

KEYED NOTES

1. HANDICAPPED RAMP PER C.O.A. STD DWG # 2441. 1:12 SLOPE MAX.
2. EXISTING HEADER CURB.
3. NEW 6" HEADER CURB PER C.O.A. STD DWG #2415
4. CONCRETE WHEEL STOP.
5. ACCESSIBLE PARKING SIGN TYPICAL ALL HANDICAPPED PARKING SPACES. SEE DETAIL A3 THIS SHEET.
6. EXISTING SIDEWALK.
7. CURB AT EDGE OF STREET.
8. NEW 4'-0" SPLIT FACE CMU RETAINING WALL.
9. NEW 34" HIGH SPLIT FACE CMU WALL.
10. STEEL BOLLARD FILLED WITH CONCRETE, TYP.
11. 8" SPLIT FACED CMU WALL. 7'-6" HIGH.
12. 6" THICK CONCRETE APRON. 4,000 PSI, 3/4" AGGREGATE W/ 6X6-10/10 WWM OR EQUAL.
13. MOTORCYCLE PARKING SIGN. SEE DETAIL A3 THIS SHEET.
14. EXISTING ELECTRICAL TRANSFORMER.
15. PROPERTY LINE.
16. RIBBON BICYCLE RACK (4 SPACES).
17. CONCRETE SIDEWALK PER C.O.A. STD DWG #2430.
18. ENCLOSURE GATE.
19. EXISTING SIGNAGE (SEE A1/AS-101)
20. ASPHALT PAVING
21. HANDICAP PARKING SYMBOL.
22. 4" WIDE PAINTED STRIPES AT 12" O.C. COLOR WHITE.

NOTES:

REQUIRED PARKING:	23
PROVIDED:	23 (4 COMPACT)
REQUIRED ACCESSIBLE PARKING:	1
PROVIDED:	2 (BOTH VAN)
REQUIRED MOTORCYCLE PARKING:	1
PROVIDED:	1
REQUIRED BICYCLE PARKING:	2
PROVIDED:	4
TOTAL PREVIOUSLY APPROVED SITE PLAN BUILDING SQUARE FOOTAGE:	
WENDY'S	3235 SF
JIFFY LUBE	2192 SF
AUTOZONE	6759 SF
JUST BRAKES	3400 SF
TOTAL PREVIOUSLY APPROVED BLDG. SF:	15586 SF
10% ALLOWABLE INCREASE W/ADMINISTRATIVE AMENDMENT =	1559 SF
ACTUAL SQ. FT. INCREASE =	1200 SF

Fanning Bard Tatum Architects AIA, Ltd.
 6100 Indian School Rd. NE Ste 210
 Albuquerque NM 87110
 Phone 505/883.5200
 Facsimile 505/884.5390
 Web www.fbtarch.com

CONSULTANT

DRB ADMINISTRATIVE SITE PLAN AMENDMENT
 PROJECT NO. 1003364
 APPLICATION NO. 06 DRB-01232
 10/20/06
 PLANNING DIRECTOR

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	9/20/06
WATER/UTILITY DEPARTMENT	9/20/06
PARKS AND RECREATION DEPARTMENT	9/20/06
CITY ENGINEER	9/22/06
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	9/20/06
SOLID WASTE MANAGEMENT	9/20/06
DRB CHAIRPERSON, PLANNING DEPARTMENT	9/22/06

PROJECT NUMBER 1003364
APPLICATION NUMBER 06 DRB-01232

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List Required? () Yes () No
 If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

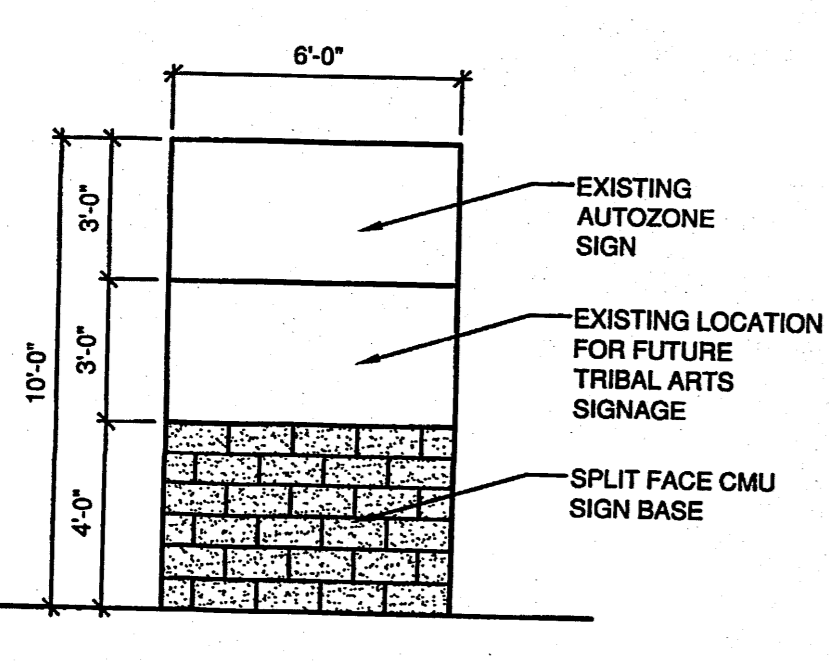
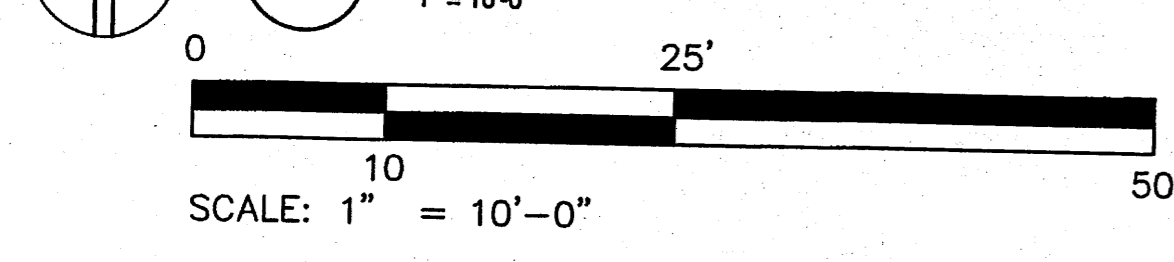
MARK	DATE	DESCRIPTION
△	1/16/07	ADDITION OF NOTES FOR CLARIFICATION
△	1/16/07	DIMENSION CHANGE
△	1/16/07	FIRE LANE, ACCESSIBLE RAMP, ACCESSIBLE PATH
△	1/16/07	RECONFIGURATION OF SPACES TO ALLOW FOR ADDITION OF 1 SPACE, RELOCATED ACCESSIBLE PARKING
△	1/16/07	ACCESSIBLE PARKING RELOCATED TO SOUTH OF BLDG.
△	1/16/07	1 SPACE DELETED, 3 CHANGED TO COMPACT CAR

PROJECT NO:	
CAD DWG FILE:	AS-101.DWG
DRAWN BY:	JLL
CHECKED BY:	JLL

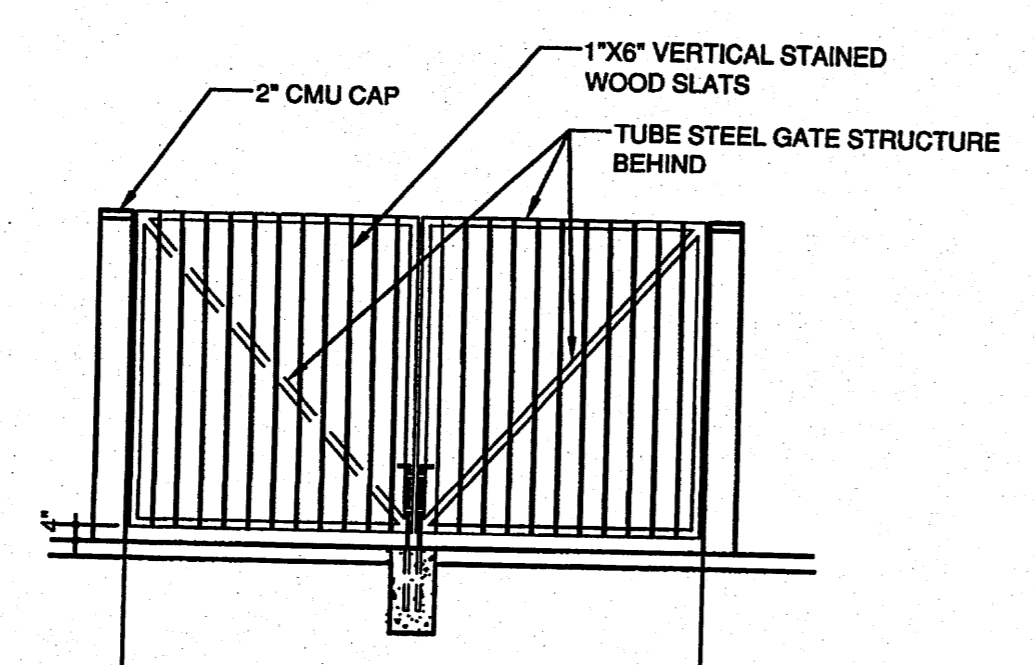
SHEET TITLE
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AMENDED LOUISIANA/PASEO

AS-101

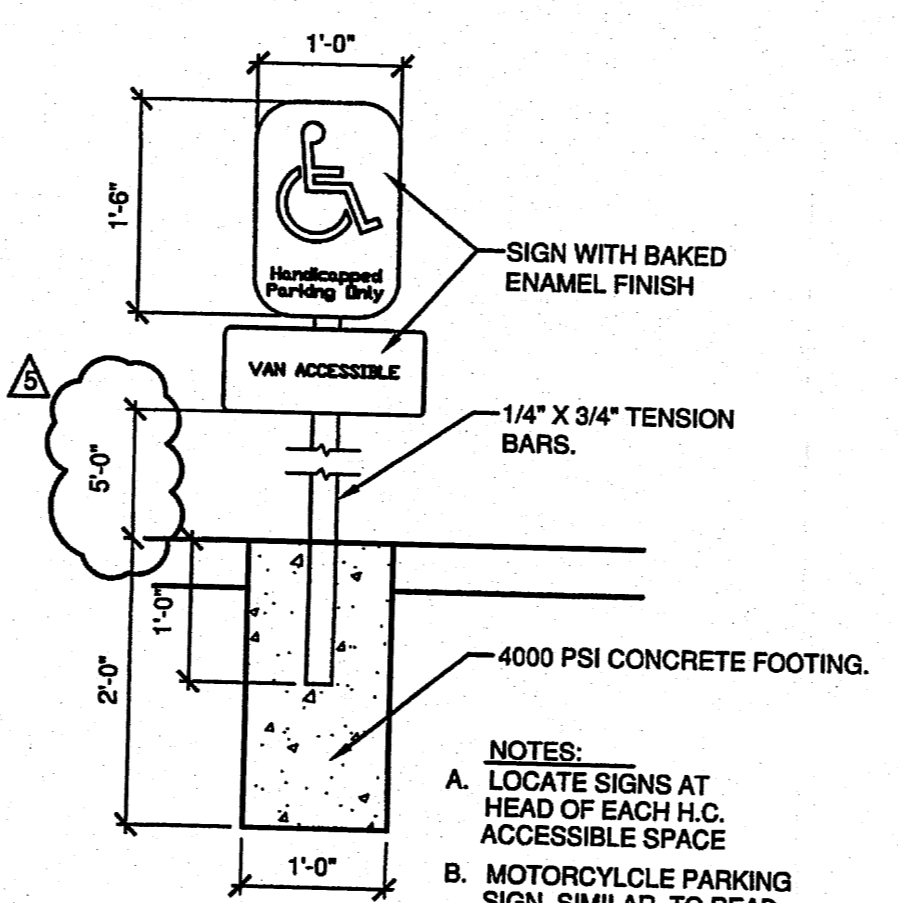
B1 AMENDED SITE PLAN



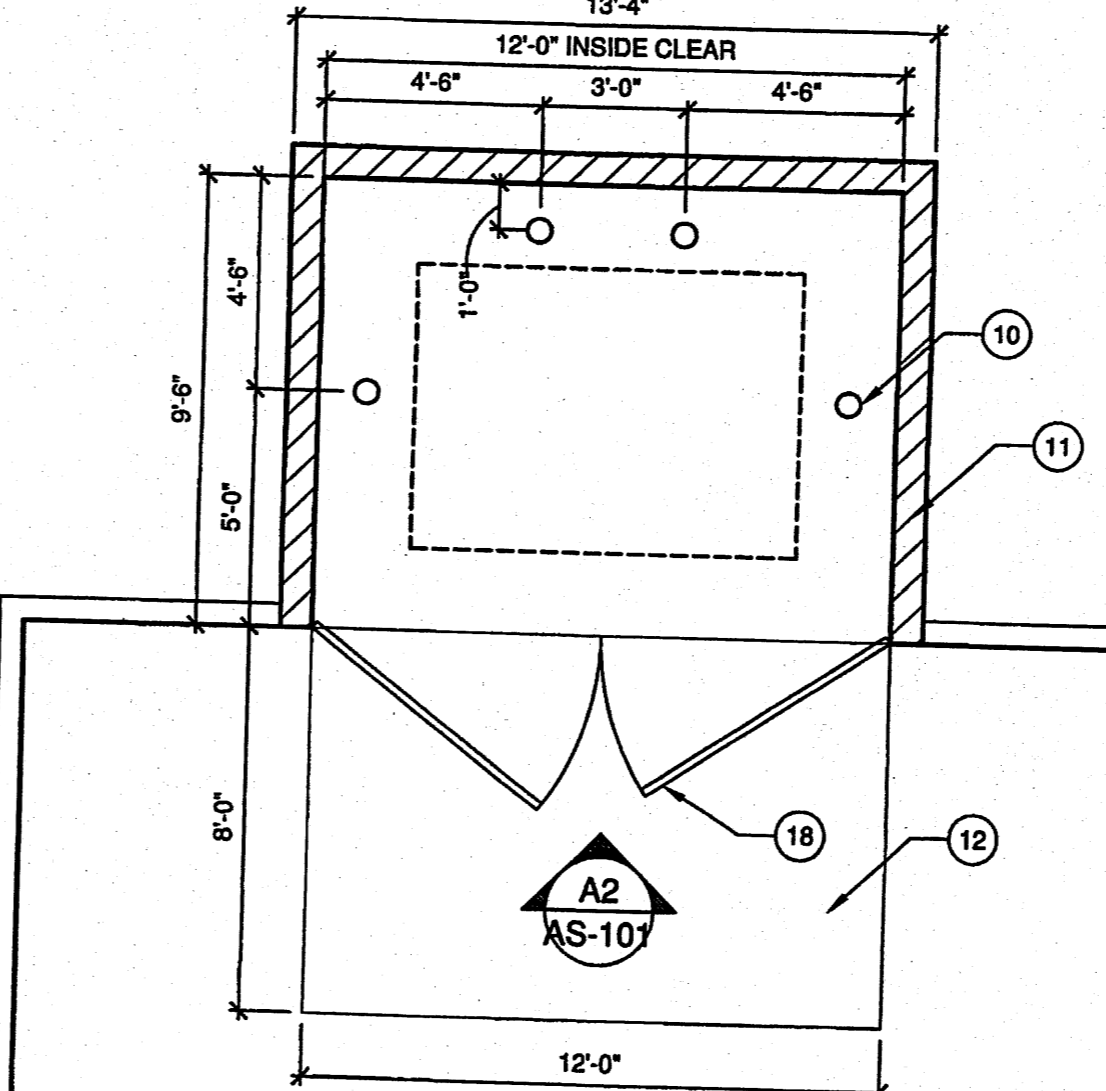
A1 EXISTING SIGNAGE ELEVATION
 1/4" = 1'-0"



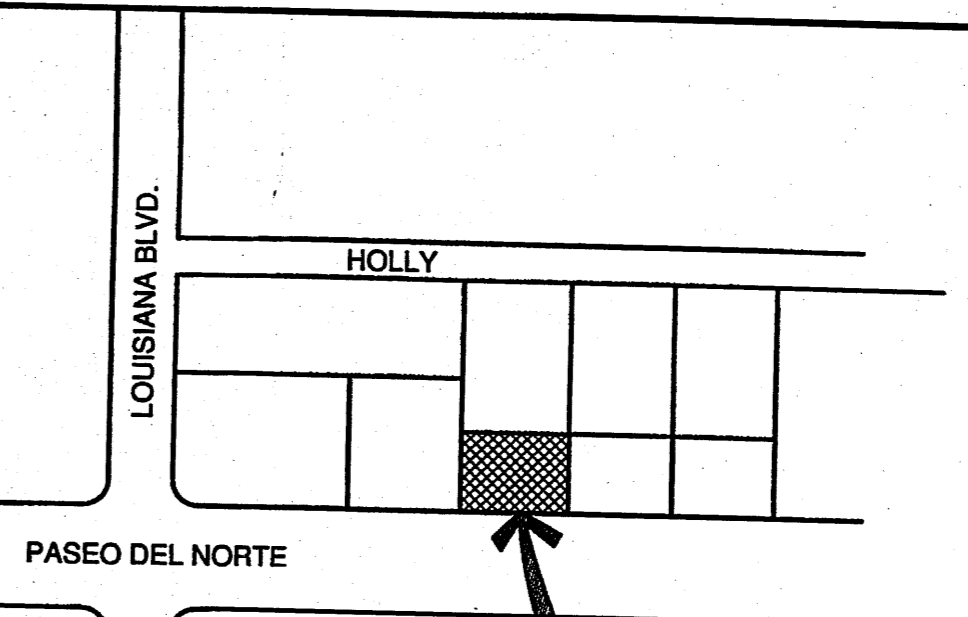
A2 DUMPSTER GATE ELEVATION
 1/4" = 1'-0"



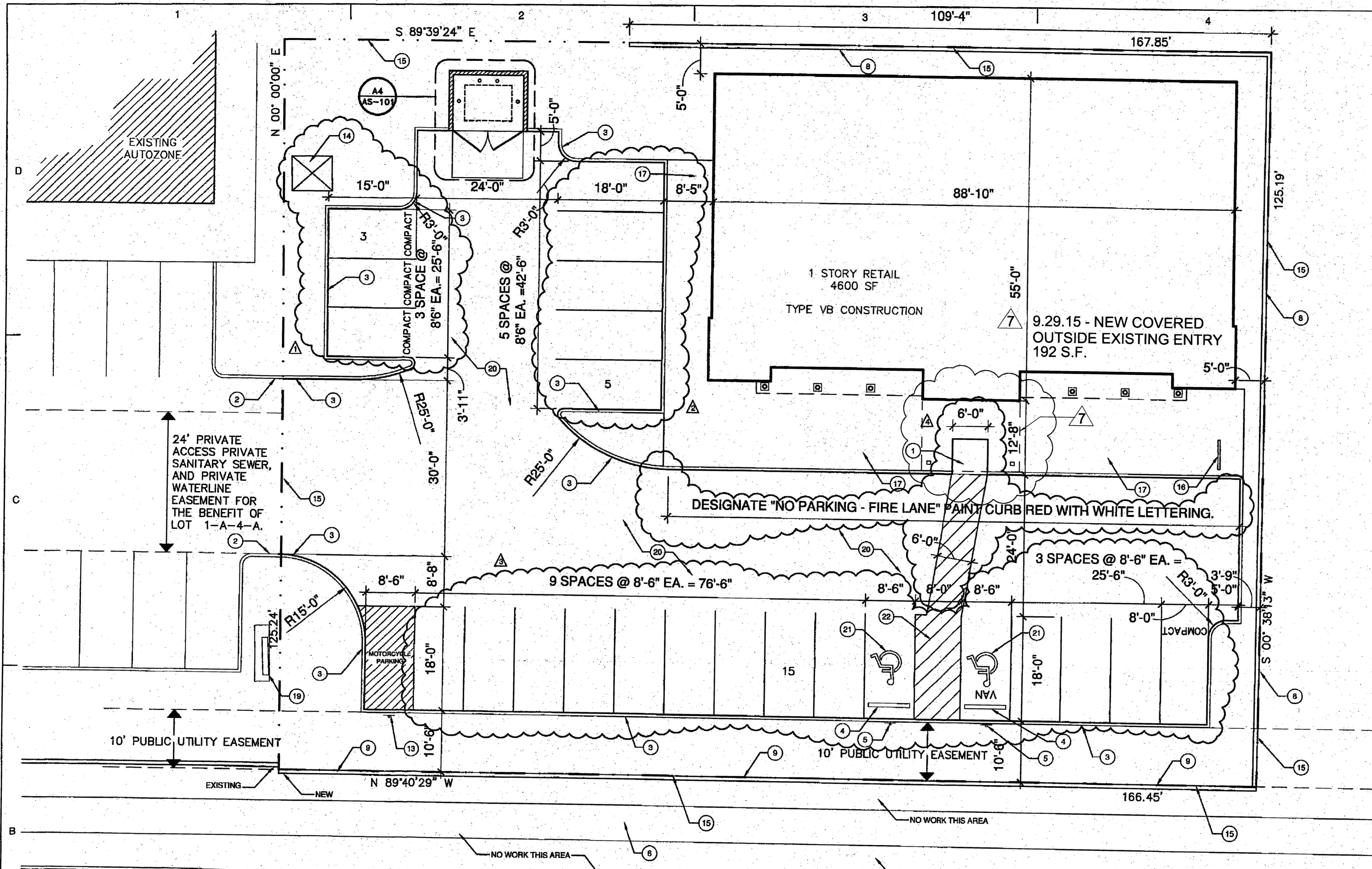
A3 ACCESSIBLE PARKING SIGN
 3/4" = 1'-0"



A4 DUMPSTER ENCLOSURE
 1/4" = 1'-0"



A5 VICINITY MAP
 1" = 300'



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ARCHITECTS

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CONSULTANT

DRB ADMINISTRATIVE SITE PLAN AMENDMENT

PROJECT NO. 1003364
APPLICATION NO. 06 DRB-01232

[Signature]
PLANNING DIRECTOR

[Signature]
DATE

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	9-20-06	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION		
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SOLID WASTE MANAGEMENT		
<i>[Signature]</i>	9/22/06	DATE
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PROJECT NUMBER 1003364

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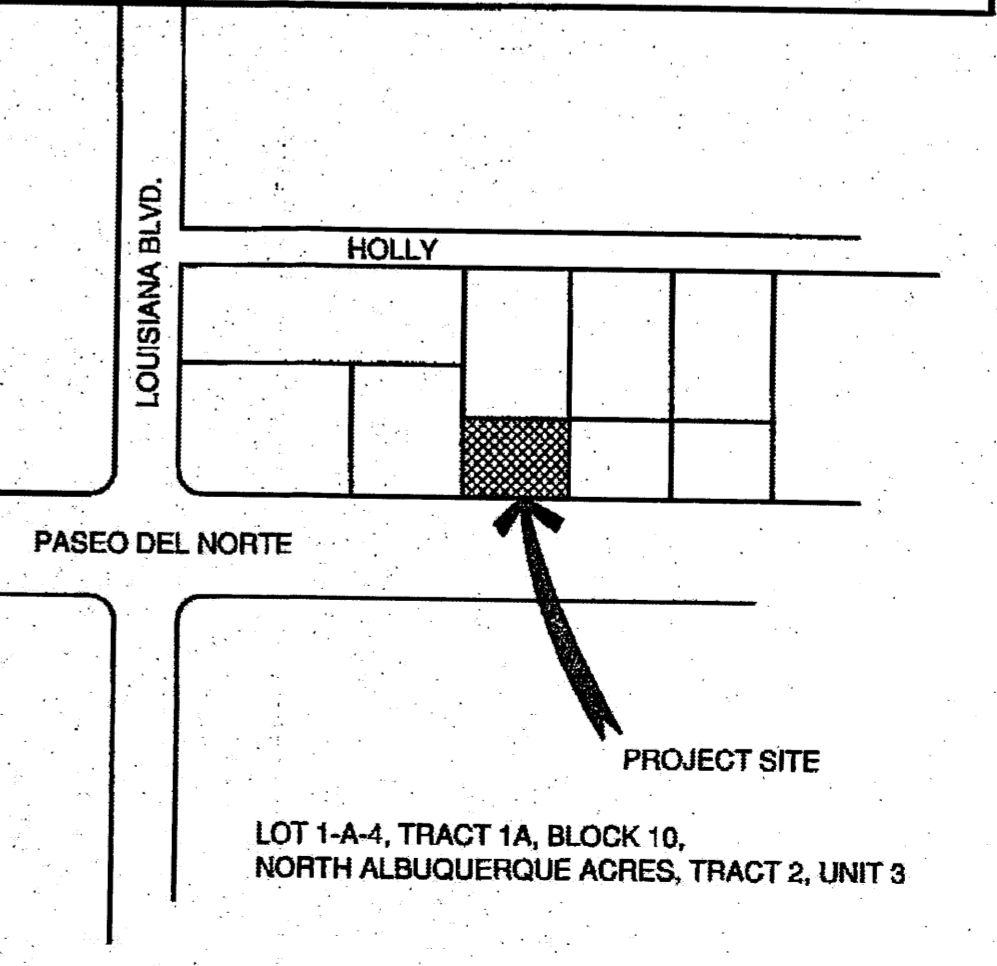
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DRAWN BY:	JLL
CHECKED BY:	JLL

SHEET TITLE

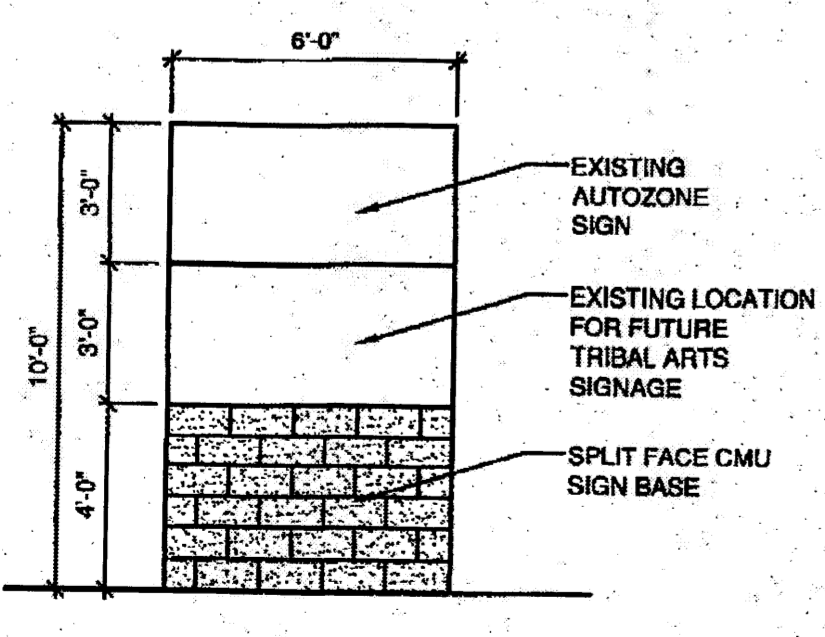
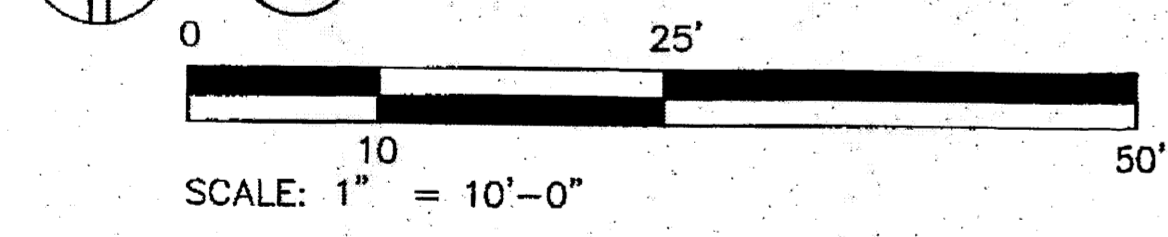
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AS-101

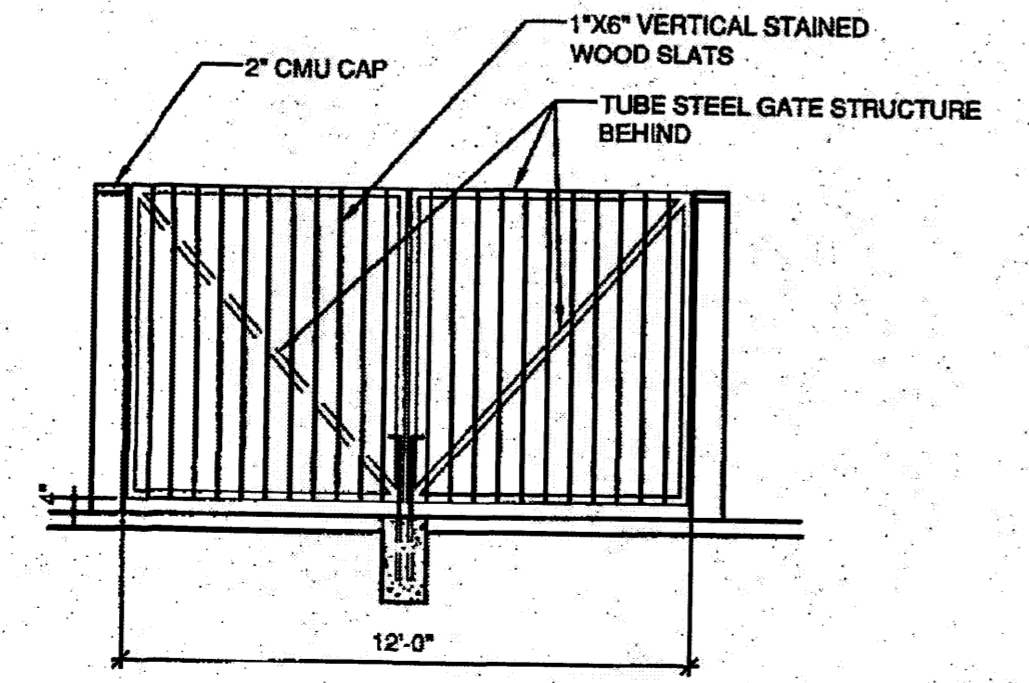


A5 VICINITY MAP
1" = 300'

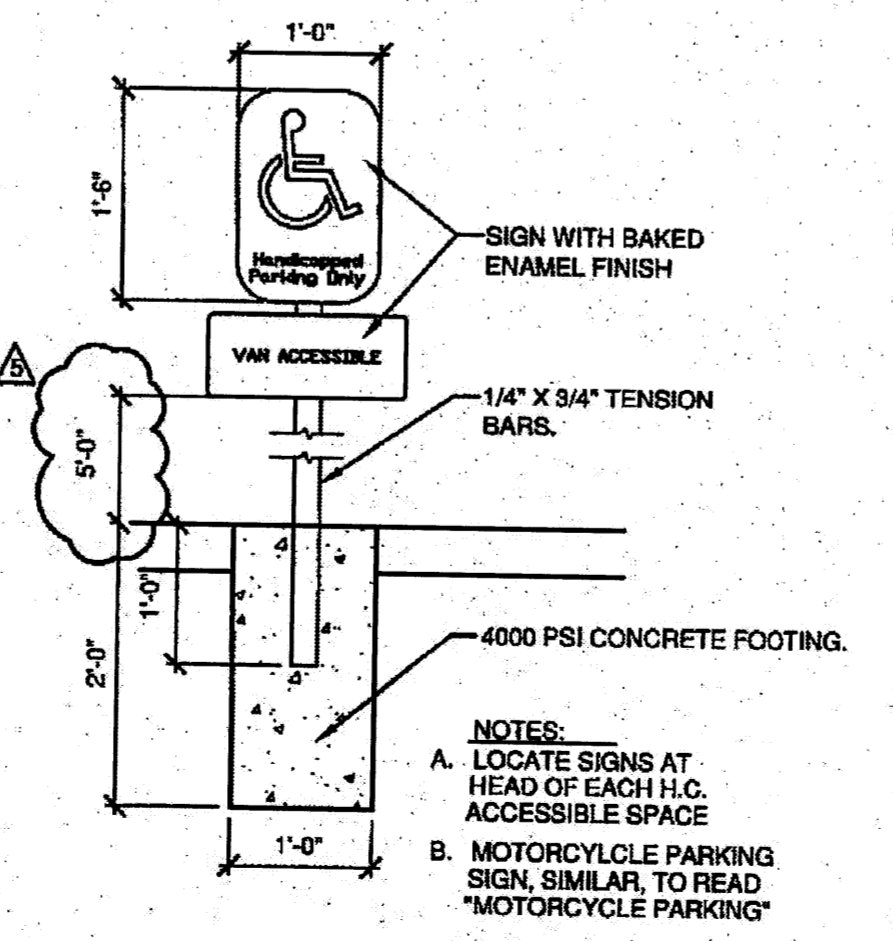
B1 AMENDED SITE PLAN
1" = 10'-0"



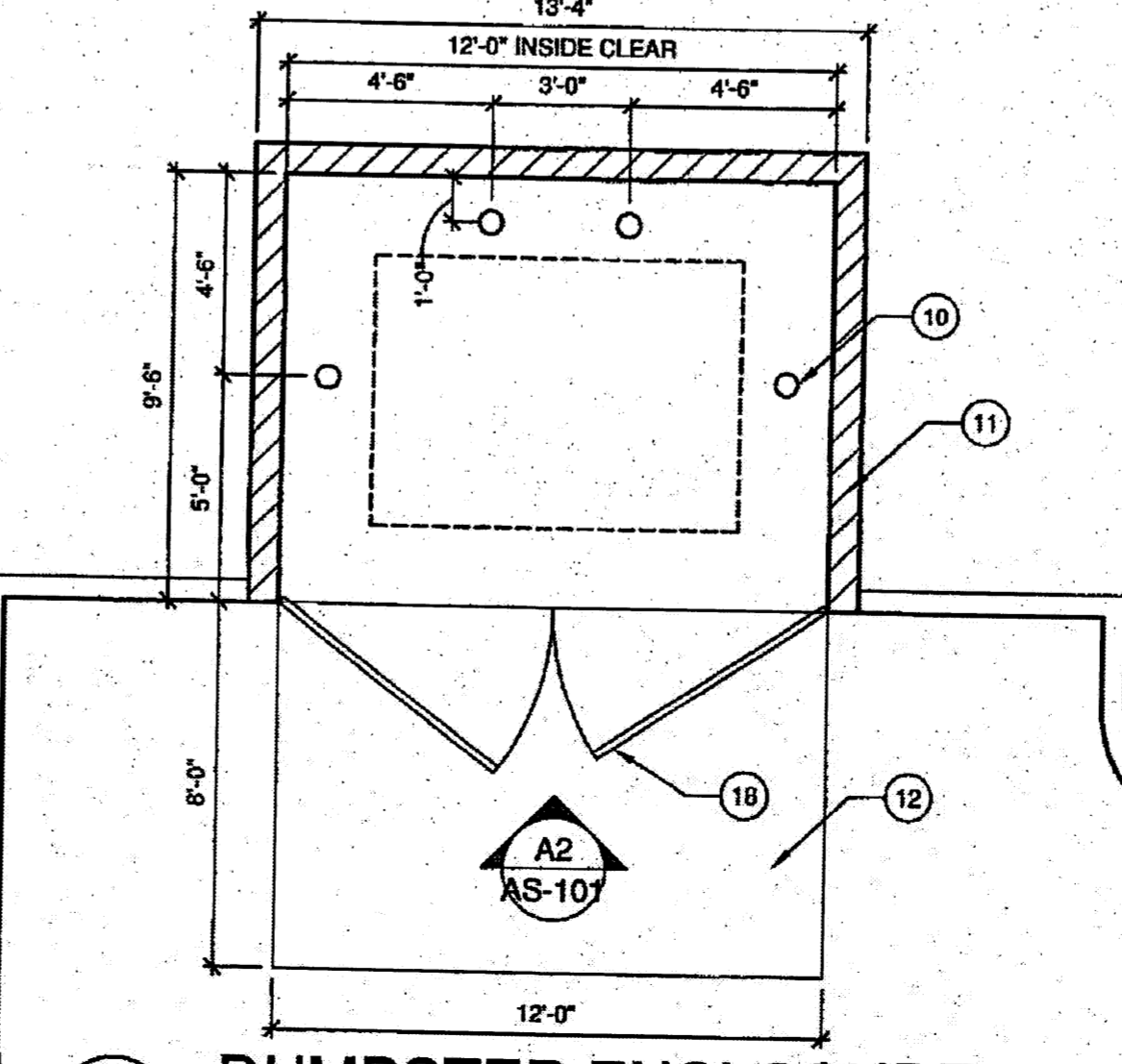
A1 EXISTING SIGNAGE ELEVATION
1/4" = 1'-0"



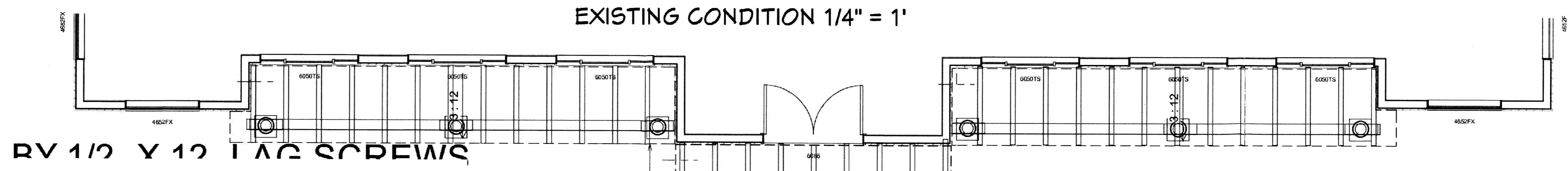
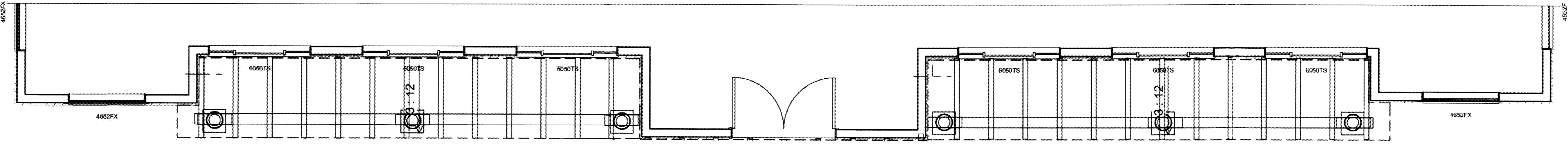
A2 DUMPSTER GATE ELEVATION
1/4" = 1'-0"



A3 ACCESSIBLE PARKING SIGN
3/4" = 1'-0"



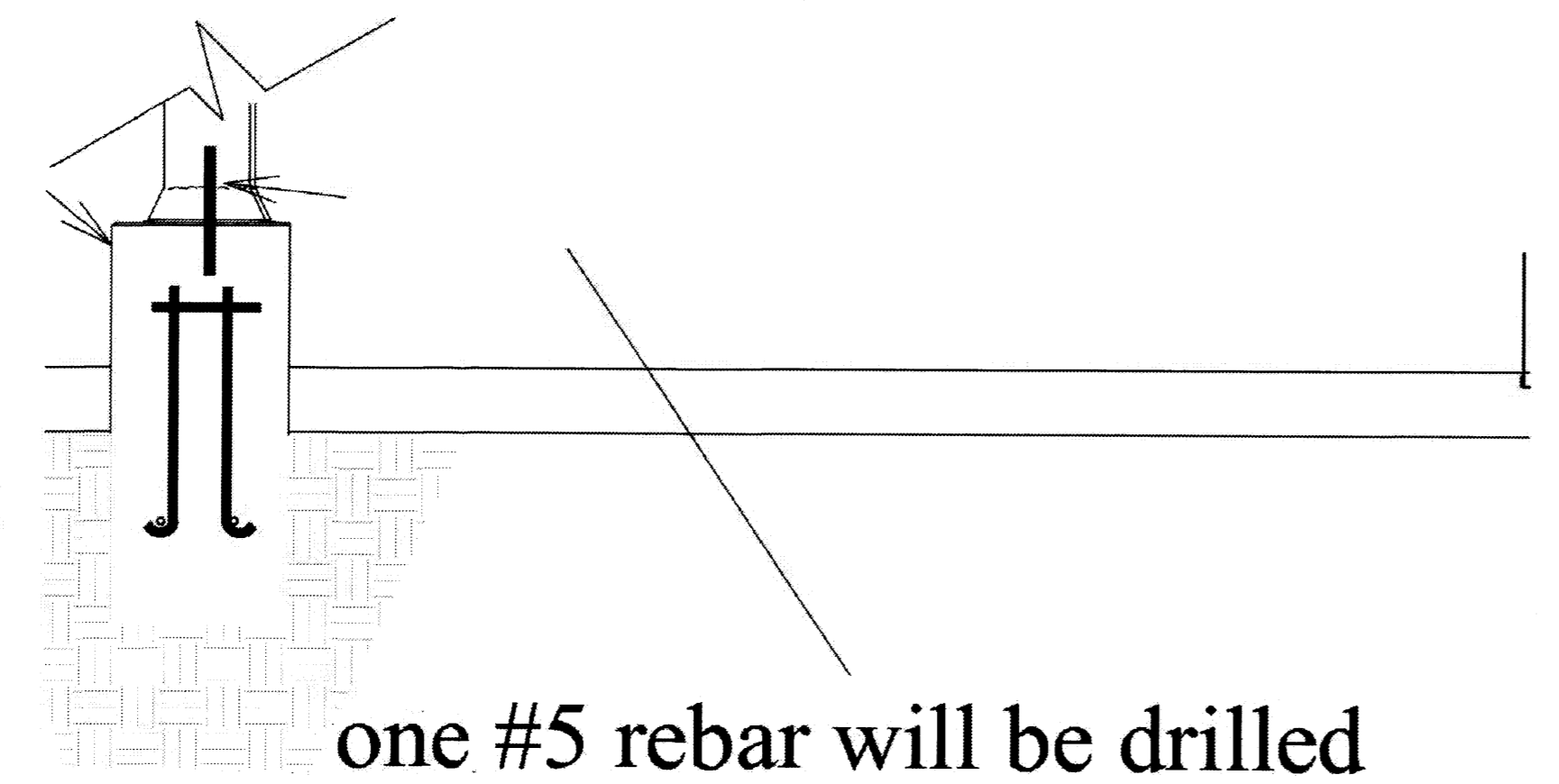
A4 DUMPSTER ENCLOSURE
1/4" = 1'-0"



EXISTING CONDITION 1/4" = 1'

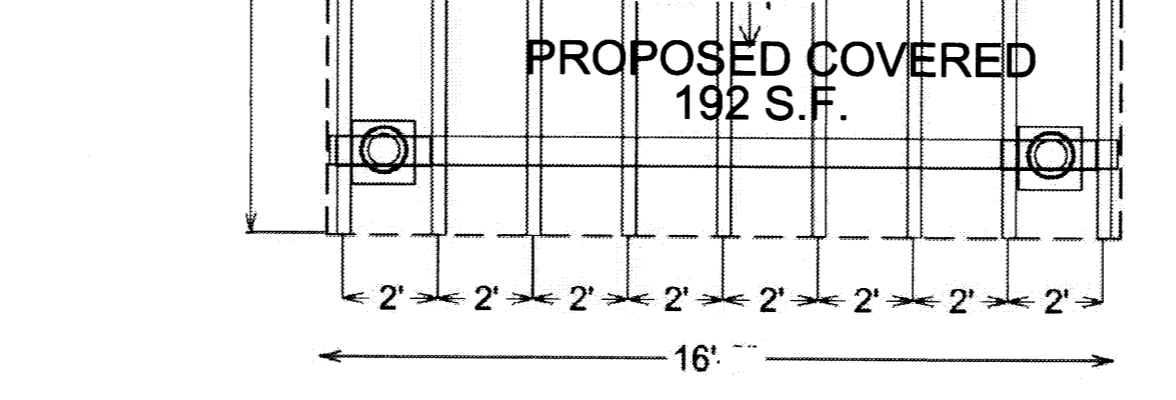
RV 1/2 X 12 LAG SCREWS

16 X 16 X 40
CONCRETE POST
BASE
rebar 2-#4 rebar
each way with 4-#4
uprights
and a rebar band in
upper section of
base.
Footing and base
will be one solid
piece of concrete.

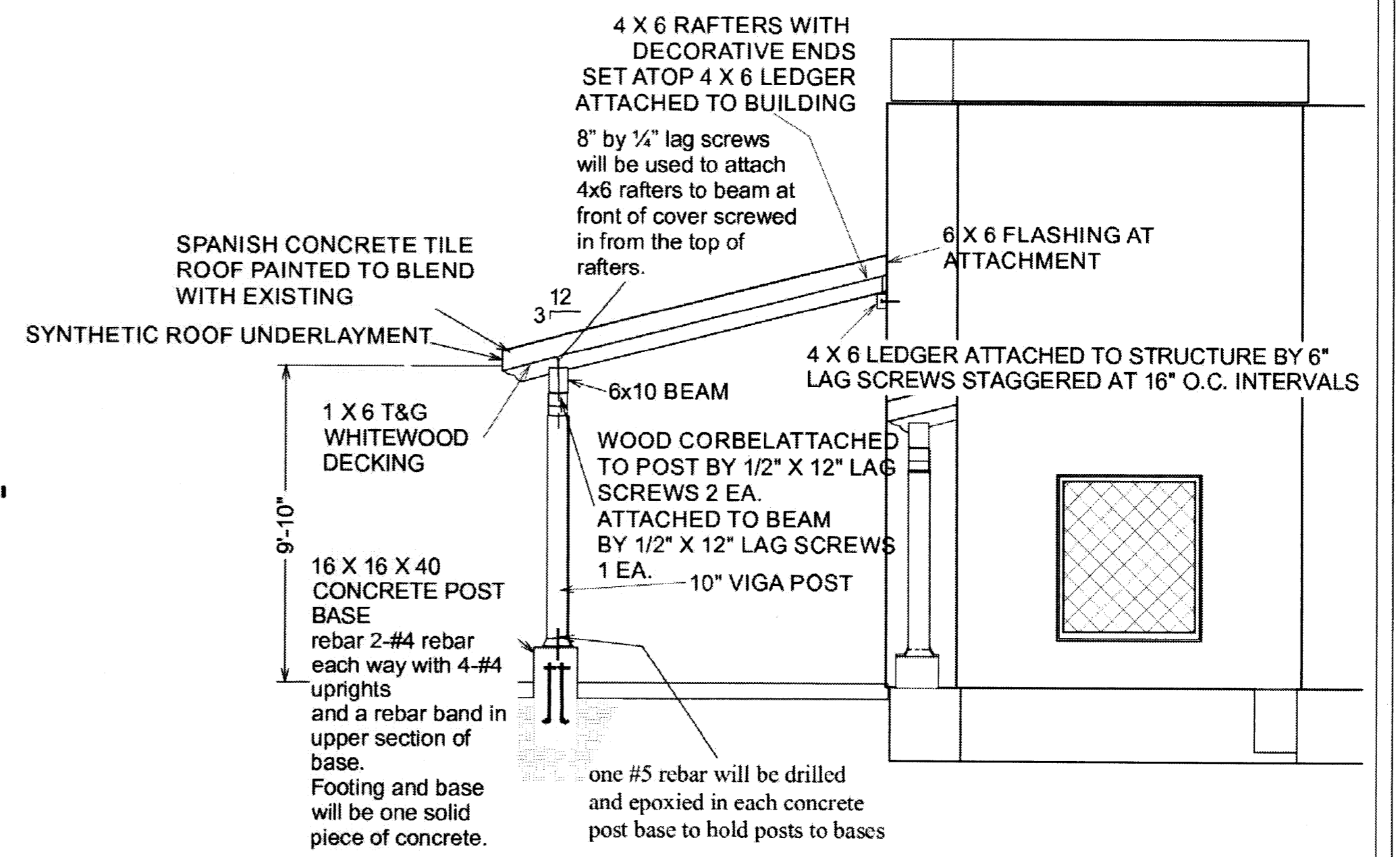


one #5 rebar will be drilled
and epoxied in each concrete
post base to hold posts to bases

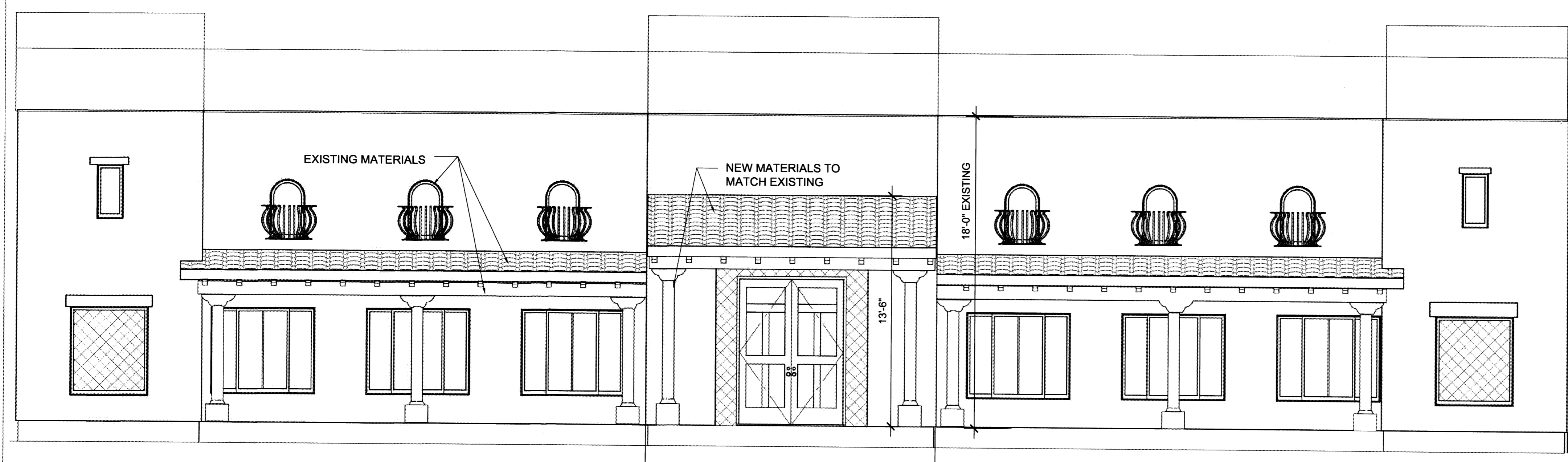
FOOTING AND POST BASE DETAIL 3/4" = 1'



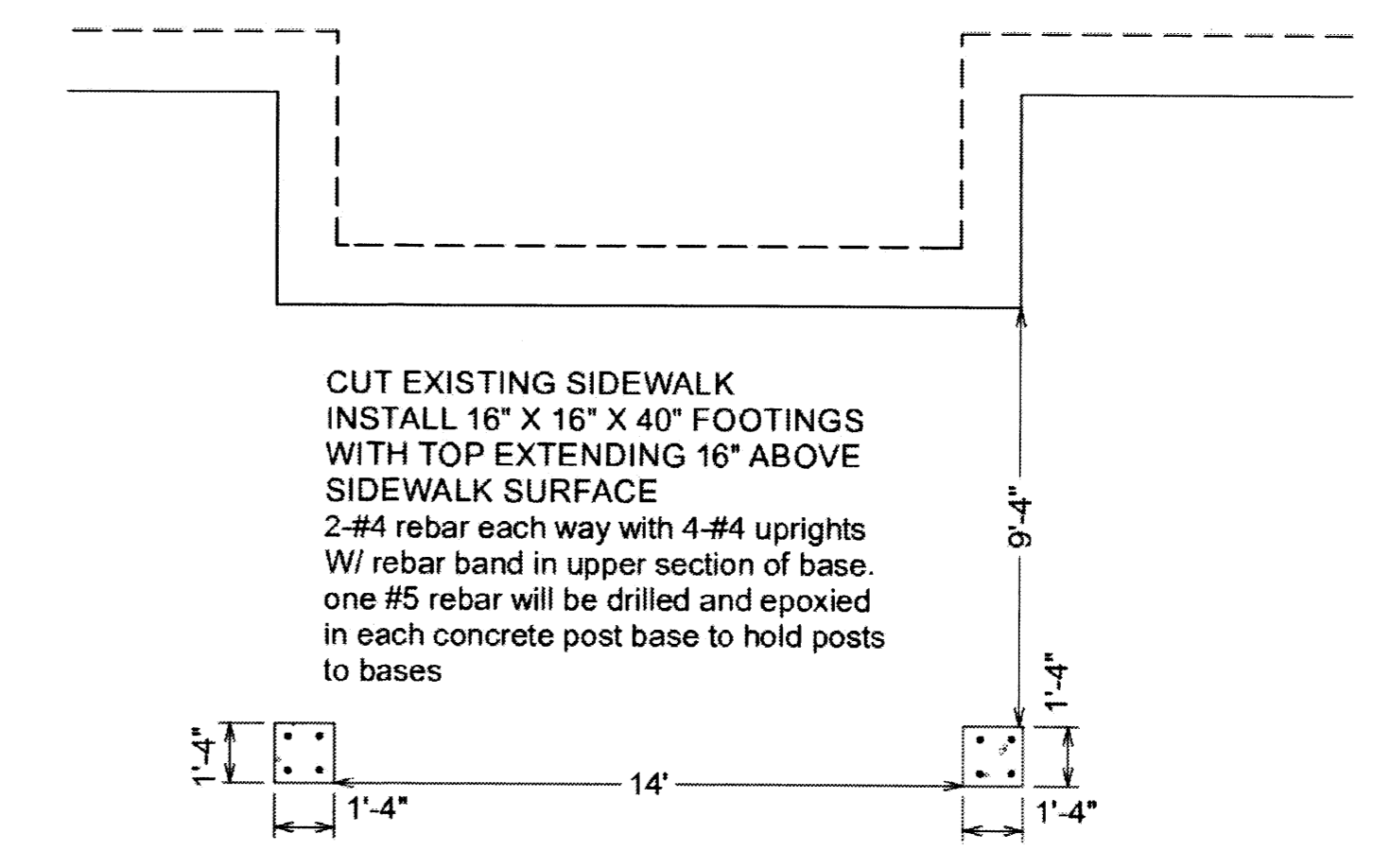
PROPOSED PATIO COVER 1/4" = 1'



PROPOSED PATIO COVER WEST ELEV. 1/4" = 1'



PROPOSED NORTH ELEVATION 1/4" - 1'



CONCRETE PLAN 1/4" = 1'

NUMBER	DATE	REVISION TABLE	REVISION BY	DESCRIPTION



CLASSIC CONCEPTS
8150 LOUISIANA NE
NEW PATIO COVER

DRAWINGS PROVIDED BY:
JIM LYNCH
505-463-7432
FOR MARSH CONSTRUCTION

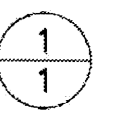
DATE:

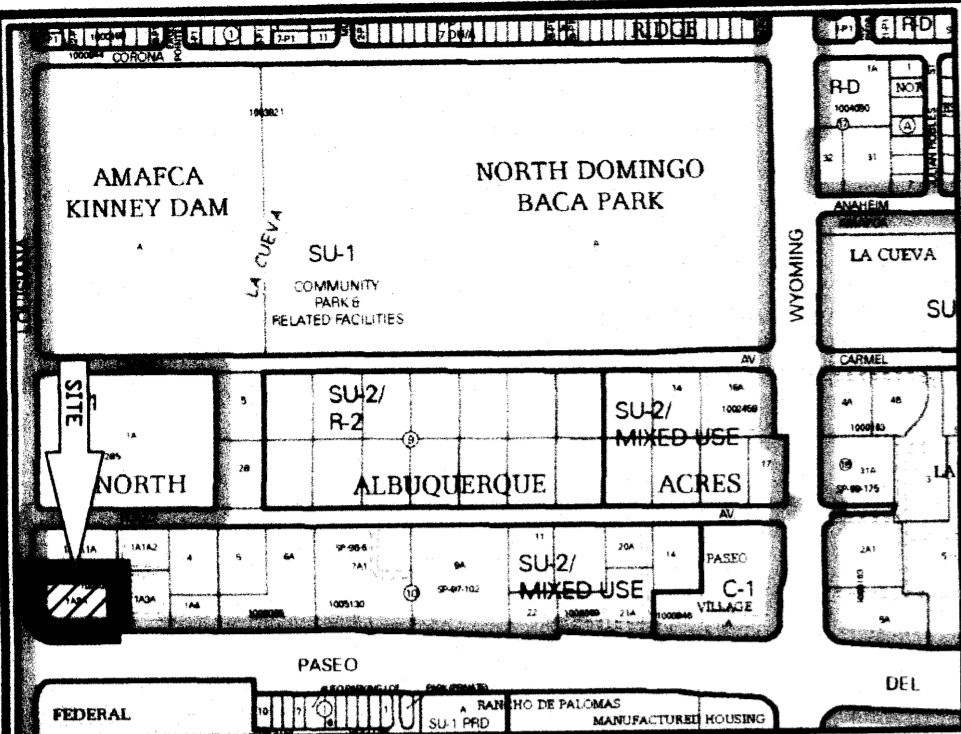
8/6/2015

SCALE:

VARIES

SHEET:





VICINITY MAP No. C-19

LEGAL DESCRIPTION

LOT NUMBERED ONE-A-TWO-A (1-A-2-A) IN BLOCK NUMBERED TEN (10), NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 26, 2005 IN PLAT BOOK 2005C, PAGE 289.

**PLAT OF
LOTS 1-A-2-A-1 AND 1-A-2-A-2, BLOCK 10
NORTH ALBUQUERQUE ACRES
TRACT 2, UNIT 3**

WITHIN
ELENA GALLEGOS LAND GRANT
PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2014

PROJECT NUMBER: _____
APPLICATION NUMBER: _____
UTILITY APPROVALS:
PUBLIC SERVICE COMPANY OF NEW MEXICO _____ DATE _____
NEW MEXICO GAS COMPANY _____ DATE _____
QWEST CORPORATION D/B/A CENTURYLINK QC _____ DATE _____
COMCAST _____ DATE _____

PROJECT: 1003364
DATE: 7-16-14
APP: 14-70236 (P&F)

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO DIVIDE LOT 1-A-2-A INTO 2 LOTS AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 1.3506 ACRES.
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: SEPTEMBER 2013
- NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT
- PLATS USED TO ESTABLISH BOUNDARY.
A: PLAT OF LOTS 1-A-1-A, 1-A-2-A AND 1-A-3-A, BLOCK 10 NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3
FILED: AUGUST 26, 2005 IN BOOK 2005C, PAGE 289

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- QWEST D/B/A CENTURYLINK for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM), QWEST D/B/A CENTURYLINK and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, QWEST D/B/A CENTURYLINK and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Wendy's International, LLC
By: Susan M. Gordon 6/17/14
VP - Corporate Counsel

ACKNOWLEDGMENT
STATE OF NEW MEXICO
COUNTY OF BERNALILLO

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
THIS 17th DAY OF June, 2014
BY: Susan M. Gordon
OWNERS NAME VP - Corp. Counsel

MY COMMISSION EXPIRES: 12-19-2016 BY: Kym J. Smith
NOTARY PUBLIC

SURVEYORS CERTIFICATE:

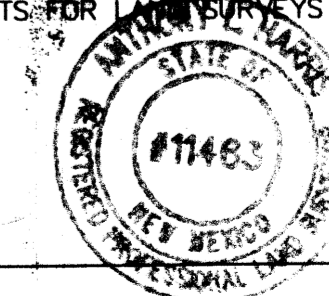
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS 21st DAY OF June, 2014.

Anthony L. Harris
ANTHONY L. HARRIS, P.S. # 11463

HARRIS SURVEYING, INC. PHONE: (505) 889-9056
2412-D MONROE STREET N.E. FAX: (505) 889-9645
ALBUQUERQUE, NEW MEXICO 87110



13-0544.DWG (OCTOBER, 2013)

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# _____
PROPERTY OWNER OF RECORD: _____
BERNALILLO CO. TREASURER'S OFFICE: _____

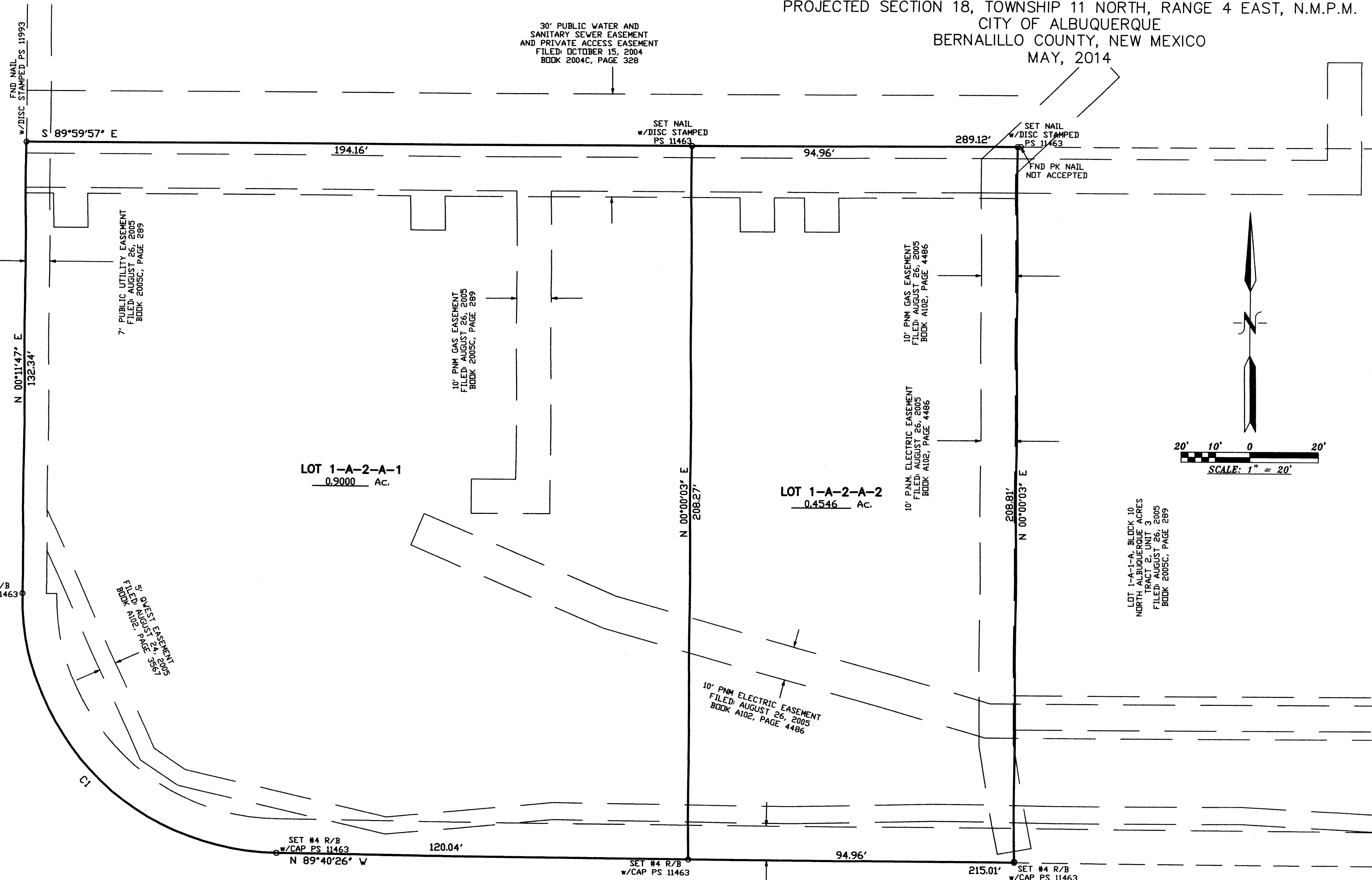
NOTE: SEE PAGE 3 OF 3 FOR
EASEMENT DETAIL SHEET

PLAT OF
LOTS 1-A-2-A-1 AND 1-A-2-A-2, BLOCK 10
NORTH ALBUQUERQUE ACRES
TRACT 2, UNIT 3

WITHIN
ELENA GALLEGOS LAND GRANT
PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2014

LOT 1-A-1-A, BLOCK 10
NORTH ALBUQUERQUE ACRES
TRACT 2, UNIT 3
FILED: AUGUST 26, 2005
BOOK 2005C, PAGE 289

30' PUBLIC WATER AND
SANITARY SEWER EASEMENT
AND PRIVATE ACCESS EASEMENT
FILED: OCTOBER 15, 2004
BOOK 2004C, PAGE 328



PASEO DEL NORTE N.E.
R/W VARIES
(2005C, PAGE 289)

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	89°52'10"	S 44°44'21" E	75.00	117.64	105.95

13-0544.DWG (OCTOBER, 2013)

HARRIS SURVEYING, INC.
2412-D MONROE STREET N.E.
ALBUQUERQUE, NEW MEXICO 87110
PHONE: (505) 889-8056
FAX: (505) 889-8645

EASEMENT DETAIL SHEET

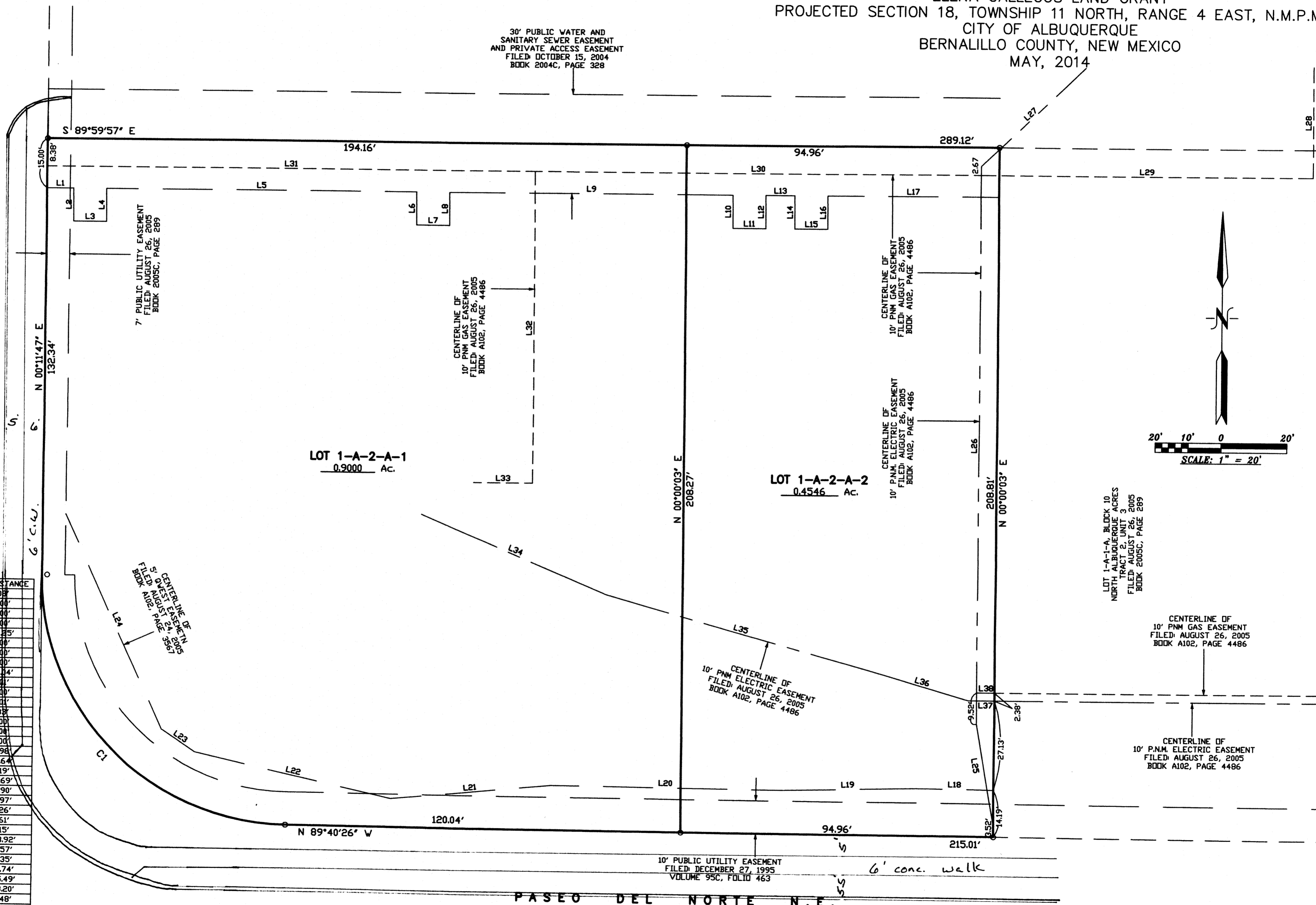
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BERNALILLO COUNTY, NEW MEXICO
MAY, 2014

LOT 1-A-1-A, BLOCK 10
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TRACT 2, UNIT 3
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AND PRIVATE ACCESS EASEMENT
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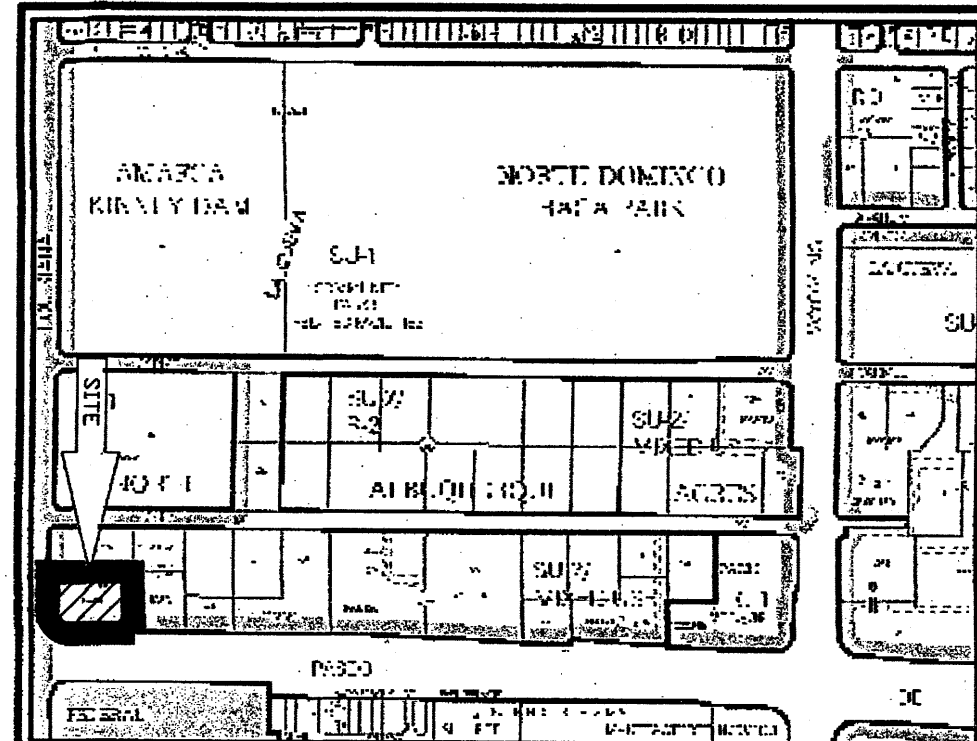
LOUISIANA BOULEVARD N.E.
R/W VARIES
(2005C, PAGE 289)



LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S 89°59'57" E	8.03'
L2	S 00°00'03" W	10.00'
L3	S 89°59'57" E	10.00'
L4	N 00°00'03" E	10.00'
L5	S 89°59'57" E	94.85'
L6	S 00°00'03" W	10.00'
L7	S 89°59'57" E	10.00'
L8	N 00°00'03" E	10.00'
L9	S 89°59'57" E	86.14'
L10	S 00°00'03" W	10.00'
L11	S 89°59'57" E	10.00'
L12	N 00°00'03" E	10.00'
L13	S 89°59'57" E	8.88'
L14	S 00°00'03" W	10.00'
L15	S 89°59'57" E	10.00'
L16	N 00°00'03" E	10.00'
L17	S 89°59'57" E	51.98'
L18	N 89°15'52" W	23.64'
L19	S 88°48'35" W	41.19'
L20	N 89°22'51" W	69.69'
L21	S 84°27'24" W	48.90'
L22	N 77°21'45" W	60.97'
L23	N 56°17'43" W	12.26'
L24	N 24°27'21" W	71.61'
L25	N 10°05'58" W	31.15'
L26	N 00°00'03" E	168.92'
L27	N 46°34'53" E	43.57'
L28	S 00°00'03" W	33.35'
L29	N 89°59'57" W	100.74'
L30	N 89°59'57" W	135.49'
L31	N 89°59'57" W	148.20'
L32	S 00°00'03" W	94.48'
L33	N 89°59'57" W	17.85'
L34	N 67°08'07" W	61.00'
L35	N 74°24'45" W	84.64'
L36	N 73°44'20" W	29.99'
L37	N 89°59'57" W	7.97'
L38	S 89°59'57" E	5.46'

3-0544.DWG (OCTOBER, 2013)



VICINITY MAP No. C-19

LEGAL DESCRIPTION

LOT NUMBERED ONE-A-TWO-A (1-A-2-A) IN BLOCK NUMBERED TEN (10), NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 26, 2005 IN PLAT BOOK 2005C, PAGE 289.

**PLAT OF
LOTS 1-A-2-A-1 AND 1-A-2-A-2, BLOCK 10
NORTH ALBUQUERQUE ACRES
TRACT 2, UNIT 3**

WITHIN
ELENA GALLEGOS LAND GRANT
PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2014

PROJECT #: 1003364
DATE: 5/7/14
APP#: H-70121 (SK)

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO DIVIDE LOT 1-A-2-A INTO 2 LOTS AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- 1: UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 1.3506 ACRES.
- 4: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- 5: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 6: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 7: DATE OF FIELD WORK: SEPTEMBER, 2013
- 8: NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT
- 9: PLATS USED TO ESTABLISH BOUNDARY.
 - A: PLAT OF LOTS 1-A-1-A, 1-A-2-A AND 1-A-3-A, BLOCK 10 NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3 FILED: AUGUST 26, 2005 IN BOOK 2005C, PAGE 289

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. QWEST D/B/A CENTURYLINK for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM), QWEST D/B/A CENTURYLINK and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, QWEST D/B/A CENTURYLINK and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

DATE

ACKNOWLEDGMENT

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
THIS _____, DAY OF _____, 20____.

BY: _____
OWNERS NAME

MY COMMISSION EXPIRES: _____ BY: _____
NOTARY PUBLIC

PROJECT NUMBER: _____
APPLICATION NUMBER: _____
UTILITY APPROVALS:

PUBLIC SERVICE COMPANY OF NEW MEXICO _____ DATE _____
NEW MEXICO GAS COMPANY _____ DATE _____
QWEST CORPORATION D/B/A CENTURYLINK QC _____ DATE _____
COMCAST _____ DATE _____

CITY APPROVALS:

CITY SURVEYOR _____ DATE _____
*REAL PROPERTY DIVISION (CONDITIONAL) _____ DATE _____
**ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) _____ DATE _____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
ABCWJA _____ DATE _____
PARKS AND RECREATION DEPARTMENT _____ DATE _____
AMAFCA _____ DATE _____
CITY ENGINEER _____ DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS _____ DAY OF _____, 2013.

ANTHONY L. HARRIS. P.S. # 11463

A.E.S. HARRIS SURVEYING, INC.
2412-D MONROE STREET N.E. ALBUQUERQUE, NEW MEXICO 87110
PHONE: (505) 889-8056
FAX: (505) 889-8645

13-0544.DWG (OCTOBER, 2013)

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# _____
PROPERTY OWNER OF RECORD: _____
BERNALILLO CO. TREASURER'S OFFICE: _____

EASEMENT DETAIL SHEET

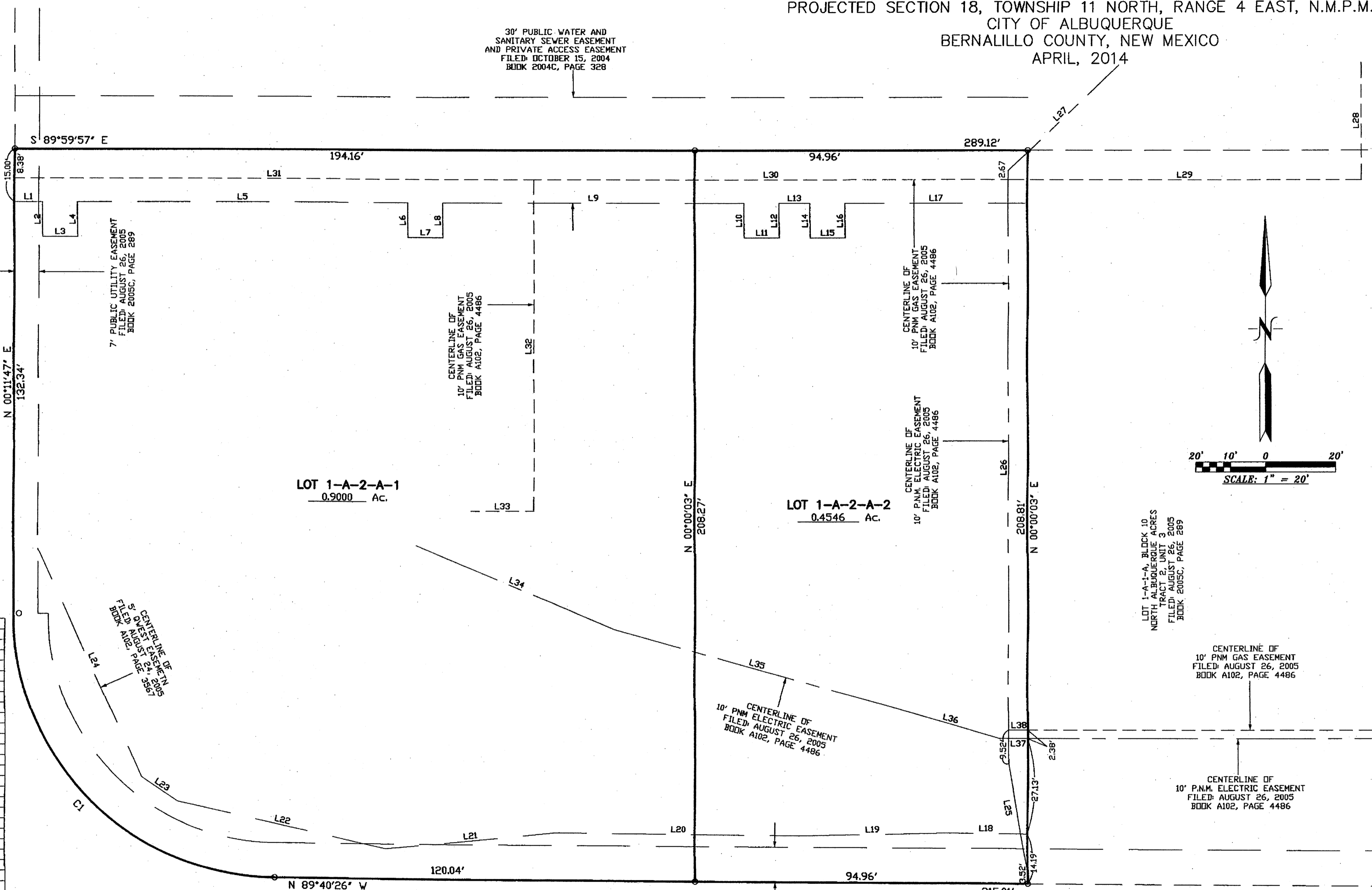
PLAT OF LOTS 1-A-2-A-1 AND 1-A-2-A-2, BLOCK 10 NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3

WITHIN
ELENA GALLEGOS LAND GRANT
PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2014

LOT 1-A-1-A, BLOCK 10
NORTH ALBUQUERQUE ACRES
TRACT 2, UNIT 3
FILED: AUGUST 26, 2005
BOOK 2005C, PAGE 289

30' PUBLIC WATER AND
SANITARY SEWER EASEMENT
AND PRIVATE ACCESS EASEMENT
FILED: OCTOBER 15, 2004
BOOK 2004C, PAGE 328

LOUISIANA BOULEVARD N.E.
R/W VARIES
(2005C, PAGE 289)



LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S 89°59'57" E	8.08'
L2	S 00°00'03" W	10.00'
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L6	S 00°00'03" W	10.00'
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L8	N 00°00'03" E	10.00'
L9	S 89°59'57" E	86.04'
L10	S 00°00'03" W	10.01'
L11	S 89°59'57" E	10.00'
L12	N 00°00'03" E	10.01'
L13	S 89°59'57" E	8.83'
L14	S 00°00'03" W	10.00'
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L37	N 89°59'57" W	7.97'
L38	S 89°59'57" E	5.46'

LOT 1-A-2-A-1
0.9000 AC.

LOT 1-A-2-A-2
0.4546 AC.

PASEO DEL NORTE N.E.
R/W VARIES
(2005C, PAGE 289)

LOT 1-A-1-A, BLOCK 10
NORTH ALBUQUERQUE ACRES
TRACT 2, UNIT 3
FILED: AUGUST 26, 2005
BOOK 2005C, PAGE 289

CENTERLINE OF
10' PNM GAS EASEMENT
FILED: AUGUST 26, 2005
BOOK A102, PAGE 4486

CENTERLINE OF
10' PNM ELECTRIC EASEMENT
FILED: AUGUST 26, 2005
BOOK A102, PAGE 4486

10' PUBLIC UTILITY EASEMENT
FILED: DECEMBER 27, 1995
VOLUME 95C, FOLIO 463

3-0544.DWG (OCTOBER, 2013)