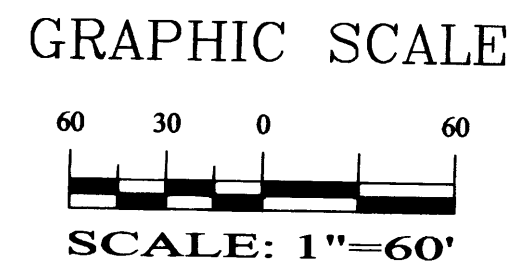


EXISTING CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	48.33	30.00	92°17'52"	31.23	43.27	N68°41'51"E
C2	50.82	33.00	88°14'08"	32.00	45.94	N02°29'09"E
C3	10.18	7.75	75°15'39"	5.97	9.46	S08°45'38"W
C4	10.21	6.50	89°59'54"	6.50	9.19	S04°38'46"W
C5	46.28	34.41	77°03'37"	24.40	42.87	N09°39'42"E

EXISTING LINE TABLE		
LINE	LENGTH	BEARING
L1	61.61	N56°10'22"W
L2	40.63	N69°19'44"W
L3	100.72	N20°40'15"E
L4	38.53	N42°24'15"W
L5	102.26	N49°38'48"E
L6	16.08	N40°21'11"W
L7	81.20	N48°11'31"E
L8	27.23	N28°52'11"W
L9	67.44	N46°36'13"E
L10	28.40	S48°01'59"W
L11	130.46	N86°58'00"W
L12	81.68	N41°58'00"W
L13	36.46	N86°58'00"W
L14	105.68	S48°02'00"W
L15	105.02	N66°21'59"W
L16	93.88	S25°31'23"W
L17	64.97	S31°20'05"W
L18	76.03	S18°49'17"W
L19	93.57	S30°25'13"W
L20	18.83	S38°18'36"W
L21	17.68	S44°24'12"W
L22	12.27	S43°07'33"W
L23	16.68	S35°26'25"W
L24	16.83	S27°59'12"W
L25	84.15	S23°03'55"W

LEGEND	
	BOUNDARY LINE
	EASEMENT
	PROPOSED 6' OR 8' SIDEWALK
	BUILDING
	WROUGHT IRON FENCE
	PROPOSED ON SITE CURB
	PROPOSED RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	EXISTING POWER POLE
	PROPOSED FREE STANDING LIGHT
	PROPOSED 5' PEDESTRIAN WALKWAY
	PROPOSED SEATING AREA



SITE DATA

PROPOSED USAGE: COMMERCIAL / RESIDENTIAL
 EXISTING LOT AREA: 370,007.76 S.F. (8.4942 AC.)
 PROPOSED LOT AREA (AFTER VACATION OF THE R.O.W.): 380,289.81 S.F. (8.7302 AC.)
 ZONING: SU-1 FOR PRD

PHASE I (COMMERCIAL AREA):

PROPOSED USAGE: RETAIL, CONVENIENT STORE, DOLLAR STORE, DRY CLEANER
 LOT AREA: 95,604.13 S.F. (2.1948 AC.)
 GROSS BUILDING AREA: 18,770.00 S.F.

BUILDING NO.	AREA	USAGE
BUILDING A	4,750 S.F.	CONVENIENT STORE / GAS STATION
	2,000 S.F.	RETAIL
BUILDING B	1,350 S.F.	RETAIL
BUILDING C	8,000 S.F.	RETAIL (DOLLAR STORE)
	2,670 S.F.	RETAIL (DRY CLEANER)

LANDSCAPE CALCULATIONS:

NET LOT AREA: 76,834.00 SF ±
 LANDSCAPING REQUIRED: 11,525.00 SF ±
 15% OF 76,834.00 SF
 LANDSCAPE PROVIDED: 20,805.50 SF ±

PARKING CALCULATIONS:

PARKING REQUIRED:
 COMMERCIAL AREA: 18,770 GSF / 200 GSF 94 SPACES

PARKING CREDIT:
 15% (10% WITHIN 300' OF TRANSIT SYSTEM, ROUTE #91,
 5% FOR SITE GREATER THAN 5 ACRES AND
 OWNER PROVIDING TRANSIT SHELTER. 14 SPACES

TOTAL PARKING REQUIRED: 80 SPACES

TOTAL PARKING PROVIDED: 92 SPACES

HC PARKING REQUIRED: 4 SPACES (1 VAN)
 HC PARKING PROVIDED: 5 SPACES (1 VAN)

BICYCLE SPACES REQUIRED: 5 SPACES
 BICYCLE SPACES PROVIDED: 6 SPACES

PHASE II (RESIDENTIAL AREA):

PROPOSED USAGE: APARTMENT / POOL / OFFICE
 LOT AREA: 284,685.68 S.F. (6.535 AC.)
 BUILDING AREA: 115,330.00 S.F.
 OFFICE AREA: 1,500.00 S.F.

UNITS	ONE BEDROOM	ONE BATH	92 UNITS X 647 S.F.	= 59,524 S.F.
UNIT 2	TWO BEDROOM	TWO BATH	56 UNITS X 826 S.F.	= 46,256 S.F.
UNIT 3	THREE BEDROOM	TWO BATH	10 UNITS X 955 S.F.	= 9,550 S.F.
			TOTAL: 158 UNITS	TOTAL: 115,330 S.F.

LANDSCAPE CALCULATIONS:

LOT AREA COVERED BY BUILDINGS: 51,024.00 SF ±
 NET LOT AREA: 233,661.00 SF ±
 LANDSCAPING REQUIRED: 35,049.00 SF ±
 15% OF 233,661.00 SF
 LANDSCAPE PROVIDED: 55,902.00 SF ±

BUILDING DATA:

BUILDING A (2 STORY)	8 (1BR) UNITS+4 (2BR) UNITS	7 BUILDINGS
BUILDING B (2 STORY)	4 (2BR) UNITS+4 (3BR) UNITS	1 BUILDING
BUILDING C (3 STORY)	12 (1BR) UNITS+6 (2BR) UNITS	3 BUILDINGS
BUILDING D (3 STORY)	6 (2BR) UNITS+6 (3BR) UNITS	1 BUILDING

OPEN SPACE:

ONE BEDROOM: 92 UNITS X 400 S.F. = 36,800 S.F.
 TWO BEDROOM: 56 UNITS X 500 S.F. = 28,000 S.F.
 THREE BEDROOM: 10 UNITS X 600 S.F. = 6,000 S.F.
 TOTAL OPEN SPACE REQUIRED: 70,800 S.F.
 TOTAL OPEN SPACE PROVIDED: 165,015.00 S.F. ±

PARKING CALCULATIONS:

PARKING REQUIRED FOR APARTMENT UNITS:
 ONE BEDROOM: 92 UNITS X 1.5 PARKING = 138 SPACES
 TWO BEDROOM: 56 UNITS X 2 PARKING = 112 SPACES
 THREE BEDROOM: 10 UNITS X 2 PARKING = 20 SPACES
 OFFICE AREA: 1,500 GSF / 200 GSF 8 SPACES
TOTAL = 278 SPACES

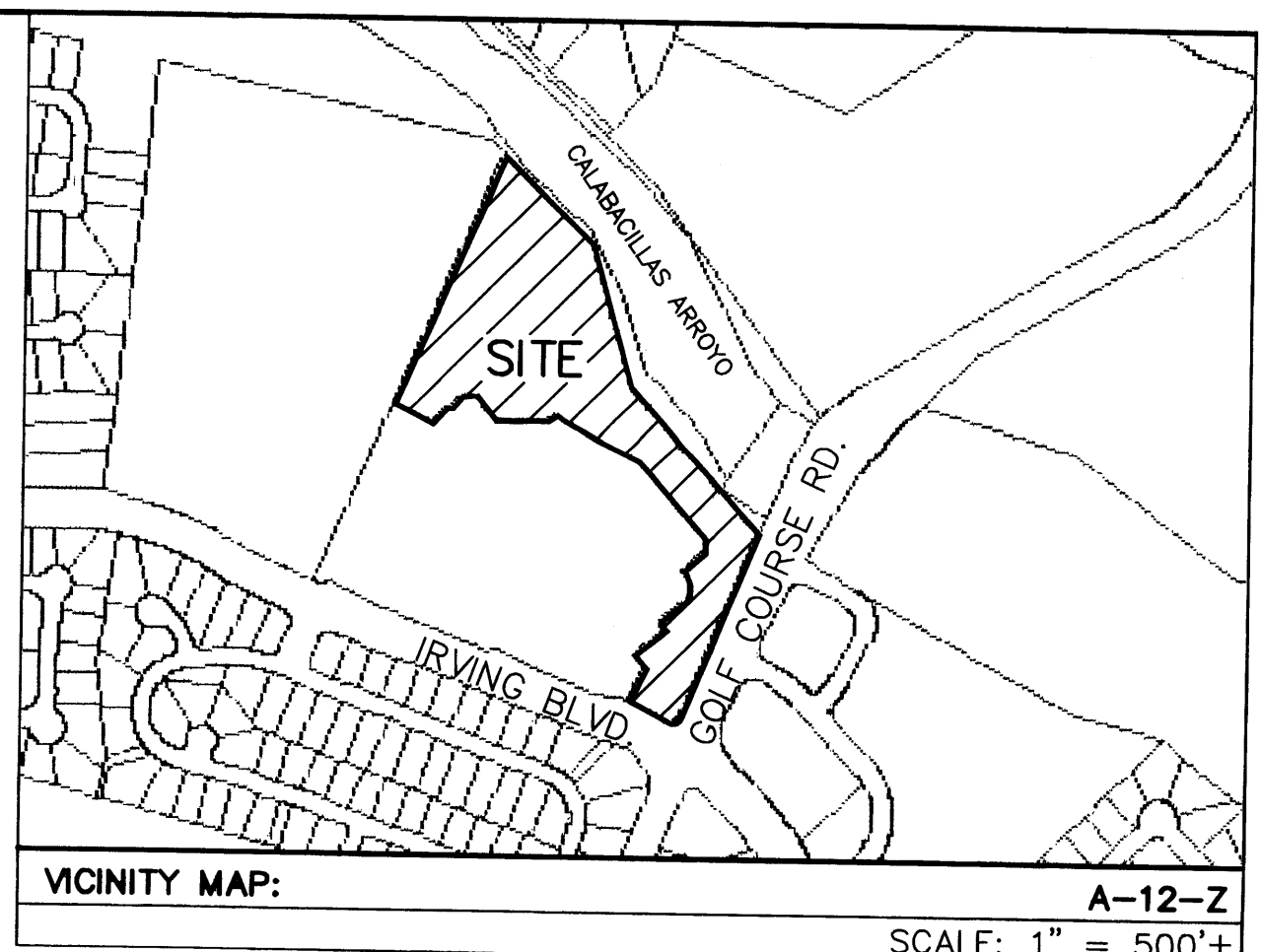
PARKING CREDIT:
 20% (10% WITHIN 300' OF TRANSIT SYSTEM, ROUTE #91,
 5% FOR SITE GREATER THAN 5 ACRES AND
 OWNER PROVIDING TRANSIT SHELTER, 5% MIXED
 USED SHARED PARKING) 56 SPACES

TOTAL PARKING REQUIRED: 222 SPACES

TOTAL PARKING PROVIDED: 239 SPACES

HC PARKING REQUIRED: 8 SPACES (1 VAN)
 HC PARKING PROVIDED: 10 SPACES (2 VAN)

BICYCLE SPACES REQUIRED: 12 SPACES
 BICYCLE SPACES PROVIDED: 18 SPACES



LEGAL DESCRIPTION:
 TRACT T-1A-2, TOWN OF ALAMEDA GRANT
 CONTAINING 380,289.81 S.F. (8.7302 AC)

SHEET INDEX

1. AMENDED OVERALL SITE PLAN
2. COMMERCIAL SITE PLAN (PHASE I)
3. APARTMENT SITE PLAN (PHASE II)
4. LANDSCAPING PLAN
5. GRADING AND DRAINAGE PLAN
6. MASTER UTILITY PLAN
7. ELEVATION PLANS

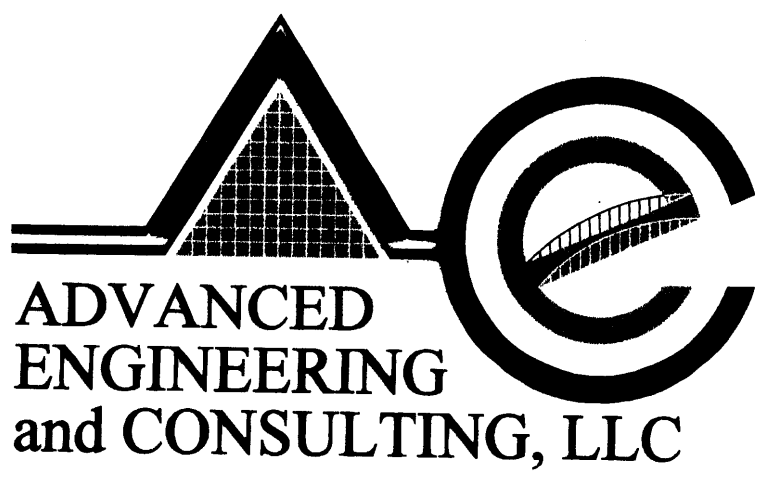
PROJECT NUMBER: 1003366

APPLICATION NUMBER: 04-01242

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED [DATE], AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	8-18-04
<i>[Signature]</i>	UTILITIES DEVELOPMENT	8-18-04
<i>[Signature]</i>	PARKS AND RECREATION DEPARTMENT	8/18/04
<i>[Signature]</i>	CITY ENGINEER	12/6/04
<i>[Signature]</i>	SOLID WASTE MANAGEMENT	8-18-04
<i>[Signature]</i>	DRB CHAIRPERSON, PLANNING DEPARTMENT	9/17/04



SHAHAB BLAZAR
 P.E. #13479
 4416 ANAHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

**AMENDED OVERALL SITE PLAN
 RABADI COMPLEX (ARROYO VILLAS)**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200359-ST-OVERALL.DWG	SBB	05-10-04	1 OF 7

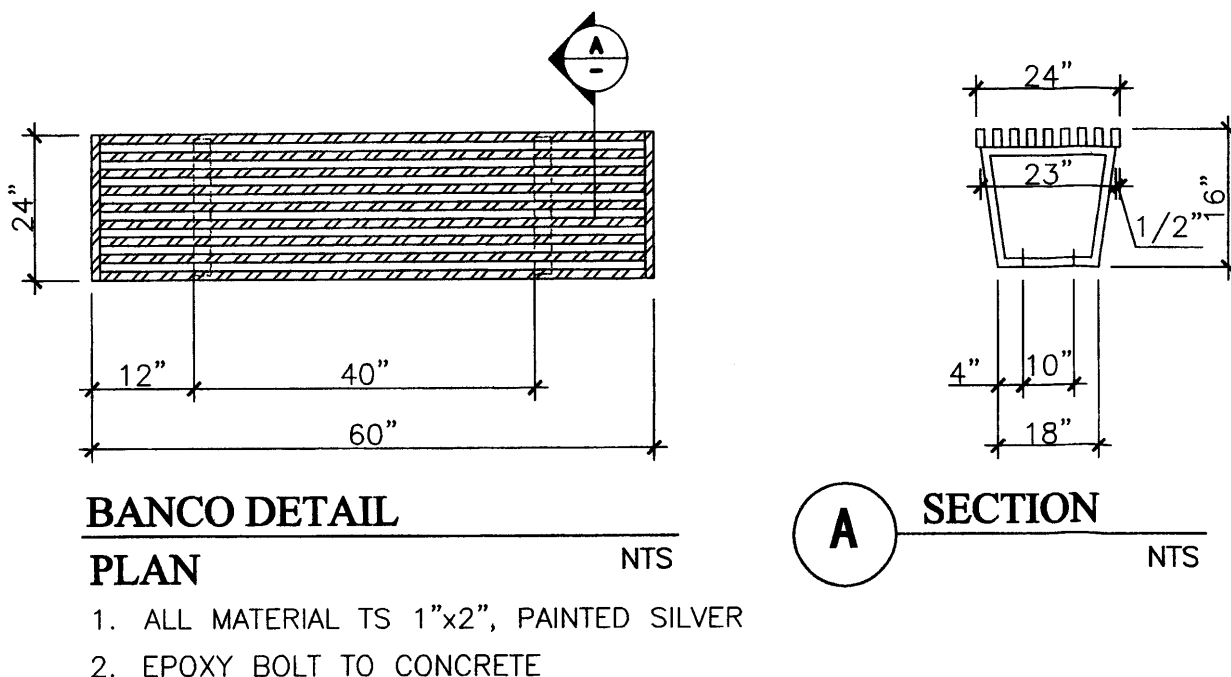
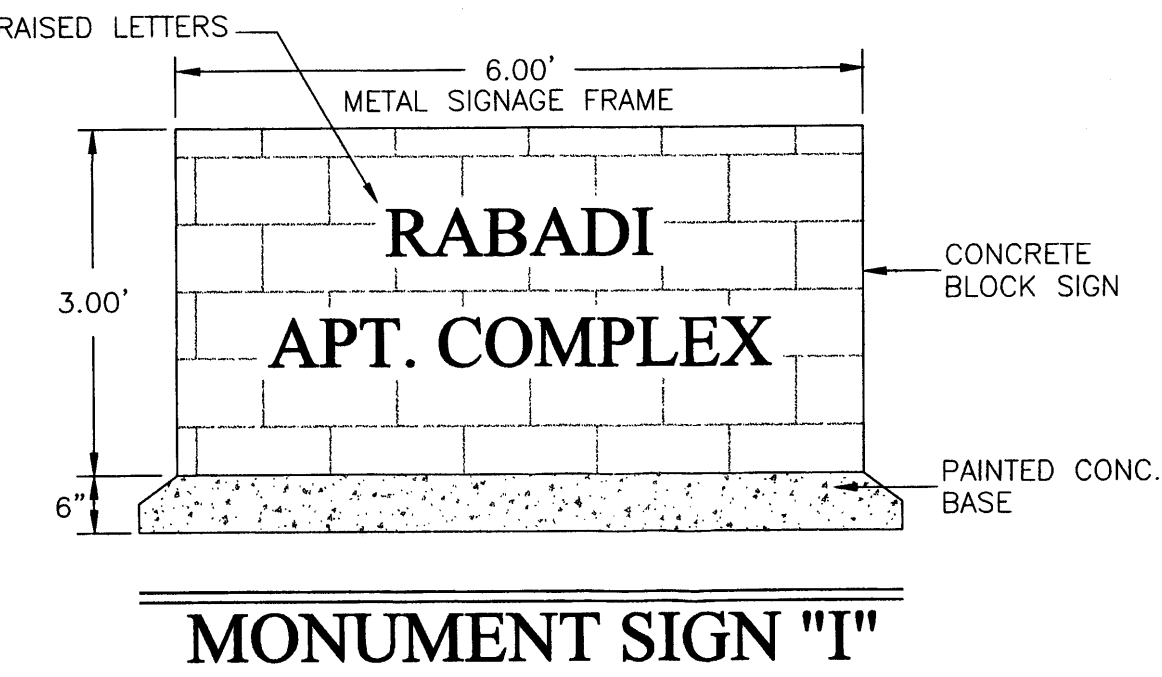
PROJECT 1003366

- NOTES:**
1. NEW ASPHALT PAVING AREA.
 2. NEW 10' SIDEWALKS PER COA STANDARD DRAWING 2430.
 3. NEW 8' SIDEWALKS PER COA STANDARD DRAWING 2430.
 4. NEW 5' SIDEWALKS PER COA STANDARD DRAWING 2430.
 5. EXISTING CURB AND GUTTER.
 6. EXISTING ENTRANCE.
 7. NEW UNIDIRECTIONAL WHEELCHAIR RAMP PER COA STD. DWG. #2426.
 8. HANDICAP SIGN SEE DETAIL THIS SHEET.
 9. LANDSCAPED AREA.
 10. BICYCLE RACK.
 11. 5' WIDE PEDESTRIAN CROSSWALK.
 12. RETAINING WALL (GRAY BLOCK WALL WITH 6' HIGH WROUGHT IRON FENCE TO MATCH EXISTING FENCE). SEE DETAIL THIS SHEET.
 13. 8' CMU REFUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARDS, SEE DETAIL THIS SHEET.
 14. 8 1/2' WIDE X 18' DEEP PARKING SPACES.
 15. NEW ENTRANCE PER COA STANDARD DRAWING #2426.
 16. MONUMENT SIGN, SEE THIS SHEET FOR DETAIL.
 17. HEADER CURB.
 18. CHEVRON SIGN, SEE SHEET 3 OF 7 FOR DETAIL.
 19. ARM-MOUNTED AREA/SITE LIGHT (HRHAMMER 70-400W) SEE SHEET 3 OF 7 FOR DETAIL.
 20. EXISTING 6' SIDEWALK.
 21. 30" HIGH COLORED SPLIT FACE BLOCK WALL
 22. NEW BUS BAY LOCATION
 23. 6' HIGH WROUGHT IRON FENCE TO MATCH EXISTING FENCE (LIGHT GREY BLUE)
 24. BANCO 24" WIDE X 16" HIGH INTEGRATED INTO BUILDING, 4 SEATS, SEE THIS SHEET FOR DETAIL.

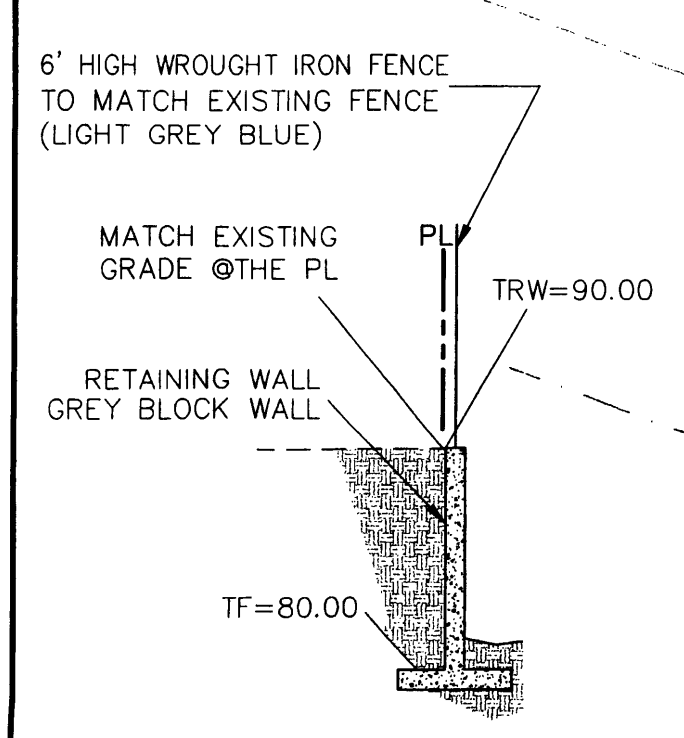
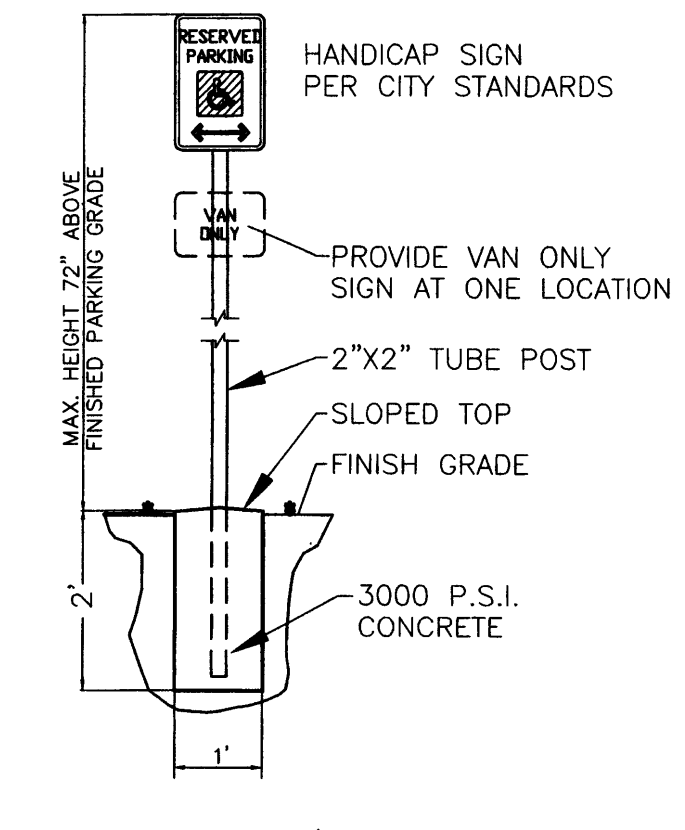
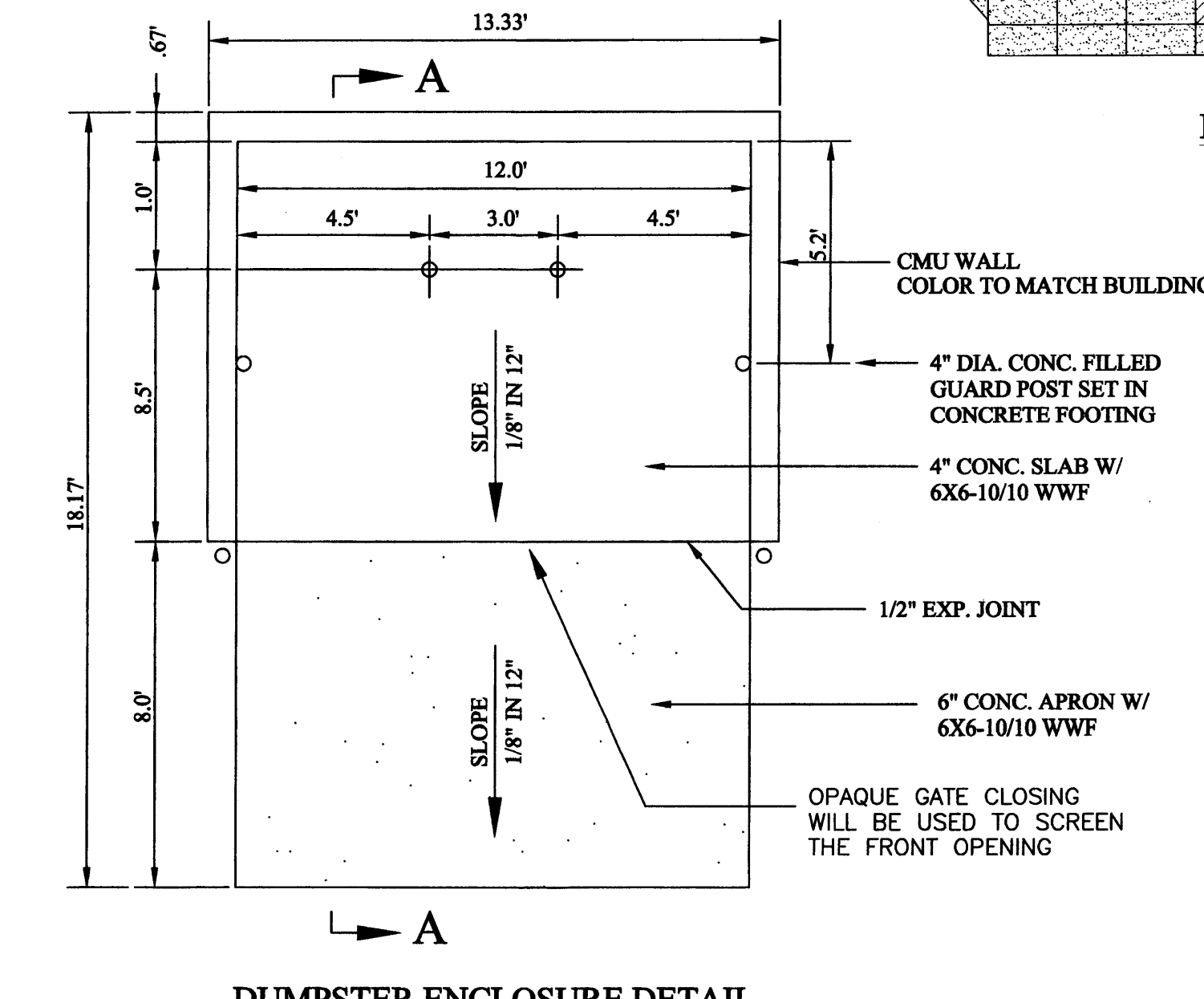
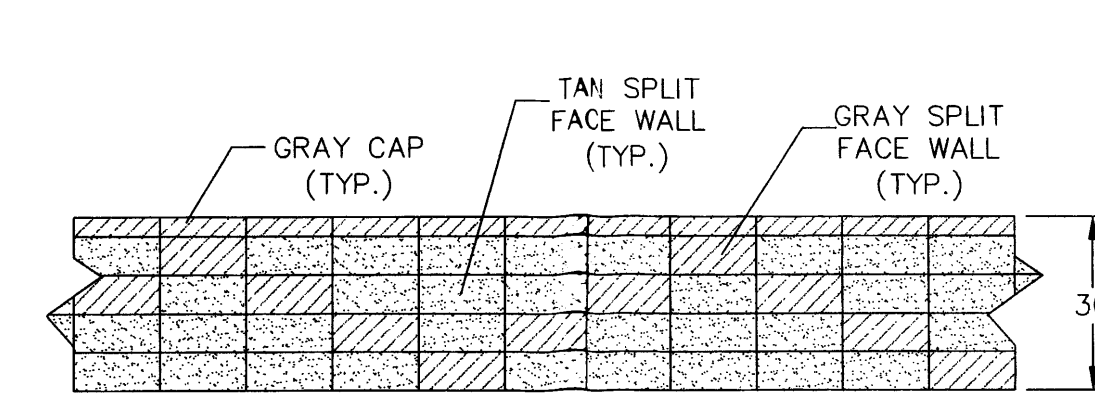
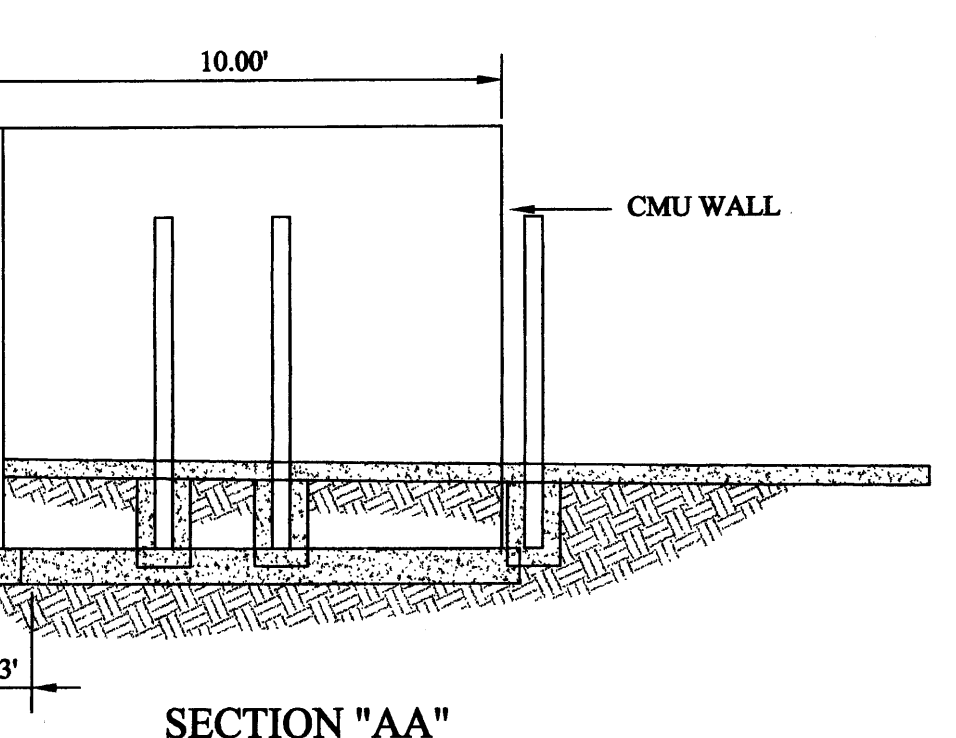
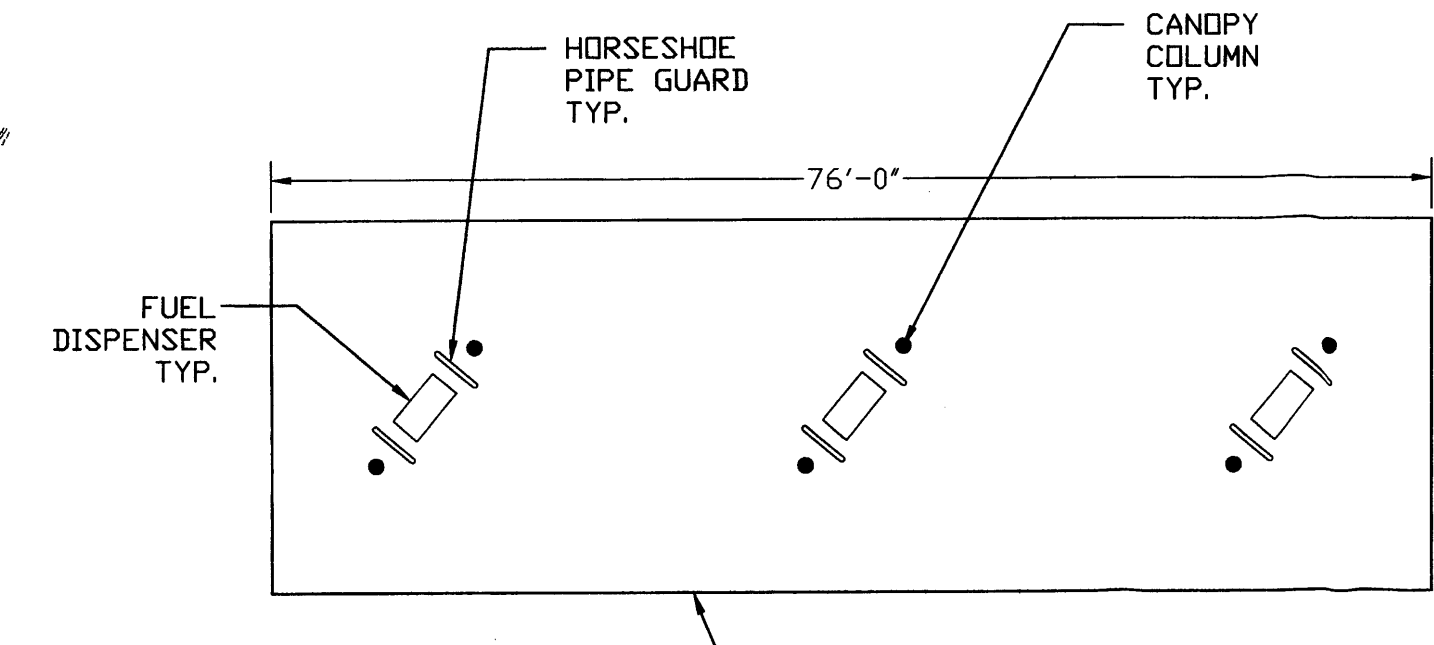
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L13	36.46	N86°58'00"W
L14	105.68	S48°02'00"W
L15	105.02	N66°21'59"W
L16	93.88	S25°31'23"W
L17	64.97	S31°20'05"W
L18	76.03	S18°49'17"W
L19	93.57	S30°25'13"W
L20	18.83	S38°18'36"W
L21	17.68	S44°24'12"W
L22	12.27	S43°07'33"W
L23	16.68	S35°26'25"W
L24	16.83	S27°59'12"W
L25	84.15	S23°03'55"W

TRACT T-1A-1
TOWN OF ALAMEDA GRANT
FIELD: J4-21-94
VOL. 94C, FOL. 133



- BANCO DETAIL PLAN**
1. ALL MATERIALS TS 1"x2", PAINTED SILVER
 2. EPOXY BOLT TO CONCRETE



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT NOTES:

1. SIGNAGE. SIGN ON-PREMISES AS SPECIFIED IN SECTION 14-16-3-5 OF THE CITY OF ALBUQUERQUE ZONING CODE, AND FURTHER PROVIDED IN ITEM 11, a THROUGH f, IN THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-2-16 C-1, EXCEPT THE NUMBER OF FREESTANDING SIGNS SHOULD BE ALLOWED TO MAXIMUM OF 2, NEIGHBORHOOD COMMERCIAL ZONE.
2. LOT SIZE. MINIMUM LOT WIDTH AND DEPTH SHALL BE 150 FEET. LOTS LEGALLY NONCONFORMING TO MINIMUM LOT WIDTH OR DEPTH MAY BE DEVELOPED GOVERNED BY THE R-T ZONE IN ALL RESPECTS; NO VARIANCE IS REQUIRED FOR SUCH DEVELOPMENT.
3. SETBACKS. AS REGULATED IN THE O-1 ZONING OF THE COMPREHENSIVE CITY ZONING CODE.
4. OFF-STREET PARKING. OFF-STREET PARKING SHALL BE AS PROVIDED IN §14-16-3-1 OF THE CITY OF ALBUQUERQUE ZONING CODE.
5. OUTSIDE STORAGE. ALL OUTDOOR STORAGE AND TRASH COLLECTION AREAS SHALL BE VISUALLY SCREENED FROM ALL PROPERTY LINES BY A SOLID WALL OR FENCE OR BY AN EVERGREEN HEDGE AT LEAST SIX FEET HIGH.
6. LANDSCAPING. LANDSCAPING SHALL BE AS SPECIFIED IN 14-16-3-10 OF THE CITY OF ALBUQUERQUE ZONING CODE, EXCEPT THE SETBACK NOTED IN FRONT.
7. ARCHITECTURAL CHARACTER / BUILDING MATERIALS AND COLORS.
 - (A) BUILDING HEIGHTS: STRUCTURE HEIGHTS UP TO 26 FEET IS PERMITTED AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGEWAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME BOUNDARIES OR CENTER LINE. EXCEPTIONS TO THE ABOVE ARE PROVIDED IN §§ 14-16-3-3 AND 14-16-3-5 OF THIS ZONING CODE. NOTWITHSTANDING ANY OF THE ABOVE REGULATIONS, APARTMENT STRUCTURES SHALL NOT EXCEED 26 FEET IN HEIGHT WITHIN 85 FEET OF A LOT ZONED SPECIFICALLY FOR HOUSES.
 - (B) BUILDING TYPES: BUILDINGS WILL BE MASONRY, METAL PANELING, STUCCO OR ANY COMBINATION.
 - (C) ROOFS: PITCHED ROOFS WILL BE SHINGLED, TILED OR METAL.
 - (D) BUILDING COLORS: SEE ELEVATION PLAN.
 - (E) MECHANICAL EQUIPMENT: MECHANICAL EQUIPMENT SHALL BE INSTALLED ON ROOFS AND IS TO BE SCREENED FROM PUBLIC VIEW AS MUCH AS PRACTICAL, NEEDS TO COMPLY WITH SECTION 14-16-3-18 OF THE O-1 ZONING OF THE COMPREHENSIVE CITY ZONING CODE. ROOF EQUIPMENT SCREENS ARE TO BE AT LEAST AS HIGH AS THE HIGHEST PART OF THE EQUIPMENT. ROOF SCREENS ARE TO BE ARCHITECTURALLY COMPATIBLE WITH THE BUILDING. IF A MECHANICAL EQUIPMENT IS NOT INSTALLED ON ROOF IT NEEDS TO COMPLY WITH SECTION 14-16-3-18 OF THE O-1 ZONING OF THE COMPREHENSIVE CITY ZONING CODE.
8. LIGHTING. AS SPECIFIED IN CITY OF ALBUQUERQUE ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS. IN ADDITION, ALL OUTDOOR LIGHTING FIXTURES MOUNTED ON BUILDINGS OR STRUCTURES SHALL BE MOUNTED AT A HEIGHT NO MORE THAN 16 FEET ABOVE FINISHED GRADE. THE FREESTANDING LIGHT FIXTURES WILL BE EVENLY DISTRIBUTED THROUGHOUT THE SITE. THE LIGHT FIXTURES UNDERNEATH THE CANOPY WILL BE FLUSH WITH THE CEILING OF THE CANOPY.

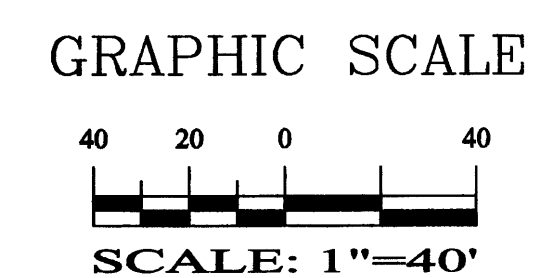
- LEGEND**
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 - EXISTING POWER POLE
 - PROPOSED FREE STANDING LIGHT
 - PROPOSED 5' PEDESTRIAN WALKWAY
 - PROPOSED SEATING AREA

SHAHAB BIAZAR
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REGISTERED PROFESSIONAL ENGINEER
13479

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(505)959-5370



DRAWING: 200359-ST-COMM.DWG	DRAWN BY: SHH	DATE: 05-10-04	SHEET # 2 OF 7
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LAST REVISION: 08-14-04

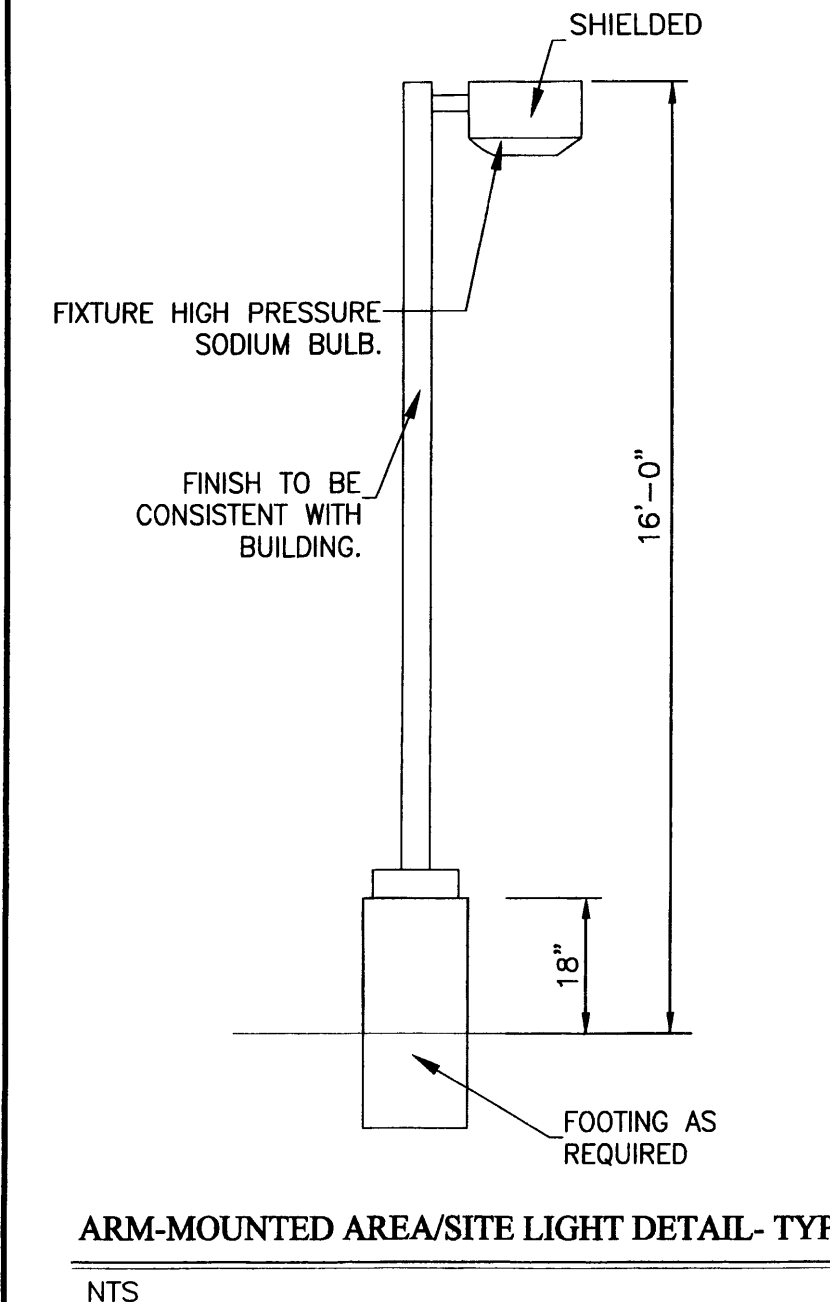
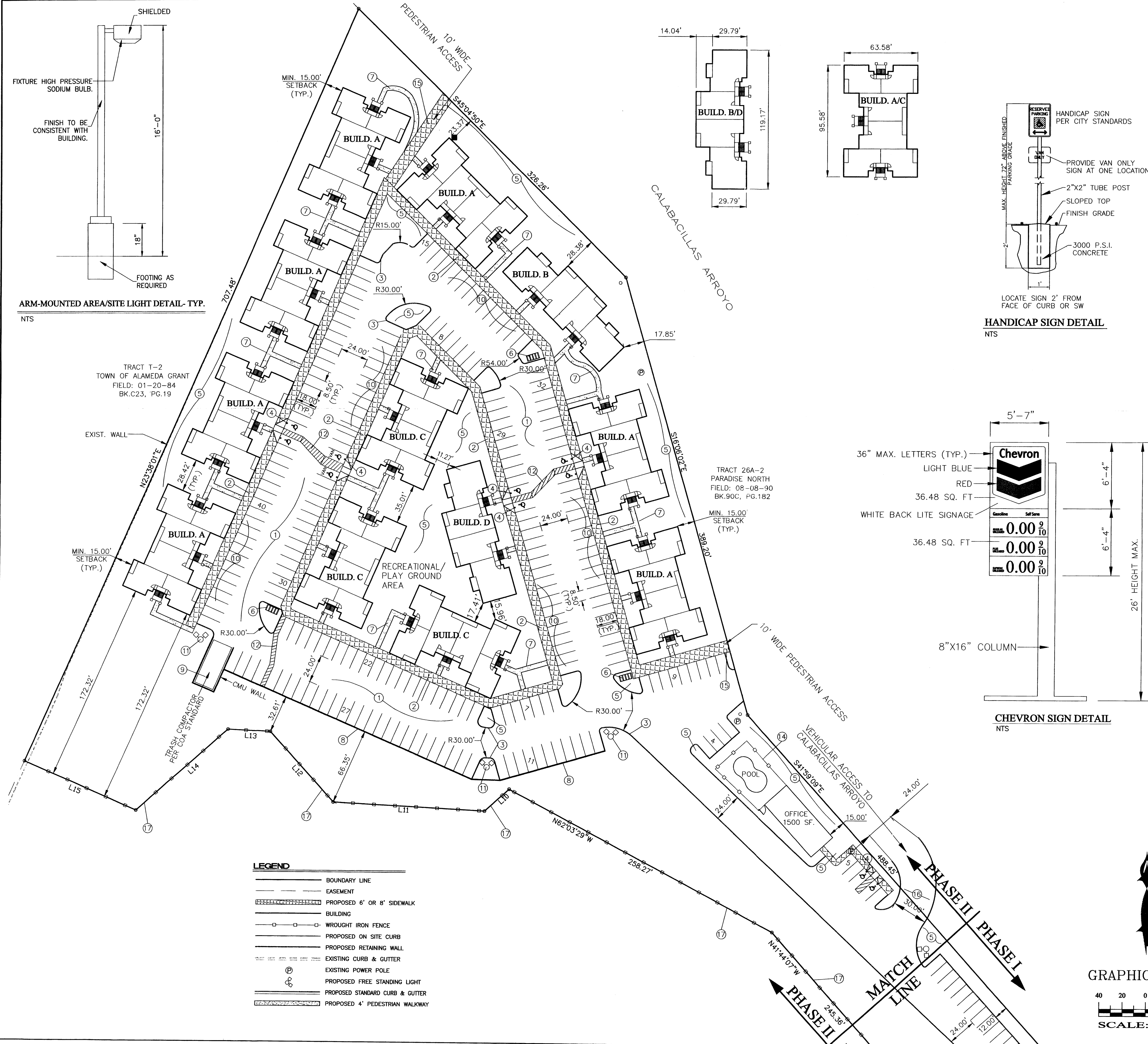
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT NOTES:

- SIGNAGE.**
SIGN ON-PREMISES AS SPECIFIED IN SECTION 14-16-3-5 OF THE CITY OF ALBUQUERQUE ZONING CODE, AND FURTHER PROVIDED IN ITEM 11, a THROUGH f, IN THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-2-16 C-1, EXCEPT THE NUMBER OF FREESTANDING SIGNS SHOULD BE ALLOWED TO MINIMUM OF 2, NEIGHBORHOOD COMMERCIAL ZONE.
- LOT SIZE.**
MINIMUM LOT WIDTH AND DEPTH SHALL BE 150 FEET. LOTS LEGALLY NONCONFORMING TO MINIMUM LOT WIDTH OR DEPTH MAY BE DEVELOPED GOVERNED BY THE R-T ZONE IN ALL RESPECTS; NO VARIANCE IS REQUIRED FOR SUCH DEVELOPMENT.
- SETBACKS.**
THERE SHALL BE A FRONT-YARD SETBACK OF NOT LESS THAN 15 FEET. THERE SHALL BE A SIDE-YARD SETBACK OF NOT LESS THAN FIVE FEET. THERE SHALL BE A REAR-YARD SETBACK OF NOT LESS THAN 15 FEET, UNLESS NOTED ON SITE PLAN.
- OFF-STREET PARKING.**
OFF-STREET PARKING SHALL BE AS PROVIDED IN §14-16-3-1 OF THE CITY OF ALBUQUERQUE ZONING CODE.
- OUTSIDE STORAGE.**
ALL OUTDOOR STORAGE AND TRASH COLLECTION AREAS SHALL BE VISUALLY SCREENED FROM ALL PROPERTY LINES BY A SOLID WALL OR FENCE OR BY AN EVERGREEN HEDGE AT LEAST SIX FEET HIGH.
- LANDSCAPING.**
LANDSCAPING SHALL BE AS SPECIFIED IN 14-16-3-10 OF THE CITY OF ALBUQUERQUE ZONING CODE, EXCEPT THE SETBACK NOTED IN FRONT.
- ARCHITECTURAL CHARACTER / BUILDING MATERIALS AND COLORS.**
(A) BUILDING HEIGHTS: STRUCTURE HEIGHTS UP TO 26 FEET IS PERMITTED AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGEWAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT 60° ANGLE FROM THE SAME BOUNDARIES OR CENTER LINE. EXCEPTIONS TO THE ABOVE ARE PROVIDED IN §§ 14-16-3-3 AND 14-16-3-5 OF THIS ZONING CODE. NOTWITHSTANDING ANY OF THE ABOVE REGULATIONS, APARTMENT STRUCTURES SHALL NOT EXCEED 26 FEET IN HEIGHT WITHIN 85 FEET OF A LOT ZONED SPECIFICALLY FOR HOUSES.
(B) BUILDING TYPES: BUILDINGS WILL BE MASONRY, METAL PANELING, STUCCO OR ANY COMBINATION.
(C) ROOFS: PITCHED ROOFS WILL BE SHINGLED, TILED OR METAL.
(D) BUILDING COLORS: SEE ELEVATION PLAN.
(E) MECHANICAL EQUIPMENT: MECHANICAL EQUIPMENT SHALL BE INSTALLED ON ROOFS AND IS TO BE SCREENED FROM PUBLIC VIEW AS MUCH AS PRACTICAL. NEEDS TO COMPLY WITH SECTION 14-16-3-18 OF THE 0-1 ZONING OF THE COMPREHENSIVE CITY ZONING CODE. ROOF EQUIPMENT SCREENS ARE TO BE AT LEAST AS HIGH AS THE HIGHEST PART OF THE EQUIPMENT. ROOF SCREENS ARE TO BE ARCHITECTURALLY COMPATIBLE WITH THE BUILDING. IF MECHANICAL EQUIPMENT IS NOT INSTALLED ON ROOF IT NEEDS TO COMPLY WITH SECTION 14-16-3-18 OF THE 0-1 ZONING OF THE COMPREHENSIVE CITY ZONING CODE.

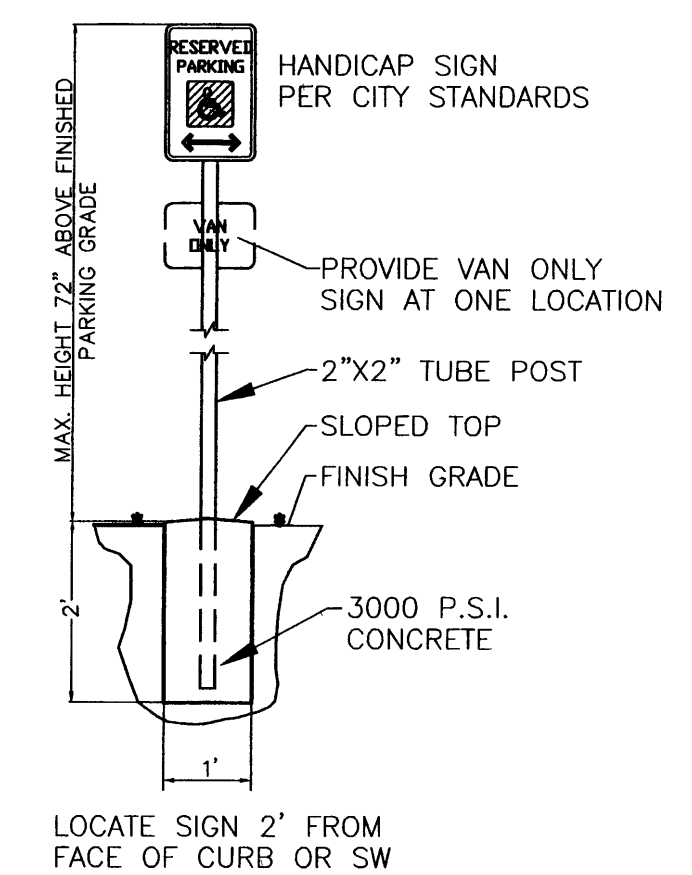
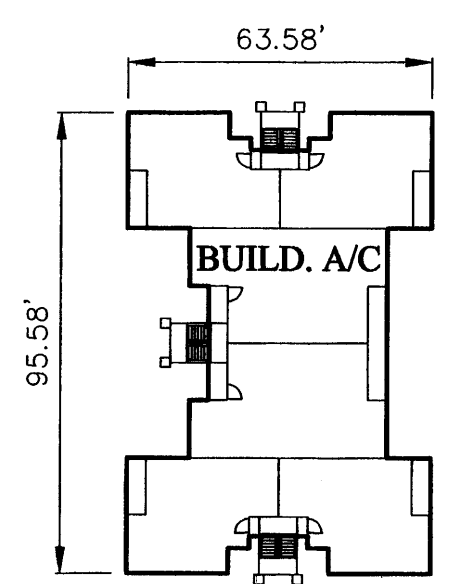
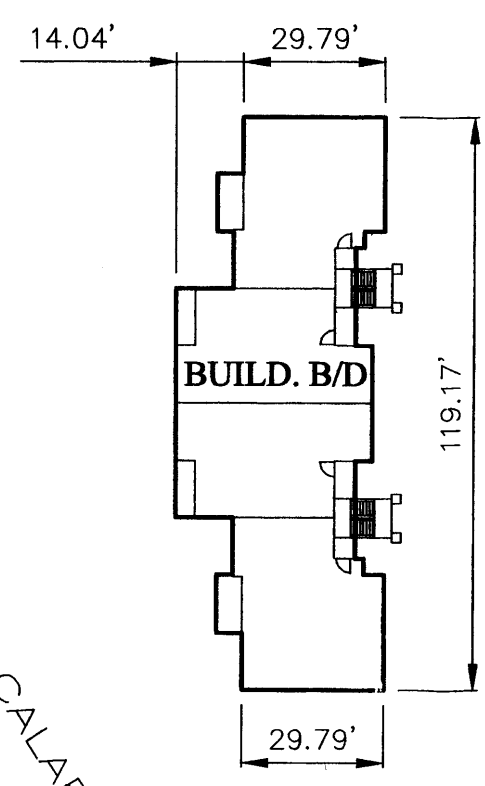
- LIGHTING.**
AS SPECIFIED IN CITY OF ALBUQUERQUE ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS. IN ADDITION, ALL OUTDOOR LIGHTING FIXTURES MOUNTED ON BUILDINGS OR STRUCTURES SHALL BE MOUNTED AT A HEIGHT NO MORE THAN 16 FEET ABOVE FINISHED GRADE.

NOTES:

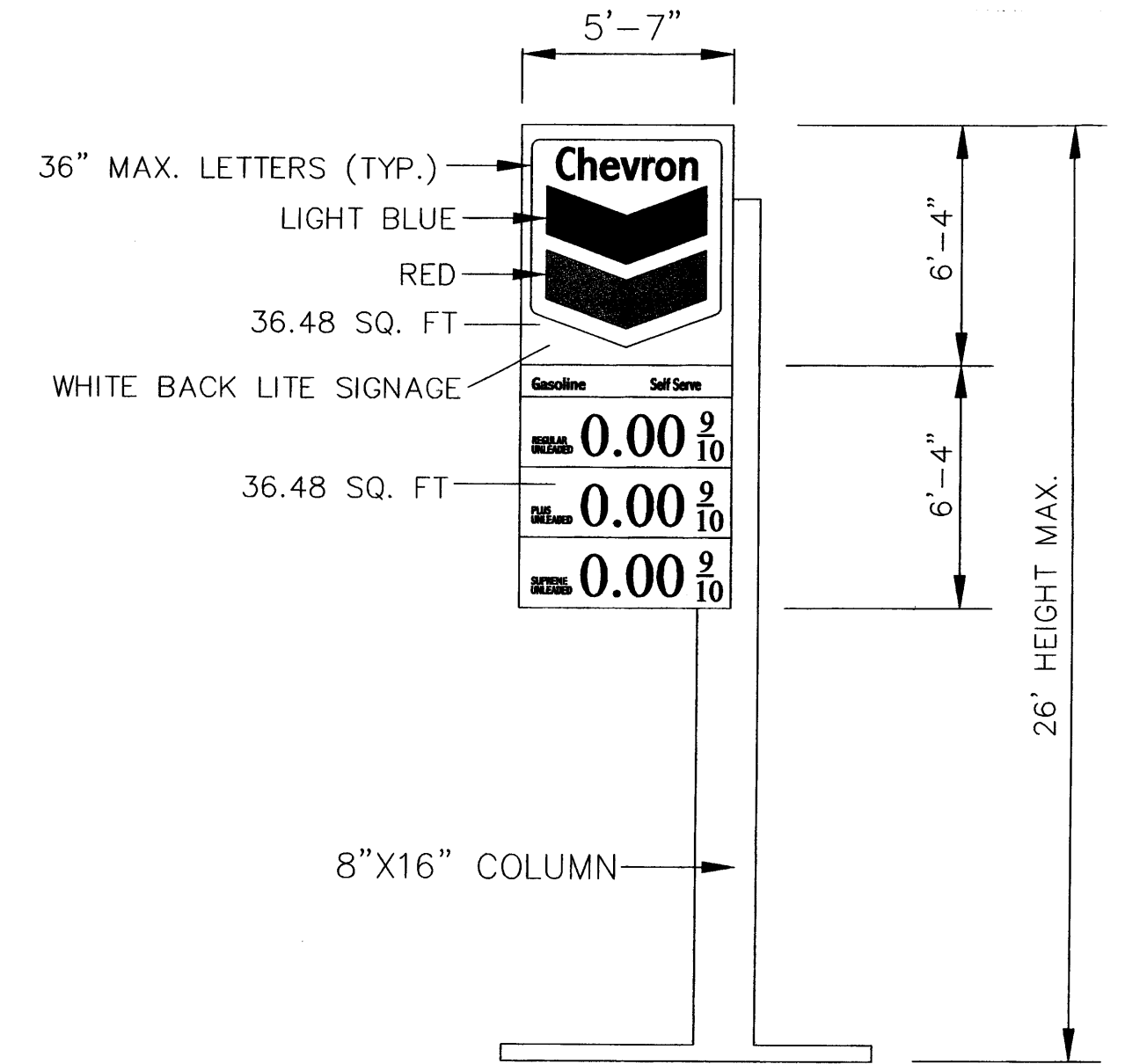
- NEW ASPHALT PAVING AREA.
- NEW 8' SIDEWALKS PER COA STANDARD DRAWING 2430.
- NEW PINNED CURB PER COA STANDARD DRAWING 2415A.
- HANDICAP SIGN SEE DETAIL THIS SHEET.
- LANDSCAPED AREA.
- BICYCLE RACK.
- 4' WIDE SIDEWALK.
- HEADER CURB.
- 8" CMU REFUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARDS.
- 8 1/2' WIDE X 18' DEEP PARKING SPACES.
- ARM-MOUNTED AREA/SITE LIGHT (HRHAMMER 70-400W) SEE THIS SHEET FOR DETAIL.
- PEDESTRIAN CROSSING.
- ALL HC RAMPS PER COA STANDARD DRAWING.
- 6' HIGH WROUGHT IRON FENCE.
- 10' WIDE PEDESTRIAN ACCESS TO CALABACILLAS ARROYO
- 30' WIDE VEHICULAR ACCESS TO CALABACILLAS ARROYO
- 6' HIGH WROUGHT IRON FENCE TO MATCH EXISTING FENCE (LIGHT GREY BLUE)



ARM-MOUNTED AREA/SITE LIGHT DETAIL - TYP.
NTS



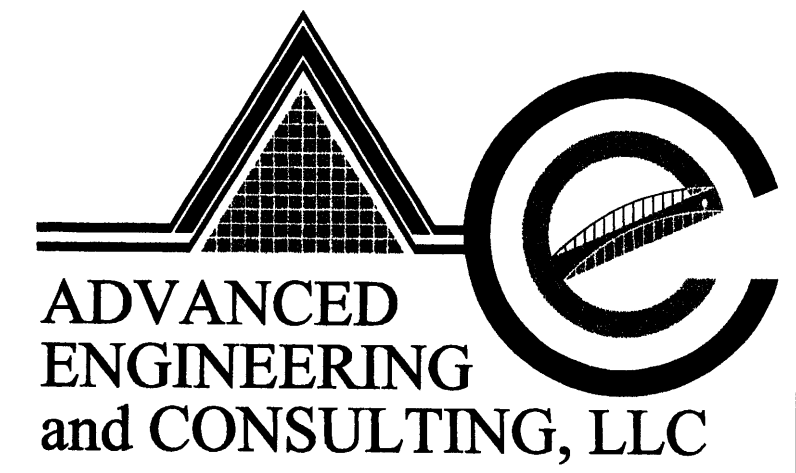
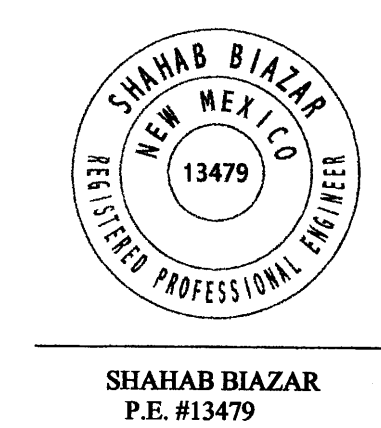
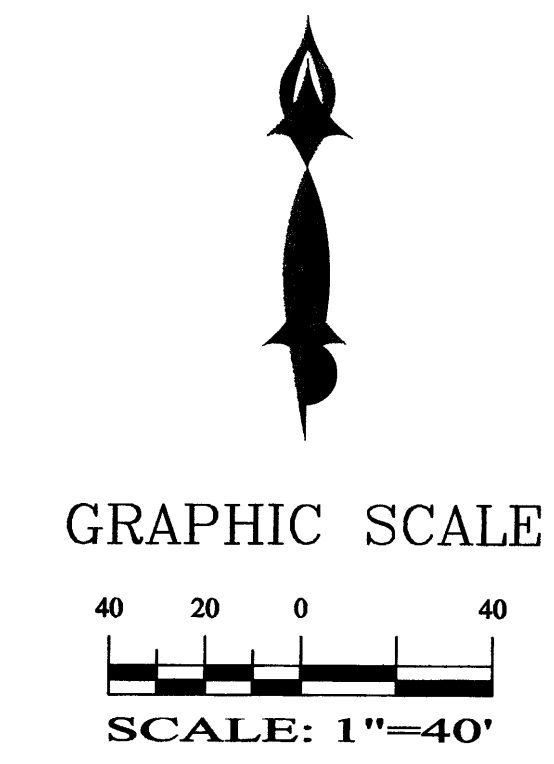
HANDICAP SIGN DETAIL
NTS



CHEVRON SIGN DETAIL
NTS

LEGEND

	BOUNDARY LINE
	EASEMENT
	PROPOSED 6' OR 8' SIDEWALK
	BUILDING
	WROUGHT IRON FENCE
	PROPOSED ON SITE CURB
	PROPOSED RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING POWER POLE
	PROPOSED FREE STANDING LIGHT
	PROPOSED STANDARD CURB & GUTTER
	PROPOSED 4' PEDESTRIAN WALKWAY



SHAHAB BIAZAR
P.E. #13479
4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

APARTMENT SITE PLAN RABADI APT. COMPLEX (PHASE II)			
DRAWING:	DRAWN BY:	DATE:	SHEET #
200359-ST-RES.DWG	SHH	03-31-04	3 OF 7

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA FOR PHASE I (COMMERCIAL)

TOTAL LOT AREA	95,604.13	square feet
TOTAL BUILDINGS AREA	18,770.00	square feet
OFFSITE AREA	7,400	square feet
NET LOT AREA	76,834.00	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	11,525.00	square feet
TOTAL LANDSCAPE PROVIDED	20,805.50	square feet
TOTAL BED PROVIDED	15,883.50	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	11,912.60	square feet
TOTAL GROUND COVER PROVIDED	12804.00	square feet
TOTAL SOD PROVIDED	-	square feet
TOTAL NATIVE SEED PROVIDED	4,922.00	square feet

NET LANDSCAPE AREA FOR PHASE II (RESIDENTIAL)

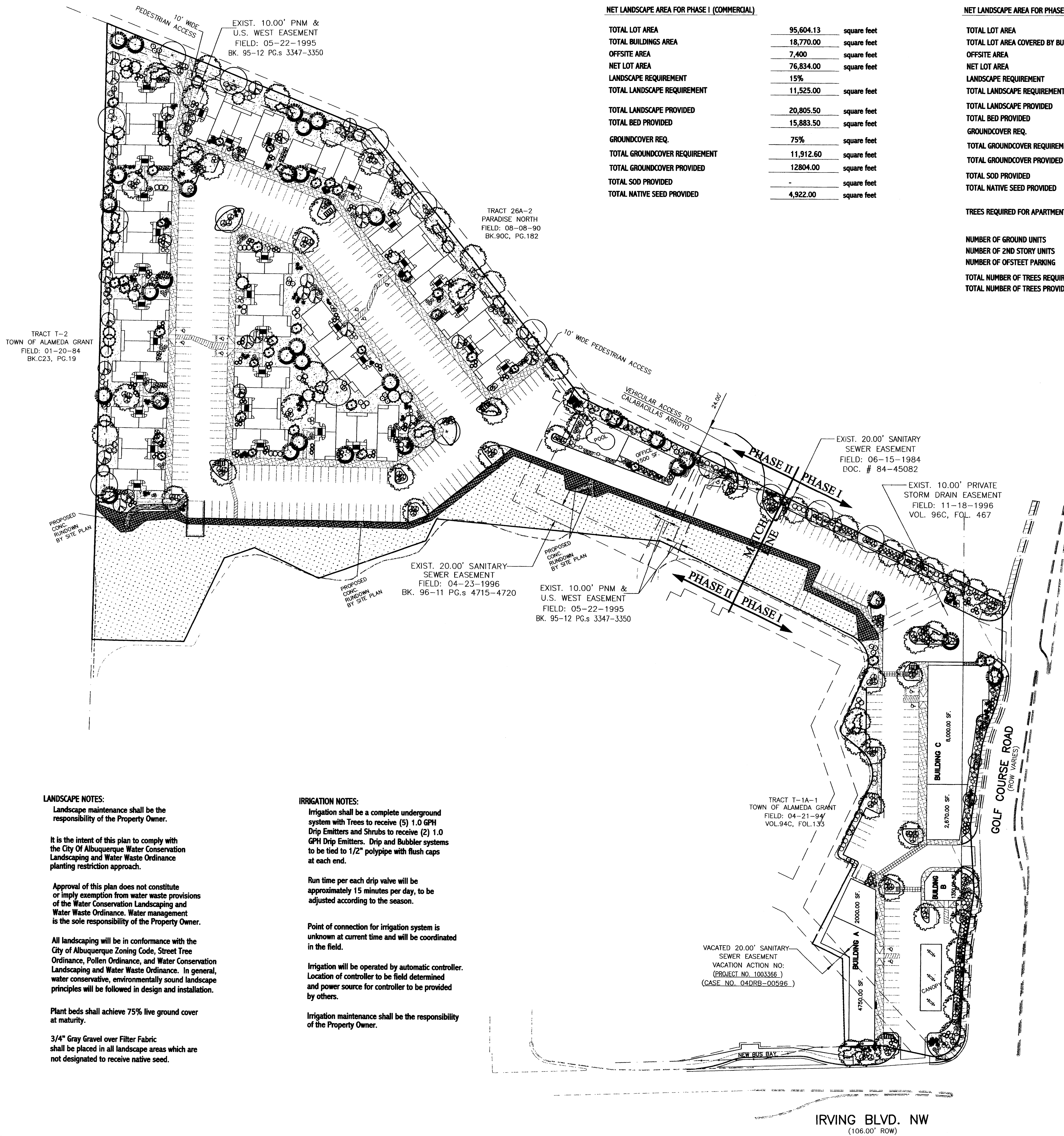
TOTAL LOT AREA	284,685.68	square feet
TOTAL LOT AREA COVERED BY BUILDINGS	51,024.00	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	233,661.00	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	35,049.00	square feet
TOTAL LANDSCAPE PROVIDED	70,769.62	square feet
TOTAL BED PROVIDED	26,924.00	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	20,193.00	square feet
TOTAL GROUND COVER PROVIDED	21,608.00	square feet
TOTAL SOD PROVIDED	-	square feet
TOTAL NATIVE SEED PROVIDED	43,845.62	square feet

TREES REQUIRED FOR APARTMENT UNITS:

	NUMBER OF TREES REQ.
NUMBER OF GROUND UNITS	68 / 1
NUMBER OF 2ND STORY UNITS	68 / 2
NUMBER OF OFFSTREET PARKING	239 / 10
TOTAL NUMBER OF TREES REQUIRED	126
TOTAL NUMBER OF TREES PROVIDED	127

PLANT LEGEND

	ASH (H) & HONEY LOCUST (H) 61 Fraxinus pennsylvanica Gleditsia triacanthos 2" Cal.		AUSTRIAN PINE (H) 31 Pinus nigra 6'-8"
	SYCAMORE (M) 16 Platanus spp. 2" Cal.		FLOWERING PEAR (H) 46 Pyrus calleryana 2" Cal.
	DESERT WILLOW (L) 34 Chilopsis linearis 15 Gal.		WASHINGTON HAWTHORN (H) 10 Crataegus phaenopyrum 15 Gal.
	PURPLE-LEAF PLUM (M) 29 Prunus spp. 1 1/2" Cal.		APACHE PLUME (L) 26 Fallugia paradoxa 5 Gal. 25sf
	SILVERBERRY (M) 27 Elaeagnus pungens 5 Gal. 100sf		BLUE MIST SPIREA (M) 26 Caryopteris clandonensis 5 Gal.
	LILAC 39 Syringa vilgaris 5 Gal. 36sf		LANAS/ SCOTCH BROOM (M) 89 Cytisus scoparius/ Genista hispanica 5 Gal.
	RED YUCCA (L) 25 Hesperaloe parviflora 5 Gal.		ROSEMARY (M) 87 Rosmarinus officinalis 2 Gal. 36sf
	MAIDENGRASS (M) 86 Miscanthus sinensis 5 Gal. 16sf		POTENTILLA (M) 14 Potentilla fruticosa 2 Gal.
	INDIAN HAWTHORN (M) 34 Raphiolepis indica 5 Gal.		AUTUMN SAGE (M) 96 Salvia greggii 2 Gal. 9sf
	RUSSIAN SAGE (M) 36 Perovskia atriplicifolia 5 Gal.		HONEYSUCKLE (M) 96 Lonicera sempervirens 1 Gal. 200sf Unstaked-Groundcover
	GREYLEAF COTONEASTER 51 Cotoneaster buxifolius 5 Gal.		CHAMISA (L) 49 Chrysothamnus nauseosus 1 Gal. 25sf
	3/4" GRAY GRAVEL WITH FILTER FABRIC		WILDFLOWER 112 1 Gal. 4sf
	CRIMP STRAW/NATIVE SEED		OVERSIZED GRAVEL & 9 BOULDERS



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

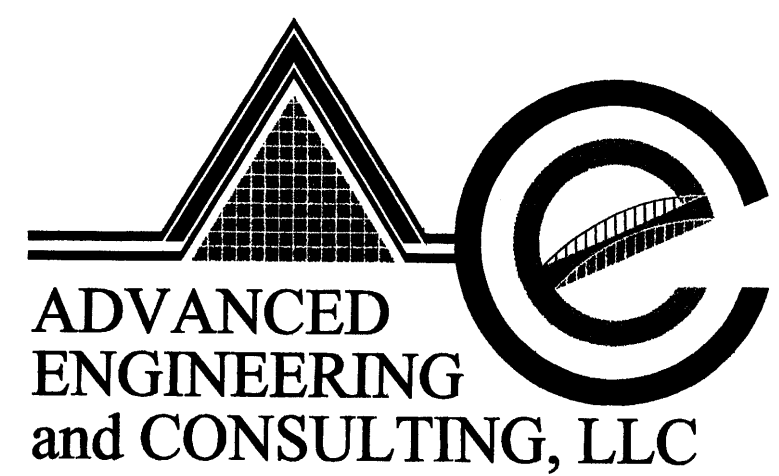
Irrigation maintenance shall be the responsibility of the Property Owner.

TRACT T-1A-1
TOWN OF ALAMEDA GRANT
FIELD: 04-21-94
VOL.94C, FOL.133

VACATED 20.00' SANITARY
SEWER EASEMENT
VACATION ACTION NO:
(PROJECT NO. 1003366.)
(CASE NO. 04DRB-00526.)

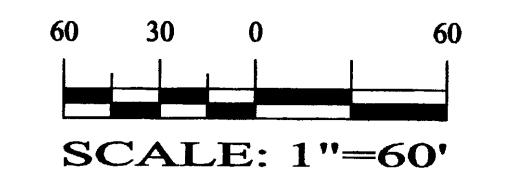
The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com
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(505)899-5570

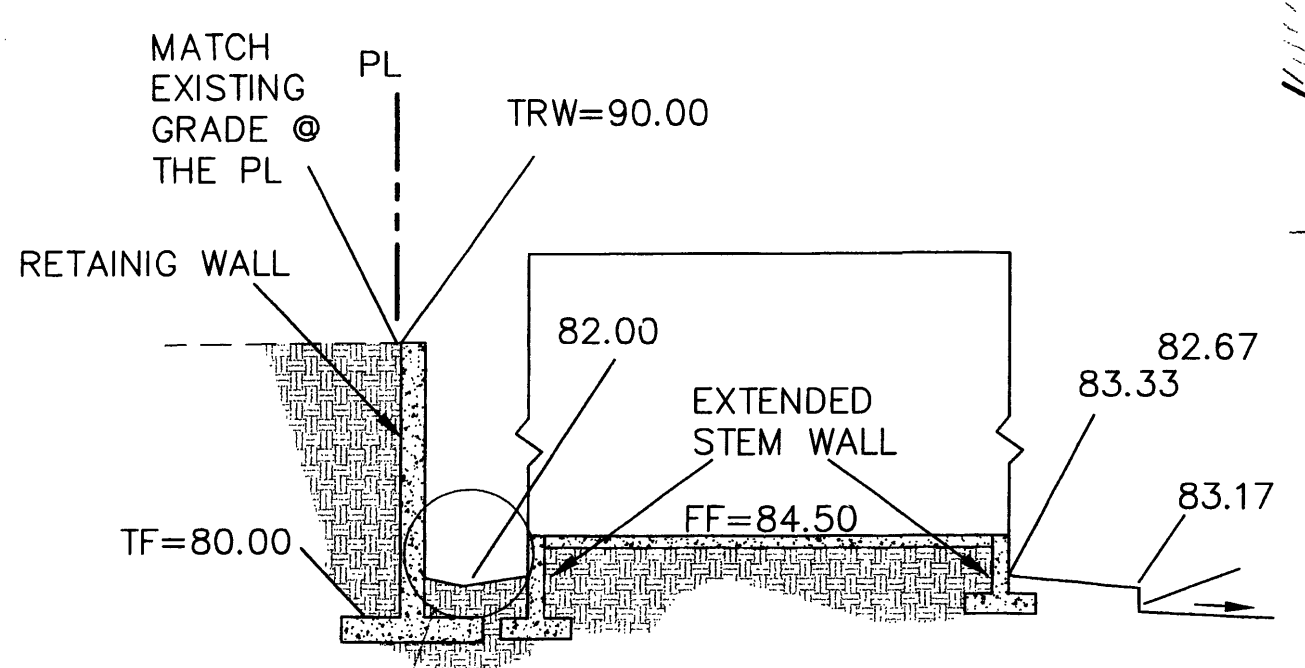
GRAPHIC SCALE



RABADI COMPLEX LANDSCAPING PLAN

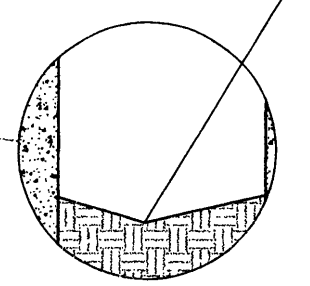
DRAWING:	DRAWN BY:	DATE:	SHEET #
200359-LS.DWG	SJ	05-7-04	4 OF 7

LAST REVISION: 06-14-04

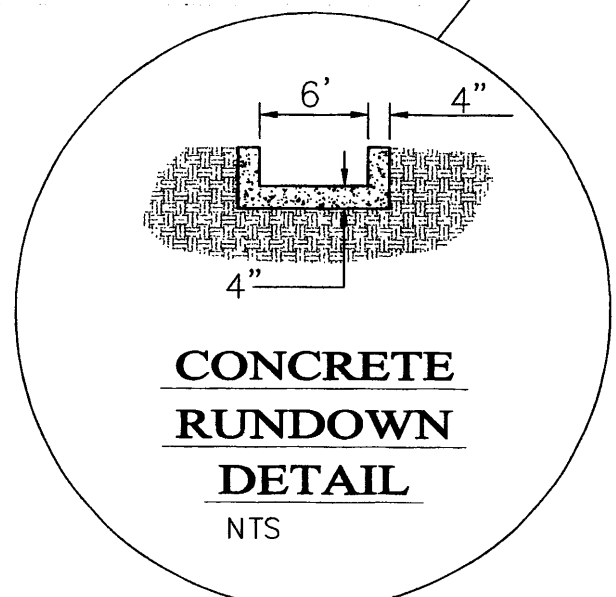


SECTION A-A
NTS

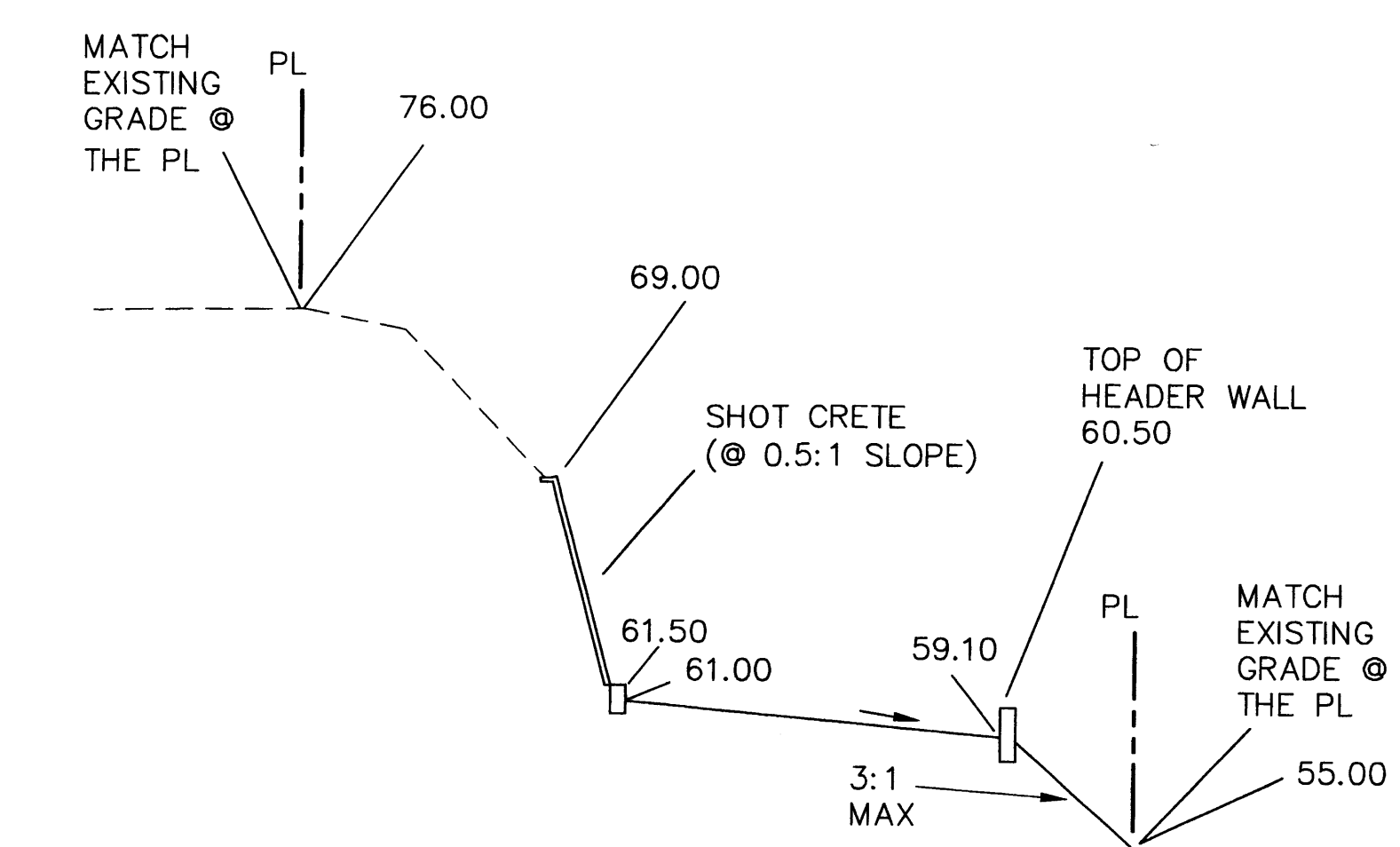
5' SWALE @
MIN. SLOPE
OF 0.50%
(MAINTAIN 12"
MIN. DEPTH)



SWALE DETAIL
NTS

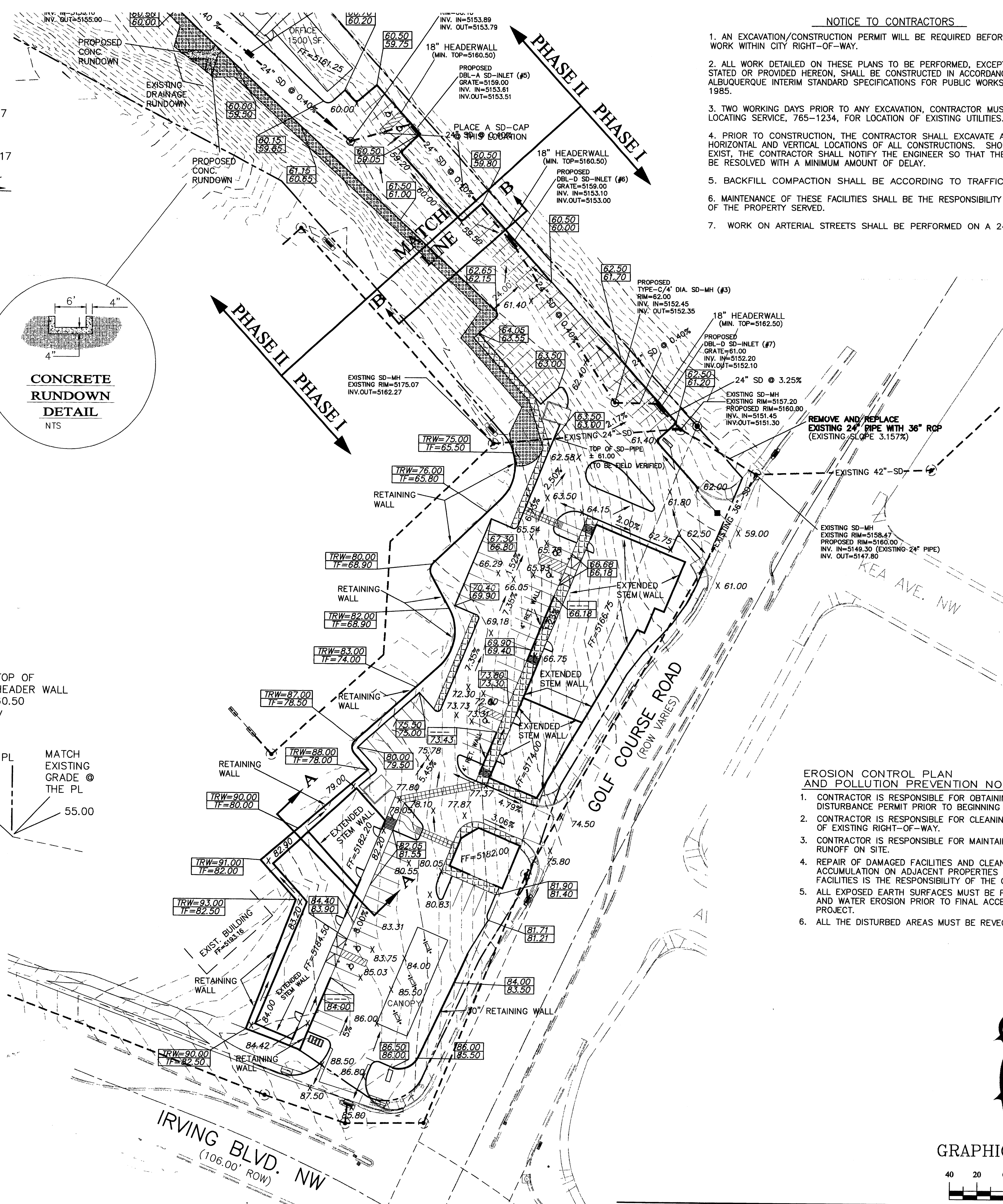


CONCRETE RUNDOWN DETAIL
NTS

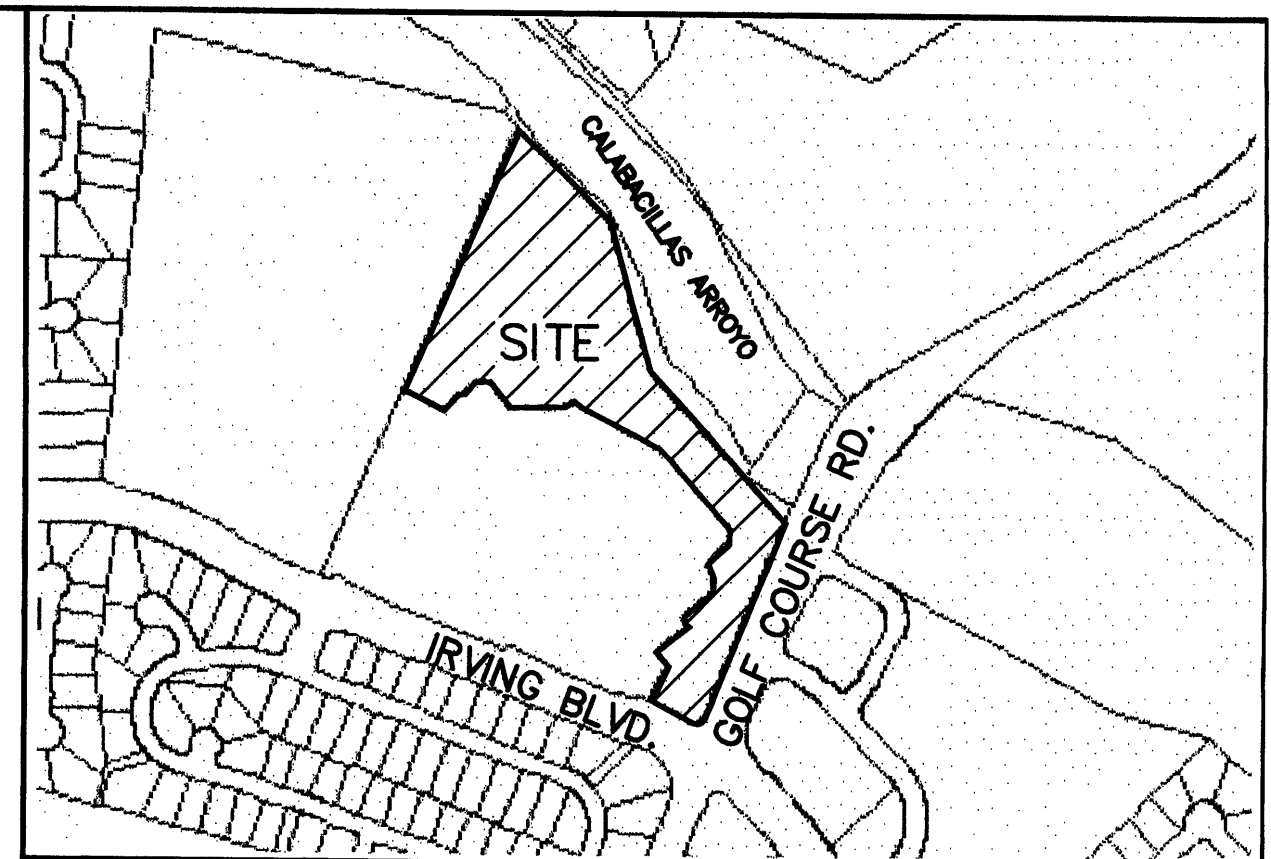


SECTION B-B
NTS

- GENERAL NOTES:**
- 1: ADD 5100 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 - 2: CONTOUR INTERVAL IS ONE (1) FOOT.
 - 3: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION "BLACK 2" HAVING AN ELEVATION OF 5213.93 FEET ABOVE SEA LEVEL.
 - 4: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 - 5: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 - 6: SLOPES ARE AT 3:1 MAXIMUM.



- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



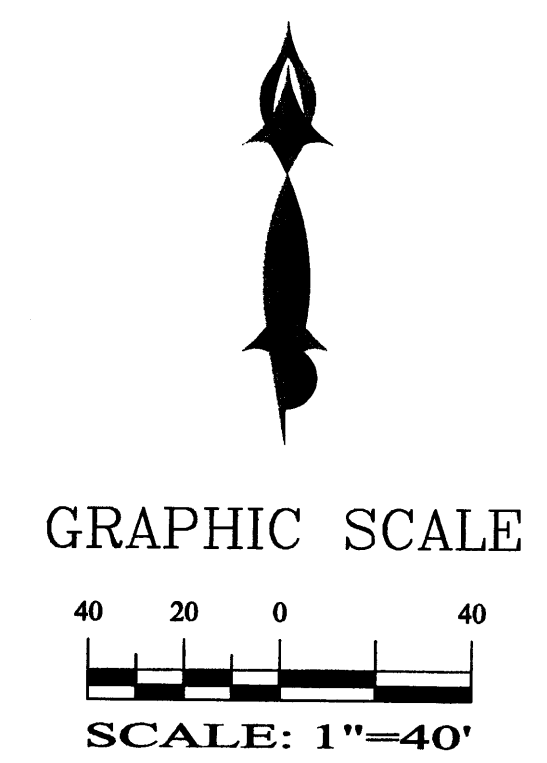
VICINITY MAP: A-12-Z

LEGAL DESCRIPTION:
TRACT T-1A-2, TOWN OF ALAMEDA GRANT
CONTAINING 370,007.76 S.F. (8.49421 AC)
MORE OR LESS.

LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING 8" SAS
	EXISTING 16" W
	EXISTING CURB & GUTTER
	EXISTING CURB & GUTTER
	5100
	5102
	BOUNDARY LINE
	EASEMENT
	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SIDEWALK
	TC 70.90 FL 70.40
	X 70.28
	* 5265.16
	EXISTING POWER LINES
	EXISTING FENCE
	EXISTING GARDEN WALL
	PROPOSED RETAINING WALL
	PROPOSED EXTENDED STEM WALL
	TRW=38.00 TF=32.00
	TSW=34.00 TF=32.00
	DOUBLE "D" INLET
	DOUBLE "A" INLET
	SHOT CRETE (@ 0.5:1 SLOPE)
	PROPOSED STORM DRAIN PIPE
	EXISTING STORM DRAIN PIPE

- EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
 4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



SHAHAB BIAZAR
P.E. #13479

ADVANCED ENGINEERING and CONSULTING, LLC

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

**COMMERCIAL GRADING AND DRAINAGE PLAN
RABADI SQUARE (PHASE I)**

DRAWING: 200359-GR-COMM.DWG	DRAWN BY: SBB	DATE: 03-31-04	SHEET # 5.1 OF 7
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ROUGH GRADING APPROVAL _____ DATE _____

LAST REVISION: 09-15-04

- GENERAL NOTES:**
- 1: ADD 5100 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 - 2: CONTOUR INTERVAL IS ONE (1) FOOT.
 - 3: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION "BLACK 2" HAVING AN ELEVATION OF 5213.93 FEET ABOVE SEA LEVEL.
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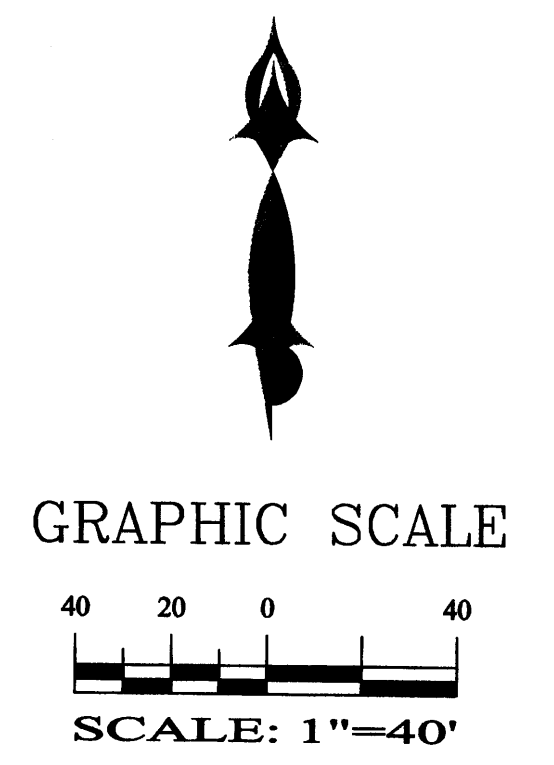
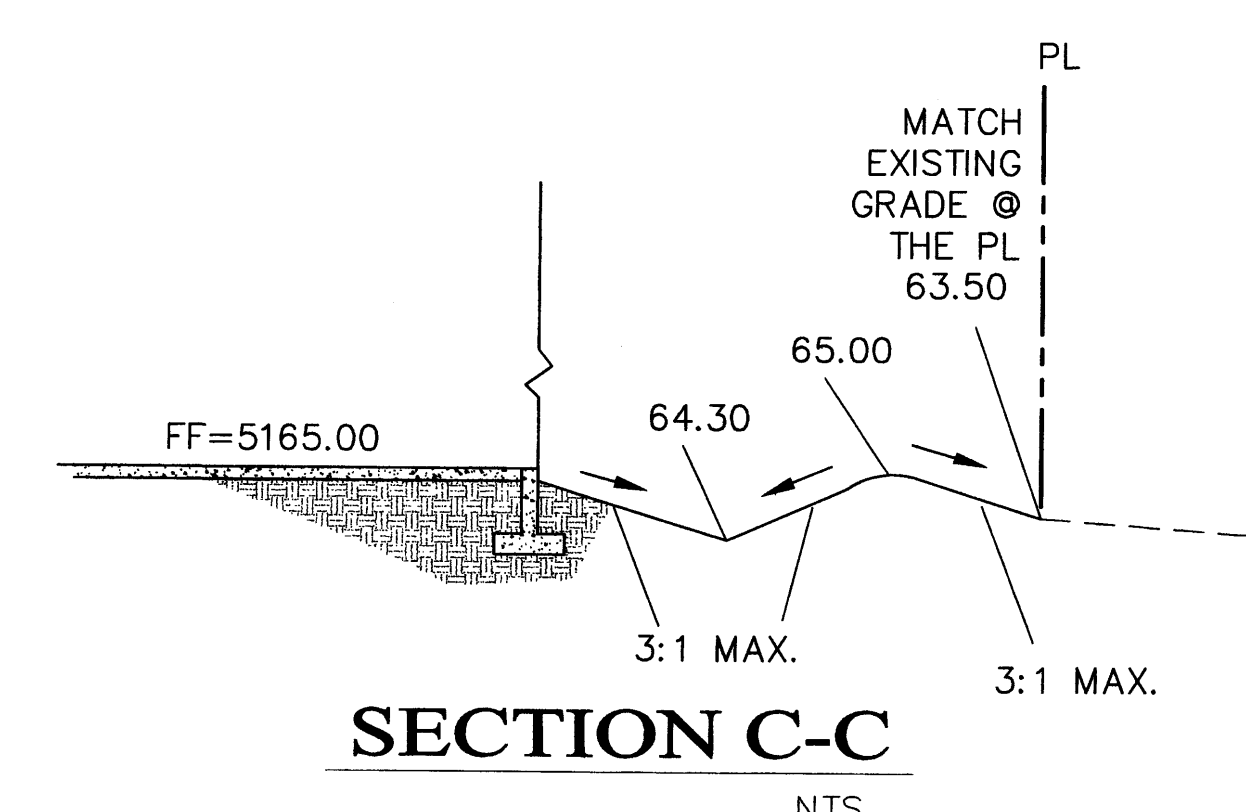
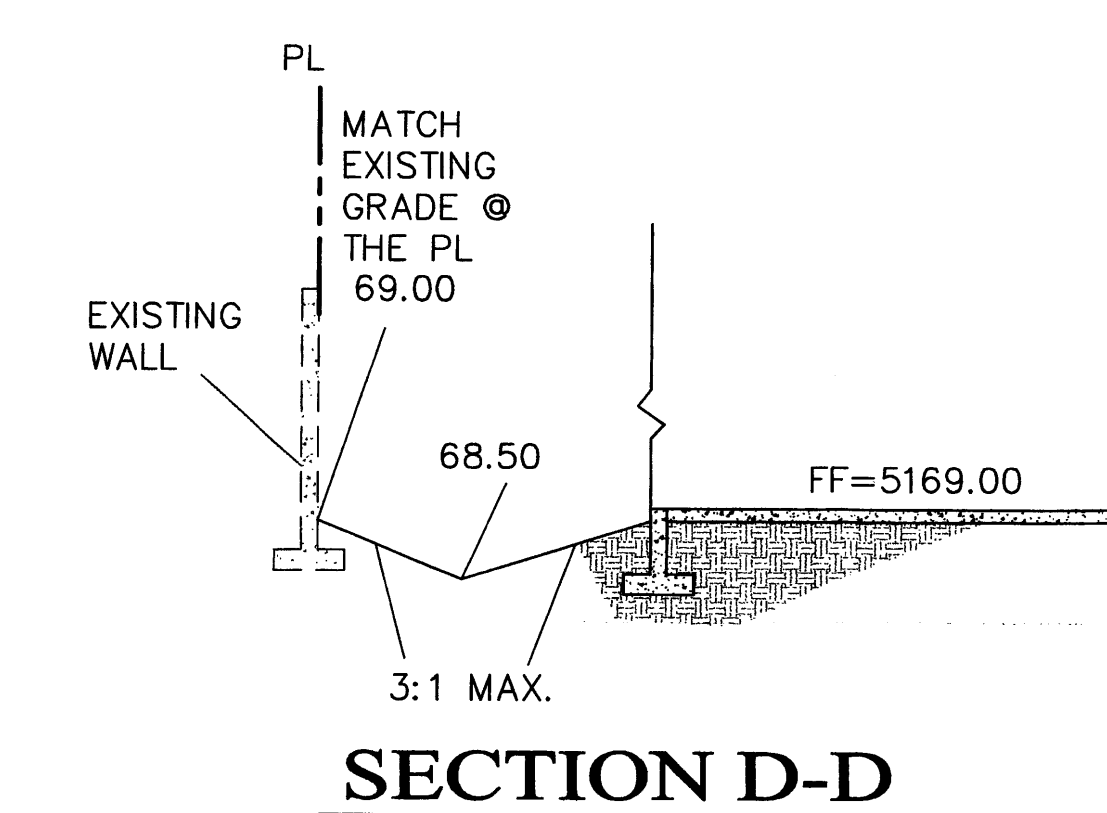
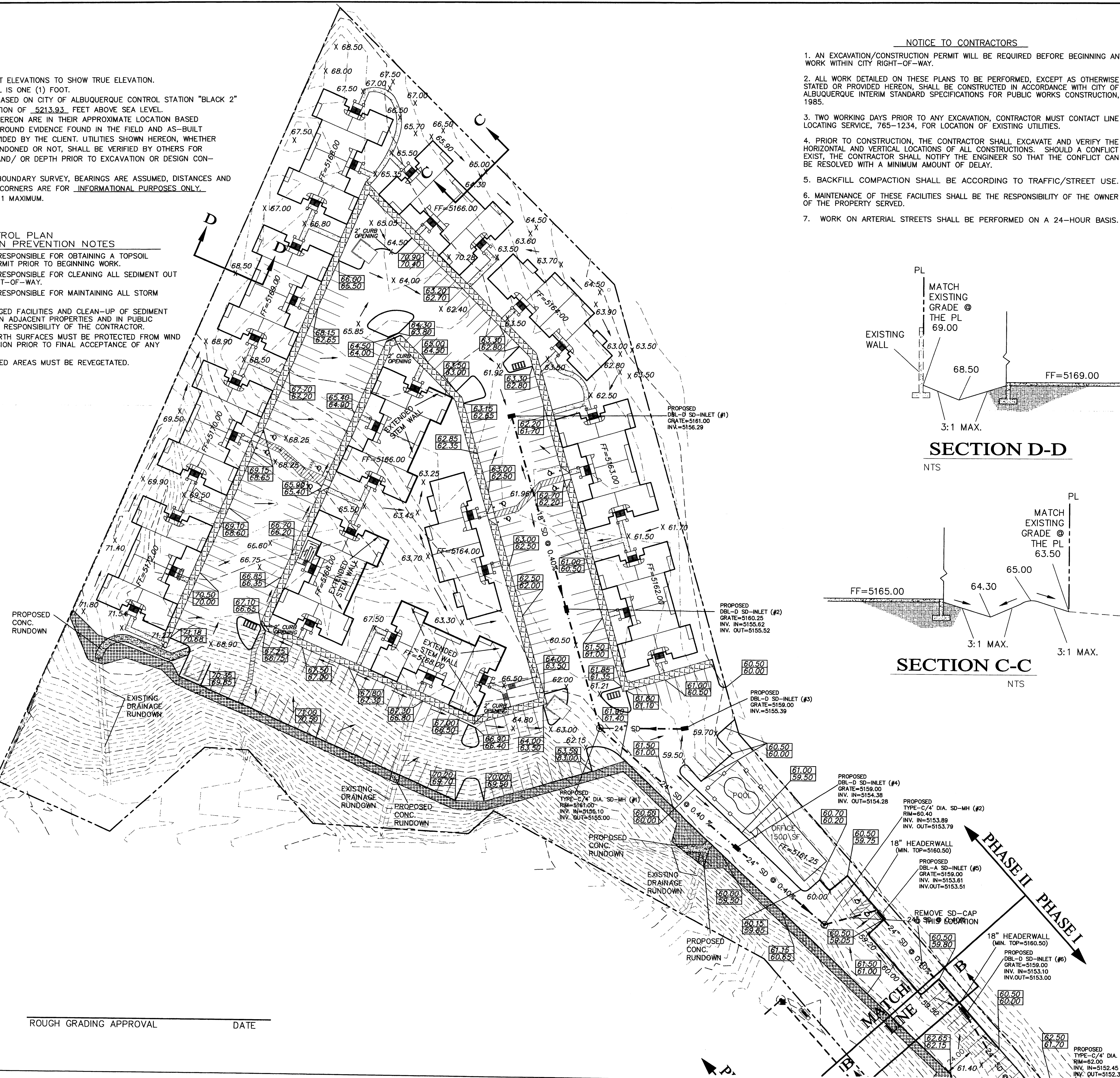
EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

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2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
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6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

- NOTICE TO CONTRACTORS**
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 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
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LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING CURB & GUTTER
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SIDEWALK
	PROPOSED GRADE
	PROPOSED SPOT ELEVATION
	EXISTING GRADE
	EXISTING POWER LINES
	EXISTING FENCE
	EXISTING GARDEN WALL
	PROPOSED RETAINING WALL
	PROPOSED EXTENDED STEM WALL
	TOP OF RETAINING WALL
	TOP OF FOOTING
	TOP OF EXTENDED STEM WALL
	TOP OF FOOTING
	DOUBLE "D" INLET
	DOUBLE "A" INLET
	SHOT CRETE
	SHOT CRETE (0.5:1 SLOPE)
	PROPOSED STORM DRAIN PIPE
	EXISTING STORM DRAIN PIPE



ROUGH GRADING APPROVAL _____ DATE _____

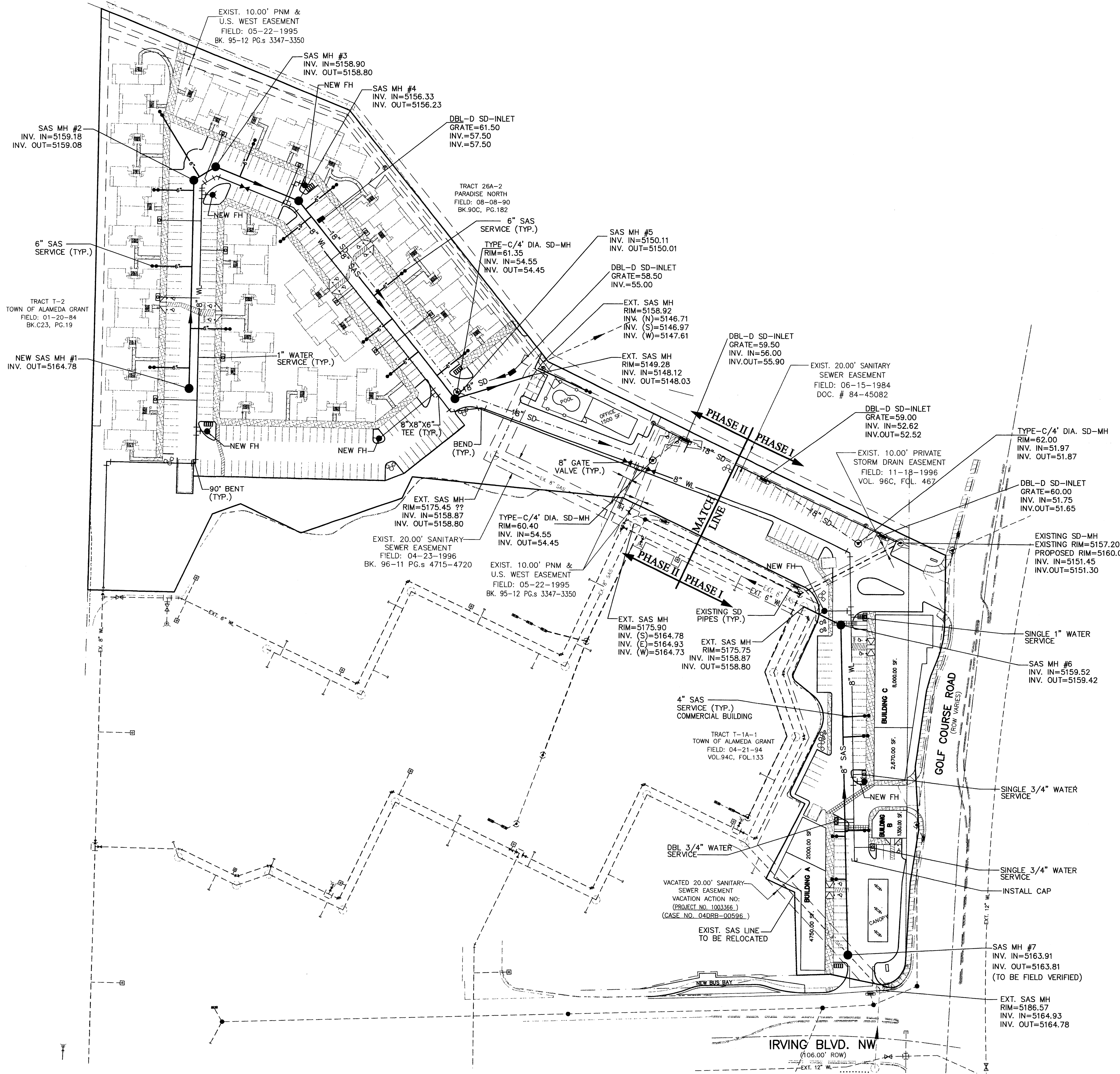
ADVANCED ENGINEERING and CONSULTING, LLC

SHAHAB BIAZAR
P.E. #13479

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

APARTMENT GRADING AND DRAINAGE PLAN RABADI APT. COMPLEX (PHASE II)

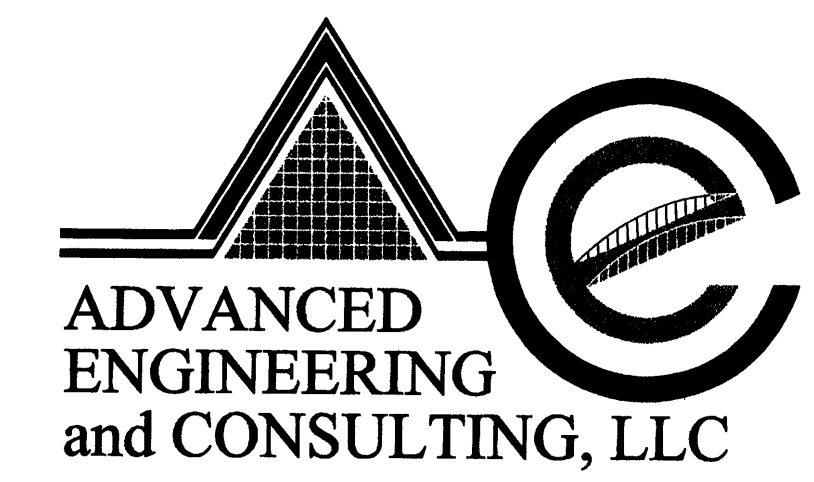
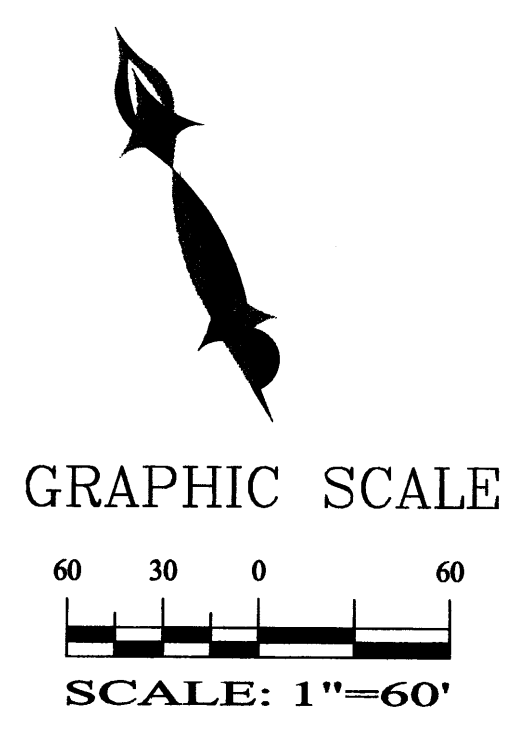
DRAWING: 200359-GR-RES.DWG	DRAWN BY: SBB	DATE: 03-31-04	SHEET # 5.2 OF 7
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LEGAL DESCRIPTION:
 TRACT T-1A-2, TOWN OF ALAMEDA GRANT
 CONTAINING 380,289.81 S.F. (8.7302 AC)

LEGEND

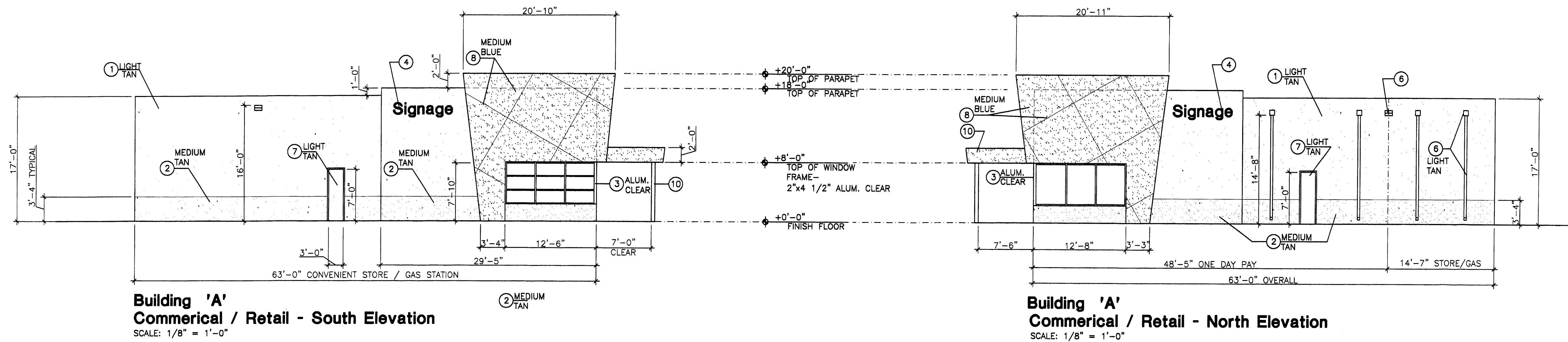
	EXISTING SAS MANHOLE
	EXISTING SD MANHOLE
	EXISTING GATE VALVE
	EXISTING STORM SEWER
	EXISTING 8" SAS
	EXISTING SANITARY SEWER LINE
	EXISTING 16" WL
	NEW 8" SAS
	NEW WATER LINE
	NEW STORM SEWER
	CLEAN OUT
	NEW WATER SERVICE
	NEW 6" SAS SERVICE
	NEW SAS MANHOLE
	STORM SEWER MANHOLE
	SINGLE SERVICE METER
	DOUBLE SERVICE METER
	NEW GATE VALVE
	NEW FIRE HYDRANT
	TEE
	BEND
	CAP (WL)
	REDUCER
	NEW CATCH BASIN
	NEW DROP INLET



4416 ANAHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87113
 (305)899-5570

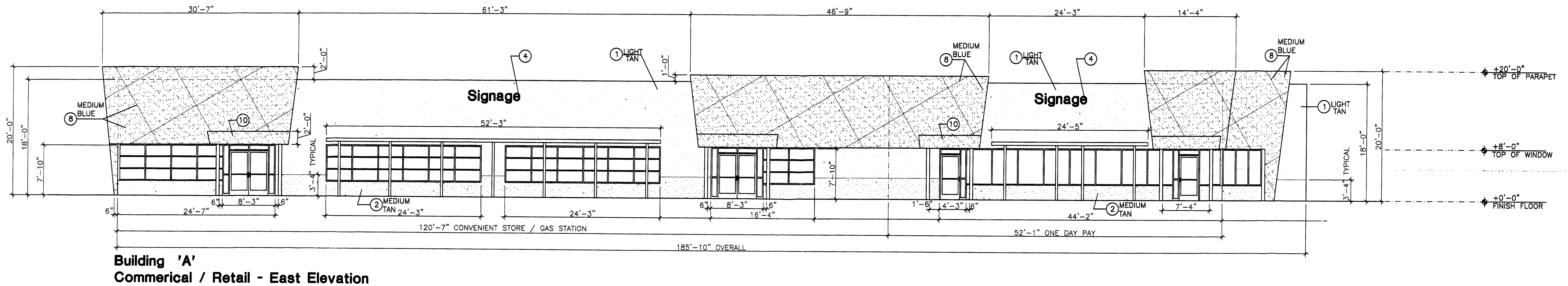
RABADI COMPLEX MASTER UTILITY PLAN			
DRAWING: 200359-MU.DWG	DRAWN BY: SBB	DATE: 05-10-04	SHEET # 6 OF 7

LAST REVISION: 06-10-04

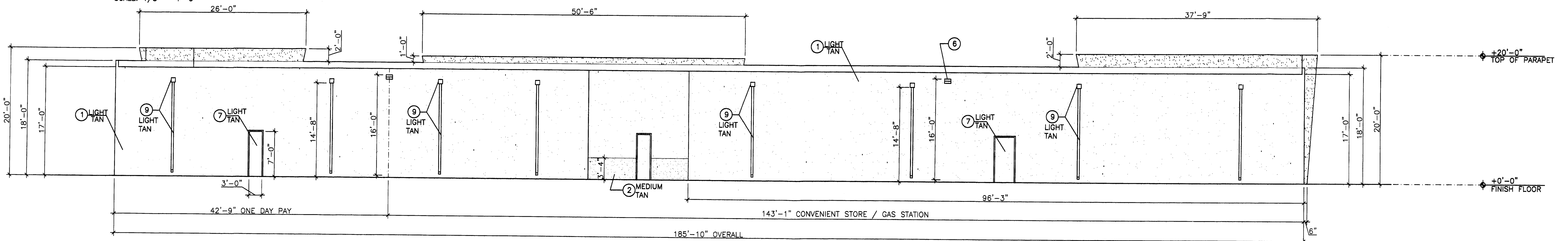


Building 'A'
Commerical / Retail - South Elevation
SCALE: 1/8" = 1'-0"

Building 'A'
Commerical / Retail - North Elevation
SCALE: 1/8" = 1'-0"



Building 'A'
Commerical / Retail - East Elevation
SCALE: 1/8" = 1'-0"



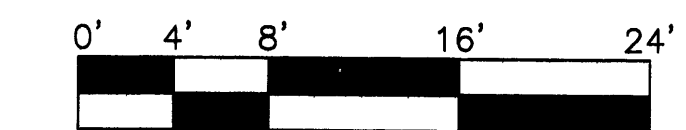
Building 'A'
Commerical / Retail - East Elevation
SCALE: 1/8" = 1'-0"

Revision:
1 07-28-04 NOTE SIGN SIZE AND AREA

Keyed Notes (Typical At All Elevations)

- 1 ARCYLIC STUCCO, LIGHT TAN TO MATCH BENJAMIN MOORE HC-6
- 2 ARYLIC STUCCO, MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55, WITH 1/4" STUCCO REGLET FOR SEPARATION OF COLORS.
- 3 CLEAR ALUMINUM STOREFRONT FRAME, LIGHT GREY TINT WINDOW SYSTEM
- 4 WHITE BACK LITE SIGNAGE IN 2" RED BORDER FRAME AND SIDES, INDIVIDUAL LETTERS (24" MAXIMUM).
NOTE: SIGN SIZE- 2'-6" x 10'-0"=25 SF.
- 5 METAL TRELLIS, BEAMS AND COLUMNS WITH PERFORATED SHEET METAL COVER, PAINT BRIGHT SILVER.
- 6 SHIELDED SECURITY LIGHT, MOUNT @ 16' A.F.F., MAXIMUM.
- 7 PAINT DOOR AND FRAME LIGHT TAN.
- 8 ARCYLIC STUCCO, MEDIUM BLUE TO MATCH BENJAMIN MOORE 796, WITH 1/4" STUCCO REGLET AT 8'-0" O.C. EACH WAY AS SHOWN.
- 9 METAL 8"x8" LEADER BOX AND 4"x4" DOWNSPOUT - PAINT LIGHT TAN
- 10 PORTAL: ACRYLIC STUCCO, MEDIUM BLUE, METAL COLUMNS, PAINT BRIGHT SILVER.

Scale Typical At All Elevations



SCALE: 1/8" = 1'-0"

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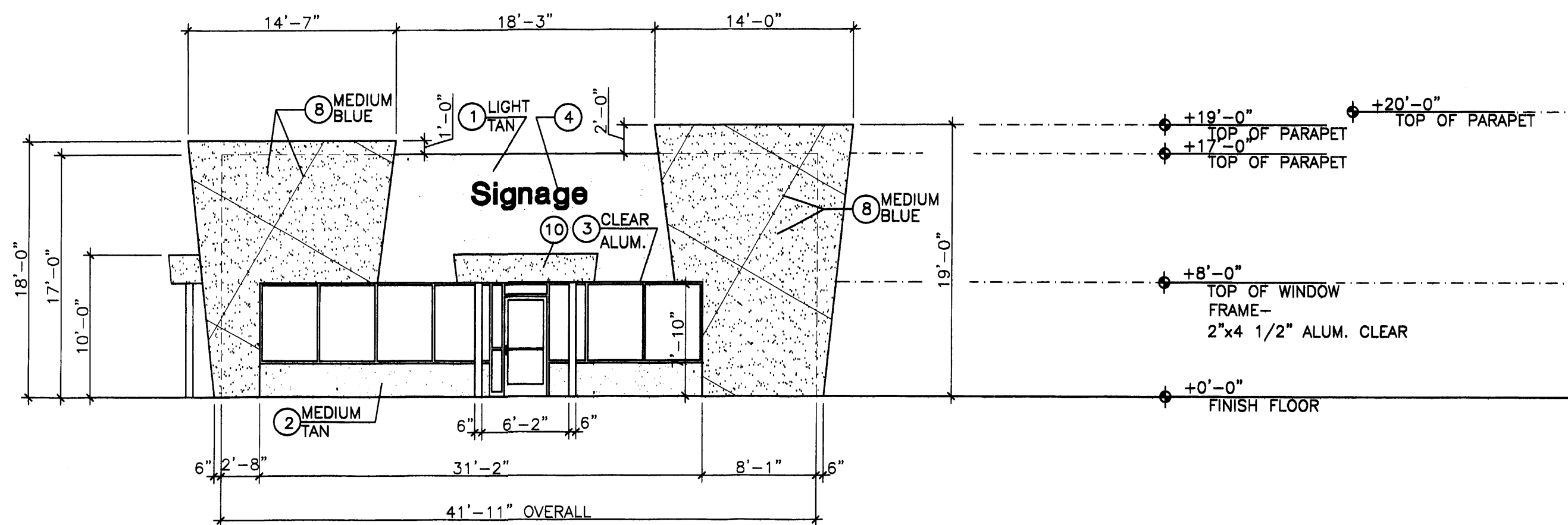
10421 CAMINO DEL OSO NE
ALBUQUERQUE, NM 87111
V: 505.296.1456 C: 505.238.1397 F: 505.881.9114

Rababi Square - Phase 1
Mr. Felix Rababi
Golf Course & Irving Blvd.
Albuquerque, NM

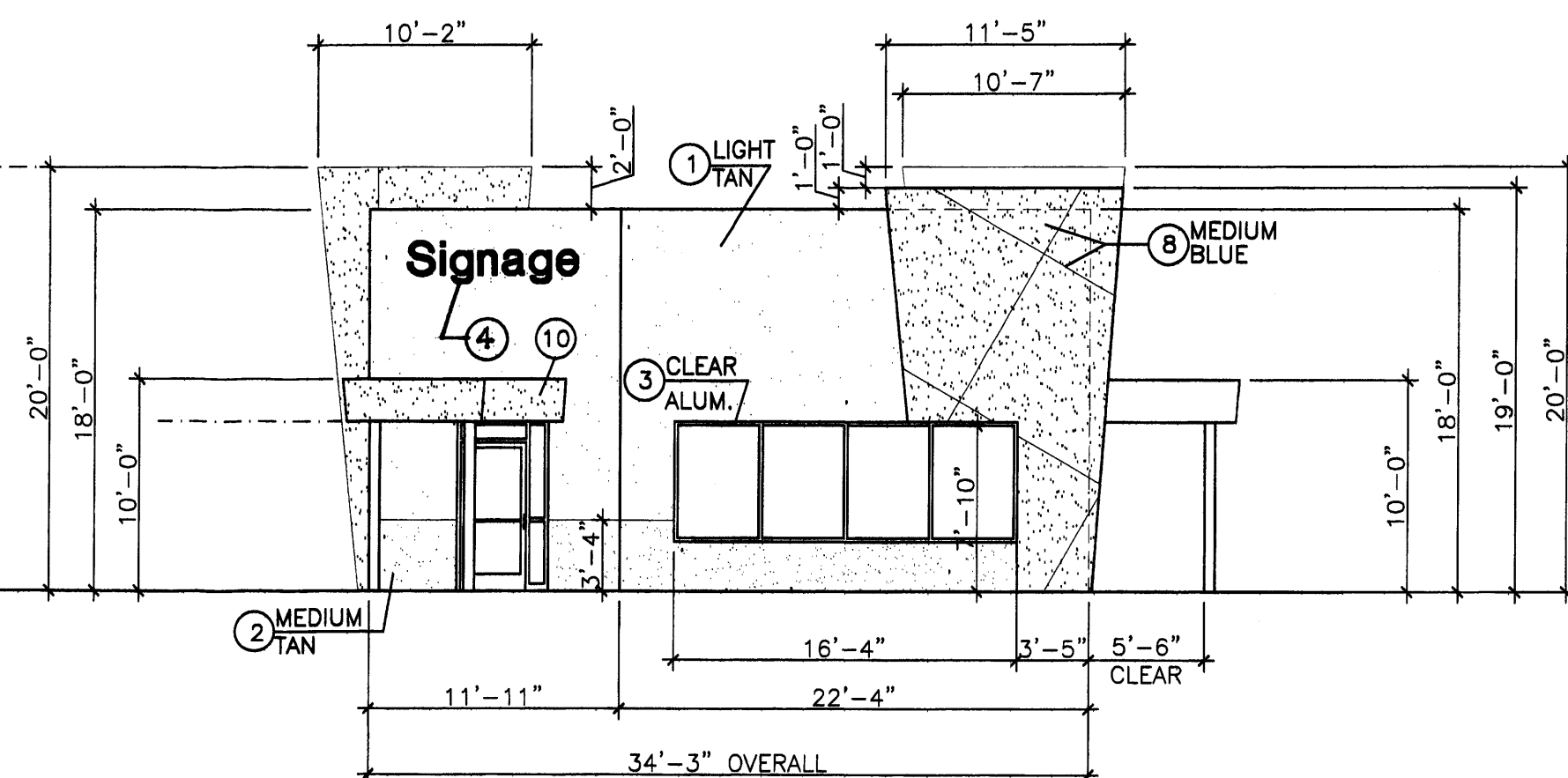
SHEET NO.

7.1

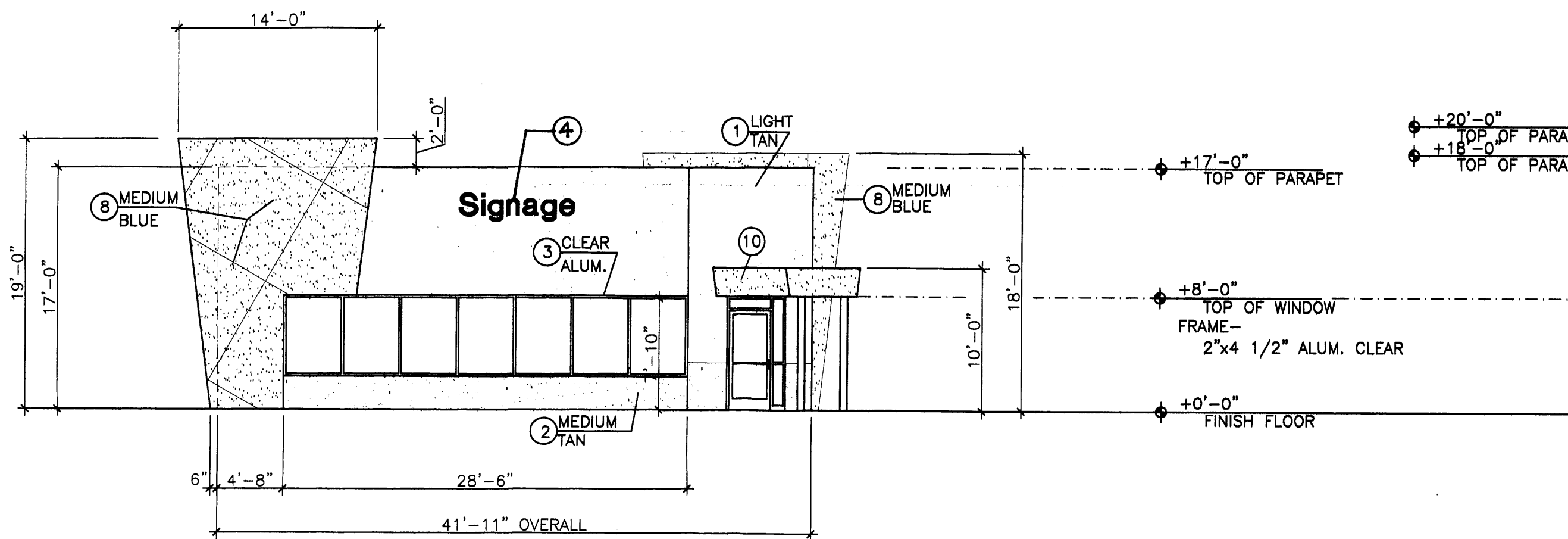
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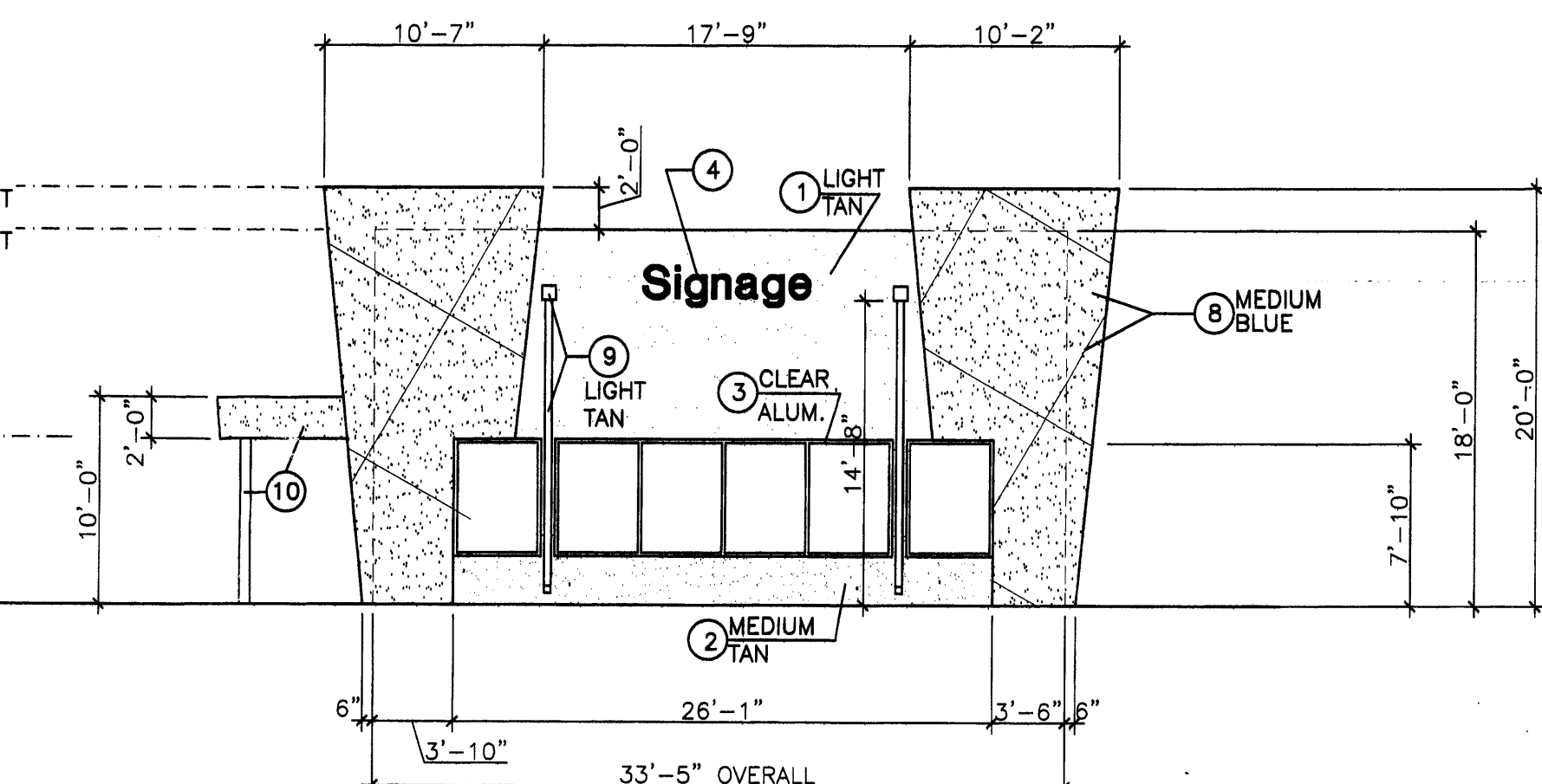
**Building 'B'
Commercial / Retail - South Elevation**
SCALE: 1/8" = 1'-0"



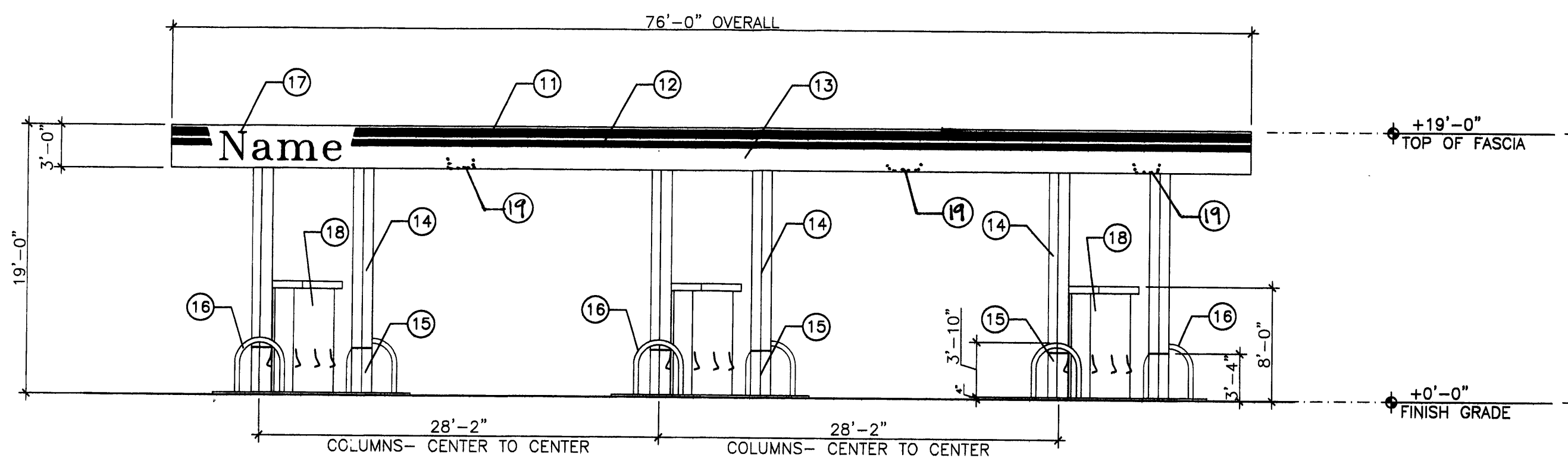
**Building 'B'
Commercial / Retail - West Elevation**
SCALE: 1/8" = 1'-0"



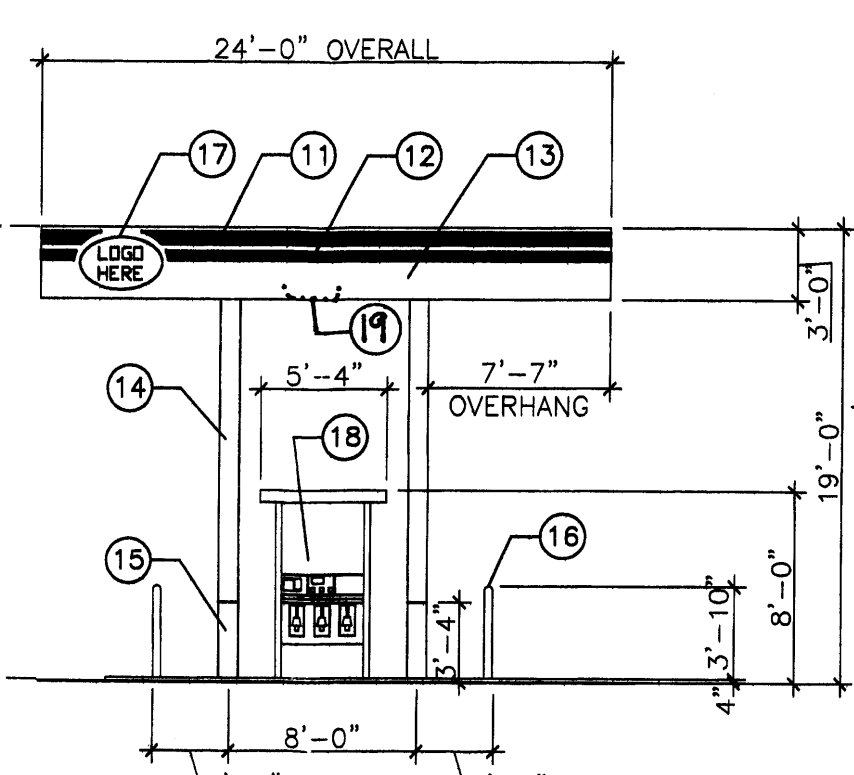
**Building 'B'
Commercial / Retail - North Elevation**
SCALE: 1/8" = 1'-0"



**Building 'B'
Commercial / Retail - East Elevation**
SCALE: 1/8" = 1'-0"



**Canopy- East Elevation
Same as West**
SCALE: 1/8" = 1'-0"

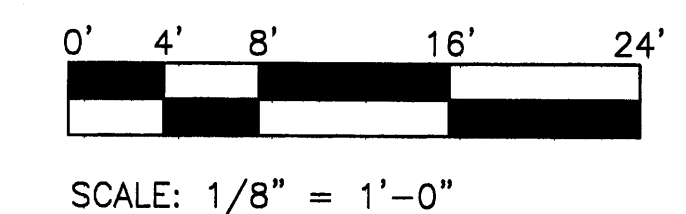


**Canopy- South Elevation
Same as North**
SCALE: 1/8" = 1'-0"

Keyed Notes (Typical At All Elevations)

- 1 ACRYLIC STUCCO, LIGHT TAN TO MATCH BENJAMIN MOORE HC-6
- 2 ACRYLIC STUCCO, MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55, WITH 1/4" STUCCO REGLET FOR SEPARATION OF COLORS.
- 3 CLEAR ALUMINUM STOREFRONT FRAME, LIGHT GREY TINT WINDOW SYSTEM
- 4 WHITE BACK LITE SIGNAGE IN 2" RED BORDER FRAME AND SIDES, INDIVIDUAL LETTERS (24" MAXIMUM)
NOTE: SIGN SIZE- 2'-6" x 10'-0"=25 SF.
- 5 METAL TRELLIS, BEAMS AND COLUMNS WITH PERFORATED SHEET METAL COVER, PAINT BRIGHT SILVER.
- 6 SHIELDED SECURITY LIGHT, MOUNT @ 16' A.F.F., MAXIMUM.
- 7 PAINT DOOR AND FRAME LIGHT TAN.
- 8 ACRYLIC STUCCO, MEDIUM BLUE TO MATCH BENJAMIN MOORE 796, WITH 1/4" STUCCO REGLET AT 8'-0" O.C. EACH WAY AS SHOWN.
- 9 METAL 8"x8" LEADER BOX AND 4"x4" DOWNSPOUT - PAINT LIGHT TAN
- 10 PORTAL: ACRYLIC STUCCO, MEDIUM BLUE, METAL COLUMNS, PAINT BRIGHT SILVER.
- 11 BRAND LOGO- RED COLOR 6 1/2" WIDE. = 10 SF
- 12 BRAND LOGO- BLUE COLOR 4 1/2" WIDE. = 7 SF
- 13 BACKGROUND OF METAL PANEL FASCIA- SILVER & WHITE
- 14 METAL COLUMN- LIGHT TAN, PAINT, MATCH STUCCO.
- 15 METAL COLUMN- MEDIUM TAN, PAINT, MATCH STUCCO.
- 16 4" DIAMETER GUARDRAIL- PAINT BRIGHT SILVER, MATCH SILVER PAINT AT BUILDING PORTAL.
- 17 SIGN LETTERS: 2'-0" HIGH MAXIMUM, SELF-ILLUMINATING, RED COLOR. SIGN SIZE- 2'-0" x 8'-0" = 16 SF.
- 18 GAS PUMPS- 3 NOZZLES EACH SIDE, BRAND RED AND BLUE COLORS.
- 19 CANOPY LIGHT FIXTURES FLUSH WITH CEILING.

Scale Typical At All Elevations



Revision:

- 1 07-28-04 NOTE SIGN SIZE AND AREA
09-16-04 TOTAL CANOPY SIGN AREA = 214 SF

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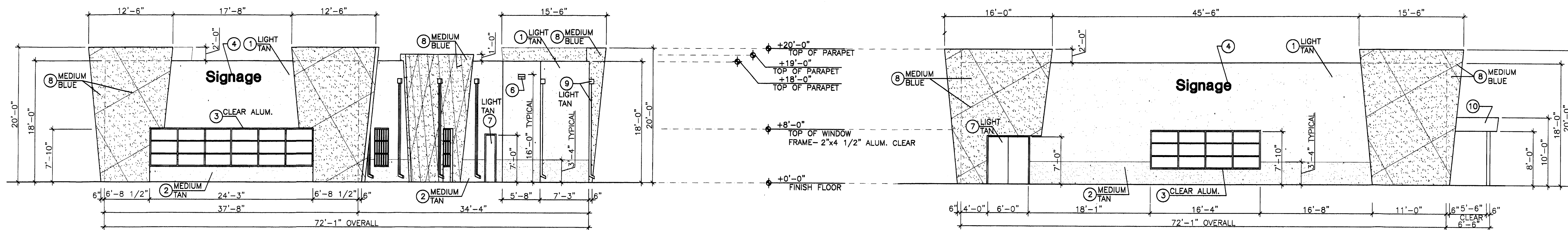
Rababi Square - Phase 1
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Albuquerque, NM

SHEET NO.

7.2

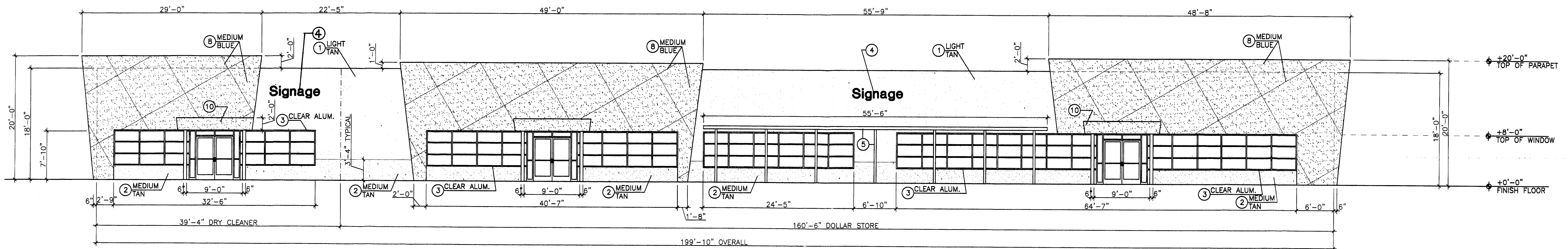
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200359

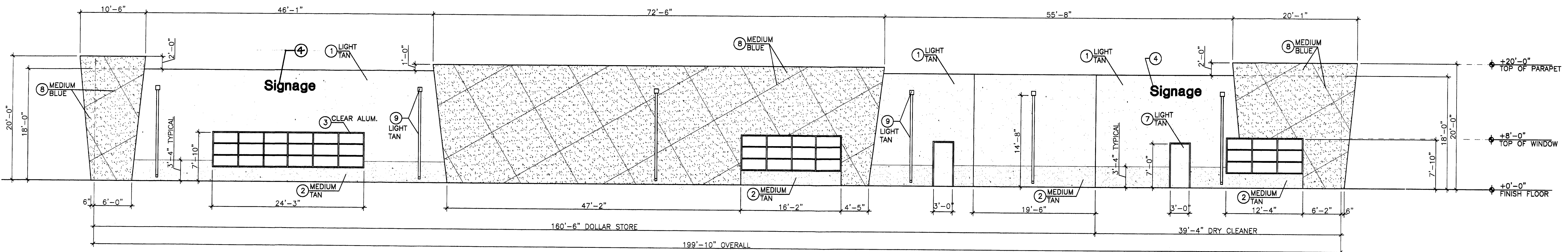


Building 'C'
Commerical / Retail - South Elevation
SCALE: 1/8" = 1'-0"

Building 'C'
Commerical / Retail - North Elevation
SCALE: 1/8" = 1'-0"



Building 'C'
Commerical / Retail - West Elevation
SCALE: 1/8" = 1'-0"



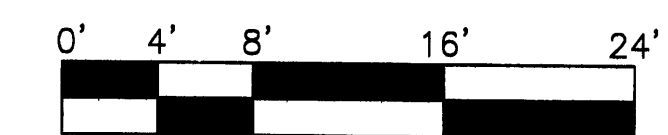
Building 'C'
Commerical / Retail - East Elevation
SCALE: 1/8" = 1'-0"

Revision:
1 07-28-04 NOTE SIGN SIZE AND AREA

Keyed Notes (Typical At All Elevations)

- 1 ARCYLIC STUCCO, LIGHT TAN TO MATCH BENJAMIN MOORE HC-6
- 2 ARYLIC STUCCO, MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55, WITH 1/4" STUCCO REGLET FOR SEPARATION OF COLORS.
- 3 CLEAR ALUMINUM STOREFRONT FRAME, LIGHT GREY TINT WINDOW SYSTEM
- 4 WHITE BACK LITE SIGNAGE IN 2" RED BORDER FRAME AND SIDES, INDIVIDUAL LETTERS (24" MAXIMUM)
NOTE: SIGN SIZE- 2'-6" x 10'-0"=25 SF.
- 5 METAL TRELLIS, BEAMS AND COLUMNS WITH PERFORATED SHEET METAL COVER, PAINT BRIGHT SILVER.
- 6 SHIELDED SECURITY LIGHT, MOUNT @ 16' A.F.F., MAXIMUM.
- 7 PAINT DOOR AND FRAME LIGHT TAN.
- 8 ARCYLIC STUCCO, MEDIUM BLUE TO MATCH BENJAMIN MOORE 796, WITH 1/4" STUCCO REGLET AT 8'-0" O.C. EACH WAY AS SHOWN.
- 9 METAL 8"x8" LEADER BOX AND 4"x4" DOWNSPOUT - PAINT LIGHT TAN
- 10 PORTAL: ACRYLIC STUCCO, MEDIUM BLUE, METAL COLUMNS, PAINT BRIGHT SILVER.

Scale Typical At All Elevations



SCALE: 1/8" = 1'-0"

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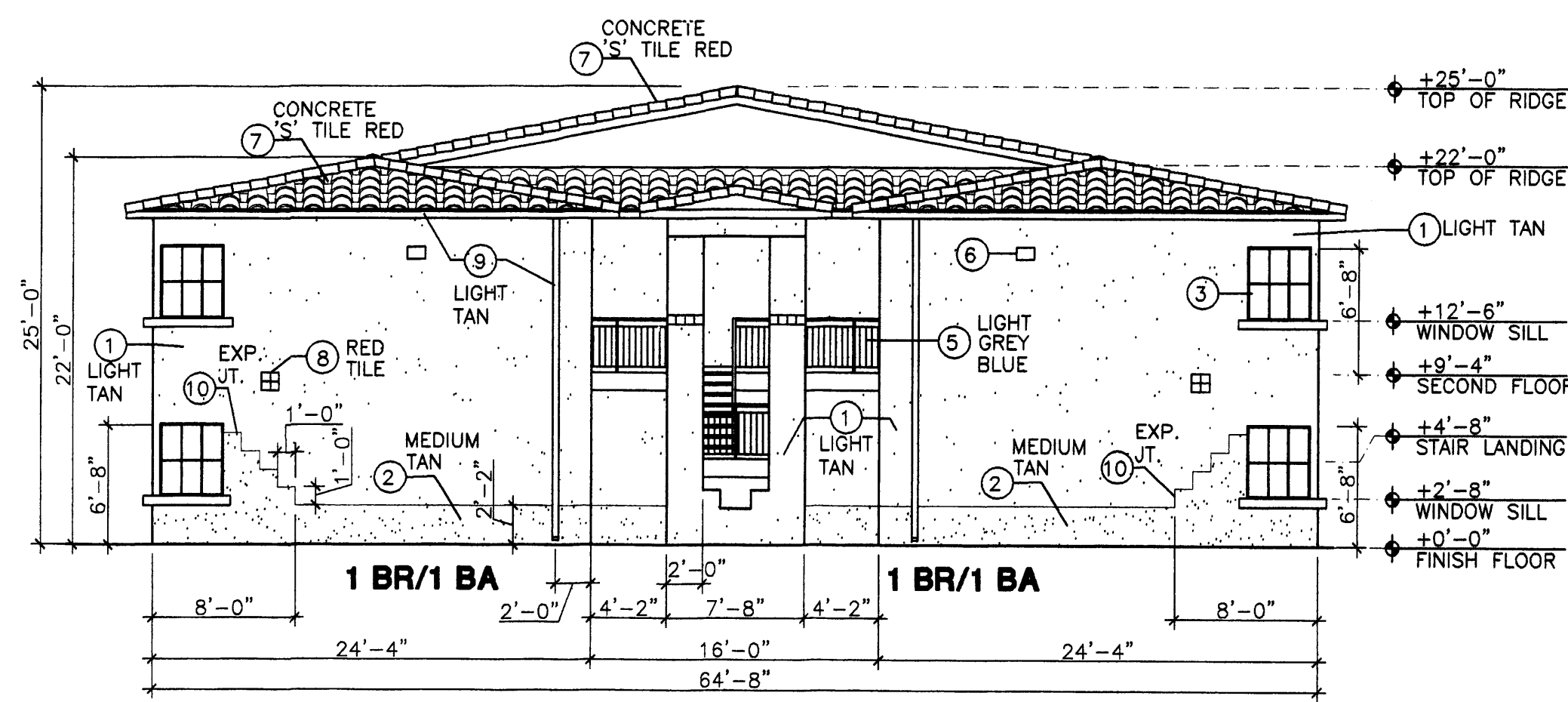
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Albuquerque, NM

SHEET NO.

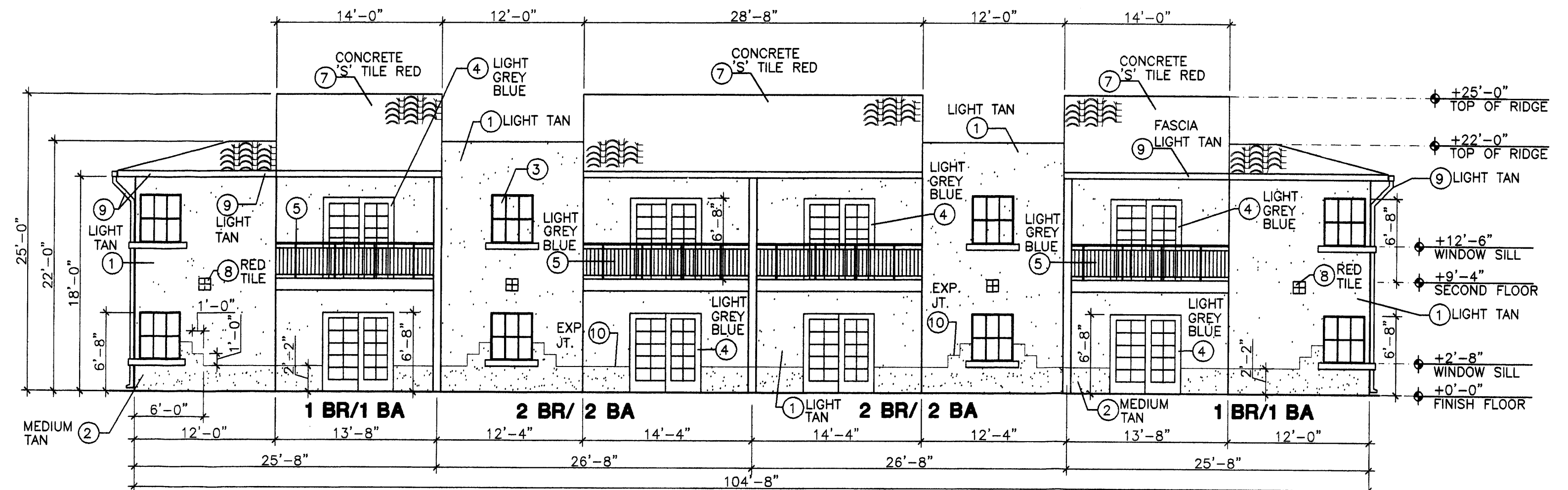
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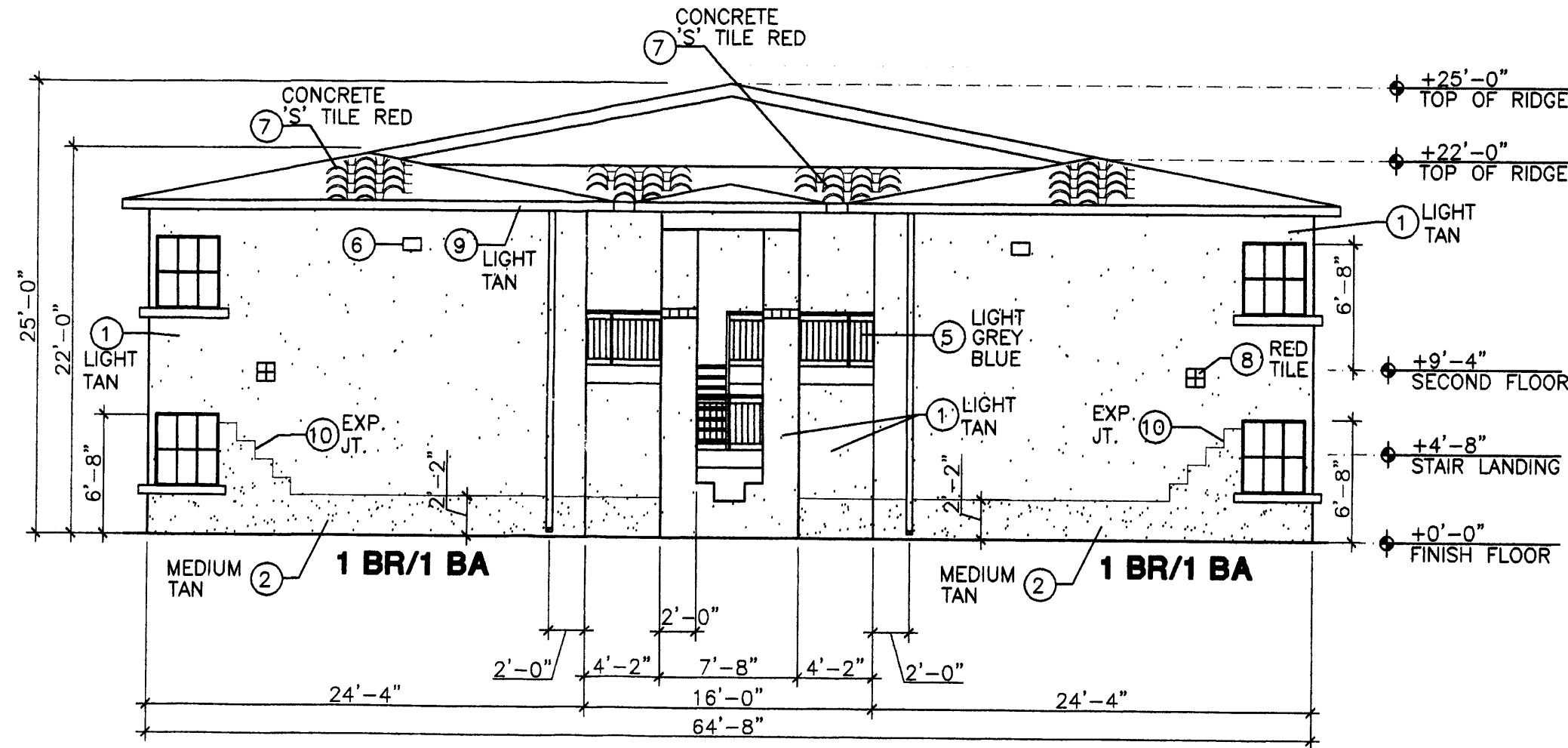
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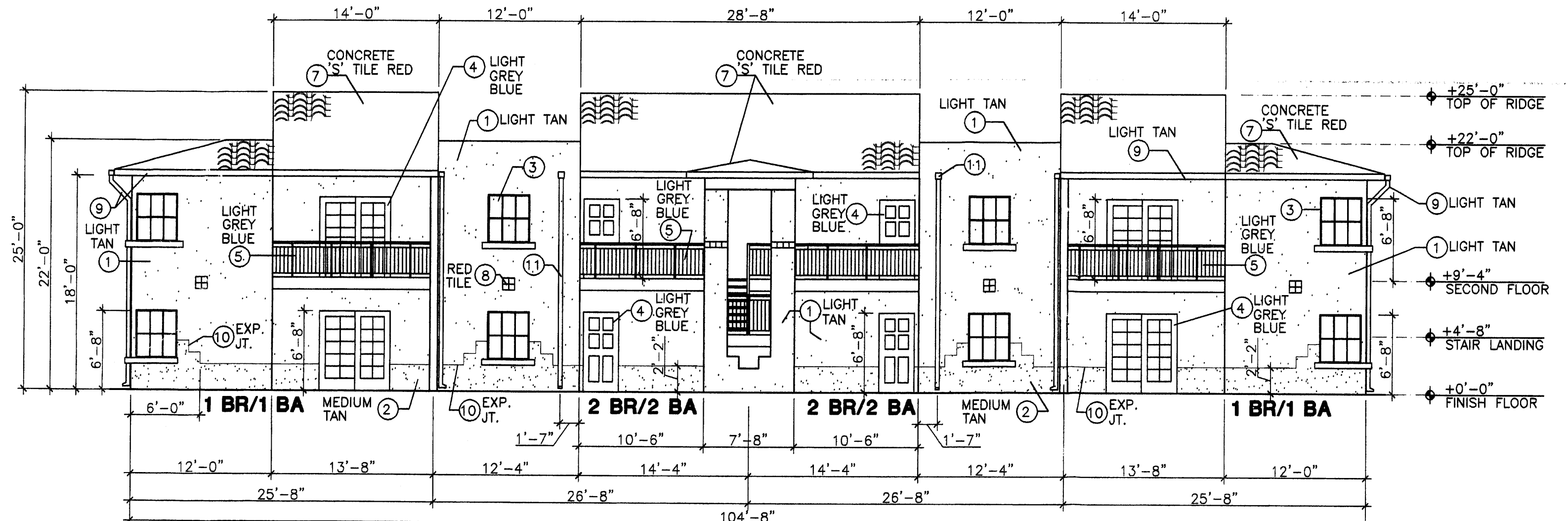
Building Type 'A' - South Entry Elevation
SCALE: 1/8" = 1'-0"



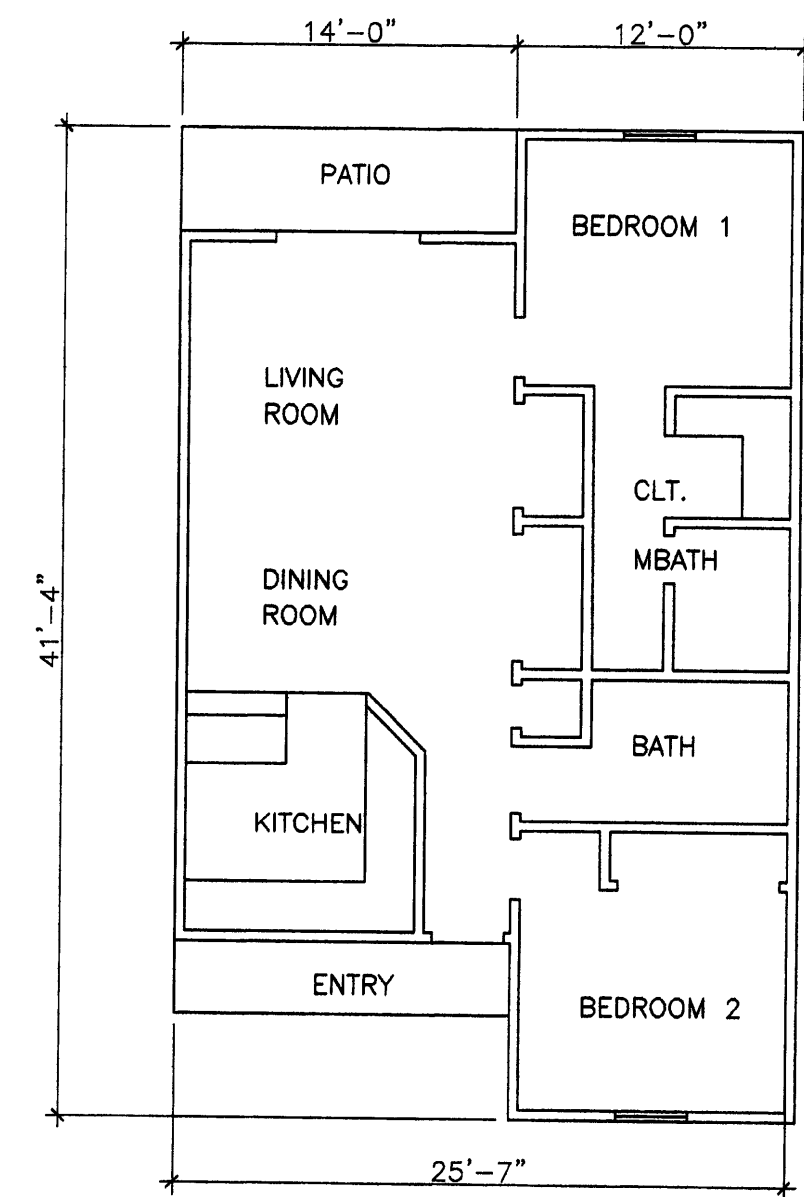
Building Type 'A' - East Entry Elevation
SCALE: 1/8" = 1'-0"



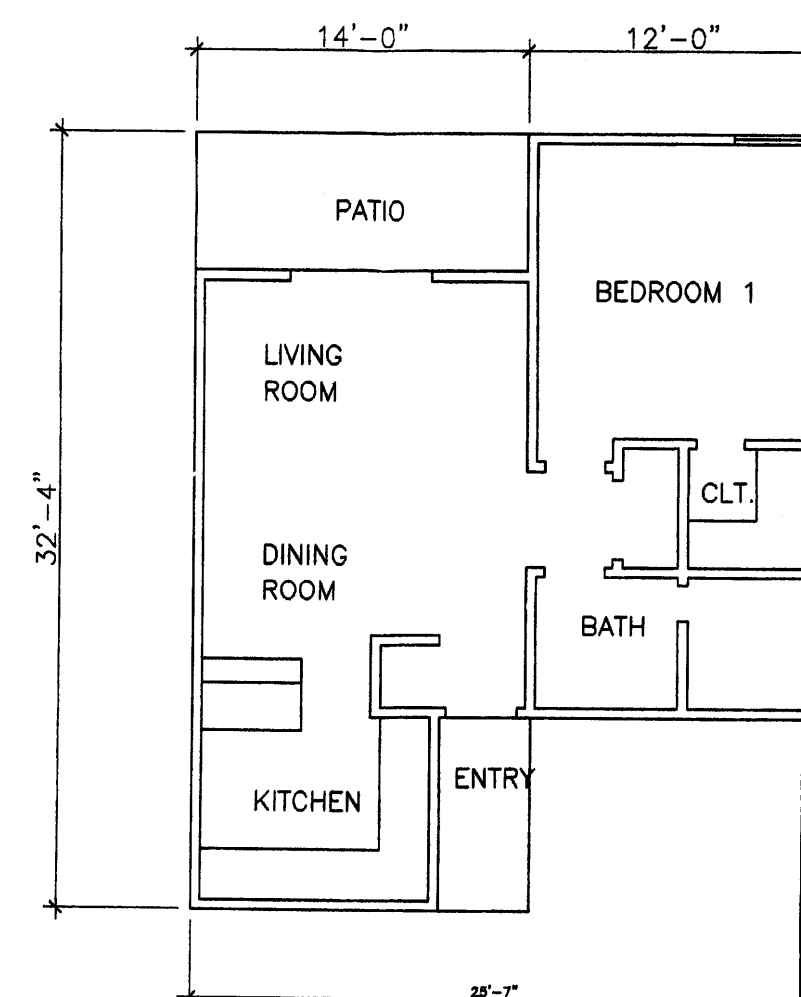
Building Type 'A' - North Entry Elevation
SCALE: 1/8" = 1'-0"



Building Type 'A' - West Entry Elevation
SCALE: 1/8" = 1'-0"



Floor Plan 2 BR/2 BA

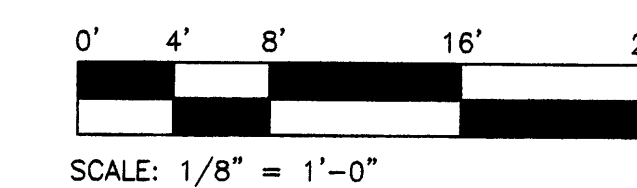


Floor Plan 1 BR/1 BA

Keyed Notes (Typical At All Elevations)

- 1 ARCYLIC STUCCO, LIGHT TAN TO MATCH BENJAMIN MOORE HC-6
- 2 ARYLIC STUCCO, MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55
- 3 ANODIZED BROWN COLOR FRAMES, DOUBLE GLAZED WINDOW, WITH BROWN 'UV' BUG SCREEN.
- 4 PAINT DOOR AND FRAME LIGHT GREY BLUE
- 5 STEEL HANDRAIL AND BALLISTRAT, STEEL STAIRS AND HANDRAILS PAINT LIGHT GREY BLUE
- 6 BUILDING SECURITY LIGHT, SHIELDED, MOUNT @ 14'-0" MAX.
- 7 CONCRETE ROOF TILE, MISSION 'S' VILLA, COLOR RED
- 8 ACCENT: 4 - 6" SQUARE EXTERIOR TILE
- 9 LIGHT TAN GUTTER ATTACHED TO 2x4 METAL DOWNSPOUT, PAINT LIGHT TAN
- 10 1/4" EXPANSION JOINT BETWEEN TWO STUCCO COLORS
- 11 6"x6" LEADER BOX w/ 2"x4" DOWNSPOUT, PAINT LIGHT TAN

Scale Typical At All Elevations



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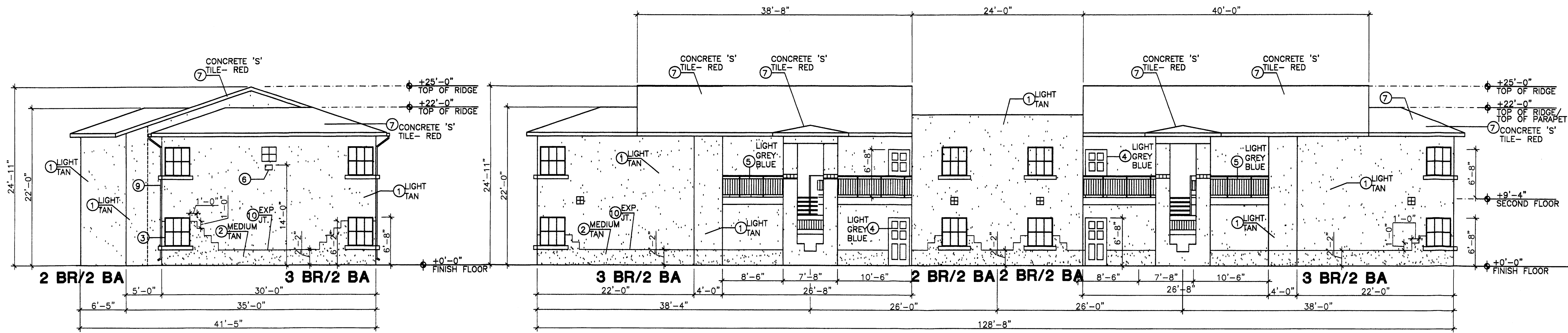
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Rababi Apt. Complex-Phase 2

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Golf Course & Irving Blvd.
Albuquerque, NM

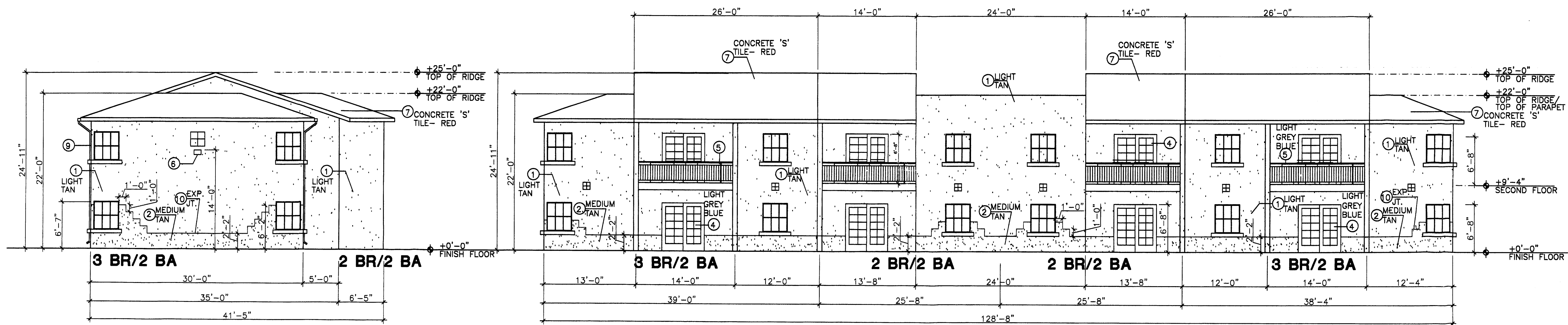
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7.4



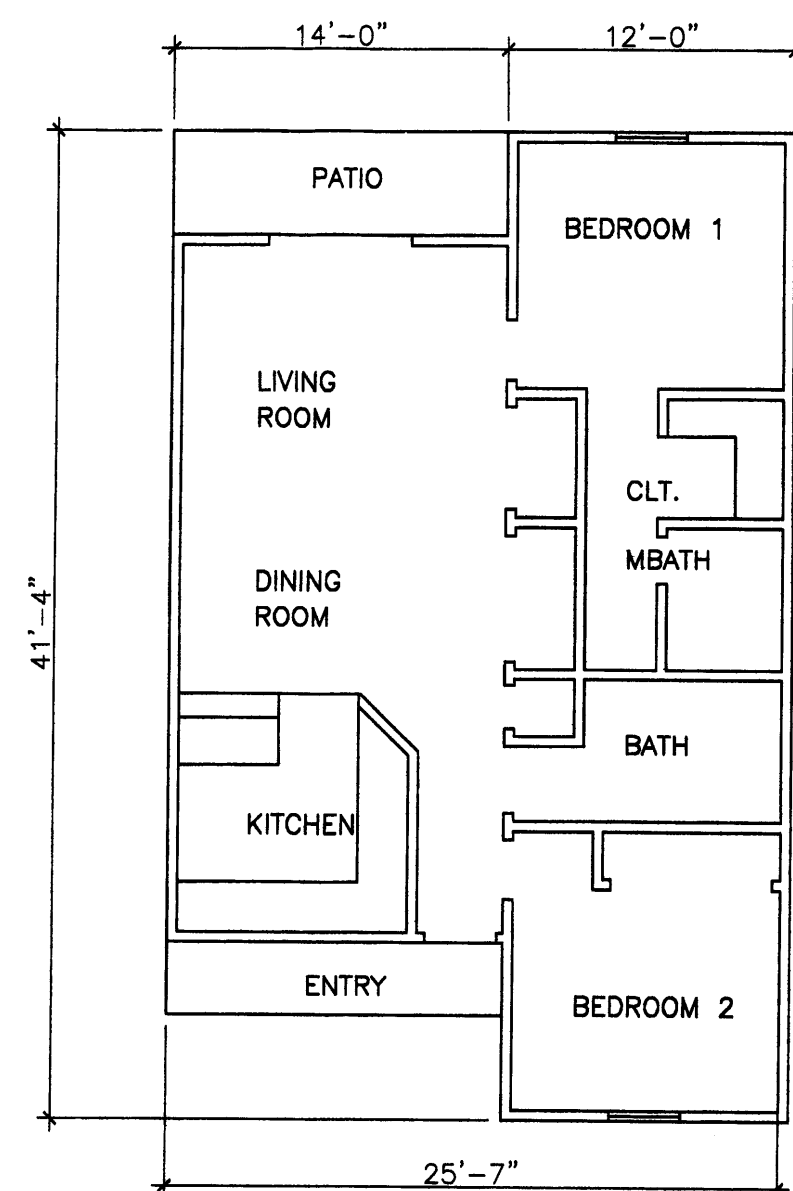
Building Type 'B' - North Elevation
SCALE: 1/8" = 1'-0"

Building Type 'B' - West Entry Elevation
SCALE: 1/8" = 1'-0"

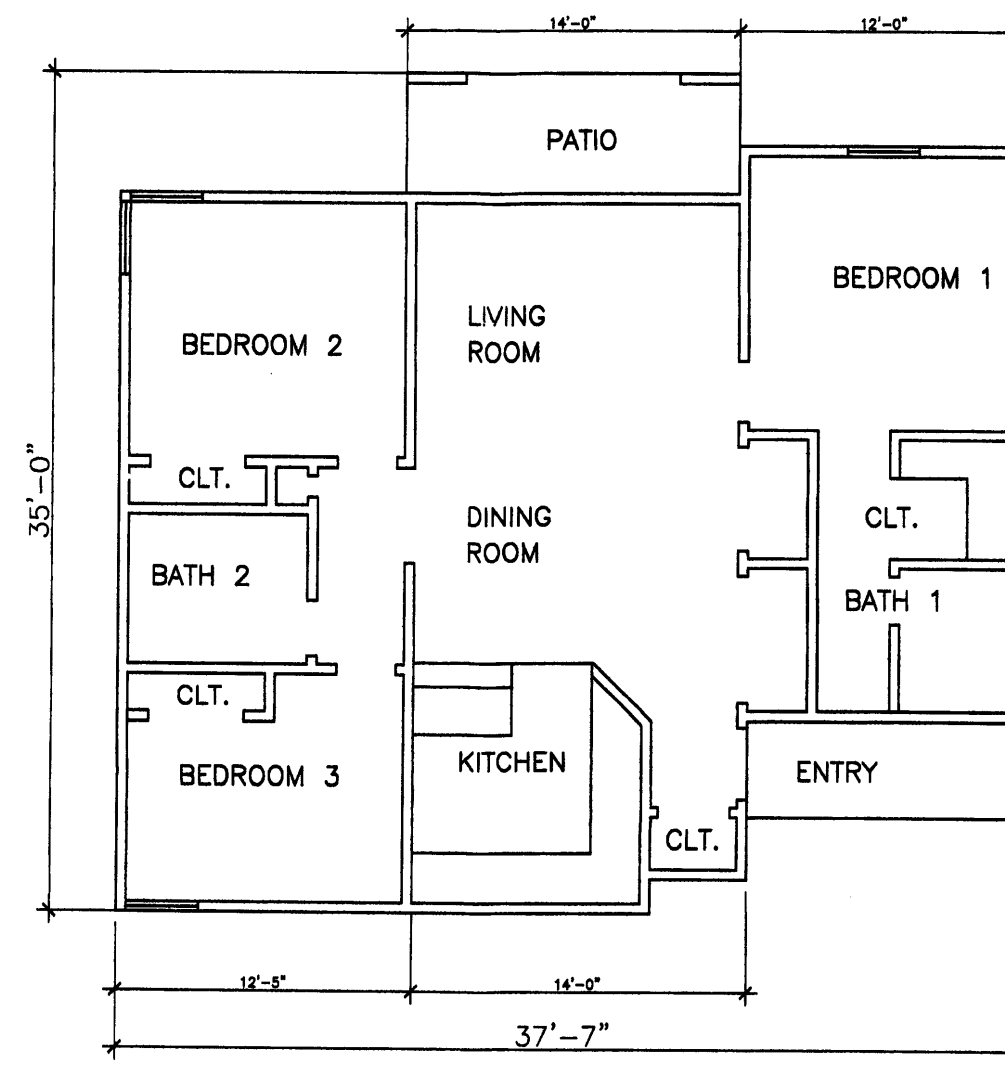


Building Type 'B' - South Elevation
SCALE: 1/8" = 1'-0"

Building Type 'B' - East Elevation
SCALE: 1/8" = 1'-0"



Floor Plan 2 BR/2 BA

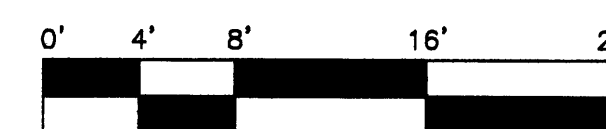


Floor Plan 3 BR/2 BA

Keyed Notes (Typical At All Elevations)

- 1 ARCYLIC STUCCO, LIGHT TAN TO MATCH BENJAMIN MOORE HC-6
- 2 ARYLIC STUCCO, MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55
- 3 ANODIZED BROWN COLOR FRAMES, DOUBLE GLAZED WINDOW, WITH BROWN 'UV' BUG SCREEN.
- 4 PAINT DOOR AND FRAME LIGHT GREY BLUE
- 5 STEEL HANDRAIL AND BALLISTRAT, STEEL STAIRS AND HANDRAILS PAINT LIGHT GREY BLUE
- 6 BUILDING SECURITY LIGHT, SHIELDED, MOUNT @ 14'-0" MAX.
- 7 CONCRETE ROOF TILE, MISSION 'S' VILLA, COLOR RED, AND
- 8 ACCENT: 4 - 6" SQUARE EXTERIOR TILE
- 9 METAL GUTTER- LIGHT TAN ATTACHED TO 2x4 METAL DOWNSPOUT- LIGHT TAN.

Scale Typical At All Elevations



SCALE: 1/8" = 1'-0"

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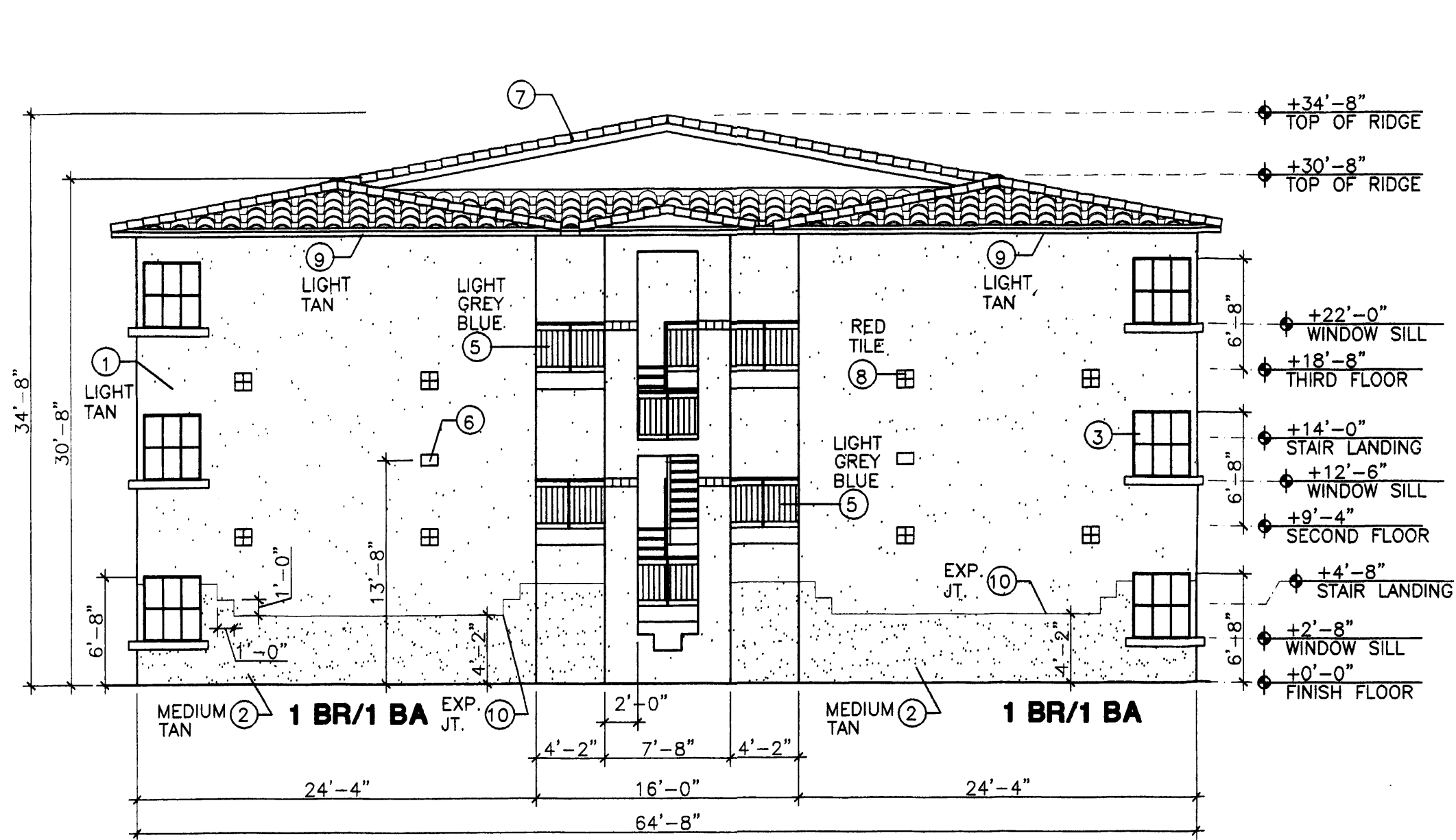
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Albuquerque, NM

SHEET NO.

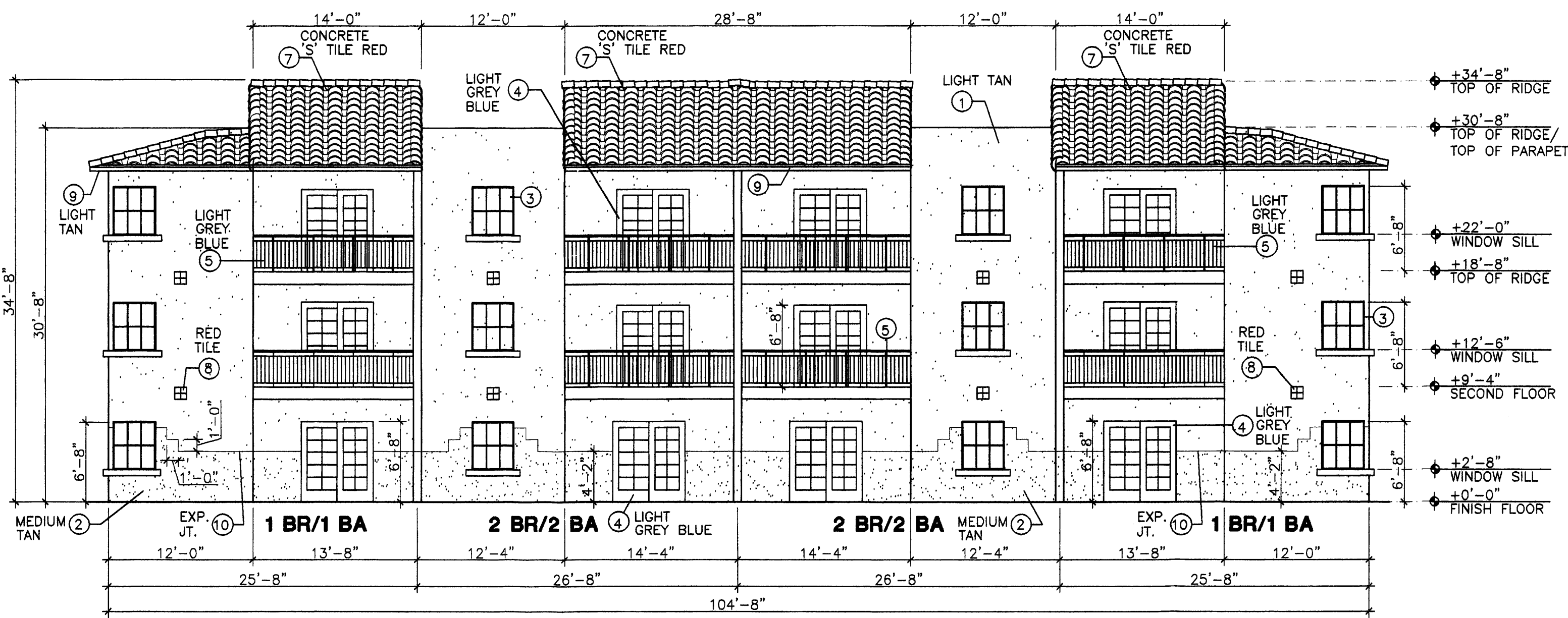
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Building Type 'C' - East Entry Elevation

SCALE: 1/8" = 1'-0"

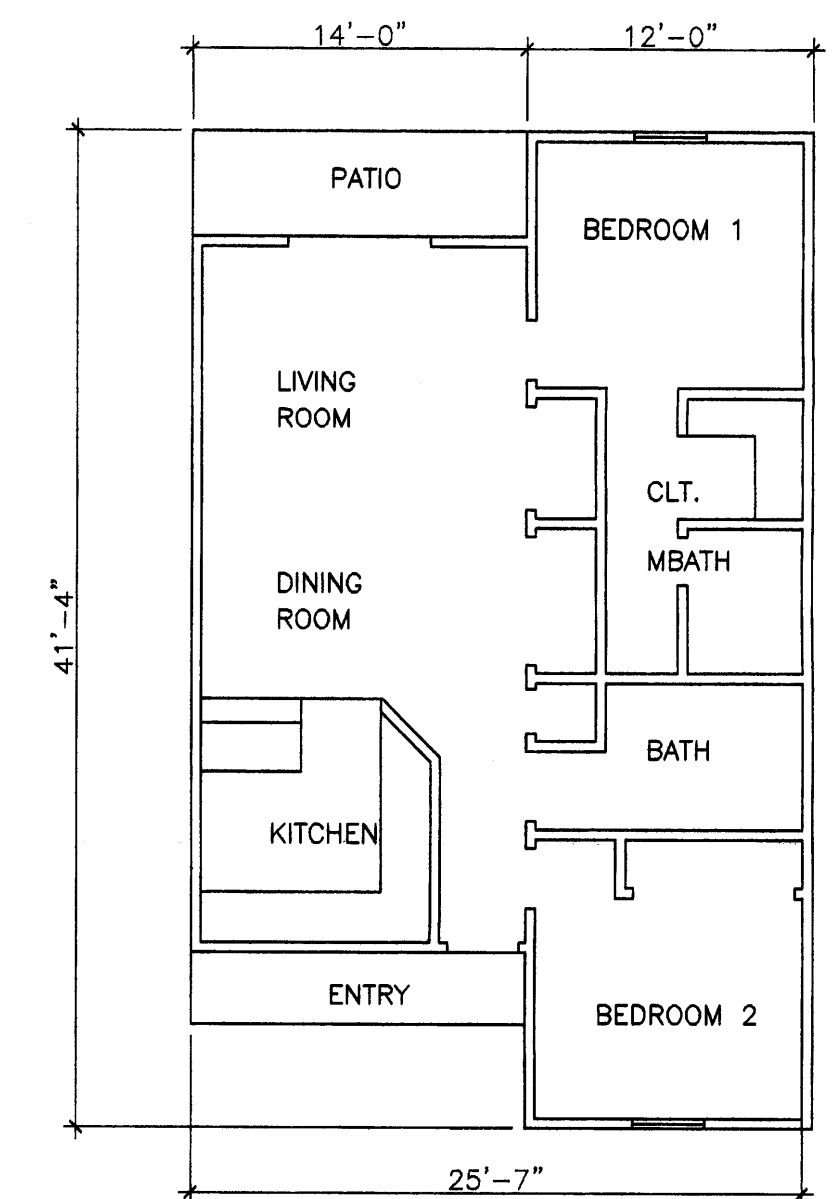


Building Type 'C' - South Elevation

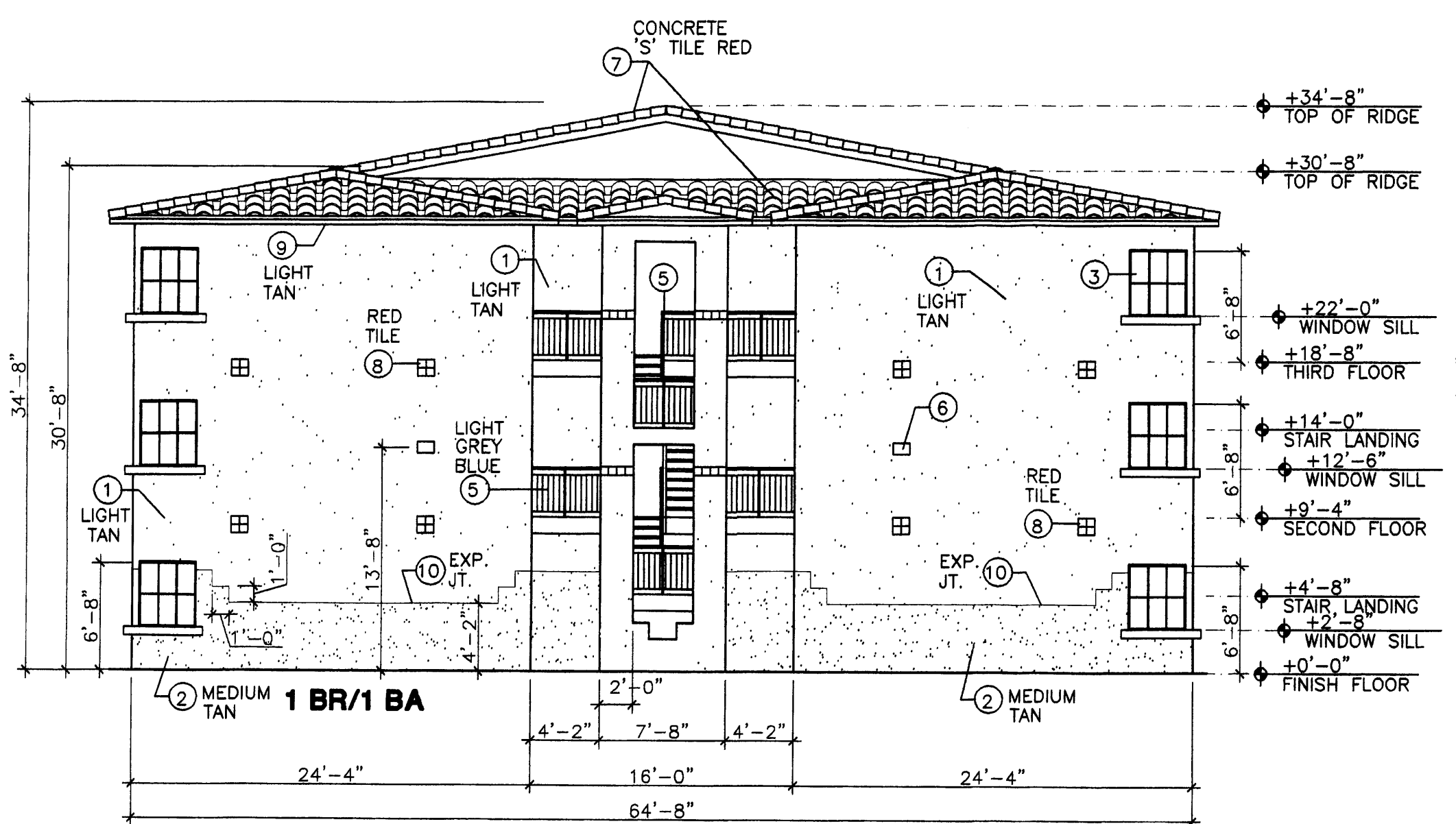
SCALE: 1/8" = 1'-0"

Keyed Notes (Typical At All Elevations)

- 1 ARCYLIC STUCCO, LIGHT TAN TO MATCH BENJAMIN MOORE HC-6
- 2 ARYLIC STUCCO, MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55
- 3 ANODIZED BROWN COLOR FRAMES, DOUBLE GLAZED WINDOW, WITH BROWN 'UV' BUG SCREEN.
- 4 PAINT DOOR AND FRAME LIGHT GREY BLUE
- 5 STEEL HANDRAIL AND BALLISTRAT, STEEL STAIRS AND HANDRAILS PAINT LIGHT GREY BLUE
- 6 BUILDING SECURITY LIGHT, SHIELDED, MOUNT @ 14'-0" MAX.
- 7 CONCRETE ROOF TILE, MISSION 'S' VILLA, COLOR RED, AND
- 8 ACCENT: 4 - 6" SQUARE EXTERIOR TILE
- 9 WOOD FASCIA, PAINT LIGHT TAN
- 10 1/4" EXPANSION JOINT BETWEEN TWO STUCCO COLORS

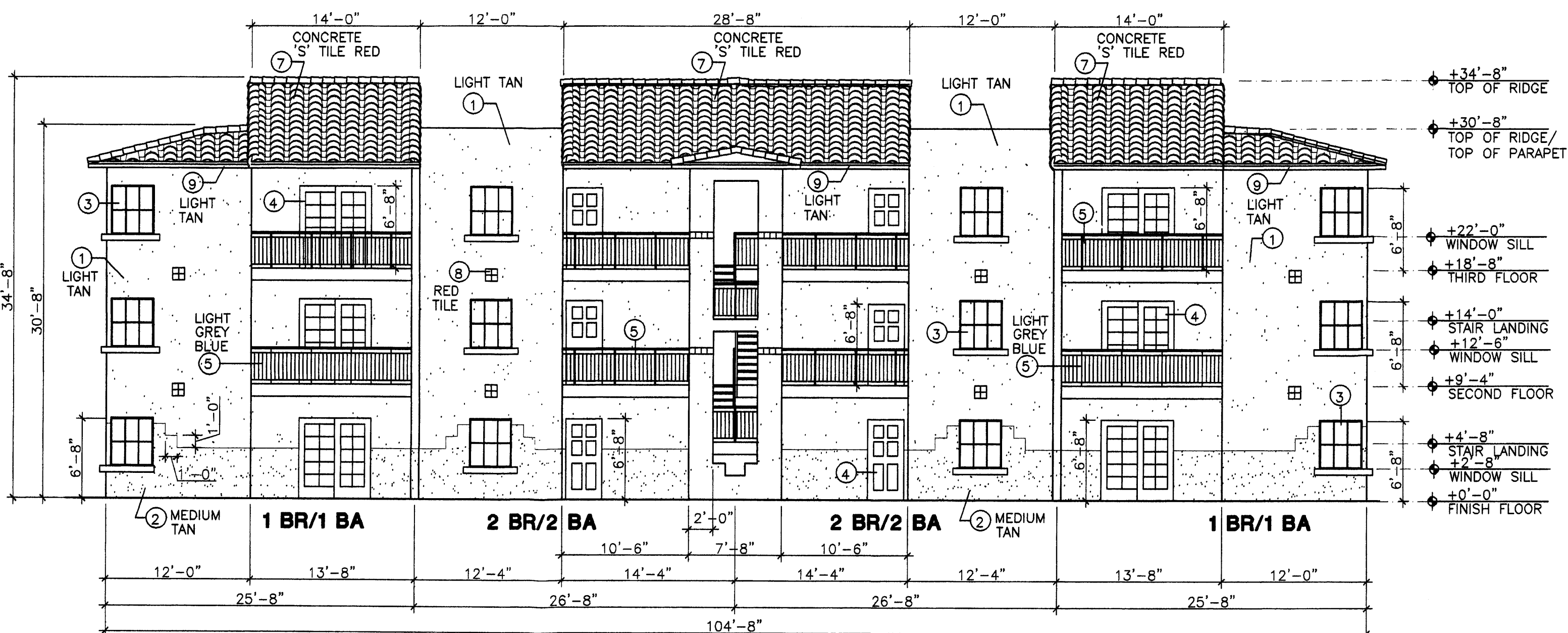


Floor Plan 2 BR/2 BA



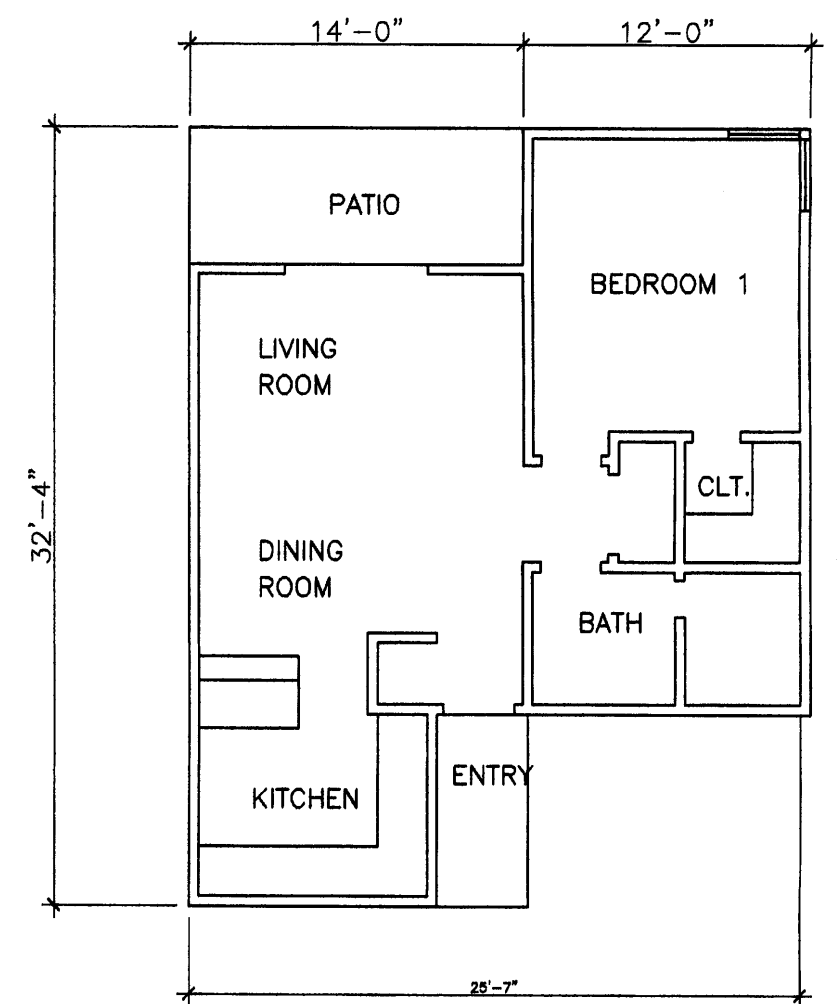
Building Type 'C' - West Entry Elevation

SCALE: 1/8" = 1'-0"



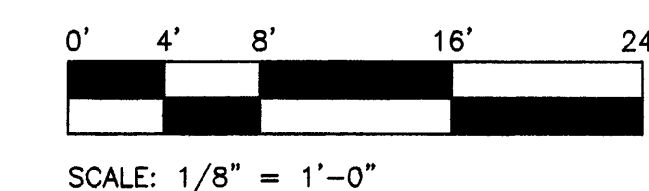
Building Type 'C' - North Entry Elevation

SCALE: 1/8" = 1'-0"



Floor Plan 1 BR/1 BA

Scale Typical At All Elevations



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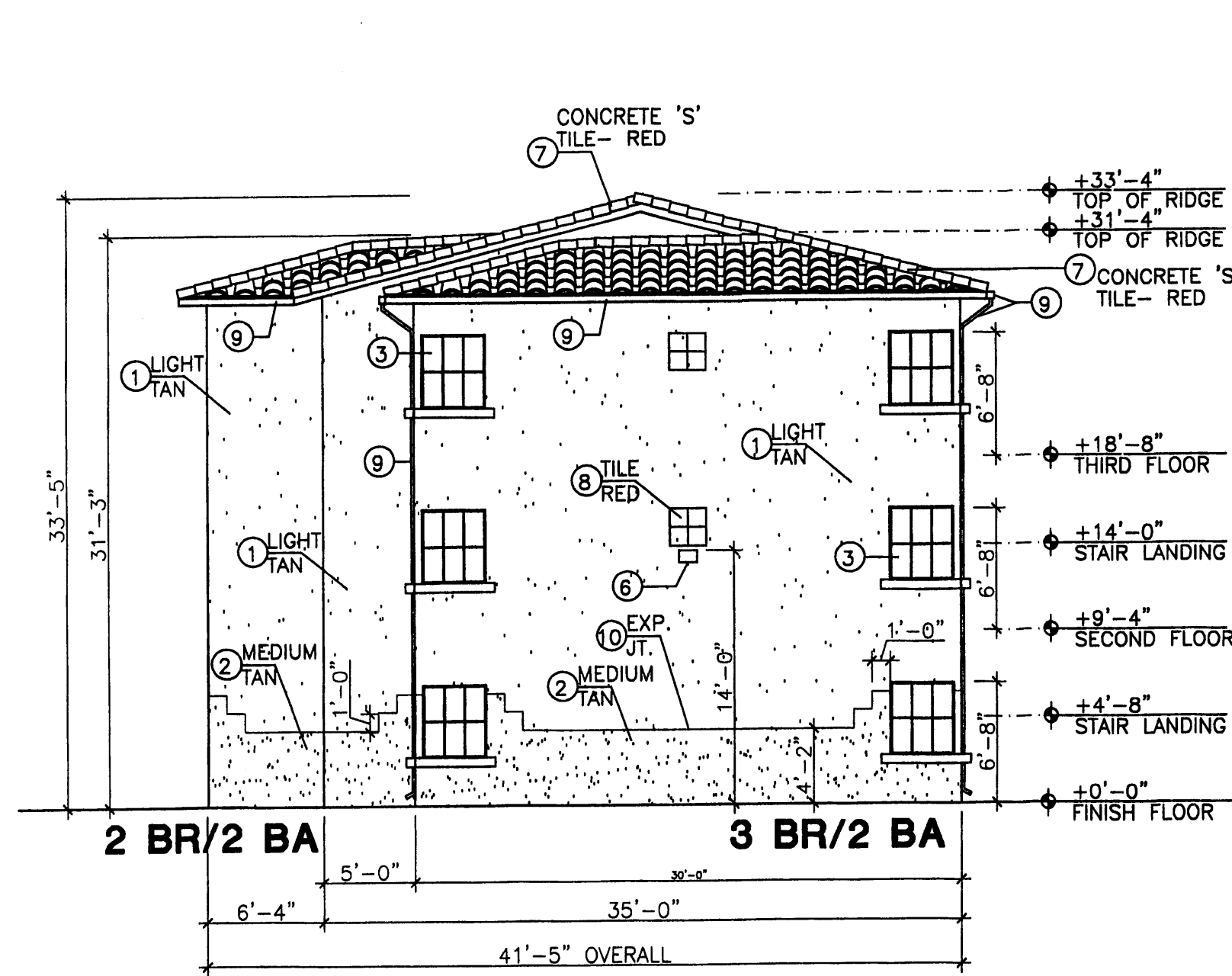
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Rababi Apt. Complex- Phase 2

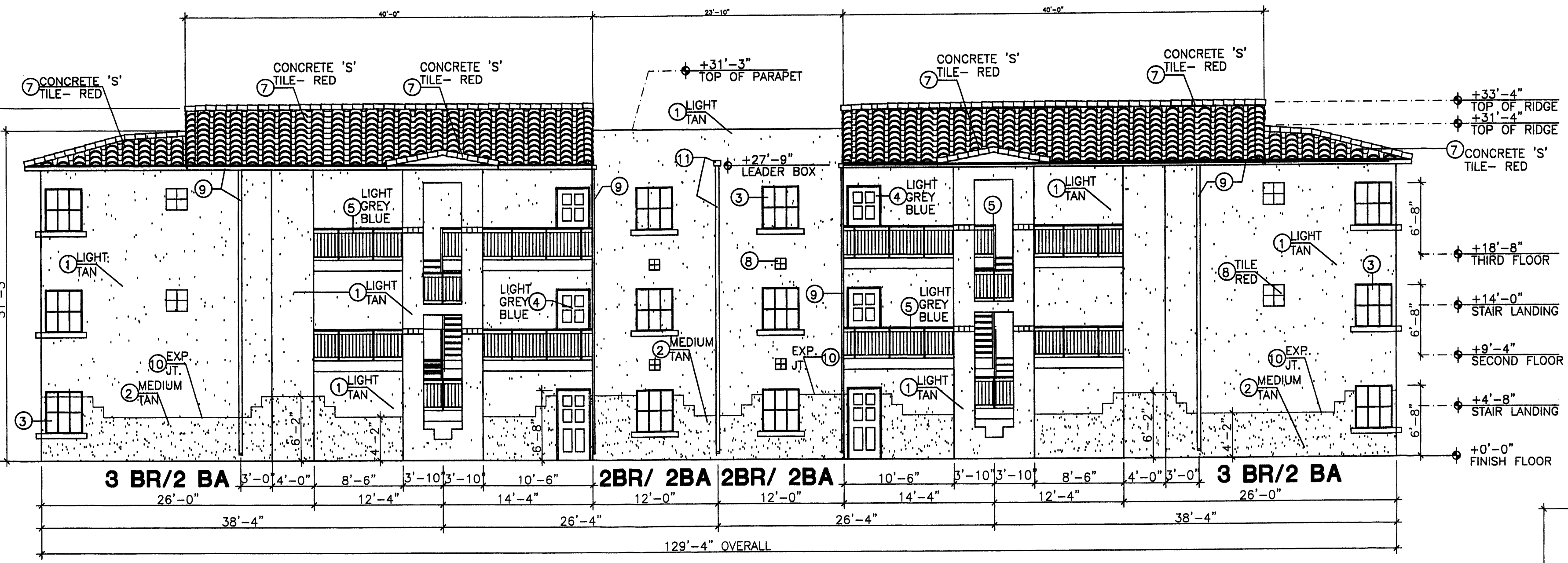
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SHEET NO.

7.6



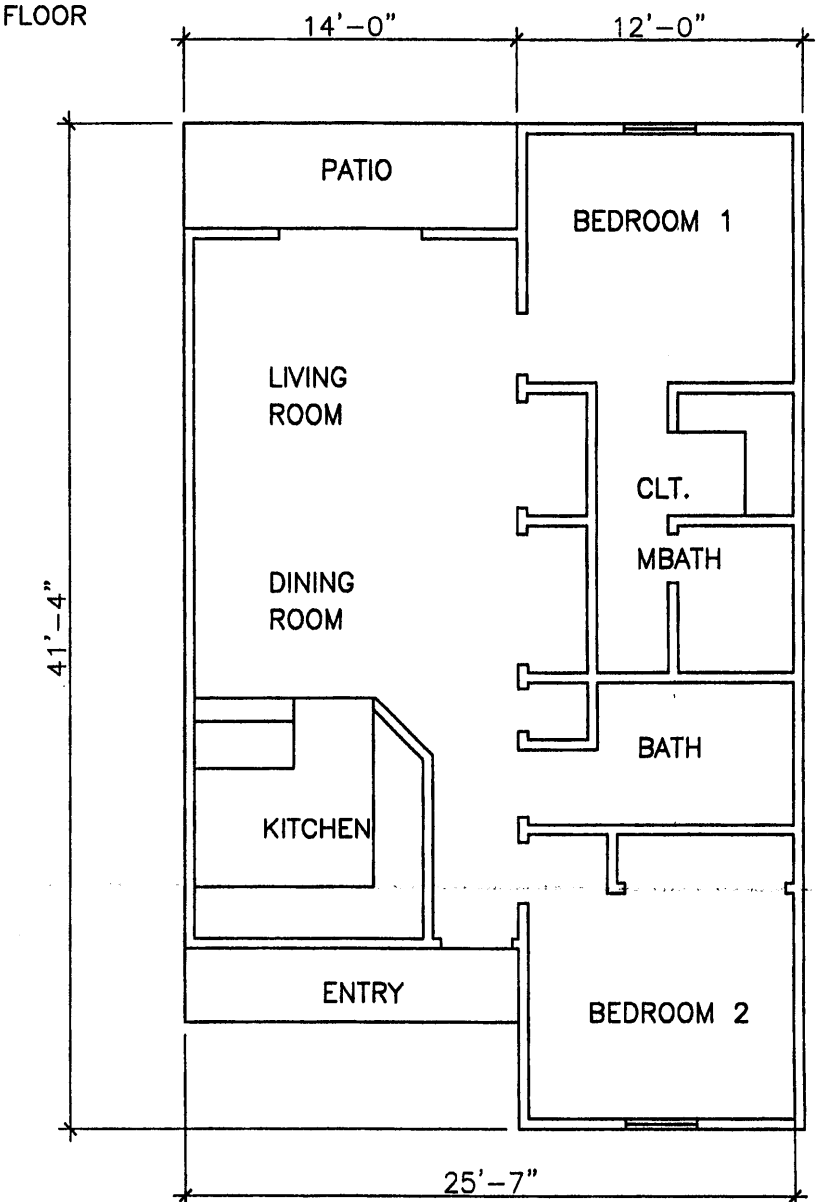
Building Type 'D' - North Elevation
SCALE: 1/8" = 1'-0"



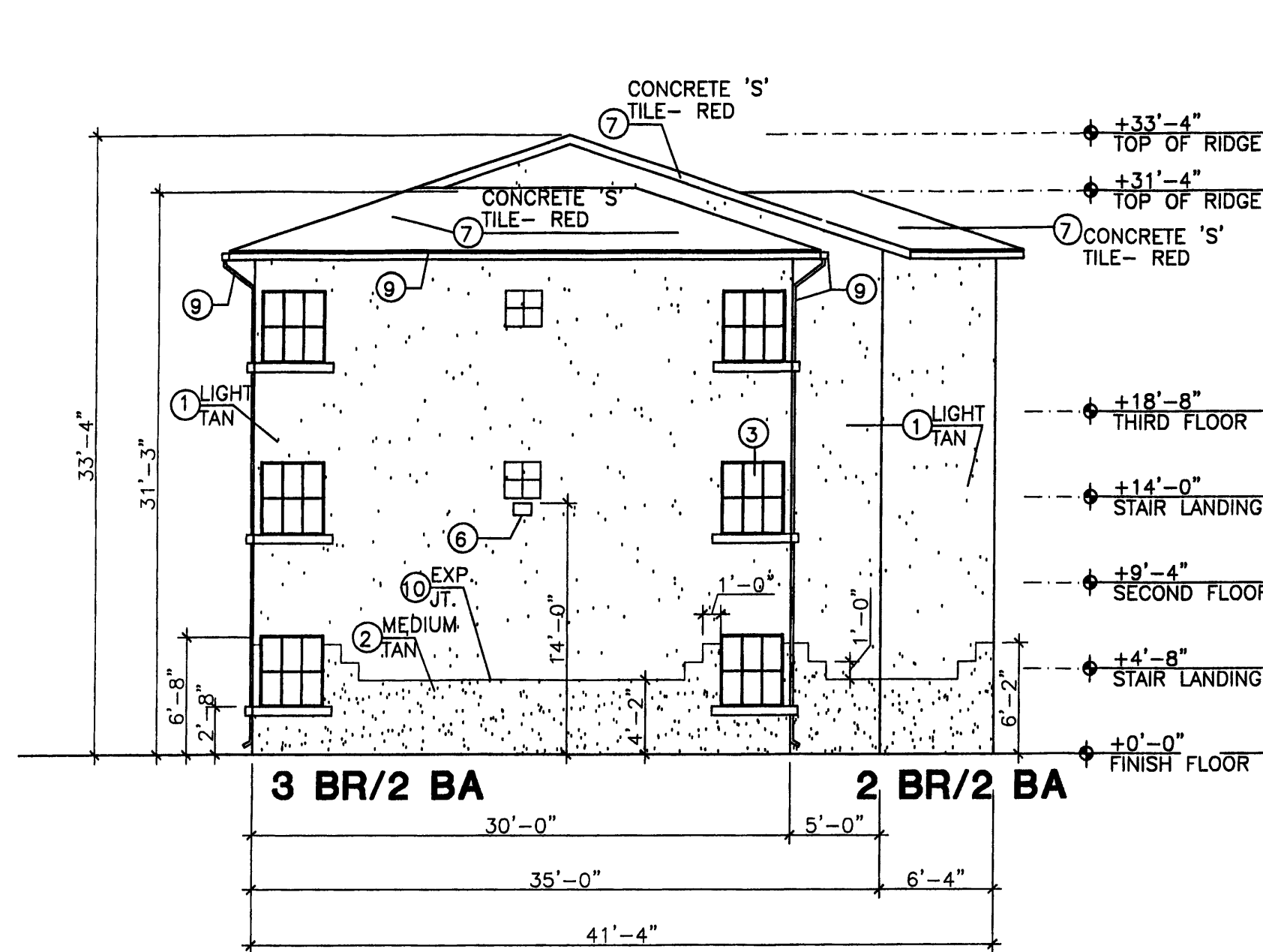
Building Type 'D' - West Entry Elevation
SCALE: 1/8" = 1'-0"

Keyed Notes (Typical At All Elevations)

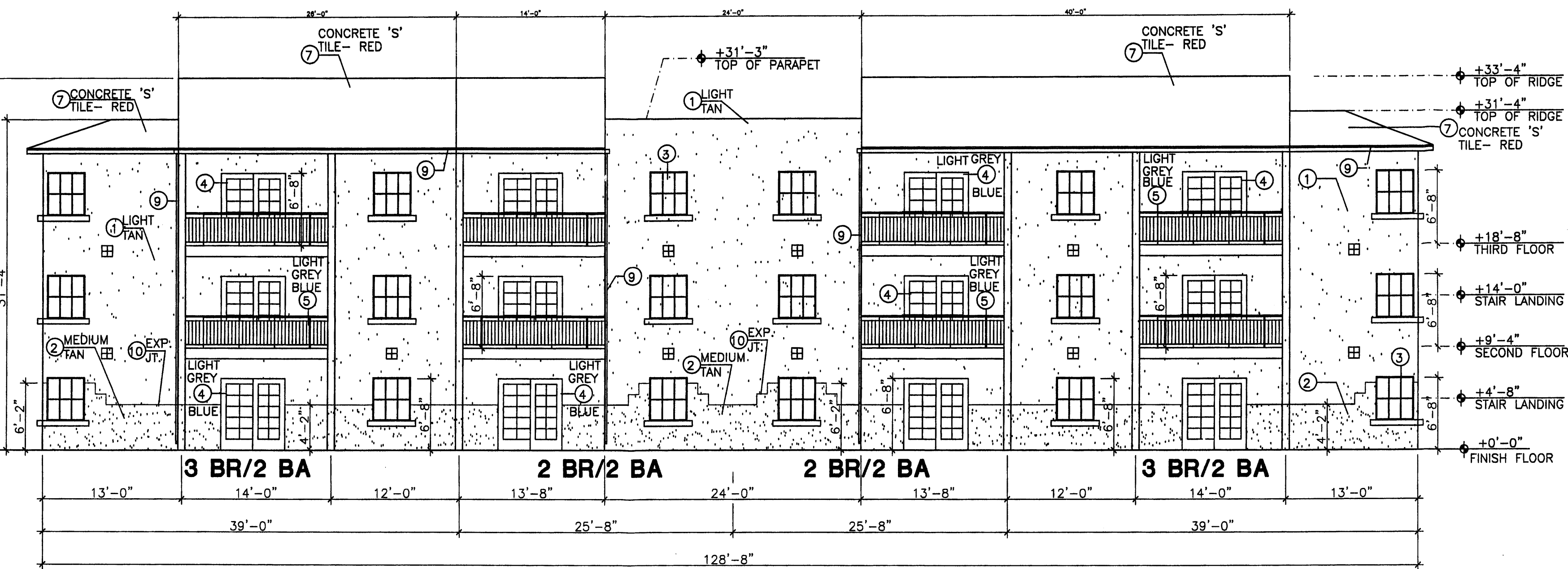
- 1 ARCYLIC STUCCO, LIGHT TAN TO MATCH BENJAMIN MOORE HC-6
- 2 ARYLIC STUCCO, MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55
- 3 ANODIZED BROWN COLOR FRAMES, DOUBLE GLAZED WINDOW, WITH BROWN 'UV' BUG SCREEN.
- 4 PAINT DOOR AND FRAME LIGHT GREY BLUE
- 5 STEEL HANDRAIL AND BALLISTRAT, STEEL STAIRS AND HANDRAILS PAINT LIGHT GREY BLUE
- 6 BUILDING SECURITY LIGHT, SHIELDED, MOUNT @ 14'-0" MAX.
- 7 CONCRETE ROOF TILE, MISSION 'S' VILLA, COLOR RED, AND
- 8 ACCENT: 4 - 6" SQUARE EXTERIOR TILE- RED
- 9 METAL GUTTER- LIGHT TAN ATTACHED TO 2x4 METAL DOWNSPOUT- LIGHT TAN.
- 10 1/4" EXPANSION JOINT BETWEEN STUCCO COLORS.
- 11 METAL 6"x8" LEADER BOX AND 2"x4" METAL DOWNSPOUT- LIGHT TAN



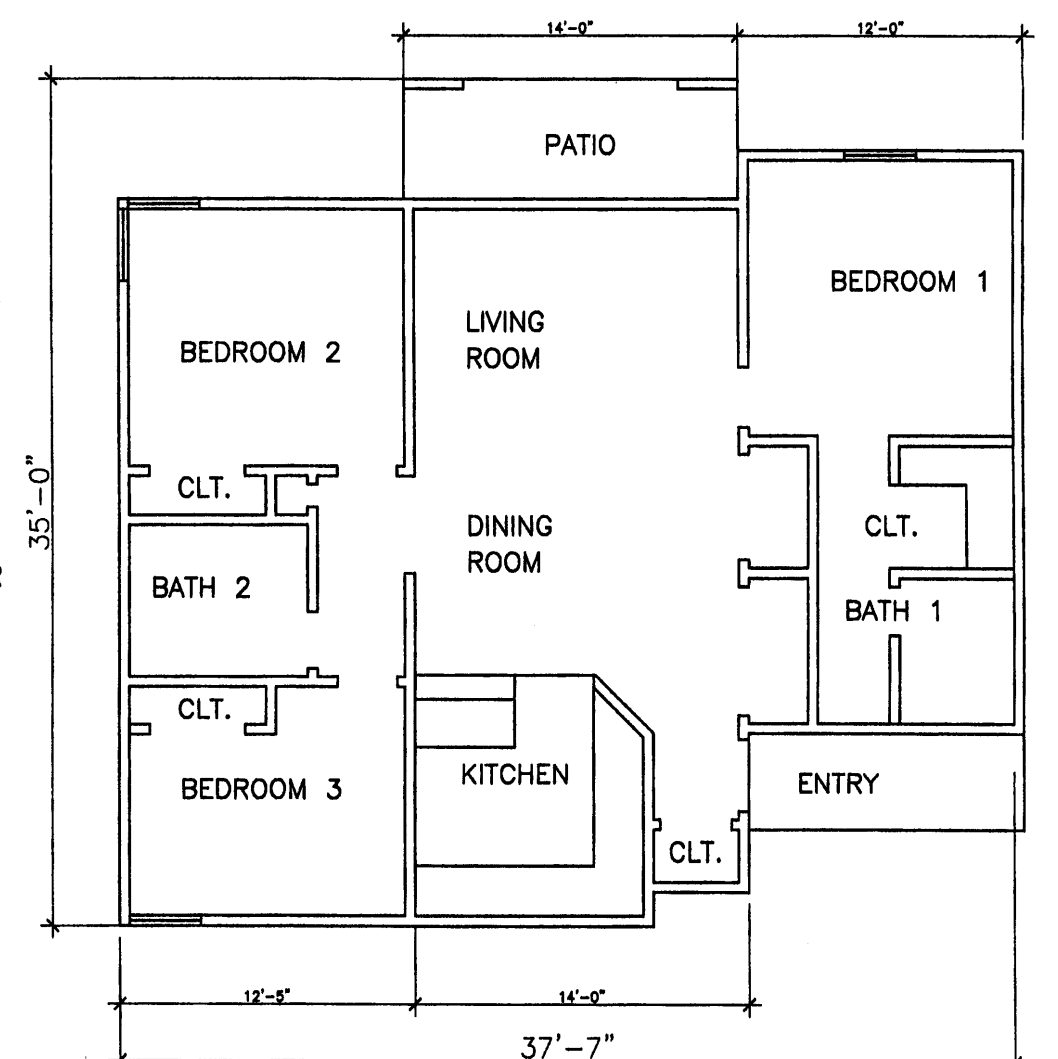
Floor Plan 2 BR/2 BA
SCALE: 1/8" = 1'-0"



Building Type 'D' - South Elevation
SCALE: 1/8" = 1'-0"

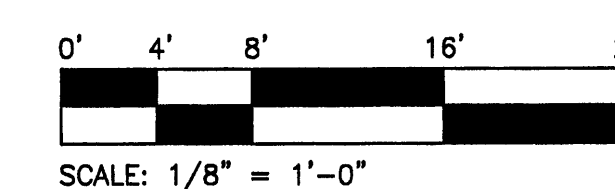


Building Type 'D' - East Balcony Elevation
SCALE: 1/8" = 1'-0"



Floor Plan 3 BR/2 BA
SCALE: 1/8" = 1'-0"

Scale Typical At All Elevations



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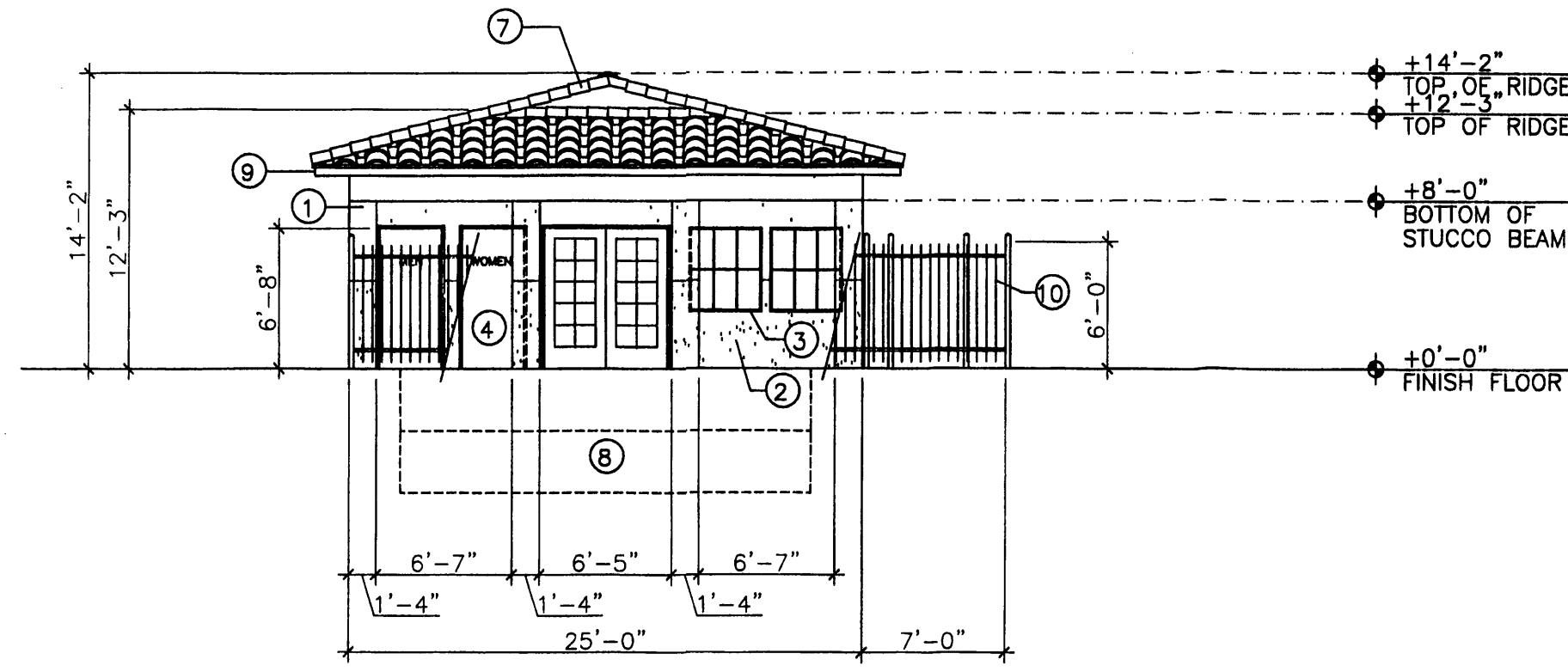
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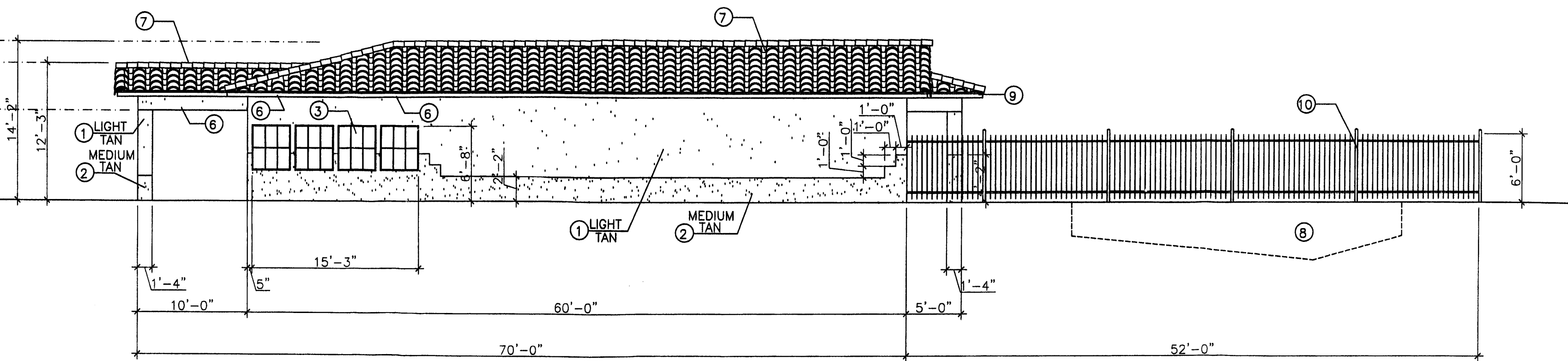
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SHEET NO.

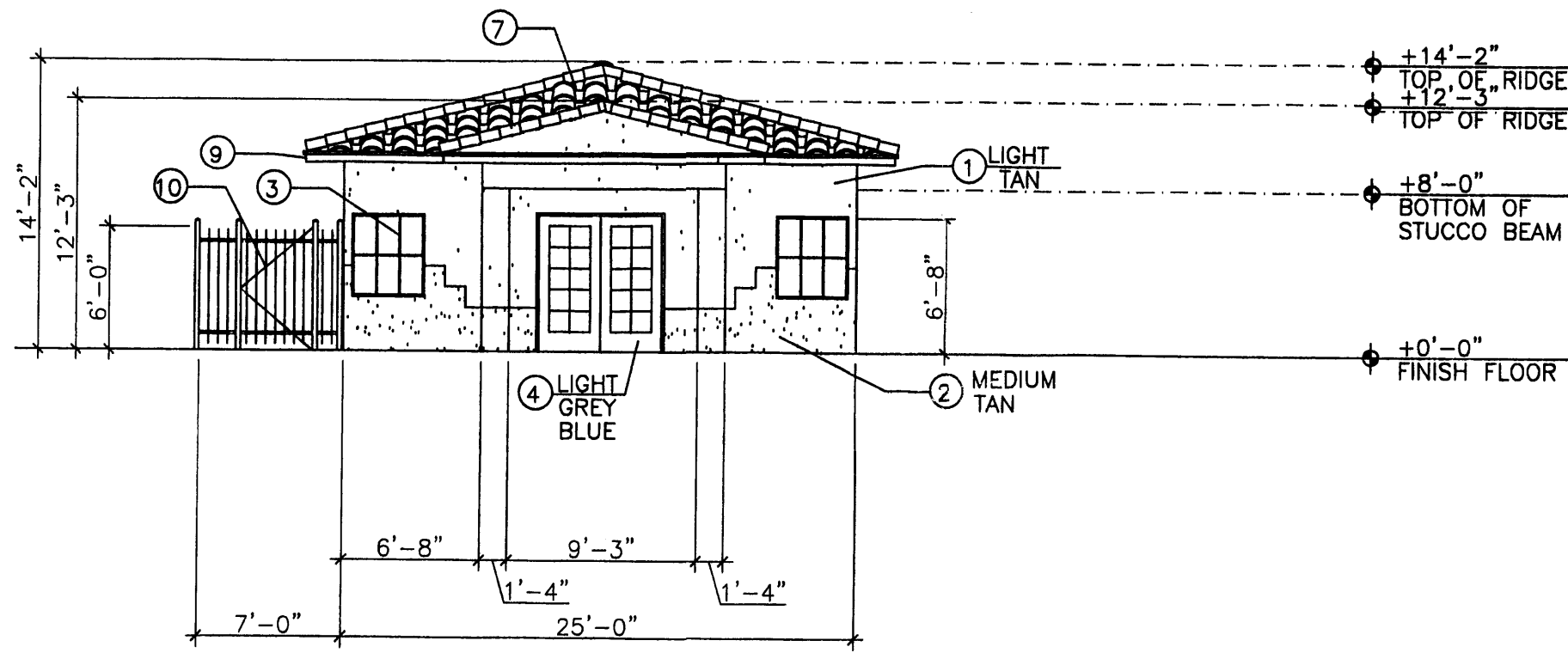
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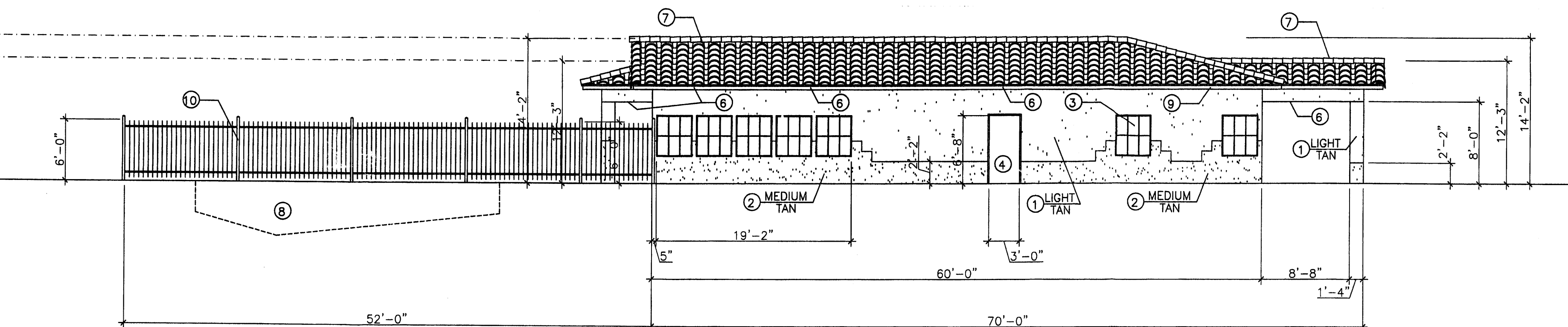
Apartment Office - North Elevation
SCALE: 1/8" = 1'-0"



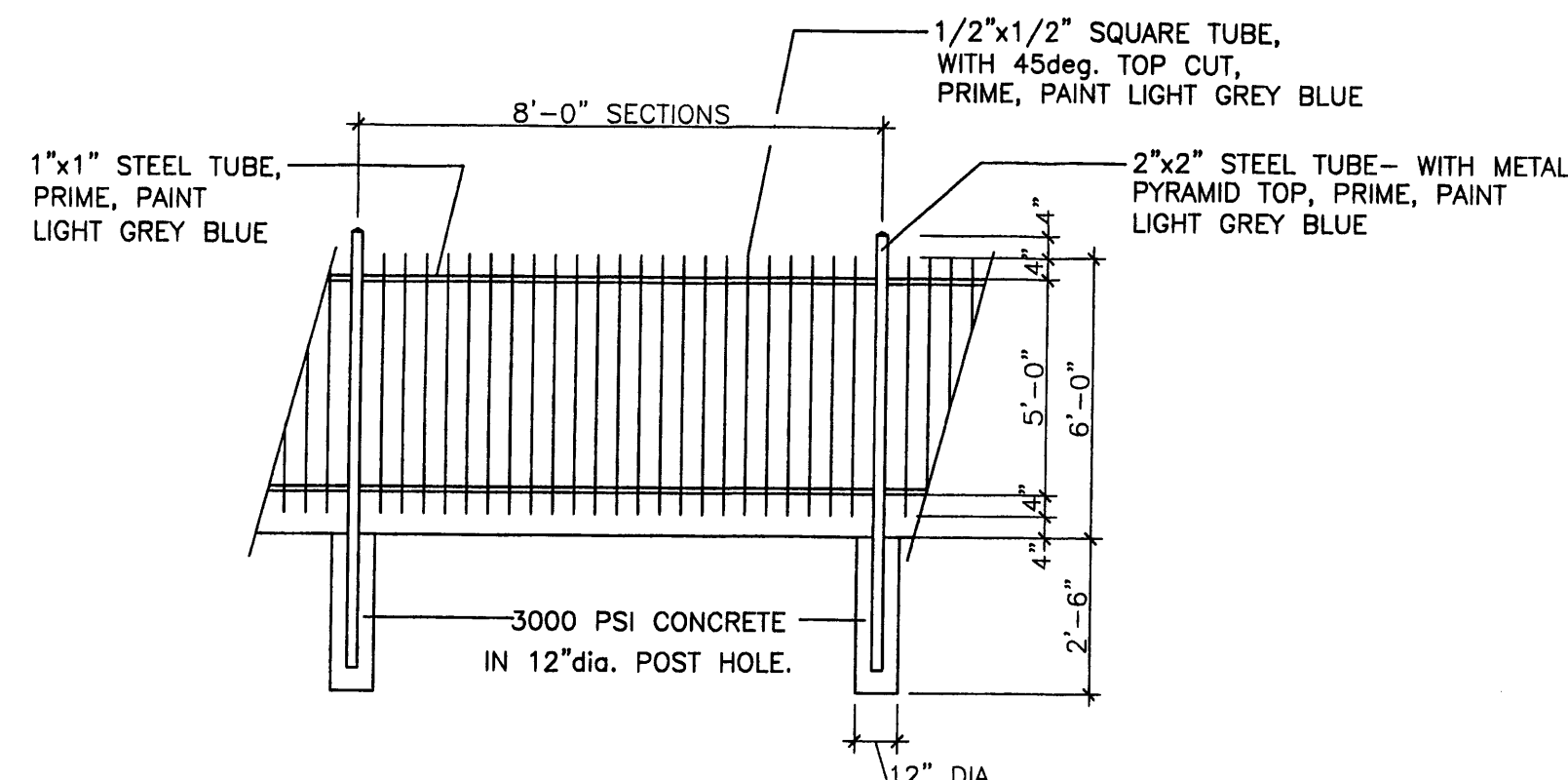
Apartment Office - East Elevation
SCALE: 1/8" = 1'-0"



Entrance to Apartment Office - South Elevation
SCALE: 1/8" = 1'-0"



Apartment Office - West Elevation
SCALE: 1/8" = 1'-0"

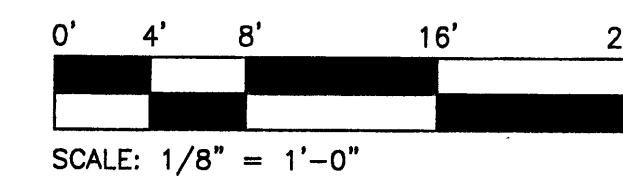


Fence Elevation
SCALE: 1/8" = 1'-0"

Keyed Notes (Typical At All Elevations)

- 1 ARCYLIC STUCCO, LIGHT TAN TO MATCH BENJAMIN MOORE HC-6
- 2 ARYLIC STUCCO, MEDIUM TAN TO MATCH BENJAMIN MOORE HC-55
- 3 ANODIZED BROWN COLOR FRAMES, DOUBLE GLAZED WINDOW, WITH BROWN 'UV' BUG SCREEN.
- 4 PAINT DOOR AND FRAME LIGHT GREY BLUE
- 5 STAINLESS STEEL HANDRAIL FOR ENTRANCE INTO POOL. PAINT LIGHT GREY BLUE
- 6 BUILDING SECURITY LIGHT IN SOFFITS, AND PORTAL CEILINGS, RECESSED MOUNTED AND SHIELDED.
- 7 CONCRETE ROOF TILE, MISSION 'S' VILLA, COLOR RED, AND
- 8 SMOOTH CONCRETE GUNITE SWIMMING POOL, TILE EDGE, HEAVY BROOM FINISH CONCRETE DECK.
- 9 WOOD FASCIA, PAINT LIGHT TAN
- 10 METAL WROUGHT FENCE, PAINT LIGHT GREY BLUE.

Scale Typical At All Elevations



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7.8