

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** February 27, 2008  
**Zone Atlas Page:** C-19  
**Notification Radius:** 100 Ft.

**Project#** 1003364  
**App#**08DRB-70049

**Cross Reference and Location:** ON LOUISIANA NE BETWEEN PASEO DEL  
NORTE NE AND HOLLY NE

**Applicant:** GARCIA/KRAEMER & ASSOC.  
200 LOMAS NW STE 1111  
ALBUQUERQUE, NM 87102

**Agent:** PR INVESTMENTS LLC  
7620 SAN DIEGO NE  
ALBUQUERQUE, NM 87112

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day's prior to the meeting.**

**Date Mailed:** FEBRUARY 1, 2008  
**Signature:** ERIN TREMLIN



Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

Professional/Agent (if any): PR INVESTMENTS LLC PHONE: 450 4388

ADDRESS: 7620 SAN DIEGO NE FAX: \_\_\_\_\_

CITY: ALBUQ STATE NM ZIP 87112 E-MAIL: \_\_\_\_\_

APPLICANT: GARCIA/KRAMER & ASSOC PHONE: 242 5566

ADDRESS: 200 LOMAS NW SUITE 1111 FAX: 242 9028

CITY: Albiny STATE NM ZIP 87102 E-MAIL: \_\_\_\_\_

Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: VACATION of public water line easement

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lot 1-A-1A-1 Block: 10 Unit: \_\_\_\_\_

Subdiv/Addn/TBKA: TRACT 2 UNIT 3 NAA

Existing Zoning: SU-2 mixed use Proposed zoning: SU-2 mixed use

Zone Atlas page(s): C-19 UPC Code: 101906402903330104 MRGCD Map No NA

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): \_\_\_\_\_

Project 1003364 06 DRB-01639

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? \_\_\_\_\_

No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.0

LOCATION OF PROPERTY BY STREETS: On or Near: 8710 LOUISIANA NE

Between: Paseo del Norte NE and Holly NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE William L Kramer DATE 1/25/08

(Print) WILLIAM L KRAMER Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB-20049</u>	<u>VPE</u>	_____	<u>\$ 45.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADK</u>	_____	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMR</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>February 20, 2008</u>			Total	<u>\$ 140.00</u>

Planner signature / date [Signature] 1/25/08 Project # 1003364

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)  
 \_\_\_ Application for Minor Plat on FORM S-3, including those submittal requirements. 24 copies  
 \_\_\_ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.  
 \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)  
 \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 \_\_\_ Sign Posting Agreement  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**  
 **VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**  
 ✓ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies.  
 (Not required for City owned public right-of-way.)  
 ✓ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") 24 copies  
 ✓ Zone Atlas map with the entire property(ies) clearly outlined  
 ✓ Letter briefly describing, explaining, and justifying the request  
 ✓ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 ✓ Sign Posting Agreement  
 ✓ Fee (see schedule)  
 ✓ List any original and/or related file numbers on the cover application  
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- SIDEWALK VARIANCE (DRB20)**  
 **SIDEWALK WAIVER (DRB21)** 6 copies  
 \_\_\_ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14")  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the variance or waiver  
 \_\_\_ List any original and/or related file numbers on the cover application  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**  
 \_\_\_ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") 24 copies  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the variance  
 \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts  
 \_\_\_ Sign Posting Agreement  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
**DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**  
 **EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)** 6 copies  
 \_\_\_ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14")  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the deferral or extension  
 \_\_\_ List any original and/or related file numbers on the cover application  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**  
 **VACATION OF RECORDED PLAT (DRB29)** 6 copies  
 \_\_\_ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14")  
 \_\_\_ Scale drawing showing the easement to be vacated (8.5" by 11") 6 copies  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter/documents briefly describing, explaining, and justifying the vacation 6 copies  
 \_\_\_ Letter of authorization from the grantors and the beneficiaries (private easement only)  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

WILLIAM KRAEMER  
 Applicant name (print)  
 William Kraemer 1/25/08  
 Applicant signature / date



Form revised 4/07  
 Checklists complete  
 Fees collected  
 Case #s assigned  
 Related #s listed

Application case numbers  
 DRB - 20049  
 -  
 -

Planner signature / date  
 1/25/08

Project # 1003364



R e c	UPC CODE	OWNER	OWNER ADDRESS	OWN ER CITY	OWN ER ST ATE	OWN ER ZIP CODE	PR OP ER TY CL AS S	TA X DI ST RI CT	LEGAL
1	101906 401603 830130	PR INVESTMENTS LLC	7620 SA N DIEGO AVE NE	ALBU QUE RQU E	N M	87 12 2	V	A1 A	LT 1-A-1-A-1 BLK 10 PLAT OF LOTS 1-A-1-A-1 & 1-A-1-A-2 BLK 10 NORTH ALBUQUERQUE ACRES TRACT 2 UNIT 3 CONT 1.0025 AC +/-
2	101906 405703 730129	SANCHEZ CLARK & PATRICIA & SANCHEZ STEVE & BRENDA & CONWAY MIKE J	PO BOX 2 2097	ALBU QUE RQU E	N M	87 15 4	V	A1 A	* 004 010NORTH ALBUQ ACRES UN 3 TR 2
3	101906 403903 830134	PR INVESTMENTS LLC	7620 SA N DIEGO AVE NE	ALBU QUE RQU E	N M	87 12 2	V	A1 A	LT 1-A-1-A-2 BLK 10 PLAT OF LOTS 1-A-1-A-1 & 1-A-1-A-2 BLK 10 NORTH ALBUQUERQUE ACRES TRACT 2 UNIT 3 CONT .6018 AC +/-
4	101906 403607 831004	SEDONA POINT LTD CO NM LIMITED LIABILITY CO	8200 LO UISIANA NE	ALBU QUE RQU E	N M	87 11 3	C	A1 A	LT 1-A BLK 9 TRACT 2 UNIT 3 NORTH ALBUQUERQUE ACRES AKA SEDONA POINTE CONDOMINIUMS CONT 6.5499 AC
5	101806 451805 542010	OTERO JUDITH D	6928 CA RMELITO LP NE	ALBU QUE RQU E	N M	87 11 3	R	A1 A	LT 9-P1 BLK 1 PLAT FOR CARMEL SUBDIVISION CONT .1844 AC
6	101906 401602 030131	DOUBLE CHEESE REALTY CORPORATION	4810 HA RDWARE DR NE	ALBU QUE RQU E	N M	87 10 9	V	A1 A	LT 1-A-2-A BLK 10 PLAT OF LOTS 1-A-1-A, 1-A-2-A & 1-A-3-A BLOCK 10 NORTH ALBUQUERQUE ACRES TRACT 2 UNIT 3 CONT 1.3549 AC +/-
7	101906 403902 030132	AUTOZONE STORES INC	PO BOX 2 198 DEPT 870	MEM PHIS	TN	38 10 1	V	A1 A	LT 1-A-3-A BLK 10 PLAT OF LOTS 1-A-1-A, 1-A-2-A & 1-A-3-A BLOCK 10 NORTH ALBUQUERQUE ACRES TRACT 2 UNIT 3 CONT .8436 AC +/-
8	101806 451205 442011	D R HORTON INC	4400 ALA MEDA BLV D NE B	ALBU QUE RQU E	N M	87 11 3	R	A1 A	LT 10-P1 BLK 1 PLAT FOR CARMEL SUBDIVISION CONT .0989 AC
9	101806 446803 040122	SANCHEZ NICOLAS S & LILAJ TRUSTEE SANCHEZ RVT	2721 RH ODE ISLA ND NE	ALBU QUE RQU E	N M	87 11 0	V	A1 A	TRACT A PLAT OF TRACT A PASEO DE LOUISIANA BEING A REPLAT OF LOTS 11 A, AND LOTS 12-21 OF BLOCK 35, TRACT A - UNIT B NORTH ALBUQUERQUE ACRES CONT 7.3570 AC
10	101906 405601 430133	MULL NADEEM J	12516 R OYAL WIN SLOW NE	ALBU QUE RQU E	N M	87 11 1	V	A1 A	LT 1-A-4 BLK 10 PLAT OF LOTS 1-A-1, 1-A-2, 1-A-3 AND 1-A-4 BLOCK 10 NORTH ALBUQUERQUE ACRES TRACT 2 UNIT 3 CONT .4805 AC +/-



OR CURRENT RESIDENT  
101906403902030132  
AUTOZONE STORES INC  
PO BOX 2198 DEPT 870  
MEMPHIS, TN 38101

OR CURRENT RESIDENT  
101806451205442011  
D R HORTON INC  
4400 ALAMEDA BLVD NE B  
ALBUQUERQUE, NM 87113

OR CURRENT RESIDENT  
101906401602030131  
DOUBLE CHEESE REALTY  
CORPORATION  
4810 HARDWARE DR NE  
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT  
101906405601430133  
MULL NADEEM J  
12516 ROYAL WINSLOW NE  
ALBUQUERQUE, NM 87111

OR CURRENT RESIDENT  
101806451805542010  
OTERO JUDITH D  
6928 CARMELITO LP NE  
ALBUQUERQUE, NM 87113

OR CURRENT RESIDENT  
101906401603830130  
PR INVESTMENTS LLC  
7620 SAN DIEGO AVE NE  
ALBUQUERQUE, NM 87122

OR CURRENT RESIDENT  
101906405703730129  
SANCHEZ CLARK & PATRICIA &  
SANCHEZ STEVE & BRENDA &  
CONWAY MIKE J  
PO BOX 22097  
ALBUQUERQUE, NM 87154

OR CURRENT RESIDENT  
101806446803040122  
SANCHEZ NICOLAS S & LILA J  
TRUSTEE SANCHEZ RVT  
2721 RHODE ISLAND NE  
ALBUQUERQUE, NM 87110

OR CURRENT RESIDENT  
101906403607831004  
SEDONA POINT LTD CO NM LIMITED  
LIABILITY CO  
8200 LOUISIANA NE  
ALBUQUERQUE, NM 87113

Project# 1003364  
PR INVESTMENTS LLC  
7620 SAN DIEGO NE  
ALBUQUERQUE, NM 87112

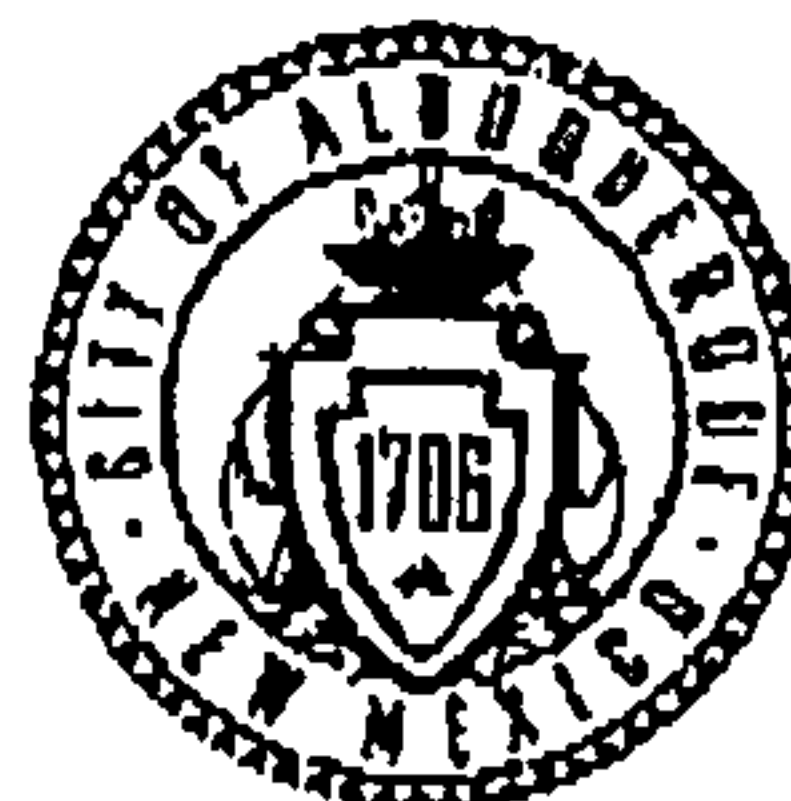
Project# 1003364  
GARCIA/KRAEMER & ASSOC  
200 LOMAS NW STE 111  
ALBUQUERQUE, NM 87102

Project# 1003364  
JUDIE DOMINGO BACA NA  
North Domingo Baca NA  
8515 MURRELET NE  
ALBUQUERQUE, NM 87113

Project# 1003364  
HADEN M BOWLING  
North Domingo Baca NA  
8523 MURRELET NE  
ALBUQUERQUE, NM 87113

Project# 1003364  
PEGGY NEFF  
West La Cueva NA  
8305 CALLE SEQUELLE NE  
ALBUQUERQUE, NM 87113

Project# 1003364  
APRIL SWEET  
West La Cueva NA  
6939 CARMELITO LP NE  
ALBUQUERQUE, NM 87113



# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: January 23, 2008

TO CONTACT NAME: William Kraemer  
 COMPANY/AGENCY: Garcia / Kraemer & Associates  
 ADDRESS/ZIP: 200 Lomas NW 87102  
 PHONE/FAX #: 242-5566 / 242-9028

Thank you for your inquiry of January 23, 2008 (date) requesting the names of **ALL Affected Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at Lot 1-A-1-A Block 10 North Albuquerque Aeras Tract 2, Unit 3 Located on 8110 Louisiana Blvd NE Between Paseo del Norte and Holly zone map page(s) C-19.

Our records indicate that the **Affected Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

North Domingo Baca N.A.  
 Neighborhood or Homeowner Association  
 Contacts: Judie Pellegrino  
8515 Murrelet NE / 87113  
821-8516 (h)  
Haden M. Bowling  
8523 Murrelet NE / 87113  
821-4957 (h)

West La Cueva N.A.  
 Neighborhood or Homeowner Association  
 Contacts: Peggy Neff  
8305 Calle Sequelle NE / 87113  
823-1041 (h)  
April Sweet  
6939 Carmelito Ln NE / 87113  
280-8586 (c)

**See reverse side for additional Neighborhood and/or Homeowner Associations Information:**

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

YES { } NO {X}

Sincerely,

OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

**GARCIA/KRAEMER&ASSOCIATES**

Wells Fargo Bank Building  
200 Lomas N.W., Suite 1111  
Albuquerque, NM 87102  
(505) 242 5566  
Fax (505) 242 9028

January 23, 2008

Judie Pellegrino  
8515 Murrelet NE  
Albuquerque, New Mexico 87113

**CERTIFIED MAIL**

Haden M. Bowling  
8523 Murrelet NE  
Albuquerque, New Mexico 87113

**CERTIFIED MAIL**

Peggy Neff  
8305 Calle Sequelle NE  
Albuquerque, New Mexico 87113

**CERTIFIED MAIL**

April Sweet  
6939 Carmelito Loop NE  
Albuquerque, New Mexico 87113

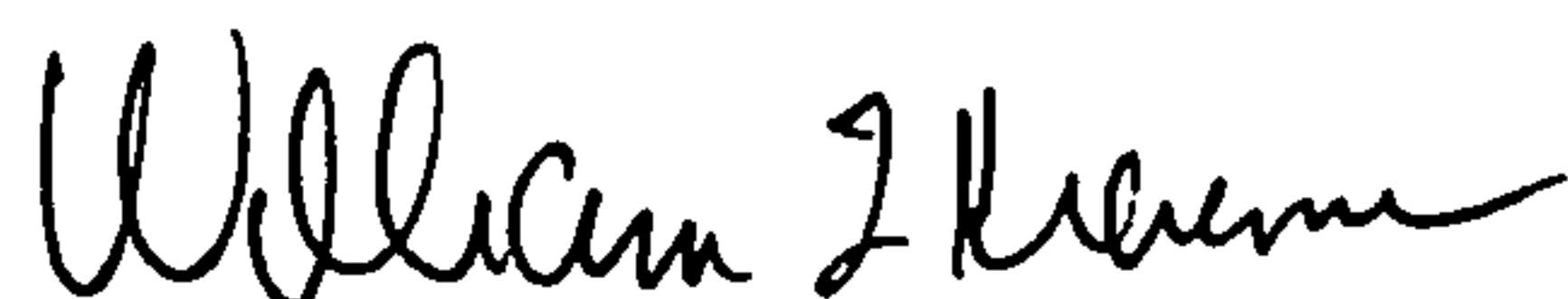
**CERTIFIED MAIL**

RE: REDO Vacation of Waterline Easement  
Lot 1-A-1-A-1, Block 10, NAA, Tract 2 Unit 3

Dear Neighborhood Representatives:

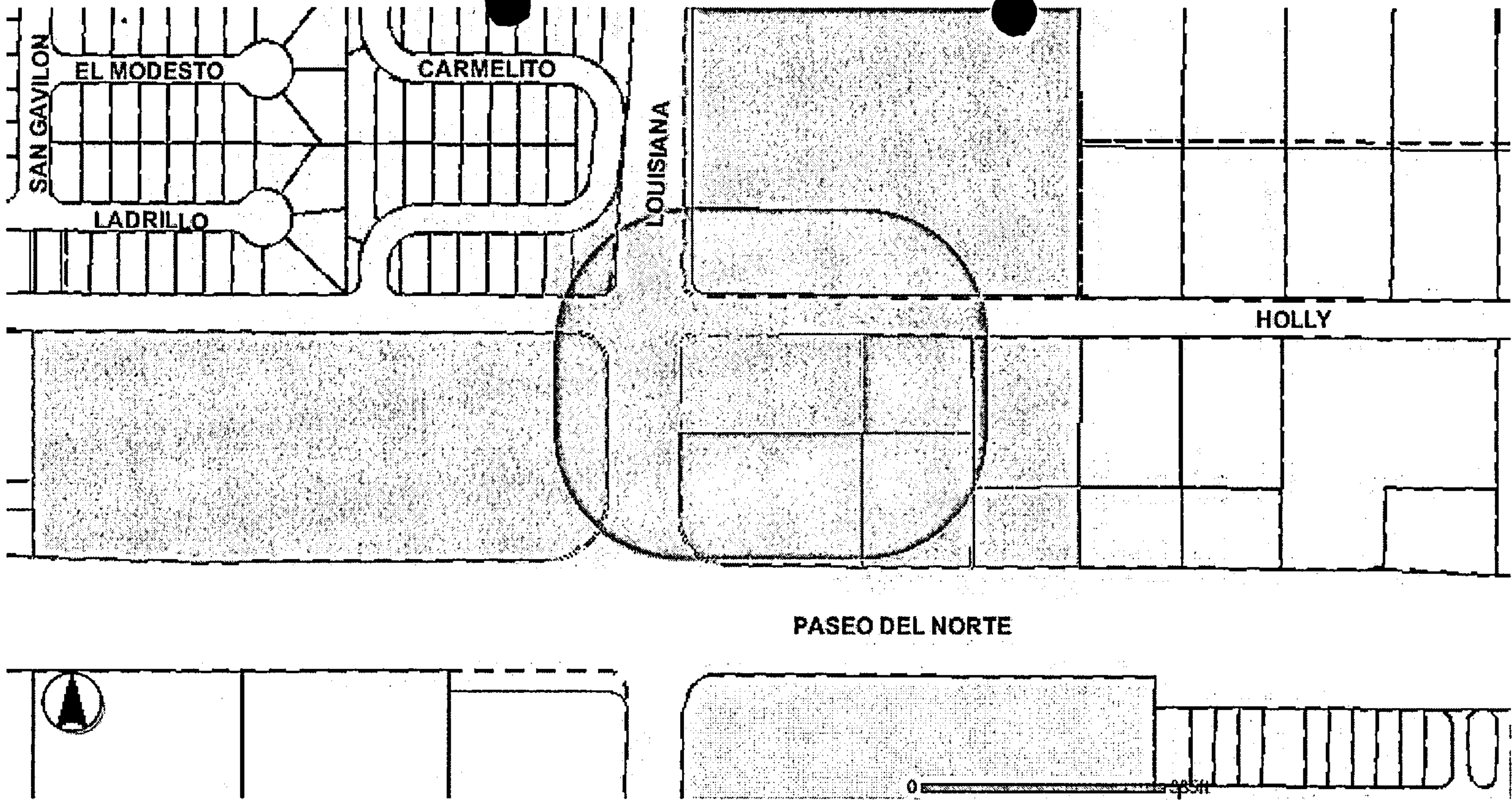
The purpose of this letter is to inform you that we are filing a request VACATE the above referenced easement. An identical request was made and granted in December 2006 and the 8" water line across its property was relocated into the street. Unfortunately the required replat was not completed within the required one year time period and we have to redo the vacation. If you have questions or concerns, please do not hesitate to call.

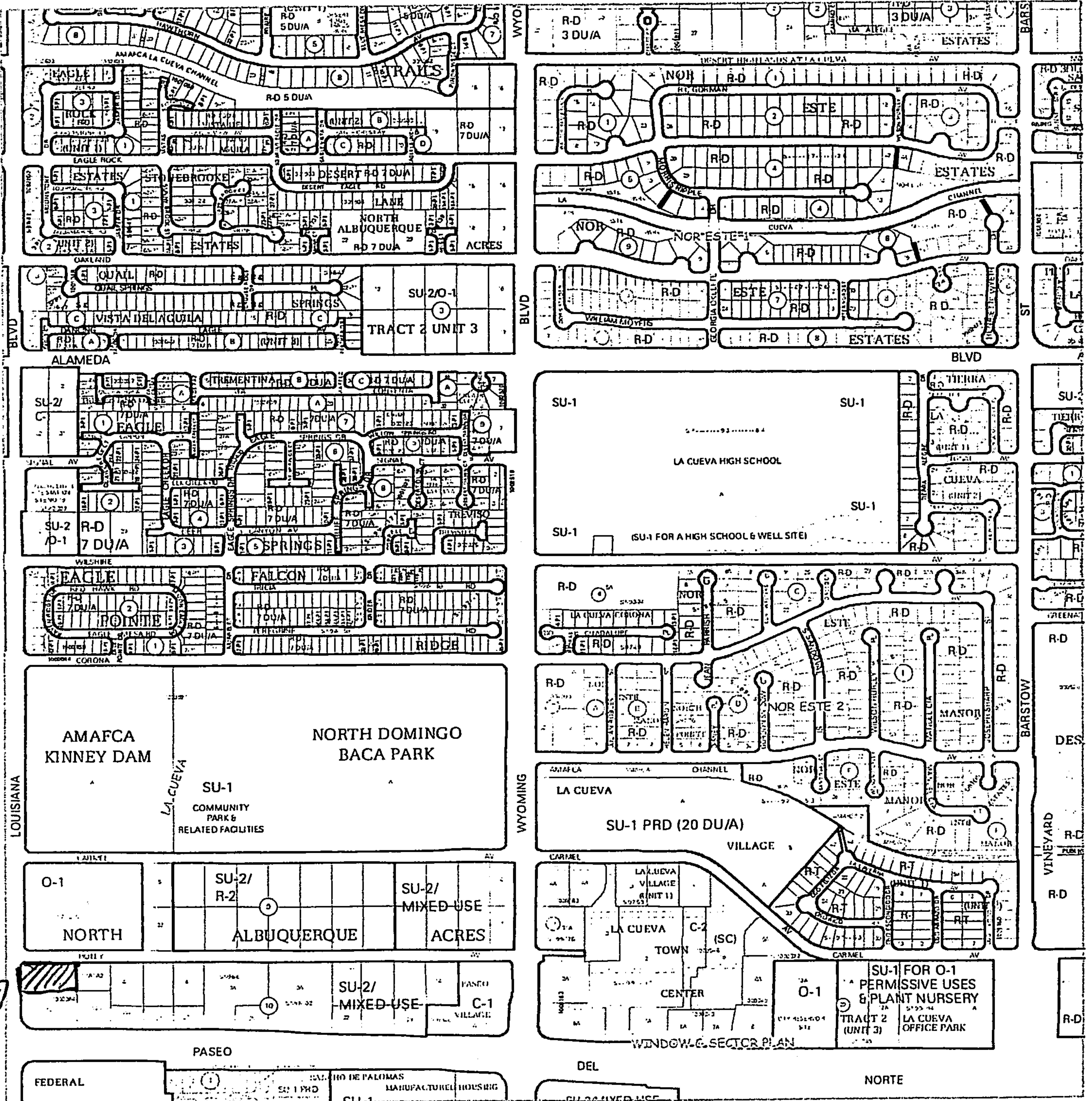
Sincerely,



WILLIAM L. KRAEMER







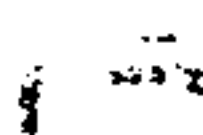




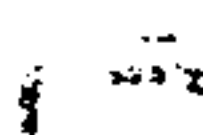



For more current information and more details visit <http://www.cabq.gov/gis>

Zone Atlas Page:

# C-19-Z

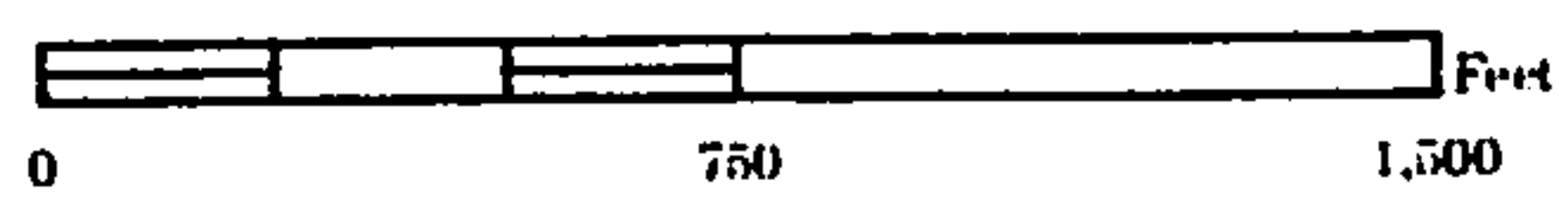
Selected Symbols

- SECTOR PLANS 
- Design Overlay Zones 
- City Historic Zones 
- H-1 Buffer Zone 
- Petroglyph Mon. 
- Escarpment 
- 2 Mile Airport Zone 
- Airport Noise Contours 
- Wall Overlay Zone 



Map amended through: 10/25/2006

Note: Grey Shading Represents Area Outside of the City Limits





## GARCIA/KRAEMER & ASSOCIATES

Wells Fargo Bank Building  
200 Lomas N.W., Suite 1111  
Albuquerque, NM 87102  
(505) 242-5566  
Fax #(505) 242-9028

January 18, 2008

### REASON FOR REQUEST

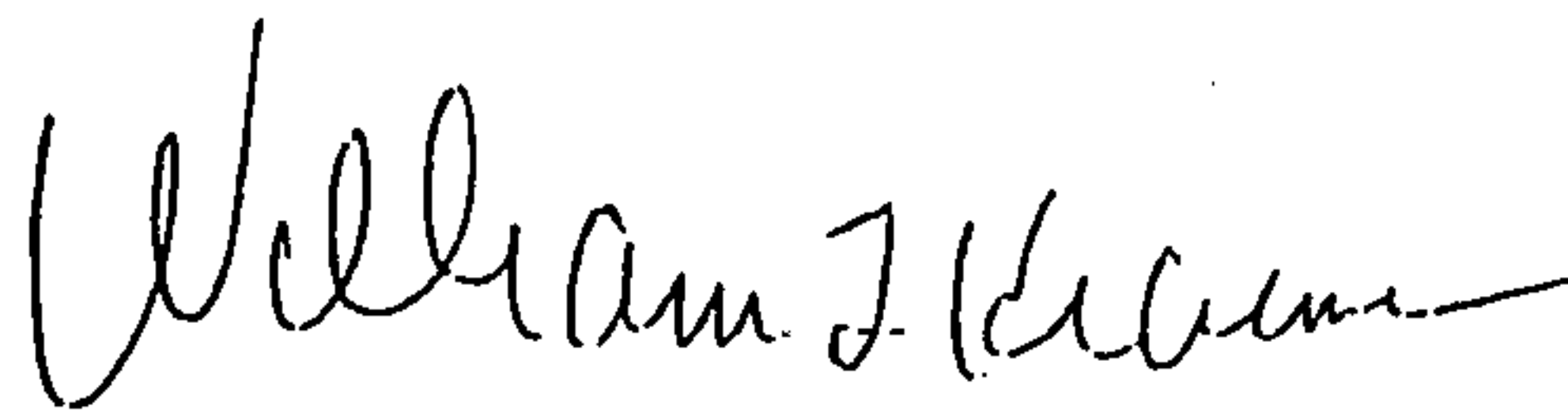
This is a request to VACATE a public water line easement, which encumbers Lot1-A-1-A-1 Block 10 Tract 2 Unit 3 NORTH ALBUQUERQUE ASSOCIATES (see Exhibit.) This request is filed pursuant to Section 14-14-7-1 et.seq. City of Albuquerque, Subdivision Regulations. An identical request was approved in December 2006, but allowed to expire without a replat. 06DRB-01639

Applicant, PR Investments LLC is the owner of the subject property. They intend to develop this site with a permissive use under the SU-2 Mixed Use zoning. The location of the easement and 8" waterline therein unreasonably restricts their intended use of the site. They understand that if the requested vacation is granted that they will be responsible to relocate the water line at their sole expense.

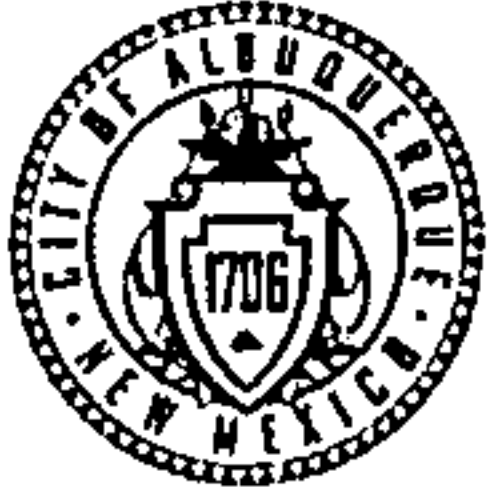
This request meets the statutory vacation criteria as follows:

1. The request is filed by the owners of all of the private property abutting the proposed vacation. Section 14-14-7-2 (A)(1.)
2. The public welfare is in no way served by the retention of easements sought to be vacated. Section 14-14-7-2 (B)(1.)
3. No substantial property rights will be abridged by the vacation of these easements.

Wherefore, applicant respectfully requests VACATION of the water line easement shown on the attached exhibit and documented herein.







# DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70069 Project # 1003364  
 Project Name: NORTH ALBUQUERQUE ACRES UNIT 3  
 Agent: CARTESIAN SURVEYS INC. Phone No.: 242-5566 (Bill K)

Your request was approved on 2-20-08 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: - Acceptance letter for waterline relocation  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): - 25' radius @ corner  
- record after March 6  
 \_\_\_\_\_  
 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
  - Tax printout from the County Assessor.
  - 3 copies of the approved site plan. Include all pages.**
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
  - Property Management's signature must be obtained prior to Planning Department's signature.**
  - AGIS DXF File approval required.**
  - Copy of recorded plat for Planning.**

Created On:



# DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.....

DRB Application No.: 08DRB-70069

Project # 1003364

Project Name: NORTH ALBUQUERQUE ACRES UNIT 3

Agent: CARTESIAN SURVEYS INC.

Phone No.:

Your request was approved on 2-20-08 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_

UTILITIES: - Acceptance letter for waterline relocation

CITY ENGINEER / AMAFCA: \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_

PLANNING (Last to sign): - 30' radius @ corner  
- record after March 6

### Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Created On:



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

February 20, 2008

**Project# 1003364**

### 08DRB-70049 VACATION OF PUBLIC EASEMENT

GARCIA/KRAEMER & ASSOC. agent(s) for PR INVESTMENTS LLC request(s) the above action(s) on a portion of Lot(s) 1-A-1A-1, Block 10, **TRACT 2 UNIT 3 North Albuquerque Acres**, zoned SU-2 MIXED USE, located on the SE corner of LOUISIANA NE AND HOLLY NE. (C-19)

### 08DRB-70004 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL

CARTESIAN SURVEYS INC agent(s) for PHIL LINDBORG request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-A-1, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2/MIXED USE, located on HOLLY AVE NE BETWEEN LOUISIANA BLVD NE AND WYOIMING BLVD NE containing approximately 1.0041 acre(s). (C-19)

At the February 20, 2008, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B)(1)(3) of the Subdivision Ordinance. The preliminary plat was approved with final sign off delegated to Planning to record and for curve 'C1' be increased to 30 feet, and to ABCWUA for relocation and acceptance of waterline.

(A)(1) The public easement vacation request was filed by the owners of a majority of the footage of land abutting the proposed vacation.

(B)(1) The public welfare is in no way served by retaining the public easement.

(B)(3) There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

### CONDITIONS:

1. Final disposition shall be through the City Real Estate Office
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.



If you wish to appeal this decision, you must do so by March 6, 2008 in the manner described below.

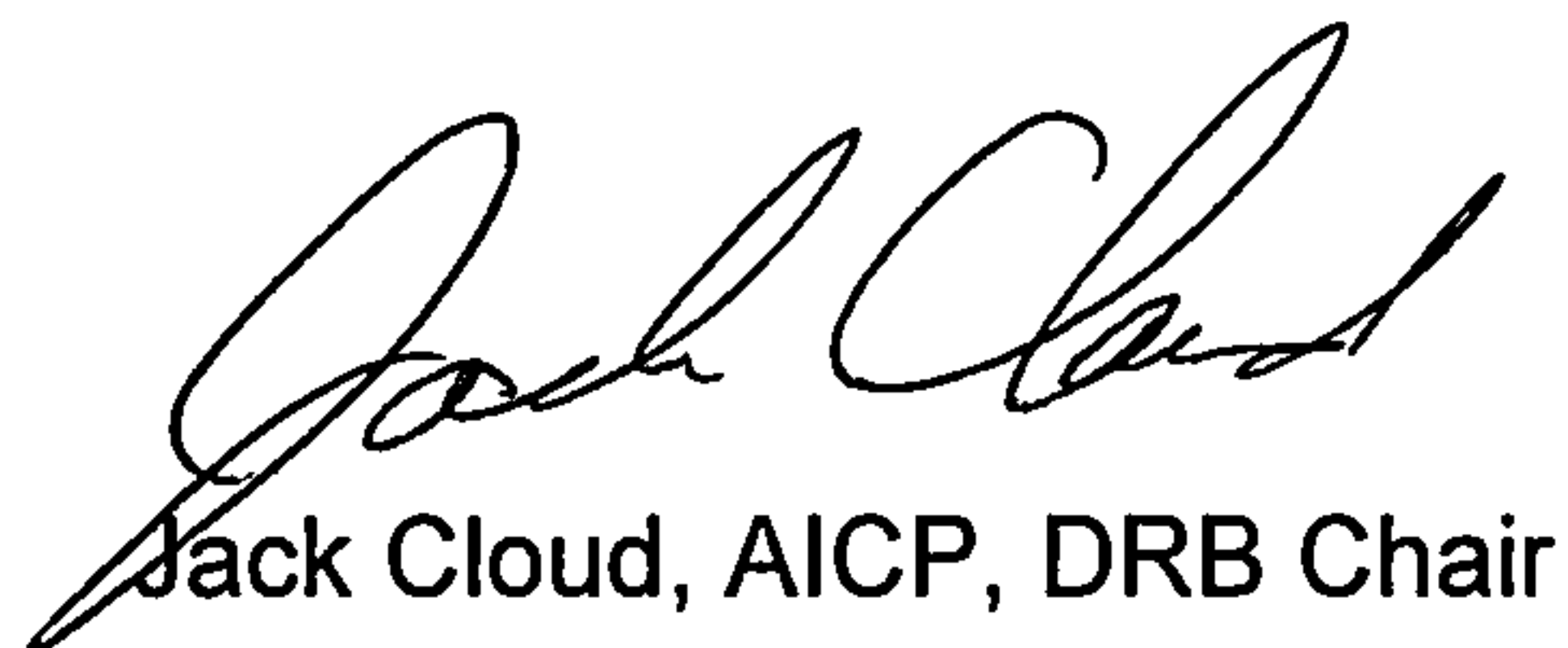
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Jack Cloud, AICP, DRB Chair

Cc: Cartesian Surveys Inc. – P.O. Box 44414 – Rio Rancho, NM 87124  
Cc: Phil Lindborg – 12809 Donette Ct NE – Albuquerque, NM 87112  
Marilyn Maldonado  
Scott Howell

# DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1003364 AGENDA# 4 DATE: 2/20/08

1. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
15. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
16. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
17. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

**3364**

### DXF Electronic Approval Form

DRB Project Case #: 1003364

Subdivision Name: NORTH ABQ ACRES TRACT 2 UNIT 3 BLOCK 10 LOT 1A1A1A

Surveyor: WILL PLOTNER JR

Contact Person: WILL PLOTNER JR

Contact Information: 896-3050

DXF Received: 2/18/2008

Hard Copy Received: 2/18/2008

Coordinate System: Ground rotated to NMSP Grid

  
Approved

02.19.2008  
Date

\* The DXF file cannot be accepted (at this time) for the following reason(s):

---

---

---

---

---

---

---

---

**AGIS Use Only**  
Copied fc 3364 to agiscov on 2/19/2008 Contact person notified on 2/19/2008



**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT**

**February 20, 2008  
DRB Comments**

**ITEM # 4**

**PROJECT # 1003364**

**APPLICATION # 08-70069**

**RE: Lot 1-A-1-A-1, Block 10 North Albuquerque Acres Tr. 2 Unit 3**

For future reference, please revise solar note to be specific to this type of request, i.e. replace the words "REQUESTED FINAL ACTION" with the word "THIS PLAT" at the beginning of the note, and delete the words "OR SITE DEVELOPMENT PLAN FOR SUBDIVISION" at the end of the note.

The Planning Department will need to record this plat to complete the vacation action.

---

Jack Cloud AICP, DRB Chairman  
924-3880/ jcloud@cabq.gov









CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

February 20, 2008

**Project# 1003364**  
**08DRB-70049 VACATION OF PUBLIC EASEMENT**

GARCIA/KRAEMER & ASSOC. agent(s) for PR INVESTMENTS LLC request(s) the above action(s) for all or a portion of Lot(s) 1-A-1A-1, Block(s) 10, **TRACT 2 UNIT 3 NAA**, zoned SU-2 MIXED USE, located on LOUISIANA NE BETWEEN PASEO DEL NORTE NE AND HOLLY NE containing approximately 1 acre. (C-19)

<b>AMAFCA</b> No comment.
<b>COG</b> MRCOG staff have no comment on this project. For informational purposes, Louisiana Bd has a functional classification of urban collector.
<b>TRANSIT</b> No comments received
<b>ZONING ENFORCEMENT</b> No comment.
<b>NEIGHBORHOOD COORDINATION</b> <b>Letters sent to: North Domingo Baca NA (R), West La Cueva NA (R)</b>
<b>APS</b> Tract 2 Unit 3 North Albuquerque Acres, Lots 1-A-1A-1, Block 10, is located on the SE corner of Louisiana NE and Holly NE. The owner of the above property requests a Vacation of Public Easement for a development that will consist of a commercial/retail center. This will have no adverse impacts to the APS district.
<b>POLICE DEPARTMENT</b> No crime prevention or CPTED comments concerning the proposed vacation of public easement at this time.
<b>FIRE DEPARTMENT</b> No comments received
<b>PNM ELECTRIC &amp; GAS</b> No comments received
<b>COMCAST</b> No comments received
<b>QWEST</b> No comments received
<b>ENVIRONMENTAL HEALTH</b> No comments received
<b>M.R.G.C.D</b> No Adverse Comments.
<b>OPEN SPACE DIVISION</b> Open Space has no adverse comments



**CITY ENGINEER**

The Hydrology section has no objection to the vacation request.

**TRANSPORTATION DEVELOPMENT**

No adverse comments.

**PARKS AND RECREATION**

No objection.

**ABCWUA**

There is an existing water line within the easement requested to be vacated. No objection to Vacation request with the condition that the existing water line be relocated and in service prior to Final Plat approval.

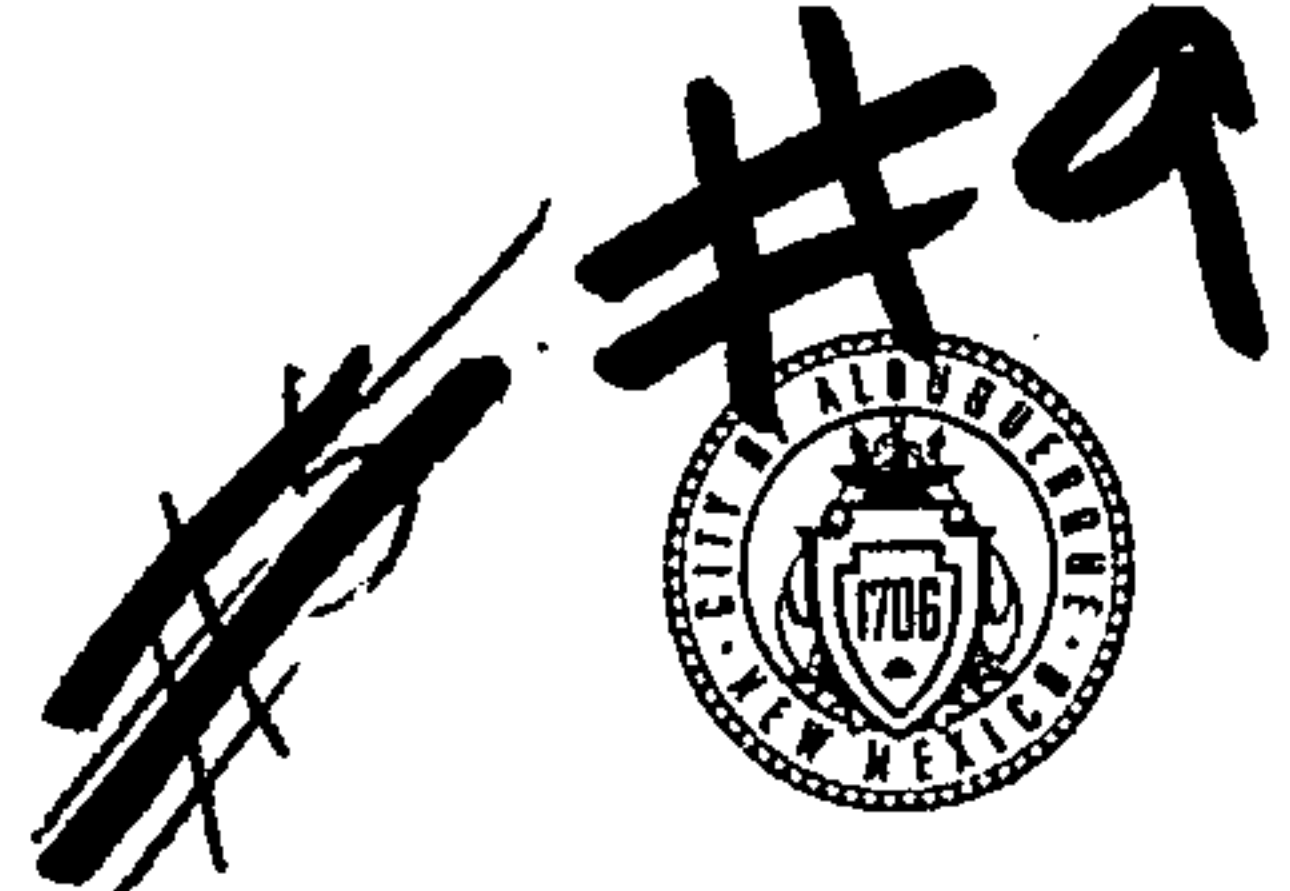
**PLANNING DEPARTMENT**

Refer to comments from affected utilities regarding proposed vacation(s)

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

Cc: Cartesian Surveys Inc – P.O. Box 44414 – Rio Rancho, NM 87124

Cc: Phil Lindborg – 12809 Donette Ct NE – Albuquerque, NM 87112



# DRB CASE ACTION LOG (SITE PLAN B. P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>07DRB-70003 (SBP)</u>	Project # <u>1003364</u>
Project Name: <u>NORTH ALBUQUERQUE ACRES, UNIT 3</u>	
Agent: <u>TAFZZLUL HUSSAIN</u>	Phone No: <u>242-9093</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6/27/07 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

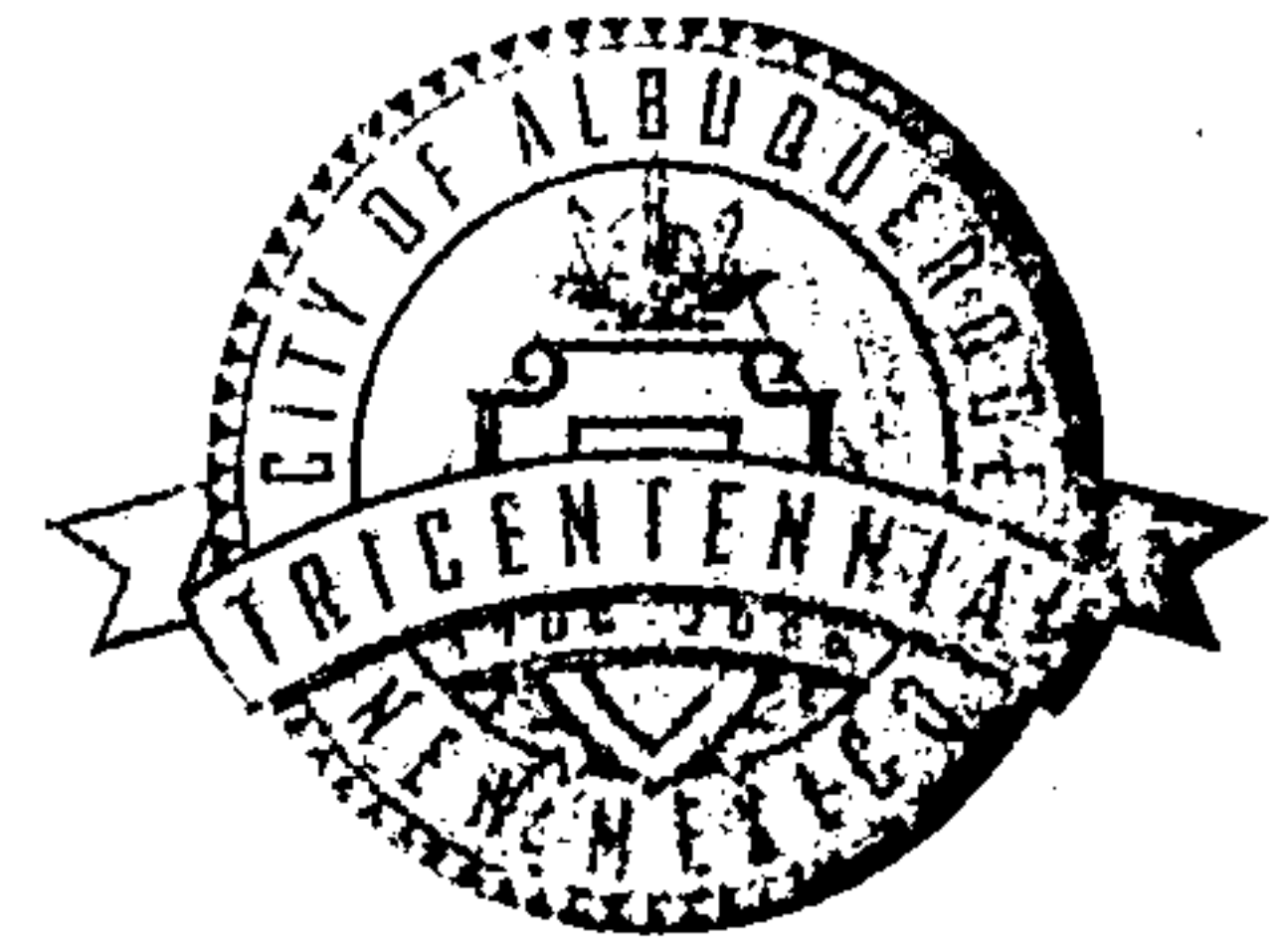
CITY ENGINEER / AMAFCA: SIA.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): 3 Copies  
 plat  
 \_\_\_\_\_  
 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1003364



**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
DEVELOPMENT SERVICE  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1003364**

**AGENDA ITEM NO: 9**

**SUBJECT:**

Site Plan for BP

**ACTION REQUESTED:**

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

P.O. Box 1293

**ENGINEERING COMMENTS:**

Albuquerque An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off by City Engineer.  
A plat consummating the vacation will be required.

New Mexico 87103

**RESOLUTION:**

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** June 27, 2007





**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

June 27, 2007

9:00 AM

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Sandra Handley, Planning Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 12:00 P.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project# 1002134**  
07DRB-70029 MAJOR - 2YR SUBD IMP  
AGMT (2YR SIA) MARK GOODWIN AND ASSOCIATES PA agent(s) for VISTA DEL NORTE DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of Tract(s) U1, U2, U3, U4 & U6, **VISTA DEL NORTE**, zoned SU-1 FOR IP USES, located on LAS LOMITAS DR NE BETWEEN EL PUEBLO NE AND VISTA DEL NORTE DR NE containing approximately 33.4552 acre(s). (D-16) **TWO-YEAR SIA WAS APPROVED.**

2. **Project# 1006516**  
07DRB-70030 BULK LAND VARIANCE  
07DRB-70031 MAJOR - PRELIMINARY  
PLAT APPROVAL  
07DRB-70034 VACATION OF PUBLIC  
EASEMENT  
07DRB-70032 MINOR - TEMP DEFR  
SWDK CONST  
07DRB-70033 SIDEWALK WAIVER  
07DRB-70085 MINOR-PRELIM&FINAL  
PLAT APPROVAL

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL, LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, **MESA DEL SOL**, zoned SU-2/PC, located on UNIVERSITY BLVD SE BETWEEN SOLAR MESA AVE. SE AND BOBBY FOSTER SE containing approximately 114.7792 acre(s). [Deferred from 06/27/07] (R-15, R-16, S-15 & S-16) **DEFERRED AT THE AGENT'S REQUEST TO 07/25/07.**

3. **Project # 1002371**  
07DRB-00577 Major-Vacation of Public  
Easements  
07DRB-00576 Minor-Prelim&Final Plat  
Approval

TIERRA WEST LLC agent(s) for HOFFMANTOWN WEST CHURCH request(s) the above action(s) for all or any portion of Tract(s) 1-A-1, Block(s) 15, ALBAN HILLS (to be known as **HOFFMANTOWN WEST CHURCH**) zoned SU-1 for R-2 with church related uses, located on LA ORILLA RD NW between COORS BLVD NW and the CORRALES DRAIN containing approximately 17 acre(s). [REF: 02DRB01824, 03DRB02150, 05DRB00560, 03DRB02085, 03DRB02086, 03EPC01285, 07DRB00286] [Deferred from 5/30/07 & 06/06/07, 6/13/07 & 06/27/07] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 07/11/07.**

4. **Project # 1002962**  
07DRB-00613 Major-SiteDev Plan Subd  
07DRB-00615 Major-SiteDev Plan  
BldPermit

BOHANNAN HUSTON INC agent(s) for CANTATA AT THE TRAILS INC request(s) the above action(s) for Tract 5 and a portion of Tract 4 OS, THE TRAILS, UNIT 2, (to be known as **CANTATA AT THE TRAILS**) zoned SU-2 UR located on OAKRIDGE ST NW between WOODMONT AVE NW and UNIVERSE NW containing approximately 25 acre(s). [REF: 04DRB-01322] [Deferred from 06/06/07 & 06/20/07] (C-9) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 06/27/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 06/07/07, THE SITE PLAN FOR BUILDING PERMIT WAS WAS APPROVED WITH WITH FINAL SIGN OFF DELEGATED TO THE CITY ENGINEER FOR THE SIA AND TO PLANNING FOR 3 COPIES, A 15 DAY APPEAL PERIOD AND THE PLAT .**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

5. **Project# 1005354**  
07DRB-70078 EPC APPROVED SDP  
FOR SUBDIVISION
- DEKKER/PERICH/SABATINI agent(s) for SAWMILL VILLAGE LLC request(s) the above action(s) for all or a portion of Lot(s) B-2-A, **DUKE CITY LUMBER ADDITION** and Tract(s) 2D, **ARBOLERA DE VIDA**, zoned S-2/S-1 FOR PRD & MICROBREWERY, located on BELLAMAH NW BETWEEN ASPEN NW AND 19<sup>TH</sup> ST NW containing approximately 9.97 acre(s). *[Deferred from 06/27/07]* **[Carol Toffaleti, EPC Case Planner]** (J-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
- 07DRB-70071 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for SAWMILL COMMUNITY LAND TRUST request(s) the above action(s) for all or a portion of Lot(s) B-2-A, **DUKE CITY LUMBER ADDITION** (to be known as **SAWMILL VILLAGE**) zoned SU-2/S-1 FOR PRD & MICROBREWERY, located on BELLAMAH AVE NW BETWEEN ASPEN NW AND 19<sup>TH</sup> ST NW containing approximately 7.4628 acre(s). [REF: 07DRB-00499, 00500] *[Indef deferred from 06/27/07]* (J-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
6. **Project# 1006573**  
07DRB-70081 MINOR - SDP FOR  
BUILDING PERMIT  
07DRB-70080 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- LARRY READ AND ASSOCIATES agent(s) for DESERT HILLS JEHOVAH'S WITNESSES request(s) the above action(s) for all or a portion of Lot(s) 12 & 21, Block(s) 29, Tract(s) A, **UNIT B, NORTH ALBUQUERQUE ACRES**, zoned SU-2 IP, located on ALAMEDA AVE NE BETWEEN SAN PEDRO NE AND LOUISIANA NE containing approximately 1.78 acre(s). *[Indef deferred from 06/27/07]* (C-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
7. **Project# 1004000**  
07DRB-70027 MINOR - SDP FOR  
BUILDING PERMIT
- NCA ARCHITECTS PA agent(s) for NORTH VALLEY SEVENTH DAY ADVENTIST CHURCH request(s) the above action(s) for all or a portion of Tract(s) A-1, **EAGLE RANCH SUBDIVISION, WEST UNIT 2**, zoned SU-1 PDA TO INCLUDE C-3 USES, located on PARADISE BLVD NW BETWEEN EAGLE RANCH NW AND COORS NW containing approximately 3.48 acre(s). *[Indef deferred on 6/13/07]* (C-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 06/27/07, THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO THE CITY ENGINEER FOR THE SIA AND TO PLANNING FOR 3 COPIES.**



8. **Project# 1005482**  
07DRB-70059 EPC APPROVED SDP  
FOR BUILD PERMIT

DESIGN PLUS LLC agent(s) for STONEBRIDGE INVESTMENT GROUP request(s) the above action(s) for all or a portion of Tract(s) 2 & 3, **MIRA MESA ESTATES**, zoned C-2 SC, located on HANOVER RD NW BETWEEN 64<sup>th</sup> ST NW AND 68<sup>th</sup> ST NW containing approximately 5 acre(s). [Anna Di Mambro, EPC Case Planner] [Deferred from 6/20/07] (J-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES.**

9. **Project# 1003364**  
07DRB-70003 EPC APPROVED SDP  
FOR BUILD PERMIT

TFAZZUL HUSSAIN agent(s) for PHILLIP LINDBORG request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-A1, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned SU-2 MIXED USE, located on HOLLY AVE NE BETWEEN LOUISIANA NE AND WYOMING NE containing approximately 1 acre(s). [Anna DiMambro, EPC Case Planner] [Indef deferred from 5/30/07] [Defer from 06/20/07] (C-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 06/27/07, THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO THE CITY ENGINEER FOR THE SIA AND TO PLANNING FOR THE PLAT AND 3 COPIES.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

10. **Project# 1003713**  
07DRB-70064 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

ISAACSON AND ARFMAN PA agent(s) for FAMILY HOUSING DEVELOPMENT CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A, **BELL TRADING POSTS LOFTS**, (to be known as **TRACT A-1, BELL TRADING POSTS LOFTS**) zoned SU-2, S-1 for RES 24 UNITS MAX WITH C-1, located on LAGUNA RD NW between CENTRAL AVE NW and 15<sup>TH</sup> ST NW containing approximately 1.03 acre(s). (J-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

11. **Project# 1004986**  
07DRB-70060 SIDEWALK WAIVER

STEPHEN & PATRICIA DWYER request(s) the above action(s) for all or a portion of Lot(s) 2, Tract(s) 2, **FOUR HILLS VILLAGE INSTALLMENT 11-A**, zoned R-1, located on STAGECOACH RD SE between PEDREGOSO SE and LA CABRA DR SE containing approximately .9439 acre(s). (M-23) **A SIDEWALK VARIANCE FOR WAIVER OF THE SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

12. **Project# 1003779**  
07DRB-70072 MAJOR - FINAL PLAT  
APPROVAL

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 17 & 18, Block(s) 2, **UNIT 3, KUMAIL SUBDIVISION**, zoned RD, located on OAKLAND AVE between BLVD NE and LOUISIANA BLVD NE containing approximately 2.0 acre(s) (C-19) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A 30-FOOT RADIUS ON LOT 7-P1, STREET CROSS SECTION, A WATERLINE EASEMENT ON LOT 7-P1 AND TO PLANNING TO SIGN AND RECORD THE PLAT ON OR AFTER 06/29/07.**

13. **Project# 1000149**  
07DRB-70067 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for BT PARTNERS request(s) the above action(s) for all or a portion of Lot(s) 7 & 8, **UNIT 2, DAVIDSON ADDITION**, together with Tract 83-B, Map 33, zoned RC, located on CANDELARIA RD NW between 4<sup>TH</sup> ST NW and 2<sup>ND</sup> ST NW containing approximately .4894 acre(s) (G-14) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR FACE OF CURB TO PROPERTY LINE AND SIDEWALK WIDTH AND TO PLANNING FOR A RECORDED COPY OF THE PLAT.**

14. **Project# 1001235**  
07DRB-70076 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for TURNER BRANCH request(s) the above action(s) for all or a portion of Lot(s) 13 & 14, Block(s) 6, Tract(s) 11, Map 35, EDWARD KROGH ADDITION (to be known as **LANDS OF BRANCH**) zoned R-1, located on RIO GRANDE BLVD NW between KROGH CT NW and EL NIDO CT NW containing approximately 1.0769 acre(s). (H-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 06/27/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 05/24/07, THE PRELIMINARY PLAT WAS APPROVED AND DELEGATED TO PLANNING FOR A COPY OF THE RECORDED PLAT. THE FINAL PLAT WAS DEFERRED FOR THE SIA.**

15. **Project# 1006564**  
07DRB-70074 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for ORLOE HANSON request(s) the above action(s) for all or a portion of Tract(s) 1-B & 1-C, **HERRERA SUBDIVISION**, zoned O-1 & R-1, located on SAN ANDRES AVE NW between 4<sup>TH</sup> ST NW and DELAMAR AVE NW containing approximately .3552 acre(s). (F-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR DEDICATION OF SIDEWALKS AND TO PLANNING FOR A COPY OF THE RECORDED PLAT.**

16. **Project# 1003674**  
07DRB-70075 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

TERRAMETRICS OF NEW MEXICO agent(s) for LLAVE DEVELOPMENT INC request(s) the above action(s) for all or a portion of Tract(s) A, RICH COURT SUBDIVISION (to be known as Lot(s) 7, 8, & 9 and Tract(s) A-1, RICH COURT SUBDIVISION) zoned R-D 3DU/A, located on ALAMEDA AVE NE between BARSTOW ST NE and VENTURA ST NE containing approximately 1.0376 acre(s). [Deferred from 06/27/07] (C-20) **DEFERRED AT THE BOARD'S REQUEST TO 09/05/07.**

17. **Project# 1006566**  
07DRB-70077 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

TERRAMETRICS OF NEW MEXICO agent(s) for ZIA TRUST INC request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Block(s) 106 A, **BRENTWOOD HILLS**, zoned C-1, located on CANDELARIA RD NE between JUAN TABO NE and CHELWOOD PARK NE containing approximately .3369 acre(s). (H-22) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

18. **Project# 1006561**  
07DRB-70070 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

WAYJOHN SURVEYING INC agent(s) for ANASAZI DOWNTOWN LLC request(s) the above action(s) for all or a portion of Lot(s) 10, 11 & 12, Block(s) 19, **NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-3, located on CENTRAL AVE SW between 5<sup>TH</sup> ST SW and 6<sup>TH</sup> ST SW containing approximately .2445 acre(s). (K-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**



19. **Project# 1004919**  
07DRB-70073 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

WAYJOHN SURVEYING INC agent(s) for DAVID MURPHY request(s) the above action(s) for all or a portion of Tract(s) 127-B, 128-B, 129-B-2, 129-B-1, 131 & 131-A (to be known as **NORTH 2<sup>ND</sup> STREET BUSINESS CENTER**) zoned M-1, located on 2<sup>nd</sup> ST NW between MONTANO NW and GRIEGOS NW containing approximately 6.1315 acre(s). [Deferred from 06/27/07] [REF: 06DRB-00747] (F-15) **DEFERRED AT THE AGENT'S REQUEST TO 07/11/07.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

20. **Project# 1006553**  
07DRB-70066 SKETCH PLAT REVIEW  
AND COMMENT

SURVEYS SOUTHWEST LTD agent(s) for CAROL LOVATO request(s) the above action(s) for all or a portion of Lot(s) 8, Block(s) 7, **GARDNER ADDITION**, zoned R-1, located on JUPITER RD NW BETWEEN GRIEGOS RD NW AND CANDELARIA RD NW containing approximately .153 acre(s). (G-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project# 1006551**  
07DRB-70065 SKETCH PLAT REVIEW  
AND COMMENT

MARK A LUCERO & MARY JO LUCERO request(s) the above action(s) for all or a portion of Tract(s) 1, **LAND OF MANUEL G. JARAMILLO** zoned RA-2, located on LOS LUCEROS RD NW BETWEEN ZICKERT RD NW AND DURANES NW containing approximately .57 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **Project# 1006571**  
07DRB-70079 SKETCH PLAT REVIEW  
AND COMMENT

JAY CRAMER agent(s) for KATHLEEN JIO request(s) the above action(s) for all or a portion of Tract(s) 309-B-2, zoned RA-2, located on MOUNTAIN RD NW BETWEEN MONTOYA NW AND LULAC AVE NW containing approximately .552 acre(s). (J-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. Approval of the Development Review Board Minutes for June 20, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR JUNE 20, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:00 A.M.



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

June 20, 2007

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Kristal Metro, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:10 A.M.

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project# 1004178**  
07DRB-70020 MAJOR - 2YR SUBD IMP  
AGMT (2YR SIA)

GARCIA/KRAEMER & ASSOCIATES agent(s) for NM ONE CALL request(s) the above action(s) for all or a portion of Block(s) 27, Tract(s) G-1 & G-2, **MESA VILLAGE** zoned O-1, located on EUBANK BLVD NE BETWEEN LOMAS BLVD NE AND WALKER NE containing approximately 2.2 acre(s). (J-20) **THE TWO-YEAR SIA WAS APPROVED.**



2. **Project# 1003857**  
07DRB-70017 MAJOR - PRELIMINARY  
PLAT APPROVAL  
07DRB-70018 MINOR - TEMP DEFR  
SWDK CONST

BRASHER AND LORENZ INC agent(s) for MIKE GONZALES request(s) the above action(s) for all or a portion of Lot(s) A, **BARELAS TOWN HOMES** zoned SU-2 FOR RT, located on SIMPIER LN SW BETWEEN FOURTH ST SW AND EIGHTH ST SW containing approximately 1.0618 acre(s). [REF: 06DRB-01300] (L-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 06/20/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 05/11/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT APPROVAL: A SIDEWALK WAIVER REQUEST AND SUBDIVISION DESIGN VARIANCE ARE REQUIRED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project# 1005343**  
07DRB-70016 VACATION OF PUBLIC  
RIGHT-OF-WAY

SURVEYS SOUTHWEST LTD agent(s) for MONEER HINDI request(s) the above action(s) for all or a portion of Lot(s) 3-A, **MANKIN INC** zoned C-2, located on SKYLINE RD NE BETWEEN I-40 AND CENTRAL AVE NE. [REF: 07DRB00066, 07DRB00067] (L-22) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project# 1006502**  
07DRB-70015 VACATION OF PUBLIC  
EASEMENT

A & J HOMES INC agent(s) for BEATRICE ALCON request(s) the above action(s) for all or a portion of Lot(s) FF, Block(s) 4, **THE PALISADES REPLAT** zoned R-1, located on LA BAJADA CT NW BETWEEN PALISADES NW AND LA RAJADA DR NW containing approximately .2475 acre(s). (J-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project# 1006503**  
07DRB-70019 MAJOR - SDP FOR  
BUILDING PERMIT

CHESH ENT INC request(s) the above action(s) for all or a portion of Lot(s) 6, **JOURNAL CENTER, UNIT 2**, zoned IP, located on MASTHEAD NE BETWEEN WASHINGTON NE AND JEFFERSON NE containing approximately .53 acre(s). (D-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR REMOVAL OF THE ENCROACHMENTS IN THE 20-FOOT WATERLINE EASEMENT AND TRANSPORTATION DEVELOPMENT FOR ADA RAMP, SMALL CAR SPACE PAINTING, PARKING COUNTS, CITY STANDARD DRAWING NOTES, 15-DAY APPEAL PERIOD AND 3 COPIES OF THE SITE PLAN.**

6. **Project # 1002962**  
07DRB-00613 Major-SiteDev Plan Subd  
07DRB-00615 Major-SiteDev Plan  
BldPermit

BOHANNAN HUSTON INC agent(s) for CANTATA AT THE TRAILS INC request(s) the above action(s) for Tract 5 and a portion of Tract 4 OS, THE TRAILS, UNIT 2, (to be known as **CANTATA AT THE TRAILS**) zoned SU-2 UR located on OAKRIDGE ST NW between WOODMONT AVE NW and UNIVERSE NW containing approximately 25 acre(s). [REF: 04DRB-01322] [Deferred from 06/06/07 & 06/20/07] (C-9) **DEFERRED AT AGENT'S REQUEST TO 06/27/07.**

7. **Project # 1005031**  
06DRB-01077 Major-Vacation of Public  
Easements

SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] [Deferred from 8/23/06, 9/13/06, 9/27/06, 10/4/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07 & 6/20/07] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 7/18/07.**

06DRB-01017 Major-Preliminary Plat  
Approval  
06DRB-01018 Minor-Temp Defer SDWK

SURV TEK & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). (Listed as Project 1004644 in error) [Deferred from 8/9/06, 8/23/06, 9/13/06, 9/27/06, 10/4/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07 & 6/20/07] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 7/18/07.**

06DRB-01282 Minor-Subd Design (DPM)  
Variance

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018, DRB-01077] [Deferred from 9/13/06, 9/27/06, 10/4/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07 & 6/20/07] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 7/18/07.**

8. **Project # 1005070**  
06DRB-01154 Major-Preliminary Plat  
Approval  
06DRB-01156 Minor-Sidewalk Waiver  
06DRB-01155 Minor-Temp Defer SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). [Deferred from 9/6/06, 9/13/06, 9/27/06, 10/11/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07 & 6/20/07] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 7/18/07.**



9. **Project # 1004075**  
06DRB-01537 Major-Vacation of Pub  
Right-of-Way  
06DRB-01539 Minor-Vacation of Private  
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] [Deferred from 11/15/06,12/13/06, 1/3/07,1/17/07, 2/7/07, 2/28/07, 3/21/07,04/11/07, 05/02/07 & 5/30/07 & 6/20/07]. (R-16, Q-16, R-15, R-17, S-14, S-16, S-17, T-16) **DEFERRED AT THE AGENT'S REQUEST TO 7/11/07.**

10. **Project # 1005564**  
07DRB-00619 Major-Preliminary Plat  
Approval

MARK SNAPP agent(s) for CALITERRA DEVELOPMENT request(s) the above action(s) for all or any portion of Tract(s) 212-BIA & 210-BIA, **RIO PERLES ADDITION**, zoned R-2, located on AMADO NW between RICE RD NW and SERNA RD NW containing approximately 1 acre(s). [Deferred from 06/06/07 & 6/20/07] (H-12) **DEFERRED AT THE AGENT'S REQUEST TO 7/25/07.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

11. **Project# 1000762**  
07DRB-70053 EPC APPROVED SDP  
FOR SUBDIVISION

CONSENSUS PLANNING agent(s) for FOUNTAIN HILLS PLAZA LLC request(s) the above action(s) for all or a portion of Tract(s) 2B, **ALBUQUERQUE WEST, UNIT 1**, zoned SU-1 FOR IP USES W/ EXCEPTIONS, located on PASEO DEL NORTE NW BETWEEN PARADISE BLVD NW AND EAGLE RANCH RD NW containing approximately 21 acre(s). [Carmen Marrone for Stephanie Shumsky, EPC Case Planner] (C-12) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SEVERAL COMMENTS AND TO PLANNING FOR 3 COPIES.**

12. **Project# 1005482**  
07DRB-70059 EPC APPROVED SDP  
FOR BUILD PERMIT

DESIGN PLUS LLC agent(s) for STONEBRIDGE INVESTMENT GROUP request(s) the above action(s) for all or a portion of Tract(s) 2 & 3, **MIRA MESA ESTATES**, zoned C-2 SC, located on HANOVER RD NW BETWEEN 64<sup>th</sup> ST NW AND 68<sup>th</sup> ST NW containing approximately 5 acre(s). [Anna Di Mambro, EPC Case Planner] [Deferred from 6/20/07] (J-10) **DEFERRED AT THE AGENT'S REQUEST TO 6/27/07.**

13. **Project# 1006505**  
07DRB-70021 MINOR - SDP FOR  
BUILDING PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for EDDIE CORLEY JR & SR LLC request(s) the above action(s) for all or a portion of Lot(s) 17, 18, 19, 20 & a portion 21, Tract(s) A, Block(s) 9, NORTH ALBUQUERQUE ACRES, UNIT B, (to be known as **CORLEY'S ALBUQUERQUE**) zoned SU-2 FOR IP USES, located on EAGLE ROCK ROAD NE BETWEEN EAST FRONTAGE ROAD NE AND SAN PEDRO NE containing approximately 3.9 acre(s). [Deferred from 06/06/07 & 6/13/07] (C-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES.**

07DRB-70055 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for EDDIE CORLEY request(s) the above action(s) for all or a portion of Lot(s) 17, 18, 19, 20 & portion of 21, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, Unit(s) B**, zoned SU-2 IP, located on EAGLE ROCK AVE NE BETWEEN PAN AMERICAN FREEWAY NE AND SAN PEDRO DR NE containing approximately 4.7346 acre(s). (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/20/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/21/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

#### **MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

14. **Project# 1004878**  
07DRB-70050 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for GEORGE METZGAR request(s) the above action(s) for all or a portion of Lot(s) 9-A, 9-B, 9-C & 9-D, Block(s) A, **SOUTH BROADWAY ACRES, Unit(s) 1**, zoned SU-2 MR, located on BETHEL DR SE AND TOPEKA ST SE containing approximately 1.2413 acre(s). (M-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project# 1005240**  
07DRB-70056 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for ROBIN HENDREXSON request(s) the above action(s) for all or a portion of Tract(s) H-1 & K-1, **GATEWAY INDUSTRIAL PARK**, zoned SU-1 FOR PLANNED IND DEVELOP, located on BROADWAY BLVD NE BETWEEN CLAREMONT AVE NE AND MENAUL BLVD NE containing approximately 4.3249 acre(s). (H-14/15) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**



16. **Project# 1004161**  
07DRB-70040 MAJOR - FINAL PLAT APPROVAL
- HIGH MESA CONSULTING GROUP agent(s) for WILLIAM AND BENITA BRENNAN request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, **RIVERSIDE PLAZA**, zoned SU-1 FOR PRD/8DU/ACRE REQ. LANDSCAPE, located on WINTER HAVEN RD NW BETWEEN LA ORILLA RD NW AND MONTANO PLAZA DRIVE NW containing approximately 3.1719 acre(s). (E-12) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR 2 SEWER ACCOUNTS FOR THE EXISTING HOMES AND TO PLANNING FOR HOMEOWNERS ASSOCIATION COMMENTS AND RESTRICTIONS, PARK NOTE AND OPEN SPACE REQUIREMENT.**
17. **Project# 1000072**  
07DRB-70041 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- DR HORTON request(s) the above action(s) for all or a portion of Tract(s) AA & BB, Block(s) 1, **CARMEL SUBDIVISION**, zoned R-D, located on CARMELITO LOOP NE BETWEEN HOLLY AVE NE AND CARMEL AVE NE containing approximately .1491 acre(s). [Indef Def from 6/20/07](C-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
18. **Project #1003828**  
07DRB-00717 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- WILLIAM T CANIGLIA, agent(s) for CANDELARIA VILLAGE COMPANY request(s) the above action(s) for all or a portion of Lot(s) 38, **CANDELARIA VILLAGE**, zoned R-1, located on 12<sup>TH</sup> ST NW and DON FRANCISCO PL NW containing approximately 0.338 acre(s). [Defer from 06/20/07] (G-13) **DEFERRED AT THE AGENT'S REQUEST TO 7/11/07.**
19. **Project# 1003445**  
07DRB-70054 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for FOUNTAIN HILLS PLAZA LLC request(s) the above action(s) for Tract(s) B-1-A, C-1-A, D-1-A & Lot(s) 6-A-1-A, A and 10-A-2, Block(s) D, Unit 1, ALBUQUERQUE WEST, **FOUNTAIN HILLS** and Tract(s) B, RICHLAND HILLS, UNIT 1, zoned SU-1 FOR IP USES W/EXCEPTIONS & PDA TO INCLUDE C-3 USES, located on NUNZIO AVE NW between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 39.9074 acre(s). [REF: 07DRB00261] (C-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/20/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/04/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: VACATE THE 10-FOOT PUBLIC UTILITY EASEMENT, MAINTENANCE AND BENEFICIARIES OF 24-FOOT EASEMENT AND NOTE 5, A ROUNDABOUT DESIGN AND ENSURE 1-FOOT PUBLIC RIGHT-OF-WAY EASEMENT IS EXCLUSIVE OF 10-FOOT PUBLIC UTILITY EASEMENT. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

20. **Project# 1003364**

07DRB-70003 EPC APPROVED SDP  
FOR BUILD PERMIT

TAFAZZUL HUSSAIN agent(s) for PHILLIP LINDBORG request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-A1, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned SU-2 MIXED USE, located on HOLLY AVE NE BETWEEN LOUISIANA NE AND WYOMING NE containing approximately 1 acre(s). [Anna DiMambro, EPC Case Planner] [Indef deferred from 5/30/07] [Defer from 06/20/07] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/27/07.**

21. **Project# 1003692**

07DRB-70035 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

WILSON AND COMPANY INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) A, B, AND C, LANDS OF ALBUQUERQUE PUBLIC SCHOOLS (to be known as **HEIGHTS COMMUNITY CENTER**) zoned SU-2 for O-1, located on BUENA VISTA AVE SE BETWEEN ST. CYR AVE SE AND COAL AVE SE containing approximately 7.916 acre(s)(K-15) [Deferred from 6/13/07 & Indef Deferred on 06/20/07] **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

22. **Project# 1006543**

07DRB-70058 SKETCH PLAT REVIEW  
AND COMMENT

SURVEYS SOUTHWEST LTD agent(s) for ALBERTSON'S INC request(s) the above action(s) for all or a portion of Tract(s) 61 A-1, **TOWN OF ATRISCO GRANT, UNIT 6**, zoned C-2, located on CENTRAL AVE SW BETWEEN COORS BLVD SW AND AMANDA ST SW containing approximately 6.195 acre(s). (K 10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. **Project# 1006541**

07DRB-70057 SKETCH PLAT REVIEW  
AND COMMENT

HOWARD KARNES & BARBARA REDISH agent(s) request(s) the above action(s) for all or a portion of Lot(s) 11 & 10, Block(s) D, **CHIMNEY RIDGE TOWNHOUSES, A BURNSIDE ENTERPRISE UNIT 6**, zoned SU-1 PUD, located on DEL CAMPO PL NE BETWEEN SAN PEDRO NE AND OSUNA NE. (F-8) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

24. Approval of the Development Review Board Minutes for June 13, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR JUNE 13, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:10 A.M.



# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003364**

**AGENDA ITEM NO: 20**

**SUBJECT:**

Site Plan for Building Permit

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

An approved infrastructure list is required for site plan approval. - *for WL relocation*  
An approved SIA with Financial Guarantee(s) is required prior to site plan sign off by City Engineer.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:**

*6-27-07*

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED ; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** JUNE 20, 2007

0



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

May 30, 2007

9:00 A.M.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: Noon

B. Changes and/or Additions to the Agenda

C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- Project # 1002371**  
07DRB-00577 Major-Vacation of Public Easements  
07DRB-00576 Minor-Prelim&Final Plat Approval

TIERRA WEST LLC agent(s) for HOFFMANTOWN WEST CHURCH request(s) the above action(s) for all or any portion of Tract(s) 1-A-1, Block(s) 15, ALBAN HILLS (to be known as **HOFFMANTOWN WEST CHURCH**) zoned SU-1 for R-2 with church related uses, located on LA ORILLA RD NW between COORS BLVD NW and the CORRALES DRAIN containing approximately 17 acre(s). [REF: 02DRB01824, 03DRB02150, 05DRB00560, 03DRB02085, 03DRB02086, 03EPC01285, 07DRB00286] [Deferred from 5/30/07] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 6/6/07.**



2. **Project # 1005539**  
07DRB-00580 Major-Vacation of Pub  
Right-of-Way

WILSON AND COMPANY agent(s) for MGMe DEVELOPMENT INC request(s) the above action(s) for all or any portion of Lot(s) 1, Block(s) 5, VOLCANO CLIFFS SUBDIVISION, UNIT 26 (to be known as **TIERRA BUENA ESTATES**) zoned SU-2 SRLL located on ROSA PARKS RD NW between UNSER BLVD NW and CALLE NORTENA NW containing approximately 4 acre(s). [REF: 07DRB00561] (C-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH THE FOLLOWING CONDITION OF FINAL PLAT: PRIOR TO THE REPLAT A RE-EVALUATION OF THE LEFT HAND TURN BAYS WILL BE NEEDED.**

3. **Project # 1005540**  
07DRB-00578 Major-Vacation of Public  
Easements  
07DRB-00579 Major-Vacation of Pub  
Right-of-Way

WILSON AND COMPANY agent(s) for LEGACY SUSTAINABLE DEVELOPMENT INC request(s) the above action(s) for all or any portion of Tract(s) D, **LA CUENTISTA SUBDIVISION, UNIT 3**, zoned SU-2 SRLL, located on KIMMICK DR NW between ROSA PARKS RD NW and the PETROGLYPH NATIONAL MONUMENT containing approximately 20 acre(s). [REF: 07DRB00562] (C-11 & D-11) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH THE FOLLOWING CONDITION OF FINAL PLAT: PRIOR TO THE REPLAT A RE-EVALUATION OF THE LEFT HAND TURN BAYS WILL BE NEEDED.**

4. **Project # 1004075**  
06DRB-01537 Major-Vacation of Pub  
Right-of-Way  
06DRB-01539 Minor-Vacation of Private  
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] [Deferred from 11/15/06, 12/13/06, 1/3/07, 1/17/07, 2/7/07, 2/28/07, 3/21/07, 04/11/07 & 05/02/07 & 5/30/07]. (R-16, Q-16, R-15, R-17, S-14, S-16, S-17, T-16) **DEFERRED AT THE AGENT'S REQUEST TO 6/20/07.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

5. **Project# 1003364**  
07DRB-70003 EPC APPROVED SDP  
FOR BUILD PERMIT

TAFAZZUL HUSSAIN agent(s) for PHILLIP LINDBORG request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-A1, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned SU-2 MIXED USE, located on HOLLY AVE NE BETWEEN LOUISIANA NE AND WYOMING NE containing approximately 1 acre(s). [Anna DiMambro, EPC Case Planner] [*Indef deferred from 5/30/07*] (C-19) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
  
6. **Project# 1005239**  
07DRB-70009 EPC APPROVED SDP  
FOR BUILD PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for MECH-CON INVESTMENT LLC request(s) the above action(s) for all or a portion of Tract(s) K-1, **GATEWAY INDUSTRIAL PARK**, zoned IP, located on BROADWAY NE BETWEEN MENAUL NE AND CLAREMONT NE containing approximately 1.75 acre(s). [REF: 06EPC 01583] [Catalina Lehner, EPC Case Planner] (H-15) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS-ACCESS WITH PLAT 30 FEET AND MINOR SITE COMMENTS AND PLANNING FOR CATALINA LEHNER'S INITIALS AND 3 COPIES OF THE SITE PLAN.**
  
7. **Project# 1005240**  
07DRB-70007 EPC APPROVED SDP  
FOR BUILD PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for MECH-CON INVESTMENT LLC request(s) the above action(s) for all or a portion of Tract(s) H-1, **GATEWAY INDUSTRIAL PARK**, zoned IP, located on BROADWAY NE BETWEEN MENAUL NE AND CLAREMONT NE containing approximately 2.575 acre(s). [Catalina Lehner, EPC Case Planner](H-14) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CATALINA LEHNER'S INITIALS, REMOVAL OF SIGNATURE BLOCK FROM UTILITY PLAN AND 3 COPIES OF THE SITE PLAN.**



8. **Project# 1005280**  
07DRB-70011 EPC APPROVED SDP  
FOR BUILD PERMIT  
07DRB-70012 EPC APPROVED SDP  
FOR SUBDIVISION

GEORGE RAINHART ARCHITECTS agent(s) for SCM PROPERTY CO LLC request(s) the above action(s) for all or a portion of TRACT 16-A-1, PARADISE NORTH AND TRACT E-A-1, CRESTVIEW SUBDIVISION (to be known as **MCMAHON MARKETPLACE**) zoned SU-1 FOR C-1 PURPOSES, located on MCMAHON NW BETWEEN BANDELIER DR NW AND UNSER BLVD NW containing approximately 12.3 acre(s). [REF: 06EPC01706, 06EPC01705, 063PC01704] [**Catalina Lehner, EPC Case Planner**] [*Indef deferred from 5/30/07*] (A-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

9. **Project# 1005498**  
07DRB-70006 MINOR - SDP FOR  
BUILDING PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for MART-NAIR, LLC request(s) the above action(s) for all or a portion of Lot(s) 10-12 and portion of Lot 13, Block(s) 3, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **UNIVERSITY OF PHOENIX**) zoned IP, located on PASADENA NE BETWEEN I-25 FRONTAGE ROAD NE AND SAN MATEO BLVD NE containing approximately 3 acre(s). (B-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/30/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELGATED TO CITY ENGINEER FOR SIA AND PLANNING TO CHANGE THE TITLE TO SITE PLAN FOR BUILDING PERMIT AND 3 COPIES OF THE PLAN.**

07DRB-70001 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

SURV-TEK INC agent(s) for MART-NAIR, LLC request(s) the above action(s) for all or a portion of Lot(s) 10-12, and portion of Lot 13, Block(s) 3, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **UNIVERSITY OF PHOENIX**) zoned IP, located on PASADENA NE BETWEEN I-25 FRONTAGE ROAD NE AND SAN MATEO BLVD NE containing approximately 3 acre(s). (B-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

10. **Project # 1005545**  
07DRB-00588 Minor-SiteDev Plan  
BldPermit

MULLEN HELLER ARCHITECTURE agent(s) for FARM CREDIT OF NEW MEXICO request(s) the above action(s) for all or any portion of Tract(s) C-1-A, **NORTH GATEWAY SUBDIVISION**, zoned IP industrial park, located on BALLOON FIESTA PARKWAY NE between SAN MATEO NE and PAN AMERICAN FREEWAY containing approximately 2 acre(s). [REF:DRB-97-6] [Deferred from 5/16/07] (B-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR UTILITY PLAN, FIRE MARSHAL STAMP, REVISED WORK ORDER SETS AND PLANNING FOR 3 COPIES OF THE PLAN.**

11. **Project # 1002455**  
06DRB-01648 Minor-SiteDev Plan  
Subd/EPC  
06DRB-01649 Minor-SiteDev Plan  
BldPermit/EPC

TFAZZUL HUSSAIN agent(s) for DOUGLAS SIMMS request(s) the above action(s) for all or a portion of Lot(s) 2-7, **J J SUBDIVISION**, zoned SU-1 for C-1 USES, located on SAN ANTONIO DR NE, between I-25 and SAN PEDRO NE containing approximately 8 acre(s). [REF: 06DRB-00610, 06EPC-00458, 06EPC-01076] [**Carmen Marrone, EPC Case Planner**] [Indef deferred from 11/29/06] [Indef deferred from 5/30/07] (E-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

07DRB-70004 VACATION OF  
PRIVATE EASEMENT  
07DRB-70005 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

RIO GRANDE SURVEYING CO. agent(s) for SAN ANTONIO PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 3-7, **JJ SUBDIVISION**, zoned SU-1 for C-1 USES, located on SAN ANTONIO NE between INTERSTATE 25 NE and FOREST HILLS NE containing approximately 6.5044 acre(s). [Indef deferred from 5/30/07] (E-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**



12. **Project # 1000762**  
07DRB-00597 Minor-SiteDev Plan  
BldPermit/EPC

GOLDEN ASSOCIATES LLC agent(s) for FIRST BAPTIST CHURCH request(s) the above action(s) for all or any portion of Tract(s) B, RICHLAND HILLS, UNIT 1, **FIRST BAPTIST CHURCH**, zoned SU-1 FOR IP uses with exceptions, located on PASEO DEL NORTE NW between RICHLAND HILLS RD NW and EAGLE RANCH RD NW containing approximately 6 acre(s). [REF: 06EPC01711] [Stephanie Shumsky, EPC Case Planner] [Deferred from 5/23/07] (C-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/30/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR REPLAT, STEPHANIE SHUMSKY'S INITIALS AND 3 COPIES OF THE PLAN.**

13. **Project # 1005390**  
07DRB-00648 Minor-SiteDev Plan  
BldPermit

TIMOTHY OTT request(s) the above action(s) for all or any portion of Lot(s) 9, 10 & 12, **NZ COMMERCIAL, THE RANDOLPH BUILDING**, zoned IP, located on RANDOLPH RD SE between YALE BLVD SE and UNIVERSITY BLVD SE containing approximately 4 acre(s). [REF: 07DRB-00648] [Deferred from 5/23/07] (M-15) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES.**

07DRB-00206 Minor-Final Plat Approval

BORDENAVE DESIGNS agent(s) for TIMOTHY OTT request(s) the above action(s) for all or a portion of Lot(s) 9, 10 & 12, **NZ COMMERCIAL THE RANDOLPH BUILDING** zoned IP industrial park zone, located on RANDOLPH RD SE between YALE BLVD SE and UNIVERSITY BLVD SE containing approximately 4 acre(s). [Deferred from 2/28/07 & Indef deferred 3/7/07] [Deferred from 5/23/07] (M-15) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

14. **Project# 1005182**  
07DRB-70014 AMENDMENT TO  
PRELIMINARY PLAT
- WILSON AND COMPANY INC agent(s) for LA CUENTISTA II LLC request(s) the above action(s) for all or a portion of Tract(s) C, **LA CUENTISTA SUBDIVISION, UNIT 2**, zoned SU-2 SRSL, located on ROSA PARKS RD NW between ALOE RD NW and KIMMICK DR NW containing approximately 35.4714 acre(s). [REF: 1000922] [Deferred from 5/30/07] (C-10 & C-11) **DEFERRED AT THE AGENT'S REQUEST TO 6/6/07.**
15. **Project# 1004272**  
07DRB-70013 SUBDN DESIGN  
VARIANCE FROM MIN DPM STDS
- ISAACSON AND ARFMAN PA agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 16-D-1, EL RANCHO GRANDE, UNIT 16 (to be known as **EL RANCHO GRANDE, UNIT 17**) zoned R-D, located on GIBSON BLVD SW between DELGADO DR SW and 118<sup>TH</sup> ST SW containing approximately 2.9585 acre(s). [REF: 07DRB-00547, 07DRB-00548, 07DRB-00549, 07DRB-00550] (N-8) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT D IN THE PLANNING FILE.**
16. **Project# 1000572**  
07DRB-70008 MAJOR - FINAL PLAT  
APPROVAL
- ISAACSON AND ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) E, H, R, S & T, **THE PRESIDIO, UNIT 2**, zoned SU-1 PRD, located on CHICO RD NE BETWEEN EUBANK BLVD NE AND MORRIS STREET NE containing approximately 4.3225 acre(s). [REF: 06DRB-01778, 06DRB-01779, 06DRB-01781] (K-21) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

17. **Project# 1004791**  
07DRB-70002 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

WAYJOHN SURVEYING INC agent(s) for LOMAS JACK LLC request(s) the above action(s) for all or a portion of Tract(s) C, **LANDS OF GREVEY**, zoned C-1, located on LOMAS BLVD NE between WALKER DR NE and EUBANK BLVD NE containing approximately 1.226 acre(s). [REF: 06EPC-00413] (J-20) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

18. **Project # 1004565**  
06DRB-00908 Minor-Final Plat Approval

WAYJOHN SURVEYING INC agent(s) for DOYLE & TRICARIO INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 7, 8 & 9, Block(s) 16-A, SANTILLA PLACE (to be known as **CAGUA TOWNHOMES**) zoned SU-1 FOR PRD, located on CAGUA DR NE between COPPER AVE NE and GRAND AVE NE containing approximately 1 acre(s). [**Catalina Lehner, EPC Case Planner**] [*Deferred from 8/2/06 & 8/16/06 & 8/30/06 & 9/6/06 & 9/13/06*] (K-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

19. **Project# 1006500**  
07DRB-70010 SKETCH PLAT REVIEW  
AND COMMENT

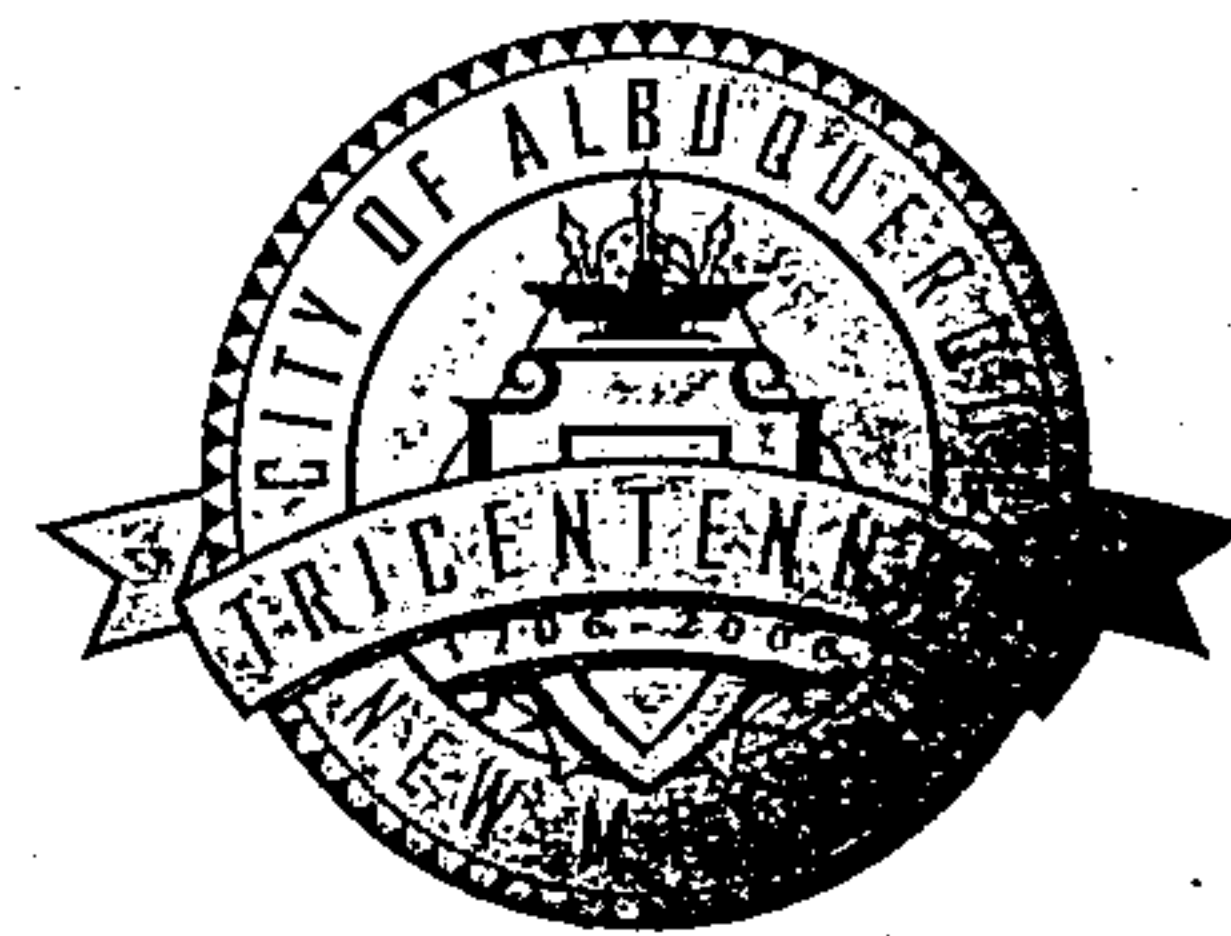
MARK GOODWIN AND ASSOCIATES PA agent(s) for KB HOMES NEW MEXICO, INC request(s) the above action(s) for all or a portion of **ANDERSON HEIGHTS, UNITS 4 & 6**, zoned R-D, located on 118<sup>TH</sup> ST SW between AMOLE MESA AVE SW and COLOBEL AVE SW containing approximately 55.274 acre(s). (N-8) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. Approval of the Development Review Board Minutes for May 23, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR 5/23/07 WERE APPROVED BY THE BOARD.**

ADJOURNED: NOON



# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003364**

**AGENDA ITEM NO: 5**

**SUBJECT:**

Site Plan for Building Permit

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

An approved infrastructure list is required for site plan approval. - for WL relocation  
An approved SIA with Financial Guarantee(s) is required prior to site plan sign off by City Engineer.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

**RESOLUTION:**

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED *Indef* X; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** MAY 30, 2007

0



May 25, 2007

City of Albuquerque  
Planning Department  
Inter-Office Memorandum

#5

TO: Sheran Matson, DRB Chair  
FROM: Anna DiMambro, Planner AD  
SUBJECT: Project # 1003364

On April 19, 2007, the Environmental Planning Commission approved Project # 1003364/07EPC-00094, a request for a site development plan for building permit for Lot 1A1A1, Block 10, North Albuquerque Acres, located on Holly Avenue NE between Louisiana and Wyoming NE.

The applicant has satisfied all of the EPC conditions of approval with the following exceptions:

1. Condition #3 requires the applicant to provide a detail drawing of the proposed retaining wall. The applicant has provided this detail, however, the scale for the drawing is not correct. The wall should not be more than 4' high. According to the scale provided, the wall is 8' high.
2. Condition 5c: The applicant has not removed the number "1" from a parking space at the west end of the site.
3. Condition #10: The applicant has not indicated that metal canopies and supports will be treated to prevent glare.
4. Condition #11: The applicant has not corrected the spelling of "fire hydrant" on Sheet L1.
5. Condition #14: The building elevations approved by the EPC contain Keyed Note #8 stating that anti-graffiti coat will be provided over all doors. This note has been eliminated on the DRB submittal. The new submittal has Keyed Note #8 indicating a door type. An additional note should be added indicating the anti-graffiti coating, and the drawing should be revised so that door do not have 2 Keyed Notes pointing to them.
6. It is important to note that the building elevations submitted to the DRB do not match those approved by the EPC. The EPC approved a maximum height of 26', which complies with the governing site development plan for subdivision. The DRB submittal shows a height of 34'. Also, the DRB submittal has eliminated doors from the east and west elevations.

If you should have any questions regarding this case, please do not hesitate to call me at 924-3924. I will be out of the office May 29 and 30, returning on May 31, 2007.

Thank you.





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

December 13, 2006

**4. Project # 1003364**  
06DRB-01639 Major-Vacation of Public Easements

GARCIA/KRAEMER & ASSOCIATES agent(s) for PR INVESTMENTS LLC request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-A-1, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES UNIT 3**, zoned SU-2 FOR MIXED USE, located on LOUISIANA BLVD NE, between PASEO DEL NORTE NE and HOLLY AVE NE containing approximately 1 acre(s). [REF: 05DRB-01210] (C-19)

At the December 13, 2006, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

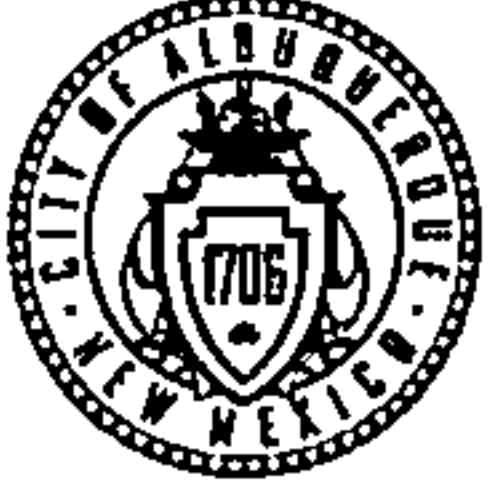
CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

A condition of final plat approval: The existing water line shall be relocated and in service prior to final plat approval.

If you wish to appeal this decision, you must do so by December 28, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.



## OFFICIAL NOTICE OF DECISION

PAGE 2

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Sheran Matson, AICP, DRB Chair

Cc: PR Investments LLC, 7620 San Diego NE, 87112  
Garcia/Kraemer & Associates, 200 Lomas NW, Suite 1111, 87102  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
File

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
December 13, 2006  
DRB Comments**

**ITEM # 4**

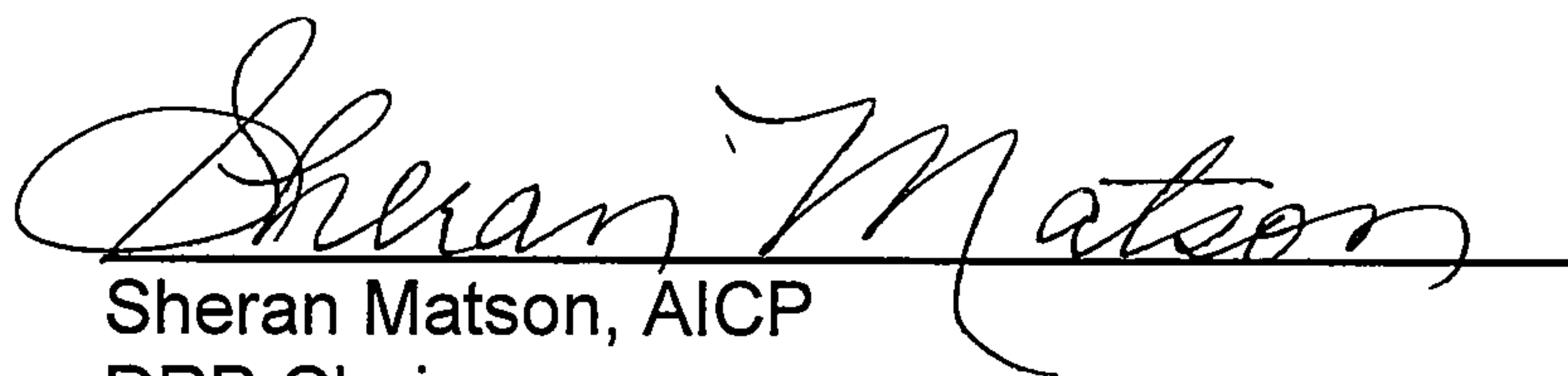
**PROJECT # 1003364**

**APPLICATION # 06DRB-01639**

**RE: Lot 1-A-1-A-1, NAA Tract 2 Unit 3/vpue**

No objection to the requested vacation of public water line easement.  
Defer to Water Utilities.

If approved, applicant has one year to file the plat completing the  
vacation.



Sheran Matson, AICP

DRB Chair

924-3880 fax 924-3864 smatson@cabq.gov





C18

LOUISIANA

HOLLY

8110  
1A1A1

# 4  
1003364  
12/13/2006

8100  
1A2A





# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003364 AGENDA#: 4 DATE: 12/13/06

1. Name: Bill Kraemer Address: \_\_\_\_\_ Zip: \_\_\_\_\_
2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_
14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003364**

**AGENDA ITEM NO: 4**

**SUBJECT:**

Vacation of Public Easements

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

No objection to Vacation request.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:**

APPROVED ; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** DECEMBER 13, 2006





CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

December 6, 2006

**Project # 1003364**  
06DRB-01639 Major-Vacation of Public Easements

GARCIA/KRAEMER & ASSOCIATES agent(s) for PR INVESTMENTS LLC request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-A-1, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES UNIT 3**, zoned SU-2 FOR MIXED USE, located on LOUISIANA BLVD NE, between PASEO DEL NORTE NE and HOLLY AVE NE containing approximately 1 acre(s). [REF: 05DRB-01210] (C-19)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	No comments received.
Zoning Enforcement	No adverse comments.
Neighborhood Coordination	

Letters sent to North Domingo Baca NA (R) and West La Cueva NA (R).

APS The request to vacate a public water line easement for Lot 1-A-1-A-1, Block 10, Track 2, **North Albuquerque Acres Unit 3**, (intersection of Louisiana Blvd NE and Holly Ave NE) in order to develop an office/retail space will have no adverse impacts to the APS district.

Police Department	No crime prevention or CPTED comments at this time.
Fire Department	No adverse comments.
PNM Electric & Gas	Approved.
Comcast	No comments received.
QWEST	No comments received.
Environmental Health	No comments received.
M.R.G.C.D.	No comments received.

Open Space Division

No adverse comments.

City Engineer

Defer to Utilities.

Transportation Development

Defer to Utilities.

Parks & Recreation

Defer to Utilities.

Utilities Development

There is an existing water line within the easement requested to be vacated. No objection to Vacation request with the condition that the existing water line be relocated and in service prior to approval of Final Plat.

Planning Department

No objection. If approved, applicant has one year to file the plat completing the vacation. Otherwise, the vacation will expire.

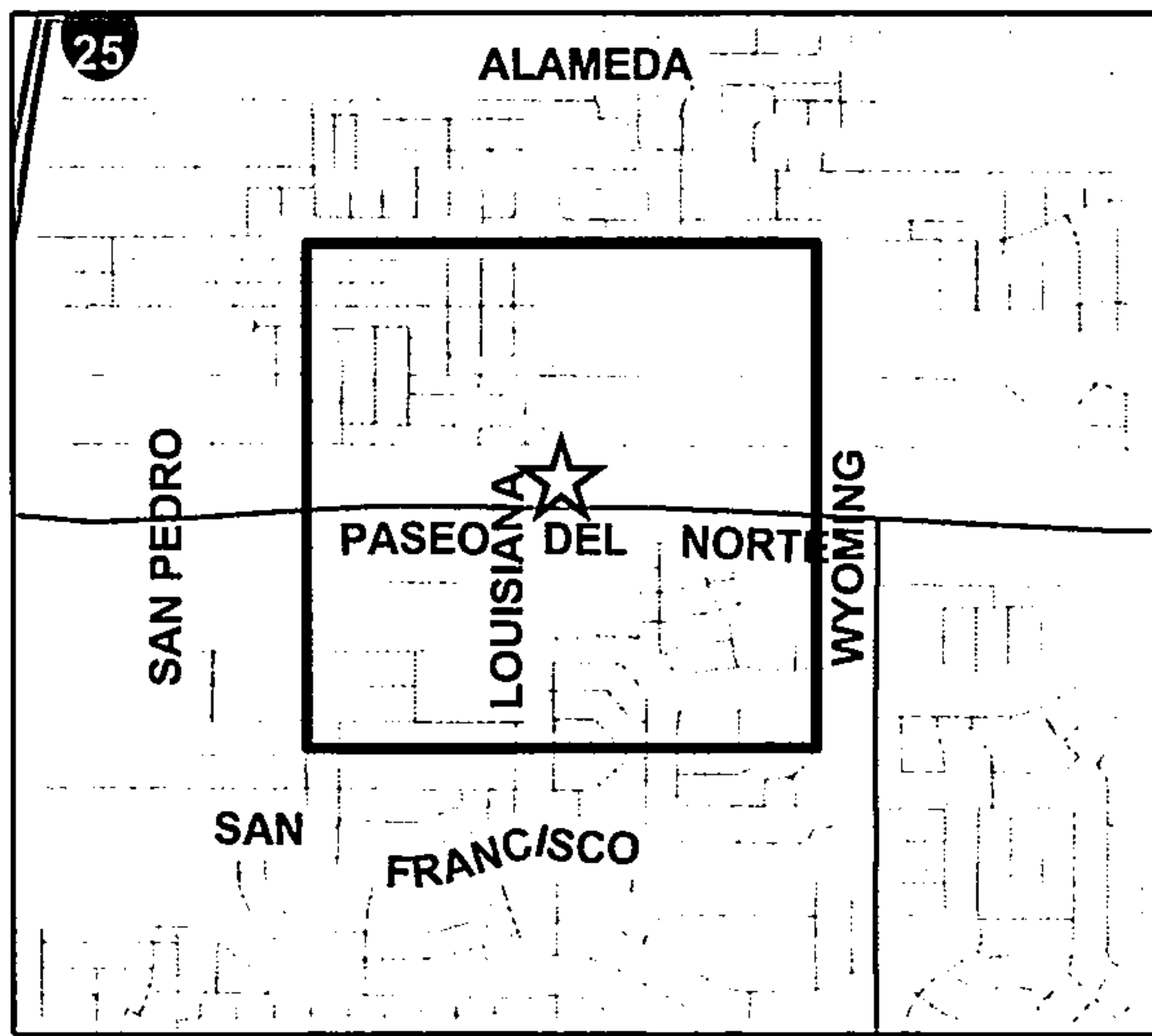
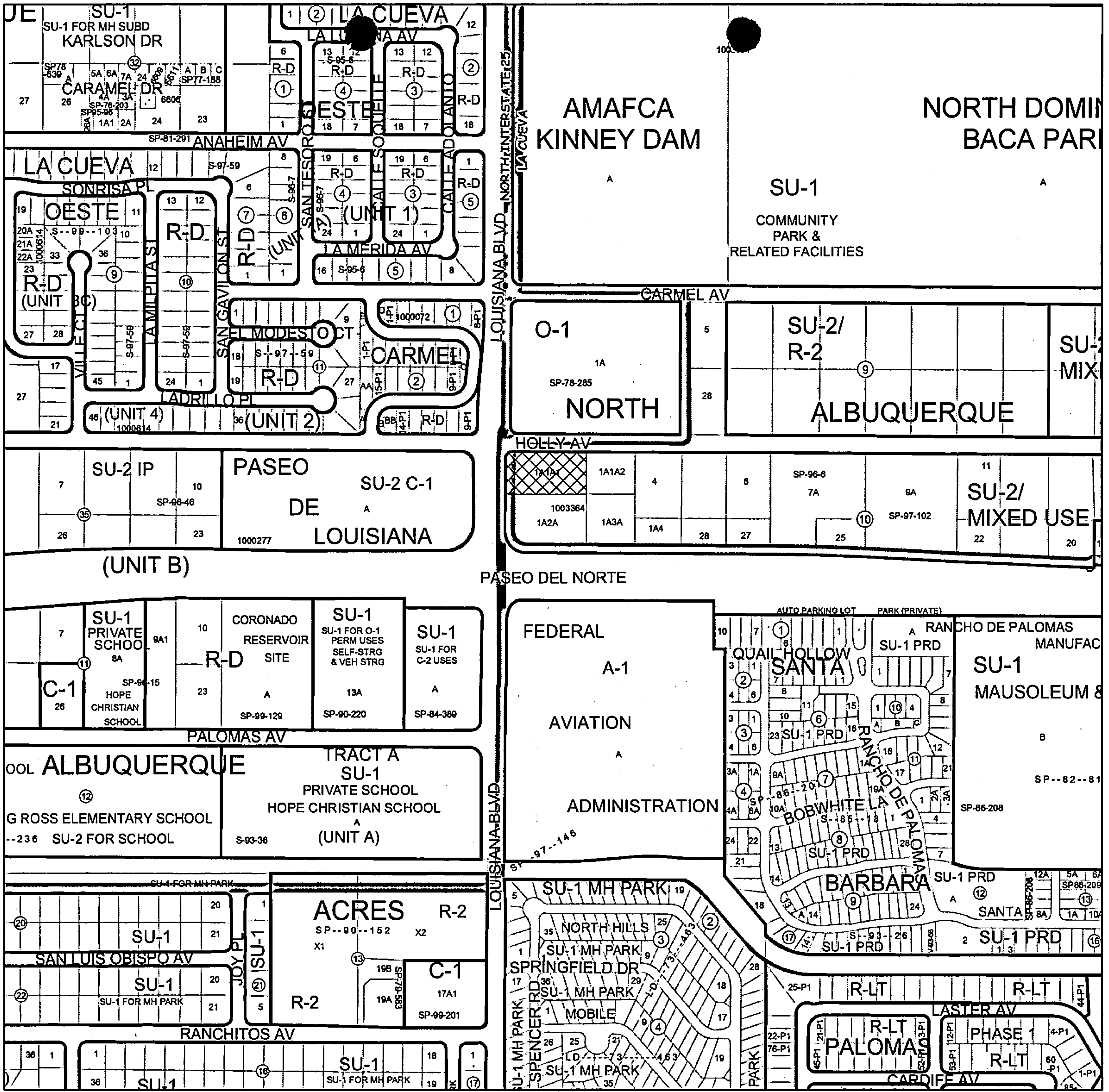
Impact Fee Administrator

No comment on proposed vacation of public water line easement.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

Cc:PR Investments LLC, 7620 San Diego NE, 87112

Garcia/Kraemer & Associates, 200 Lomas NW, Suite 1111, 87102



# ZONING MAP

Note: Grey shading indicates County.



1 inch equals 500 feet  
 Project Number:  
 1003364  
 Hearing Date:  
 12/13/2006  
 Zone Map Page:  
 C-19  
 Additional Case Numbers:  
 06DRB-01639





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, December 13, 2006, beginning at 9:00 a.m. for the purpose of considering the following:

**Project # 1005255**

06DRB-01629 Major-Vacation of Pub  
Right-of-Way

DAC ENTERPRISES INC agent(s) for J C PETERSON & JAMES A PETERSON request(s) the above action(s) for Lot(s) A-1 of Block(s) 15 & Lot(s) C-1 of Block(s) 10, **VISTA LARGA ADDITION**, located on HARVARD DR NE, between HANNETT AVE NE and STANFORD NE. (J-16)

**Project # 1005257**

06DRB-01638 Major-SiteDev Plan  
BldPermit

DESIGN 2 FUNCTION LLC agent(s) for EEEEC, LLC request(s) the above action(s) for all or a portion of Lot(s) 3A1C, Block(s) A, **INTERSTATE INDUSTRIAL TRACT, UNIT 2**, zoned IP industrial park zone, located on GULTON CT NE, between OSUNA RD NE and NORTH DIVERSION CHANNEL containing approximately 1 acre(s). (E-17)

**Project # 1003572**

06DRB-01626 Minor-SiteDev Plan  
BldPermit

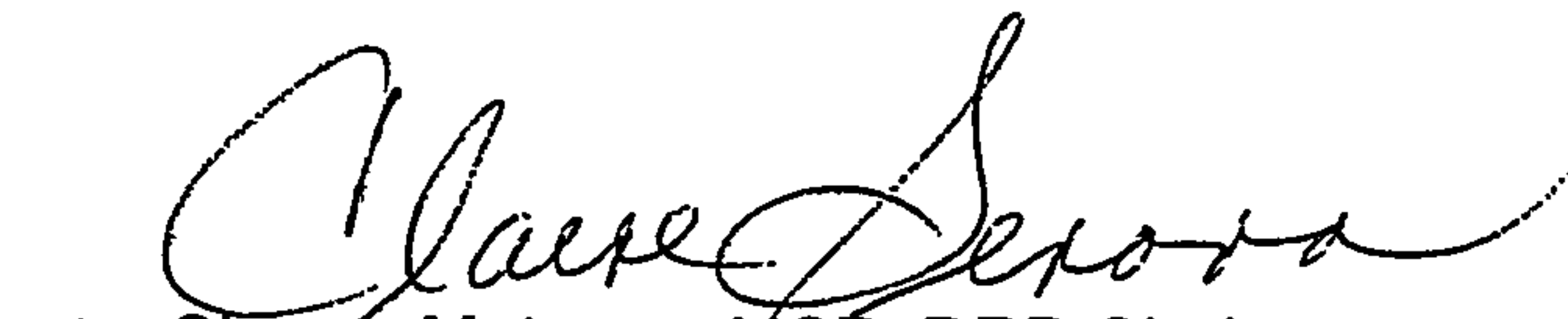
CLAUDIO VIGIL ARCHITECTS agent(s) for BRUNACINI DEVELOPMENT LTD CO., request(s) the above action(s) for Tract(s) A-4, Block(s) 0000, Unit 2, **JOURNAL CENTER, PHASE 2**, zoned IP, located between RUTLEDGE RD NE and SNAPROLL NE containing approximately 3 acre(s). (D-17)

**Project # 1003364**

06DRB-01639 Major-Vacation of Public  
Easements

GARCIA/KRAEMER & ASSOCIATES agent(s) for PR INVESTMENTS LLC request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-A-1, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES UNIT 3**, zoned SU-2 FOR MIXED USE, located on LOUISIANA BLVD NE, between PASEO DEL NORTE NE and HOLLY AVE NE containing approximately 1 acre(s). [REF: 05DRB-01210] (C-19)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

  
for Sheran Matson, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, NOVEMBER 27, 2006.**

**CITY OF PLANNING  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** December 13, 2006  
**Zone Atlas Page:** C-19  
**Notification Radius:** 100 Ft.

**Project#** 1003364  
**App#**06DRB-01639

**Cross Reference and Location:** 8110 LOUISIANA NE BETWEEN PASEO DEL NORTE NE AND HOLLY NE

**Applicant:** PR INVESTMENTS, LLC  
7620 SAN DIEGO NE  
ALBUQUERQUE, NM 87112

**Agent:** WILLIAM KRAEMER  
GARCIA/KRAEMER & ASSOCIATES  
200 LOMAS NW *Ste 111*  
ALBUQUERQUE, NM 87102

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day's prior to the meeting.**

**Date Mailed:** NOVEMBER 22, 2006  
**Signature:** ERIN TREMLIN



# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: PR INVESTMENTS LLC PHONE: 450-4388  
 ADDRESS: 7620 SAN DIEGO NE FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87112 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_  
 AGENT (if any): GARCIA / KRAMER + ASSOCIATES PHONE: 242-5566  
 ADDRESS: 200 LOMAS NW SUITE 1111 FAX: 242-9028  
 CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: VACATION of Public water line easements across west side of parcel ; relocate existing 8" water line  
 Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. LOT 1-A-1A-1 Block: 10 Unit: \_\_\_\_\_  
 Subdiv. / Addn. TRACT 2 Unit 3 NORTH ALBUQUERQUE ACRES  
 Current Zoning: SU-2 Mixed Use Proposed zoning: SU-2 Mixed Use  
 Zone Atlas page(s): C-19 No. of existing lots: 1 No. of proposed lots: \_\_\_\_\_  
 Total area of site (acres): 1.00 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? \_\_\_\_\_  
 UPC No. 101906402903330101 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: 8110 LOUISIANA NE  
 Between: PASEO del NORO NE and Holly NE

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): Project 1003364  
04 DRB 01409, 05 DRB 01210

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: \_\_\_\_\_  
 SIGNATURE William L. Kramer DATE 11/16/06  
 (Print) WILLIAM L. KRAMER  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers  
06DRB 01639  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 Hearing date 12/13/06

Action	S.F.	Fees
<u>VPE</u>	<u>Y</u>	<u>\$45.00</u>
<u>ADV</u>		<u>\$75.00</u>
<u>CME</u>		<u>\$20.00</u>
		\$ _____
		\$ _____
		\$ _____
		Total
		<u>\$140.00</u>

Sandy Handley 11/17/06  
 Planner signature / date

Project # 1003364

BULK LAND VARIANCE (PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. 24 copies of the plat are required. The Variance and subdivision should be applied for simultaneously.
  - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
  - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
  - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
  - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") 24 copies
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DPM)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the variance or waiver
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the deferral or extension
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (not to exceed 8.5" by 14") 6 copies
  - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the vacation
  - Letter of authorization from the grantors and the beneficiaries
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF RECORDED PLAT

- 6 copies of the recorded plat to be vacated.
  - 6 copies of documents justifying the vacation.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter describing, explaining, and justifying the vacation
  - Any original and/or related file numbers are listed on the cover application
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

William Herrera  
Applicant name (print)  
William Herrera 11/16/06  
Applicant signature / date



Form revised 4/03, 10/03 and APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
06DRB-01639

Sandy Handley 11/17/06  
Planner signature / date  
Project # 1003364



R e c	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OW NE R ST AT E	OW NER ZIP COD E	PRO PERT Y CLAS S	TAX DIST RICT	LEGAL
1	101906403 801930132	DOUBLE CHEESE REALTY CORPORA TI	4810 HARD WARE DR N E	ALBUQ UERQU E	NM	8710 9	VAC	A1A	LT 1-A-3 BLK 10 PLAT OF LOTS 1 -A- 1, 1-A-2, 1 BLOCK 10 NORTH ALBUQ
2	101906405 601430133	DOUBLE CHEESE REALTY CORPORA TI	4810 HARD WARE DR N E	ALBUQ UERQU E	NM	8710 9	VAC	A1A	LT 1-A-4 BLK 10 PLAT OF LOTS 1 -A- 1, 1-A-2, 1 BLOCK 10 NORTH ALBUQ
3	101906401 501930131	DOUBLE CHEESE REALTY CORPORA TI	4810 HARD WARE DR N E	ALBUQ UERQU E	NM	8710 9	VAC	A1A	LT 1-A-2 BLK 10 PLAT OF LOTS 1 -A- 1, 1-A-2, 1 BLOCK 10 NORTH ALBUQ
4	101906403 607831004	SEDONA POINT LT D CO	8200 LOUIS IANA NE	ALBUQ UERQU E	NM	8711 3	COM M	A1A	LT 1- A BLK 9 TRACT 2 UNIT 3 NO RTH AL BUQUERQU ONA POINTE CONDOMI NI
5	101906405 703730129	SANCHEZ CLARK & PATRICIA ETAL	10321 OAKL AND NE	ALBUQ UERQU E	NM	8712 2	VAC	A1A	* 004 010NORTH ALBUQ ACRES UN 3 TR2
6	101906402 303630130	DOUBLE CHEESE REALTY CORPORA TI	4810 HARD WARE DR N E	ALBUQ UERQU E	NM	8710 9	VAC	A1A	LT 1-A-1 BLK 10 PLAT OF LOTS 1 -A- 1, 1-A-2, 1 BLOCK 10 NORTH ALBUQ

Or Current Resident  
DOUBLE CHEESE REALTY  
CORPORATI  
4810 HARDWARE DR NE  
ALBUQUERQUE, NM 87109

Or Current Resident  
SANCHEZ CLARK & PATRICIA ETAL  
10321 OAKLAND NE  
ALBUQUERQUE, NM 87122

Or Current Resident  
SEDONA POINT LTD CO  
8200 LOUISIANA NE  
ALBUQUERQUE, NM 87113

Project# 1003364  
PR INVESTMENTS, LLC  
7620 SAN DIEGO NE  
ALBQUERQUE, NM 87112

Project# 1003364  
WILLIAM KRAEMER  
GARCIA/KRAEMER & ASSOC.  
200 LOMAS NW STE 111  
ALBUQUERQUE, NM 87102

Project# 1003364  
JUDIE PEILEGINO  
North Domingo Baca N.A.  
8515 MURRELET NE  
ALBUQUERQUE, NM 87113

Project# 1003364  
HADEN M. BOWLING  
North Domingo Baca N.A.  
8523 MURRELET NE  
ALBUQUERQUE, NM 87113

Project# 1003364  
THOMAS ALFIERI  
West La Cueva N.A.  
8220 VILLE CT NE  
ALBUQUERQUE, NM 87113

Project# 1003364  
STEPHANIE O'CONNELL  
West La Cueva N.A.  
8211 SAN GAVALON NE  
ALBQUERQUE, NM 87113

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident

Or Current Resident







# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter -- you will need to get an updated letter from our office. It is your responsibility to provide current information -- outdated information may result in a deferral of your case.

Date: November 13, 2006

TO CONTACT NAME: William Kraemer  
 COMPANY/AGENCY: Garcia/Kraemer + Associates  
 ADDRESS/ZIP: 200 Lomas NW - 87102  
 PHONE/FAX #: 242-5566 (Fax - 242-9028)

Thank you for your inquiry of 11-13-06 (date) requesting the names of **Recognized Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at Lot E-A-1A Block 10 North Albuco Acres Tract 2 Unit 3 located on 8110 Louisiana Blvd. NE between Paseo del Norte and Holly.  
 zone map page(s) e-19.

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

North Domingo Baca N.A.  
 Neighborhood Association  
 Contacts: Judie Pellegrino  
8515 Murrelet NE / 87113  
839-3000 ext. 13720 (w)  
Haden M. Bowling  
8523 Murrelet NE / 87113  
821-4927 (h)

West LA Cueva N.A.  
 Neighborhood Association  
 Contacts: Thomas Alfieri  
8220 Vile Ct. NE / 87113  
823-1564 (h) 828-5482 (w)  
Stephanie O'Connell  
8111 San Geronimo NE / 87113  
213-7235 (h)

See reverse side for additional Neighborhood Association Information: YES { } NO

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dolores L. Armona  
 OFFICE OF NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.

969 7025 9000 0752 4002

**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87113 **OFFICIAL USE**

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$0.00
Restricted Delivery Fee (Endorsement Required)		\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$2.79</b>



11/17/2006

Sent To **HADEN BOWLING**  
 Street, Apt. No.; or PO Box No. **8523 MURRELET NE**  
 City, State, ZIP+4 **ALBUQ. NM 87113**

PS Form 3800, June 2002 See Reverse for Instructions

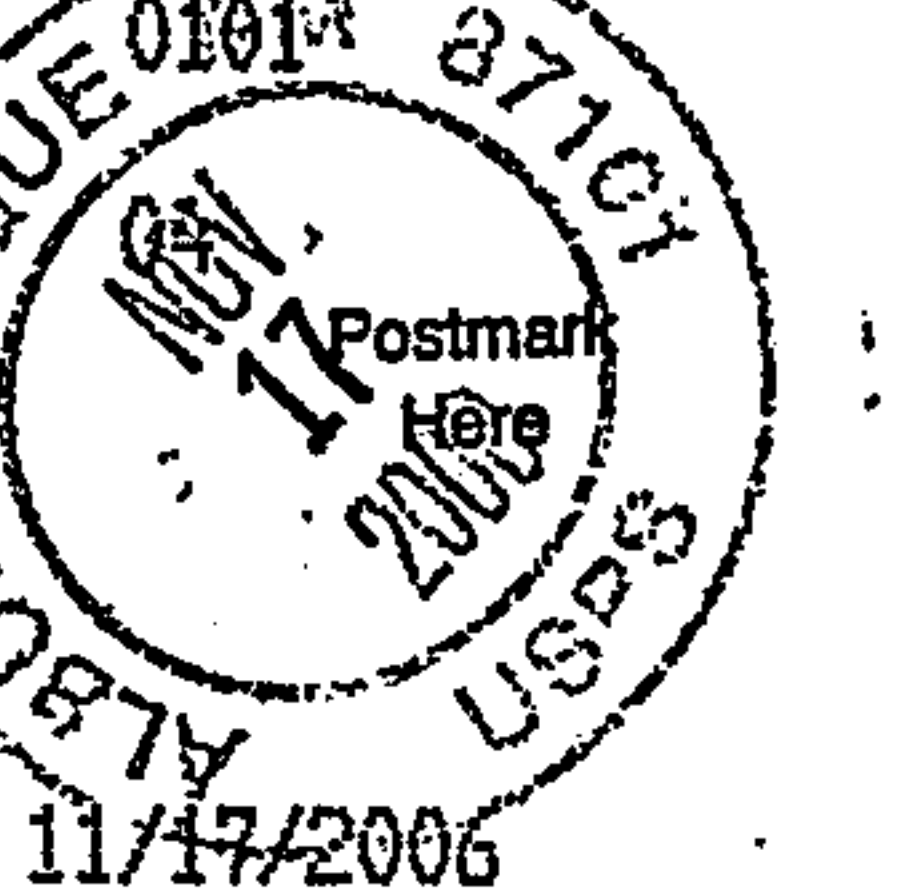
969 7025 9000 0752 4002

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87113 **OFFICIAL USE**

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$0.00
Restricted Delivery Fee (Endorsement Required)		\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$2.79</b>



11/17/2006

Sent To **STEPHANIE O'CONNELL**  
 Street, Apt. No.; or PO Box No. **8211 SAN GAVELON NE**  
 City, State, ZIP+4 **ALBUQ NM 87113**

PS Form 3800, June 2002 See Reverse for Instructions

969 7025 9000 0752 4002

**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87113 **OFFICIAL USE**

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$0.00
Restricted Delivery Fee (Endorsement Required)		\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$2.79</b>



11/17/2006

Sent To **JUDIE PELLEGRINO**  
 Street, Apt. No.; or PO Box No. **8515 MURRELET NE**  
 City, State, ZIP+4 **ALB NM 87113**

PS Form 3800, June 2002 See Reverse for Instructions

969 7025 9000 0752 4002

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87113 **OFFICIAL USE**

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$0.00
Restricted Delivery Fee (Endorsement Required)		\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$2.79</b>




11/17/2006

Sent To **THOMAS AUFIERI**  
 Street, Apt. No.; or PO Box No. **8220 VILLECI NE**  
 City, State, ZIP+4 **ALBUQ NM 87113**


PS Form 3800, June 2002 See Reverse for Instructions

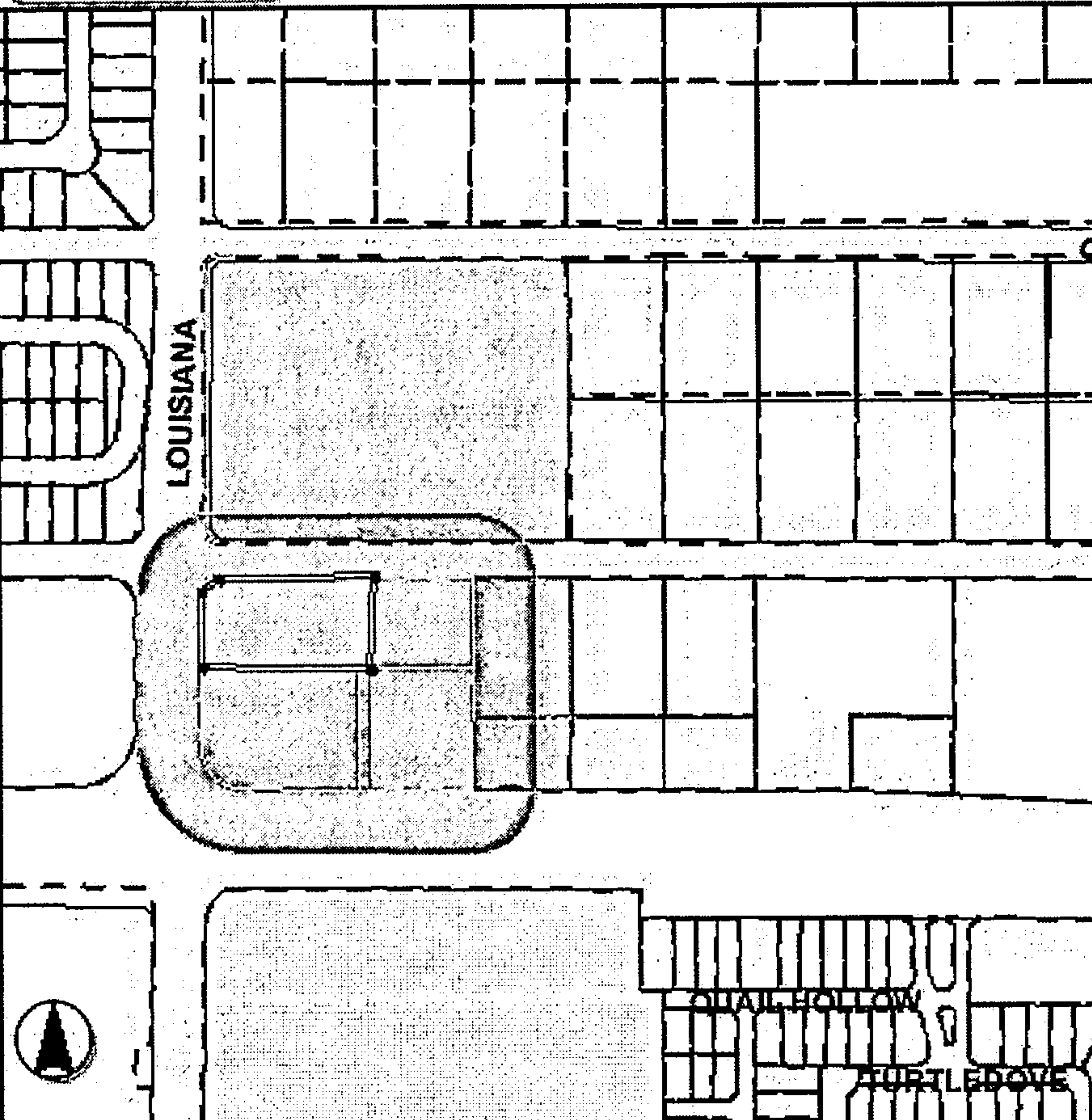




**CITY OF ALBUQUERQUE**  
www.cabq.gov

# ALBUQUERQUE GIS DATA WEBSITE





**LAYERS**

- STREETS
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRESS
- ZONING
- OWNERSHIP
- 2FT CONTOUR
- ADDRESS POINTS
- LANDUSE
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
  - MUNICIPAL LIMITS
  - ZONE GRID
  - NEIGHBORHOODS
  - METRO DEV AREA
  - DASZ
  - POLICE BEATS
  - COUNCIL
  - PARKS
  - PETROGLYPH MNT
  - BOSQUE SECTORS
  - OPENSOURCE
  - COMP PLAN
  - AREA PLANS
  - SECTOR PLANS
  - SENATE DISTRICT
  - REP. DISTRICTS
  - PLANNING AREAS
  - HISTORIC ZONES
  - CORRIDORS
  - ZIPCODES
  - POVERTY POCKET
- SITES
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
  - 2004 AIR PHOTO
  - 2002 AIR PHOTO
  - 1999 AIR PHOTO

**Refresh Map**

Auto Refresh

Help:

Closed group, click to open

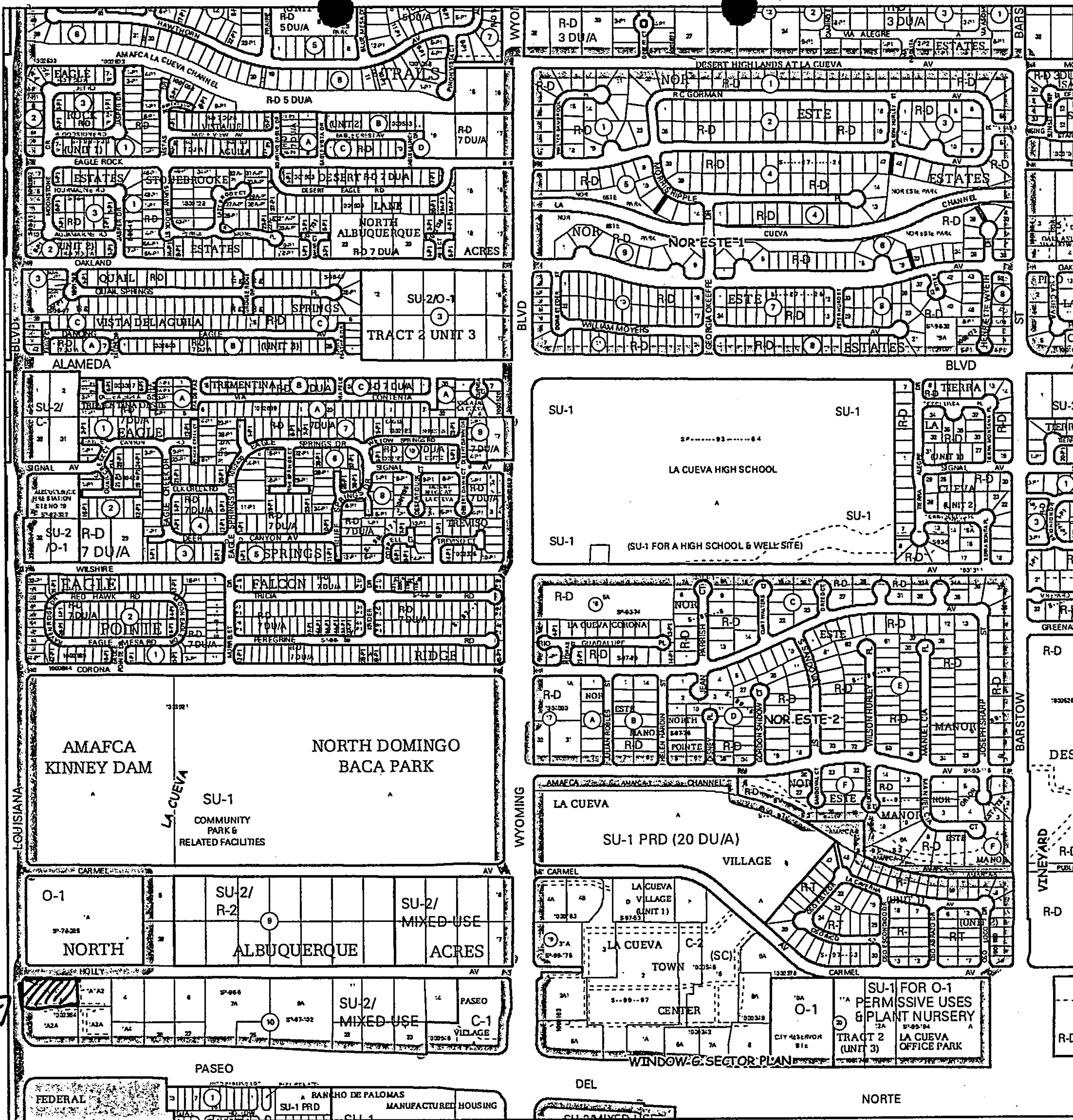
**OWNERSHIP**

Rec	UPC CODE	OWNER	OWNER ADDR
1	101906403801930132	DOUBLE CHEESE REALTY CORPORATI	4810 HARDWARE
2	101906405601430133	DOUBLE CHEESE REALTY CORPORATI	4810 HARDWARE
2	101906401501020121	DOUBLE CHEESE REALTY CORPORATI	4810 HARDWARE

Pan
[SEARCH](#)
[REFRESH](#)
[HELP](#)
[INDEX PAGE](#)

[CONTACT](#)





For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 10/25/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-19-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet



**GARCIA/KRAEMER & ASSOCIATES**

Wells Fargo Bank Building  
200 Lomas N.W., Suite 1111  
Albuquerque, NM 87102  
(505) 242-5566  
Fax #(505) 242-9028

November 16, 2006

**REASON FOR REQUEST**

This is a request to VACATE a public water line easement, which encumbers Lot1-A-1-A-1 Block 10 Tract 2 Unit 3 NORTH ALBUQUERQUE ASSOCIATES (see Exhibit.) This request is filed pursuant to Section 14-14-7-1 et.seq. City of Albuquerque, Subdivision Regulations.

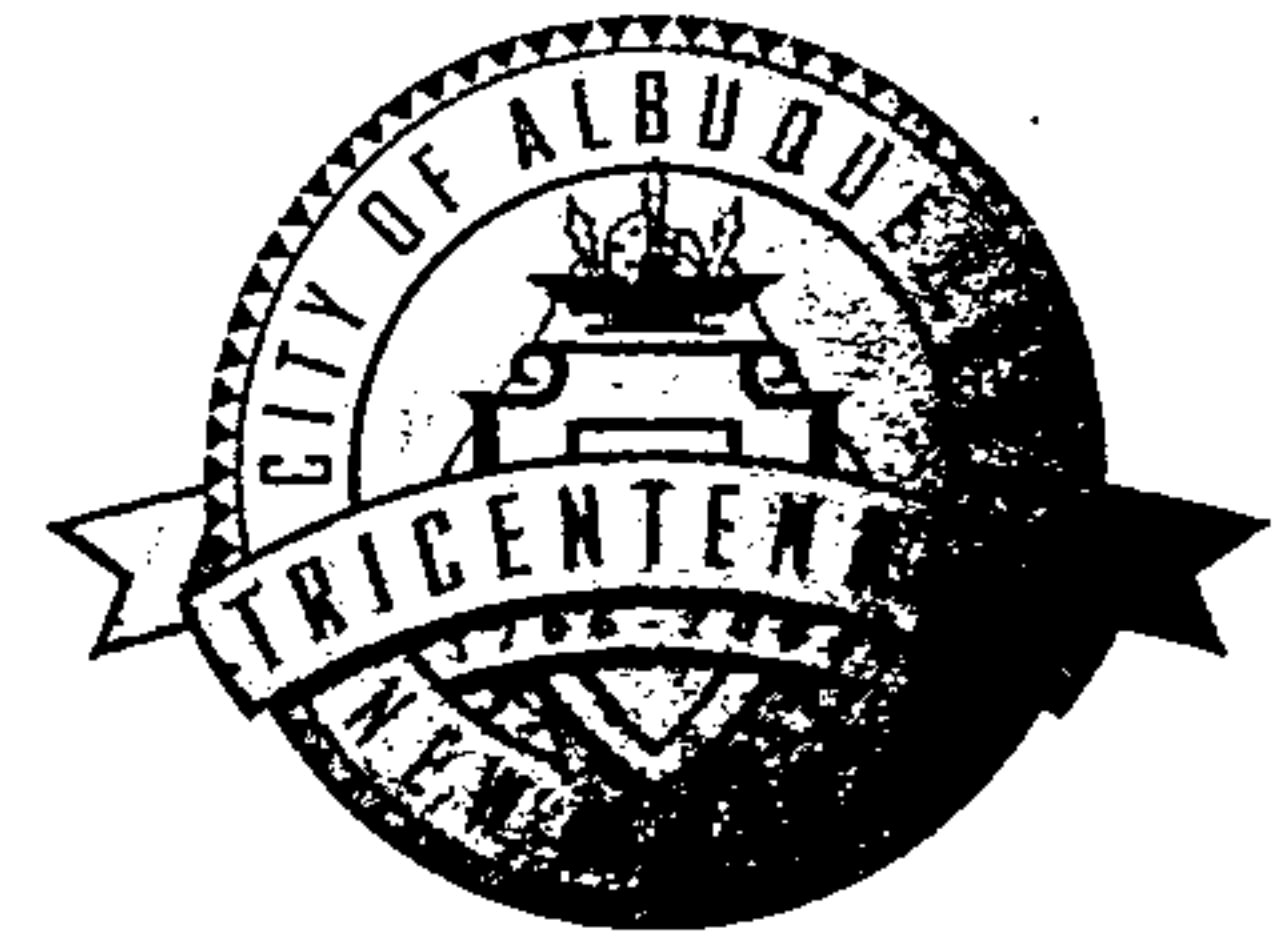
Applicant, PR Investments LLC is the owner of the subject property. They intend to develop this site with a permissive use under the SU-2 Mixed Use zoning. The location of the easement and 8" waterline therein unreasonably restricts their intended use of the site. They understand that if the requested vacation is granted that they will be responsible to relocate the water line at their sole expense.

This request meets the statutory vacation criteria as follows:

1. The request is filed by the owners of all of the private property abutting the proposed vacation. Section 14-14-7-2 (A)(1.)
2. The public welfare is in no way served by the retention of easements sought to be vacated. Section 14-14-7-2 (B)(1.)
3. No substantial property rights will be abridged by the vacation of these easements.

Wherefore, applicant respectfully requests VACATION of the water line easement shown on the attached exhibit and documented herein.





## **NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD**

December 5, 2006

**TO:** Judie Pellegrino and Haden M. Bowling, North Domingo Baca Neigh. Assoc.  
Thomas Alfieri and Stephanie O'Connell, West La Cueva Neigh. Assoc.

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Requests the following for approximately one (1) acre(s) -Major Vacation of Public Easements for a public water line easement.**

*Proposed by:* Garcia/Kraemer and Associates at (505) 242-5566  
*Agent for:* PR Investments, LLC

*For property located:* On or near Louisiana Boulevard NE between paseo Del Norte NE and Holly Avenue NE.

P.O. Box 1293

*The case number(s) assigned is:* 06DRB-01639, Project # 1003364.

Albuquerque

City Planning accepted application for this request on November 17, 2006.

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

New Mexico 87103

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, December 13, 2006 in the Planning Hearing Room, Room 160, Plaza Del Sol Building, 600 Second St. NW. **(Back in business - in the Planning Hearing Room!!!)**

www.cabq.gov

You should contact Claire Senova at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call Stephani Winklepleck at 924-3902 or by e-mail at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Sincerely,

*Stephani J. Winklepleck*

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB  
Administrative Assistant**



Complete Ag 9/25/06



**DRB CASE ACTION LOG**

**(AMEND SITE PLAN BLD PERMIT)**

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **06DRB-01232 (ASBP)**

Project # **1003364**

Project Name **LOUISIANA PASEO**

Agent: **Fanning Bard Tatum Architects**

Phone No.: **883-5200**

Your request for (SDP for SUB), <sup>AMENDED</sup> (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 9/29/06 by the DRB with delegation of signature(s) to the following departments.

**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

UTILITIES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): 3 copies  
C.M.S. [Signature]  
Amended SDP title

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1003364

#1



# DRB CASE ACTION LOG

# (AMEND SITE PLAN BLD PERMIT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **06DRB-01232 (ASBP)**

Project # **1003364**

Project Name **LOUISIANA PASEO**

Agent: **Fanning Bard Tatum Architects**

Phone No.: **883-5200**

Your request for **(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN)**, was approved on 9/29/06 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): 3 copies  
 C.M.S. [Signature]  
 Amended SBP Title

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

1003364





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

September 20, 2006

**1. Project # 1003364**

06DRB-01232 Major-Amnd SiteDev Plan BldPermit

FANNING BARD TATUM ARCHITECTS agent(s) for NADEEM MULL request(s) the above action(s) for all or a portion of Lot(s) 1-A-4, Block(s) 10, NORTH ALBUQUERQUE ACRES (to be known as **LOUISIANA - PASEO**), zoned SU-2 MIXED USES, located on PASEO DEL NORTE NE, between LOUISIANA NE and HOLLY NE containing approximately 1 acre(s). [**Carmen Marrone, EPC Case Planner**] (C-19)

At the September 20, 2006, Development Review Board meeting, the amended site plan for building permit was approved with final sign off delegated to Planning for Carmen Marrone's initials and 3 copies of the amended site development plan.

If you wish to appeal this decision, you must do so by October 5, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Sheran Matson, AICP, DRB Chair

Cc: Nadeem Mull, 6027 Osuna Rd NE, 87109

Fanning Bard Tatum Architects, 6100 Indian School Rd NE, Suite 210, 87110

Joe Yardumian, 7801 R.C. Gorman NE, 87122

Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.

File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1003364 AGENDA#: 1 DATE: 9/20/06

✓ 1. Name: JOE YARDUMIAN Address: 7821 RICHMOND NE Zip: 87122

2. Name: ~~John Burnett~~ Address: ~~NW 87120~~ Zip: ~~87120~~  
8106 Calle Encino

✓ 3. Name: JARED LARSEN Address: 6100 Indian School Rd NE  
STE 210 Zip: 87110

✓ 4. Name: MADEE MULL Address: 12516 ROYAL WINDFLOW Zip: 87111

5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_





**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1003364**

**AGENDA ITEM NO: 1**

**SUBJECT:**

Site Plan for BP

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:**

APPROVED ; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB)  (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS)  (PLNG)

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** SEPTEMBER 20, 2006



CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

September 20, 2006

**Project # 1003364**

06DRB-01232 Major-Amnd SiteDev Plan BldPermit

FANNING BARD TATUM ARCHITECTS agent(s) for NADEEM MULL request(s) the above action(s) for all or a portion of Lot(s) 1-A-4, Block(s) 10, NORTH ALBUQUERQUE ACRES (to be known as **LOUISIANA - PASEO**), zoned SU-2 MIXED USES, located on PASEO DEL NORTE NE, between LOUISIANA NE and HOLLY NE containing approximately 1 acre(s). [**Carmen Marrone, EPC Case Planner**] (C-19)

AMAFCA No adverse comments.

COG No comments received.

Transit No comment.

Zoning Enforcement No adverse comments.

Neighborhood Coordination

Letter sent to North Domingo Baca NA (R) and North Wyoming NA (R).

APS

The request to construct a "Tribal Arts" retail store on Paseo del Norte between Louisiana and Wyoming will have no adverse impacts to the APS district.

Police Department

A review of DRB Case 1003364 indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Lighting issues/*Explain*: Should illuminate all walkways, building entrances parking areas and rear utility doors and access points.



Police Department

Maintenance of landscaping/*Explain*: Should be low level at maturity not conflict with proposed lighting or block visibility of walkways, parking areas or building entrance from inside or outside the facility. Accidents in the parking lot /*Explain*: A higher probability of crimes during evening, weekend hours. Adequate security/*Explain*: Alarm response i.e. false alarms, etc. Transients/*Explain*: Need for neighborhood association. Other: Building architecture should be designed to promote visibility and openness of all walkways adjacent to building and/or of main entrances.

Fire Department All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

PNM Electric & Gas No adverse comments.

Comcast No comments received.

QWEST No comments received.

Environmental Health No comments received.

M.R.G.C.D. No comments received.

Open Space Division No adverse comments.

City Engineer No adverse comments.

Transportation Development

What were the results of the trip generation comparison? Is there going to be a pedestrian connection to the sidewalk along Paseo?

Parks & Recreation No adverse comments.

Utilities Development

No objection to Amended Site Plan, but will need easement for new sanitary sewer line alignment.

Planning Department

The colored domes on the columns of the building are not in the character & intent of the La Cueva Sector Plan. Further review from the surrounding neighborhood association is required before Planning can approve this request. (Per Carmen Marrone)

This SPBP was delegated to DRB at public hearing per language on the original SPBP.

## Impact Fee Administrator

Construction of a new retail building will require payment of Impact Fees. Based on a building size of approximately 4,600 square feet and .38 impervious acre, the estimated impact fees for each home are as follows:

1. Roadway Facilities for the Far NE Heights: \$920.00
2. Public Safety Facilities for the Eastside: \$2,093.00
3. Drainage Facilities for the Far NE: \$3,883.56

Impact Fees are to be paid at the time of issuance of a building permit; however, the total Impact Fees may be paid at a rate of 67% if permits are obtained by December 29, 2006.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

Cc: Nadeem Mull, 6027 Osuna Rd NE, 87109

Fanning Bard Tatum Architects, 6100 Indian School Rd NE, Suite 210, 87110





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing on the 3<sup>rd</sup> FLOOR in the PLANNING DEPARTMENT LARGE CONFERENCE ROOM, Plaza del Sol Building, 600 2nd St NW, on Wednesday, September 20, 2006, beginning at 9:00 a.m. for the purpose of considering the following:

**Project # 1003364**  
06DRB-01232 Major-Amnd SiteDev Plan  
BldPermit

FANNING BARD TATUM ARCHITECTS agent(s) for NADEEM MULL request(s) the above action(s) for all or a portion of Lot(s) 1-A-4, Block(s) 10, NORTH ALBUQUERQUE ACRES (to be known as LOUISIANA - PASEO), zoned SU-2 MIXED USES, located on PASEO DEL NORTE NE, between LOUISIANA NE and HOLLY NE containing approximately 1 acre(s).  
[Carmen Marrone, EPC Case Planner] (C-19)

**Project # 1005029**  
06DRB-01234 Major-Preliminary Plat  
Approval  
06DRB-01235 Major-Vacation of Public  
Easements  
06DRB-01236 Minor-Temp Defer SDWK

ADVANCED ENGINEERING agent(s) for WESTLAND DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) B & J, THE CROSSING and Tract(s) R, STORMCLOUD SUBDIVISION, UNITS 3 & 4 (to be known as STORMCLOUD SUBDIVISION UNITS 4 & 5) zoned SU-2 for R-LT, located on TIERRA PINTADA BLVD NW west of UNSER BLVD NW and LADERA NW containing approximately 55 acre(s).  
[REF: 06DRB-01045] (H-9)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

  
for Sheran Matson, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, SEPTEMBER 4, 2006.**

**CITY OF PLANNING  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** SEPTEMBER 20, 2006  
**Zone Atlas Page:** C-19-Z  
**Notification Radius:** 100 Ft.

**Project# 1003364**  
**App#06DRB-01232**

**Cross Reference and Location: PASEO DEL NORTE & LOUISIANA NE  
BETWEEN PASEO DEL NORTE NE AND HOLLY NE**

**Applicant:** NADEEM MULL  
**Address:** 6027 OSUNA RD NE  
ALBUQUERQUE, NM 87109

**Agent:** FANNING BOARD TATUM ARCHITECTS  
6100 INDIAN SCHOOL RD NE STE 210  
ALBUQUERQUE, NM 87110

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day's prior to the meeting.**

**Date Mailed:** SEPTEMBER 1, 2006  
**Signature:** YVONNE SAAVEDRA





**FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**Maximum Size: 24" x 36"**

- \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Completed Site Plan for Subdivision Checklist
  - \_\_\_ 6 copies of the Infrastructure List, if relevant to the site plan
  - \_\_\_ TIS/AQIA Traffic Impact Study form with required signature
  - \_\_\_ Fee (see schedule)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately **ONE MONTH** after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**Maximum Size: 24" x 36"**

- \_\_\_ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
  - \_\_\_ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24** copies for DRB public hearings
  - \_\_\_ Solid Waste Management Department signature on Site Plan
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Completed Site Plan for Building Permit Checklist
  - \_\_\_ 6 copies of the Infrastructure List, if relevant to the site plan
  - \_\_\_ TIS/AQIA Traffic Impact Study form with required signature
  - \_\_\_ Copy of Site Plan with Fire Marshal's stamp
  - \_\_\_ Fee (see schedule)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately **ONE MONTH** after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**


**Maximum Size: 24" x 36"**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**Maximum Size: 24" x 36"**

- ↓ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
  - ↓ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
  - ↓ DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24** copies for DRB public hearings
  - ↓ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - ↓ Letter briefly describing, explaining, and justifying the request
  - ↓ Letter of authorization from the property owner if application is submitted by an agent
  - ↓ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - ↓ Sign Posting Agreement
  - ↓ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - ↓ 6 copies of the Infrastructure List, if relevant to the site plan
  - ↓ TIS/AQIA Traffic Impact Study form with required signature
  - ↓ Fee (see schedule)
  - ↓ Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately **ONE MONTH** after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JARED LARSEN  
 Applicant name (print)  
  
 Applicant signature / date  
 8/25/06



Form revised APRIL 2006

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 OADR - 01232

K. S. S. 8/25/06  
 Planner signature / date  
**Project # 1003364**



**FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**Maximum Size: 24" x 36"**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

D. R. B. hearings are approximately ONE MONTH after the filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**Maximum Size: 24" x 36"**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 24 copies for DRB public hearings
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

D. R. B. hearings are approximately ONE MONTH after the filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**Maximum Size: 24" x 36"**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
- DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 24 copies for DRB public hearings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

D. R. B. hearings are approximately ONE MONTH after the filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JARED LARSEN  
 Application name (print)  
[Signature] 8/25/06  
 Applicant signature / date



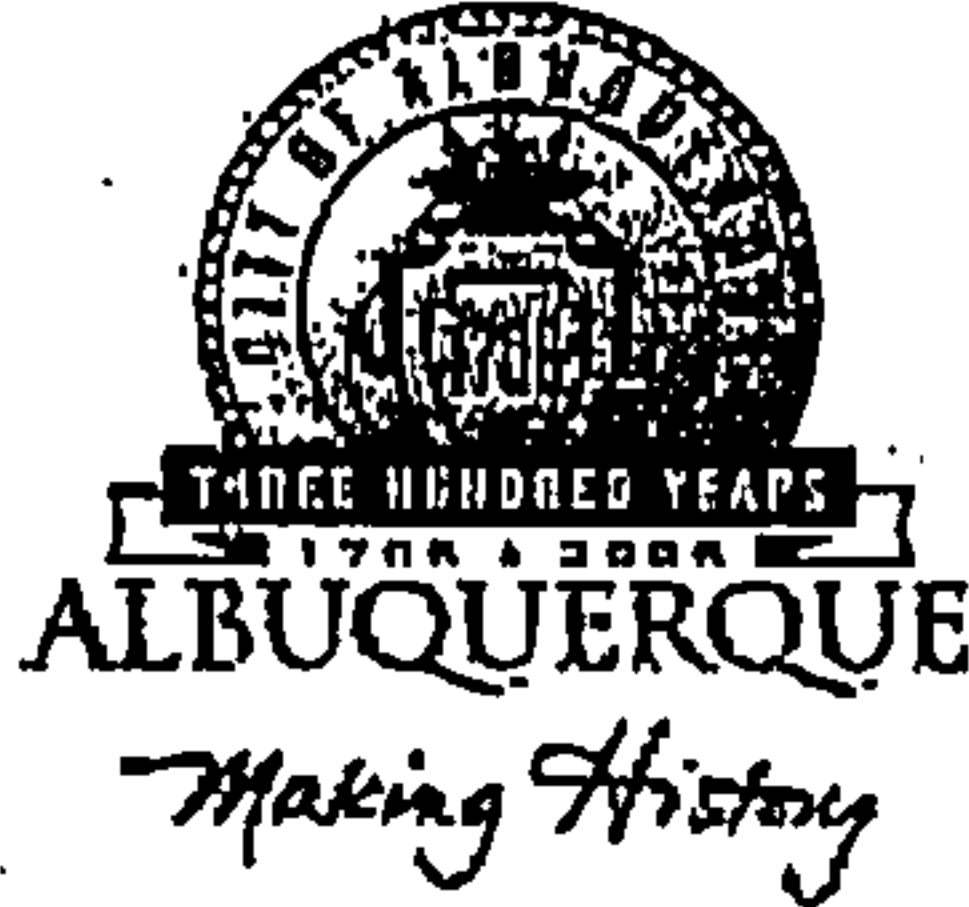
Form revised APRIL 2006

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 OADR - 01232

[Signature] 8/25/06  
 Planner signature / date  
 Project # 1003364



R e c	UPC CODE	OWNER	OWNER ADDRESS	OWNE R CITY	OWNE R ST ATE	OWN ER ZIP CODE	PRO PER TY CLA SS	TAX DIS TRIC T	LEGAL
5	10190640 73068302 05	AMAFCA	2600 PROSPE CT NE	ALBUQ UERQU E	NM	8710 7	VAC	A1A	* 028 009TRACT 2 UNIT 3 NORTH A LBUQUERQUE AC
1 0	10190640 82020301 05	BANDELIER EQUIT IES LTD CO	4101 INDIAN S CHOOL RD NE 400	ALBUQ UERQU E	NM	8711 0	VAC	A1A	LTS 27 & 28 BLK 10 TRACT 2 UNI T 3 NORTH ALBU X C THE SLY PORT OUT
8	10190640 90037301 27	DOS BORRACHOS PARTNERSHIP	4101 INDIAN S CHOOL RD NE 400	ALBUQ UERQU E	NM	8711 0	VAC	A1A	* 006 010NORTH ALBUQ ACRES UN 3 TR2
2	10190640 56014301 33	DOUBLE CHEESE REALTY CORPOR ATI	4810 HARDWA RE DR NE	ALBUQ UERQU E	NM	8710 9	VAC	A1A	LT 1-A-4 BLK 10 PLAT OF LOTS 1 - A-1, 1-A- 2, 1 BLOCK 10 NORTH ALBUQ
3	10190640 38019301 32	DOUBLE CHEESE REALTY CORPOR ATI	4810 HARDWA RE DR NE	ALBUQ UERQU E	NM	8710 9	VAC	A1A	LT 1-A-3 BLK 10 PLAT OF LOTS 1 - A-1, 1-A- 2, 1 BLOCK 10 NORTH ALBUQ
4	10190640 23036301 30	DOUBLE CHEESE REALTY CORPOR ATI	4810 HARDWA RE DR NE	ALBUQ UERQU E	NM	8710 9	VAC	A1A	LT 1-A-1 BLK 10 PLAT OF LOTS 1 - A-1, 1-A- 2, 1 BLOCK 10 NORTH ALBUQ
9	10190641 10030301 26	EMPLOYEE'S REI NSURANCE LTD	2716 SAN PED RO DR NE D	ALBUQ UERQU E	NM	8711 0	VAC	A1A	LT 7-A BLK 10 A PLAT OF LT 7- A BLK 10 TR 2 U U QUERQUE ACR ES CONT
6	10190640 90068302 06	PULLANO PETER G TRUSTEE	P O BOX 14432	ALBUQ UERQU E	NM	8719 1	VAC	A1A	* 027 009TRACT 2 UNIT 3 NORTH A LBUQUERQUE AC
1 1	10190640 57037301 29	SANCHEZ CLARK & PATRICIA ETAL	10321 OAKLAN D NE	ALBUQ UERQU E	NM	8712 2	VAC	A1A	* 004 010NORTH ALBUQ ACRES UN 3 TR2
1	10190640 73037301 28	SANCHEZ CLARK H & PATRICIA A	PO BOX 22097	ALBUQ UERQU E	NM	8715 4 209 7	VAC	A1A	* 005 010NORTH ALBUQ ACRES UN 3 TR2
7	10190640 36078310 04	SEDONA POINT L TD CO	8200 LOUISIAN A NE	ALBUQ UERQU E	NM	8711 3	COM M	A1A	LT 1- A BLK 9 TRACT 2 UNIT 3 NO RTH A LBUQUERQU ONA POINTE CONDO MINI



*City of Albuquerque*

P.O. Box 1293, Albuquerque, NM 87103

August 22, 2006

Jared Larsen  
FBT Architects  
6100 Indian School Road NE, Suite 210/87110  
Phone: 883-5200/Fax: 884-5390

Dear Jared:

Thank you for your inquiry of August 22, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **LOT 1-A-4, BLOCK 10, PLAT OF LOTS 1-A-1, 1-2-2, 1 BLOCK 10, NORTH ALBUQUERQUE ACRES LOCATED ON NORTHEAST CORNER OF LOUISIANA BOULEVARD NE AND PASEO DEL NORTE NE - Zone Map: C-19.**

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

**NORTH DOMINGO BACA N.A. (NDB) "R"**

\***Judie Pellegrino**, 8515 Murrelet NE/87113 839-3000 ext. 13720 (w)  
Haden M. Bowling, 8523 Murrelet NE/87113 821-4927 (h)

**NORTH WYOMING N.A. (NWG) "R"**

\***Nanci Carriveau**, 8309 Krim Dr. NE/87109 821-8673 (h)  
Bill Dell, 8306 Krim Dr. NE/87109 822-9132 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

*Stephani Winklepleck*

Neighborhood Program Coordinator  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

**LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD ASSOCIATION.**

planningrnaform(10/08/05)



# !!!Notice to Applicants!!!

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the G-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
  - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

### Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [ ] **ONC's "Official" Letter to the applicant** (if there are associations). A copy must be submitted with application packet **-OR-**
- [ ] **The ONC "Official" Letter** (if there are no associations). A copy must be submitted with application packet.
- [ ] **Copies of Letters to Neighborhood Associations** (if there are associations). A copy must be submitted with application packet.
- [ ] **Copies of the certified receipts to Neighborhood Associations** (if there are associations). A copy must be submitted with application packet.

**Just a reminder-** Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Thank you for your cooperation on this matter.

.....  
(below this line for ONC use only)

Date of Inquiry: **08/22/06** Time Entered: **10:50 a.m.** ONC Rep Initials: **SW**

OR CURRENT RESIDENT  
101906407306830205  
AMAFCA  
2600 PROSPECT NE  
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT  
101906405601430133  
DOUBLE CHEESE REALTY  
CORPORATI  
4810 HARDWARE DR NE  
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT  
101906409006830206  
PULLANO PETER G TRUSTEE  
P O BOX 14432  
ALBUQUERQUE, NM 87191

OR CURRENT RESIDENT  
101906403607831004  
SEDONA POINT LTD CO  
8200 LOUISIANA NE  
ALBUQUERQUE, NM 87113

Project # 1003364  
JUDIE PELLEGRINO  
North Domingo Baca N.A.  
8515 MURRELET NE  
ALBUQUERQUE, NM 87113

Project # 1003364  
BILL DELL  
North Wyoming N.A.  
8306 KRIM DR NE  
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT  
101906408202030105  
BANDELIER EQUITIES LTD CO  
4101 INDIAN SCHOOL RD NE 400  
ALBUQUERQUE, NM 87110

OR CURRENT RESIDENT  
101906402303630130  
DOUBLE CHEESE REALTY  
CORPORATI  
4810 HARDWARE DR NE  
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT  
101906405703730129  
SANCHEZ CLARK & PATRICIA ETAL  
10321 OAKLAND NE  
ALBUQUERQUE, NM 87122

Project # 1003364  
NADEEM MULL  
6027 OSUNA RD NE  
ALBUQUERQUE, NM 87109

Project # 1003364  
HADEN M BOWLING  
North Domingo Baca N.A.  
8523 MURRELET NE  
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT  
101906409003730127  
DOS BORRACHOS PARTNERSHIP  
4101 INDIAN SCHOOL RD NE 400  
ALBUQUERQUE, NM 87110


OR CURRENT RESIDENT  
101906411003030126  
EMPLOYEE'S REINSURANCE LTD  
2716 SAN PEDRO DR NE D  
ALBUQUERQUE, NM 87110

OR CURRENT RESIDENT  
101906407303730128  
SANCHEZ CLARK H & PATRICIA A  
PO BOX 22097  
ALBUQUERQUE, NM 87154 2097

Project # 1003364  
FANNING BOARD TATUM ARCT.  
6100 INDIAN SCHOOL RD NE STE 210  
ALBUQUERQUE, NM 87110


Project # 1003364  
NANCI CARRIVEAU  
North Wyoming N.A.  
8309 KRIM DR NE  
ALBUQUERQUE, NM 87109

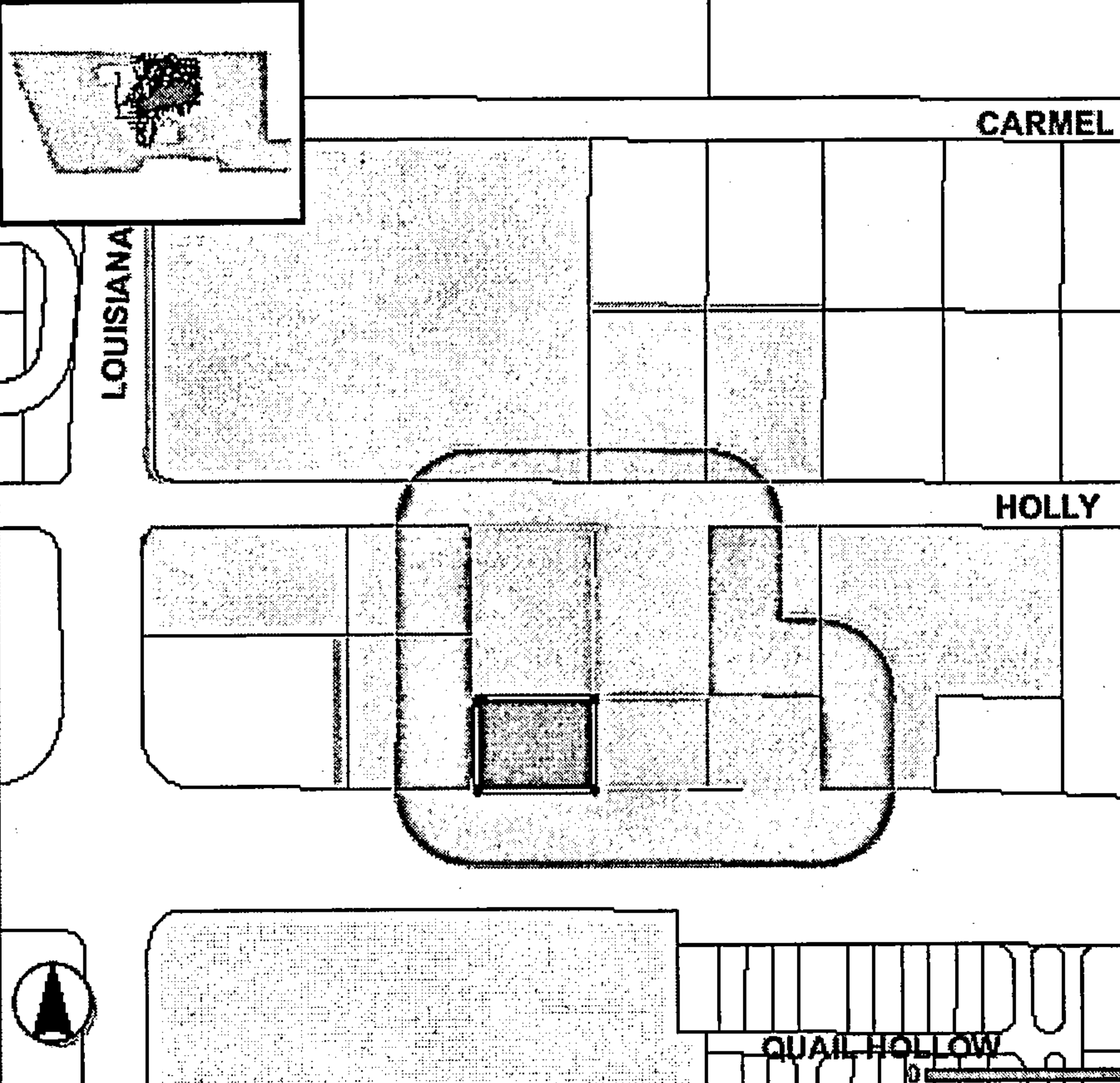




**CITY OF ALBUQUERQUE**  
www.cabq.gov

# ALBUQUERQUE GIS DATA WEBSITE





**LAYERS**

- STREETS
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRESS
- ZONING
- OWNERSHIP
- 2FT CONTOUR
- ADDRESS POINTS
- LANDUSE
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
- SITES
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
  - 2004 AIR PHOTO
  - 2002 AIR PHOTO
  - 1999 AIR PHOTO

Auto Refresh

Help:

- Closed group, click to open.
- Open group, click to close.
- Map layer.
- Hidden group/layer, click for visible.
- Visible group/layer, click to hide.
- Layer not visible at this scale.
- Partially visible group, click for visible.
- Inactive layer, click for active.
- The active layer.

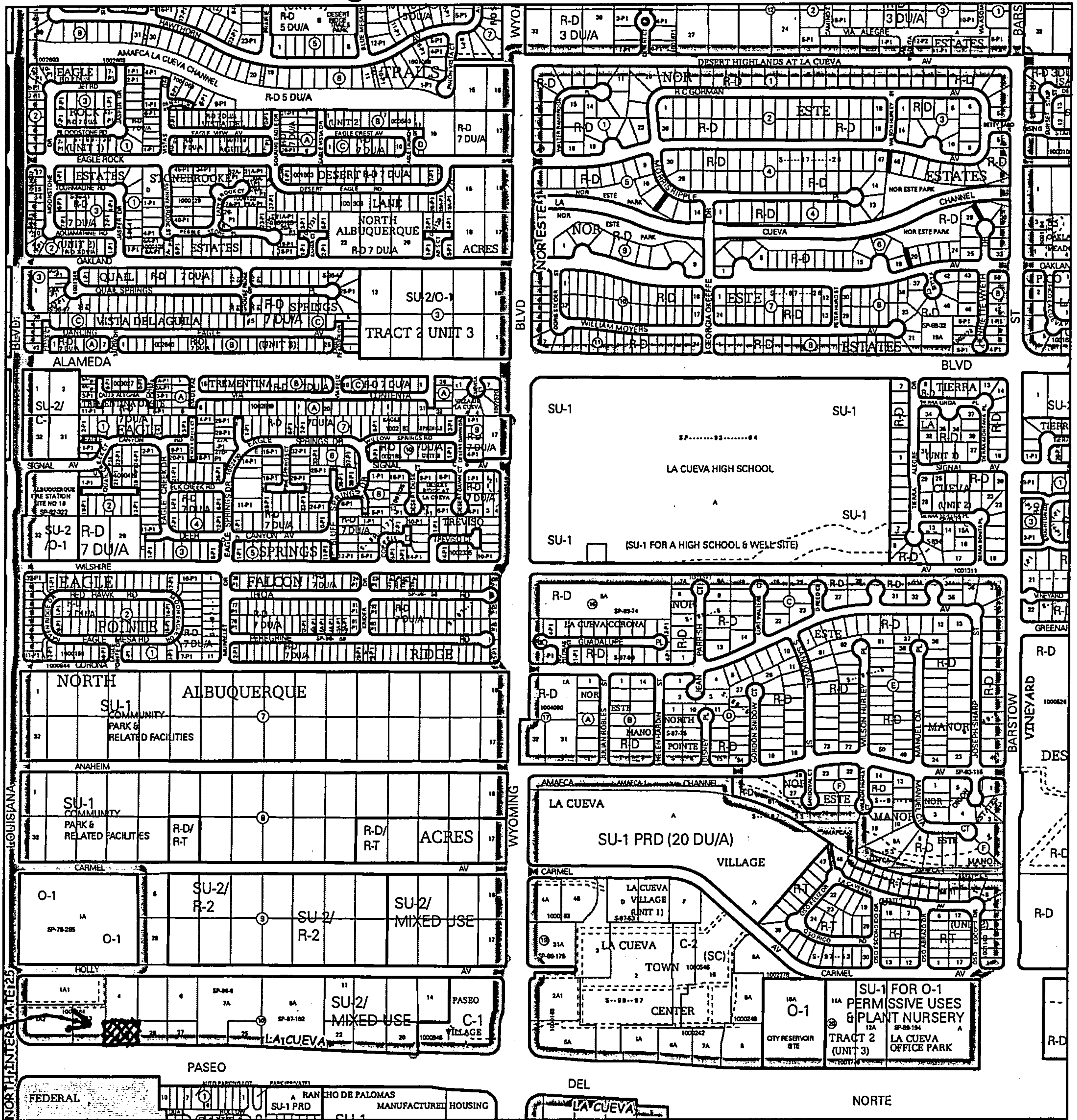
**OWNERSHIP**

Rec	UPC CODE	OWNER	OWNER ADDRESS
1	101906407303730128	SANCHEZ CLARK H & PATRICIA A	PO BOX 22097
2	101906405601430133	DOUBLE CHEESE REALTY CORPORATI	4810 HARDWARE
3	101906403801030133	DOUBLE CHEESE REALTY CORPORATI	4810 HARDWARE

Pan
[SEARCH](#)
[REFRESH](#)
[HELP](#)
[INDEX PAGE](#)

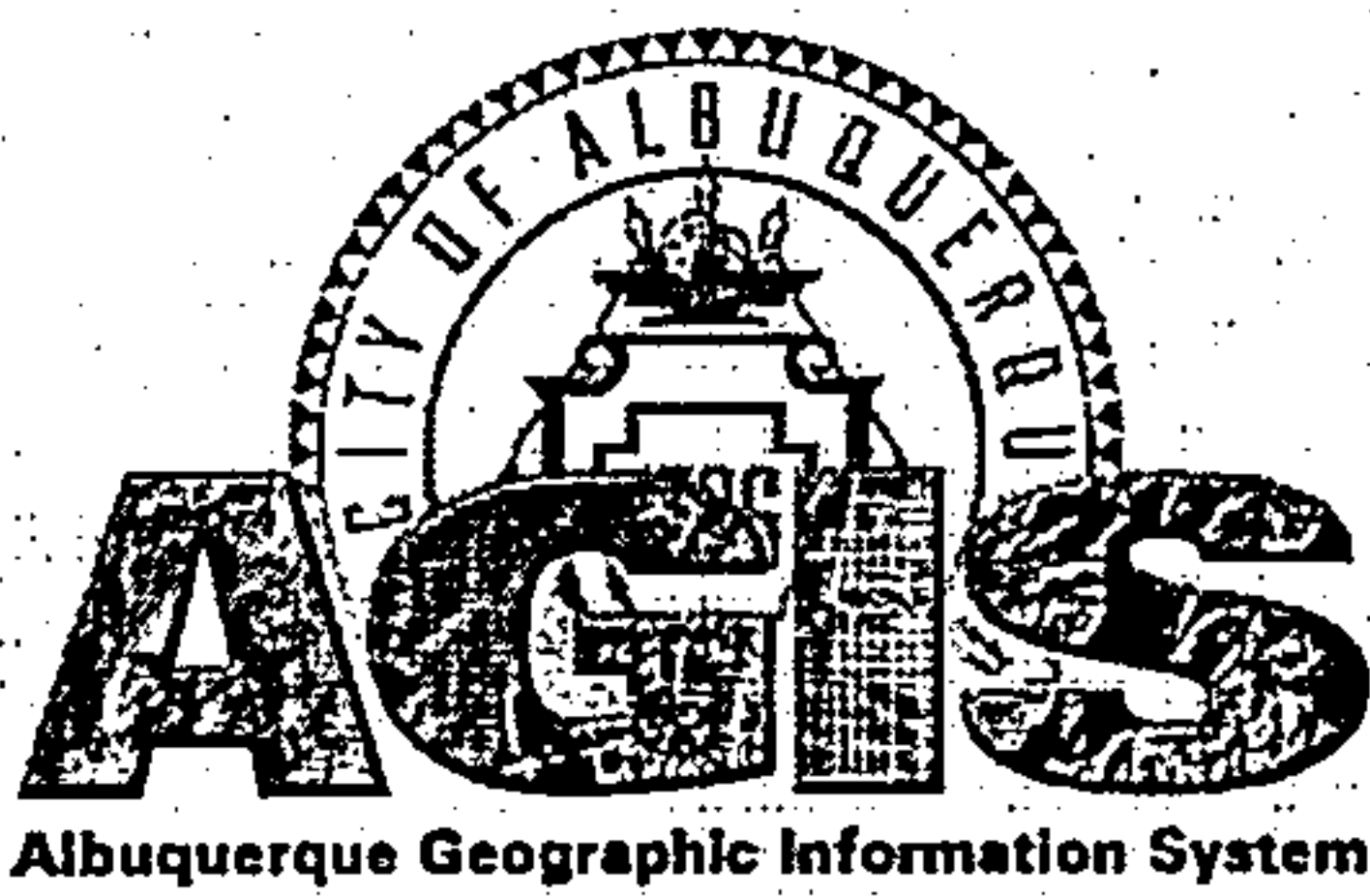
[CONTACT](#)





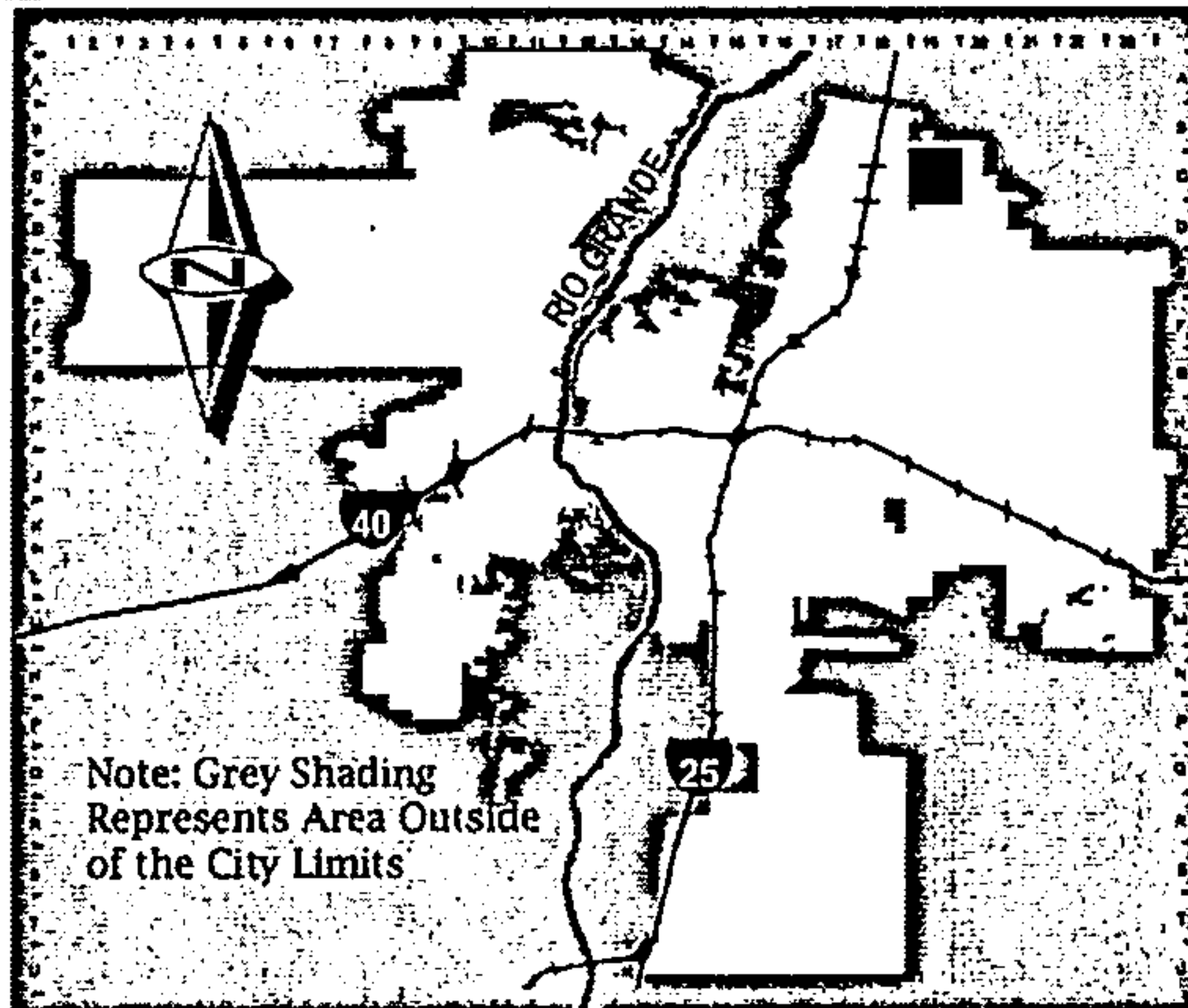
For more current information and more details visit: <http://www.cabq.gov/gis>

PROJECT SITE



Albuquerque Geographic Information System

Map amended through: 8/1/2005



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

**C-19-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





August 24, 2006

To: Mr. Jared Larsen

From: Carmen Marrone

RE: Site Development for Building Permit at Louisiana/Paseo  
Zoned SU-2/Mixed Use

Your request for approval of a site development for building permit for a Tribal Arts Retail Building on Lot 1-A-4, Block 10, North Albuquerque Acres will require approval by the Development Review Board (DRB) at a public hearing per General Note 2 of the approved Site Plan for Subdivision and Site Plan for Building Permit. When the request for Administrative Amendment was originally entertained, it was believed that a site plan for building permit for Lot 1-A-4 had already been approved. Since this was not the case, the Planning Department could not process your Administrative Amendment request. Under normal circumstances, all SU-2 zoned properties within the *La Cueva Sector Plan* boundary require site plan approval by the EPC. However, when the site plans for the Louisiana/Paseo project were approved, Note 2 allowed delegation of future site plan approval to the DRB. The EPC process, which includes DRB final sign-off of site plans, is about a 60-day process compared to a 30-day process for a public hearing at DRB.

The deadline for submittal of a site development plan for a public hearing by the DRB is this Friday, August 25, 2006. You must re-notify the affected Neighborhood Associations and let them know the date and time of the DRB hearing. Because the approved site plan for building permit shows a "Just Brakes" on Lots 1-A-4 and because the layout on this lot will change, your DRB request is actually for an *Amendment* to the site plan for building permit, Project #1003364, 04-DRB-01408 to include a revised site plan, landscape plan, grading & drainage plan, and utility plan. Also, you will need to include an elevation plan for the Tribal Arts building.

Per our discussions, I will be reviewing your revised plans against the adopted *La Cueva Sector Plan*. Design Regulation 5R-1 states, "Multiple buildings on the same site shall be designed to create a cohesive visual relationship between buildings." The proposed glass domes on the roof do not appear to meet this intent. Approval of these domes will require written support from the surrounding neighborhood associations.

Thank you for your patience and understanding with this project. If you need further assistance with this project, please do not hesitate to call me at 924-3814.



## **NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD**

August 30, 2006

**TO:** Judie Pellegrino and Haden M. Bowling, North Domingo Baca NA  
Nanci Carriveau and Bill Dell, North Wyoming NA

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Requests the following for approximately one (1) acre(s) - Major Amendment for Site Development Plan for Building Permit for the proposed "Tribal Arts Retail Store".**

*Proposed by:* Fanning Bard Tatum Architects at (505) 883-5200  
*Agent for:* Nadeem Mull

*For property located:* On or near Paseo Del Norte NE between Louisiana Boulevard NE and Holly Avenue NE.

P.O. Box 1293

*The case number(s) assigned is:* 06DRB- 01232, Project # 1003364.

Albuquerque

City Planning accepted application for this request on August 25, 2006.

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

New Mexico 87103

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, September 20, 2006 in the Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.

www.cabq.gov

You should contact **Claire Senova** at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at 924-3902 or by e-mail at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Sincerely,

***Stephani J. Winklepleck***

*Stephani I. Winklepleck*

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB  
Administrative Assistant**





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, February 20, 2008 beginning at 9:00 a.m. for the purpose of considering the following:

**Project# 1000081**

08DRB-70047 VACATION OF PUBLIC EASEMENT

TIERRA WEST LLC agent(s) for RSF LAND & CATTLE COMPANY request(s) the above action(s) on a portion of Tract(s) A & H, **COTTONWOOD CORNERS**, zoned SU-1 FOR IP USES, located on the north side of ELLISON DR NW BETWEEN COTTONWOOD DR NW AND ALAMEDA BLVD NW (A-14)

**Project# 1003364**

08DRB-70049 VACATION OF PUBLIC EASEMENT

GARCIA/KRAEMER & ASSOC. agent(s) for PR INVESTMENTS LLC request(s) the above action(s) on a portion of Lot(s) 1-A-1A-1, Block 10, **TRACT 2 UNIT 3 North Albuquerque Acres**, zoned SU-2 MIXED USE, located on the SE corner of LOUISIANA NE AND HOLLY NE. (C-19)

**Project# 1004354**

08DRB-70048 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

TIERRA WEST LLC agent(s) for **MCDONALD'S CORPORATION** request(s) the above action(s) for all or a portion of Lot 2, **KRANIA ADDITION**, zoned SU-2 PCA, located on the SE corner of 98TH ST NW AND VOLCANO RD NW containing approximately 1.1172 acre(s). (K-9)

**Project# 1007081**

08DRB-70046 VACATION OF PUBLIC RIGHT-OF-WAY

PULLMAN INVESTMENTS LLC agent(s) for CRIS DiGREGORY request(s) the above action(s) for all or a portion of **WILLIS PL SW**, located on WILLIS PL SW EAST OF RIO GRANDE BLVD SW. (J-13)

**Project# 1007083**

08DRB-70050 VACATION OF PUBLIC RIGHT-OF-WAY

JACKS HIGH COUNTRY INC agent(s) for JULIA SAMORA ESTATE request(s) the above action(s) for all or a portion of the NORTH-SOUTH ALLEY Lot, between the **JM MOORE REALTY COMPANY'S ADDITION # 1, and BLOCK B, BRANSON ADDITION**, located east of 8TH ST NW BETWEEN MOUNTAIN RD NW AND SUMMER NW. (J-14)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

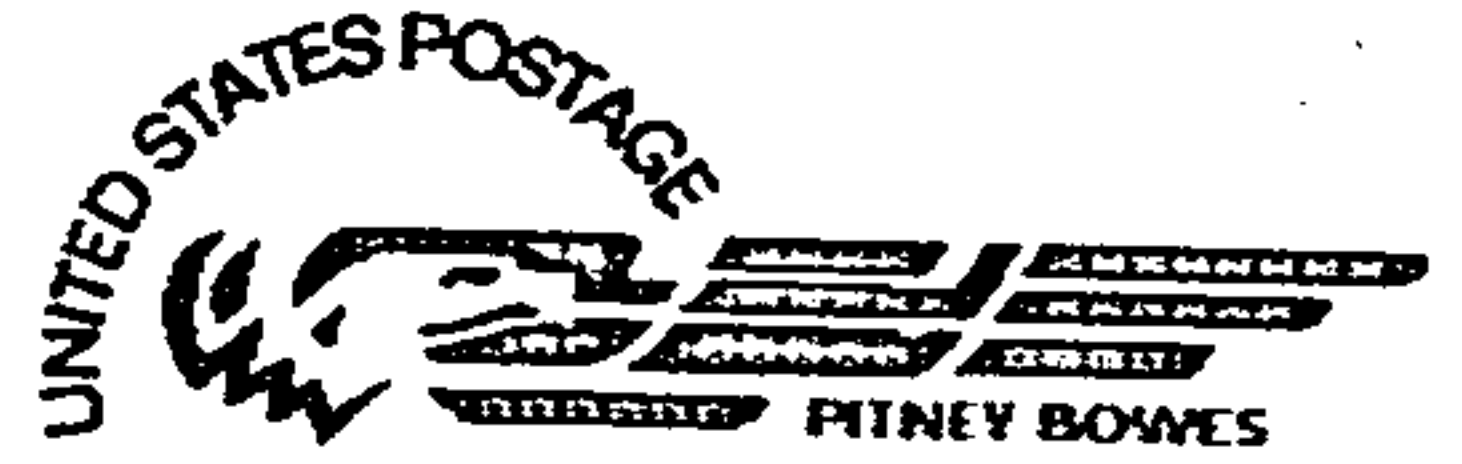
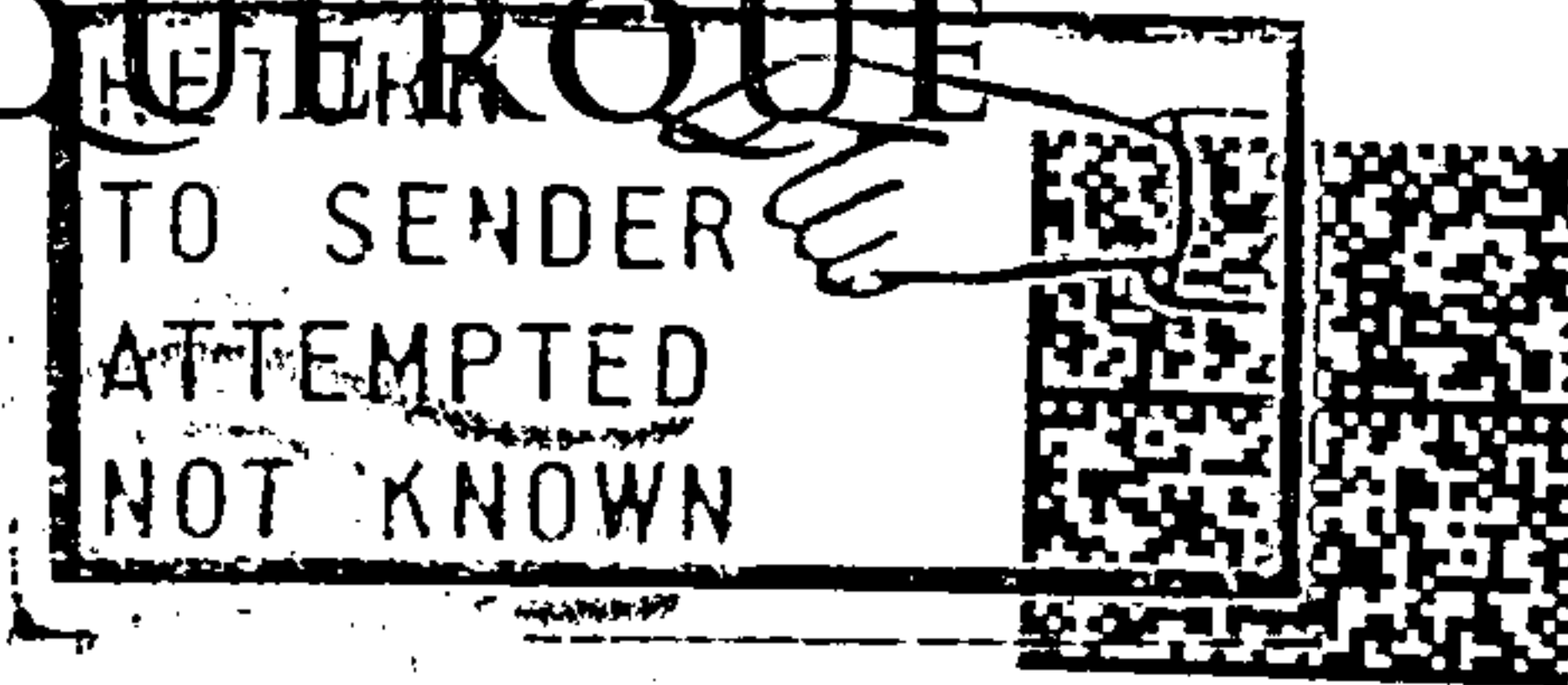
  
Jack Cloud, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, FEBRUARY 4, 2008.**



Planning Department

CITY OF ALBUQUERQUE



02 1M \$ 00.41<sup>0</sup>  
0004219022 FEB 01 2008  
MAILED FROM ZIP CODE 87102

FOR CURRENT RESIDENT  
101906403607831004  
SEDONA POINT LTD CO NM LIMITED  
LIABILITY CO  
8200 LOUISIANA NE  
ALBUQUERQUE, NM 87113

*Return to sender  
address not at  
this address. Needs  
suite # 12-4-08*

DRB

87113+2103

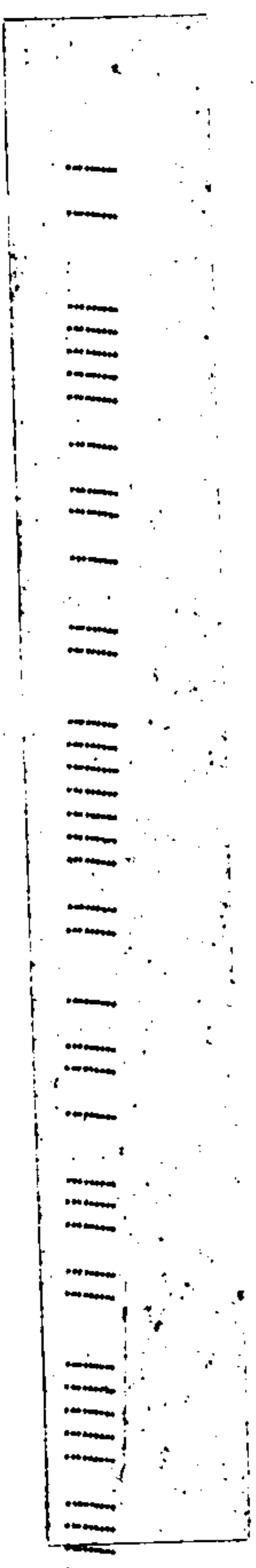


ADK  
FWD



P O Box 1293 Albuquerque, New Mexico 87103

REGISTERED  
©  
NOT KNOWN



# City of Albuquerque Planning Department

## One Stop Shop – Development and Building Services

01/25/2008 Issued By: PLNSDH

**Permit Number:** 2008 070 049

**Category Code 910**

**Application Number:** 08DRB-70049, Vacation Of Public Easement

**Address:**

**Location Description:** LOUISIANA NE BETWEEN PASEO DEL NORTE NE AND HOLLY NE

**Project Number:** 1003364

**Applicant**  
Pr Investments Llc

7620 San Diego Ne  
Albuquerque NM 87112

**Agent / Contact**  
Garcia/Kraemer & Assoc.

200 Lomas Blvd Nw Suite 1111  
Albuquerque NM 87102

bilybomon@hotmail.com

### Application Fees

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$45.00
<b>TOTAL:</b>		<b>\$140.00</b>

City Of Albuquerque

Treasury Division

1/25/2008 10:59AM LOC: AMNX  
WS# 006 TRANS# 0015  
RECEIPT# 00087071-00087071  
PERMIT# 2008070049 TRSCCS  
Trans Amt \$140.00  
APN Fee \$75.00  
Conflict Manag. Fee \$20.00  
DRB Actions \$45.00  
VI \$140.00



**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

02/11/2008 Issued By: PLNABG

**Permit Number: 2008 070 069**

**Category Code 910**

**Application Number:** 08DRB-70069, Minor - Preliminary/ Final Plat Approval

**Address:**

**Location Description:** HOLLY AVE NE BETWEEN LOUISIANA BLVD NE AND WYOIMING BLVD NE

**Project Number:** 1003364

**Applicant**  
Phil Lindborg

12808 Donnette Ct Ne  
Albuquerque NM 87112  
450-4388

**Agent / Contact**  
Cartesian Surveys Inc  
Jada Plotner  
P.O. Box 44414  
Albuquerque NM 87124

wplotnerjr@aol.com

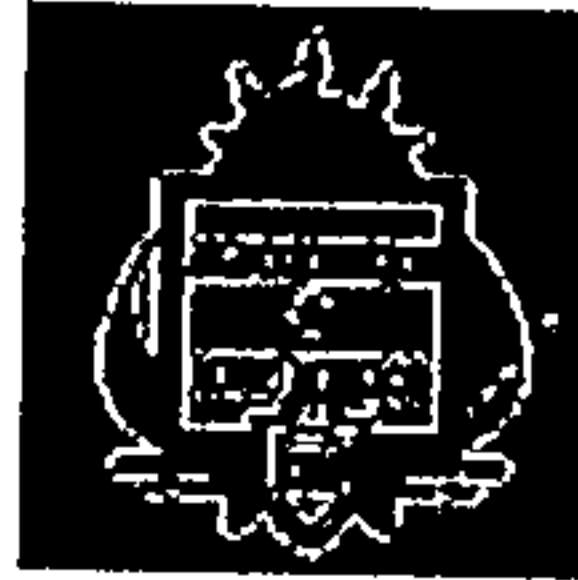
**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$215.00
<b>TOTAL:</b>		<b>\$235.00</b>

City Of Albuquerque  
Treasury Division

2/11/2008 3:00PM LOC: ANNX  
WS# 008 TRANSH 0059  
RECEIPT# 00087550-00087550  
PERMIT# 2008070069 TRSDMG  
Trans Amt \$235.00  
Conflict Manag. Fee \$20.00  
DRB Actions \$215.00  
CK \$235.00  
CHANGE

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

### SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

### SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

### STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

### Supplemental form

- |                          |                          |                                                                                       |
|--------------------------|--------------------------|---------------------------------------------------------------------------------------|
| <b>S</b>                 | <b>Z</b>                 | <b>ZONING &amp; PLANNING</b>                                                          |
| <input type="checkbox"/> | <input type="checkbox"/> | Annexation                                                                            |
| <input type="checkbox"/> | <input type="checkbox"/> | County Submittal                                                                      |
| <b>V</b>                 | <input type="checkbox"/> | EPC Submittal                                                                         |
| <input type="checkbox"/> | <input type="checkbox"/> | Zone Map Amendment (Establish or Change Zoning)                                       |
| <b>P</b>                 | <input type="checkbox"/> | Sector Plan (Phase I, II, III)                                                        |
| <input type="checkbox"/> | <input type="checkbox"/> | Amendment to Sector, Area, Facility or Comprehensive Plan                             |
| <input type="checkbox"/> | <input type="checkbox"/> | Text Amendment (Zoning Code/Sub Regs)                                                 |
| <b>D</b>                 | <input type="checkbox"/> | Street Name Change (Local & Collector)                                                |
| <b>L</b>                 | <b>A</b>                 | <b>APPEAL / PROTEST of...</b>                                                         |
| <input type="checkbox"/> | <input type="checkbox"/> | Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals |

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICATION INFORMATION:

Professional/Agent (if any): Cartesian Surveys, Inc. PHONE: 896-3050  
 ADDRESS: P.O. Box 44414 FAX: 891-0244  
 CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: \_\_\_\_\_

APPLICANT: Phil Lindborg PHONE: 450-4388  
 ADDRESS: 12809 Donette Ct N.E. FAX: 293-3580  
 CITY: Albuquerque STATE NM ZIP 87112 E-MAIL: \_\_\_\_\_

Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Replat Reflecting ~~the~~ vacated Access easement

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

### SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 1-A-1-A-1 Block: 10 Unit: 3  
 Subdiv/Addn/TBKA: North Albuquerque Acres, Tract 2  
 Existing Zoning: SU-2 FOR MIXED USE Proposed zoning: \_\_\_\_\_ MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): C-19 UPC Code: 101906401603830130

### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): \_\_\_\_\_

### CASE INFORMATION:

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.0041

LOCATION OF PROPERTY BY STREETS: On or Near: Holly Avenue NE.  
 Between: Louisiana Blvd NE. and Wyoming Blvd NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE: Will Plonk DATE: 1/31/08  
 (Print) Will Plonk JR. Applicant:  Agent:

### FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers  
08 DRB - 70069

Action	S.F.	Fees
<u>P&amp;F</u>	<u>S(3)</u>	<u>\$ 215.<sup>00</sup></u>
<u>CMF</u>	_____	<u>\$ 20.<sup>00</sup></u>
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
Total		<u>\$ 235.<sup>00</sup></u>

Hearing date 2/20/08

Andrew Jones ~~#~~ 2/11/08  
 Planner signature / date

Project # 1003364

Form revised 4/07



**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

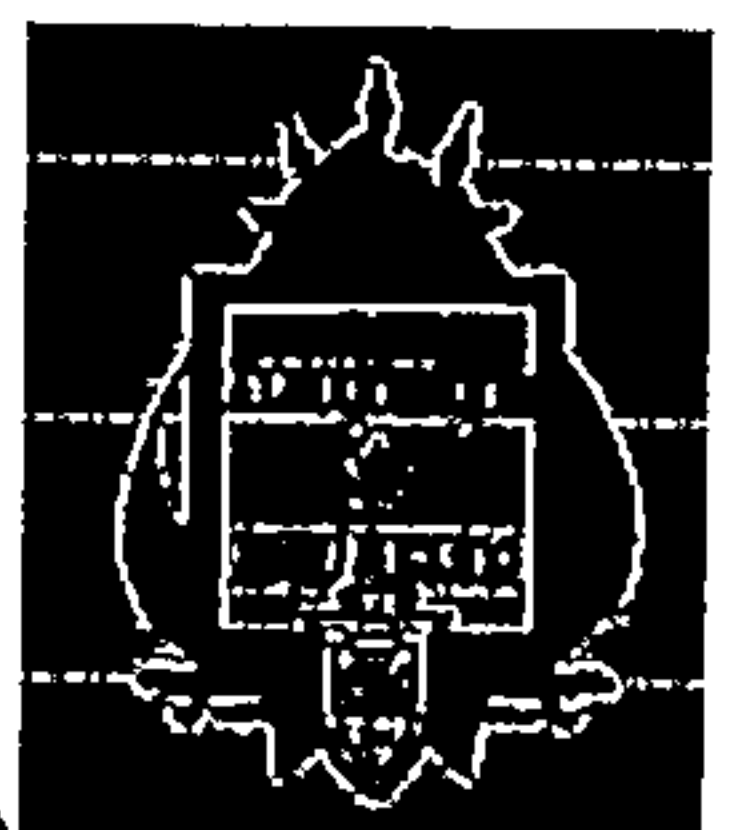
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Will Plotner Jr.  
Applicant name (print)

Will Plotner  
Applicant signature / date



Form revised October 2007

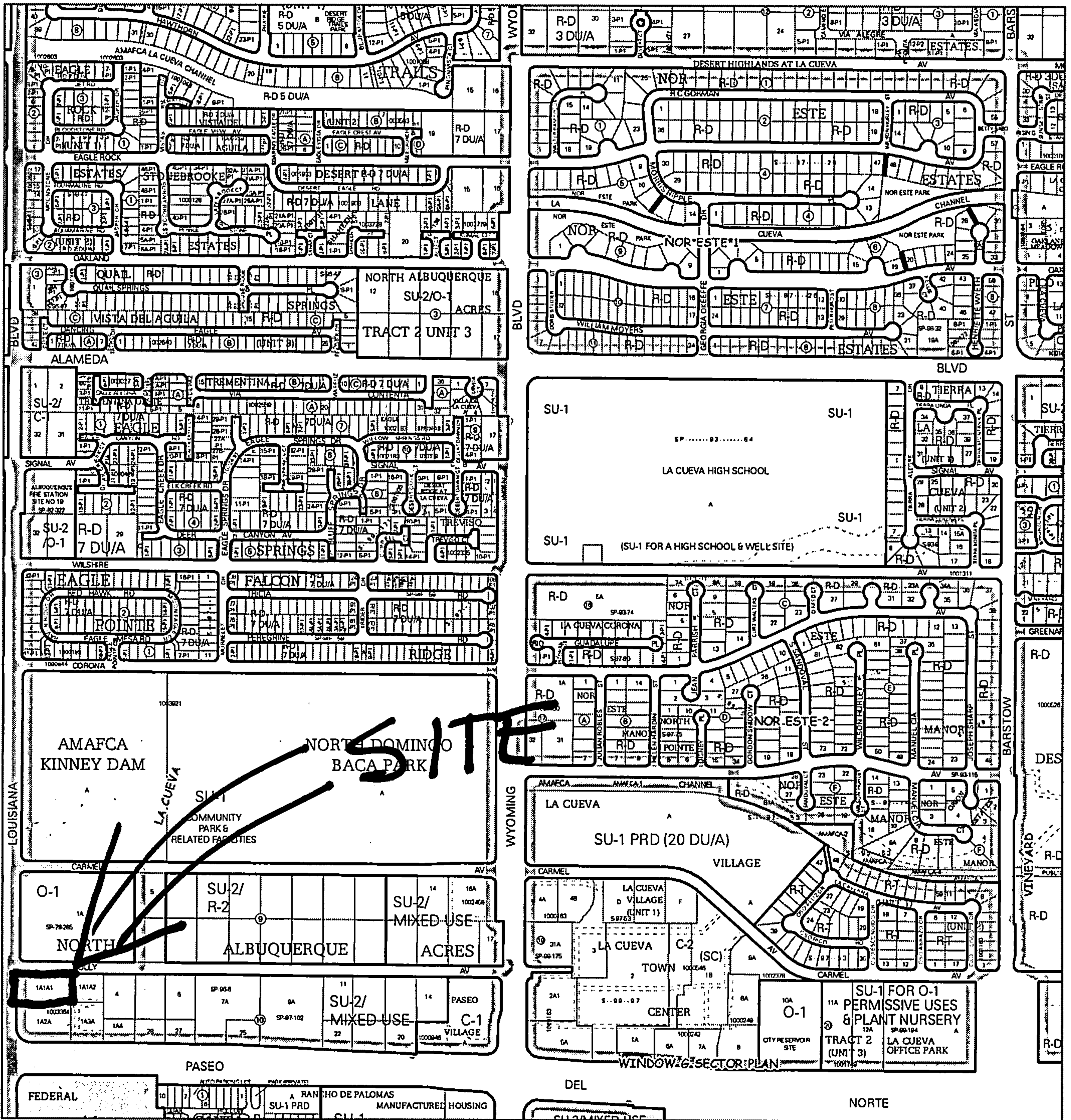
Rudew Genere 2/11/08  
Planner signature / date

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
08 DRB - 70069

Project # 1003364





For more current information and more details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Map amended through: 1/4/2008

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-19-Z**

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet



Cartesian Surveys Inc.  
PO Box 44414, Rio Rancho, NM 87174  
896-3050 Fax 891-0244

February 1, 2008

Development Review Board  
City of Albuquerque

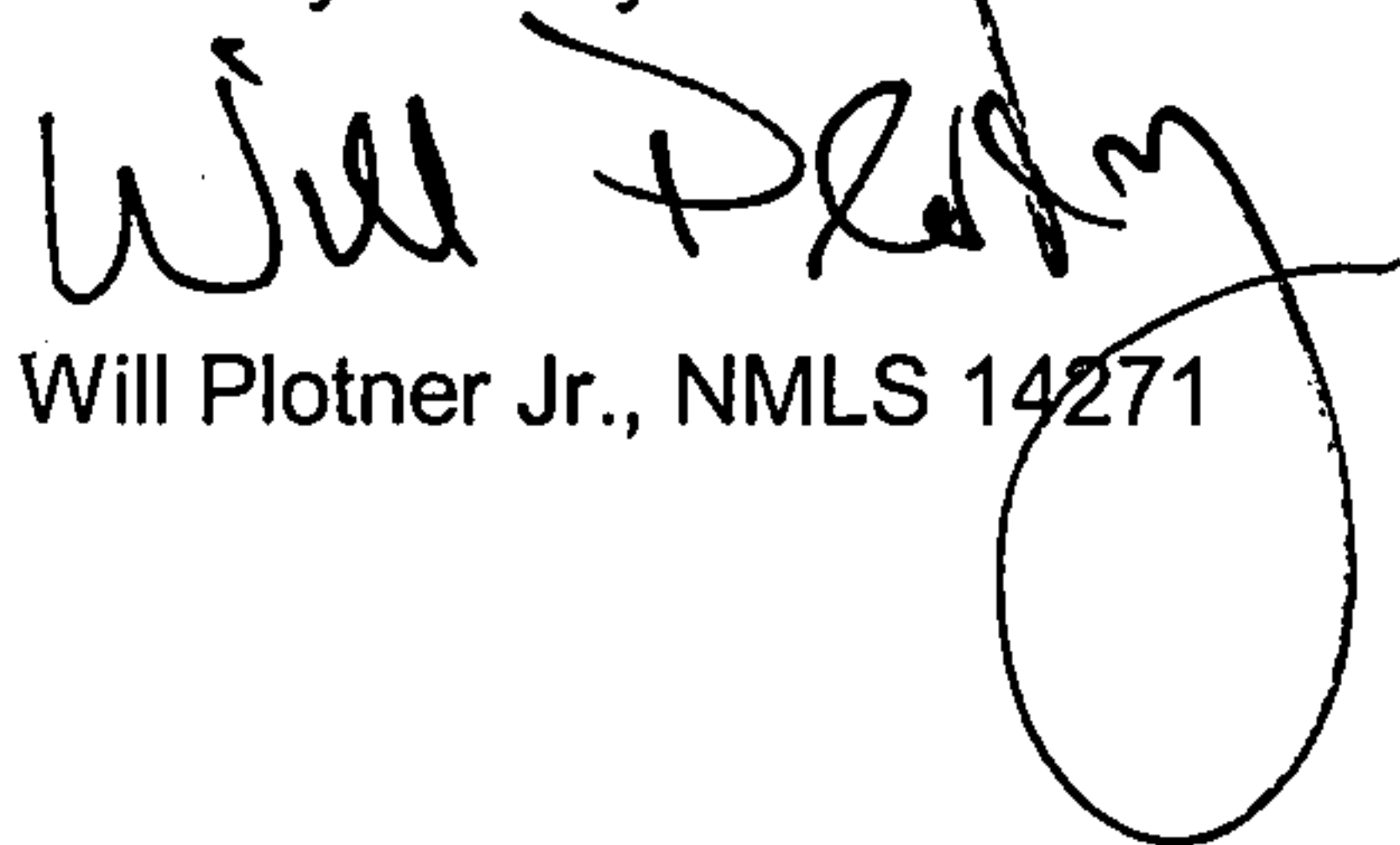
Re: Replat to reflect the vacation of Public easement

Members of the Board:

Cartesian Surveys is acting as an agent for the owner and requests approval of a plat reflecting the easement vacation.

If you have any questions, please feel free to call.

Thank you for your time and consideration.

  
Will Plotner Jr., NMLS 14271



### Pre-Development Facilities Fee (PDFF) Cover Sheet

PDFF agreements received by 5PM Thursday will be ready for pick up by 8AM on the following Tuesday.

Please drop off and pick up all Pre-Development Facilities Fee agreements at APS' Capital Master Plan office. The office is located in Suite 9, 2nd floor, of the Lincoln Building at 915 Locust St SE. A map to our offices is located at: <http://construction.voteaps.com/LincolnMap.html>

Project # (if already assigned by DRB/EPC) 1003364

**Please check one:**

- Preliminary PDFF  
(Preliminary PDFF are required for preliminary plat submittals.)
- Final PDFF  
(Final PDFF are required for final plat submittals and **must be recorded** prior to DRB hearing)
- Waiver/Deferral  
(Must provide reason for waiver/deferral)

**Project Information**

Subdivision Name North Albuquerque Acres Tr 2, Unit 3

Legal Description Lots 1-A-1-A-1, Block 10

Location of Project (address or major cross streets) located on Holly Av NE between Louisiana Blvd NE and Wyoming Blvd NE

Proposed Number of Units: \_\_\_\_\_ Single-Family \_\_\_\_\_ Multi-Family \_\_\_\_\_ Total Units

Note: A single-family unit is a single-family, detached dwelling unit.

Comments Property zoned SU-2, serving as office/retail uses.

**Waiver Information**

Property Owner Philip L Lingborg for PR Investments LLC Legal Description Lots 1-A-1-A-1, Block 10, North Albuquerque Acres Tr 2, Unit 3 Zoning SU-2

Reason for Waiver/Deferral the owner of the above property is vacating easements for a development that will consist of office/retail uses.

**Contact Information**

Name Will Plotner

Company \_\_\_\_\_

Phone 896-3050

E-mail \_\_\_\_\_

**Please include with your submittal:**

- Zone Atlas map with the entire property(ies) precisely and clearly outlined
- Copy of a plat or plan for the proposed project
- List of legal description (e.g. lot, block) and street address for each lot (for final plat only)
- Please include project number on the top right corner of all documents
- Please paper clip all submitted documents (for ease of making copies)

**FOR OFFICE USE ONLY**

APS Cluster La Cueva

Date Submitted 2/11/2008

Date Completed 2/11/2008



**ALBUQUERQUE PUBLIC SCHOOLS  
PRE-DEVELOPMENT FACILITIES FEE AGREEMENT WAIVER**

Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), having reviewed the proposed plat of Lot 1-A-1-A-1, Block 10, North Albuquerque Acres Tract 2 Unit 3, which is zoned as SU-2, on February 11, 2008 submitted by Philip L. Lindborg for PR Investments, LLC, owner of above property, has determined that no Pre-Development Facilities Fee Agreement is required with respect to that proposed plat because the owner of the above property is vacating easements for a development that will consist of office/retail uses..

ALBUQUERQUE PUBLIC SCHOOLS

By: \_\_\_\_\_  
Signature

\_\_\_\_\_  
Betty King, Planner, Capital Master Plan

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on 2-11-08, by Betty King as Planner, Capital Master Plan of the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, a school district organized and existing under the laws of the State of New Mexico.

(Seal)

April L. Whites  
Notary Public

My commission expires: May 18, 2011



Current DRC  
Project Number:

**ORIGINAL**

Figure 12

**INFRASTRUCTURE LIST**  
(Rev. 9-20-05)

Date Submitted: 6-27-07  
Date Site Plan Approved: 6-27-07  
Date Preliminary Plat Approved: N/A  
Date Preliminary Plat Expires: N/A  
DRB Project No.: 1003364  
DRB Application No.: 07 DRB-70003

EXHIBIT "A"  
TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

THE SHOPS AT SEDONA POINTE

PROPOSED NAME OF ~~PLAT~~ AND/OR SITE DEVELOPMENT PLAN

LOT 1-A-1-A1, BLOCK 10, TRACT 2, NORTH ALBUQUERQUE ACRES,  
UNIT 3

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. The Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require the approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P. E.	City Cnst Engineer
			<b>Utilities</b>						
		8"	Water Line	Louisiana Blvd.	Holly Ave.	South Access Road	/	/	/
		8"	Abandon Existing Water Line	Lot 1-A-1-A1 Easement	Holly Ave.	South Access Road	/	/	/



**NOTES**

If the site is located in a floodplain, then financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements

- 1) Paving Items include \*Residential sidewalks to be deferred, ADA ramps, and signage per DRC
- 2) Grading and Drainage Certification is required prior to release of Financial Guarantees
- 3) Waterlines include valves, fittings and services
- 4) Storm Drain includes catch basins, connector pipes, manholes and outlet structures
- 5) Sanitary Sewer Lines include manholes and services
- 6) Perimeter walls per DRB approved perimeter wall design
- 7) Wall certification from registered engineer required prior to release of financial guarantees

AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS			
<p>David B. Thompson NAME (print)</p> <hr/> <p>Thompson Engineering Consultants, Inc. FIRM</p> <hr/> <p><i>David B. Thompson</i> SIGNATURE</p> <hr/> <p>6-27-07 Date</p>	<p><i>J. Matson</i> DRB CHAIR</p> <hr/> <p>6/27/07 Date</p>	<p><i>Christina Sandoval</i> PARKS &amp; GENERAL SERVICES</p> <hr/> <p>6/27/07 Date</p>	<p><i>[Signature]</i> TRANSPORTATION DEVELOPMENT</p> <hr/> <p>6-27-07 Date</p>	<p>AMAFCA</p> <hr/> <p>Date</p>
	<p><i>Regent Green</i> UTILITY DEVELOPMENT</p> <hr/> <p>6-27-07 Date</p>			
	<p><i>Bradley D. Bingham</i> CITY ENGINEER</p> <hr/> <p>6/27/07 Date</p>			

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

Professional/Agent (if any): PR INVESTMENTS LLC PHONE: 450 4388  
 ADDRESS: 7620 SAN DIEGO NE FAX: \_\_\_\_\_  
 CITY: ALBUQ STATE NM ZIP 87112 E-MAIL: \_\_\_\_\_

APPLICANT: GARCIA/KRAMER & ASSOC PHONE: 242 5566  
 ADDRESS: 200 LOMAS NW SUITE 1111 FAX: 242 9028  
 CITY: Albuq STATE NM ZIP 87102 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: VACATION of public water line easement

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lot 1-A-1A-1 Block: 10 Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: TRACT 2 UNIT 3 NAA  
 Existing Zoning: SU-2 mixed use Proposed zoning: SU-2 mixed use  
 Zone Atlas page(s): C-19 UPC Code: 101906402903330104 MRGCD Map No NA

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.):  
Project 1003364 06 DRB-01639

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? \_\_\_\_\_  
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.0  
 LOCATION OF PROPERTY BY STREETS: On or Near: 8110 LOUISIANA NE  
 Between: Parade del Norte NE and Holly NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE William L Kramer DATE 1/25/08  
 (Print) William L Kramer Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>08DRB-20049</u>	<u>VPE</u>	_____	\$ <u>45.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADV</u>	_____	\$ <u>75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMR</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
				Total
				\$ <u>140.00</u>

Hearing date February 20, 2008

[Signature] 1/25/08  
 Planner signature / date

Project # 1003364



FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE) **24 copies**
- Application for Minor Plat on FORM S-3, including those submittal requirements.
  - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
  - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
(Not required for City owned public right-of-way.)
  - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)** **6 copies**
- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14")
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the variance or waiver
  - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)** **24 copies**
- Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14")
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the variance
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)** **6 copies**
- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14")
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the deferral or extension
  - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)** **6 copies**
- The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14")
  - Scale drawing showing the easement to be vacated (8.5" by 11")
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter/documents briefly describing, explaining, and justifying the vacation
  - Letter of authorization from the grantors and the beneficiaries (private easement only)
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

WILLIAM KRAEMER  
Applicant name (print)

William Kraemer 1/25/09  
Applicant signature / date



- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
28DRB - 20049

Form revised 4/07

[Signature] 1/23/08  
Planner signature / date

Project # 1003364

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from February 5, 2008 to February 20, 2008

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

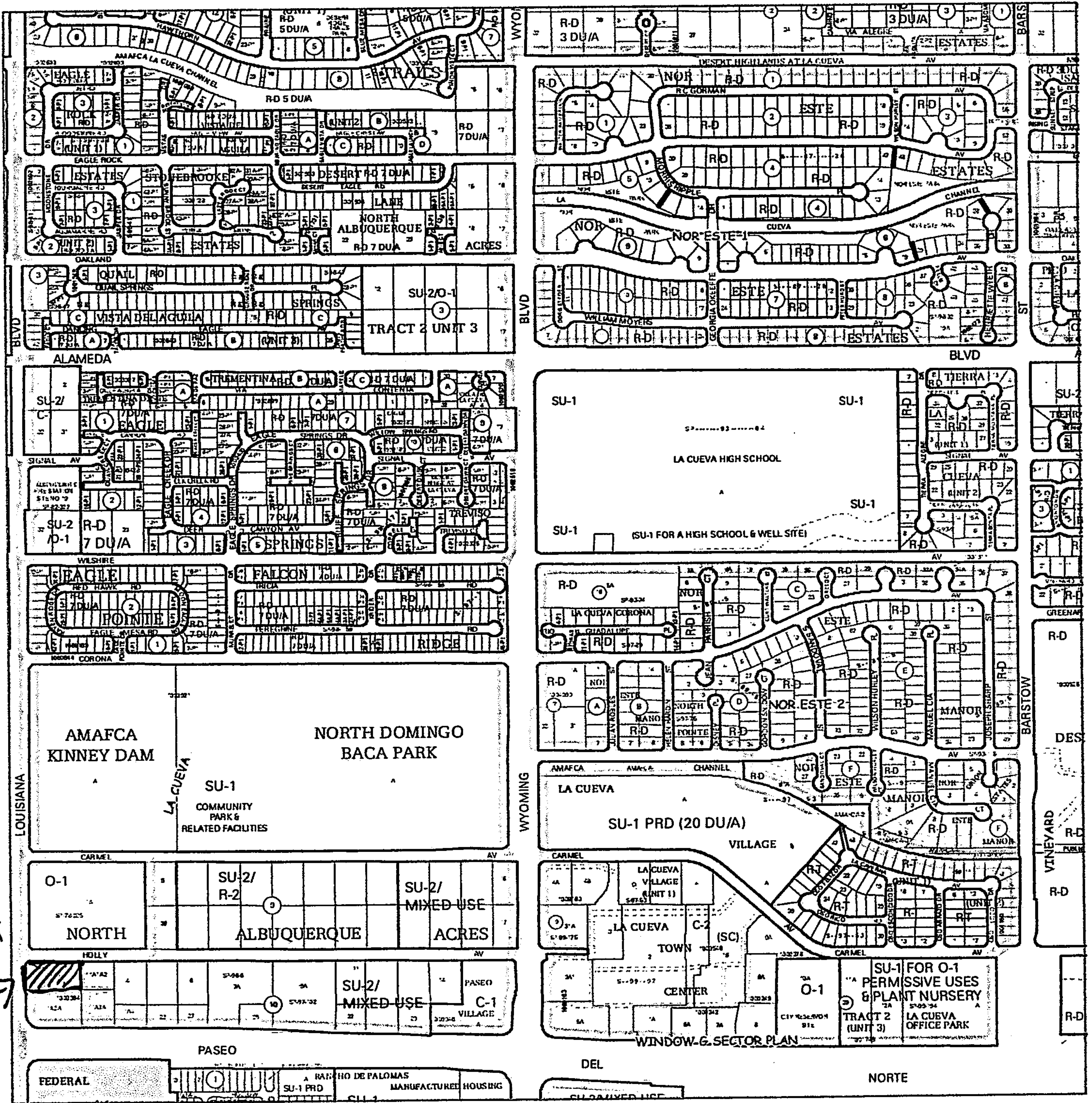
I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

William Z Khan 1/25/08  
(Applicant or Agent) (Date)

I issued 1 signs for this application, 1/25/08 [Signature]  
(Date) (Staff Member)

DRB PROJECT NUMBER: 1003364





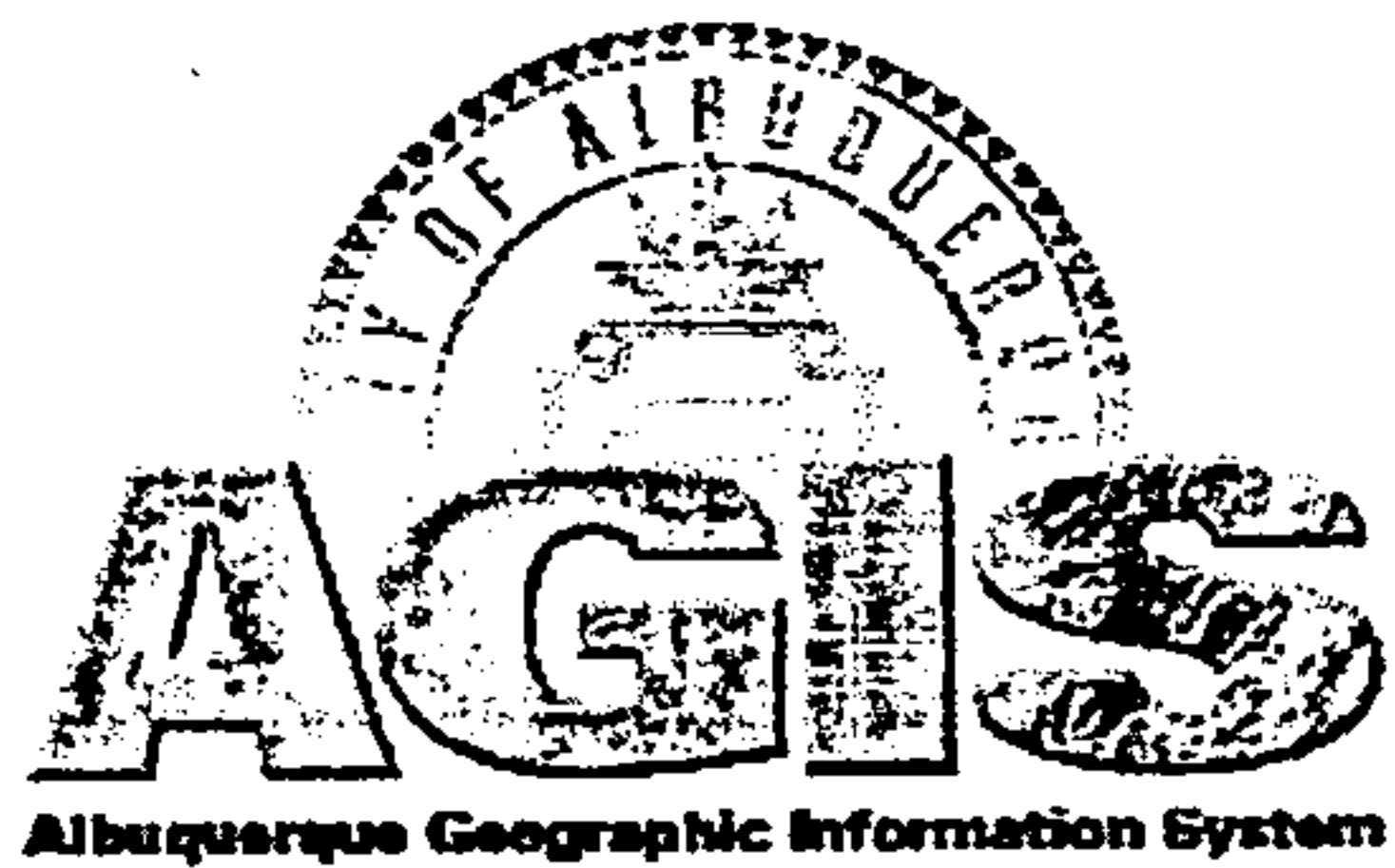
For more current information and more details visit: <http://www.cabq.gov/gis>

Zone Atlas Page:

**C-19-Z**

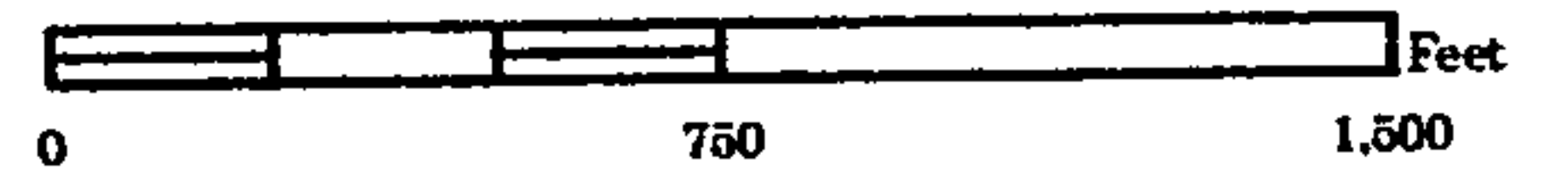
Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



Map amended through: 10/25/2006

Note: Grey Shading Represents Area Outside of the City Limits





**GARCIA/KRAEMER & ASSOCIATES**

---

Wells Fargo Bank Building  
200 Lomas N.W., Suite 1111  
Albuquerque, NM 87102  
(505) 242-5566  
Fax #(505) 242-9028

January 18, 2008

**REASON FOR REQUEST**

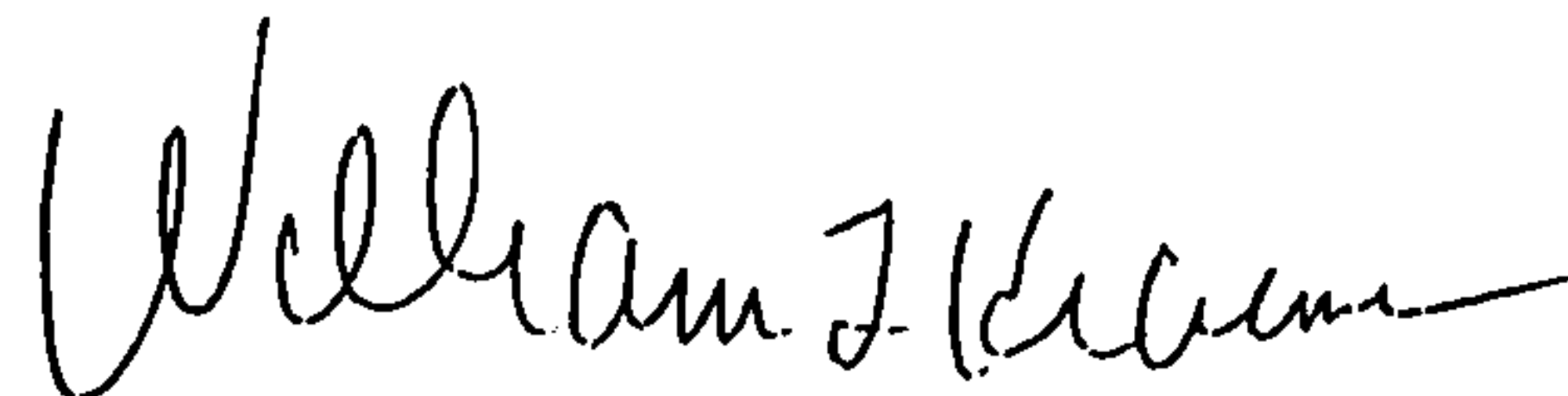
This is a request to VACATE a public water line easement, which encumbers Lot1-A-1-A-1 Block 10 Tract 2 Unit 3 NORTH ALBUQUERQUE ASSOCIATES (see Exhibit.) This request is filed pursuant to Section 14-14-7-1 et.seq. City of Albuquerque, Subdivision Regulations. An identical request was approved in December 2006, but allowed to expire without a replat. 06DRB-01639

Applicant, PR Investments LLC is the owner of the subject property. They intend to develop this site with a permissive use under the SU-2 Mixed Use zoning. The location of the easement and 8" waterline therein unreasonably restricts their intended use of the site. They understand that if the requested vacation is granted that they will be responsible to relocate the water line at their sole expense.

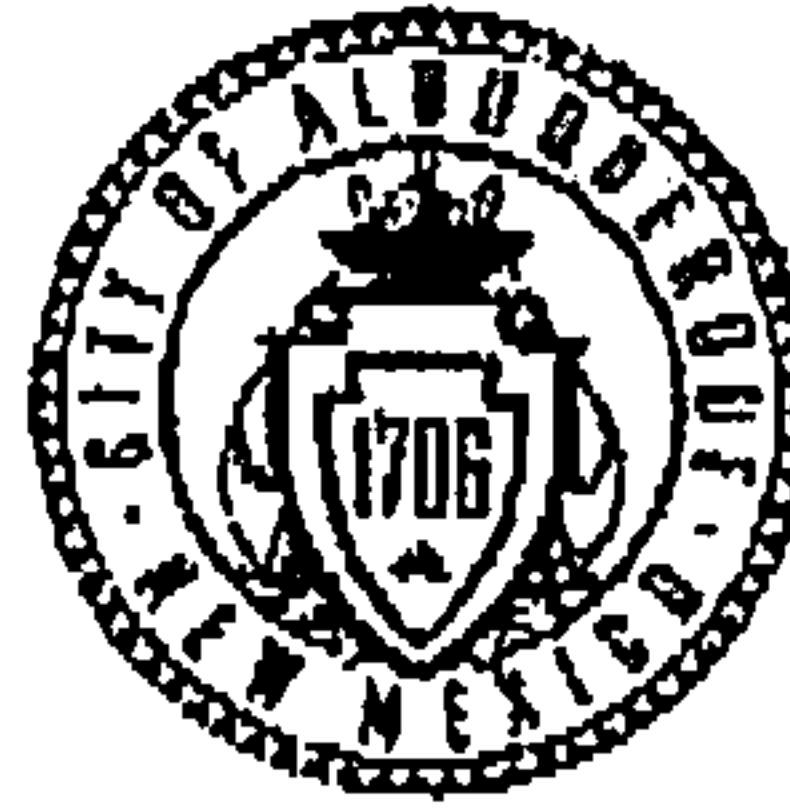
This request meets the statutory vacation criteria as follows:

1. The request is filed by the owners of all of the private property abutting the proposed vacation. Section 14-14-7-2 (A)(1.)
2. The public welfare is in no way served by the retention of easements sought to be vacated. Section 14-14-7-2 (B)(1.)
3. No substantial property rights will be abridged by the vacation of these easements.

Wherefore, applicant respectfully requests VACATION of the water line easement shown on the attached exhibit and documented herein.







# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: January 23, 2008

TO CONTACT NAME: William Kraemer  
 COMPANY/AGENCY: Garcia / Kraemer & Associates  
 ADDRESS/ZIP: 200 Lomas NW 87102  
 PHONE/FAX #: 242-5566 / 242-9028

Thank you for your inquiry of January 23, 2008 requesting the names of **ALL** Affected

**Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at Lot 1-A-1-A Block 10 North Albuquerque Acres Tract 2, Unit 3 Located on 8110 Louisiana Blvd NE between Paseo del Norte and Holly zone map page(s) C-19

Our records indicate that the **Affected Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

North Domingo Baca N.A.  
 Neighborhood or Homeowner Association  
 Contacts: Judie Pellegrino  
8515 Murrelet NE / 87113  
821-8516 (h)  
Haden M. Bowling  
8523 Murrelet NE / 87113  
821-4957 (h)

West La Cueva N.A.  
 Neighborhood or Homeowner Association  
 Contacts: Peggy Neff  
8305 Calle Sequelle NE / 87113  
823-1041 (h)  
April Sweet  
6939 Carmelito Ln NE / 87113  
280-8586 (c)

**See reverse side for additional Neighborhood and/or Homeowner Associations Information:**

YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

  
 OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

**GARCIA/KRAEMER&ASSOCIATES**

Wells Fargo Bank Building  
200 Lomas N.W., Suite 1111  
Albuquerque, NM 87102  
(505) 242 5566  
Fax (505) 242 9028

January 23, 2008

Judie Pellegrino  
8515 Murrelet NE  
Albuquerque, New Mexico 87113

**CERTIFIED MAIL**

Haden M. Bowling  
8523 Murrelet NE  
Albuquerque, New Mexico 87113

**CERTIFIED MAIL**

Peggy Neff  
8305 Calle Sequelle NE  
Albuquerque, New Mexico 87113

**CERTIFIED MAIL**

April Sweet  
6939 Carmelito Loop NE  
Albuquerque, New Mexico 87113

**CERTIFIED MAIL**

RE: REDO Vacation of Waterline Easement  
Lot 1-A-1-A-1, Block 10, NAA, Tract 2 Unit 3

Dear Neighborhood Representatives:

The purpose of this letter is to inform you that we are filing a request VACATE the above referenced easement. An identical request was made and granted in December 2006 and the 8" water line across its property was relocated into the street. Unfortunately the required replat was not completed within the required one year time period and we have to redo the vacation. If you have questions or concerns, please do not hesitate to call.

Sincerely,



WILLIAM L. KRAEMER



**U.S. Postal Service™  
CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

**ADDITIONAL USE**

Postage	\$0.41	0101	Postmark Here
Certified Fee	\$2.65	03	
Return Receipt Fee (Endorsement Required)	\$0.00		
Restricted Delivery Fee (Endorsement Required)	\$0.00		
Total Postage & Fees	\$3.06	01/25/2008	

7007 0710 0000 6307 0257

Sent To  
Street, Apt. No., or PO Box No.  
City, State, ZIP+4

HARDEN BOWLING  
8523 MURRELET NE  
ALBUQ NM 87113

PS Form 3800, August 2006

See Reverse for Instructions

**U.S. Postal Service™  
CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

**ADDITIONAL USE**

Postage	\$0.41	0101	Postmark Here
Certified Fee	\$2.65	03	
Return Receipt Fee (Endorsement Required)	\$0.00		
Restricted Delivery Fee (Endorsement Required)	\$0.00		
Total Postage & Fees	\$3.06	01/25/2008	

7007 0710 0000 6307 0240

Sent To  
Street, Apt. No., or PO Box No.  
City, State, ZIP+4

Judie Pellegrino  
8515 Murrelet NE  
ALBUQ NM 87113

PS Form 3800, August 2006

See Reverse for Instructions

**U.S. Postal Service™  
CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

**ADDITIONAL USE**

Postage	\$0.41	0101	Postmark Here
Certified Fee	\$2.65	03	
Return Receipt Fee (Endorsement Required)	\$0.00		
Restricted Delivery Fee (Endorsement Required)	\$0.00		
Total Postage & Fees	\$3.06	01/25/2008	

7920 0710 0000 6307 0271

Sent To  
Street, Apt. No., or PO Box No.  
City, State, ZIP+4

HEBERT NEFF  
8305 CALE SEDUBLE  
ALBUQ NM 87113

PS Form 3800, August 2006

See Reverse for Instructions

**U.S. Postal Service™  
CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

**ADDITIONAL USE**

Postage	\$0.41	0101	Postmark Here
Certified Fee	\$2.65	03	
Return Receipt Fee (Endorsement Required)	\$0.00		
Restricted Delivery Fee (Endorsement Required)	\$0.00		
Total Postage & Fees	\$3.06	01/25/2008	

7220 0710 0000 6307 0271

Sent To  
Street, Apt. No., or PO Box No.  
City, State, ZIP+4

APRIL SWEET  
6939 CARMELITO LOOP NE  
ALBUQ NM 87113

PS Form 3800, August 2006

See Reverse for Instructions



LOUISIANA BOULEVARD NE  
(ROW VARIES) PUBLIC STREET

HOLLY AVENUE NE

PUBLIC STREET

(60' ROW)

OFFICE/RETAIL

12,112 SF  
33 PARKING SPACES

EAST ACCESS ROAD

SOUTH ACCESS ROAD

SITE PLAN-SEDONA POINT

SCALE: 1"=30'-0"



Afra Construction & Design LLC  
2501 Yale Blvd SE Suite 102  
Albuquerque, NM 87106  
Tel (505) 315-1482  
Fax (505) 243-1561

WATER LINE  
EASEMENT  
TO BE VARATED

EXHIBIT B







No. of Lots: 1  
Nearest Major Streets  
Louisiana Blvd NE + Holly NE

FIGURE 12

**SUBDIVISION IMPROVEMENTS  
AGREEMENT-PUBLIC AND/OR PRIVATE  
(Procedure B)**

AGREEMENT TO CONSTRUCT  
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 10<sup>th</sup> day of December, 2007, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and PR INVESTMENTS, LLC

("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] NEW MEXICO LIMITED LIABILITY COMPANY, whose address is 7620 SAN DIEGO AVE NE, ALBUQU, NM 87122 and whose telephone number is 450-4388, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] LOT 1-A-1-A-2, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, recorded on DECEMBER 13, 2005 in the records of the Bernalillo County Clerk at Book 2005C, pages 396 through 396 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] PR INVESTMENTS, LLC ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Sedona Point describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 21<sup>st</sup> day of September, 2008 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 750482.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless

the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by SURV-TEK, INC, and construction surveying of the private Improvements shall be performed by SURV-TEK, INC. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by SMITH ENGINEERING CO., and inspection of the private Improvements shall be performed by SMITH ENGINEERING CO., both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider



shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by WESTERN TECHNOLOGIES, and field testing of the private Improvements shall be performed by WESTERN TECHNOLOGIES, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: IRREVOCABLE STANDBY LETTER OF CREDIT M36051272  
Amount: \$ 29,912.33 Name of Financial Institution or Surety  
Date City first able to call Guaranty: September 21, 2008  
[Construction Completion Deadline]: September 21, 2008  
If Guaranty other than a Bond, last day City able to call Guaranty is:  
November 21, 2008  
Additional information: \_\_\_\_\_

(RL)

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.





Current DRC  
Project Number: \_\_\_\_\_

**ORIGINAL**

Figure 12

**INFRASTRUCTURE LIST**  
(Rev. 9-20-05)

Date Submitted: 6-27-07  
Date Site Plan Approved: 6-27-07  
Date Preliminary Plat Approved: N/A  
Date Preliminary Plat Expires: N/A  
DRB Project No.: 1003364  
DRB Application No.: 07 DRB-70003

**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**THE SHOPS AT SEDONA POINTE**  
**PROPOSED NAME OF PERTAINING OR SITE DEVELOPMENT PLAN**  
**LOT 1-A-1-A1, BLOCK 10, TRACT 2, NORTH ALBUQUERQUE ACRES,**  
**UNIT 3**  
**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. The Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require the approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P. E.	City Cnst Engineer
			<b>Utilities</b>						
3-1 750482		8"	Water Line	Louisiana Blvd.	Holly Ave.	South Access Road	/	/	/
3-1 750482		8"	Abandon Existing Water Line	Lot 1-A-1-A1 Easement	Holly Ave.	South Access Road	/	/	/

**NOTES**

If the site is located in a floodplain, then financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements

- 1) Paving Items include \*Residential sidewalks to be deferred, ADA ramps, and signage per DRC
- 2) Grading and Drainage Certification is required prior to release of Financial Guarantees
- 3) Waterlines include valves, fittings and services
- 4) Storm Drain includes catch basins, connector pipes, manholes and outlet structures
- 5) Sanitary Sewer Lines include manholes and services
- 6) Perimeter walls per DRB approved perimeter wall design
- 7) Wall certification from registered engineer required prior to release of financial guarantees

**AGENT/OWNER**

David B. Thompson  
NAME (print)

Thompson Engineering Consultants, Inc.  
FIRM

*[Signature]*  
SIGNATURE Date 6-27-07

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

*[Signature]* DRB CHAIR Date 6/27/07  
*[Signature]* PARKS & GENERAL SERVICES Date 6/27/07

*[Signature]* TRANSPORTATION DEVELOPMENT Date 6-27-07  
AMAFCA Date

*[Signature]* UTILITY DEVELOPMENT Date 6-27-07  
Date

*[Signature]* CITY ENGINEER Date 6/27/07  
Date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



# FINANCIAL GUARANTY AMOUNT

08/23/2007

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

**Project ID #: 750482, Sedona Point WL Resoration, Phase/Unit #: 1**

Requested By: **David Thompson**

Approved estimate amount:		\$19,885.00
Contingency Amount:	0.00%	\$ .00
Subtotal:		\$19,885.00
NMGRT	6.875%	\$1,367.09
Subtotal:		\$21,252.09
Engineering Fee	6.60%	\$1,402.64
Testing Fee	6.00%	\$1,275.13
Subtotal:		\$23,929.86
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$ .00
<b>TOTAL FINANCIAL GUARANTY REQUIRED</b>		<b>\$29,912.33</b>

APPROVAL:

DATE:

*Stephen Woodall*

8/23/07

Notes: G&D Cert required prior to release of FG, Wall cert from Reg. Eng required prior to release of FG

Current DRC  
Project Number: \_\_\_\_\_

**ORIGINAL**

Figure 12

**INFRASTRUCTURE LIST**  
(Rev. 9-20-05)

Date Submitted: 6-27-07  
Date Site Plan Approved: 6-27-07  
Date Preliminary Plat Approved: N/A  
Date Preliminary Plat Expires: N/A  
DRB Project No.: 1003364  
DRB Application No.: 07 DRB-70003

**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**THE SHOPS AT SEDONA POINTE**

**PROPOSED NAME OF ~~PLAT AND/OR~~ SITE DEVELOPMENT PLAN**

**LOT 1-A-1-A1, BLOCK 10, TRACT 2, NORTH ALBUQUERQUE ACRES,  
UNIT 3**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. The Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require the approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P. E.	City Cnst Engineer
			<u>Utilities</u>						
		8"	Water Line	Louisiana Blvd.	Holly Ave.	South Access Road	/	/	/
		8"	Abandon Existing Water Line	Lot 1-A-1-A1 Easement	Holly Ave.	South Access Road	/	/	/



**NOTES**

If the site is located in a floodplain, then financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements

- 1) Paving Items include \*Residential sidewalks to be deferred, ADA ramps, and signage per DRC
- 2) Grading and Drainage Certification is required prior to release of Financial Guarantees
- 3) Waterlines include valves, fittings and services
- 4) Storm Drain includes catch basins, connector pipes, manholes and outlet structures
- 5) Sanitary Sewer Lines include manholes and services
- 6) Perimeter walls per DRB approved perimeter wall design
- 7) Wall certification from registered engineer required prior to release of financial guarantees

**AGENT/OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

David B. Thompson  
NAME (print)

*J. Matson*  
DRB CHAIR

*6/27/07*  
Date

*Christina Sandoval*  
PARKS & GENERAL SERVICES

*6/27/07*  
Date

Thompson Engineering Consultants, Inc.  
FIRM

*[Signature]*  
TRANSPORTATION DEVELOPMENT *6-27-07*  
Date

AMAFCA  
Date

*[Signature]*  
SIGNATURE *6-27-07*  
Date

*[Signature]*  
UTILITY DEVELOPMENT *6-27-07*  
Date

Date

*Bradley J. Bingham*  
CITY ENGINEER *6/27/07*  
Date

Date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



MB60512726

BANK OF THE WEST  
GLOBAL TRADE SERVICES  
1977 SATURN STREET, SC-MPK-02-G  
MONTEREY PARK, CA 91755  
TEL: 323-727-6342  
FAX: 323-727-6405  
SWIFT: BWSTUS66LAX

\*\*\*

DATE: NOVEMBER 28, 2007

## IRREVOCABLE STANDBY LETTER OF CREDIT

IN ALL CORRESPONDENCE PLEASE QUOTE OUR REFERENCE NUMBER.

WE HEREBY ESTABLISH OUR IRREVOCABLE STANDBY LETTER OF CREDIT NO. MB60512726

IN FAVOR OF BENEFICIARY:  
CITY OF ALBUQUERQUE  
1 CIVIC PLAZA NW  
ALBUQUERQUE, NM 87103  
ATTN: MR. BRUCE PERLMAN  
CHIEF ADMINISTRATIVE OFFICER

FOR ACCOUNT OF (APPLICANT):  
PR INVESTMENTS, LLC  
7620 SAN DIEGO AVE NE  
ALBUQUERQUE, NM 87122

AMOUNT: USD29,912.33 (TWENTY NINE THOUSAND NINE HUNDRED TWELVE AND 33/100 US DOLLARS)  
EXPIRY DATE / PLACE: NOVEMBER 21, 2008 AT 5:00 P.M. IN MONTEREY PARK, AT OUR ABOVE ADDRESS.

AT THE REQUEST OF PR INVESTMENTS, LLC, WE HEREBY ISSUE IN BENEFICIARY'S FAVOR THIS IRREVOCABLE LETTER OF CREDIT IN THE SUM OF TWENTY NINE THOUSAND NINE HUNDRED TWELVE AND 33/100 U. S. DOLLARS (USD29,912.33).

APPLICANT ADVISES THAT THIS LETTER OF CREDIT COVERS THE FINANCIAL GUARANTEE WHICH THE CITY REQUIRES, PR INVESTMENTS, LLC ("SUBDIVIDER") TO PROVIDE FOR THE INSTALLATION OF THE IMPROVEMENTS, WHICH MUST BE CONSTRUCTED AT LOUISIANA BLVD & HOLLY AVENUE NE, ALBUQUERQUE, NM, PROJECT NO. 750482. THE AMOUNT OF THE LETTER OF CREDIT IS 125% OF THE CITY'S ESTIMATED COST OF CONSTRUCTION OF IMPROVEMENTS AS REQUIRED BY THE CITY'S SUBDIVISION ORDINANCE.


A DRAFT OR DRAFTS FOR ANY AMOUNT UP TO, BUT NOT IN EXCESS OF TWENTY NINE THOUSAND NINE HUNDRED TWELVE AND 33/100 U. S. DOLLARS (USD29,912.33) IS/ARE AVAILABLE AT SIGHT DRAWN ON BANK OF THE WEST, MONTEREY PARK AT, 1977 SATURN STREET, GLOBAL TRADE SERVICES, MONTEREY PARK, CALIFORNIA 91755 ATTN: STANDBY TEAM 2.


WHEN PRESENTED THE DRAFT(S) IS/ARE TO BE ACCOMPANIED BY THE FOLLOWING DOCUMENTS:

THE BENEFICIARY'S SIGNED, DATED, AND THE CITY'S NOTARIZED STATEMENT WORDED AS FOLLOWS:

"THIS CERTIFIES THAT 1) PR INVESTMENTS, LLC HAS FAILED TO COMPLY WITH THE TERMS OF THE AGREEMENT; 2) THE UNDERSIGNED IS THE CHIEF ADMINISTRATIVE OFFICER OF THE CITY OF ALBUQUERQUE AND IS AUTHORIZED TO SIGN THIS CERTIFICATION; AND 3) THE AMOUNT OF THE DRAFT DOES NOT EXCEED 125% OF THE CITY'S ESTIMATED COST OF COMPLETING THE IMPROVEMENTS SPECIFIED IN THE AGREEMENTS."

WE HEREBY AGREE WITH THE BENEFICIARY OF DRAFT(S) DRAWN UNDER AND IN COMPLIANCE WITH THE TERMS OF THIS CREDIT THAT SUCH DRAFT(S) WILL BE DULY HONORED UPON PRESENTATION TO BANK OF THE WEST, 1977 SATURN STREET, GLOBAL TRADE SERVICES, MONTEREY PARK, CALIFORNIA 91755, ATTN: STANDBY TEAM2.

  
\_\_\_\_\_  
AUTHORIZED SIGNATURE  
GLOBAL TRADE SERVICES  
TEAM NO 02

  
\_\_\_\_\_  
AUTHORIZED SIGNATURE  
GLOBAL TRADE SERVICES  
TEAM NO 02





MB60512726

BANK OF THE WEST  
GLOBAL TRADE SERVICES  
1977 SATURN STREET, SC-MPK-02-G  
MONTEREY PARK, CA 91755  
TEL: 323-727-6342  
FAX: 323-727-6405  
SWIFT: BWSTUS66LAX

THE DRAFT(S) DRAWN UNDER THIS CREDIT MUST CONTAIN THE CLAUSE: "DRAWN UNDER LETTER OF CREDIT NO. MB60512726 OF BANK OF THE WEST, MONTEREY PARK, CALIFORNIA 91755, DATED, NOVEMBER 28, 2007 AND THE ORIGINAL LETTER OF CREDIT MUST BE ENDORSED ON THE REVERSE SIDE WITH THE AMOUNT OF EACH DRAFT. THIS ORIGINAL LETTER OF CREDIT AND AMENDMENT(S) IF ANY MUST ACCOMPANY EACH DRAFT AND BE ATTACHED TO THE DRAFT, WHICH EXHAUSTS THIS CREDIT.

IT IS A CONDITION ON THIS LETTER OF CREDIT THAT IT SHALL BE DEEMED AUTOMATICALLY EXTENDED WITHOUT AMENDMENT FOR ADDITIONAL PERIOD(S) OF ONE YEAR EACH FROM THE CURRENT OR ANY FUTURE EXPIRATION DATE HEREOF, UNLESS AT LEAST SIXTY (60) DAYS PRIOR TO ANY SUCH EXPIRATION DATE, WE SEND NOTICE TO YOU BY REGISTERED MAIL OR COURIER SERVICE AT THE ABOVE ADDRESS, THAT WE HAVE ELECTED NOT TO CONSIDER THIS LETTER OF CREDIT EXTENDED FOR ANY SUCH ADDITIONAL PERIOD. IN SUCH EVENT, YOU MAY DRAW HEREUNDER WITHIN THE THEN APPLICABLE VALIDITY PERIOD.

EXCEPT SO FAR AS OTHERWISE EXPRESSLY STATED, THIS STANDBY LETTER OF CREDIT IS SUBJECT TO THE UNIFORM CUSTOMS AND PRACTICE FOR DOCUMENTARY CREDITS, INTERNATIONAL CHAMBER OF COMMERCE PUBLICATION NO. 600 (2007 REVISION).

  
\_\_\_\_\_  
AUTHORIZED SIGNATURE  
GLOBAL TRADE SERVICES  
TEAM NO 02

  
\_\_\_\_\_  
AUTHORIZED SIGNATURE  
GLOBAL TRADE SERVICES  
TEAM NO 02

publication  
600  
2007 revision

June 22, 2007

Philip Lindborg  
12809 Donette Ct. NE  
Albuquerque, NM 87112


Development Review Board (DRB)  
Albuquerque, NM

Re: Letter of Authorization - Sedona Point - 8110 Louisiana NE, Albuquerque, NM  
87113, Project No. 1003364, 07 DRB-70003 EPC

I, Philip Lindborg, authorize Tafazzul Hussain, James Green and/or David B. Thompson to represent on my behalf and be my agent for Lot 1-A-1-A-1, Block 10, North Albuquerque Acres, Tract 2, Unit 3 to proceed with the Development Review Board procedures.

Please call me at 505-450-4388 if you have any questions.

Sincerely,

  
Philip Lindborg



ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME PHIL LINDBORG  
AGENT TAFAZZUL MUSSAIN/NIM GREEN  
ADDRESS 8110 LOUISIANA  
PROJECT & APP # 1003364 | 07DRB 70003  
PROJECT NAME SEDONA POINT

\$ \_\_\_\_\_ 441032/3424000 Conflict Management Fee  
\$ 50.00 441006/4983000 DRB Actions DEFERRAL  
\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
\$ \_\_\_\_\_ 441018/4971000 Public Notification  
\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study  
\$ 50.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

\*\*\*DUPLICATE\*\*\*  
City Of Albuquerque  
Treasury Division

6/11/2007 3:31PM LOC: ANNX  
RECEIPT# 00077933 WSH 006 TRANSH 0052  
Account 441006 Fund 0110  
Activity 4983000 TRSCCS  
Trans Amt \$50.00  
J24 Misc \$50.00  
CK \$50.00  
CHANGE \$0.00

Thank You

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

<b>SUBDIVISION</b>	<b>S</b>	<b>Z</b>	<b>ZONING &amp; PLANNING</b>
<input type="checkbox"/> Major Subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action			<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<b>V</b>		<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>		<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision			<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/> for Building Permit			<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)			<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L</b>	<b>A</b>	<b>APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE</b>	<b>D</b>		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

Professional/Agent (if any): TAFAZZUL HUSSAIN PHONE: 505-243-9093  
 ADDRESS: 2501 YALE BLVD. SE, STE. 102 FAX: 505-243-1501  
 CITY: ALBUQUERQUE STATE NM ZIP 87106 E-MAIL: \_\_\_\_\_

APPLICANT: PHILLIP LINDBORG PHONE: 291-0353  
 ADDRESS: 12809 DONETTE CT. NE FAX: 293-3580  
 CITY: ALBUQUERQUE STATE NM ZIP 87112 E-MAIL: \_\_\_\_\_

Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: APPROVAL OF SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. LOT 1.A.1.A.1 / TRACT 2 Block: 10 Unit: 3  
 Subdiv/Addn/TBKA: NORTH ALBUQUERQUE ACRES, FLAT OF LOTS 1.A.1.A.1  
 Existing Zoning: SU-2 / MIXED USE Proposed zoning: SAME  
 Zone Atlas page(s): C. 19. Z UPC Code: 101906402903330101 MARGCD Map No N/A

CASE HISTORY: Anna De Mambro Epc Case Planner  
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): \_\_\_\_\_  
PROJECT NO. 1003364

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 2.1  
 LOCATION OF PROPERTY BY STREETS  On or Near: HOLLY AVE NE  
 Between: LOUISIANA NE and WYOMING NE  
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: N/A

SIGNATURE Tafazzul Hussain DATE 05-21-07  
 (Print) TAFAZZUL HUSSAIN Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07DRB 70003</u>	<u>SBP</u>	<u>1(3)</u>	\$ <u>0.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>05/30/07</u>	_____	_____	Total \$ <u>20.00</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	_____

Saudey Sandley 05/21/07  
 Planner signature / date

Project # 1003364



**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Maximum Size: 24" x 36"  
 \_\_\_ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the request  
 \_\_\_ List any original and/or related file numbers on the cover application  
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

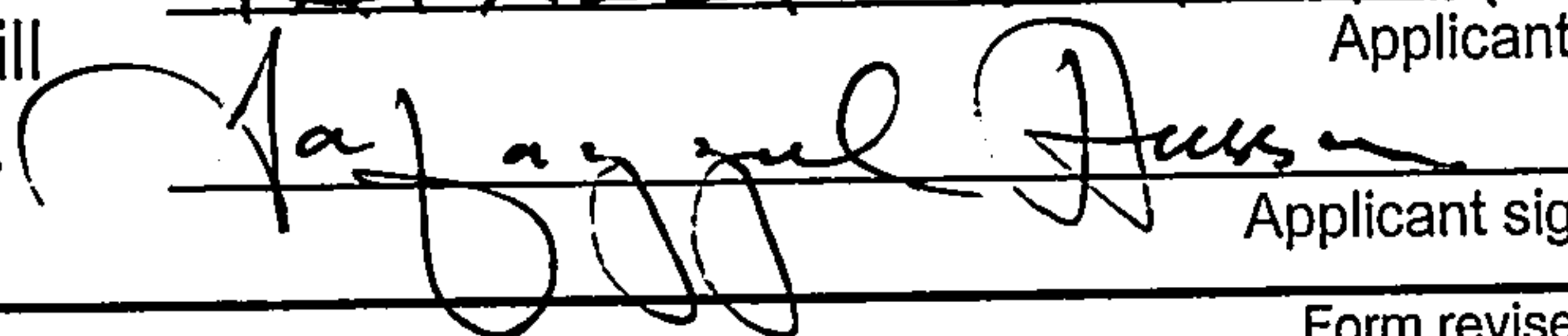
- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** Maximum Size: 24" x 36"  
 \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the request  
 \_\_\_ Letter of authorization from the property owner if application is submitted by an agent  
 \_\_\_ Copy of the document delegating approval authority to the DRB  
 \_\_\_ Completed Site Plan for Subdivision Checklist  
 \_\_\_ Infrastructure List, if relevant to the site plan  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** Maximum Size: 24" x 36"  
 \_\_\_ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies  
 \_\_\_ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.  
 \_\_\_ Solid Waste Management Department signature on Site Plan  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the request  
 \_\_\_ Letter of authorization from the property owner if application is submitted by an agent  
 \_\_\_ Copy of the document delegating approval authority to the DRB  
 \_\_\_ Infrastructure List, if relevant to the site plan  
 \_\_\_ Completed Site Plan for Building Permit Checklist  
 \_\_\_ Copy of Site Plan with Fire Marshal's stamp  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** Maximum Size: 24" x 36"  
 **AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** Maximum Size: 24" x 36"  
 \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies  
 \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies  
 \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined  
 \_\_\_ Letter briefly describing, explaining, and justifying the request  
 \_\_\_ Letter of authorization from the property owner if application is submitted by an agent  
 \_\_\_ Infrastructure List, if relevant to the site plan  
 \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)  
 \_\_\_ Fee (see schedule)  
 \_\_\_ List any original and/or related file numbers on the cover application  
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**  
 **FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**  
 Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies  
 Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies  
 Solid Waste Management Department signature on Site Plan for Building Permit  
 Zone Atlas map with the entire property(ies) clearly outlined  
 Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision  
 Infrastructure List, if relevant to the site plan  
 Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)  
 \_\_\_ List any original and/or related file numbers on the cover application  
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

TLFAZZUL MUSSAIN  
 Applicant name (print)  
  
 Applicant signature / date 05.21.07



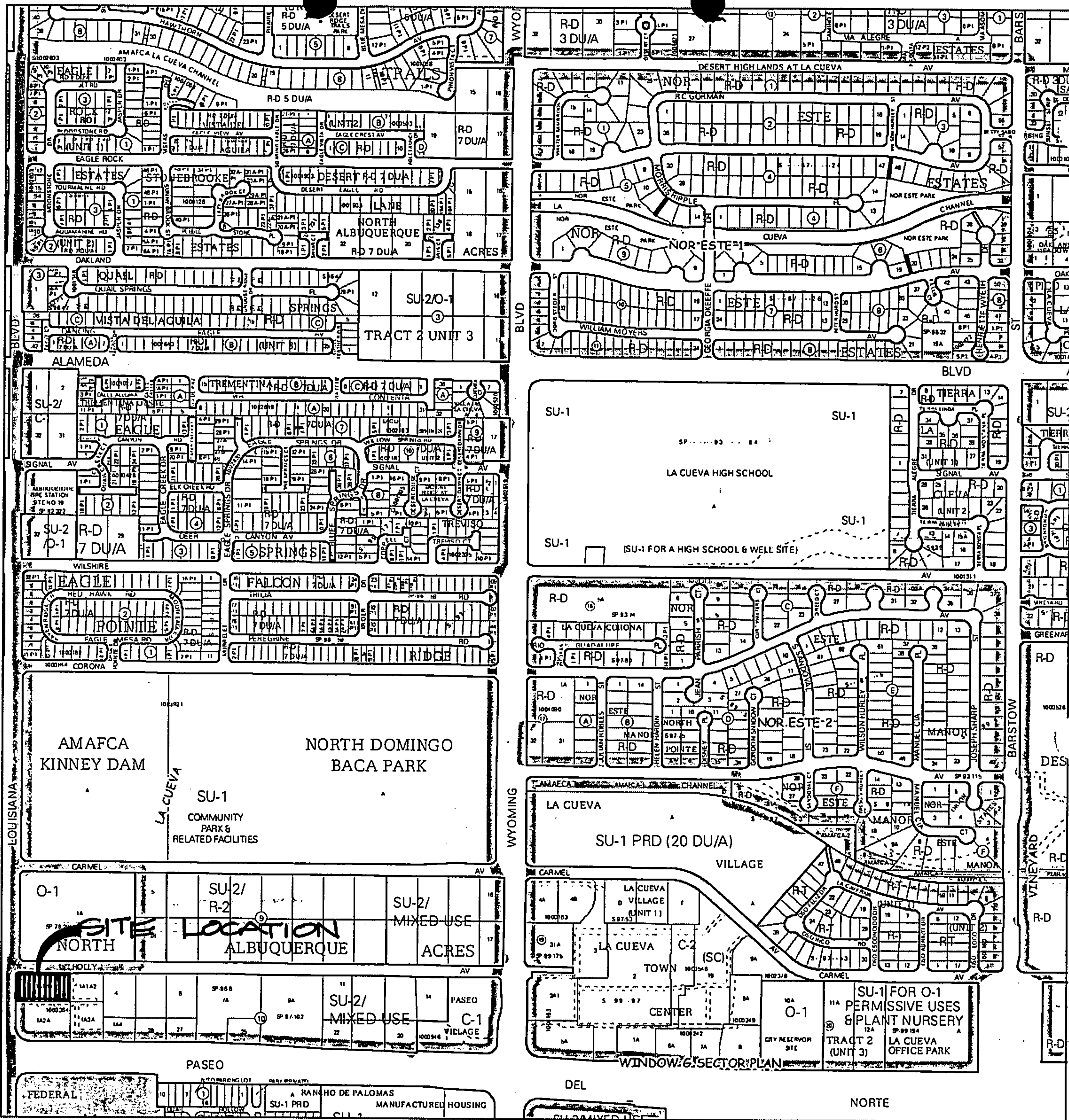
Form revised APRIL 2007

- Checklists complete  
 Fees collected  
 Case #s assigned  
 Related #s listed

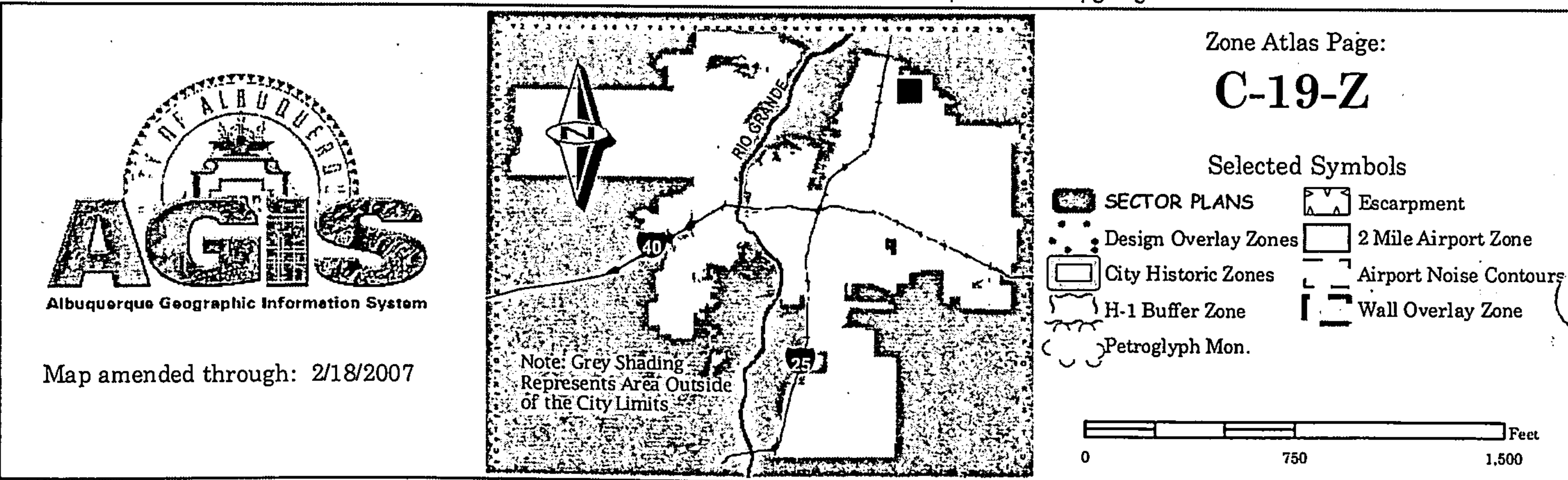
Application case numbers  
07DRB- -70003  
 \_\_\_\_\_  
 \_\_\_\_\_

Sandy Handley 05/21/07  
 Planner signature / date  
**Project # 1003364**





For more current information and more details visit: <http://www.cabq.gov/gis>





# AFRA CONSTRUCTION, LLC

2501 YALE BLVD. SE, SUITE 102

ALBUQUERQUE, NM 87106

PHONE: 243-9093

FAX: 243-1561

May 21, 2007

Mr. Jeff Jesionowsky, Chairman  
Environmental Planning Commission- City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

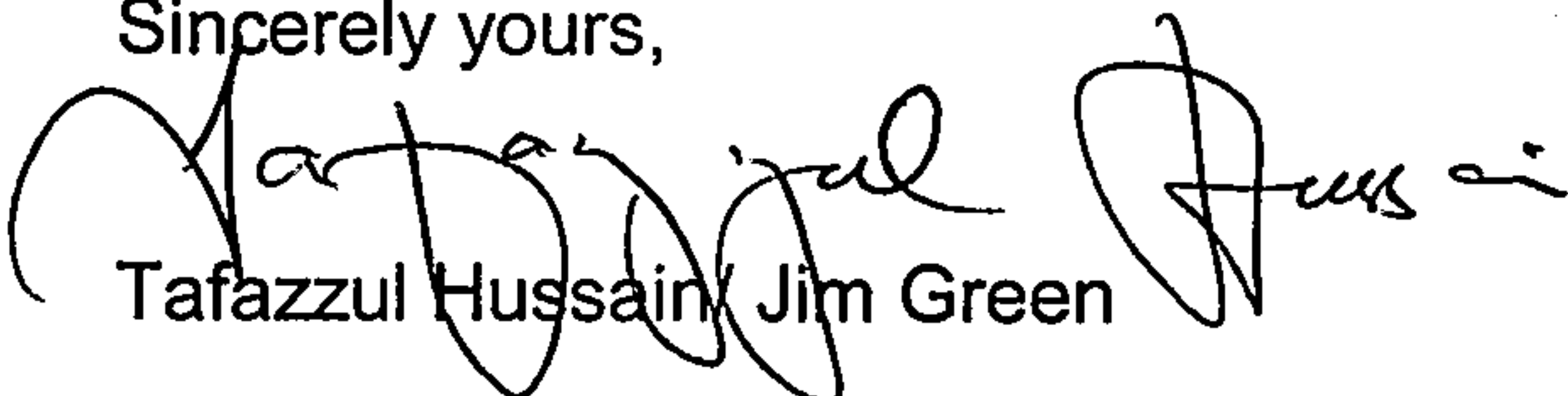
**Re: Project No. 1003364, 07EPC – 00094 EPC  
Site Development Plan- Building Permit, for Sedona Point**

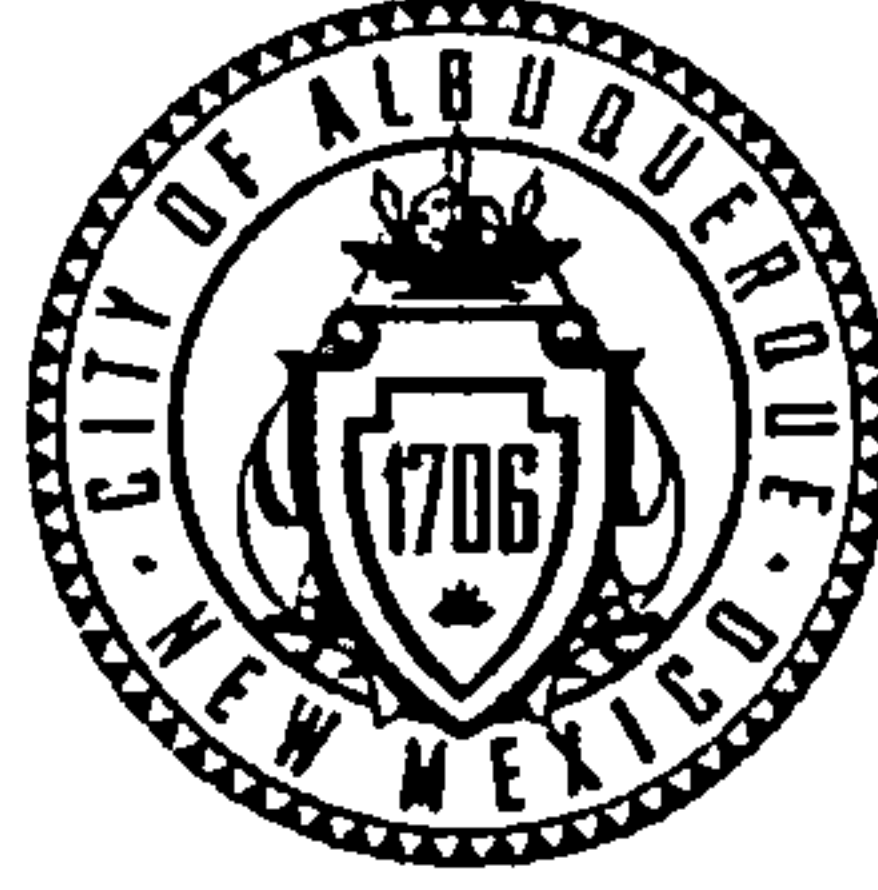
Dear Mr. Jesionowsky:

In regard to the **CONDITIONS** that EPC has delegated for final sign-off of this site development plan, we have completed all items listed, as follows:

3. Retaining wall detail provided on SP-1 as 9A/SP-1.
4. Detail 10 on SP-1, changed to state "Typical Side Elevation at Trash Enclosure".
5. Parking:
  - a. Transit information removed.
  - b. Small car parking spaces on East of Building are 8'-0" wide x 15'-0" long.
  - c. Parking spaces renumbered.
6. New Shielded Security Light added to West Elevation at 9'-0" A.F.F.
7. Patio is 558 sf.
8. Building 'B' sign changed to 116 SF; Building 'C' sign changed to 62 SF.
9. South Elevation projection is 42'-8" long.
10. Item (11), changed to "Existing Fire Hydrant"
11. Item (12),
  - a. Flower beds removed.
  - b. Complied.
  - c. Complied.
  - d. Complied.
  - e. Complied.
  - f. Complied.
12. Item (13), Door types called out.
13. Item (14), complied.
14. Item (15), a, b, c, d; complied.
  - e. See Site Plan for Subdivision, General Notes (1).
  - f. DPM requirements noted.
  - g. 43 feet, as noted.
  - h. 6 foot wide existing bike lane, east side of Louisiana Blvd. Shown on SP-1.

Sincerely yours,

  
Tafazzul Hussain/ Jim Green



City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: April 20, 2007

**OFFICIAL NOTIFICATION OF DECISION**

FILE: **Project # 1003364**  
07EPC-00094 EPC Site Development Plan-  
Building Permit

Phillip Lindborg  
12809 Donette Ct. NE  
Albuq. NM 87112

**LEGAL DESCRIPTION:** for all or a portion of Lot 1-A-1-A1, Block 10, **North Albuquerque Acres**, zoned SU-2/Mixed Use, located on HOLLY NE, between LOUISIANA NE and WYOMING BLVD. NE, containing approximately 1 acres. (C-19) Anna DiMambro, Staff Planner

On April 19, 2007 the Environmental Planning Commission voted to approve Project 1003364/ 07EPC 00094, a request for a Site Plan for Building Permit, for Lot 1A1A1, Block 10, North Albuquerque Acres based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for approval of a site development plan for building permit for Lot 1A1A1, Block 10, North Albuquerque Acres, an approximately 1 acre site located on Holly Avenue NE between Louisiana and Wyoming, zoned SU-2/Mixed Use.
2. The site is part of an overall site development plan for subdivision that received EPC approval in 2004. The site plan for subdivision contains design regulations that govern development of the subject site. The request complies with the governing design regulations.
3. The applicant is proposing to construct a single-story 12,155 square foot office/retail building.
4. This proposal furthers applicable Comprehensive Plan policies:
  - a. This proposal respects existing neighborhood values (Policy II.B.5.d).
  - b. The subject site is located on an existing public street and has access to existing municipal services (Policy II.B.5.e).
  - c. The proposed development's location complements residential areas (Policy II.B.5.i).



**OFFICIAL NOTICE OF DECISION**

**APRIL 19, 2007**

**PROJECT #1003364**

**PAGE 2 OF 5**

- d. The subject site is already zoned for commercial uses (Policy II.B.5.j).
  - e. The proposed building design is innovative and of high quality (Policy II.B.5.l).
  - f. The proposed building maintains and enhances unique vistas (Policy II.B.5.m).
- 5. This proposal complies with most applicable design regulations of the La Cueva Sector Development Plan.
  - 6. There is no known neighborhood or other opposition to this request.
  - 7. The shortage of parking spaces on the subject site is acceptable because the larger subdivision, which includes this site, is over parked.

**CONDITIONS**

- 1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
- 2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
- ✓ 3. The applicant shall include a detail drawing of any proposed retaining walls indicating materials to be used. These walls shall comply with all applicable design regulations.
- ✓ 4. Detail drawing 10 on Sheet SP-1 shall be relabeled "Typical Side Elevation at Trash Enclosure."
- 5. Parking:
  - ✓ a. The applicant shall remove references to transit reductions for parking requirements.
  - ✓ b. The applicant shall revise compact parking spaces to comply with Zoning Code requirements. These spaces shall be 8' wide and 15' in length.
  - ✓ c. The applicant shall remove the number "1" from parking spaces on Sheet SP-1 located at the west and north ends of the site. The east row of parking should be renumbered "14."
- ✓ 6. The applicant shall add security lighting to the west building elevation. This lighting shall be mounted to the building no higher than 9' and shall be shielded to prevent light intrusion onto residential properties.

**OFFICIAL NOTICE OF DECISION**

APRIL 19, 2007

PROJECT #1003364

PAGE 2 OF 5

- d. The subject site is already zoned for commercial uses (Policy II.B.5.j).
  - e. The proposed building design is innovative and of high quality (Policy II.B.5.l).
  - f. The proposed building maintains and enhances unique vistas (Policy II.B.5.m).
- 5. This proposal complies with most applicable design regulations of the La Cueva Sector Development Plan.
  - 6. There is no known neighborhood or other opposition to this request.
  - 7. The shortage of parking spaces on the subject site is acceptable because the larger subdivision, which includes this site, is over parked.

**CONDITIONS**

- 1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
- 2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
- ✓ 3. The applicant shall include a detail drawing of any proposed retaining walls indicating materials to be used. These walls shall comply with all applicable design regulations.
- ✓ 4. Detail drawing 10 on Sheet SP-1 shall be relabeled "Typical Side Elevation at Trash Enclosure."
- 5. Parking:
  - ✓ a. The applicant shall remove references to transit reductions for parking requirements.
  - ✓ b. The applicant shall revise compact parking spaces to comply with Zoning Code requirements. These spaces shall be 8' wide and 15' in length.
  - ✓ c. The applicant shall remove the number "1" from parking spaces on Sheet SP-1 located at the west and north ends of the site. The east row of parking should be renumbered "14."
- ✓ 6. The applicant shall add security lighting to the west building elevation. This lighting shall be mounted to the building no higher than 9' and shall be shielded to prevent light intrusion onto residential properties.



OFFICIAL NOTICE OF DECISION  
APRIL 19, 2007  
PROJECT #1003364  
PAGE 3 OF 5

- ✓ 7. The applicant shall increase the size of the patio to comply with La Cueva Sector Development Plan regulations requiring 486 square feet of public open space amenities.
- ✓ 8. The applicant shall correct sign area calculations. Area of Sign B should read 116 SF and for Sign C 62 SF.
- ✓ 9. The applicant shall provide 37.4 feet of projections and/or recessions along the south elevation to comply with regulation 5.4.5.5 R-4 of the La Cueva Sector Development Plan.
- 10. Metal canopies and supports shall be treated to prevent glare.
- ✓ 11. The applicant shall correct spelling errors on sheets SP-1 and L1 to read "Existing Fire Hydrant" rather than "Existing Five Hydrant."
- 12. Landscaping:
  - ✓ a. Flowerbeds shall be removed from the compact parking spaces on the east side of the building.
  - ✓ b. Provide a note requiring 80% live groundcover in all planting beds.
  - ✓ c. The landscaping plan shall show sidewalk connection from Holly Avenue to the east side of the building and shall revise landscape calculations accordingly.
  - ✓ d. Eliminate Ash Trees from the tree list.
  - ✓ e. Replace the Flowering Pear with Texas Red Bud.
  - ✓ f. Flowering Broom shall not be Scotch Broom or Wild Yellow Broom. Use Lena or Burkwoodii species of broom.
- ✓ 13. The applicant shall specify all door types on all elevations.
- ✓ 14. The applicant shall renumber keyed notes on sheet A-2 to eliminate double usage of the number 8. The drawing shall be revised accordingly.
- 15. **RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:**  
Conditions of approval for the proposed Site Development Plan for Building Permit shall include:
  - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
  - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.

OFFICIAL NOTICE OF DECISION  
APRIL 19, 2007  
PROJECT #1003364  
PAGE 4 OF 5

- ✓d. South and east access roads, including drives, should be labeled as existing.
- ✓e. Reference existing cross access agreements or provide.
- ✓f. Site plan shall comply and be designed per DPM Standards.
- ✓g. Dedication of a *minimum* 43 feet of right-of-way from the centerline of Louisiana Blvd. a minor arterial as designated on the Long Range Roadway System map.
- ✓h. Dedication of an additional 6 feet of right-of-way along Louisiana Blvd. adjacent to the subject property as required by the City Engineer to provide for on-street bicycle lanes.
- ✓i. Construction of the on-street bicycle lane along Louisiana Blvd. adjacent to the subject property as designated on Long Range Bikeways System map.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MAY 4, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC



OFFICIAL NOTICE OF DECISION

APRIL 19, 2007

PROJECT #1003364

PAGE 4 OF 5

- ✓d. South and east access roads, including drives, should be labeled as existing.
- ✓e. Reference existing cross access agreements or provide.
- ✓f. Site plan shall comply and be designed per DPM Standards.
- ✓g. Dedication of a *minimum* 43 feet of right-of-way from the centerline of Louisiana Blvd. a minor arterial as designated on the Long Range Roadway System map.
- ✓h. Dedication of an additional 6 feet of right-of-way along Louisiana Blvd. adjacent to the subject property as required by the City Engineer to provide for on-street bicycle lanes.
- ✓i. Construction of the on-street bicycle lane along Louisiana Blvd. adjacent to the subject property as designated on Long Range Bikeways System map.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MAY 4, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.


Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

OFFICIAL NOTICE OF DECISION  
APRIL 19, 2007  
PROJECT #1003364  
PAGE 5 OF 5

Sincerely,

  
For Richard Dineen  
Planning Director

RD/AD/ac

cc: Tafazzul Hussain, 2501 Yale Blvd. SE, Ste 102, Albuquerque, NM 87106  
Stephanie O'Connell, West La Cueva NA, 8211 San Gavalon NE, Albuquerque, NM 87113  
Thomas Alfieri, West La Cueva NA, 8220 Ville Court NE, Albuquerque, NM 87113  
Judie Pellegrino, North Domingo Baca NA, 8515 Murrelet NE, Albuquerque, NM 87113  
Haden Bowling, North Domingo Baca NA, 8523 Murrelet NE, Albuquerque, NM 87113



**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

05/21/2007 Issued By: PLNSDH

**Permit Number:** 2007 070 003

**Project Number:** 1003384

**Project Description:** N ALBQ ACRES- TR. 3- U. 3- BL 10 TR. 1A:site plan FOR B/P- and SUBD.

**Application Number:** 07DRB-70003, Epc Approved Sdp For Build Permit

**Address:**

**Location Description:** HOLLY AVE NE BETWEEN LOUISIANA NE AND WYOMING NE

**Applicant**  
Phillip Lindborg

**Agent / Contact**  
Tafazzul Hussain

505-293-3580

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
<b>TOTAL:</b>		<b>\$20.00</b>

City Of Albuquerque  
Treasury Division

5/21/2007 2:02PM LOC: ANNX  
RECEIPT# 00082308 WSH 007 TRANSH 0038  
Account 441032 Fund 0110  
Activity 3424000 TRSMSP  
Trans Amt \$20.00  
J24 Misc \$20.00  
CK \$20.00  
CHANGE \$0.00

Thank You

DRB 07

Completed 1/22/07

APPLICATION NO. 00056	PROJECT NO. 1003364
PROJECT NAME Tribal Arts	
EPC APPLICATION NO.	
APPLICANT / AGENT Fanning Bard Tatum Arch.	PHONE NO. (505) 883-5200
ZONE ATLAS PAGE C-19	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	
<b>ONE STOP COMMENT FORM LOG</b>	

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>BLB</i>	DATE 1/18/07	DATE
COMMENTS:		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>BLB</i>	DATE 1/18/07	DATE
COMMENTS:		

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED <i>NSF</i>	DATE 1/19/07	DATE
PLANS APPROVED <i>NSF</i>	DATE 1/22/07	DATE
COMMENTS:		
<i>(SITE SEE PLAN MARKED 'TRANSP' FOR COMMENTS)</i>		

PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

PLANNING (505) 924-3858		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>mm</i>	DATE 1/22/07	DATE
COMMENTS:		

Revised 3/3/04

(Return form with plat / site plan)



**DRB 07**

APPLICATION NO. 00056	PROJECT NO. 1003364
PROJECT NAME Tribal Arts	
APPLICANT / AGENT Fanning-Bard Tatum Arch.	PHONE NO. (505) 830-2400
ZONE ATLAS PAGE C-19	DATE SUBMITTED 1/16/07

# ONE STOP CASE TRACKING LOG

(This tracking log is for DRB Delegation Actions / Over the Counter Routing)

(rev. 7/03)

TYPE OF APPROVAL	TRANSP DEV	UTILITY DEV	PARKS & REC	HYD DEV (City Engr)	PLANNING	
					CASE PLANNER	DRB CHAIR
SDP-Building Permit / SDP-Subdivision	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____
Administrative Amendments (AA's)	F: 1/16/07 D: 01/19/07 F: _____ D: _____ A: _____	F: 01/18/07 D: _____ F: _____ D: _____ A: 01/18/07		F: 01/18/07 D: _____ F: _____ D: _____ A: 01/18/07	F: _____ D: _____ F: _____ D: _____ A: _____	
Minor Plat / Major Final Plat	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____
Vacation-Private Easement	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____

Project Number 1003364

*Called agent to address transp. disapprovals  
st 01/19/07  
Forward to Claire st 01/22/07*

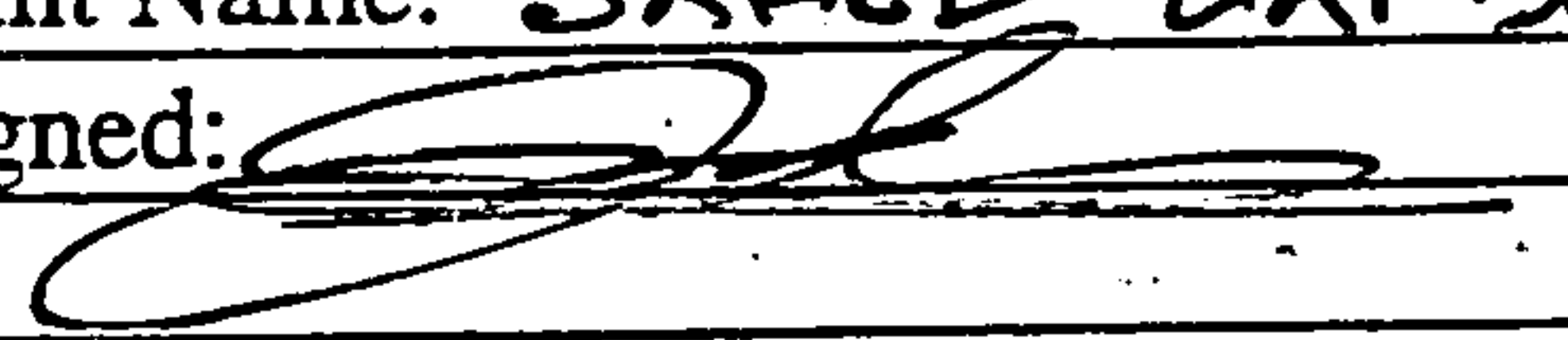
First Review- Total City Days	
Second Review- Total City Days	
Third Review- Total City Days	
Subtotal	
Total Number of Developer Days (from back of form)	
Total Days	

*SITE PLAN  
RETURN FROM  
ALBUQUERQUE  
REPP0*

\*Business Days  
\*\*Pulled by Agent (P)  
F = forwarded  
D = disapproved  
A = approved

9.23.15

**PLANS RELEASED TO APPLICANT OR AGENT TO CORRECT REJECTS**

<b>First Review</b>	
Called Applicant: _____	Date Returned: _____ Developer Days: _____
Date Released: <u>1/22/07</u>	
Print Name: <u>JARED LARSEN</u>	
Signed: 	

<b>Second Review</b>	
Called Applicant: _____	Date Returned: _____ Developer Days: _____
Date Released: _____	
Print Name: _____	
Signed: _____	

<b>Third Review</b>	
Called Applicant: _____	Date Returned: _____ Developer Days: _____
Date Released: _____	
Print Name: _____	
Signed: _____	

<b>Fourth Review</b>	
Called Applicant: _____	Date Returned: _____ Developer Days: _____
Date Released: _____	
Print Name: _____	
Signed: _____	



# City of Albuquerque

**DRB AA**



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Nadeem Mull PHONE: 505-830-2400  
 ADDRESS: 6027 Osuna Rd. NE FAX: 505-830-0778  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: tribalnadeem@aol.com  
 Proprietary interest in site: Owner List all owners: \_\_\_\_\_  
 AGENT (if any): Fanning Bard Tatum Architect PHONE: 505-883-5200  
 ADDRESS: 6100 Indian School Rd. NE Ste 210 FAX: 505-884-5390  
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: jll@fbtarch.com

DESCRIPTION OF REQUEST: APPROVAL OF SITE PLAN CHANGES ASSOCIATED WITH PARKING REQUIREMENTS

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. LOT 1-A-4 Block: 10 Unit: \_\_\_\_\_  
 Subdiv. / Addn. NORTH ALBUQUERQUE ACRES  
 Current Zoning: SU-2 MIXED USE Proposed zoning: SAME  
 Zone Atlas page(s): C-19-Z No. of existing lots: 1 No. of proposed lots: 1  
 Total area of site (acres): .48 AC. Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? \_\_\_\_\_  
 UPC No. 101906405601430133 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: PASEO DEL NORTE NE  
 Between: LOUISIANA NE and WYOMING NE

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): 1003364  
1003402

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ? . Date of review:

SIGNATURE [Signature] DATE 1/16/2007  
 (Print) JARRED L LARSEN Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers  
07AA -00056

Action	S.F.	Fees
<u>AA</u>		\$ <u>45.00</u>
		\$ _____
		\$ _____
		\$ _____
		\$ _____
		\$ _____
		\$ _____
		Total
		\$ <u>45.00</u>

**DRB AA**

Hearing date \_\_\_\_\_

Andrew Garcia 1/16/07

Project # 1003364

**FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE**

- Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects.)
- Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Solid Waste Management Department signature on Site Plan if relevant
- Blue-line copy of Site Plan with Fire Marshal's stamp
- Copy of the LUCC approval if the site is in an historic overlay zone
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

**AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY**

**NOTE: The requirements specified below apply to the previous 3 plan types, unless otherwise noted.**

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) 5 copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) 1 copy
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of EPC or DRB Notice of Decision (not required for WTF)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

**NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area**

- Notifying letter & certified mail receipts addressed to owners of adjacent properties
- Office of Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

**NOTE: Only for wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required for application submittal in addition to all those listed above:**

- Co-location evidence as described in Zoning Code §14-16-3-17(A)(5)
- Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower.
- Registered Engineer's stamp on the Site Development Plans
- Office of Community & Neighborhood Coordination inquiry response as above based on ¼ mile radius

**PLEASE NOTE; If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Debbie Stover at 924-3940 for details.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JARED L. LARSEN  
Applicant name (print)  
[Signature] 1/16/07  
Applicant signature / date



Form revised June 04, October 2004

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- |                          |       |   |   |       |
|--------------------------|-------|---|---|-------|
| Application case numbers | 07 AA | - | - | 00056 |
|                          |       | - | - |       |
|                          |       | - | - |       |

[Signature] 1/16/07  
Planner signature / date  
**Project # 100 3364**



ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME Nadeem Mull  
AGENT Fanning Bard Tatum Architecture  
ADDRESS 6100 Indian School Rd NE. Suite 210  
PROJECT & APP # 1003364 / 07AA-00056  
PROJECT NAME En. Tribal Arts

\$ \_\_\_\_\_ 441032/3424000 Conflict Management Fee

\$ \_\_\_\_\_ 441006/4983000 DRB Actions

\$ 45.<sup>00</sup> 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ \_\_\_\_\_ 441018/4971000 Public Notification

\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study

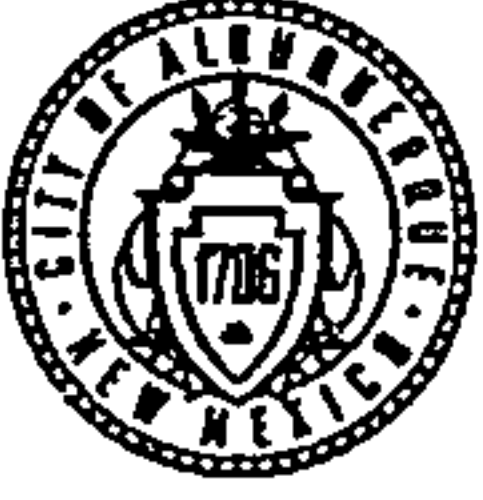
\$ 45.<sup>00</sup> TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque  
Treasury Division

1/16/2007 1:55PM LOC: ANNX  
RECEIPT# 00074448 USH 007 TRANSH 0036  
Account 441006 Fund 0110  
Activity 4971000 TRSARG  
Trans Amt \$45.00  
J24 Misc \$45.00  
CA \$60.00  
CHANGE \$15.00

Thank You:



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

September 20, 2006

1. **Project # 1003364**  
06DRB-01232 Major-Amnd SiteDev Plan BldPermit

FANNING BARD TATUM ARCHITECTS agent(s) for NADEEM MULL request(s) the above action(s) for all or a portion of Lot(s) 1-A-4, Block(s) 10, NORTH ALBUQUERQUE ACRES (to be known as **LOUISIANA - PASEO**), zoned SU-2 MIXED USES, located on PASEO DEL NORTE NE, between LOUISIANA NE and HOLLY NE containing approximately 1 acre(s). [**Carmen Marrone, EPC Case Planner**] (C-19)

At the September 20, 2006, Development Review Board meeting, the amended site plan for building permit was approved with final sign off delegated to Planning for Carmen Marrone's initials and 3 copies of the amended site development plan.

If you wish to appeal this decision, you must do so by October 5, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Sheran Matson, AICP, DRB Chair

Cc: Nadeem Mull, 6027 Osuna Rd NE, 87109

Fanning Bard Tatum Architects, 6100 Indian School Rd NE, Suite 210, 87110

Joe Yardumian, 7801 R.C. Gorman NE, 87122

Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.

File




Date: July 11, 2006

Re: Administrative Amendment of Site Plan (Louisiana & Paseo Del Norte)

To Whom It May Concern:

As Owner of the property being affected by this application (LT 1-A-4 BLK 10, TRACT 2 UNIT 3, NORTH ALBUQUERQUE ACRES.), I hereby grant Fanning Bard Tatum Architects authorization to act as agent on my behalf.

Signature: 

Printed Name: N A D E E M M U L L

**Nadeem Mull**

Date: 7/11/06

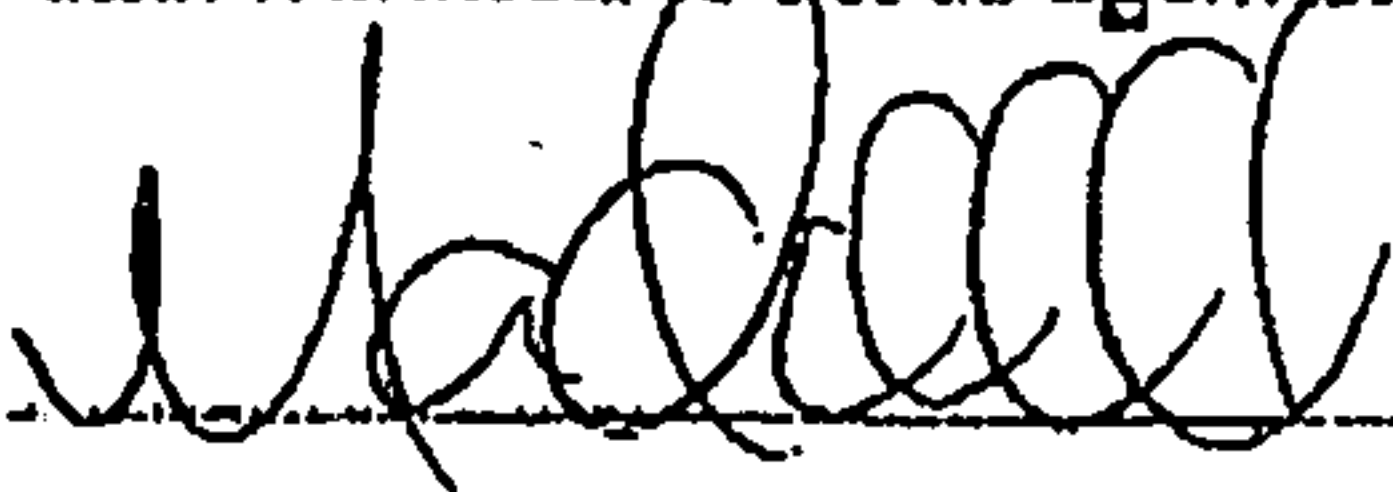
++  
5390  
+595

Date: August 24, 2006

Re: Application for Approval of Site Development Plan for Building Permit

To Whom It May Concern:

As Owner of the property being affected by this application (LT 1-A-4 BLK 10, TRACT 2 UNIT 3, NORTH ALBUQUERQUE ACRES.), I hereby grant Fanning Bard Tatum Architects authorization to act as agent on my behalf.

Signature: 

Printed Name: N.ADEEM J. MULL

Nadeem Mull

Date: 8/24/06



Project Summary  
Tribal Arts Retail Store  
8150 Louisiana Blvd. NE 87113

January 16, 2007

This is a request for a revision of the previously approved DRB site plan for building permit (DRB Project # 1003364 06-DRB-01232).

Proposed changes include minor revisions to the parking layout. Because of previously unknown conflicts between an existing electrical transformer located on the site and the parking layout, we are relocating one parking space at the location of the transformer (near northwest corner of site) to the reconfigured parking at the south side of the site. The remaining 3 spaces in this area are to become "Compact" parking spaces. The spaces at the southernmost portion of the parking lot have been decreased in size to allow for the addition of the relocated parking space. One space in this area is to now be "Compact" parking. At the request of building permit officials the accessible parking spaces have also been relocated from the west side of the building to the south side of the building. In conjunction with this move the accessible ramp has been moved from the west side of the building to the south side of the building near the main entrance.

Other indicated changes on the site plan include painting the curb at the main entrance red with white lettering designating the area "No Parking – Fire Lane".





# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: PR INVESTMENTS LLC PHONE: 450-4388  
 ADDRESS: 7620 SAN DIEGO NE FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87112 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_  
 AGENT (if any): GARCIA / KRAEMER + ASSOCIATES PHONE: 242 5566  
 ADDRESS: 200 LOMAS NW SUITE 1111 FAX: 242 9028  
 CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: VACATION of Public water line easements across west side of parcel ; relocate existing 8" water line  
 Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. LOT 1-A-1A-1 Block: 10 Unit: \_\_\_\_\_  
 Subdiv. / Addn. TRACT 2 Unit 3 NORTH ALBUQUERQUE ACRES  
 Current Zoning: SU-2 Mixed Use Proposed zoning: SU-2 Mixed Use  
 Zone Atlas page(s): C-19 No. of existing lots: 1 No. of proposed lots: \_\_\_\_\_  
 Total area of site (acres): 1.00 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? \_\_\_\_\_  
 UPC No. 101906402903330101 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: 8110 LOUISIANA NE  
 Between: PASEO del NOVAE NE and Holly NE

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): Project 1003364  
04 DRB 01409, 05 DRB 01210

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ? . Date of review: \_\_\_\_\_

SIGNATURE William L Kraemer DATE 11/16/06  
 (Print) WILLIAM L. KRAEMER \_\_\_\_\_ Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers  
06DRB 01639  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Action	S.F.	Fees
<u>VPE</u>	<u>Y</u>	<u>\$ 45.00</u>
<u>ADV</u>	_____	<u>\$ 75.00</u>
<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	\$ _____
_____	_____	\$ _____
Total		<u>\$ 140.00</u>

Hearing date 12/13/06

Sandy Handberg 11/17/06  
 Planner signature / date

Project # 1003364



FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- \_\_\_ Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
- \_\_\_ Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- \_\_\_ Sign Posting Agreement
- \_\_\_ Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- \_\_\_ Any original and/or related file numbers are listed on the cover application

**DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

**DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DPM)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- \_\_\_ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter briefly describing, explaining, and justifying the variance or waiver
- \_\_\_ Any original and/or related file numbers are listed on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- \_\_\_ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter briefly describing, explaining, and justifying the deferral or extension
- \_\_\_ Any original and/or related file numbers are listed on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

VACATION OF PRIVATE EASEMENT

- \_\_\_ The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies**
- \_\_\_ Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter briefly describing, explaining, and justifying the vacation
- \_\_\_ Letter of authorization from the grantors and the beneficiaries
- \_\_\_ Fee (see schedule)
- \_\_\_ Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

VACATION OF RECORDED PLAT

- \_\_\_ **6 copies** of the recorded plat to be vacated.
- \_\_\_ **6 copies** of documents justifying the vacation.
- \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- \_\_\_ Letter describing, explaining, and justifying the vacation
- \_\_\_ Any original and/or related file numbers are listed on the cover application
- \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

William Hernandez  
Applicant name (print)  
William Hernandez 11/16/06  
Applicant signature / date



Form revised 4/03, 10/03 and APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
06DRB-01439

Sandy Handley 11/17/06  
Planner signature / date  
Project # 1003364



**GARCIA/KRAEMER & ASSOCIATES**

Wells Fargo Bank Building  
200 Lomas N.W., Suite 1111  
Albuquerque, NM 87102  
(505) 242-5566  
Fax #(505) 242-9028

November 16, 2006

**REASON FOR REQUEST**

This is a request to VACATE a public water line easement, which encumbers Lot1-A-1-A-1 Block 10 Tract 2 Unit 3 NORTH ALBUQUERQUE ASSOCIATES (see Exhibit.) This request is filed pursuant to Section 14-14-7-1 et.seq. City of Albuquerque, Subdivision Regulations.

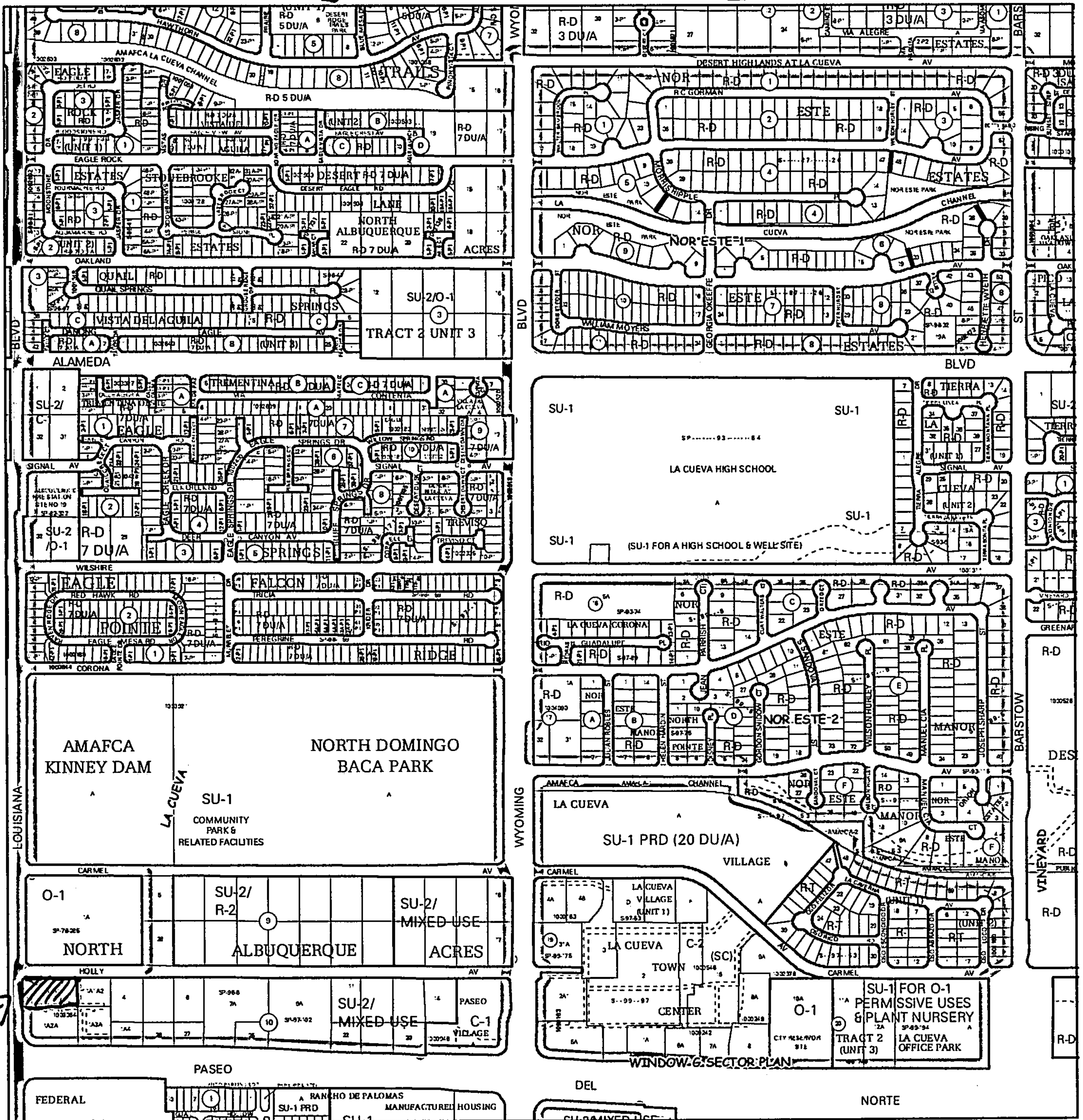
Applicant, PR Investments LLC is the owner of the subject property. They intend to develop this site with a permissive use under the SU-2 Mixed Use zoning. The location of the easement and 8" waterline therein unreasonably restricts their intended use of the site. They understand that if the requested vacation is granted that they will be responsible to relocate the water line at their sole expense.

This request meets the statutory vacation criteria as follows:

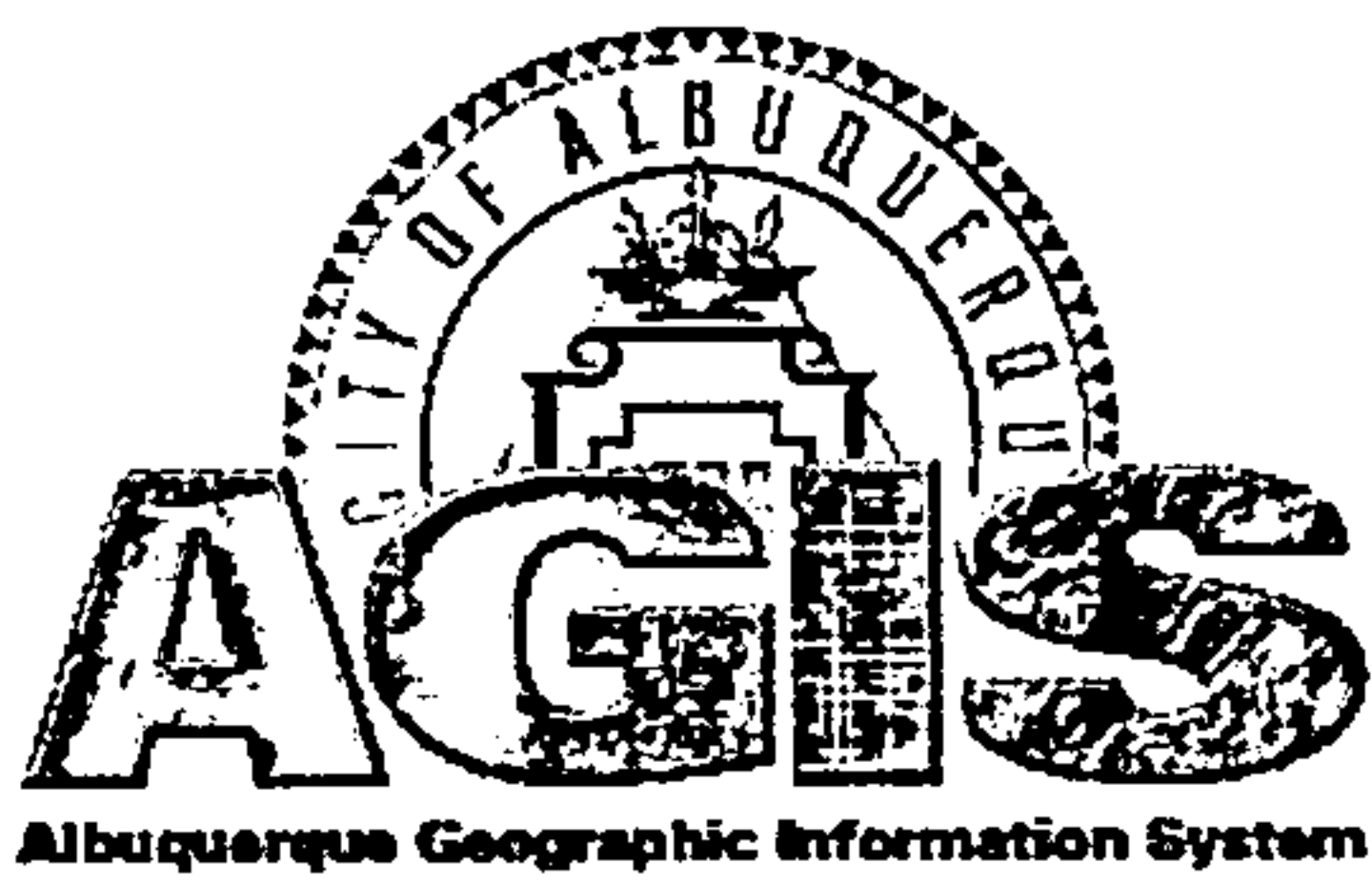
1. The request is filed by the owners of all of the private property abutting the proposed vacation. Section 14-14-7-2 (A)(1.)
2. The public welfare is in no way served by the retention of easements sought to be vacated. Section 14-14-7-2 (B)(1.)
3. No substantial property rights will be abridged by the vacation of these easements.

Wherefore, applicant respectfully requests VACATION of the water line easement shown on the attached exhibit and documented herein.

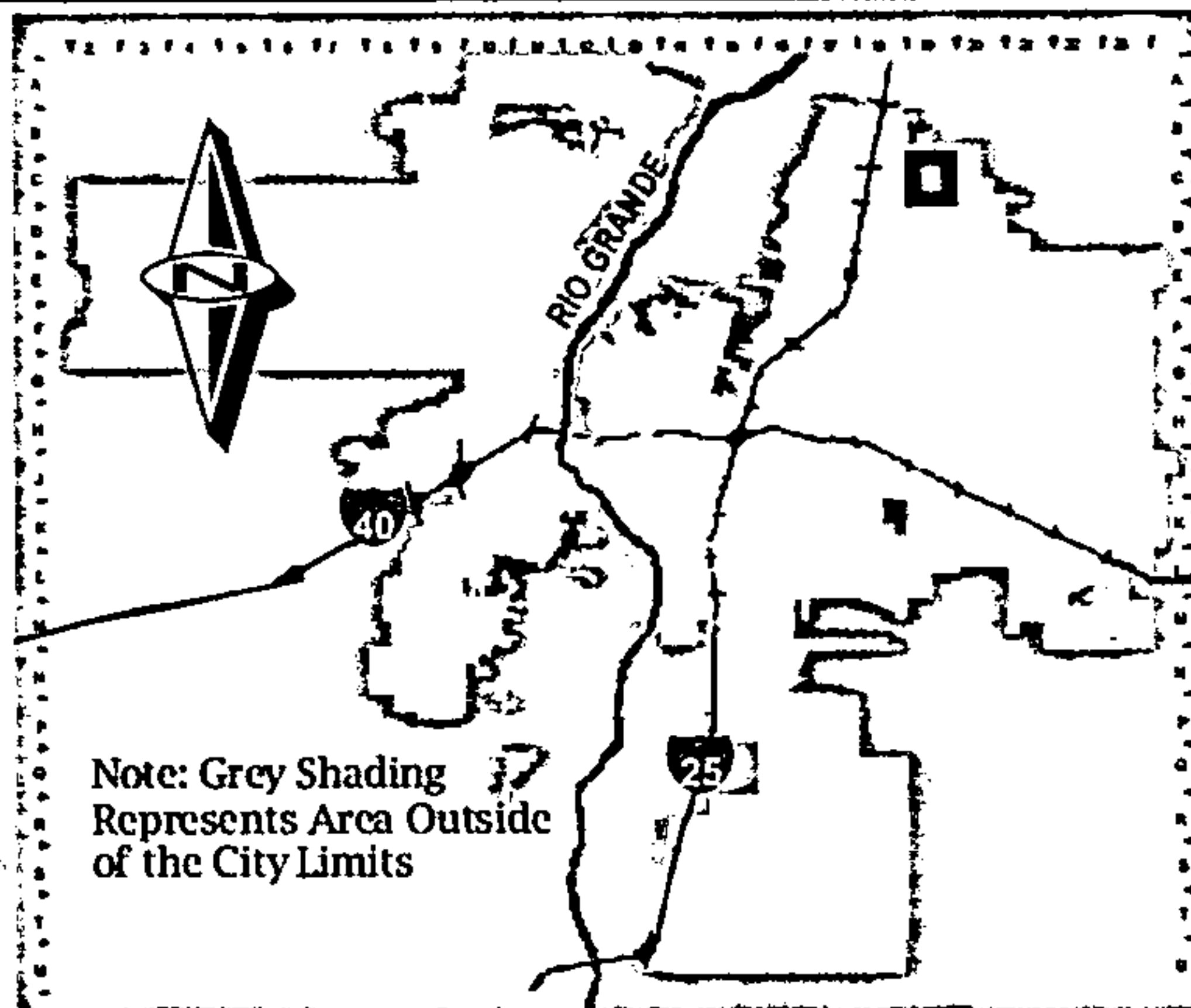




For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 10/25/2006

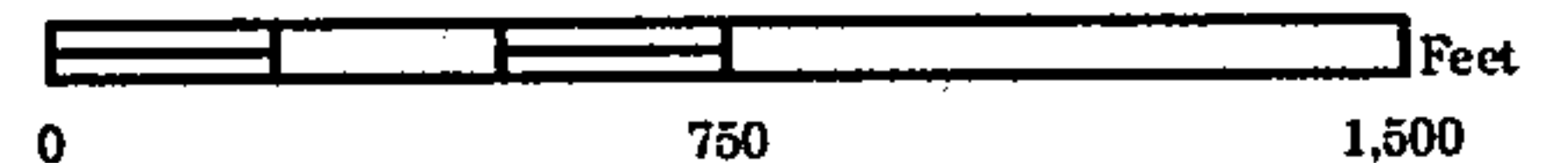


Zone Atlas Page:

**C-19-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone







# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: November 13, 2006

TO CONTACT NAME: William Kraemer  
 COMPANY/AGENCY: Garcia/Kraemer + Associates  
 ADDRESS/ZIP: 200 Lomas NW - 87102  
 PHONE/FAX #: 242-5566 (Fax - 242-9028)

Thank you for your inquiry of 11-13-06 (date) requesting the names of **Recognized**

**Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at Lot 1-A - 1A Block 10 North ALBUQUERQUE ACRES Tract 2 Unit 3 located on 8110 Louisiana Blvd. NE between Paseo Del Norte and Holly.  
 zone map page(s) e-19

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

North Domingo Baca N.A.  
 Neighborhood Association  
 Contacts: Judie Pellegrino  
8515 Murrelet NE / 87113  
839-3000 ext. 13720 (w)  
Haden M. Bowling  
8523 Murrelet NE / 87113  
821-4927 (h)

West LA Cueva N.A.  
 Neighborhood Association  
 Contacts: Thomas Alfieri  
8220 Ville Ct. NE / 87113  
823-1564 (h) 828-5482 (w)  
Stephanie O'Connell  
8211 San Geronimo NE / 87113  
213-7233 (h)

See reverse side for additional Neighborhood Association Information: YES { } NO

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaina L. Armona  
 OFFICE OF NEIGHBORHOOD COORDINATION

.....  
 Attention: Both contacts per neighborhood association need to be notified.  
 .....

7004 2510 0006 5201 9680

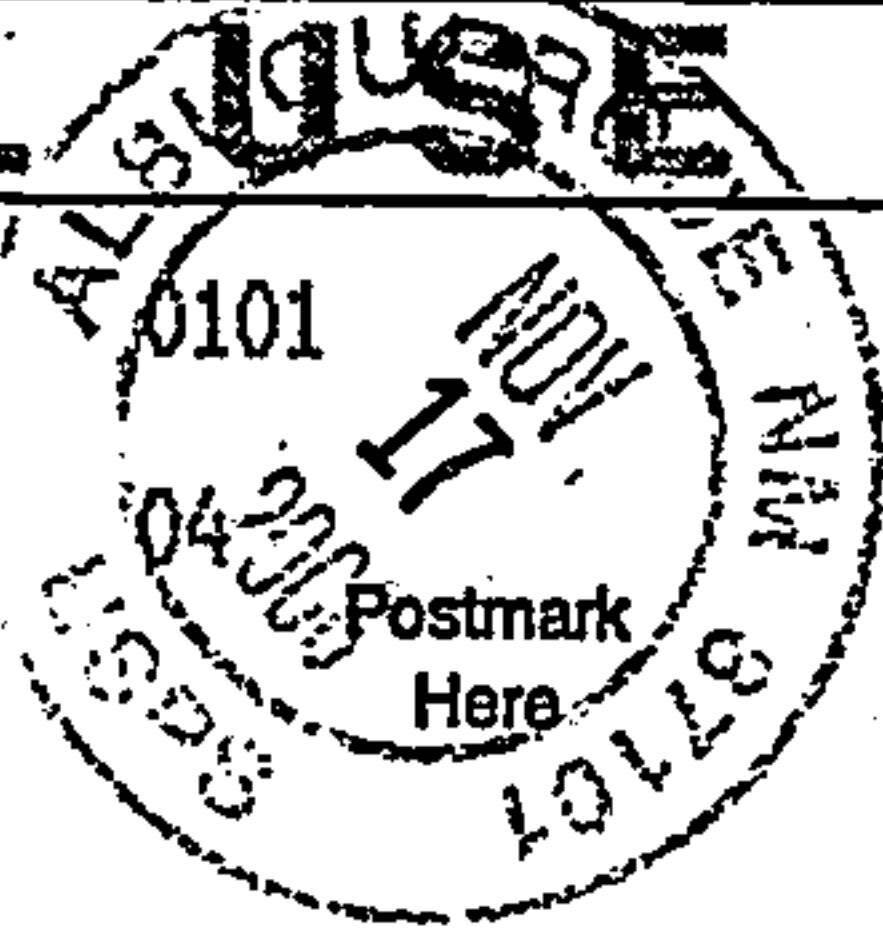
**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87113

**OFFICIAL USE**

Postage	\$ 0.39
Certified Fee	\$2.40
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 2.79</b>



11/17/2006

Sent To **HADEN BOWLING**  
 Street, Apt. No., or PO Box No. **8523 MURRELET NE**  
 City, State, ZIP+4 **ALBUQ NM 87113**

PS Form 3800, June 2002

See Reverse for Instructions

7004 2510 0006 5201 9666

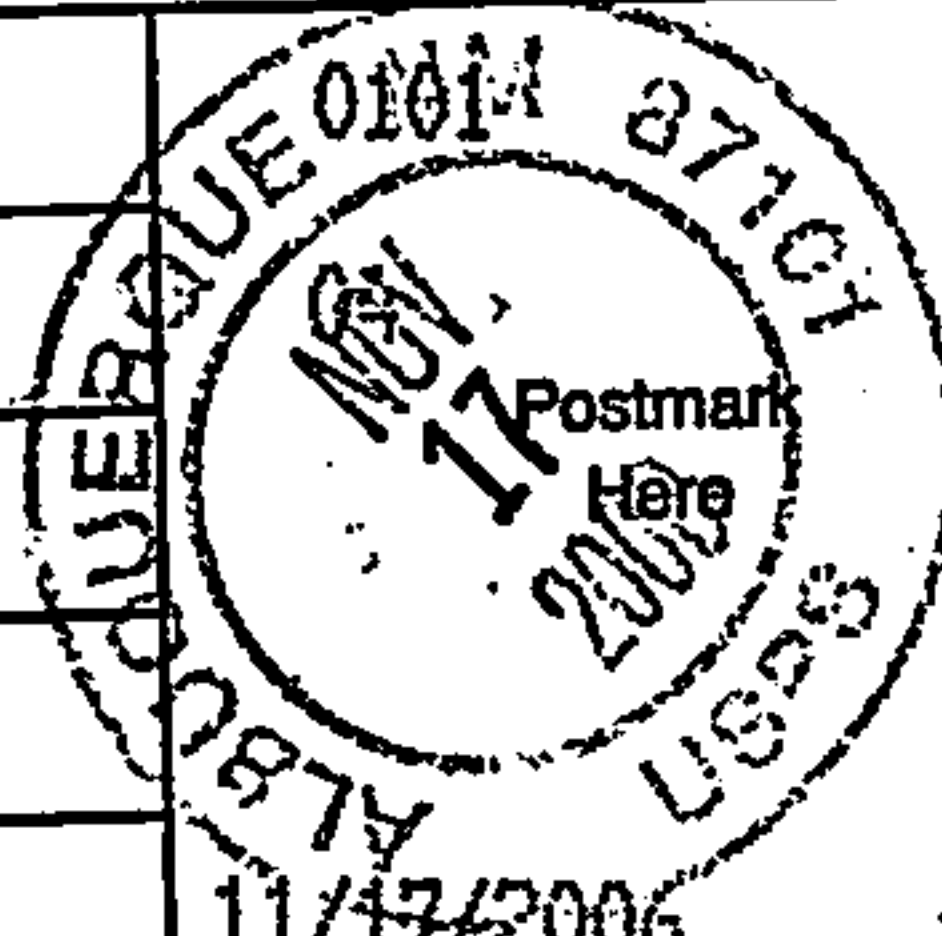
**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87113

**OFFICIAL USE**

Postage	\$ 0.39
Certified Fee	\$2.40
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 2.79</b>



11/17/2006

Sent To **STEPHANIE O'CONNELL**  
 Street, Apt. No., or PO Box No. **8211 SAN GAVANON NE**  
 City, State, ZIP+4 **ALBUQ NM 87113**

PS Form 3800, June 2002

See Reverse for Instructions

7004 2510 0006 5201 9697

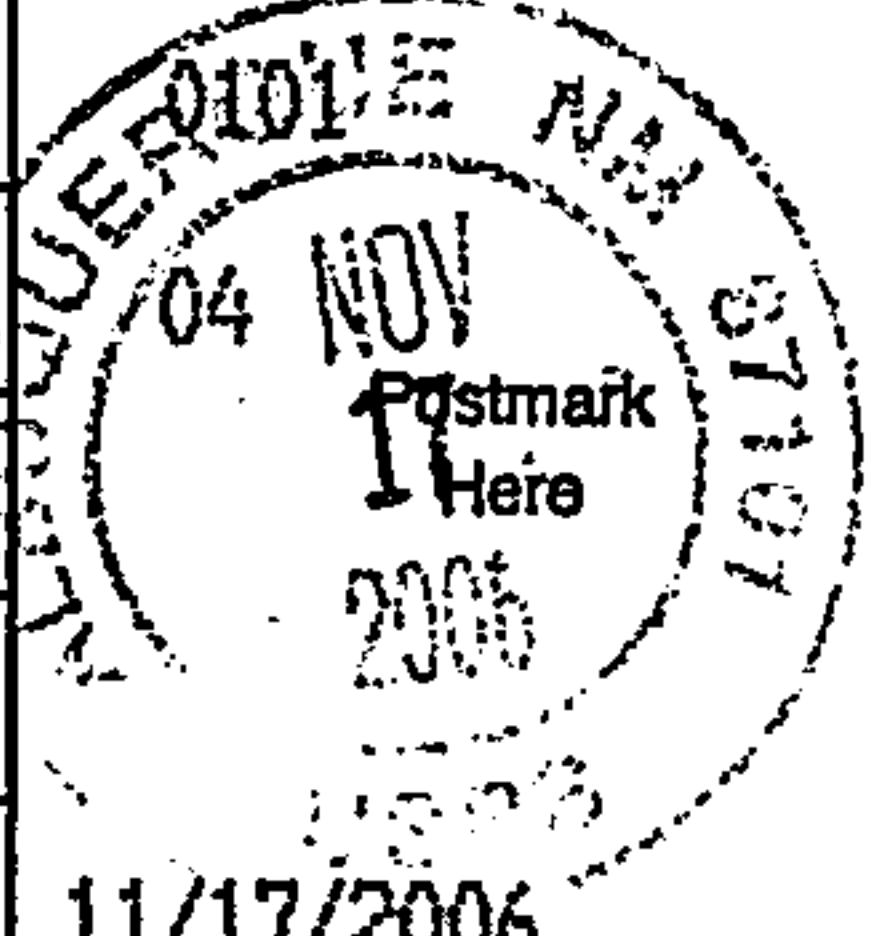
**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87113

**OFFICIAL USE**

Postage	\$ 0.39
Certified Fee	\$2.40
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 2.79</b>



11/17/2006

Sent To **JUDIE PELLEGRINO**  
 Street, Apt. No., or PO Box No. **8515 MURRELET NE**  
 City, State, ZIP+4 **ALBU NM 87113**

PS Form 3800, June 2002

See Reverse for Instructions

7004 2510 0006 5201 9678

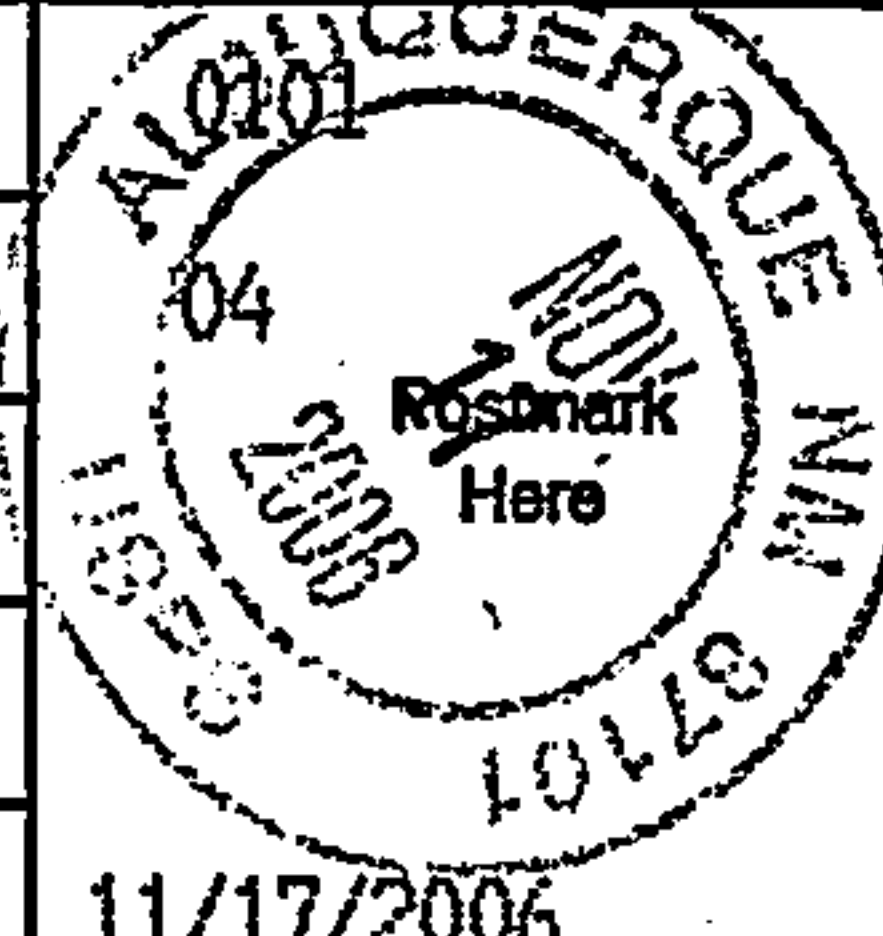
**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

ALBUQUERQUE NM 87113

**OFFICIAL USE**

Postage	\$ 0.39
Certified Fee	\$2.40
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$ 2.79</b>



11/17/2006

Sent To **THOMAS ALFIERI**  
 Street, Apt. No., or PO Box No. **8220 VILLECI NE**  
 City, State, ZIP+4 **ALBUQ NM 87113**

PS Form 3800, June 2002

See Reverse for Instructions



**GARCIA/KRAEMER&ASSOCIATES**

Wells Fargo Bank Building  
200 Lomas N.W., Suite 1111  
Albuquerque, NM 87102  
(505) 242 5566  
Fax (505) 242 9028

November 13, 2006

Judie Pellegrino  
8515 Murrelet NE  
Albuquerque, New Mexico 87113

**CERTIFIED MAIL**

Haden M. Bowling  
8523 Murrelet NE  
Albuquerque, New Mexico 87113

**CERTIFIED MAIL**

Thomas Alfieri  
8220 Ville Ct. NE  
Albuquerque, New Mexico 87113

**CERTIFIED MAIL**

Stephanie O'Connell  
8211 San Gavalon NE  
Albuquerque, New Mexico 87113

**CERTIFIED MAIL**

RE: Vacation of Waterline Easement  
Lot 1-A-1-A-1, Block 10, NAA, Tract 2 Unit 3

Dear Neighborhood Representatives:

The purpose of this letter is to inform you that we are filing a request VACATE the above referenced easement. If granted the Applicant will need to relocate the existing 8" water line across its property. If you have questions or concerns, please do not hesitate to call.

Sincerely,

  
WILLIAM L. KRAEMER

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from NOV. 28, 2006 To DEC. 13, 2006

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

William I. Karem  
(Applicant or Agent)

11/17/06  
(Date)

I issued 2 signs for this application, 11/17/06 Sandy Handley  
(Date) (Staff Member)

DRB PROJECT NUMBER: 1003364



\$0.00  
\$140.00  
\$75.00

Thank You

CHANGE

VI

ONE STOP SHOP

TRSVRS

CITY OF ALBUQUERQUE PLANNING DEPARTMENT

Development & Building Services

RECEIPT# 00071887 WSH# 007 TRANS# 0028

PAID RECEIPT

LOC: ANN

11:58AM

11/17/2006

APPLICANT NAME PR INVESTMENTS LLC

AGENT GARCIA/KRAEMER & ASSOC.

ADDRESS 200 LOMAS NW STE 1111

PROJECT & APP # 1003364/06 DRB 01639

PROJECT NAME EASEMENT VACATION

\$ 20.00 441032/3424000 Conflict Management Fee

\$ 45.00 441006/4983000 DRB Actions

\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 75.00 441018/4971000 Public Notification

\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study

\$ 140.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

11/17/2006 11:57AM LOC: ANN  
X  
RECEIPT# 00071886 WSH# 007 TRANS# 0028  
Account 441006 Fund 0110  
Activity 4983000 TRSVRS  
Trans Amt \$140.00  
J24 Misc \$45.00

City of Albuquerque  
Treasury Division

City of Albuquerque  
Treasury Division

11/17/2006 11:57AM LOC: ANN  
X  
RECEIPT# 00071885 WSH# 007 TRANS# 0028  
Account 441032 Fund 0110  
Activity 3424000 TRSVRS  
Trans Amt \$140.00  
J24 Misc \$20.00

Thank You

Thank You

Counterreceipt.doc

6/21/04



LOUISIANA BOULEVARD NE  
(ROW VARIES) PUBLIC STREET

HOLLY AVENUE NE  
PUBLIC STREET  
(60' ROW)

OFFICE/RETAIL  
12,112 SF  
35 PARKING SPACES

EAST ACCESS ROAD

SOUTH ACCESS ROAD

SITE PLAN-SEDONA POINT  
SCALE: 1"=30'-0"



Afra Construction & Design LLC  
2501 Yale Blvd SE Suite 102  
Albuquerque, NM 87106  
Tel (505) 315-1482  
Fax (505) 243-1561

WATER LINE  
EASEMENT  
TO BE VARIATED

EXHIBIT B  
Date 12/13/06

EXHIBIT



HLS

4' SAS

10

7





7500 Bluewater Road NW • Albuquerque, NM 87121-1962 USA

Toll-Free Fax 1-800-965-2329  
Fax # (505) 839-3001

a member of  
THE BELL GROUP

DATE: 9/19/06  
TO: Jared Larsen  
COMPANY: Fanning Board Tatum  
FAX #: 881-53900  
FROM: Judith Pellegrino  
MD BNA

PAGE 1 OF 2  
TELEPHONE # 839 3000  
X13720

MESSAGE:

September 19, 2006

J. Larsen

Janning Bard Tatum Architects AIA, Ltd.  
Alb, NV 87110

Re: Site development plan for building permit  
proposal - "Tribal arts"

After consideration of the revised site plan per  
our continued discussions, North Domingo  
Baca Neighborhood Assoc. has no objections  
to the proposed development.

Thank you for your kind attention to the  
changes we proposed. We look forward to  
this addition to our growing sector.

Judie Pellegrino, president  
NDBNA



September 15, 2006

Mr. Jared Larsen  
Fanning Bard Tatum Architects AIA, Ltd.  
6100 Indian School Rd. NE, Suite 210  
Albuquerque, NM 87110

RE: Site Development Plan for Building Permit for the proposed  
"Tribal Arts Retail Store"

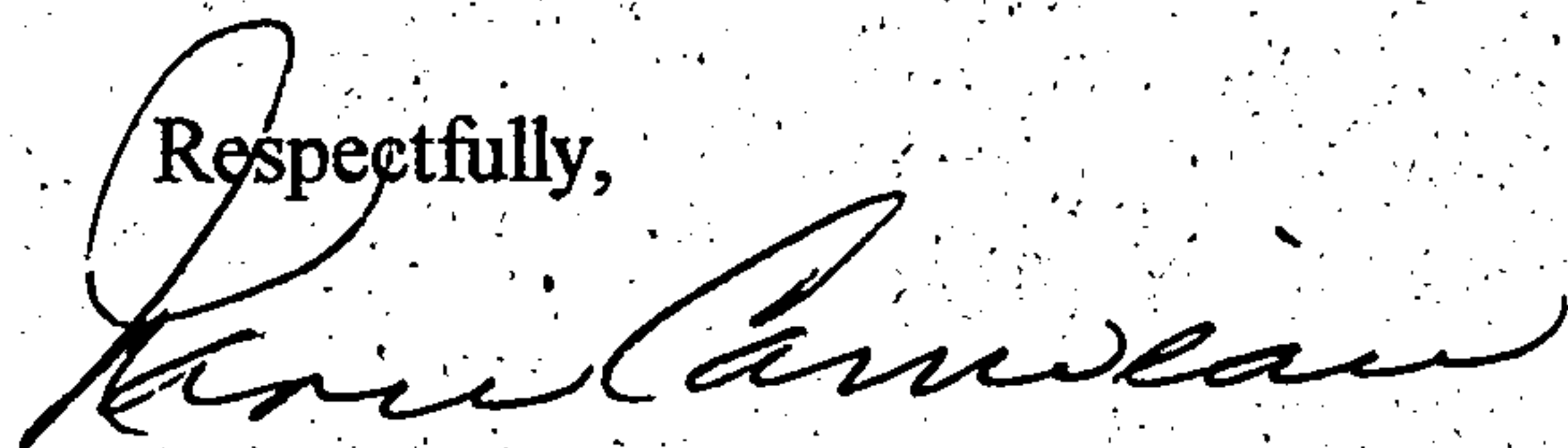
Mr. Larsen:

The plans and renderings of the Tribal Arts Retail Store were presented at the General Meeting of the North Wyoming Neighborhood Association on September 13, 2006.

After discussing the plans and goals of the project, the Association determined that there were no objections or recommendations for change. The development has the full support and approval of the North Wyoming Neighborhood Association.

Thank you for your considerate notification of this new addition to the neighborhood.

Respectfully,



Nanci Carriveau, President  
North Wyoming Neighborhood Association

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

		Supplemental form	
<b>SUBDIVISION</b>	<b>S</b>	<b>Z</b>	<b>ZONING &amp; PLANNING</b>
<input type="checkbox"/> Major Subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action			<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<b>V</b>		<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>		<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision Purposes			<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit			<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan			<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L</b>	<b>A</b>	<b>APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE</b>	<b>D</b>		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: NADEEM MULL PHONE: 505 830 2400  
 ADDRESS: 6027 OSUNA RD NE FAX: 505 830 0778  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: tribalnadeem@aol.com  
 Proprietary interest in site: OWNER List all owners: \_\_\_\_\_  
 AGENT (if any): Fanning Bard Tatum Architects PHONE: 505 883 5200  
 ADDRESS: 6100 Indian School Rd. NE Ste 210 FAX: 505 884 5390  
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: jtk

DESCRIPTION OF REQUEST: Site development plan for building permit.  
Amendment to previous site plan.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lot 1-A-4 Block: 10 Unit: \_\_\_\_\_  
 Subdiv. / Addn. North Albuquerque Acres TBK LOUISIANA-PASEO  
 Current Zoning: SU-2 Mixed USE Proposed zoning: SAME  
 Zone Atlas page(s): C-19-Z No. of existing lots: 1 No. of proposed lots: 1  
 Total area of site (acres): .48 AC Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? \_\_\_\_\_  
 UPC No. 101906405601430133 MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: Paseo Del Norte + Louisiana, NE  
 Between: Pase Del Norte NE and Holly NE

CASE HISTORY: Calmer Mayhew Epc Case Planner  
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z, V, S, etc.): 1003364  
1003402

Check-off if project was previously reviewed by Sketch Plat/Plan ? , or Pre-application Review Team ? . Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE AUG 25<sup>th</sup> 2006  
 (Print) JARED L LARSEN \_\_\_\_\_ Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB-01232</u>	<u>ASBP</u>	<u>P(2)</u>	<u>\$ 255.<sup>00</sup></u>
<input type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.<sup>00</sup></u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>ADV</u>	_____	<u>\$ 75.<sup>00</sup></u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>9-20-06</u>			Total <u>\$ 350.<sup>00</sup></u>

[Signature] 8/25/06  
 Planner-signature / date

Project # 1003364



**FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**Maximum Size: 24" x 36"**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**Maximum Size: 24" x 36"**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24** copies for DRB public hearings
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**Maximum Size: 24" x 36"**


**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
- DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24** copies for DRB public hearings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JARED LARSEN  
 Applicant name (print)  
  
 Applicant signature / date



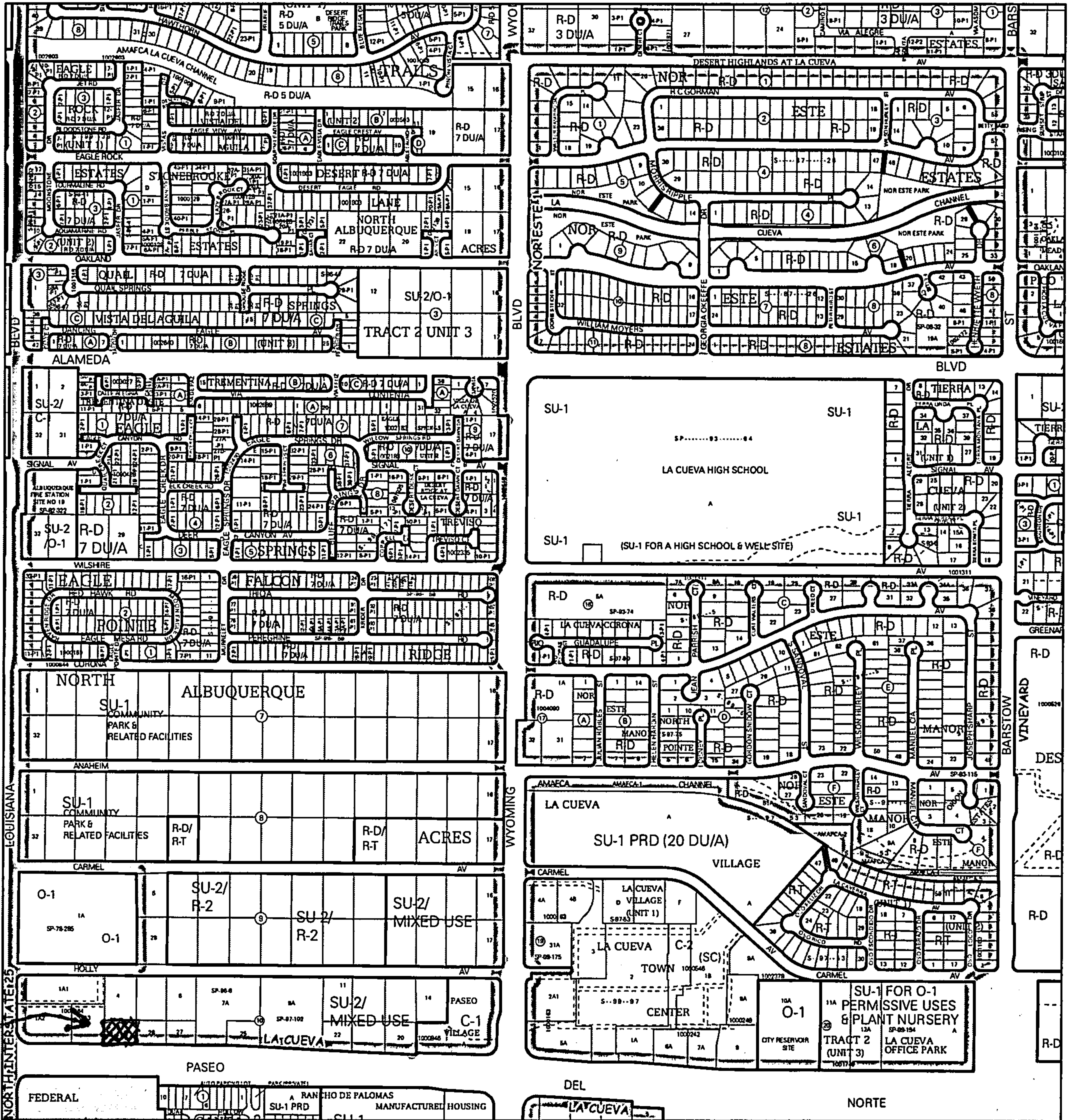
Form revised APRIL 2006

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 OUDRB -                      - 01232

Jared Larsen 8/25/06  
 Planner signature / date

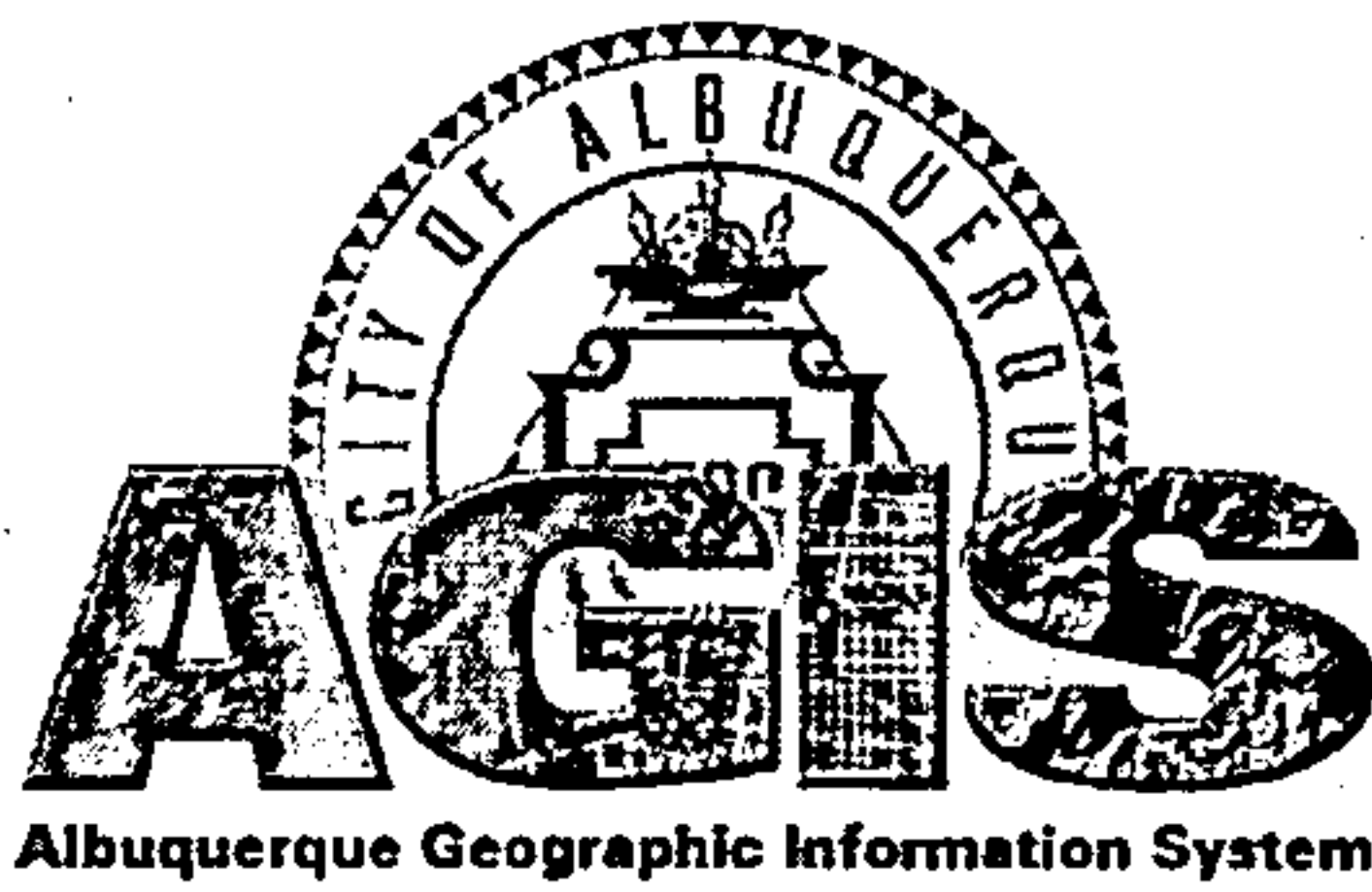
**Project #** 1003364



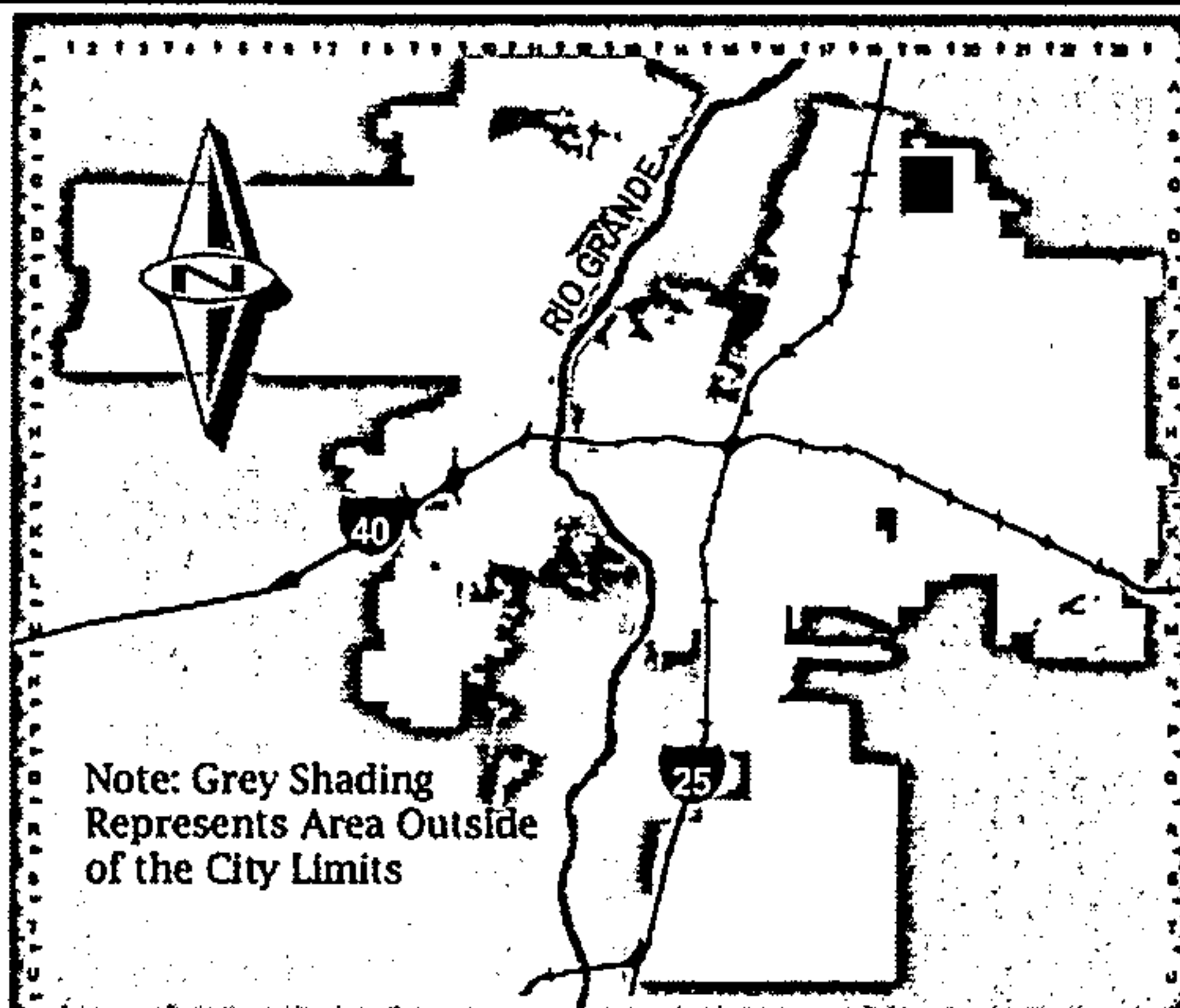


For more current information and more details visit: <http://www.cabq.gov/gis>

PROJECT SITE



Map amended through: 8/1/2005



Zone Atlas Page:

**C-19-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





August 24, 2006

To: Mr. Jared Larsen

From: Carmen Marrone

RE: Site Development for Building Permit at Louisiana/Paseo  
Zoned SU-2/Mixed Use

Your request for approval of a site development for building permit for a Tribal Arts Retail Building on Lot 1-A-4, Block 10, North Albuquerque Acres will require approval by the Development Review Board (DRB) at a public hearing per General Note 2 of the approved Site Plan for Subdivision and Site Plan for Building Permit. When the request for Administrative Amendment was originally entertained, it was believed that a site plan for building permit for Lot 1-A-4 had already been approved. Since this was not the case, the Planning Department could not process your Administrative Amendment request. Under normal circumstances, all SU-2 zoned properties within the *La Cueva Sector Plan* boundary require site plan approval by the EPC. However, when the site plans for the Louisiana/Paseo project were approved, Note 2 allowed delegation of future site plan approval to the DRB. The EPC process, which includes DRB final sign-off of site plans, is about a 60-day process compared to a 30-day process for a public hearing at DRB.

The deadline for submittal of a site development plan for a public hearing by the DRB is this Friday, August 25, 2006. You must re-notify the affected Neighborhood Associations and let them know the date and time of the DRB hearing. Because the approved site plan for building permit shows a "Just Brakes" on Lots 1-A-4 and because the layout on this lot will change, your DRB request is actually for an *Amendment* to the site plan for building permit, Project #1003364, 04-DRB-01408 to include a revised site plan, landscape plan, grading & drainage plan, and utility plan. Also, you will need to include an elevation plan for the Tribal Arts building.

Per our discussions, I will be reviewing your revised plans against the adopted *La Cueva Sector Plan*. Design Regulation 5R-1 states, "Multiple buildings on the same site shall be designed to create a cohesive visual relationship between buildings." The proposed glass domes on the roof do not appear to meet this intent. Approval of these domes will require written support from the surrounding neighborhood associations.

Thank you for your patience and understanding with this project. If you need further assistance with this project, please do not hesitate to call me at 924-3814.

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: NADEEM MULL DATE OF REQUEST: 8/25/06 ZONE ATLAS PAGE(S): C-19-Z

**CURRENT:**

ZONING SU2 Mixed Use

PARCEL SIZE (AC/SQ. FT.) .48 AC.

**LEGAL DESCRIPTION:**

LOT OR TRACT # 1-A-4 BLOCK # 10

SUBDIVISION NAME NORTH Albuquerque Acres

**REQUESTED CITY ACTION(S):**

- |                |                     |                                                  |                                                     |
|----------------|---------------------|--------------------------------------------------|-----------------------------------------------------|
| ANNEXATION [ ] | SECTOR PLAN [ ]     | SITE DEVELOPMENT PLAN:                           |                                                     |
| COMP. PLAN [ ] | ZONE CHANGE [ ]     | A) SUBDIVISION [ ]                               | BUILDING PERMIT <input checked="" type="checkbox"/> |
| AMENDMENT [ ]  | CONDITIONAL USE [ ] | B) BUILD'G PURPOSES [ ]                          | ACCESS PERMIT [ ]                                   |
|                |                     | C) AMENDMENT <input checked="" type="checkbox"/> | OTHER [ ]                                           |

**PROPOSED DEVELOPMENT:**

- NO CONSTRUCTION/DEVELOPMENT [ ]
- NEW CONSTRUCTION
- EXPANSION OF EXISTING DEVELOPMENT [ ]

**GENERAL DESCRIPTION OF ACTION: 1**

# OF UNITS: \_\_\_\_\_  
BUILDING SIZE: 4600 (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE [Signature] DATE 8/25/2006  
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO  BORDERLINE [ ]

THRESHOLDS MET? YES  NO [ ] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED:

Notes: PDN LOUISIANA COMMERCIAL DEV. TIS (2004)  
TRIBAL ARTS FACILITY TRIP LEN. COMPARISON (2006)  
If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. *Any subsequent changes to the development proposal identified above may require an update or new TIS.*

[Signature] DATE 8-25-06  
TRAFFIC ENGINEER

**Air Quality Impact Analysis (AQIA) May Be Required:**

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [ ] NO

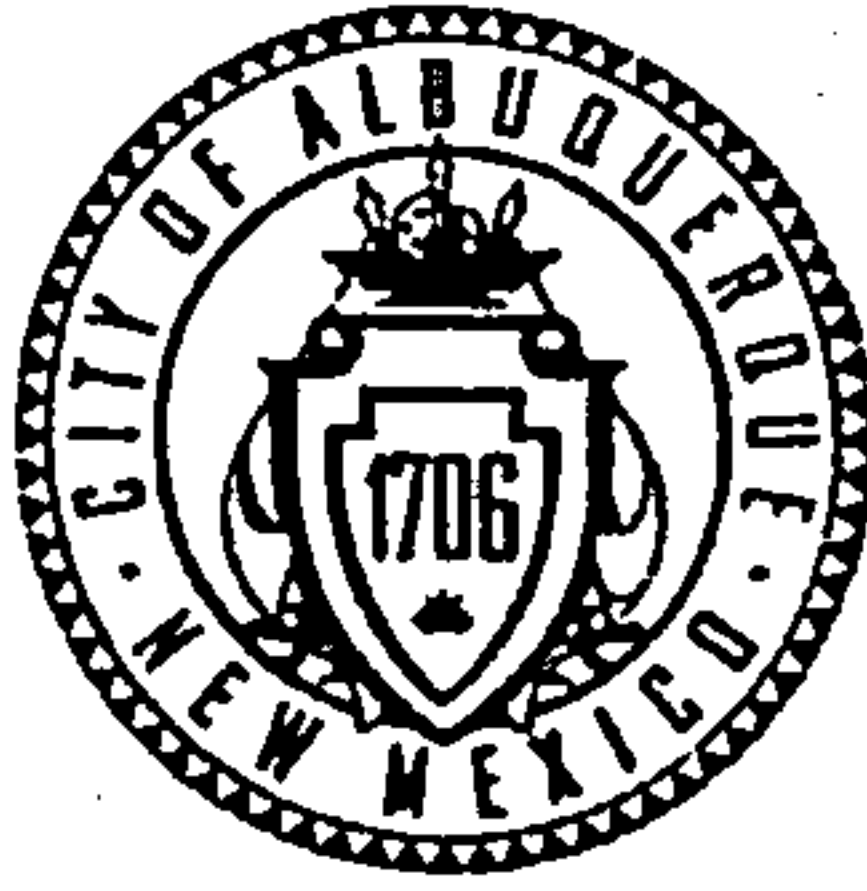
Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. *Any subsequent changes to the development proposal identified above may require an update or new AQIA.*

[Signature] DATE 8/5/06  
APPLICANT

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 9/1/06 [Signature] 8-25-06  
-FINALIZED 1/1/ TRAFFIC ENGINEER DATE





City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: May 21, 2004

## OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1003364\*  
04EPC-00494 EPC Site Development Plan-  
Subdivision  
04EPC-00495 EPC Site Development Plan-  
Building Permit

Double Cheese Corporation  
4810 Hardware Dr. NE  
Albuq. NM 87109

LEGAL DESCRIPTION: for all or a portion of Tract 1A, Block 10, Tract 2, Unit 3, N. Abq. Acres, zoned SU-2/Mixed Use, located on LOUISIANA BLVD NE, between HOLLY AVE. NE and PASEO DEL NORTE NE, containing approximately 4.2 acres. (C-19) Carmen Marrone, Staff Planner

On May 20, 2004 the Environmental Planning Commission voted to approve Project 1003364/04EPC 00494, a Site Plan for Subdivision, for Tract 1A, Block 10, Tract 2, Unit 3, North Albuquerque Acres, based on the following Findings and subject to the following Conditions:

### FINDINGS:

1. This is a request for a site plan for subdivision for Tract 1A, Block 10, North Albuquerque Acres, located at the NE corner of Louisiana and Paseo del Norte NE and containing approximately 4 acres.
2. The site is zoned SU-2/Mixed Use per the *La Cueva Sector Development Plan* and is designated Developing Urban per the *Comprehensive Plan*. Provisions of the C-1 zone apply in areas mapped SU-2/Mixed Use.
3. The applicant is proposing to subdivide the subject tract into four lots and to construct three retail businesses on two of the lots (Lot 1-B-1 and 1-C-1). The third and fourth lots, (Lot 1-A-1, labeled Phase 2 and Lot 1-D-1) will be submitted to EPC for a Site Plan for Building Permit at a later date. The proposed uses are in compliance with the established zoning.

4. The proposed site plan for subdivision supports the land use goal for Developing Urban Areas of the *Comprehensive Plan* by providing services in an area that is currently underserved. The site is contiguous to existing urban facilities and services as recommended under Policy 5e. The proposed retail uses are distanced from residential uses which will minimize adverse effects of noise, lighting, pollution, and traffic on residential environments, as per Policy 5i. The proposed commercial development will be located on an existing commercially-zoned site, as recommended under Policy 5j, and will be designed to blend in with the surrounding development per Policy 5l.
5. The proposed site plan for subdivision also meet the goals of the *La Cueva Sector Development Plan* by proposing more intense land uses along Paseo del Norte and by complying with the design regulations of the SU-2 zone which contribute to the identity of this part of Albuquerque.
6. A Traffic Impact Study has been submitted to the City of Albuquerque for review and approval.
7. There is no known neighborhood opposition to the request.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Drive-up facility for a restaurant requires Conditional Use approval from the Zoning Hearing Examiner (ZHE).
3. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, PUBLIC WORKS and NMDOT:
  - a. Traffic Impact Study is required and has been submitted.
  - b. Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site.
  - c. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).



OFFICIAL NOTICE OF DECISION

MAY 20, 2004

PROJECT #1003364

PAGE 3 OF 7

- d. Driveway access from Louisiana Boulevard shall be a minimum of 200 feet from Paseo del Norte and shall be limited to right turn access only. This is consistent with the adopted environmental documentation for the Paseo del Norte Corridor.
- e. Delete first parking space on each side of drive aisle adjacent to westside of Wendy's Restaurant, increasing endcap / landscape area. This is to prevent vehicles from backing into main drive aisle of site. The alternate is to provide perpendicular parking adjacent to Wendy's Restaurant.
- f. Provide cross access agreement between tracts.
- g. Site plan shall comply and be designed per DPM Standards.
- h. Dedication of a *minimum* 43 feet of right-of-way from the centerline of Louisiana Boulevard, a minor arterial as designated on the Long Range Roadway System.
- i. Dedication of an additional 6 feet of right-of-way along Louisiana Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
- j. Provision for bicycle lanes along Louisiana Boulevard adjacent to the subject property, as designated on Long Range Bikeways System.
- k. Platting must be a concurrent DRB action.
- l. The Utility Plan as shown is not acceptable. A connection to the 24-inch water line will not be allowed.

---

On May 20, 2004 the Environmental Planning Commission voted to approve Project 1003364/04EPC 00495, a Site Plan for Building Permit, for Tract 1A (Lots 1-B-1 and 1-C-1) Block 10, Tract 2, Unit 3, North Albuquerque Acres, based on the following Findings and subject to the following Conditions of Approval.

**FINDINGS:**

1. This is a request for a site plan for building permit for Tract 1A (lots 1-B-1 and 1-C-1), Block 10, North Albuquerque Acres, located at the NE corner of Louisiana and Paseo del Norte NE and containing approximately 2.1 acres.
2. The site is zoned SU-2/Mixed Use per the *La Cueva Sector Development Plan* and is designated Developing Urban per the *Comprehensive Plan*. Provisions of the C-1 zone apply in areas mapped SU-2/Mixed Use.
3. The applicant is proposing to subdivide the subject tract into four lots and to construct three retail businesses on two of the lots (Lot 1-B-1 and 1-C-1). The third and fourth lot, Lot 1-A-1, is labeled Phase 2 and Lot 1-D-1 will be submitted to EPC for a Site Plan for Building Permit at a later date. The proposed uses are in compliance with the established zoning.
4. On May 6, the agent requested that Site Plan for Building Permit be removed for the 'Just Brakes' site. Just Brakes will be submitting a separate request for site plan for building permit at a later date.

OFFICIAL NOTICE OF DECISION  
MAY 20, 2004  
PROJECT #1003364  
PAGE 4 OF 7

5. The proposed site plan for building permit supports the land use goal for Developing Urban Areas of the *Comprehensive Plan* by providing services in an area that is currently underserved. The site is contiguous to existing urban facilities and services as recommended under Policy 5e. The proposed retail uses are distanced from residential uses which will minimize adverse effects of noise, lighting, pollution, and traffic on residential environments, as per Policy 5i. The proposed commercial development will be located on an existing commercially-zoned site, as recommended under Policy 5j, and will be designed to blend in with the surrounding development per Policy 5l.
6. The proposed site plan for building permit also meet the goals of the *La Cueva Sector Development Plan* by proposing more intense land uses along Paseo del Norte and by complying with the design regulations of the SU-2 zone which contribute to the identity of this part of Albuquerque.
7. There is no known neighborhood opposition to the request.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Drive-up facility for a restaurant requires Conditional Use approval from the Zoning Hearing Examiner (ZHE).
3. Indicate the height of the wall along the eastern edge of the site.
4. LANDSCAPING:
  - a. Plant street trees so that they do not interfere with the overhead power lines.
  - b. All trees shall be planted in planters that are a minimum of 6'x6'.
5. WENDY'S: Regulation 11R-3 in the *La Cueva SDP* requires all HVAC equipment to be less than or equal to the top of any parapet or screen wall and that the parapet or screen wall be architecturally integrated into the general building design. The note on the elevation plan shall be replaced with Regulation 11R-3, La Cueva SDP.



6. JIFFY LUBE:

- a. The Zoning Code and the La Cueva SDP require primary customer entrances to be clearly defined with façade variations, roof variations, canopies, porticos, recesses or projections. The south façade will be required to meet this requirement. A recessed entrance or canopy over the windows and customer entrance is preferred as well as reducing the amount of red metal sheeting above this area.
- b. A 16'x22' shade structure is proposed on north side of the building. This will overhang the handicap parking on the north side of the building. A better location of the shade structure would be on the west side of the building, where the patio is or on the south side of the building.

7. AUTO ZONE:

- a. Provide a scale and a bar scale.
- b. Provide dimensions of doors and windows.
- c. The Zoning Code and the La Cueva SDP require primary customer entrances to be clearly defined with façade variations, roof variations, canopies, porticos, recesses or projections. The south façade will be required to meet this requirement.
- d. Indicate the material and color in the area above the windows on the south elevation.
- e. The east and west elevations contain two metal doors that will be painted red and framed in black. The paint shall be low reflecting and shall not contain flakes of metal.
- f. The north elevation is basically a blank wall that is 95 feet long. Trees that reach a maximum height of 20' shall be planted in the planting strip immediately north of the building.

8. Sheet C-9 contains details of the AutoZone sign. This sheet indicates that the height of the letters will be 42". The La Cueva SDP restricts wall mounted letters to 24".

9. Proposed monument signs will require ZHE approval of a special exception.

10. Adjustments on enclosures needed for truck access. Call Solid Waste Management at 761-8142 for details.

11. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, PUBLIC WORKS and NMDOT:

- a. Traffic Impact Study is required and has been submitted.
- b. Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site.
- c. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).

OFFICIAL NOTICE OF DECISION

MAY 20, 2004

PROJECT #1003364

PAGE 6 OF 7

- d. Driveway access from Louisiana Boulevard shall be a minimum of 200 feet from Paseo del Norte and shall be limited to right turn access only. This is consistent with the adopted environmental documentation for the Paseo del Norte Corridor.
  - e. Delete first parking space on each side of drive aisle adjacent to westside of Wendy's Restaurant, increasing endcap / landscape area. This is to prevent vehicles from backing into main drive aisle of site. The alternate is to provide perpendicular parking adjacent to Wendy's Restaurant.
  - f. Provide cross access agreement between tracts.
  - g. Site plan shall comply and be designed per DPM Standards.
  - h. Dedication of a *minimum* 43 feet of right-of-way from the centerline of Louisiana Boulevard, a minor arterial as designated on the Long Range Roadway System.
  - i. Dedication of an additional 6 feet of right-of-way along Louisiana Boulevard as required by the City Engineer to provide for on-street bicycle lanes.
  - j. Provision for bicycle lanes along Louisiana Boulevard adjacent to the subject property, as designated on Long Range Bikeways System.
  - k. Platting must be a concurrent DRB action.
  - l. The Utility Plan as shown is not acceptable. A connection to the 24-inch water line will not be allowed.
12. Patio area on Lot 1-B-1 shall be developed according to the detail sketch that was submitted to the EPC on May 20, 2004.

**IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JUNE 4, 2004 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.**

**Appeal to the City Council:** Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.



OFFICIAL NOTICE OF DECISION  
MAY 20, 2004  
PROJECT #1003364  
PAGE 7 OF 7

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

  
Richard Dineen  
Planning Director

RD/CM/ac


cc: Tierra West LLC, 8509 Jefferson NE, Albuquerque, NM 87113  
Judy Pellegrino, North Domingo Baca NA, 8515 Murrelet NE, Albuquerque, NM 87113  
Nancy Brault, North Domingo Baca NA, 7224 Tricia NE, Albuquerque, NM 87113

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 8/25/06  
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Preliminary Grading Plan (A separate Grading Plan sheet is required for a sites 1 acre or more.) existing?
4. Building and Structure Elevations
5. Conceptual Utility Plan existing?

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

## Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. Written project summary. Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 - SITE PLAN

### A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100' [Other scales as approved by staff]
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color, and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable

### 2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including handicapped spaces
  - 2. Calculations: spaces required: 23 provided: 23  
Handicapped spaces required: 1 provided: 2

- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: 2  
provided: 4
  - 2. Other bicycle facilities, if applicable

- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions

- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths ?
  - 2. Location and dimension of drive aisle crossings, including paving treatment
  - 3. Location and description of amenities, including patios, benches, tables, etc.

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

- 2. Pedestrian trails and linkages
- 3. ~~Bus facilities, including routes, bays and shelters existing or required~~

## 4. Utilities

- 1. ~~Fire hydrant locations, existing and proposed.~~
- 2. ~~Distribution lines~~
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. ~~Existing water, sewer, storm drainage facilities (public and/or private).~~
- 5. ~~Proposed water, sewer, storm drainage facilities (public and/or private)~~

## 5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. ~~Existing and proposed easements~~
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. ~~Statement of compliance with Water Conservation Ordinance, see article 6-1-1-1~~
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

## SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

## A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

## B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

## A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

## B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

*Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.*



August 24, 2006

North Wyoming Neighborhood Association  
Nanci Carriveau  
8309 Krim Dr. NE  
Albuquerque, NM 87109

Dear Ms. Carriveau:

This letter is to inform you that an application for A Site Development Plan for Building Permit will be submitted to the City of Albuquerque Planning Department for review and possible approval. The application will be submitted on or about August 25, 2006. The public hearing for this case will then occur on September 20, 2006.

The specifics of the project are as follows:

- Project is located on the North-East corner of Paseo Del Norte and Louisiana. The site is .48 acres in size. The address is 8150 Louisiana Blvd. NE.
- Legal Description of Site: LT 1-A-4 BLK 10, TRACT 2 UNIT 3, NORTH ALBUQUERQUE ACRES.
- This portion of the site plan was previously intended to be a "Just Brakes" Facility. Instead, we are proposing that the site plan be approved to allow for the construction of a "Tribal Arts" retail store.
- We are confident that this store will make a positive addition to the surrounding community. Every attempt has been made to ensure that building design conforms to the standards established in the La Cueva Sector Development Plan.
- We feel that we have resolved all building design issues with local neighborhood representatives and are confident that the proposed building design will compliment and add to the surrounding area.

If you have questions about this proposal, please call me at 505-883-5200. This application can be reviewed at the City Planning Department offices in downtown Albuquerque at the Plaza del Sol building, located at 600 2nd Street NW. It is advised that you call the Planning Department to schedule a visit so that the project file will be available upon your arrival. To arrange a visit to review this application, please contact Fran Tapia, Development Review Division, at 924-3860. Ms. Tapia can also put you in contact with the planner who will be reviewing the project. The planner will be able to explain the development review process and your opportunity for input.

Fanning Bard Tatum Architects AIA, Ltd.  
6100 Indian School Rd. NE Ste 210  
Albuquerque NM 87110

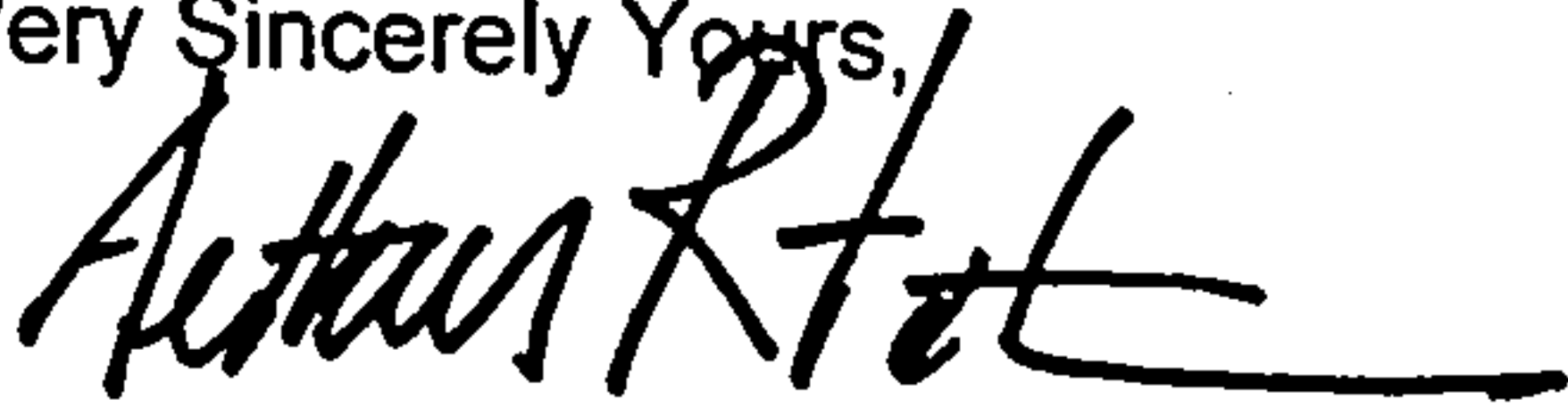
Phone 505/883.5200  
Facsimile 505/884.5390  
Web [www.fbtarch.com](http://www.fbtarch.com)



Should you have any comments or questions my contact information is as follows:

Arthur R. Tatum AIA, Vice President  
6100 Indian School Rd. Suite 210 NE  
Albuquerque, NM 87110  
505-883-5200

Very Sincerely Yours,

A handwritten signature in black ink, appearing to read "Arthur R. Tatum". The signature is fluid and cursive, with a long horizontal stroke at the end.

Fanning Bard Tatum Architects AIA Ltd. By  
Arthur R. Tatum AIA, Vice President

Copy:

Judie Pellegrino – North Domingo Baca Neighborhood Association  
Haden M. Bowling – North Domingo Baca Neighborhood Association  
Bill Dell – North Wyoming Neighborhood Association



August 24, 2006

North Domingo Baca Neighborhood Association  
Haden M. Bowling  
8523 Murrelet NE  
Albuquerque, NM 87113

Dear Mr. Bowling:

This letter is to inform you that an application for A Site Development Plan for Building Permit will be submitted to the City of Albuquerque Planning Department for review and possible approval. The application will be submitted on or about August 25, 2006. The public hearing for this case will then occur on September 20, 2006.

The specifics of the project are as follows:

- Project is located on the North-East corner of Paseo Del Norte and Louisiana. The site is .48 acres in size. The address is 8150 Louisiana Blvd. NE.
- Legal Description of Site: LT 1-A-4 BLK 10, TRACT 2 UNIT 3, NORTH ALBUQUERQUE ACRES.
- This portion of the site plan was previously intended to be a "Just Brakes" Facility. Instead, we are proposing that the site plan be approved to allow for the construction of a "Tribal Arts" retail store.
- We are confident that this store will make a positive addition to the surrounding community. Every attempt has been made to ensure that building design conforms to the standards established in the La Cueva Sector Development Plan.
- We feel that we have resolved all building design issues with local neighborhood representatives and are confident that the proposed building design will compliment and add to the surrounding area.

If you have questions about this proposal, please call me at 505-883-5200. This application can be reviewed at the City Planning Department offices in downtown Albuquerque at the Plaza del Sol building, located at 600 2nd Street NW. It is advised that you call the Planning Department to schedule a visit so that the project file will be available upon your arrival. To arrange a visit to review this application, please contact Fran Tapia, Development Review Division, at 924-3860. Ms. Tapia can also put you in contact with the planner who will be reviewing the project. The planner will be able to explain the development review process and your opportunity for input.

---

Fanning Bard Tatum Architects AIA, Ltd.  
6100 Indian School Rd. NE Ste 210  
Albuquerque NM 87110

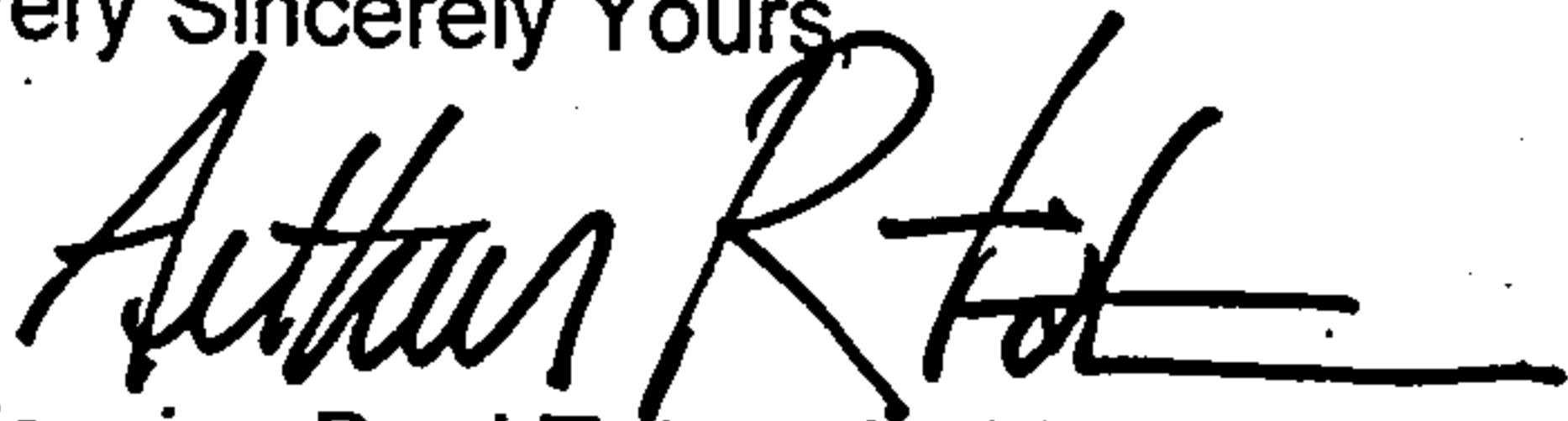
Phone 505/883.5200  
Facsimile 505/884.5390  
Web [www.fbtarch.com](http://www.fbtarch.com)



Should you have any comments or questions my contact information is as follows:

Arthur R. Tatum AIA, Vice President  
6100 Indian School Rd. Suite 210 NE  
Albuquerque, NM 87110  
505-883-5200

Very Sincerely Yours,

A handwritten signature in black ink, appearing to read "Arthur R. Tatum". The signature is fluid and cursive, with a long horizontal stroke at the end.

Fanning Bard Tatum Architects AIA Ltd. By  
Arthur R. Tatum AIA, Vice President

Copy:

Judie Pellegrino – North Domingo Baca Neighborhood Association  
Nanci Carriveau – North Wyoming Neighborhood Association  
Bill Dell – North Wyoming Neighborhood Association



August 24, 2006

North Domingo Baca Neighborhood Association  
Judie Pellegrino  
8515 Murrelet NE  
Albuquerque, NM 87113

Dear Ms. Pellegrino:

This letter is to inform you that an application for A Site Development Plan for Building Permit will be submitted to the City of Albuquerque Planning Department for review and possible approval. The application will be submitted on or about August 25, 2006. The public hearing for this case will then occur on September 20, 2006.

The specifics of the project are as follows:

- Project is located on the North-East corner of Paseo Del Norte and Louisiana. The site is .48 acres in size. The address is 8150 Louisiana Blvd. NE.
- Legal Description of Site: LT 1-A-4 BLK 10, TRACT 2 UNIT 3, NORTH ALBUQUERQUE ACRES.
- This portion of the site plan was previously intended to be a "Just Brakes" Facility. Instead, we are proposing that the site plan be approved to allow for the construction of a "Tribal Arts" retail store.
- We are confident that this store will make a positive addition to the surrounding community. Every attempt has been made to ensure that building design conforms to the standards established in the La Cueva Sector Development Plan.
- We feel that we have resolved all building design issues with local neighborhood representatives and are confident that the proposed building design will compliment and add to the surrounding area.

If you have questions about this proposal, please call me at 505-883-5200. This application can be reviewed at the City Planning Department offices in downtown Albuquerque at the Plaza del Sol building, located at 600 2nd Street NW. It is advised that you call the Planning Department to schedule a visit so that the project file will be available upon your arrival. To arrange a visit to review this application, please contact Fran Tapia, Development Review Division, at 924-3860. Ms. Tapia can also put you in contact with the planner who will be reviewing the project. The planner will be able to explain the development review process and your opportunity for input.

Fanning Bard Tatum Architects AIA, Ltd.  
6100 Indian School Rd. NE Ste 210  
Albuquerque NM 87110

Phone 505/883.5200  
Facsimile 505/884.5390  
Web [www.fbtarch.com](http://www.fbtarch.com)

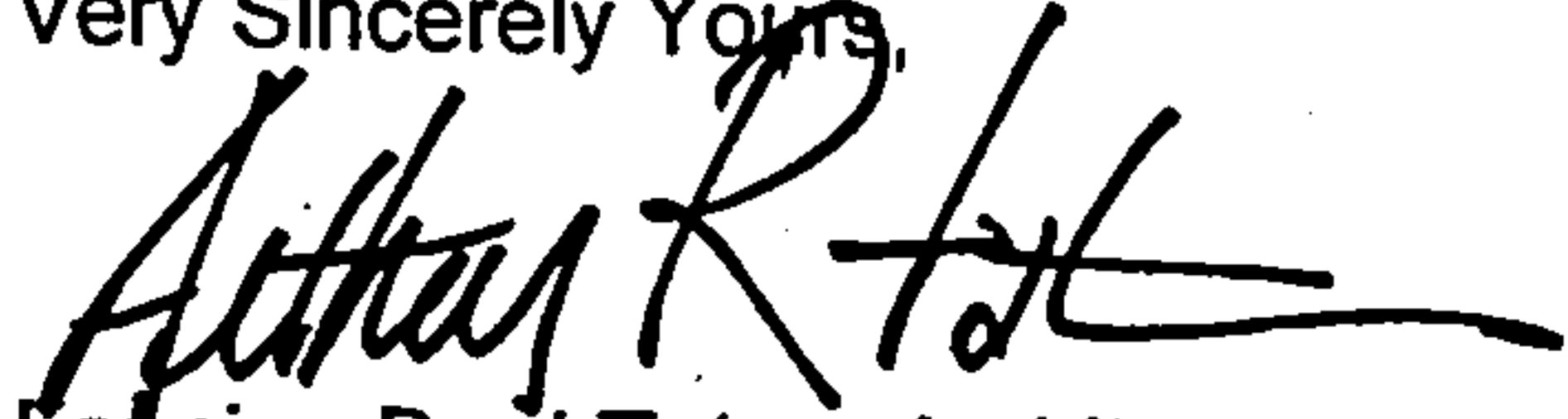


---

Should you have any comments or questions my contact information is as follows:

Arthur R. Tatum AIA, Vice President  
6100 Indian School Rd. Suite 210 NE  
Albuquerque, NM 87110  
505-883-5200

Very Sincerely Yours,



Fanning Bard Tatum Architects AIA Ltd. By  
Arthur R. Tatum AIA, Vice President

Copy:

Haden M. Bowling – North Domingo Baca Neighborhood Association  
Nanci Carriveau – North Wyoming Neighborhood Association  
Bill Dell – North Wyoming Neighborhood Association



August 24, 2006

North Wyoming Neighborhood Association  
Bill Dell  
8306 Krim Dr. NE  
Albuquerque, NM 87109

Dear Mr. Dell:

This letter is to inform you that an application for A Site Development Plan for Building Permit will be submitted to the City of Albuquerque Planning Department for review and possible approval. The application will be submitted on or about August 25, 2006. The public hearing for this case will then occur on September 20, 2006.

The specifics of the project are as follows:

- Project is located on the North-East corner of Paseo Del Norte and Louisiana. The site is .48 acres in size. The address is 8150 Louisiana Blvd. NE.
- Legal Description of Site: LT 1-A-4 BLK 10, TRACT 2 UNIT 3, NORTH ALBUQUERQUE ACRES.
- This portion of the site plan was previously intended to be a "Just Brakes" Facility. Instead, we are proposing that the site plan be approved to allow for the construction of a "Tribal Arts" retail store.
- We are confident that this store will make a positive addition to the surrounding community. Every attempt has been made to ensure that building design conforms to the standards established in the La Cueva Sector Development Plan.
- We feel that we have resolved all building design issues with local neighborhood representatives and are confident that the proposed building design will compliment and add to the surrounding area.

If you have questions about this proposal, please call me at 505-883-5200. This application can be reviewed at the City Planning Department offices in downtown Albuquerque at the Plaza del Sol building, located at 600 2nd Street NW. It is advised that you call the Planning Department to schedule a visit so that the project file will be available upon your arrival. To arrange a visit to review this application, please contact Fran Tapia, Development Review Division, at 924-3860. Ms. Tapia can also put you in contact with the planner who will be reviewing the project. The planner will be able to explain the development review process and your opportunity for input.

Fanning Bard Tatum Architects AIA, Ltd.  
6100 Indian School Rd. NE Ste 210  
Albuquerque NM 87110

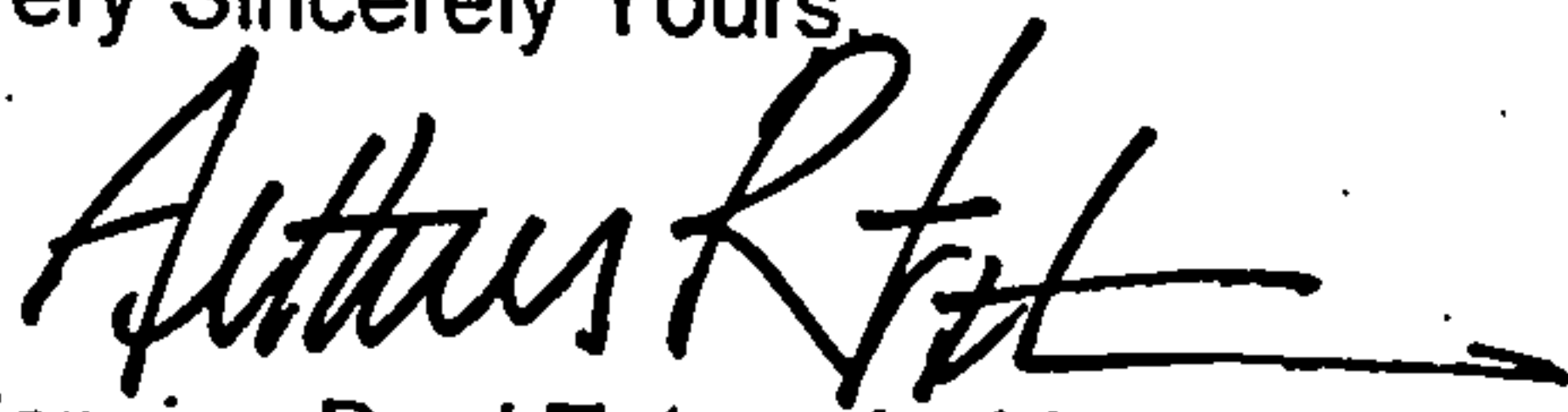
Phone 505/883.5200  
Facsimile 505/884.5390  
Web [www.fbtarch.com](http://www.fbtarch.com)



Should you have any comments or questions my contact information is as follows:

Arthur R. Tatum AIA, Vice President  
6100 Indian School Rd. Suite 210 NE  
Albuquerque, NM 87110  
505-883-5200

Very Sincerely Yours

A handwritten signature in black ink, appearing to read "Arthur R. Tatum", with a long horizontal flourish extending to the right.

Fanning Bard Tatum Architects AIA Ltd. By  
Arthur R. Tatum AIA, Vice President

Copy:

Judie Pellegrino – North Domingo Baca Neighborhood Association  
Haden M. Bowling – North Domingo Baca Neighborhood Association  
Nanci Carriveau – North Wyoming Neighborhood Association



# DEVELOPER INQUIRY SHEET

*(To be completed prior to application submittal)*

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – (505) 924-3913 - will need the following information **BEFORE** neighborhood association information will be released to the applicant/developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at (505) 924-3914. Your request is for the following:  
**Cell Tower [ ]; Private Development [ ]; City Project [ ]; -OR- Other [ ]**

**CONTACT NAME:** Jared Larsen

**COMPANY NAME:** FBT Architects

**ADDRESS/ZIP:** 6100 Indian School Rd. NE Suite 210

**PHONE:** 505-883-5200      **FAX:** 505-884-5390

## NEIGHBORHOOD ASSOCIATION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS:

LT 1-A-4 BLK 10 PLAT OF LOTS 1 -A-1, 1-A-2, 1 BLOCK 10 NORTH ALBUQUERQUE ACRES.

LEGAL DESCRIPTION

LOCATED ON

NorthEast Corner of Louisiana & Paseo Del Norte

STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN \_\_\_\_\_ AND

STREET NAME OR OTHER IDENTIFYING LANDMARK

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (C-19-Z).  
**(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)**  
**(Zone Map MUST be provided with request)**



# !!!Notice to Applicants!!!

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
  - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

### Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [ ] **ONC's "Official" Letter to the applicant (if there are associations).** A copy must be submitted with application packet **-OR-**
- [ ] **The ONC "Official" Letter (if there are no associations).** A copy must be submitted with application packet.
- [ ] **Copies of Letters to Neighborhood Associations (if there are associations).** A copy must be submitted with application packet.
- [ ] **Copies of the certified receipts to Neighborhood Associations (if there are associations).** A copy must be submitted with application packet.

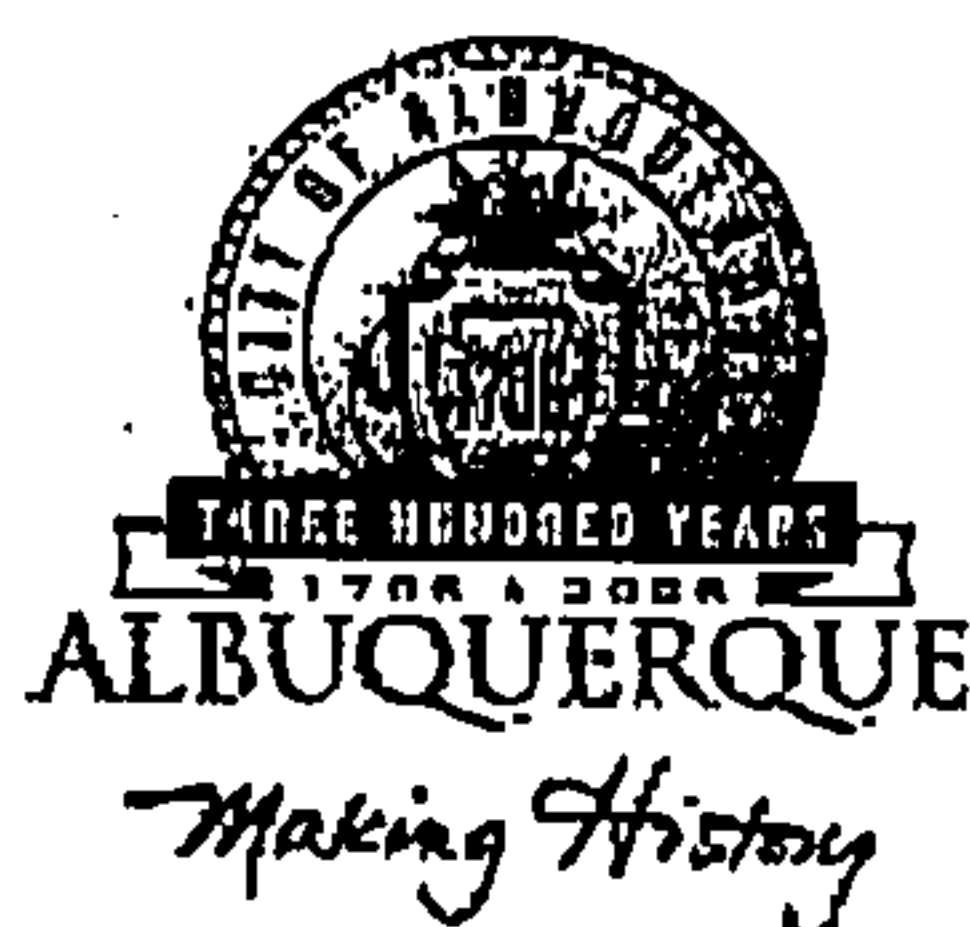
**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Thank you for your cooperation on this matter.

.....  
(below this line for ONC use only)

Date of Inquiry: **08/22/06** Time Entered: **10:50 a.m.** ONC Rep Initials: **SW**



## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

August 22, 2006

Jared Larsen  
 FBT Architects  
 6100 Indian School Road NE, Suite 210/87110  
 Phone: 883-5200/Fax: 884-5390

Dear Jared:

Thank you for your inquiry of August 22, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **LOT 1-A-4, BLOCK 10, PLAT OF LOTS 1-A-1, 1-2-2, 1 BLOCK 10, NORTH ALBUQUERQUE ACRES LOCATED ON NORTHEAST CORNER OF LOUISIANA BOULEVARD NE AND PASEO DEL NORTE NE - Zone Map: C-19.**

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

### **NORTH DOMINGO BACA N.A. (NDB) "R"**

\***Judie Pellegrino**, 8515 Murrelet NE/87113 839-3000 ext. 13720 (w)  
 Haden M. Bowling, 8523 Murrelet NE/87113 821-4927 (h)

### **NORTH WYOMING N.A. (NWG) "R"**

\***Nanci Carriveau**, 8309 Krim Dr. NE/87109 821-8673 (h)  
 Bill Dell, 8306 Krim Dr. NE/87109 822-9132 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

**Stephani Winklepleck**

Neighborhood Program Coordinator  
 OFFICE OF NEIGHBORHOOD COORDINATION  
 Planning Department

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

**LETTERS MUST BE SENT TO BOTH  
 CONTACTS OF EACH  
 NEIGHBORHOOD ASSOCIATION.**

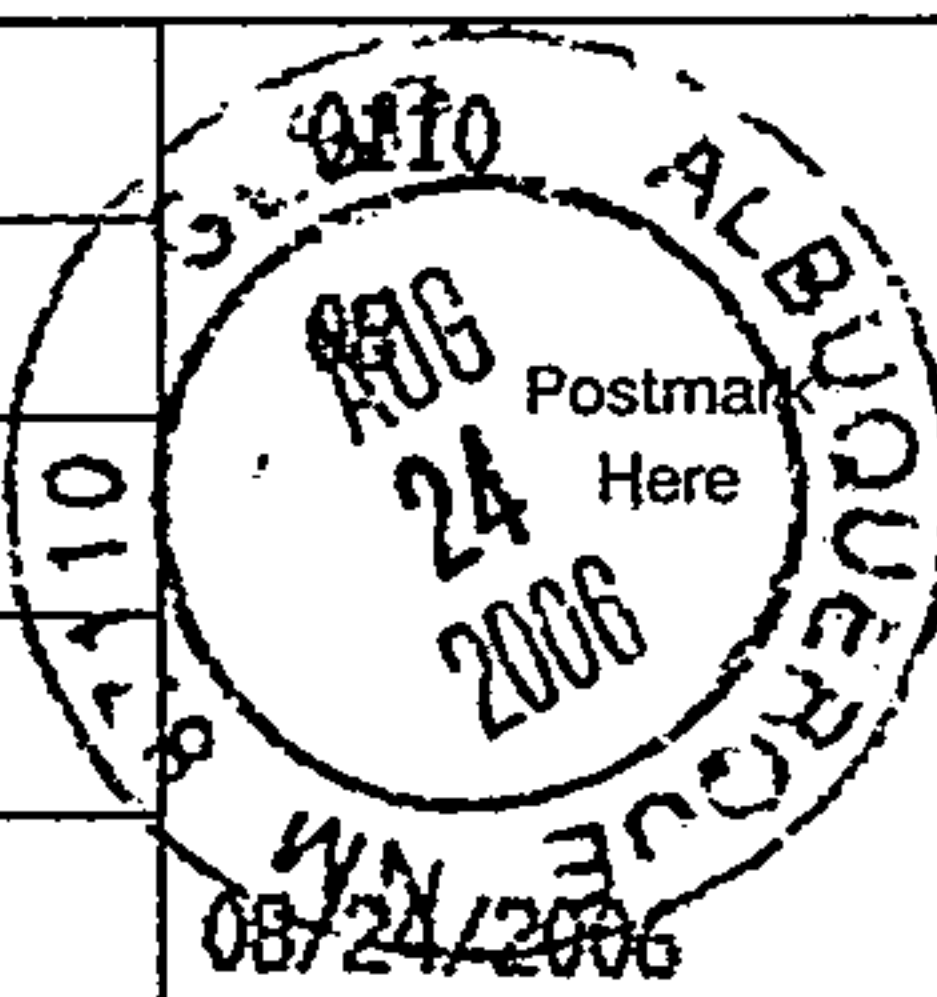
planningrnaform(10/08/05)



**U.S. Postal Service  
CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

ALBUQUERQUE NM 87113

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$1.85
Restricted Delivery Fee (Endorsement Required)		\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$4.64</b>



Recipient's Name (Please Print Clearly) (to be completed by mailer)

Haden M. Bowling

Street, Apt. No., or PO Box No.

8523 Murrelet NE

City, State, ZIP+4

Albuquerque, NM 87113

PS Form 3800, February 2000

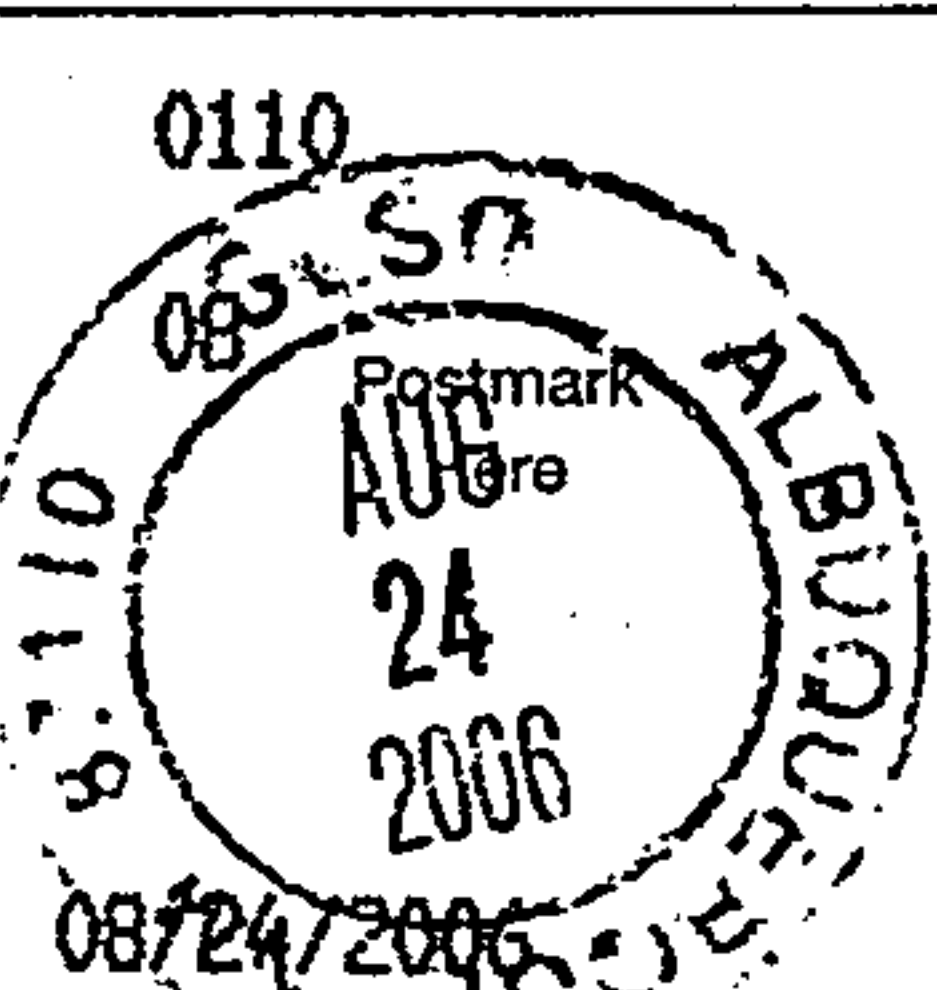
See Reverse for Instructions

7099 3400 0016 2245 1829

**U.S. Postal Service  
CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

ALBUQUERQUE NM 87109

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$1.85
Restricted Delivery Fee (Endorsement Required)		\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$4.64</b>



Recipient's Name (Please Print Clearly) (to be completed by mailer)

Nanci Carriveau

Street, Apt. No., or PO Box No.

8309 Krim Drive NE

City, State, ZIP+4

Albuquerque, NM 87109

PS Form 3800, February 2000

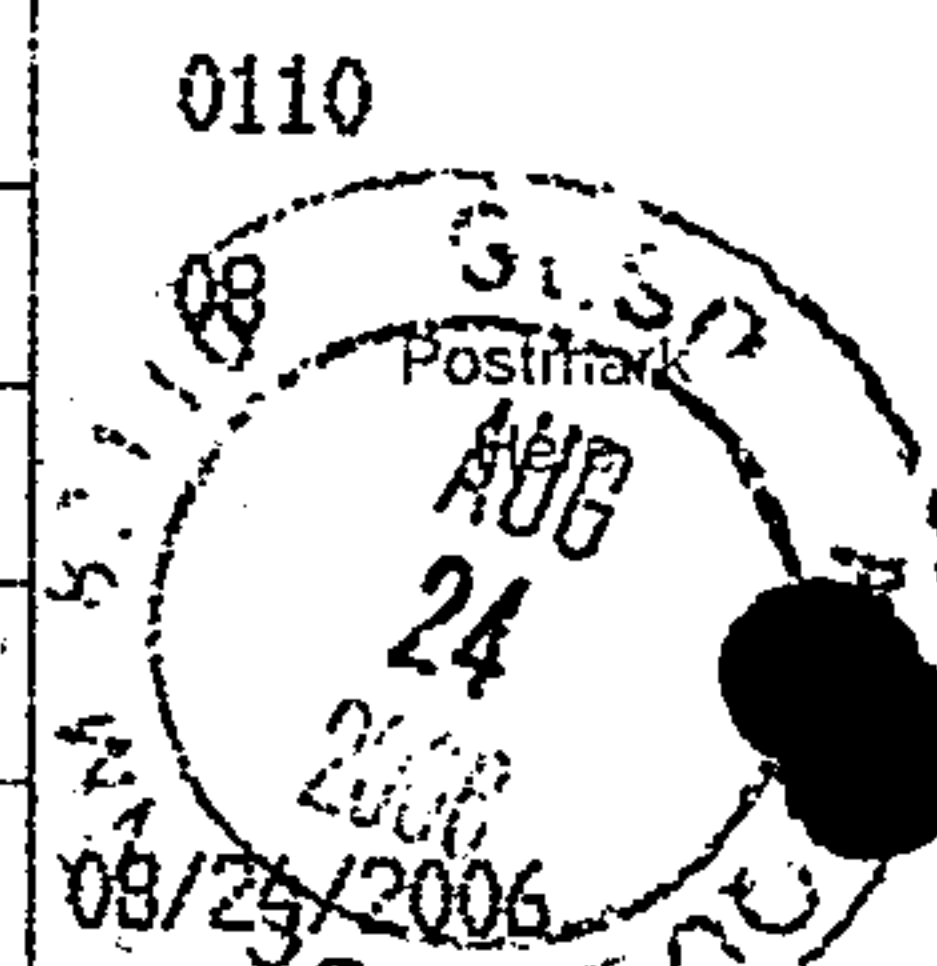
See Reverse for Instructions

7099 3400 0016 2245 1829

**U.S. Postal Service  
CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

ALBUQUERQUE NM 87109

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$1.85
Restricted Delivery Fee (Endorsement Required)		\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$4.64</b>



Recipient's Name (Please Print Clearly) (to be completed by mailer)

Bill Dell

Street, Apt. No., or PO Box No.

8306 Krim Drive NE

City, State, ZIP+4

Albuquerque, NM 87109

PS Form 3800, February 2000

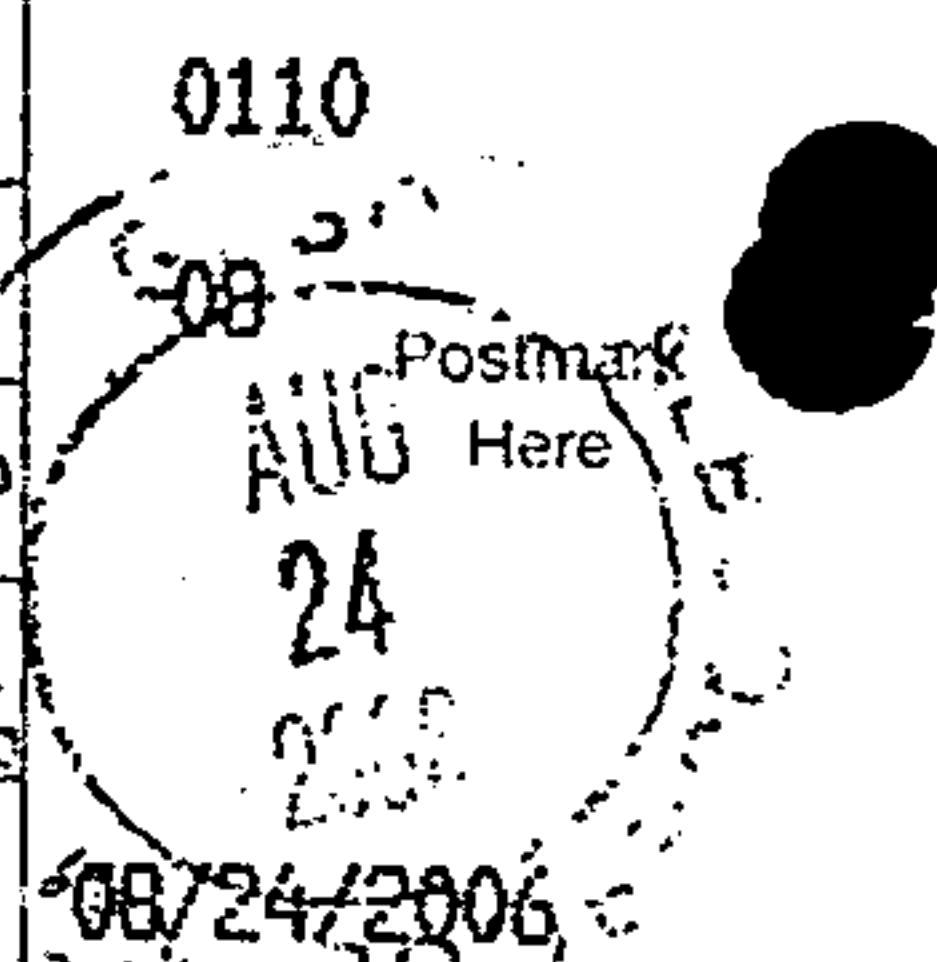
See Reverse for Instructions

5091 5422 9100 004E 6602

**U.S. Postal Service  
CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

ALBUQUERQUE NM 87113

Postage	\$	\$0.39
Certified Fee		\$2.40
Return Receipt Fee (Endorsement Required)		\$1.85
Restricted Delivery Fee (Endorsement Required)		\$0.00
<b>Total Postage &amp; Fees</b>	<b>\$</b>	<b>\$4.64</b>



Recipient's Name (Please Print Clearly) (to be completed by mailer)

Judie Pellegrino

Street, Apt. No., or PO Box No.

8515 Murrelet NE

City, State, ZIP+4

Albuquerque, NM 87113

PS Form 3800, February 2000

See Reverse for Instructions

5091 5422 9100 004E 6602

Project Summary  
Tribal Arts Retail Store  
8150 Louisiana Blvd. NE 87113

This project is a revision of the previously approved DRB site plan for building permit (DRB Project # 1003364 04-DRB-01408). As per instruction given by City of Albuquerque Staff Planner Carmen Marrone and in accordance with Note #2 on the above mentioned Site plan for subdivision and Building permit, we are submitting this application as an amendment to the previously approved site plan for building permit via public DRB Hearing. The previously drafted Site Plan for Building Permit for a "Just Brakes" facility was withdrawn prior to the Actual EPC hearing for Project #103364. This is explained in EPC official notification of decision dated May 21, 2004. Because this project was withdrawn prior to EPC hearing, there were no EPC conditions relating directly to this site (Lot 1A4) other than the actual withdrawal as previously mentioned.

In place of the previously planned "Just Brakes" facility we are proposing that a "Tribal Arts" retail store be constructed. Tribal Arts is a high end retail store. Inventory items include Oriental Rugs, furniture, baskets, copper pots and other unique home furnishing items and accessories.

Proposed revisions to the approved site plan include an addition of 1,200 heated square feet. This is an 8% increase in the square footage that was previously approved for the site plan.

Exterior building style is to be primarily "Southwestern" and will use common building materials such as stucco, wood, and tile. Small accent items on the exterior of the building will help reflect the unique products sold within. The use of these accent items has been carefully coordinated with local neighborhood associations to ensure their acceptance.

Site layout and configuration has been reorganized to allow for the additional building square footage and associated parking.

As part of this application we have submitted a revised utility plan and Grading and Drainage plan that reflect only the change of the building use and footprint and parking layout. The Schematic Drainage and Grading plan has been changed in no other way. On June 19, 2006 we were told by City Engineer Brad Bingham that this approach would be acceptable for our amendment to the site plan and that detailed grading and drainage information would be provided and, if acceptable, approved during the building permit phase of the project. We have also submitted a site utility plan that was previously submitted with DRB Project # 1003364 04-DRB-01408 showing the revised building footprint and parking lot layout.

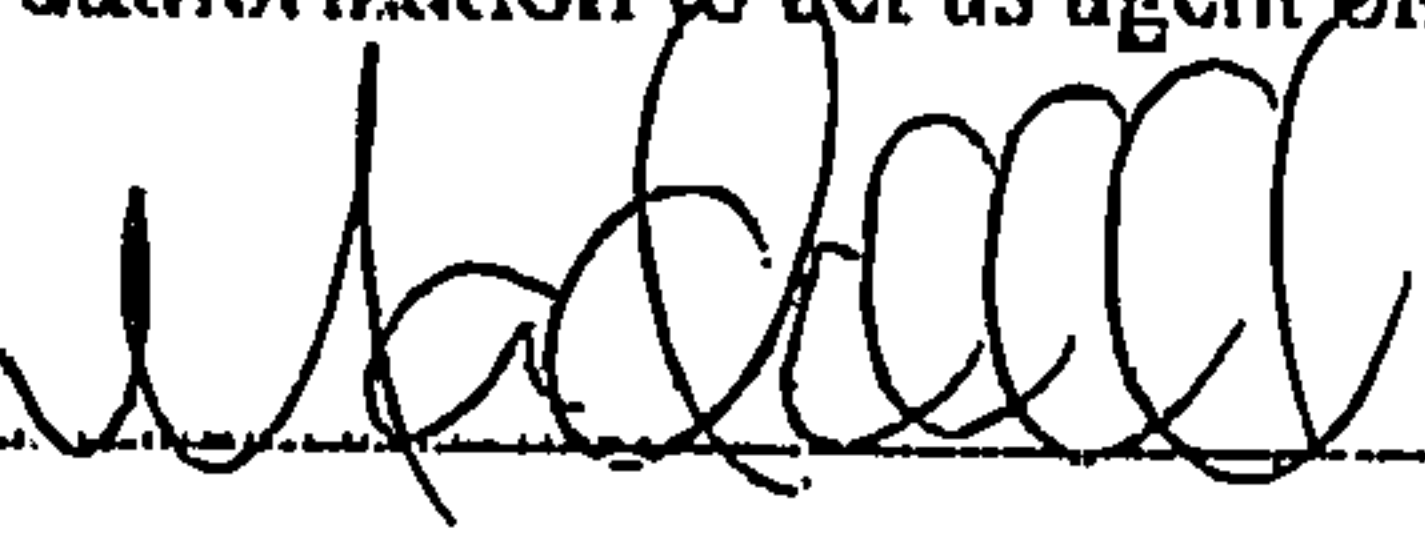


Date: August 24, 2006

Re: Application for Approval of Site Development Plan for Building Permit

To Whom It May Concern:

As Owner of the property being affected by this application (LT 1-A-4 BLK 10, TRACT 2 UNIT 3, NORTH ALBUQUERQUE ACRES.), I hereby grant Fanning Bard Tatum Architects authorization to act as agent on my behalf.

Signature: 

Printed Name: NADEEM J. MULL

Nadeem Mull

Date: 8/24/06

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

#### 4. TIME

Signs must be posted from 9-5-06 To 9-20-06

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
\_\_\_\_\_  
(Applicant or Agent)

8/25/06  
\_\_\_\_\_  
(Date)

I issued 1 signs for this application,

8/25/06  
\_\_\_\_\_  
(Date)

K. S. S.  
\_\_\_\_\_  
(Staff Member)

DRB PROJECT NUMBER: 100 3364



ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME NADEEM MULL  
AGENT FANNING BARD TATUM ARCHITECTS  
ADDRESS \_\_\_\_\_  
PROJECT & APP # 1003364 / 06DRB-01232  
PROJECT NAME NORTH ALBUQ. HERE S.

\*\*\*DUPLICATE\*\*\*  
City of Albuquerque  
Treasury Division

8/25/2006 9:58AM LOC: ANNX  
RECEIPT# 00063537 WSH 008 TRANSH 0019  
Account 441032 Fund 0110 TRSLJS  
Activity 3424000  
Trans Amt \$350.00  
J24 Misc

\$20.00  
Thank You

- \$ 20.00 441032/3424000 Conflict Management Fee
- \$ 255.00 441006/4983000 DRB Actions
- \$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ 75.00 441018/4971000 Public Notification
- \$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study
- \$ 350.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.



Fanning Bard Tatum Architects AIA, Ltd.  
6100 Indian School Rd. NE Ste 210  
Albuquerque NM 87110  
Phone 505/883.5200  
City of Albuquerque  
Treasury Division  
9:58AM  
RECEIPT# 00063537 WSH 008  
Account 441032 Fund 0110  
Activity 3424000  
Trans Amt \$350.00  
J24 Misc

BANK OF ALBUQUERQUE, N.A.  
ALBUQUERQUE, NM  
95-660/1070

22764

City of Albuquerque  
Three Hundred fifty and <sup>00</sup>/<sub>100</sub>

\$350.00

\*\*\*DUPLICATE\*\*\*  
City of Albuquerque  
Treasury Division  
Dollars

8/25/2006 9:58AM LOC: ANNX  
RECEIPT# 00063539 WSH 008 TRANSH 0019  
Account 441018 und 0  
Activity 4971000  
Trans Amt \$75.00  
J24 Misc  
*Arthur R. [Signature]*

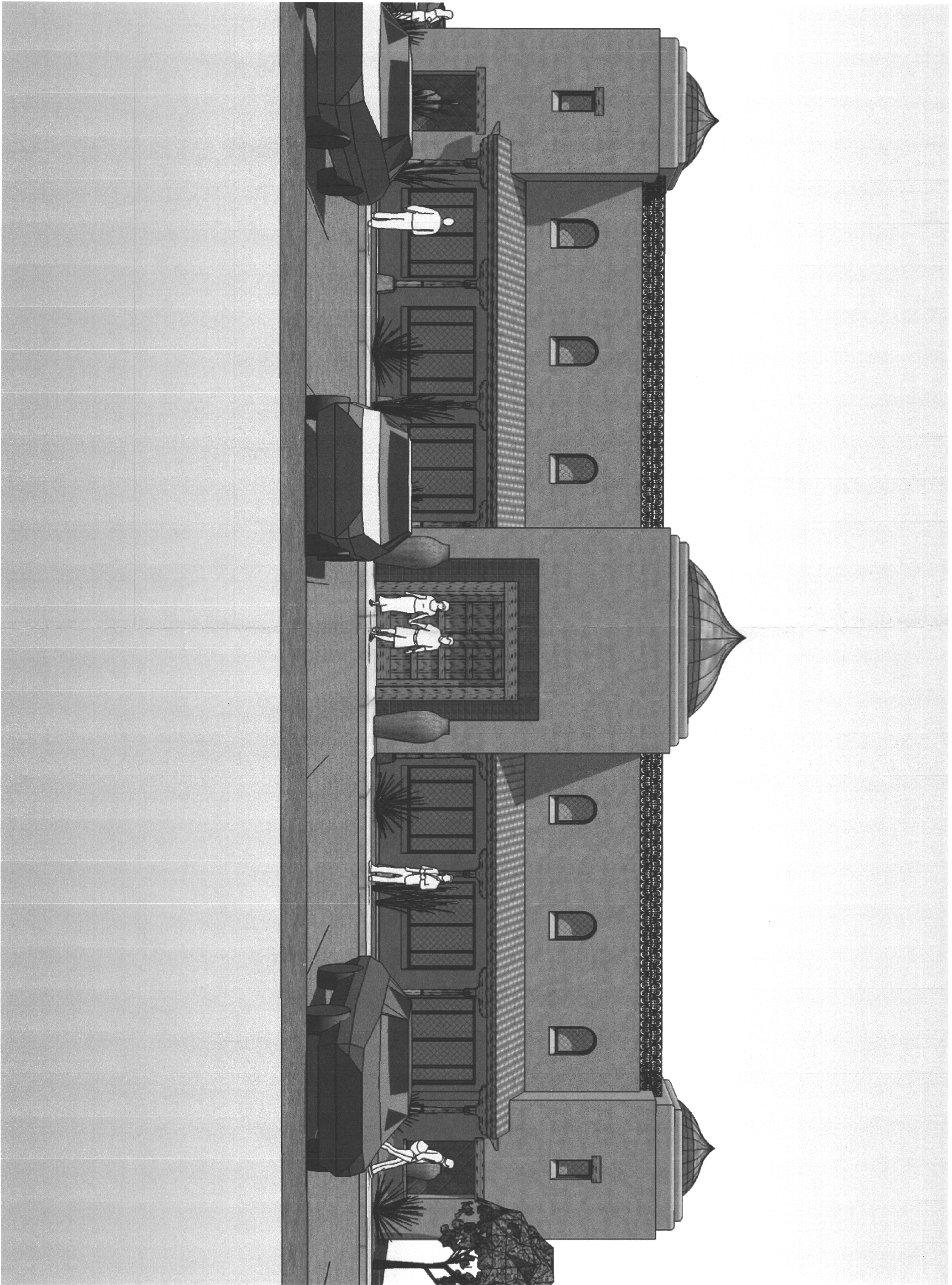
INTUIT INC. 1-800-433-8810

TRIBAL ARTS DRB

⑈022764⑈ ⑆107006606⑆ 7827215256⑈ \$75.00 \$350.00

Thank You









**COMPLETED 05/19/06 stt**  
**DRB CASE ACTION LOG (SITE PLAN B.P.)**

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No: 06DRB-00430 (SBP) Project # 1003364  
 Project Name PASEO PLACE  
 Agent: Tafazzul Hussain Phone No.: 243-9093

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/12/06 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

- TRANSPORTATION: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- UTILITIES: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- CITY ENGINEER / AMAFCA: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- PARKS / CIP: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

PLANNING (Last to sign): 3 copies  
DAVID'S INITIALS  
Title -> "S.P. FOR B.P." 5/19/06

- Planning must record this plat. Please submit the following items:
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
  - 3 copies of the approved site plan. Include all pages.
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
  - Property Management's signature must be obtained prior to Planning Department's signature.
  - AGIS DXF File approval required.
  - Copy of recorded plat for Planning.

Project Number 1003364





# DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00430 (SBP)

Project # 1003364

Project Name PASEO PLACE

Agent: Tafazzul Hussain

Phone No.: 243-9093

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/12/06 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

UTILITIES: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

PLANNING (Last to sign): 3 copies

DAVIDS INITIALS

title -> "S.P. for B.P."

\_\_\_\_\_

\_\_\_\_\_

Planning must record this plat. Please submit the following items:

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_

-Tax printout from the County Assessor.

3 copies of the approved site plan. Include all pages.

County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required

Copy of recorded plat for Planning.

Project Number 1003364





**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

April 12, 2006

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 12:05 P.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000376**  
06DRB-00359 Major-Two Year SIA

TIERRA WEST LLC agent(s) for BUILDERS INVESTMENT COMPANY OF NM LTD request(s) the above action(s) for all or a portion of Lot(s) 1-117, UNIT 1 Lot(s) 1-35, UNIT 2, **PARADISE SKIES, UNITS 1 & 2**, zoned R-T, located on BANDELIER DR NW, between MCMAHON BLVD NW and UNSER BLVD NW containing approximately 23 acre(s). [REF: DRB-94-107, 04DRB00410, 04DRB00391, 03DRB0013, 03DRB00188] (A-11) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED. THIS WILL BE THE LAST EXTENSION.**

2. **Project # 1003239**  
06DRB-00364 Major-Vacation of Pub  
Right-of-Way

MARK GOODWIN AND ASSOCIATES, P.A. agent(s) for ROEMER/HASKINS, LLC request(s) the above action(s) for all or a portion of Block(s) 264-A-1, **TOWN OF ATRISCO GRANT, UNIT 8**, located on ILLIF RD NW, between INTESTATE 40 NW and ESTANCIA RD NW containing approximately 1 acre(s). [REF: 05EPC0186] (H-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH 3 ADDITIONAL CONDITIONS: STORM DRAIN EASEMENT SHALL BE RETAINED. THE PUBLIC WATER LINE EASEMENT SHALL BE RETAINED. TRACT 290A NEEDS TO BE A PUBLIC ROADWAY EASEMENT.**

06DRB-00443 Minor-SiteDev Plan  
Subd/EPC  
06DRB-00444 Minor-SiteDev Plan  
BldPermit/EPC

MARK GOODWIN AND ASSOCIATES, P.A. agent(s) for ROEMER/HASKINS, LLC request(s) the above action(s) for all or a portion of Tract(s) 264-A-1, **TOWN OF ATRISCO GRANT, UNIT 8**, (to be known as **ILIFF SELF STORAGE**) zoned SU-1/C-3, located on ILIFF RD NW, between INTESTATE 40 NW and ESTANCIA RD NW containing approximately 1 acre(s). [REF: 05EPC-0186, 05EPC-01930] [David Stallworth, EPC Case Planner] (H-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/12/06 THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DAVID STALLWORTH'S INITIALS, EPC LANGUAGE AND 3 COPIES OF THE SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PRELIMINARY AND FINAL PLAT AND PLANNING FOR DAVID STALLWORTH'S INITIALS, EPC LANGUAGE AND 3 COPIES OF THE SITE PLAN.**



3. **Project # 1004712**  
06DRB-00233 Major-Vacation of  
Public Easements  
06DRB-00234 Minor-Prelim&Final Plat  
Approval

ESMAIL HAIDARI & SHAKEEL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 9P1, Block(s) 2, **EAGLE ROCK ESTATES, UNIT 4**, zoned R-D residential and related uses zone, developing area, located on SCHIST AVE NE, between MODESTO AVE NE and EAGLE ROCK AVE NE containing approximately 1 acre(s). [REF: DRB-97-374, DRB-97-46/SV-97-74] *[Was Indef Deferred on 3/15/06 to readvertise]* (C-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR ENGINEERING CERTIFICATION OF GRADING PLAN AND PLANNING FOR ENVIRONMENTAL HEALTH'S SIGNATURE ON THE PLAT, CURRENT ZONING ON THE PLAT, THE 15-DAY APPEAL PERIOD AND TO RECORD THE PLAT.**

4. **Project # 1004713**  
06DRB-00235 Major-Vacation of  
Public Easements  
06DRB-00236 Minor-Prelim&Final Plat  
Approval

ESMAIL HAIDARI & SHAKEEL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 9P1, Block(s) 2, **EAGLE ROCK ESTATES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on LIMESTONE AVE NE, between OAKLAND AVE NE and EAGLE ROCK AVE NE containing approximately 1 acre(s). [REF: DRB-97-374, DRB-97-17] *[Was Indef Deferred on 3/15/06 to readvertise]* (C-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR ENGINEERING CERTIFICATION OF GRADING PLAN AND PLANNING FOR ENVIRONMENTAL HEALTH'S SIGNATURE ON THE PLAT, CURRENT ZONING ON THE PLAT, THE 15-DAY APPEAL PERIOD AND TO RECORD THE PLAT.**

5. **Project # 1003800**  
05DRB-01906 Major-Vacation of Pub  
Right-of-Way  
05DRB-01908 Minor-Prelim&Final Plat  
Approval  
05DRB-01907 Minor-Temp Defer  
SDWK

RIO GRANDE ENGINEERING agent(s) for PETE DASKALOS, LLAVE HOMES request(s) the above action(s) for all or a portion of Lot(s) 1-4, Block(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as **LA CUEVITA OESTE**) zoned R-D residential and related uses zone, developing area, located on EAGLE ROCK AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 4 acre(s). [REF: 04DRB01820] [Deferred from 1/11/06 & 2/1/06 & 2/15/06 & 3/1/06 & 3/15/06 & 3/29/06 & 4/12/06] (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 5/3/06.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

6. **Project # 1004725**  
06DRB-00429 Minor-SiteDev Plan  
BldPermit

RICK BENNETT ARCHITECTS agent(s) for JOHN BATTAGLIA request(s) the above action(s) for all or a portion of Tract(s) Q8-A, Q6 & Q7, **ATRISCO BUSINESS PARK, UNIT 4**, zoned SU-1 for IP special use zone, located on COORS BLVD NW, between LOS VOLCANES RD NW and FORTUNA RD NW containing approximately 1 acre(s). [REF: 06EPC-00278] (J-10) **INDEFINITELY DEFERRED ON A NO SHOW.**

7. ~~**Project # 1003364**~~  
06DRB-00430 Minor-SiteDev Plan  
BldPermit/EPC

TAFAZZUL HUSSAIN agent(s) for PHIL LINDBORG request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-A-2, Block(s) 10, Tract(s) 2, NORTH ALBUQUERQUE ACRES (to be known as **PASEO PLACE**) zoned SU-2 Mixed Use, located on HOLLY AVE NE, between LOUISIANA NE and WYOMING NE containing approximately 1 acre(s). [REF: DRB-



95-478, 06EPC-00078] [David Stallworth, EPC Case Planner] (C-19) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF DAVID STALLWORTH'S INITIALS AND TITLE SHOULD READ "SITE PLAN FOR BUILDING PERMIT" ON THE SITE PLAN SHEET.**

8. **Project # 1004672**  
06DRB-00448 Minor-SiteDev Plan  
BldPermit/EPC

BRASHER & LORENZ INC agent(s) for PUBLIC SERVICE CO OF NEW MEXICO (PNM) request(s) the above action(s) for all or a portion of Tract(s) C, **RINCONADA POINT, UNIT 1**, zoned SU-1 RESIDENTIAL USES, located on UNSER BLVD NW, between ST JOSEPH NW and VISTA ALEGRE NW containing approximately 2 acre(s). [REF: 06EPC00133] [Catalina Lehner, EPC Case Planner] (G-10) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

9. **Project # 1003921**  
06DRB-00436 Minor-SiteDev Plan  
Subd/EPC

CONSENSUS PLANNING INC agent(s) for CITY OF ALBUQUERQUE, DEPARTMENT OF MUNICIPAL DEVELOPMENT, request(s) the above action(s) for all or a portion of Tract(s) A, **NORTH DOMINGO BACA PARK (proposed) and Tract(s) A, AMAFCA KINNEY DAM (proposed)**, zoned SU-1, Community Park & Related Facilities, located on CORONA AVE NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 60 acre(s). [REF: 05EPC-00183, Z-98-130, Z-99-83, DRB-98-212, DRB-99-7, DRB-96-549] [Carmen Marron, EPC Case Planner] (C-19) **SITE PLAN FOR SUBDIVISION (MASTER DEVELOPMENT PLAN) WAS APPROVED AND SIGNED OFF BY THE BOARD.**

06DRB-00439 Minor-Prelim&Final Plat  
Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for AMAFCA request(s) the above action(s) for all or a portion of Lot(s) 1-5 & 28-32, Block(s) 7, and Lot(s) 1-5 & 28-32, Block(s) 8, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3 (to be known as **AMAFCA KINNEY DAM, TRACT A**) zoned SU-1 & RD/RT, located on CORONA AVE NE, between LOUISIANA BLVD NE and WYOMING BLVD NW containing approximately 21 acre(s). [REF: 05DRB-01758, 01759 AND 01760] (C-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/12/06 THE PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

06DRB-00440 Minor-Prelim&Final Plat  
Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for PARK DESIGN & CONSTRUCTION DIVISION, DEPARTMENT OF MUNICIPAL DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 6-27, Block(s) 7 and Lot(s) 6-27, Block(s) 8, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3 (to be known as **TRACT A, NORTH DOMINGO BACA PARK**) zoned SU-1 & RD/RT, located on CORONA AVE NE, between LOUISIANA BLVD NE and WYOMING BLVD NW containing approximately 21 acre(s). [REF: 05DRB-01758, 01759 AND 01760] (C-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/12/06 THE PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**



10. **Project # 1002112**  
05DRB-01933 Minor-SiteDev Plan  
Subd/EPC  
05DRB-01934 Minor-SiteDev Plan  
BldPermit/EPC

DCSW INC agent(s) for SOLID GOLD CLASSIC LTD request(s) the above action(s) for all or a portion of Lot(s) 1-5 and 28-32, Block(s) 21, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT A, (to be known as **PASEO CROSSING SHOPPING CENTER**) zoned SU-2 special neighborhood zone, located on PASEO DEL NORTE NE, between WYOMING BLVD NE and PALOMAS DR NE containing approximately 6 acre(s). [REF: 04EPC01221, 04EPC01222][**Carmen Marrone, EPC Case Planner**] [*Indef deferred on 1/25/06*] (D-19) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/12/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR 3 COPIES.**

02DRB-01110 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for PEGGY DASKALOS request(s) the above action(s) for all or a portion of Lot(s) 1-5, 28-32, Block(s) 21, Tract(s) A, NORTH ALBUQUERQUE ACRES - UNIT A, (to be known as **PASEO CROSSING SHOPPING CENTER**) zoned SU-2/Mixed Use, located on PASEO DEL NORTE NE, between WYOMING BLVD NE and PALOMAS AVE NE containing approximately 6 acre(s). [REF: Z-98-141,AX-98-16] [*Was Indef Deferred 7/31/02. [Indef deferred on 1/25/06]*] (D-19) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

11. **Project # 1001409**  
06DRB-00446 Minor-Extension of  
Preliminary Plat

ADVANCED ENGINEERING & CONSULTING LLC.  
agent(s) for SAIFI TALEBREZA request(s) the above  
action(s) for all or a portion of Lot(s) 20-A, Block(s) 1,  
**CANDELIGHT FOOTHILLS, UNIT 1**, zoned R-1  
residential zone, located on LOMAS BLVD NE,

between MONTE LARGO DR NE and SUMMIT HILLS DR NE containing approximately 2 acre(s). (J-23) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

- 12. Project # 1004083**  
06DRB-00427 Minor-Prelim&Final Plat  
Approval

RHOMBUS PA INC agent(s) for SANCHEZ & WADE LLC request(s) the above action(s) for all or a portion of Lot(s) 21, Block(s) 11, **VALLEY VIEW ADDITION**, zoned C-2, located on ZUNI SE, between ADAMS SE and JEFFERSON SE containing approximately 1 acre(s). [REF: 05DRB-01849] (K-17) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR REAL PROPERTY SIGNATURE, AGIS DXF FILE, CURRENT ZONING ON PLAT AND TO RECORD.**

- 13. Project # 1004768**  
06DRB-00369 Minor-Prelim&Final Plat  
Approval

JACKS HIGH COUNTRY INC agent(s) for DAVID & JENNIFER THORNBURG request(s) the above action(s) for all or a portion of Lot(s) 1A, 1, 2 & 18, Block(s) 11, **MONTGOMERY HEIGHTS**, zoned R-1, located on MARS RD NE, between WELLESLEY AVE NE and TULANE DR NE containing approximately 1 acre(s). [*Deferred from 3/29/06*] (G-16) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PNM'S SIGNATURE AND TO RECORD.**

- 06DRB-00428 Minor-Vacation of  
Private Easements

JACKS HIGH COUNTRY INC agent(s) for DAVID & JENNIFER THORNBURG request(s) the above action(s) for all or a portion of Lot(s) 1A, 1, 2 & 18, Block(s) 11, **MONTGOMERY HEIGHTS**, zoned R-1 residential zone, located on MARS RD NE, between WELLESLEY AVE NE and TULANE DR NE containing approximately 1 acre(s). [REF:



06DRB00369] (G-16) THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.

14. **Project # 1004790**  
06DRB-00411 Minor-Prelim&Final Plat Approval
- JULIE MARS AND ROBERT FARRIS request(s) the above action(s) for all or a portion of Lot(s) 9-12, Block(s) 5, **SANTA FE ADDITION**, zoned SU-2 for R-1 special neighborhood zone, located on SANTA FE AVE SW, between 9<sup>TH</sup> ST SW and 8<sup>TH</sup> ST SW containing approximately 1 acre(s). [REF: BA-167] (K-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CONSTRUCTION OF SIDEWALKS GREEN TAG AND PLANNING TO RECORD.**
15. **Project # 1003285**  
06DRB-00426 Minor-Prelim&Final Plat Approval
- ALDRICH LAND SURVEYING agent(s) for WESTLAND DEVELOPMENT CO request(s) the above action(s) for all or a portion of Lot(s) 1, 2 & 4, Tract(s) S, Block(s) 13, **SUNDORO SOUTH, UNIT 6**, zoned SU-2/R-LT, located on SILICA AVE NW, between 94<sup>TH</sup> ST NW and TUMULUS NW containing approximately 2 acre(s). [REF: 05DRB-01296, 05DRB-00106, 05DRB-00107] [Listed as Project #1004797 in error] [Deferred from 4/12/06] (J-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/26/06.**
16. **Project # 1004798**  
06DRB-00431 Minor-Prelim&Final Plat Approval
- SURVEYS SOUTHWEST LTD agent(s) for KENNETH FAJARDO, AMERICAN POSTAL WORKERS UNION request(s) the above action(s) for

all or a portion of Lot(s) 1-5 and 14-18, Block(s) 2, **SPRINGER TRANSFER CO'S ADDITION, UNIT 1**, zoned SU-2 for M-1 light manufacturing zone, located on KINLEY AVE NE, between FRANCISCAN ST NE and ARNO ST NE containing approximately 1 acre(s). [REF: ZA-73-188] (J-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FIRE MARSHALS OKAY FOR FIRE PROTECTION AND TRANSPORTATION DEVELOPMENT FOR CUL-DE-SAC DEDICATIONS ON FRANCISCAN AND ARNO.**

17. **Project # 1002176**  
06DRB-00092 Major-Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT request(s) the above action(s) for all or a PORTION OF LAND IN SW 1/4 - NW 1/4 SEC 26 TION R4E TOGETHER W/ TRACT E-1, NORTH FOUR HILLS, (to be known as **COVERED WAGON SUBDIVISION**) zoned SU-1, located on FOUR HILLS RD SE, between LANIER DR SE and WATERFALL DR SE containing approximately 7 acre(s). (*Was Indef deferred on 2/1/06*) [*Deferred from 4/5/06*] (L-23) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR LANGUAGE ON SEWER EASEMENT GRANT ON LOT 24 WHO TO DEDICATE TOO AND PLANNING TO RECORD.**

18. **Project # 1003238**  
06DRB-00432 Minor-Prelim&Final Plat  
Approval

SURV-TEK INC agent(s) for VANTAGE BUILDERS request(s) the above action(s) for all or a portion of Lot(s) 58-P1, Tract(s) E, **FLORAL MEADOWS**, zoned R-LT, located on SARITA AVE NW, between MONTOYA NW and MACIEL NW containing approximately 1 acre(s). [Listed as Project #1004799 in error] [*Indef deferred on 4/12/06*] (H-12)



INDEFINITELY DEFERRED AT AGENT'S REQUEST.

19. **Project # 1003687**  
06DRB-00434 Minor-Prelim&Final Plat Approval  
BOHANNAN HUSTON INC agent(s) for PULTE HOMES OF NEW MEXICO INC request(s) the above action(s) for all or a portion of Lot(s) 133, 134 & 135, **WESTERN RIDGE, UNIT 1, AT VENTANA RANCH WEST**, zoned R-LT residential zone, located on NACIMIENTO ST NW, between DRAGOON RD NW and VENTANA WEST PKWY NW containing approximately 1 acre(s). [REF: 05DRB00697] (B-8) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**
20. **Project # 1004788**  
06DRB-00408 Minor-Prelim&Final Plat Approval  
BOHANNAN HUSTON agent(s) for UNIVERSITY OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 1E1-A-1 and 1E2-A-1, 1E2-A-2, **UNIVERSITY OF NEW MEXICO, SCIENCE & TECHNOLOGY PARK**, zoned SU-1 PDA, PERMISSIVE USE OF O-1/C-2, IP, located on UNIVERSITY BLVD SE, between AVENIDA CESAR CHAVEZ SE and INTERSTATE 40 SE containing approximately 13 acre(s). [*Deferred from 4/5/06*][*Indef deferred from 4/12/06*] (L-15) **INDEFINITELY DEFERRED AT AGENT'S REQUEST.**
21. **Project # 1004771**  
06DRB-00373 Minor-Prelim&Final Plat Approval  
RON GARNER agent(s) for GARBAC, LLC request(s) the above action(s) for all or a portion of Lot(s) 4, 5 & 6, Block(s) 41, **RAYNOLDS ADDITION**, zoned SU-2/NCR, located on COAL AVE SW, between 10<sup>TH</sup> ST SW and 11<sup>TH</sup> ST SW containing approximately 1

acre(s). [Deferred from 3/29/06 & 4/5/06 & 4/12/06]  
(K-13) DEFERRED AT THE AGENT'S REQUEST  
TO 4/19/06.

22. **Project # 1004770**  
06DRB-00372 Minor-Prelim&Final Plat  
Approval

WAYJOHN SURVEYING INC agent(s) for COE  
PROPERTIES, STEVE COE request(s) the above  
action(s) for all or a portion of Lot(s) 9-12, Block(s)  
10, **MESA GRANDE ADDITION**, zoned O-R, located  
on SIERRA DR SE, between SILVER AVE SE and  
ZUNI RD SE containing approximately 1 acre(s).  
[Deferred from 3/29/06 & 4/5/06] (K-17) **WITH THE  
SIGNING OF THE INFRASTRUCTURE LIST DATED  
4/12/06 THE PRELIMINARY PLAT WAS  
APPROVED. FINAL PLAT WAS INDEFINITELY  
DEFERRED FOR THE SIA.**

**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

23. **Project # 1004564**  
06DRB-00433 Minor-Sketch Plat or  
Plan

FORSTBAUER SURVEYING LLC agent(s) for  
CURRY BRANDAW ARCHITECTS request(s) the  
above action(s) for all or a portion of Lot(s) 19-22,  
Block(s) 21, Tract(s) A, **NORTH ALBUQUERQUE  
ACRES, UNIT A**, zoned SU-2, O-1, located on  
PALOMAS AVE NE, between WYOMING BLVD NE  
and BARSTOW ST NE containing approximately 4  
acre(s). [Issued Project #1004800 in error] (D-19)  
**THE ABOVE REQUEST WAS REVIEWED AND  
COMMENTS WERE GIVEN.**



24. **Project # 1004792**  
06DRB-00414 Minor-Sketch Plat or  
Plan

SURVEY'S SOUTHWEST, LTD agent(s) for  
DUNCAN MILLOY request(s) the above action(s) for  
all or a portion of Lot(s) 5, **FITZGERALD ADDITION**,  
zoned R-1, located on FITZGERALD RD NW,  
between CANDELARIA RD NW and 4<sup>TH</sup> ST NW  
containing approximately 1 acre(s). (G-14) **THE  
ABOVE REQUEST WAS REVIEWED AND  
COMMENTS WERE GIVEN.**

25. **Project # 1003991**  
06DRB-00437 Minor-Sketch Plat or  
Plan

TIERRA WEST LLC agent(s) for FRONTERA  
DEVELOPMENT INC request(s) the above action(s)  
for all or a portion of Lot(s) A-1-C, TOWN OF  
ATRISCO GRANT, UNIT 7, (to be known as  
**RESIDENTIAL @ 98<sup>TH</sup> AND SAGE**) zoned R-LT  
residential zone, located on SNOW VISTA BLVD SW,  
between SAGE RD SW and REBA AVE SW  
containing approximately 4 acre(s). [REF: Z-79-164,  
05EPC-0364, 053PC-0365, 05EPC-0366, 05EPC-  
0367, 05DRB-01293, 05DRB-01294] (M-9) **THE  
ABOVE REQUEST WAS REVIEWED AND  
COMMENTS WERE GIVEN.**

26. **Project # 1004801**  
06DRB-00438 Minor-Sketch Plat or  
Plan

TIERRA WEST LLC agent(s) for FRATERNAL  
ORDER OF POLICE, ALBUQUERQUE LODGE 1  
request(s) the above action(s) for all or a portion of  
Tract(s) 1 & 2, **FRATERNAL ORDER OF POLICE  
ADDITION**, zoned SU-1 FOR IP, located on  
JEFFERSON ST NE and the BEAR ARROYO and  
containing approximately 10 acre(s). [REF: SP-77-71]  
(E-17) **THE ABOVE REQUEST WAS REVIEWED  
AND COMMENTS WERE GIVEN.**

27. **Project # 1004803**  
06DRB-00445 Minor-Sketch Plat or  
Plan

DAVID W SPRAGUE agent(s) for GREATER  
ALBUQUERQUE HABITAT FOR HUMANITY  
request(s) the above action(s) for all or a portion of  
Lot(s) A-H, **LOS BLANCOS ADDITION**, zoned R-T,  
located on 75<sup>TH</sup> ST NW, between CENTRAL ST NW  
and YUCCA NW containing approximately 2 acre(s).  
**(K-10) THE ABOVE REQUEST WAS REVIEWED  
AND COMMENTS WERE GIVEN.**

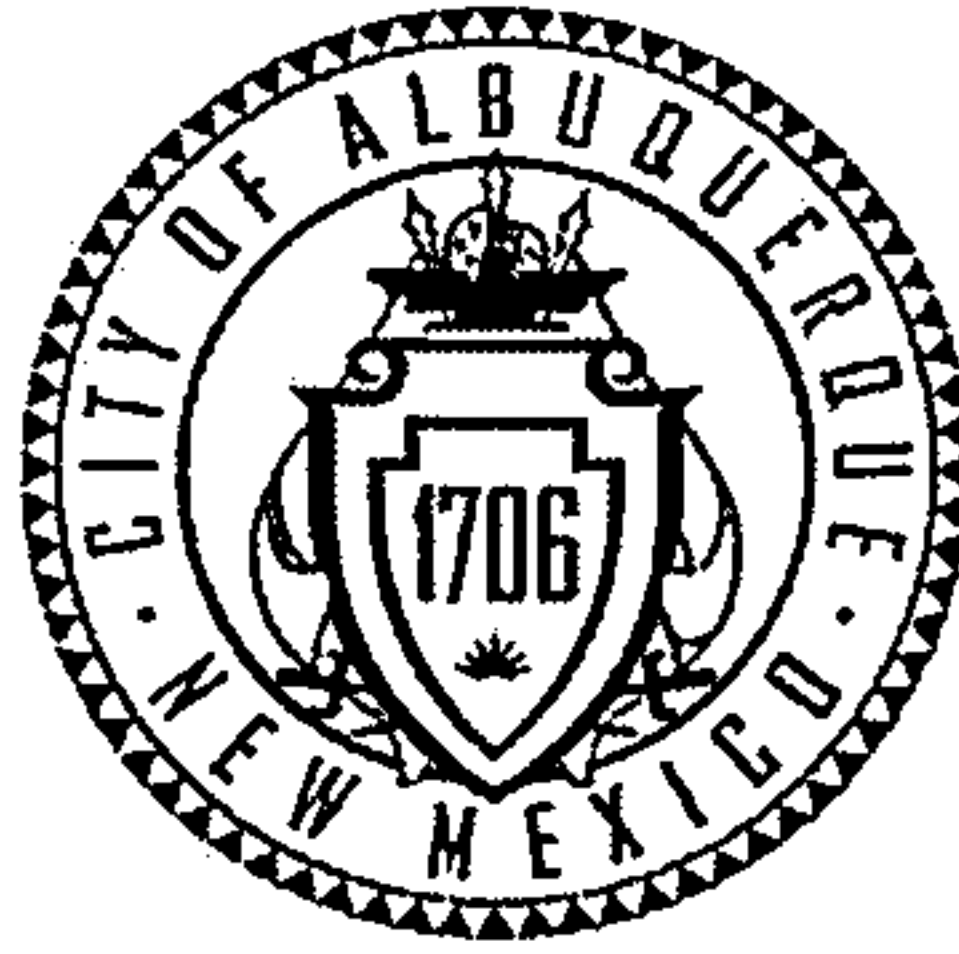
28. **Project # 1004804**  
06DRB-00449 Minor-Sketch Plat or  
Plan

JESUS SANDOVAL agent(s) for ALEX MCLUSSE  
request(s) the above action(s) for all or a portion of  
Lot(s) 10 & 11A, Block(s) 8, **CASAS SERNAS**, zoned  
R-2, located on PENNSYLVANIA SE, between  
TRUMBULL SE and BELL SE containing  
approximately 1 acre(s). **(L-19) THE ABOVE  
REQUEST WAS REVIEWED AND COMMENTS  
WERE GIVEN.**

29. Approval of the Development Review Board Minutes for April 5, 2006. **NO MINUTES WERE  
DONE THIS WEEK.**

ADJOURNED: 12:05 P.M.





#7

**CITY OF ALBUQUERQUE, PLANNING DEPARTMENT  
INTERNAL MEMORANDUM**

**TO:** Sheran Matson, Chairperson – Development Review Board

**FROM:** David Stallworth, Planner

**COPIES TO:** Claire Senova, Development Review  
Andrew Garcia, Development Review

**DATE:** April 11, 2006

**RE:** **PROJECT NO. 1003364, Case Number 06DRB – 00430, Paseo Place  
at Holly**

The applicant **did not** submit a preliminary site plan for staff review as required by Condition number two (2) of the site development plan for Case **06EPC – 00078** as approved by the Environmental Planning Commission on April 20, 2006. Below are my comments to Conditions three (3) and five (5) through ten (10):

Condition number:

3. All observed format-related deficiencies brought to the attention of the applicant by the staff planner shall be satisfactorily addressed on the final site plan. **OK**
5. With respect to site plan layout and configuration, the following conditions shall apply:
  - a. The applicant shall either relocate the trash enclosure to a less conspicuous area of the site or revise the enclosure design to include additional architectural elements in conjunction with a greater emphasis of evergreen screening. The project will comply with all SWMD ordinances and requirements. **OK**
  - b. The applicant shall provide a minimum 400-square-foot public area or suitable alternative accommodations, as required under guideline 5.4.6.8R.3 of the *La Cueva Sector Development Plan*. **It is not clear where this is provided on site.**
  - c. The applicant shall provide an alternative location for the bicycle rack that is closer to the retail center building entrance. **OK**

6. With respect to architecture and signage, the following conditions shall apply:
  - a. The retail center building shall comply with guideline 5.4.6.4R.2 of the *La Cueva Sector Development Plan* governing facade consistency. The applicant can employ, but is not limited to, similar architectural elements found along the building's front façade, vegetated trellising, and/or a heavier emphasis on evergreen trees and screening. **OK**
  - b. The applicant shall provide a view analysis that identifies views both into and out of the site and indicates view preservation, in accordance with guideline 5.4.6.11R.1 of the *La Cueva Sector Development Plan*. **NOT DONE**
  - c. The applicant shall clarify whether the proposed shade screening along the south façade is deep enough to meet the intent of both guidelines 5.4.6.5R.7 and 5.4.6.3R.4 of the *La Cueva Sector Development Plan*. Adequate shade screening shall also be installed along the building's west façade. **NOT DONE**
  - d. On-premise signage shall adhere to guidelines established under policy 5.4.6.13 of the governing sector plan. Details on sign illumination, type and design shall be furnished on the final site plan. **According to 5.4.6.13R.8 of the La Cueva Plan, lettering is limited to 2' height. Is this carried over onto cabinet signage, as well? Max sign area is per the Zoning Code.**
  
7. With respect to site access, circulation and parking, the following conditions shall apply:
  - a. The applicant shall demonstrate pedestrian connectivity to the rest of the overall development as well as to the lot east of the site. **OK**
  - b. The applicant shall furnish at least one (1) motorcycle parking space for the site. **OK**
  
8. With respect to lighting, security, walls and fences, the following conditions shall apply:
  - a. The applicant shall provide wall sconces or suitable alternative security lighting along the north and east elevations of the retail center building to mitigate any potential CPTED problems. **OK**
  - b. The applicant shall ensure that any on-site lighting throughout the overall development is shielded in order to provide downward light emission and prevent both light trespass and upward light pollution. The details and specifications of any proposed site lighting shall be provided on the final site plan. **OK, but details of wall sconces have not been provided on the site plan.**
  - c. All references to the "existing" 6-foot CMU wall along the site's east boundary shall be removed from the final site plan. Design and construction details on on-site walls shall be furnished on the final site plan. All walls shall conform to design standards outlined in §14.16.3.19.B.2 of the Zoning Code. New walls for this development shall be subject to the approval of the City Traffic Engineer to



address matters of reciprocal access and parking with adjoining undeveloped lots, given the overall site's access constraints along Paseo Del Norte. **OK**

9. With respect to landscaping, the following conditions shall apply:
  - a. The final landscape plan shall be formatted in accordance with §14.16.3.10.C of the Zoning Code. **OK**
  - b. The final landscape plan shall exclude the proviso that reads "Final landscape layout and design to be determined upon receipt of final grading plan." **NOT DONE**
10. The applicant shall provide for reciprocal access to lot number 4 to the east of the site. **Needs to shown on the site plan, either through easement or through a statement to that effect.**

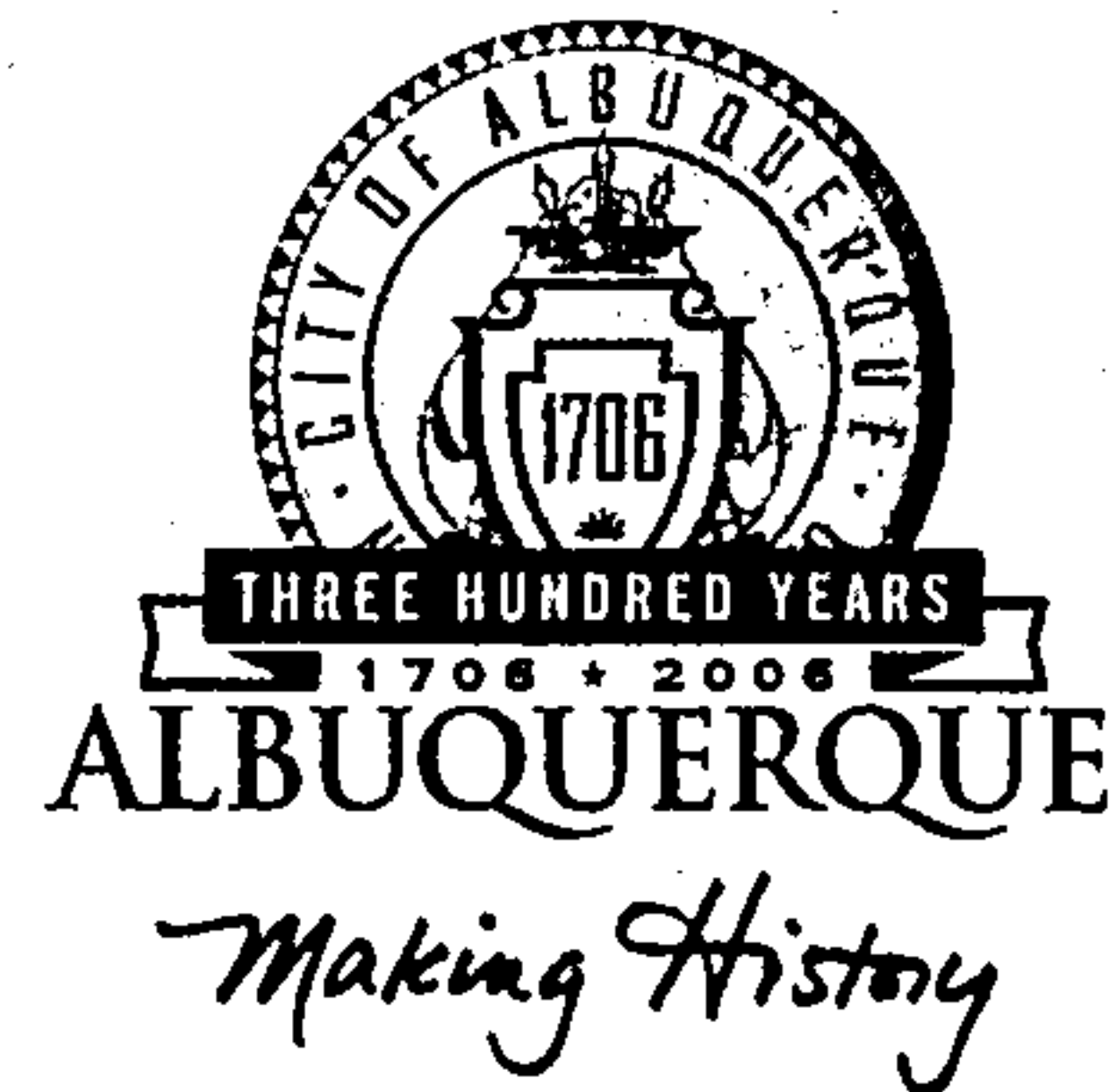
In addition to the above-mentioned comments, the following additional observations have been made:

1. The site plan includes references to loading zones along Holly that were **not part of the approved site plan.**

Thank you.

A handwritten signature in cursive script, appearing to read "Stallworth".

# CITY OF ALBUQUERQUE



PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1003364

AGENDA ITEM NO: 7

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham  
City Engineer/AMAFCA Designee

DATE: April 12, 2006

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: PHIL LINDBORG PHONE: 450.4388  
 ADDRESS: 12809 DONETTE COURT NE FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87112 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_

AGENT (if any): TAFAZZUL HUSSAIN PHONE: (505) 243.9093  
 ADDRESS: 2501 YALE BLVD., SUITE 102 FAX: (505) 243.1561  
 CITY: ALBUQUERQUE STATE NM ZIP 87106 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: FINAL SIGN OFF.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. LOT 1-A-1-A-2 / TRACT 2 Block: 10 Unit: 3  
 Subdiv. / Addn. NORTH ALBUQUERQUE ACRES (TBK PASEO PLACE)  
 Current Zoning: SU-2 MIXED USED Proposed zoning: C-1  
 Zone Atlas page(s): C-19-Z No. of existing lots: 1 No. of proposed lots: 1  
 Total area of site (acres): 0.60 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO.  
 UPC No. PART OF: 101906402303630130 MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near SOUTH SIDE OF HOLLY AVE @  
830 LOUISIANA NE  
 Between: LOUISIANA NE and WYOMING NE

**CASE HISTORY:** David Still with EPC Case Planner  
 List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.):  
DRB: 95-478, EPC PROJECT NO. 1003364, 06 EPC: 00078 CASE NO. \_\_\_\_\_

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team? Date of review: \_\_\_\_\_

SIGNATURE: Tafazzul Hussain DATE: 4/3/06  
 (Print) TAFAZZUL HUSSAIN Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

- INTERNAL ROUTING**
- All checklists are complete
  - All fees have been collected
  - All case #s are assigned
  - AGIS copy has been sent
  - Case history #s are listed
  - Site is within 1000ft of a landfill
  - F.H.D.P. density bonus
  - F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>06DRB: 00430</u>	<u>SBP</u>	<u>7(3)</u>	<u>\$ -0-</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>4-12-06</u>			Total <u>\$ 20.00</u>

Kim S... 4/4/06

Project # 1003364



FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Completed Site Plan for Subdivision Checklist
  - Infrastructure List, if relevant to the site plan
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan *N/A B/LB*
  - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

*TAFAZZUL HUSSAIN*

*Tafazzul Hussain*

Applicant name (print)

*Tafazzul Hussain* *4/3/06*

Applicant signature / date



Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

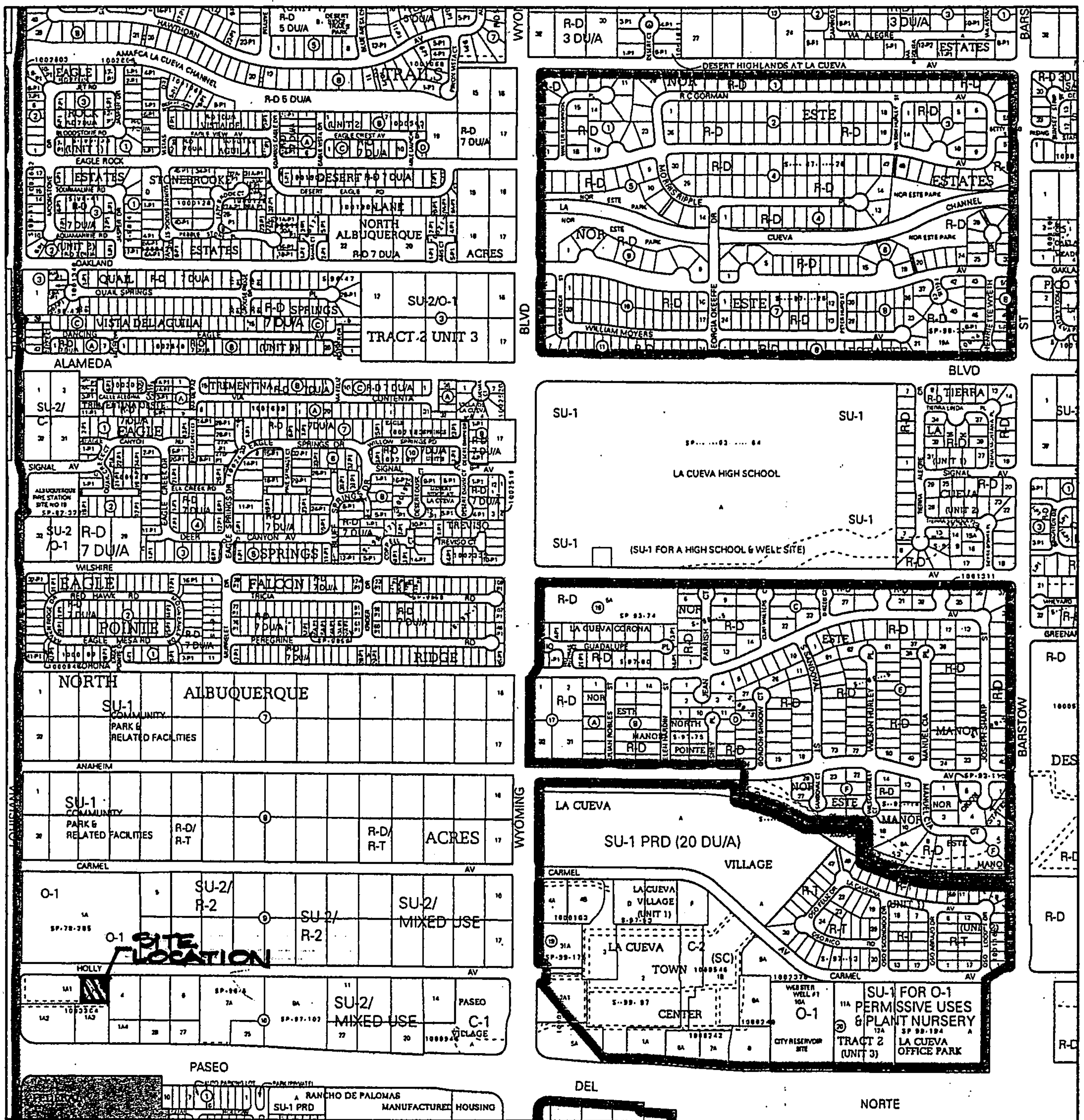
*Old DRB - - 00430*

*Kim Sims* *4/4/06*

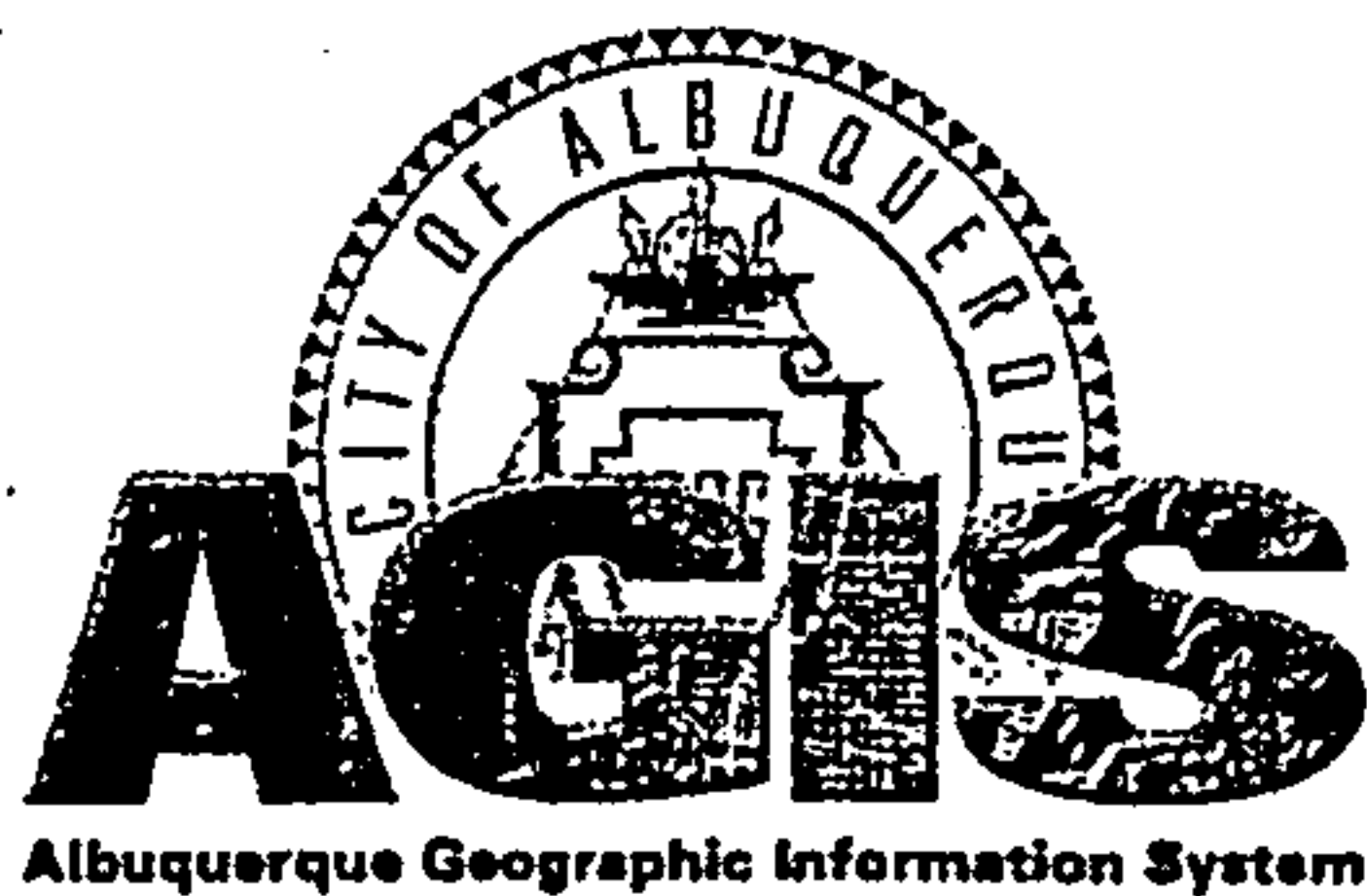
Planner signature / date

**Project # 1003364**

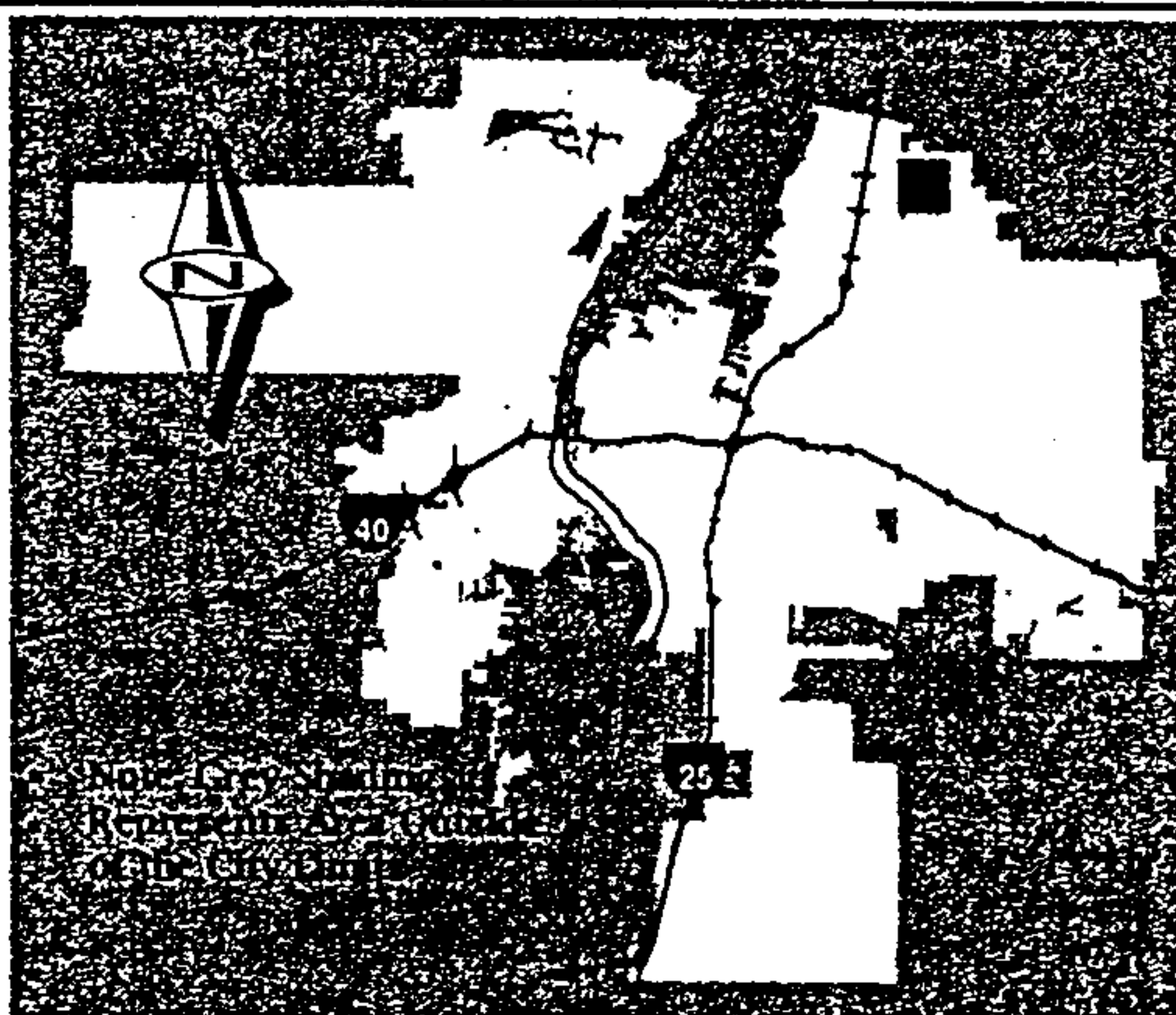




For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: Apr 07, 2005

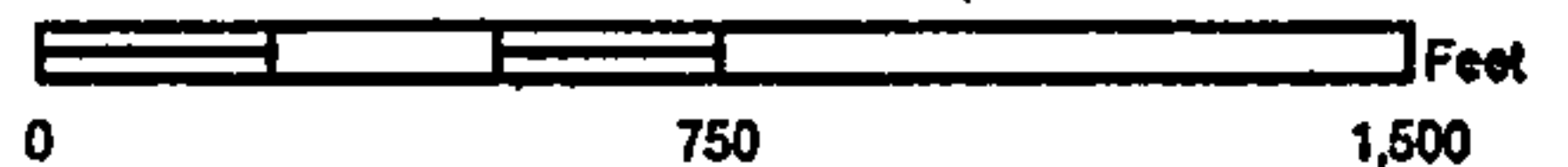


Zone Atlas Page:

**C-19-Z**

Selected Symbols

- Outside City Limits
- Sector Plans
- Design Overlay Zones
- City Historic Zone
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





# Afra Construction & Design

2501 Yale Blvd. SE Suite 102  
Albuquerque, NM 87106  
505-243-9093  
505-243-1561

April 4, 2006

Richard Dineen  
Planning Director  
City of Albuquerque Planning Department  
P.O. Box 1293  
Albuquerque, NM 87103

Re: File: **Project # 1003364**  
06 EPC-00078 EPC  
Site Development Plan- Building Permit (Paseo Place)

**LEGAL DESCRIPTION:** for all or a portion of Lot 1-A-1-A-2, Tract 2, **North Albuquerque Acres, U-3**, zoned SU-2 / Mixed Use, located on the south side of Holly Ave., NE, between Louisiana Blvd., NE and Wyoming Blvd., NE, containing approximately 1 acre. (C-19) David Stallworth, Staff Planner.

Dear Mr. Dineen,

Thank you for responding to our EPC request regarding the Paseo Place Office/ Retail project. The concerned findings and conditions brought to our attention for final site development plan – building permit ‘sign off’- have been rectified on the drawings pertaining to each issue, and will be visible when filing for DRB approval.

Specified conditions and subsequent modifications are addressed below :  
(Conditions per Official Notice of Decision , March 17, 2006)

4. With respect to engineering considerations, the following conditions shall apply:
- b) The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those standards will include but are not limited to sidewalks (std. dwg. 2441), driveways (std. dwg. 2425).  
**Complied, see drawing SP-1.**
  - c) Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required. **Complied.**
  - d) Site driveways to be located by TIS. **Complied, existing condition, see drawing SP-1.**
  - e) Site plan shall comply and be designed per DPM Standards. **Complied.**



5. With respect to site plan layout and configuration, the following conditions shall apply:
  - a) The applicant shall either relocate the trash enclosure to a less conspicuous area of the site or revise the enclosure design to include additional architectural elements in conjunction with a greater emphasis on evergreen screening. The project will comply with all SWMD ordinances and requirements. **Complied, see drawing SP-1.**
  - b) The applicant shall provide a minimum of 400-square-foot public area or suitable alternate accommodations, as required under guidelines 5.4.6.8R.3 of La Cueva Sector Development Plan. **Complied, 4% x 7,800 SF = 312 SF < 370 SF provided, see drawing SP-1.**
  - c) The applicant shall provide an alternative location for the bicycle rack that is closer to the retail center building entrance. **Complied, see drawing SP-1.**
  
6. With respect to architecture and signage, the following conditions shall apply:
  - a) The retail center building shall comply with guideline 5.4.6.4R.2 of the La Cueva Sector Development plan governing façade consistency. The applicant can employ, but is not limited to, similar architectural elements found along the building's front façade, vegetated trellising, and/or a heavier emphasis on evergreen trees and screening. **Complied, see drawing L-1.**
  - b) The applicant shall provide a view analysis that identifies views both into and out of the site, and indicates view preservation in accordance with guideline 5.4.6.11R.1 of the La Cueva Sector Development Plan. **Complied, see view arrows on drawing SP-1.**
  - c) The applicant shall clarify whether the proposed shade screening along the south façade is deep enough to meet the intent of both guidelines 5.4.6.5R.7 and 5.4.6.3R.4 of the La Cueva Sector Development Plan. Adequate shade screening shall also be installed along the building's west façade. **Complied, see drawing A-2.**
  - d) On-premise signage shall adhere to guidelines established under policy 5.4.6.13 of the governing sector plan. **Complied, Refer to City of Albuquerque, Part 2: Zoning Code, section 14-16-2-16 C-1 (11), (C), 2, a., ii, and drawings A-1 and A-2.**
  
7. With respect to access, circulation and parking, the following conditions shall apply:
  - a) The applicant shall demonstrate pedestrian connectivity to the rest of the overall development as well as to the lot east of the site. **Complied, see drawing SP-1.**
  - b) The applicant shall furnish at least one (1) motorcycle parking space for the site. **Complied, see drawing SP-1.**
  
8. With respect to lighting, security, walls and fences, the following conditions shall apply:
  - a) The applicant shall provide wall sconces or suitable alternate security lighting along the north and east elevations of the retail center building to mitigate any potential CPTED problems. **Complied, see drawings A-1 and A-2.**
  - b) The applicant shall ensure that any on-site lighting throughout the overall development is shielded in order to provide downward light emission and prevent both light trespass and upward light pollution. The details and specifications of any proposed site lighting shall be provided on the final site plan. **Complied, see drawings SP-1, A-1 and A-2.**
  - c) All references to the "existing" 6 foot CMU wall along the site's east boundary shall be removed from the final site plan. All walls shall conform to design standards outlined in 14.16.3.19.B.2 of the Zoning Code. New walls for this development shall be subject to the approval of the City Traffic Engineer to address matters of reciprocal access and parking with adjoining undeveloped lots, given the overall site's access constraints along Paseo del Norte.

**Complied.**

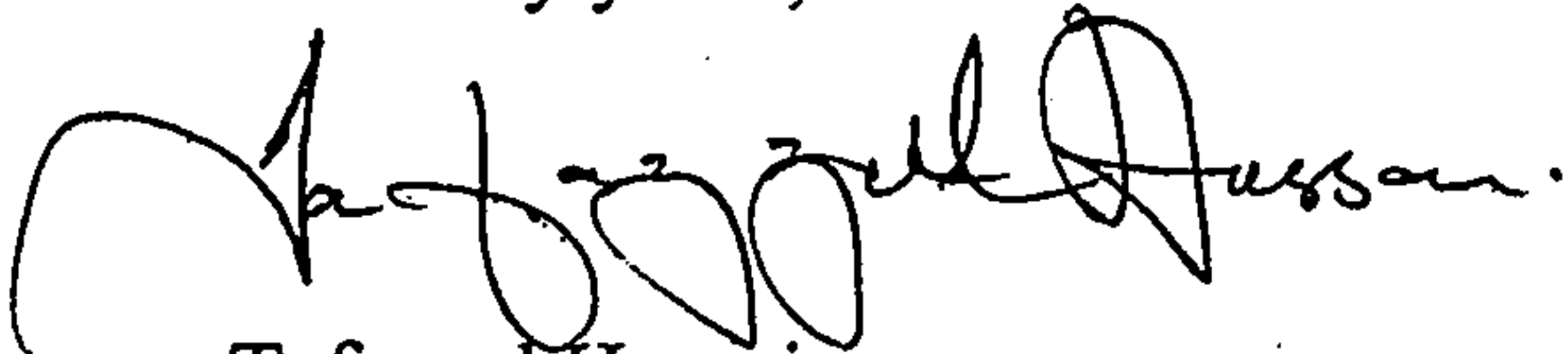
9. With respect to landscaping, the following conditions shall apply:

- a) The final landscape plan shall be formatted in accordance with 14.16.3.10.C of the Zoning Code. **Complied, see calculations on drawing L-1.**
- b) The final landscape plan shall exclude the proviso that reads "Final landscape layout and design to be determined upon receipt of final grading plan." **Complied, see drawing L-1.**

10. The applicant shall provide for reciprocal access to lot number 4 to the east of the site. **Complied, see drawing SP-1.**

Thank you for your consideration in this matter. Please do not hesitate to call me at (505) 315-1482 if you have any questions.

Sincerely yours,

A handwritten signature in black ink, appearing to read "Tafazzul Hussain". The signature is fluid and cursive, with a large initial 'T' and 'H'.

Tafazzul Hussain

President

Afra Construction & Design



ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

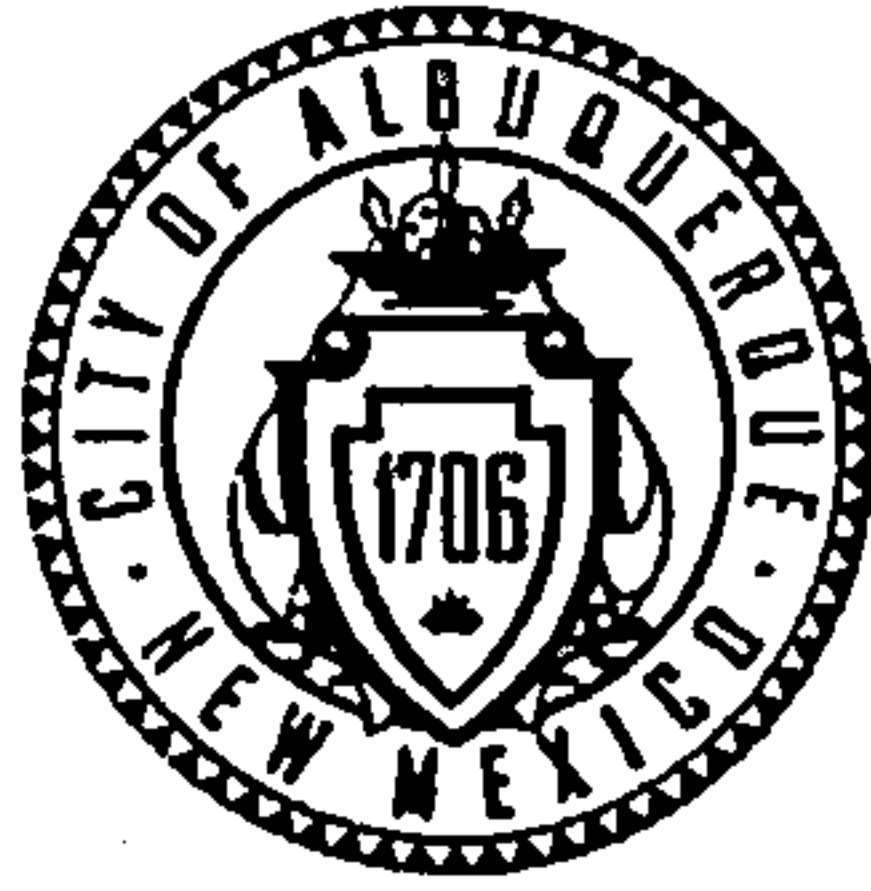
APPLICANT NAME PHIL LINDBORG  
AGENT TAFAZZUL HUSSAIN  
ADDRESS 2501 YALE BLVD.  
PROJECT & APP # 1003364 / 06DRB-00430  
PROJECT NAME PASEO PLACE

\$ 20.00 441032/3424000 Conflict Management Fee  
\$ \_\_\_\_\_ 441006/4983000 DRB Actions  
\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
\$ \_\_\_\_\_ 441018/4971000 Public Notification  
\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study  
\$ 20.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque  
Treasury Division  
DHPrint 47X1  
REVISION 4.09 MK 173A  
4/4/2006 9:03AM LOC: ANNX  
RECEIPT# 00060135 WSH 007 TRANSH 0006  
Account 441032 Fund 0110  
Activity 3424000 TRSKAL  
Transmittal \$20.00  
J24 Misc FONT 7K RAM BUFFER  
\$20.00  
CK \$20.00  
CHANGE \$0.00

Thank You.



City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: March 17, 2006

**OFFICIAL NOTIFICATION OF DECISION**

FILE: **Project # 1003364\***  
06EPC-00078 EPC Site Development Plan-  
Building Permit

Tafazzul Hussain  
2501 Yale Blvd. SE, Ste 102  
Albuq. NM 87106

**LEGAL DESCRIPTION:** for all or a portion of Lot 1-A-1-A-2, Tract 2, North Albuquerque Acres, U-3, zoned SU-2/Mixed Use, located on the south side of HOLLY AVE., NE, between LOUISIANA BLVD., NE and WYOMING BLVD., NE, containing approximately 1 acre. (C-19) David Stallworth, Staff Planner

On March 16, 2006 the Environmental Planning Commission voted to approve Project 1003364/06EPC.00142, a site development plan for building permit, for Lot 1-A-1-A-2, Tract 2, North Albuquerque Acres, U-3, zoned SU-2/Mixed Use, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for consideration and approval of a site development plan for building permit on a +/-1-acre site identified as **Lot 1-A-1-A-2, Tract 2, North Albuquerque Acres, U-3**, for the construction of a small-scale retail center containing a total building area of +/-7,800 gross square feet that could potentially house up to five (5) tenants.
2. The project site was part of a recently approved site plan for a two-lot subdivision (05EPC – 00941). The parent parcel was part of a previous four-lot site plan for subdivision that was approved in May of 2004 (04EPC – 00494 and 00495). The proposed retail center development is appropriate, given the near-completed development of a fast-food restaurant, an automobile parts store and an automobile service shop to the south and southwest of the site, and the pending development of a convenience store to the west.
3. On March 8, 2004, a traffic impact analysis was submitted for the overall 4.5-acre non-residential development, of which this project site is a part. It was concluded that the overall development will generate minimal adverse impact upon the surrounding area.



4. With the implementation of recommended conditions, the request will satisfy the following policies of the *City/County Comprehensive Plan*:
  - a. *Policies II.B.5.d, II.B.5.l and II.B.5.k* – The site plan review process plays a crucial role in maintaining area values, ensuring a safe, visually amenable and integral development and providing the opportunity for affected residents to participate and offer input relative to the proposed development of the property.
  - b. *Policy II.B.5.e* – The project site is located on an existing public street right-of-way and has access to existing municipal services.
  - c. *Policy II.B.5.i* – The site plan review process should mitigate potential adverse impacts upon the surrounding area. The proposed development should provide a reasonable level of goods, services and employment within a convenient distance.
5. The proposal represents quality development that will offer neighborhood-scale goods and services into an area identified as suitable for such purposes, which is in keeping with the *La Cueva Sector Development Plan*. With the implementation of recommended conditions, the project will appropriately respond to the natural environment of the northeast mesa and reinforce the area's identity.
6. The applicant has standing to request consideration and approval of a site development plan for building permit purposes on Lot 1-A-1-A-2, Tract 2, North Albuquerque Acres, U-3, per the Zoning Code.
7. There is no known public opposition to the request. Two (2) registered neighborhood associations were notified of this development request.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to an application for final DRB sign-off, the applicant shall meet with the staff planner to ensure that all conditions of approval are satisfactorily met.
3. All observed format-related deficiencies brought to the attention of the applicant by the staff planner shall be satisfactorily addressed on the final site plan.

4. With respect to engineering considerations, the following conditions shall apply:
  - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
  - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
  - d. Site driveways to be located per TIS.
  - e. Site plan shall comply and be designed per DPM Standards.
  
5. With respect to site plan layout and configuration, the following conditions shall apply:
  - a. The applicant shall either relocate the trash enclosure to a less conspicuous area of the site or revise the enclosure design to include additional architectural elements in conjunction with a greater emphasis of evergreen screening. The project will comply with all SWMD ordinances and requirements
  - b. The applicant shall provide a minimum 400-square-foot public area or suitable alternative accommodations, as required under guideline 5.4.6.8R.3 of the *La Cueva Sector Development Plan*.
  - c. The applicant shall provide an alternative location for the bicycle rack that is closer to the retail center building entrance.
  
6. With respect to architecture and signage, the following conditions shall apply:
  - a. The retail center building shall comply with guideline 5.4.6.4R.2 of the *La Cueva Sector Development Plan* governing facade consistency. The applicant can employ, but is not limited to, similar architectural elements found along the building's front façade, vegetated trellising, and/or a heavier emphasis on evergreen trees and screening.
  - b. The applicant shall provide a view analysis that identifies views both into and out of the site and indicates view preservation, in accordance with guideline 5.4.6.11R.1 of the *La Cueva Sector Development Plan*.
  - c. The applicant shall clarify whether the proposed shade screening along the south façade is deep enough to meet the intent of both guidelines 5.4.6.5R.7 and 5.4.6.3R.4 of the *La Cueva Sector Development Plan*. Adequate shade screening shall also be installed along the building's west façade.
  - d. On-premise signage shall adhere to guidelines established under policy 5.4.6.13 of the governing sector plan. Details on sign illumination, type and design shall be furnished on the final site plan.



**OFFICIAL NOTICE OF DECISION**

**APRIL 20, 2006**

**PROJECT #1003364**

**PAGE 4 OF 5**

7. With respect to access, circulation and parking, the following conditions shall apply:
  - a. The applicant shall demonstrate pedestrian connectivity to the rest of the overall development as well as to the lot east of the site.
  - b. The applicant shall furnish at least one (1) motorcycle parking space for the site.
  
8. With respect to lighting, security, walls and fences, the following conditions shall apply:
  - a. The applicant shall provide wall sconces or suitable alternative security lighting along the north and east elevations of the retail center building to mitigate any potential CPTED problems.
  - b. The applicant shall ensure that any on-site lighting throughout the overall development is shielded in order to provide downward light emission and prevent both light trespass and upward light pollution. The details and specifications of any proposed site lighting shall be provided on the final site plan.
  - c. All references to the "existing" 6-foot CMU wall along the site's east boundary shall be removed from the final site plan. Design and construction details on on-site walls shall be furnished on the final site plan. All walls shall conform to design standards outlined in §14.16.3.19.B.2 of the Zoning Code. New walls for this development shall be subject to the approval of the City Traffic Engineer to address matters of reciprocal access and parking with adjoining undeveloped lots, given the overall site's access constraints along Paseo Del Norte.
  
9. With respect to landscaping, the following conditions shall apply:
  - a. The final landscape plan shall be formatted in accordance with §14.16.3.10.C of the Zoning Code.
  - b. The final landscape plan shall exclude the proviso that reads "Final landscape layout and design to be determined upon receipt of final grading plan."
  
10. The applicant shall provide for reciprocal access to lot number 4 to the east of the site.

**IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MARCH 31, 2006 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.**

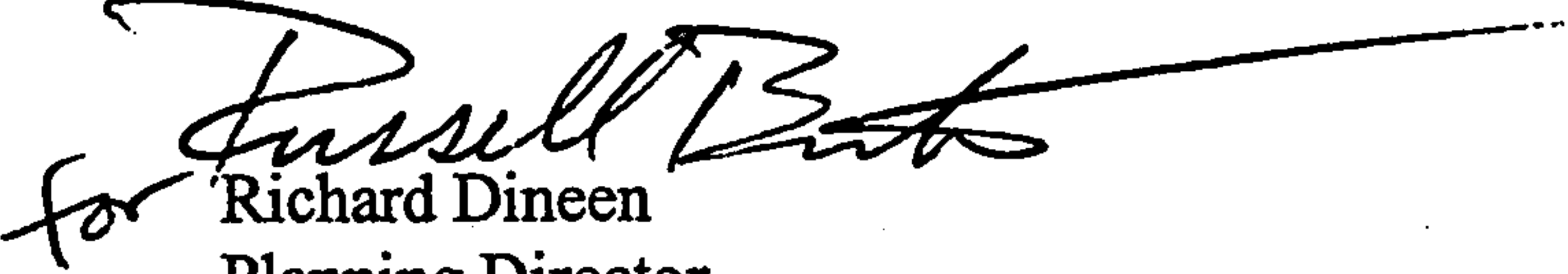
OFFICIAL NOTICE OF DECISION  
APRIL 20, 2006  
PROJECT #1003364  
PAGE 5 OF 5

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

  
for Richard Dineen  
Planning Director

RD/DS/ac

cc: Judie Pellegrino, North Domingo Baca, 8515 Murrelot NE, Albuquerque, NM 87113  
Jeff Peterson, North Domingo Baca, 7205 Peregrino Rd. NE, Albuquerque, NM 87113