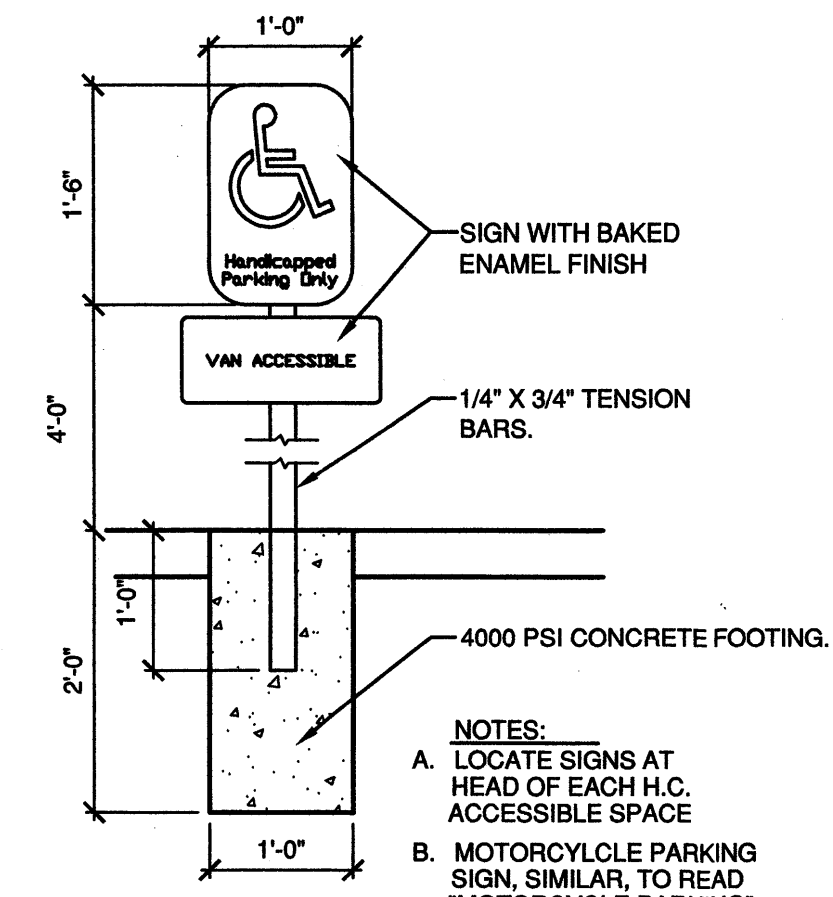
B1 AMENDED SITE PLAN
 1" = 10'-0"



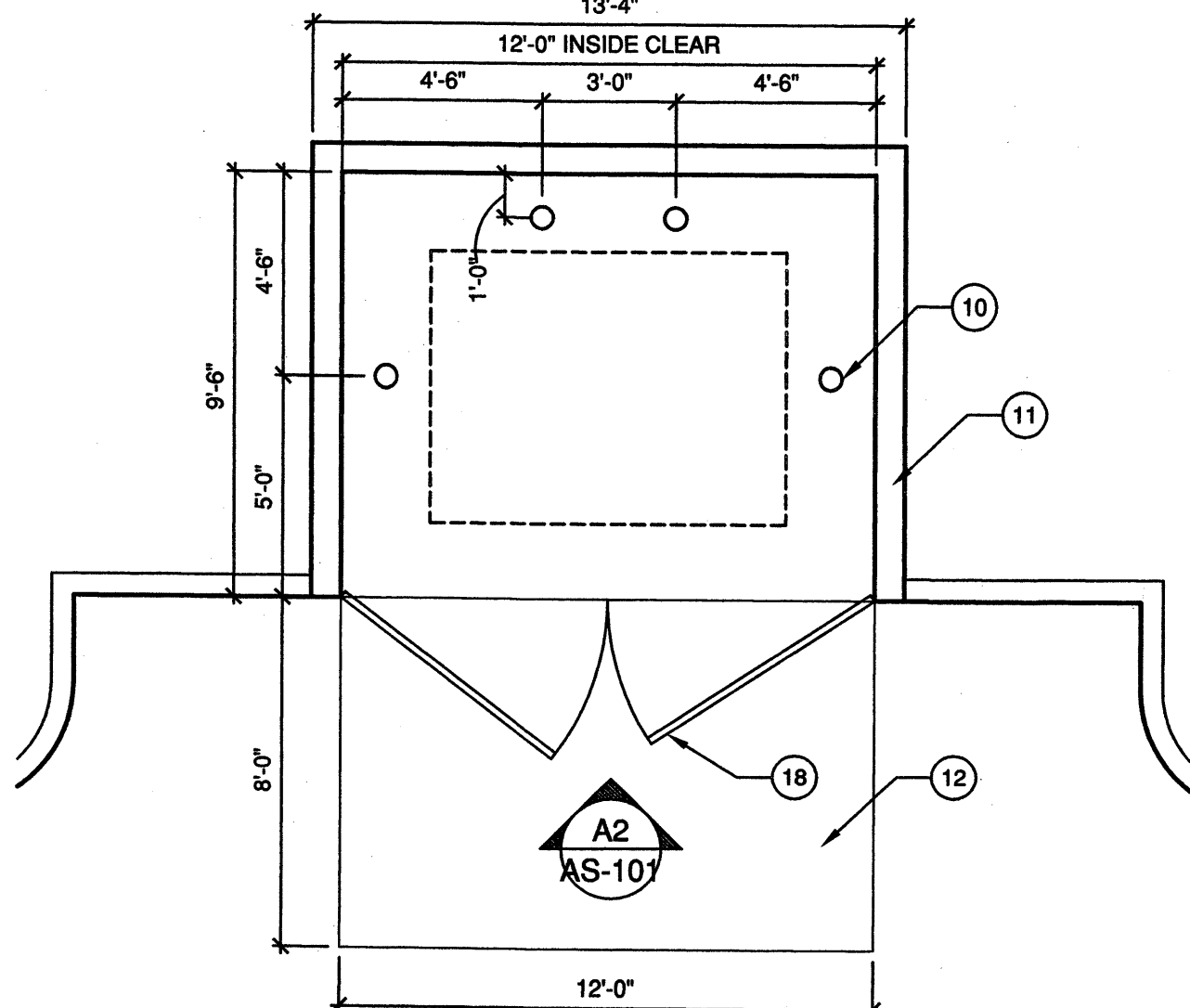
A1 EXISTING SIGNAGE ELEVATION
 1/4" = 1'-0"



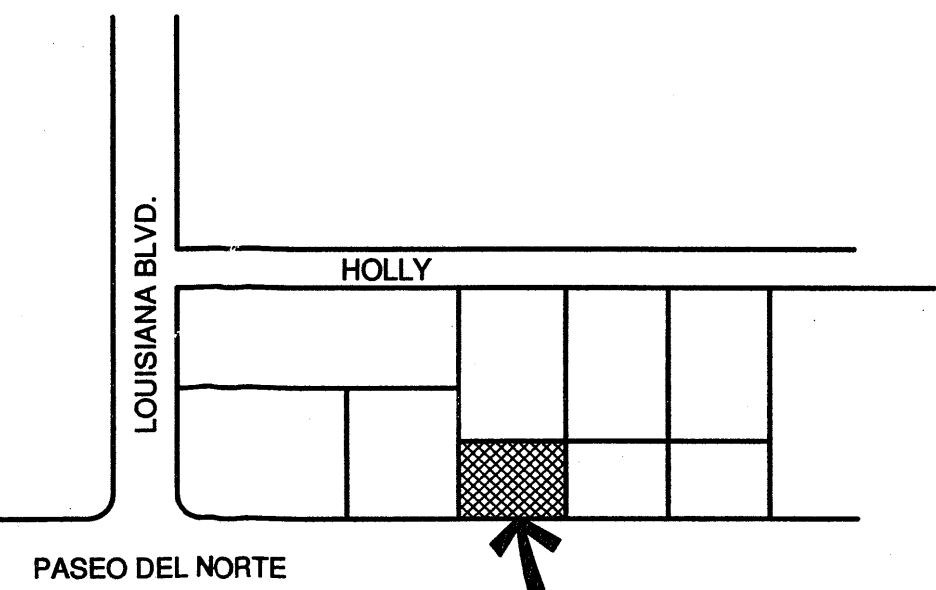
A2 DUMPSTER GATE ELEVATION
 1/4" = 1'-0"



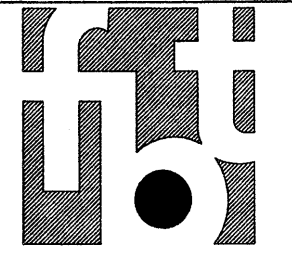
A3 ACCESSIBLE PARKING SIGN
 3/4" = 1'-0"



A4 DUMPSTER ENCLOSURE
 1/4" = 1'-0"



A5 VICINITY MAP
 1" = 300'



ARCHITECTS

Fanning Bard Tatum Architects AIA, Ltd.

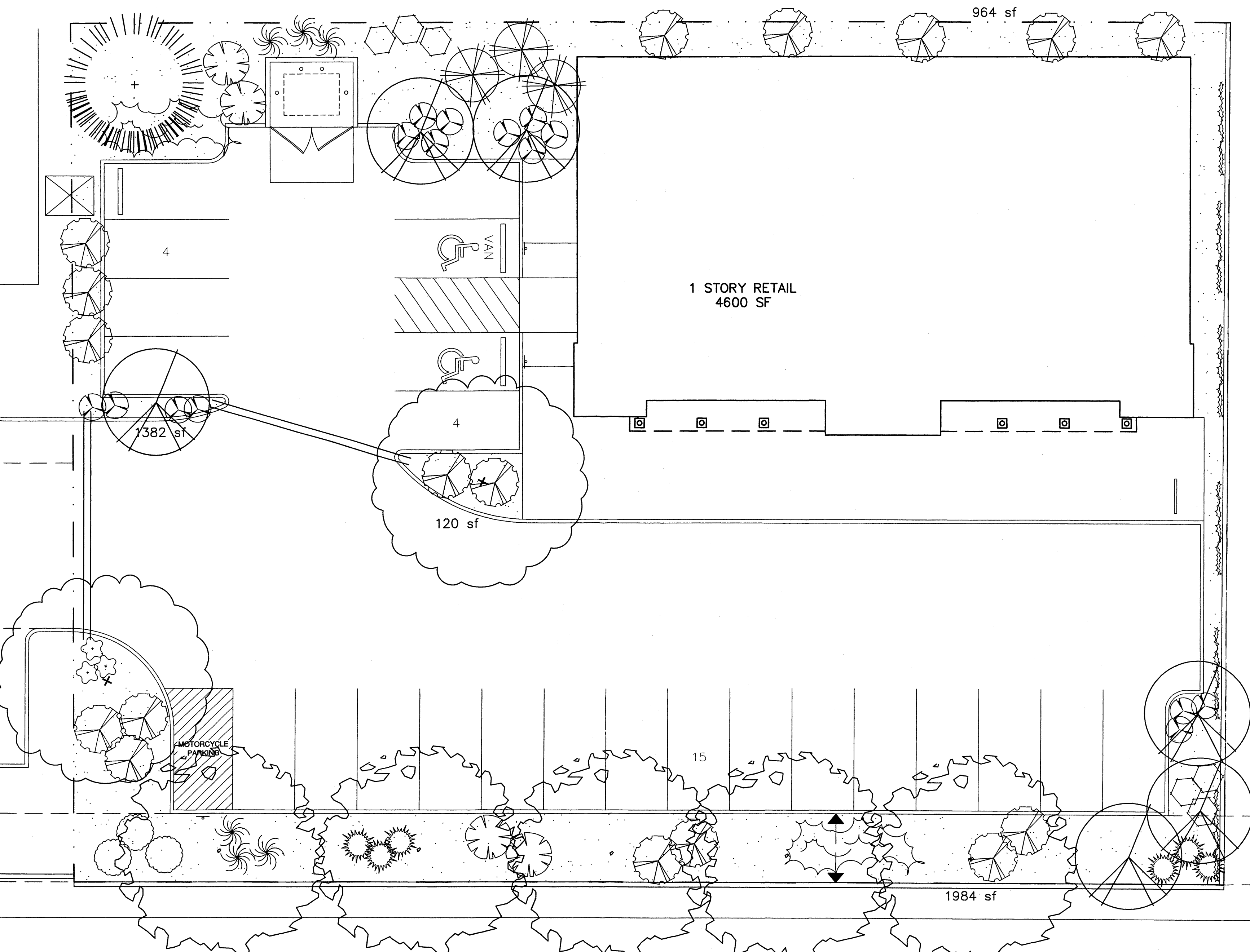
6100 Indian School Rd. NE Ste 210
Albuquerque NM 87110

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CONSULTANT

PLANT LEGEND - NEW SITE LEGEND (TRIBAL ARTS)

	ASH (H) 5 Fraxinus pennsylvanica 2" Cal.		AUSTRIAN PINE (H) 1 Pinus nigra 6'-8'
	PURPLE ROBE LOCUST (M) 2 Robinia ambigua 2" Cal.		FLOWERING PEAR (H) 6 Pyrus calleryana 2" Cal.
	SILVERBERRY (M) 3 Elaeagnus pungens 5 Gal. 100sf		POTENTILLA (M) 3 Potentilla fruticosa 2 Gal. 9sf
	APACHE PLUME (L) 3 Fallugia paradoxa 5 Gal. 25sf		AUTUMN SAGE (M) 6 Salvia greggii 2 Gal. 9sf
	LANAS/ SCOTCH BROOM (M) 6 Cytisus scoparius/ Genista hispanica 5 Gal. 9sf		WILDFLOWER 20 1 Gal. 4sf
	MAIDENGRASS (M) 6 Miscanthus sinensis 5 Gal. 16sf		TRUMPET VINE 6 Campsis radicans 1 Gal. 400sf
	HONEYSUCKLE (M) 21 Lonicera sempervirens 1 Gal. 144sf Unstaked-Groundcover		GREYLEAF COTONEASTER 2 Cotoneaster buxifolius 5 Gal. 81SF
	CHAMISA (L) 4 Chrysothamnus nauseosus 1 Gal. 25sf		SANTA FE BROWN GRAVEL WITH FILTER FABRIC



NEW SITE (TRIBAL ARTS)

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	20906	square feet
TOTAL BUILDINGS AREA	4000	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	16906	square feet
LANDSCAPE REQUIREMENT	15%	square feet
TOTAL LANDSCAPE REQUIREMENT	2536	square feet
TOTAL BED PROVIDED	4450	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	3338	square feet
TOTAL GROUNDCOVER PROVIDED	3376	square feet
TOTAL LANDSCAPE PROVIDED	4450	square feet

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street	Paseo Del Norte
Required #	5
Provided #	6

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

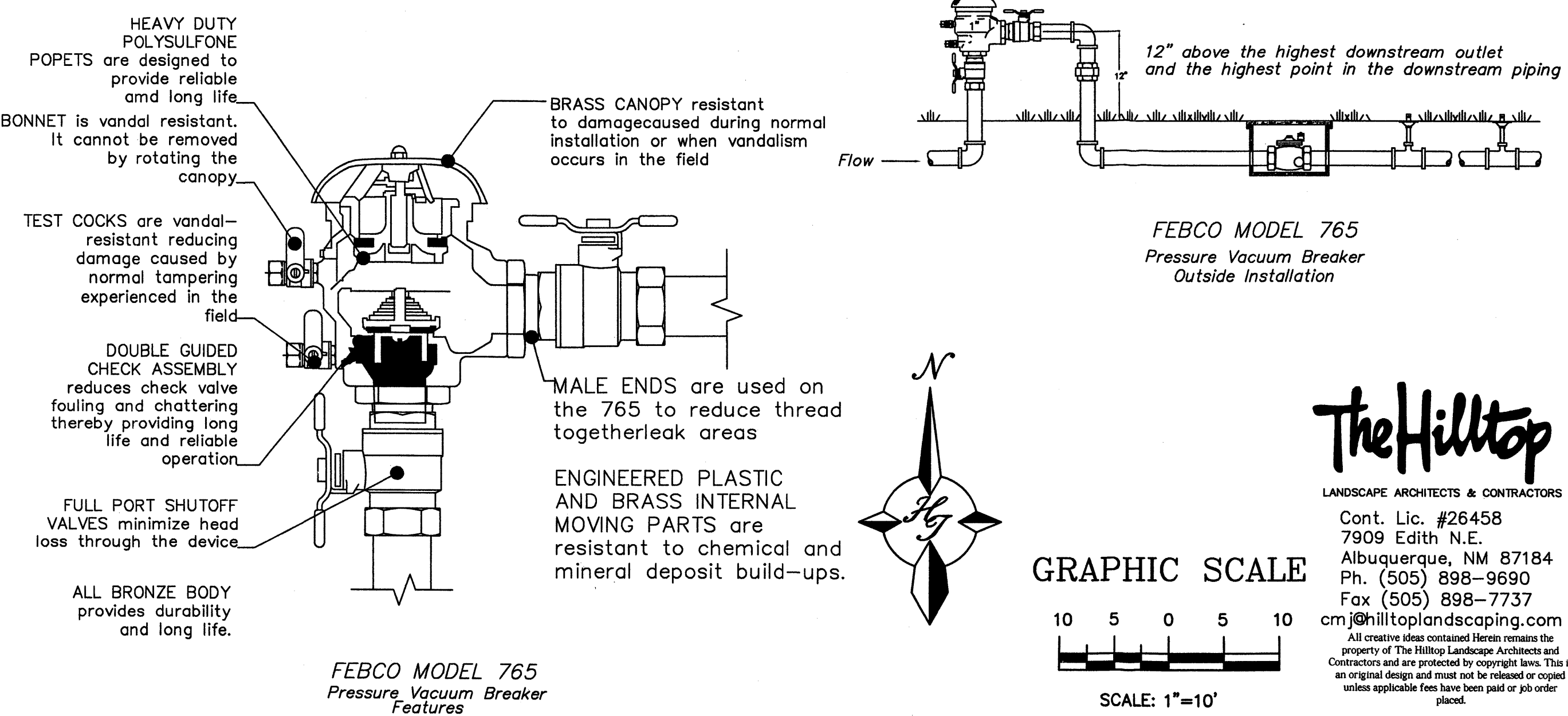
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. This will be addressed as an in-field-change order.



8/24/2006

MARK	DATE	DESCRIPTION
adf	7-26-06	revised per comments
adf	7-3-06	revised site plan

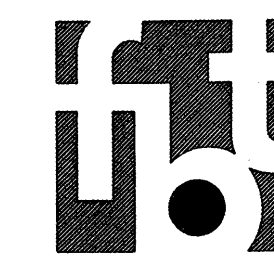
PROJECT NO:
CAD DWG FILE:
DRAWN BY: adf
CHECKED BY: cj

SHEET TITLE
TRIBAL ARTS
LANDSCAPING PLAN

L1 AMENDED

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.



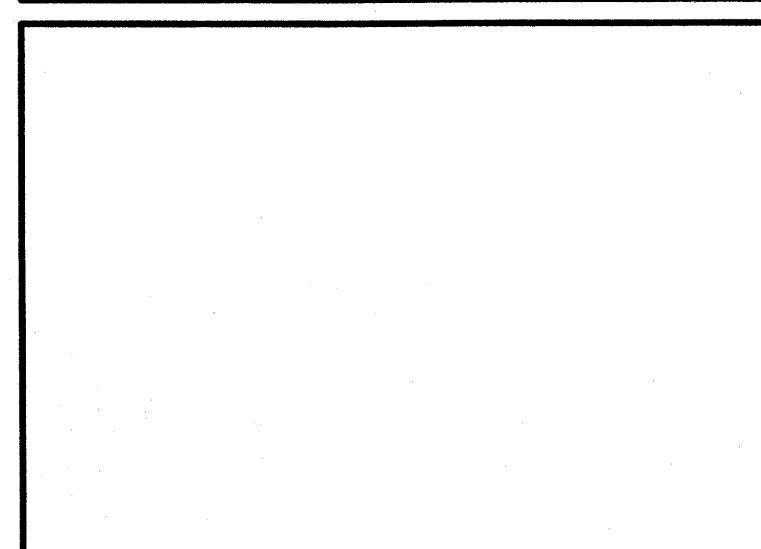
ARCHITECTS

Fanning Bard Tatum Architects AIA, Ltd.

6100 Indian School Rd. NE Ste 210
Albuquerque NM 87110

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CONSULTANT



Tribal Arts
8150 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87113

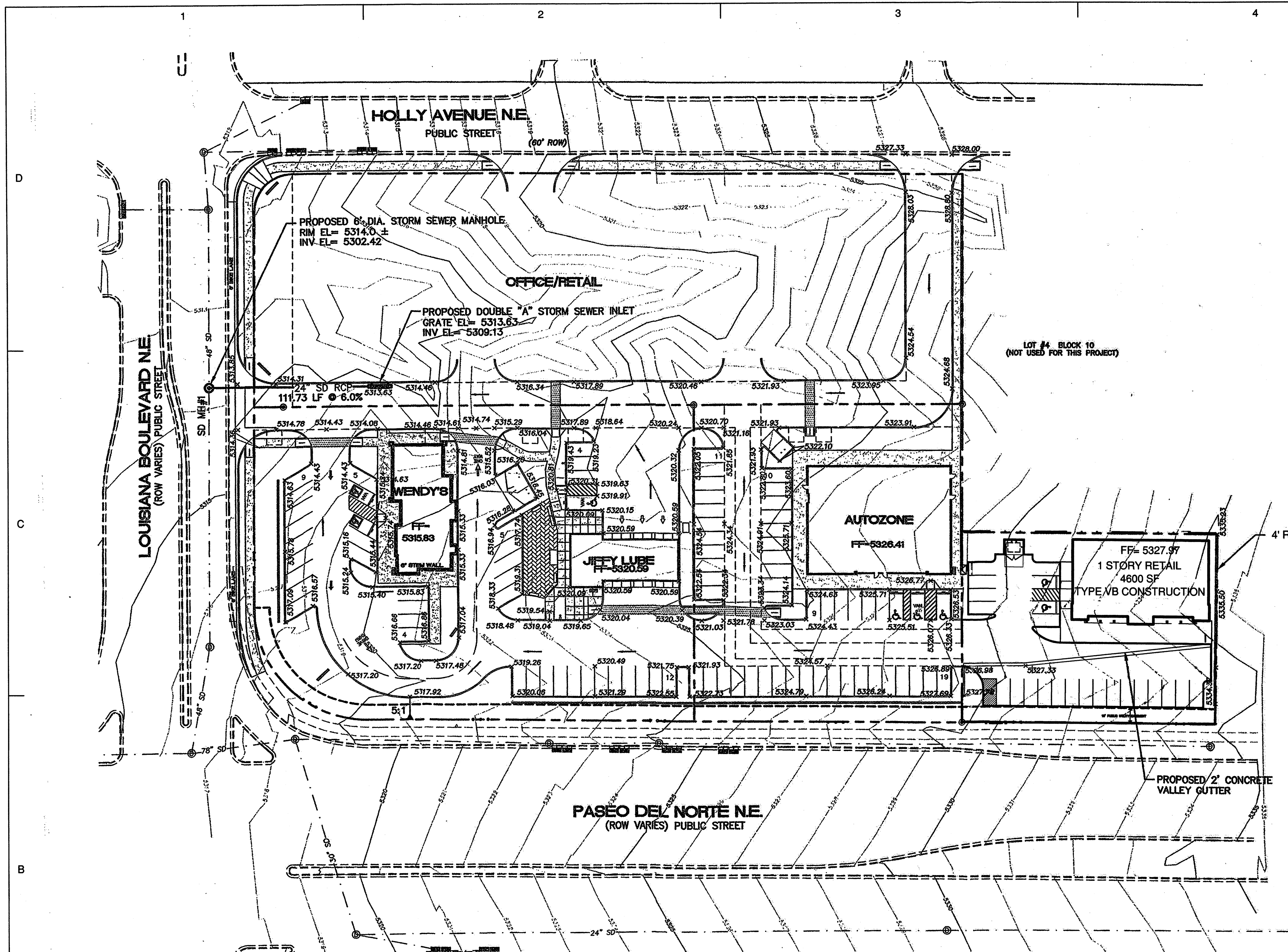
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DRAWN BY:	JLL
CHECKED BY:	JLL

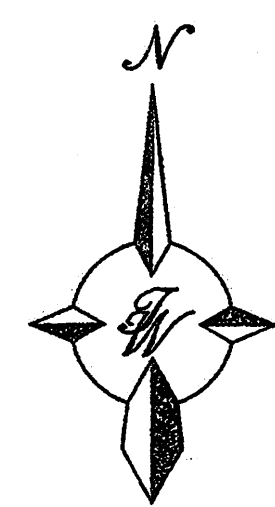
SHEET TITLE
REVISED CONCEPTUAL GRADING AND DRAINAGE PLAN

AS-104

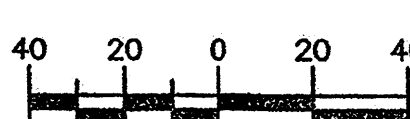
NOTE: THIS SHEET IS A REVISION TO THE ORIGINALLY SUBMITTED DRB PROJECT # 1003364 APPLICATION # 04DRB-01408 SHEET C4. REVISIONS INCLUDE THE PROPOSED NEW SITE LAYOUT ONLY (BUILDING SIZE, FOOTPRINT, AND PARKING). THERE HAVE BEEN NO REVISIONS TO THE CONCEPTUAL GRADING AND DRAINAGE LAYOUT OF THE SITE.



B2 REVISED CONCEPTUAL GRADING AND DRAINAGE PLAN
1" = 40'



GRAPHIC SCALE



EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

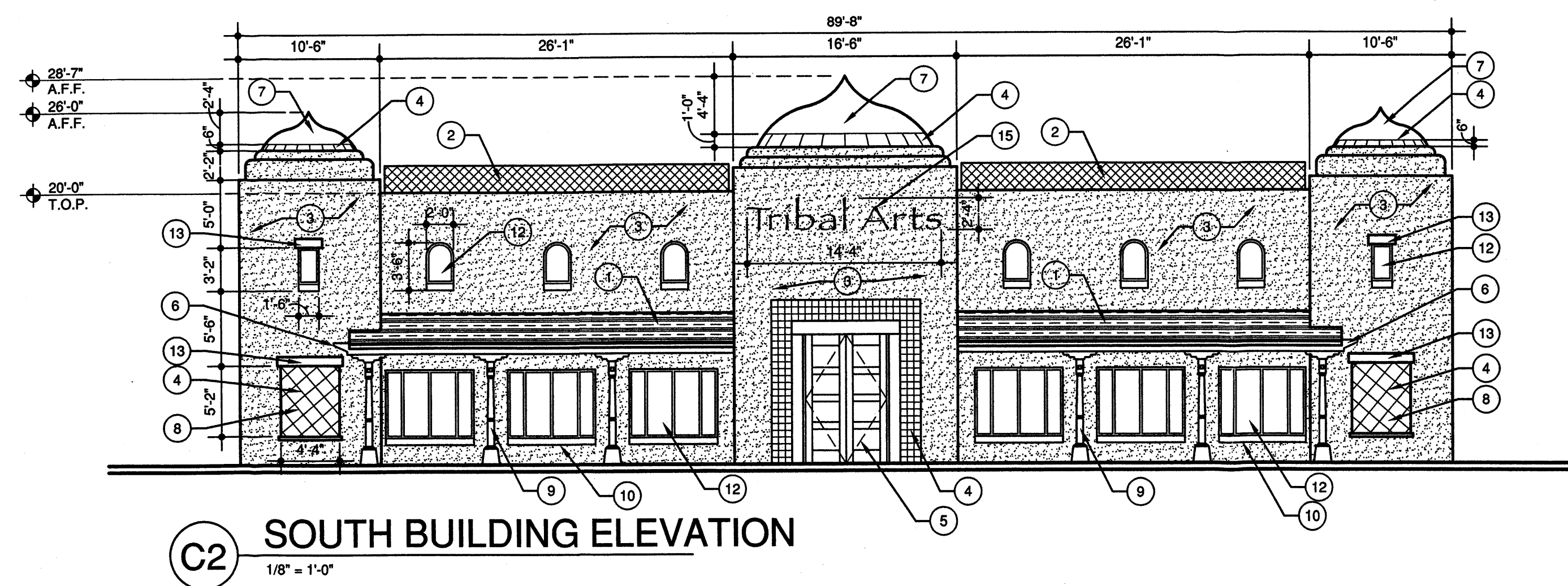
GENERAL NOTES:

1. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.

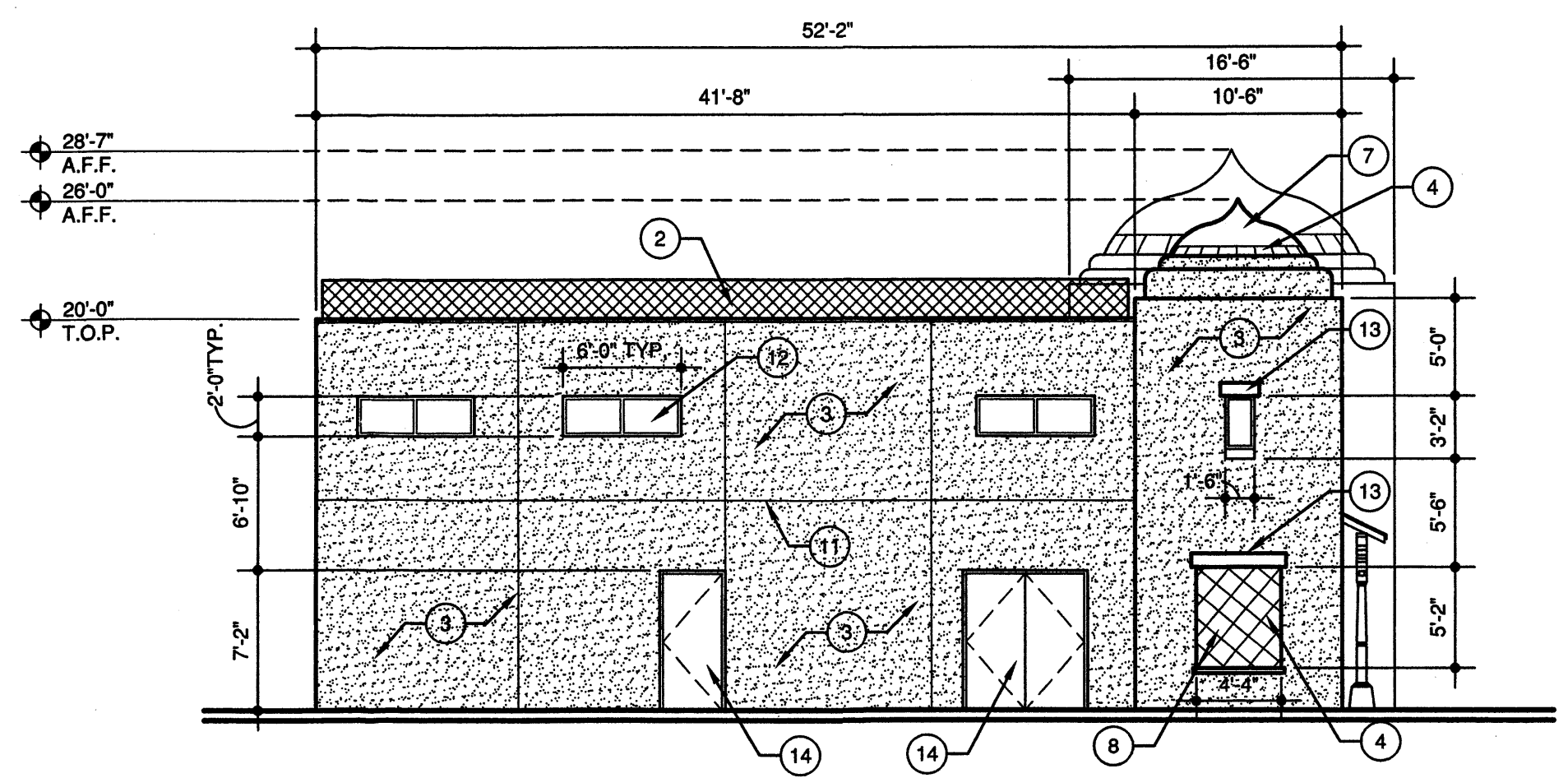
LEGEND

- EXISTING STORM SEWER INLET
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER DOUBLE "A" INLET
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM SEWER LINE
- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- NEW CURB
- FLOW ARROW
- PROPOSED SPOT ELEVATION
- PROPOSED VALLEY GUTTER
- PERMANENT STRIPING

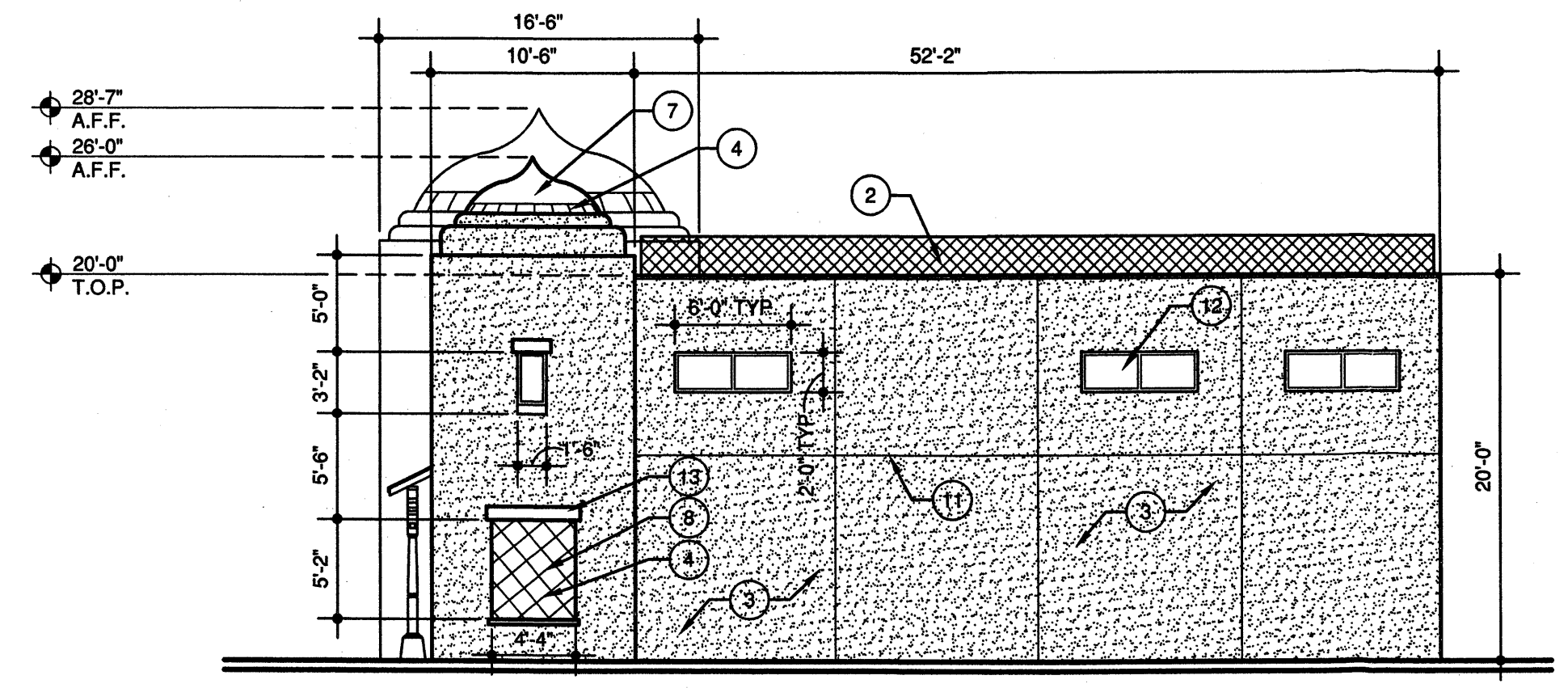
CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



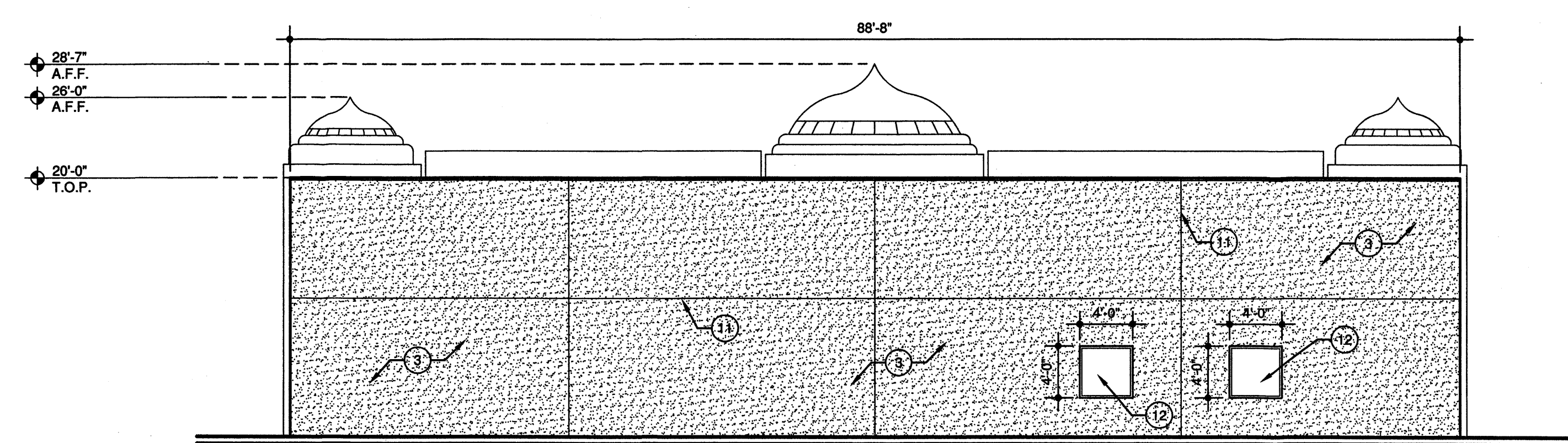
C2 SOUTH BUILDING ELEVATION
1/8" = 1'-0"



B2 WEST BUILDING ELEVATION
1/8" = 1'-0"

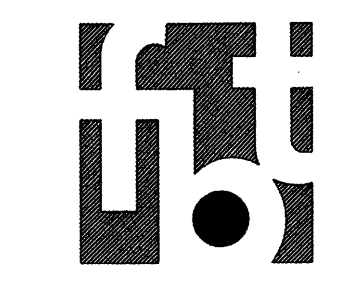


B4 EAST BUILDING ELEVATION
1/8" = 1'-0"



A2 NORTH BUILDING ELEVATION
1/8" = 1'-0"

- KEYED NOTES**
1. TERRA COTTA COLORED CLAY TILE ROOF.
 2. DECORATIVE WROUGHT IRON, NATURAL RUSTED FINISH.
 3. ORANGE BERRY STUCCO (BY EL REY STUCCO) TYP.
 4. BLUE CERAMIC TILE.
 5. DECORATIVE STAINED WOOD DOOR, BROWN.
 6. STAINED WOOD STRUCTURE, BROWN.
 7. FIBERGLASS ROOF DOME. COLOR TO MATCH TERRA-COTTA ROOF.
 8. RECESSED NICHE.
 9. DECORATIVE STAINED WOOD COLUMN, BROWN. TYP.
 10. PRECAST CONCRETE WINDOW SILL, TYP.
 11. STUCCO CONTROL JOINT, TYP.
 12. CLEAR WINDOW GLAZING, TYP.
 13. STAINED WOOD LINTEL, BROWN.
 14. HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STUCCO.
 15. RAISED LETTER BUILDING SIGNAGE.



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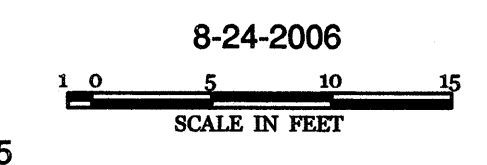
Tribal Arts
8150 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87113

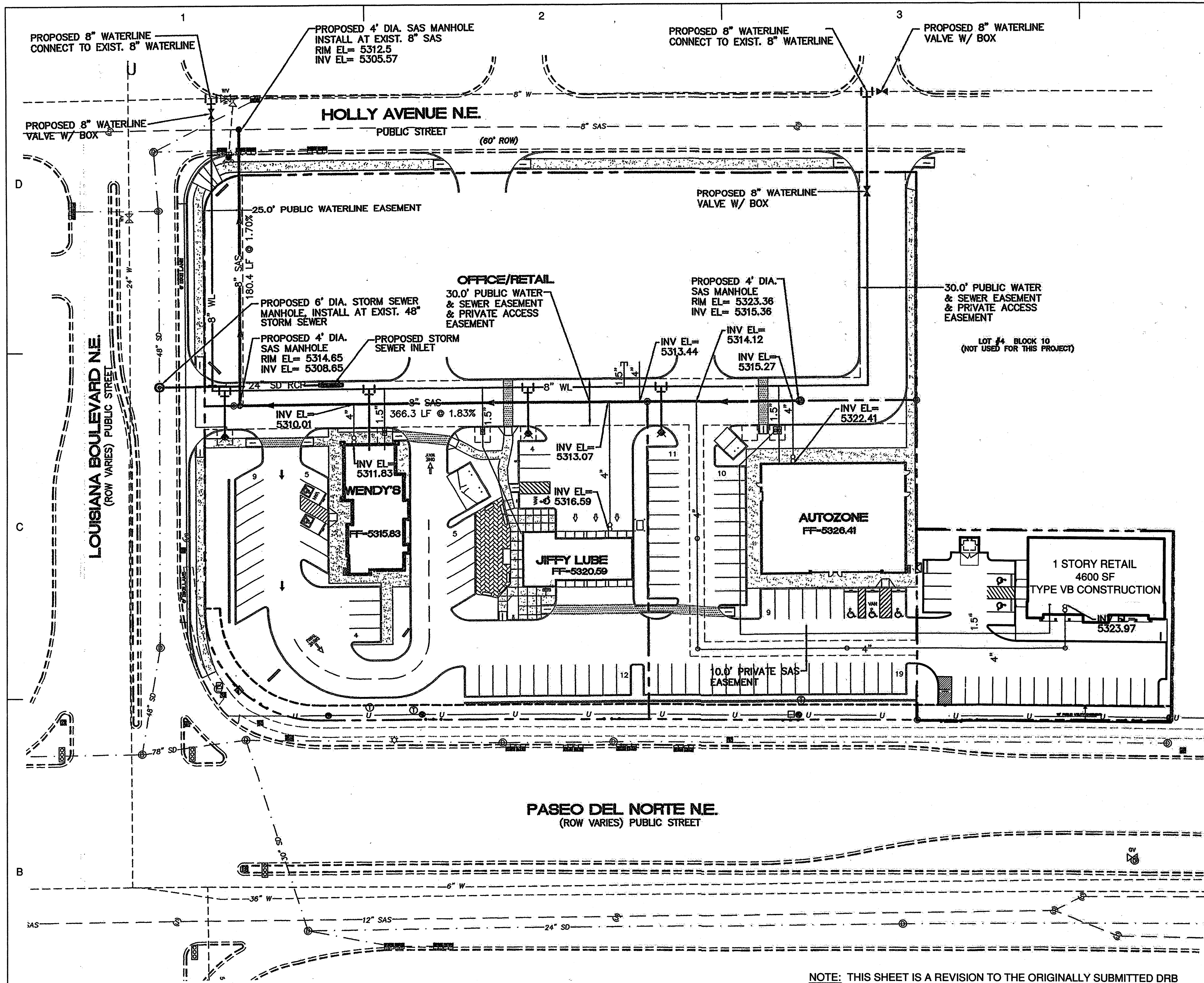
MARK	DATE	DESCRIPTION

PROJECT NO:	
CAD DWG FILE:	AS-101.DWG
DRAWN BY:	JLL
CHECKED BY:	JLL

SHEET TITLE
TRIBAL ARTS
BUILDING ELEVATIONS
LOUISIANA/PASEO

A-201



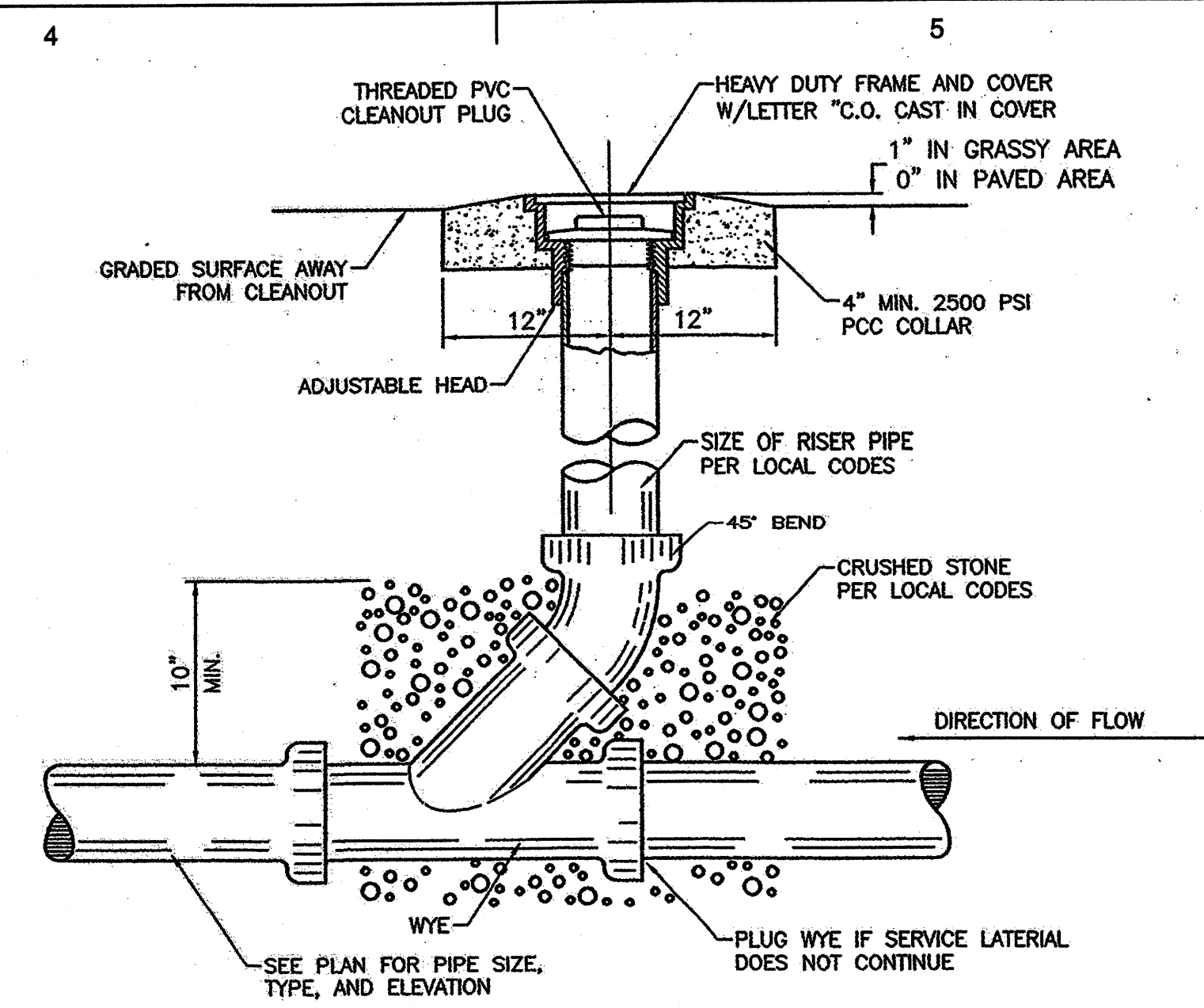
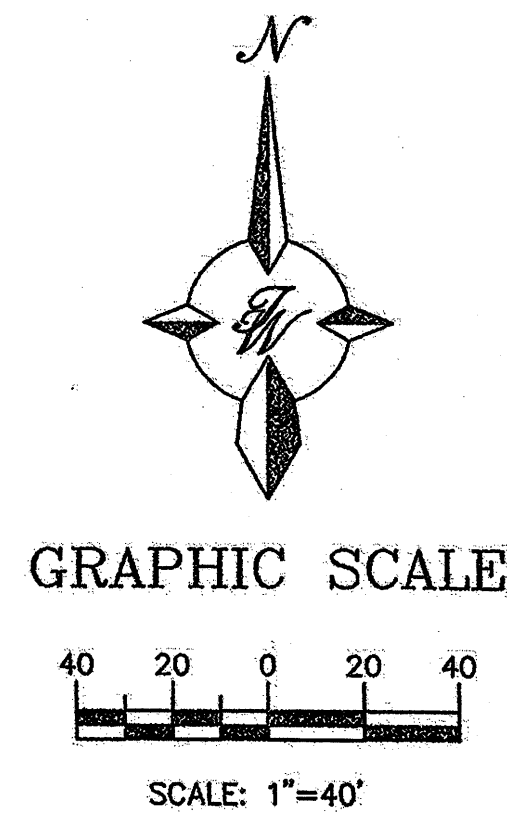


B2 UTILITY PLAN
1" = 40'

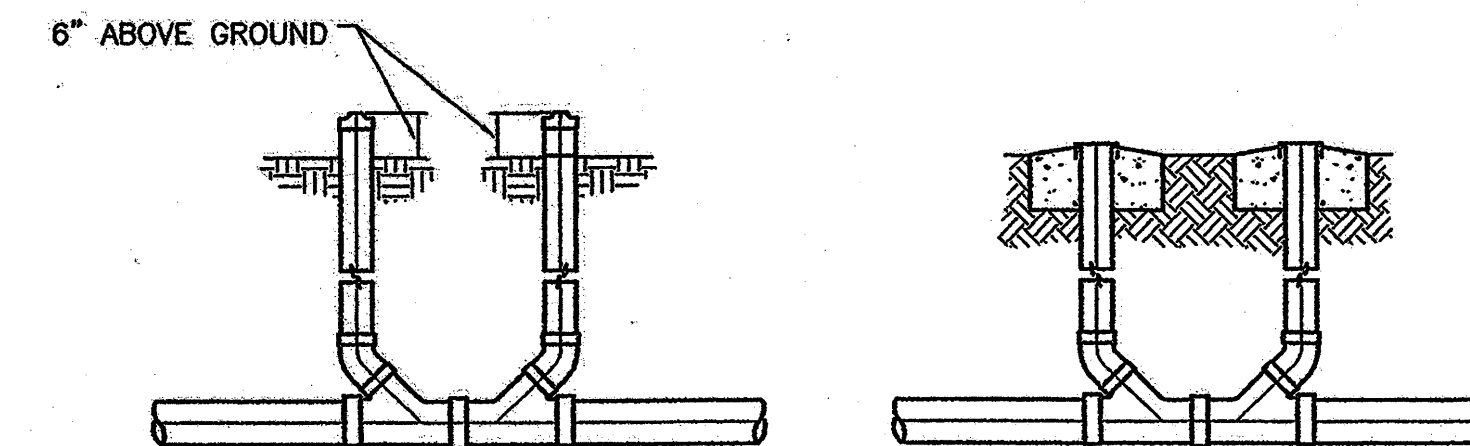
NOTE: THIS SHEET IS A REVISION TO THE ORIGINALLY SUBMITTED DRB PROJECT # 1003364 APPLICATION # 04DRB-01408 SHEET C5. REVISIONS INCLUDE THE PROPOSED NEW SITE LAYOUT ONLY (BUILDING SIZE, FOOTPRINT, AND PARKING). THERE HAVE BEEN NO REVISIONS TO THE OVERALL UTILITY LAYOUT OF THE SITE.

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

- GENERAL NOTES:**
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 - ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 - CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.



SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

LEGEND

- GAS VALVE
- TRAFFIC SIGNAL BOX
- CONTROL VALVE BOX
- ANCHOR
- OVERHEAD UTILITY LINES
- ACCESS CONTROL LINE
- GAS MANHOLE
- UTILITY PEDESTAL
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- EXISTING POWER POLE
- EXISTING SAS MANHOLE
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER INLET
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- PROPOSED SAS CLEAN-OUT
- PROPOSED SAS DOUBLE CLEAN-OUT
- EX. 8" SAS
- EX. 16" WL
- EX. 24" RCP
- EXISTING CURB & GUTTER
- PROPOSED METER
- PROPOSED VALVE W/BOX
- 6" SAS
- 24" RCP
- PROPOSED STORM SEWER LINE
- 8" WL
- BOUNDARY LINE
- EASEMENT
- STREET LIGHTS
- PROPOSED VALLEY GUTTER
- PERMANENT STRIPING

NOTICE TO CONTRACTORS:

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (505)765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



Fanning Bard Tatum Architects AIA, Ltd.

6100 Indian School Rd. NE Ste 210
Albuquerque NM 87110

Phone 505/883.5200
Facsimile 505/884.5390
Web www.fbtarch.com

CONSULTANT

Tribal Arts
8150 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87113

MARK	DATE	DESCRIPTION

PROJECT NO:
CAD DWG FILE: AS-101.DWG
DRAWN BY: JLL
CHECKED BY: JLL

SHEET TITLE

REVISED
SITE UTILITY PLAN

AS-103

8/24/2006

PASEO PLACE

8130 Louisiana NE
Albuquerque, NM
DRB-SUBMITTAL

APPROVED - AEHD	
SIGNATURE	DATE

TABLE OF CONTENTS

SHEET TITLE	NUMBER
COVER SHEET	CS-1
ARCHITECTURAL SITE PLAN	SP-1
CIVIL	
CONCEPTUAL GRADING AND UTILITY PLAN	C1
LANDSCAPE	
LANDSCAPE PLAN	L-1
ARCHITECTURAL	
BUILDING ELEVATIONS	A-1
BUILDING ELEVATIONS	A-2

PROJECT DATA

AREA SUMMARY	
OFFICE SUITE 1	1,560 SF
OFFICE SUITE 2	1,560 SF
OFFICE SUITE 3	1,560 SF
OFFICE SUITE 4	1,560 SF
OFFICE SUITE 5	1,560 SF
TOTAL GROSS BUILDING AREA	7,800 SF

CODE INFORMATION:

INTERNATIONAL BUILDING CODE, IBC-2003
 ZONE: SU-2 MIXED USE
 SEISMIC ZONE: 2B
 OCCUPANCY GROUP: B
 ZONE ATLAS : C-19-Z
 LEGAL DESCRIPTION: LOT 1-A-1-A-2, BLOCK 10,
 NORTH ALBUQUERQUE ACRES,
 TRACT 2, UNIT 3

TYPE OF CONSTRUCTION:	V-B
GROSS BUILDING AREA	
OFFICE SUITE 1-	1,560 SF
OFFICE SUITE 2-	1,560 SF
OFFICE SUITE 3-	1,560 SF
OFFICE SUITE 4-	1,560 SF
OFFICE SUITE 5-	1,560 SF
TOTAL AREA =	7,800 sf
ALLOWABLE AREA	
BASIC ALLOWABLE AREA	9,000 SF

PROJECT TEAM

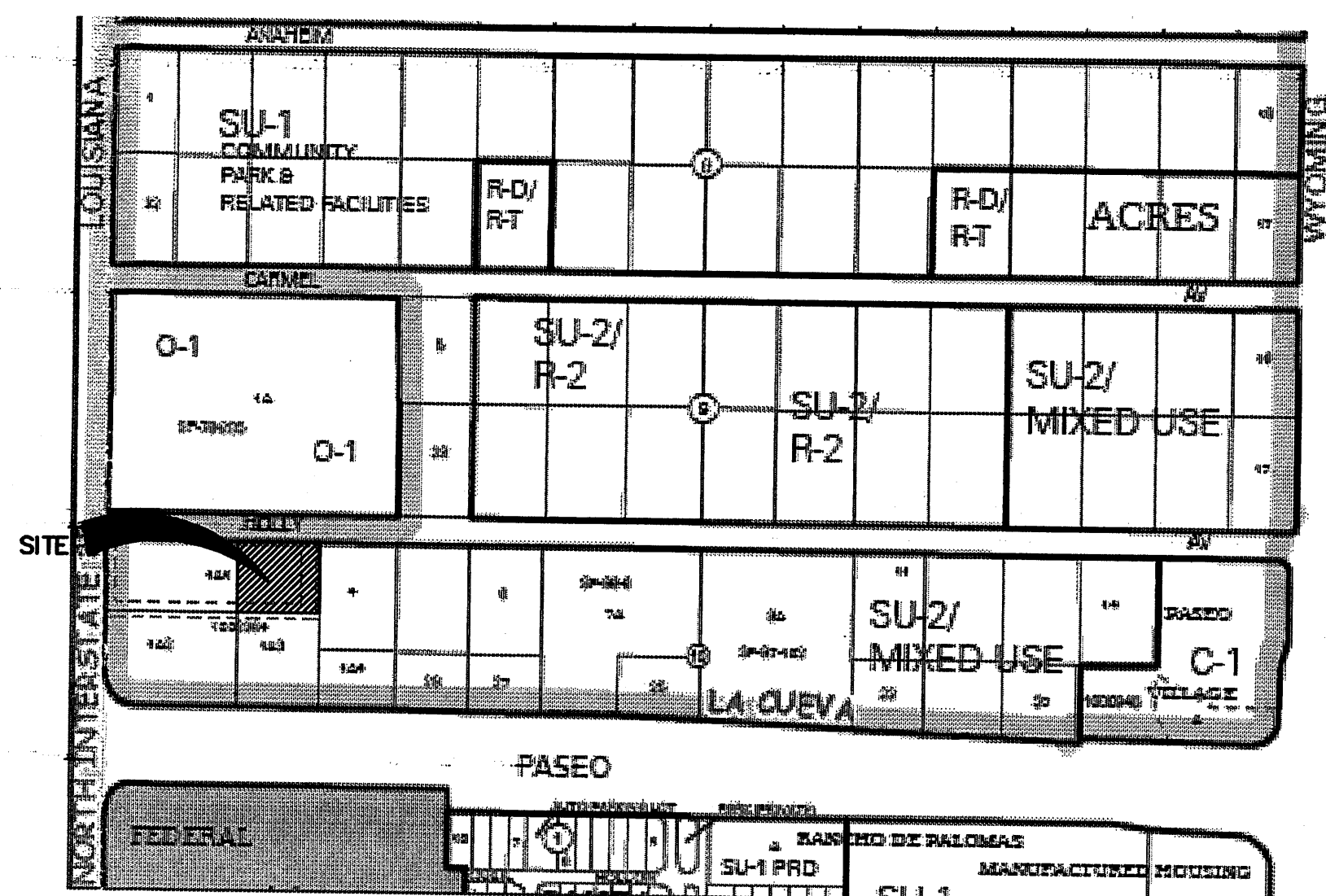
ARCHITECT: TAFAZZUL HUSSAIN
 AFRA CONSTRUCTION AND DESIGN
 2501 YALE BLVD. SUITE 102
 ALBUQUERQUE, NEW MEXICO 87106
 CELL: (505) 315-1482
 FAX: (505) 243-1561
 CONTACT: TAFAZZUL HUSSAIN, AIA
 email: thussain@egacy-hospitality.com

CIVIL: DAVE THOMPSON
 THOMPSON ENGINEERING CONSULTANTS, INC.
 P.O. BOX 65760
 ALBUQUERQUE, NEW MEXICO 87193
 TEL: (505) 271-2199
 FAX: (505) 830-9248
 CONTACT: DAVE THOMPSON
 email: tecnm@yahoo.com

LANDSCAPE: HILLTOP
 7909 EDITH NE
 ALBUQUERQUE, NEW MEXICO 87184
 TEL: (505) 898-9690
 FAX: (505) 898-7737
 email: cmd@hilltoplandscaping.com

PARKING REQUIREMENTS

OFFICES	32 PARKING SPACES
PROVIDED PARKING	30 PARKING SPACES
ACCESSIBLE PARKING	2 SPACES REQUIRED
	2 SPACES PROVIDED
TOTAL PROVIDED PARKING	32 SPACES PROVIDED



LOCATION MAP
 ZONE ATLAS: C-19-Z

COVER SHEET

NORTH SCALE: NTS

Afra Construction & Design
 2501 Yale Blvd. Suite 102
 Albuquerque, New Mexico 87106
 Tel: 505.315.1482
 Fax: 505.243.1561

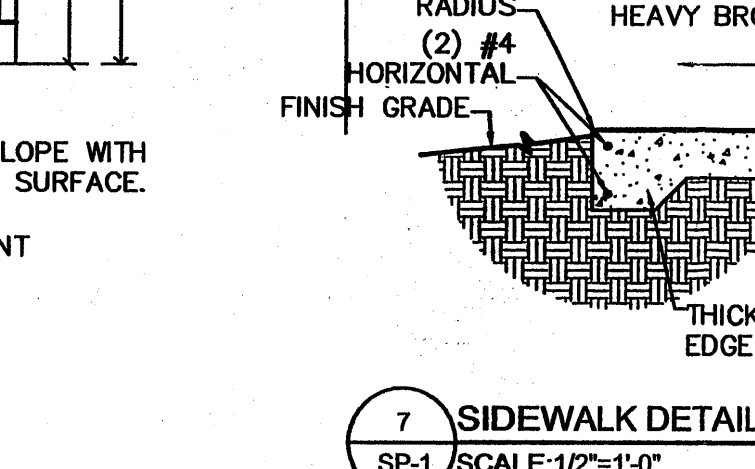
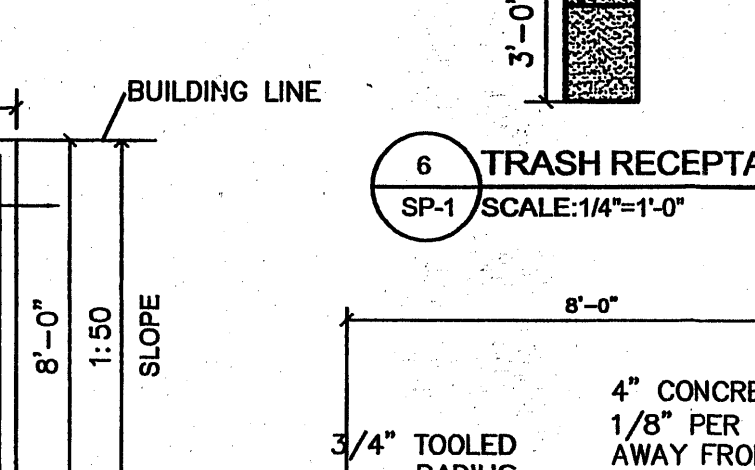
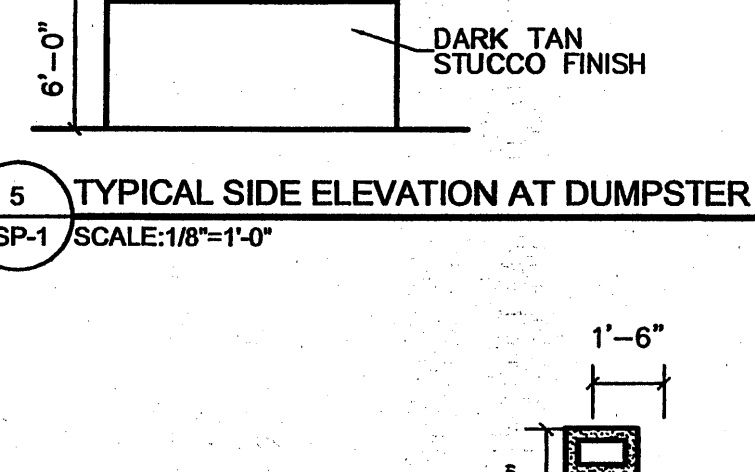
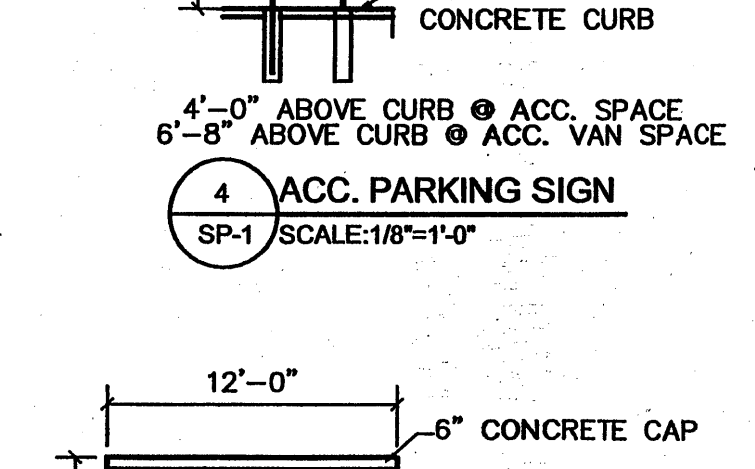
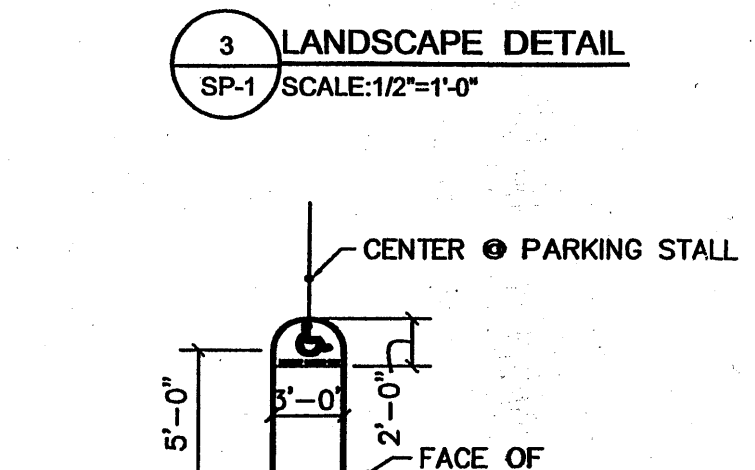
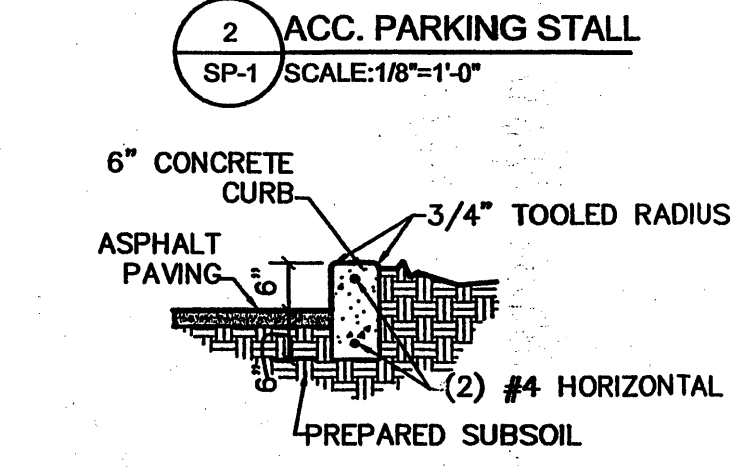
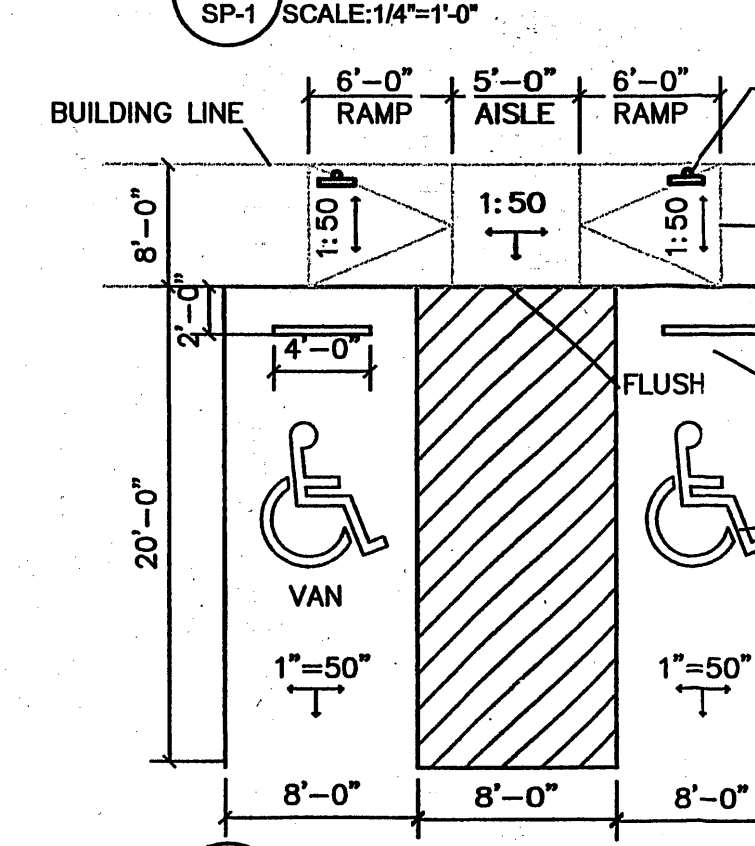
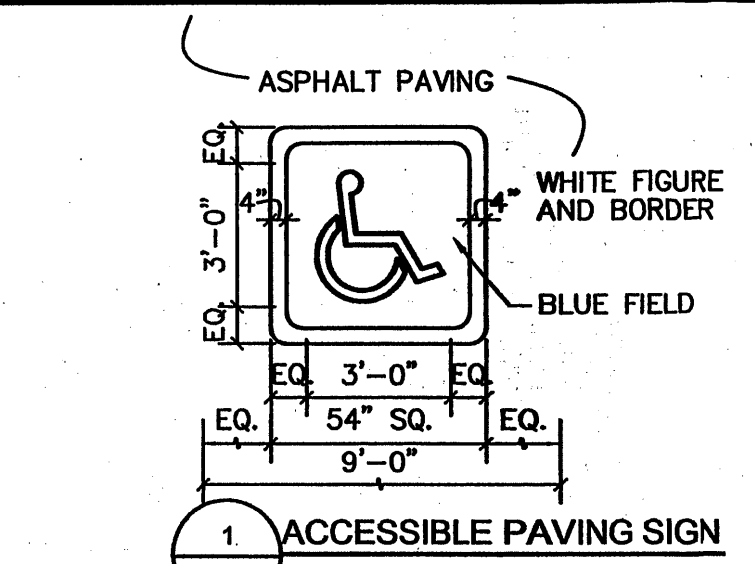
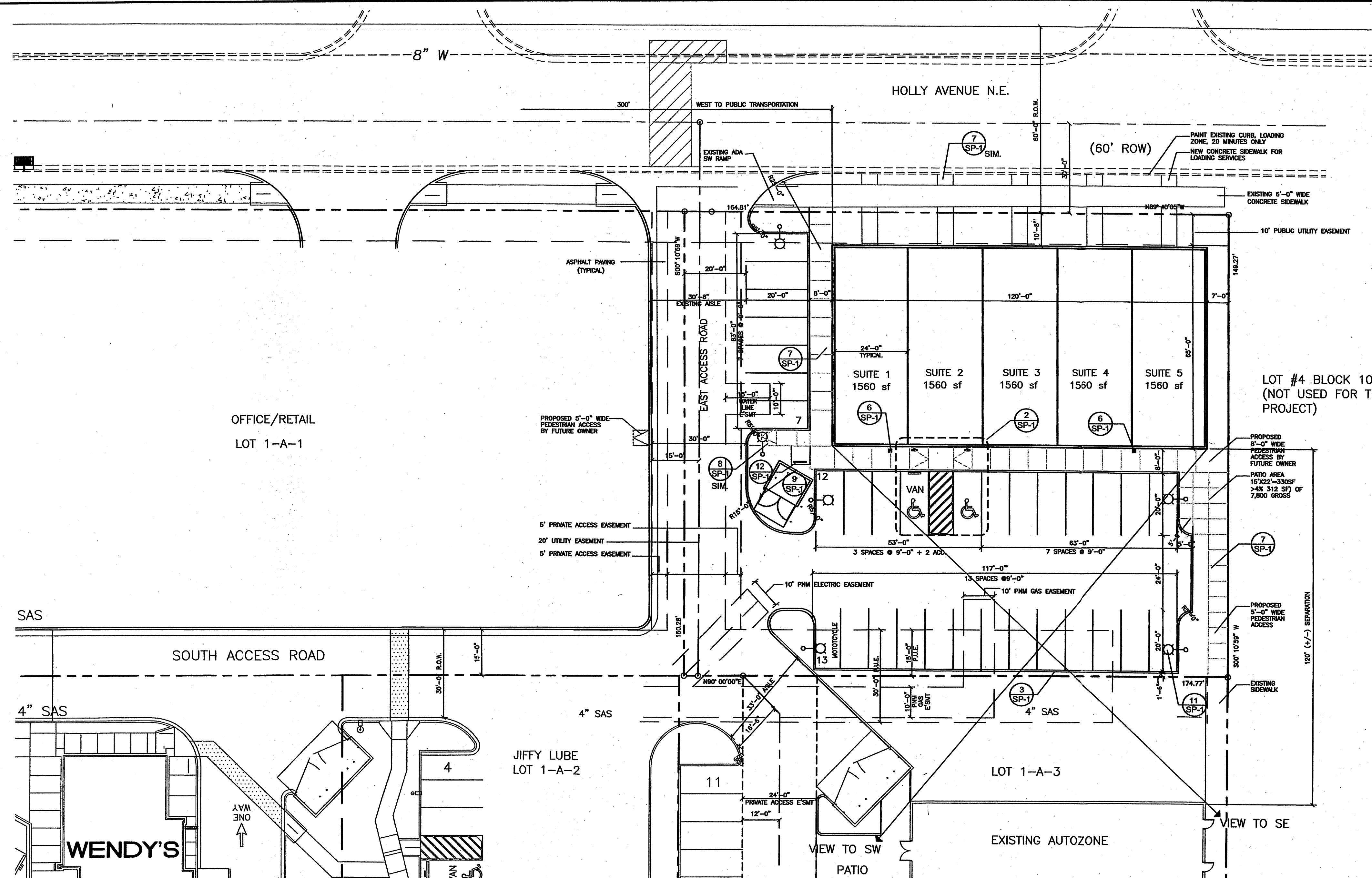
Paseo Place
 8130 Louisiana NE
 Albuquerque, NM 87113

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

CS-1

04.03.06

APRIL 4, 2006

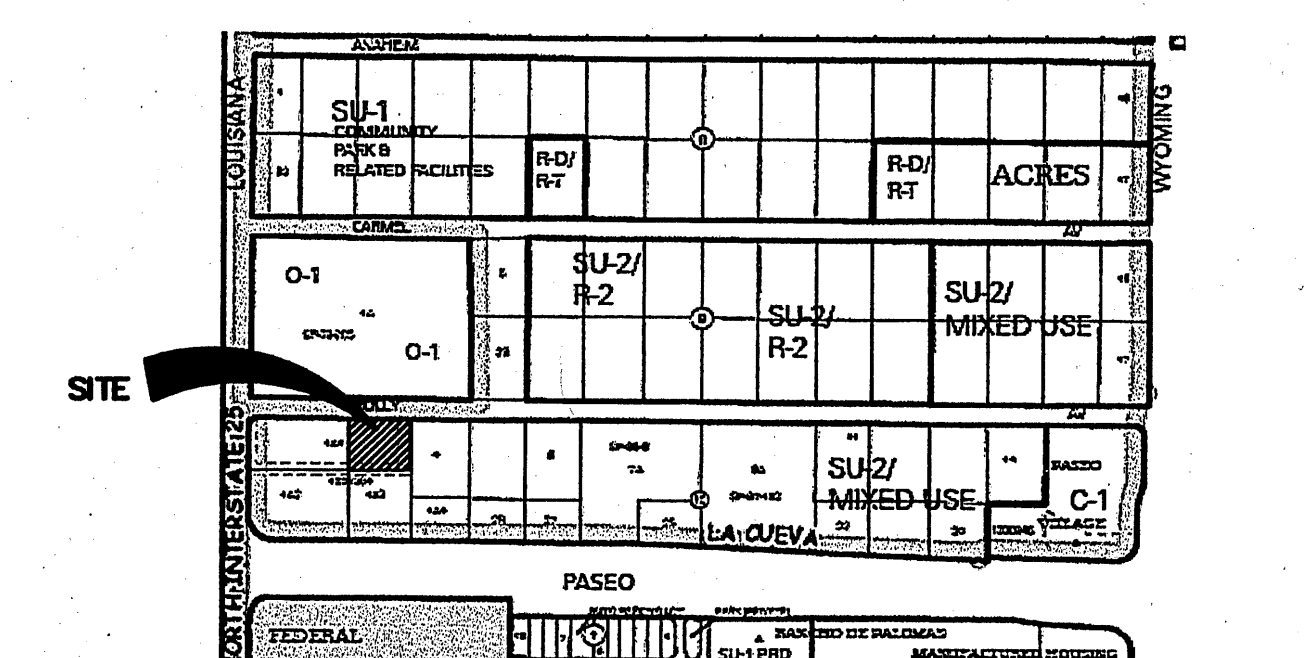


PROJECT DATA
 LEGAL DESCRIPTION:
 LOT 1-A-1-A-2, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3.
 EPC PROJECT NO. 1003364
 (FORMELY NO. 1004654)
 CASE NO. 06EPC-00078
 PART OF UPC # 101906402303630130
 ZONING: SU-2/MIXED USE
 ZONE ATLAS MAP: C-19-Z
 NOTE
 ALL PUBLIC INFRASTRUCTURE REQUIRED FOR THIS PROJECT SHALL COMPLY WITH CITY OF ALBUQUERQUE STANDARDS, AS FOLLOWS:
 1. SIDEWALKS (STD. DWG. 2430)
 2. DRIVEWAYS (STD. DWG. 2425)
 3. PRIVATE ENTRANCES (STD. DWG. 2426)
 4. WHEEL CHAIR RAMP (STD. DWG. 2441)
 TOTAL GROSS AREA = 7,800 SF
 NON-USABLE SF = 2040 SF
 USABLE SF = 5760 SF
 TOTAL PARKING SPACES REQUIRED = 29 SPACES
 TOTAL PARKING SPACES PROVIDED = 32 SPACES
 ACCESSIBLE PARKING = 2 SPACES
BIKE TABULATION
 1 BIKE PER 20 PARKING SPACES
 2 BIKE RACKS REQUIRED
 3 BIKE RACKS PROVIDED

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

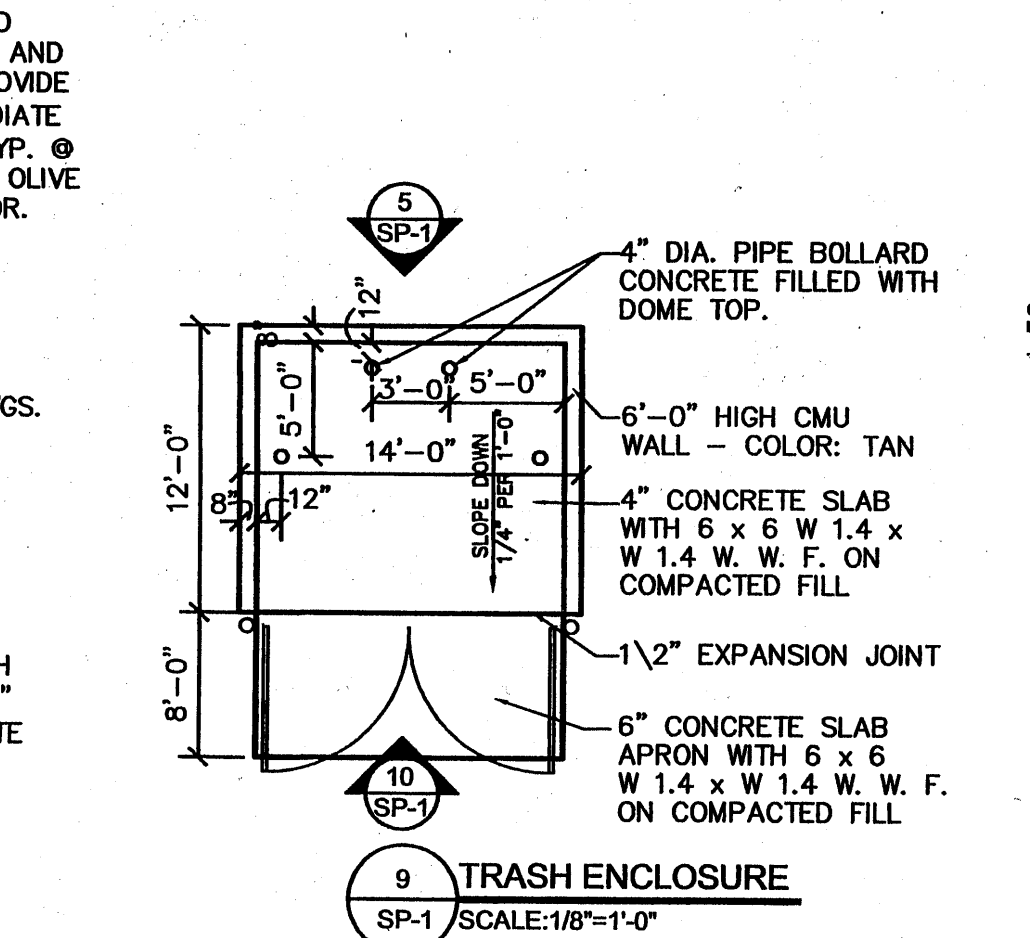
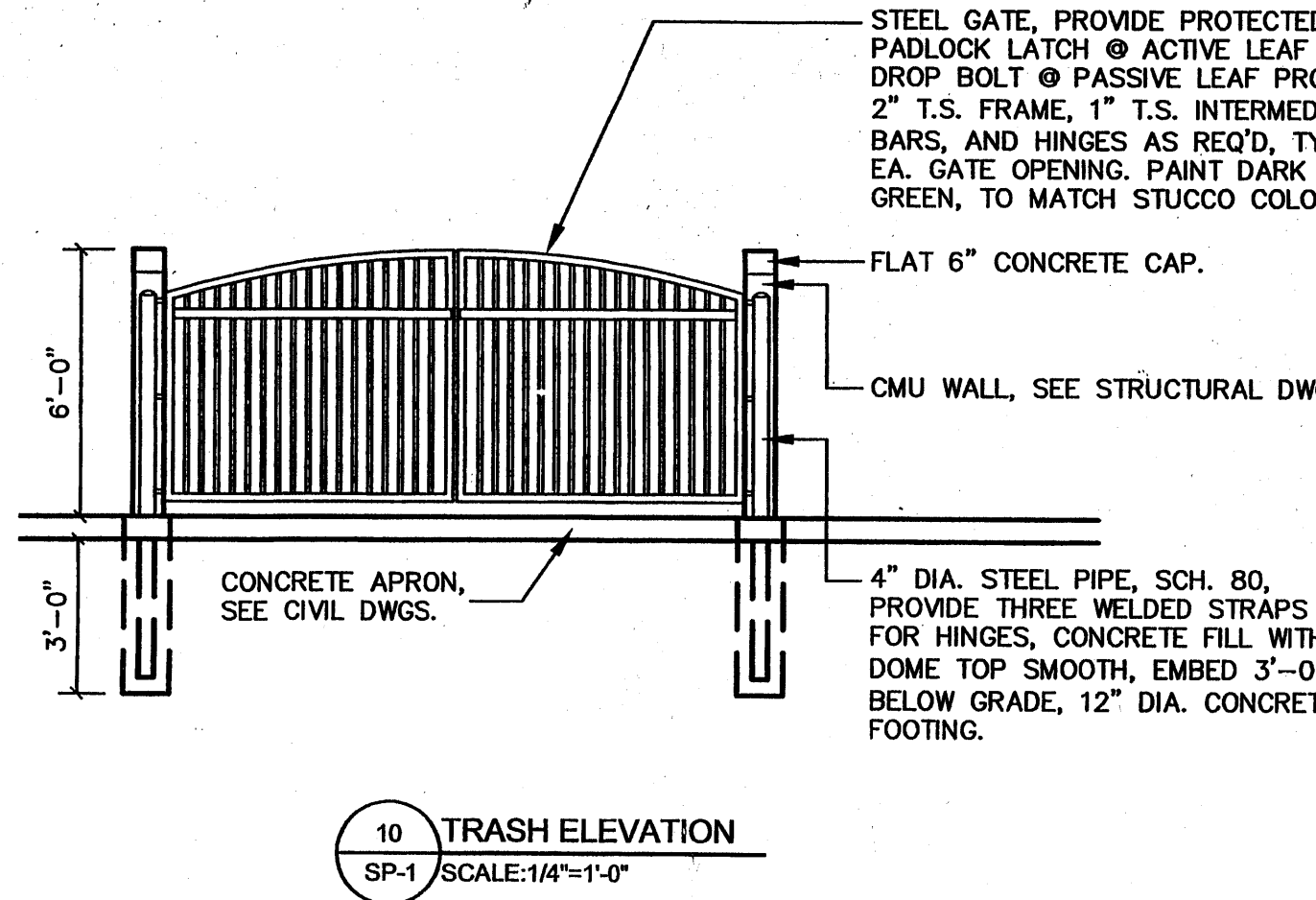
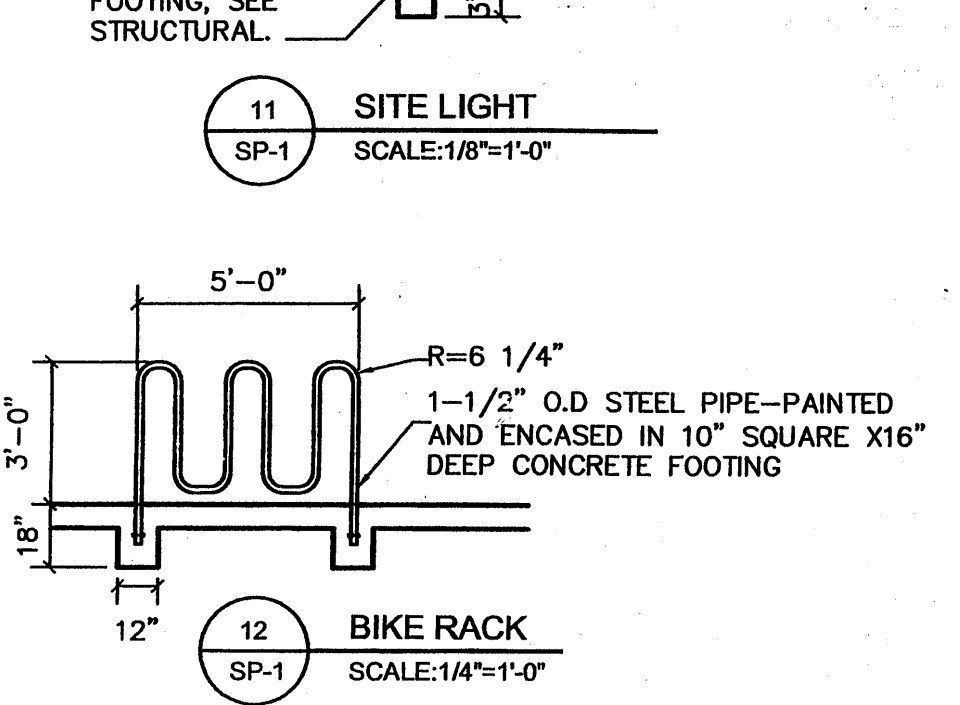
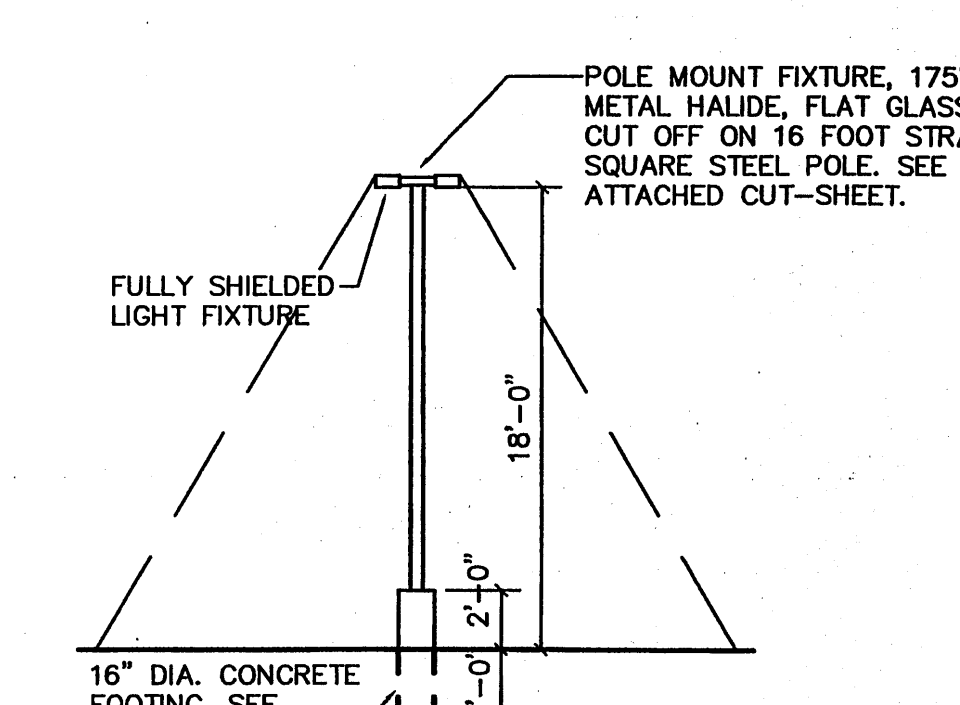
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.
 IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
Michael Holton	4/3/06
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



VICINITY MAP
 ZONE ATLAS: C-19-Z
 STATE OF NEW MEXICO
 TAFAZZUL HUSSAIN
 NO. 3071
 REGISTERED ARCHITECT
 4/3/06

SITE PLAN
 SCALE: 1" = 20'-0"
 NORTH
 Afra Construction & Design
 2501 Yale Blvd, Suite 102
 Albuquerque, New Mexico 87106
 Tel: 505.315.1482
 Fax: 505.243.1561
 301 Louisiana NE
 Albuquerque, NM 87113
 APPROVED BY DRB
 ON 4/12/06
 GRAPHIC SCALE
 0' 2' 5' 10' 20'
 03.29.06



FD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 Signature & Date

SITE PLAN
 SCALE: 1" = 20'-0"

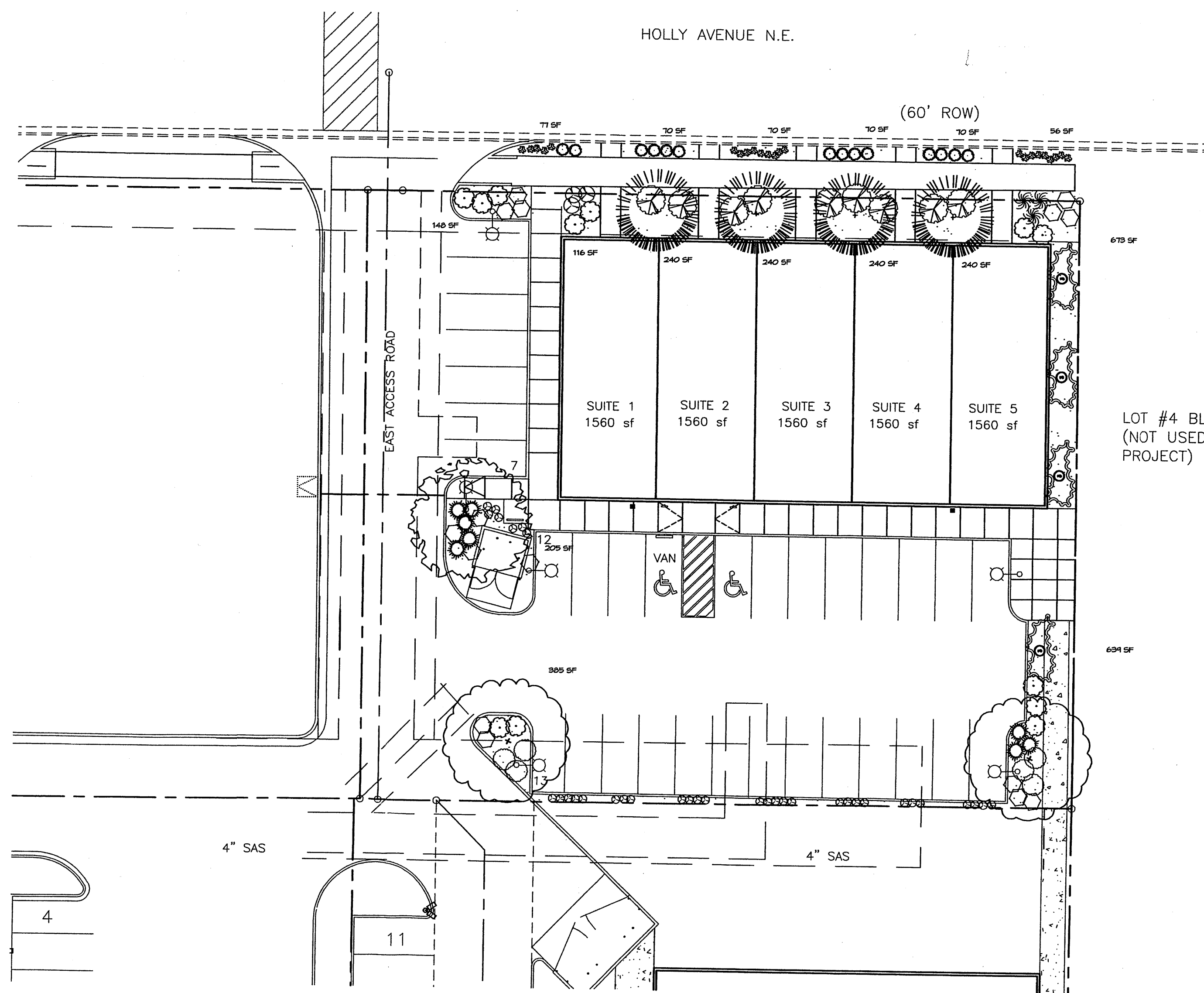
TRASH ENCLOSURE
 SP-1 SCALE: 1/8" = 1'-0"

ACCESSIBLE SIDEWALK RAMP
 SP-1 SCALE: 1/4" = 1'-0"

TYPICAL SIDE ELEVATION AT DUMPSTER
 SP-1 SCALE: 1/8" = 1'-0"

TRASH RECEPTACLE
 SP-1 SCALE: 1/4" = 1'-0"

SIDEWALK DETAIL
 SP-1 SCALE: 1/2" = 1'-0"



LOT #4 BLOCK 10
(NOT USED FOR THIS PROJECT)

PLANT LEGEND

- ASH (H) OR HONEY LOCUST (H) 1
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
60' at maturity
- PURPLE ROBE LOCUST (M) 2
Robinia ambigua
2" Cal.
40' at maturity
- APACHE PLUME (L) 6
Fallugia paradoxa
5 Gal. 25sf
6' at maturity
- LANAX/ SCOTCH BROOM (M) 11
Cytisus scoparius/
Genista hispanica
5 Gal. 45F
4' at maturity
- MAIDEN GRASS (M) 3
Miscanthus sinensis
5 Gal. 16sf
5' at maturity
- NANDINA (M) 12
Nandina domestica
5 Gal. 25sf
8' at maturity
- AUTUMN SAGE (M) 15
Salvia greggii
1 Gal. 4sf
2' at maturity
- AUSTRIAN PINE (M) 4
Pinus nigra
8'-10'
35' at maturity
- BLUE AVENA GRASS (M) 23
Helictotrichon sempervirens
1 Gal. 3sf
2' at maturity
- HALLS HONEYSUCKLE (M) 4
Japonica Halliana
1 Gal. 144sf
Unstaked-Groundcover
3' at maturity
- LAVENDER (M) 14
Lavandula angustifolia
1 Gal. 4sf
3' at maturity
- WILDFLOWER 46
1 Gal. 4sf
2' at maturity
- GREYLEAF COTONEASTER (M) 4
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
3' at maturity
- SANTA FE BROWN GRAVEL
WITH FILTER FABRIC

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.
Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

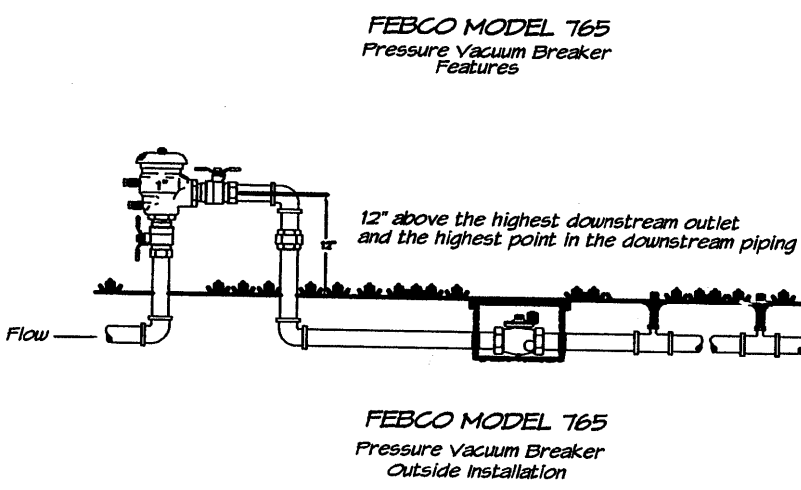
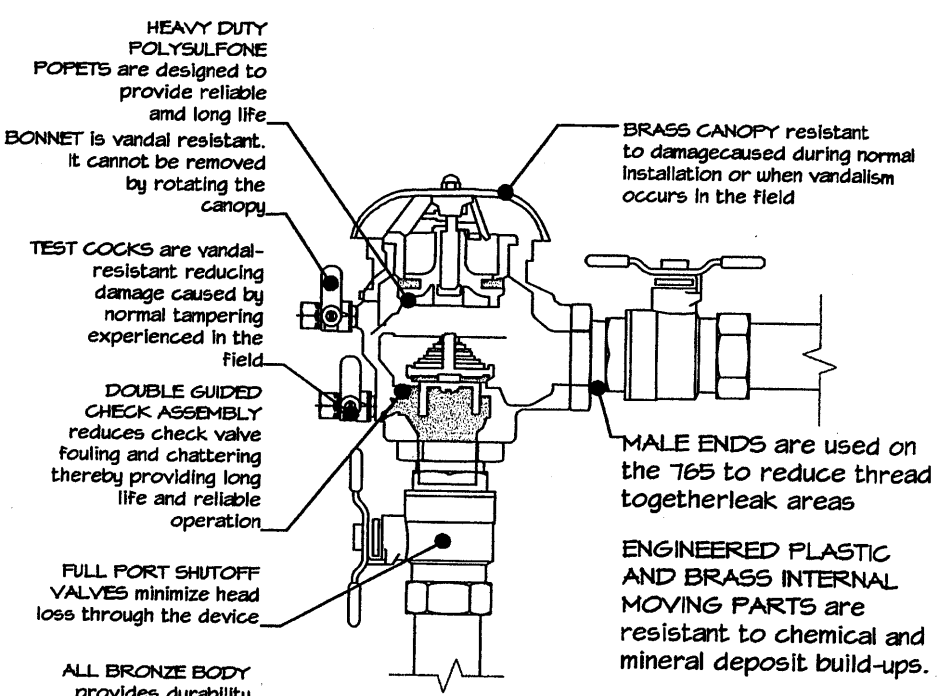
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

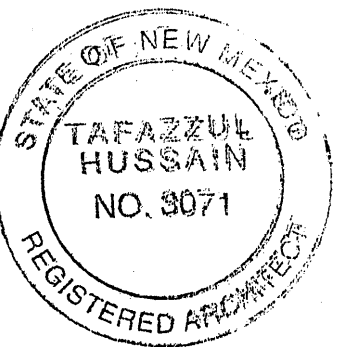
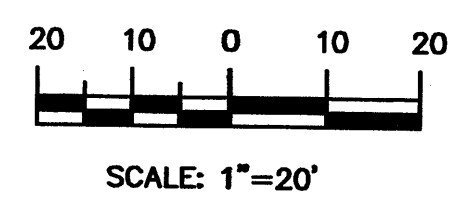


FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	27084	square feet
TOTAL BUILDINGS AREA	7748	square feet
OFFSITE AREA	599	square feet
NET LOT AREA	18687	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	2803	square feet
TOTAL BED PROVIDED	3751	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	2813	square feet
TOTAL GROUND COVER PROVIDED	2904 (77%)	square feet
TOTAL LANDSCAPE PROVIDED	3751	square feet

GRAPHIC SCALE



The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cjohnson@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.

LANDSCAPE PLAN

NORTH SCALE: 1" = 20'-0"

Afra Construction & Design

2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.315.1482
Fax 505.243-1561

Paseo Place

8130 Louisiana NE
Albuquerque, NM 87113

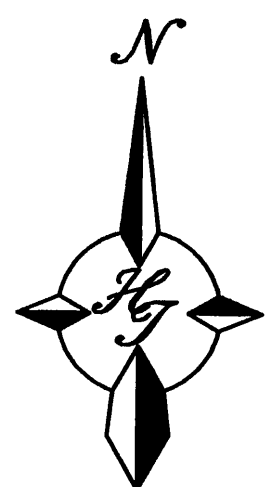
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2	ADF 03-28-06	EPC Comments	
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4			

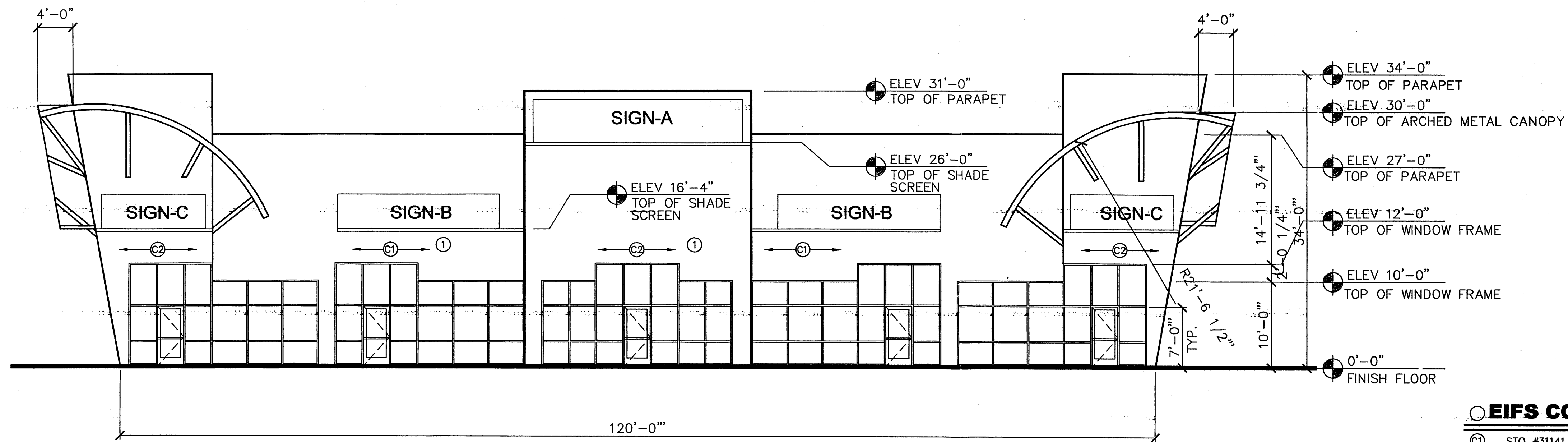
L-1

12-19-05

BACKFLOW PREVENTER DETAIL

not to scale

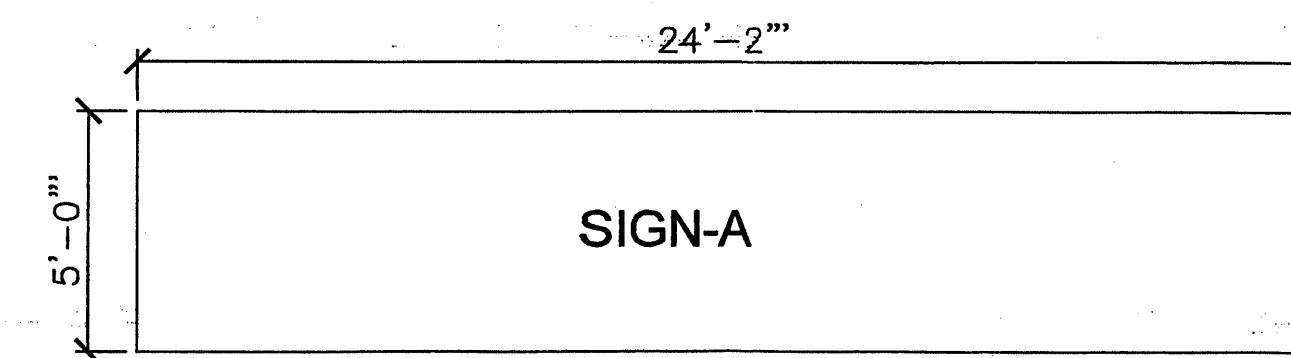




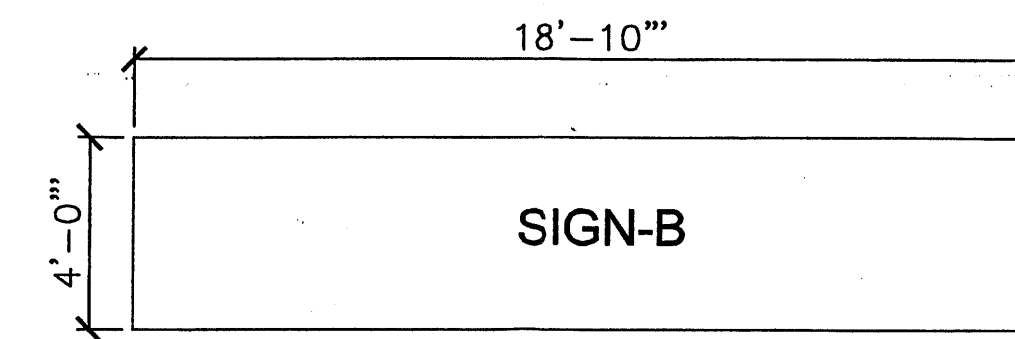
FRONT SOUTH ELEVATION
SCALE: 1/8"=1'-0"

EIFS COLOR LEGEND

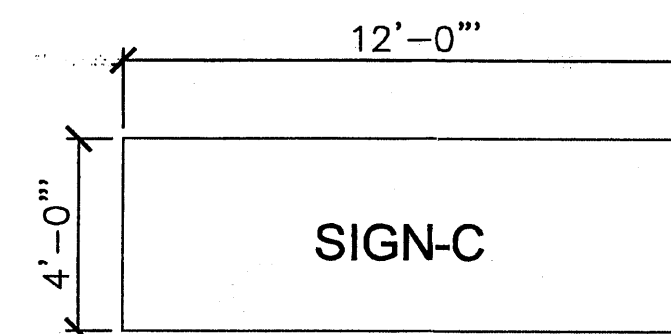
- Ⓢ STO #31141 - LIGHTNESS VALUE 19, C3 COLOR CLASS, DARK OLIVE GREEN.
- Ⓢ STO #32141 - LIGHTNESS VALUE 25, C3 COLOR CLASS MEDIUM BROWN.



BUILDING MOUNTED SIGN
SCALE: 1/4"=1'-0" SIGN AREA=121 SF

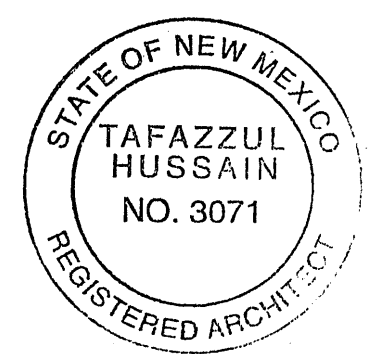


BUILDING MOUNTED SIGN
SCALE: 1/4"=1'-0" SIGN AREA=76 SF



BUILDING MOUNTED SIGN
SCALE: 1/4"=1'-0" SIGN AREA=48 SF

NOTE:
ALL SIGNAGE LETTERS ARE INDIVIDUALLY BACK LIGHTED AND 24" HIGH MAXIMUM, PER LA CUEVA SECTOR DEVELOPMENT PLAN, CHAPTER 5.4.6, GUIDELINE: 13 SIGNAGE, 13R-8 AND/OR 13R-9.



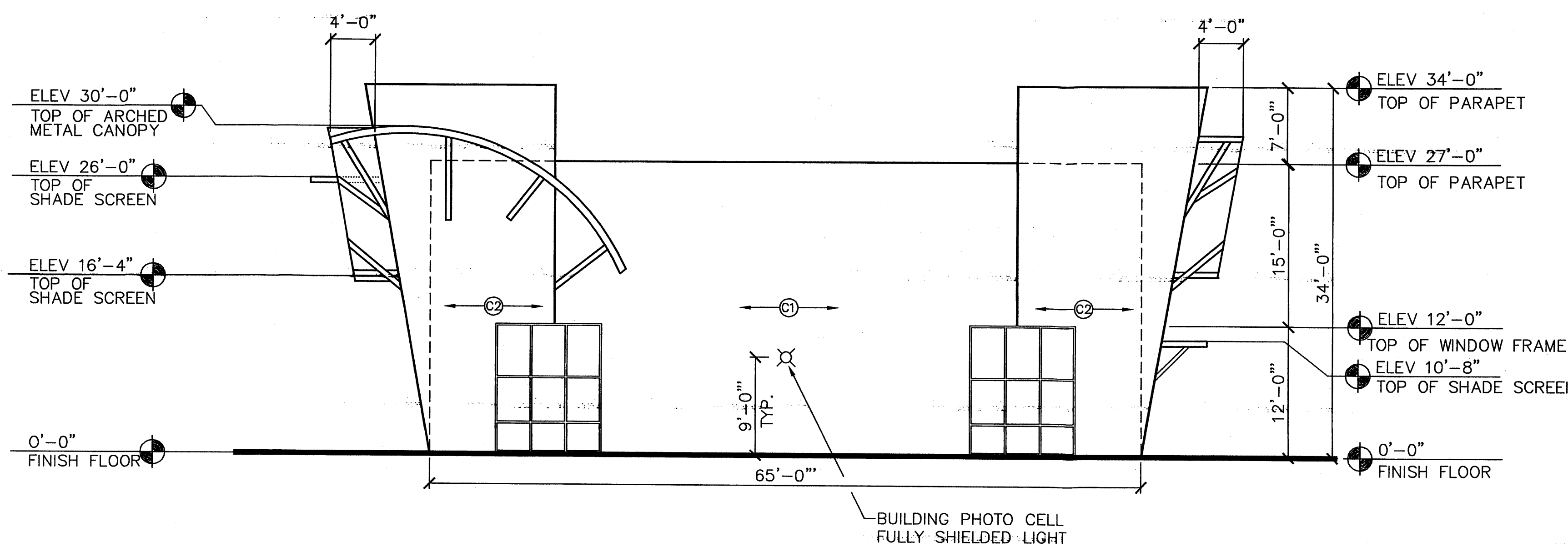
ELEVATIONS

NORTH SCALE: 1/8" = 1'-0"

Afra Construction & Design
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.315.1482
Fax 505.243.1561

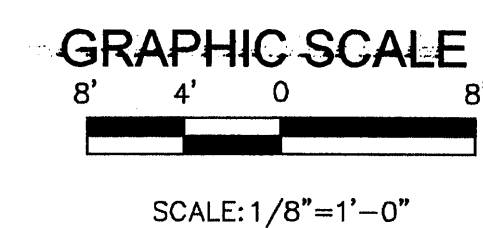
Paseo Place
8130 Louisiana NE
Albuquerque, NM 87113

REV	DATE	DESCRIPTION	APVD
1			
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SIDE EAST ELEVATION
SCALE: 1/8"=1'-0"

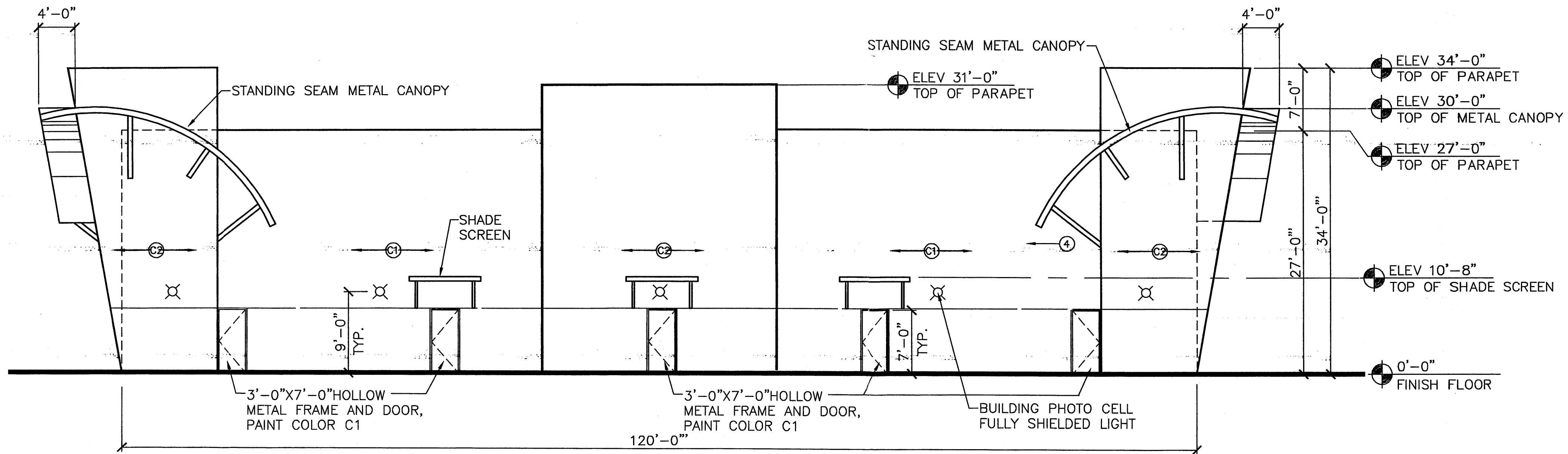
TOTAL FRONT ELEVATION AREA= 3,787 SF
ALLOWABLE SIGN AREA (25%)= 947 SF
PROPOSED SIGN AREA= 369 SF < 947 SF



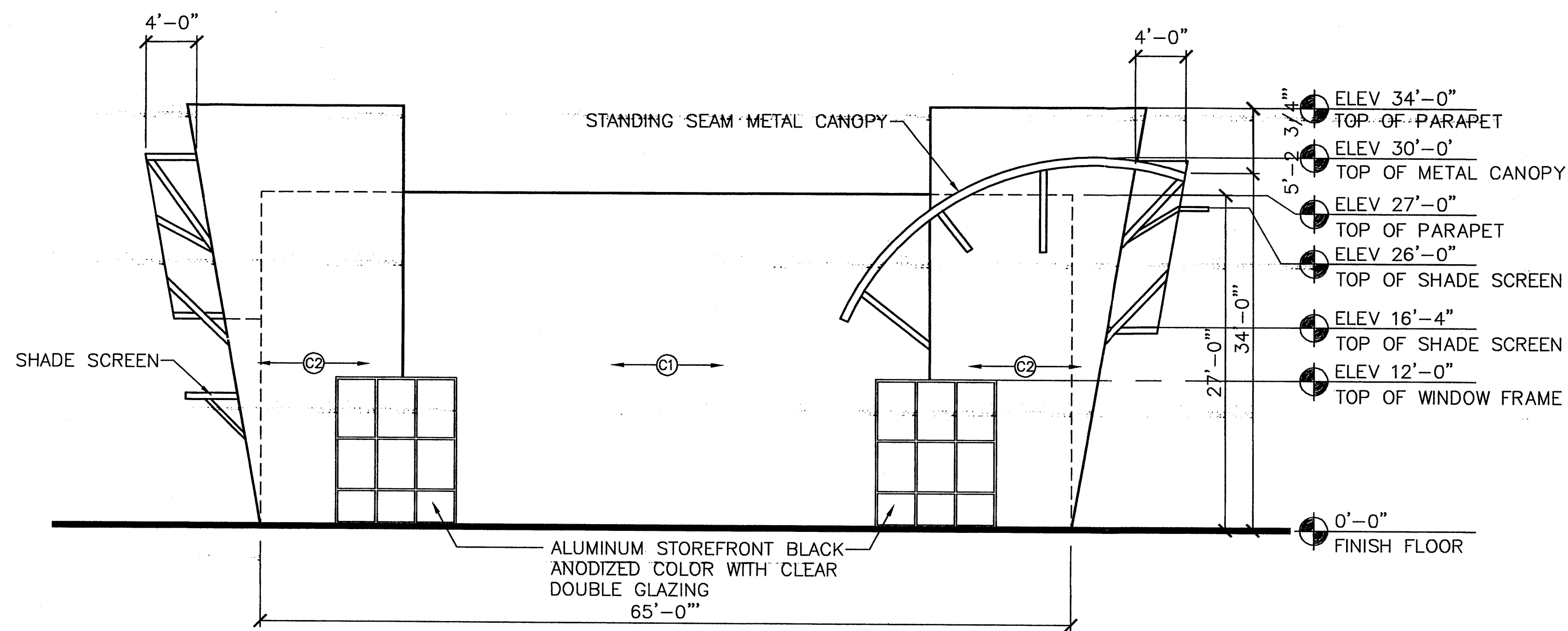
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04.03.06

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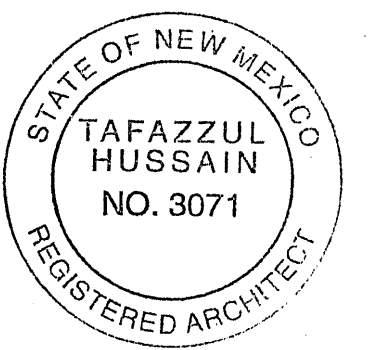
REAR NORTH ELEVATION
SCALE: 1/8"=1'-0"



SIDE WEST ELEVATION
SCALE: 1/8"=1'-0"

EIFS COLOR LEGEND

- ① STO #31141 - LIGHTNESS VALUE 19, C3 COLOR CLASS, DARK OLIVE GREEN.
- ② STO #32141 - LIGHTNESS VALUE 25, C3 COLOR CLASS, MEDIUM BROWN.



ELEVATIONS

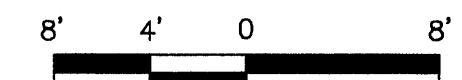
NORTH SCALE: 1/8" = 1'-0"

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Albuquerque, New Mexico 87106
Tel 505.315.1482
Fax 505.243.1561

Paseo Place
8130 Louisiana NE
Albuquerque, NM 87113

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

GRAPHIC SCALE

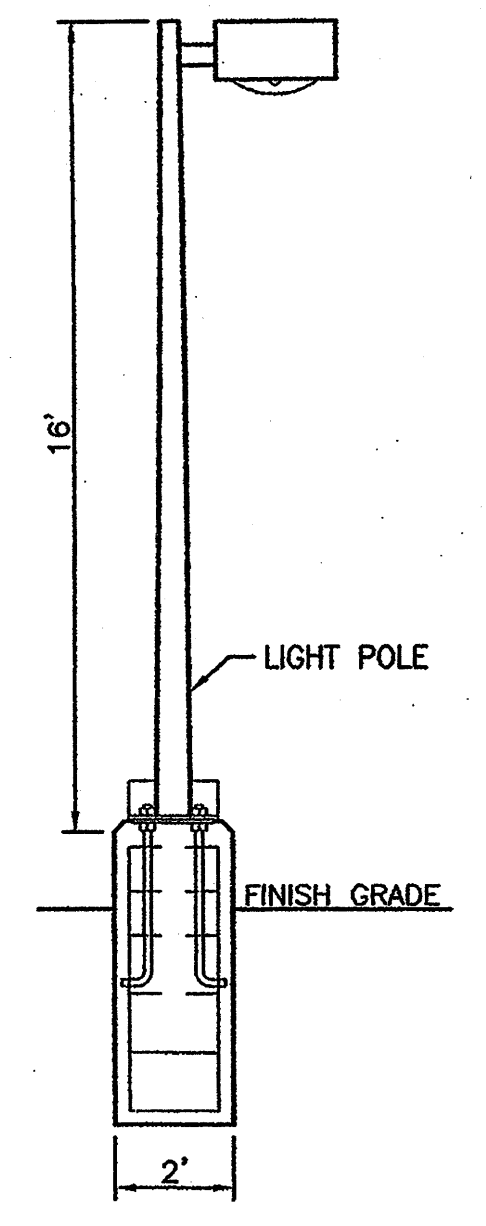
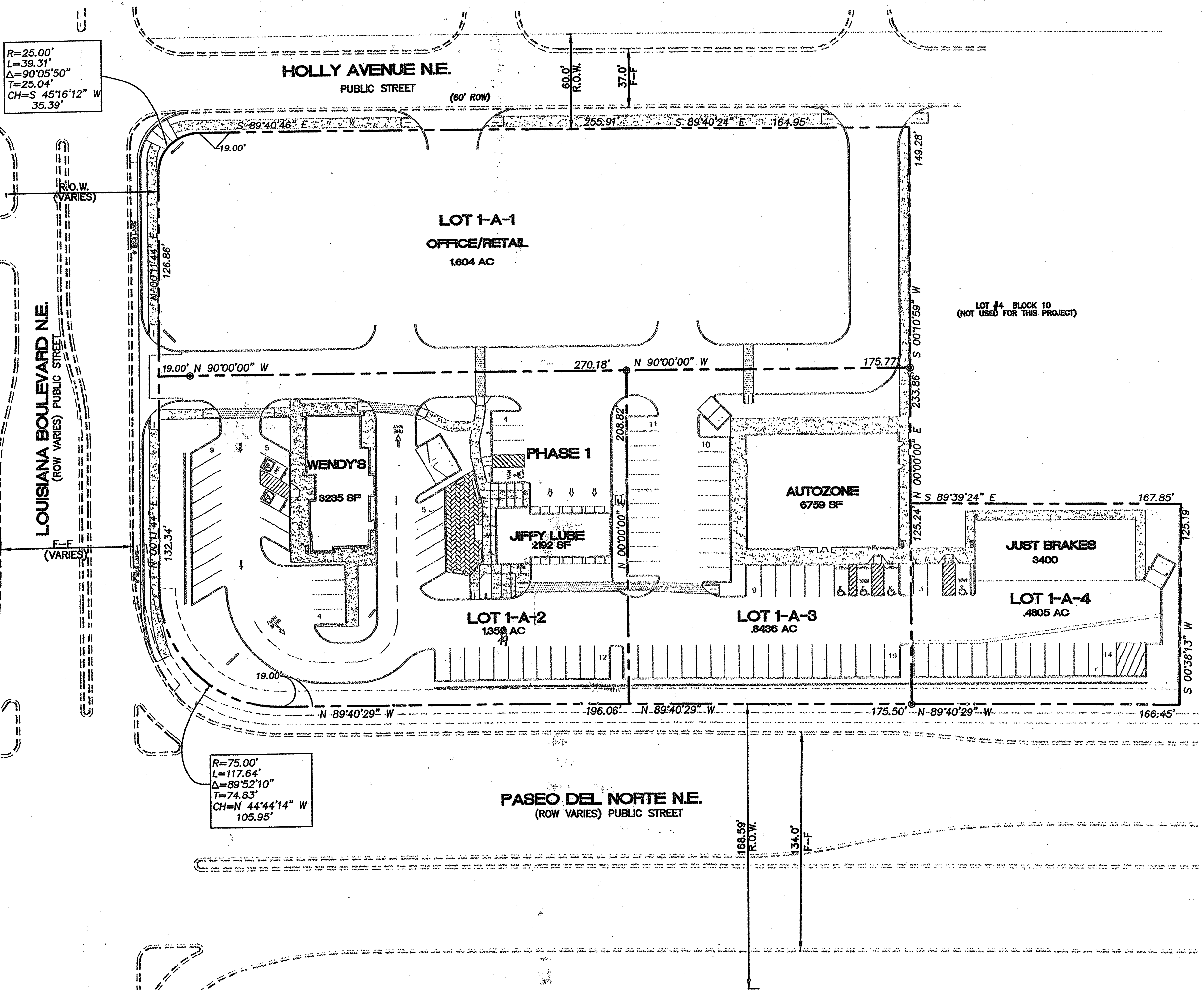


SCALE: 1/8"=1'-0"

C:\Projects\2\MARCH PROJECTS\PASEO PLACE\EPC-03-03-08\A2-EPC2-ELEV.DXF.dwg, 4/3/2006 9:30:48 AM

R=25.00'
L=39.31'
Δ=90°05'50"
T=25.04'
CH=S 45°16'12" W
35.39'

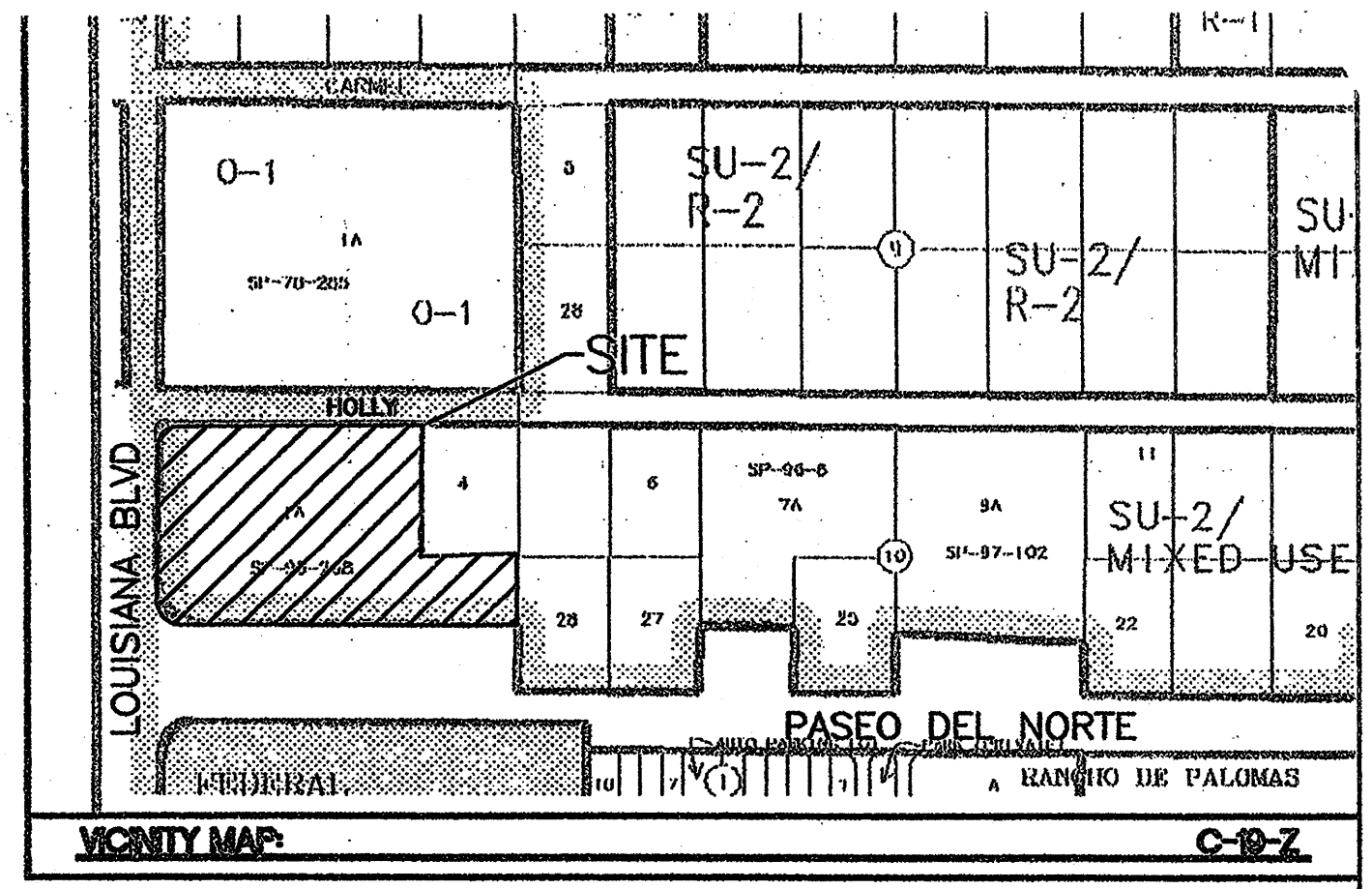
R=75.00'
L=117.64'
Δ=89°52'10"
T=74.83'
CH=N 44°44'14" W
105.95'



LIGHT POLE DETAIL
NTS

LEGEND

- CENTERLINE
- - - - - EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- RIGHT-OF-WAY
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- STRIPING
- PROPOSED BUILDING
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED CROSSWALK
- PROPOSED BIKERACK
- PROPOSED RETAINING WALL
- PROPOSED SCREEN WALL
- PROPOSED VALLEY GUTTER
- PROPOSED PARKING LOT LIGHTING
- △ BENCH MARK
- PERMANENT STRIPING



LEGAL DESCRIPTION:
TRACT 1A, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3

GENERAL NOTES:

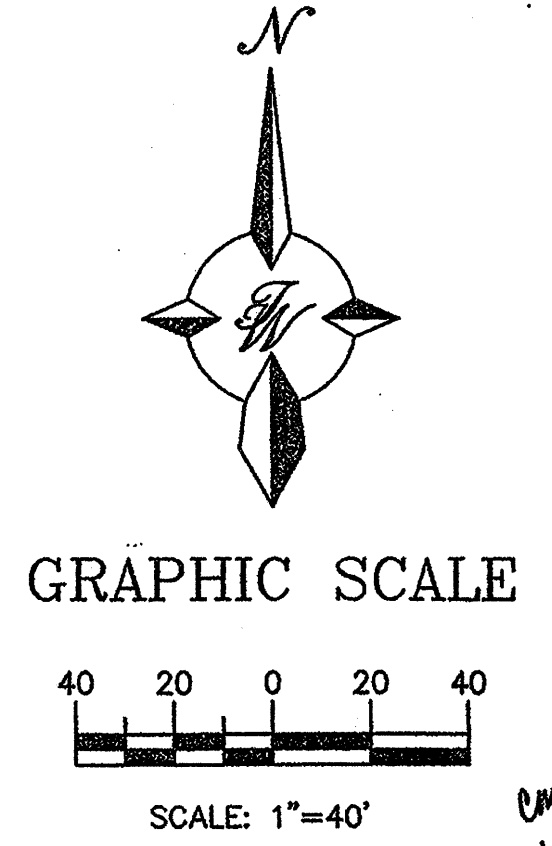
1. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
2. ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACTS THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
3. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
4. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
5. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
6. LIGHT POLES SHALL BE A MAXIMUM OF 16' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 16' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
7. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
8. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.

INDEX TO DRAWINGS

- C1. SITE PLAN FOR SUBDIVISION
- C2. SITE PLAN FOR BUILDING PERMIT
- C3. LANDSCAPING PLAN
- C4. GRADING AND DRAINAGE PLAN
- C5. MASTER UTILITY PLAN
- C6. ELEVATIONS
- C7. ELEVATIONS
- C8. ELEVATIONS
- C9. ELEVATIONS
- C10. DETAILS
- C11. DETAILS
- C12. DETAILS

SITE DATA TABLE					
	LOT 1-A-1	LOT 1-A-2	LOT 1-A-3	LOT 1-A-4	TOTAL
TOTAL ACREAGE:	1.604 AC.	1.358 AC.	.8436 AC.	0.4805 AC.	4.28 AC.
EXISTING ZONING:	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE
PROPOSED ZONING:	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE	SU-2/MIXED USE
BUILDING SIZE:	N/A	5,427 SF	6,759 SF	3,400 SF	15,586 SF
MAX FAR:	.33	.25	.25	.25	
PROPOSED USE:	OFFICE/RETAIL	RETAIL/SERVICE/DRIVE-UP	RETAIL/SERVICE	RETAIL/SERVICE	
TOTAL PARKING PROVIDED:	N/A	39 SPACES	49 SPACES	17 SPACES	112 SPACES
TOTAL PARKING REQUIRED:	N/A	* 38 SPACES	34 SPACES	17 SPACES	91 SPACES
HC PROVIDED:	N/A	4 SPACES	3 SPACES	1 SPACE	8 SPACES
HC REQUIRED:	N/A	3 SPACES	3 SPACES	1 SPACE	7 SPACES
BIKE SPACES PROVIDED:	N/A	4 SPACES	4 SPACES	4 SPACES	12 SPACES
BIKE SPACES REQUIRED:	N/A	2 SPACES	3 SPACES	1 SPACES	6 SPACES
BUILDING HEIGHT:	26'	26'	26'	26'	26'
LANDSCAPE PROVIDED:	N/A	- SF	- SF	- SF	- SF
LANDSCAPE REQUIRED: 15% OF NET LOT AREA	N/A	- SF	- SF	- SF	- SF

* 96 SEATS/4 = 24 SPACES (WENDY'S)
* 2192 SF/200 = 11 SPACES (JIFFY LUBE)



PROJECT NUMBER: 1003384
APPLICATION NUMBER: ADRBB-0407

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division: [Signature] Date: 10/6/04

Utilities Development: [Signature] Date: 10/6/04

Parks & Recreation Department: [Signature] Date: 10/6/04

City Engineer: [Signature] Date: 10/6/04

N/A Environmental Health Department (conditional) Date: _____

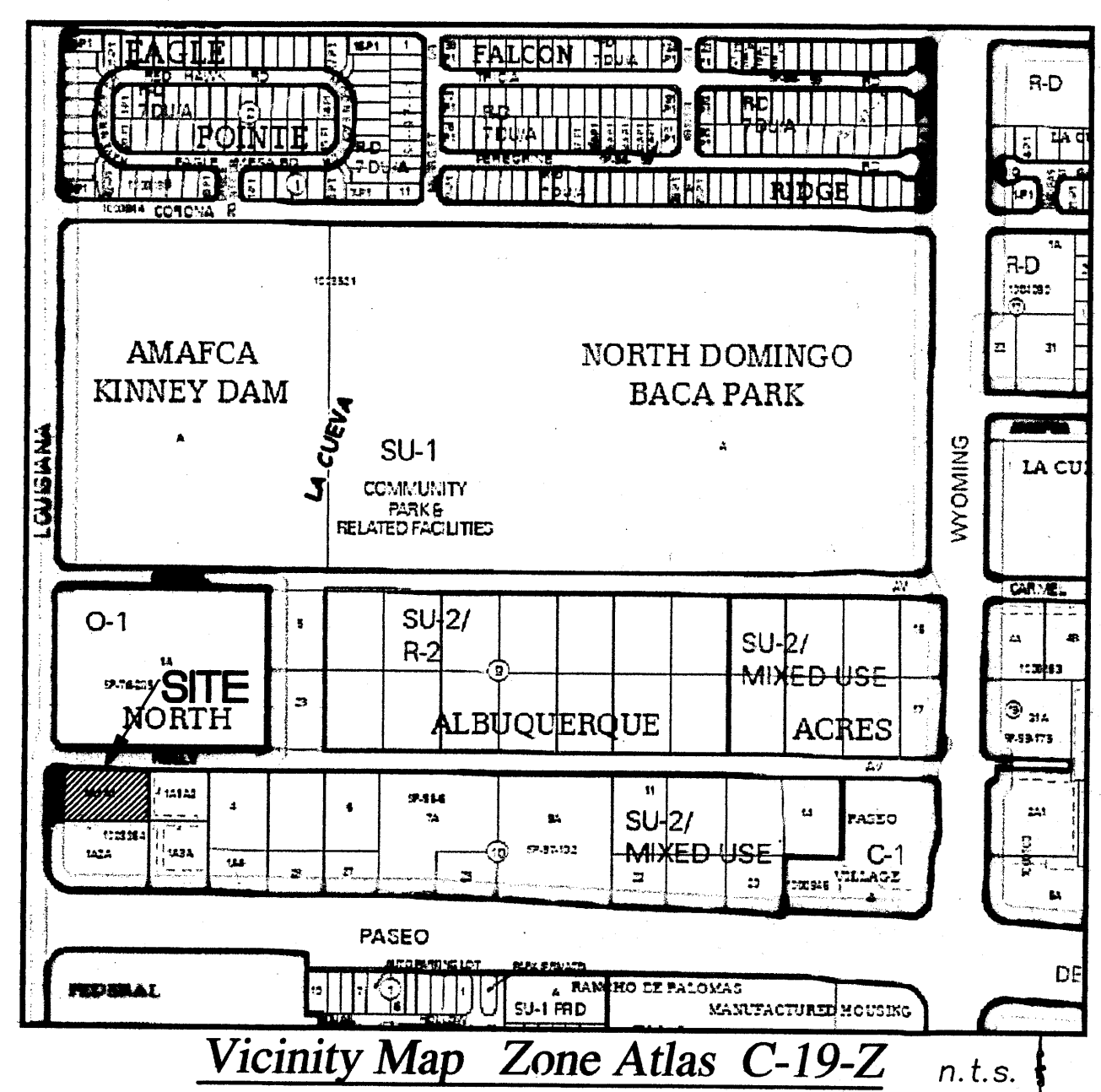
N/A Solid Waste Management Date: _____

DRB Chairperson, Planning Department: [Signature] Date: 10/6/04

* Environmental Health, if necessary
12/16/03

ENGINEER'S SEAL 	LOUISIANA/PASEO	DRAWN BY AB
	SITE PLAN FOR SUBDIVISION	DATE 9/14/04
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	01_2373SPSE-9-14-04
		SHEET # C1
		JOB # 230073

**Plat of
Lot 1-A-1-A-1-A
Block 10
North Albuquerque Acres
Tract 2, Unit 3
City of Albuquerque
Bernalillo County, New Mexico
February 2008**



Vicinity Map Zone Atlas C-19-Z n.t.s.

Purpose of Plat


1. VACATE EASEMENTS AS SHOWN ON SHEET 2.
2. RETAIN ALL OTHER EASEMENTS CURRENTLY IN PLACE UNCHANGED.

Subdivision Data

GROSS ACREAGE.....	1.0041 ACRES
ZONE ATLAS PAGE NO.....	C-19-Z
NUMBER OF EXISTING TRACTS.....	1
NUMBER OF TRACTS CREATED.....	1 LOT
NUMBER OF TRACTS ELIMINATED.....	0 LOTS
MILES OF FULL WIDTH STREETS.....	0.00
MILES OF HALF WIDTH STREETS.....	0.00
STREET ARE DEDICATED TO THE CITY OF ALBUQUERQUE.....	0.00
DATE OF SURVEY.....	MARCH 2005
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER.....	2008052199
ZONING.....	SU-1 FOR MIXED USES

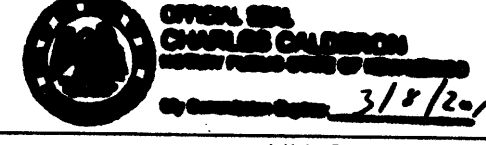
Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER THEREOF AND SAID OWNER DOES HEREBY GRANT THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THEIR RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CONSENT TO ALL OF THE FOREGOING AND DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.


 PHILIP L. LINDBORG, MEMBER, PR INVESTMENTS, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY

Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 4th of February 2008
 BY: PHILIP L. LINDBORG


 NOTARY PUBLIC
 MY COMMISSION EXPIRES march 8/2010

Notes

1. FIELD SURVEY PERFORMED IN MARCH 2005 AND TIED TO ACS IN JANUARY 2008.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. BENCHMARK REFERENCES-ACS MONUMENT "9_C18" HAVING AN ELEVATION OF 5232.470. (NAVD 1988).
4. THE BASIS OF BEARINGS IS NEW MEXICO STATE PLANE COORDINATES (NAD 83-GRID).
5. THE SUBJECT PROPERTY IS LOCATED WITHIN PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, ELENA GALLEGOS GRANT.

Legal

LOT NUMBERED ONE-A-ONE-A-ONE (1-A-1-A-1), IN BLOCK NUMBERED TEN (10), NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 13, 2005, IN PLAT BOOK 2005C, FOLIO 396.

Solar Collection Note

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

Public Utility Easements:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF :

1. THE PNM ELECTRIC SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
2. THE PNM GAS SERVICES DIVISION FOR INSTALLATION, MAINTENANCE AND SERVICES OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERCTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT. EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.


Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number _____

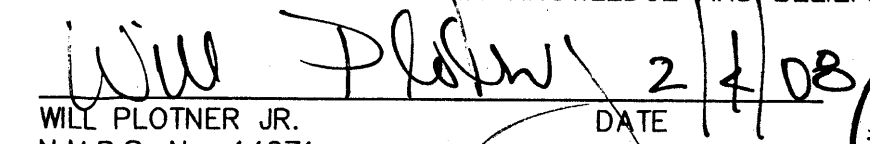
Application Number _____

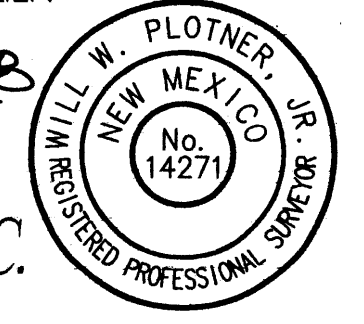
Plat approvals:

PNM Electric Services	_____	Date
PNM Gas Services	_____	Date
QWest	_____	Date
Comcast	_____	Date
City approvals:		
	_____	<u>2-11-08</u> Date
Traffic Engineer	_____	Date
Real Property Division	_____	Date
ABCWUA	_____	Date
Parks and Recreation Department	_____	Date
AMAFCA	_____	Date
City Engineer	_____	Date
DRB Chairperson, Planning Department	_____	Date

Surveyor's Certificate

"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."


 WILL PLOTNER JR. DATE 2/7/08
 N.M.P.S. No. 14271
CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244



Easement Notes

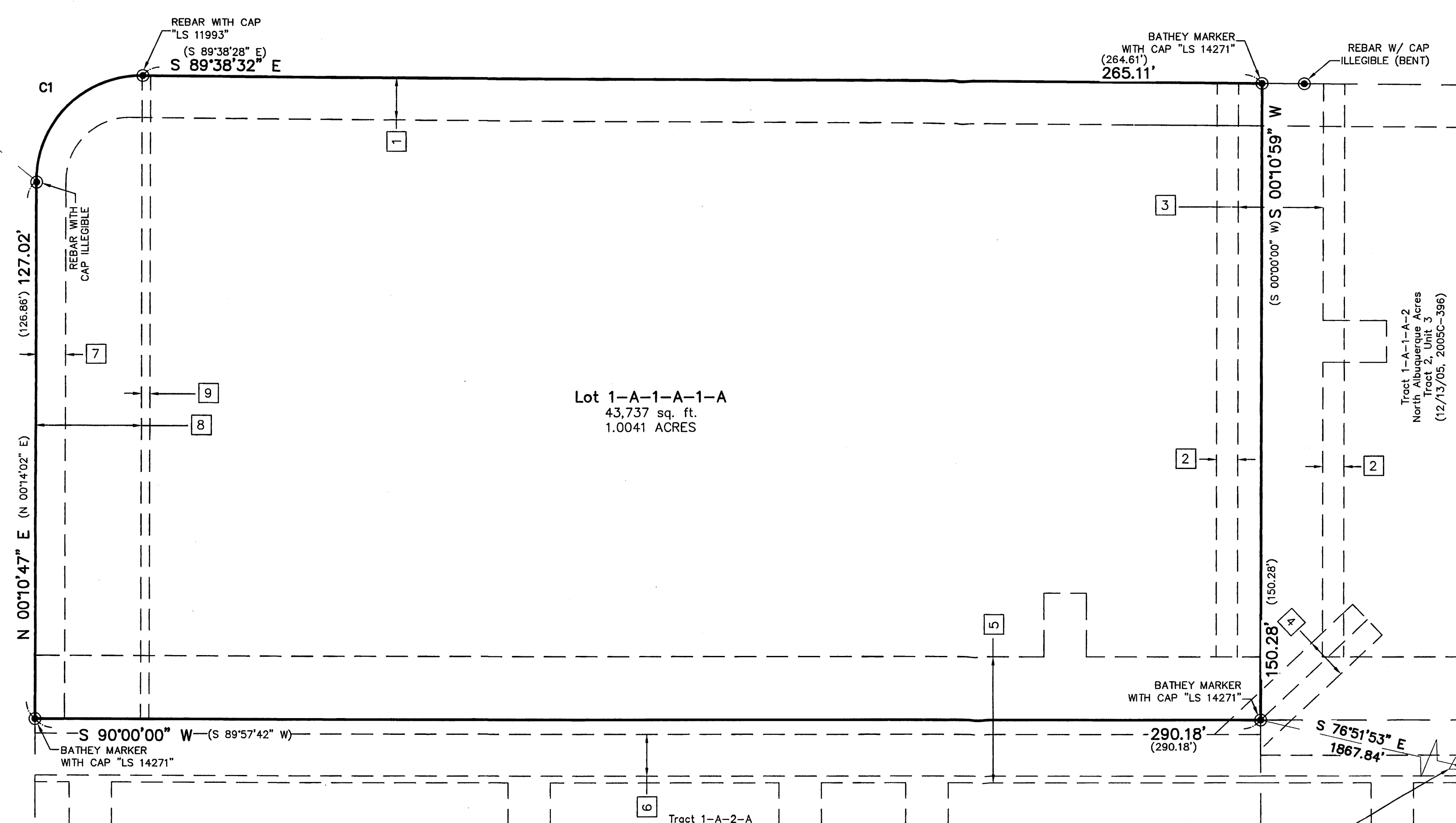
- 1 EXISTING 10 FOOT UTILITY EASEMENT (8/26/05, 2005C-289)
- 2 EXISTING 5 FOOT PRIVATE ACCESS EASEMENT (12/13/05, 2005C-396)
- 3 EXISTING 20 FOOT PUBLIC WATER AND SANITARY SEWER EASEMENT AND PRIVATE ACCESS EASEMENT (10/15/04, 2004C-328)
- 4 EXISTING 10 FOOT PNM ELECTRIC EASEMENT (8/26/05, A102-4486)
- 5 EXISTING 30 FOOT PUBLIC WATER AND SANITARY SEWER EASEMENT (10/15/04, 2004C-328)
- 6 EXISTING 10 FOOT PNM GASLINE EASEMENT (8/26/05, A102-4486)
- 7 EXISTING 7 FOOT UTILITY EASEMENT (8/26/05, 2005C-289)
- 8 EXISTING 25 FOOT PUBLIC WATERLINE EASEMENT (10/15/04, 2004C-328) TO BE VACATED WITH THE FILING OF THIS PLAT V=_____
- 9 EXISTING 2 FOOT PUBLIC WATERLINE EASEMENT (8/26/05, 2005C-289) TO BE VACATED WITH THE FILING OF THIS PLAT V=_____

Plat of
Lot 1-A-1-A-1-A
Block 10
North Albuquerque Acres
Tract 2, Unit 3
City of Albuquerque
Bernalillo County, New Mexico
 February 2008

HOLLY AVENUE, N.E.
 (60' R/W)

ACS Monument "9_C18"
 NAD 1983 CENTRAL ZONE
 X=1542501.428
 Y=1521497.624
 Z=5232.470 (NAVD 1988)
 G-G=.999664563
 Delta Alpha=-0°11'19.69"

LOUISIANA BOULEVARD, N.E.
 (R/W Varies)



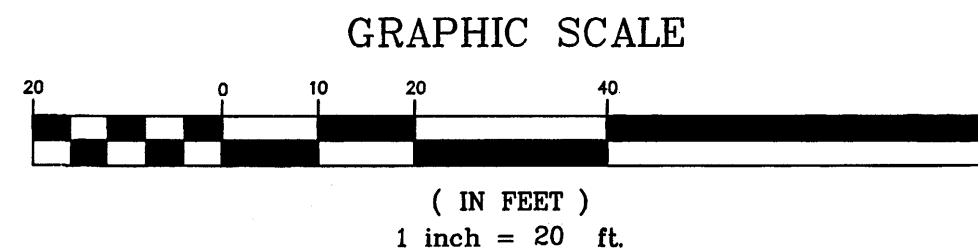
Lot 1-A-1-A-1-A
 43,737 sq. ft.
 1.0041 ACRES

Tract 1-A-1-A-2
 North Albuquerque Acres
 Tract 2, Unit 3
 (12/13/05, 2005C-396)

Legend

● FOUND MONUMENT AS INDICATED

CURVE TABLE				
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.
C1	25.00' (25.00')	39.35' (39.31')	90°10'41"	N 45°16'07" E



ACS Monument "HEAVEN"
 NAD 1983 CENTRAL ZONE
 X=1547297.190
 Y=1518799.510
 Z=5378.235 (NAVD 1988)
 G-G=.999655810
 Delta Alpha=-0°10'46.22"

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244